



CITY OF HOBART

AGENDA

Planning Authority Committee Meeting
Open Portion
Wednesday, 6 May 2026
at 4.00pm
Council Chamber, Town Hall



City of **HOBART**

THE MISSION

Working together to make Hobart a better place for the community.

THE VALUES

The Council is:

People	We care about people – our community, our customers and colleagues.
Teamwork	We collaborate both within the organisation and with external stakeholders drawing on skills and expertise for the benefit of our community.
Focus and Direction	We have clear goals and plans to achieve sustainable social, environmental and economic outcomes for the Hobart community.
Creativity and Innovation	We embrace new approaches and continuously improve to achieve better outcomes for our community.
Accountability	We are transparent, work to high ethical and professional standards and are accountable for delivering outcomes for our community.

ELECTED MEMBER COMMITMENTS

Respectful and Cooperative Behaviour	We will treat each other, staff, and stakeholders respectfully, fostering a collaborative environment.
Conduct and media use	We will advocate using transparent, evidence-based arguments, respect majority decisions, avoid public criticism of employees, and maintain workplace safety by refraining from harmful communication.
Objective, evidence-based communication:	Our discussions and advocacy are grounded in reliable, shared evidence, avoiding personal attacks and promoting respectful debate before public commentary.
Roles and responsibilities:	We recognise our duty to represent our community while being accountable, engaging in critical debate and holding others to account respectfully.

ORDER OF BUSINESS

Business listed on the agenda is to be conducted in the order in which it is set out, unless the committee by simple majority determines otherwise.

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**Planning Authority Committee Meeting (Open Portion) held Wednesday,
6 May 2026 at 4.00pm in the Council Chamber, Town Hall.**

The title Chief Executive Officer is a term of reference for the General Manager as appointed by Council pursuant s.61 of the *Local Government Act 1993* (Tas).

COMMITTEE MEMBERS

Councillor M S C Dutta (Chairperson)
Lord Mayor Councillor A M Reynolds
Acting Lord Mayor Councillor Dr Z E Sherlock
Councillor W F Harvey
Councillor R J Posselt
Councillor B Lohberger
Councillor G H Kitsos

Apologies:

Lord Mayor Councillor A M Reynolds

Leave of Absence:

Nil.

NOMINEE MEMBERS

Alderman M Zucco
Councillor J L Kelly
Alderman L A Bloomfield
Councillor W N S Coats

1. ACKNOWLEDGEMENT OF COUNTRY

2. CONFIRMATION OF MINUTES

The minutes of the Open Portion of the Planning Authority Committee meeting held on [Wednesday, 8 April 2026](#), are submitted for confirming as an accurate record.

3. CONSIDERATION OF SUPPLEMENTARY ITEMS

Ref: Part 2, Regulation 10(7) of the *Local Government (Meeting Procedures) Regulations 2025*.

Recommendation

That the Committee resolve to deal with any supplementary items not appearing on the agenda, as reported by the Chief Executive Officer.

4. INDICATIONS OF CONFLICTS OF INTEREST

Ref: Part 2, Regulation 10(8) of the *Local Government (Meeting Procedures) Regulations 2025*.

Members of the Committee are requested to indicate where they may have, or are likely to have, interest in the agenda.

5. TRANSFER OF AGENDA ITEMS

Regulation 17 of the *Local Government (Meeting Procedures) Regulations 2025*.

A Committee may close a part of a meeting to the public where a matter to be discussed falls within 17(2) of the above regulations.

In the event that the Committee transfers an item to the closed portion, the reasons for doing so should be stated.

Are there any items which should be transferred from this agenda to the closed portion of the agenda, or from the closed to the open portion of the agenda?

6. PLANNING AUTHORITY ITEMS – CONSIDERATION OF ITEMS WITH DEPUTATIONS

In accordance with the requirements of Part 2 Regulation 10(4) of the *Local Government (Meeting Procedures) Regulations 2025*, the Chief Executive Officer is to arrange the agenda so that the planning authority items are sequential.

In accordance with Part 2 Regulation 10(5) of the *Local Government (Meeting Procedures) Regulations 2025*, the Committee by simple majority may change the order of any of the items listed on the agenda, but in the case of planning items they must still be considered sequentially – in other words they still have to be dealt with as a single group on the agenda.

Where deputations are to be received in respect to planning items, past practice has been to move consideration of these items to the beginning of the meeting.

RECOMMENDATION

That in accordance with Regulation 10(5) of the *Local Government (Meeting Procedures) Regulations 2025*, the Committee resolve to deal with any items which have deputations by members of the public regarding any planning matter listed on the agenda, to be taken out of sequence in order to deal with deputations at the beginning of the meeting.

7. COMMITTEE ACTING AS PLANNING AUTHORITY

In accordance with the provisions of Part 2 Regulation 29 of the *Local Government (Meeting Procedures) Regulations 2025*, the intention of the Committee to act as a planning authority pursuant to the *Land Use Planning and Approvals Act 1993* is to be noted.

In accordance with Regulation 29, the Committee will act as a planning authority in respect to those matters appearing under this heading on the agenda, inclusive of any supplementary items.

The Committee is reminded that in order to comply with Regulation 29(2), the Chief Executive Officer is to ensure that the reasons for a decision by a Council or Council Committee acting as a planning authority are recorded in the minutes.

7.1 APPLICATIONS UNDER THE HOBART INTERIM PLANNING SCHEME 2015

7.1.1 80 KING STREET, SANDY BAY - PARTIAL DEMOLITION, ALTERATIONS, EXTENSION AND CHANGE OF USE TO MULTIPLE DWELLING (ONE EXISTING AND ONE NEW) PLN-HOB-2024-0478 - FILE REF: F26/24525




Address:	80 King Street, Sandy Bay
Proposal:	Partial Demolition, Alterations, Extension and Change of Use to Multiple Dwelling (One Existing and One New)
Expiry Date:	6 May 2026
Extension of Time:	Not Applicable
Author:	Dan Burke

RECOMMENDATION

That pursuant to the *Hobart Interim Planning Scheme 2015*, the Planning Committee, in accordance with the delegations contained in its terms of reference, refuses the application for Partial Demolition, Alterations, Extension and Change of Use to Multiple Dwelling (One Existing and One New), at 80 King Street, Sandy Bay for the following reasons:

1. The proposal does not meet the acceptable solution or the performance criterion with respect to Clause 11.4.2 of the *Hobart Interim Planning Scheme 2015* because the length of the wall on the northern boundary results in unreasonable visual bulk and scale and provides an inadequate separation between dwellings.
2. The proposal does not meet the acceptable solution or the performance criterion with respect to Clause 11.4.3 of the *Hobart Interim Planning Scheme 2015* because private open space is not orientated to take advantage of sunlight.
3. The proposal does not meet the acceptable solution or the performance criterion with respect to Clause 11.4.4 of the *Hobart Interim Planning Scheme 2015* because the multiple dwellings are not sited and designed to avoid unreasonable loss of amenity by overshadowing the private open space of other dwellings on the same lot.

4. The proposal does not meet the acceptable solution or the performance criterion with respect to Clause 13.8.2 of the *Hobart Interim Planning Scheme 2015* because proposed new dwelling, by reason of its height, design and façade treatment would have a detrimental impact upon those features which contribute to the historic cultural significance of the Upper Sandy Bay Heritage Precinct Heritage Precinct (SB2) as set out in table E.13.2 of the *Hobart Interim Planning Scheme 2015*, contrary to E13.8 Development Standards for Heritage Precincts, in particular E13.8.2 – ‘Buildings and Works other than Demolition’ P1.

- Attachment A: Committee Report - Planning Authority Committee - 6 May 2026 - PLN-HOB-2024-0478 - 80 KING ST SANDY BAY TAS 7005 ↓ 
- Attachment B: Planning Authority Committee - 6 May 2026 - PLN-HOB-2024-0478 - 80 KING ST SANDY BAY TAS 7005 - PC Supporting documents ↓ 
- Attachment C: Heritage Report - Planning Authority Committee - 6 May 2026 - PLN-HOB-2024-0478 - 80 KING ST SANDY BAY TAS 7005 ↓ 



SECTION 57 DELEGATED REPORT DISCRETIONARY PLANNING PERMIT

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

Type of Report:	Committee <i>The development has been assessed under the Hobart Interim Planning Scheme 2015.</i>
Delegated:	6 May 2026
Expiry Date:	6 May 2026
Application No:	PLN-HOB-2024-0478
Address:	80 King Street, Sandy Bay, Tas, 7005
Proposal:	Partial Demolition, Alterations, Extension and Change of Use to Multiple Dwelling (One Existing and One New)
Applicant:	Mr Joshua Graeme-Evans, 80 King Street, Sandy Bay, Tas, 7005
Advertisement:	The application was advertised between 24 March 2026 and 10 April 2026.
Representations:	One (1) representation was received during the statutory advertising period.
Zone:	Inner Residential Zone
Performance criteria:	<p>Inner Residential Zone: Development Standards – Setbacks and building envelope for all dwellings – 11.4.2 (P3), Site coverage and private open space for all dwellings – 11.4.3 (P1 & P2), Sunlight to private open space of multiple dwellings – 11.4.4 (P1) Privacy – 11.4.6 (P2), Frontage fences for all dwellings – 11.4.7 (P1), Waste storage for multiple dwellings – 11.4.8 (P1)</p> <p>Parking and Access Code: Number of Car Parking Spaces - E6.6.1 (P1), Design of vehicle accesses – E6.7.2 (P1), Layout of parking areas – E6.7.5 (P1)</p> <p>Historic Heritage Code: Demolition – 13.8.1 (P1), Buildings and Works other than Demolition – 13.8.2 (P1 & P3)</p>

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Delegation: Committee

Recommendations: Pursuant to the *Hobart Interim Planning Scheme 2015*, the Council refused the subject application for the reasons outlined in the officer's report.

REPORT

1. Proposal

1.1. Planning approval is sought for the Partial Demolition, Alterations, Extension and Change of Use to Multiple Dwelling (One Existing and One New).

1.2. More specifically, the proposal includes:

- Demolition to existing outbuilding and garage and partial demolition and internal alterations to existing dwelling;
- A two storey dwelling located to the rear of the existing dwelling;
- Vehicle access to the existing and proposed dwelling is to be via Regent Street;
- The ground floor to the proposed dwelling is to feature a single garage, two bedrooms, study, bathroom and alfresco area;
- The first floor to the proposed dwelling is to include an open plan kitchen/lounge area with powder room and storage and a balcony;
- Construction materials are to include concrete blockwork fibre cement cladding and colorbond roofing.

2. Site Detail

2.1. The subject site is located at the north-west corner of the intersection between King and Regent Streets.

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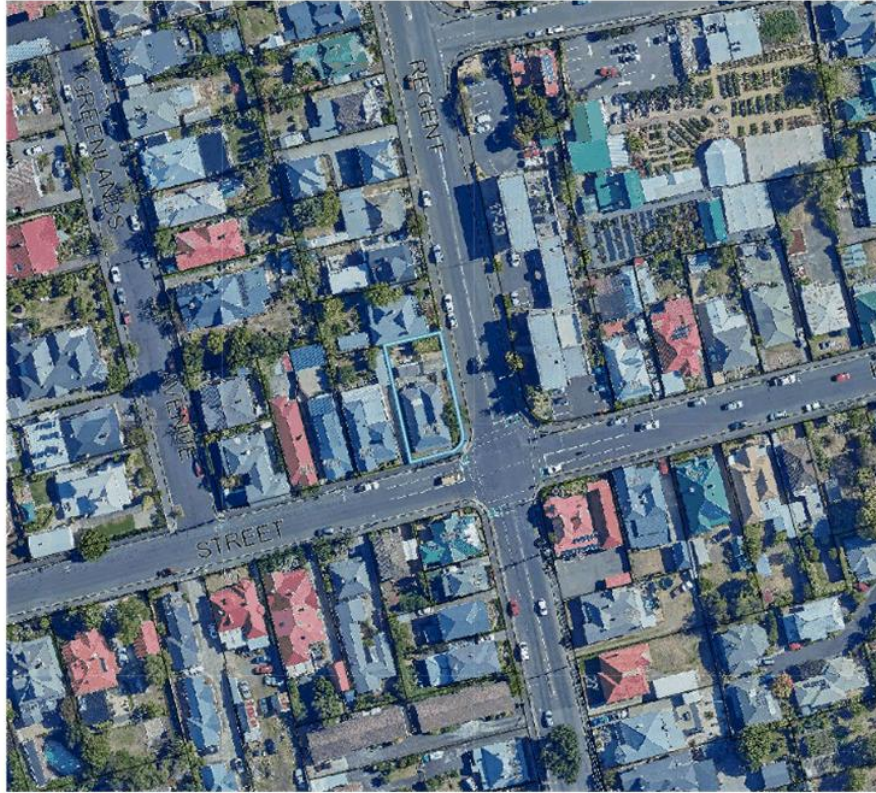


Figure 1: Aerial of Site with subject site bordered in blue.

Source: Council GIS Maps

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Figure 2: The site is located within the Inner Residential Zone under the Hobart Interim Planning Scheme 2015 (HIPS) with subject site bordered in blue.

Source: Council GIS Maps

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Figure 3: The site is located within the Sandy Bay (SB2) Heritage Precinct under the Hobart Interim Planning Scheme 2015 (HIPS) with subject site bordered in blue.

Source: Council GIS Maps

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Figure 4: The site as seen from King Street, looking north-east.

Source: Application Documents, 2026.



Figure 5: The site and location of proposed dwelling as seen from the intersection of King and Regent Streets, looking north-west.

Source: Application Documents, 2026.

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Figure 6: The site and location of the proposed dwelling as seen from Regent Street, looking west.

Source: Application Documents, 2026

3. Background

3.1. Planning Permit PLN-13-00286-01 was issued 17 May 2013 and allowed Subdivision (Minor Boundary Adjustment).

4. Representation

4.1. Two (2) representations were received during the statutory advertising period. One of these is a representation *for* the proposal and submitted by the applicant.

4.2. The table below summarises matters raised by representors during the statutory advertising period.

Concerns	Response
Privacy	This concern is the only matter raised by a neighbour and specifically relates to the upper storey kitchen window of the

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	<p>proposed dwelling which is located within 4.0 metres of the western boundary which is a side boundary of the lot.</p> <p>Given this is a side boundary and not a rear boundary, the proposal meets the acceptable solution under the Scheme.</p> <p>Nonetheless, the applicant has negotiated with the owner of the adjoining property and is considering options to mitigate overlooking. Advice can be included with any determination to recommend overlooking from this window is further considered prior to building.</p>
<p>Shadow diagrams and private open spaces</p>	<p>The applicant, who submitted a representation in support of the proposal, has provided further documentation demonstrating that the submitted shadow diagrams which formed the advertised plans were not a clear representation of the overshadowing impacts. Updated shadow diagrams were included with the representation which suggest that overshadowing to the rear private open spaces of each dwelling is not quite as acute as what has been advertised.</p> <p>The impacts of overshadowing and the siting and design of private open spaces will be assessed within Section 6 of this report. Whilst it is acknowledged that updated plans have been received by Council, assessment must be against the formally submitted and advertised plans.</p>
<p>Visual bulk and scale</p>	<p>The applicant's representation further substantiates the site context and refers to comparable buildings in the vicinity. Particularly other narrow profile two storey buildings with short setbacks and separation.</p> <p>The building envelope is to be assessed within Section 6 of this report.</p>

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5. Assessment

- 5.1. The *Hobart Interim Planning Scheme 2015* is a performance based planning scheme. To meet an applicable standard, a proposal must demonstrate compliance with either an acceptable solution or a performance criterion. Where a proposal complies with a standard by relying on one or more performance criteria, the Council may approve or refuse the proposal on that basis. The ability to approve or refuse the proposal relates only to the performance criteria.
- 5.2. This site is located within the Inner Residential Zone of the *Hobart Interim Planning Scheme 2015*.
- 5.3. The table below summarises the existing and proposed development in accordance with the Use Table of the zone:

	Existing Use	Proposed Use
Use	Residential (single dwelling)	Residential (Multiple dwellings)
Zone status	No Permit Required	Permitted

- 5.4. The proposal has been assessed against:
- 5.4.1. Inner Residential Zone
- 5.4.2. Parking and Access Code
- 5.4.3. Stormwater Management Code
- 5.4.4. Historic Heritage Code
- 5.5. The proposal relies on the following criteria to comply with the acceptable standards:
- 5.5.1. Inner Residential Zone: Development Standards – Setbacks and building envelope for all dwellings – 11.4.2 (P3), Site coverage and private open space for all dwellings – 11.4.3 (P1 & P2), Sunlight to private open space of multiple dwellings – 11.4.4 (P1) Privacy – 11.4.6 (P2), Frontage fences for all dwellings – 11.4.7 (P1), Waste storage for multiple dwellings – 11.4.8 (P1)
- 5.5.2. Parking and Access Code: Number of Car Parking Spaces - E6.6.1 (P1), Design of vehicle accesses – E6.7.2 (P1), Layout of parking areas – E6.7.5 (P1)
- 5.5.3. Historic Heritage Code: Demolition – 13.8.1 (P1), Buildings and Works other than Demolition – 13.8.2 (P1 & P3)
- 5.6. Each of the performance criteria is assessed in in Section 6 of this report.

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6. Performance Criteria

6.1. *Inner Residential Zone: Development Standards – Setbacks and building envelope for all dwellings – 11.4.2 (P3)*

6.1.1. The acceptable solution at clause 11.4.2 A3 (a) requires a dwelling to be contained within the building envelope as depicted in Figures 11.1, 11.2 and 11.3 and A3 (b) requires a building to only have a setback within 1.5m of a side or rear boundary if the dwelling does not exceed a total length of 9m.

6.1.2. The proposal includes a new dwelling that includes an upper storey that extends beyond the building envelope at the rear (northern) boundary and therefore does not meet A3 (a). The proposed dwelling also includes a 2.8-metre-tall ground floor wall that spans 12.2 metres of the northern boundary which does not meet A3 (b).

6.1.3. As such, the assessment relies upon assessment against performance criterion P3 at clause 11.4.2, which reads:

The siting and scale of a dwelling must:

(a) not cause an unreasonable loss of amenity to adjoining properties, having regard to:

(i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property;

(ii) overshadowing the private open space of a dwelling on an adjoining property;

(iii) overshadowing of an adjoining vacant property; and

(iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property; and

(b) provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area.

6.1.4. The proposed dwelling reaches a maximum height of 7.5 metres which is below the maximum permitted height in the zone and generally consistent with existing buildings in the broader vicinity. Furthermore, the upper storey is setback from the rear (northern) boundary and the proposal, being a corner

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lot located to the south and east of the nearest adjoining lots, ensures that these adjoining lots are minimally impacted by overshadowing.

However, the proposal relies on a 12.2 metre long, 2.8-metre-tall solid brick wall which forms the majority (79%) of the 15.3 metre northern boundary. The extent of this boundary wall, its proximity to the adjoining property at 36 Regent Street and its 1.3 metre distance to an adjoining bedroom window is unreasonable in terms of visual impact, bulk and proportions, as well as loss of sunlight.

The separation between dwellings is also considered inadequate and inconsistent with the prevailing pattern of development. The northern interface is proposed to feature solid massing from the garage at the Regent Street frontage through to 3.0 metres from the western boundary. This solid 2.8-metre-tall massing, maintained for 12.2 metres and located directly on the northern boundary, will be without any articulation or variation in materials to provide a visual break or sense of separation and will present bulk and scale that is inconsistent with other infill developments in the area.

6.1.5. The proposal fails to comply with the performance criteria.

6.2. *Inner Residential Zone: Development Standards - Site coverage and private open space for all dwellings – 11.4.3 (P1)*

6.2.1. The acceptable solution at clause 11.4.3 A1 requires multiple dwellings to include private open space of not less than 40sqm to each dwelling.

6.2.2. The proposal includes private open spaces that are less than 40sqm and therefore do not meet A1.

6.2.3. As such, the assessment relies upon assessment against performance criterion P1 at clause 11.4.3, which reads:

P1

Dwellings must have:

(a) site coverage consistent with that existing on established properties in the area;

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(b) private open space that is of a size and with dimensions appropriate for the size of the dwelling and is able to accommodate:

(i) outdoor recreational space consistent with the projected requirements of the occupants and, for multiple dwellings, take into account any common open space provided for this purpose within the development;

and

(ii) operational needs, such as clothes drying and storage; and

(c) reasonable space for the planting of gardens and landscaping.

6.2.4. Unit 2 is proposed to have private open space split over two separate areas, a 20.0sqm rear ground floor alfresco area and an 8.0sqm upper storey balcony that is directly accessible from the open plan kitchen/lounge area. Although cumulatively, these two spaces amount to a total of 28.0sqm, the combined spaces meet the requirements under this standard given the balcony can primarily be used for outdoor recreational space while the ground floor space can be used as secondary private open space that serves the operational needs of residents as well as providing further opportunities for landscaping.

6.2.5. The proposal complies with the performance criteria.

6.3. *Inner Residential Zone: Development Standards - Site coverage and private open space for all dwellings – 11.4.3 (P2)*

6.3.1. The acceptable solution at clause 11.4.3 A2 requires a dwelling to have private open space that is in one location and not less than 24sqm

6.3.2. The proposal includes a dwelling (Unit 2) that has two private open space areas but neither meet the required size 24sqm.

6.3.3. As such, the assessment relies upon assessment against performance criterion P2 at clause 11.4.3, which reads:

P2

A dwelling must have private open space that includes an area capable of serving as an extension of the dwelling for outdoor relaxation, dining, entertaining and children's play and is:

(a) conveniently located in relation to a living area of the dwelling; and

(b) orientated to take advantage of sunlight.

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- 6.3.4. The proposal includes an 8.0sqm east-facing balcony that is directly accessible to the open plan kitchen/lounge. Although the balcony is conveniently located in relation to the primary living areas of the dwelling and has access to morning sunlight, the space will not receive access to sunlight after midday. The secondary private open space area, located on the ground floor, will be predominantly overshadowed throughout the day on June 21. Notwithstanding, the level of amenity offered by the east-facing upper storey balcony is sufficient to meet the needs of residents in Unit 2.

Unit 1 however has its open space located directly to the rear of the existing dwelling. And whilst this is a larger ground floor open space area than Unit 2, the space is boxed-in by the existing dwelling itself, the proposed Unit 2 building as well as tall (2.4 metre) blockwork boundary wall, fencing and an outbuilding at an adjoining property. Consequently, access to sunlight to the Unit 1 private open space area is tightly constrained.

It is acknowledged that the applicant has submitted a representation during the advertising period that addresses access to sunlight further. Whilst these supplementary diagrams cannot be used as the basis for determination, it is apparent that access to sunlight could be marginally improved by introducing some changes, such as lowering the 2.4 metre blockwork wall on the boundary between the two proposed private open spaces to a standard 1.8 metres. The orientation could be further enhanced by shifting the Unit 1 alfresco area toward the western boundary fence which would allow the private open space to receive more afternoon sun, particularly if the boundary blockwork wall to be lowered by 600mm.

Nonetheless, the proposal as advertised, does not demonstrate that the proposal is orientated to take advantage of sunlight as the private open spaces, Unit 1's alfresco area particularly, does not receive a sufficient degree of sunlight at any time of day across the winter period.

- 6.3.5. The proposal fails to comply with the performance criteria.

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6.4. *Inner Residential Zone: Development Standards - Sunlight to private open space of multiple swellings – 11.4.4 (P1)*

6.4.1. The acceptable solution at clause 11.4.4 A1 requires a multiple dwelling that is to the north of the private open space of another dwelling on the same site to be distanced in accordance with Figure 11.4 and not resulting in 50% of the private open space to receive less than 3 hours sunlight within the hours of 9:00am to 3:00pm on 21 June.

6.4.2. The proposal includes a new dwelling that is directly abutting the northern boundary of the proposed private open space at the existing dwelling. Shadow diagrams submitted with the proposal indicate more than 50% of this private open space will receive less than 3 hours of sunlight within the hours of 9:00am to 3:00pm on 21 June.

6.4.3. As such, the assessment relies upon assessment against performance criterion P1 at clause 11.4.4, which reads:

A multiple dwelling must be designed and sited to not cause an unreasonable loss of amenity by overshadowing the private open space, of another dwelling on the same site, which is required to satisfy A2 or P2 of clause 11.4.3 of this planning scheme.

6.4.4. The advertised plans demonstrate that on June 21, the rear private open spaces to both Units 1 and 2 are to be heavily impacted by overshadowing across the entire day. The supplementary shadow diagrams included with the representation indicate that only a minor proportion of these private open space areas could receive more sunlight. In the case of Unit 1 this is for only a brief period of around two hours and to an area of approximately 20% of the nominated private open space area. The impacts to the Unit 2 ground floor alfresco area are even more pronounced however, this unit has the benefit of an upper storey east-facing balcony which will allow for a reasonably standard of amenity to the dwelling.

It is apparent through the shadow diagrams that the multiple dwellings, particularly the private open space area of Unit 1, have not been designed and sited to avoid unreasonable loss of amenity and overshadowing.

6.4.5. The proposal fails to comply with the performance criteria.

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6.5. *Inner Residential Zone: Development Standards – Frontage fences for all dwellings – 11.4.7 (P1)*

- 6.5.1. There is no acceptable solution at clause 11.4.7 A1. The proposed front fence to Unit 2 does not meet fencing exemptions under 5.6.3.
- 6.5.2. The proposal includes a 1.7 metre solid block wall at the Regent Street frontage.
- 6.5.3. As such, the assessment relies upon assessment against performance criterion P1 at clause 11.4.7, which reads:

A fence (including a free-standing wall) for a dwelling within 4.5m of a frontage must:

- (a) provide for security and privacy while allowing for passive surveillance of the road; and*
- (b) be compatible with the height and transparency of fences in the street, having regard to:*
- (i) the topography of the site; and*
- (ii) traffic volumes on the adjoining road.*

- 6.5.4. The proposed 1.7 metre blockwork fence is a continuation of the existing and proposed 1.7 metre tall paling fence sections belonging to Unit 1 but provides a distinction between the two dwellings. Being ostensibly a side boundary fence, the design is generally compatible with fencing outcomes to other corner lots in the vicinity. Being near the junction between King and Regent Streets, additional height and the use of taller, solid materials is justifiable given the traffic volumes of each road. The Unit 2 balcony and its direct access to the main habitable areas of the home, will ensure that a sufficient degree of passive surveillance can be maintained.
- 6.5.5. The proposal complies with the performance criteria.

6.6. *Inner Residential Zone: Development Standards - Waste storage for multiple dwellings – 11.4.8 (P1)*

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- 6.6.1. The acceptable solution at clause 11.4.8 A1 requires a storage area for waste and recycling bins that is not less than 1.5sqm per dwelling and located behind the building line.
- 6.6.2. The proposal includes a bin storage area to Unit 2 that is located at the front of the building line.
- 6.6.3. As such, the assessment relies upon assessment against performance criterion P1 at clause 11.4.8, which reads:

A multiple dwelling must have storage for waste and recycling bins that is:

- (a) capable of storing the number of bins required for the site;*
- (b) screened from the frontage and any dwellings; and*
- (c) if the storage area is a common storage area, separated from any dwellings to minimise impacts caused by odours and noise.*

- 6.6.4. The Unit 2 bin storage area is proposed to be located at the frontage of that dwelling, directly behind the 1.7 metre blockwork wall at the frontage. This is a 3.0sqm area that can store the number of bins required for this dwelling and will be sufficiently screened from the frontage. As it will be abutting the Unit 1 car parking area, there will be no expected impacts in terms of odours and noise.
- 6.6.5. The proposal complies with the performance criteria.
- 6.7. *Parking and Access Code: Number of Car Parking Spaces - E6.6.1 (P1)*
- 6.7.1. The acceptable solution at clause E6.6.1 A1 requires the number of on-site car parking spaces to be no less than and no greater than the number specified in Table E6.1.
- 6.7.2. The proposal includes a total of three parking spaces which is less than the number specified in Table E6.1
- 6.7.3. As such, the assessment relies upon assessment against performance criterion P1 at clause E6.6.1, which reads:

The number of on-site car parking spaces must be sufficient to meet the reasonable needs of users, having regard to all of the following:

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- (a) car parking demand;*
- (b) the availability of on-street and public car parking in the locality;*
- (c) the availability and frequency of public transport within a 400m walking distance of the site;*
- (d) the availability and likely use of other modes of transport;*
- (e) the availability and suitability of alternative arrangements for car parking provision;*
- (f) any reduction in car parking demand due to the sharing of car parking spaces by multiple uses, either because of variation of car parking demand over time or because of efficiencies gained from the consolidation of shared car parking spaces;*
- (g) any car parking deficiency or surplus associated with the existing use of the land;*
- (h) any credit which should be allowed for a car parking demand deemed to have been provided in association with a use which existed before the change of parking requirement, except in the case of substantial redevelopment of a site;*
- (i) the appropriateness of a financial contribution in lieu of parking towards the cost of parking facilities or other transport facilities, where such facilities exist or are planned in the vicinity;*
- (j) any verified prior payment of a financial contribution in lieu of parking for the land;*

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(k) any relevant parking plan for the area adopted by Council;

(l) the impact on the historic cultural heritage significance of the site if subject to the Local Heritage Code;

(m) whether the provision of the parking would result in the loss, directly or indirectly, of one or more significant trees listed in the Significant Trees Code.

- 6.7.4. The proposal was referred to Council's Development Engineering Unit and the following comments were received:

The empirical parking assessment indicates that the provision of three on-site car parking spaces will sufficiently meet the likely demands associated with the development, with the exception of onsite visitor parking

There is on-street parking available in the surrounding road network. Observations indicate that there is on street parking that would be available to meet the potential demands of visitor and overflow parking, particularly after normal working hours.

Metro Tasmania operate regular bus services within 400 metres of the subject site.

The site is located a convenient walking distance from shops, schools and services

Based on the documentation submitted to date and given the above assessment, the parking provision is accepted as meeting the Performance Criteria P1:E6.6.1 of the Planning Scheme. This is particularly due to the actual parking demands that will be generated by the development.

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- 6.7.5. The proposal complies with the performance criteria.
- 6.8. *Parking and Access Code: Design of vehicle accesses – E6.7.2 (P1)*
- 6.8.1. The acceptable solution at clause E6.7.2 A1 requires the design of vehicle access points for non-commercial vehicle access to comply with the Australian Standard AS/NZS 2890.1:2004 Parking Facilities Part 1: Off-street car parking.
- 6.8.2. The proposal includes obstructions within the 2m x 2.5m sight triangles.
- 6.8.3. As such, the assessment relies upon assessment against performance criterion P1 at clause E6.7.2, which reads:

Design of vehicle access points must be safe, efficient and convenient, having regard to all of the following:

avoidance of conflicts between users including vehicles, cyclists and pedestrians;

avoidance of unreasonable interference with the flow of traffic on adjoining roads;

suitability for the type and volume of traffic likely to be generated by the use or development;

ease of accessibility and recognition for users.

- 6.8.4. The application was referred internally to Council's Development Engineering Unit and the following comments were received:

Based on the documentation submitted to date and given the above assessment, the sight lines are accepted as meeting the Performance Criteria P1:E6.7.2 of the Planning Scheme. Given the location of the access and driveway, and the provision of mirrors within the property.

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Surrounding properties exhibit similar access provisions.

6.8.5. The proposal complies with the performance criteria.

6.9. *Parking and Access Code: Layout of parking areas – E6.7.5 (P1)*

6.9.1. The acceptable solution at clause E6.7.5 A1 requires the layout of parking areas to meet the relevant Australian Standards (AS2890.1 Fig 2.2 = 2.4x5.4m Class 1A)

6.9.2. The proposal includes an internal door located between the garage and the entry that has a swing path over the parking area design.

6.9.3. As such, the assessment relies upon assessment against performance criterion P1 at clause E6.7.5, which reads:

The layout of car parking spaces, access aisles, circulation roadways and ramps must be safe and must ensure ease of access, egress and manoeuvring on-site.

6.9.4. The application was referred internally to Council's Development Engineering Unit and the following comments were received:

The swing path of the internal door between the garage and the entry encroaches upon the area of the design envelope around the parked vehicle to be kept clear of columns, walls and obstructions as shown in figure 5.2 AS/NZS 2890.1:2004. Condition to be applied requiring that opening and closing path of the door between the garage and entry must be clear of the design envelope around the parked vehicle to be kept clear of columns, walls and obstructions as shown in figure 5.2 AS/NZS 2890.1:2004

6.9.5. The proposal complies with the performance criteria, subject to conditions.

6.10. *Historic Heritage Code: Demolition – 13.8.1 (P1)*

6.10.1. There is no acceptable solution at clause 13.8.2 A1.

6.10.2. The proposal includes partial demolition to the rear of the existing dwelling.

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- 6.10.3. As such, the assessment relies upon assessment against performance criterion P1 at clause 13.8.1, which reads:

E13.8.1 P1

Demolition must not result in the loss of any of the following:

- a) buildings or works that contribute to the historic cultural heritage significance of the precinct;*
- b) fabric or landscape elements, including plants, trees, fences, paths, outbuildings and other items, that contribute to the historic cultural heritage significance of the precinct; unless all of the following apply;*
 - i. there are, environmental, social, economic or safety reasons of greater value to the community than the historic cultural heritage values of the place;*
 - ii. there are no prudent or feasible alternatives;*
 - iii. opportunity is created for a replacement building that will be more complementary to the heritage values of the precinct.*

- 6.10.4. The proposal was referred to Council's Cultural Heritage Unit and the following assessment was provided:

The proposal would result in the demolition of elements to the rear. Due to the plot being on the junction of King and Regent Street, the rear of the site is visible from the public realm of Regent Street and the degree of demolition to the rear elevation of the parent house is considered unfortunate. However, the intended demolition of the section of wall is solely intended to allow for the installation of sliding glazed doors and it is acknowledged that there is an expectation that rear elevations would contain larger openings such as French Doors.

The intended demolition of the rear garage would remove a relatively unsightly structure positioned directly onto the street boundary which in its own right would be welcomed. As such, it is considered that the degree of demolition visible from the public realm would be relatively minor and largely result in no notable alteration to the appearance of the building or its role within the wider Precinct.

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The proposal satisfies E13.8.1 P1.

- 6.10.5. The proposal complies with the performance criteria.
- 6.11. *Historic Heritage Code: Buildings and Works other than Demolition – 13.8.2 (P1)*
- 6.11.1. There is no acceptable solution at clause 13.8.2 A1.
- 6.11.2. The proposal includes buildings and works including alterations to the existing dwelling and construction of a new dwelling within a Heritage Precinct.
- 6.11.3. As such, the assessment relies upon assessment against performance criterion P1 at clause 13.8.2, which reads:

P1

Design and siting of buildings and works must not result in detriment to the historic cultural heritage significance of the precinct, as listed in Table E13.2.

- 6.11.4. The proposal was referred to Council's Cultural Heritage Unit and the following assessment was provided:

The proposal represents an infill development, replacing a single low and flat roofed garage with a two storey narrow dwelling with distinctive high angled roof form, largely glazed street facing upper floor set behind a narrow-recessed balcony/balustrade with ground floor garage set behind high solid wall.

The proposal should be considered against the overall character of the built form within the Precinct with particular attention to the streetscape in which the proposal would sit. Due to the location of the property close to the junction of Regent and King Street, there is an argument that its position within the immediate streetscene should be considered against the prevailing built form of both Regent and King Street. However, it is considered that Regent Street represents the primary streetscape in this instance. It should be noted that the

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Precinct does not extend to the built form on the opposite side of Regent Street and therefore the residential flats directly opposite do not form part of the considered streetscape.

As set out above, it is considered that the pertinent elements of the described characteristics are:

- The consistency of housing forms and the relatively low level of intrusive elements.*
- The high visual integrity of the streetscapes and the mix of development that allows the historical layers and development of the precinct to be seen and understood.*

Plot Width, Massing and Height:

With regard to height, it is noted that within the immediate streetscape of Regent Street, the height of residential buildings are predominantly single storey with additional larger properties of one and a half storeys (the is, where the second floor is partial set within the roof of the property reducing its overall height). At two storeys, the proposal would therefore be higher than the streetscape in which it would stand.

This discrepancy in height would be emphasised by the high angle of the roof form and the narrowness of the plot width. Unlike the majority of residential properties within the precinct, the proposal would have a notably narrow width. This narrowness is an important factor in that within the Precinct, two storey properties occupy what can be described as 'standard' width plots, providing a typical residential frontage to the street. In contrast, the proposal would be of a width more commonly associated with the small number of narrow fronted properties within the precinct, including 84 and 86 King Street as well as others in Randell and Powell Streets. Narrow frontage properties of this width are commonly associated with workers cottages and in all instances, these narrow-fronted properties are modest, single storey properties set behind low front garden walls with access to off street parking if provided are via side shared driveways. Parking is never accommodated to the front yard.

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In this instance, to comply with the policy requirement to retain a coherent and consistent built form within the Precinct, this narrowness of the plot should to a degree provide a guide as to the height in which development is in proportion to its width and therefore have the ability to sit comfortably within the streetscape.



Figure 2 – Officer Indicative Illustration based on submitted plans showing proposed and an alternative one and a half design response.

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As demonstrated in the illustrations above, it is considered that the issue is in part not one of 'principal' but of 'degree'. In the officer's opinion, an alternative set of proposals which incorporated the same floorspace but in a 'one and a half' storey development in which the upper floor is incorporated into the roof form, the overall height would be reduced to a degree far more in keeping with the surrounding streetscape and the wider Precinct.

This lack of coherency and consistency is further enhanced by the design choices to incorporate parking within the front garden/garage, to utilise a high angled pitch to what would be the dominant design feature, namely the roof, adopting a front façade and fenestration style not seen elsewhere within either the immediate streetscape or that of the wider precinct and to utilise a solid high front fence. When combining all of the above, it is considered that the proposal would fail to comply with the heritage provisions of the Planning Scheme.

It is considered that clause E13.8.2 P1 is not satisfied

- 6.11.5. The proposal fails to comply with the performance criteria.
- 6.12. *Historic Heritage Code: Buildings and Works other than Demolition – 13.8.2 (P3)*
- 6.12.1. There is no acceptable solution at clause 13.8.2 A3.
- 6.12.2. The proposal includes buildings and works including alterations to the existing dwelling and construction of a new dwelling within a Heritage Precinct.
- 6.12.3. As such, the assessment relies upon assessment against performance criterion P3 at clause 13.8.2, which reads:

P3

Extensions to existing buildings must not detract from the historic cultural heritage significance of the precinct.

- 6.12.4. The proposal was referred to Council's Cultural Heritage Unit and the following assessment was provided:

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The proposed alterations and extension to the rear of the parent property, as set out above, would be partially visible from the public realm due to the site occupying a corner plot. With regard to the large openings and replacement fenestration, as set out above, despite appearing clearly as modern features, is acknowledged that there is an expectation that rear elevations would contain larger openings such as French Doors of this type. The proposed extension in the form of a small area of decking is considered minor and would have no impact upon the visual qualities of the site or to the wider precinct.

As such, it is considered that the proposed alteration and extension to the parent building would not detract from the appearance of the property as a contributory element, or to the wider Precinct.

It is considered that clause E13.8.2 P3 is satisfied.

6.12.5. The proposal complies with the performance criteria.

7. Discussion

- 7.1. As discussed in Section 5 and Section 6 of this report, the proposal relies upon performance criteria to satisfy the standards and codes of the relevant planning scheme. The proposal has been assessed against the provisions of section 57 of the *Land Use Planning and Approvals Act 1993* and is considered to perform well.
- 7.2. Two (2) representations were received, one for the proposal and one against the proposal.
- 7.3. The representations received during the statutory advertisement period has been discussed in Section 6 of this report. The following responses are provided for the outstanding representation concerns.

Privacy	The proposal meets the acceptable solution in terms of privacy. The applicant and representor are negotiating a resolution to address their respective needs and concerns. Council is supportive of any screening or frosting applied to the upstairs kitchen window of Unit 2.
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Visual bulk and overshadowing	These matters were discussed in the representation submitted for the proposal and have been referenced and expanded upon within Section 6 of this report.
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- 7.4. Following advertising, Council has engaged the applicant to discuss concerns with the proposal, particularly several development and heritage code standards that have not been met.
- 7.5. The applicant has expressed a willingness to make minor alterations to the proposal and is amenable to conditions being included with any recommendation of approval to vary materials and lower boundary walls etc.
- 7.6. Despite this, the proposal as it stands cannot be conditioned or varied to such an extent that it would satisfy all development standards under the zone and the heritage code.
- 7.7. Whilst it is the view of the Development Appraisal Unit that the site can accommodate infill development of this density; the proposed siting and design exacerbates existing overshadowing and is incompatible with the prevailing character of the streetscape.

8. Conclusion

- 8.1. The proposed Partial Demolition, Alterations, Extension and Change of Use to Multiple Dwelling (One Existing and One New) at 80 King Street, Sandy Bay, Tas, 7005 for the reasons outlined in the officer's report is recommended for refusal.

9. Recommendations

That:

Pursuant to the *Hobart Interim Planning Scheme 2015*, the Planning Committee, in accordance with the delegations contained in its terms of reference, refuses the application for Partial Demolition, Alterations, Extension and Change of Use to Multiple Dwelling (One Existing and One New), at 80 King Street, Sandy Bay for the following reasons:

- 9.1. The proposal does not meet the acceptable solution or the performance criterion with respect to Clause 11.4.2 of the *Hobart Interim Planning Scheme 2015* because the length of the wall on the northern boundary results in unreasonable visual bulk and scale and provides an inadequate separation between dwellings.

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- 9.2. The proposal does not meet the acceptable solution or the performance criterion with respect to Clause 11.4.3 of the *Hobart Interim Planning Scheme 2015* because private open space is not orientated to take advantage of sunlight.
- 9.3. The proposal does not meet the acceptable solution or the performance criterion with respect to Clause 11.4.4 of the *Hobart Interim Planning Scheme 2015* because the multiple dwellings are not sited and designed to avoid unreasonable loss of amenity by overshadowing the private open space of other dwellings on the same lot.
- 9.4. The proposal does not meet the acceptable solution or the performance criterion with respect to Clause 13.8.2 of the *Hobart Interim Planning Scheme 2015* because proposed new dwelling, by reason of its height, design and façade treatment would have a detrimental impact upon those features which contribute to the historic cultural significance of the Upper Sandy Bay Heritage Precinct Heritage Precinct (SB2) as set out in table E.13.2 of the *Hobart Interim Planning Scheme 2015*, contrary to E13.8 Development Standards for Heritage Precincts, in particular E13.8.2 – ‘Buildings and Works other than Demolition’ P1.

Dan Burke

Development Appraisal Planner

As a signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

Michael McClenahan

Senior Statutory Planner

As a signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.



PLANNING APPLICATION

Status:

Reference
 PLN-HOB-2024-0478

Address
 80 KING ST SANDY BAY TAS 7005

Titles
 51266/1

Before you start

Before you start your application, you will need to know if you require planning approval or not. If you are unsure if you require a permit, use the [PlanBuild Tasmania Enquiry Service](#) to lodge a request for advice from the relevant Council.

Once your application has been submitted the Council will review your application. If payment has not been made, you will be sent a request for the payment of application fees via PlanBuild Tasmania.

Once the fees have been paid and the Council is satisfied with the information provided, the application will be assessed and you will be notified of the outcome.

If further action is required to assess your application you will receive an email notification containing a task to complete.

Pre-Application Advice

Have you spoken with anyone at Council about this application?

- Yes - enter details below
- No - continue to the next section

If yes, provide the name of the person you contacted

It was over 12 months ago - I am unable to recall the name of specific Council Planner.

Applicant

Name	Email	Phone	Address	Involvement
				Applicant

Owners

Name	Email Address	Address

Certificate(s) of Title

Selected Titles Total Area: 490m²
 51266/1

Owner Notification

Are you the sole owner of the land?

- Yes - continue to the next section
- No - answer question below

If no, have you notified all owners, joint or part owners of your intention to submit this application?

- Yes - enter owner details below
- No - you must notify all owners before proceeding with this application

List all owners, joint or part owners as recorded on the Title documents notified:

Enter the date that the last owner, joint or part owner was notified

Declaration

I declare that all land owners, joint or part owners have been notified of this planning application.

Crown Land Consent

Is Crown Land involved in the proposed use or development?

- Yes - complete question below
- No - continue to the next section - see further information below
- Unsure

If yes, has written Crown Land consent been obtained?

- Yes - upload written consent
- No - application will not be progressed until consent has been provided

General Manager Consent

Is Council-owned or administered land involved in the proposed use or development?

- Yes - complete question below
- No - continue to the next section
- Unsure

If yes, has written consent been obtained from the Council General Manager?

- Yes - upload written consent
- No - application will not be progressed until consent has been provided

Proposed Use or Development

What is the reason for your planning application?

- I want to change how the property is used
- I want to use the property for visitor accommodation
- I want to subdivide
- I want to undertake a new development or alteration
- I want to do a minor boundary adjustment
- I want to put up a sign(s)
- I want to demolish
- I want to do works only
- Other

If your application is to subdivide, please enter the number of proposed lots.

0

If your application is for signage, please enter the number of signs.

Is the property a Tasmanian Heritage Listed Property?

- Yes
- No

Is the application for an EPA Activity under the Environmental Management and Pollution Control Act 1994?

- Yes
- No
- Unsure

Is the proposed use or development permitted or discretionary?

- Permitted
- Discretionary
- Unsure if permitted or discretionary

Provide a full description of the proposed use or development

Proposal for a secondary dwelling and for a renovation to the existing dwelling (within existing footprint).

Will the proposed use or development involve a road reserve?

- Yes - complete the section below
- No - continue to the next section
- Unsure

If yes, enter the address(es) or locations below:

If yes, how will the road reserve be affected?

Value of Works

What is the estimated value of the works?

300000

Supporting Documents

Version	Document Date	Document Type	Description	Prepared By
1	24 Aug 2024	Plans	Drawings to support planning application	Pooleys Drafting Services
1	15 Sept 2024	Property Title Document	80 King Street - FolioPlan-51266-1.pdf	Mr Joshua Graeme-Evans
1	15 Sept 2024	Property Title Document	80 King Street - FolioText-51266-1.pdf	Mr Joshua Graeme-Evans

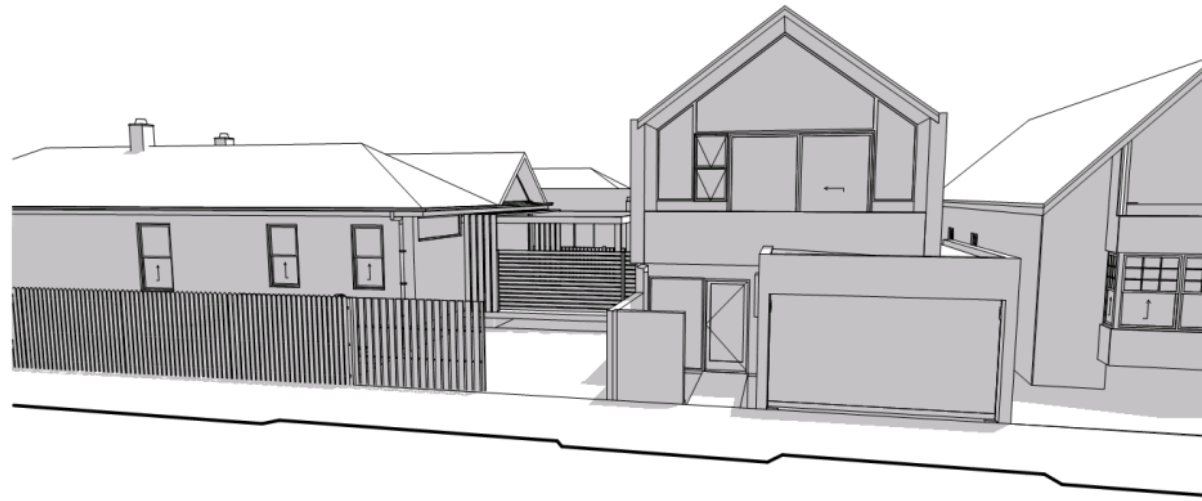
Next steps

When you have completed all the necessary fields and attached all required documents to support your application, click on the green 'Save & Submit' button at the top right of this form.

Once submitted, the Council will review your application. A request for the payment of application fees will be sent to you via PlanBuild Tasmania.

Once the fees have been paid and the Council is satisfied with the information provided, the application will be assessed and you will be notified of the outcome.

If further action is required to assess your application you will receive an email notification from PlanBuild which will tell you what you need to provide to continue the application.



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PROPOSED MULTIPLE-DWELLINGS

80 KING ST, SANDY BAY, TAS 7005

CLIENT: JOSHUA GRAEME-EVANS

STAGE: DEVELOPMENT APPLICATION

COUNCIL: HOBART CC

TITLE REF: 51266 / 1

JOB No.: 049

AREA SCHEDULE

EXISTING RESIDENCE (INCL. VERANDA)	166m ²
EXISTING GARAGE	22m ²
STORE / WASH HOUSE	14m ²
EXISTING CONC. SURFACE(S)	76.43m ²
TOTAL EXISTING IMPERVIOUS AREA	278.43m²

PROPOSED AREAS	
PROPOSED UNIT 1	166m ²
PROPOSED UNIT 2 (FOOTPRINT ONLY)	73m ²
PROPOSED CONC. SURFACE(S)	58.86m ²
TOTAL NEW IMPERVIOUS AREA	303.86m²

SITE AREA	494.2m ²
EXISTING SITE COVERAGE (part 11.4.3 A1)	41%
PROPOSED SITE COVERAGE (part 11.4.3 A1)	50.6%

SITE ASSESSMENT

ZONE: INNER RESIDENTIAL

OVERLAY(S): HERITAGE PRECINCT CODE (116.HER)

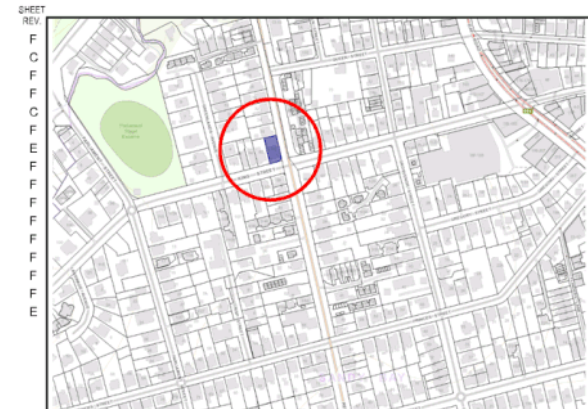
- WIND REGION: A
- SOIL CLASS: -
- TERRAIN CATEGORY: -
- SHIELDING CLASS: -
- TOPOGRAPHIC CLASS: -
- WIND CLASS: -

OTHER SUPPORTING DOCUMENTATION

PLANNING REPORT: E3 PLANNING (27.04.2022)

SHEET LIST

No.	SHEET NAME
A-01	COVER SHEET
A-02	EXISTING SITE PLAN
A-03	SITE PLAN
A-04	SITE DRAINAGE PLAN
A-05	EXISTING GROUND FLOOR PLAN
A-06	PROPOSED G-FLOOR PLAN - U1
A-07	PROPOSED G-FLOOR PLAN - U2
A-08	PROPOSED F-FLOOR PLAN - U2
A-09	PROPOSED UNIT 1 ELEVATIONS
A-10	PROPOSED UNIT 1 ELEVATIONS
A-11	PROPOSED UNIT 2 ELEVATIONS
A-12	PROPOSED UNIT 2 ELEVATIONS
A-13	3D PERSPECTIVE VIEWS
A-14	SHADOW DIAGRAMS - 21 JUNE
A-15	SHADOW DIAGRAMS - 21 - DECEMBER
A-16	WINDOW PRIVACY FOR NEIGHBOURS POS



SITE LOCATION

REV	AMENDMENTS	DATE	SHEET	DRW
F	CLIENT REQUESTED AMENDMENTS INCLUDING - U2 ROOF PITCH, U2 FINISHES, U1 DECK	26.02.2024	A01, 02, 04, 06, 08-15	CDP
E	SEWER UPDATES - PARKING UPDATES	07.05.2024	A03, 04, 05, 11, 16	CDP
D	TASWATER RFI - SEWER UPDATES	18.07.2024	A03 & A04	CDP
C	ATTEND COUNCIL RFI - ISSUE FOR APPROVAL	29.01.2024	ALL	CDP
B	ATTEND COUNCIL RFI - CONSULT COORD	04.12.2024	ALL	CDP
A	DEVELOPMENT APPLICATION - INITIAL ISSUE	24.08.2024	ALL	CDP

REVISION SCHEDULE

PH: 0417858537
 E: chrispooley0@gmail.com
 BUILDING DESIGNER
 ACCREDITATION: 966089039



AREA SCHEDULE

EXISTING RESIDENCE (INCL. VERANDA)	166m ²
EXISTING GARAGE	22m ²
STORE / WASH HOUSE	14m ²
EXISTING CONC. SURFACE(S)	76.43m ²
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SITE AREA	
SITE AREA	484.2m ²
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PROPOSED SITE COVERAGE (part 11.4.3 A1)	50.6%

SITE ASSESSMENT
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 OVERLAY(S): HERITAGE PRECINCT CODE (116.HER)
 WIND REGION: A
 SOIL CLASS:
 TERRAIN CATEGORY:
 SHIELDING CLASS:
 TOPOGRAPHIC CLASS:
 WIND CLASS:

OTHER SUPPORTING DOCUMENTATION
 PLANNING REPORT: E3 PLANNING (27.04.2022)

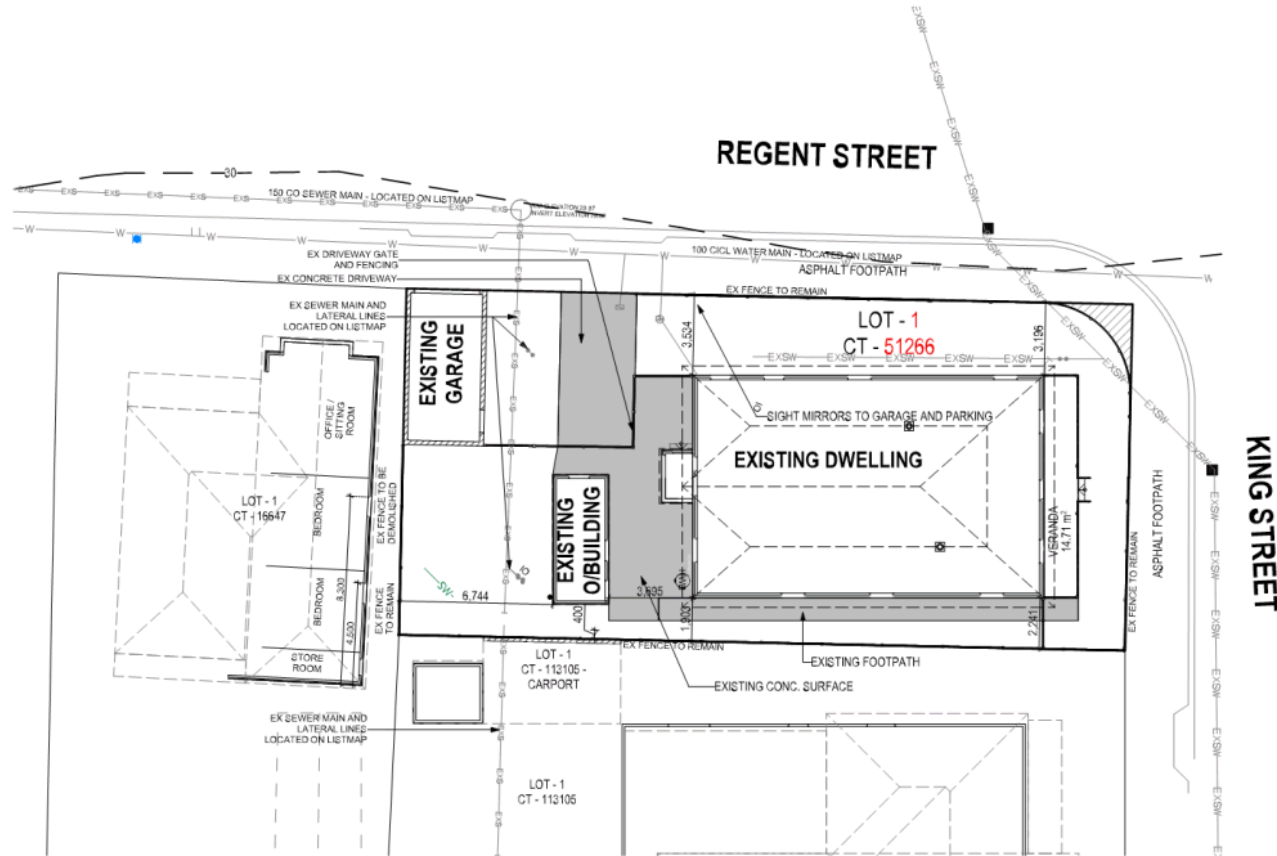
LEGEND

- CONCRETE DRIVEWAY / PARKING
- PRIVATE OUTDOOR SPACE ALLOCATION UNITS 1 & 2
- BOUNDARY LINE
- PALING FENCE
- 150 TRAFFICABLE POLYCRRETE GRATED TRENCH - CONNECTED TO PIT
- STORMWATER PIT - CONNECTED TO SW
- SEWER LOT CONNECTION
- STORM WATER (SW) LOT CONNECTION
- VEHICLE PARKING SPACE
- FIRE PLUG
- WATER METER

NOTES:
 IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONDUCT A DIAL BEFORE YOU DIG SEARCH. THE CONTRACTOR IS TO LOCATE ALL SERVICES ON SITE PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION, EXCAVATION OR CONSTRUCTION WORKS. THE DESIGNER TAKES NO RESPONSIBILITY FOR DAMAGE TO ANY SERVICES WHETHER THEY BE LOCATED, OR NOT ON THESE PLANS. MATERIALS REMOVED FROM SITE MUST BE DISPOSED OF AS PER COUNCIL REGULATIONS.



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 BOUNDARY LINES, CONTOUR LINES AND SITE LEVELS ARE OBTAINED FROM A MIXTURE OF: ON SITE MEASUREMENTS & GPS DATA (ACCURACY TO ±3m) BY THE BUILDING DESIGNER, TITLE DOCUMENTS, AND FREE ONLINE LIDAR DATA, FOR THE PURPOSES OF PREPARING THIS DOCUMENTATION. ANY INTERESTED PARTY IS TO OBTAIN THEIR OWN CONFORMATION MEASUREMENTS ON SITE PRIOR TO UNDERTAKING ANY WORKS OR ASSESSMENTS. IF MORE ACCURATE MEASUREMENTS ARE REQUIRED, THE INTERESTED PARTY IS TO OBTAIN A SITE DETAIL AND FEATURE SURVEY, BY A REGISTERED LAND SURVEYOR AT THEIR OWN EXPENSE.



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PDS PH: 0417858637
 BUILDING DESIGNER
 POOLEYS DRAFTING SERVICES ACCREDITATION: #69038039
 BUILDING BEING CONSTRUCTED IN A BAL-NA AREA (RESTRICTIONS TO, OR ADDITIONAL CONSTRUCTION METHODS/ MATERIALS MAY APPLY - REFER TO NOTES)

EXISTING SITE PLAN	
PROPOSED MULTIPLE-DWELLINGS	JOSHUA GRAEME-EVANS
DEVELOPMENT APPLICATION	80 KING ST, SANDY BAY, TAS 7005 CT: 51266 LOT: 1

REV	AMENDMENTS	DATE	SHEET	DRW
F	CLIENT REQUESTED AMENDMENTS INCLUDING - U2 ROOF PITCH, U2 FINISHES, U1 DECK	26.02.2026	A01_05_04_06_08-15	GDP
E	SEWER UPDATES - PARKING UPDATES	07.06.2025	A02_04_00_11_16	GDP
D	ASWATER RPI - SEWER UPDATES	18.02.2025	AN_4_A01	GDP
C	ATTEND COUNCIL RPI - ISSUE FOR APPROVAL	20.01.2025	ALL	GDP
B	ATTEND COUNCIL RPI - CONSULT COORD	04.12.2024	ALL	GDP
A	DEVELOPMENT APPLICATION - INITIAL ISSUE	24.08.2024	ALL	GDP



ALL LAYOUTS ARE TO BE PRINTED IN COLOUR

LAYOUT REV: C
 JOB No: 049
 SCALES(s) @ A3: 1:200
 SHEET No: A-02
 No. OF SHEETS: 16

AREA SCHEDULE

EXISTING RESIDENCE (INCL. VERANDA)	166m ²
EXISTING GARAGE	22m ²
STORE / WASH HOUSE	14m ²
EXISTING CONC. SURFACE(S)	76.43m ²
TOTAL EXISTING IMPERVIOUS AREA	278.43m²
PROPOSED AREAS	
PROPOSED UNIT 1	166m ²
PROPOSED UNIT 2 (FOOTPRINT ONLY)	70m ²
PROPOSED CONC. SURFACE(S)	58.86m ²
TOTAL NEW IMPERVIOUS AREA	303.86m²
SITE AREA 484.2m ²	
EXISTING SITE COVERAGE (part 11.4.3 A1)	41%
PROPOSED SITE COVERAGE (part 11.4.3 A1)	50.6%

SITE ASSESSMENT
 ZONE: INNER RESIDENTIAL
 OVERLAY(S): HERITAGE PRECINCT CODE (116.HER)
 WIND REGION: A
 SOIL CLASS: .
 TERRAIN CATEGORY: .
 SHIELDING CLASS: .
 TOPOGRAPHIC CLASS: .
 WIND CLASS: .

OTHER SUPPORTING DOCUMENTATION
 PLANNING REPORT: E3 PLANNING (27.04.2022)

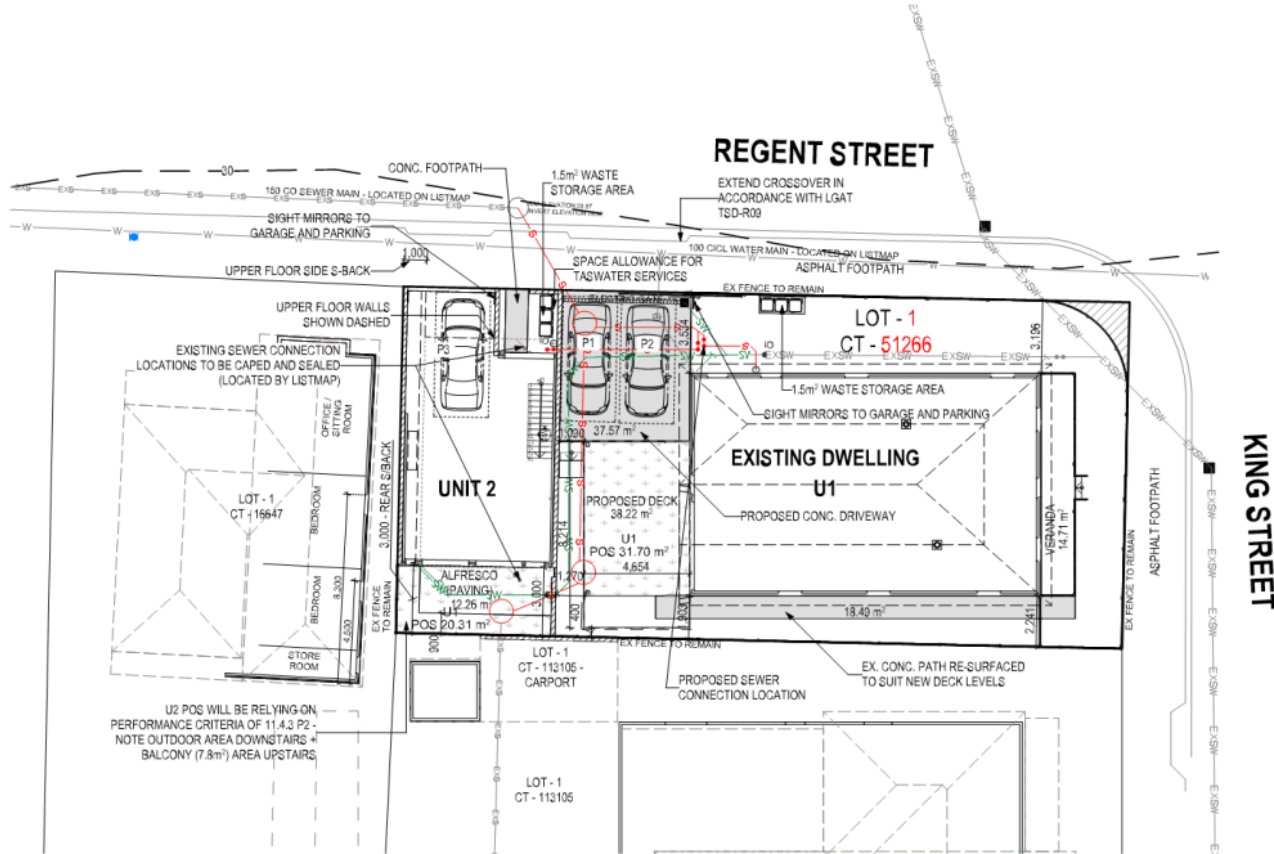
LEGEND

- CONCRETE DRIVEWAY / PARKING
- PRIVATE OUTDOOR SPACE ALLOCATION UNITS 1 & 2
- BOUNDARY LINE
- PALING FENCE
- 150 TRAFFICABLE POLYCRETE GRATED TRENCH - CONNECTED TO PIT
- STORMWATER PIT - CONNECTED TO SW
- SEWER LOT CONNECTION
- STORM WATER (SW) LOT CONNECTION
- VEHICLE PARKING SPACE
- FIRE PLUG
- WATER METER

NOTES:
 IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONDUCT A DIAL BEFORE YOU DIG SEARCH. THE CONTRACTOR IS TO LOCATE ALL SERVICES ON SITE PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION, EXCAVATION OR CONSTRUCTION WORKS. THE DESIGNER TAKES NO RESPONSIBILITY FOR DAMAGE TO ANY SERVICES WHETHER THEY BE LOCATED, OR NOT ON THESE PLANS. MATERIALS REMOVED FROM SITE MUST BE DISPOSED OF AS PER COUNCIL REGULATIONS.



NOTE RE SITE LEVELS AND BOUNDARY LINES:
 BOUNDARY LINES, CONTOUR LINES AND SITE LEVELS ARE OBTAINED FROM A MIXTURE OF: ON SITE MEASUREMENTS & GPS DATA (ACCURACY TO ±3m) BY THE BUILDING DESIGNER, TITLE DOCUMENTS, AND FREE ONLINE LIDAR DATA, FOR THE PURPOSES OF PREPARING THIS DOCUMENTATION. ANY INTERESTED PARTY IS TO OBTAIN THEIR OWN CONFORMATION MEASUREMENTS ON SITE PRIOR TO UNDERTAKING ANY WORKS OR ASSESSMENTS. IF MORE ACCURATE MEASUREMENTS ARE REQUIRED, THE INTERESTED PARTY IS TO OBTAIN A SITE DETAIL AND FEATURE SURVEY, BY A REGISTERED LAND SURVEYOR AT THEIR OWN EXPENSE.



PDS PH: 0417858637
 BUILDING DESIGNER
 POOLEYS DRAFTING SERVICES ACCREDITATION: 899398039
 BUILDING BEING CONSTRUCTED IN A BAL-NA AREA (RESTRICTIONS TO, OR ADDITIONAL CONSTRUCTION METHODS/ MATERIALS MAY APPLY - REFER TO NOTES)

SITE PLAN	
PROPOSED MULTIPLE-DWELLINGS	JOSHUA GRAEME-EVANS
DEVELOPMENT APPLICATION	80 KING ST, SANDY BAY, TAS 7005 CT: 51266 LOT: 1

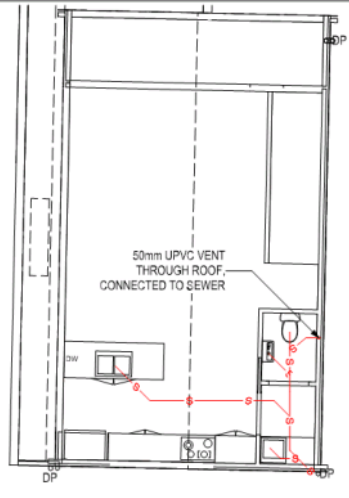
REV	AMENDMENTS	DATE	SHEET	DRW
F	CLIENT REQUESTED AMENDMENTS INCLUDING - U2 ROOF PITCH, U2 FINISHES, U1 DECK	26.02.2026	A01_05_04_06_08-15	GDP
E	SEWER UPDATED - PARKING UPDATES	07.05.2025	A02_04_00_11_18	GDP
D	TASWATER RFI - SEWER UPDATES	18.02.2025	AN_4_A01	GDP
C	ATTEND COUNCIL RFI - ISSUE FOR APPROVAL	20.01.2024	ALL	GDP
S	ATTEND COUNCIL RFI - CONSISTENT COORD	04.12.2024	ALL	GDP
A	DEVELOPMENT APPLICATION - INITIAL ISSUE	24.08.2024	ALL	GDP

ALL LAYOUTS ARE TO BE PRINTED IN COLOUR

LAYOUT REV: F
 JOB No: 049
 SCALES(s) @ A3: 1:200
 SHEET No: A-03
 No. OF SHEETS: 16

GENERAL PLUMBING NOTES:

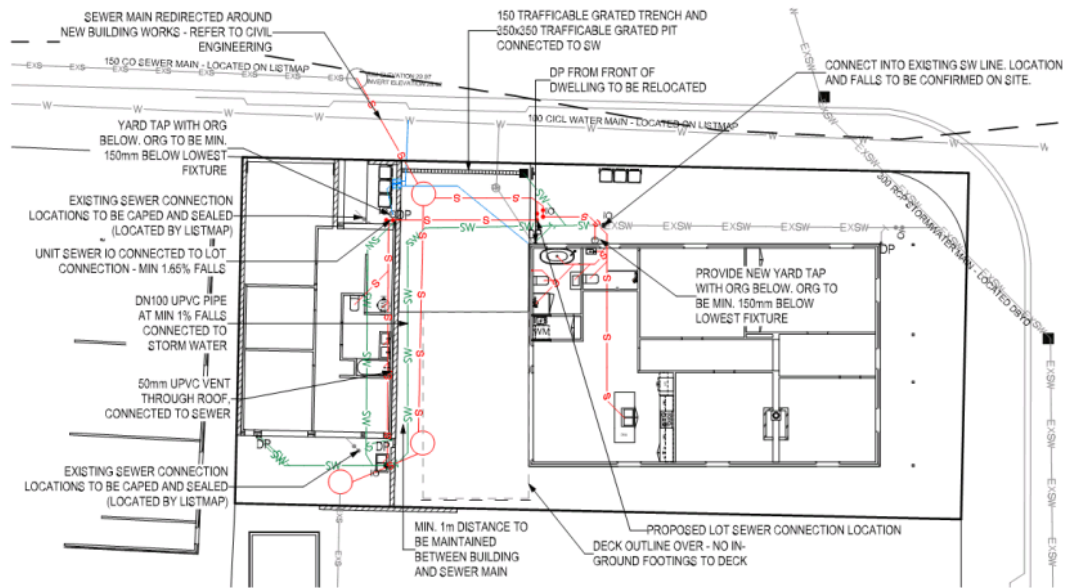
1. PLUMBER TO CONFIRM THE EXISTING ON-SITE SERVICES PRIOR TO COMMENCEMENT OF ANY EXCAVATIONS.
2. ALL PLUMBING WORKS TO BE IN ACCORDANCE WITH COUNCIL REGULATIONS, THE DIRECTORS DETERMINATION & AS3500.
3. REFER TO DESIGNERS DRAWINGS AND FIXTURE AND EQUIPMENT TECHNICAL SPECIFICATIONS FOR PIPEWORK CONNECTIONS.
4. MAKE GOOD ALL DISTURBED SURFACES TO MATCH EXISTING.
5. REMOVE ALL EXCESS SOIL AND SURPLUS MATERIALS FROM THE SITE.
6. ALL PLUMBING TO BE INSTALLED BY A LICENCED PLUMBER.
7. INSTALL INSPECTION OPENINGS AT MAJOR BENDS AND ALL LOW POINTS OF DOWNPIPES.



DRAINAGE UPPER FLOOR LVL 1:100

NOTE RE SERVICE LOCATIONS:
 SERVICE LOCATIONS (INCLUDING BUT NOT LIMITED TO, SEWER MAINS; SEWER CONNECTION POINT; WATER METER; WATER LATERAL LINES; STORM WATER MAINS; STORM WATER CONNECTION POINT; POWER AND COMMUNICATIONS), SERVICE TYPES AND SIZES AND SERVICE LEVELS AND INVERT LEVELS HAVE BEEN OBTAINED FROM A MIXTURE OF: DIAL BEFORE YOU DIG SEARCH RESULTS, LISTMAP DATA AND ON SITE MEASUREMENTS TAKEN BY THE DRAFTSPERSON FOR THE PURPOSES OF PREPARING THIS DOCUMENTATION. ANY INTERESTED PARTY IS TO OBTAIN THEIR OWN CONFORMATION MEASUREMENTS ON SITE PRIOR TO UNDERTAKING ANY WORKS OR ASSESSMENTS. IF MORE ACCURATE MEASUREMENTS ARE REQUIRED, THE INTERESTED PARTY IS TO OBTAIN A SITE DETAIL AND FEATURE SURVEY, AND SERVICE LOCATION SURVEY, BY A REGISTERED LAND SURVEYOR, AND OR SERVICE LOCATOR AT THEIR OWN EXPENSE.

LEGEND		PIPE / FIXTURE SIZE (U.N.O.)
CDP SDP	CHARGED DOWNPIPE / STANDARD DOWNPIPE	DN80
⊕	YARD TAP WITH ORG	DN100 (ORG)
○	FLOOR WASTE	DN80
BTH	BATH	DN60
VAN	VANITY	DN40
B	BASIN	DN40
SHR	SHOWER	DN60
TUB	LAUNDRY TUB	DN60
S	SINK	DN60
WC	TOILET	DN100
VENT	50mm UPVC VENT TO OUTSIDE	DN60
— W —	WATER MAIN / WATER LATERAL LINE	
— EXSW —	EXISTING SW LINE	
— SW —	STORMWATER LINE MIN. 1.0% GRADE	DN100
— S —	SEWER LINE MIN. 1.65% GRADE	DN100
— EXS —	EXISTING SEWER LINE	
○	DROPPER BETWEEN LEVELS	DN100
● IO	INSPECTION OPENINGS	DN100
■	GRATED PIT	450x450
■	FIRE PLUG	
■	WATER METER	
IO	SEWER UNIT AND LOT CONNECTION	
IO	STORM WATER UNIT & LOT CONNECTION	



SITE DRAINAGE PLAN 1:200

ALL LAYOUTS ARE TO BE PRINTED IN COLOUR

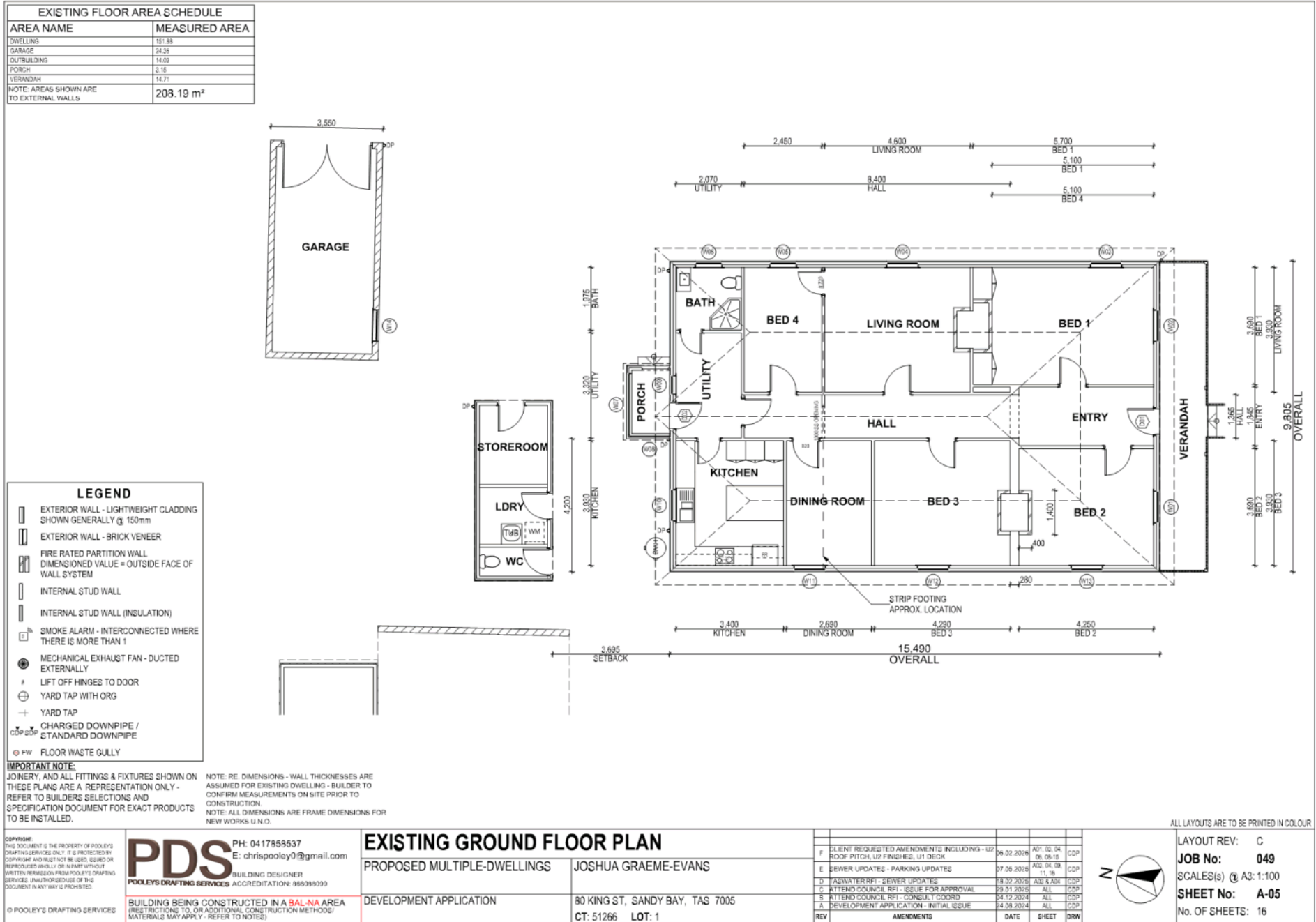
PDS PH: 0417858637
 E: chrispooley0@gmail.com
 BUILDING DESIGNER
 POOLEYS DRAFTING SERVICES ACCREDITATION: 899038039

BUILDING BEING CONSTRUCTED IN A BAL-NA AREA
 (RESTRICTIONS TO, OR ADDITIONAL CONSTRUCTION METHODS/
 MATERIALS MAY APPLY - REFER TO NOTES)

SITE DRAINAGE PLAN	
PROPOSED MULTIPLE-DWELLINGS	JOSHUA GRAEME-EVANS
DEVELOPMENT APPLICATION	80 KING ST, SANDY BAY, TAS 7005 CT: 51266 LOT: 1

REV	AMENDMENTS	DATE	SHEET	DRW
F	CLIENT REQUESTED AMENDMENTS INCLUDING - U2 ROOF PITCH, U2 FINISHES, U1 DECK	26.02.2026	A01_05_04_06_08-15	CDP
E	SEWER UPDATES - PARKING UPDATES	07.05.2025	A02_04_00_11_18	CDP
D	ASWATER RFI - SEWER UPDATES	18.02.2025	AN1_4_00	CDP
C	ATTEND COUNCIL RFI - ISSUE FOR APPROVAL	20.01.2025	ALL	CDP
S	ATTEND COUNCIL RFI - CONSULT COORD	04.12.2024	ALL	CDP
A	DEVELOPMENT APPLICATION - INITIAL ISSUE	24.08.2024	ALL	CDP

LAYOUT REV: F
 JOB No: 049
 SCALE(s) @ A3: 1:200, 1:100
 SHEET No: A-04
 No. OF SHEETS: 16

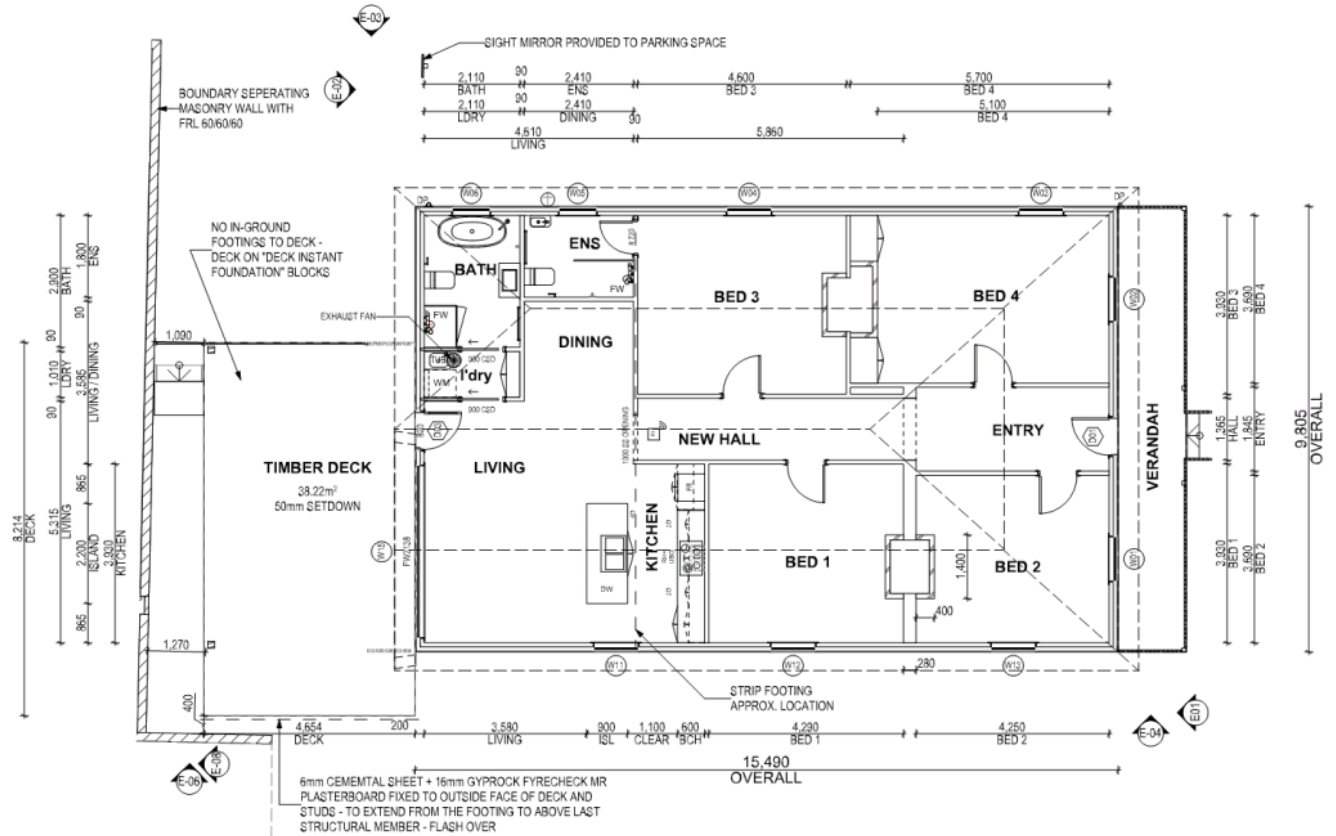


PROPOSED FLOOR AREAS	
AREA NAME	MEASURED AREA
UNIT 1 DECK	38.22
UNIT 1 DWELLING	151.88
UNIT 1 VERANDAH	14.71
UNIT 2 ALFRESCO	11.39
UNIT 2 BALCONY	8.82
UNIT 2 FIT DWELLINGS	50.22
UNIT 2 GARAGE	21.22
UNIT 2 GF DWELLINGS	58.49
NOTE: AREAS SHOWN ARE TO EXTERNAL WALLS	355.36 m ²

LEGEND	
	EXTERIOR WALL - LIGHTWEIGHT CLADDING SHOWN GENERALLY @ 150mm
	EXTERIOR WALL - BRICK VENEER
	FIRE RATED PARTITION WALL DIMENSIONED VALUE = OUTSIDE FACE OF WALL SYSTEM
	INTERNAL STUD WALL
	INTERNAL STUD WALL (INSULATION)
	SMOKE ALARM - INTERCONNECTED WHERE THERE IS MORE THAN 1
	MECHANICAL EXHAUST FAN - DUCTED EXTERNALLY
	LIFT OFF HINGES TO DOOR
	YARD TAP WITH ORG
	YARD TAP
	CHARGED DOWNPIPE / STANDARD DOWNPIPE
	FLOOR WASTE GULLY

IMPORTANT NOTE:
JOINERY, AND ALL FITTINGS & FIXTURES SHOWN ON THESE PLANS ARE A REPRESENTATION ONLY - REFER TO BUILDERS SELECTIONS AND SPECIFICATION DOCUMENT FOR EXACT PRODUCTS TO BE INSTALLED.

NOTE: RE: DIMENSIONS - WALL THICKNESSES ARE ASSUMED FOR EXISTING DWELLINGS - BUILDER TO CONFIRM MEASUREMENTS ON SITE PRIOR TO CONSTRUCTION.
NOTE: ALL DIMENSIONS ARE FRAME DIMENSIONS FOR NEW WORKS U.N.O.



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PDS PH: 0417858537
E: chrispooley0@gmail.com
BUILDING DESIGNER
POOLEYS DRAFTING SERVICES ACCREDITATION: #69398939

BUILDING BEING CONSTRUCTED IN A BAL-NA AREA
(RESTRICTIONS TO, OR ADDITIONAL CONSTRUCTION METHODS/ MATERIALS MAY APPLY - REFER TO NOTES)

PROPOSED G-FLOOR PLAN - U1

PROPOSED MULTIPLE-DWELLINGS	JOSHUA GRAEME-EVANS
DEVELOPMENT APPLICATION	80 KING ST, SANDY BAY, TAS 7005 CT: 51266 LOT: 1

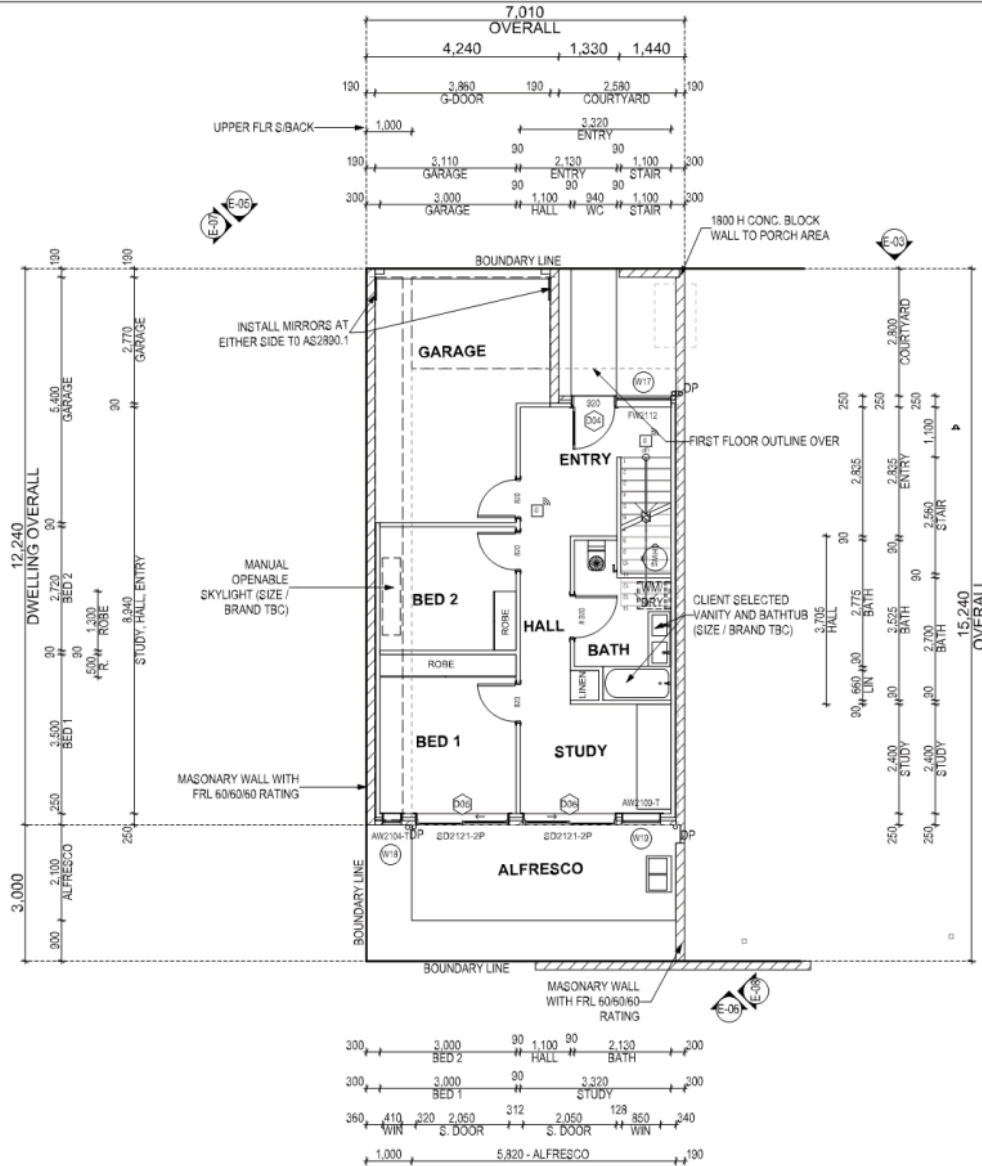
REV	AMENDMENTS	DATE	SHEET	DRW
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LAYOUT REV: F
JOB No: 049
SCALE(S) @ A3: 1:100
SHEET No: A-06
No. OF SHEETS: 16

PROPOSED FLOOR AREAS	
AREA NAME	MEASURED AREA
UNIT 1 DECK	38.22
UNIT 1 DWELLING	151.88
UNIT 1 VERANDAH	14.71
UNIT 2 ALFRESCO	11.99
UNIT 2 BALCONY	8.62
UNIT 2 FIT DWELLINGS	50.22
UNIT 2 GARAGE	21.23
UNIT 2 GF DWELLING	58.49
NOTE: AREAS SHOWN ARE TO EXTERNAL WALLS	355.36 m ²



LEGEND	
	EXTERIOR WALL - LIGHTWEIGHT CLADDING SHOWN GENERALLY @ 150mm
	EXTERIOR WALL - BRICK VENEER
	FIRE RATED PARTITION WALL DIMENSIONED VALUE = OUTSIDE FACE OF WALL SYSTEM
	INTERNAL STUD WALL
	INTERNAL STUD WALL (INSULATION)
	SMOKE ALARM - INTERCONNECTED WHERE THERE IS MORE THAN 1
	MECHANICAL EXHAUST FAN - DUCTED EXTERNALLY
	LIFT OFF HINGES TO DOOR
	YARD TAP WITH ORG
	YARD TAP
	CHARGED DOWNPIPE / STANDARD DOWNPIPE
	FLOOR WASTE GULLY

IMPORTANT NOTE:
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NOTE: RE. DIMENSIONS - WALL THICKNESSES ARE ASSUMED FOR EXISTING DWELLINGS - BUILDER TO CONFIRM MEASUREMENTS ON SITE PRIOR TO CONSTRUCTION.
 NOTE: ALL DIMENSIONS ARE FRAME DIMENSIONS FOR NEW WORKS U.N.O.

PDS PH: 0417858537
 POOLEYS DRAFTING SERVICES E: chrispooley0@gmail.com
 BUILDING DESIGNER ACCREDITATION: #69398399

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PROPOSED G-FLOOR PLAN - U2

PROPOSED MULTIPLE-DWELLINGS JOSHUA GRAEME-EVANS

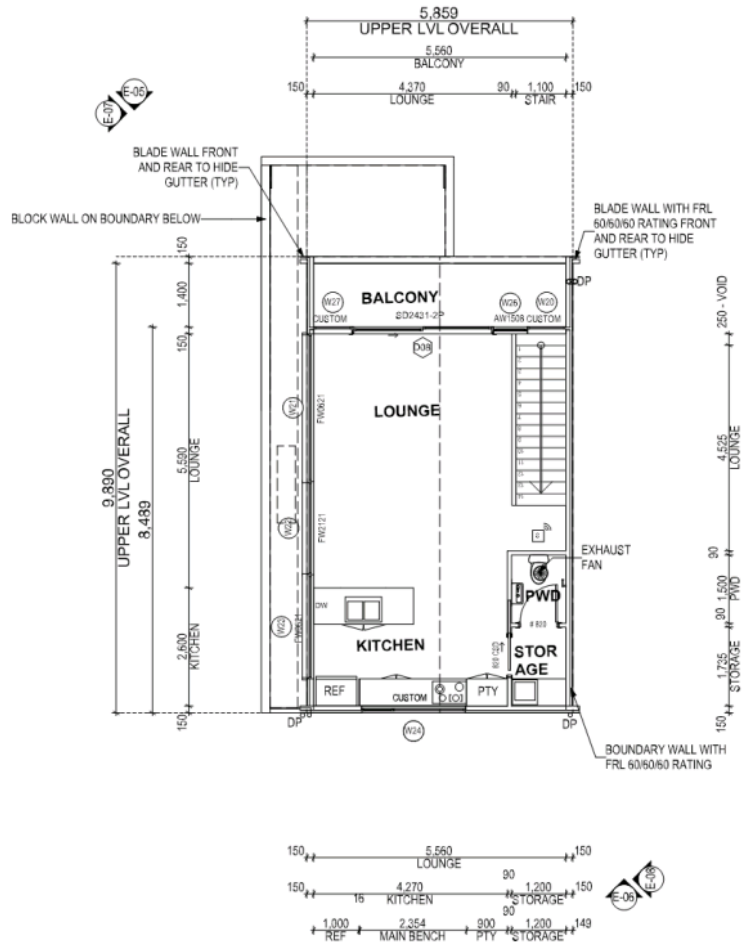
DEVELOPMENT APPLICATION 80 KING ST, SANDY BAY, TAS 7005
 CT: 51266 LOT: 1

REV	AMENDMENTS	DATE	SHEET	DRW
F	CLIENT REQUESTED AMENDMENTS INCLUDING - U2 ROOF PITCH, U2 FINISHES, U1 DECK	26.02.2026	A01_05_04	CDP
E	SEWER UPDATES - PARKING UPDATES	07.05.2025	A02_04_00	CDP
D	ASWATER RFI - SEWER UPDATES	18.02.2025	A03_04_00	CDP
C	ATTEND COUNCIL RFI - ISSUE FOR APPROVAL	30.01.2025	ALL	CDP
S	ATTEND COUNCIL RFI - CONSULT COORD	04.12.2024	ALL	CDP
A	DEVELOPMENT APPLICATION - INITIAL ISSUE	24.08.2024	ALL	CDP

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LAYOUT REV: E
 JOB No: 049
 SCALES(s) @ A3: 1:100
 SHEET No: A-07
 No. OF SHEETS: 16

PROPOSED FLOOR AREAS	
AREA NAME	MEASURED AREA
UNIT 1 DECK	38.22
UNIT 1 DWELLING	151.88
UNIT 1 VERANDAH	14.71
UNIT 2 ALFRESCO	11.30
UNIT 2 BALCONY	8.62
UNIT 2 FF DWELLINGS	50.22
UNIT 2 GARAGE	21.23
UNIT 2 GF DWELLINGS	58.40
NOTE: AREAS SHOWN ARE TO EXTERNAL WALLS	355.36 m ²



LEGEND	
	EXTERIOR WALL - LIGHTWEIGHT CLADDING SHOWN GENERALLY @ 150mm
	EXTERIOR WALL - BRICK VENEER
	FIRE RATED PARTITION WALL DIMENSIONED VALUE = OUTSIDE FACE OF WALL SYSTEM
	INTERNAL STUD WALL
	INTERNAL STUD WALL (INSULATION)
	SMOKE ALARM - INTERCONNECTED WHERE THERE IS MORE THAN 1
	MECHANICAL EXHAUST FAN - DUCTED EXTERNALLY
	LIFT OFF HINGES TO DOOR
	YARD TAP WITH ORG
	YARD TAP
	CHARGED DOWNPIPE / STANDARD DOWNPIPE
	FLOOR WASTE GULLY

IMPORTANT NOTE:
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PDS PH: 041785857
 POOLEYS DRAFTING SERVICES E: chrispooley0@gmail.com
 BUILDING DESIGNER ACCREDITATION: 899038039

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PROPOSED F-FLOOR PLAN - U2

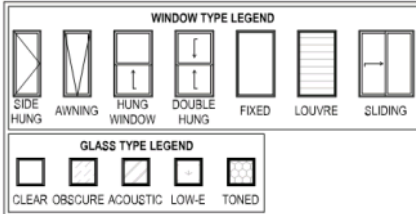
PROPOSED MULTIPLE-DWELLINGS JOSHUA GRAEME-EVANS

DEVELOPMENT APPLICATION 80 KING ST, SANDY BAY, TAS 7005
 CT: 51266 LOT: 1

REV	AMENDMENTS	DATE	SHEET	DRW
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LAYOUT REV: F
 JOB No: 049
 SCALES(s) @ A3: 1:100
 SHEET No: A-08
 No. OF SHEETS: 16



EXTERNAL FINISHES SCHEDULE

CODE	SURFACE / MATERIAL	FINISH COLOUR
A	CONCRETE BLOCKWORK	WHITE (E.G. PEARL ECO)
B	UNIT 2 ROOF	COLORBOND SASALT
C	FRONT GATE / POWDER COATED ALUMINIUM	COLORBOND DOVER WHITE
D	DECK SHADING / POWDER COATED ALUMINIUM (UNIT 1)	COLORBOND DOVER WHITE
E	WINDOW & DOOR FRAMES / ALUMINIUM	COLORBOND SASALT MATT
F	UNIT 1 REAR WALL - EX. GLADDING RETAINED OR WEATHERBOARDS TO MATCH EXISTING PROVIDED	WHITE TO MATCH EXISTING WALLS
G	UNIT 1 NEW ROOF METAL ROOFING, FLASHINGS AND GUTTERING	PROFILE AND COLOUR TO MATCH EXISTING
H	DOWNPIPE & RAIN HEAD (UNIT 2)	TO MATCH WALLS
I	UNIT 2 GUTTERING	COLORBOND SASALT MATT
J	UNIT 2 FLASHING	COLORBOND DOVER WHITE
K	UNIT 2 WALLS - JAMES HARDIE AXON FIBRE CEMENT VERTICAL LAY (OR SIMILAR)	COLORBOND DOVER WHITE PAWTD
L	UNIT 2 GARAGE DOOR - METAL DOOR BY MANUFACTURER	COLORBOND SASALT

NOTE: ONLY NEW WORKING SHOWN - EXISTING SURFACES NOT NOTED



E-01 UNIT 1 - FRONT (SOUTH) ELEVATION 1:100



E-02 UNIT 1 - REAR (NORTH) ELEVATION 1:100

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POOLEY'S DRAFTING SERVICES
PH: 0417858537
E: chrispooley0@gmail.com
BUILDING DESIGNER
ACCREDITATION: 8990388039

PDS
POOLEY'S DRAFTING SERVICES
BUILDING BEING CONSTRUCTED IN A BAL-NA AREA (RESTRICTIONS TO, OR ADDITIONAL CONSTRUCTION METHODS/ MATERIALS MAY APPLY - REFER TO NOTES)

PROPOSED UNIT 1 ELEVATIONS

PROPOSED MULTIPLE-DWELLINGS	JOSHUA GRAEME-EVANS
DEVELOPMENT APPLICATION	80 KING ST, SANDY BAY, TAS 7005 CT: 51266 LOT: 1

REV	AMENDMENTS	DATE	SHEET	DRW
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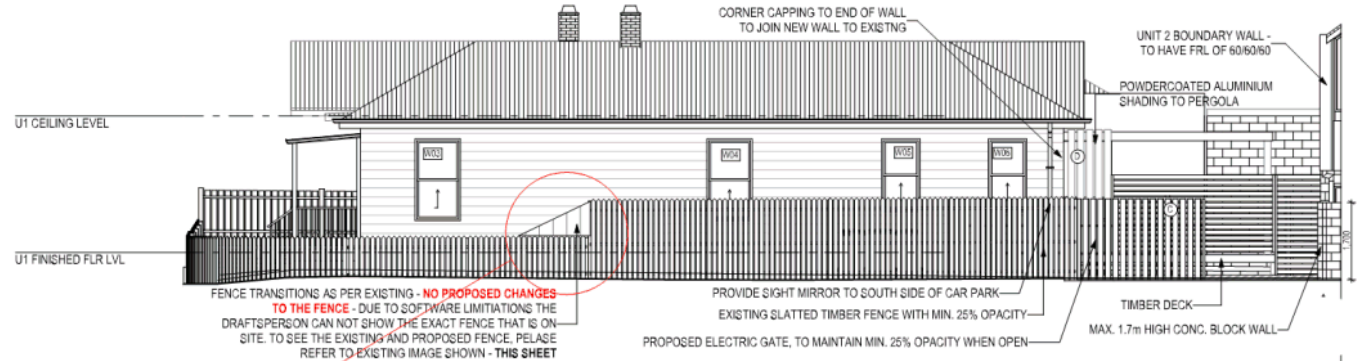
LAYOUT REV: F
JOB No: 049
SCALE(S) @ A3: 1:100
SHEET No: A-09
No. OF SHEETS: 16

WINDOW TYPE LEGEND

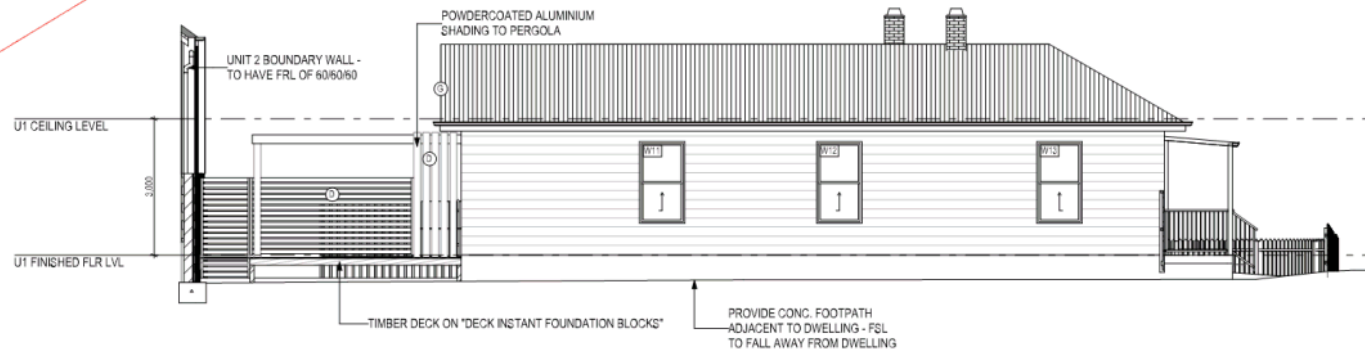
GLASS TYPE LEGEND

EXTERNAL FINISHES SCHEDULE

CODE	SURFACE / MATERIAL	FINISH COLOUR
A	CONCRETE BLOCKWORK	WHITE (E.G. PEARL ECO)
B	UNIT 2 ROOF	COLORBOND BASALT
C	FRONT GATE / POWDER COATED ALUMINIUM	COLORBOND DOVER WHITE
D	DECK SHADING / POWDER COATED ALUMINIUM (UNIT 1)	COLORBOND DOVER WHITE
E	WINDOW & DOOR FRAMES / ALUMINIUM	COLORBOND BASALT MATT
F	UNIT 1 REAR WALL - EX. GLADDING RETAINED OR WEATHERBOARDS TO MATCH EXISTING PROVIDED	WHITE TO MATCH EXISTING WALLS
G	UNIT 1 NEW ROOF METAL ROOFING, FLASHINGS AND GUTTERING	PROFILE AND COLOUR TO MATCH EXISTING
H	DOWNPIPE & RAIN HEAD (UNIT 2)	TO MATCH WALLS
I	UNIT 2 GUTTERING	COLORBOND BASALT MATT
J	UNIT 2 FLASHING	COLORBOND DOVER WHITE
K	UNIT 2 WALLS - JAMES HARDIE AXON FIBRE CEMENT VERTICAL LAY (OR SIMILAR)	COLORBOND DOVER WHITE PAWTE
L	UNIT 2 GARAGE DOOR - METAL DOOR BY MANUFACTURER	COLORBOND BASALT



E-03 UNIT 1 - EAST ELEVATION 1:100



E-04 UNIT 1 - WEST ELEVATION 1:100

PDS PH: 0417858537
 E: chrispooley0@gmail.com
 BUILDING DESIGNER
 POOLEYS DRAFTING SERVICES ACCREDITATION: 899038039

BUILDING BEING CONSTRUCTED IN A BAL-NA AREA
 (RESTRICTIONS TO, OR ADDITIONAL CONSTRUCTION METHODS/
 MATERIALS MAY APPLY - REFER TO NOTES)

PROPOSED UNIT 1 ELEVATIONS

PROPOSED MULTIPLE-DWELLINGS	JOSHUA GRAEME-EVANS
DEVELOPMENT APPLICATION	80 KING ST, SANDY BAY, TAS 7005 CT: 51266 LOT: 1

REV	AMENDMENTS	DATE	SHEET	DRW
F	CLIENT REQUESTED AMENDMENTS INCLUDING - U2 ROOF PITCH, U2 FINISHES, U1 DECK	26.02.2026	A01: 05_04_06_08-15	GDP
E	SEWER UPDATES - PARKING UPDATES	07.05.2025	A02: 04_00_11_16	GDP
D	ASWATER RFI - SEWER UPDATES	18.02.2025	A03: 04_00_11_16	GDP
C	ATTEND COUNCIL RFI - ISSUE FOR APPROVAL	20.01.2025	ALL	GDP
S	ATTEND COUNCIL RFI - CONSULT COORD	04.12.2024	ALL	GDP
A	DEVELOPMENT APPLICATION - INITIAL ISSUE	24.08.2024	ALL	GDP

ALL LAYOUTS ARE TO BE PRINTED IN COLOUR

LAYOUT REV: F
 JOB No: 049
 SCALES(s) @ A3: 1:100
 SHEET No: A-10
 No. OF SHEETS: 16

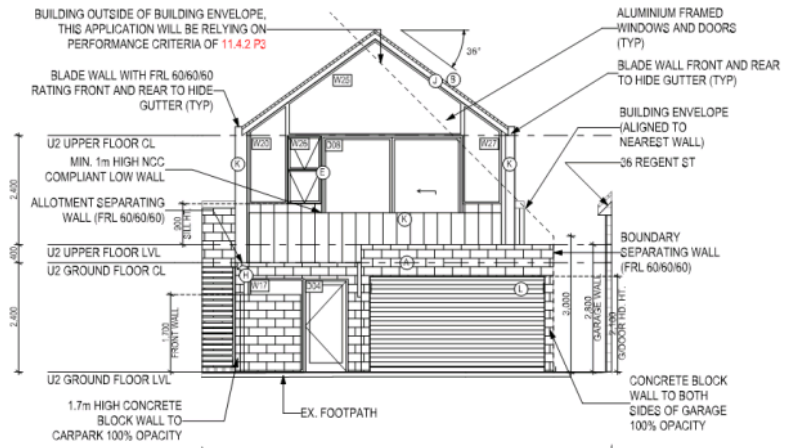
WINDOW TYPE LEGEND

GLASS TYPE LEGEND

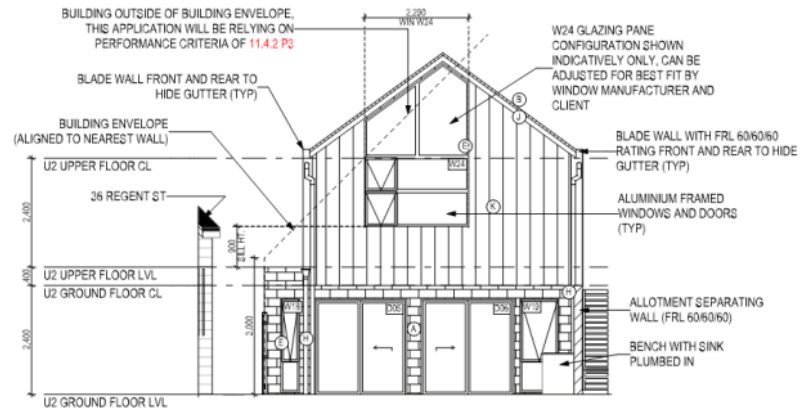
EXTERNAL FINISHES SCHEDULE

CODE	SURFACE / MATERIAL	FINISH COLOUR
A	CONCRETE BLOCKWORK	WHITE (E.G. PEARL ECO)
B	UNIT 2 ROOF	COLORBOND BASALT
C	FRONT GATE / POWDER COATED ALUMINIUM	COLORBOND DOVER WHITE
D	DECK SHADING / POWDER COATED ALUMINIUM (UNIT 1)	COLORBOND DOVER WHITE
E	WINDOW & DOOR FRAMES / ALUMINIUM	COLORBOND BASALT MATT
F	UNIT 1 REAR WALL - EX. GLAZING RETAINED OR WEATHERBOARDS TO MATCH EXISTING PROVIDED	WHITE TO MATCH EXISTING WALLS
G	UNIT 1 NEW ROOF METAL ROOFING, FLASHINGS AND GUTTERING	PROFILE AND COLOUR TO MATCH EXISTING
H	DOWNPIPES & RAIN HEAD (UNIT 2)	TO MATCH WALLS
I	UNIT 2 GUTTERING	COLORBOND BASALT MATT
J	UNIT 2 FLASHING	COLORBOND DOVER WHITE
K	UNIT 2 WALLS - JAMES HARDIE AXON FIBRE CEMENT VERTICAL LAY (OR SIMILAR)	COLORBOND DOVER WHITE PAWTED
L	UNIT 2 GARAGE DOOR - METAL DOOR BY MANUFACTURER	COLORBOND BASALT

NOTE: ONLY NEW WORKS SHOWN - EXISTING SURFACES NOT NOTED



E-05 UNIT 2 - FRONT (EAST) ELEVATION 1:100



E-06 UNIT 2 - REAR (WEST) ELEVATION 1:100

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 E: chrispooley0@gmail.com
 BUILDING DESIGNER
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PROPOSED UNIT 2 ELEVATIONS

PROPOSED MULTIPLE-DWELLINGS	JOSHUA GRAEME-EVANS
DEVELOPMENT APPLICATION	80 KING ST, SANDY BAY, TAS 7005 CT: 51266 LOT: 1

REV	AMENDMENTS	DATE	SHEET	DRW
F	CLIENT REQUESTED AMENDMENTS INCLUDING - U2 ROOF PITCH, U2 FINISHES, U1 DECK	26.02.2026	A01_05_04_06_08-15	GDP
E	SEWER UPDATES - PARKING UPDATES	07.05.2025	A02_04_00_11_18	GDP
D	WATER RFI - SEWER UPDATES	18.02.2025	AN & AM	GDP
C	ATTEND COUNCIL RFI - ISSUE FOR APPROVAL	20.01.2025	ALL	GDP
B	ATTEND COUNCIL RFI - CONSULT COORD	04.12.2024	ALL	GDP
A	DEVELOPMENT APPLICATION - INITIAL ISSUE	24.08.2024	ALL	GDP

LAYOUT REV: F
 JOB No: 049
 SCALES(s) @ A3: 1:100
 SHEET No: A-11
 No. OF SHEETS: 16

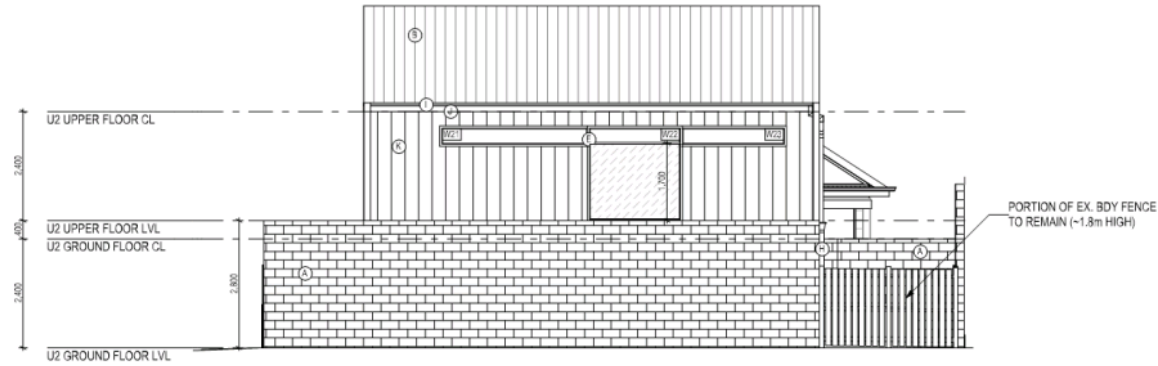
WINDOW TYPE LEGEND

GLASS TYPE LEGEND

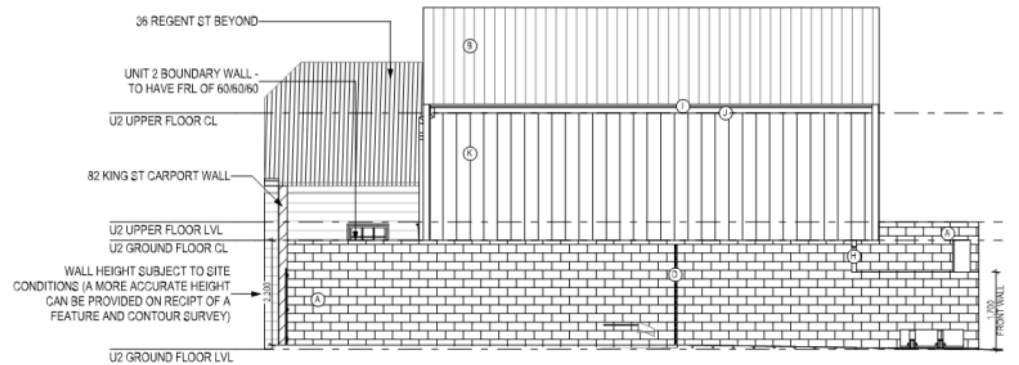
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B	UNIT 2 ROOF	COLORBOND BASALT
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L	UNIT 2 GARAGE DOOR - METAL DOOR BY MANUFACTURER	COLORBOND BASALT

NOTE: ONLY NEW WORKING SHOWN - EXISTING SURFACES NOT NOTED



E-07 UNIT 2 - SIDE (NORTH) ELEVATION 1:100



E-08 UNIT 2 - SIDE (SOUTH) ELEVATION 1:100

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PROPOSED UNIT 2 ELEVATIONS

PROPOSED MULTIPLE-DWELLINGS	JOSHUA GRAEME-EVANS
DEVELOPMENT APPLICATION	80 KING ST, SANDY BAY, TAS 7005 CT: 51266 LOT: 1

REV	AMENDMENTS	DATE	SHEET	DRW
F	CLIENT REQUESTED AMENDMENTS INCLUDING - U2 ROOF PITCH, U2 FINISHES, U1 DECK	26.02.2026	A01: 05.04 06.08.15	CDP
E	SEWER UPDATES - PARKING UPDATES	07.05.2025	A02: 04.00 11.18	CDP
D	WATER RFI - SEWER UPDATES	18.02.2025	AN: 4.00	CDP
C	ATTEND COUNCIL RFI - ISSUE FOR APPROVAL	20.01.2025	ALL	CDP
B	ATTEND COUNCIL RFI - CONSULT COORD	04.12.2024	ALL	CDP
A	DEVELOPMENT APPLICATION - INITIAL ISSUE	24.08.2024	ALL	CDP

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LAYOUT REV: F
 JOB No: 049
 SCALE(s) @ A3: 1:100
 SHEET No: A-12
 No. OF SHEETS: 16



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PERSPECTIVE VIEW THROUGH W24 NTS

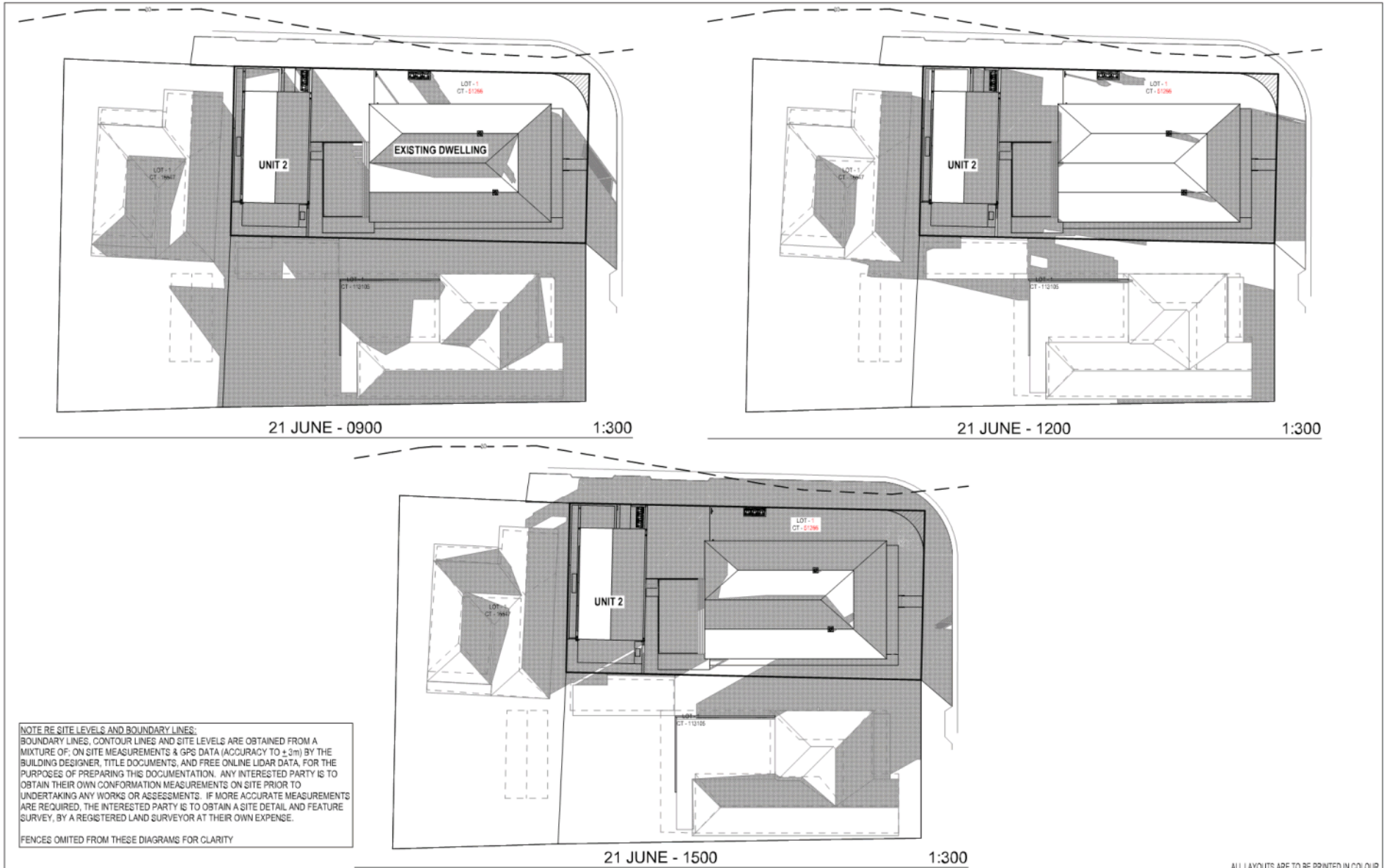
<p>3D PERSPECTIVE VIEWS</p> <p>PROPOSED MULTIPLE-DWELLINGS JOSHUA GRAEME-EVANS</p> <p>DEVELOPMENT APPLICATION 80 KING ST, SANDY BAY, TAS 7005 CT: 51266 LOT: 1</p>		<table border="1"> <tr> <th>REV</th> <th>AMENDMENTS</th> <th>DATE</th> <th>SHEET</th> <th>DRW</th> </tr> <tr> <td>F</td> <td>CLIENT REQUESTED AMENDMENTS INCLUDING - U2 ROOF PITCH, U2 FINISHES, U1 DECK</td> <td>26.02.2026</td> <td>A11, 02, 04, 06, 08-15</td> <td>GDP</td> </tr> <tr> <td>E</td> <td>SEWER UPDATES - PARKING UPDATES</td> <td>07.05.2025</td> <td>A12, 04, 09, 11, 16</td> <td>GDP</td> </tr> <tr> <td>D</td> <td>WATER RFI - SEWER UPDATES</td> <td>18.02.2025</td> <td>A11 & A12</td> <td>GDP</td> </tr> <tr> <td>C</td> <td>ATTEND COUNCIL RFI - ISSUE FOR APPROVAL</td> <td>20.01.2025</td> <td>ALL</td> <td>GDP</td> </tr> <tr> <td>B</td> <td>ATTEND COUNCIL RFI - CONSULT COORD</td> <td>04.12.2024</td> <td>ALL</td> <td>GDP</td> </tr> <tr> <td>A</td> <td>DEVELOPMENT APPLICATION - INITIAL ISSUE</td> <td>24.08.2024</td> <td>ALL</td> <td>GDP</td> </tr> </table>	REV	AMENDMENTS	DATE	SHEET	DRW	F	CLIENT REQUESTED AMENDMENTS INCLUDING - U2 ROOF PITCH, U2 FINISHES, U1 DECK	26.02.2026	A11, 02, 04, 06, 08-15	GDP	E	SEWER UPDATES - PARKING UPDATES	07.05.2025	A12, 04, 09, 11, 16	GDP	D	WATER RFI - SEWER UPDATES	18.02.2025	A11 & A12	GDP	C	ATTEND COUNCIL RFI - ISSUE FOR APPROVAL	20.01.2025	ALL	GDP	B	ATTEND COUNCIL RFI - CONSULT COORD	04.12.2024	ALL	GDP	A	DEVELOPMENT APPLICATION - INITIAL ISSUE	24.08.2024	ALL	GDP	<p>ALL LAYOUTS ARE TO BE PRINTED IN COLOUR</p> <p>LAYOUT REV: F JOB No: 049 SCALES(s) @ A3: 1:200, 1:300 SHEET No: A-13 No. OF SHEETS: 16</p>
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PDS PH: 0417858537
 E: chrispooley0@gmail.com
 BUILDING DESIGNER
 POOLEYS DRAFTING SERVICES ACCREDITATION: 899038039

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 FENCES OMITTED FROM THESE DIAGRAMS FOR CLARITY

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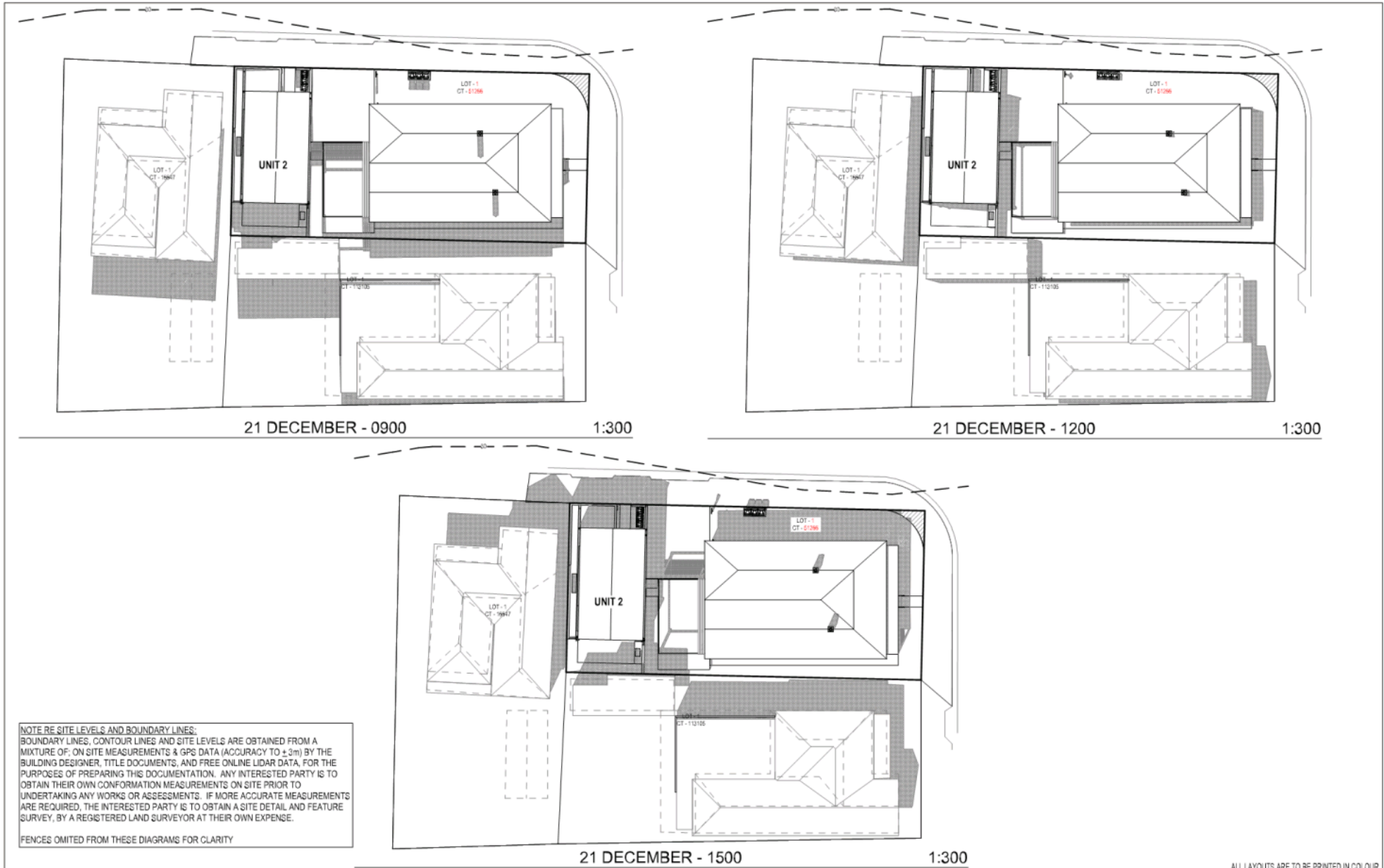
SHADOW DIAGRAMS - 21 JUNE	
PROPOSED MULTIPLE-DWELLINGS	JOSHUA GRAEME-EVANS
DEVELOPMENT APPLICATION	80 KING ST, SANDY BAY, TAS 7005 CT: 51266 LOT: 1

REV	AMENDMENTS	DATE	SHEET	DRW
F	CLIENT REQUESTED AMENDMENTS INCLUDING - U2 ROOF PITCH, U2 FINISHES, U1 DECK	06.02.2026	A01_05_04 06_08_15	CDP
E	SEWER UPDATES - PARKING UPDATES	07.05.2025	A02_04_00 11_16	CDP
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LAYOUT REV: F
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 SHEET No: A-14
 No. OF SHEETS: 16



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SHADOW DIAGRAMS - 21 - DECEMBER
 PROPOSED MULTIPLE-DWELLINGS JOSHUA GRAEME-EVANS
 DEVELOPMENT APPLICATION 80 KING ST, SANDY BAY, TAS 7005
 CT: 51266 LOT: 1

REV	AMENDMENTS	DATE	SHEET	DRW
F	CLIENT REQUESTED AMENDMENTS INCLUDING - U2 ROOF PITCH, U2 FINISHES, U1 DECK	06.02.2026	A01, 02, 04, 06, 08-15	CDP
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WINDOW 24 OUTLOOK

1:300



WINDOW 22 OUTLOOK

1:300

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WINDOW PRIVACY FOR NEIGHBOURS POS

PROPOSED MULTIPLE-DWELLINGS JOSHUA GRAEME-EVANS

DEVELOPMENT APPLICATION 80 KING ST, SANDY BAY, TAS 7005
 CT: 51266 LOT: 1

REV	AMENDMENTS	DATE	SHEET	DRW
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LAYOUT REV: E
 JOB No: 049
 SCALES(s) @ A3: 1:300
 SHEET No: A-16
 No. OF SHEETS: 16

80 KING ST, SANDY BAY, TAS 7005

CIVIL ENGINEERING PLANS

DRAWINGS CONTENTS LIST

- C01 COVER SHEET
- C02 NOTES
- C03 LEGEND
- C04 GENERAL ARRANGEMENT
- C05 SIGHT DISTANCE PLAN - VEHICLE
- C06 SIGHT DISTANCE PLAN - PEDESTRIANS
- C07 SWEEP PATHS
- C08 SEWER AND WATER PLAN



LOCATION PLAN

SCALE: 1:5000

NOTE: THIS SET OF DRAWINGS SHOULD ALWAYS BE PRINTED IN COLOUR.

REV	ISSUE DESCRIPTION	ISSUE DRAWN BY	CHK	DATE	 <small>© copyright GE CONSULTING ENGINEERS</small> <small>GE CONSULTING ENGINEERS RETAIN THE INTELLECTUAL PROPERTY RIGHTS OF THESE DRAWINGS. DESIGN AND CONTENT THESE DRAWINGS CAN NOT BE REPRODUCED, COPIED OR ADAPTED IN ANY WAY WITHOUT WRITTEN CONSENT OF GE CONSULTING ENGINEERS.</small> <small>DRAWINGS TO BE CHECKED ON SITE.</small> <small>DO NOT SCALE OFF DRAWINGS.</small> <small>DISCREPANCIES TO BE NOTIFIED VIA EMAIL TO GE CONSULTING ENGINEERS.</small>		ENGINEER: A.G.E.	SCALE: 1:5000	PROJECT: 80 KING ST, SANDY BAY, TAS 7006	DRAWING TITLE: COVER SHEET	
					DRAFTER: CP	SIZE: A3			PROJECT No. G24034	DWG No. C01	
					STATUS: FOR APPROVAL				REVISION: 03		
03	ISSUED FOR APPROVAL - SEWER EASEMENT - REMOVE DECK FOOTINGS	CP	A.G.E.	06.02.2026	<small>80 KING ST 807 427 803 612 801 80 SANDY BAY TOWNSHIP SANDY BAY TAS 7005 G24034/001/001/001</small>						
02	ISSUED FOR APPROVAL - SEWER UPDATES - PARKING UPDATES	CP	A.G.E.	26.03.2025							
01	ISSUED FOR APPROVAL - SEWER UPDATES	CP	A.G.E.	18.02.2025							
00	ISSUED FOR APPROVAL	CP	A.G.E.	23.01.2025							

CIVIL NOTES

GENERAL

- ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH IPWEA STANDARD DRAWINGS AND SPECIFICATIONS, AND TO THE SATISFACTION OF COUNCIL'S DEVELOPMENT ENGINEER.
- ALL EXISTING SERVICES TO BE LOCATED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.
- ALL WORKS TO BE UNDERTAKEN IN ACCORDANCE WITH THE WHS ACT 2012.
- ALL WORKS TO BE UNDERTAKEN IN ACCORDANCE WITH THE ISSUED PLANNING PERMIT.
- ALL WORKS TO BE UNDERTAKEN TO THE APPROPRIATE AUSTRALIAN STANDARDS, BEST PRACTICE GUIDELINES AND THE DERWENT ESTUARY SITE MANAGEMENT GUIDELINES.
- ALL EARTHWORKS TO BE UNDERTAKEN IN ACCORDANCE WITH THE EARTHWORKS STANDARD AS3798. FOR PRIVATE LAND AND EITHER LGAT SPECIFICATIONS OR STATE GROWTH SPECIFICATIONS FOR PUBLIC LAND WHERE APPLICABLE.
- FURTHER TO THE EARTHWORKS SPECIFICATION FOR EMBANKMENT CONSTRUCTION, THE EMBANKMENT SHALL BE INSTALLED OVERWIDTH AND CUT BACK TO ENSURE CONSISTENT COMPACTION ON THE BATTERS PRIOR TO TOPSOIL PLACEMENT.
- WHEN BATTERS ARE CUT BACK THEY SHALL BE CUT BACK WITH A GP BUCKET AND SCORED HORIZONTAL / DIAGONAL TO HELP TOPSOIL REMAIN ON THE BATTER AND ASSIST IN GRASS GERMINATION AND GROWTH AND REDUCE THE LIKLYHOOD OF TOPSOIL LOSS.
- THE TOPSOIL AND GRASS SEEDING SHALL BE UNDERTAKEN AS SOON AS POSSIBLE TO PREVENT / REDUCE EROSION AND WATERED AS PER THE MANUFACTURERS RECOMMENDATIONS FOR THE LOCAL ENVIRONMENT AND SEASON.

DRIVEWAY

- DRIVEWAY SUBGRADE SHALL BE INSPECTED PRIOR TO PLACING OF GRAVEL.
- ALL FILL BENEATH DRIVEWAY TO BE SUB BASE 1 - 40MM FCR.
- CONCRETE & REINFORCING STEEL TO BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH AS3600 AND MANUFACTURERS RECOMMENDATIONS.
- CONCRETE STRENGTH AT 28DAYS IS TO BE 25MPa.
- ALL GRAVEL SHALL BE SUPPLIED AND PLACED IN ACCORDANCE WITH PREVIOUS STATEGROWTH SPECIFICATION R40 UNLESS APPROVED OTHERWISE.
- ALL GRAVELS SHALL BE COMPACTED IN MAXIMUM 150MM LAYERS USING A 2.5T ROLLER OR 300+KG FORWARD REVERSE PLATE.
- TOLERANCE OF FINISHED SURFACE; +/- 50MM FROM DESIGN LEVEL, +/- 10MM DEVIATION WHEN MEASURING AGAINST 3M STRAIGHT EDGE.
- SAW CUTS SHALL BE UNDERTAKEN WITHIN 24HOURS AND CUT DIRECTLY ABOVE THE CRACK INDUCERS.
- ALL DRIVEWAY EDGES SHALL BE ROUNDED USING EDGING TOOL.
- JOINTS SHALL BE PLACED TO THE LOCATIONS SPECIFIED.

STORMWATER

- ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH AS 3500.3:2021, IPWEA(TAS) MUNICIPAL STANDARD DRAWINGS AND SPECIFICATION AND TO THE SATISFACTION OF COUNCILS MUNICIPAL ENGINEER.
- ALL EXISTING SERVICES TO BE LOCATED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.
- GENERAL MATERIALS, INSTALLATION & TESTING SHALL COMPLY WITH ANY APPLICABLE COUNCIL PERMIT CONDITIONS, AS3500.3:2021 & TASMANIAN MUNICIPAL STANDARD DRAWINGS.
- ALL PIPE WORK UNDER TRAFFICABLE AREAS, INCLUDING DRIVEWAYS IS TO BE BACKFILLED WITH FCR IN ACCORDANCE WITH THE DETAILS PROVIDED.
- LOT CONNECTION TO BE DN150 uPVC INCORPORATE AN INSPECTION OPENING RAISED TO THE SURFACE U.N.O.
- MINIMUM PIPE CLASS TO BE CLASS SN8.
- ALL PITS LOCATED WITHIN THE TRAFFICABLE AREAS SHALL BE DRIVEABLE CLASS D.

WATER NOTES

- THE PIPE ALIGNMENT AND EXISTING SERVICES SHALL BE FULLY LOCATED IN CONSIDERATION WITH ARCHITECTS PLANS PRIOR TO COMMENCEMENT TO ENSURE NO CLASHES EXISTS WITH OTHER SERVICES. CONFIRM FINAL LOCATION WITH SURVEYOR PRIOR TO START.
- ALL WORKS SHALL BE UNDERTAKEN IN ACCORDANCE WITH TASWATER WATER SUPPLEMENT TO WSA 03-2011-3.1 MRWA v2.0 AND TW STANDARD DRAWINGS ON THE TASWATER DEVELOPMENT PORTAL, AS3500.1 WATER SERVICES AND TO THE SATISFACTION OF TASWATER'S DEVELOPMENT ENGINEER AND THE COUNCIL PLUMBING INSPECTOR FOR THEIR RESPECTIVE AREAS OF COMPLIANCE.
- ALL PIPEWORK SHALL MEET THE WSA PS-215 & 216 SPECIFICATION.
- ALL PIPEWORK SHALL BE PE100 CLASS PN16. A CONTINUOUS RUN, NO JOINS SHALL EXIST BETWEEN THE MANIFOLD AND THE DWELLING CONNECTION POINT (DCP). REFER TO THE ARCHITECTURAL PLANS FOR THE EXACT LOCATION OF THE DCP.
- LINEWORK SHOWN IS NOT EXACT AND MAY VARY TO WITH WITH SITE CONSTRAINTS.
- MINIMUM COVER IS 500mm. LOCATOR TAPE SHALL BE PROVIDED OVER THE TOP OF THE TRENCH OF EACH SERVICE LINE. MINIMUM SEPERATION WITH OTHER SERVICES IS 300mm. WATER PIPE SPACING OF MIN. 100mm IS REQUIRED AND ALL PIPES SHALL HAVE A MIN. 100mm OF CLEAN 7mm BLUE METAL GRAVEL AROUND THEM.
- ALL PIPEWORKS AND LAID PIPE SHALL BE PRESSURE TESTED IN ACCORDANCE WITH AS3500.1 AND TW GUIDELINES.
- ALL WATER WORKS TO BE TASWATER AND COUNCIL APPROVED WORKS. CONTRACTOR TO ARRANGE FOR INSPECTIONS AND APPROVALS.

SEWER NOTES

- THE PIPE ALIGNMENT AND EXISTING SERVICES SHALL BE FULLY LOCATED IN CONSIDERATION WITH ARCHITECTS PLANS PRIOR TO COMMENCEMENT TO ENSURE NO CLASHES EXISTS WITH OTHER SERVICES. CONFIRM FINAL LOCATION WITH SURVEYOR PRIOR TO START.
- ALL WORKS SHALL BE UNDERTAKEN IN ACCORDANCE WITH TASWATER SEWER SUPPLEMENT TO WSA 02-2014-3.1 V2 AND TW STANDARD DRAWINGS ON THE TASWATER DEVELOPMENT PORTAL, AS3500.2:2021 SANITARY PLUMBING AND DRAINAGE AND TO THE SATISFACTION OF TASWATER'S DEVELOPMENT ENGINEER AND THE COUNCIL PLUMBING INSPECTOR FOR THEIR RESPECTIVE AREAS OF COMPLIANCE.
- ALL PIPEWORK AND FITTINGS SHALL BE DN100 UPVC DWV SN8. JOINS SHALL BE SCJ INSPECTION OPENINGS SHALL BE LOCATED AS SHOWN.
- NO 90 DEGREE BENDS ALLOWED WITHOUT APPROVAL (INCLUDING FOR INSPECTION OPENINGS).
- MINIMUM COVER IS 600mm
- MINIMUM FALL IS 2%
- COUNCIL'S PLUMBING INSPECTOR SHALL BE CONTACTED PRIOR TO BACKFILL OF MAIN.
- THE MAIN SHALL BE BEDDED ON 100mm OF 7mm CLEAN METAL, IN A MINIMUM 300mm WIDE TRENCH AND SHALL BE COVERED WITH A MINIMUM OF 100mm THICK 7mm CLEAN AGGREGATE. LOCATOR TAPE SHALL BE PLACED OVER THE MAIN.
- ALL PIPEWORK SHALL BE PRESSURE TESTED IN ACCORDANCE WITH AS3500.2 AND TW GUIDELINES.
- IF NEW CONNECTION REQUIRED AT REAR OF PROPERTY THE CONNECTION SHALL BE UNDERTAKEN AS PER MRWA-S-104A BY TASWATER APPROVED CONTRACTOR PLUMBER LISTED ON THEIR WEBSITE.
- ALL WATER WORKS TO BE TASWATER AND COUNCIL APPROVED WORKS. CONTRACTOR TO ARRANGE FOR INSPECTIONS AND APPROVALS.

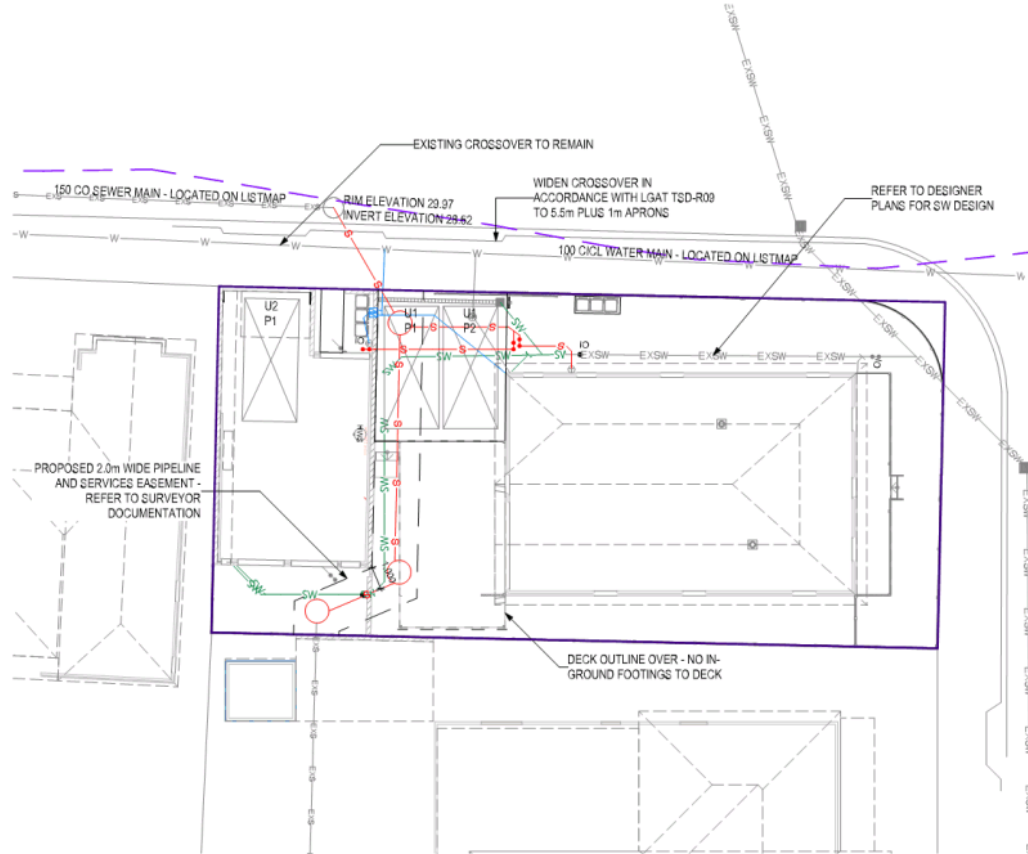
NOTE: THIS SET OF DRAWINGS SHOULD ALWAYS BE PRINTED IN COLOUR.

REV	ISSUE DESCRIPTION	ISSUE DRAWN BY	CHK	DATE	 © copyright GE CONSULTING ENGINEERS GE CONSULTING ENGINEERS RETAINS THE INTELLECTUAL PROPERTY RIGHTS OF THESE DRAWINGS. DESIGN AND CONTENT THESE DRAWINGS CAN NOT BE REPRODUCED, REPRODUCED, COPIED OR ADAPTED IN ANY MANNER WITHOUT WRITTEN CONSENT OF GE CONSULTING ENGINEERS. DIMENSIONS TO BE CHECKED ON SITE. DO NOT SCALE OFF DRAWINGS. DISCREPANCIES TO BE NOTIFIED VIA EMAIL TO GE CONSULTING ENGINEERS.				ENGINEER: A.G.E.	SCALE:	PROJECT: 80 KING ST, SANDY BAY, TAS 7006	DRAWING TITLE: NOTES	
					PROJECT No. G24094		DWG No. C02		REVISION: 00				
03	ISSUED FOR APPROVAL - SEWER EASEMENT - REMOVE DECK FOOTINGS	CP	A.G.E.	06.02.2026									
02	ISSUED FOR APPROVAL - SEWER UPDATES - PARKING UPDATES	CP	A.G.E.	26.03.2025									
01	ISSUED FOR APPROVAL - SEWER UPDATES	CP	A.G.E.	18.02.2025									
00	ISSUED FOR APPROVAL	CP	A.G.E.	23.01.2025									
					48944 408 573 887 407403 652 867 45 SANDY BAY ROAD SANDY BAY POINT, TAS 7006 407403@GEE.COM.AU 0412 708 240		DRAFTER: CP		SIZE: A3		STATUS: FOR APPROVAL		

Legend			
	Alignment Centerline		Road / Driveway
	Road Edges		Footpath
	Extent of Earthworks		Kerb and Gutter
	Lot Boundaries (Proposed)		Power Pole
	Background Topography		Power Connection Point
	Hydrology Study		Fire Plug
	Background Features		New DN25 Water Meter
	Edge of Culvert		Existing Water Meter
	Proposed Sewer Line		Communications Lot Connections
	Existing Sewer Line		Road Alignment
	Proposed Stormwater Line		Topography
	Existing Stormwater Line		Culverts
	Proposed Water Line		Subgrade & Cut Areas
	Existing Water Line		Seal
	Proposed Power Infrastructure		Topography
	Existing Power Infrastructure		Layer Above Subgrade
	Proposed Telstra (or Communications) Infrastructure		Road Alignment
	Existing Telstra (or Communications) Infrastructure		Topography
	Sewer Lot Connection		Culverts
	Stormwater Lot Connection		EASEMENT

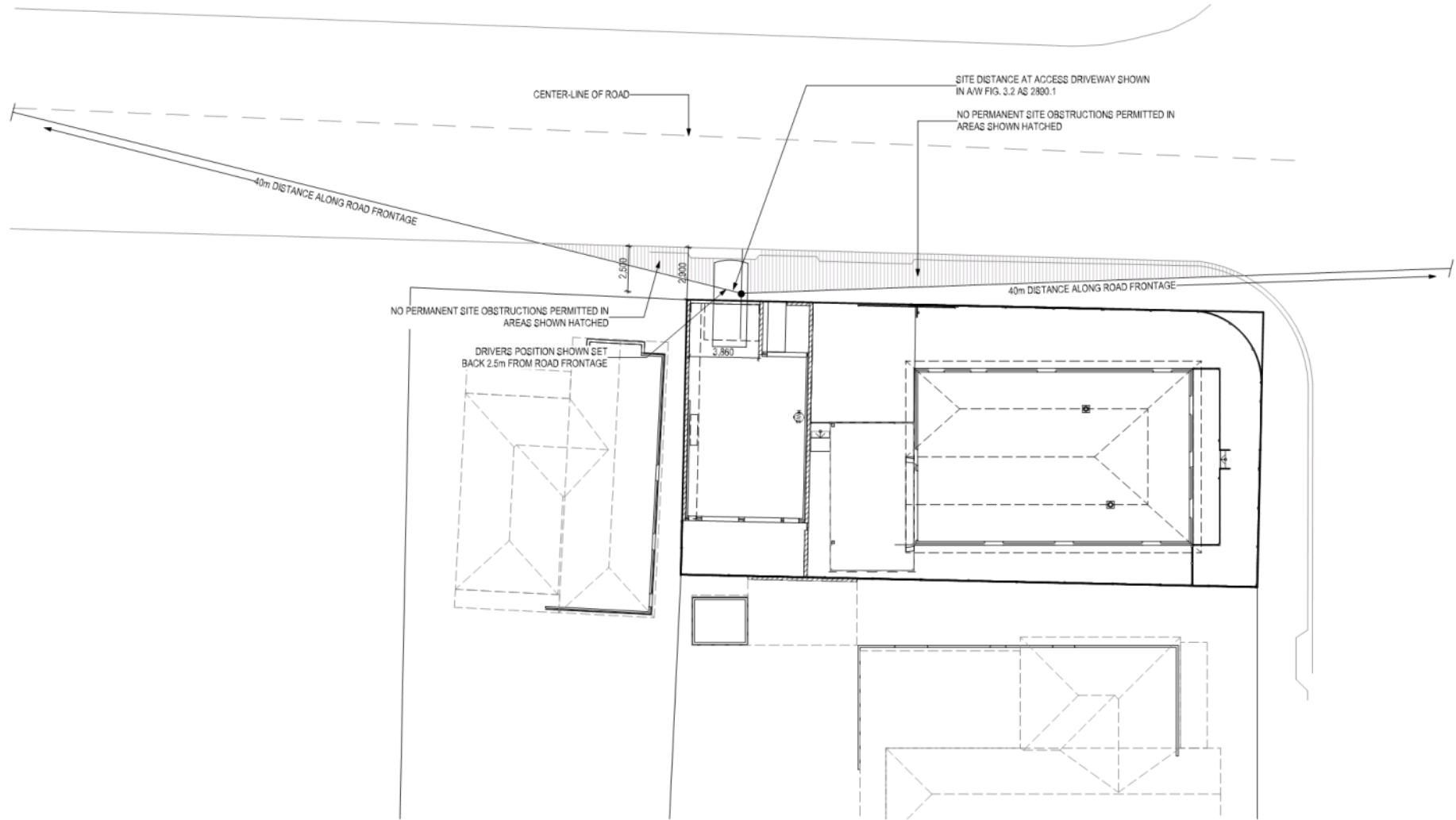
NOTE: THIS SET OF DRAWINGS SHOULD ALWAYS BE PRINTED IN COLOUR.

REV	ISSUE DESCRIPTION	ISSUE DRAWN BY	CHK	DATE	© copyright GE CONSULTING ENGINEERS GE CONSULTING ENGINEERS RETAINS THE INTELLECTUAL PROPERTY RIGHTS OF THESE DRAWINGS. DESIGN AND CONTENT THESE DRAWINGS CAN NOT BE REPRODUCED, COPIED OR ADAPTED IN ANY MANNER WITHOUT WRITTEN CONSENT OF GE CONSULTING ENGINEERS. DIMENSIONS TO BE CHECKED ON SITE. DO NOT SCALE OFF DRAWINGS. DISCREPANCIES TO BE NOTIFIED VIA EMAIL TO GE CONSULTING ENGINEERS.		ENGINEER: A.G.E.	SCALE:	PROJECT: 80 KING ST, SANDY BAY, TAS 7006	DRAWING TITLE: LEGEND	
03	ISSUED FOR APPROVAL - SEWER EASEMENT - REMOVE DECK FOOTINGS	CP	A.G.E.	06.02.2026	PROJECT No. G24094	DWG No. C03	DRAFTER: CP	SIZE: A3	STATUS: FOR APPROVAL	REVISION: 03	
02	ISSUED FOR APPROVAL - SEWER UPDATES - PARKING UPDATES	CP	A.G.E.	26.03.2025							
01	ISSUED FOR APPROVAL - SEWER UPDATES	CP	A.G.E.	18.02.2025							
00	ISSUED FOR APPROVAL	CP	A.G.E.	23.01.2025							



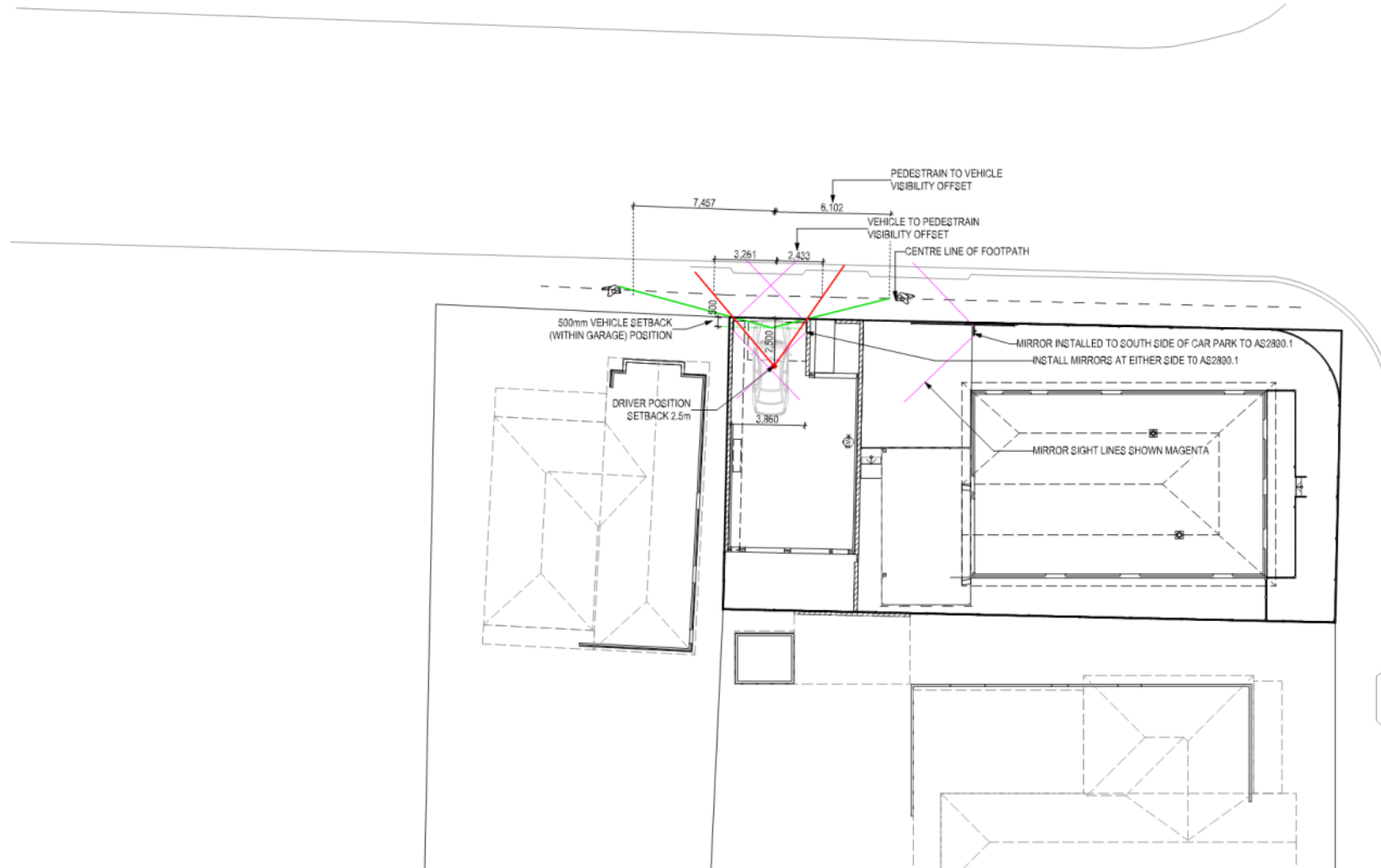
NOTE: THIS SET OF DRAWINGS SHOULD ALWAYS BE PRINTED IN COLOUR.

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03	ISSUED FOR APPROVAL - SEWER EASEMENT - REMOVE DECK FOOTINGS	CP	A.G.E.	06.02.2026		DRAFTER: CP	SIZE: A3			PROJECT No. G24094
02	ISSUED FOR APPROVAL - SEWER UPDATES - PARKING UPDATES	CP	A.G.E.	26.03.2025						
01	ISSUED FOR APPROVAL - SEWER UPDATES	CP	A.G.E.	18.02.2025						
00	ISSUED FOR APPROVAL	CP	A.G.E.	23.01.2025						
REV	ISSUE DESCRIPTION	ISSUE DRAWN BY	CHK	DATE		STATUS: FOR APPROVAL			REVISION: 03	



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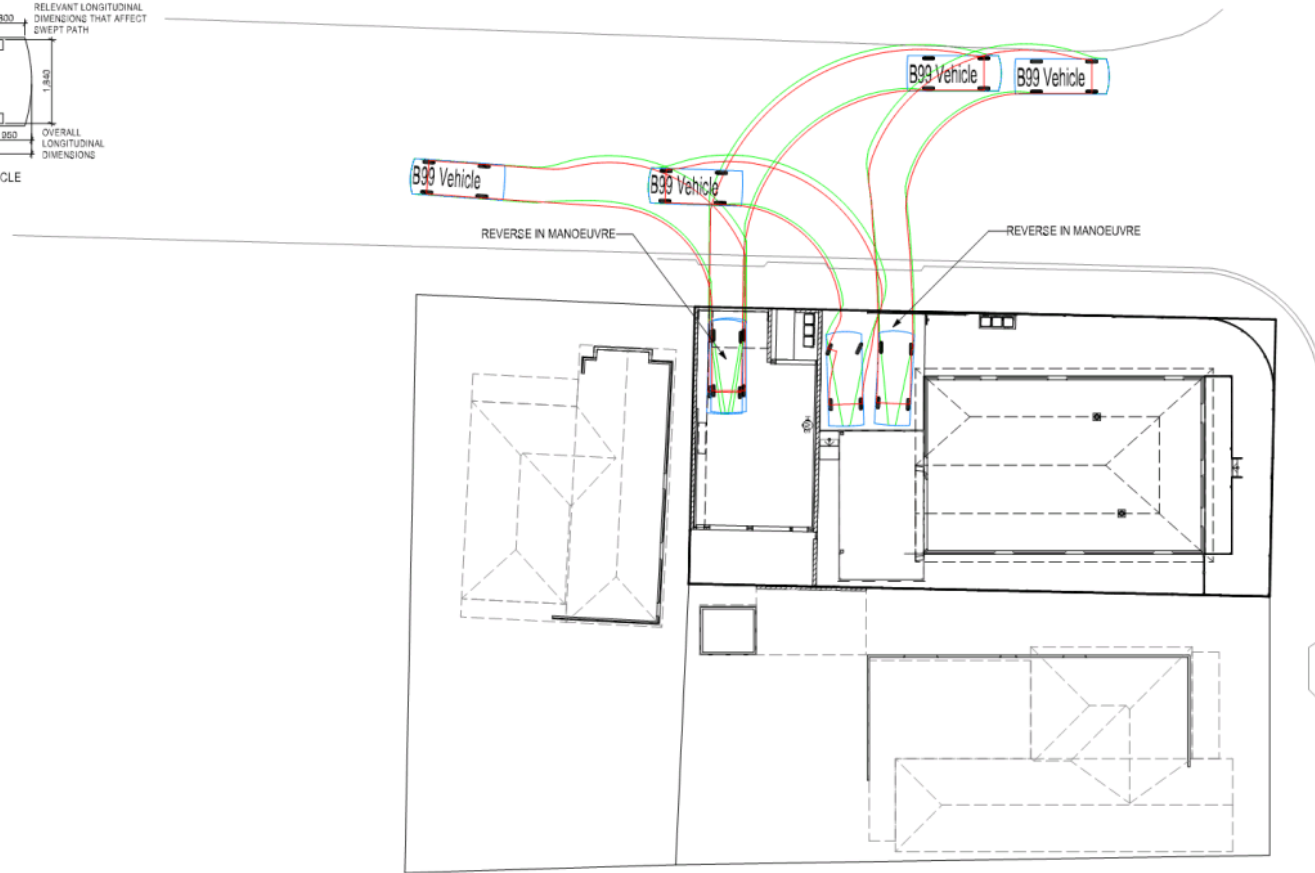
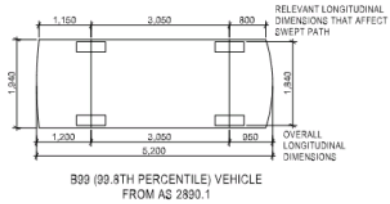
					 <p>© copyright GE CONSULTING ENGINEERS</p> <p>GE CONSULTING ENGINEERS RETAINS THE INTELLECTUAL PROPERTY RIGHTS OF THESE DRAWINGS. DESIGN AND CONTENT THESE DRAWINGS CAN NOT BE REPRODUCED, COPIED OR ADAPTED IN ANY MANNER WITHOUT WRITTEN CONSENT OF GE CONSULTING ENGINEERS.</p> <p>DIMENSIONS TO BE CHECKED ON SITE.</p> <p>DO NOT SCALE OFF DRAWINGS.</p> <p>DISCREPANCIES TO BE NOTIFIED VIA EMAIL TO GE CONSULTING ENGINEERS.</p>	ENGINEER: A.G.E. DRAFTER: CP STATUS: FOR APPROVAL	SCALE: 1:200 SIZE: A3	PROJECT: 80 KING ST, SANDY BAY, TAS 7006	DRAWING TITLE: SIGHT DISTANCE PLAN - VEHICLE
03	ISSUED FOR APPROVAL - SEWER EASEMENT - REMOVE DECK FOOTINGS	CP	A.G.E.	06.02.2026		PROJECT No. G24094	DWG No. C05		
02	ISSUED FOR APPROVAL - SEWER UPDATES - PARKING UPDATES	CP	A.G.E.	26.03.2025					
01	ISSUED FOR APPROVAL - SEWER UPDATES	CP	A.G.E.	18.02.2025					
00	ISSUED FOR APPROVAL	CP	A.G.E.	23.01.2025					
REV	ISSUE DESCRIPTION	ISSUE DRAWN BY	CHK	DATE		REVISION: 00			



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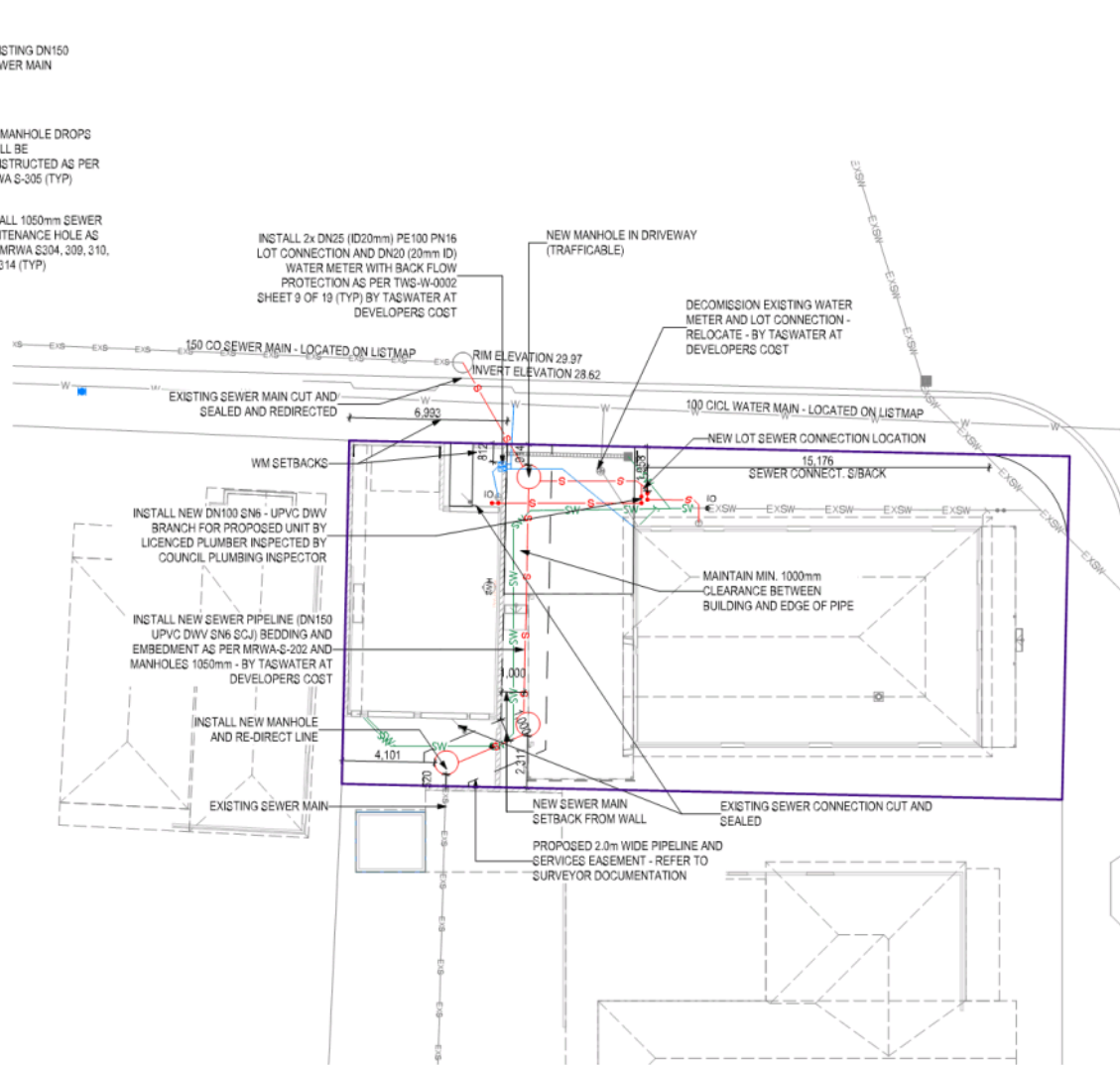
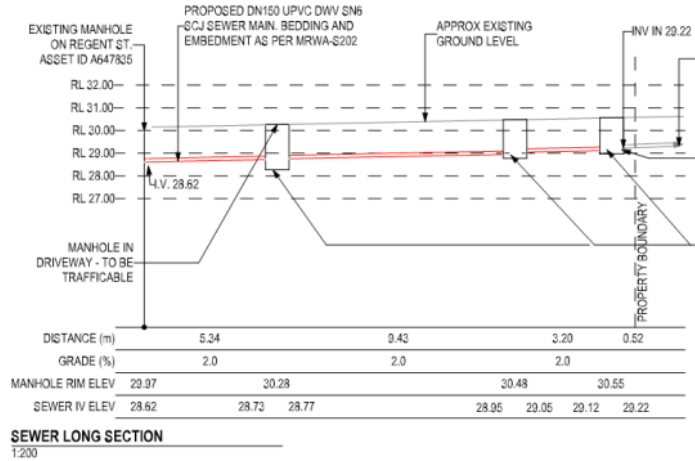
REV	ISSUE DESCRIPTION	ISSUE DRAWN BY	CHK	DATE	CONSULTING ENGINEERS - CIVIL - STRUCTURAL		© copyright GE CONSULTING ENGINEERS GE CONSULTING ENGINEERS RETAINS THE INTELLECTUAL PROPERTY RIGHTS OF THESE DRAWINGS. DESIGN AND CONTENT THESE DRAWINGS CAN NOT BE REPRODUCED, REPRODUCED, COPIED OR ADAPTED IN ANY WAY WITHOUT WRITTEN CONSENT OF GE CONSULTING ENGINEERS. DIMENSIONS TO BE CHECKED ON SITE. DO NOT SCALE OFF DRAWINGS. DISCREPANCIES TO BE NOTIFIED VIA EMAIL TO GE CONSULTING ENGINEERS.		ENGINEER: A.G.E.	SCALE: 1:200	PROJECT: 80 KING ST, SANDY BAY, TAS 7006	DRAWING TITLE: SIGHT DISTANCE PLAN - PEDESTRIANS	
03	ISSUED FOR APPROVAL - SEWER EASEMENT - REMOVE DECK FOOTINGS	CP	A.G.E.	06.02.2026	 48/44 5/3 5/3 8/7 47/4 5/3 5/2 8/5 45 SANDY BAY ROAD SANDY BAY TAS 7006 40/4/2018 0412 738 243	ENGINEER: A.G.E. DRAFTER: CP STATUS: FOR APPROVAL	SCALE: 1:200 SIZE: A3	PROJECT: 80 KING ST, SANDY BAY, TAS 7006	PROJECT No. G24094		DWG No. C06		
02	ISSUED FOR APPROVAL - SEWER UPDATES - PARKING UPDATES	CP	A.G.E.	26.03.2025					REVISION: 00				
01	ISSUED FOR APPROVAL - SEWER UPDATES	CP	A.G.E.	18.02.2025									
00	ISSUED FOR APPROVAL	CP	A.G.E.	23.01.2025									

LEGEND	
	VEHICLE BODY - START AND FINISH POSITION
	VEHICLE BODY - INTERMEDIATE MANOEUVRE POSITION
	WHEEL PATH - OUTSIDE EDGE
	VEHICLE BODY PATH - OUTSIDE EDGE
	500mm OUTSIDE CLEARANCE
	300mm INSIDE CLEARANCE



NOTE: THIS SET OF DRAWINGS SHOULD ALWAYS BE PRINTED IN COLOUR.

REV	ISSUE DESCRIPTION	ISSUE DRAWN BY	CHK	DATE	CONSULTING ENGINEERS - CIVIL - STRUCTURAL		ENGINEER: A.G.E.	SCALE: 1:250	PROJECT: 80 KING ST, SANDY BAY, TAS 7006	DRAWING TITLE: SWEEP PATHS	
03	ISSUED FOR APPROVAL - SEWER EASEMENT - REMOVE DECK FOOTINGS	CP	A.G.E.	06.02.2026	 48/44 103 ST 187 47/43 82 RD 45 SANDY BAY ROAD SANDY BAY TAS 7006 40/42/43/44/45/46/47 8412 738 243	© copyright GE CONSULTING ENGINEERS GE CONSULTING ENGINEERS RETAINS THE INTELLECTUAL PROPERTY RIGHTS OF THESE DRAWINGS. DESIGN AND CONTENT THESE DRAWINGS CAN NOT BE REPRODUCED, REPRODUCED, COPIED OR ADAPTED IN ANY MANNER WITHOUT WRITTEN CONSENT OF GE CONSULTING ENGINEERS. DIMENSIONS TO BE CHECKED ON SITE. DO NOT SCALE OFF DRAWINGS. DISCREPANCIES TO BE NOTIFIED VIA EMAIL TO GE CONSULTING ENGINEERS.	DRAFTER: CP STATUS: FOR APPROVAL	SIZE: A3	PROJECT: 80 KING ST, SANDY BAY, TAS 7006	PROJECT No. G24094	
02	ISSUED FOR APPROVAL - SEWER UPDATES - PARKING UPDATES	CP	A.G.E.	26.03.2025						DWG No. C07	
01	ISSUED FOR APPROVAL - SEWER UPDATES	CP	A.G.E.	18.02.2025						REVISION: 00	
00	ISSUED FOR APPROVAL	CP	A.G.E.	23.01.2025							



SEWER AND WATER PLAN
 1:200

NOTE: THIS SET OF DRAWINGS SHOULD ALWAYS BE PRINTED IN COLOUR.

REV	ISSUE DESCRIPTION	ISSUE DRAWN BY	CHK	DATE	GE CONSULTING ENGINEERS - CIVIL - STRUCTURAL		ENGINEER: A.G.E.	SCALE: 1:200	PROJECT: 80 KING ST, SANDY BAY, TAS 7006	DRAWING TITLE: SEWER AND WATER PLAN	
03	ISSUED FOR APPROVAL - SEWER EASEMENT - REMOVE DECK FOOTINGS	CP	A.G.E.	06.02.2026	<p>48/44 575 887 47/43 572 887 45 SANDY BAY ROAD SANDY BAY TAS 7006 40/45/46/47/48/49/50/51/52/53/54/55/56/57/58/59/60/61/62/63/64/65/66/67/68/69/70/71/72/73/74/75/76/77/78/79/80/81/82/83/84/85/86/87/88/89/90/91/92/93/94/95/96/97/98/99/100</p>	© copyright GE CONSULTING ENGINEERS GE CONSULTING ENGINEERS RETAINS THE INTELLECTUAL PROPERTY RIGHTS OF THESE DRAWINGS. DESIGN AND CONTENT THESE DRAWINGS CAN NOT BE REPRODUCED, REPRODUCED, COPIED OR ADAPTED IN ANY MANNER WITHOUT WRITTEN CONSENT OF GE CONSULTING ENGINEERS. DIMENSIONS TO BE CHECKED ON SITE. DO NOT SCALE OFF DRAWINGS. DISCREPANCIES TO BE NOTIFIED VIA EMAIL TO THE CONSULTING ENGINEER.	DRAFTER: CP STATUS: FOR APPROVAL	PROJECT: 80 KING ST, SANDY BAY, TAS 7006	DRAWING TITLE: SEWER AND WATER PLAN		
02	ISSUED FOR APPROVAL - SEWER UPDATES - PARKING UPDATES	CP	A.G.E.	26.03.2025					PROJECT No. G24094	DWG No. C08	
01	ISSUED FOR APPROVAL - SEWER UPDATES	CP	A.G.E.	18.02.2025					REVISION: 03		
00	ISSUED FOR APPROVAL	CP	A.G.E.	23.01.2025							
REV	ISSUE DESCRIPTION	ISSUE DRAWN BY	CHK	DATE							

Re: Housing development at 80 King Street, Sandy Bay

Dear Daniel,

Response to TasWater

Updated plans have been submitted in PlanBuild in response to the TasWater RFI. The plans now incorporate:

- on-ground deck footings (response to "2a")
- a proposed easement for TasWater infrastructure (response to "2b")

I hope these now satisfy TasWater requirements.

Response to Council Heritage review

Following our discussion with the Heritage Officer last year, my drafter and engineer have made changes to the drawings to take onboard Council suggestions to the fullest extent possible, within the confines and limitations of the site.

Issue raised	Council observation	Response
Streetscape	It would be preferable to reduce the height of the building, and/or roof angle to fit better with the streetscape.	Height of Unit 2 reduced by 0.8m with a roof angle reduction from 45 to 36 degrees. The integrated roof/wall cladding (i.e. parapet roof) has been replaced with a conventional set-up to better fit the character of the street.
Upper-level glazing	It would be preferable to reduce the glazing area on the top floor facing the street and/or break up with more panes.	Glazed area reduced. A greater number of smaller sized panes incorporated as suggested by the Heritage Officer.
Colours and finishes	It would be preferable for colours of the new unit to match other dwelling in the street.	Colours on Unit 2 have been changed to be in good keeping with the surrounding streetscapes. Unit 2 wall cladding has been changed to vertical lay / grooved fiber cement as per a suggestion by the Heritage Officer.
Sunlight to existing residence	It would be preferable to reduce unit height and extend the deck to the west to improve direct sunlight to existing dwelling.	Deck for Unit 1 increased and Unit 2 dwelling height has been reduced. Deck footings also modified per TasWater request. Please note – on page A-10 of the updated drawings, the External Finishes schedule states "Colorbond Dover White" for Item "C" – Front Gate. This should say "To match existing fence".

After much deliberation, we were unable to accommodate one of the suggestions:

Issue raised	Observation	Response
Garage	It would be preferable to remove the existing garage and replace it with open carport or uncovered parking space.	The single garage is currently a part of the streetscape and will provide important residential amenity that we are unable to remove due to site limitations.

Regards

Josh Graeme-Evans

Basic streetscape analysis

To provide further context on the development in terms of street views, here is a mock-up of the development next to nearby buildings.

The Heritage Officer noted a preference to modify the proportionality of structure from a tall/narrow profile to a flatter/more squat profile. This has been achieved with the reduction in roof height by 0.8m, combined with the addition of “blades” on the front/rear of the building to hide the gutter downpipes and gives increased width presence when viewed from the street.

The roof angle profile now closely matches the adjoining neighboring properties.

Current proposal



Original proposal



Street photos

Below are a series of photos from the immediate surrounding area for reference.

Subject site – 80 King Street – Unit 2



34 to 36 Regent Street



Regent Street Apartments (directly opposite subject site at 80 King Street)



40 to 44 Regent Street



80 King Street looking across to Regent Street Apartments



Nearby - 2 Greenlands Avenue



Nearby – 102 Queen Street



28 to 30 Regent Street



24 to 26 Regent Street



13 to 15 Regent Street



6 to 12 Regent Street – period multi-level homes



4 Regent Street – modern multi-level architecture contrasting



Summary of property heights in the surrounding areas

There are an extensive number of double-story dwellings in the immediate surrounding areas, along with four-level apartment buildings, including directly

The following set of aerial shots provide context to the above photos

The tallest conventional residential building in the street is nearby **34 Regent Street**.



Street character (4 to 38 Regent Street)

Another perspective (Google Maps)

- = Double story dwellings
- = Multi-level apartments (4-levels)
- = Subject Site



Street character (40 to 54 Regent Street)

Trend continues down Regent Street towards University

- = Double story dwellings
- = Multi-level apartments (4-levels)
- = Subject Site



**RESULT OF SEARCH**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

SEARCH OF TORRENS TITLE

VOLUME	FOLIO
51266	1
EDITION	DATE OF ISSUE
6	18-Jul-2018

SEARCH DATE : 15-Sep-2024

SEARCH TIME : 10.18 PM

DESCRIPTION OF LAND

City of HOBART

Lot 1 on Diagram 51266

being the land described in Conveyance No. 67/3418

Derivation : Part of 66A-2R-30Ps Granted to W.M. Orr

Prior CT 4807/81

SCHEDULE 1

M538479 TRANSFER to JOSHUA ALEXANDER GRAEME-EVANS

Registered 05-Oct-2015 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

E145538 MORTGAGE to AFSH Nominees Pty Ltd Registered

18-Jul-2018 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



FOLIO PLAN

RECORDER OF TITLES

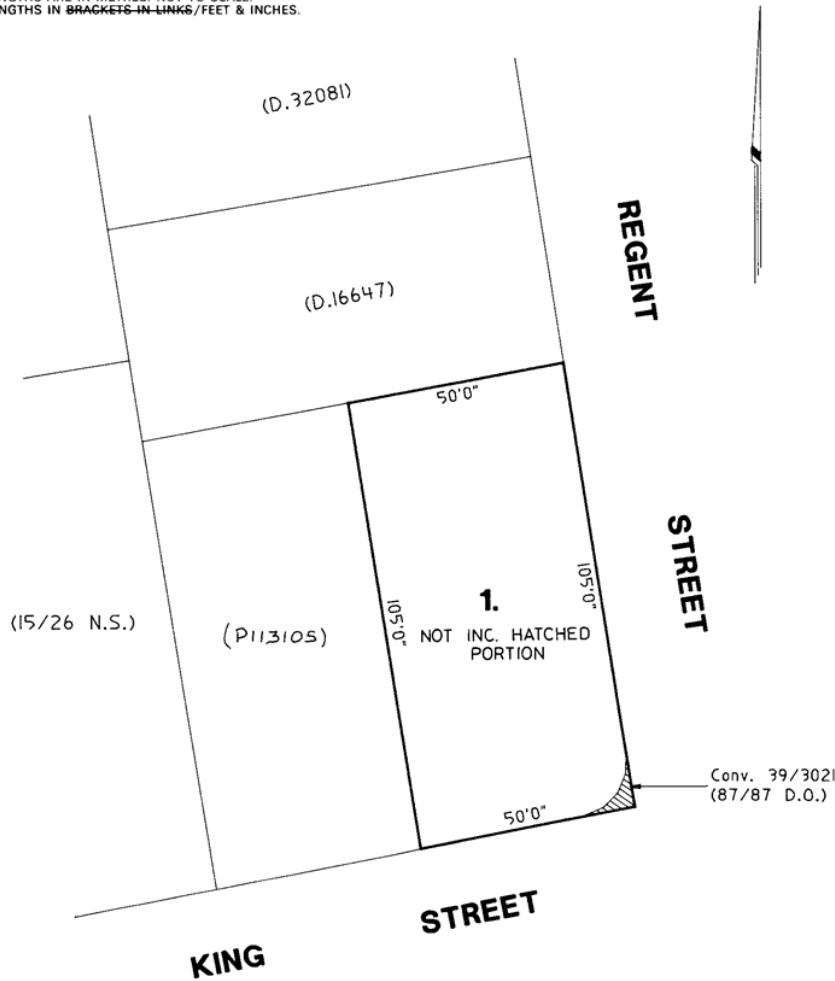
Issued Pursuant to the Land Titles Act 1980



APPROVED: 6- SEP 1991 <i>Michael Blain</i> RECORDER OF TITLES	CONVERSION PLAN CONVERTED FROM 67/3418	REGISTERED NUMBER D.51266
FILE NUMBER Y.14708	GRANTEE: PART OF 66-2-30 GTD. TO WILLIAM MORGAN ORR	DRAWN R.R.G. 30-8-91

SKETCH BY WAY OF ILLUSTRATION ONLY

CITY/TOWN OF **HOBERT**
LAND-DISTRICT OF
PARISH OF
LENGTHS ARE IN METRES, NOT TO SCALE.
LENGTHS IN BRACKETS IN LINKS/FEET & INCHES.





SUBMISSION TO PLANNING AUTHORITY NOTICE - SPAN

Reference
TASWASPAN-HOB-2026-0033

Application Reference
PLN-HOB-2024-0478

Address
80 KING ST SANDY BAY TAS 7005

Titles
51266/1

Applicant

Name	Email	Phone	Address	Involvement
Mr Joshua Graeme-Evans	jgemailx@gmail.com	0439855180	80 King Street, Sandy Bay, Tasmania, Australia, 7005	Applicant

Owner

Name	Email Address	Address
Mr Joshua Graeme-Evans	jgemailx@gmail.com	80 King Street, Sandy Bay, Tasmania, Australia, 7005

Relevant Property Title/s

Selected Titles

Total Area: 490m²

51266/1

Council Description of Use and/or Development

Council Proposed Use or Development Description

Partial Demolition, Alterations, Extension and Change of Use to Multiple Dwelling (One Existing and One New)

Response

Pursuant to the Water and Sewerage Industry Act 2008 (TAS)

Section 56P(1) - TasWater imposes the following conditions on the permit for this application:

Conditions

#	Condition	Origin
1	Asset creation Infrastructure works - Plans Plans submitted with the application for Certificate(s) for Certifiable Work (Building and/or Plumbing) / Engineering Design Approval must, to the satisfaction of TasWater show, all existing, redundant and/or proposed property services and mains.	Water and Sewerage Industry Act 2008
2	Asset creation Infrastructure works - Locate Prior to applying for a Certificate for Certifiable Works/Engineering Design Approval, the developer must physically locate all existing infrastructure to provide sufficient information for accurate design and physical works to be undertaken.	Water and Sewerage Industry Act 2008
3	Asset creation Infrastructure works - Markers Prior to undertaking any works related to water and sewerage, physical markers must be in place that clearly identify where water and/or sewer connections are to be made in accordance with any approved plan to TasWater's satisfaction.	Water and Sewerage Industry Act 2008
4	Asset creation Infrastructure works - EDA Prior to applying for a Permit to Construct new infrastructure the developer must obtain from TasWater Engineering Design Approval for new TasWater infrastructure. The application for Engineering Design Approval must include engineering design plans prepared by a suitably qualified person showing the hydraulic servicing requirements for sewerage to TasWater's satisfaction.	Water and Sewerage Industry Act 2008

5	<p>Asset creation Infrastructure works - Permit to construct</p> <p>Prior to works commencing, a Permit to Construct must be applied for and issued by TasWater. All infrastructure works must be inspected by TasWater and be to TasWater's satisfaction.</p>	Water and Sewerage Industry Act 2008
6	<p>Asset creation Infrastructure works - Qualified person</p> <p>In addition to any other conditions in this permit, all works must be constructed under the supervision of a suitably qualified person in accordance with TasWater's requirements.</p>	Water and Sewerage Industry Act 2008
7	<p>Prior to the issue of a Certificate of Water and sewerage Compliance (Building and/or Plumbing) all additions, extensions, alterations or upgrades to TasWater's water and sewerage infrastructure required to service the development, generally as shown on the concept servicing plan, are to be constructed at the expense of the developer to the satisfaction of TasWater, with live connections performed by TasWater.</p>	
8	<p>Asset creation Infrastructure works - Connect to infrastructure</p> <p>After testing/disinfection, to TasWater's requirements, of newly created works, the developer must apply to TasWater for connection of these works to existing TasWater infrastructure, at the developer's cost.</p>	Water and Sewerage Industry Act 2008
9	<p>Asset creation Infrastructure works - Cert of Practical Completion</p> <p>At practical completion of the water and sewerage works and prior to applying to TasWater for a Certificate of Water and Sewerage Compliance (Building and/or Plumbing), the developer must obtain a Certificate of Practical Completion from TasWater for the works that will be transferred to TasWater. To obtain a Certificate of Practical Completion:</p> <ul style="list-style-type: none"> • Written confirmation from the supervising suitably qualified person certifying that the works have been constructed in accordance with the TasWater approved plans and specifications and that the appropriate level of workmanship has been achieved,* A request for a joint on-site inspection with TasWater's authorised representative must be made,* Security for the twelve (12) month defects liability period to the value of 10% of the works must be lodged with TasWater. This security must be in the form of a bank guarantee,* As constructed drawings must be prepared by a suitably qualified person to TasWater's satisfaction and forwarded to TasWater. 	Water and Sewerage Industry Act 2008
10	<p>Asset creation Infrastructure works - Liability period</p> <p>After the Certificate of Practical Completion has been issued, a 12 month defects liability period applies to this infrastructure. During this period all defects must be rectified at the developer's cost and to the satisfaction of TasWater. A further 12 month defects liability period may be applied to defects after rectification. TasWater may, at its discretion, undertake rectification of any defects at the developer's cost. Upon completion, of the defects liability period the developer must request TasWater to issue a 'Certificate of Final Acceptance'. The newly constructed infrastructure will be transferred to TasWater upon issue of this certificate and TasWater will release any security held for the defects liability period.</p>	Water and Sewerage Industry Act 2008
11	<p>Asset creation - Infrastructure works - Protect infrastructure</p> <p>The developer must take all precautions to protect existing TasWater infrastructure. Any damage caused to existing TasWater infrastructure during the construction period must be promptly reported to TasWater and repaired by TasWater at the developer's cost.</p>	Water and Sewerage Industry Act 2008
12	<p>Asset creation - Infrastructure works - Ground level</p> <p>Ground levels over the TasWater assets and/or easements must not be altered without the written approval of TasWater.</p>	Water and Sewerage Industry Act 2008
13	<p>Asset creation Infrastructure works - Construction Management plan</p> <p>A construction management plan must be submitted with the application for TasWater Engineering Design Approval. The construction management plan must detail how the new TasWater infrastructure will be constructed while maintaining current levels of services provided by TasWater to the community. The construction plan must also include a risk assessment and contingency plans covering major risks to TasWater during any works. The construction plan must be to the satisfaction of TasWater prior to TasWater's Engineering Design Approval being issued.</p>	Water and Sewerage Industry Act 2008
14	<p>Final Plans, Easements - Endorsements - Pipeline easements</p> <p>Pipeline easements, to TasWater's satisfaction, must be created over any existing or proposed TasWater infrastructure and be in accordance with TasWater's standard pipeline easement conditions.</p>	Water and Sewerage Industry Act 2008
15	<p>Final Plans, Easements Endorsements - Completed transfer lot for infrastructure</p> <p>Prior to the issue of a Certificate of Practical Completion from TasWater, the applicant must submit a copy of the completed Transfer for the provision of a Pipeline and Services Easement over 80 King Street, Sandy Bay to cover the proposed TasWater infrastructure.</p>	Water and Sewerage Industry Act 2008
16	<p>56W Consent</p> <p>Included with the application for a Certificate for Certifiable Work (Building) and/or (Plumbing) must be an application to TasWater, pursuant to section 56W of the Water and Sewerage Industry Act 2008, for its consent in respect of that part of the development which is built within a TasWater easement or over or within two metres of TasWater infrastructure.</p> <p>The plans submitted with the application for 56W consent must, to the satisfaction of TasWater, demonstrate that the proposed maintenance hole is relocated from beneath the proposed deck area and provides a minimum clearance of 1.0 m from the outside edge of the manhole cover to any proposed or existing building works.</p>	Water and Sewerage Industry Act 2008

17	<p>Fees payment required</p> <p>The applicant or landowner as the case may be, must pay a development assessment fee of \$251.35 to TasWater, as approved by the Economic Regulator and the fees will be indexed, until the date paid to TasWater. The payment is required within 30 days of the issue of an invoice by TasWater.</p>	Water and Sewerage Industry Act 2008
18	<p>Advice - General</p> <p>For information on TasWater development standards, please visit https://www.taswater.com.au/building-and-development/technical-standards</p> <p>For application forms please visit https://www.taswater.com.au/building-and-development/development-application-form</p>	
19	<p>Advice - Service Locations</p> <p>Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure. A copy of the GIS is included in email with this notice and should aid in updating of the documentation. The location of this infrastructure as shown on the GIS is indicative only.</p> <ul style="list-style-type: none"> A permit is required to work within TasWater's easements or in the vicinity of its infrastructure. Further information can be obtained from TasWater TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit www.taswater.com.au/Development/Service-location for a list of companies TasWater will locate residential water stop taps free of charge Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council. 	Water and Sewerage Industry Act 2008
20	<p>Advice - 56W Consent</p> <p>The plans submitted with the application for the Certificate for Certifiable Work (Building) and/or (Plumbing) will need to show footings of proposed buildings located over or within 2.0m from TasWater pipes and will need to be designed by a suitably qualified person to adequately protect the integrity of TasWater's infrastructure, and to TasWater's satisfaction, be in accordance with AS3500 Part 2.2 Section 3.8 to ensure that no loads are transferred to TasWater's pipes. These plans will need to also include a cross sectional view through the footings which clearly shows,</p> <ul style="list-style-type: none"> Existing pipe depth and proposed finished surface levels over the pipe,* The line of influence from the base of the footing must pass below the invert of the pipe and be clear of the pipe trench and,* A note on the plan indicating how the pipe location and depth were ascertained. 	Water and Sewerage Industry Act 2008
21	<p>Advice - Boundary Trap Area</p> <p>The proposed development is within a boundary trap area and the developer will need to provide a boundary trap that prevents noxious gases or persistent odours back venting into the property's sanitary drain. The boundary trap is to be contained within the property boundaries and the property owner remains responsible for the ownership, operation and maintenance of the boundary trap.</p>	Water and Sewerage Industry Act 2008

Referral Documents

Version	Document Date	Document Type	Description	Prepared By
1	10 Mar 2026	Request for Information	RFI Response	Daniel Burke
1	10 Mar 2026	Request for Information	RFI Response	Daniel Burke
1	10 Mar 2026	Request for Information	RFI Response	Daniel Burke
1	10 Mar 2026	Request for Information	RFI Response	Daniel Burke

Schedule of Drawings/Documents

Schedule of Drawings/Documents

Prepared By	Drawings / Document No.	Revision No.	Date of Issue
PDS	049 All sheets	F	06/02/2026
GE Consulting Engineers	G24094 All sheets	03	06/02/2026

TasWater Details

Officer Name	Officer Title	Officer Contact Number
Jake Walley	Senior Assessment Officer	0467 625 805

Submitted on 19/03/2026

Application Referral Cultural Heritage – Response

Recommendation:	Refuse
Date Completed:	15/04/2026
Address:	80 King Street, Sandy Bay
Proposal:	Partial Demolition, Alterations, Extension and Change of Use to Multiple Dwelling(One Existing and One New)
Application No.:	PLN-HOB-2024-0478
Assessment Officer:	Nick Booth

Heritage Significance:

The proposed development is subject to consideration under E13.0 of the Historic Heritage Code of the Scheme.

The subject site is made up of title – C/T 51266/1



Figure 1: The subject site is shown with a blue outline with grey shading denoting a Heritage Precinct (Table E13.2)

The land parcel C/T 51266/1 includes:

- A late Victorian weatherboard clad single storey residential property built on a sandstone base constructed in a typical modest architectural style associated with workers cottages of the period. A simplistic front veranda has been altered in the 1950's so as to be supported by a decorative metal frame. The building has retained both of its original chimney stacks and a small single storey skillion roofed outbuilding has been erected to the rear, also clad in weatherboard.

The property stands on the junction of King and Regent Streets orientated onto Kings Street and therefore occupies a visually prominent position within both streetscapes. The front garden is enclosed by low timber picket fencing extending to high timber picket fencing along the Regent Street boundary. The rear garden has substantially been given over to vehicular parking with hardstanding for two parked vehicles and a third in the form of a flat roofed garage, all being accessed from Regent Street.

The site forms part of the Upper Sandy Bay Heritage Precinct as per Table E13.2 of the Hobart Interim Planning Scheme 2015. It has the following statements of significance from Table E13.2.

This precinct is significant for reasons including:

1. The early subdivision pattern of the main streets enhanced by the later street additions to form a coherent precinct of high overall heritage integrity.
2. The very fine examples of housing seen throughout the precinct that represent all of the major architectural styles.
3. The consistency of housing forms and the relatively low level of intrusive elements.
4. The high visual integrity of the streetscapes and the mix of development that allows the historical layers and development of the precinct to be seen and understood.
5. The extensive group of early buildings that represent the first phase of development of the Sandy Bay Precinct.

The property clearly reads as a typical example of a later Victorian weatherboard clad workers cottage and given its architectural style, materials and arrangement on plot, is considered to make a positive contribution to the characteristics as set out above. However, it is also acknowledged that the visual impact of the degree of parking within the rear garden is unfortunate given the hard appearance it presents to the street.

Proposal

- Demolition of the rear garage, skillion roofed outbuilding, garden fences within the site, small rear porch to the house and a large section of its rear elevation.
- Erection of two storey residential property with internal garage for a single car and new boundary wall to the neighbouring 36 Regent Street. The parent building would be altered in the form of dedicated car parking hard surface for two vehicles accessed from Regent Street enclosed by a new

sliding gate, new deck to the rear and large new areas of glazing within the rear facing elevation.
Background
<ul style="list-style-type: none"> No pertinent planning history.

The following provisions of the Scheme apply:	
HIPS 2015 Discretion	Applicable clause
Table E13.2 Heritage Precinct	
E13.8.1 Demolition	P1
E13.8.2 Buildings and Works other than Demolition	P1 and P3

Representations:
No representations have been received regarding the Heritage Code
Response:
n/a

Assessment: E13.8.1
Demolition is proposed and there are no Acceptable Solutions and therefore the proposal must be assessed against the Performance Criteria.
<p><i>E13.8.1 P1</i> Demolition must not result in the loss of any of the following:</p> <ul style="list-style-type: none"> a) buildings or works that contribute to the historic cultural heritage significance of the precinct; b) fabric or landscape elements, including plants, trees, fences, paths, outbuildings and other items, that contribute to the historic cultural heritage significance of the precinct; unless all of the following apply; <ul style="list-style-type: none"> i. there are, environmental, social, economic or safety reasons of greater value to the community than the historic cultural heritage values of the place; ii. there are no prudent or feasible alternatives; iii. opportunity is created for a replacement building that will be more complementary to the heritage values of the precinct.
Response:
The proposal would result in the demolition of elements to the rear. Due to the plot being on the junction of King and Regent Street, the rear of the site is visible from the public realm of Regent Street and the degree of demolition to the rear elevation of the parent house is considered unfortunate. However, the intended demolition of the section of wall is solely intended to allow for the installation of sliding glazed doors and it is acknowledged that there is an expectation that rear elevations would contain larger openings such as French Doors.

The intended demolition of the rear garage would remove a relatively unsightly structure positioned directly onto the street boundary which in its own right would be welcomed. As such, it is considered that the degree of demolition visible from the public realm would be relatively minor and largely result in no notable alteration to the appearance of the building or its role within the wider Precinct.

The proposal satisfies E13.8.1 P1.

Assessment: E13.8.2

Buildings and works other than demolition are proposed and there are no Acceptable Solutions. The proposal must therefore be assessed against the Performance Criteria.

E13.8.2 P1

Design and siting of buildings and works must not result in detriment to the historic cultural heritage significance of the precinct, as listed in Table E13.2.

Response:

The proposal represents an infill development, replacing a single low and flat roofed garage with a two storey narrow dwelling with distinctive high angled roof form, largely glazed street facing upper floor set behind a narrow-recessed balcony/balustrade with ground floor garage set behind high solid wall.

The proposal should be considered against the overall character of the built form within the Precinct with particular attention to the streetscape in which the proposal would sit. Due to the location of the property close to the junction of Regent and King Street, there is an argument that its position within the immediate streetscene should be considered against the prevailing built form of both Regent and King Street. However, it is considered that Regent Street represents the primary streetscape in this instance. It should be noted that the Precinct does not extend to the built form on the opposite side of Regent Street and therefore the residential flats directly opposite do not form part of the considered streetscape.

As set out above, it is considered that the pertinent elements of the described characteristics are:

- The consistency of housing forms and the relatively low level of intrusive elements.
- The high visual integrity of the streetscapes and the mix of development that allows the historical layers and development of the precinct to be seen and understood.

Plot Width, Massing and Height:

With regard to height, it is noted that within the immediate streetscape of Regent Street, the height of residential buildings are predominantly single storey with additional larger properties of one and a half storeys (the is, where the second floor is partial set within the roof of the property reducing its overall height). At two storeys, the proposal would therefore be higher than the streetscape in which it would stand.

This discrepancy in height would be emphasised by the high angle of the roof form and the narrowness of the plot width. Unlike the majority of residential properties

within the precinct, the proposal would have a notably narrow width. This narrowness is an important factor in that within the Precinct, two storey properties occupy what can be described as 'standard' width plots, providing a typical residential frontage to the street. In contrast, the proposal would be of a width more commonly associated with the small number of narrow fronted properties within the precinct, including 84 and 86 King Street as well as others in Randell and Powell Streets. Narrow frontage properties of this width are commonly associated with workers cottages and in all instances, these narrow-fronted properties are modest, single storey properties set behind low front garden walls with access to off street parking if provided are via side shared driveways. Parking is never accommodated to the front yard.

In this instance, to comply with the policy requirement to retain a coherent and consistent built form within the Precinct, this narrowness of the plot should to a degree provide a guide as to the height in which development is in proportion to its width and therefore have the ability to sit comfortably within the streetscape.

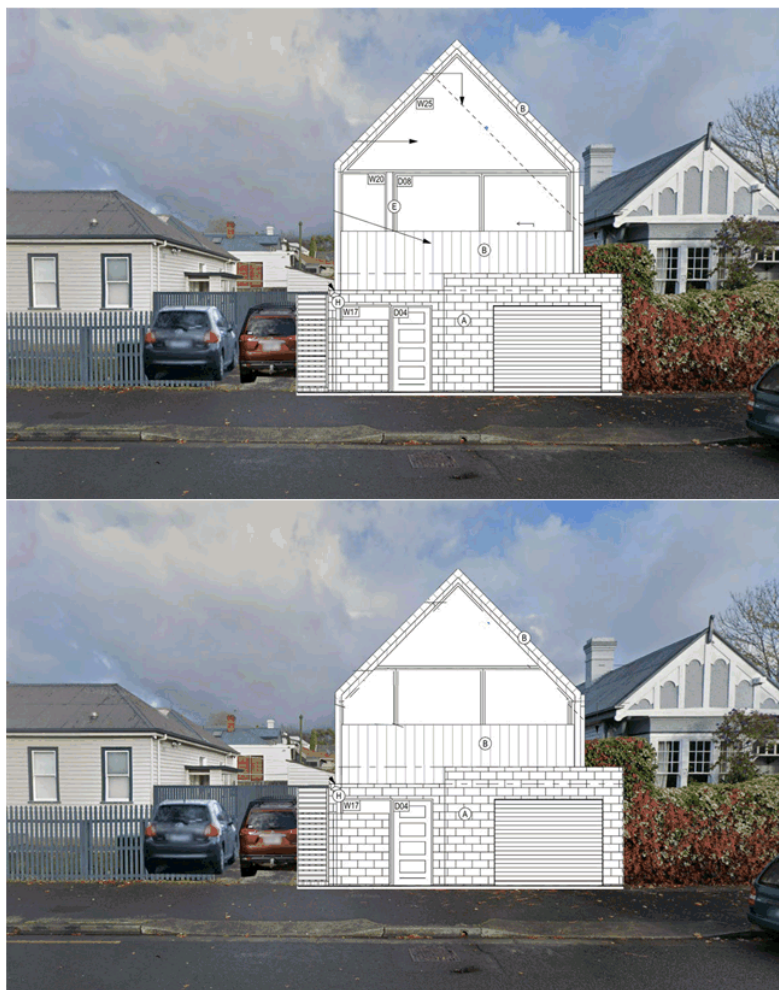


Figure 2 – Officer Indicative Illustration based on submitted plans showing proposed and an alternative one and a half design response.

As demonstrated in the illustrations above, it is considered that the issue is in part not one of 'principal' but of 'degree'. In the officer's opinion, an alternative set of proposals which incorporated the same floorspace but in a 'one and a half' storey development in which the upper floor is incorporated into the roof form, the overall height would be reduced to a degree far more in keeping with the surrounding streetscape and the wider Precinct.

This lack of coherency and consistency is further enhanced by the design choices to incorporate parking within the front garden/garage, to utilise a high angled pitch to what would be the dominant design feature, namely the roof, adopting a front façade and fenestration style not seen elsewhere within either the immediate streetscape or that of the wider precinct and to utilise a solid high front fence. When combining all of the above, it is considered that the proposal would fail to comply with the heritage provisions of the Planning Scheme.

It is considered that clause E13.8.2 P1 is not satisfied

E13.8.2 P3

Extensions to existing buildings must not detract from the historic cultural heritage significance of the precinct.

The proposed alterations and extension to the rear of the parent property, as set out above, would be partially visible from the public realm due to the site occupying a corner plot. With regard to the large openings and replacement fenestration, as set out above, despite appearing clearly as modern features, is acknowledged that there is an expectation that rear elevations would contain larger openings such as French Doors of this type. The proposed extension in the form of a small area of decking is considered minor and would have no impact upon the visual qualities of the site or to the wider precinct.

As such, it is considered that the proposed alteration and extension to the parent building would not detract from the appearance of the property as a contributory element, or to the wider Precinct.

It is considered that clause E13.8.2 P3 is satisfied.

Conclusion:

Given that consistency in form and scale contributes to the heritage and overall townscape importance of this precinct, it is considered that the proposed new dwelling would neither sustain nor enhance the character of the Heritage Precinct, and as such would run contrary to the Heritage Performance Criteria set out in the HIPS.

As such, it is recommended that the application be refused for the following reason:

The proposed new dwelling, by reason of its height, design and façade treatment would have a detrimental impact upon those features which contribute to the historic cultural significance of the Upper Sandy Bay Heritage Precinct (SB2) as set out in table E.13.2 of the Hobart Interim Planning Scheme 2015, contrary to E13.8 Development Standards for Heritage Precincts, in particular E13.8.2 – 'Buildings and Works other than Demolition' P1.

Nick Booth
Acting Senior Cultural Heritage Officer
25 April 2026

7.2 APPLICATIONS UNDER THE TASMANIAN PLANNING SCHEME

7.2.1 4 SOUTH STREET, BATTERY POINT - PARTIAL DEMOLITION, ALTERATIONS AND EXTENSION PLN-HOB-2025-0554 - FILE REF: F26/24520

Address:	4 South Street, Battery Point
Proposal:	Partial Demolition, Alterations and Extension
Expiry Date:	7 May 2026
Extension of Time:	Not Applicable
Author:	Victoria Maxwell

RECOMMENDATION

That pursuant to the *Tasmanian Planning Scheme - Hobart*, the Council approve the application for Partial Demolition, Alterations and Extension at 4-6 and 2 SOUTH ST BATTERY POINT TAS 7004 for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

GEN - General

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-HOB-2025-0554 – 4-6 and 2 SOUTH ST BATTERY POINT - Final Planning Documents except where modified below.

PLN s1

Amended plans must be provided by Condition Endorsement prior to approval of any permit under the *Building Act 2016* for the proposal to reduce the southern and eastern boundary walls to no higher than 2.7 metres above existing ground level or to such height as to fit below the eave of the existing dwelling; whichever is the lesser.

Note: amended plans submitted on 29 April 2026 are considered to partially demonstrate this condition, but must be accurately redrawn with a consistent and measurable scale and formally re-submitted to Council by Condition Endorsement as set out above.

PLN s2

Prior to approval of any building permit for the proposal, the site must be surveyed by a qualified Land Surveyor to identify the lot boundaries and clearly marked onsite to ensure all works to extend the dwelling on Lots 4 and 6 SP 53157 are undertaken completely within the boundaries of these strata lots.

PLN s3

All proposed works, excluding possible stormwater services in the access way for Lot 2, must be completely contained within the Lots 4 and 6 of SP153157. No approval is granted in this permit to extend the dwelling into Lot 2.

Amended plans must be provided by Condition Endorsement prior to approval of any permit under the *Building Act 2016* for the proposal.

PLN 11 - Materials

Prior to the issue of any approval under the *Building Act 2016* (excluding for demolition) or the commencement of work on the site (whichever occurs first), a plan showing exterior colours and materials of the southern and western external walls must be submitted and approved as a condition endorsement. Samples and revised montages may be required to be submitted in support of the proposed plan.

All work required by this condition must be undertaken in accordance with the approved revised plans, samples and montages.

The applicant is encouraged to consult with adjoining owners to determine the final treatment and colour.

HER 1 - Heritage - Fabric

Partial demolition of the brick wall is to be undertaken with care to allow the brickwork to be salvaged for reuse on site in the new works as per the nominated materials, colours and finishes indicated in the elevations in drawing A06 'Elevations Proposed' by Shurman Design, dated 20.10.25.

HER 2 - Heritage - Fabric

The overall height of the proposed southern wall as shown in the drawing A06 'Elevations Proposed' drawing by Shurman Design, dated 20.10.2025 is not approved. The addition is to connect to the existing southern wall below the eaves as indicated in the render on drawing A08 'Materials' by Shurman Design, dated 20.10.2025. The proposed southern wall is to be lowered correspondingly to align with this height.

Prior to the issue of any approval under the *Building Act 2016*, revised plans and elevations detailing the above must be submitted and approved as a Condition Endorsement. All work must be undertaken in accordance with the approved plans and specifications.

HER 12 - Heritage - Colour and Finish

The external colours, materials and finishes of the approved development must be substantially in accordance with the approved plans. Any substantial change in the colours, materials and finishes requires further approval.

ENG 1A - Development Engineering - Protection of Council Assets

Any damage to council infrastructure resulting from the implementation of this permit, must, at the discretion of the Council:

1. Be met by the owner by way of reimbursement (cost of repair and reinstatement to be paid by the owner to the Council); or
2. Be repaired and reinstated by the owner to the satisfaction of the Council.

A photographic record of the Council's infrastructure adjacent to the subject site must be provided to the Council prior to any commencement of works.

A photographic record of the Council's infrastructure (e.g. existing property service connection points, roads, buildings, stormwater, footpaths, driveway crossovers and nature strips, including if any, pre-existing damage) will be relied upon to establish the extent of damage caused to the Council's infrastructure during construction. In the event that the owner/developer fails to provide to the Council a photographic record of the Council's infrastructure, then any damage to the Council's infrastructure found on completion of works will be deemed to be the responsibility of the owner.

Reason for condition

To ensure that any of the Council's infrastructure and/or site-related service connections affected by the proposal will be altered and/or reinstated at the owner's full cost.

ENG SW1 - Stormwater - Design

All stormwater from the proposed development (including but not limited to: roofed areas, ag drains, and impervious surfaces such as driveways and paved areas) must be drained to a lawful point of discharge to the public stormwater system prior to occupancy or commencement of use (whichever occurs first).

Advice:

Under section 23 of the Urban Drainage Act 2013 it is an offence for a property owner to direct stormwater onto a neighbouring property.

Reason for condition

To ensure that stormwater from the site will be discharged to a suitable Council-approved outlet.

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, bylaws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's website for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

CONDITION ENDORSEMENT

If any condition requires that further documents are submitted and approved, you will need to submit the relevant documentation to satisfy the condition via the Condition Endorsement Submission through PlanBuild. Detailed instructions can be found [here](#).

Once approved, the Council will respond to you via PlanBuild that the condition has been endorsed (satisfied).

Where building approval is also required, it is recommended that documentation for condition endorsement be submitted well before submitting documentation for building approval. Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.

Fees for Condition Endorsement are set out in Council's Fees and Charges

BUILDING PERMIT

You may need building approval in accordance with the *Building Act 2016*, further details are available on the Council's website, which may assist you in understanding the relevant requirements.

A checklist has also been developed by Consumer, Building and Occupational Services (CBOS) to help property owners understand their responsibilities before, during, and after building work. It outlines the key steps in the building work approval process for notifiable (medium risk) and permit (high risk) work under the *Building Act 2016*. This resource is designed to support owners in meeting their obligations and ensuring a smooth approvals process. You can access the checklist [here](#).

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

PLUMBING PERMIT

You may need plumbing approval in accordance with the *Building Act 2016*, Building Regulations 2016 and the National Construction Code. Further details are available on the Council's website which may assist you in understanding the relevant requirements.

A checklist has also been developed by Consumer, Building and Occupational Services (CBOS) to help property owners understand their responsibilities before, during, and after building work. It outlines the key steps in the building work approval process for notifiable (medium risk) and permit (high risk) work under the *Building Act 2016*. This resource is designed to support owners in meeting their obligations and ensuring a smooth approvals process. You can access the checklist [here](#).

ADVICE - HERITAGE

Lime-based mortar is more compatible with historic bricks than cementitious mortar. It is suggested that lime-based mortar be used in the construction of the new wall with the reused bricks. The use of cementitious mortar is a common cause of long-term deterioration in historic masonry, and it is not recommended.

STRATA AMENDMENT

You will be required to amend strata plan 153157 pursuant to the provisions of the *Strata Titles Act 1998* in order to reflect the completed development works and to combine strata lots 4 and 6 into a single strata lot.

STORMWATER






Please note that in addition to a building and/or plumbing permit, development must be in accordance with the Hobart City Council's Infrastructure By law. [Click here for more information.](#)

FEES AND CHARGES

[Click here for information on the Council's fees and charges.](#)

BEFORE YOU DIG

[Click here for before you dig information.](#)

- Attachment A: PLN-HOB-2025-0554 - 4-6 South St and 2 South Street - PC Agenda Planning Report ↓ 
- Attachment B: PLN-HOB-2025-0554 - 4-6 and 2 South St Battery Point - PC Supporting Documents ↓ 
- Attachment C: PLN-HOB-2025-0554 - 4-6 and 2 SOUTH ST BATTERY POINT - Cultural Heritage Referral Report ↓ 
- Attachment D: PLN-HOB-2025-0554 - 4-6 and 2 South St Battery Point - Surveying Referral Report ↓ 
- Attachment E: PLN-HOB-2025-0554 - 4-6 and 2 SOUTH STREET - Development Engineering Report ↓ 

**PLANNING ASSESSMENT REPORT**

Type of Report:	Committee
Committee:	6 May 2026
Expiry Date:	7 May 2026
Application No:	PLN-HOB-2025-0554
Address:	4 SOUTH ST BATTERY POINT TAS 7004
Applicant:	Mr Chris Shurman 4 Liverpool Crescent, West Hobart, Tasmania, Australia, 7000
Proposal:	Partial Demolition, Alterations and Extension
Representations:	Eight (8)
Performance criteria:	Local Historic Heritage Code – Heritage Precinct – Demolition - C6.7.1 P1, Local Historic Heritage Code – Heritage Precinct – New Works - C6.7.3 P1.1 and P1.2 LPS – Battery Point Specific Area Plan - Density - HOB- S7.7.2 P1 LPS – Battery Point Specific Area Plan – Building Setback - HOB-S7.7.2 P3 LPS – Battery Point Specific Area Plan – Site Coverage - HOB-S7.7.4 P1

1. Executive Summary

- 1.1. Planning approval is sought for Partial Demolition, Alterations and Extension at 4 SOUTH ST BATTERY POINT TAS 7004
- 1.2. More specifically the proposal includes:
 - Demolition of part of outside bathroom, side and rear walls and internal demolition;
 - Construction of rear extension behind 6 South St cottage along southern and part of the eastern boundary to provide internal access to bathroom;
 - The roof and parapet walls extend beyond the existing eave to slightly above the rear bathroom ridgeline height, with a partial glass roof/skylight along the southern boundary and substantial glass windows in the northern pitch of the roof;
 - A small north facing courtyard is proposed with wraparound building on all but the northern side.
- 1.3. The proposal relies on performance criteria to satisfy the following standards and codes:

- 1.3.1. Tas Planning Scheme – Hobart - Local Historic Heritage Code – Heritage Precinct – Demolition - C6.7.1 P1,
 - 1.3.2. Tas Planning Scheme – Hobart - Local Historic Heritage Code – Heritage Precinct – New Works - C6.7.3 P1.1 and P1.2
 - 1.3.3. Local Provisions Schedule – Hobart – Battery Point Specific Area Plan - Density - HOB-S7.7.2 P1
 - 1.3.4. Local Provisions Schedule – Hobart – Battery Point Specific Area Plan – Building Setback - HOB-S7.7.2 P3
 - 1.3.5. Local Provisions Schedule – Hobart – Battery Point Specific Area Plan – Site Coverage - HOB-S7.7.4 P1
- 1.4. Eight (8) representations objecting/supporting the proposal were received within the statutory advertising period between 31 March and 17 April 2026.
 - 1.5. The proposal is recommended for approval subject to conditions.
 - 1.6. The final decision is delegated to the Planning Committee.

2. Site Detail

- 2.1. The site is located on the eastern side of South St. Surrounding uses are residential on small lots with the Salamanca Square development further to the west and Salamanca PI and Princes Wharf further to the north.



Figure 1: Site Plan (Geo Cortex, 2026)

- 2.2. The subject site is part of a three (3) lot strata, comprising 4 and 6 South St (subject site) and 2 South St to the rear. The two strata lots pertaining to this application are two Victorian conjoined cottages with a separate outside bathroom on the rear strata boundary. They are located close to the front boundary with separate front doors and a mirrored layout.



Figure 2: Frontages for 4 and 6 South St (Google Streetview, 2024)

- 2.3. The property is flat with no legal rear access to 4 South St. There is a pedestrian access to 2 South St, but no easement legalising access along this for 4 South St. 6 South St does have a narrow walkway running along the southern boundary. This is fenced from partway along the dwelling to the rear strata boundary.

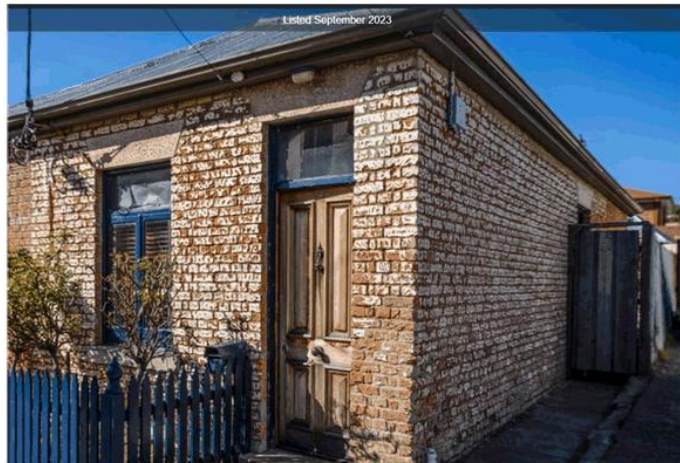


Figure 3: View of external rear access for 6 South St (www.realestate.com.au, 2023)

3. Proposal

- 3.1. Planning approval is sought for Partial Demolition, Alterations and Extension at 4 SOUTH ST BATTERY POINT TAS 7004

3.2. More specifically the proposal includes:

- Demolition of part of outside bathroom, side and rear walls and internal demolition;
- Construction of rear extension behind 6 South St cottage along southern and part of the eastern boundary to provide internal access to bathroom;
- The roof and parapet walls extend beyond the existing eave to slightly above the rear bathroom ridgeline height, with a partial glass roof/skylight along the southern boundary and substantial glass windows in the northern pitch of the roof;
- A small north facing courtyard is proposed with wraparound building on all but the northern side.

4. Background

4.1. Previous applications relevant to this proposal and/or site are listed below:

- PLN-16-00492-01 - 6 South Street - BATTERY POINT - House Extension
- ENF-16-829 - Visitor Accommodation
- PLN-05-00694-01 - 2-6 South Street - BATTERY POINT - House Extension/Addition
- ENF-05-00407-01 - 2, 4 & 6 South Street - BATTERY POINT - building works

4.2. The property is part of a three lot strata plan. The two lots 4 and 6 are proposed to be consolidated into one strata lot, with the remaining Lot 2 unchanged in the strata scheme.

5. Concerns raised by representors

5.1. Eight (8) representations objecting/supporting the proposal were received within the statutory advertising period between 31 March and 17 April 2026.

5.2. The following outlines the concerns raised in the representations received. Those concerns which relate to a discretion invoked by the proposal are addressed in Section 6 of this report.

Concerns
The proposal plans a zero setback from the rear and side boundaries. Whilst the existing bathroom building is currently located on the rear boundary, it is a much smaller structure. In comparison the proposal will take up 73% of the rear boundary and add an additional 40cm in height.
The existing footprint of the bathroom structure provides a generous setback from the southern boundary, consistent with the traditional Battery Point property cottage layout, which has cottages closely spaced to each other on the front boundary, leaving open gardens to the rear for the amenity of both occupants and neighbouring properties. By building to the southern and eastern boundaries, the proposal seeks to capitalise on the Battery Point style minimal side setbacks, whilst at the same time failing to respect the traditional rear setback. This is contrary to HOB-S7.7.2 of the planning scheme which

provides that siting of buildings must be compatible with the streetscape, amenity, character and historic heritage significance of the area. Specifically HOB-S7.7.2 P2.
With the proposed addition providing no rear setback and also proposing no setback from the southern boundary, there will be significant loss of amenity and outlook from No 8. With a south wall 3.5m high, sunlight to the private open space on 8 South St will be impacted.
The proposal will significantly impact the outlook from No 8 South St. with the proposed 1.5m above the existing 7 metres of shared fencing, it will add an unmissable mass of modern red brick along 7 metres of shared fencing within the courtyard of 8 South St (which equates to the whole rear setback for 6 South St).
The plans for 6 South St appear to have no provision for landscaping; disregarding the existing layout and ignores the pattern of development characterised by traditional front cottage-rear garden design in the area.
Whilst no longer a statutory document, the Battery Point Planning Scheme 1979 describes the historic layout pattern and character (" <i>single and attached dwelling each with its own backyard ... The Districts historic character has lasted precisely because it is still used in the same way: it can continue to perform these functions and its townscape and future amenity depend on these functions being protected</i> "). These standards are embodied in the current scheme.
The site is identified as a "contributory building" and the agglomeration of two fine terrace cottages into one large building, exacerbated by the long structure extending the full length of the southern boundary is not consistent with this design criteria.
The render in the plans misrepresents how the proposed addition will look from the street. The southern wall appears to only just sit above the height of 8 South St driveway gate which is 2m high, as is the internal fencing in the courtyard of 8 South St. At 3.5m the southern wall will sit far higher than depicted. This render fails to accurately show the disproportionate bulk that the new structure will add to the cottage from the street. It also minimises the impact of wall in the rear setback area shared with 8 South St.
There are also discrepancies with the height of the wall from the southern and western elevations.
The proposed southern boundary wall will be 13.4m long and 3.5m high, taking up 64% of the boundary, including rear setback area.
The zero rear setback is contrary to the Battery Point Specific Area Plan. The non-compliance with the prescribed setback impacts both on the historic pattern of the area, as well as the amenity to neighbouring properties.
Concern is raised over two contrasting brick sections; one recycled brick from demolition and another section of modern red brick.
The application takes no account of the existing boundary fencing between 6 and 4 South St. In particular the fence that lines the courtyard at 8 South St was replaced in around 2022. A steel posted fence paid for fully by the owners of 8 South St, with the consent of 6 South St. The fence with spotted gum panelling on the side of 8 South St is integral to the architectural design of their outdoor area, which has a repeating theme of spotted gum timber throughout. The loss of this spotted gum fence is not supported. Whilst this is a legal issue rather than Planning, it highlights the lack of thought of consequences for neighbouring properties from this proposal. It is difficult to see how the

<p>proposal could be building without significant interference with the private property rights of 8 and 2 South St.</p>
<p>The eastern wall departs from the planning scheme with the wall exceeding 3 metres. As well, the length of the proposal wall is 7.4m long, well over 1/3 the length of the boundary which is approx. 10m.</p>
<p>The application fails to address the impact that the proposal will have on the amenity of 2 South St in regard to the proposed wall height, length and zero setback, which will lead to unreasonable overshadowing of its private open space. The private open space consists of a courtyard adjacent to the proposed wall. It is an important feature of 2 South St, providing the only outdoor space for gardening, recreation and entertaining. The proposed 2.43m height will reduce light to this area, particularly after midday in winter. The applicant has provided no shadow diagrams to address this loss of sunlight.</p>
<p>The increased length and height of the proposed wall will lead to reduced sunlight to the ground floor kitchen and living room. All windows to the property are west facing. There is no modelling to address the impact of lost sunlight.</p>
<p>The length and height of the proposed boundary wall will cause an unreasonable loss of amenity by adding bulk and scale to the structure when viewed from 2 South St. The courtyard for 2 South St is only 3.4m wide, meaning that it will be dwarfed by a wall standing 3.42m high above its whole length. It will add approximately 1.7m² of brick above the existing building and a further 4.4m² above the existing fence line.</p>
<p>The proposal departs from site coverage requirements of the planning scheme, taking up 70% of the site and the application does not address the Performance Criteria.</p>
<p>The distinctive form and proportionate scale of rear garden area to building is further reinforced by the 50% maximum site coverage, which is significantly exceeded by this proposal, contrary to the objective to ensure that the site coverage must be compatible with the streetscape, amenity, character and historic heritage significance of the area.</p>
<p>The proposed 70% site coverage is not compatible with the existing established properties in the area, or pattern of development previously described.</p>
<p>The proposed private open space is half of the area of the two un-combined properties (4 and 6 South St). The failure to respect the described pattern of development will lead to a significant detrimental impact on the amenity of adjoining properties in terms of sunlight and outlook.</p>
<p>The living room at 8 South St is located on the ground floor, with bifold doors and a large window to maximise light. It is entirely dependent on the natural light from these northern windows and is one of the few spaces that enjoys direct sunlight. The 3.4m south wall will shade the only private open space for 8 South St. Without shadow diagrams the impact cannot be determined.</p>
<p>If the building is approved in its current form, it will lead to an unreasonable loss of amenity to 2 South St, by boxing it into an already tightly contained property and courtyard; reducing sunlight and adding bulk by way of a tall brick wall on the boundary. This will likely make the space feel more like a prison exercise yard than a contemporary outdoor private space.</p>
<p>It is quite egregious that 4.5m high wall will most impact 8 South St to provide a void space, housing a drain and green wall at the foot of Bedroom 1. The proposal is willing</p>

to unreasonably reduce existing sunlight to 8 South St with plenty of northern light proposed into the extension with atrium style roof and floor to ceiling glass doors.
It is ironic that to maximise its own access to light, the atrium style roof proposed will unreasonably interfere with the light received by 2 South St.
The proposed plumbing plan shows works extending outside the subject site into 2 South St.
It is understood that buildings require a setback of at least 0.9m from the rear boundary fence.
The current 1.8m height of the boundary fence and rear wall on the subject site will be almost doubled to the side of the existing bathroom structure. Given the significant impact on solar access to 2 South St, consideration should be given as to whether the height is necessary and fair to neighbouring residents. Can the wall height be reduced by 1 metre?
Given the works are proposed extremely close to neighbouring properties, concern is raised over noise and interruption of residents' "quiet enjoyment" of their properties.
Due to the age of 2 South St, there is possibility that excavation works on 4-6 South St may cause damage to the neighbouring dwelling.
The proposal plans do not reflect the boundaries set out in the strata plans. The plans show an intention to encroach into 2 South St. Please ensure the site is surveyed prior to any development to avoid any encroachment.
The plans show errors that serve to minimise the height of external walls in the west elevation, suggesting a height closer to 3.3 metres.
Photos were provided showing the proposed height by tape measure, which significantly differs from the stated wall height, which suggests that the proposed southern wall will dwarf the existing fence, leading to a loss of amenity for 8 South St.
There is a discrepancy between the height of 3.5m on the south elevation and 3.3m on the west elevation.
It is disappointing to see heritage streetscapes damaged by extreme renovations and additions that benefit one property owner at the expense of the amenity of neighbours.
Suitable amendments to address these concerns would require a redesign that leaves a suitable rear setback along the southern boundary. If a rear setback is not provided then other suitable adjustments, reducing the height of the wall and/or moving the south wall to provide a setback from the southern boundary to reduce the impact on the amenity for 8 South St.

6. Assessment

- 6.1. The *Tasmanian Planning Scheme – Hobart* is a performance based planning scheme. To meet an applicable standard, a proposal must demonstrate compliance with either an acceptable solution or a performance criterion. Where a proposal complies with a standard by relying on one or more performance criteria, the Council may approve or

refuse the proposal on that basis. The ability to approve or refuse the proposal relates only to the performance criteria.

- 6.2. This site is located within the 9.0 Inner Residential Zone - TPS of the Tasmanian Planning Scheme – Hobart.
- 6.3. The existing use is Multiple Dwelling, the proposed use is Residential. The existing use is a permitted use in the zone. The proposed use is a permitted use in the zone.
- 6.4. The proposal has been assessed against
 - 6.4.1. 9.0 Inner Residential Zone - TPS,
 - 6.4.2. C6.0 Local Historic Heritage Code - TPS
- 6.5. The proposal relies on the following performance criteria to comply with the applicable standards:
 - 6.5.1. Tasmanian Planning Scheme – Hobart - Local Historic Heritage Code – Heritage Precinct – Demolition - C6.7.1 P1,
 - 6.5.2. Tasmanian Planning Scheme – Hobart - Local Historic Heritage Code – Heritage Precinct – New Works - C6.7.3 P1.1 and P1.2
 - 6.5.3. Local Provisions Schedule – Hobart – Battery Point Specific Area Plan - Density - HOB-S7.7.2 P1
 - 6.5.4. Local Provisions Schedule – Hobart – Battery Point Specific Area Plan – Building Setback - HOB-S7.7.2 P1 and P3
 - 6.5.5. Local Provisions Schedule – Hobart – Battery Point Specific Area Plan – Site Coverage - HOB-S7.7.4 P1

6.6. Each performance criteria is assessed below:

6.7. Tasmanian Planning Scheme – Hobart - Local Historic Heritage Code – Heritage Precinct – Demolition - C6.7.1 P1

		6.7.1. The Acceptable Solution for clause C6.7.1 A1 allows demolition of building works and fabric, fencing and outbuildings provided such works are not part of a Heritage Place or are visible to a road or public open space, or involve a value, feature or characteristic listed in the relevant Local Provisions Schedule.
		6.7.2. The proposal includes demolition of a side wall visible to the road.
		6.7.3. The proposal does not comply with the Acceptable Solution; therefore, assessment against the Performance Criterion is relied on.
		6.7.4. The Performance Criterion at clause C6.7.1 P1 provides as follows:

		The application was referred to Council's Cultural Heritage Officer, who advised the following:
6.7.5.		<p>Local Historic Heritage Significance</p> <p>4-6 South Street Battery Point are a pair of circa 1860s red brick conjoined workers cottages, which share a common boundary with slightly later cottage at 2 South Street to the rear. While not individually heritage listed, the cottages form part of the HOB-C6.2.1 Battery Point Local Heritage Precinct as shown on the overlay map and as listed under HOB-Table C6.2 in the <i>Hobart Local Provisions Schedule</i>. All three cottages are identified as being contributory buildings in demonstrating the consistency and distinctive historic townscape for which Battery Point is closely associated.</p> <p>The site is also located within HOB-S7.0 Battery Point Specific Area Plan in the <i>Hobart Local Provisions Schedule</i>.</p> <p>The Statement of Local Heritage Significance for the precinct is described in the <i>City of Hobart Local Heritage Precincts Description, Statement of Local Historic Heritage Significance and Design Criteria / Conservation Policy January 2019</i>.</p> <p>For contributing to the understanding of local history</p> <ul style="list-style-type: none"> • <i>The precinct is primarily a residential area with a rich maritime history and a historical mix of large substantial homes through to smaller workers cottages, but with layers of subdivision and successive development, all with a traditional character.</i> • <i>Battery Point features an unstructured street layout, and lot sizes that show successive re- subdivision into narrow lots that demonstrate early settlement patterns of the area.</i> • <i>The significant and extensive collection of Colonial buildings that represent the first phases of development within the Battery Point area.</i> <p>For the representation of aesthetic characteristics</p> <ul style="list-style-type: none"> • <i>The original and/or significant external detailing, finishes and materials that demonstrate intact examples of architectural styles with a high degree of integrity.</i> • <i>The front and rear gardens of properties, street trees, parks, and established vegetation are significant visual features that reinforce the precincts residential character.</i> • <i>The foreshore views and remaining boat building industries within the precinct contribute to the understanding of the significant maritime history of Battery Point.</i> • <i>The area is significant because it contains a unified group of one and two-storey buildings and has a distinctive townscape, with tight urban spaces and consistently detailed buildings forming an overall homogenous historic precinct.</i> <p>For the representation of a class of building or place</p> <ul style="list-style-type: none"> • <i>The wide variety of architectural styles and historic features including additions, landscape elements, and outbuildings from 19th century Colonial Georgian, Victorian, Federation, Inter-War, and Post War examples of single and attached houses and buildings that are of historic and architectural merit.</i>

- Highly intact streetscapes that demonstrate consistent 19th century Colonial and Victorian Georgian architecture.
- A recognisable streetscape which demonstrates housing prior to mass car ownership proximity to the city. The area has a distinctive townscape with tight urban spaces and consistently detailed buildings forming an overall homogenous historic precinct.

For the association with a particular community or cultural group for social or spiritual reasons

- The area has social significance to the local and broader community due to the location of the former Queen Alexandra Hospital, The Battery Point Community Hall, Narryna Heritage Museum, and the Battery Point Slip Yards within the precinct.
- The area has social and spiritual significance to the local and broader community due to the location of the St George’s Church and hall within the precinct.

Site History

The building at 4-6 South Street is a c. 1860s red brick conjoined workers cottage with a separate cottage to the rear at 2 South Street, likely constructed shortly after the main conjoined cottages.

The land was initially part of a much larger grant to Askin Morrison, prior to the establishment of South Street. It was later granted, in part, to James Lee in 1855 (historic deed 04/0839). The title document (historic deed 05/3968) indicates that his wife and son, Hannah Lee and James Gordon Lee, were granted the land as part of his estate in 1866, which included 2-6 South Street. The *Hobart Town Gazette* includes a reference to the Lees owning residences on South Street from 1865; South Street does not appear to be included in any of the earlier editions of the *Gazette*. The 1857 Sprent maps show South Street to be undeveloped.

The *Gazette* refers to the site as three separate residences, which is continued in the 1910 plan of drainage for the site, indicating occupation as three separate houses owned by one person, D Nicholas of Hampden Road.

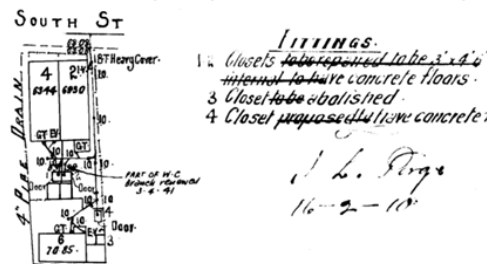


Figure 4: Metropolitan Drainage Board, 1910 Plan of Drainage for the site showing 2, 4 and 6 South Street as separate residences. Source: Council archives, plan H2599.



Figure 5: Photograph showing the front façade of 4-6 South Street.
 Source: Council Officer, April 2026.

It is noted that a planning application lodged in 2016 included a rear two storey addition. The application was refused on heritage grounds (E13.8.2 P1 and P3, E13.8.4 P3 of the *Hobart Interim Planning Scheme 2015*), based on the height and general form being inconsistent with the surrounding pattern of development (PLN-16-00492). The overall height was not substantially greater than the ridge height of the existing cottage, although the roof form protruded to the southern side and would be visible as a distinct form directly behind the cottage.

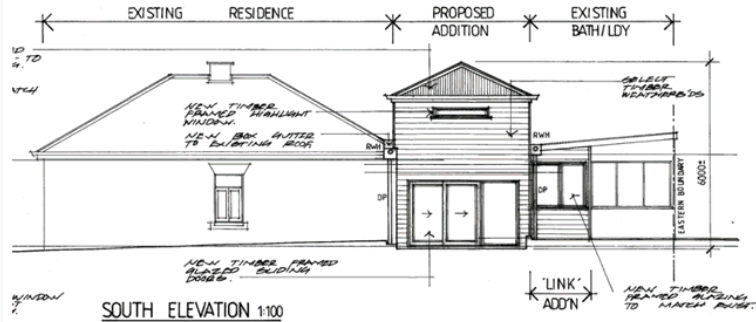


Figure 6: Southern (side) elevation of the previously refused application PLN-16-00492.

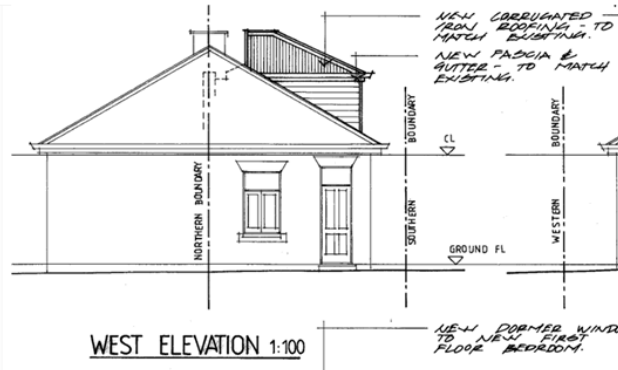


Figure 7: Western (front) elevation of the previously refused application PLN-16-00492.

Proposal

Demolition of:

- Rear outbuilding to 6 South Street, retaining conjoined outbuilding at 4 South Street.
- Partial side and rear wall of 6 South Street.
- Internal demolition of wall between 4 and 6 South Street.

Construction of:

- New single storey rear addition behind 6 South Street that extends closer to the side boundary, continuing the ridge height of the existing cottage.

Representations

The table below summarises all the heritage related concerns raised by representors during the statutory advertising period.

Concerns	Response
Excavation to construct the addition will affect the historic building at 2 South Street.	As the site is not identified as a place or precinct of archaeological potential, excavation is not assessed against the Local Historic Heritage Code of the <i>Tasmanian Planning Scheme</i> .
<p>"By submitted plans to build right up to the southern and eastern boundary lines in this setback area, the owner of number 6 seeks to capitalise on the Battery Point style of minimal side setbacks while at the same time failing to respect the traditional rear setback. This is contrary to HOB-S7.7.2 Building Setback..."</p> <p>"The non-compliance with the prescribed setback impacts both on the historic pattern of the area..."</p>	<p>The front and side setbacks are considered as consistent with the surrounding area, and the addition is set back from the front building line which allows the front portion of 6 South Street to remain more prominent in this sense.</p> <p>The rear setback is calculated including the parent title, which includes 2 South Street where the addition does not extend. The rear setback remains unaltered.</p>

<p>"The proposed extension on the southern elevation provides no rear setback whatsoever. This will impact both on the historic pattern and layout of houses in the district... This traditional layout allowed for houses to be located close to the street, in close proximity to each other (side by side), and with open space/garden to the rear..."</p>	<p>Additionally, the existing outbuildings across 4-6 South Street are built to the rear setback of these two properties.</p>
<p>"The plans for number 6 appear to have no provision for landscaping, disregard the existing layout which provides open garden space up to the rear boundary and ignores the pattern of development characteristic of the traditional front cottage-rear garden design of the area."</p>	<p>Agreed. The rear garden setting and the ability to understand the site in the traditional house and garden manner is reduced. The heritage precinct provisions assessed in C6.7 of the <i>Tasmanian Planning Scheme</i> only consider works are not visible from the street, however, and the change to the rear garden setting is not considered against the Local Historic Heritage Code. Site coverage and setback are considered in the assessment against the Battery Point Specific Area Plan in the below assessment.</p>
<p>"The site (4&6 South Street) is identified as a contributory building (in fact pair of buildings), and the agglomeration of the two fine terrace cottages into one large building, exacerbated by the long structure extending for the full length of the of southern boundary, is not consistent with this design criteria (points 4, 7 & 15)."</p>	<p>Noted and agreed, although the works do not include subdivision (amalgamation) and internal works cannot be assessed against the Local Historic Heritage Code; therefore, the works to combine the two cottages into one cannot be assessed under the Local Historic Heritage Code of the <i>Tasmanian Planning Scheme</i>. The works are considered in relation to the Battery Point Design Criteria/Conservation Policies in the below assessment.</p>
<p>Works are proposed "without preserving the traditional garden/open space in the rear setback."</p>	<p>Agreed, however site coverage is calculated to include the parent title which results in a degree of coverage that is in keeping with the area. This is considered further in response to HOB-S7.7.2 and HOB-S7.7.4 below.</p>
<p>C6.7.1 Demolition within a local heritage precinct</p>	
<p>Objective: That demolition within a local heritage precinct does not have an unacceptable impact on the local historic heritage significance of the precinct.</p>	
<p>P1 <i>Within a local heritage precinct, demolition of a building, works or fabric, including trees, fences, walls and outbuildings, must not cause an unacceptable</i></p>	

	<p><i>impact on the local historic heritage significance of the local heritage precinct as identified in the relevant Local Provisions Schedule, having regard to:</i></p> <ul style="list-style-type: none"> <i>(a) the physical condition of the building, works, structure or trees;</i> <i>(b) the extent and rate of deterioration of the building, works, structure or trees;</i> <i>(c) the safety of the building, works, structure or trees;</i> <i>(d) the streetscape in which the building, works, structure or trees is located;</i> <i>(e) the special or unique contribution that the building, works, structure or trees makes to the streetscape or townscape values of the local heritage precinct identified in the relevant Local Provisions Schedule;</i> <i>(f) any options to reduce or mitigate deterioration;</i> <i>(g) whether demolition is a reasonable option to secure the long-term future of a building, works or structure; and</i> <i>(h) any economic considerations.</i>
<p>6.7.6.</p>	<p>Assessment of works within a Heritage Precinct must consider to what degree the proposal will be visible from the public realm and what impact this will have. Buildings and works largely or entirely hidden from public views are generally unable to impact upon local characteristics as there are no visual changes to the Precinct.</p> <p>Demolition occurring internally and to the rear of the dwelling would not be visible from the street, however the side wall and outbuilding to 6 South Street are proposed to be partially demolished and are visible from South Street. As such, the proposal relies upon assessment against the performance criteria at clause C6.7.1 P1.</p> <ul style="list-style-type: none"> (a) The existing overall physical condition is not lessened in that works do not result in further deterioration of existing and retained elements, although the integrity of the building as a whole is lessened by the partial removal of original external southern side wall. (b) Deterioration of the building is not necessarily reduced by the demolition works, although the scope of works in their entirety allow ongoing use of the building which is often beneficial for long term maintenance. (c) It does not appear that the safety of the building in its current form is of concern. (d) The affected area is visible in the streetscape, however it is not the primary area of importance across this site with greater significance placed on the front façade. While the demolition is unfortunate in that the fabric relates to the c. 1860s cottage and its original configuration, this is not a prominent streetscape element as the area affected is rearward of the side window. (e) The site contributes to the precinct as an example of c. 1860s conjoined workers cottages which are of a scale slightly smaller than others in the streetscape. The partial demolition does not reduce this interpretation of the site. (f) The proposed demolition on its own is not likely to reduce or mitigate deterioration, and the demolition is not proposed to remove deteriorated fabric as the proposal includes reuse of demolished fabric. (g) Demolition is not considered as the only way to feasibly secure the long-term future of the building, as retention of the side wall could be incorporated into an alternative design. However, a condition is

	<p>recommended to reiterate salvage and reuse of the brickwork in the new works, to assist in mitigating the impact of demolished fabric.</p> <p>(h) Demolition facilitates a rear addition which in turn allows a safe ongoing use of the property and a predicted raised economic value of the property, as per the applicant's supporting documentation.</p> <p>The proposal satisfies the performance criterion, subject to conditions.</p>
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6.8.	Tasmanian Planning Scheme – Hobart - Local Historic Heritage Code – Heritage Precinct – New Works - C6.7.3 P1.1 and P1.2
6.8.1.	The Acceptable Solution for clause C7.7.3 A1 requires works to not be visible to a road or public open space.
6.8.2.	The proposal includes new works along the southern boundary that will be visible to South St.
6.8.3.	The proposal does not comply with the Acceptable Solution; therefore, assessment against the Performance Criterion is relied on.
6.8.4.	The Performance Criterion at clause C6.7.3 P1.1 and P1.2 provides as follows:
	C6.7.3 Buildings and works, excluding demolition
	Objective: That development within a local heritage precinct or a local historic landscape precinct is sympathetic to the character of that particular precinct.
	P1.1 <i>Within a local heritage precinct, design and siting of buildings and works, excluding demolition, must be compatible with the local heritage precinct, except if a local heritage place of an architectural style different from that characterising the precinct, having regard to:</i>
	(a) <i>the streetscape or townscape values identified in the local historic heritage significance of the local heritage precinct, as identified in the relevant Local Provisions Schedule;</i>
	(b) <i>the character and appearance of the surrounding area;</i>
	(c) <i>the height and bulk of other buildings in the surrounding area;</i>
	(d) <i>the setbacks of other buildings in the surrounding area; and</i>
	(e) <i>any relevant design criteria or conservation policies for the local heritage precinct, as identified in the relevant Local Provisions Schedule.</i>
6.8.5.	The proposed reroofing will be visible from South Street. As such, the acceptable solution at clause C6.7.3 A1 is not met and the proposal relies upon assessment against the performance criteria at clause C6.7.3 P1.1. The proposed reroofing is like for like, with short corrugated galvanised iron indicated in the drawings, which will replace the existing short sheet corrugated galvanised iron. Given there is no change in design, this is acceptable. There are no other

	<p>building or works (other than extensions as accessed against P1.2 below) to the property as visible from South Street.</p> <p>The proposal satisfies the performance criterion.</p>
	<p>P1.2</p> <p><i>Within a local heritage precinct, extensions to existing buildings must be compatible with the local heritage precinct, having regard to:</i></p> <ul style="list-style-type: none"> (a) <i>the streetscape or townscape values identified in the local historic heritage significance of the local heritage precinct, as identified in the relevant Local Provisions Schedule;</i> (b) <i>the character and appearance of the surrounding area;</i> (c) <i>the height and bulk of other buildings in the surrounding area;</i> (d) <i>the setbacks of other buildings in the surrounding area; and</i> (e) <i>any relevant design criteria or conservation policies for the local heritage precinct, as identified in the relevant Local Provisions Schedule.</i>
<p>6.8.6</p>	<p>The proposed addition to the side and rear will be visible from South Street. As such, the acceptable solution at clause C6.7.3 A1 is not met and the proposal relies upon assessment against the performance criteria at clause C6.7.3 P1.1.</p> <ul style="list-style-type: none"> (a) Relevant values identified in the statements of significance refer to the workers cottages, Colonial and Victorian Georgian buildings of the first phase of construction in Battery Point, and consistently detailed buildings of one and two storeys. The proposed extension does not alter the front of the building and its immediate street frontage contribution to the precinct is unaltered. The extension will be visible in relation to the front façade, however, and visible in the streetscape. The impact is mitigated by the reuse of existing bricks and the use of complementary colours, which would likely allow the proposed extension to site relatively comfortably within the immediate streetscape and not significantly detract from the interpretation of the precinct values. (b) The character and appearance of the surrounding area is generally typified by single storey Georgian conjoined workers cottages with occasional larger Georgian dwellings. The proposed works allow the existing conjoined dwellings to retain this presentation with an intervention that is evidently contemporary towards the rear. (c) While the overall ridge height of the proposed extension is no greater than the existing cottage, by continuing the ridge height across the entire length of the proposed rear addition, the height of the side addition and its impact is more evident. <p>This would be compounded by the wall to the southern boundary springing from above the existing eaves line, creating an awkward junction with the existing roof and increasing the visual prominence of the proposed extension in the streetscape.</p>

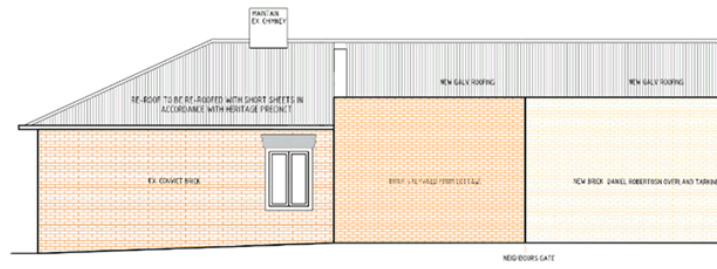


Figure 8: Extract of the proposed southern elevation showing the difference in height of the existing cottage side wall (left) and the proposed extension boundary wall (centre and right). Source: Applicant's documentation, Shurman Design, drawing A06, 'Elevations Proposed', 20.10.2025.

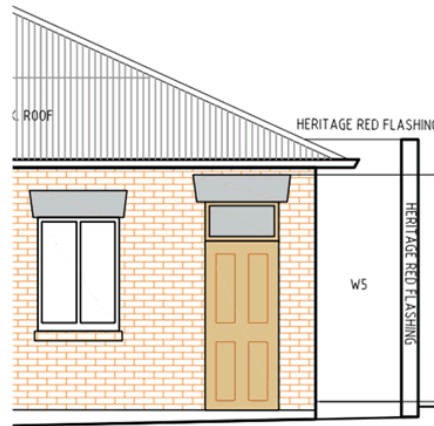


Figure 9: Extract of the proposed western elevation showing the difference in height of the existing cottage side boundary wall and the proposed extension boundary wall (labelled with 'heritage red flashing'). Source: Applicant's documentation, Shurman Design, drawing A06, 'Elevations Proposed', 20.10.2025.

It is noted that the representations received expressed concerns regarding the height of this wall and that submitted plans appear to indicate that this would produce an internal ceiling height of 2.77m, higher than the current minimum National Construction Code standards. Given the above, the reduction of the height of this wall by way of condition is recommended.



Figure 10: Photograph showing the view corridor towards the proposed rear addition including the side wall extension.

- (d) The front and side setbacks are considered to be in keeping with the typical development within Battery Point.
- (e) Relevant design criteria/conservation policies for the Battery Point Heritage Precinct include:

3. Alterations and additions should not dominate or detract from the original building.

When viewed from South Street, the original building will remain as the prominent site element, although the side component will be visible due to the two driveways to the south. The proposed southern wall is high in its current form, in relation to the existing wall and eaves height. As previously mentioned, a condition is recommended to address this.

4. New buildings, extensions or structures should be compatible with and sympathetic to the height, bulk, setback, materials and finishes, and general character of contributory and heritage listed places.

As the majority of the works are located in the rear yard, the bulk will not be readily visible from South Street aside from the continuation of the roof form. Setback from the front and side boundaries is in keeping with the existing pattern of development.

The materials selected are appropriate in that the intention is to reuse the existing demolished bricks, maintain the existing short sheet galvanised iron on the existing roof and carried across to the addition roof, and use Manor Red cladding to the narrow section of walling on the western elevation. These materials, combined with the design intent, indicate a contemporary addition whilst utilising traditional materials. The extent of glazing visible from South Street is minor despite being a floor to ceiling window to the western extent of the addition, owing to the narrow width. A condition is recommended that any changes to materials and colours requires further assessment.

5. New buildings and extensions to contributory and heritage listed buildings should be compatible and visually subservient when viewed from any road or public open space.

Works visible from South Street will largely be limited from the gap in the streetscape created by the driveways of the neighbouring 8 and 10 South Street and given the setback, the works would remain subservient to a degree. However, the overall height and the somewhat awkward connection with the original cottage would lessens its ability to appear wholly compatible.

7. Alterations and additions should respect the uniformity of properties which form part of a consistent row, semi-pair or group of buildings.

The addition to the rear does not reflect the uniformity of the semi-pair in that one side is altered and extended to the rear boundary, while the other remains. The

	<p>alteration to the roof form of the existing cottage at 6 South Street and its extension over the proposed addition also alters the way the historical development is interpreted, as the original form is no longer uniform across both conjoined dwellings. There will be a somewhat limited ability to interpret this, however, due to the reduced visibility of the works from the northern side of South Street.</p> <p><i>13. A curtilage/usable open space should be maintained to provide an appropriate setting to the scale of house.</i></p> <p>The extent of open space to the front is maintained; the proposal will result in minimal open space to the rear. The extent of curtilage maintained will not be evident from South Street due to the degree of visibility.</p> <p><i>17. All original and early stables and outbuildings should be retained.</i></p> <p>Works involve retention of the outbuilding to 4 South Street, albeit altered. The outbuilding to 6 South Street is demolished to make way for the rear addition. While the footprint reflects the original, it appears to have been altered over time.</p> <p>The proposal satisfies the performance criterion, subject to conditions.</p>
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6.9.	Local Provisions Schedule – Hobart – Battery Point Specific Area Plan - Density - HOB-S7.7.2 P1
6.9.1.	The Acceptable Solution for clause HOB-S7.7.1 A1 requires multiple dwellings must have site area per dwelling not less than 350m ² .
6.9.2.	The proposal includes a change to in the number of properties in the strata plan. However, even with the reduced number of dwellings on site, the density for two dwellings is 1:164m ² .
6.9.3.	There is no Acceptable Solution; therefore, assessment against the Performance Criterion is relied on.
6.9.4.	The Performance Criterion at clause HOB-S7.7.2 P1 provides as follows:
	<p><i>P1</i> <i>Multiple dwellings must only have a site area per dwelling less than 350m², if the development:</i></p> <p><i>(a) is compatible with the density of existing development on established properties in the area; and</i></p> <p><i>(b) does not detract from the pattern of development that is a characteristic of the historic heritage significance of the area in the vicinity of the site.</i></p>
6.9.5.	The existing density is 1:109m ² . Given the three dwellings have existed on site since the early 1900s, the existing density was already considered compatible with existing development in the area. The proposal to reduce the density on site will not detract from the existing size of properties in the area, which generally are larger than the current configuration.

6.9.6.	The proposal complies with the performance criterion.
6.10.	Local Provisions Schedule – Hobart – Battery Point Specific Area Plan - Building Setback - HOB-S7.7.2 P1 and P3
6.10.1.	There are no Acceptable Solutions for clause HOB-S7.7.2 A1 or A3.
6.10.2.	The proposal includes no change to front setback or the width of the frontage, but requires assessment under the Performance criteria because there are no Acceptable Solutions.
6.10.3.	The Performance Criteria at clause HOB-S7.7.2 P1 and P3 provides as follows:
6.10.4.	<p>HOB-S7.7.2 Building setback Objective: That the siting of buildings is compatible with the streetscape, amenity, character and historic heritage significance of the area.</p> <p>P1 <i>Buildings must be sited close to the street frontage, unless the prevailing setback on the same side of the street is substantial, where the setback must conform to the general building line.</i></p> <p>There is no acceptable solution at clause HOB-S7.7.2 A1. As such, the proposal relies upon assessment against the performance criteria at clause HOB-S7.7.2 P1. The front setback is not altered in the works. The proposal satisfies the performance criterion.</p>
	<p>A2 Buildings must have a rear setback not less than:</p> <p>(a) 6m for lots of less than 14m in width; or (b) 5m for lots more than 14m in width.</p>
	Rear setback is calculated including the parent title, which in this case encompasses 2 South Street. The lot is ~10.8 m wide and the setback of the proposed works is ~8.9 m. The acceptable solution at HOB-S7.7.2 A2 (a) is therefore met.
6.10.5.	<p>P3 A dwelling must substantially occupy the width of the frontage of a lot, excluding:</p> <p>(a) where the prevailing setbacks from side boundaries on the same side of the street are substantial; and (b) if (a) applies, not exclude a driveway or car parking at the side of the building.</p>
6.10.6.	There is no acceptable solution at clause HOB-S7.7.2 A3. As such, the proposal relies upon assessment against the performance criteria at clause

	<p>HOB-S7.7.2 P3. The width of the existing dwelling at the frontage of the lot is not altered, although the extension to the side and rear does increase the width of the building to occupy more of the lot.</p> <p>The proposal satisfies the performance criterion.</p>
6.11.	<p>Local Provisions Schedule – Hobart – Battery Point Specific Area Plan – Site Coverage - HOB-S7.7.4 P1</p>
6.11.1.	<p>The Acceptable Solution for clause HOB-S7.7.4 A1 requires 50% site coverage.</p>
6.11.2.	<p>The proposal includes site coverage of 62.8%.</p>
6.11.3.	<p>The proposal does not comply with the Acceptable Solution; therefore, assessment against the Performance Criterion is relied on.</p>
6.11.4.	<p>The application was referred to Council's Cultural Heritage Officer, who advised the following:</p>
6.11.5.	<p>HOB-S7.7.4 Site coverage</p> <p>Objective: That site coverage is compatible with the streetscape, amenity, character and historic heritage significance of the area.</p> <p>P1</p> <p><i>Buildings must have a site coverage that is compatible with the existing established properties in the area, having regard to:</i></p> <ul style="list-style-type: none"> (a) <i>the topography of the site;</i> (b) <i>the size and shape of the site;</i> (c) <i>the existing buildings and any constraints imposed by existing development;</i> (d) <i>the provision for landscaping and private open space; and</i> (e) <i>the pattern of development that is a characteristic of the historic heritage significance of the area in the vicinity of the site.</i> <p>Site coverage is calculated including the parent title, which in this case includes 2 South Street. The proposed site coverage is 62.8%. The acceptable solution at clause HOB-S7.7.4 A1 is therefore not met and the proposal relies upon assessment against the performance criteria.</p> <ul style="list-style-type: none"> (a) to (d) to be considered further in the Development Appraisal Planner's assessment. (e) While site coverage is often high within Battery Point, particularly to

	<p>the front of the site, the extent of the proposed site coverage across 4-6 South Street only is greater than many of the properties within the area. The works will effectively infill the entire rear setting of 6 South Street, which differs from the historic pattern of development.</p> <p>However, when considering 2 South Street in the site coverage calculations, the coverage of 62.8% is more in keeping with the surrounding area and the historic pattern of development. The historic development in this part of Battery Point typically allowed for small residences close to the street frontage, with an area reserved at the rear for a garden setting. The coverage of 62.8% would theoretically allow for a rear garden setting. It is noted that the remaining 37.2% is largely allocated to an accessway and courtyard garden for 2 South Street, with a smaller percentage allocated to 4-6 South Street.</p> <p>Additionally, there are other instances of high site coverage in the vicinity, including 28 and 41 Runnymede Street, 3 and 22 South Street, 38 Kelly Street, and 18 McGregor Street. Consequently, the site coverage is considered to be in keeping with the surrounding historic character of development.</p> <p>The proposal satisfies the performance criterion.</p>
6.11.6.	<p>Conclusion</p> <p>The proposed Partial Demolition, Alterations and Extension at 4-6 and 2 South Street Battery Point for the reasons outlined in the officer's report is recommended for approval, subject to the conditions</p>

7. Discussion

- 7.1. Planning approval is sought for Partial Demolition, Alterations and Extension at 4-6 and 2 SOUTH ST BATTERY POINT TAS 7004
- 7.2. The application was advertised and received eight (8) representations. The representations raised issues mainly pertaining to accuracy of plans, impact on adjacent neighbours' visual amenity, impact on adjacent neighbours' living and open space overshadowing and change to Battery Point historic house and garden arrangements.

Accuracy of Plans – It was noted that there were contradictions between various site plans with some showing works outside the strata lots. As well, the elevation plans do not scale correctly with RLs differing to measurement of some features. Amended plans were provided which still do not scale correctly. Sometimes this can be due to scaling at a particular page size. However, amended plans with accurate scaling have been required as a condition of approval. The applicant did provide amended plans in response to the representation summary, significantly reducing the height of the southern and eastern boundary walls (which was the main representation concern). The representation ground is supported and addressed through condition.

Visual Amenity – a number of representations raised concerns over the loss of visual amenity through the increased bulk and scale of the boundary walls. The applicant has offered to reduce these parapet walls to 2.8 metres. With this reduction in height, the visual impact is considered to be improved for adjacent properties. It is not considered

reasonable to refuse any change to the boundary structures. Battery Point is an inner urban residential area and building to the boundary is common. The affected walls are the southern and eastern walls. Already there are increased fence heights through sails above the fence to assist in privacy, see courtyard real estate photo from 2 South St below. The height of the wall will be to the eave of the main house that appears to be lower than the bathroom structure shown in the photo.



Figure 11: View of courtyard 2 south St (www.realestate.com.au, 2025)

The reduced wall height to the eave of the existing building will help to bring the extension more appropriately into a similar form and scale as the existing dwellings and surrounding development. The representation ground is supported through the requirement for amended plans.

Overshadowing of living and outdoor space – The northern and eastern neighbours will not be impacted by loss of sunlight by the proposal. However, the southern neighbour (8 South St) may be affected by some degree of overshadowing. However, this is most likely over the driveway adjacent to the boundary. Whilst it is noted that recent works have occurred on 8 South St, real estate plans show the main area of outdoor space as a paved patio between the garage and house along with the glazed atrium (now removed) off the living space. The affected section of fence is boxed in red in the real estate image below.



Figure 12: View of fence between subject site and 8 South St (www.realestate.com.au, 2025)

Both areas of living and outdoor space are sufficiently removed from the proposed building area to not be affected. Certainly, the reduction in wall height to 2.7 proposed by the applicant in response to the representation concerns will improve solar access to this neighbour. The majority of shading will be along the driveway and is unlikely to even impact 10 South St (below).



Figure 13: View of subject site fence and 10 South St (Applicant photo, 2026)

With the reduced height of the extension, the risk of overshadowing of the southern neighbours is satisfactorily addressed. The representation ground is supported by amended plans.

The change to the pattern of development has been addressed in section 6 above.

Representation grounds regarding changes to fencing, noise disruptions and damage to property during construction etc are civil in nature and not planning issues addressed under the planning scheme. These grounds are not supported.

It is considered that in general the reduced wall height to under the eave or 2.8 metres will satisfactorily address representor concerns. Conditions are included in the permit

to address plan accuracy, including requiring a land survey prior to works commencing to ensure all works are contained within the subject site, consideration of materials and colours of external walls. With these conditions the proposal is considered to be acceptable under the planning controls.

- 7.3. The proposal has been assessed against the provisions of the *Tasmanian Planning Scheme – Hobart* and whilst it does rely on performance criteria to satisfy the scheme's relevant standards and codes, it is considered to perform well. As such, the proposal may be approved by Council in accordance with the provisions of section 57 of the *Land Use Planning and Approvals Act 1993*.
- 7.4. The proposal has been assessed by other Council officers, including the Council's Development Engineer and Cultural Heritage Officer. The officers have raised no objection to the proposal, subject to conditions.
- 7.5. The proposal is recommended for approval.

8. Conclusion

- 8.1. The proposed Partial Demolition, Alterations and Extension at 4-6 and 2 SOUTH ST BATTERY POINT TAS 7004 satisfies the relevant provisions of the *Tasmanian Planning Scheme - Hobart*, and as such is recommended for approval.

9. Recommendations

- That: Pursuant to the *Tasmanian Planning Scheme - Hobart*, the Council approve the application for Partial Demolition, Alterations and Extension at 4-6 and 2 SOUTH ST BATTERY POINT TAS 7004 for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

GEN - General

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-HOB-2025-0554 – 4-6 and 2 SOUTH ST BATTERY POINT - Final Planning Documents except where modified below.

PLN s1

Amended plans must be provided by Condition Endorsement prior to approval of any permit under the *Building Act 2016* for the proposal to reduce the southern and eastern boundary walls to no higher than 2.7 metres above existing ground level or to such height as to fit below the eave of the existing dwelling; whichever is the lesser.

Note: amended plans submitted on 29 April 2026 are considered to partially demonstrate this condition, but must be accurately redrawn with a consistent and measurable scale and formally re-submitted to Council by Condition Endorsement as set out above.

PLN s2

Prior to approval of any building permit for the proposal, the site must be surveyed by a qualified Land Surveyor to identify the lot boundaries and clearly marked

onsite to ensure all works to extend the dwelling on Lots 4 and 6 SP 53157 are undertaken completely within the boundaries of these strata lots.

PLN s3

All proposed works, excluding possible stormwater services in the access way for Lot 2, must be completely contained within the Lots 4 and 6 of SP153157. No approval is granted in this permit to extend the dwelling into Lot 2.

Amended plans must be provided by Condition Endorsement prior to approval of any permit under the *Building Act 2016* for the proposal.

PLN 11 - Materials

Prior to the issue of any approval under the *Building Act 2016* (excluding for demolition) or the commencement of work on the site (whichever occurs first), a plan showing exterior colours and materials of the southern and western external walls must be submitted and approved as a condition endorsement. Samples and revised montages may be required to be submitted in support of the proposed plan.

All work required by this condition must be undertaken in accordance with the approved revised plans, samples and montages.

The applicant is encouraged to consult with adjoining owners to determine the final treatment and colour.

HER 1 - Heritage - Fabric

Partial demolition of the brick wall is to be undertaken with care to allow the brickwork to be salvaged for reuse on site in the new works as per the nominated materials, colours and finishes indicated in the elevations in drawing A06 'Elevations Proposed' by Shurman Design, dated 20.10.25.

HER 2 - Heritage - Fabric

The overall height of the proposed southern wall as shown in the drawing A06 'Elevations Proposed' drawing by Shurman Design, dated 20.10.2025 is not approved. The addition is to connect to the existing southern wall below the eaves as indicated in the render on drawing A08 'Materials' by Shurman Design, dated 20.10.2025. The proposed southern wall is to be lowered correspondingly to align with this height.

Prior to the issue of any approval under the *Building Act 2016*, revised plans and elevations detailing the above must be submitted and approved as a Condition Endorsement. All work must be undertaken in accordance with the approved plans and specifications.

HER 12 - Heritage - Colour and Finish

The external colours, materials and finishes of the approved development must be substantially in accordance with the approved plans. Any substantial change in the colours, materials and finishes requires further approval.

ENG 1A - Development Engineering - Protection of Council Assets

Any damage to council infrastructure resulting from the implementation of this permit, must, at the discretion of the Council:

1. Be met by the owner by way of reimbursement (cost of repair and reinstatement to be paid by the owner to the Council); or
2. Be repaired and reinstated by the owner to the satisfaction of the Council.

A photographic record of the Council's infrastructure adjacent to the subject site must be provided to the Council prior to any commencement of works.

A photographic record of the Council's infrastructure (e.g. existing property service connection points, roads, buildings, stormwater, footpaths, driveway crossovers and nature strips, including if any, pre-existing damage) will be relied upon to establish the extent of damage caused to the Council's infrastructure during construction. In the event that the owner/developer fails to provide to the Council a photographic record of the Council's infrastructure, then any damage to the Council's infrastructure found on completion of works will be deemed to be the responsibility of the owner.

Reason for condition

To ensure that any of the Council's infrastructure and/or site-related service connections affected by the proposal will be altered and/or reinstated at the owner's full cost.

ENG SW1 - Stormwater - Design

All stormwater from the proposed development (including but not limited to: roofed areas, g drains, and impervious surfaces such as driveways and paved areas) must be drained to a lawful point of discharge to the public stormwater system prior to occupancy or commencement of use (whichever occurs first).

Advice:

Under section 23 of the Urban Drainage Act 2013 it is an offence for a property owner to direct stormwater onto a neighbouring property.

Reason for condition

To ensure that stormwater from the site will be discharged to a suitable Council-approved outlet.

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's website for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

CONDITION ENDORSEMENT

If any condition requires that further documents are submitted and approved, you will need to submit the relevant documentation to satisfy the condition via the Condition

Endorsement Submission through PlanBuild. Detailed instructions can be found [here](#).

Once approved, the Council will respond to you via PlanBuild that the condition has been endorsed (satisfied).

Where building approval is also required, it is recommended that documentation for condition endorsement be submitted well before submitting documentation for building approval. Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.

Fees for Condition Endorsement are set out in Council's Fees and Charges

BUILDING PERMIT

You may need building approval in accordance with the *Building Act 2016*, further details are available on the Council's website, which may assist you in understanding the relevant requirements.

A checklist has also been developed by Consumer, Building and Occupational Services (CBOS) to help property owners understand their responsibilities before, during, and after building work. It outlines the key steps in the building work approval process for notifiable (medium risk) and permit (high risk) work under the *Building Act 2016*. This resource is designed to support owners in meeting their obligations and ensuring a smooth approvals process. You can access the checklist [here](#).

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

PLUMBING PERMIT

You may need plumbing approval in accordance with the *Building Act 2016*, Building Regulations 2016 and the National Construction Code. Further details are available on the Council's website, may assist you in understanding the relevant requirements.

A checklist has also been developed by Consumer, Building and Occupational Services (CBOS) to help property owners understand their responsibilities before, during, and after building work. It outlines the key steps in the building work approval process for notifiable (medium risk) and permit (high risk) work under the *Building Act 2016*. This resource is designed to support owners in meeting their obligations and ensuring a smooth approvals process. You can access the checklist [here](#).

ADVICE - HERITAGE

Lime-based mortar is more compatible with historic bricks than cementitious mortar. It is suggested that lime-based mortar be used in the construction of the new wall with the reused bricks. The use of cementitious mortar is a common cause of long-term deterioration in historic masonry, and it is not recommended.

STRATA AMENDMENT

You will be required to amend strata plan 153157 pursuant to the provisions of the *Strata Titles Act 1998* in order to reflect the completed development works and to combine strata lots 4 and 6 into a single strata lot.

STORMWATER

Please note that in addition to a building and/or plumbing permit, development must be in accordance with the Hobart City Council's Infrastructure By law. [Click here for more information.](#)

FEES AND CHARGES

[Click here for information on the Council's fees and charges.](#)

BEFORE YOU DIG

[Click here for before you dig information.](#)



Victoria Maxwell

Development Appraisal Planner

As a signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

Michael McClenahan

Senior Statutory Planner

As a signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.



PlanBuild
TASMANIA

PLANNING APPLICATION

Status:

Reference
PLN-HOB-2025-0554

Address
4 SOUTH ST BATTERY POINT TAS 7004

Titles
153157/4

Before you start

Before you start your application, you will need to know if you require planning approval or not. If you are unsure if you require a permit, use the [PlanBuild Tasmania Enquiry Service](#) to lodge a request for advice from the relevant Council.

Once your application has been submitted the Council will review your application. If payment has not been made, you will be sent a request for the payment of application fees via PlanBuild Tasmania.

Once the fees have been paid and the Council is satisfied with the information provided, the application will be assessed and you will be notified of the outcome.

If further action is required to assess your application you will receive an email notification containing a task to complete.

Pre-Application Advice

Have you spoken with anyone at Council about this application?

- Yes - enter details below
- No - continue to the next section

If yes, provide the name of the person you contacted
Liz Wilson

Applicant

Name	Email	Phone	Address	Involvement
Personal Information Removed				

Owners

Name	Email Address	Address
Personal Information Removed		

Certificate(s) of Title

Selected Titles Total Area: 209m²
153157/4 153157/6

Owner Notification

- Are you the sole owner of the land?
- Yes - continue to the next section
 - No - answer question below

If no, have you notified all owners, joint or part owners of your intention to submit this application?

- Yes - enter owner details below
 No - you must notify all owners before proceeding with this application

List all owners, joint or part owners as recorded on the Title documents notified:

Michael Byrne

Enter the date that the last owner, joint or part owner was notified

28/10/2025

Declaration

- I declare that all land owners, joint or part owners have been notified of this planning application.

Crown Land Consent

Is Crown Land involved in the proposed use or development?

- Yes - complete question below
 No - continue to the next section - see further information below
 Unsure

If yes, has written Crown Land consent been obtained?

- Yes - upload written consent
 No - application will not be progressed until consent has been provided

General Manager Consent

Is Council-owned or administered land involved in the proposed use or development?

- Yes - complete question below
 No - continue to the next section
 Unsure

If yes, has written consent been obtained from the Council General Manager?

- Yes - upload written consent
 No - application will not be progressed until consent has been provided

Proposed Use or Development

What is the reason for your planning application?

- I want to change how the property is used
 I want to use the property for visitor accommodation
 I want to subdivide
 I want to undertake a new development or alteration
 I want to do a minor boundary adjustment
 I want to put up a sign(s)
 I want to demolish
 I want to do works only
 Other

If your application is to subdivide, please enter the number of proposed lots.

0

If your application is for signage, please enter the number of signs.

Is the property a Tasmanian Heritage Listed Property?

- Yes
 No

Is the application for an EPA Activity under the Environmental Management and Pollution Control Act 1994?

- Yes
 No
 Unsure

Is the proposed use or development permitted or discretionary?

- Permitted

- Discretionary
- Unsure if permitted or discretionary

Provide a full description of the proposed use or development
 Cancellation of existing strata to form one property.
 Extension to the combined property.
 Minor demolition

Will the proposed use or development involve a road reserve?

- Yes - complete the section below
- No - continue to the next section
- Unsure

If yes, enter the address(es) or locations below:
If yes, how will the road reserve be affected?

Value of Works

What is the estimated value of the works?
 500000

Supporting Documents

Version	Document Date	Document Type	Description	Prepared By
1	28 Oct 2025	Architectural Plans	DA Plans	Mr Chris Shurman

Next steps

When you have completed all the necessary fields and attached all required documents to support your application, click on the green 'Save & Submit' button at the top right of this form.
 Once submitted, the Council will review your application. A request for the payment of application fees will be sent to you via PlanBuild Tasmania.
 Once the fees have been paid and the Council is satisfied with the information provided, the application will be assessed and you will be notified of the outcome.
 If further action is required to assess your application you will receive an email notification from PlanBuild which will tell you what you need to provide to continue the application.

Form published: 14/05/2025 15:58



PlanBuild
TASMANIA

REQUEST FOR INFORMATION - PLANNING

Status: Under Review

Reference
PLANNA-HOB-2025-4958

Application Reference
PLN-HOB-2025-0554

Address
4 SOUTH ST BATTERY POINT TAS 7004

Titles
153157/4

Information Requested

#	Reason	Origin
1	<p>(sent 12 December 2025)</p> <p>PLN fi1</p> <p>Please provide accurate plans for the following:</p> <p>east and west elevations floor plan (A03), roof plan (A05) and south elevation (A06) showing the same length for the Rendered Block Wall; details of the connection of new works to existing fabric (this may become clearer with the updated east and west elevations); roof plans (A05) do not show existing chimney; section plans as shown on proposed floor plan (A03).</p> <p><i>Note: west elevation does not show the new parapet wall and new roof that appears to extend above the existing eave.</i></p>	
2	<p>Strata Title</p> <p>The submitted plans advise that the application involves a cancelation of the strata plan. Cancelation of the strata plan would result in one single title with the current owners of the three strata lots as tenants in common.</p> <p>It appears what is proposed is an amendment to the strata plan such that lots 4 and 6 will be combined into one strata lot and Lot 2 at 2 South Street will remain as the existing strata lot.</p> <p>Please confirm that this is what is being proposed.</p>	Surveying Services Manager
3	<p>6.11.2 (g) - Conditions and Restrictions on a Permit - Erosion, and stormwater volume and quality controls</p> <p>A site plan to demonstrate how stormwater from the proposed development (including roofed areas and impervious surfaces - driveways etc) will be disposed of via gravity to public stormwater infrastructure.</p> <p>Advice: The site plan must show the location where the private stormwater system connects to public stormwater infrastructure (e.g. kerb and channel connection or stormwater main).</p>	
4	<p>HER Fi1 - Heritage Code - Heritage</p> <p>To enable the Council to assess the application against the relevant provisions of the Local Historic Heritage Code of the <i>Tasmanian Planning Scheme - Hobart</i> please:</p> <ol style="list-style-type: none"> Confirm whether the existing window to the southern side elevation is proposed to be retained or demolished. It is noted that it is not shown for demolition in the demolition floorplan, however it is not included in the proposed floorplan. Clarify the extent of demolition to the southern side elevation, as the demolition and proposed floorplans do not appear to match in terms of the degree of demolition of the side wall. Provide all proposed colours and materials for the external components including roof and walls. Confirm whether there are any changes proposed to the windows on the front and side elevations. The windows as shown in the elevations do not appear to match the existing windows as visible in Google Streetview, as there are no fanlights shown. If any changes are proposed, please provide the proposed material of the window frame and the design of the windows. Confirm whether the chimney is proposed for retention or demolition. It is noted that it is included in the proposed elevations, however it is not included in the roof plan. Provide an updated western elevation that includes the proposed works. Provide a written design statement demonstrating that the works comply with the Battery Point Specific Area Plan provisions in HOB-S7.7 of the <i>Hobart Local Provisions Schedule</i> and C6.7.1 P1 and C6.7.3 P1.2 of the <i>Tasmanian Planning Scheme</i>. <p><i>Advice</i> 4-6 South Street contribute to the Battery Point Heritage Precinct, as a largely intact and symmetrical pair of c. 1860s conjoined workers cottages. Retention of original features is recommended as far as practicable to allow its continued contribution to the precinct. It is recommended that the window on the southern side elevation is retained and remains visible as an external element of the building, and that as much of the external side wall and the chimney are also retained.</p> <p><i>Please note that the Design Criteria/Conservation Policies for the Battery Point Heritage Precinct include '7. Alterations and additions should respect the uniformity of properties which form part of a consistent row, semi-pair or group of buildings' as well as other policies that relate to compatibility with the area and avoiding designs that dominate the contributory buildings, such as policies 3, 4, 5 and 13. As the addition will be visible from South Street, the change to the roof form and the degree of visibility of the works may or may not satisfy these points, subject to further assessment. Including a response to the relevant Design Criteria/Conservation Policies for the Battery Point Local Heritage Precinct in the response to C6.7.3 P1.2 as requested above would be beneficial.</i></p> <p><i>A full assessment of the works against the Local Historic Heritage Code has not yet been undertaken. A copy of the Battery Point Heritage Precinct statements of significance and design criteria/conservation policies is attached.</i></p>	LUPAA 1993

Response comments

Response to Request for Further Information

1. Please see updated plans for changes

2. Surveying Service Manager.

In relation to the strata, yes I can confirm that its intended that number 4 & 6 become one title and 2 stays independent as its owned by another party.

3. Please see updated stormwater plan for changes

4. Heritage

Part 1. Side window will be maintained see updated plan

Part 2. See updated corrections in drawings

Part 3. See updated plans

Part 4. No changes will be made to side facing or street facing windows

to maintain character of the cottage

Part 5. Chimney will be maintained, please see updated plans

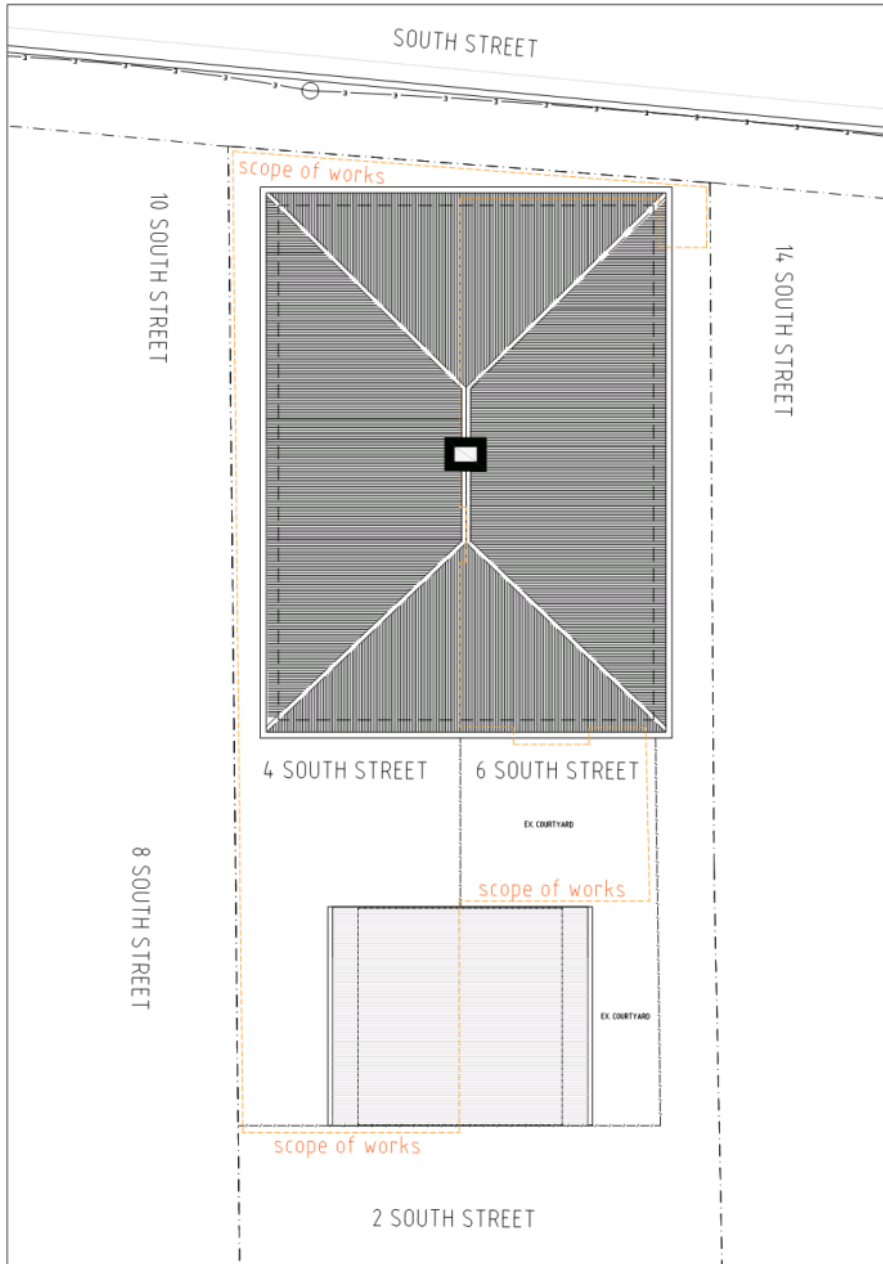
Part 6. Drawings have been updated

Part 7. A HIS and compliance with Battery Point specific area plan and local Historic heritage code assessment have been completed

Documents

Version	Document Date	Document Type	Description	Prepared By
1	12 Dec 2025	Heritage Response	Battery Point - HOB-C6.2.1	Victoria Maxwell
1	13 Mar 2026	Heritage Response	Heritage reponse to RFI's	Mr Chris Shurman
1	13 Mar 2026	Architectural Plans	RFI updates to DA plans	Mr Chris Shurman

Form published: 28/11/2024 08:21



**EXTENSION TO 4 & 6 SOUTH STREET
 & CANCELATION OF STRATA**

ADDRESS: 4 & 6 SOUTH STREET
 CLIENT: MICHAEL BYRNE

SCHEDULE OF DRAWINGS

ARCHITECTURAL

- A01 EXISTING
- A02 DEMOLITION
- A03 FLOOR PLAN PROPOSED
- A04 PLUMBING PLAN
- A05 ROOF PLAN
- A06 ELEVATIONS EXISTING
- A07 ELEVATIONS PROPOSED
- A08 MATERIALS

AREAS

6 SOUTH STREET EXISTING HOUSE FLOOR (internal) AREA = 57 sqm.
 4 SOUTH STREET EXISTING HOUSE FLOOR (internal) AREA = 57 sqm.
 PROPOSED HOUSE FLOOR (internal) AREA = 125sqm.
 PROPOSED HOUSE FOOTPRINT AREA = 130 sqm.
 PROPOSED COURTYARD AREA = 24.5 sqm.

PROPOSED TOTAL SITE COVERAGE = 130sqm.
 70% OF TOTAL SITE AREA = 204 sqm.

Project: EXTENSION AND STRATA
 CANCELLATION FOR
 4 & 6 SOUTH STREET
 for MICHAEL BYRNE
 Drawing: SITE PLAN

DA	DEVELOPMENT APPLICATION	29/02/25
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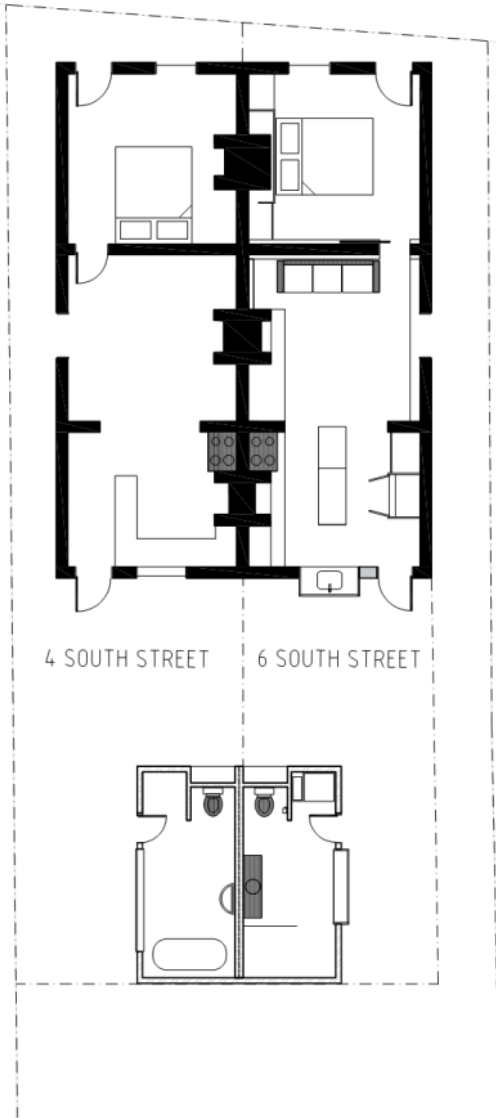
70 Forest Road West Hobart
 Tasmania 7000
 Phone: 0482 423 727
 Email: shurmandesign@gmail.com

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 cahunen 20.10.25

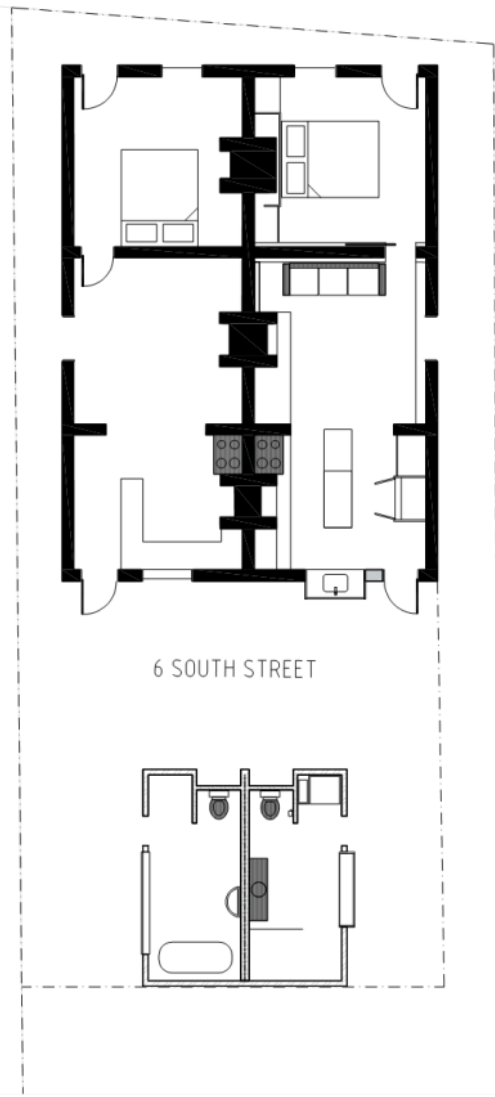
**SHURMAN
 DESIGN**

0 1 2 3 4
 1 centimetres = 1 metres





**EXISTING FLOOR PLAN
 4 & 6 SOUTH STREET**



**PROPOSED TITLE CHANGE TO
 6 SOUTH STREET**

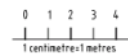
Project: **EXTENSION AND STRATA CANCELLATION FOR 4 & 6 SOUTH STREET for MICHAEL BYRNE**
 Drawing: **EXPLAIN AND LOT PLAN**

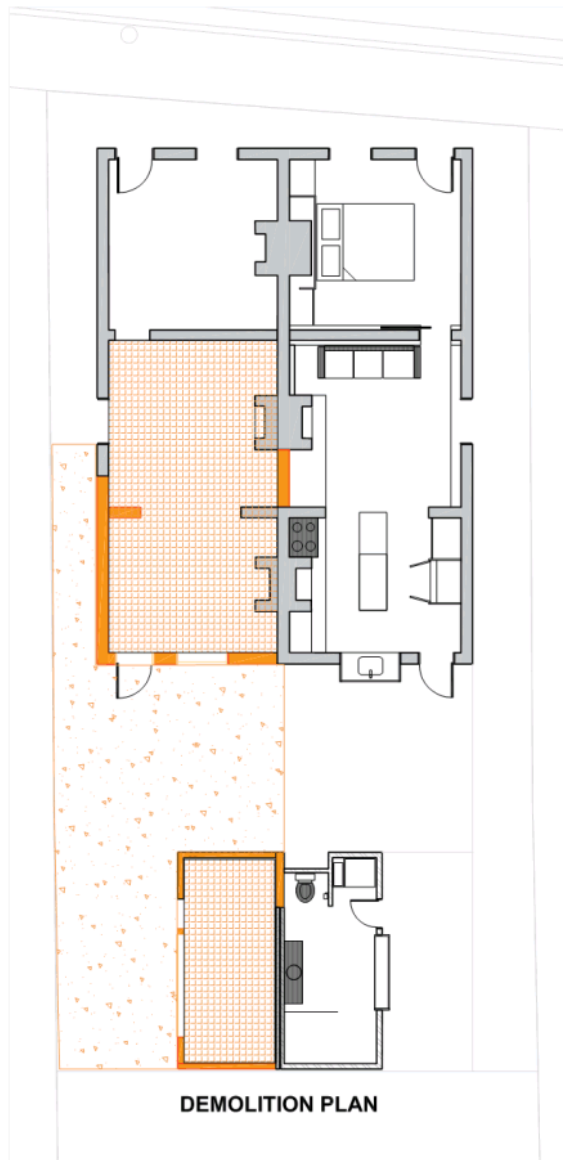
DA	DEVELOPMENT APPLICATION	29/9/25
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76 Forest Road West Hobart
 Tasmania 7000
 Phone: 0482 423 727
 Email: shurmandesign@gmail.com

SCALE: 1:100 @ A3	DWG. No.: A01
DRAWN: c.shurman	DATE: 20.10.25

**SHURMAN
 DESIGN**





DEMOLITION PLAN

DEMOLITION NOTES	
<p>GENERALLY DEMOLITION WORKS MUST BE CARRIED OUT IN ACCORDANCE WITH AS 2601-2001 DEMOLITION OF STRUCTURES & IN ACCORDANCE WITH REGULATION 15 OF THE BUILDING REGULATIONS 2016 (Tas.).</p> <p>BUILDINGS PRIOR TO 1990 <u>MAY</u> CONTAIN ASBESTOS. BUILDINGS PRIOR TO 1986 <u>ARE LIKELY</u> TO CONTAIN ASBESTOS EITHER IN CLADDING MATERIAL OR IN FIRE RETARDANT INSULATION MATERIAL. THE BUILDER SHOULD CHECK &, IF NECESSARY, TAKE APPROPRIATE ACTION BEFORE DEMOLISHING, CUTTING, SANDING, DRILLING OR OTHERWISE DISTURBING THE EXISTING STRUCTURE.</p> <p>PROCEDURES & METHODS OF DEMOLITION MUST BE ADEQUATE TO PREVENT INJURY TO PERSONS & AVOID DAMAGE TO NEIGHBORING PROPERTY.</p> <p>BEFORE REMOVING EXISTING WALLS SHOWN TO BE DEMOLISHED, BUILDER SHALL CONFIRM ON-SITE WHETHER THEY ARE LOAD-BEARING OR NOT. IF IT IS FOUND THAT THEY ARE LOAD-BEARING, A STRUCTURAL ENGINEER MUST BE ENGAGED TO DETERMINE ANY BEAMS REQUIRED TO SUPPORT THESE EXISTING LOADS.</p> <p>ALL REDUNDANT STORMWATER, SEWER & WATER CONNECTIONS ASSOCIATED WITH THE DEMOLITION SHALL BE CUT & SEALED TO THE SATISFACTION OF COUNCIL'S SENIOR PLUMBING INSPECTOR.</p> <p>GENERALLY, MAKE GOOD TO EXISTING FLOORS, WALLS & CEILINGS WHERE ALL DEMOLITION WORK OCCURS TO MATCH EXISTING AS & WHERE REQUIRED.</p>	
<p>LOCATE ALL UNDERGROUND UTILITIES / SERVICES ON-SITE PRIOR TO COMMENCING ANY DEMOLITION / EXCAVATION.</p> <p>ENSURE 'DIAL BEFORE YOU DIG' SERVICES HAVE BEEN ENGAGED / RECEIVED PRIOR TO COMMENCEMENT (Ph: 1100 / www.1100.com.au).</p>	
DEMOLITION SCHEDULE	
	WALL TO BE DEMOLISHED
	CONCRETE PAVEMENT TO BE DEMOLISHED
	EXISTING WALLS TO BE MAINTAINED
	CONCRETE PAVEMENT TO BE DEMOLISHED
	PROPERTY BOUNDARY

Project: **EXTENSION AND STRATA CANCELLATION FOR 4 & 6 SOUTH STREET for MICHAEL BYRNE**
 Drawing: **DEMOLITION PLAN**

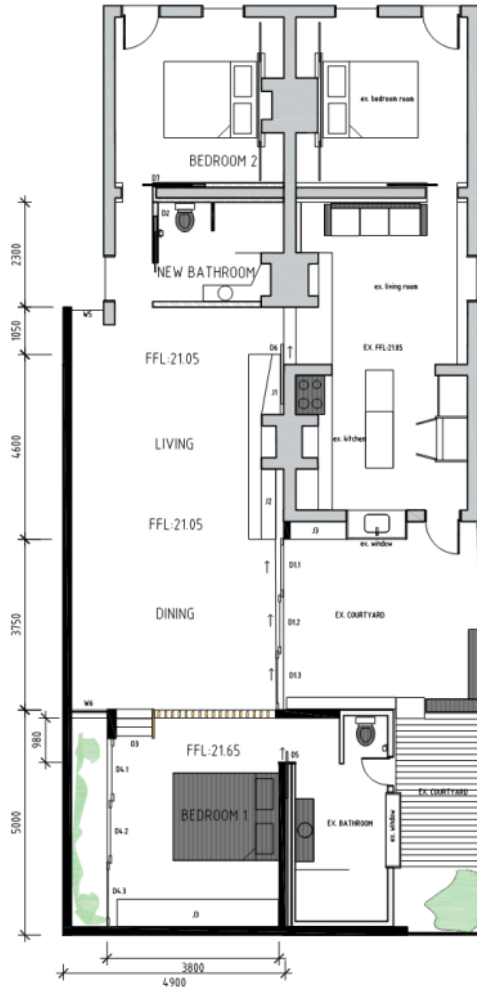
DA	DEVELOPMENT APPLICATION	28/0/25
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76 Forest Road West Hobart
 Tasmania 7000
 Phone: 0492 423 727
 Email: shumandesign@gmail.com

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 DRAWN: **cahurman** DATE: **20.10.25**

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EXISTING WALLS
 NEW WALLS

**PROPOSED FLOOR PLAN FOR
 6 (4 +6) SOUTH STREET**

Project:
**EXTENSION AND STRATA
 CANCELLATION FOR
 4 & 6 SOUTH STREET
 for MICHAEL BYRNE**
 Drawing:
FLOOR PLAN NEW

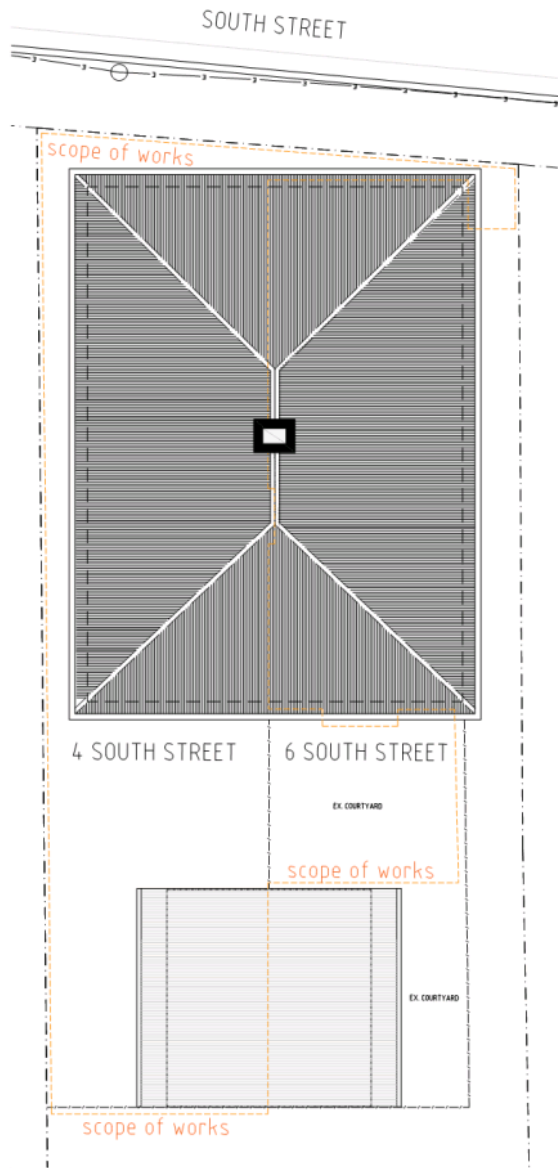
DA	DEVELOPMENT APPLICATION	28/0/25
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76 Forest Road West Hobart
 Tasmania 7000
 Phone: 0462 423 727
 Email: shurmandesign@gmail.com

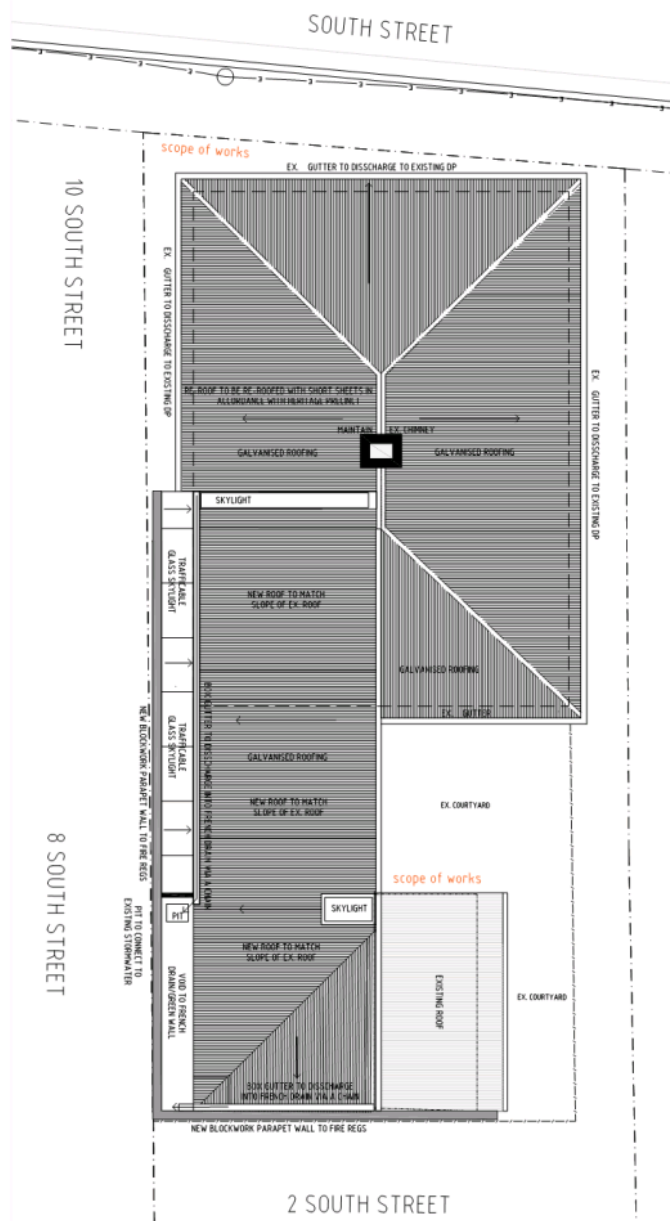
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DRAWN: c.shurman	DATE: 20.10.25

**SHURMAN
 DESIGN**





EXISTING ROOF PLAN



**2 SOUTH STREET
 PROPOSED ROOF PLAN**

Project:	EXTENSION AND STRATA CANCELLATION FOR 4 & 6 SOUTH STREET for MICHAEL BYRNE
Drawing:	ROOF PLAN

DA	DEVELOPMENT APPLICATION	28/0/25

76 Forest Road West Hobart
 Tasmania 7000
 Phone: 0402 423 727
 Email: shumandesign@gmail.com

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1:100 @ A3	A05
DRAWN:	DATE:
c.shurman	20.10.25

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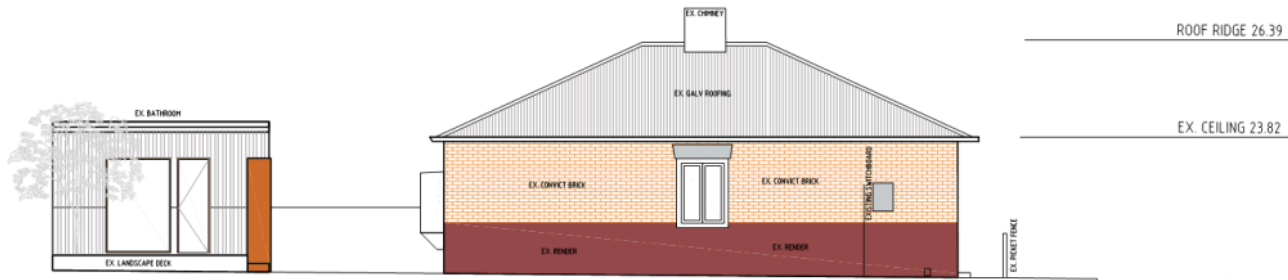




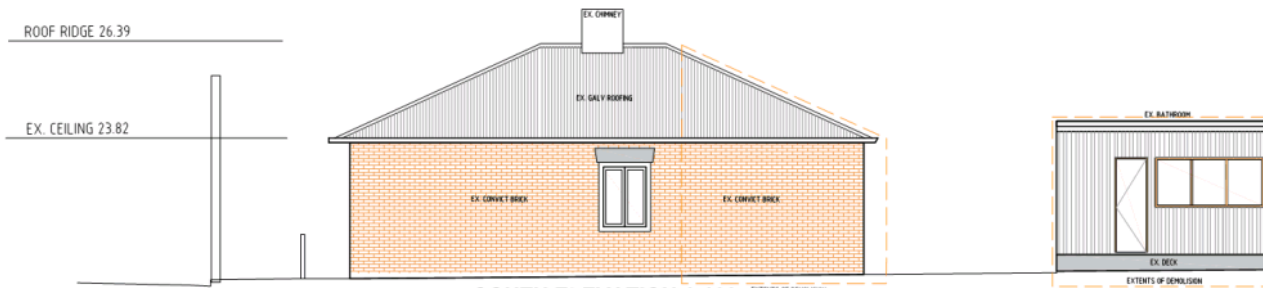
EAST ELEVATION 1:100



WEST ELEVATION 1:100



NORTH ELEVATION 1:100



SOUTH ELEVATION 1:100

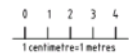
Project:
**EXTENSION AND STRATA
 CANCELLATION FOR
 4 & 6 SOUTH STREET
 for MICHAEL BYRNE**
 Drawing:
ELEVATIONS

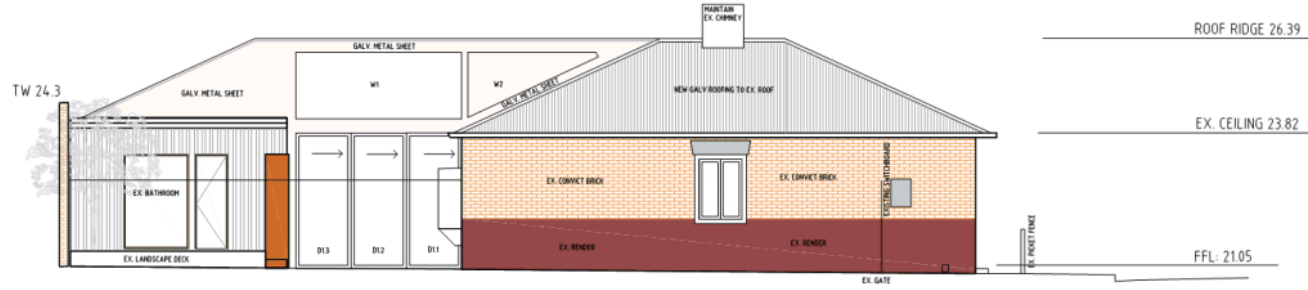
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76 Forest Road West Hobart
 Tasmania 7000
 Phone: 0482 423 727
 Email: shurmandesign@gmail.com

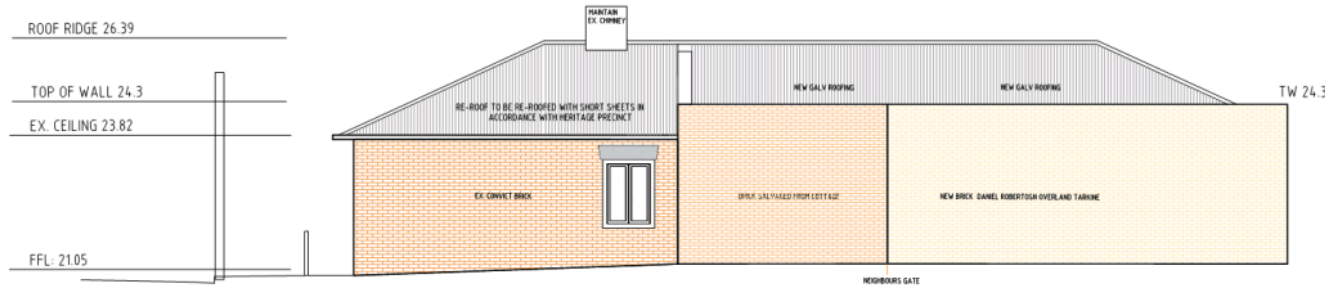
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 DWG. No.: **A06**
 DRAWN: c.shurman DATE: 20.10.25

**SHURMAN
 DESIGN**





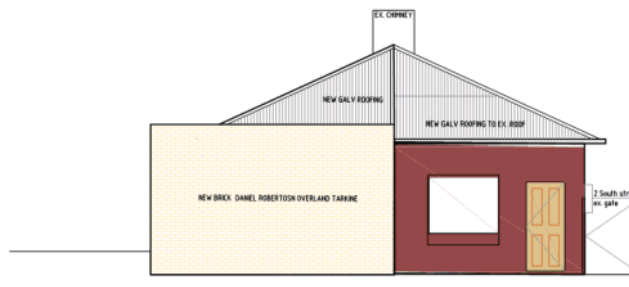
NORTH ELEVATION 1:100



SOUTH ELEVATION 1:100



WEST ELEVATION 1:100



EAST ELEVATION 1:100

Project: **EXTENSION AND STRATA CANCELLATION FOR 4 & 6 SOUTH STREET for MICHAEL BYRNE**
 Drawing: **ELEVATIONS PROPOSED**

DA	DEVELOPMENT APPLICATION	28/02/25
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76 Forest Road West Hobart
 Tasmania 7000
 Phone: 0482 423 727
 Email: shurmandesign@gmail.com

SCALE: **1:100 @ A3** DWG. No.: **A06**
 DRAWN: c.shurman DATE: **20.10.25**

SHURMAN DESIGN





Project:
**EXTENSION AND STRATA
 CANCELLATION FOR
 4 & 6 SOUTH STREET
 for MICHAEL BYRNE**
 Drawing: **MATERIALS**

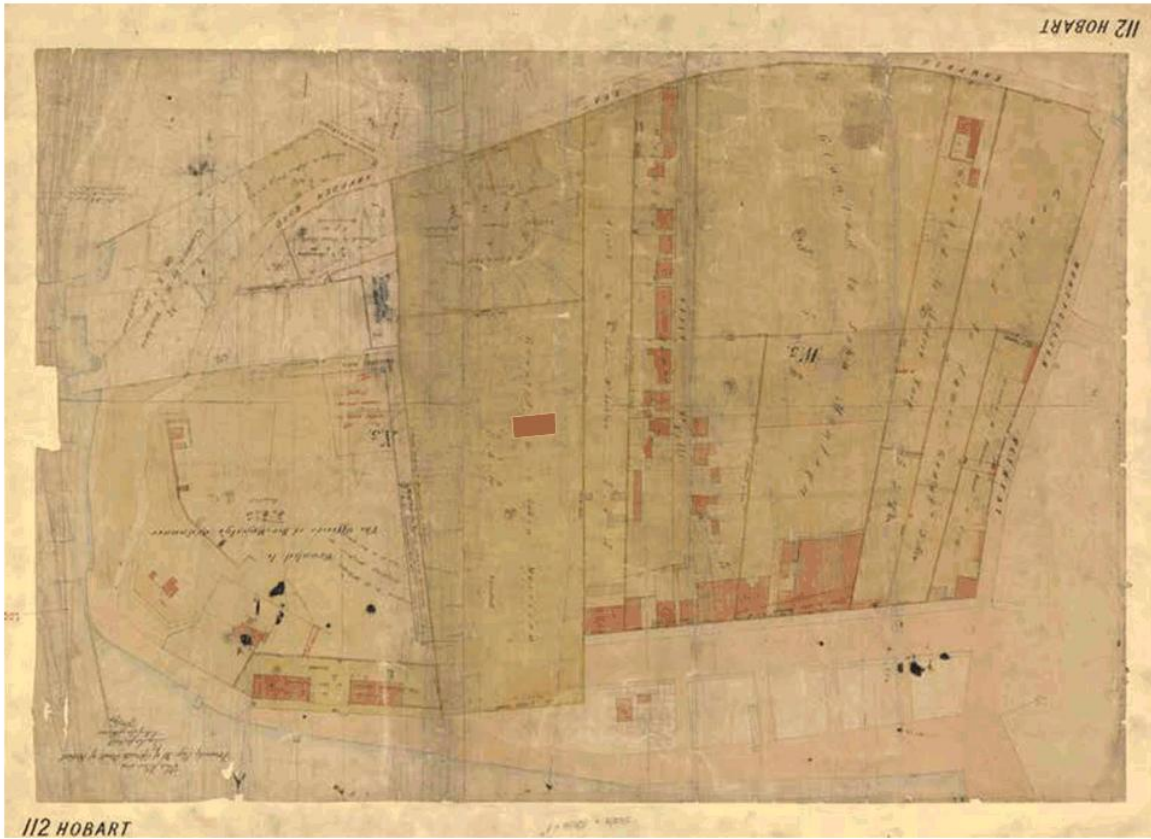
DA	DEVELOPMENT APPLICATION	28/10/25

78 Finesse Road West Hobart
 Tasmania 7000
 Phone: 0492 423 727
 Email: shurmandesign@gmail.com

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1:100 @ A3 A08
 DRAWN: DATE:
 c.shurman 20.10.25

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4+6 SOUTH STREET

Address: 4&6 South Street

Compliance with Battery Point Specific area plan provisions

<p>HOB-S7.7 Development Standards for Buildings and Works HOB-S7.7.1 Residential density for multiple dwellings This clause is in substitution for Inner Residential Zone - clause 9.4.1 Residential density for multiple dwellings and in addition to Urban Mixed Use Zone - clause 13.4. Development Standards for Buildings and Works.</p>	
Objective:	That the density of multiple dwellings is compatible with the amenity, character and historic heritage significance of the area.
Acceptable Solutions	Performance Criteria
<p>A1 Multiple dwellings must have a site area per dwelling of not less than 350m².</p>	<p>P1 Multiple dwellings must only have a site area per dwelling less than 350m², if the development: (a) is compatible with the density of existing development on established properties in the area; and (b) does not detract from the pattern of development that is a characteristic of the historic heritage significance of the area in the vicinity of the site.</p>

P1

- a. The extension and consolidation of the properties is in keeping with the existing density. It slightly reduces the density given 4&6 will become one title, but it changes the density to be closer to that of the other properties on the street.
- b. The design does not detract from the pattern of development in the area. It is in keeping with the extensions recently completed in the very near vicinity.

C6.7.1 Demolition within a local heritage precinct

Objective:	That demolition within a local heritage precinct does not have an unacceptable impact on the local historic heritage significance of the precinct.
Acceptable Solutions	Performance Criteria
<p>A1 Within a local heritage precinct, demolition of a building, works or fabric, including trees, fences, walls and outbuildings must: (a) not be on a local heritage place; (b) not be visible from any road or public open space; and (c) not involve a value, feature or characteristic specifically part of a precinct listed in the relevant Local Provisions Schedule.</p>	<p>P1 Within a local heritage precinct, demolition of a building, works or fabric, including trees, fences, walls and outbuildings, must not cause an unacceptable impact on the local historic heritage significance of the local heritage precinct as identified in the relevant Local Provisions Schedule, having regard to: (a) the physical condition of the building, works, structure or trees; (b) the extent and rate of deterioration of the building, works, structure or trees; (c) the safety of the building, works, structure or trees; (d) the streetscape in which the building, works, structure or trees is located; (e) the special or unique contribution that the building, works, structure or trees makes to the streetscape or townscape values of the local heritage precinct identified in the relevant Local Provisions Schedule; (f) any options to reduce or mitigate deterioration; (g) whether demolition is a reasonable option to secure the long-term future of a building, works or structure; and (h) any economic considerations.</p>

P1

- a. The demolition does not adversely affect the condition of the cottage
- b. The demolition and extension will improve the longevity of the building with leaks in the roof being fixed and re-pointing of the brick to extend the life of the walls.
- c. Mitigation measures will be implemented through consultation with an engineer to ensure the structural safety of the building during works.
- d. The demolition is at the rear of the cottage, which will not be seen once the extension is complete. A site fence will be installed to mitigate the affect of the construction/demolition during the construction phase.
- e. The demolition of the bathroom of 6 South Street does not detract from streetscape, the bathroom was a late nineties extension, which is not in keeping with its context. The corner of the cottage thats demolished will not be seen after the extension is complete.
- f. Mitigation measures include using recycled brick from the demolition on the wall that will be visible from the street.
- g. The owner proposes an extension which connects the cottage to the existing bathroom. This is necessary for the property to be bought up to standards to a contemporary way of living. Demolition works will include removing the bathroom of 6 South Street, which will make room for an additional bedroom with the existing bathroom of 4 South Street becoming an en suite. The rear corner of the south street cottage is to be removed to facilitate a more open plan living/dining space between the new bedroom and the kitchen. This will ensure that there is a long term vision for the properties, which will facilitate the cottage to be more appropriately cared for, in tern contributing to the South Street heritage streetscape.
- h. There are significant economic considerations to be considered in the justifications for demolition. As it stands the two single bedroom conjoined properties are not acceptably habitable by todays standard. As it is currently having to go outside to use the bathroom in the middle of the night is not safe nor economically viable for the rental market. With the two properties combined the sum total is greater than the parts.

P1.2

Within a local heritage precinct, extensions to existing buildings must be compatible with the local heritage precinct, having regard to:

- (a) the streetscape or townscape values identified in the local historic heritage significance of the local heritage precinct, as identified in the relevant Local Provisions Schedule;
- (b) the character and appearance of the surrounding area;
- (c) the height and bulk of other buildings in the surrounding area;
- (d) the setbacks of other buildings in the surrounding area; and
- (e) any relevant design criteria or conservation policies for the local heritage precinct, as identified in the relevant Local Provisions Schedule.

P1.2

a.

1. Elements which contribute to the precinct should be retained and conserved. All street facing elements will be maintained, no
2. Non-contributory elements may be removed to enhance the character of the precinct. Non-contributory elements, such as the bathroom of 6 South Street will be removed.
3. Alterations and additions should not dominate or detract from the original building. Alterations have been mitigated through design to minimize the visual impact from the street and is in keeping with similar extensions on the street.
4. New buildings, extensions or structures should be compatible with and sympathetic to the height, bulk, setback, materials and finishes, and general character of contributory and heritage listed places. Materials and finishes have been selected that are already present at 4 and 6 South Street. The number of materials have been kept to a minimum to reduce the 'noise' such that it doesn't stand out.
5. New buildings and extensions to contributory and heritage listed buildings should be compatible and visually subservient when viewed from any road or public open space. New buildings and extensions to contributory and heritage listed buildings should be compatible and visually subservient when viewed from any road or public open space.
6. Fences and gates should be appropriate in form, scale, height and materials appropriate to the architecture of the main building and should match its architectural style. Styles include Federation/Victorian timber picket, Inter-War masonry, brick and ironwork fences and gates. Detailed design guidance may be found in the City of Hobart publication, New fences for old houses.
7. Alterations and additions should respect the uniformity of properties which form part of a consistent row, semi-pair or group of buildings. The uniformity of the cottages is maintained from a streetscape perspective in the sense no changes are being made that will visibly affect the reading of the frontage as two separate entrances. The fact that the original property was on one title and this will be returned to that with the changes to the strata nullifies the position of them being a 'row' from a technical perspective as they will be one property. As this property is not heritage listed any internal changes would not come within the scope of this clause(7).

8. Established and/or significant planted-garden settings, hedges, and visually prominent trees should be retained, unless removal is exempt under the planning scheme. No trees are being removed.

9. Garages, carports, and ancillary structures should be setback from the principal facade to enable the original building form to remain obscured and prominent within the streetscape. The extension has been kept towards the rear of the property.

10. Driveways and hard stand areas should be located at the side of the house.
 N.a

P1.2

b. The extension seen below demonstrates the minimal impact that it will have on the character of the surrounding area



c. The proposal is justified as it minimally affects the streetscape through design and material selection. Alternatives were explored for different rooflines but this was found to be the least intrusive, the skylight makes it clear to the viewer what is the original cottage and what is the contemporary extension.

d. The setbacks are in keeping with several extensions recently completed including the property opposite 6 South Street.

e. The height of the building has been kept to one story to mitigate the bulk. The form has is in keeping with the many buildings in the area and will not be

11. Unpainted and unrendered masonry and brick exterior surfaces should remain as such. Unpainted and unrendered masonry will remain as is, except for some repair on pointing.
12. All sandstone construction, generally seen in walls, kerbing or other site elements should be retained, unless removal is exempt under the planning scheme.
 All sandstone construction will be maintained, except for pavers in courtyard which will be removed as they're from the late 90's bathroom, are likely another type of stone anyhow
13. A curtilage/usable open space should be maintained to provide an appropriate setting to the scale of house. The courtyard and adjoining courtyard next to the bathroom of 4 South street will provide open space.
14. New development should not interrupt building patterns where a subdivision pattern has resulted in a distinctive built form.
 N.a
15. Lot boundary changes should not occur in areas where the original subdivision pattern is significant and remains intact. The modification to the strata is a return to the original subdivision pattern
16. Infill development should respond to and not obscure the topography of the area.
 The design of the extension does not protrude such that it affects topography
17. All original and early stables and outbuildings should be retained.
 The outbuilding/bathrooms are a late 90's extension, as such should not need to be maintained.

4 & 6 South Street

Extensive research was carried out through the State Library, Hobart City Council & Lands Department of Tasmania. No specific info was discovered other than a plumbing plan. I estimate the age of the cottage to be in the 1860's based on the above research into South Street.

Description of the Proposal

The owner proposes an extension which connects the cottage to the existing bathroom. This is necessary for the property to be brought up to standards to a contemporary way of living. Demolition works will include removing the bathroom of 6 South Street, which will make room for an additional bedroom with the existing bathroom of 4 South Street becoming an en suite. The rear corner of the south street cottage is to be removed to facilitate a more open plan living/dining space between the new bedroom and the kitchen. This space will be covered with a roof line which extends on the same angle and Ridgeline of the existing cottage. A skylight will express the join between the new and old parts of the roof. An opening will be created between the two sides of the cottage to connect the two living rooms to facilitate internal access to the new and existing bathroom

Heritage Listings and Statutory Controls

- 4&6 South Street are not on the Tasmanian Heritage Register
- 4&6 South Street are within the Battery Point Heritage precinct

Significance Assessment

- 4 & 6 South Street has not been recognized as being of historical significance in the sense it has not been added to the heritage register.

This is likely due to the damage to the brick that has been done by previous owners. Internally much of the original finishes and structure have been removed. The original ceiling joists were cut and removed in the early 2000's with a new plaster ceiling in its place. The floor of 6 South Street was removed at a similar time and replaced with a concrete slab with sandstone tiles over the top. This was likely done due to the lack of sub-floor ventilation on that side of the cottage. At 4 South Street the floor structure was remove likely due to rot and replaced with a hardwood floor/structure.

While the cottage has lost a lot of its heritage value as an individual property it does add significantly to the street scape, this proposal seeks to maintain this value.

Likely Impacts on Significance/ Mitigation Measures

- Visual impact will be minimized by recycling bricks from the demolition and used in the new wall which is partially visible from the street. This wall is kept as short as possible to minimize visibility.

Justification for Residual Impacts (Including Alternatives Considered)

- The proposal is justified as it minimally affects the streetscape through design and material selection
- Alternatives were explored for different rooflines but this was found to be the least intrusive, the skylight makes it clear to the viewer what is the original cottage and what is the contemporary extension
- The demolition of the rear corner of the cottage is justified as it will not be visible from the street and is required for practical reasons being able to connect both sides of the cottage to the bathroom

South Street

Overview: The owner of 4&6 South Street, Michael Byrne, seeks to consolidate his two properties. Combining these adjoining properties is beneficial to the Battery Point precinct as brings the cottage under one owner/title, allowing the cottage to be more appropriately cared for, in turn contributing to the South Street heritage street scape.

South Street

South Street came into existence in 1847 thanks to a subdivision carried out by Charles McLachlan.

Charles McLachlan (1795–1855)

Born in Scotland, McLachlan spent his early working years as a plantation manager in the West Indies. He returned to Scotland by 1822 and soon joined the newly established Australian Company, which ran one of the first regular shipping services linking Britain with the Australian colonies. After working at the company's head office in Leith (near Edinburgh), he was posted to Hobart in 1824 to oversee the Australian operations.

In Hobart, McLachlan quickly rose to prominence in mercantile circles. During the late 1820s he played a key role in establishing the Derwent Bank, the Commercial Bank of Tasmania, and the Hobart Chamber of Commerce. Even after the Australian Company was wound up in the early 1830s, he remained one of the colony's most influential businessmen. He sat on the Legislative Council through the 1830s and spent much of the 1840s in London, acting informally as an agent representing Van Diemen's Land. Later he developed business interests in the Port Phillip district and died in Melbourne in 1855.

South Street itself was formed when McLachlan decided to subdivide a long, narrow 2-acre parcel of land running from Hampden Road down to the New Wharf. He laid out a 22-foot-wide road along the eastern boundary and created building allotments on the western side. These were offered for sale in October 1847 and promoted as "admirable sites for dwelling-houses for parties connected with shipping interests." As part of the same subdivision he also provided a connecting link from the northern end of South Street through to Kelly Street (the western section of what is now McGregor Street), allowing residents to reach the New Wharf quickly via Kelly's Steps.

In November 1850, Askin Morrison further subdivided the blocks on the eastern side of South Street at the same time he was creating the nearby streets we now know as Runnymede and McGregor. Within a few years, the allotments on both sides of South Street were filled with small, tightly packed workers' cottages. While some were owner-occupied, most were rented out. The street soon became a favoured address for people working in maritime trades. A trade directory from 1854 lists among its residents a boat-builder, a ship carpenter, a shipwright, three mariners, a coxswain, and the engineer of a steamer.

Today South Street survives as one of the finest surviving examples in Hobart of an early Victorian working-class streetscape: a narrow thoroughfare lined on both sides with single-storey brick cottages, built right up to the street edge and positioned close together.

**City of Hobart Local Heritage Precincts
Description, Statement of Local Historic Heritage Significance and
Design Criteria / Conservation Policy
January 2019**

**HOB-C6.2.1
Battery Point**



DESCRIPTION

Component streets:

Arthur Circus	Francis Street	Quayle Street
Bath Street	Hampden Road	Runnymede Street
Battery Square	James Street	Sandy Bay Road
Clarke Avenue	Kelly Street	Secheron Road
Colville Street	Logan Street	Sloane Street
Crelin Street	McGregor Street	South Street
Cromwell Street	Marine Terrace	Stowell Street
De Witt Street	Mona Street	Trumpeter Street
Derwent Lane	Napoleon Street	Waterloo Crescent
Finlay Street	Newcastle Street	

Historical background:

Battery Point is located on the southern shore of Sullivans Cove. The first residence outside the early town camp of the Hobart settlement was the Reverend Robert Knopwood's residence 'Cottage Green' that was built in 1805 on a grant of 30 acres and situated within the current boundary of Battery Point. Knopwood's grant plus 90 acres granted to William Sorell covered almost the entire area of Battery Point.

In 1824 the Sorell and Knopwood's land grants were sold and subdivided, a series of wealthy settlers move to Battery Point and of a series of estates developed along Hampden Road these included; Narryna, Stowell, and Secheron. Battery Point was also home to a large working class population with many whalers, boat builders, shipyard workers, sailors, and tradesmen living in the area. By the mid-19th century Battery Point was home to a number of inns, taverns, and pubs. Establishments that operated in the area included The Prince of Wales, The Barley Mow, The Shipwright's Arms, The Star of Tasmania Inn, and The Duke of York. Two prominent structures were built in Battery Point in the 1830s; James Luckman's windmill constructed in 1835 and demolished in the 1880s, and St George's Church commenced construction in 1836 with the tower added in 1847. St George's Church remains a key Hobart landmark today.

The 1970s saw Battery Point in the headlines with a battle of developers versus residents and heritage protection groups. After a high profile struggle the historic fabric of the area was largely spared from unsuitable development. With its historic cottages, large town houses, and maritime history, Battery Point is now a key tourist attraction for Hobart and a desirable inner city suburb.



James Luckman's windmill with St Georges Church in background c1850s (AOT NS1013-1-620)



Arthur's Circus with children playing c.1930s (AOT NS4023-1-197)



View of St Georges Hill from Quayle Street



Shipwrights Arms Hotel corner of Colville and Trumpeter Streets c.1936 (AOT PH30-1-7587)

Precinct character and features:***Streetscape and townscape*****Design and topography**

Battery Point has a Colonial / Early Victorian street layout, and is comprised of a few principal roads, narrow streets, and the occasional pedestrian laneway. The main thoroughfare is Hampden Road, which joins Sandy Bay Road with the eastern end of Battery Point curving gently downhill till its intersection with Battery Square and Princes Park. Between Kelly's Steps and Hampden Road are the narrow cottage lined streets of Kelly, South and Runnymede Streets. Arthur Circus, which forms part of Runnymede Street, is a village green surrounded by a circular streetscape of modest single storey cottages. The streets along the waterfront generally have housing of a larger scale. They include Napoleon Street, Clarke Avenue, Marine Terrace, and Derwent Lane. Napoleon Street features the Battery Point Slipyards with sections of the site remaining in use today. Trumpeter and Sloane Streets run downhill to Colville Street where they intersect with Napoleon Street. St Georges Terrace runs from Sandy Bay Road and gently slopes downwards to meet with Napoleon Street on the waterfront.

Vegetation

Vegetated areas within the precinct include Princes Park, Henslowe Park, Arthur Circus, Napoleon Street playground, and the grounds of St George's Church. Street plantings are a feature of many streets, and a number of the large houses and mansions including, Narryna, Secheron, and Beaumaris retain remnants of substantial gardens.

Views and vistas

The western end of the precinct holds views westerly towards kunanyi / Mount Wellington. The eastern end of the precinct provides views and vistas of the River Derwent, whilst Napoleon, and Bath Street hold views over Sandy Bay and the foreshore along Marieville Esplanade.

Built form**Materials**

Houses are a mix of weatherboard, and painted, stuccoed, or unpainted brickwork construction. There are a number of larger sandstone residences scattered throughout the precinct, with some buildings also featuring rubble stone walls. Roofs are a mix of corrugated iron, tile, and slate.

Architectural styles and scales

Battery Point has buildings of varying scales ranging from small Georgian cottages to town houses and mansions. Architectural styles within the precinct include Colonial Georgian, Old Colonial Regency, Old Colonial Grecian, Victorian Georgian, Victorian Italianate, Victorian Rustic Gothic, Victorian Free Gothic, Victorian Domestic, Federation Queen Anne, Federation Arts and Crafts, Federation Carpenter Gothic, Inter-War Georgian Revival, Inter-War Functionalist, Inter-War Art Deco, Inter-War Old English, Inter-War Californian Bungalow, and significant Post War Architectural styles.

Orientation

Houses are primarily orientated towards the street and there is a high degree of consistency in some streets. Setbacks vary across the precinct depending on the period in which the building was constructed, subdivision patterns, street design and topography.

Building stock

There are several large buildings within the precinct such as Beaumaris House, at 13 Newcastle Street, a two storey stucco Victorian Gothic mansion. It features a verandah with iron lace frieze, decorative mouldings and bargeboards, and truncated dormers. Secheron House at 21 Secheron Road, is a single storey Old Colonial Regency sandstone residence which features a central protruding bay, verandah with fine trellis columns, iron hipped roof and a stone service wing with parapet. Narryna located at 103 Hampden Road is a two storey brick Georgian residence with a stone facade that was constructed in 1836. Two storey pilasters define three front bays with central entry. Corona at 35 De Witt Street, is a two storey sandstone Victorian townhouse with a verandah on two sides, a bay window over two levels, and hipped roofs. There are significant groupings of Colonial and Victorian cottages in addition to modest residences from later periods which contribute to a homogenous historic character. These include but are not limited to groupings of conjoined and detached Georgian brick cottages along South, Kelly, and Runnymede Streets. There are also groupings of medium scale and larger Victorian and Federation residences along Colville, Cromwell, and Napoleon Streets. Other significant building stock includes original stables, pubs, inns, slipyards, and community buildings.

Fencing

Fencing is typically low traditional fencing, such as Victorian timber picket, Victorian stone and brick walling, Federation timber picket, Federation brick and stone walling, Inter-War brick and ironwork fences.

Contributory elements

- | | |
|---|---|
| <ol style="list-style-type: none"> 1. Prominent chimneys 2. Unpainted brick and stone, stucco 3. Original and traditional metal and timber detailing 4. Corrugated iron roofs 5. Tiled and slate roofs 6. Traditional low picket, masonry, and metal fences that match the house 7. Dormer windows 8. Projecting gables 9. Sandstone buildings 10. Sandstone, rubble stone and brick walling 11. Buildings with a consistent setback from the front boundary | <ol style="list-style-type: none"> 12. 13. Small cottage-style front gardens 14. Large residences and town houses 15. Small modest cottages 16. Groupings of houses sharing similar features 17. Laneways 18. Conjoined cottages 19. Community buildings and buildings constructed for uses other than residential 20. Traditional and early 12 pane sash windows 21. Architectural details 22. Large finely detailed houses |
|---|---|

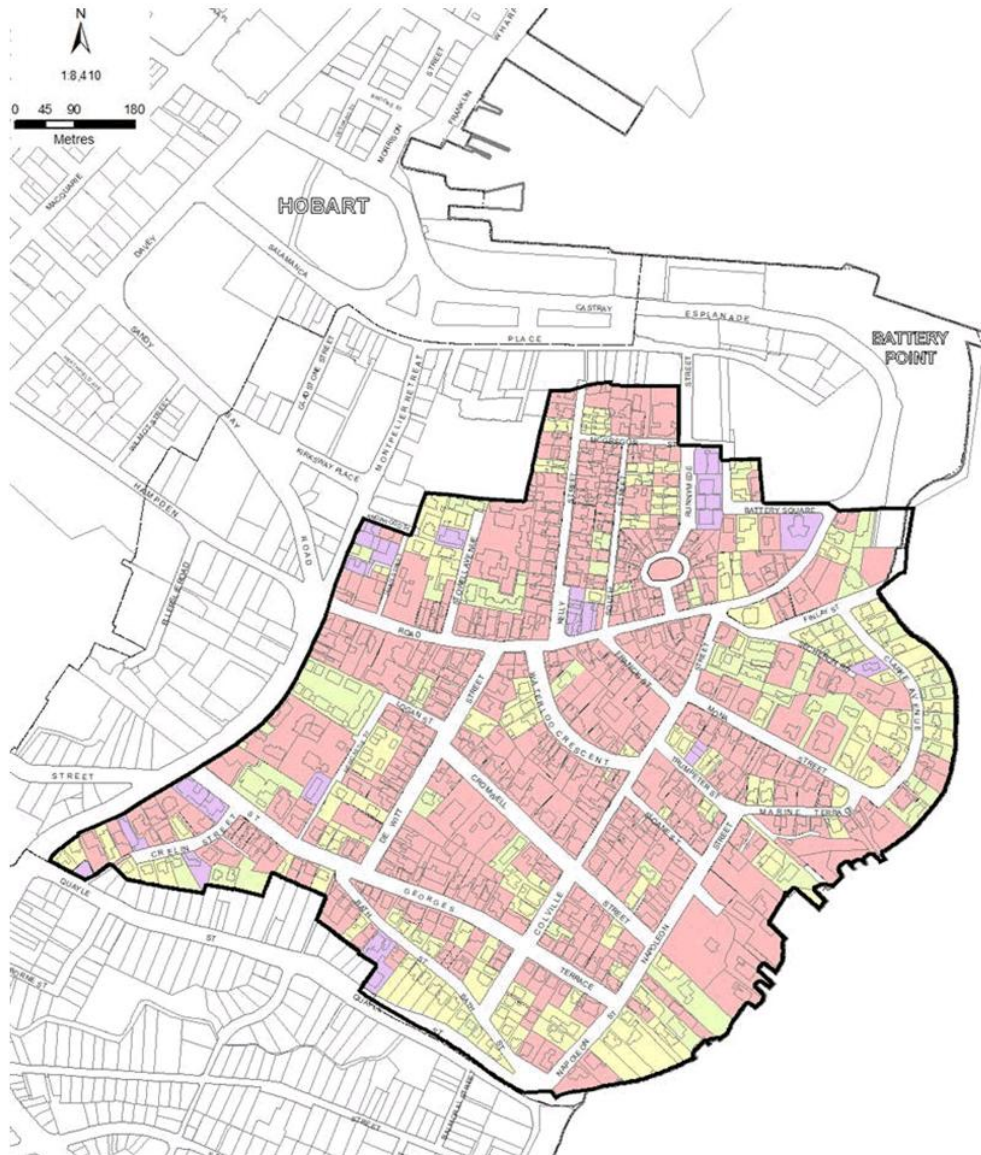


Non contributory elements

1. Off street parking structures that are incompatible with the scale and form of traditional buildings.
2. Large sections of hard surface parking areas in front of or adjacent to residential properties.
3. Solid and/or high fences that obscure and prevent appreciation of houses and gardens that are not traditional in scale, material and form.
4. Large buildings, such as blocks of flats that do not follow the orientation, setback, bulk, and siting of contributory buildings and infill development that does not relate to past architectural styles and are unsympathetic to the streetscape and contributory characteristics of the precinct.



HOB-C6.2.1 Heritage Precinct - Map



- Heritage local / state places
- Contributory
- Neutral
- Non contributory

STATEMENT OF LOCAL HISTORIC HERITAGE SIGNIFICANCE

Significance because of the collective heritage value of individual places as a group for their streetscape or townscape values and the precinct's role in, representation of, or potential for contributing to the understanding of:

For contributing to the understanding of local history

- The precinct is primarily a residential area with a rich maritime history and a historical mix of large substantial homes through to smaller workers cottages, but with layers of subdivision and successive development, all with a traditional character.
- Battery Point features an unstructured street layout, and lot sizes that show successive re-subdivision into narrow lots that demonstrate early settlement patterns of the area.
- The significant and extensive collection of Colonial buildings that represent the first phases of development within the Battery Point area.

For the representation of aesthetic characteristics

- The original and/or significant external detailing, finishes and materials that demonstrate intact examples of architectural styles with a high degree of integrity.
- The front and rear gardens of properties, street trees, parks, and established vegetation are significant visual features that reinforce the precincts residential character.
- The foreshore views and remaining boat building industries within the precinct contribute to the understanding of the significant maritime history of Battery Point.
- The area is significant because it contains a unified group of one and two-storey buildings and has a distinctive townscape, with tight urban spaces and consistently detailed buildings forming an overall homogenous historic precinct.

For the representation of a class of building or place

- The wide variety of architectural styles and historic features including additions, landscape elements, and outbuildings from 19th century Colonial Georgian, Victorian, Federation, Inter-War, and Post War examples of single and attached houses and buildings that are of historic and architectural merit.
- Highly intact streetscapes that demonstrate consistent 19th century Colonial and Victorian Georgian architecture.
- A recognisable streetscape which demonstrates housing prior to mass car ownership proximity to the city. The area has a distinctive townscape with tight urban spaces and consistently detailed buildings forming an overall homogenous historic precinct.

For the association with a particular community or cultural group for social or spiritual reasons

- The area has social significance to the local and broader community due to the location of the former Queen Alexandra Hospital, The Battery Point Community Hall, Narryna Heritage Museum, and the Battery Point Slip Yards within the precinct.
- The area has social and spiritual significance to the local and broader community due to the location of the St George's Church and hall within the precinct.

DESIGN CRITERIA / CONSERVATION POLICY

1. Elements which contribute to the precinct should be retained and conserved.
2. Non-contributory elements may be removed to enhance the character of the precinct.
3. Alterations and additions should not dominate or detract from the original building.
4. New buildings, extensions or structures should be compatible with and sympathetic to the height, bulk, setback, materials and finishes, and general character of contributory and heritage listed places.
5. New buildings and extensions to contributory and heritage listed buildings should be compatible and visually subservient when viewed from any road or public open space.
6. Fences and gates should be appropriate in form, scale, height and materials appropriate to the architecture of the main building and should match its architectural style. Styles include Federation/Victorian timber picket, Inter-War masonry, brick and ironwork fences and gates. Detailed design guidance may be found in the City of Hobart publication, New fences for old houses.
7. Alterations and additions should respect the uniformity of properties which form part of a consistent row, semi-pair or group of buildings.
8. Established and/or significant planted garden settings, hedges, and visually prominent trees should be retained, unless removal is exempt under the planning scheme.
9. Garages, carports, and ancillary structures should be setback from the principal facade to enable the original building form to remain unobscured and prominent within the streetscape.
10. Driveways and hard stand areas should be located at the side of the house.
11. Unpainted and unrendered masonry and brick exterior surfaces should remain as such.
12. All sandstone construction, generally seen in walls, kerbing or other site elements should be retained, unless removal is exempt under the planning scheme.
13. A curtilage/usable open space should be maintained to provide an appropriate setting to the scale of house.
14. New development should not interrupt building patterns where a subdivision pattern has resulted in a distinctive built form.
15. Lot boundary changes should not occur in areas where the original subdivision pattern is significant and remains intact.
16. Infill development should respond to and not obscure the topography of the area.
17. All original and early stables and outbuildings should be retained.

References

Archives Office of Tasmania Subject Index, AOT, Hobart.

Dennison, C. 2008, Here's Cheers: A Pictorial History of Hotels, Taverns and Inns in Hobart, Hobart City Council, Hobart.

Hobart City Council, Battery Point Heritage Review, Main Report Volume 1 & 2, September 2000.

Rowntree, A. Battery Point Today and Yesterday, Education Department Tasmanian, 1968.



REQUEST FOR INFORMATION - PLANNING

Status: **Under Review**

Reference
PLANNA-HOB-2026-1100

Application Reference
PLN-HOB-2025-0554

Address
4 SOUTH ST BATTERY POINT TAS 7004

Titles
153157/4

Information Requested

#	Reason	Origin
1	<p>Clause 6.1.2 (d) of the <i>Tasmanian Planning Scheme – Hobart</i> requires that a planning application must include a current certificate of title for the site to which the permit is sought, including the title plan and any schedule of easements. Because the amended plans show a new stormwater line proposed in the driveway of 2 South Street, it must be included in the application. You have not provided the Certificate of Title for 2 South Street. Consequently the application is not yet valid. Please provide a copy of the current certificate of title for 2 South Street.</p> <p>Please note that the strata plan supplied today relates to Lot 0 - not Lot 2. Advice from Council's Manager of Surveying Services notes that the driveway containing the proposed stormwater line is within Lot 2, not the Common Land.</p> <p>To obtain a current Certificate of Title, please go to www.thelist.tas.gov.au In the home screen, select <Properties and Titles>. Type in the Volume and Folio numbers and click <return>. In Search Results, <Select products> then tick box for Folio Text, type in the Strata plan and Lot then <Add Selected>. In the <Cart> in top margin, there should be the current Folio Text. Then you will need to pay for it and it will download as a PDF. You may need to insert your credit card details earlier in the process, but, at some point, before you can access the Folio Text you will need to pay. If you have problems, you can call Service Tas on 1300 13 55 13 and I think they can access the Folio Text for you and take your credit card details over the phone.</p>	
2	<p>Owner declaration</p> <p>Section 52 of the <i>Land Use Planning and Approvals Act 1993</i> requires that: <i>If the applicant for a permit is not the owner of the land in respect of which the permit is required... the applicant must include in the application... a declaration that the applicant has notified the owner of the intention to make the application.</i></p> <p>The planning application as submitted does not include a declaration that you have notified all the owners strata properties at 2 South St which has now become part of the land that is the subject of this planning application. As such the planning application is not valid until you have provided written confirmation that you have notified the relevant land owner(s) that you are making this planning application. You only need to confirm in writing to Council that you have done this. Council does not need to be included in any correspondence to the neighbours. However, if such notification is not correctly undertaken the validity of any permit granted for this application may be questioned at law in the future.</p> <p>The further information did not include confirmation that the neighbour was notified.</p>	
3	<p>Until such time that the above matters are addressed the application will remain invalid. While the planning application remains invalid, neither the Council's assessment of the application nor the statutory time period prescribed by the <i>Land Use Planning and Approvals Act 1993</i> will commence.</p>	

Response comments

Response to Request for Further Information

The owner (Nicole) of 2 South Street has been notified of the DA and of planned upgrades to stormwater.

Documents

Version	Document Date	Document Type	Description	Prepared By
1	26 Mar 2026	Property Title Document	2 South Street Title Folio+Text	Mr Chris Shurman
1	26 Mar 2026	Property Title Document	2 South Street Title Folio+Text	Mr Chris Shurman



RESULT OF SEARCH

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



SEARCH OF TORRENS TITLE

VOLUME 153157	FOLIO 4
EDITION 5	DATE OF ISSUE 10-Jan-2022

SEARCH DATE : 25-Nov-2025

SEARCH TIME : 10.47 AM

DESCRIPTION OF LAND

City of HOBART
 Lot 4 on Strata Plan 153157 and a general unit entitlement operating for all purposes of the Strata Scheme being a 10 undivided 1/30 interest
 Derived from Strata Plan 153157
 Derivation : Part of 5-3-10 Granted to A. Morrison

SCHEDULE 1

M897646 TRANSFER to GEYSEN BYRNE PTY LIMITED Registered
 10-Jan-2022 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 The registered proprietor holds the lot and unit entitlement subject to any interest noted on common property
 Folio of the Register volume 153157 folio 0
 E281877 MORTGAGE to Bank of Queensland Limited Registered
 10-Jan-2022 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



FOLIO PLAN
 RECORDER OF TITLES
 Issued Pursuant to the Land Titles Act 1980



CITY/TOWN HOBART SUBURB/LOCALITY BATTERY POINT FOLIO REFERENCE CT116112/1 SITE COMPRISES THE WHOLE OF LOT 1 ON PLAN No. P.116112 P.153156		STRATA PLAN SHEET 1 OF 4 SHEETS		REGISTERED NUMBER 153157
		NAME OF STRATA SCHEME No 2 - 6 SOUTH STREET BATTERY POINT		STRATA TITLES ACT, 1998 REGISTERED 27 FEB 2008 <i>Alice Kawa</i> Recorder of Titles.
MAPSHEET MUNICIPAL CODE No. 114 (5125-52)	LAST UPI No. 2123367	SCALE 1: 150	LENGTHS IN METRES	

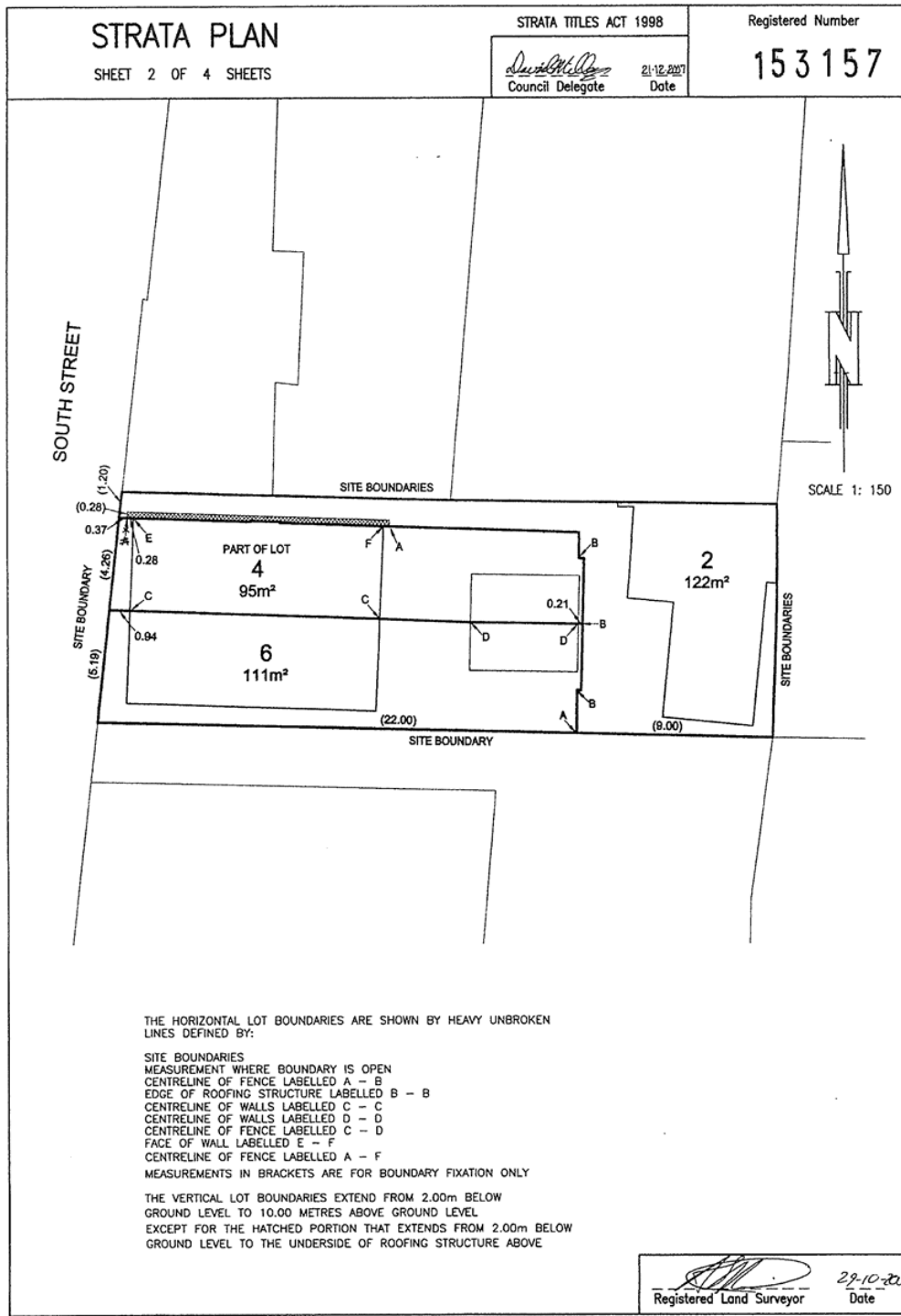
McGREGOR STREET

SOUTH STREET

NOTES: (i) ALL BUILDINGS ON THE SITE TO BE SHOWN ON SHEET 1. (ii) BUILDING TO SITE BOUNDARY OFFSETS OF LESS THAN 2.00 METRES TO BE SHOWN ON SHEET 1.	<i>David M. Birch</i> 21-12-2007 Council Delegate Date	<i>Alice Kawa</i> 29-10-2007 Registered Land Surveyor Date
STAGED/COMMUNITY DEVELOPMENT SCHEME No. (IF APPLICABLE)		LODGED BY ROGERSON & BIRCH SURVEYORS

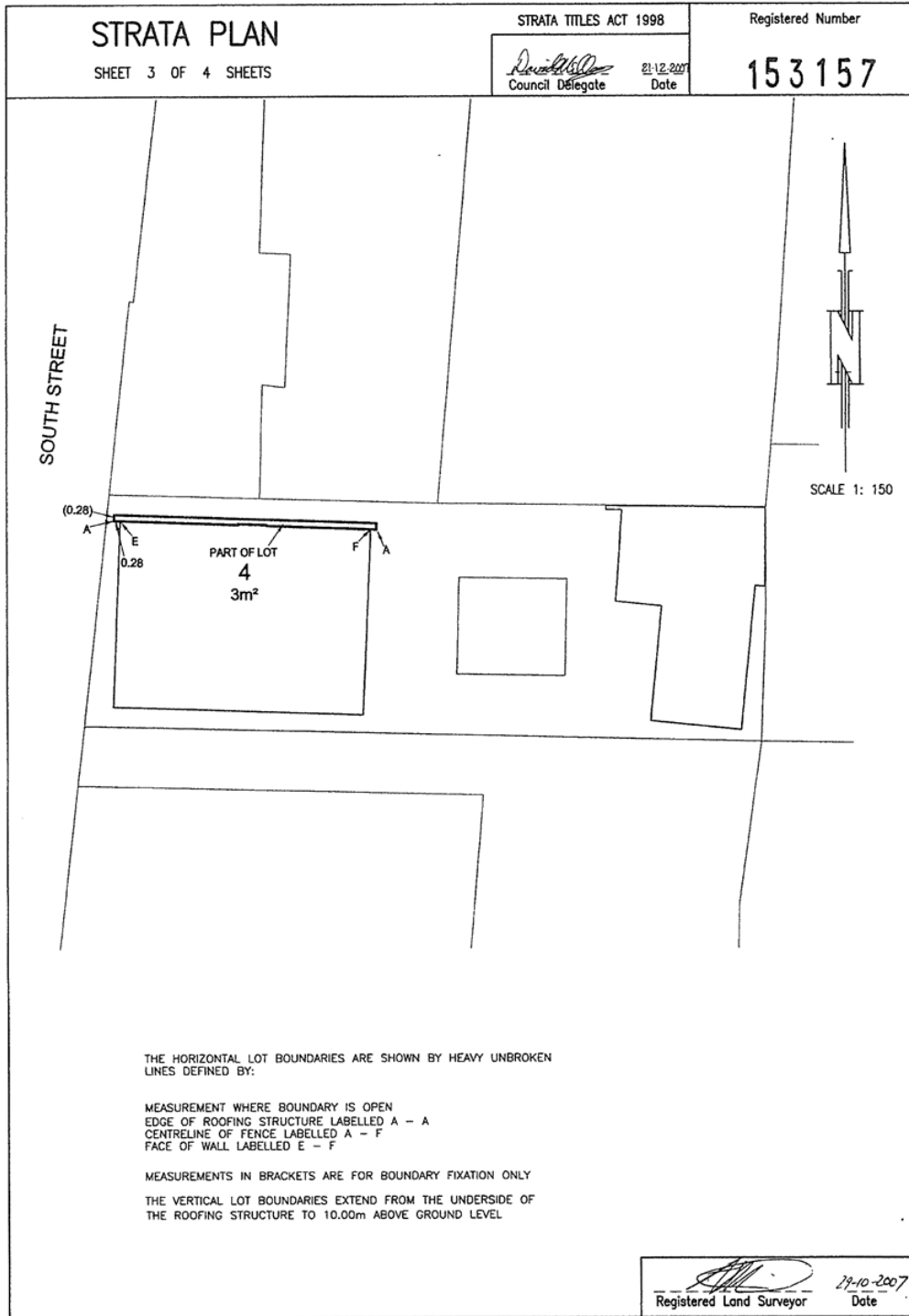


FOLIO PLAN
RECORDER OF TITLES
Issued Pursuant to the Land Titles Act 1980





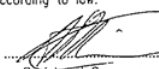
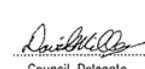
FOLIO PLAN
RECORDER OF TITLES
Issued Pursuant to the Land Titles Act 1980





FOLIO PLAN
 RECORDER OF TITLES
 Issued Pursuant to the Land Titles Act 1980



STRATA PLAN		STRATA TITLES ACT 1998	Registered Number 153157
SHEET 4 OF 4 SHEETS			
NAME OF BODY CORPORATE: STRATA CORPORATION No. 153157 2 - 6 SOUTH STREET BATTERY POINT			
ADDRESS FOR THE SERVICE OF NOTICES: 2 SOUTH STREET BATTERY POINT 7004			
SURVEYORS CERTIFICATE		COUNCIL CERTIFICATE	
I, <u>ANDREW STEPHEN BIRCH</u> of <u>HOWRAH</u> a surveyor registered under the Surveyors Act 2002 certify that the building or buildings erected on the site and shown on sheet 1 of this plan are within the site boundaries of the folio stated on sheet 1 and any encroachment beyond those boundaries is properly authorised according to law.  Registered Surveyor		I certify that the <u>HOBART CITY</u> Council has: (c) approved the lots shown in this plan and (b) issued this certificate of approval in accordance with section 31 of the Strata Titles Act 1998.  Council Delegate A MANAGER SURVEYING SERVICES	
29-10-2007		21-12-2007	
MINAKS02		5594041	
date ref no		date ref no	
GENERAL UNIT ENTITLEMENTS			
LOT	UNIT ENTITLEMENT	<p style="text-align: center;">WARNING</p> (1) This strata plan relates to existing buildings for which there was no change of use at the time when the application was made to the Council for this certificate of approval. (2) This certificate of approval relates only to the strata plan, and is not evidence that the building within lots 4 and 6 complied with the requirements of the Building Act 2000 at the time when the certificate was given. (3) In accordance with section 31(3) (c) of the Strata Titles Act 1998, because the application for approval related to an existing building for which there was no change of use, the Council was not permitted to impose as a condition of the issue of this certificate of approval that the building be updated to meet current building requirements. (4) The Council's appointed building surveyor advises that the fire separation between Lot 4 and Lot 6 is not substantially compliant with the safety and other requirements of the Building Act 2000. (5) Parties should make their own enquiries on these issues.	
2	10		
4	10		
6	10		
TOTAL	30		



RESULT OF SEARCH

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



SEARCH OF TORRENS TITLE

VOLUME 153157	FOLIO 6
EDITION 6	DATE OF ISSUE 27-Apr-2024

SEARCH DATE : 25-Nov-2025

SEARCH TIME : 10.47 AM

DESCRIPTION OF LAND

City of HOBART

Lot 6 on Strata Plan 153157 and a general unit entitlement
operating for all purposes of the Strata Scheme being a 10
undivided 1/30 interest

Derived from Strata Plan 153157

Derivation : Part of 5-3-10 Granted to A. Morrison

SCHEDULE 1

N184435 TRANSFER to MICHAEL JOHN BYRNE Registered
27-Apr-2024 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
The registered proprietor holds the lot and unit entitlement
subject to any interest noted on common property
Folio of the Register volume 153157 folio 0

E380052 MORTGAGE to Bank of Queensland Limited Registered
27-Apr-2024 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



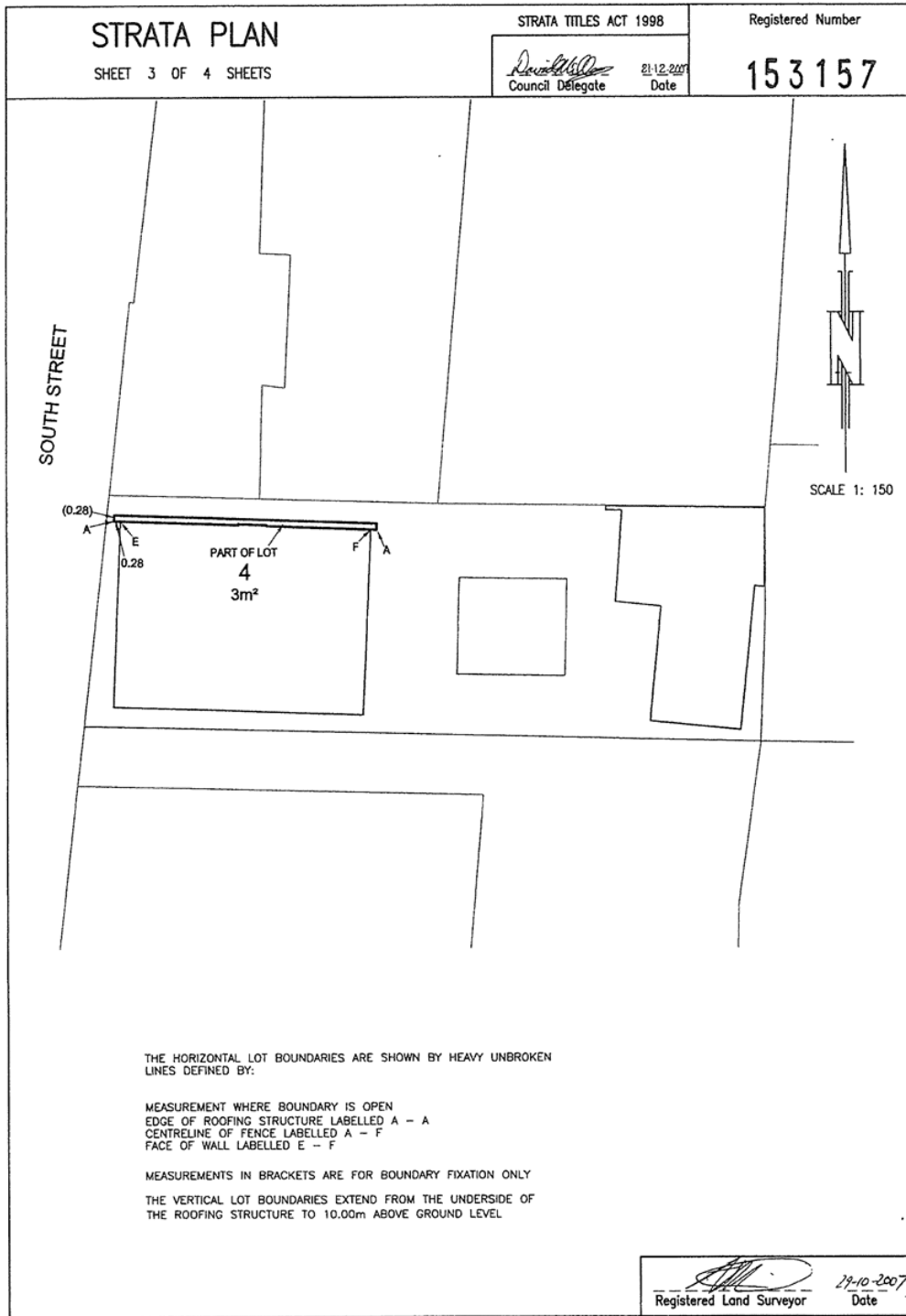
FOLIO PLAN
 RECORDER OF TITLES
 Issued Pursuant to the Land Titles Act 1980



CITY/TOWN HOBART SUBURB/LOCALITY BATTERY POINT FOLIO REFERENCE CT116112/1 SITE COMPRISES THE WHOLE OF LOT 1 ON PLAN No. P.116112 P.153156		STRATA PLAN SHEET 1 OF 4 SHEETS		REGISTERED NUMBER 153157	
MAPSHEET MUNICIPAL CODE No. 114 (5125-52)		LAST UPI No. 2123367	SCALE 1: 150	LENGTHS IN METRES	STRATA TITLES ACT 1998 REGISTERED 27 FEB 2008 <i>Alice Kawa</i> Recorder of Titles.
MCGREGOR STREET					
NOTES: (i) ALL BUILDINGS ON THE SITE TO BE SHOWN ON SHEET 1. (ii) BUILDING TO SITE BOUNDARY OFFSETS OF LESS THAN 2.00 METRES TO BE SHOWN ON SHEET 1.			Council Delegate <i>David Miller</i> Date 21-12-2007	Registered Land Surveyor <i>[Signature]</i> Date 29-10-2007	
STAGED/COMMUNITY DEVELOPMENT SCHEME No. (IF APPLICABLE)			LODGED BY ROGERSON & BIRCH SURVEYORS		



FOLIO PLAN
RECORDER OF TITLES
Issued Pursuant to the Land Titles Act 1980





FOLIO PLAN
 RECORDER OF TITLES
 Issued Pursuant to the Land Titles Act 1980



<p style="text-align: center;">STRATA PLAN</p> <p style="text-align: center;">SHEET 4 OF 4 SHEETS</p>	STRATA TITLES ACT 1998	Registered Number <h1 style="margin: 0;">153157</h1>
NAME OF BODY CORPORATE: STRATA CORPORATION No. 153157 2 - 6 SOUTH STREET BATTERY POINT ADDRESS FOR THE SERVICE OF NOTICES: 2 SOUTH STREET BATTERY POINT 7004		
<p style="text-align: center;">SURVEYORS CERTIFICATE</p> <p>I, <u>ANDREW STEPHEN BACH</u> of <u>HOWRAH</u> a surveyor registered under the Surveyors Act 2002 certify that the building or buildings erected on the site and drawn on sheet 1 of this plan are within the site boundaries of the folio stated on sheet 1 and any encroachment beyond those boundaries is properly authorised according to law.</p> <p style="text-align: right;"> Registered Surveyor </p> <p style="text-align: right;"> <u>29.10.2007</u> <u>MINAKO2</u> date ref no </p>	<p style="text-align: center;">COUNCIL CERTIFICATE</p> <p>I certify that the <u>HOBART CITY</u> Council has: (a) approved the lots shown in this plan and (b) issued this certificate of approval in accordance with section 31 of the Strata Titles Act 1998.</p> <p style="text-align: right;"> Council Delegate </p> <p style="text-align: right;"> <u>21.12.2007</u> <u>5594047</u> date ref no A MANAGER SURVEYING SERVICES </p>	
GENERAL UNIT ENTITLEMENTS		
LOT	UNIT ENTITLEMENT	
2	10	<p style="text-align: center;">WARNING</p> <p>(1) This strata plan relates to existing buildings for which there was no change of use at the time when the application was made to the Council for this certificate of approval.</p> <p>(2) This certificate of approval relates only to the strata plan, and is not evidence that the building within lots 4 and 6 complied with the requirements of the Building Act 2000 at the time when the certificate was given.</p> <p>(3) In accordance with section 31(3) (c) of the Strata Titles Act 1998, because the application for approval related to an existing building for which there was no change of use, the Council was not permitted to impose as a condition of the issue of this certificate of approval that the building be updated to meet current building requirements.</p> <p>(4) The Council's appointed building surveyor advises that the fire separation between Lot 4 and Lot 6 is not substantially compliant with the safety and other requirements of the Building Act 2000.</p> <p>(5) Parties should make their own enquiries on these issues.</p>
4	10	
6	10	
TOTAL	30	



RESULT OF SEARCH
 RECORDER OF TITLES
 Issued Pursuant to the Land Titles Act 1980



SEARCH OF TORRENS TITLE

VOLUME 153157	FOLIO 0
EDITION 1	DATE OF ISSUE 27-Feb-2008

SEARCH DATE : 05-Jan-2026
 SEARCH TIME : 01.07 pm

DESCRIPTION OF LAND

City of HOBART
 The Common Property for Strata Scheme 153157
 Derivation : Part of 5-3-10 Granted to A. Morrison
 Prior CT 116112/1

SCHEDULE 1

STRATA CORPORATION NUMBER 153157, 2 TO 6 SOUTH STREET, BATTERY POINT

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



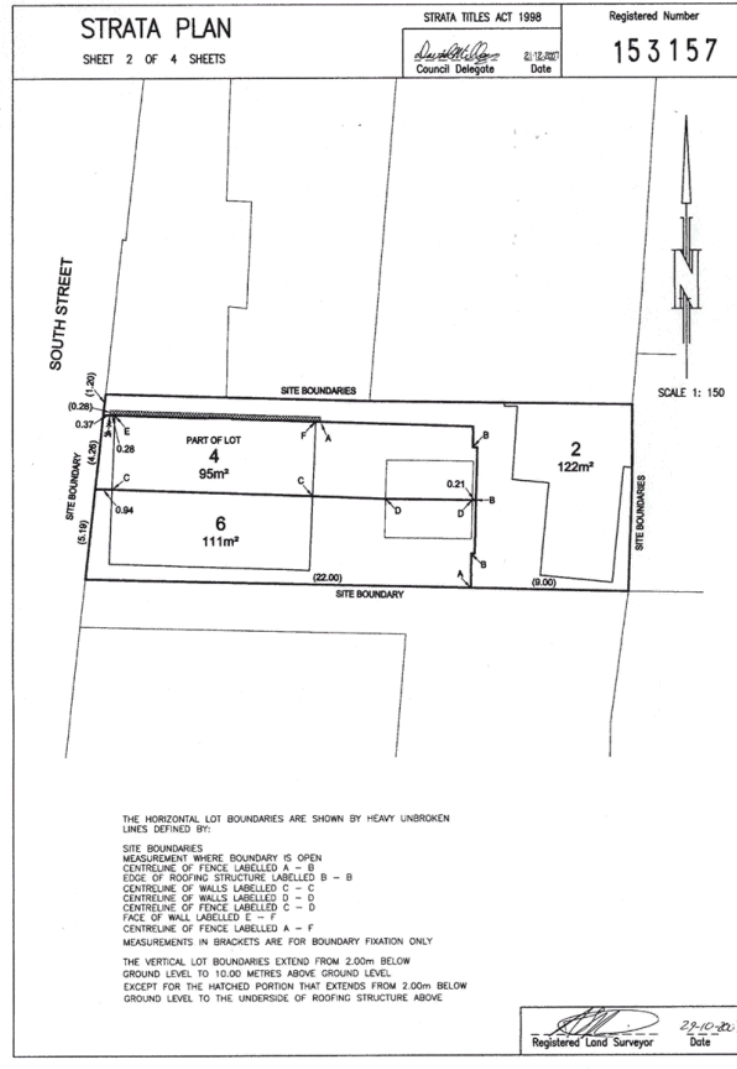
FOLIO PLAN
 RECORDER OF TITLES
 Issued Pursuant to the Land Titles Act 1980



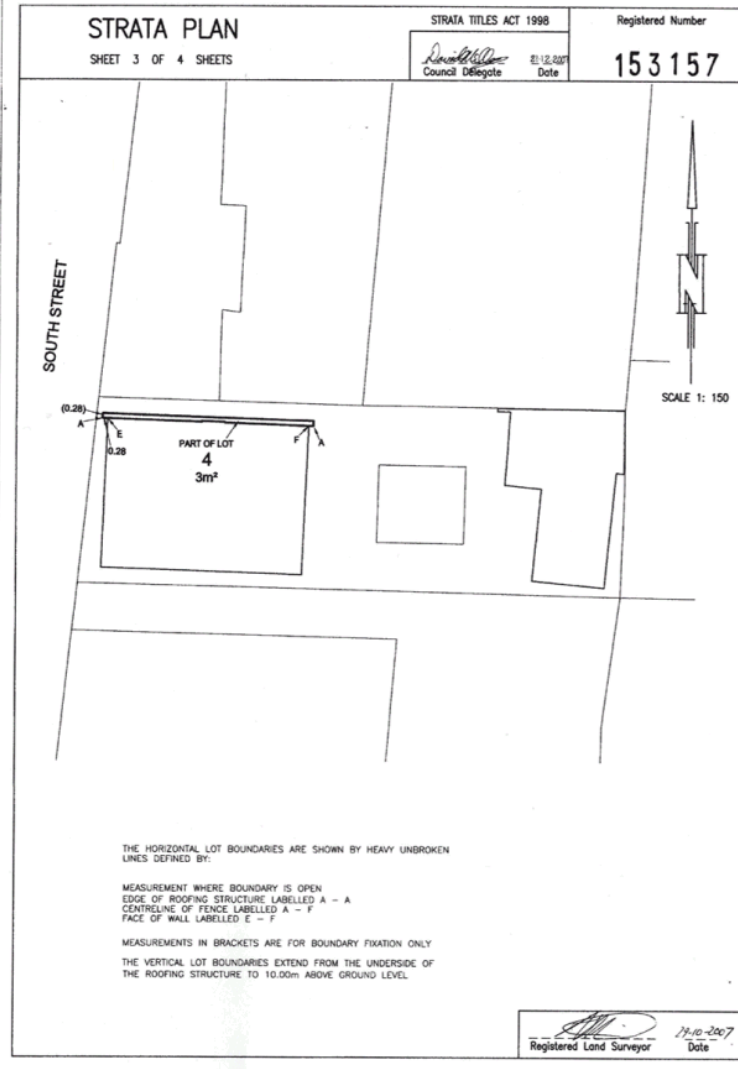
CITY/TOWN HOBART SUBURB/LOCALITY BATTERY POINT FOLIO REFERENCE CT116112/1 SITE COMPRISES THE WHOLE OF LOT 1 ON PLAN No. 116112 153157		STRATA PLAN SHEET 1 OF 4 SHEETS		REGISTERED NUMBER 153157
NAME OF STRATA SCHEME No 2 - 6 SOUTH STREET BATTERY POINT		STRATA TITLES ACT 1980 REGISTERED 27 FEB 2008 <i>Alice Kawa</i> Recorder of Titles.		
MAPSHEET MUNICIPAL CODE No. 114 (S125-52)	LAST UPN No. 2125367	SCALE 1: 150	LENGTHS IN METRES	
McGREGOR STREET				
SOUTH STREET				
NOTES: (1) ALL BUILDINGS ON THE SITE TO BE SHOWN ON SHEET 1. (2) BUILDING TO SITE BOUNDARY OFFSETS OF LESS THAN 2.00 METRES TO BE SHOWN ON SHEET 1.		<i>David Miller</i> Council Delegate Date 21-12-2007	<i>[Signature]</i> Registered Land Surveyor Date 27-10-2007	
STAGED/COMMUNITY DEVELOPMENT SCHEME No. (IF APPLICABLE)		LODGED BY ROGERSON & BIRCH SURVEYORS		



FOLIO PLAN
 RECORDER OF TITLES
 Issued Pursuant to the Land Titles Act 1980



FOLIO PLAN
 RECORDER OF TITLES
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FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



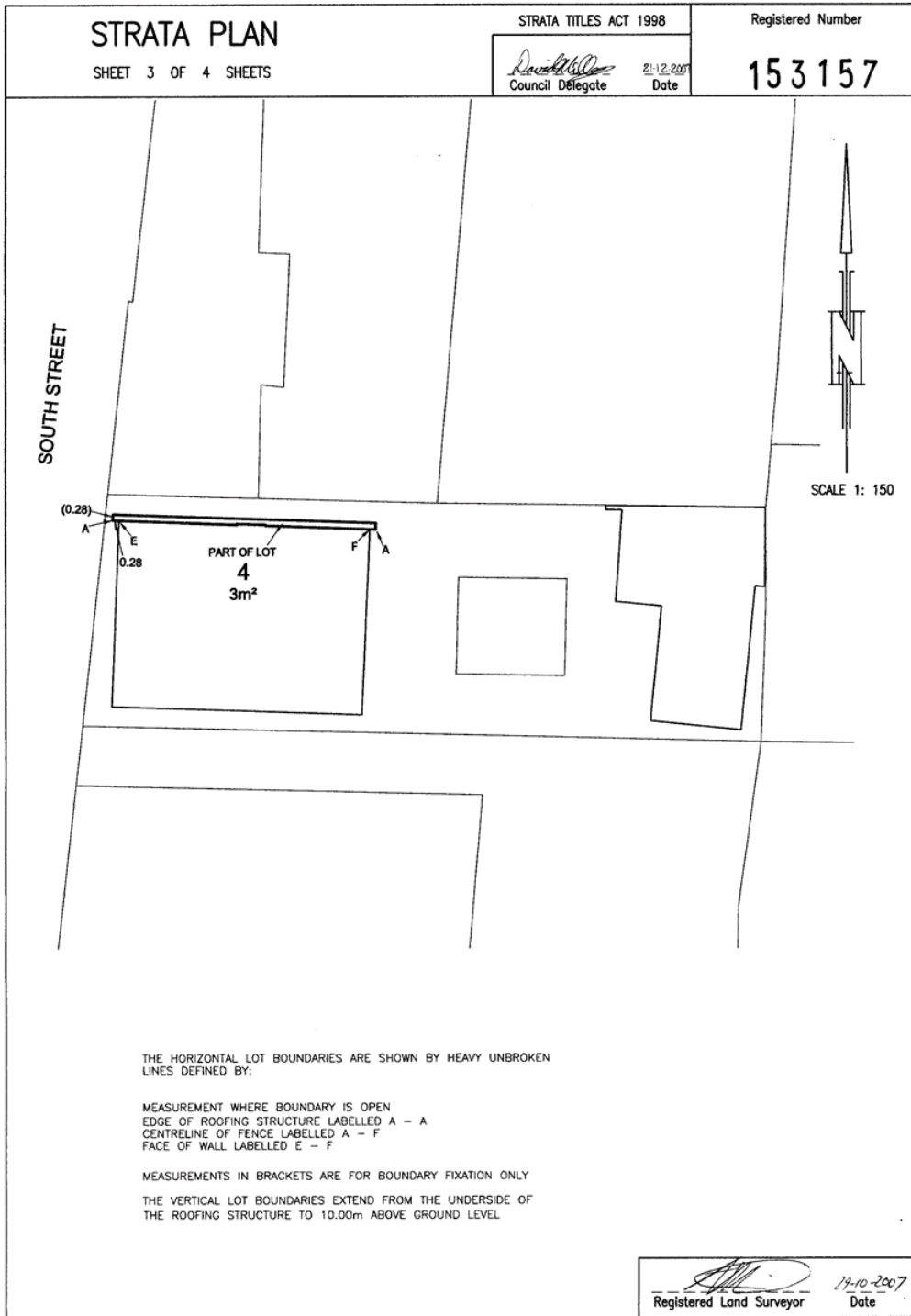
CITY/TOWN HOBART SUBURB/LOCALITY BATTERY POINT FOLIO REFERENCE CT116112/1 SITE COMPRISES THE WHOLE OF LOT 1 ON PLAN No. P.116112 P.153156		STRATA PLAN SHEET 1 OF 4 SHEETS		REGISTERED NUMBER 153157
		NAME OF STRATA SCHEME No 2 - 6 SOUTH STREET BATTERY POINT		STRATA TITLES ACT, 1998 REGISTERED 27 FEB 2008 <i>Alice Kawa</i> Recorder of Titles.
MAPSHEET MUNICIPAL CODE No. 114 (5125-52)	LAST UPI No. 2123367	SCALE 1: 150	LENGTHS IN METRES	
<p style="text-align: center;">McGREGOR STREET</p> <p style="text-align: center;">SOUTH STREET</p>				
NOTES: (i) ALL BUILDINGS ON THE SITE TO BE SHOWN ON SHEET 1. (ii) BUILDING TO SITE BOUNDARY OFFSETS OF LESS THAN 2.00 METRES TO BE SHOWN ON SHEET 1.				
STAGED/COMMUNITY DEVELOPMENT SCHEME No. (IF APPLICABLE)		<i>David Miller</i> 21-12-2007 Council Delegate Date	<i>[Signature]</i> 29-10-2007 Registered Land Surveyor Date	
LODGED BY ROGERSON & BIRCH SURVEYORS				



FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



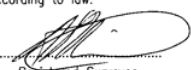



FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



STRATA PLAN		STRATA TITLES ACT 1998	Registered Number 153157
SHEET 4 OF 4 SHEETS			
NAME OF BODY CORPORATE: STRATA CORPORATION No.153157 2 - 6 SOUTH STREET BATTERY POINT			
ADDRESS FOR THE SERVICE OF NOTICES: 2 SOUTH STREET BATTERY POINT 7004			
SURVEYORS CERTIFICATE		COUNCIL CERTIFICATE	
I, <u>ANDREW STEPHEN BACH</u> of <u>HOWRAH</u> a surveyor registered under the Surveyors Act 2002 certify that the building or buildings erected on the site and drawn on sheet 1 of this plan are within the site boundaries of the folio stated on sheet 1 and any encroachment beyond those boundaries is properly authorised according to law.  Registered Surveyor <u>29.10.2007</u> <u>MINAKDZ</u> date ref no		I certify that the <u>HOBART CITY</u> Council has: (a) approved the lots shown in this plan and (b) issued this certificate of approval in accordance with section 31 of the Strata Titles Act 1998.  Council Delegate <u>21.12.2007</u> <u>5594047</u> A. MANAGER SURVEYING SERVICES date ref no	
GENERAL UNIT ENTITLEMENTS			
		WARNING	
LOT	UNIT ENTITLEMENT	(1) This strata plan relates to existing buildings for which there was no change of use at the time when the application was made to the Council for this certificate of approval. (2) This certificate of approval relates only to the strata plan, and is not evidence that the building within lots 4 and 6 complied with the requirements of the Building Act 2000 at the time when the certificate was given. (3) In accordance with section 31(3) (c) of the Strata Titles Act 1998, because the application for approval related to an existing building for which there was no change of use, the Council was not permitted to impose as a condition of the issue of this certificate of approval that the building be updated to meet current building requirements. (4) The Council's appointed building surveyor advises that the fire separation between Lot 4 and Lot 6 is not substantially compliant with the safety and other requirements of the Building Act 2000. (5) Parties should make their own enquiries on these issues.	
2	10		
4	10		
6	10		
TOTAL	30		

**RESULT OF SEARCH**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



SEARCH OF TORRENS TITLE

VOLUME	FOLIO
153157	2
EDITION	DATE OF ISSUE
5	06-Feb-2024

SEARCH DATE : 26-Mar-2026

SEARCH TIME : 12.39 pm

DESCRIPTION OF LAND

City of HOBART

Lot 2 on Strata Plan [153157](#) and a general unit entitlement operating for all purposes of the Strata Scheme being a 10 undivided 1/30 interest

Derived from Strata Plan [153157](#)

Derivation : Part of 5-3-10 Granted to A. Morrison

SCHEDULE 1

[N172094](#) TRANSFER to GROVES PROPERTY NO.1 PTY LTD Registered
06-Feb-2024 at 12.01 pm

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
The registered proprietor holds the lot and unit entitlement
subject to any interest noted on common property

Folio of the Register volume [153157](#) folio 0

[E370260](#) MORTGAGE to Secure Funding Pty Ltd Registered
06-Feb-2024 at 12.02 pm

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



CULTURAL HERITAGE REPORT

Heritage Precinct

Date Completed:	27 April 2026
Application No:	PLN-HOB-2025-0554
Address:	4-6 and 2 South Street, Battery Point
Proposal:	Partial Demolition, Alterations and Extension
Performance criteria:	C6.7.1 P1, C6.7.3 P1.1 and P1.2 HOB-S7.7.2 P1, A2 and P3 HOB-S7.7.3 A1 HOB-S7.7.4 P1 HOB-S7.7.5 A1
Assessment Officer:	Nicole Manley Cultural Heritage Officer
Recommendation:	Acceptable Subject to Conditions <i>The development has been assessed under the Tasmanian Planning Scheme 2025.</i>

REPORT

1. Local Historic Heritage Significance

4-6 South Street Battery Point are a pair of circa 1860s red brick conjoined workers cottages, which share a common boundary with slightly later cottage at 2 South Street to the rear. While not individually heritage listed, the cottages form part of the HOB-C6.2.1 Battery Point Local Heritage Precinct as shown on the overlay map and as listed under HOB-Table C6.2 in the *Hobart Local Provisions Schedule*. All three cottages are identified as being contributory buildings in demonstrating the consistency and distinctive historic townscape for which Battery Point is closely associated.

The site is also located within HOB-S7.0 Battery Point Specific Area Plan in the *Hobart Local Provisions Schedule*.

The Statement of Local Heritage Significance for the precinct is described in the *City of Hobart Local Heritage Precincts Description, Statement of Local Historic Heritage Significance and Design Criteria / Conservation Policy January 2019*.

For contributing to the understanding of local history

- *The precinct is primarily a residential area with a rich maritime history and a historical mix of large substantial homes through to smaller workers cottages, but with layers of subdivision and successive development, all with a traditional character.*
- *Battery Point features an unstructured street layout, and lot sizes that show successive re-subdivision into narrow lots that demonstrate early settlement patterns of the area.*
- *The significant and extensive collection of Colonial buildings that represent the first phases of development within the Battery Point area.*

For the representation of aesthetic characteristics

- *The original and/or significant external detailing, finishes and materials that demonstrate intact examples of architectural styles with a high degree of integrity.*

PLN-HOB-2025-0554 4-6 and 2 South Street, Battery Point Heritage Report

- The front and rear gardens of properties, street trees, parks, and established vegetation are significant visual features that reinforce the precincts residential character.
- The foreshore views and remaining boat building industries within the precinct contribute to the understanding of the significant maritime history of Battery Point.
- The area is significant because it contains a unified group of one and two-storey buildings and has a distinctive townscape, with tight urban spaces and consistently detailed buildings forming an overall homogenous historic precinct.

For the representation of a class of building or place

- The wide variety of architectural styles and historic features including additions, landscape elements, and outbuildings from 19th century Colonial Georgian, Victorian, Federation, Inter-War, and Post War examples of single and attached houses and buildings that are of historic and architectural merit.
- Highly intact streetscapes that demonstrate consistent 19th century Colonial and Victorian Georgian architecture.
- A recognisable streetscape which demonstrates housing prior to mass car ownership proximity to the city. The area has a distinctive townscape with tight urban spaces and consistently detailed buildings forming an overall homogenous historic precinct.

For the association with a particular community or cultural group for social or spiritual reasons

- The area has social significance to the local and broader community due to the location of the former Queen Alexandra Hospital, The Battery Point Community Hall, Narryna Heritage Museum, and the Battery Point Slip Yards within the precinct.
- The area has social and spiritual significance to the local and broader community due to the location of the St George's Church and hall within the precinct.

2. Site History

The building at 4-6 South Street is a c. 1860s red brick conjoined workers cottage with a separate cottage to the rear at 2 South Street, likely constructed shortly after the main conjoined cottages.

The land was initially part of a much larger grant to Askin Morrison, prior to the establishment of South Street. It was later granted, in part, to James Lee in 1855 (historic deed 04/0839). The title document (historic deed 05/3968) indicates that his wife and son, Hannah Lee and James Gordon Lee, were granted the land as part of his estate in 1866, which included 2-6 South Street. The *Hobart Town Gazette* includes a reference to the Lees owning residences on South Street from 1865; South Street does not appear to be included in any of the earlier editions of the *Gazette*. The 1857 Sprent maps show South Street to be undeveloped.

The *Gazette* refers to the site as three separate residences, which is continued in the 1910 plan of drainage for the site, indicating occupation as three separate houses owned by one person, D Nicholas of Hampden Road.

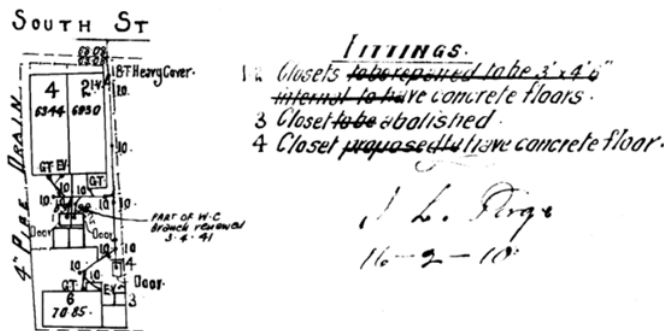


Figure 1: Metropolitan Drainage Board, 1910 Plan of Drainage for the site showing 2, 4 and 6 South Street as separate residences. Source: Council archives, plan H2599.

PLN-HOB-2025-0554 4-6 and 2 South Street, Battery Point Heritage Report



Figure 2: Photograph showing the front facade of 4-6 South Street.
 Source: Council Officer, April 2026.

It is noted that a planning application lodged in 2016 included a rear two storey addition. The application was refused on heritage grounds (E13.8.2 P1 and P3, E13.8.4 P3 of the *Hobart Interim Planning Scheme 2015*), based on the height and general form being inconsistent with the surrounding pattern of development (PLN-16-00492). The overall height was not substantially greater than the ridge height of the existing cottage, although the roof form protruded to the southern side and would be visible as a distinct form directly behind the cottage.

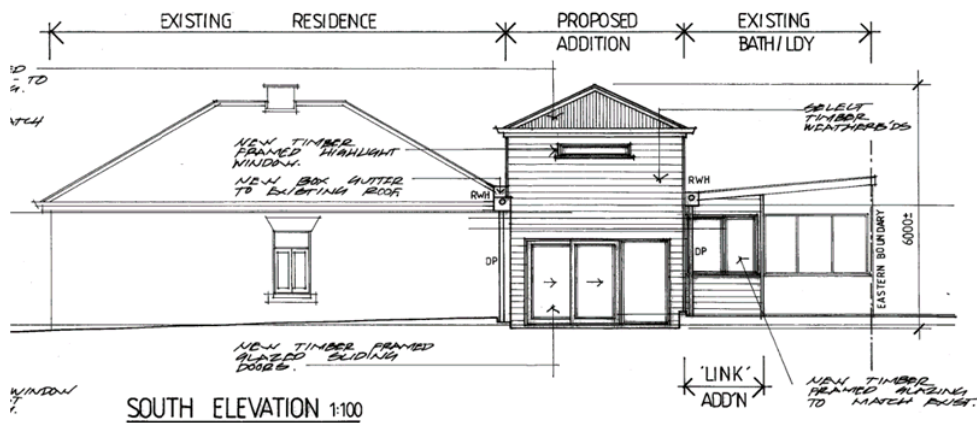


Figure 3: Southern (side) elevation of the previously refused application PLN-16-00492.

PLN-HOB-2025-0554 4-6 and 2 South Street, Battery Point Heritage Report

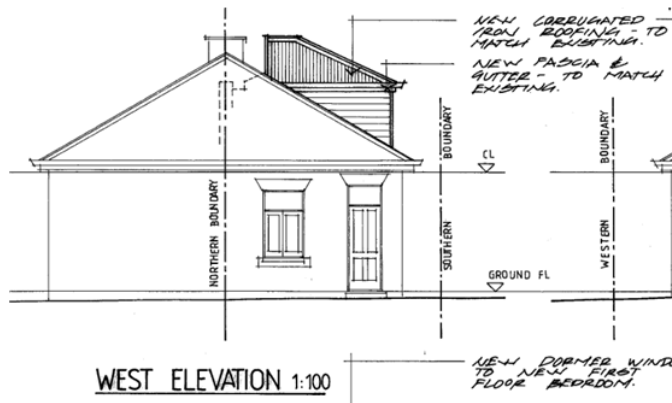


Figure 4: Western (front) elevation of the previously refused application PLN-16-00492.

3. Proposal

Demolition of:

- Rear outbuilding to 6 South Street, retaining conjoined outbuilding at 4 South Street.
- Partial side and rear wall of 6 South Street.
- Internal demolition of wall between 4 and 6 South Street.

Construction of:

- New single storey rear addition behind 6 South Street that extends closer to the side boundary, continuing the ridge height of the existing cottage.

4. Representations

The table below summarises all the heritage related concerns raised by representors during the statutory advertising period.

Concerns	Response
Excavation to construct the addition will affect the historic building at 2 South Street.	As the site is not identified as a place or precinct of archaeological potential, excavation is not assessed against the Local Historic Heritage Code of the <i>Tasmanian Planning Scheme</i> .
<p>"By submitted plans to build right up to the southern and eastern boundary lines in this setback area, the owner of number 6 seeks to capitalise on the Battery Point style of minimal side setbacks while at the same time failing to respect the traditional rear setback. This is contrary to HOB-S7.7.2 Building Setback..."</p> <p>"The non-compliance with the prescribed setback impacts both on the historic pattern of the area..."</p> <p>"The proposed extension on the southern elevation provides no rear setback whatsoever. This will impact both on the historic pattern and layout of houses in the district... This traditional layout allowed for houses to be</p>	<p>The front and side setbacks are considered as consistent with the surrounding area, and the addition is set back from the front building line which allows the front portion of 6 South Street to remain more prominent in this sense.</p> <p>The rear setback is calculated including the parent title, which includes 2 South Street where the addition does not extend. The rear setback remains unaltered. Additionally, the existing outbuildings across 4-6 South Street are built to the rear setback of these two properties.</p>

PLN-HOB-2025-0554 4-6 and 2 South Street, Battery Point Heritage Report

<p>located close to the street, in close proximity to each other (side by side), and with open space/garden to the rear..."</p>	
<p>"The plans for number 6 appear to have no provision for landscaping, disregard the existing layout which provides open garden space up to the rear boundary and ignores the pattern of development characteristic of the traditional front cottage-rear garden design of the area."</p>	<p>Agreed. The rear garden setting and the ability to understand the site in the traditional house and garden manner is reduced. The heritage precinct provisions assessed in C6.7 of the <i>Tasmanian Planning Scheme</i> only consider works are not visible from the street, however, and the change to the rear garden setting is not considered against the Local Historic Heritage Code. Site coverage and setback are considered in the assessment against the Battery Point Specific Area Plan in the below assessment.</p>
<p>"The site (4&6 South Street) is identified as a contributory building (in fact pair of buildings), and the agglomeration of the two fine terrace cottages into one large building, exacerbated by the long structure extending for the full length of the of southern boundary, is not consistent with this design criteria (points 4, 7 & 15)."</p>	<p>Noted and agreed, although the works do not include subdivision (amalgamation) and internal works cannot be assessed against the Local Historic Heritage Code; therefore the works to combine the two cottages into one cannot be assessed under the Local Historic Heritage Code of the <i>Tasmanian Planning Scheme</i>. The works are considered in relation to the Battery Point Design Criteria/Conservation Policies in the below assessment.</p>
<p>Works are proposed "without preserving the traditional garden/open space in the rear setback."</p>	<p>Agreed, however site coverage is calculated to include the parent title which results in a degree of coverage that is in keeping with the area. This is considered further in response to HOB-S7.7.2 and HOB-S7.7.4 below.</p>

5. Assessment

<p>C6.7 Development Standards for Local Heritage Precincts and Local Historic Landscape Precincts</p>	
<p>C6.7.1 Demolition within a local heritage precinct</p>	
<p>Objective: That demolition within a local heritage precinct does not have an unacceptable impact on the local historic heritage significance of the precinct.</p>	
<p>A1 Within a local heritage precinct, demolition of a building, works or fabric, including trees, fences, walls and outbuildings must: (a) not be on a local heritage place; (b) not be visible from any road or public open space; and (c) not involve a value, feature or characteristic specifically part of a precinct listed in the</p>	<p>P1 Within a local heritage precinct, demolition of a building, works or fabric, including trees, fences, walls and outbuildings, must not cause an unacceptable impact on the local historic heritage significance of the local heritage precinct as identified in the relevant Local Provisions Schedule, having regard to: (a) the physical condition of the building, works, structure or trees; (b) the extent and rate of deterioration of the building, works, structure or trees; (c) the safety of the building, works, structure or trees;</p>

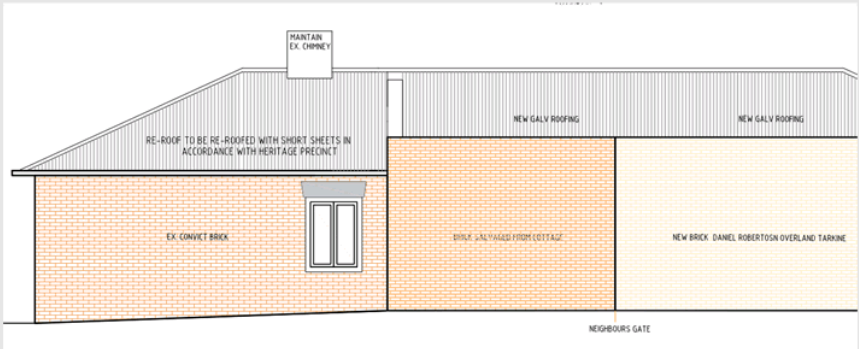
PLN-HOB-2025-0554 4-6 and 2 South Street, Battery Point Heritage Report

<p>relevant Local Provisions Schedule.</p>	<ul style="list-style-type: none"> (d) the streetscape in which the building, works, structure or trees is located; (e) the special or unique contribution that the building, works, structure or trees makes to the streetscape or townscape values of the local heritage precinct identified in the relevant Local Provisions Schedule; (f) any options to reduce or mitigate deterioration; (g) whether demolition is a reasonable option to secure the long-term future of a building, works or structure; and (h) any economic considerations.
<p>Assessment:</p>	<p>Assessment of works within a Heritage Precinct must consider to what degree the proposal will be visible from the public realm and what impact this will have. Buildings and works largely or entirely hidden from public views are generally unable to impact upon local characteristics as there are no visual changes to the Precinct.</p> <p>Demolition occurring internally and to the rear of the dwelling would not be visible from the street, however the side wall and outbuilding to 6 South Street are proposed to be partially demolished and are visible from South Street. As such, the proposal relies upon assessment against the performance criteria at clause C6.7.1 P1.</p> <ul style="list-style-type: none"> (a) The existing overall physical condition is not lessened in that works do not result in further deterioration of existing and retained elements, although the integrity of the building as a whole is lessened by the partial removal of original external southern side wall. (b) Deterioration of the building is not necessarily reduced by the demolition works, although the scope of works in their entirety allow ongoing use of the building which is often beneficial for long term maintenance. (c) It does not appear that the safety of the building in its current form is of concern. (d) The affected area is visible in the streetscape, however it is not the primary area of importance across this site with greater significance placed on the front façade. While the demolition is unfortunate in that the fabric relates to the c. 1860s cottage and its original configuration, this is not a prominent streetscape element as the area affected is rearward of the side window. (e) The site contributes to the precinct as an example of c. 1860s conjoined workers cottages which are of a scale slightly smaller than others in the streetscape. The partial demolition does not reduce this interpretation of the site. (f) The proposed demolition on its own is not likely to reduce or mitigate deterioration, and the demolition is not proposed to remove deteriorated fabric as the proposal includes reuse of demolished fabric. (g) Demolition is not considered as the only way to feasibly secure the long-term future of the building, as retention of the side wall could be incorporated into an alternative design. However, a condition is recommended to reiterate salvage and reuse of the brickwork in the new works, to assist in mitigating the impact of demolished fabric. (h) Demolition facilitates a rear addition which in turn allows a safe ongoing use of the property and a predicted raised economic value of the property, as per the applicant's supporting documentation.

PLN-HOB-2025-0554 4-6 and 2 South Street, Battery Point Heritage Report

The proposal satisfies the performance criterion, subject to conditions.	
C6.7.3 Buildings and works, excluding demolition	
Objective: That development within a local heritage precinct or a local historic landscape precinct is sympathetic to the character of that particular precinct.	
<p>A1</p> <p>Within a local heritage precinct or local historic landscape precinct, building and works, excluding demolition, must:</p> <ul style="list-style-type: none"> (a) not be on a local heritage place; (b) not be visible from any road or public open space; and (c) not involve a value, feature or characteristic specifically part of a local heritage precinct or local historic landscape precinct listed in the relevant Local Provisions Schedule. 	<p>P1.1</p> <p>Within a local heritage precinct, design and siting of buildings and works, excluding demolition, must be compatible with the local heritage precinct, except if a local heritage place of an architectural style different from that characterising the precinct, having regard to:</p> <ul style="list-style-type: none"> (a) the streetscape or townscape values identified in the local historic heritage significance of the local heritage precinct, as identified in the relevant Local Provisions Schedule; (b) the character and appearance of the surrounding area; (c) the height and bulk of other buildings in the surrounding area; (d) the setbacks of other buildings in the surrounding area; and (e) any relevant design criteria or conservation policies for the local heritage precinct, as identified in the relevant Local Provisions Schedule.
<p>Assessment:</p>	<p>The proposed reroofing will be visible from South Street. As such, the acceptable solution at clause C6.7.3 A1 is not met and the proposal relies upon assessment against the performance criteria at clause C6.7.3 P1.1.</p> <p>The proposed reroofing is like for like, with short corrugated galvanised iron indicated in the drawings, which will replace the existing short sheet corrugated galvanised iron. Given there is no change in design, this is acceptable. There are no other building or works (other than extensions as accessed against P1.2 below) to the property as visible from South Street.</p> <p>The proposal satisfies the performance criterion.</p>
	<p>P1.2</p> <p>Within a local heritage precinct, extensions to existing buildings must be compatible with the local heritage precinct, having regard to:</p> <ul style="list-style-type: none"> (a) the streetscape or townscape values identified in the local historic heritage significance of the local heritage precinct, as identified in the relevant Local Provisions Schedule; (b) the character and appearance of the surrounding area; (c) the height and bulk of other buildings in the surrounding area; (d) the setbacks of other buildings in the surrounding area; and (e) any relevant design criteria or conservation policies for the local heritage precinct, as identified in the relevant Local Provisions Schedule.

PLN-HOB-2025-0554 4-6 and 2 South Street, Battery Point Heritage Report

<p>Assessment:</p>	<p>The proposed addition to the side and rear will be visible from South Street. As such, the acceptable solution at clause C6.7.3 A1 is not met and the proposal relies upon assessment against the performance criteria at clause C6.7.3 P1.1.</p> <p>(a) Relevant values identified in the statements of significance refer to the workers cottages, Colonial and Victorian Georgian buildings of the first phase of construction in Battery Point, and consistently detailed buildings of one and two storeys. The proposed extension does not alter the front of the building and its immediate street frontage contribution to the precinct is unaltered. The extension will be visible in relation to the front façade, however, and visible in the streetscape. The impact is mitigated by the reuse of existing bricks and the use of complementary colours, which would likely allow the proposed extension to site relatively comfortably within the immediate streetscape and not significantly detract from the interpretation of the precinct values.</p> <p>(b) The character and appearance of the surrounding area is generally typified by single storey Georgian conjoined workers cottages with occasional larger Georgian dwellings. The proposed works allow the existing conjoined dwellings to retain this presentation with an intervention that is evidently contemporary towards the rear.</p> <p>(c) While the overall ridge height of the proposed extension is no greater than the existing cottage, by continuing the ridge height across the entire length of the proposed rear addition, the height of the side addition and its impact is more evident.</p> <p>This would be compounded by the wall to the southern boundary springing from above the existing eaves line, creating an awkward junction with the existing roof and increasing the visual prominence of the proposed extension in the streetscape.</p> <div style="text-align: center;">  </div> <p><i>Figure 5: Extract of the proposed southern elevation showing the difference in height of the existing cottage side wall (left) and the proposed extension boundary wall (centre and right). Source: Applicant's documentation, Shurman Design, drawing A06, 'Elevations Proposed', 20.10.2025.</i></p>
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PLN-HOB-2025-0554 4-6 and 2 South Street, Battery Point Heritage Report



Figure 6: Extract of the proposed western elevation showing the difference in height of the existing cottage side boundary wall and the proposed extension boundary wall (labelled with 'heritage red flashing'). Source: Applicant's documentation, Shurman Design, drawing A06, 'Elevations Proposed', 20.10.2025.

It is noted that the representations received expressed concerns regarding the height of this wall and that submitted plans appear to indicate that this would produce an internal ceiling height of 2.77m, higher than the current minimum National Construction Code standards. Given the above, the reduction of the height of this wall by way of condition is recommended.



Figure 7: Photograph showing the view corridor towards the proposed rear addition including the side wall extension.

PLN-HOB-2025-0554 4-6 and 2 South Street, Battery Point Heritage Report

<p>(d) The front and side setbacks are considered to be in keeping with the typical development within Battery Point.</p> <p>(e) Relevant design criteria/conservation policies for the Battery Point Heritage Precinct include:</p> <p><i>3. Alterations and additions should not dominate or detract from the original building.</i></p> <p>When viewed from South Street, the original building will remain as the prominent site element, although the side component will be visible due to the two driveways to the south. The proposed southern wall is high in its current form, in relation to the existing wall and eaves height. As previously mentioned, a condition is recommended to address this.</p> <p><i>4. New buildings, extensions or structures should be compatible with and sympathetic to the height, bulk, setback, materials and finishes, and general character of contributory and heritage listed places.</i></p> <p>As the majority of the works are located in the rear yard, the bulk will not be readily visible from South Street aside from the continuation of the roof form. Setback from the front and side boundaries is in keeping with the existing pattern of development.</p> <p>The materials selected are appropriate in that the intention is to reuse the existing demolished bricks, maintain the existing short sheet galvanised iron on the existing roof and carried across to the addition roof, and use Manor Red cladding to the narrow section of walling on the western elevation. These materials, combined with the design intent, indicate a contemporary addition whilst utilising traditional materials. The extent of glazing visible from South Street is minor despite being a floor to ceiling window to the western extent of the addition, owing to the narrow width. A condition is recommended that any changes to materials and colours requires further assessment.</p> <p><i>5. New buildings and extensions to contributory and heritage listed buildings should be compatible and visually subservient when viewed from any road or public open space.</i></p> <p>Works visible from South Street will largely be limited from the gap in the streetscape created by the driveways of the neighbouring 8 and 10 South Street and given the setback, the works would remain subservient to a degree. However, the overall height and the somewhat awkward connection with the original cottage would lessens its ability to appear wholly compatible.</p> <p><i>7. Alterations and additions should respect the uniformity of properties which form part of a consistent row, semi-pair or group of buildings.</i></p> <p>The addition to the rear does not reflect the uniformity of the semi-pair in that one side is altered and extended to the rear boundary, while the other remains. The alteration to the roof form of the existing cottage at 6 South Street and its extension over the proposed addition also alters the way the historical development is interpreted, as the original form is no longer uniform across both conjoined dwellings. There will be a somewhat limited ability to interpret this, however, due to the reduced visibility of the works from the northern side of South Street.</p> <p><i>13. A curtilage/usable open space should be maintained to provide an appropriate setting to the scale of house.</i></p> <p>The extent of open space to the front is maintained; the proposal will result in minimal open space to the rear. The extent of curtilage maintained will not be evident from South Street due to the degree of visibility.</p>
--

PLN-HOB-2025-0554 4-6 and 2 South Street, Battery Point Heritage Report

<p><i>17. All original and early stables and outbuildings should be retained.</i></p> <p>Works involve retention of the outbuilding to 4 South Street, albeit altered. The outbuilding to 6 South Street is demolished to make way for the rear addition. While the footprint reflects the original, it appears to have been altered over time.</p> <p>The proposal satisfies the performance criterion, subject to conditions.</p>

HOB-S7.7 Development Standards for Buildings and Works	
HOB-S7.7.2 Building setback	
Objective: That the siting of buildings is compatible with the streetscape, amenity, character and historic heritage significance of the area.	
A1 No Acceptable Solution.	P1 Buildings must be sited close to the street frontage, unless the prevailing setback on the same side of the street is substantial, where the setback must conform to the general building line.
Assessment:	There is no acceptable solution at clause HOB-S7.7.2 A1. As such, the proposal relies upon assessment against the performance criteria at clause HOB-S7.7.2 P1. The front setback is not altered in the works. The proposal satisfies the performance criterion.
A2 Buildings must have a rear setback not less than: (a) 6m for lots of less than 14m in width; or (b) 5m for lots more than 14m in width.	
Assessment:	Rear setback is calculated including the parent title, which in this case encompasses 2 South Street. The lot is ~10.8 m wide and the setback of the proposed works is ~8.9 m. The acceptable solution at HOB-S7.7.2 A2 (a) is therefore met.
A3 No Acceptable Solution.	P3 A dwelling must substantially occupy the width of the frontage of a lot, excluding: (a) where the prevailing setbacks from side boundaries on the same side of the street are substantial; and (b) if (a) applies, not exclude a driveway or car parking at the side of the building.
Assessment:	There is no acceptable solution at clause HOB-S7.7.2 A3. As such, the proposal relies upon assessment against the performance criteria at clause HOB-S7.7.2 P3. The width of the existing dwelling at the frontage of the lot is not altered, although the extension to the side and rear does increase the width of the building to occupy more of the lot. The proposal satisfies the performance criterion.
HOB-S7.7.3 Building height	
Objective: That building height is compatible with the streetscape, amenity, character and historic heritage significance of the area.	
A1 Building height (excluding the basement or attic floor space with dormer windows) must not be more than:	

PLN-HOB-2025-0554 4-6 and 2 South Street, Battery Point Heritage Report

(a) 2 storeys; or (b) 1 storey if most buildings on the same side of the street in the immediate vicinity are single storey.	
Assessment:	The proposed works include a one storey addition to a one storey dwelling. The acceptable solution at clause HOB-S7.7.3 A1 is met.
HOB-S7.7.4 Site coverage	
Objective: That site coverage is compatible with the streetscape, amenity, character and historic heritage significance of the area.	
A1 Site coverage must not be more than: (a) 50% where the principal building (excluding the basement) in part or whole is not more than 1 storey in height or 1 storey with attic floor space with dormer windows; or (b) 40% where the principal building (excluding the basement) in part or whole is 2 or more storeys.	P1 Buildings must have a site coverage that is compatible with the existing established properties in the area, having regard to: (a) the topography of the site; (b) the size and shape of the site; (c) the existing buildings and any constraints imposed by existing development; (d) the provision for landscaping and private open space; and (e) the pattern of development that is a characteristic of the historic heritage significance of the area in the vicinity of the site.
Assessment:	Site coverage is calculated including the parent title, which in this case includes 2 South Street. The proposed site coverage is 62.8%. The acceptable solution at clause HOB-S7.7.4 A1 is therefore not met and the proposal relies upon assessment against the performance criteria. (a) to (d) to be considered further in the Development Appraisal Planner's assessment. (e) While site coverage is often high within Battery Point, particularly to the front of the site, the extent of the proposed site coverage across 4-6 South Street only is greater than many of the properties within the area. The works will effectively infill the entire rear setting of 6 South Street, which differs from the historic pattern of development. However, when considering 2 South Street in the site coverage calculations, the coverage of 62.8% is more in keeping with the surrounding area and the historic pattern of development. The historic development in this part of Battery Point typically allowed for small residences close to the street frontage, with an area reserved at the rear for a garden setting. The coverage of 62.8% would theoretically allow for a rear garden setting. It is noted that the remaining 37.2% is largely allocated to an accessway and courtyard garden for 2 South Street, with a smaller percentage allocated to 4-6 South Street. Additionally, there are other instances of high site coverage in the vicinity, including 28 and 41 Runnymede Street, 3 and 22 South Street, 38 Kelly Street, and 18 McGregor Street. Consequently, the site coverage is considered to be in keeping with the surrounding historic character of development. The proposal satisfies the performance criterion.

PLN-HOB-2025-0554 4-6 and 2 South Street, Battery Point Heritage Report

HOB-S7.7.5 Location of parking and access for a dwelling	
Objective: That the provision of parking and vehicle access is compatible with the streetscape, amenity, character and historic heritage significance of the area.	
A1	
Land directly between a dwelling and the street must not be designed or paved or used for the manoeuvring or parking of vehicles unless to gain access.	
Assessment:	The proposal does not involve paving or design or use of the area between the dwelling and the street for parking or manoeuvring. The acceptable solution at clause HOB-S7.7.5 A1 is met.

6. Conclusion

The proposed Partial Demolition, Alterations and Extension at 4-6 and 2 South Street, Battery Point for the reasons outlined in the officer’s report is recommended for approval, subject to the conditions contained within in Attachment A – Conditions.

Nicole Manley
Cultural Heritage Officer
 27 April 2026

Reviewed
 Nick Booth
Acting Senior Cultural Heritage Officer
 27 April 2026

PLN-HOB-2025-0554 4-6 and 2 South Street, Battery Point Heritage Report

ATTACHMENT A: CONDITIONS

HER 1 - Partial demolition of the brick wall is to be undertaken with care to allow the brickwork to be salvaged for reuse on site in the new works as per the nominated materials, colours and finishes indicated in the elevations in drawing A06 'Elevations Proposed' by Shurman Design, dated 20.10.25.

HER 2 - The overall height of the proposed southern wall as shown in the drawing A06 'Elevations Proposed' drawing by Shurman Design, dated 20.10.2025 is not approved. The addition is to connect to the existing southern wall below the eaves as indicated in the render on drawing A08 'Materials' by Shurman Design, dated 20.10.2025. The proposed southern wall is to be lowered correspondingly to align with this height.

Prior to the issue of any approval under the *Building Act 2016*, revised plans and elevations detailing the above must be submitted and approved as a Condition Endorsement. All work must be undertaken in accordance with the approved plans and specifications.

HER 12 - The external colours, materials and finishes of the approved development must be substantially in accordance with the approved plans. Any substantial change in the colours, materials and finishes requires further approval.

ADVICE

Lime-based mortar is more compatible with historic bricks than cementitious mortar. It is suggested that lime-based mortar be used in the construction of the new wall with the reused bricks. The use of cementitious mortar is a common cause of long-term deterioration in historic masonry, and it is not recommended.



INTERNAL REFERRAL

Status: Review

Reference
PLANNA-HOB-2025-4847

Application Reference
PLN-HOB-2025-0554

Address
4 SOUTH ST BATTERY POINT TAS 7004

Titles
153157/4

Referred By

Referred By
VM

Reason for Referral

Demolition and new works to combine 4 and 6 South St to a single dwelling. Also amendment to strata to combine these lots into one also retaining Lot 2 to the rear.

CHO: H Precinct and Battery Point SAP

Survey: Amendment to strata

DE: Any stormwater concerns?

Please send any RFIs by 11 December.

Many thanks
VM

Council Description

Council Proposed Use or Development Description
Partial Demolition, Alterations, Extension and Subdivision

Referral Report Type

Referral Report
Referral Report - Surveying Services

Referral Recommendation

Recommendation
Acceptable Subject to Conditions

Referral Officer Name
Mark Anderson

Referral Officer Role
Manager Surveying Services

Date Completed
18/03/2026

Applicable Codes

Select Applicable Codes/Provisions
-

Overview

Overview
.

Summary

Assessment Summary

Additional Documents

No Documents.

Conditions

#	Condition	Origin
1	<p>STRATA AMENDMENT</p> <p>You will be required to amend strata plan 153157 pursuant to the provisions of the <i>Strata Titles Act 1998</i> in order to reflect the completed development works and to combine strata lots 4 and 6 into a single strata lot.</p>	<p>Surveying Services Manager</p>

Detailed Assessment

Detailed Assessment

The submitted plans advise that the application involves a cancelation of the strata plan. It appears what is proposed is an amendment to the strata plan such that lots 4 and 6 will be combined into one strata lot and Lot 2 at 2 South Street will remain as an existing strata lot.

Additional information received that confirms that it is proposed to amend the strata plan to combine lots 4 and 6 to create one strata lot and lot 2 will remain as an existing strata lot.

An amendment to the strata plan will be required once the development is completed to create the new strata lot an update the building footprint shown on the strata plan.

DEVELOPMENT ENGINEERING REPORT

PLN-HOB-2025-0554-4 SOUTH STREET BATTERY POINT- Partial Demolition, Alterations, Extension and Subdivision

RECOMMENDATION:

Approval with conditions

COMMENTS:

No discretions for development engineering.

CONDITIONS:

- ENG 1A: Protection of Council assets
- ENG SW1: Stormwater

ADVICE:

- Dial before you dig
- Fees and charges
- Building
- Plumbing
- stormwater

DETAILED ASSESSMENT:

The proposal either meets the acceptable solutions or not applicable, with regard to Development Engineering.

Development Engineering Conditions

ENG 1A

Any damage to council infrastructure resulting from the implementation of this permit, must, at the discretion of the Council:

1. Be met by the owner by way of reimbursement (cost of repair and reinstatement to be paid by the owner to the Council); or
2. Be repaired and reinstated by the owner to the satisfaction of the Council.

A photographic record of the Council's infrastructure adjacent to the subject site must be provided to the Council prior to any commencement of works.

A photographic record of the Council's infrastructure (e.g. existing property service connection points, roads, buildings, stormwater, footpaths, driveway crossovers and nature strips, including if any, pre-existing damage) will be relied upon to establish the extent of damage caused to the Council's infrastructure during construction. In the event that the owner/developer fails to provide to the Council a photographic record of the Council's infrastructure, then any damage to the Council's infrastructure found on completion of works will be deemed to be the responsibility of the owner.

Reason for condition

To ensure that any of the Council's infrastructure and/or site-related service connections affected by the proposal will be altered and/or reinstated at the owner's full cost.

ENG SW1 - Stormwater - Design

All stormwater from the proposed development (including but not limited to: roofed areas, ag drains, and impervious surfaces such as driveways and paved areas) must be drained to a lawful point of discharge to the public stormwater system prior to occupancy or commencement of use (whichever occurs first).

Advice:

Under section 23 of the Urban Drainage Act 2013 it is an offence for a property owner to direct stormwater onto a neighbouring property.

Reason for condition

To ensure that stormwater from the site will be discharged to a suitable Council-approved outlet.

ADVICE:

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

Fees and Charges:

Click [here](#) for information on the Council's fees and charges.

Dial Before You Dig:

Click [here](#) for dial before you dig information.

BUILDING PERMIT

You may need building approval in accordance with the *Building Act 2016*, further details are available on the [Council's website](#), which may assist you in understanding the relevant requirements.

A checklist has also been developed by Consumer, Building and Occupational Services (CBOS) to help property owners understand their responsibilities before, during, and after building work. It outlines the key steps in the building work approval process for notifiable (medium risk) and permit (high risk) work under the *Building Act 2016*. This resource is designed to support owners in meeting their obligations and ensuring a smooth approvals process. You can access the checklist [here](#).

>>This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.<<

>>This is a Permitted Planning Permit issued in accordance with section 58 of the *Land Use Planning and Approvals Act 1993*.<<

PLUMBING PERMIT

You may need plumbing approval in accordance with the *Building Act 2016*, *Building Regulations 2016* and the National Construction Code. Further details are available on the [Council's website](#), which may assist you in understanding the relevant requirements.

A checklist has also been developed by Consumer, Building and Occupational Services (CBOS) to help property owners understand their responsibilities before, during, and after building work. It outlines the key steps in the building work approval process for notifiable (medium risk) and permit (high risk) work under the *Building Act 2016*. This resource is designed to support owners in meeting their obligations and ensuring a smooth approvals process. You can access the checklist [here](#).

STORMWATER

Please note that in addition to a building and/or plumbing permit, development must be in accordance with the Hobart City Council's Infrastructure By law. Click [here](#) for more information.

8. REPORTS

8.1 Delegated Decision Report (Planning) File Ref: F26/24187

Report of the Director Strategic and Regulatory Services of 30 April 2026
and attachment.

Delegation: Committee



City of **HOBART**

MEMORANDUM: PLANNING AUTHORITY COMMITTEE

Delegated Decision Report (Planning)

Attached is the delegated planning decisions report for the period 13 April 2026 to 24 April 2026.

RECOMMENDATION

That the information contained in the 'Delegated Decision Report (Planning)' be received and noted.

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

Karen Abey
**DIRECTOR STRATEGIC AND
REGULATORY SERVICES**

Date: 30 April 2026
File Reference: F26/24187

Attachment A: Delegated Decision Report (Planning) ↓

No	Reference Number	Council Description	Property Address	Estimated Cost	Decision	Date Approved
1	PLN-HOB-2025-0198	Multiple Dwelling (Two New and One Existing) and Garage	38 FORSTER ST NEW TOWN TAS 7008	\$100,000.00	Approved	20/04/2026
2	PLN-HOB-2025-0489	Partial Demolition and Alterations	9 WANDEET PL SANDY BAY TAS 7005	\$600,000.00	Approved	13/04/2026
3	PLN-HOB-2025-0574	Partial Demolition, Alterations, Extension, and Landscaping	362 ARGYLE ST NORTH HOBART TAS 7000	\$30,000.00	Approved	22/04/2026
4	PLN-HOB-2025-0588	Front Fencing	69 BAY RD NEW TOWN TAS 7008	\$3,500.00	Approved	23/04/2026
5	PLN-HOB-2025-0666	Partial Demolition, Alterations and Extension	14 BATH ST BATTERY POINT TAS 7004	\$500,000.00	Approved	17/04/2026
6	PLN-HOB-2026-0007	Partial Demolition, Driveway and Outbuilding	54 CLARE ST NEW TOWN TAS 7008	\$28,500.00	Approved	23/04/2026
7	PLN-HOB-2026-0026	Dwelling and Associated Works	13 HEARTWOOD RD LENAH VALLEY TAS 7008	\$350,000.00	Approved	17/04/2026
8	PLN-HOB-2026-0031	Partial Change of Use to Residential and Visitor Accommodation	FLAT 1 68 AUGUSTA RD LENAH VALLEY TAS 7008	\$0.00	Approved	15/04/2026

No	Reference Number	Council Description	Property Address	Estimated Cost	Decision	Date Approved
9	PLN-HOB-2026-0057	Change of Use to Visitor Accommodation	97-99 MURRAY ST HOBART TAS 7000	\$0.00	Approved	17/04/2026
10	PLN-HOB-2026-0088	Alterations	92 SUMMERLEAS RD FERN TREE TAS 7054	\$10,000.00	Approved	16/04/2026
11	PLN-HOB-2026-0091	Partial Demolition and Alterations	5 ASHFIELD ST SANDY BAY TAS 7005	\$100,000.00	Approved	20/04/2026
12	PLN-HOB-2026-0099	Subdivision (One New Lot)	424 HUON RD SOUTH HOBART TAS 7004	\$0.00	Approved	22/04/2026
13	PLN-HOB-2026-0118	Alterations (Roof Replacement)	14 BYRON ST SANDY BAY TAS 7005	\$19,500.00	Approved	14/04/2026
14	PLN-HOB-2026-0156	Alterations (Deck) to a Previously Approved Development (PLN-19-337)	13 CHAUCER RD LENAH VALLEY TAS 7008	\$15,000.00	Approved	17/04/2026
15	PLN-HOB-2026-0157	Partial Demolition and Alterations (Deck)	UNIT 2 16 CHESSINGTON CT SANDY BAY TAS 7005	\$50,000.00	Approved	14/04/2026

8.2 Planning - Advertised Applications Report
File Ref: F26/24333

Report of the Director Strategic and Regulatory Services of 30 April 2026
and attachment.

Delegation: Committee



City of **HOBART**

MEMORANDUM: PLANNING AUTHORITY COMMITTEE

Planning - Advertised Applications Report

Attached is the advertised applications list for the period 13 April 2026 to 24 April 2026.


RECOMMENDATION

That the information contained in the 'Planning – Advertised Applications Report' be received and noted.

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

Karen Abey
**DIRECTOR STRATEGIC AND
REGULATORY SERVICES**

Date: 30 April 2026
File Reference: F26/24333

Attachment A: Planning - Advertised Applications Report ↓ 

No	Reference Number	Council Description	Property Address	Estimated Cost	Expiry Date	Proposed Delegation	Advertising Period Start	Advertising Period End
1	BSA-HOB-2026-0010	Change of use to Visitor Accommodation	354 MACQUARIE ST SOUTH HOBART TAS 7004	\$0.00	8/04/2026	Director	14/04/2026	28/04/2026
2	PLN-HOB-2024-0590	Front Fencing	44 KELLY ST BATTERY POINT TAS 7004	\$5,000.00	24/05/2026	Director	21/04/2026	5/05/2026
3	PLN-HOB-2025-0137	Subdivision (One Additional Lot)	53-57 COLLINS ST HOBART TAS 7000	\$0.00	10/05/2026	Director	17/04/2026	1/05/2026
4	PLN-HOB-2025-0239	Signage	27 ELIZABETH ST HOBART TAS 7000	\$1,500.00	7/05/2026	Committee	20/04/2026	4/05/2026
5	PLN-HOB-2025-0619	Partial Demolition, Alterations and Extension	79 MOUNT STUART RD MOUNT STUART TAS 7000	\$500,000.00	29/05/2026	Director	20/04/2026	4/05/2026
6	PLN-HOB-2025-0650	Partial Demolition, Alterations, Extension and Front Fencing (Gate)	20 WIGNALL ST NORTH HOBART TAS 7000	\$580,000.00	16/05/2026	Director	14/04/2026	28/04/2026
7	PLN-HOB-2026-0024	Partial Change of Use to General Retail and Hire (Sauna) and Signage	646A SANDY BAY RD SANDY BAY TAS 7005	\$0.00	20/05/2026	Committee (Council Land)	17/04/2026	1/05/2026

No	Reference Number	Council Description	Property Address	Estimated Cost	Expiry Date	Proposed Delegation	Advertising Period Start	Advertising Period End
8	PLN-HOB-2026-0070	Partial Demolition, Alterations and Extension	86 SWANSTON ST NEW TOWN TAS 7008	\$50,000.00	16/05/2026	Director	24/04/2026	8/05/2026
9	PLN-HOB-2026-0071	Partial Demolition, Alterations and Extension	35 QUAYLE ST SANDY BAY TAS 7005	\$120,000.00	13/05/2026	Director	17/04/2026	1/05/2026
10	PLN-HOB-2026-0081	Dwelling	16 LAPOINYA RD FERN TREE TAS 7054	\$850,000.00	4/05/2026	Director	13/04/2026	27/04/2026
11	PLN-HOB-2026-0102	Dwelling	423A NELSON RD MOUNT NELSON TAS 7007	\$750,000.00	4/05/2026	Director	17/04/2026	1/05/2026
12	PLN-HOB-2026-0103	Alterations (Patio), New Outbuilding (Shed), Retaining Walls and Alterations to Parking and Access	610A NELSON RD MOUNT NELSON TAS 7007	\$100,000.00	20/05/2026	Director	15/04/2026	29/04/2026
13	PLN-HOB-2026-0134	Partial Change of Use to Business and Professional Services (Consulting Rooms) and Sports and Recreation (Yoga Studio)	SUITE 2 73 BATHURST ST HOBART TAS 7000	\$500,000.00	7/05/2026	Director	23/04/2026	7/05/2026

No	Reference Number	Council Description	Property Address	Estimated Cost	Expiry Date	Proposed Delegation	Advertising Period Start	Advertising Period End
14	PLN-HOB-2026-0146	Front Fencing	37 MORTIMER AV MOUNT STUART TAS 7000	\$19,117.00	14/05/2026	Director	22/04/2026	6/05/2026
15	PLN-HOB-2026-0149	Signage	299 ELIZABETH ST NORTH HOBART TAS 7000	\$160,000.00	7/05/2026	Director	17/04/2026	1/05/2026
16	PLN-HOB-2026-0154	Partial Demolition, Alterations and Signage	55-59 MURRAY ST HOBART TAS 7000	\$250,600.00	31/03/2026	Director	14/04/2026	28/04/2026
17	PLN-HOB-2026-0158	Partial Demolition, Alterations, Extension and Swimming Pool	21 PAULDON DR SANDY BAY TAS 7005	\$299,998.00	11/05/2026	Director	21/04/2026	5/05/2026
18	PLN-HOB-2026-0161	Partial Demolition and Alterations	5 ABERDEEN ST GLEBE TAS 7000	\$20,000.00	10/04/2026	Committee	21/04/2026	5/05/2026
19	PLN-HOB-2026-0168	Partial Demolition and Alterations	14 GARTH AV SANDY BAY TAS 7005	\$50,000.00	22/05/2026	Director	16/04/2026	30/04/2026

9. RESPONSES TO QUESTIONS WITHOUT NOTICE

Regulation 34 *Local Government (Meeting Procedures) Regulations 2025*.
File Ref: 13-1-10

The Chief Executive Officer reports:-

“In accordance with the procedures approved in respect to Questions Without Notice, the following responses to questions taken on notice are provided to the Committee for information.

The Committee is reminded that in accordance with Regulation 34(3) of the *Local Government (Meeting Procedures) Regulations 2025*, the Chairperson is not to allow discussion or debate on either the question or the response.”

RECOMMENDATION

That the following responses to questions without notice be received and noted.

9.1 Estimated Council Costs for TasCAT Proceedings Relating to Visitor Accommodation Use

Memorandum of the Director Strategic and Regulatory Services of
30 April 2026



City of **HOBART**

**MEMORANDUM: LORD MAYOR
DEPUTY LORD MAYOR
ELECTED MEMBERS**

ESTIMATED COUNCIL COSTS FOR TASCAT PROCEEDINGS RELATING TO VISITOR ACCOMMODATION USE

Meeting: Planning Authority Committee

Meeting date: 8 April 2026

Raised by: Councillor Kelly

Question:

Can we be provided with an accurate cost of what it would cost Council to go to the Tasmanian Civil and Administrative Tribunal (TasCAT) in relation to change of use applications for residential visitor accommodation?

It would be beneficial to have that context to help inform decisions about whether this is something that Council proceeds with or not, and whether there is any other information that should also be considered.

It may be that, over the last two years, we haven't been able to get a planning officer available to do this, but it would help to contextualise decision making about whether to proceed.

Response:

The framework for assessing proposals for visitor accommodation is set by the State Government. This has been through Planning Directive 6 and subsequently through the State Planning Provisions of the Tasmanian Planning Scheme.

Elected Members have repeatedly expressed frustration at how loose those controls are and it is very difficult when sitting as part of the statutory role of planning authority to do anything other than approve those applications.

In the past, the Planning Committee made numerous decisions to refuse applications for visitor accommodation use (against officer recommendation to approve) and those decisions were appealed to TASCAT. Where the Committee decision is against officer recommendation, it is necessary to obtain an external consultant to support the Committee's decision. Each time we tried to do this, we were unable to obtain a planning consultant to support a refusal.

In 2023, an application was made to convert the 3rd of 4 strata units to visitor accommodation in Sandy Bay. Council officers recommended refusal based on the impacts to residential amenity. The Planning Committee refused the application. It was appealed and TASCAT made a decision that the application should be approved. The Council officer gave evidence in support of the refusal (in line with his initial recommendation). The Council appealed this decision to the Supreme Court of Tasmania. The decision was to approve the application was confirmed by the Supreme Court: *Hobart City Council v Rich Tapestry Pty Ltd* (ACN 667 999 055) [\[2024\] TASSC 54](#) (23 October 2024).

As a model litigant, the Council is obliged to take this into account in any future legal proceedings. It has also influenced our approach to assessment of applications, so that it is very unlikely that we will recommend refusal again. Each application must be assessed on its own merits but the threshold for what is considered appropriate in the performance criteria is so low that it presents almost no basis to refuse.

Costs are not usually awarded by TASCAT. The challenge for the Council in that context is getting an expert planner to support refusals given the nature of controls.

Costs are awarded in the Supreme Court. In the decision referred to above, the Planning Committee were given advice about the costs and risks, and decided to pursue the appeal. It is unlikely we would recommend doing so again.

Officers are preparing a report on proposed scheme amendments to introduce greater controls for visitor accommodation applications. It is expected to be considered on 10 June 2026.

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.



Karen Abey
**DIRECTOR STRATEGIC AND
REGULATORY SERVICES**

Date: 30 April 2026
File Reference: F26/22808

10. QUESTIONS WITHOUT NOTICE

Regulations 33 and 34 of the *Local Government (Meeting Procedures) Regulations 2025*.
File Ref: 13-1-10

33(2) A question asked at a meeting is to, as far as practicable –

- (a) be concise; and
- (b) be clear; and
- (c) not be a statement; and
- (d) have minimal pre-amble

34. Questions without notice by a councillor

1. A councillor at a meeting may ask a question without notice –
 - (a) of the chairperson; or
 - (b) through the chairperson, of –
 - (i) another councillor; or
 - (ii) the chief executive officer.
2. In asking a question without notice at a meeting, a councillor must not –
 - (a) offer an argument or opinion; or
 - (b) draw any inferences or make any imputations – except so far as maybe necessary to explain the question.
3. The chairperson of a meeting must not permit any debate of a question without notice or its answer.
4. The chairperson, councillor or chief executive officer who is asked a question without notice at a meeting may decline to answer the question.
5. The chairperson of a meeting may require a councillor to put a question without notice in writing.

11. CLOSED PORTION OF THE MEETING

That the Committee resolve by majority that the meeting be closed to the public pursuant to regulation 17(1) of the *Local Government (Meeting Procedures) Regulations 2025* because the items included on the closed agenda contain the following matters:

- Minutes of the Closed Portion of the Committee Meeting
- Closed Questions Without Notice

The following items were discussed: -

- | | |
|------------|--|
| Item No. 1 | Minutes of the last meeting of the Closed Portion of the Committee Meeting |
| Item No. 2 | Consideration of supplementary items to the agenda |
| Item No. 3 | Indications of conflicts of interest |
| Item No. 4 | Questions Without Notice |