



CITY OF HOBART

SUPPORTING INFORMATION

PLANNING AUTHORITY COMMITTEE MEETING

OPEN PORTION OF THE MEETING

WEDNESDAY, 10 SEPTEMBER 2025

AT 4.00 PM

VENUE: COUNCIL CHAMBER, TOWN HALL

TABLE OF CONTENTS

7.1.1	31-35 Campbell Street, Hobart - Partial Demolition, New Building and Extension, Change of Use to Office (Consulting Rooms) and Visitor Accommodation, and Adhesion	
Attachment B	PLN-HOB-2025-0297 - PAC Agenda Documents	2

PlanBuild
TASMANIA

PLANNING APPLICATION

Status

Reference

PLN-HOB-2025-0297

Address

31-35 CAMPBELL ST HOBART TAS 7000

Titles

42971/1, 42972/1

Before you start

Before you start your application, you will need to know if you require planning approval or not.

If you are unsure if you require a permit, use the [PlanBuild Tasmania Enquiry Service](#) to lodge a request for advice from the relevant Council.

Once your application has been submitted the Council will review your application. If payment has not been made, you will be sent a request for the payment of application fees via PlanBuild Tasmania.

Once the fees have been paid and the Council is satisfied with the information provided, the application will be assessed and you will be notified of the outcome.

If further action is required to assess your application you will receive an email notification containing a task to complete.

Pre-Application Advice

Have you spoken with anyone at Council about this application?

☒ Yes - enter details below☐ No - continue to the next section

If yes, provide the name of the person you contacted

Applicant

Personal Information Removed

Owners

Personal Information Removed

Certificate(s) of Title

Selected Titles

42971/1

42972/1

Total Area: 0m²

Owner Notification

Are you the sole owner of the land?

☐ Yes - continue to the next section☒ No - answer question below

If no, have you notified all owners, joint or part owners of your intention to submit this application?

☒ Yes - enter owner details below☐ No - you must notify all owners before proceeding with this application

List all owners, joint or part owners as recorded on the Title documents notified:

The application is made by All Urban Planning on behalf of the S.H.E Gynaecological Cancer Group with the consent of the University of Tasmania as owner

Enter the date that the last owner, joint or part owner was notified

11/06/2025

Declaration

☒ I declare that all land owners, joint or part owners have been notified of this planning application.

Crown Land Consent

Is Crown Land involved in the proposed use or development?

- ☐ Yes - complete question below
- ☒ No - continue to the next section - see further information below
- ☐ Unsure

If yes, has written Crown Land consent been obtained?

- ☐ Yes - upload written consent
- ☐ No - application will not be progressed until consent has been provided

General Manager Consent

Is Council-owned or administered land involved in the proposed use or development?

- ☒ Yes - complete question below
- ☐ No - continue to the next section
- ☐ Unsure

If yes, has written consent been obtained from the Council General Manager?

- ☒ Yes - upload written consent
- ☐ No - application will not be progressed until consent has been provided

Proposed Use or Development

What is the reason for your planning application?

- ☒ I want to change how the property is used
- ☒ I want to use the property for visitor accommodation
- ☐ I want to subdivide
- ☒ I want to undertake a new development or alteration
- ☐ I want to do a minor boundary adjustment
- ☐ I want to put up a sign(s)
- ☒ I want to demolish
- ☐ I want to do works only
- ☐ Other

If your application is to subdivide, please enter the number of proposed lots.

0

If your application is for signage, please enter the number of signs.

Is the property a Tasmanian Heritage Listed Property?

- ☐ Yes
- ☒ No

Is the application for an EPA Activity under the Environmental Management and Pollution Control Act 1994?

- ☐ Yes
- ☒ No
- ☐ Unsure

Is the proposed use or development permitted or discretionary?

- ☐ Permitted
- ☒ Discretionary
- ☐ Unsure if permitted or discretionary

SHE CANCER WELLNESS CENTRE

31-35 CAMPBELL ST

NO.	DRAWING NAME	REV	DATE
DA00	COVER PAGE	01	19/6/2025, 1:20 pm
DA01	PROPOSED SITE PLAN	01	19/6/2025, 1:20 pm
DA02	DECONSTRUCTION - GF	01	19/6/2025, 1:20 pm
DA03	DECONSTRUCTION - L1	01	19/6/2025, 1:20 pm
DA04	DECONSTRUCTION - ELEVATIONS	01	19/6/2025, 1:20 pm
DA05	PROPOSED - GF	01	19/6/2025, 1:20 pm
DA06	PROPOSED - L1	01	19/6/2025, 1:20 pm
DA07	PROPOSED - L2	01	19/6/2025, 1:20 pm
DA08	PROPOSED - L3	01	19/6/2025, 1:20 pm
DA09	PROPOSED - L4/ROOF	01	19/6/2025, 1:20 pm
DA10	PROPOSED - STREETSCAPE	01	19/6/2025, 1:20 pm
DA11	PROPOSED - SOUTH-WEST ELEVATION	01	19/6/2025, 1:20 pm
DA12	PROPOSED - NORTH ELEVATION	01	19/6/2025, 1:20 pm
DA13	PROPOSED - SOUTH-EAST ELEVATION	01	19/6/2025, 1:20 pm
DA14	SUN STUDIES	01	19/6/2025, 1:20 pm
DA15	SUN STUDIES	01	19/6/2025, 1:20 pm
DA16	SUN STUDIES	01	19/6/2025, 1:20 pm
DA17	SUN STUDIES	01	19/6/2025, 1:20 pm

CUMULUS RESPECTFULLY ACKNOWLEDGES THE FIRST PEOPLES OF AUSTRALIA, THEIR ELDERS PAST, PRESENT AND EMERGING, WHO WERE AND ARE THE KEEPERS OF THEIR CULTURAL AND SPIRITUAL KNOWLEDGE AND TRADITIONS, AND THE TRADITIONAL CUSTODIANS OF THE LAND ON WHICH WE LIVE AND WORK.

ARCHITECT/BSIP

ARCHITECT / ACCREDITED DESIGNER
PETER WALKER

ACCREDITATION N°
CC2143E

ARCHITECT ADDRESS
SUITE 2, LEVEL 2, 147 MACQUARIE STREET HOBART, TAS 7000
+61(0) 6231 4841

CLIENT/OWNER/PRINCIPAL

CLIENT NAME
SHE GYNAECOLOGICAL CANCER GROUP

CLIENT ADDRESS
40 MOLLE ST HOBART TASMANIA 7000

PROJECT INFORMATION

PROJECT N°
J24031

PROJECT NAME
SHE CANCER WELLNESS CENTRE

PROJECT ADDRESS
31-35 CAMPBELL ST
HOBART
TAS 7000

DETAILS

NCC CLASSIFICATION 3, 5, 9B
CONSTRUCTION TYPE TYPE A
TITLE REFERENCE 42971/1, 42972/1
DESIGN WIND SPEED REFER ENG
SOIL CLASS REFER ENG
CLIMATE ZONE 7
BAL RATING LOW
ALPINE AREA NO
CORROSION LEVEL C2
OTHER HAZARDS



LOCATION PLAN
1:500

FLOOR AREA SCHEDULE	
GROUND FLOOR:	384M2
LEVEL 1:	326M2
LEVEL 2:	361M2
LEVEL 3:	340M2
TOTAL:	1,411M2

MU
CU LUS^{EST 2011}

REV	DATE	PURPOSE	PROJECT STAGE	DRAWING TITLE
01		DEVELOPMENT APPLICATION	DEVELOPMENT APPLICATION	COVER PAGE
		SCALE 1:500 ORIGINAL SIZE A2		PROJECT N° J24031 DATE 19/6/2025
		ARCHITECT PETER WALKER, CC2143E		DRAWING N° REVISION
		DRAWN BY OP, RB, TB, KF, KS CHECKED BY AG		DA00-01



DA01-01

NOTE:
THIS DRAWING WOULD TYPICALLY BE REFERRED TO AS A DEMOLITION DRAWING, HOWEVER THE INTENT IS FOR THE BROADER ADOPTION OF SALVAGE AND REUSE OF RESOURCES IN LIEU OF SENDING TO LANDFILL.
REFER TO JMG CIVIL REPORT FOR DISCONNECTION OF EXISTING SITE SERVICES.



NOTE:
THIS DRAWING WOULD TYPICALLY BE REFERRED
TO AS A DEMOLITION DRAWING, HOWEVER THE
INTENT IS FOR THE BROADER ADOPTION OF
SALVAGE AND REUSE OF RESOURCES IN LIEU OF
SENDING TO LANDFILL.

REFER TO JMG CIVIL REPORT FOR
DISCONNECTION OF EXISTING SITE SERVICES.



LEVEL 1 - DECONSTRUCTION PLAN
1:100

CURMUS

MUL

US

REV	DATE	PURPOSE
01		DEVELOPMENT APPLICATION

NOT FOR CONSTRUCTION

CURMUS STUDIO PTY LTD
INFO@CURMUSSTUDIO.COM
THE COPYRIGHT OF THESE DESIGNS, PLANS AND SPECIFICATIONS BELONGS TO CURMUS STUDIO PTY LTD AND MUST NOT BE USED, REPRODUCED OR COPIED WITHOUT THEIR WRITTEN PERMISSION.

HOBART
SUITE 2, LEVEL 2, 141 MACQUARIE ST.
HOBART TAS 7000
+613 6231 4841

LAUNCESTON
GROUND FLOOR - SUITE 2, 30 GORRIG ST.
LAUNCESTON TAS 7250
+613 6333 0930

MELBOURNE
LEVEL 2, 78-79 HARDWARE LN.
MELBOURNE VIC 3002
+613 6231 4841

ADELAIDE
SUITE 5/40, WAYMOUTH STREET
ADELAIDE SA 5000
+613 6231 4841

SYDNEY
LEVEL 4, 18 FOSTER STREET
SYDNEY NSW 2050
+613 6231 4841

THESE DRAWINGS SHOW DESIGN INTENT & NOT DETAIL. AS A GUIDE ONLY. DO NOT SCALE OFF THE DRAWINGS. ALL DIMENSIONS IN MILLIMETRES. DIMENSIONS OF EXISTING BUILDINGS ARE INDICATED ONLY. THESE SHOULD NOT BE RELIED ON AND ARE TO BE VERIFIED ON SITE BEFORE COMMENCING WORK. ALL DOCUMENTS SHALL BE READ IN CONSULTATION WITH SPECIFICATIONS AND ANY CONSULTANT'S DETAIL. ALL WORK SHALL BE IN ACCORDANCE WITH TOP CONSTRUCTION CODE, RELEVANT AUSTRALIAN STANDARDS & LOCAL AUTHORITY BY LAWS AND REGULATIONS. ANY DISCREPANCIES, ERRORS OR OMISSIONS SHALL BE REFERRED TO THE ARCHITECTS. DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL ISSUED "FOR CONSTRUCTION".

PROJECT NAME
**SHE CANCER
WELLNESS CENTRE**

PROJECT ADDRESS
31-35 CAMPBELL ST
HOBART
TAS 7000

PROJECT STAGE
DEVELOPMENT APPLICATION

DRAWING TITLE
DECONSTRUCTION - L1

ARCHITECT
PETER WALKER, CC2143E

DRAWN BY
OP, RB, TB, KF, KS

CHECKED BY
AG

SCALE
1:100

ORIGINAL SIZE
A2

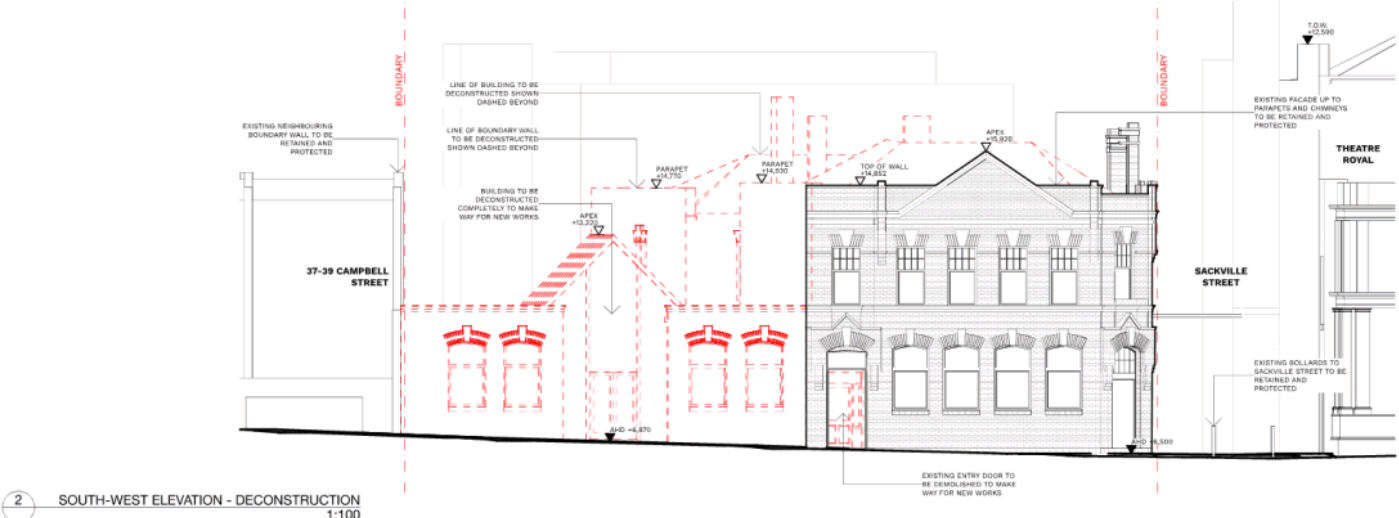
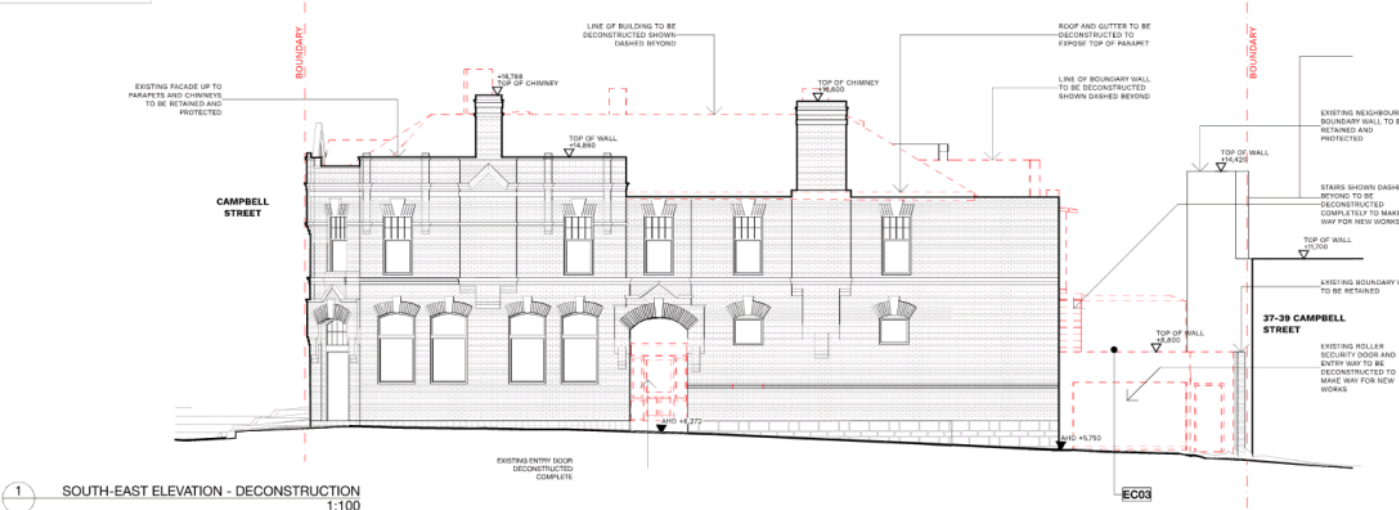
PROJECT N°
J24031

DATE
19/6/2025

DRAWING N°
DA03-01

REVISION

NOTE:
THIS DRAWING WOULD TYPICALLY BE REFERRED
TO AS A DEMOLITION DRAWING, HOWEVER THE
INTENT IS FOR THE BROADER ADOPTION OF
SALVAGE AND REUSE OF RESOURCES IN LIEU OF
SENDING TO LANDFILL.
REFER TO JMG CIVIL REPORT FOR
DISCONNECTION OF EXISTING SITE SERVICES.



CUL
MUL
US

REV DATE PURPOSE
OR DEVELOPMENT APPLICATION

NOT FOR CONSTRUCTION

CULUS STUDIO PTY LTD
INFO@CULUS.STUDIO

THE COPYRIGHT OF THESE DESIGNS, PLANS
AND SPECIFICATIONS BELONGS TO CULUS
STUDIO PTY LTD AND MUST NOT BE USED,
REPRODUCED OR COPIED WITHOUT THEIR
WRITTEN PERMISSION.

HOBART
SUITE 2, LEVEL 2, 141 MACQUARIE ST.
HOBART TAS 7000
+613 6231 4841

LAUNCESTON
GROUND FLOOR SUITE 2, 39 CORNWALL ST.
LAUNCESTON TAS 7250
+613 6333 0930

MELBOURNE
LEVEL 2, 78-79 HARDWARE LN
MELBOURNE VIC 3003
+613 6231 4841

ADELAIDE
SUITE 5/10, WYNDHAM STREET
ADELAIDE SA 5000
+613 6231 4841

SYDNEY
LEVEL 4, 18 FOSTER STREET
SYDNEY NSW 2050
+613 6231 4841

THESE DRAWINGS SHOW DESIGN INTENT
AND DETAILS AS A GUIDE ONLY. DO NOT
SCALE OFF THE DRAWINGS. ALL DIMENSIONS
IN MILLIMETRES. DIMENSIONS OF EXISTING
BUILDINGS ARE INDICATIVE ONLY. THEY
SHOULD NOT BE RELIED ON AND ARE TO BE
VERIFIED ON SITE BEFORE COMMENCING
WORK. ALL DOCUMENTS SHALL BE READ IN
CONJUNCTION WITH SPECIFICATIONS AND ANY
CONSULTANT'S DETAIL. ALL WORK SHALL BE
IN ACCORDANCE WITH THE NATIONAL
CONSTRUCTION CODE, RELEVANT AUSTRALIAN
STANDARDS AND LOCAL AUTHORITY BY LAWS
AND REGULATIONS. ANY DISCREPANCIES,
ERRORS OR OMISSIONS SHALL BE REFERRED
TO THE ARCHITECTS. DRAWINGS ARE NOT TO
BE USED FOR CONSTRUCTION UNTIL ISSUED
"FOR CONSTRUCTION".

PROJECT NAME
**SHE CANCER
WELLNESS CENTRE**

PROJECT ADDRESS
**31-35 CAMPBELL ST
HOBART
TAS 7000**

PROJECT STAGE
DEVELOPMENT APPLICATION

DRAWING TITLE
**DECONSTRUCTION -
ELEVATIONS**

ARCHITECT
PETER WALKER, CC2143E

DRAWN BY
OP, RB, TB, KF, KS

CHECKED BY
AG

SCALE
1:100

ORIGINAL SIZE
A2

PROJECT N°
J24031

DATE
19/6/2025

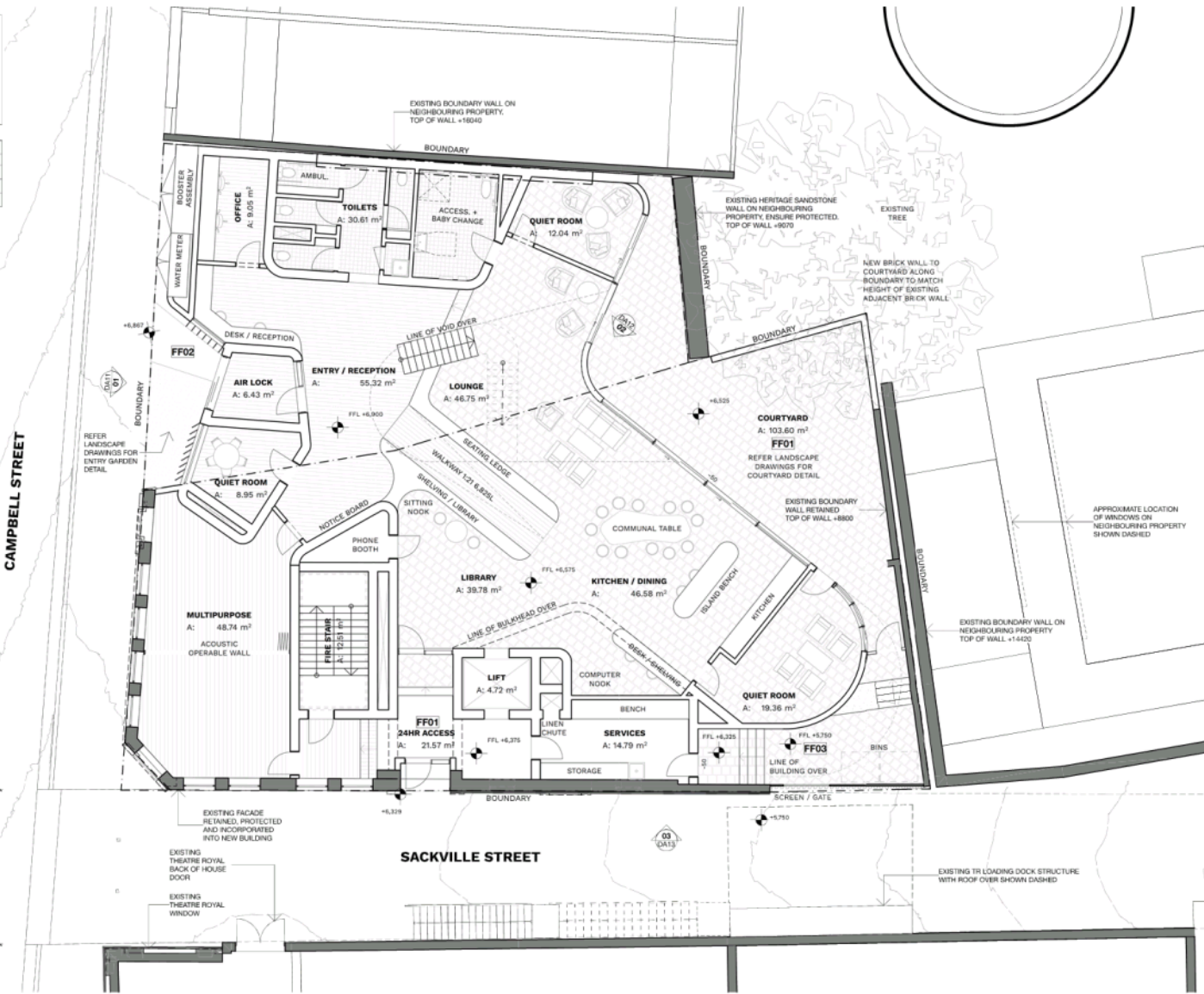
DRAWING N°

REVISION

DA04-01

NOTE:
REFER TO DA01 SITE PLAN FOR OFFSET DIMENSIONS.
REFER TO JMG CIVIL DRAWINGS FOR SERVICES CONNECTION POINTS.
REFER TO REALM LANDSCAPE DRAWINGS FOR ENTRY AND COURTYARD DETAILS.

EXTERNAL FINISHES LEGEND	
CODE	ITEM DESCRIPTION
FF01	STONE TILING/PAVING
FF02	PAVING
FF03	STONE TILING/PAVING



CU^{EST}₂₀₁₁

MUL

US

REV OR DATE PURPOSE DEVELOPMENT APPLICATION

NOT FOR CONSTRUCTION

CURULUS STUDIO PTY LTD
INFO@CURULUS.STUDIO

THE COPYRIGHT OF THESE DESIGNS, PLANS AND SPECIFICATIONS BELONGS TO CURULUS STUDIO PTY LTD AND MUST NOT BE USED, REPRODUCED OR COPIED WITHOUT THEIR WRITTEN PERMISSION.

HOBART
SUITE 2, LEVEL 2, 41 MACQUARIE ST.
HOBART TAS 7000
+613 6231 4841

LAUNCESTON
GROUND FLOOR - SUITE 2, 30 GEORGE ST.
LAUNCESTON TAS 7250
+613 6333 0930

MELBOURNE
LEVEL 2, 75-76 HARDWARE LN.
MELBOURNE VIC 3002
+613 6231 4841

ADELAIDE
SUITE 540, WATKINS STREET
ADELAIDE SA 5002
+613 6231 4841

SYDNEY
LEVEL 4, 18 FOSTER STREET
SYDNEY NSW 1580
+613 6231 4841

THESE DRAWINGS SHOW DESIGN INTENT & NOT DETAIL. AS A GUIDE ONLY. DO NOT SCALE OFF. THE DRAWINGS, ALL DIMENSIONS IN MILLIMETRES, DIMENSIONS OF EXISTING BUILDINGS ARE INDICATED ONLY. THEY SHOULD NOT BE RELIED ON AND ARE TO BE VERIFIED ON SITE BEFORE COMMENCING WORK. ALL DOCUMENTS SHALL BE READ IN CONSULTATION WITH SPECIFICATIONS AND ANY CONSULTANT'S DETAIL. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE, RELEVANT AUSTRALIAN STANDARDS & LOCAL AUTHORITY BY LAWS AND REGULATIONS. ANY DISCREPANCIES, ERRORS OR OMISSIONS SHALL BE REFERRED TO THE ARCHITECTS. DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL ISSUED "FOR CONSTRUCTION".

PROJECT NAME
**SHE CANCER
WELLNESS CENTRE**

PROJECT ADDRESS
31-35 CAMPBELL ST
HOBART
TAS 7000

PROJECT STAGE
DEVELOPMENT APPLICATION

DRAWING TITLE
PROPOSED - GF

ARCHITECT
PETER WALKER, CC2143E

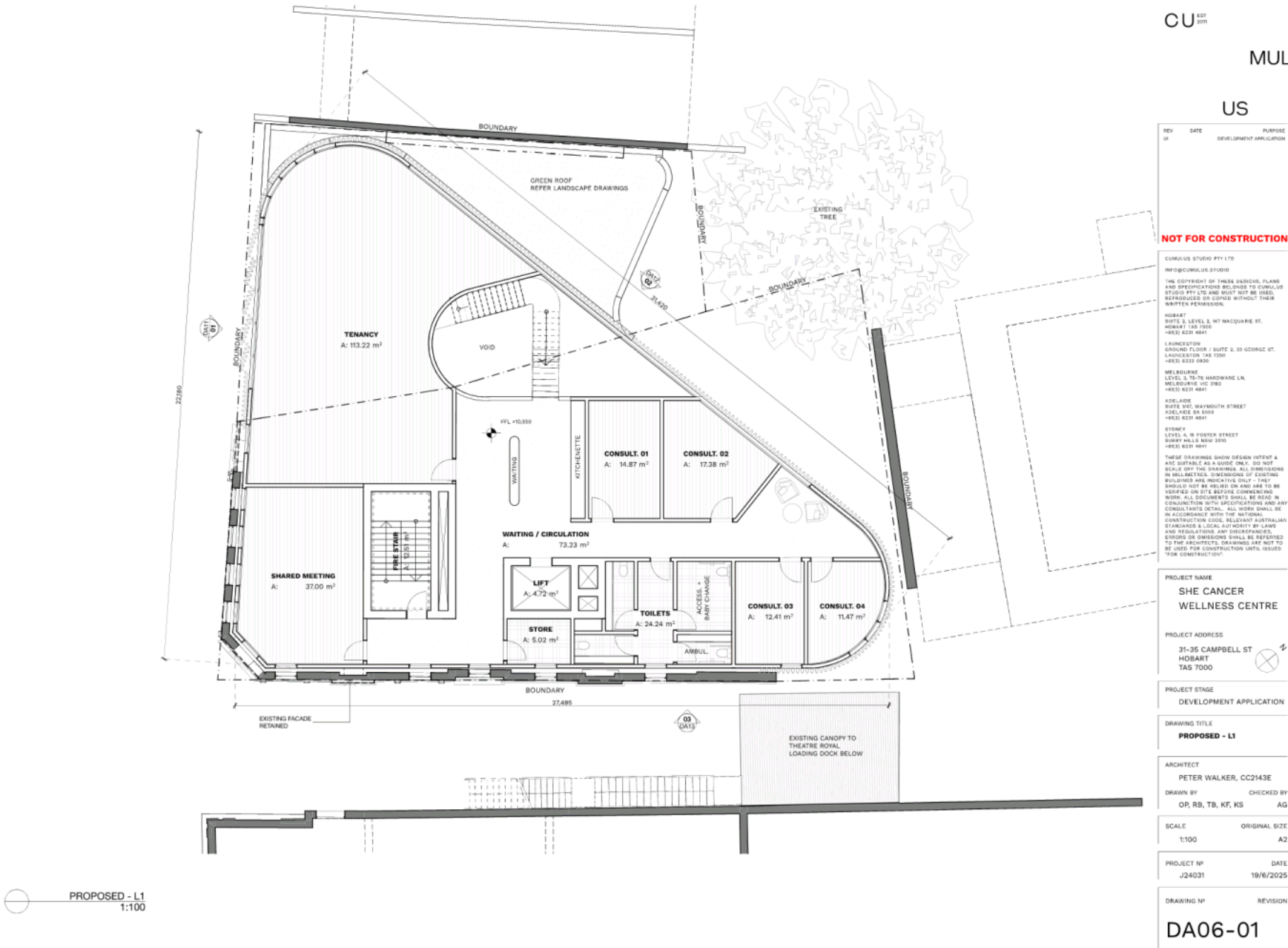
DRAWN BY
OP, RB, TB, KF, KS AG

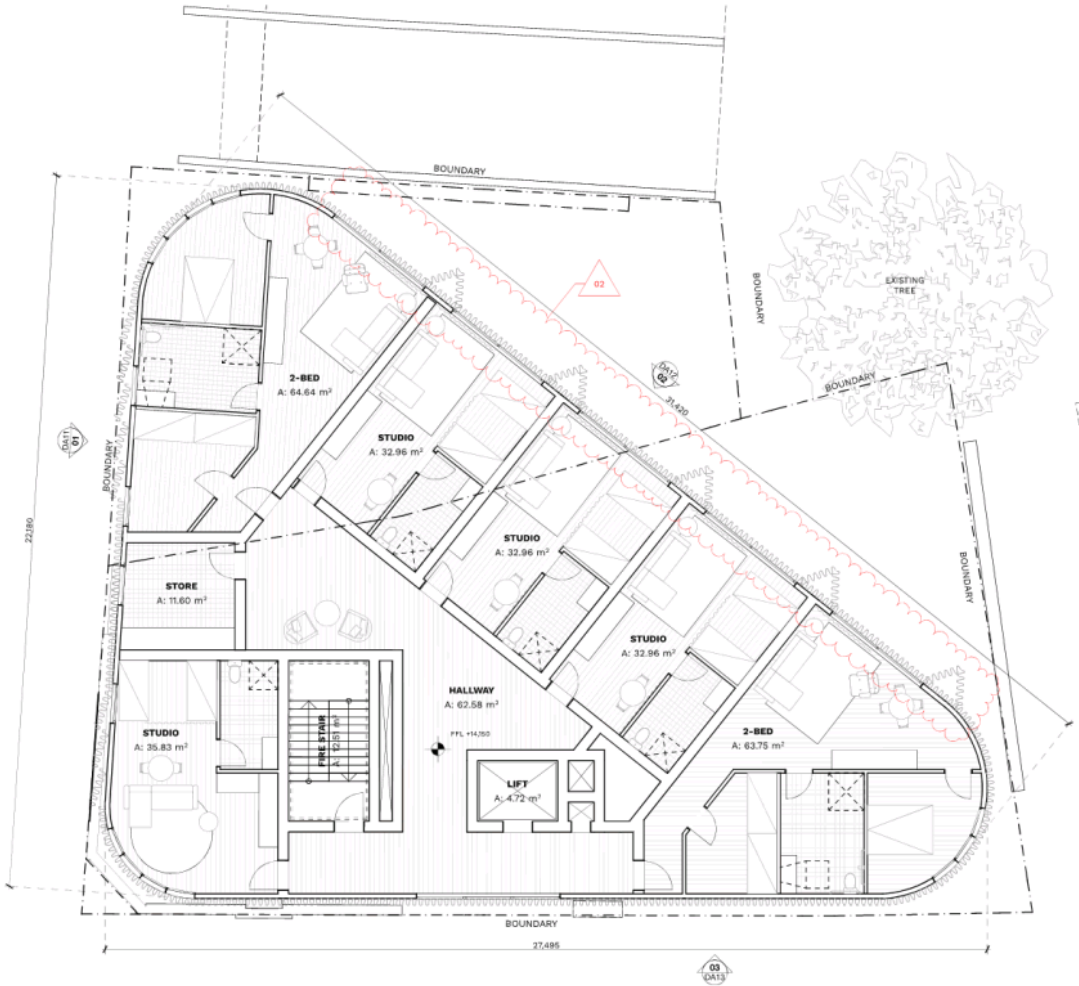
SCALE ORIGINAL SIZE
1:100, 1:1 A2

PROJECT N° DATE
J24031 19/6/2025

DRAWING N° REVISION

DA05-01





CURULUS

MUL

US

REV	DATE	PURPOSE
01		DEVELOPMENT APPLICATION
02		DEVELOPMENT APPLICATION

NOT FOR CONSTRUCTION

CURULUS STUDIO PTY LTD
INFO@CURULUS.STUDIO

THE COPYRIGHT OF THESE DESIGNS, PLANS AND SPECIFICATIONS BELONGS TO CURULUS STUDIO PTY LTD AND MUST NOT BE USED, REPRODUCED OR COPIED WITHOUT THEIR WRITTEN PERMISSION.

HOBART
SUITE 2, LEVEL 2, 117 MACQUARIE ST.
HOBART TAS 7000
+613 6231 4841

LAUNCESTON
GROUND FLOOR - SUITE 2, 33 GORDON ST.
LAUNCESTON TAS 7250
+613 6333 0930

MELBOURNE
LEVEL 2, 75-76 HARDWARE LN.
MELBOURNE VIC 3002
+613 6231 4841

ADELAIDE
SUITE 5/10, WATKINS STREET
ADELAIDE SA 5000
+613 6231 4841

SYDNEY
LEVEL 4, 18 FOSTER STREET
SYDNEY NSW 2050
+613 6231 4841

THESE DRAWINGS SHOW DESIGN INTENT & ARE NOT TO BE USED AS A GUIDE ONLY. DO NOT SCALE OFF THE DRAWINGS. ALL DIMENSIONS IN METRICS. DIMENSIONS OF EXISTING BUILDINGS ARE INDICATED ONLY. THESE SHOULD NOT BE RELIED ON AND ARE TO BE VERIFIED ON SITE BEFORE COMMENCING WORK. ALL DOCUMENTS SHALL BE READ IN CONJUNCTION WITH SPECIFICATIONS AND ANY CONSULTANT'S DETAIL. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING CONSTRUCTION CODE, RELEVANT AUSTRALIAN STANDARDS & LOCAL AUTHORITY BY LAWS AND REGULATIONS. ANY DISCREPANCIES, ERRORS OR OMISSIONS SHALL BE REFERRED TO THE ARCHITECTS. DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL ISSUED "FOR CONSTRUCTION".

PROJECT NAME
**SHE CANCER
WELLNESS CENTRE**

PROJECT ADDRESS
31-35 CAMPBELL ST
HOBART
TAS 7000

PROJECT STAGE
DEVELOPMENT APPLICATION

DRAWING TITLE
PROPOSED - L2

ARCHITECT
PETER WALKER, CC2143E

DRAWN BY
OP, RB, TB, KF, KS

CHECKED BY
AG

SCALE
1:100

ORIGINAL SIZE
A2

PROJECT N°
J24031

DATE
6/8/2025

DRAWING N°
DA07-02

CURUS^{EST} 2011

MUL

US

REV	DATE	PURPOSE
01		DEVELOPMENT APPLICATION
02		DEVELOPMENT APPLICATION



NOT FOR CONSTRUCTION

CURUS STUDIO PTY LTD
INFO@CURUSSTUDIO.COM

THE COPYRIGHT OF THESE DESIGNS, PLANS AND SPECIFICATIONS BELONGS TO CURUS STUDIO PTY LTD AND MUST NOT BE USED, REPRODUCED OR COPIED WITHOUT THEIR WRITTEN PERMISSION.

HOBART
SUITE 2, LEVEL 2, 147 MACQUARIE ST.
HOBART TAS 7000
+613 6231 4841

LAUNCESTON
GROUND FLOOR - SUITE 2, 33 GORDON ST.
LAUNCESTON TAS 7290
+613 6333 0930

MELBOURNE
LEVEL 2, 75-76 HARDWARE LN.
MELBOURNE VIC 3002
+613 6231 4841

ADELAIDE
SUITE 5/10, WATKINS STREET
ADELAIDE SA 5000
+613 6231 4841

SYDNEY
LEVEL 4, 18 FOSTER STREET
BURRY HILLS NSW 2150
+613 6231 4841

THESE DRAWINGS SHOW DESIGN INTENT & NOT DETAIL. AS A GUIDE ONLY. DO NOT SCALE OFF THE DRAWINGS. ALL DIMENSIONS IN METRICS. DIMENSIONS OF EXISTING BUILDINGS ARE INDICATED ONLY. THESE SHOULD NOT BE RELIED ON AND ARE TO BE VERIFIED ON SITE BEFORE COMMENCING WORK. ALL DOCUMENTS SHALL BE READ IN CONJUNCTION WITH SPECIFICATIONS AND ANY CONSULTANT'S DETAIL. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE, RELEVANT AUSTRALIAN STANDARDS & LOCAL AUTHORITY BY LAWS AND REGULATIONS. ANY DISCREPANCIES, ERRORS OR OMISSIONS SHALL BE REFERRED TO THE ARCHITECTS. DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL ISSUED 'FOR CONSTRUCTION'.

PROJECT NAME
**SHE CANCER
WELLNESS CENTRE**

PROJECT ADDRESS
31-35 CAMPBELL ST
HOBART
TAS 7000

PROJECT STAGE
DEVELOPMENT APPLICATION

DRAWING TITLE
PROPOSED - L3

ARCHITECT
PETER WALKER, CC2143E

DRAWN BY
OP, RB, TB, KF, KS

CHECKED BY
AG

SCALE
1:100

ORIGINAL SIZE
A2

PROJECT Nº
J24031

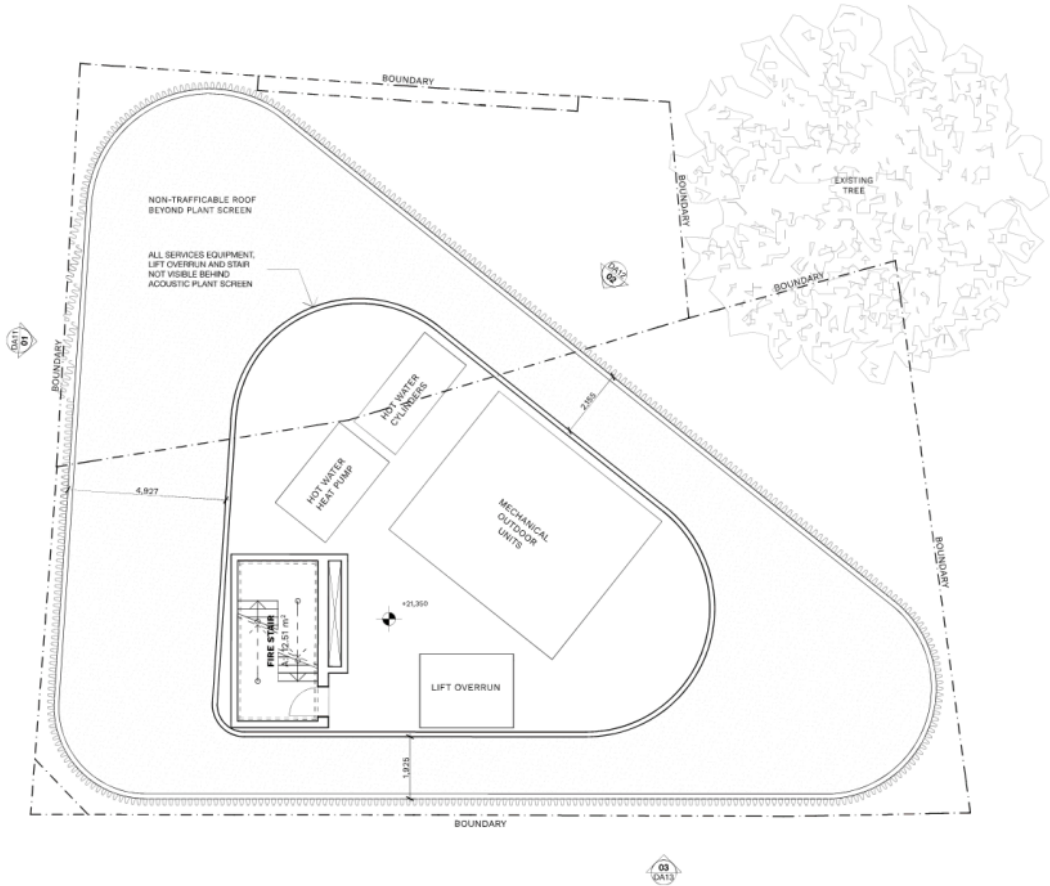
DATE
6/8/2025

DRAWING Nº
REVISION

DA08-02

PROPOSED - L3
1:100

CUMULUS
MUL
US



PROPOSED - L4/ROOF
1:100

NOT FOR CONSTRUCTION

CUMULUS STUDIO PTY LTD
INFO@CUMULUS.STUDIO

THE COPYRIGHT OF THESE DESIGNS, PLANS AND SPECIFICATIONS BELONGS TO CUMULUS STUDIO PTY LTD AND MUST NOT BE USED, REPRODUCED OR COPIED WITHOUT THEIR WRITTEN PERMISSION.

HOBART
SUITE 2, LEVEL 2, 147 MACQUARIE ST.
HOBART TAS 7000
+61(0) 8231 4841

LAUNCESTON
GROUND FLOOR SUITE 2, 30 GORRIG ST.
LAUNCESTON TAS 7250
+61(0) 6333 0930

MELBOURNE
LEVEL 2, 75-76 HARDWARE LN.
MELBOURNE VIC 3002
+61(0) 8231 4841

ADELAIDE
SUITE 5/10, WATKINS STREET
ADELAIDE SA 5000
+61(0) 8231 4841

SYDNEY
LEVEL 4, 16 FOSTER STREET
SYDNEY NSW 2050
+61(0) 8231 4841

THESE DRAWINGS SHOW DESIGN INTENT & NOT DETAIL. AS A GUIDE ONLY. DO NOT SCALE OFF. THE DRAWINGS, ALL DIMENSIONS IN MILLIMETRES, DIMENSIONS OF EXISTING BUILDINGS ARE INDICATED ONLY. THESE SHOULD NOT BE RELIED ON AND ARE TO BE VERIFIED ON SITE BEFORE COMMENCING WORK. ALL DOCUMENTS SHALL BE READ IN CONSULTATION WITH SPECIFICATIONS AND ANY CONSULTANTS DETAIL. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE, RELEVANT AUSTRALIAN STANDARDS & LOCAL AUTHORITY BY LAWS AND REGULATIONS. ANY DISCREPANCIES, ERRORS OR OMISSIONS SHALL BE REFERRED TO THE ARCHITECTS. DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL ISSUED "FOR CONSTRUCTION".

PROJECT NAME
**SHE CANCER
WELLNESS CENTRE**

PROJECT ADDRESS
31-35 CAMPBELL ST
HOBART
TAS 7000

PROJECT STAGE
DEVELOPMENT APPLICATION

DRAWING TITLE
PROPOSED - L4/ROOF

ARCHITECT
PETER WALKER, CC2143E

DRAWN BY
OP, RB, TB, KF, KS

CHECKED BY
AG

SCALE
1:100

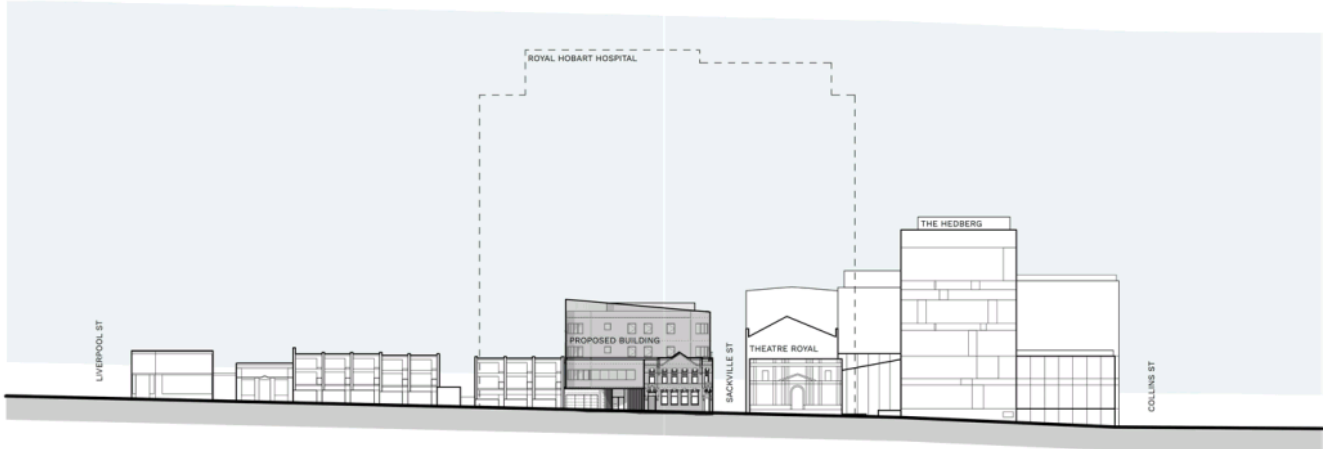
ORIGINAL SIZE
A2

PROJECT N°
J24031

DATE
19/6/2025

DRAWING N°
REVISION

DA09-01



STREETSCAPE ELEVATION
1:500

CUS^{EST}
2011

MUL

US

REV	DATE	PURPOSE
01		DEVELOPMENT APPLICATION

NOT FOR CONSTRUCTION

CUMULUS STUDIO PTY LTD
INFO@CUMULUS.STUDIO

THE COPYRIGHT OF THESE DESIGNS, PLANS
AND SPECIFICATIONS BELONGS TO CUMULUS
STUDIO PTY LTD AND MUST NOT BE USED,
REPRODUCED OR COPIED WITHOUT THEIR
WRITTEN PERMISSION.

HOBART
SUITE 2, LEVEL 2, 147 MACQUARIE ST.
HOBART TAS 7000
+613 6231 4841

LAUNCESTON
GROUND FLOOR - SUITE 2, 30 GEORGE ST.
LAUNCESTON TAS 7250
+613 6333 0930

MELBOURNE
LEVEL 2, 75-76 HARDWARE LN.
MELBOURNE VIC 3002
+613 6231 4841

ADELAIDE
SUITE 5/40, WYNDHAM STREET
ADELAIDE SA 5000
+613 6231 4841

SYDNEY
LEVEL 4, 16 FOSTER STREET
BURRY HILL NSW 2150
+613 6231 4841

THESE DRAWINGS SHOW DESIGN INTENT &
THEY ARE NOT TO BE USED AS A GUIDE ONLY. DO NOT
SCALE OFF. THE DRAWINGS, ALL DIMENSIONS
IN DIMENSIONS, DIMENSIONS OF EXISTING
BUILDINGS ARE INDICATED ONLY. THEY
SHOULD NOT BE RELIED ON AND ARE TO BE
VERIFIED ON SITE BEFORE COMMENCING
WORK. ALL DOCUMENTS SHALL BE READ IN
CONJUNCTION WITH SPECIFICATIONS AND ANY
CONSULTANTS DETAIL. ALL WORK SHALL BE
IN ACCORDANCE WITH THE NATIONAL
CONSTRUCTION CODE, RELEVANT AUSTRALIAN
STANDARDS & LOCAL AUTHORITY BY LAWS
AND REGULATIONS. ANY DISCREPANCIES,
ERRORS OR OMISSIONS SHALL BE REFERRED
TO THE ARCHITECTS. DRAWINGS ARE NOT TO
BE USED FOR CONSTRUCTION UNTIL ISSUED
"FOR CONSTRUCTION".

PROJECT NAME

SHE CANCER
WELLNESS CENTRE

PROJECT ADDRESS

31-35 CAMPBELL ST
HOBART
TAS 7000

PROJECT STAGE

DEVELOPMENT APPLICATION

DRAWING TITLE

PROPOSED - STREETSCAPE

ARCHITECT

PETER WALKER, CC2143E

DRAWN BY

OP, RB, TB, KF, KS

CHECKED BY

AG

SCALE

ORIGINAL SIZE

1:500

A2

PROJECT N°

DATE

J24031

19/6/2025

DRAWING N°

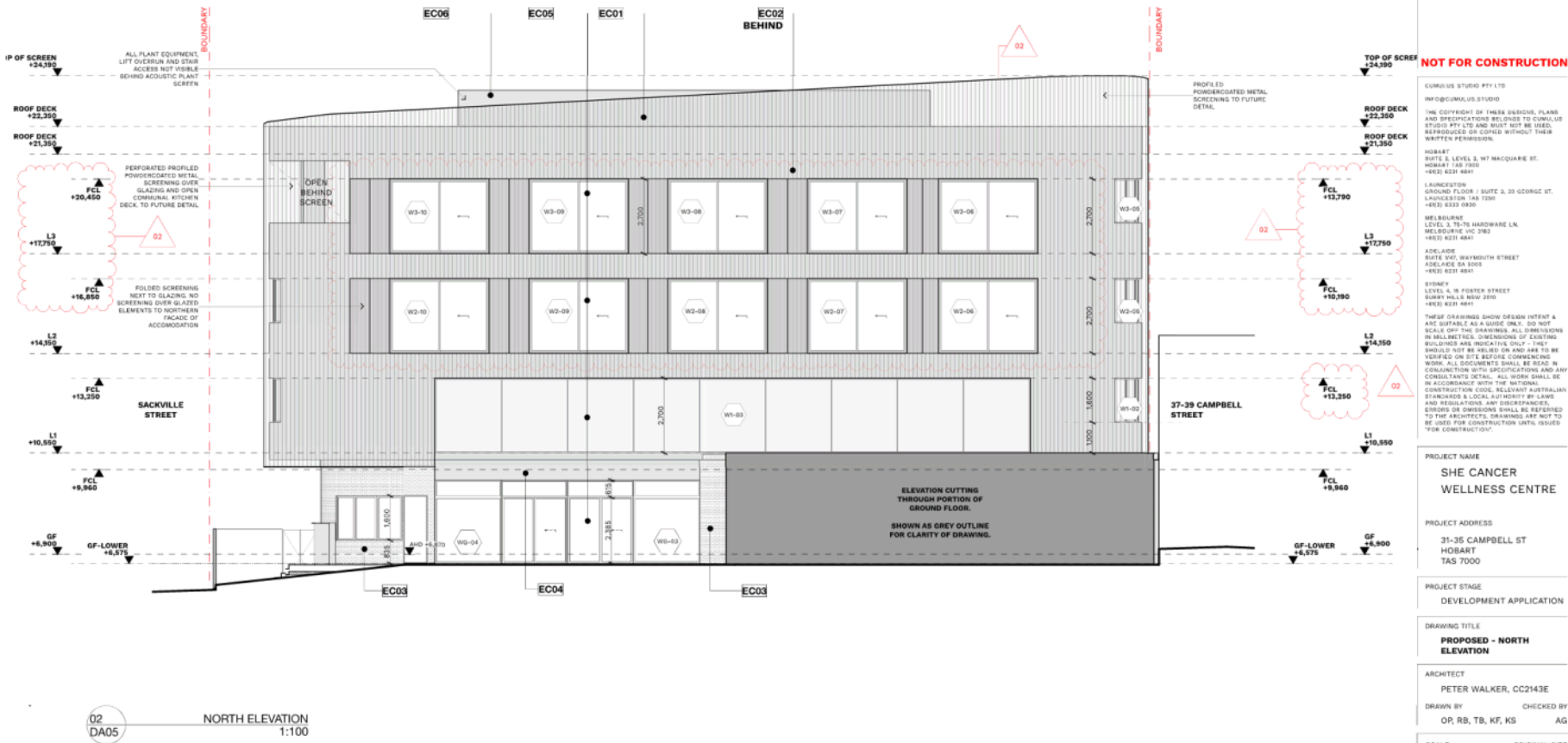
REVISION

DA10-01

EXTERNAL CLADDING LEGEND	
CODE	ITEM DESCRIPTION
EC01	PERFORATED METAL SCREEN
EC02	COLOURED CONCRETE TO MATCH EC01
EC03	BRICK
EC04	METAL/CEMENT SHEET GLASSING TO MATCH EC01
EC05	GLASS GLAZING WITH WINDOW FRAMES - COLOURS TO MATCH ADJACENT CLADDING
EC06	ACOUSTIC PLANT SCREEN
KEC01	PAINT TO EXISTING BRICK TO MATCH ORIGINAL



EXTERNAL CLADDING LEGEND	
CODE	ITEM DESCRIPTION
EC01	PERFORATED METAL SCREEN
EC02	COLOURED CONCRETE TO MATCH EC01
EC03	BRICK
EC04	METAL/CEMENT SHEET GLAZING TO MATCH EC01
EC05	GLASS GLAZING WITH WINDOW FRAMES - COLOURS TO MATCH ADJACENT CLADDING
EC06	ACOUSTIC PLANT SCREEN
EC07	PAINT TO EXISTING BRICK TO MATCH ORIGINAL



EXTERNAL CLADDING LEGEND	
CODE	ITEM DESCRIPTION
EC01	PERFORATED METAL SCREEN
EC02	COLORADO CONCRETE TO MATCH EC01
EC03	BRICK
EC04	METAL/CEMENT SHEET GLASSING TO MATCH EC01
EC05	GLASS GLAZING WITH WINDOW FRAMES - COLOURS TO MATCH ADJACENT CLADDING
EC06	ACOUSTIC PLANT SCREEN
XE01	PAINT TO EXISTING BRICK TO MATCH ORIGINAL



CU	EST	2021
REV	DATE	PURPOSE
01		DEVELOPMENT APPLICATION
02		DEVELOPMENT APPLICATION

NOT FOR CONSTRUCTION

CUMULUS STUDIO PTY LTD
INFO@CUMULUS.STUDIO
THE COPYRIGHT OF THESE DESIGNS, PLANS AND SPECIFICATIONS BELONGS TO CUMULUS STUDIO PTY LTD AND MUST NOT BE USED, REPRODUCED OR COPIED WITHOUT THEIR WRITTEN PERMISSION.
HOBART
SUITE 2, LEVEL 1, 117 MACQUARIE ST.
HOBART TAS 7500
+613) 6231 4841
LAUNCESTON
GROUND FLOOR - SUITE 2, 39 GEORGE ST.
LAUNCESTON TAS 7550
+613) 6333 0330
MELBOURNE
LEVEL 2, 75-76 HARDWARE LN.
MELBOURNE VIC 3003
+613) 6231 4841
ADELAIDE
SUITE 5/40, WYNDHAM STREET
ADELAIDE SA 5000
+613) 6231 4841
STONEY
LEVEL 4, 18 FOSTER STREET
BURNIE TAS 7500
+613) 6231 4841
THESE DRAWINGS SHOW DESIGN INTENT & ARE NOT TO BE USED AS A GUIDE ONLY. DO NOT SCALE OFF THE DRAWINGS. ALL DIMENSIONS IN MILLIMETRES. DIMENSIONS OF EXISTING BUILDINGS ARE INDICATED ONLY - THEY SHOULD NOT BE RELIED ON AND ARE TO BE VERIFIED ON SITE BEFORE COMMENCING WORK. ALL DOCUMENTS SHALL BE READ IN CONSULTATION WITH SPECIFICATIONS AND ANY CONSULTANT'S DETAIL. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE, RELEVANT AUSTRALIAN STANDARDS & LOCAL AUTHORITY BY LAWS AND REGULATIONS. ANY DISCREPANCIES, ERRORS OR OMISSIONS SHALL BE REFERRED TO THE ARCHITECTS. DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL ISSUED 'FOR CONSTRUCTION'.

PROJECT NAME
SHE CANCER
WELLNESS CENTRE
PROJECT ADDRESS
31-35 CAMPBELL ST
HOBART
TAS 7000

PROJECT STAGE
DEVELOPMENT APPLICATION

DRAWING TITLE
PROPOSED - SOUTH-EAST
ELEVATION

ARCHITECT
PETER WALKER, CC2143E
DRAWN BY
OP, RB, TB, KF, KS
CHECKED BY
AG

SCALE
1:100
ORIGINAL SIZE
A2

PROJECT N°
J24031
DATE
6/8/2025

DRAWING N°
REVISION

DA13-02

CUMULUS
MUL

US

REV	DATE	PURPOSE
01		DEVELOPMENT APPLICATION

NOT FOR CONSTRUCTION

CUMULUS STUDIO PTY LTD
INFO@CUMULUS.STUDIO
THE COPYRIGHT OF THESE DESIGNS, PLANS
AND SPECIFICATIONS BELONGS TO CUMULUS
STUDIO PTY LTD AND MUST NOT BE USED,
REPRODUCED OR COPIED WITHOUT THEIR
WRITTEN PERMISSION.
HOBART
SUITE 2, LEVEL 2, 147 MACQUARIE ST.
HOBART TAS 7000
HREJ 6231 4841
LAUNCESTON
GROUND FLOOR SUITE 2, 30 CORNWALL ST.
LAUNCESTON TAS 7200
HREJ 6533 0930
MELBOURNE
LEVEL 2, 75-76 HARDWARE LN.
MELBOURNE VIC 3002
HREJ 6231 4841
ADELAIDE
SUITE 540, WAYMOUTH STREET
ADELAIDE SA 5000
HREJ 6231 4841
SYDNEY
LEVEL 4, 18 FOSTER STREET
BERRY HILLS NSW 2570
HREJ 6231 4841
THESE DRAWINGS SHOW DESIGN INTENT &
ARE NOT TO BE USED AS A GUIDE ONLY. DO NOT
SCALE OFF. THE DRAWINGS, ALL DIMENSIONS
IN METRICS, DIMENSIONS OF EXISTING
BUILDINGS ARE INDICATED ONLY. THESE
SHOULD NOT BE RELIED ON AND ARE TO BE
VERIFIED ON SITE BEFORE COMMENCING
WORK. ALL DOCUMENTS SHALL BE READ IN
CONJUNCTION WITH SPECIFICATIONS AND ANY
CONSULTANTS DETAIL. ALL WORK SHALL BE
IN ACCORDANCE WITH THE NATIONAL
CONSTRUCTION CODE, RELEVANT AUSTRALIAN
STANDARDS & LOCAL AUTHORITY BY LAWS
AND REGULATIONS. ANY DISCREPANCIES,
ERRORS OR OMISSIONS SHALL BE REFERRED
TO THE ARCHITECTS. DRAWINGS ARE NOT TO
BE USED FOR CONSTRUCTION UNTIL ISSUED
"FOR CONSTRUCTION".

PROJECT NAME
SHE CANCER
WELLNESS CENTRE
PROJECT ADDRESS
31-35 CAMPBELL ST
HOBART
TAS 7000
N

PROJECT STAGE
DEVELOPMENT APPLICATION

DRAWING TITLE
SUN STUDIES

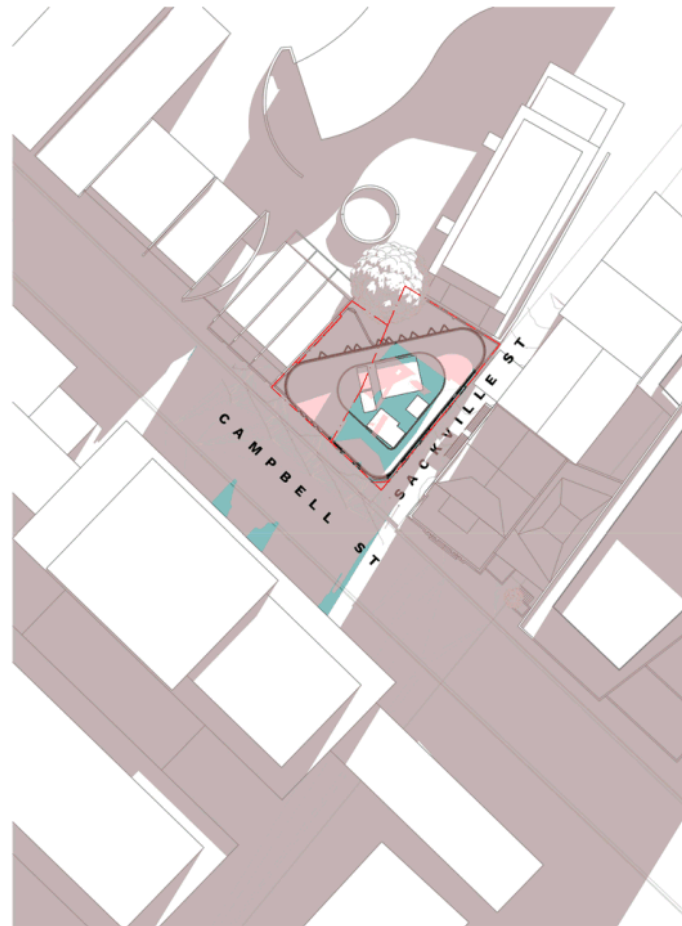
ARCHITECT
PETER WALKER, CC2143E
DRAWN BY
OP, RB, TB, KF, KS
CHECKED BY
AG

SCALE
1:500
ORIGINAL SIZE
A2

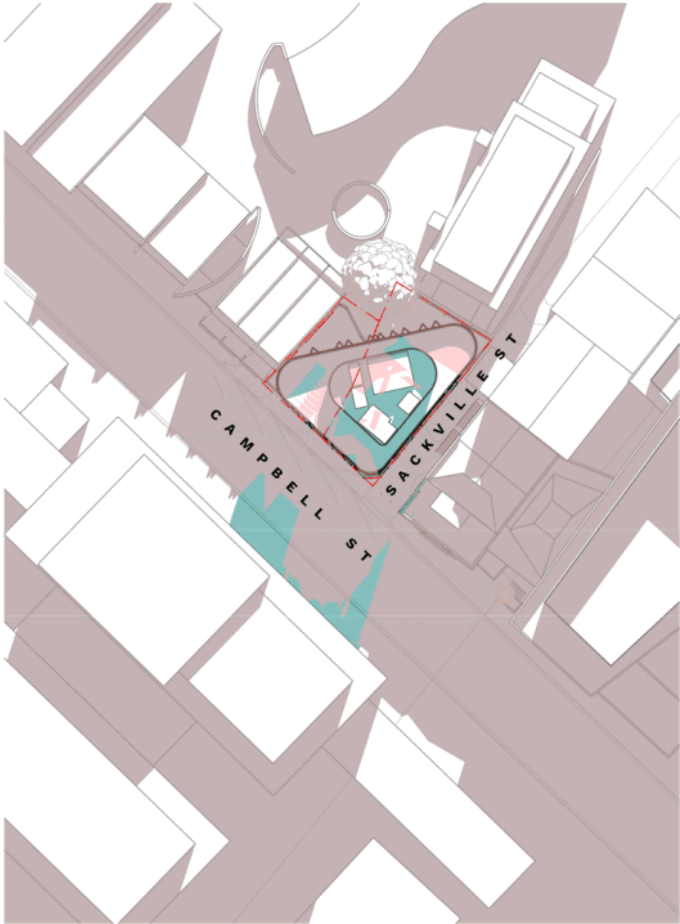
PROJECT N°
J24031
DATE
19/6/2025

DRAWING N°
REVISION

DA14-01

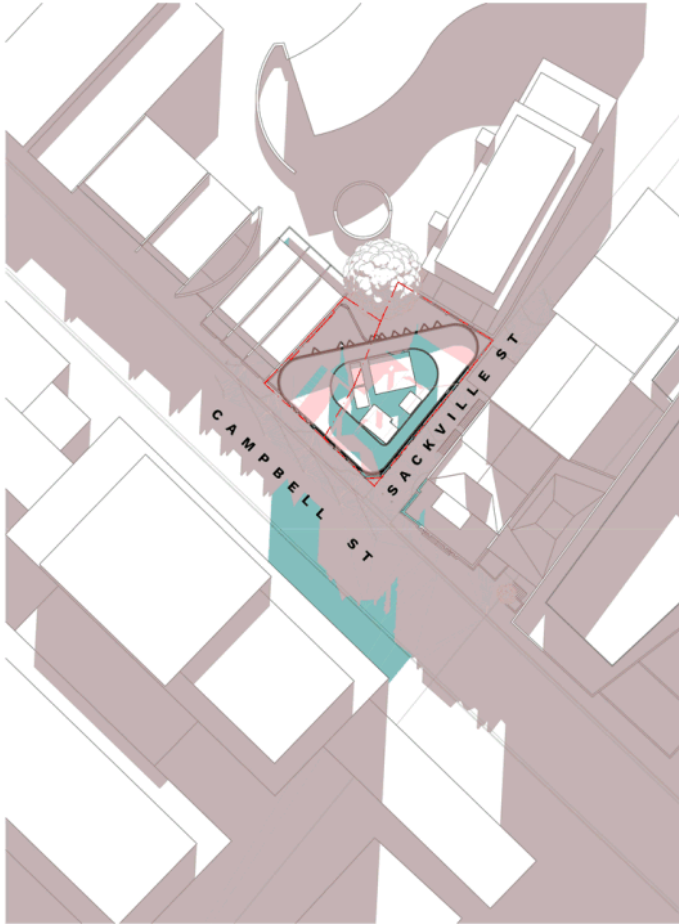


CURMULUS STUDIO PTY LTD
MUL
US



SHADOW DIAGRAMS_JUNE 21_11AM
1:500

ADDITIONAL SHADOW CAST BY PROPOSAL
EXISTING SHADOW



SHADOW DIAGRAMS_JUNE 21_12PM
1:500

REV	DATE	PURPOSE
01		DEVELOPMENT APPLICATION

NOT FOR CONSTRUCTION

CURMULUS STUDIO PTY LTD
INFO@CURMULUS.STUDIO

THE COPYRIGHT OF THESE DESIGNS, PLANS AND SPECIFICATIONS BELONGS TO CURMULUS STUDIO PTY LTD AND MUST NOT BE USED, REPRODUCED OR COPIED WITHOUT THEIR WRITTEN PERMISSION.

HOBART
SUITE 2, LEVEL 2, 141 MACQUARIE ST.
HOBART TAS 7000
+613 6231 4841

LAUNCESTON
GROUND FLOOR - SUITE 2, 30 GORDON ST.
LAUNCESTON TAS 7250
+613 6333 0930

MELBOURNE
LEVEL 2, 75-76 HARDWARE LN.
MELBOURNE VIC 3002
+613 6231 4841

ADELAIDE
SUITE 540, WAYMOUTH STREET
ADELAIDE SA 5000
+613 6231 4841

SYDNEY
LEVEL 4, 18 FOSTER STREET
BERRY HILLS NSW 2150
+613 6231 4841

THESE DRAWINGS SHOW DESIGN INTENT & ANT. SITUATION. ALL DIMENSIONS, SCALE, OFF. THE DRAWINGS, ALL DIMENSIONS IN MILLIMETERS, DIMENSIONS OF EXISTING BUILDINGS ARE INDICATED ONLY. THESE SHOULD NOT BE RELIED ON AND ARE TO BE VERIFIED ON SITE BEFORE COMMENCING WORK. ALL DOCUMENTS SHALL BE READ IN CONJUNCTION WITH SPECIFICATIONS AND ANY CONSULTANTS DETAIL. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE, RELEVANT AUSTRALIAN STANDARDS & LOCAL AUTHORITY BY LAWS AND REGULATIONS. ANY UNEXPECTED ERRORS OR OMISSIONS SHALL BE REFERRED TO THE ARCHITECTS. DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL ISSUED "FOR CONSTRUCTION".

PROJECT NAME
**SHE CANCER
WELLNESS CENTRE**

PROJECT ADDRESS
31-35 CAMPBELL ST
HOBART
TAS 7000

PROJECT STAGE
DEVELOPMENT APPLICATION

DRAWING TITLE
SUN STUDIES

ARCHITECT
PETER WALKER, CC2143E

DRAWN BY
OP, RB, TB, KF, KS

CHECKED BY
AG

SCALE
1:500

ORIGINAL SIZE
A2

PROJECT N°
J24031

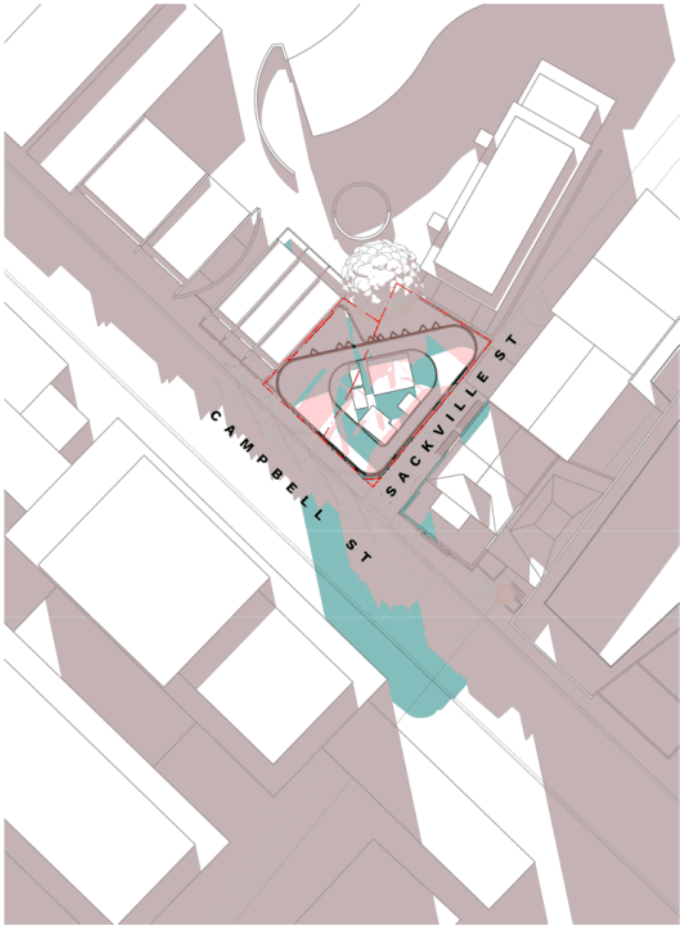
DATE
19/6/2025

DRAWING N°
DA15-01

REVISION

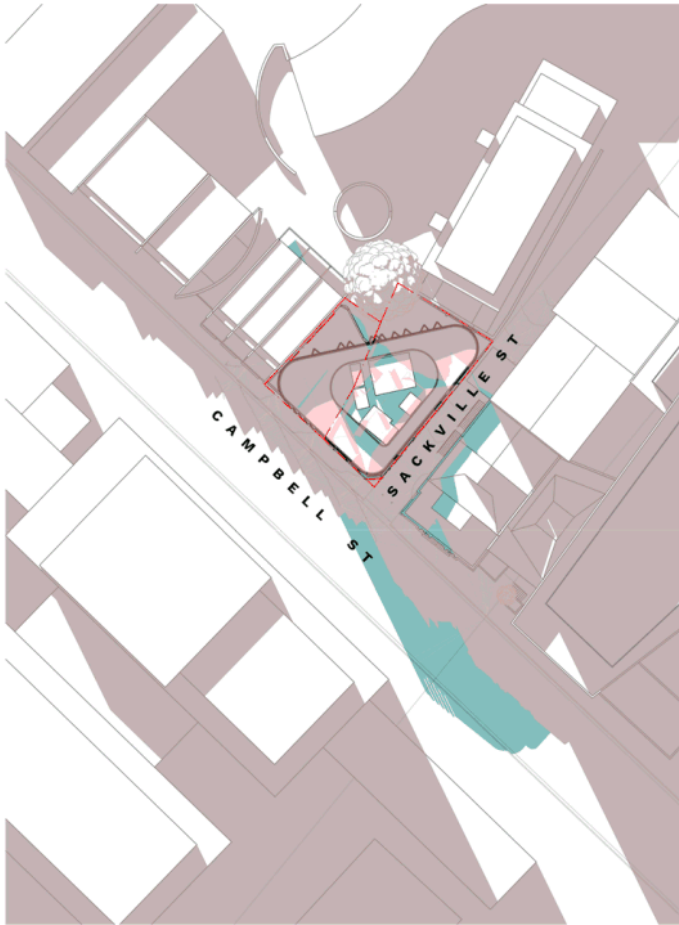
CUMULUS
MUL

US



SHADOW DIAGRAMS_JUNE 21_1PM
1:500

ADDITIONAL SHADOW CAST BY PROPOSAL
EXISTING SHADOW



SHADOW DIAGRAMS_JUNE 21_2PM
1:500

NOT FOR CONSTRUCTION

CUMULUS STUDIO PTY LTD
INFO@CUMULUS.STUDIO
THE COPYRIGHT OF THESE DESIGNS, PLANS AND SPECIFICATIONS BELONGS TO CUMULUS STUDIO PTY LTD AND MUST NOT BE USED, REPRODUCED OR COPIED WITHOUT THEIR WRITTEN PERMISSION.
HOBART
SUITE 2, LEVEL 2, 147 MACQUARIE ST.
HOBART TAS 7000
HREJ 6231 4841
LAUNCESTON
GROUND FLOOR - SUITE 2, 30 GORDON ST.
LAUNCESTON TAS 7250
HREJ 6533 0930
MELBOURNE
LEVEL 2, 75-76 HARDWARE LN.
MELBOURNE VIC 3002
HREJ 6231 4841
ADELAIDE
SUITE 340, WAYMOUTH STREET
ADELAIDE SA 5000
HREJ 6231 4841
SYDNEY
LEVEL 4, 18 FOSTER STREET
BERRY HILLS NSW 2150
HREJ 6231 4841
THESE DRAWINGS SHOW DESIGN INTENT & ARE NOT TO BE USED FOR CONSTRUCTION. SCALE OFF: THE DRAWINGS, ALL DIMENSIONS IN MILLIMETERS, DIMENSIONS OF EXISTING BUILDINGS ARE INDICATED ONLY. THESE SHOULD NOT BE RELIED ON AND ARE TO BE VERIFIED ON SITE BEFORE COMMENCING WORK. ALL DOCUMENTS SHALL BE READ IN CONSULTATION WITH SPECIFICATIONS AND ANY CONSULTANTS DETAIL. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE, RELEVANT AUSTRALIAN STANDARDS & LOCAL AUTHORITY BY LAWS AND REGULATIONS. ANY DISCREPANCIES, ERRORS OR OMISSIONS SHALL BE REFERRED TO THE ARCHITECTS. DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL ISSUED "FOR CONSTRUCTION".

PROJECT NAME
SHE CANCER
WELLNESS CENTRE
PROJECT ADDRESS
31-35 CAMPBELL ST
HOBART
TAS 7000
N

PROJECT STAGE
DEVELOPMENT APPLICATION

DRAWING TITLE
SUN STUDIES

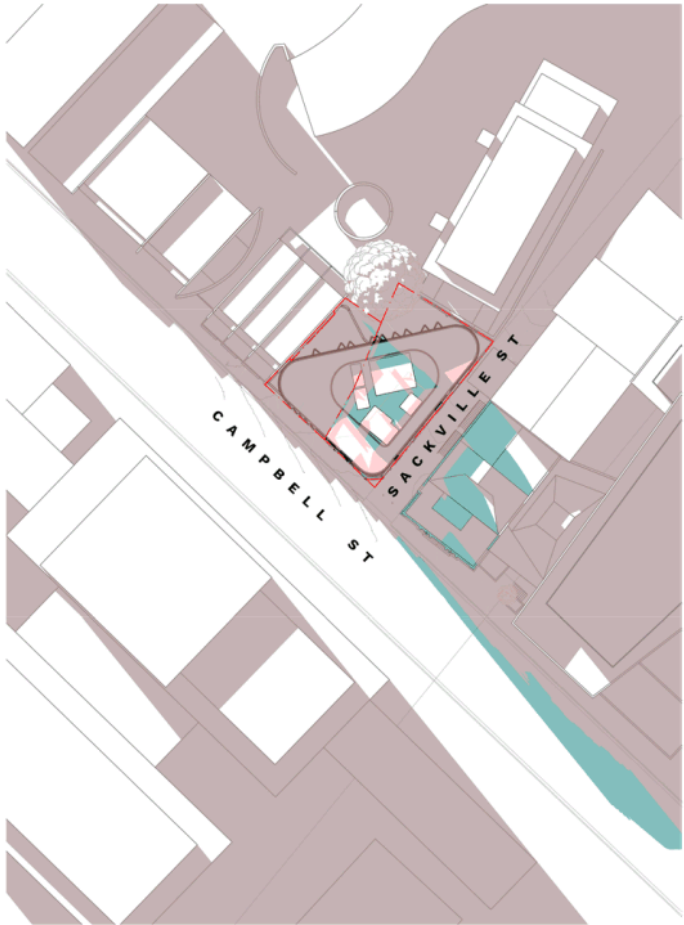
ARCHITECT
PETER WALKER, CC2143E
DRAWN BY
OP, RB, TB, KF, KS
CHECKED BY
AG

SCALE
1:500
ORIGINAL SIZE
A2

PROJECT N°
J24031
DATE
19/6/2025

DRAWING N°
REVISION

DA16-01



CUSU

MUL

US

REV	DATE	PURPOSE
01		DEVELOPMENT APPLICATION

NOT FOR CONSTRUCTION

CUMULUS STUDIO PTY LTD

INFO@CUMULUS.STUDIO

THE COPYRIGHT OF THESE DESIGN PLANS AND SPECIFICATIONS BELONGS TO CUMULUS STUDIO PTY LTD AND MUST NOT BE USED, REPRODUCED OR COPIED WITHOUT THEIR WRITTEN PERMISSION.

HOBART

SUITE 2, LEVEL 2, 147 MACQUARIE ST.

HOBART TAS 7000

HREJ 6231 4841

LAUNCESTON

GROUND FLOOR - SUITE 2, 30 GEORGE ST.

LAUNCESTON TAS 7250

HREJ 6533 0930

MELBOURNE

LEVEL 2, 75-76 HARDWARE LN.

MELBOURNE VIC 3002

HREJ 6231 4841

ADELAIDE

SUITE 5/47, WAYMOUTH STREET

ADELAIDE SA 5000

HREJ 6231 4841

SYDNEY

LEVEL 4, 18 FOSTER STREET

SYDNEY NSW 2050

HREJ 6231 4841

THESE DRAWINGS SHOW DESIGN INTENT & ARE NOT TO BE USED FOR CONSTRUCTION. DO NOT SCALE OFF. THE DRAWINGS, ALL DIMENSIONS, IN DIMENSIONS, DIMENSIONS OF EXISTING BUILDINGS ARE INDICATED ONLY. THEY SHOULD NOT BE RELIED ON AND ARE TO BE VERIFIED ON SITE BEFORE COMMENCING WORK. ALL DOCUMENTS SHALL BE READ IN CONSULTATION WITH SPECIFICATIONS AND ANY CONSULTANT'S DETAIL. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE, RELEVANT AUSTRALIAN STANDARDS & LOCAL AUTHORITY BY LAWS AND REGULATIONS. ANY DISCREPANCIES, ERRORS OR OMISSIONS SHALL BE REFERRED TO THE ARCHITECTS. DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL ISSUED "FOR CONSTRUCTION".

PROJECT NAME

SHE CANCER
WELLNESS CENTRE

PROJECT ADDRESS

31-35 CAMPBELL ST
HOBART
TAS 7000

N

PROJECT STAGE

DEVELOPMENT APPLICATION

DRAWING TITLE

SUN STUDIES

ARCHITECT

PETER WALKER, CC2143E

DRAWN BY

OP, RB, TB, KF, KS

CHECKED BY

AG

SCALE

ORIGINAL SIZE

1:500

A2

PROJECT N°

J24031

DATE

19/6/2025

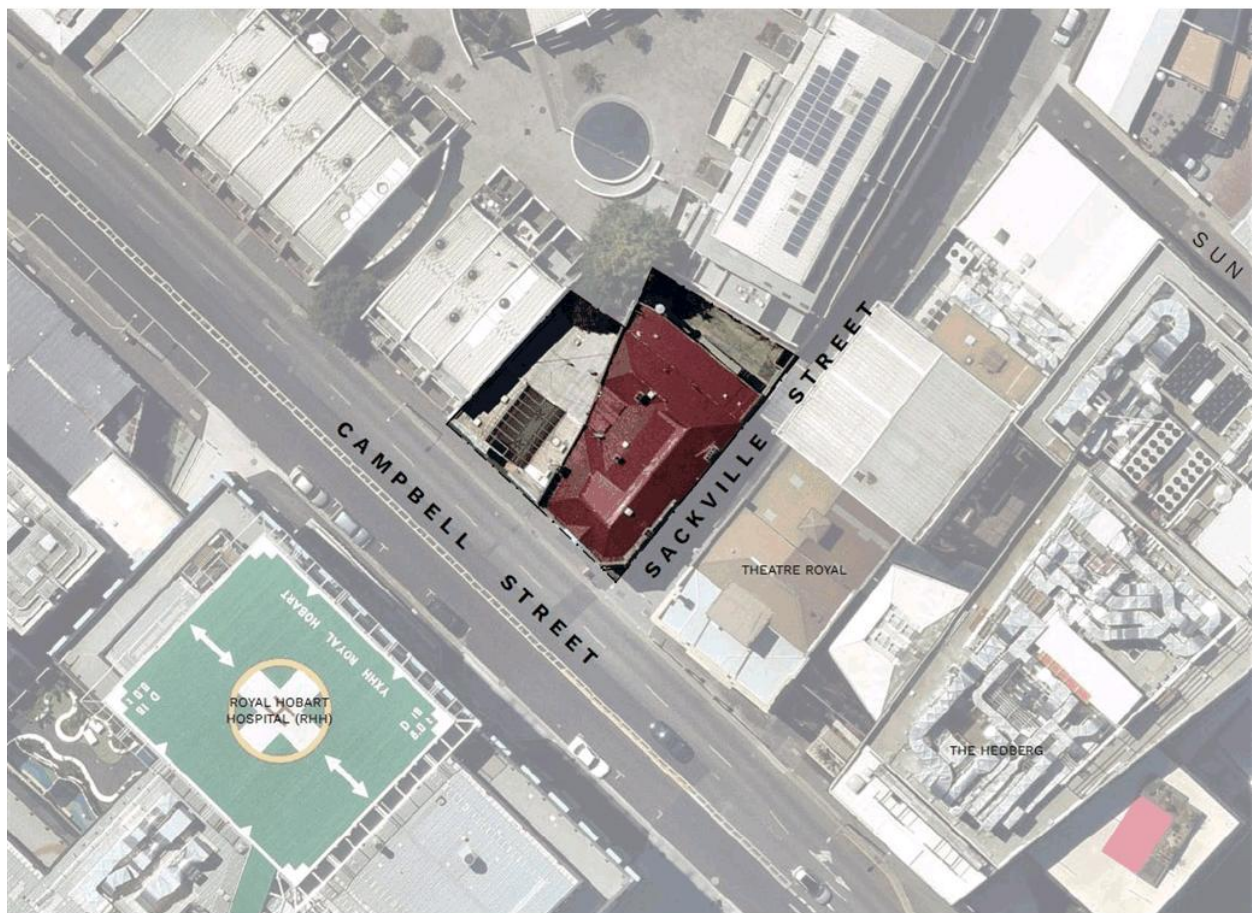
DRAWING N°

REVISION

DA17-01



SHE Wellness Centre 31-35 Campbell Street Planning Assessment



Date 20 June 2025

Table of contents

1. Introduction3

2. Site3

3. Proposal4

4. Planning Scheme9

 Activity Area 1 Inner City Residential.....9

 Proposed Use10

 Schedule 1 – Conservation of Cultural Heritage Values11

 Schedule 2 - Urban Form14

5. Conclusion.....21

Cover Image: Cumulus

1. Introduction

All Urban Planning has been engaged by the SHE Gynaecological Cancer Group to prepare this planning assessment for the proposed redevelopment of the former Theatre Royal Hotel site at 31–35 Campbell Street, Hobart. The proposal is for a wellness centre and is assessed under the provisions of the *Sullivans Cove Planning Scheme 1997*. (planning scheme).

The application is accompanied by the following documentation:

- Existing surveyed floor plans and elevations
- Architectural plans, sections, and elevations
- Shadow diagrams
- Heritage Impact Statement
- Concept civil engineering plans and report
- Landscape drawings
- Owner's consent from the University of Tasmania

2. Site

The subject site at 31–35 Campbell Street comprises two adjoining titles, CT 42971 lots 1 and 2, with a combined site area of approximately 571m².

Positioned on the corner of Campbell Street and Sackville Street, the site sits within Hobart's hospital and institutional precinct, in close proximity to the Royal Hobart Hospital, Theatre Royal, Hedberg performing arts complex, and UTAS Medical Sciences Precinct. The site is within Activity Area 1.0 Inner City Residential under the planning scheme, which supports a range of community, commercial, and accommodation uses.

The existing building on the site is commonly known as the Theatre Royal Hotel. It has not operated as a hotel for over two decades and has undergone various interim uses since that time. Most recently, it was used as site offices during the construction of the Hedberg/Conservatorium of Music, and was later refitted for use as student accommodation.

The building is not listed as a place of cultural heritage significance under the planning scheme, nor is it included on the Tasmanian Heritage Register. Nevertheless, the early 20th-century Campbell Street façade contributes positively to the character of the streetscape and is proposed to be retained as part of the redevelopment.

AllUrbanPlanning

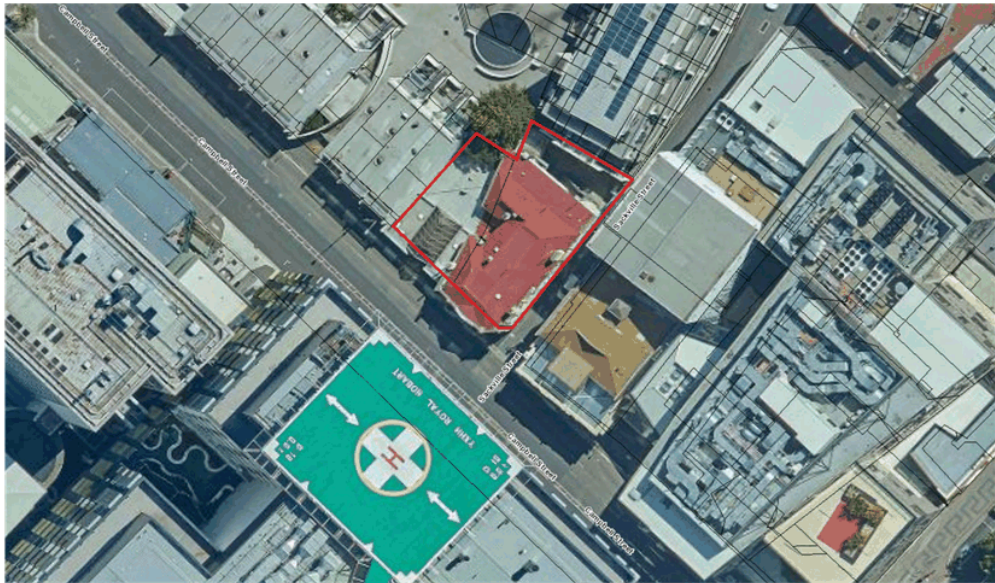


Figure 1 - the site (Source: theLIST)

The proposal involves upgraded service connections in Campbell Street and General Manager’s consent pursuant to Section 52(1B) of the Act therefore accompanies the application.

Title details

Address	Title Reference	Area	Owner
‘Theatre Royal Hotel’ 31-35 Campbell Street	CT42972/1	187m ²	University of Tasmania
‘Theatre Royal Hotel’ 31-35 Campbell Street	CT42971/1	398m ²	University of Tasmania
Campbell Street road reservation	N/A	N/A	Hobart City Council

3. Proposal

The application seeks approval for the redevelopment of the former Theatre Royal Hotel site, for use as a Wellness Centre operated by the SHE Gynaecological Cancer Group. The redevelopment will involve the retention of the early 20th-century façade of the existing building along both Campbell and Sackville Streets, with demolition the rear as well as demolition of the single storey later additions on Campbell Street. The new building will be a four-storey contemporary structure to support the proposed use.

The building will provide a range of health and support services designed to enhance cancer care outcomes for Tasmanian patients and their families. The SHE Wellness Centre is being delivered in collaboration with the University of Tasmania, the Department of Health, the Peter MacCallum Cancer Centre, and the Crown, who have signed a Memorandum of Understanding to advance cancer prevention, education, research and treatment in the State.

AllUrbanPlanning

Demolition

The proposal involves demolition of the existing buildings on site with the exception of the façade of the early 20th century façade of the Theatre Royal Hotel on the corner of Campbell and Sackville Streets as shown in Figures 2-4 below. The existing sandstone and brick boundary walls along the north eastern, rear boundaries of the site will be retained.

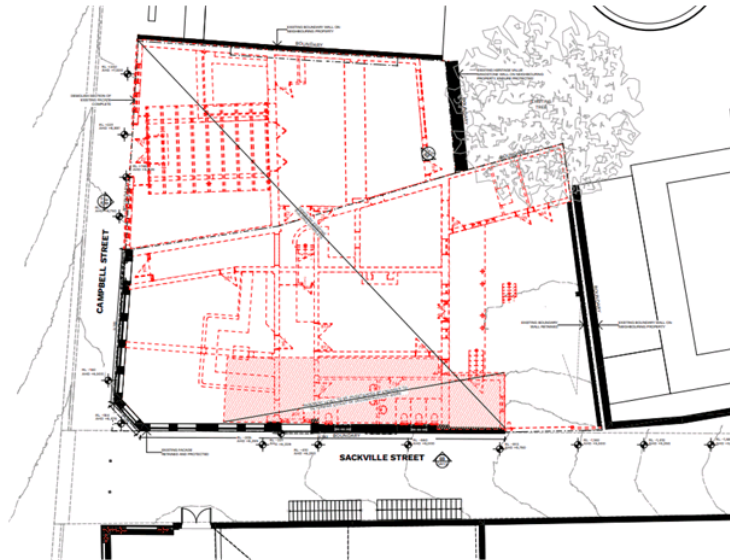


Figure 2 - Proposed Demolition – Ground Floor Plan (Source: Cumulus)

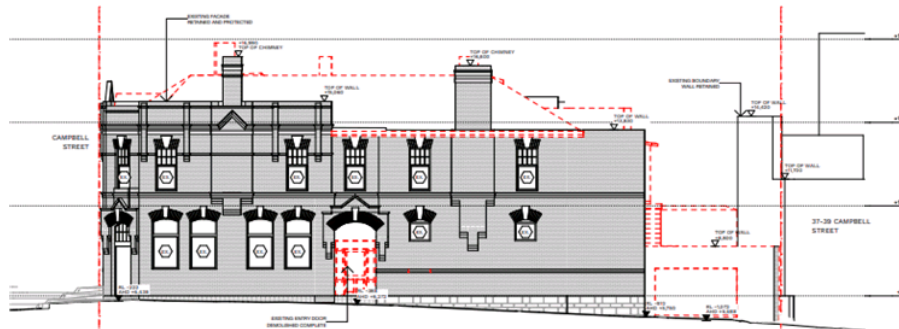


Figure 3 - Proposed Demolition Sackville Street elevation (Source: Cumulus)

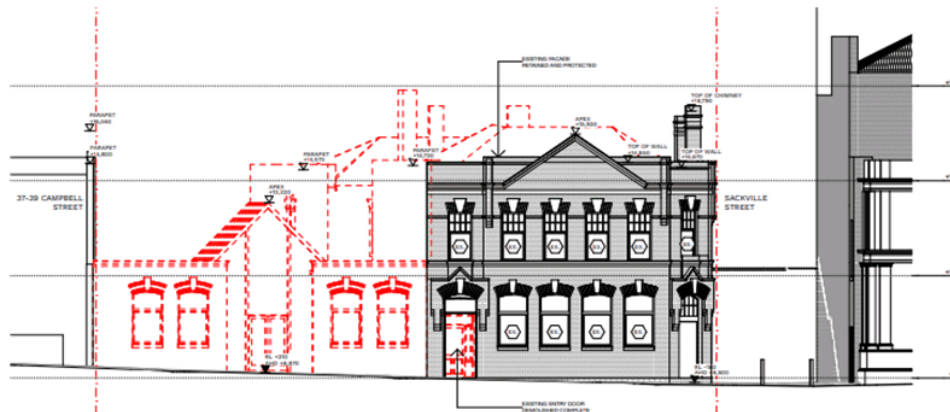


Figure 4 -Proposed Demolition Campbell Street Elevation (Source: Cumulus)

Use

The proposed building is to be used as follows:

Ground Floor: Reception and entry foyer, multipurpose therapy rooms, quiet rooms, communal lounge, kitchen/dining, library, computer nook, and access to a landscaped courtyard.

Level 1: Allied health facilities and consulting suites.

Levels 2 and 3: Residential accommodation comprising studio and 2-bedroom apartments, supported by communal kitchen/lounges and laundry areas. This accommodation is intended for patients undergoing treatment or carers supporting patients in nearby medical facilities.

Development

The new structure rises to a total height of approximately 17m (to the top of the parapet screen) and is set behind the retained Campbell Street façade. The development includes a garden courtyard on the northern side, which provides separation from the heritage-listed boundary walls and allows for their respectful incorporation into the new design. The proposal enhances site amenity, preserves important historic elements, and introduces a therapeutic landscape setting to support the wellbeing functions of the building.

Materials and finishes

The proposed redevelopment adopts a carefully chosen materials palette that reflects a balance between contemporary design and sensitivity to the retained early 20th-century façade and surrounding heritage context. The materials have been selected to provide durability, visual interest, and a warm, therapeutic environment appropriate to the building's health and wellness function.

Existing Façade (Campbell Street)

- Retention and restoration of the early 20th-century masonry façade.
- No external rendering proposed; detailing such as parapets and window reveals will be preserved to maintain character and legibility.

New Building Structure (Upper Levels and Rear Form)

Wall Cladding:

- Ground floor face brickwork

AllUrbanPlanning

- Vertical metal cladding in warm-toned finishes, contributing a refined but recessive character behind the retained façade.
- Materials are detailed with varied profiles and shadow lines to break down mass and create depth.
- Likely colour: medium tone warm colours or soft matte tones to visually soften glazing elements and blend with masonry.

Courtyard and Outdoor Areas

- The northern courtyard is framed by the new building and retains views of the heritage-listed boundary walls.
- Surfaces include landscaped soft elements, paved areas, and garden edges designed to create a calm, restorative space.

Roof Form and Screening

- The roof is low-pitched or concealed, designed to be visually recessive from street view and not to dominate the retained façade.

These materials collectively aim to support the project's vision of delivering a world-class Wellness Centre with a calm, healing atmosphere, while respecting the surrounding built form and heritage elements.

Description of the activity

Hours of operation

It is anticipated that the Wellness Centre will operate between the hours of 8.30am – 5pm, 5 days a week noting that levels 3 and 4 will be residential accommodation and there will be some self-managed services available for residents (lounge facilities, tea/coffee etc) outside of the staffed daytime hours. Separate 24x7 access will be provided for the residents in accommodation.

Staff

The core-full-time team will consist of 2-3 administration staff including a wellbeing operations Coordinator. They will primarily be involved with managing and operating the wellbeing centre as well as coordinating patients and services. The wellbeing centre will also employ 4-6 part-time consultancy staff to deliver the services to patients and their families and carers. These roles include counsellors, therapists, dietitians/nutritionists, exercise physiologists, carer support etc. Maintenance, waste management services and general cleaning will be sourced via contracted arrangements.

Visitors

The consultancy services will be generally managed by pre booked appointments and a number of visitors will use the facility while waiting for patients who may be undergoing treatment at the hospital. It is anticipated that the Centre will have on average between 15-20 visitors per day.

Accommodation

The proposed Wellness Centre provides 12 self-contained units for cancer patients and their families and carers that is onsite and therefore co-located with the Royal Hobart Hospital especially as many patients live outside Hobart.

This service provides patients and their families safe and purpose-built places to stay during treatment. Key benefits include reduced out-of-pocket costs, stress, and fatigue for patients from travel as

AllUrbanPlanning

patients primarily require affordable accommodation options that are proximate to the hospital and long-term to cover the 6 to 8 weeks of clinical treatment.

Deliveries and servicing

Deliveries and short-term visitor drop-offs associated with the development are proposed to occur via the kerbside along Sackville Street. This location has been selected for its proximity to the site's main entry points, allowing convenient access for couriers, service vehicles, and visitors.

Kerbside arrangements are anticipated to be low-impact and to occur intermittently throughout the day and will generally fall outside peak traffic periods, minimising disruption to local traffic flow and residential amenity.

No formal loading bay is proposed on-site due to the constrained urban setting and the nature of the development, which does not require high-volume or high-frequency deliveries. It is expected that all delivery and service activities can be accommodated within the existing street network without adverse impacts. Visitor drop-offs, including rideshare services or short-stay parking for guests, will similarly utilise available on-street parking spaces in Sackville Street or nearby areas.

This kerbside approach aligns with the site's urban context, supporting efficient access without the need for extensive service vehicle infrastructure or dedicated on-site facilities.

Adhesion of titles

It is proposed that the existing titles will be adhered.

4. Planning Scheme

The site is located with Activity Area 1 Inner City Residential of the planning scheme. The site is located outside the area of the Wapping Local Area Plan.

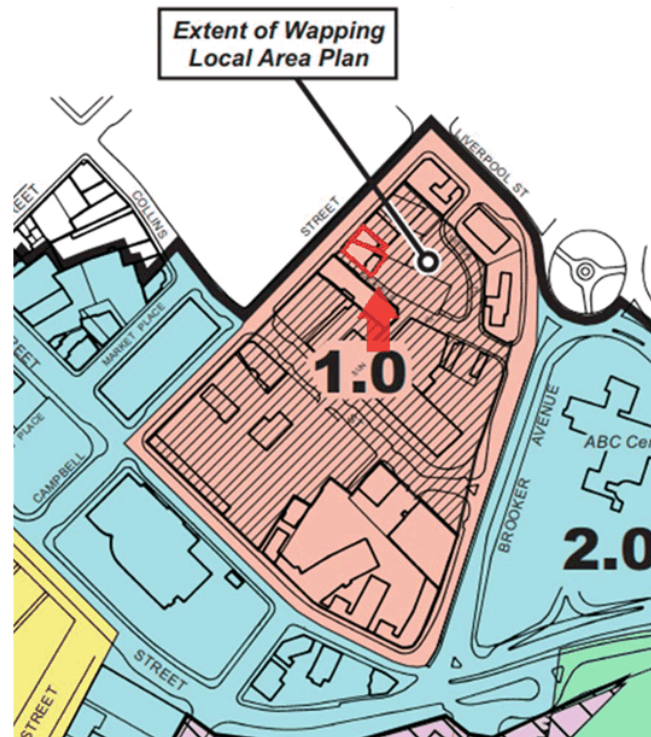


Figure 5 - The site is located within Activity Area 1.0 of the Sullivans Cove Planning Scheme and outside the area of the Wapping Local Area Plan.

Activity Area 1 Inner City Residential

The Objectives of the Activity Area (clause 15.2) are:

- To provide for the development of an inner city residential neighbourhood providing quality urban housing for a range of household types and income groups.
- To ensure that residential development is the primary focus throughout the Activity Area but allow non-residential uses to be developed on a flexible performance approach based on the amenity and characteristics of specific sites.
- To retain and restore where appropriate buildings of cultural significance.
- To ensure that building masses and facades appropriately relate to the spaces they form. Streets within the Zone be considered as spaces in their own right.
- To encourage architecture of the highest quality which is modern in approach but at the same time incorporate some interpretation of the history of the area as appropriate.
- To ensure that new development incorporate historic cues, whilst not relying on historical mimicry.

All Urban Planning and Use

- *To facilitate the transition from the CBD by allowing substantial commercial uses on key sites on the main connecting streets (Campbell and Collins Streets) or in places where reasonable residential amenity is unachievable because of existing traffic or environmental impacts. These commercial uses must not themselves diminish the amenity of or the potential for adjacent residential development.*
- *To encourage frontages of commercial activity only on the ground floor of buildings abutting streets.*
- *To encourage commercial activity in existing buildings where this is required to assist in their conservation.*
- *To encourage a mix of uses on the sites in the west and north-west of the Activity Area and fronting Campbell Street.*

The proposed Wellness Centre supports the Objectives of the Activity Area by repurposing an underutilised inner-city site into a high-quality urban development that promotes public health and well-being. The retained early 20th-century façade of the former Theatre Royal Hotel maintains a link to the site's cultural history, while the new four-storey structure adopts a modern architectural form that respectfully incorporates historic cues without mimicking historic styles. Activity is appropriately focused at street level, activating the public realm and contributing to a vibrant urban streetscape. The development's scale and massing are sympathetic to adjacent heritage buildings, including the Theatre Royal and Hedberg, and a landscaped courtyard enhances amenity while visually integrating nearby heritage walls. The proposal exemplifies a performance-based approach by responding to site-specific conditions and contributes to the area's transitional character between the CBD and adjoining precincts.

Proposed Use

A wellness centre is not a defined use under the planning scheme. The use is therefore to be categorised according to its activities which include:

Ground Floor:	Reception and entry foyer, multipurpose therapy rooms, quiet rooms, communal lounge, kitchen/dining, library, computer nook, and access to a shared landscaped courtyard.
Level 1:	Allied health facilities and consulting suites
Levels 2 and 3:	Residential accommodation comprising studio and 2-bedroom apartments, supported by communal kitchen/lounges and laundry areas. This accommodation is intended for patients undergoing treatment or carers supporting patients in nearby medical facilities.

These uses are considered to fall within the following Use Classes under the planning scheme:

Office (Consulting rooms) - *A building or part of a building (not being a hospital) used in the practice of one or more medical, veterinary, or dental practitioners, or by registered practitioners of any therapeutic art or science.*

Visitor Accommodation - *Means the use of buildings and spaces for short term occupancy by people who are visitors to the Planning Area, including Residential Hotel, Holiday Unit and Motel.*

The allowable uses for this site, located outside the Wapping Local Area Plan are set out under the Use Table in Clause 15.3 of the planning scheme. *Visitor accommodation* and *Office (Consulting Rooms)* are both Permitted Uses and therefore appropriate.

Effect on amenity of the Wapping Local Area Plan Precinct (15.3.6)

The proposed wellness centre will not detrimentally affect the amenity of the Wapping Local Area Plan Precinct. The Wellness Centre use is of a low-impact, non-industrial nature and is compatible with the

AllUrbanPlanning

inner-city context, offering services that support community well-being without generating adverse off-site effects.

- Transport of materials and goods associated with the development will be limited to standard construction and maintenance periods and managed in accordance with industry best practice. Ongoing operational traffic is expected to be typical of medical or consulting uses, generating minimal commercial deliveries and no significant freight activity.
- Appearance of buildings and works will enhance the streetscape through the retention and restoration of the early 20th-century façade, coupled with a contemporary but respectful upper-level addition that complements the urban character of the precinct. The proposed development maintains visual cohesion with adjacent heritage sites and surrounding buildings.
- Emissions (noise, light, odour, etc.) will be effectively controlled. The wellness centre use will not involve any industrial or intensive activities that produce fumes, dust, smoke, or similar pollutants. Any external lighting will be designed to avoid light spill beyond the site boundaries, and plant equipment will be acoustically treated to avoid unreasonable noise emissions. Wastewater and other services will connect to existing infrastructure and be managed in accordance with regulated standards.

Accordingly, the proposal will not generate any unreasonable impacts on the amenity of the Wapping Precinct and satisfies the intent of Clause 15.3.6.

Development of Land (15.4)

Development within Activity Area 1.0 is to be assessed under the following Schedule of the planning scheme.

4.1 Schedule 1 – Conservation of Cultural Heritage Values

The site is not listed as a Place of Cultural Significance under Table 1 of Schedule 1 of the planning scheme. The existing brick wall adjacent to the rear of the site and surrounding the Theatre Mews apartments fronting Sackville Street (referenced as part of 37-49 Campbell Street and Parcel 6 of Wapping) is listed as a heritage place under Table 1 and will be retained.

The site is not identified as a Place of Archaeological Sensitivity under Figure 5a of the planning scheme.

The site is also not listed on the Tasmanian Heritage Register.

AllUrbanPlanning

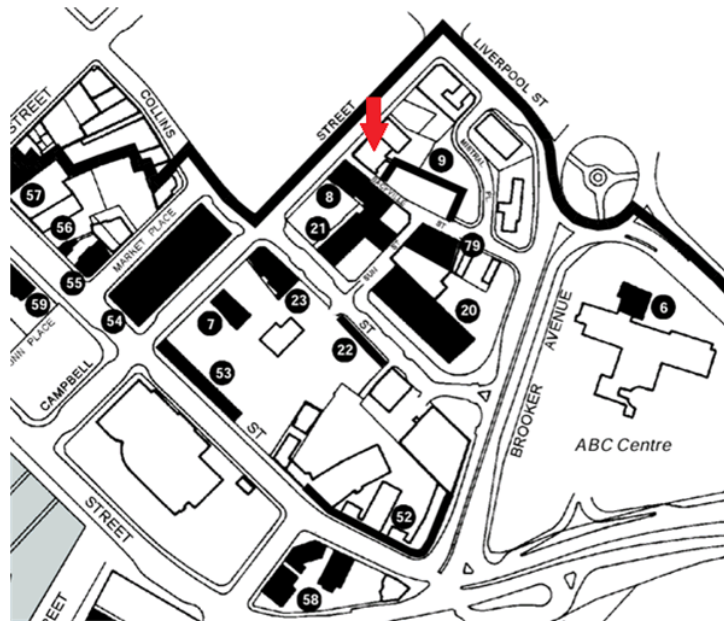


Figure 6 - Places of Cultural Significance (Source: Figure 5 planning scheme)

'Building or Works' on land not included in Table 1 (22.5)

The controls of this clause apply to 'building or works' on all land within the Planning Area, excepting places of cultural significance under Clause 22.4.

Permitted Building or Works (22.5.4)

'Building or works' on other land within the planning area is 'permitted' in respect to this Schedule where it can be demonstrated that the following 'deemed to comply' standards can be met:

For 'building or works' on sites adjacent (as defined in clause 22.3) to a place of cultural significance:

- The height of 'building or works' adjacent to places of cultural significance must not exceed that of any building on the place, at a distance of less than 10 (horizontal) metres from the building; and
- The area of the facade of any new 'building or works' must not exceed that of the facade of an adjacent place of cultural significance by a factor of 2.

The proposal will not exceed the height of the adjacent Theatre Royal listed place but the area of the new façade will exceed the size of the façade of that place by more than a factor of 2 (see Figure 7 below). The proposal is therefore to be assessed under the Discretionary criteria of Clause 22.5.5.

AllUrbanPlanning

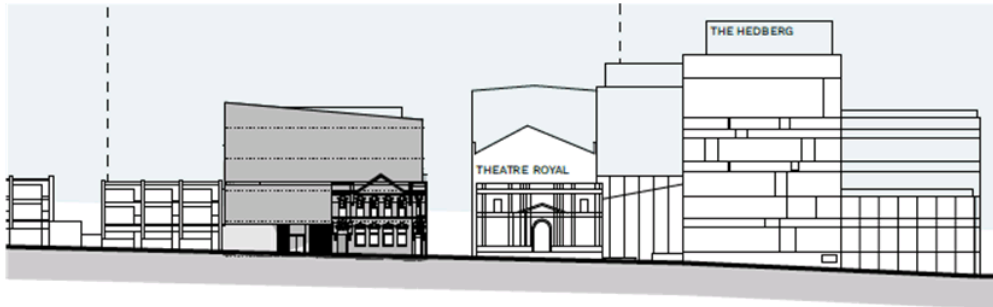


Figure 7 - Campbell Street elevation showing relative height with The Theatre Royal (Source: Cumulus)

‘Discretionary’ Building or Works’ (22.5.5)

‘Building or works’ on land which cannot satisfy the ‘deemed to comply’ provisions of Clause 22.5.4 are discretionary. The following criteria must be taken into consideration in the assessment of all proposals for ‘building or works’ and have been addressed in the accompanying Heritage Impact Statement (HIS) prepared by Garry Forward.

Performance criteria

‘Building or works’ adjacent to a place of cultural significance must not dominate that place when viewed from the street or any other public space, or be more prominent in the street than the adjacent place of cultural significance.

Assessment:

The HIS considers that the proposal satisfies this criterion as follows:

The proposed building will not dominate the adjacent listed buildings, in particular the Theatre Royal. This building has a two-storey stone façade of 19th Century origin but escalates quickly in height to approximately 27 metres of the modern metal clad fly-tower. The intervening theatre auditorium is built in brick over stone and is approximately five stories in height.

This is a complex building in its construction material, architectural form and height. The new building proposal across Sackville Street is equally diverse in that the original façade is maintained and the new structure behind is contemporary but only rising some four storeys.

The comparison is further attenuated by the separation of each structure by Sackville Street. In comparison to the Hedberg which physically adjoins the Theatre Royal and rises to 30 – 34 metres.

The adjacency of the listed walls at the rear of the former Theatre Royal Hotel are scarcely seen from any street and therefore are not an essential element of comparison. However, it is noted that the new building sets back from them making them more prominent across the proposed courtyard garden.

Performance criteria

The area of the façade of any new building may be permitted to exceed that of the building on an adjacent place of cultural significance where the Planning Authority is satisfied that the visual

AllUrbanPlanning

impact of the apparent disparity of scale is not significant or that historic precedent warrants the scale disparity.

Assessment:

The HIS considers that the proposal satisfies this criterion as follows:

The new building maintains the former façade of the Theatre Royal Hotel but recolours it to more closely correspond with its original unpainted brick appearance. While the new façade rises two storeys above the retained façade, this will read as complimentary and in step with the stepped height increase of the Theatre Royal.

It moreover, is substantially less in bulk and physical presence than the Hedberg that adjoins the Theatre Royal.

Performance criteria

The location, bulk and appearance of “building or works” must not adversely affect the heritage values of any adjacent or nearby place of cultural significance.

Assessment:

The HIS considers that the proposal satisfies this criterion for the reasons discussed above.

Performance criteria

“Building of works” must not reduce the heritage value of any adjacent places of cultural significance by mimicking historic forms.

Assessment:

The HIS considers that the proposal satisfies this criterion as follows:

This new building proposal does not mimic historic forms but is contemporary in its architectural modelling and expression forming a wrap around the existing façade of the Theatre Royal Hotel.

The HIS concludes that the proposal satisfies Clause 22.5.5 and that:

- the retained façade of the Theatre Royal Hotel should be coloured to represent its original appearance.
- it is recommended that a storyboard be made to illustrate the history of the site. This board should be placed in a prominent position and be made in durable material and finishes.

These recommendations have been incorporated into the proposed design.

Places of Archaeological Sensitivity (22.6)

The site is not identified as a Place of Archaeological Sensitivity under Figure 5a of the planning scheme. This Clause therefore does not apply.

4.2 Schedule 2 - Urban Form

The urban Form Schedule sets out the relevant standards under 23.6.1 of the Planning Scheme. Under 23.6.2 Development which cannot satisfy the ‘deemed to comply’ provisions of Clause 23.6.1 may be approved at the discretion of the Planning Authority taking into consideration the Objectives in Clause 23.2.

AllUrbanPlanning

Height

The permitted height under Figure 8 and Table A is 12m as shown below.

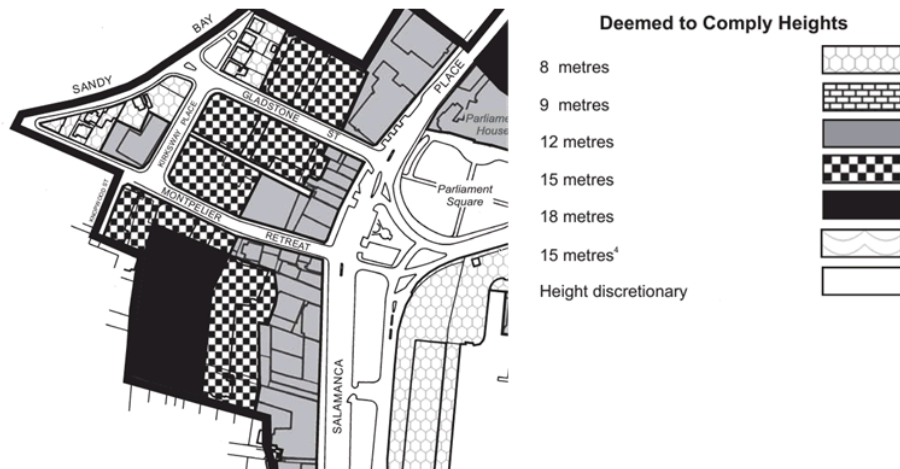


Figure 8 - Deemed to Comply Heights (Source: Figure 8 planning scheme)

The proposal will exceed this deemed to comply height with a proposed maximum height of approximately 14.8m to the roof and approximately 17m to the highest point of the wrap around parapet screen of the façade.

The following comments are provided against the objectives of the Urban Form Schedule under 23.2 of the Planning Scheme.

- *The traditional urban pattern of Sullivans Cove is to be conserved. A contemporary adaptation is to be created in development/redevelopment areas.*

Comment

The proposal conserves the traditional urban pattern of Sullivans Cove by retaining the original early 20th-century façade of the former Theatre Royal Hotel. The new development respects the traditional alignment and footprint while introducing a contemporary built form behind the historic frontage. This creates a layered architectural outcome that integrates heritage values with a modern expression, contributing to the visual richness and urban continuity of the precinct.

- *Views to Sullivans Cove along primary spaces are to be retained, especially to the River Derwent.*

Comment

The proposal maintains all existing views to Sullivans Cove and the River Derwent along primary public spaces. The building envelope does not obstruct any key view lines identified under the Planning Scheme.

- *Views over the land bounded by Tasman Highway, Brooker Avenue and Liverpool Street from the City and Wapping to the Domain and from the Domain and Tasman Highway to the City are to be retained.*

AllUrbanPlanning

Comment

The proposed development is not located within or adjacent to the land bounded by the Tasman Highway, Brooker Avenue or Liverpool Street and does not intrude into or affect any of the protected view corridors. The proposal therefore has no impact on the views between the City, Wapping and the Domain.

- *Expression of the Wall of the Cove is to be encouraged where possible.*

Comment

The proposed extensions are located behind the 'Wall' of the Cove and will not interrupt its expression.

- *The bulk and height of buildings must reflect the natural topography of the Sullivans Cove Planning Area, the amphitheatre sloping down to the Cove and the Macquarie Street and Regatta Point Ridges.*

Comment

The development reflects the Cove's topographic structure by limiting overall height to four storeys and contributing to the broader amphitheatre character that defines the Cove's urban form.

- *A diversity of building heights and volumes will be encouraged within this over-riding pattern, but buildings must have a respectful relationship to each other and to buildings of identified cultural significance within a street.*

Comment

The development achieves respectful visual relationships with neighbouring buildings of cultural significance, particularly the Theatre Royal. It does this through careful modulation of built form, material selection, and scale. While providing architectural contrast and diversity, the proposal avoids abrupt or dominating transitions, thereby maintaining urban cohesion along the street.

- *New buildings must not be individually prominent in terms of contrast with neighbouring buildings by being significantly higher or having a larger apparent size when viewed in street elevation.*

Comment

The proposal maintains a modest profile in street elevation, sitting below the scale of the adjacent Hedberg and Theatre Royal fly tower. By retaining the original façade and limiting the building's height, it avoids visual dominance and does not appear prominently in the Campbell Street streetscape.

- *New buildings should facilitate the creation of 'secondary spaces' on lots in the Cove. Such spaces should be encouraged where they demonstrably create useable pedestrian environments and facilitate pedestrian movement and views.*

Comment

The proposal includes a landscaped garden courtyard at the northern side of the site, effectively creating a high-quality secondary space. This area enhances pedestrian amenity, allows visual appreciation of adjacent heritage walls, and introduces light and openness into the otherwise dense urban block.

- *New urban gardens are to be encouraged in secondary spaces only.*

AllUrbanPlanning

Comment

The development complies with this objective by incorporating an urban garden in a secondary space at the rear/northern edge of the site accessed off Sackville Street. This space is not visible from the primary street frontage, ensuring that the traditional urban edge to Campbell Street remains intact while enhancing the site's internal amenity and contribution to the broader public realm.

The proposal is to be assessed under Clauses 23.6.1A (New Buildings) and 23.6.1B (Extensions to Existing Buildings).

Alignment – Primary Space

The proposal will align the Primary Campbell Street frontage and therefore meets the Permitted requirement for Buildings to be built to the street line.

Alignment – Secondary Space

The proposal will align the Secondary, Sackville Street frontage and therefore meets the Permitted requirements for buildings to align a secondary street frontage.

Plot Ratio

The permitted plot ratio under Figure 8 and Table A is 2.5.

The proposal involves a total floor area of 1432m² on the 571m² site. This equates to a plot ratio of 2.50 and complies with the permitted standard.

Apparent Size:

The length of the proposed building in street elevation is approximately 21m to Campbell Street (which has a road reservation approximately 19m) and 20m to Sackville Street (a road reservation approximately 5m wide). The apparent size of the proposed building comfortably complies in relation to the Campbell Street frontage but is more than twice the width of Sackville Street on that elevation. As discussed above, the proposal is considered to satisfy the relevant objectives of this Schedule and is therefore acceptable.

Building Surfaces

Building Surfaces	'Deemed to Comply' Provision
Building Façade to a Primary Space	<ul style="list-style-type: none"> Surfaces must be primarily masonry. A maximum allowable void of 50 percent is permissible in all street frontage elevations. Surfaces of facades to primary space must comprise high quality finishes that reinforce the status as a primary building frontage.
Building Façade to a Secondary Space	<ul style="list-style-type: none"> Surface must be finished so as to be presented in a less detailed and ornate manner than the surface of the building to a primary space, or the surfaces of adjacent buildings to primary spaces.
Night-Lighting	<ul style="list-style-type: none"> Must accentuate the wall of the building when illuminated, and where appropriate also highlight the landscaping.

Campbell Street is identified as a Primary Space and Sackville Street as a Secondary Space under Figure 7 of the planning scheme. The proposal includes ground floor level brickwork. However the upper levels do not meet the 'deemed to comply' provisions in relation to building surfaces, particularly the

AllUrbanPlanning

requirement for predominantly masonry construction. Accordingly, the proposal is assessed against the Objectives of Clause 23.7.1 and the broader Urban Form Schedule.

In this context, the proposed development demonstrates a contextually responsive design that is sympathetic to the established character of the area. The retention of the early 20th-century façade maintains the strong masonry expression along Campbell and Sackville Streets, reinforcing the traditional streetscape character. Above and behind this façade, the new elements adopt a contemporary architectural language with carefully modulated voids, refined materiality, and restrained colours that harmonise with adjacent buildings of cultural significance, including the Theatre Royal and the Hedberg.

The use of solid elements in the upper levels—including vertical screening, articulated cladding, and deep reveals—ensures visual solidity and rhythm, effectively referencing the mass-to-void relationship of traditional masonry buildings without resorting to mimicry. Along Sackville Street, the façade treatment appropriately responds to its classification as a Secondary Space, with a softened transition to the adjoining streetscape.

Overall, the proposal meets the performance-based intent of Clause 23.7.1 by achieving a built outcome that respects the urban hierarchy of spaces and contributes positively to the cohesive and culturally layered character of Sullivans Cove.

Schedule 3 - Public Open Space

The site is within the Rear of Cove Public Urban Space Type on Figure 9 of the planning scheme. The Table included in Clause 24.4.2 of this Schedule states that the construction, exterior alteration or exterior decoration of any building do not require assessment in this 'Rear of the Cove' Area.

Schedule 4 – Signs

Any signage that requires approval will be the subject of a further application.

Schedule 5 – Traffic Access and Parking

Schedule 5 of the planning scheme states that in general, car parking will not be required to be provided on-site for any use or development.

Schedule 7 – Demolition

The proposed demolition involves a building that is not identified as having cultural significance and is not listed in Table 1 of the Conservation of Cultural Heritage Values Schedule. The building is also not listed as part of a place on the Tasmanian Heritage Register.

A heritage assessment has been undertaken and confirms that the existing building does not contribute to the cultural heritage values or urban character of the Cove and does not warrant retention on heritage grounds.

In accordance with Clause 22.5.3 and Schedule 7 of the planning scheme, the following matters have been considered:

- Impact on Character and Cultural Heritage Values:

The extent of the building to be demolished is of no identified cultural heritage significance and does not contribute meaningfully to the urban character or historical fabric of the Activity Area. Its removal will not detract from the heritage values of the Cove.

- Avoidance of Vacant or 'Lost Space':

The proposed demolition is directly associated with a redevelopment proposal for the site, which forms part of this application. This ensures the demolition will not result in a vacant or

AllUrbanPlanning

underutilised site, and will instead support the ongoing activation and appropriate development of the area.

Accordingly, the proposal satisfies the intent and objectives of Schedule 7 and Clause 28.6, and supports the broader aims of managing change in the Cove while protecting its cultural and urban character.

Schedule 8 – Environmental Management

This control applies to the assessment of all permissible ‘Level 1’ and ‘Level 2’ activities in the Sullivans Cove Planning Area. The proposal is a Level 1 Activity.

The Objectives of the Schedule under Clause 29.2 are:

- *To ensure that activities are managed in a way which facilitates the ecologically sustainable development of the Cove’s natural and physical resources and the maintenance of ecological processes and genetic diversity.*
- *To ensure that activities are managed in a way which will not cause environmental nuisance or material or serious environmental harm.*

Under Clause 29.5, the following environmental objectives are relevant to this proposal:

Air Quality

Activities shall demonstrate ‘Best Practice Environmental Management’ in respect to the minimisation and mitigation of all discharges to the atmosphere.

Assessment:

The proposal includes mechanical ventilation and air extraction systems designed to meet contemporary environmental standards, consistent with best practice for commercial wellness/medical uses. No significant emissions or pollutants are anticipated as part of normal operations.

Energy Efficiency

Use and development must demonstrate measures undertaken to improve energy efficiency in the design, layout and use of new and existing buildings.

Assessment:

The proposed redevelopment includes a new four-storey structure that will comply with the National Construction Code (NCC) energy efficiency requirements. Glazing, insulation, and mechanical services will be designed to reduce operational energy consumption in line with current best practices.

Flora and Fauna

Flora and fauna of significance within the Sullivans Cove Planning Area must be protected. In particular, the habitats of the Derwent Estuary and Sullivans Cove water environment must be protected from the adverse environmental impacts of activities.

Assessment:

The proposal will not impact on flora and fauna values.

Hazard and Risk

Land within the Cove must be used and developed in a manner which provides a safe working and living environment. In doing so, best practices must be employed in respect to the handling of dangerous goods and all relevant dangerous goods and environmental laws complied with.

AllUrbanPlanning**Assessment:**

The site is not subject to any identified natural hazards or environmental risks including risk of flooding. Construction and operation will be undertaken in compliance with the NCC and relevant workplace safety and environmental protection regulations.

Land Contamination

New activities which are proposed on land with a known history of industrial or other use where potential for contamination exists shall be accompanied by an environmental audit including an assessment of site condition.

Contaminated land shall be managed in a manner which is compatible with the intended future use of the area. New activities on known contaminated sites must only be 'permitted' to occur after appropriate clean-up of the site, or where it is clearly demonstrated that the proposed activity will not result in an immediate or likely long term hazard to human health or the environment. Land Reclamation Land forming and reclamation activities, where required, shall be carried out in a manner which minimises adverse environmental consequences.

Assessment:

The sites historical use as a hotel was not a potentially contaminating activity and the proposed sensitive residential use is to be located on Levels 2 and 3 of the building, well separated from any underlying ground conditions. The proposal is not considered to conflict with this Objective.

Noise

Buildings shall be sited and designed having regard to current noise levels in the area as well as their intended use. Where activities with the potential to generate significant noise are proposed in proximity to residential accommodation and other 'noise sensitive' activities, appropriate measures to mitigate and minimise noise emissions must be undertaken. New 'noise sensitive' activities such as residential accommodation shall be located and where necessary incorporate acoustic measures to minimise the potentially adverse impacts of existing or likely future activities on nearby land.

Assessment:

The proposal will incorporate an acoustic screen around the rooftop plant as well as other design features and construction materials to mitigate potential noise impacts. The separation of residential uses above the ground floor further limits exposure to any incidental noise from the street or nearby activities. The development is therefore considered to be consistent with the objective to protect and manage acoustic amenity for both future occupants and neighbouring uses.

Waste Minimisation

Activities must demonstrate how the practices and process associated with the activity will reduce as much as possible the amount of waste generated or the amount which requires subsequent treatment, storage or disposal. Activities must address waste minimisation from the source (source reduction) and recycling. Where appropriate, applications for new activities must include a waste management plan. Activities within roads and other public spaces must incorporate where relevant suitable waste and litter management facilities.

Assessment:

A detailed Waste Management Plan will be prepared for the development and will outline the procedures for waste separation, recycling, and collection across all site uses. A dedicated waste storage area has been incorporated into the site layout, appropriately sized to manage the expected waste streams from both the commercial and residential components of the development.

AllUrbanPlanning

The design provides for efficient and safe waste collection, with vehicle access facilitated via a sliding gate on Sackville Street. This arrangement ensures convenient and unobstructed servicing of the site without adverse impacts on pedestrian or traffic safety.

The proposal therefore aligns with best practice waste minimisation principles and satisfies the relevant planning objectives regarding sustainable waste generation, storage, and collection.

Water Quality

Activities shall demonstrate 'Best Practice Environmental Management' in respect to water use and management. Water use and disposal shall be managed in a manner which seeks to minimise off site disposal and which seeks to protect and, where possible, improve ambient water quality. The principles of minimising water sewage and waste water generation and the re-use, recycling and pre-treatment of waste water prior to disposal must be encouraged.

Assessment:

The proposal will be drained to existing public stormwater infrastructure as detailed in the accompanying concept servicing report prepared by JMG.

5. Conclusion

The proposed redevelopment of 31–35 Campbell Street for the SHE Wellness Centre represents a high-quality, contemporary infill project that is consistent with the intent and objectives of the planning scheme.

The proposed uses comprising allied health consulting rooms and short-term visitor accommodation are permitted on the site under the provisions of Activity Area 1 - Inner City Residential (Wapping) and have been carefully configured to activate the ground level and support a mix of complementary activities within a transitional inner-city precinct.

The development achieves a respectful relationship with its heritage context through the retention and restoration of the early 20th-century façade of the former Theatre Royal Hotel and through a new building form that adopts a subdued palette, modest scale, and layered articulation. The design draws from historic cues without resorting to mimicry, reinforcing the Cove's character as a living cultural landscape.

Where demolition is proposed, it has been demonstrated that the works involve no buildings or fabric of identified cultural significance, and that Schedule 7 – Demolition is satisfied by virtue of the development's integration into the site and the absence of any resulting 'lost space'.

The proposal has been assessed against the relevant clauses of the planning scheme including:

- Clause 15.0 – Activity Area Objectives and Use Standards
- Schedule 1 – Conservation of Cultural Heritage Values
- Schedule 2 – Urban Form
- Schedule 7 – Demolition
- Schedule 8 – Environmental Management

Where the development departs from 'deemed to comply' provisions, such as façade area and height, the proposal satisfies the discretionary performance criteria. Notably, the development does not dominate adjacent places of cultural significance, such as the Theatre Royal, and contributes to the architectural layering and public realm of the Cove.

AllUrbanPlanning

Overall, the proposal represents a sensitive and contextually responsive redevelopment that will deliver meaningful community benefit through enhanced health and support services in a central, well-connected location. It maintains cultural continuity while facilitating architectural innovation and urban renewal.

The application is therefore recommended for approval as a discretionary application, subject to public advertisement pursuant to Section 57 of the Land Use Planning and Approvals Act 1993.

SHE CANCER WELLNESS CENTRE

31-35 CAMPBELL ST

CUMULUS RESPECTFULLY ACKNOWLEDGES THE FIRST PEOPLES OF AUSTRALIA, THEIR ELDERS PAST, PRESENT AND EMERGING, WHO WERE AND ARE THE KEEPERS OF THEIR CULTURAL AND SPIRITUAL KNOWLEDGE AND TRADITIONS, AND THE TRADITIONAL CUSTODIANS OF THE LAND ON WHICH WE LIVE AND WORK.

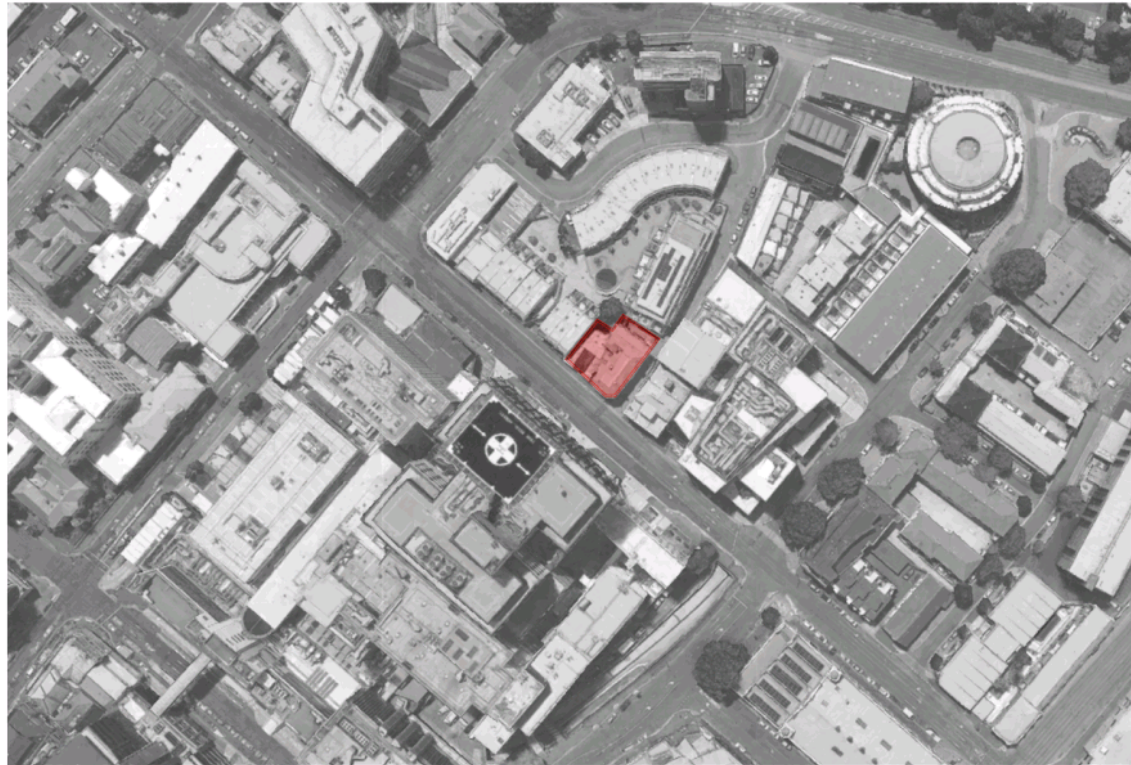
PROJECT BRIEF + LOCATION

The SHE Cancer Wellness Centre aims to provide a place of rest, respite and support for cancer patients and their support team.

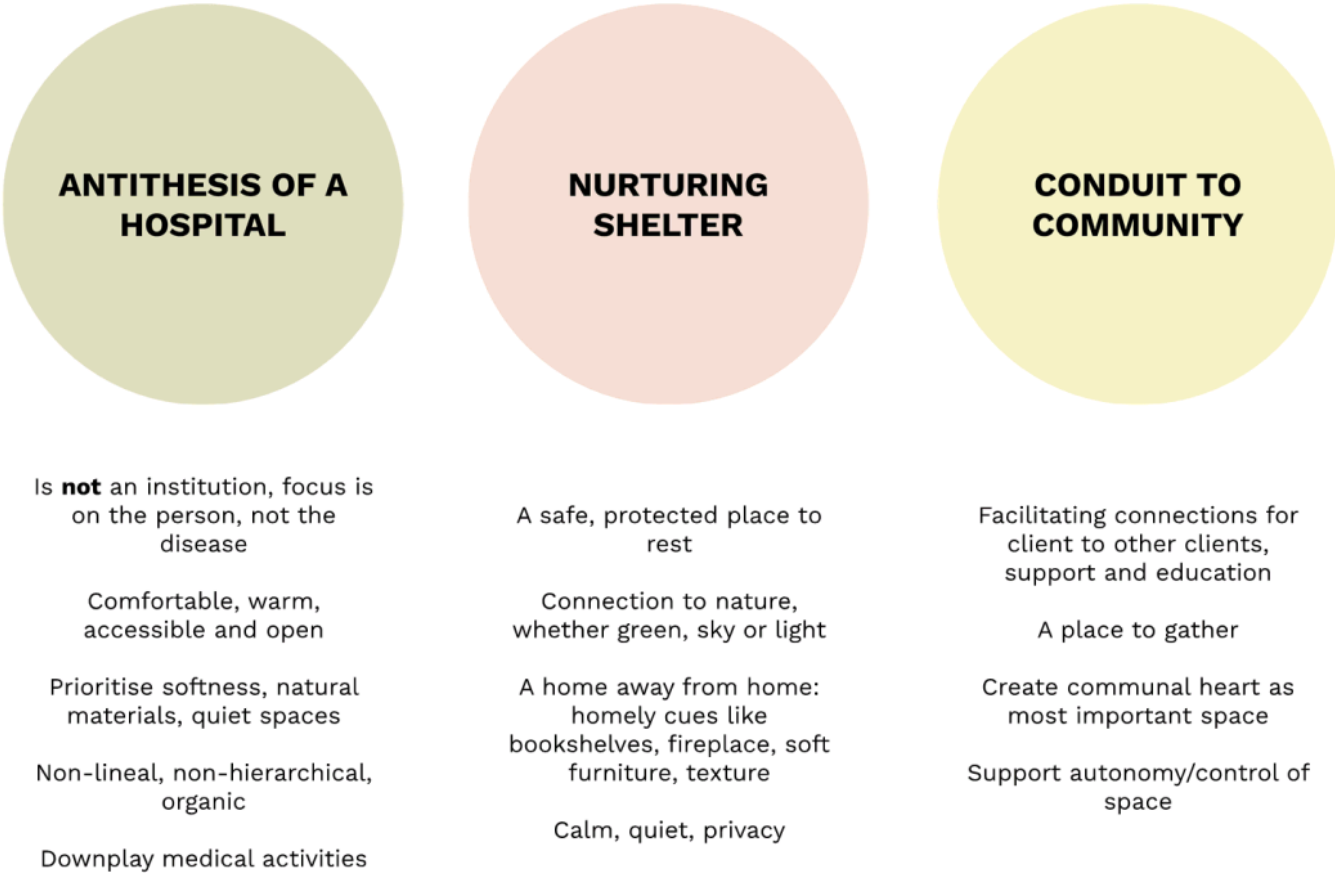
Based on the Maggie's Centre model, the wellness centre will *"give people with cancer, their families and friends somewhere to turn to at an extremely difficult moment in their lives. ...they are informal "domestic" buildings where people can draw on practical, emotional and social support when they need it..."*

Along with the ground floor wellness centre and communal spaces, the building will also house an allied health level with supporting consultant services, as well as much needed affordable accommodation for those undergoing treatment away from home, with 11 self contained apartments.

Centrally located, the 31-35 Campbell St site is in close proximity to the Royal Hobart Hospital and other healthcare services.



DESIGN PILLARS



SITE - EXISTING BUILDING

The proposal includes the demolition of the existing Theatre Royal Hotel with only the repurposing of the original facade along the Campbell St and Sackville St boundaries.

Consideration was given to retaining more of the existing building, however it is in effect two buildings and not conducive to an open ground floor wellness centre and would significantly limit the possibility of a well oriented communal outdoor space; crucial to the wellness centre.

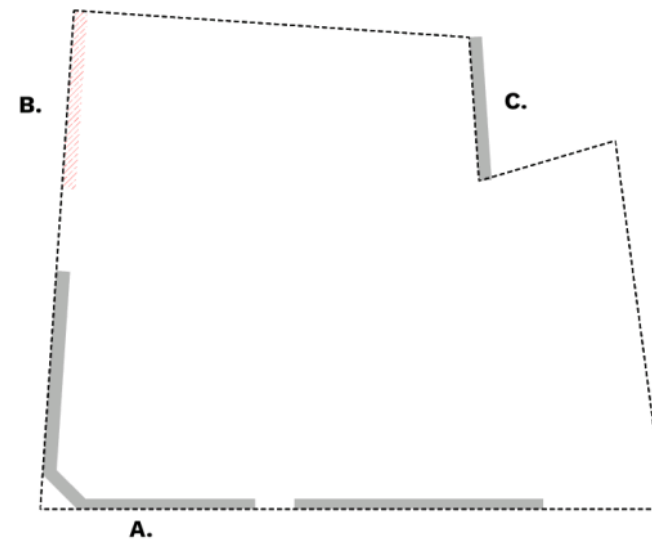
The existing building is not heritage listed and has previously been modified to suit other uses and with some parts in poor condition.



DIAGRAMS - PLANNING

1. HERITAGE VALUE FEATURES

- A. Retain existing heritage value facade
- B. Demolish to extent required for services/connections at street
- C. Retain existing heritage value sandstone wall to northern boundary, and ensure any building setback by minimum 1m



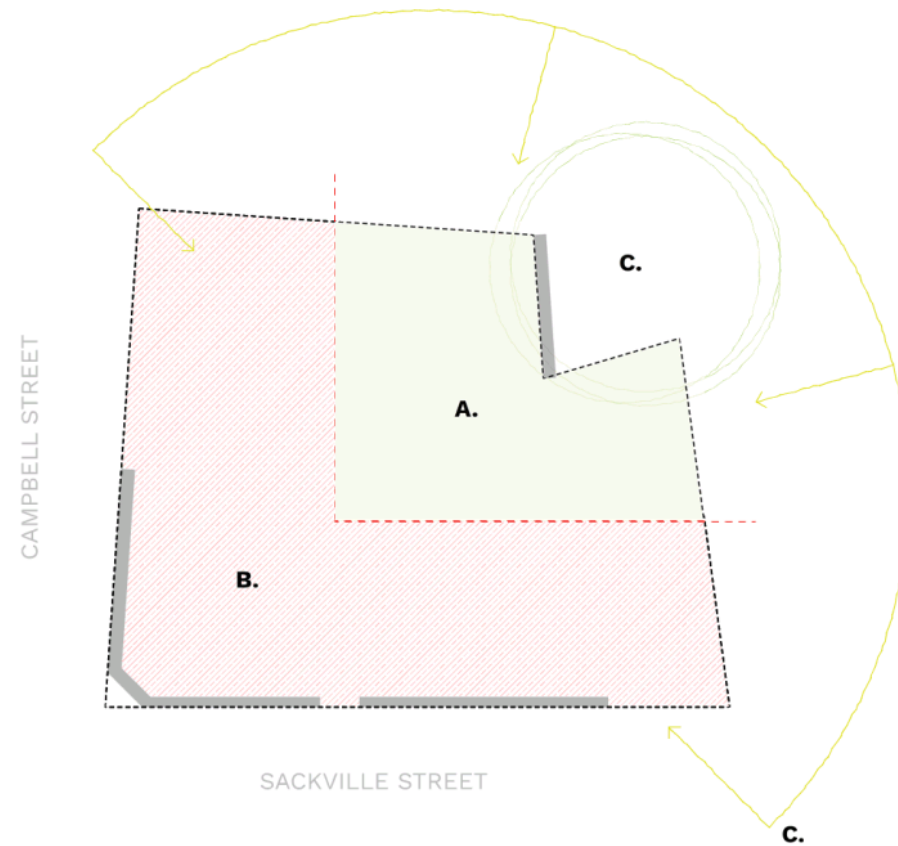
DIAGRAMS - PLANNING

2. STREET VS. COURTYARD

A. Identify northern side of site to locate external areas (courtyard)

B. Building hard against street boundaries to function as 'barrier' between the RHH, Campbell Street and the courtyard space

C. Courtyard orientated to face north for solar access, and to achieve view of existing neighbouring tree



DIAGRAMS - PLANNING

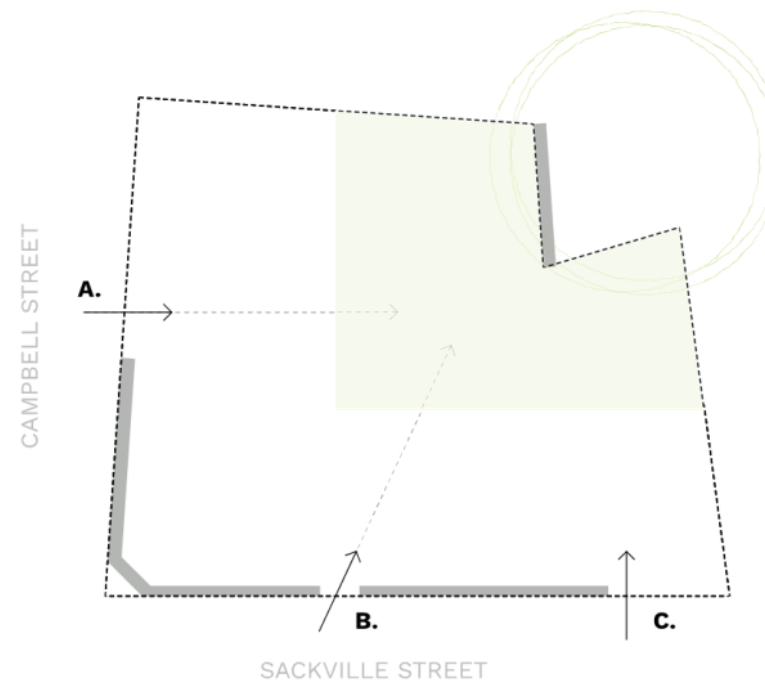
3. ACCESS POINTS

- Identify main access points
- Access point to be located centrally to facade, to provide efficient circulation
- Access points to provide long views to courtyard beyond

A. Main access from Campbell street, utilised by new guests

B. Main access to accommodation levels, including 24h access

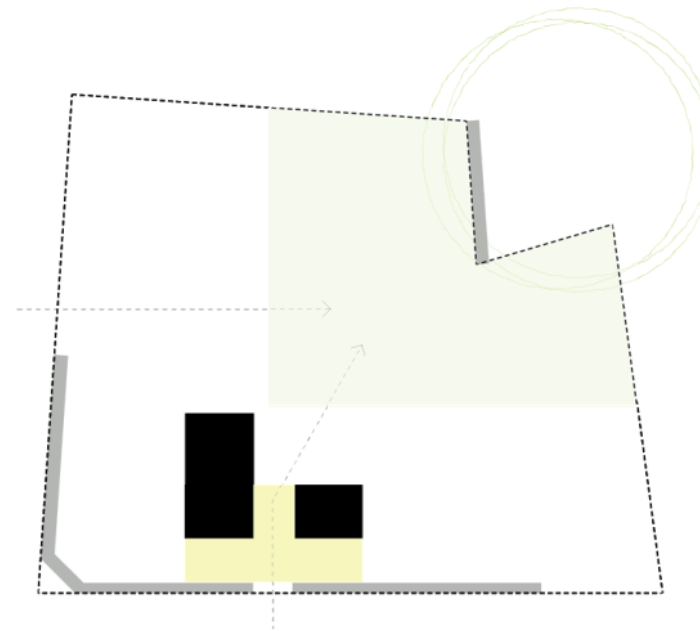
C. Service access with connection to Sackville Street laneway, for service vehicle access & rubbish collection



DIAGRAMS - PLANNING

4. CORE

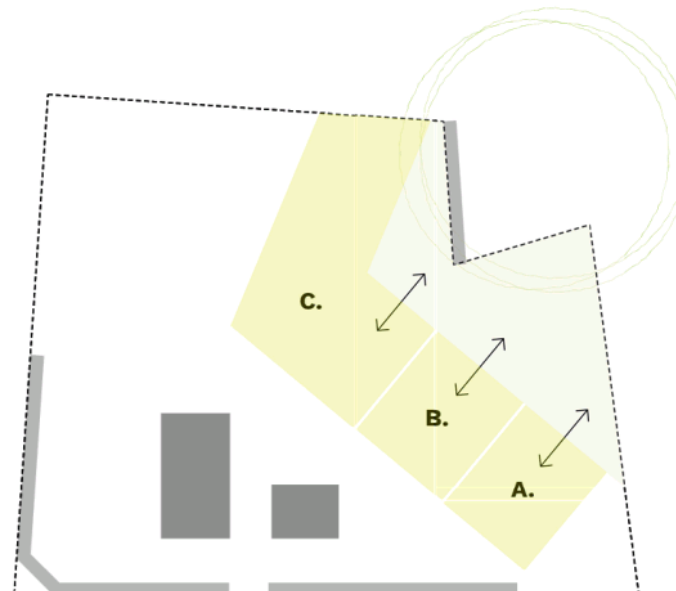
- Core located nearest to 24h access to ensure efficient circulation to apartments
- Core located approximately central to building to ensure efficient circulation on all levels
- Core located away from existing facade so that windows can be utilised for habitable spaces
- Core to be located to ensure it does not block long views through the building from access to courtyard



DIAGRAMS - PLANNING

5. ACTIVE SPACES

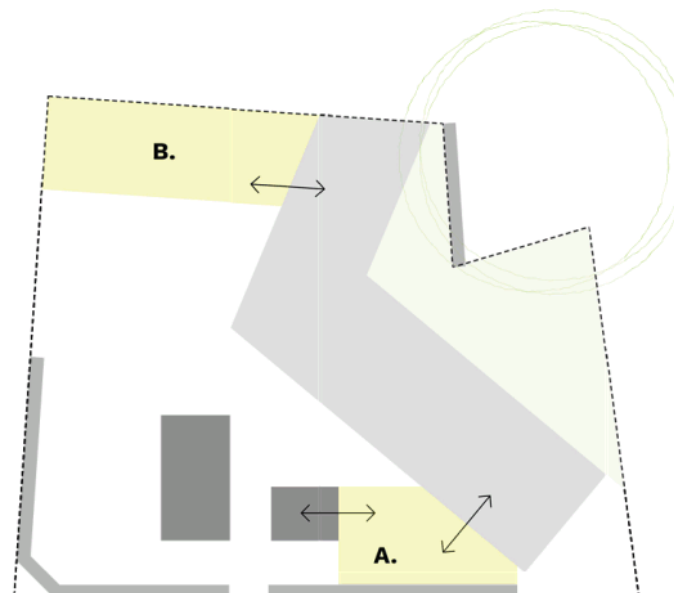
- Kitchen (A), Dining (B) & Lounge (C) located with direct access to courtyard
- Kitchen & dining located to provide maximum solar access
- Lounge located with natural light but no direct solar access
- Kitchen located nearest to service access for delivery/servicing
- Less sunny areas for resting
- Kitchen, dining & lounge orientated to face direct north, aligning with apartment levels above



DIAGRAMS - PLANNING

6. SERVICE SPACES

- Service spaces located with connection to Kitchen, Dining & Lounge
 - Service spaces located to ensure not to block long views through the building from access to courtyard
- A. Services room located adjacent to Kitchen, for direct access to Sackville street for bins and deliveries, also located adjacent to lift (housekeeping etc.)
- B. Toilets located centrally, to north-west boundary with discreet access from Lounge



DIAGRAMS - PLANNING

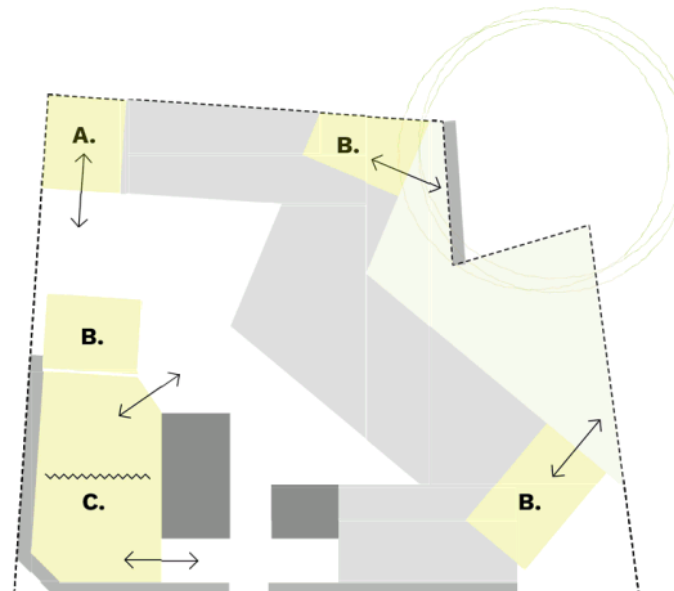
7. QUIET SPACES

- Various quiet spaces spread throughout the plan, located to provide windows for natural light and ventilation

A. Office with reception located adjacent to main access, reception located discretely to side of entry

B. Quiet rooms separated for discreet access by users. 2 of the 3 quiet spaces connect directly to the courtyard, with views to vegetation, sunlight & sky

C. The multi-purpose room is located to allow for natural light, adjacent to main entry and reception, and is provided with dual access for when the room is divided for small groups



DIAGRAMS - PLANNING

8. LEVELS

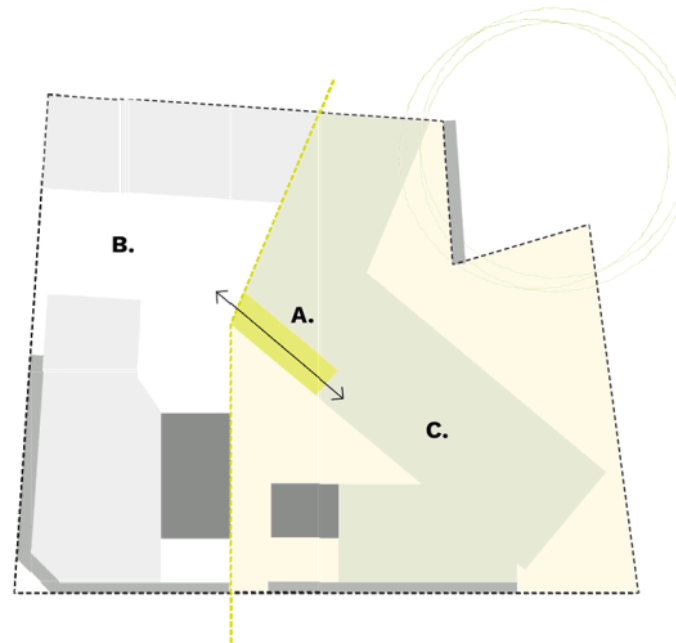
- There is over 450mm height difference over the site, and DDA compliant circulation is required to be provided

- The Kitchen, Dining and Lounge level is to be flush with and have direct access to the courtyard. Level change also provides a higher ceiling, sense of spaciousness

A. Centrally located ramp provides access and circulation for all

B. The upper level is a transitional space, for arrival, reception and the changing program of the multipurpose space

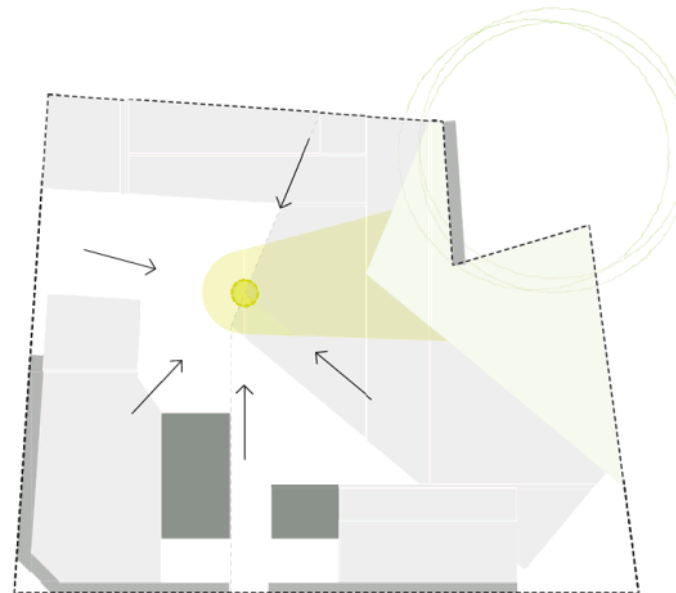
C. The lower level is a homely space, for resting, replenishing and socialising



DIAGRAMS - PLANNING

9. ATRIUM

- Due to the arrangement of spaces, a radial plan has emerged, which means circulation crossover occurs centrally and further connects the allied health level via the public stair
- A double height void for the stair provides a dynamic space, with opportunity to include planting
- Located to the northern facade, the atrium allows natural light to penetrate deeper into the plan
- The atrium and lounge space is visible from all areas, making it the feature of the space and heart of the plan



DIAGRAMS - PLANNING

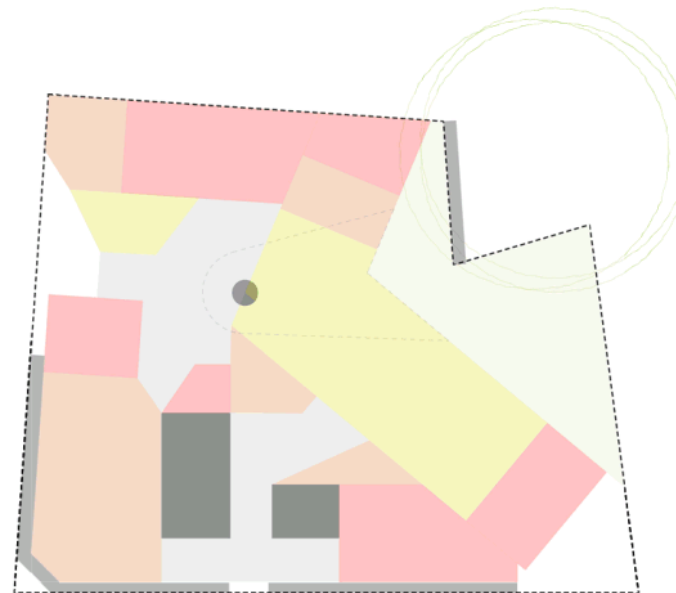
10. HIERARCHY OF ENCLOSURE

- To provide users with choice, there are levels of enclosure/privacy of spaces

A. (YELLOW) Low enclosure spaces are generally open and located adjacent to main circulation walkways, including kitchen, dining & lounge, reception

B. (ORANGE) Medium enclosure spaces are generally open, but are located away from main circulation walkways, or have the ability to be closed down, including office, multi-purpose space, library, rest area

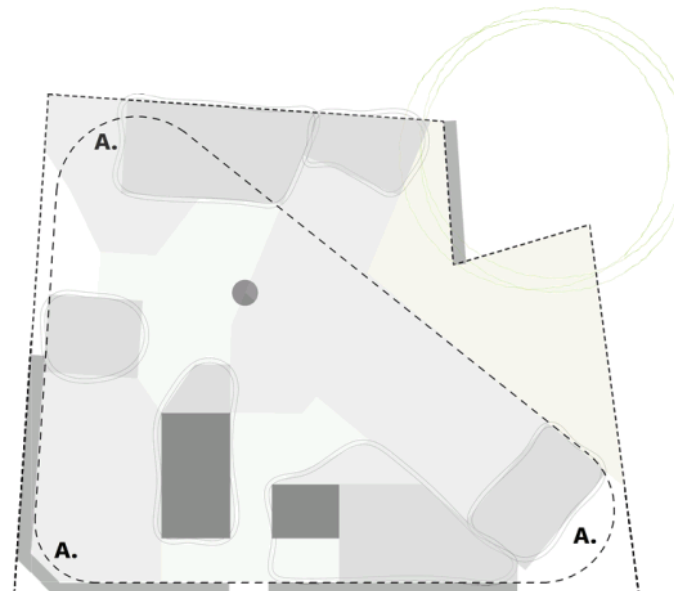
C. (RED) High enclosure spaces are generally enclosed with a door, and may be articulated architecturally with smaller considered openings, including, quiet rooms, toilets and phone booth



DIAGRAMS - PLANNING

11. SOFTENED/CURVED EDGES

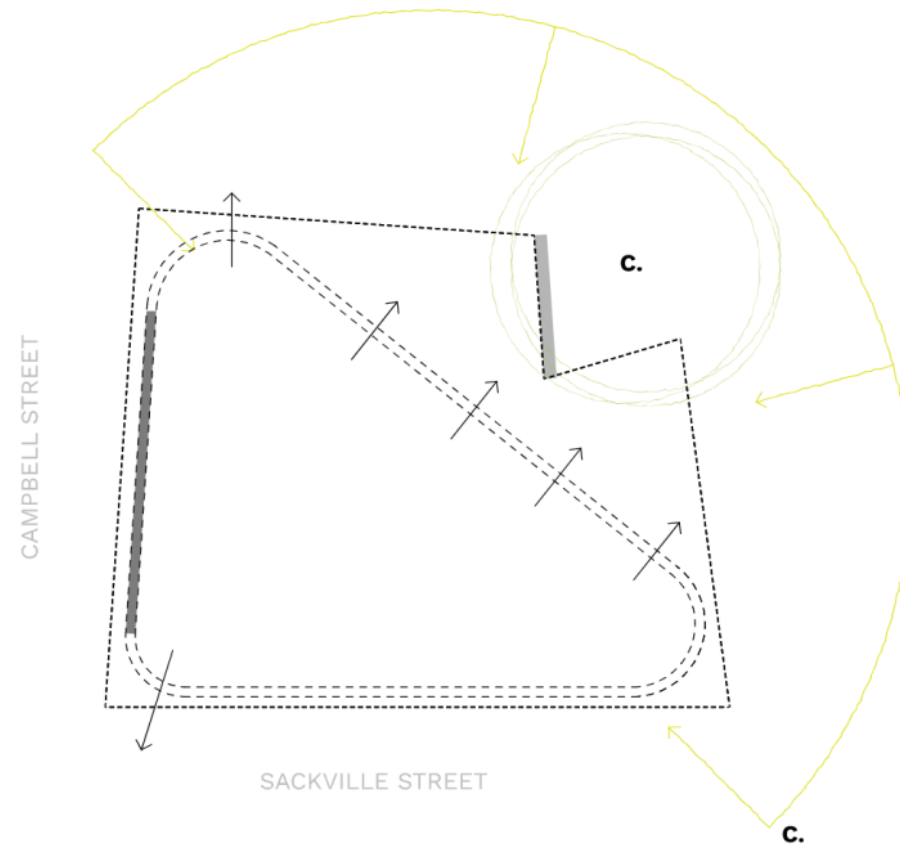
- Including some organic shapes and curved edges soften the space and feel less institutional
- The irregular forms allow for various seating nooks in the 'in-between' spaces, and soft edges allow for circulation to flow



DIAGRAMS - PLANNING

12. SUN + OPEN VIEWS

- upper levels orientated to the north for sunlight/open views and south to the water
- no views to hospital
- curved corners soften building mass contrasting neighbouring institutional buildings



CLADDING FINISHES

PROFILED METAL CLADDING
WITH WARM TONES









NOTES

This drawing should be used in conjunction with REALMstudio's PTG 1.0 to interpret spatial information and details. Should a conflict arise, advice and direction should be sought from REALMstudio prior to undertaking any construction works. All levels shown are in metres Australian height datum, and dimensions are millimetres unless otherwise noted.

All information relating to architectural, civil, structural, services and other works as represented on this drawing is prepared by REALMstudio in accordance with the relevant standards and codes of practice. It is the responsibility of the client to ensure that the design is suitable for the intended use and that all necessary approvals are obtained prior to construction.

CERTIFICATION

This drawing is prepared for the construction of the project. It is the responsibility of the client to ensure that the design is suitable for the intended use and that all necessary approvals are obtained prior to construction.

NOT FOR CONSTRUCTION

WARNING

DIAL BEFORE YOU DIG

Services shown on this drawing are approximate only. The exact location is to be confirmed on site by the contractor prior to commencement of work.

DATE	REV	AMENDMENTS
18/06/2025	A	FOR DEVELOPMENT APPLICATION

REALMstudios

Melbourne
Shop 1, 274 Wilson Street
Brunswick, VIC 3056

Sydney
Level 4, 80 Macquarie Avenue
Burry Hills, NSW 2129

Perth
Level 2, Commonwealth Bank Building
245 Murray Street, WA 6000

Hobart
80 Macquarie Street
Hobart, TAS 7000

CLIENT

SHE WELLNESS

PROJECT

SHE CANCER WELLNESS CENTRE

31-35 CAMPBELL STREET
HOBART TAS 7000

DRAWING

GENERAL ARRANGEMENT PLAN: LEVEL ONE

DRAWN	CHECKED	SCALE @ A1
EM	AH	1:20

STATUS

FOR DEVELOPMENT APPLICATION

NOT FOR CONSTRUCTION

DRAWING NO.	REVISION
25020-00-L203	A



NOTES

This drawing should be used in conjunction with REALMstudio's PTX 1/20 prepared specifications and details. Should a conflict arise, advice and direction should be sought from REALMstudio prior to undertaking any construction works. All levels shown are in metres Australian height datum, and dimensions are in millimetres unless otherwise stated.

All information relating to architectural, civil, structural, services and other works as represented on this drawing is prepared by REALMstudio in accordance with the relevant Australian standards and codes of practice. It is the responsibility of the client to ensure that the design and construction of the works are in accordance with the relevant Australian standards and codes of practice. This drawing is not to be used for the construction of the works.

CERTIFICATION

This drawing is not to be used for construction purposes unless it is certified by a Professional Engineer or a Professional Architect. It is the responsibility of the client to ensure that the design and construction of the works are in accordance with the relevant Australian standards and codes of practice. This drawing is not to be used for the construction of the works.

WARNING

DO NOT CONSTRUCTION

Services shown on this drawing are approximate only. The exact location is to be confirmed on site by the contractor prior to commencement of work.

DATE	REV	AMENDMENTS
18/06/2025	A	FOR DEVELOPMENT APPLICATION

REALMstudio

Melbourne
Shop 1, 274 Wilson Street
St Albans, VIC 3024

Sydney
Level 1, 80 Wentworth Avenue
Sydney, NSW 2010

Perth
Level 1, Commonwealth Bank Building
250 Murray Street, WA 6000

Hobart
80 Macquarie Street
Hobart, TAS 7000

CLIENT

SHE WELLNESS

PROJECT

SHE CANCER WELLNESS CENTRE

31-35 CAMPBELL STREET
HOBART TAS 7000

DRAWING

GENERAL ARRANGEMENT PLAN: LEVEL THREE

DRAWN	CHECKED	SCALE @ A1
EM	AH	1:50

STATUS

FOR DEVELOPMENT APPLICATION

NOT FOR CONSTRUCTION

DRAWING NO.	REVISION
25020-00-L204	A



NOTES

The drawing should be used in conjunction with REALMstudio PTX10 prepared specifications and details. Should a conflict arise, where and dimension should be sought from REALMstudio prior to undertaking any construction works. All levels shown are in metres Australian height datum, and dimensions in millimetres unless otherwise noted.

All information relating to architectural, civil, structural, services and other works as represented on this drawing as prepared by REALMstudio is for REALMstudio reference and coordination purposes only. All documentation to these and other works outside the scope defined for REALMstudio should be referred to the relevant consultant/ design and specification for details. This drawing is confidential and shall only be used for the purposes of this project.


CERTIFICATION

This drawing, plan and/or section for construction purposes cannot be used for Construction and signed and approved by the Certifying Landscape Architect. Verify all dimensions on site before commencing work or other materials. Refer any discrepancies to Landscape Architect before proceeding with the works.

1:20 NOT SCALE FROM THE DRAWING

NOT FOR CONSTRUCTION

WARNING



Services shown on this drawing are approximate only. The exact location is to be confirmed on site by contractor prior to commencement of work.

DATE	REV	AMENDMENTS
18/06/2025	A	FOR DEVELOPMENT APPLICATION

REALMstudios

Melbourne
Shop 2, 174 Wilson Street
Brunswick, VIC 3056

Sydney
Level 2, 40 Macquarie Avenue
Burry Hills NSW 2129

Perth
Level 2, Commonwealth Bank Building
250 Murray Street, WA 6000

Hobart
89 Macquarie Street
Hobart, TAS 7000

CLIENT

SHE WELLNESS

PROJECT

SHE CANCER WELLNESS CENTRE

31-35 CAMPBELL STREET
HOBART TAS 7000

DRAWING

SECTIONS: COURTYARD A-A

DRAWN	CHECKED	SCALE @ A1
EM	AH	1:20

STATUS

FOR DEVELOPMENT APPLICATION

NOT FOR CONSTRUCTION

DRAWING NO.	REVISION
25020-00-L801	A



NOTES

The drawing should be used in conjunction with REALMstudio's PTX10 prepared specifications and details. Should a conflict arise, where and direction should be sought from REALMstudio prior to undertaking any construction works. All levels shown are in meters Australian height datum, and dimensions in millimetres unless otherwise noted.


All information relating to architectural, civil, structural, services and other works as represented on this drawing as prepared by REALMstudio is for REALMstudio's reference and coordination purposes only. All dimensions to face and other works outside the scope defined for REALMstudio should be referred to the relevant consultant's drawings and specifications for details. This drawing is confidential and shall only be used for the purposes of this project.

CERTIFICATION

This drawing, print and/or used for construction purposes unless formally issued for Construction and signed and approved by the Certifying Landscape Architect. Verify all dimensions on site before commencing work or order materials. Refer any discrepancies to Landscape Architect before proceeding with the works.

NOT FOR CONSTRUCTION

WARNING



DIAL BEFORE
YOU DIG
www.1100.com.au

Services shown on this drawing are approximate only. The exact location is to be confirmed on site by contractor prior to commencement of work.

DATE	REV	AMENDMENTS
18/06/2025	A	FOR DEVELOPMENT APPLICATION

REALMstudios
Melbourne
Shop 2, 274 William Street
Brunswick, VIC 3056
Sydney
Level 2, 40 Macquarie Avenue
Lury 150, 2010
Perth
Level 2, Commonwealth Bank Building
250 Murray Street, WA 6000
Hobart
89 Macquarie Street
Hobart, TAS 7000

CLIENT

SHE WELLNESS

PROJECT

SHE CANCER WELLNESS CENTRE

31-35 CAMPBELL STREET
HOBART TAS 7000

DRAWING

SECTIONS: COURTYARD B-B

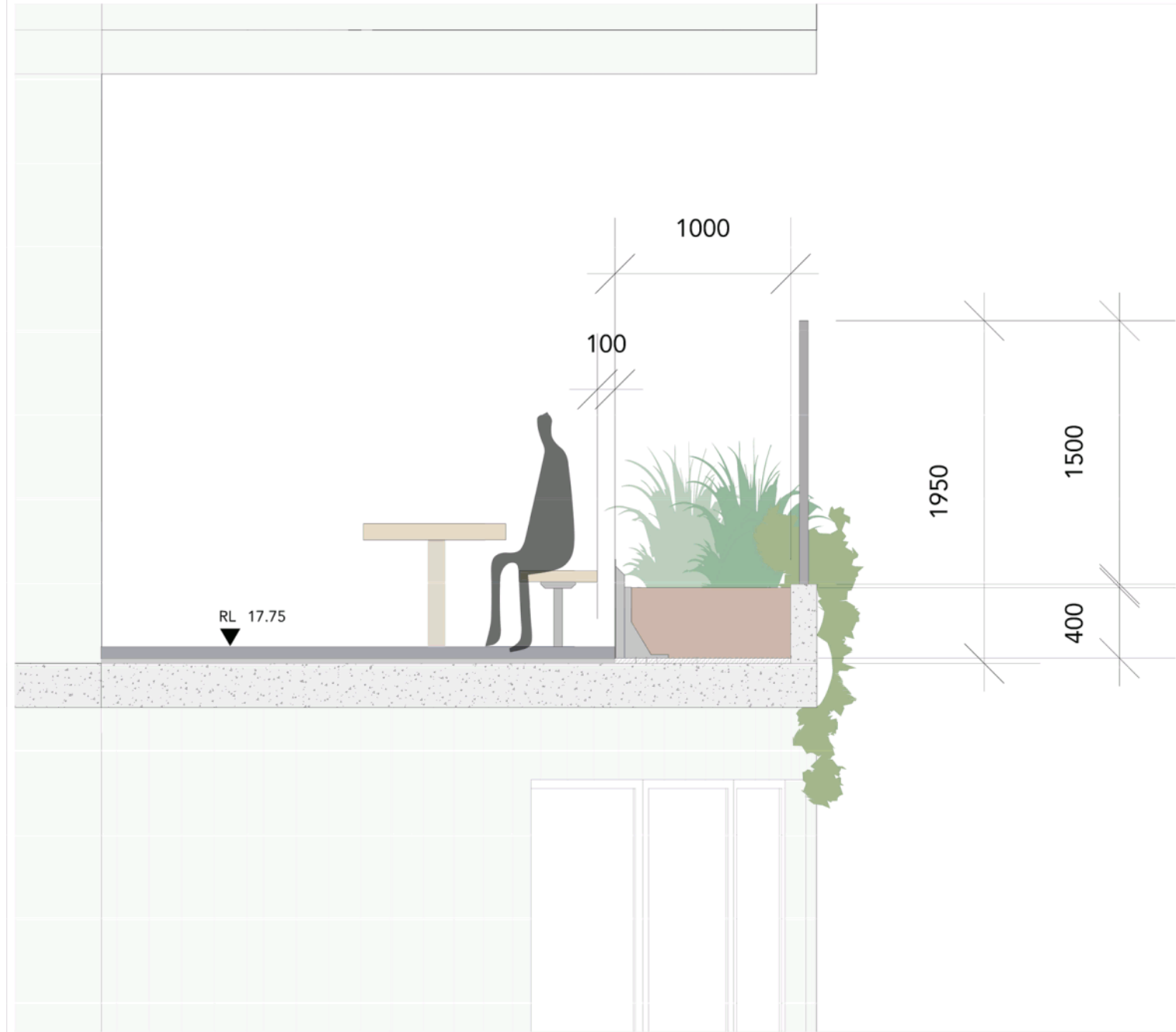
DRAWN	CHECKED	SCALE @ A1
EM	AH	1:20

STATUS

FOR DEVELOPMENT APPLICATION

NOT FOR CONSTRUCTION

DRAWING NO.	REVISION
25020-00-L802	A



NOTES

This drawing should be used in conjunction with REALMstudio's PTX 1/20 prepared specifications and details. Should a conflict arise, where and drawings should be sought from REALMstudio prior to undertaking any construction works. All loads shown are in metric Australian height datum, and dimensions are unless otherwise stated.

All information relating to architectural, civil, structural, services and other works as represented on this drawing as prepared by REALMstudio is for REALMstudio's reference and coordination purposes only. All documentation on these and other works within the scope defined for REALMstudio should be referred to the relevant consultant's drawings and specifications for details. This drawing is not intended and shall not be used for the purposes of this project.

CERTIFICATION

This drawing has been used for construction purposes. It should be used for construction and signed and accepted by the Certifying Landscape Architect. Verify all information on this drawing concerning work or other materials. Refer any discrepancies to Landscape Architect before proceeding with the works.

DO NOT SCALE FROM THIS DRAWING

NOT FOR CONSTRUCTION

WARNING



Services shown on this drawing are approximate only. The exact location is to be confirmed on site by contractor prior to commencement of work.

DATE	REV	AMENDMENTS
18/06/2025	A	FOR DEVELOPMENT APPLICATION

REALMstudios

Melbourne
Shop 2, 274-276 Street
Sturmans, VIC 3006

Sydney
Level 4, 80 Waterloo Avenue
Surry Hills, NSW 2010

Perth
Level 2, Commonwealth Bank Building
250 Murray Street, WA 6000

Hobart
89 Macquarie Street
Hobart, TAS 7000

CLIENT

SHE WELLNESS

PROJECT

SHE CANCER WELLNESS CENTRE

31-35 CAMPBELL STREET
HOBART TAS 7000

DRAWING

SECTIONS: BALCONY

DRAWN	CHECKED	SCALE @ A1
EM	AH	1:10

STATUS

FOR DEVELOPMENT APPLICATION

NOT FOR CONSTRUCTION

DRAWING NO.	REVISION
25020-00-L803	A



Acknowledgement of Country

We pay our respects to their Ancestors and Elders past, present and emerging and acknowledge that through honouring Country, we also honour their timeless connections to Country.

It is also here on this Country that we acknowledge our mutual responsibility to safeguard the landscape and its many sites and places, and its living history. Beyond the protection and enhancement of Country, we also make space so its traditional owners are respected, listened to and learned from, and that the understanding of Country and connection form the foundations of decision making.

If we care for Country, Country cares for us.

Project:	SHE Cancer Wellness Centre		
Title:	Landscape Architectural Development Application		
Client:	She Wellness		
Date:	19/06/2025		
Revision:	DA		
Document Issue:			
Issue for:	Revision:	Date:	
Development Application	A	19/06/2025	

Prepared by:



**1. Introduction**

Introduction
Site Context
Existing Site

2. Design Framework

Design Principles
Design Framework
Ecologies

3. Concept Design

Courtyard - plan
Courtyard - sections
Level 1
Level 3
PLant Palette
Material Palette

4. Appendix

25020-00-L201
25020-00-L202
25020-00-L203
25020-00-L204
25020-00-L801
25020-00-L802
25020-00-L803

introduction

This report sets out the landscape and open space design in coordination with the architectural development application submission for the proposed new SHE Wellness Cancer Centre development at 31-35 Campbell Street Hobart for SHE Wellness

The report is to be read in conjunction with the A1 Landscape Drawing set and other sub-consultant documentation.

The landscape design addresses two main spaces:

Ground Floor Courtyard: An engaging landscape design as an immersive, a lush, green retreat that surrounds users with layered planting and soft edges to encourage calm and quiet reflection. Designed to connect seamlessly with the building, the courtyard uses complementary materials and open views to blur the lines between inside and out. Intimate seating and subtle transitions invite moments of pause, social interaction, and personal connection.

Level 1 & 3: The Grasslands Green Roof and Small Private Balcony continue the theme of connection and restoration. The roof introduces a textured, meadow-like landscape that softens the building's upper edges and enhances its link to the natural environment. The balcony provides a smaller, more private escape for personal contemplation. Both spaces extend the garden experience vertically, weaving greenery throughout the site and strengthening its relationship with the architecture.

This design breathes new life into an overgrown, aging site.



Theatre Royal, built 1834 next door to 31-35 Campbell Street



site context
a central location

Movement and Access

Public transport:
Site serviced by bus stop No. 101 on Campbell Street.

Local vehicular access:
Access is directly from Campbell Street with reliance on nearby public parking facilities.

City vehicular movement:
Campbell Street is a key city thoroughfare with increasing traffic congestion, particularly during peak hours.

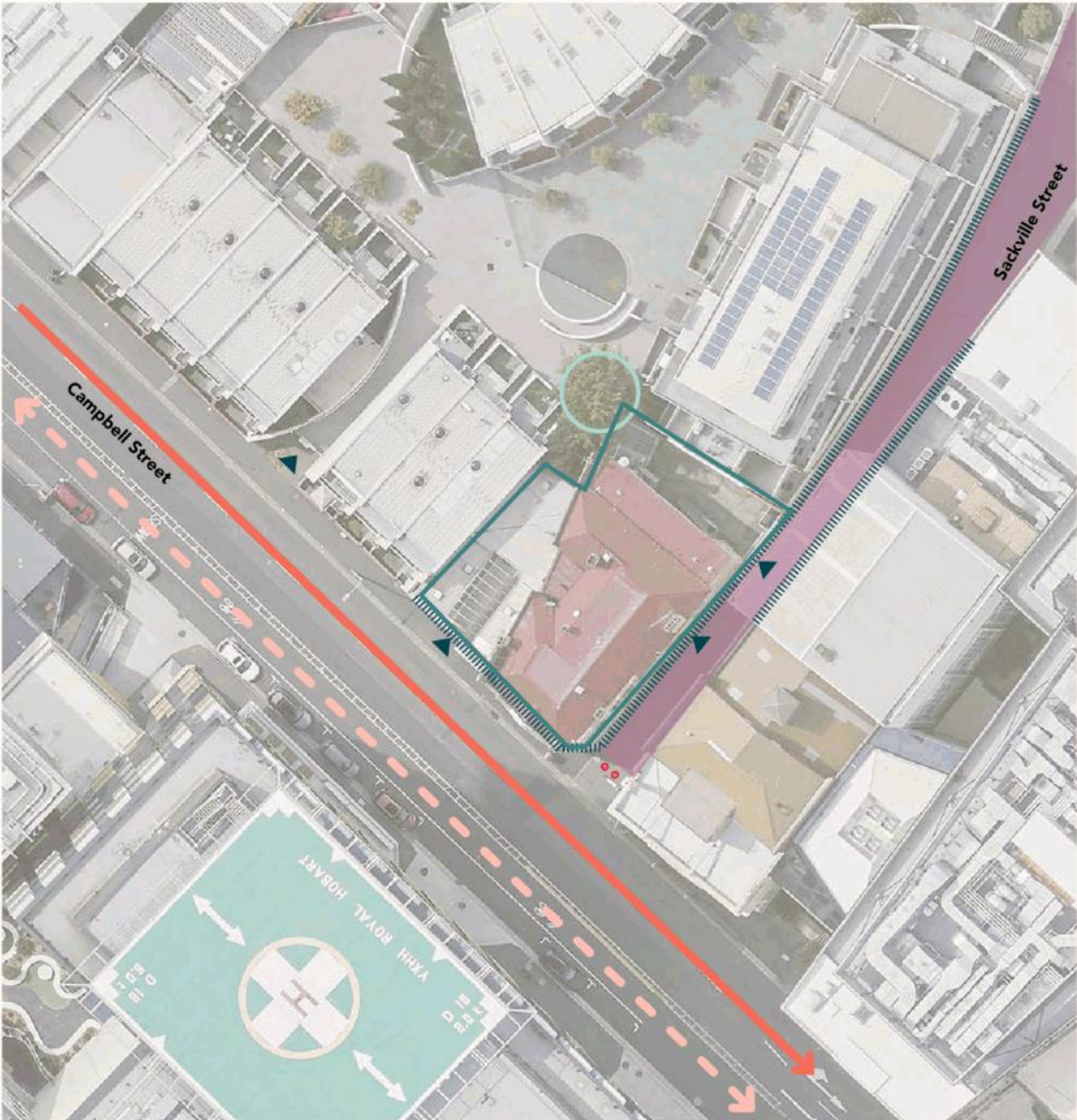
Function and Use

The site is underutilised and offers strong potential for active ground-floor uses to re-engage the public realm.

Overland Flows:
The site is within Hobart's overland flood zone and must manage stormwater flows and peak rainfall events.

External Uses:
The surrounding streets support high pedestrian activity and growing use of new cycling infrastructure.

- ↔ Bike lane
- Main road
- Local traffic
- • Bollards
- Existing tree to maintain
- ▲ Main entrance
- Emergency exit



existing site

colonial uses

The existing site presents as tired, overgrown, and disconnected, with spaces that feel neglected and no longer support meaningful use or connection. Hard, dated materials and a lack of thoughtful planting have left the landscape feeling lifeless and uninviting. These images capture a place that has lost its sense of purpose and vitality. The design proposes to carefully revitalise these spaces, not only by introducing rich planting, softer textures, and places for pause and connection, but also by thoughtfully reusing materials from the existing site. This approach will honour the site's history, reduce waste, and bring a sense of continuity as the space is transformed and given new life.

Existing Streetscape



Existing Internals and Courtyards



design principles

interpretative layers

Immersion

A healing garden should fully immerse users in a layered, green environment. Rich planting and subtle edges create a soft, enclosing space that calms the mind and body. This immersive quality fosters healing by providing gentle refuge, encouraging moments of quiet contemplation and connection to the natural world.



Symbiosis

The garden should form a seamless relationship with surrounding architecture. Using complementary materials, lines, and permeability strengthens the visual and physical connection between inside and outside. This duality supports a fluid, shared language where building and landscape enhance one another, blurring boundaries to promote holistic healing experiences.



Contemplation

The garden should carefully craft spaces for stillness, sharing, and quiet intimacy. Seating nooks, framed views, and gentle transitions invite users to pause, reflect, or connect with others. These thoughtful moments promote emotional healing, creating a personal dialogue between people, landscape, and the rhythms of nature.



design framework

landscape intertwined with healing

A "healing garden" as a plant-dominated environment designed to meet the physical, psychological, social, and spatial needs of its users. A garden that combines elements of conventional therapy and healing - a place of wellbeing and sensory indulgence. A biophilic hug, inviting carers to occupy the garden in solitude or through programmed activities and allowing it's users to take deep moment in the space pause from the place they've come from.

- A Internal Atrium
- B Immersive Courtyard
- C Grasslands Green Roof
- D Productive Balcony

Symbiosis between inside and out



Space for contemplation



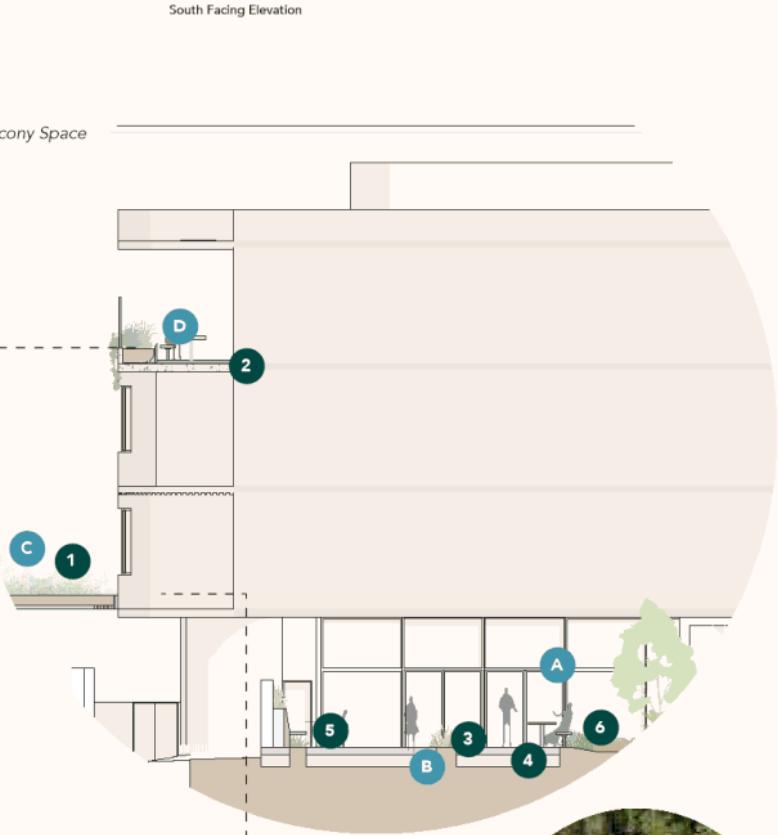
Closed Courtyard



Seating element to provide pause-points



Enclosed Balcony Space



Grasslands Green Roof



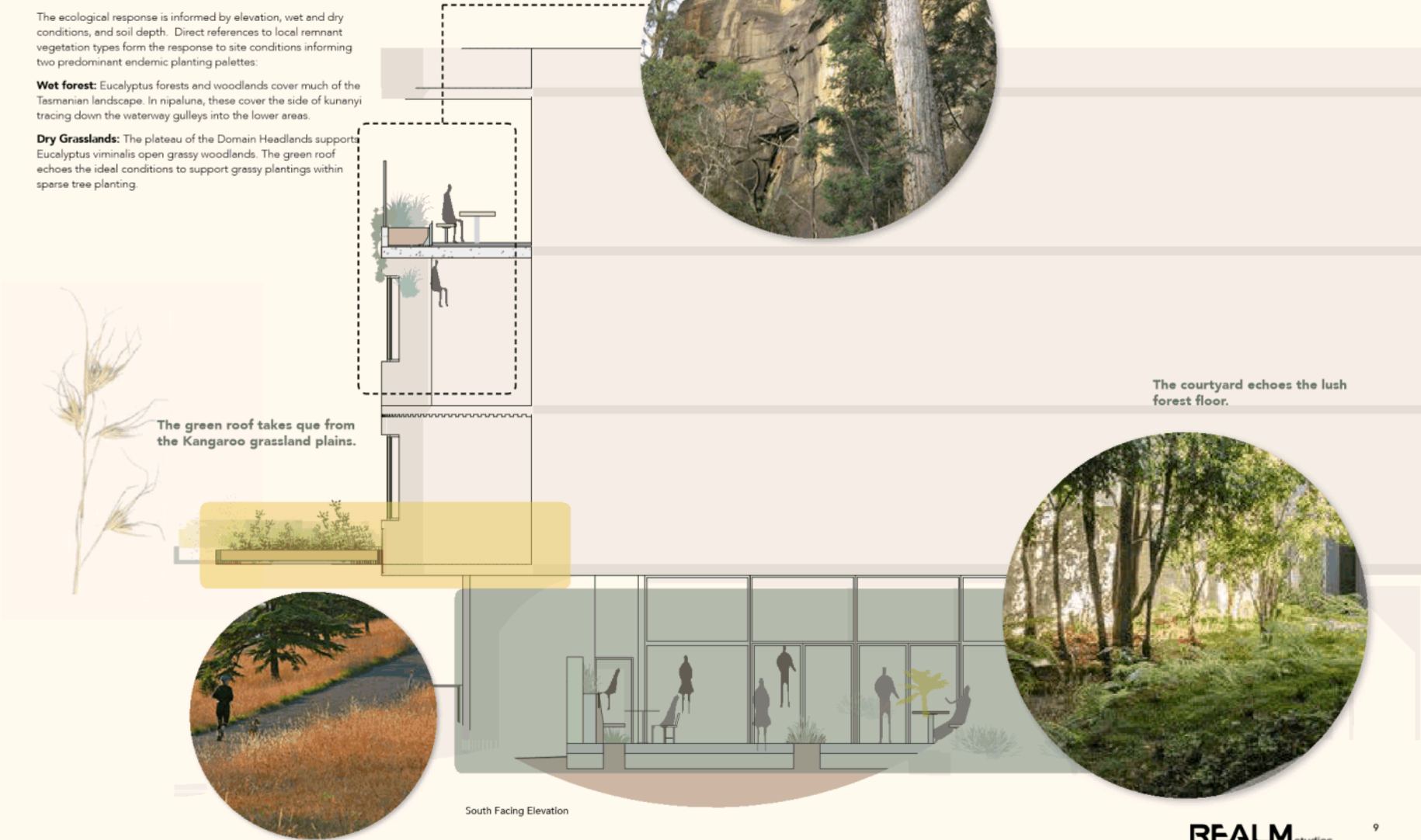
ecologies

past, present and future

The ecological response is informed by elevation, wet and dry conditions, and soil depth. Direct references to local remnant vegetation types form the response to site conditions informing two predominant endemic planting palettes:

Wet forest: Eucalyptus forests and woodlands cover much of the Tasmanian landscape. In nipalune, these cover the side of kunanyi tracing down the waterway gulleys into the lower areas.

Dry Grasslands: The plateau of the Domain Headlands supports Eucalyptus viminalis open grassy woodlands. The green roof echoes the ideal conditions to support grassy plantings within sparse tree planting.



The building links the upper and lower levels, echoing the form of a cliff interface.

The green roof takes que from the Kangaroo grassland plains.

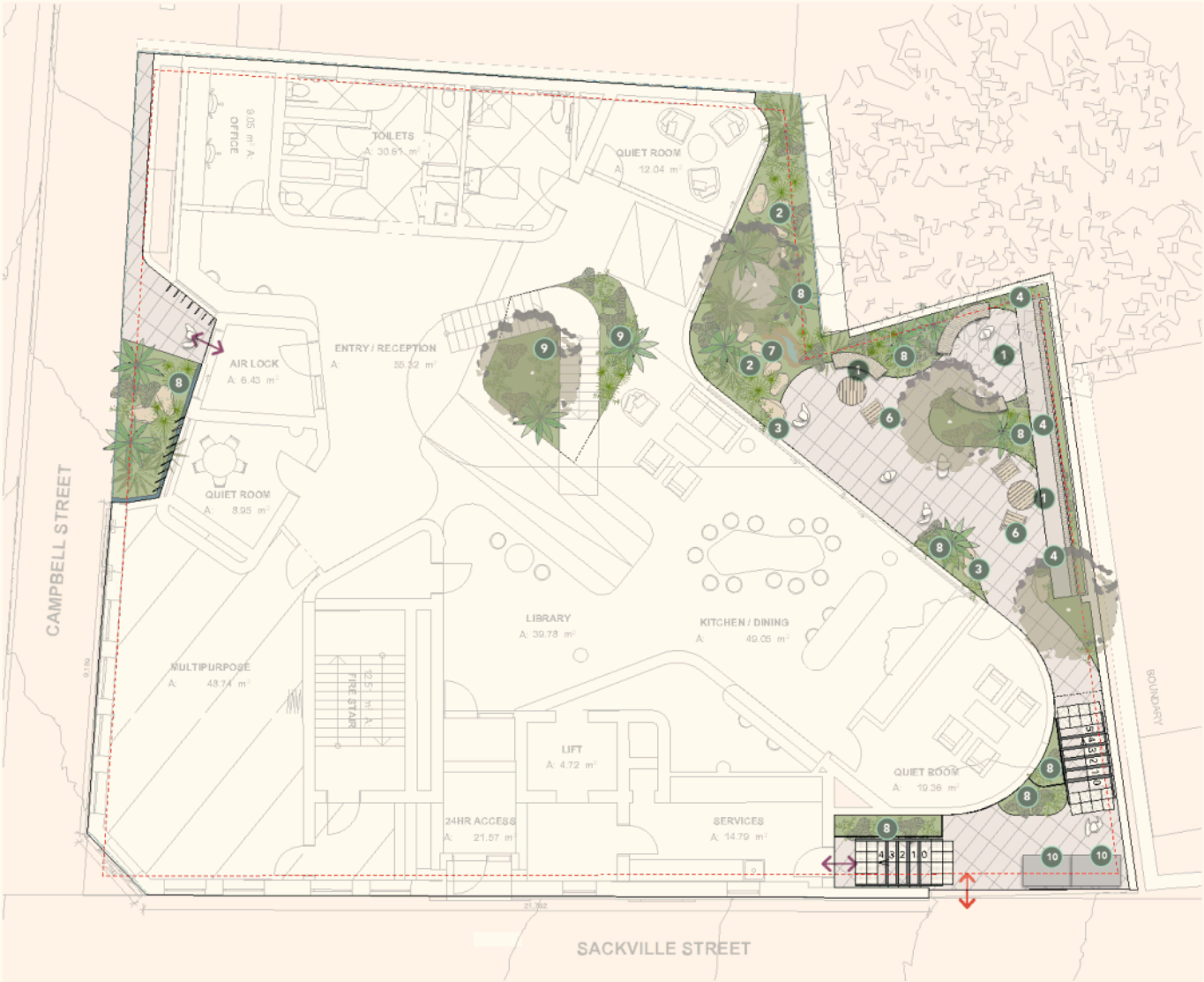
The courtyard echoes the lush forest floor.

South Facing Elevation

Courtyard

systems + uses

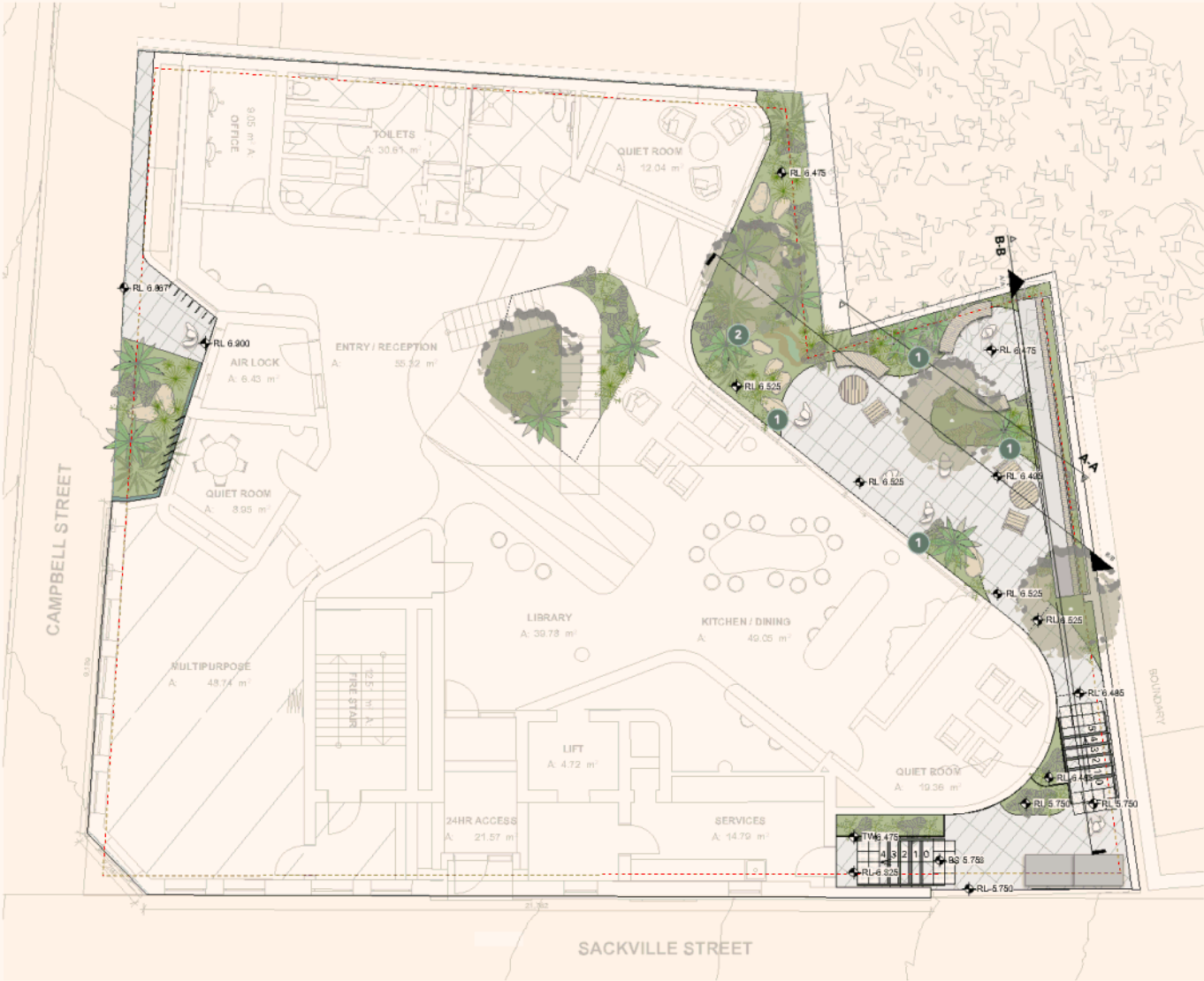
- Legend**
- 1 Areas for occupation and reflection
 - 2 Natural Steppers to Quiet Room
 - 3 Boulders for informal seating
 - 4 Long Seating with planting behind for spilling plants
 - 5 Steinway entrances with steel planter beds
 - 6 Movable furniture
 - 7 Water Feature
 - 8 Planting beds
 - 9 Internal Atrium
 - 10 Bins
- ↔ Lobby entries - public, visitor and staff access.
- ↔ Pedestrian access



materiality + levels



Plant Palette



sections - courtyard

Legend

- 1 Elongated seating with lush garden beds
- 2 Raised height planting intergrated with elongated to allow for spilling planting
- 3 Gate entrance
- 4 Stairway entrance to courtyard



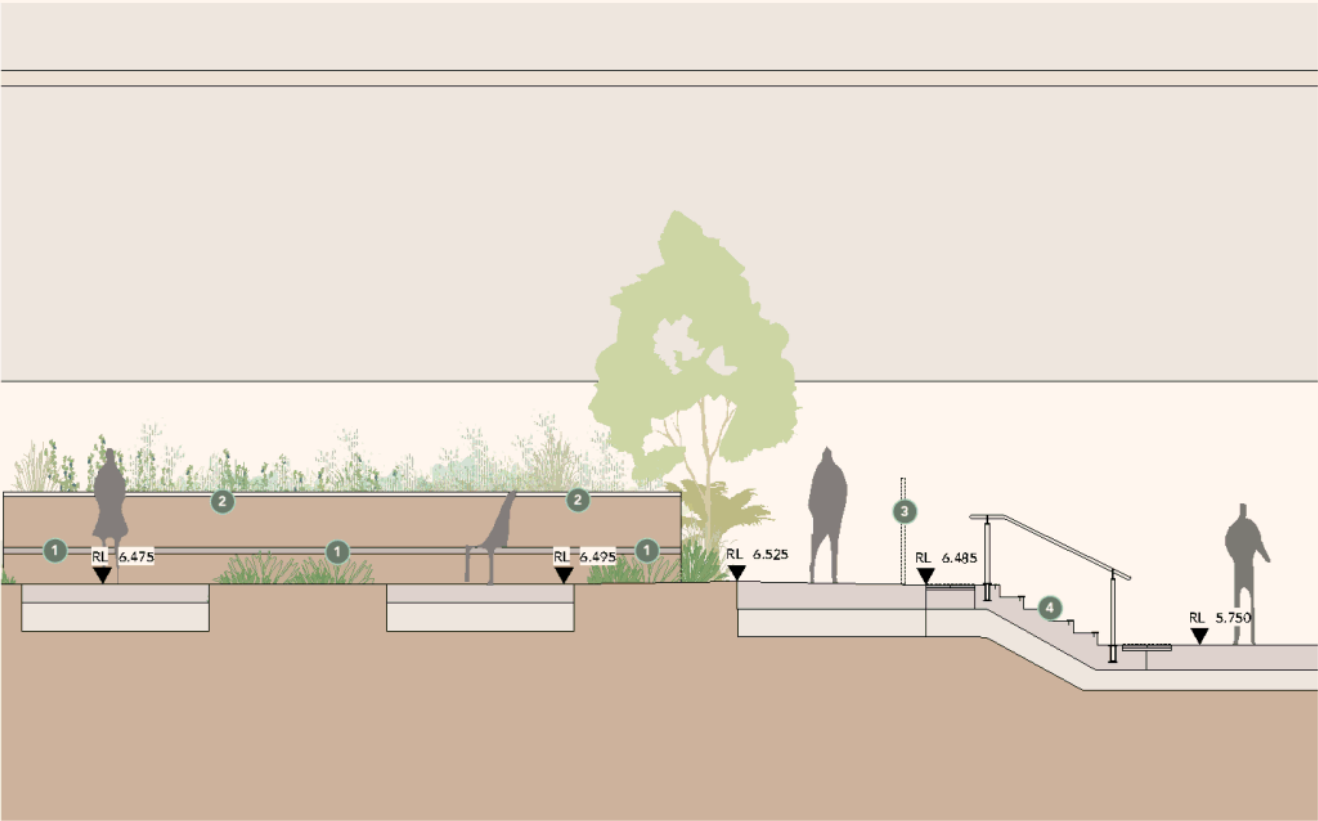
A sunken fern and lush garden revealing underneath seating



Phlebodium aureum
Blue Star Fern



Cytosium falcatum
Holly Fern



Section A-A: Courtyard

sections - courtyard

Legend

- 1 Water feature with garden bed
- 2 Natural stone stepper with path to quiet room
- 3 Hidden planting between seating areas
- 4 Benches constructed within garden bed for immersion to courtyard
- 5 Movable chairs
- 6 Raised height planting to allow for spilling planting



Plant Palette



Dicksonia antarctica
Soft Tree Fern



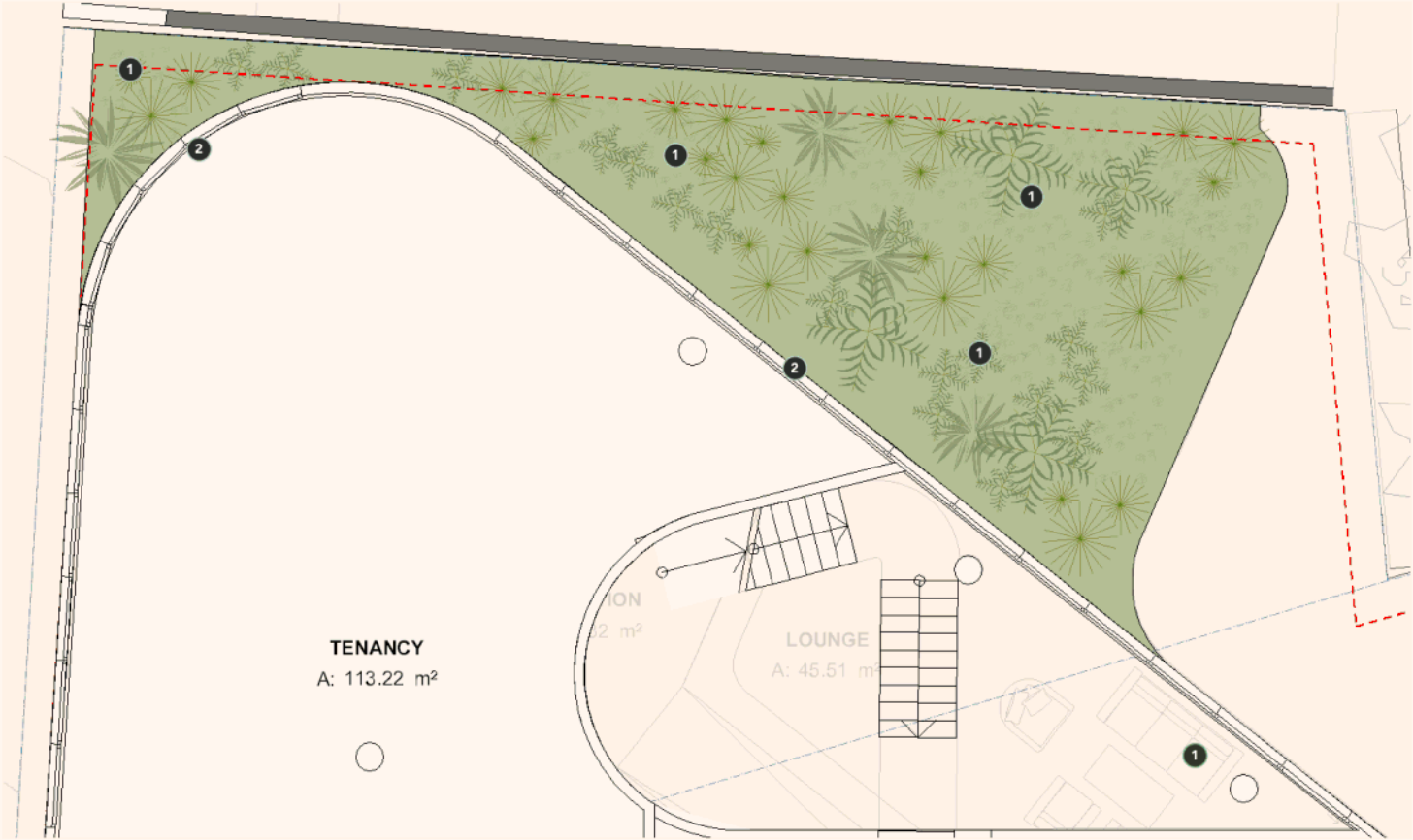
Cyathea australis
Rough Tree Fern



Section B-B: Courtyard

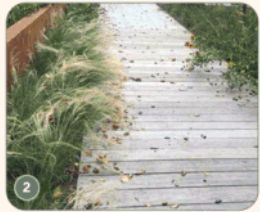
level 1

systems + uses



Legend

- 1 Clusters of grasslands to provide expression of the planting with 300mm depth of planting to allow for a mix of grasslands to thrive within the roof
- 2 View from the north side of the building looking down from level 1.

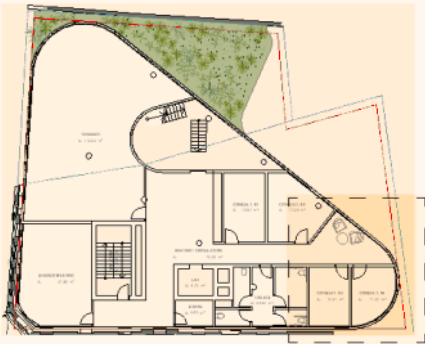
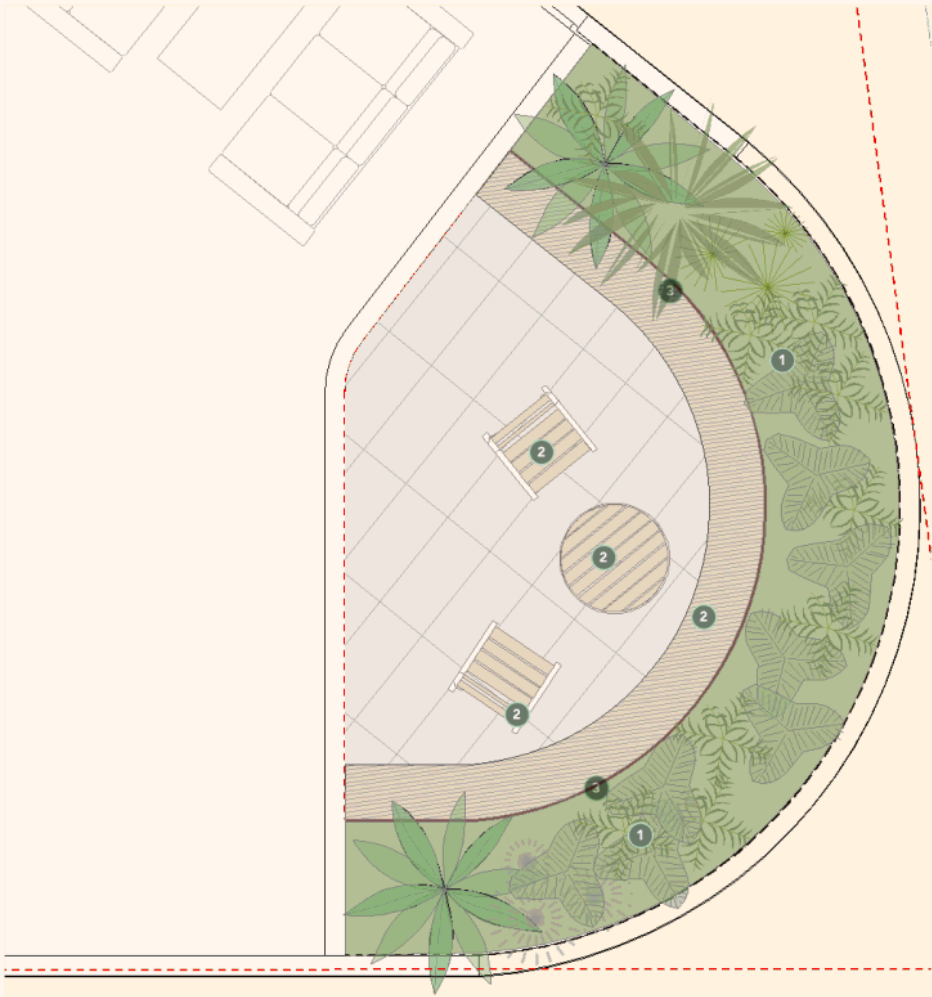


Timber boardwalk



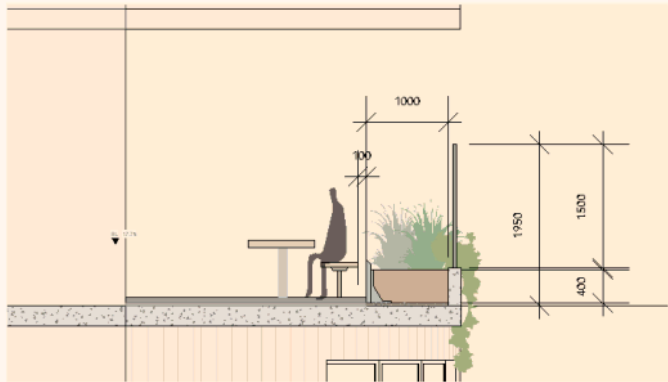
Steel edge

level 3
systems + uses



Legend

- 1 1000mm width of planting for privacy and enclosure of the space
- 2 Furniture setting the balcony to allow for gathering
- 3 Steel edging for planting



Section: Balcony



Steel edging



Curved seating with moveable chairs

plant palette

healing garden

Climbers



Ficus pumila
Climbing Fig



Muehlenbeckia gunnii
Macquarie Vine



Lonicera periclymenum
Honeysuckle

Grasses & Strappy



Deschampsia cespitosa
Tufted Hair Grass



Dichelachne crinita
Long Hair Plume Grass



Dianella tasmanica
Tasmania Flax-Lily

Shrubs



Pimelea ferruginea
Pink Rice Flower



Pimelea nivea
Round Leaf Rice Flower



Pimelea filiformis
Trailing Rice Flower



Solanum aviculare
Kangaroo Apple



Prostanthera rotundifolia
Round Leaf Mint Bush



Grevillea australis
Southern Grevillea

Shrubs



Kunzea ambigua
Tick Bush



Coronidium elatum
White Paper Daisy



Ozothamnus diosmifolius
Rice Flower



Xerochrysum bracteatum
Everlasting Golden



Diplarrena latifolia
Native Iris



Leptospermum rupestre prostrate
Alpine Tea Tree

Ferns



Polystichum proliferum
Mother Shield Fern



Dicksonia antarctica
Soft Tree Fern



Blechnum nudum
Fishbone Waterfern



Blechnum wattsi
Hard Waterfern



Microsorium pustulatum
Kangaroo Fern



Cyathea australis
Rough Fern Tree

Groundcovers



Pelargonium australe
Native Storkbill



Viola hederacea
Australian Violet



Dichondra repens
Kidney Weed



Brachyscome multifida
Cut-leaved Daisy



Westringia fruticosa
Tall Swordsedge



Boronia anemonifolia
Stickey Boronia

plant palette

internal/atrium garden

Climbers/groundcover



Ficus Pumila
Creeping Fig



Liriope Muscari
Creeping Lilyturf



Trachelospermum Flat Mat
Prostrate Star Jasmine



Hibbertia grossulariifolia
Guinea Flower

Trees



Cyathea cooperii
Australian Tree Fern



Ficus benjamina
Weeping Fig

Small



Philodendron Xanadu
Philodendron



Viola hederacea
Native Violet



Dichondra repens
Kidney Plant

Palms



Rhapis excelsa
Lady Palm



Licuala ramsayii
Rough Tree Fern



Adonidia Merrillii
Christmas Palm

Medium



Ligularia reniformis
Tractor Seat



Melaleuca thymoides
Thyme Honey Myrtle



Liriope Samantha
Pink Liriope



Daniella tasmanica
Tasmanian Flax Lily



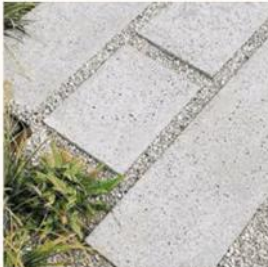
Liberian paniculata
Grass Flag



Schefflera arboricola
Dwarf Umbrella Tree

material palette

Pavements



Dolerite Paving with gravel between



Gravel with Dolerite Paving



Mix of paving within garden



Dolerite Paving



Crushed gravel



Mix of paving within garden beds

Walls and Edges



Planters at height under seating



Brick detailing



Boulder Seating



Circular seating



Boulder edging detail



Stepping stones through lush planting

Feature Elements



Water Feature Boulder



Natural stepping stones



Water catchment



Water elements within seating



Natural stone boulder seating



Heritage Impact Statement

The Theatre Royal Hotel – May 2025

Supplementary Report

1. History of the Site

A summary of the history is attached in the appendix to the original Heritage Impact Statement.
Never- the- less it is attached to this report.

2. Condition of the building fabric

As outlined in the Heritage Impact Statement, the building has floors, ceiling and roof of timber construction along with most of the interior walls. This makes the building difficult if not impossible to make compliant with the current Building Code of Australia.

If the building is extended in floor area, compliance with the BCA is entirely impracticable.

The existing interior is of virtually no historic importance. It has been substantially modified over the years, leaving spacial disposition of rooms to be inconsequential and of no heritage merit.

3. Value of the Building to the Character of the area

It is difficult to make an assessment of contribution the Theatre Royal Hotel building makes to the area, as the surrounding buildings are so diverse in their architectural style, material and scale. It can be argued that because of this diversity that there is no substantive continuous character in the area.

None the less, every building carries a history and visual impact on its surroundings. This report does not consider this building to have sufficient merit to be listed as a place of Cultural Heritage Value in its own right.

Having said this, the development proposes to retain the existing building façade. This reporter does not generally support “facadism”, the proposal to do so in this development is endorsed as it enables the new building to engage with the street edge and the adjoining Theatre Royal with modesty and fraternity.

The Heritage Impact Statement recommends that the existing façade be preserved including a return to its original colour pattern, either by removing the paint layers to the original brick with stone dressing or probably more practically paint the building in a like fashion.

Conclusion

This report believes that the retention of the existing façade would allow a “visual character” reference to the general area and support a contemporary building behind.

Garry Forward FRAIA

31 July 2025

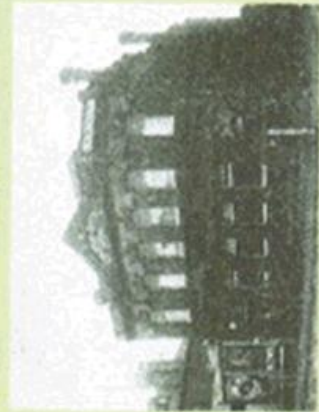
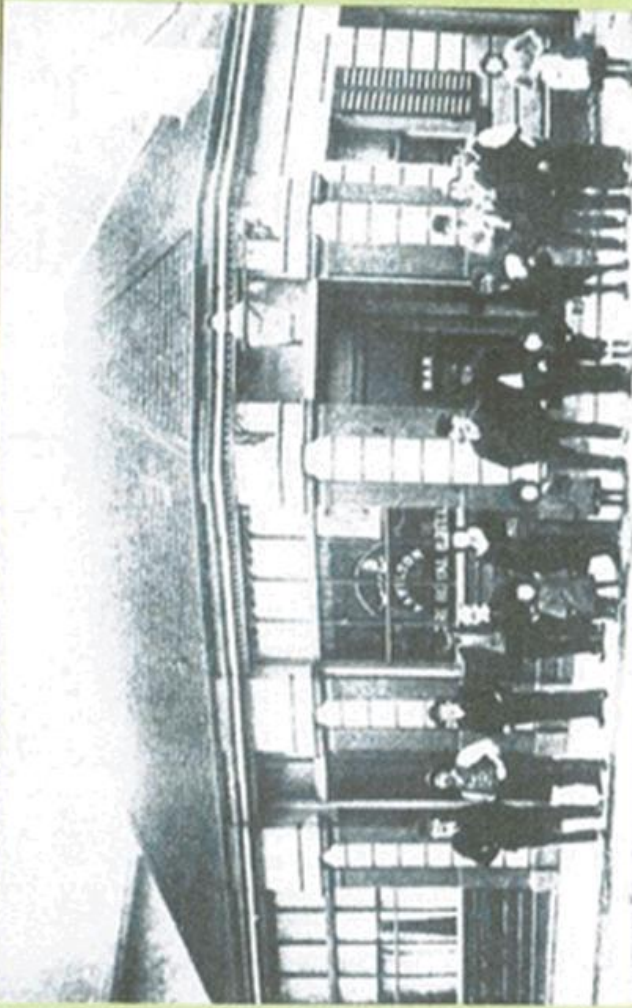
Theatre Royal Hotel

The current Theatre Royal Hotel that sits alongside the theatre of the same name, on the corner of Campbell and Sackville streets, is a new version built by the Tattersall's Lottery founder, George Adams, in 1904.

Its predecessor actually opened in 1820 as the Dolphin Inn. In 1834 it was renamed the Dorchester Inn, followed by the Sir John Falstaff.

From 1868 it was a private residence but it threw open its doors to the public in 1890 when it reopened as the Theatre Royal Hotel.

The lower photo shows the building erected by George Adams that still stands today.



01/05/2025, 17:05

Theatre Royal Hotel: A look through a Hobart icon's many costume changes - ABC News

Theatre Royal Hotel: A look through a Hobart icon's many costume changes

By McIntyre Paul ABC Radio Hobart 19th Century

Mon 29 Feb 2016 at 4:07pm



The Theatre Royal Hotel has been through many forms and names. With a new owner, the future of the pub is again uncertain. (936 ABC Hobart: Carol Raabus)

Next door to Australia's oldest working theatre, the Theatre Royal built in 1837, there has always been a watering hole.

In fact, for most of the 19th century, the Theatre Royal was surrounded by drinking establishments.

On what is now a construction site for the University of Tasmania's new arts precinct was once the Shakespeare Hotel, built in the 1830s.

The Shakespeare was demolished in 1970.

01/05/2025, 17:05

Theatre Royal Hotel: A look through a Hobart icon's many costume changes - ABC News

On the other side, stands the Theatre Royal Hotel which dates back to 1904. It is currently closed for business with a for-sale sign on its roof as it prepares to get yet another owner.

The hotel has gone through many names and looks, according to Dr Stefan Petrow from the Department of History and Classics at the University of Tasmania.



The Shakespeare Hotel stood on the corner of Campbell and Collins streets. The building has long since been demolished, leaving just stories of its existence. (Supplied: Tasmanian Archive and Heritage Office)

"There has always been a pub on this site with an interesting mixture of patrons," he said.

History of a seedy area

Built in the area known as Wapping, many early Hobartians regarded the location as a den of iniquity.

Prostitutes, seamen and whalers were just some of the characters who frequented the various establishments surrounding the theatre.

"The Wapping old wharf area had about 13 pubs up until about 1870," Dr Petrow said.

The only surviving pub of that time is the Theatre Royal Hotel.

Originally called The Dolphin Inn, it had a reputation for being cosmopolitan.

"The Dolphin really only lasted until 1834 and then it had a new name — the Anthony Dorchester Butt," Dr Petrow said.

It is believed the name came from a hotel on the east coast of England which inspired a most unusual sign.

According to reports from the mid-19th century, the sign in question was a representation of an enormous butt with the paint piled on so thick it stuck out.

01/05/2025, 17:05

Theatre Royal Hotel: A look through a Hobart icon's many costume changes - ABC News

One story from the period documented a drunken female patron who took such a dislike to the sign she began throwing rocks at it, destroying the sign and causing the artist to go on a two-week drinking binge in distress.

"It was really roaring in the 1850s," Dr Petrow said, adding that the establishment had a reputation for selling some of the best liquor in Hobart Town.



The Theatre Royal Hotel in the late 1800s before it was demolished to be replaced by the current building.
(Supplied: Tasmanian Archives and Heritage Office)

In 1856, the building was sold to an ex-policeman by the name of George Brown who was accused of being an adulterer and believed by some to be unfit as a licensee.

"He made extensive improvements to the old Dolphin which was in a very dilapidated condition," Dr Petrow said.

Brown changed the name of the establishment and decorated the pub in a London style.

Reviews from the time claim the pub was the snuggest house in town, particularly with its emphasis on entertainment.

01/05/2025, 17:05

Theatre Royal Hotel: A look through a Hobart icon's many costume changes - ABC News

The assessment proved timely as the Theatre Royal began to boom, attracting some of the most popular names in the theatrical world, who usually ended up at the bar next door following their performance.

The next major change for the pub occurred in 1883 when the establishment was taken over by William Langford.

By 1888, Langford had changed its name to the Theatre Royal Pub and redecorated it in a Melbourne style to keep up with the trends in interior design.

A new building with an old name

By 1904 ownership had once again changed, with the building being purchased by George Adams of Tattersalls fame.

Despite the rich history of the location, Adams decided to demolish the old pub and build something new which was when the current building came into being.

A report from The Mercury newspaper captured the scene on the last day of the old pub's existence.

"The large tribe of bootless Wapping youngsters with bags, old baskets and old crocs storming the place like flies about a carcass picking up and making off with the caged shingles falling from the roof, other bits of woodwork, unconsidered trifles and rubbish."

The new hotel was constructed in an Elizabethan style and retained the same name.

Adams tried to keep the snug atmosphere, making quite an impression according to accounts of the period.

By 1915, the area once known as Wapping had mostly disappeared and the Theatre Royal Pub entered a new period under the management of Richard Jackman, who was described as a man with a cheery disposition and a jovial approach to his customers.

HERITAGE IMPACT STATEMENT THEATRE ROYAL HOTEL



Date: May 2025

Prepared by: Garry Forward LFAIA
ICCROM Rome
Conservation and Heritage
22/1 Castray Esplanade
Battery Point 7004
Garryforward7546@gmail.com
0419154750

LOCATION OF PLACE

The following assessment is for the site at 31 – 35 Campbell Street Hobart, referred to as the Theatre Royal Hotel.

PROPOSED DEVELOPMENT

It is proposed to redevelop the site for medical uses (Wellness Centre) keeping the post 1904 façade and rebuilding behind.

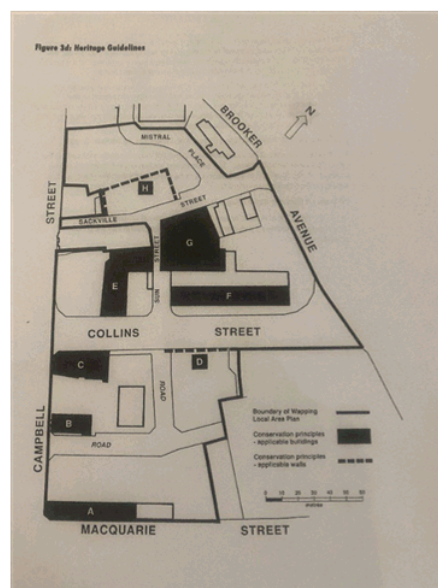
STATUS UNDER THE SULLIVAN'S COVE PLANNING SCHEME (1997)

The existing building has not operated as a hotel since early 21st century. Since that time it was occupied by the builders of the Hedberg/Conservatorium of Music and more recently refitted for student accommodation. This latter use was never consummated.

The building is not listed as a place of historic cultural heritage value under the Sullivan's Cove Planning Scheme nor is it listed under the Tasmanian Heritage Register.

The site is not included as significant in the Wapping Local Area Plan in the Sullivan's Cove Planning Scheme and is specifically excluded under that plan. See figure 3D
However, it is adjacent to listed sites and therefore should comply with clause 15.5.12.

The development proposal however does include a partial demolition of the existing building which requires a specific response to that action.



'Discretionary' Heritage Provisions 22.5.4

Any "Building of Works" on sites adjacent to a place listed in Table 1 to Schedule 1 of the Scheme and/or referred to below which cannot meet the "permitted" requirements of Clause 22.5.4 or the "deemed to comply" height and setback for that site, shall be considered on the basis of compliance with the following principles and the provisions of Clause 22.5.5 in Schedule 1.

22.5.5 'Discretionary' Building or Works'

Building or works on land which cannot satisfy the deemed to comply provisions of Clause 22.5.4 may be approved at the discretion of the Planning Authority. The following criteria must be taken into consideration in the assessment of all proposals for "building or works".

- 'Building or works' adjacent to a place of cultural significance must not dominate that place when viewed from the street or any other public space, or be more prominent in the street than the adjacent place of cultural significance.*
- The area of the façade of any new building may be permitted to exceed that of the building on an adjacent place of cultural significance where the Planning Authority is satisfied that the visual impact of the apparent disparity of scale is not significant or that historic precedent warrants the scale disparity.*
- Building of works must complement and contribute to the specific character and appearance of adjacent places of cultural significance and the historic character of the Cove generally.*
- The location, bulk and appearance of "building or works" must not adversely affect the heritage values of any adjacent or nearby place of cultural significance.*
- "Building of works" must not reduce the heritage value of any adjacent places of cultural significance by mimicking historic forms.*

HEIGHT AND FORM

The site is within the Activity Area of the scheme which would allow for new uses to occupy the area.

Under the Urban Form Schedule of the Planning Scheme, the following applies:

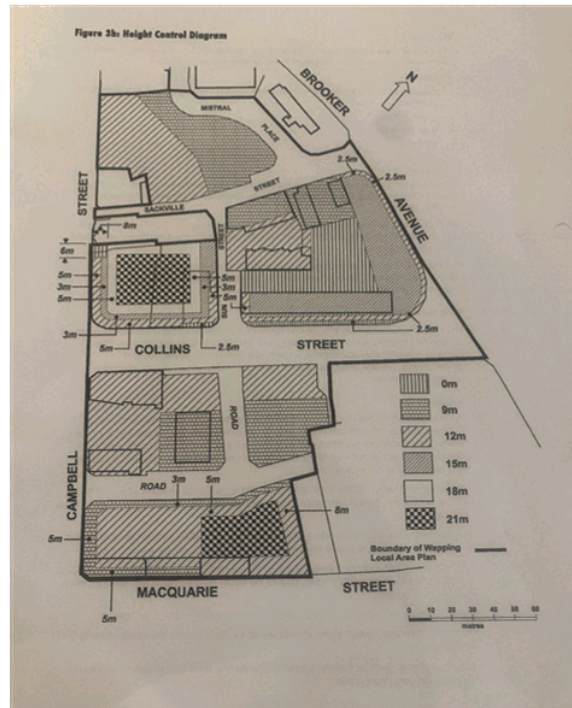
Height 12m

Plot ratio 2.0

Buildings can be built to the front and side boundaries.

However, the site adjoins the Theatre Royal whose fly-tower is approximately 27 metres high and the Hedberg that is scheduled in the Planning Scheme as 21 metres is in fact 34 metres to the rooftop service enclosure.

It is also notable that in fig3B which provides the height parameters for the Wapping Local Area Plan, the Theatre Royal is illustrated as having an 18- metre height limit, if it was included as part of this precinct it might be argued that the site of the former Theatre Royal Hotel should be included in this zone. Furthermore, the plot ratio makes no sense for a non-residential reuse.



REDEVELOPMENT PROPOSAL

The building proposed is attached in the appendix to this assessment.

In essence the early 20th century façade of the existing building is retained with a new contemporary structure of 4 storeys (or approximately 14.7 metres to the roof) in height encompasses the site behind the pre-existing façade.

Other than the façade, the remainder of the existing building is demolished.

This new structure creates a garden courtyard on the northern side of the site. This separates the new building from the heritage listed walls on the boundary, allowing them to be viewed and incorporated sympathetically into the new development.

DEVELOPMENT ASSESSMENT**DEMOLITION**

- 22.5 'Building or Works' on Land Not Included in Table 1
- A report identifying that the building does not have cultural significance;

In essence this building is not listed in the Planning Scheme as of Cultural Heritage significance. It should be noted that the Scheme refers to "Cultural" equally with "Cultural Heritage" (see 7.3.2). They are in fact to be used together in understanding their intent and meaning.

- It is the view of this assessment that no further argument is needed because the Scheme does not list this place as being of Cultural Heritage significance.
- It makes no sense to do a report which restates that which is already enshrined in the Scheme.
- 28.3.1 A permit is required for all demolition in the Cove. All such demolition is 'discretionary'
- 28.5 Guidelines for Development Control
- The demolition of any building, or works on land shall not be 'permitted' unless; a
- replacement development has been approved, or such demolition is required by statutory
- order or is authorised by the Building Surveyor as essential to public safety.
- Any application for demolition:
- (b) May be refused if in the opinion of the Planning Authority the building contributes to
- the cultural heritage or urban character of the Activity Area and the building is
- capable of continued beneficial use.
- 28.6 Matters to be Considered
- In considering any proposal for demolition, the Planning Authority shall give regard to the following matters:
 - The impact of the proposed demolition on the character of the Activity Area;
 - The impact of the proposed demolition on the cultural heritage values of the Cove;
 - The need to avoid creation of vacant sites and 'lost space' in the Cove.

This planning application attaches a redevelopment proposal which seeks a combined permit for demolition and redevelopment.

The demolition and redevelopment of the site will not reduce either the Cultural Heritage values of the Cove or the character of the Activity Area defined in the Planning Scheme. This is so because the building is not listed in the Scheme as being of Cultural Heritage value.

The existing building is not capable of economic reuse because the structure does not accord with the Building Code of Australia. This building is largely of timber construction with timber floors, making it impossible to increase its floor area within an accord with fire provisions.

Moreover the room partitions do not lend themselves to the enlarged and extended operations within the building which requires open space planning. That new use will require a building footprint which far exceeds the existing building.

DEVELOPMENT ASSESSMENT**CULTURAL HERITAGE CONSIDERATIONS**

With reference to 22.5.5 of the Planning Scheme the following is noted:

- *'Building or works' adjacent to a place of cultural significance must not dominate that place when viewed from the street or any other public space, or be more prominent in the street than the adjacent place of cultural significance.*

The proposed building will not dominate the adjacent listed buildings, in particular the Theatre Royal. This latter building has a two-storey stone façade of 19th Century origin but escalates quickly in height to approximately 27 metres of the modern metal clad fly-tower. The intervening theatre auditorium is built in brick over stone and is approximately five stories in height.

This is a complex building in its construction material, architectural form and height. The new building proposal across Sackville Street is equally diverse in that the original façade is maintained and the new structure behind is contemporary but only rising some four storeys.

Ther comparison is further attenuated by the separation of each structure by Sackville Street. In comparison to the Hedberg which physically adjoins the Theatre Royal and rises to 30 – 34 metres.

The adjacency of the listed walls at the rear of the former Theatre Royal Hotel are scarcely seen from any street and therefore are not an essential element of comparison. However, it is noted that the new building sets back from them making them more prominent across the proposed courtyard garden.

This assessment would recommend approval under this criteria.

- *The area of the façade of any new building may be permitted to exceed that of the building on an adjacent place of cultural significance where the Planning Authority is satisfied that the visual impact of the apparent disparity of scale is not significant or that historic precedent warrants the scale disparity.*

The new building maintains the former façade of the Theatre Royal Hotel but recolours it to more closely correspond with its original unpainted brick appearance. While the new façade rises two storeys above the retained façade, this will read as complimentary and in step with the stepped height increase of the Theatre Royal.

It moreover, is substantially less in bulk and physical presence than the Hedberg that adjoins the Theatre Royal.

This assessment would recommend approval under this criteria.

- *Building of works must complement and contribute to the specific character and appearance of adjacent places of cultural significance and the historic character of the Cove generally.*

See the two preceeding comparisons for form and architectural mode.

It must be said that buildings surrounding the listed place, Theatre Royal, are essentially all modern with diverse architectural character, scale and streetscape presence. The outstanding element in this regard is the new wing of the Royal Hobart Hospital. Its height, colouring and architectural modelling dominates Campbell Street and as such makes the heritage assessment of this site somewhat meaningless.

This assessment would recommend approval of the proposed building under this criteria.

- *The location, bulk and appearance of “building or works” must not adversely affect the heritage values of any adjacent or nearby place of cultural significance.*

See previous items of comparison.

This assessment would recommend approval of the new building under this criteria.

- *“Building of works” must not reduce the heritage value of any adjacent places of cultural significance by mimicking historic forms.*

This new building proposal does not mimic historic forms but is contemporary in its architectural modelling and expression forming a wrap around the existing façade of the Theatre Royal Hotel.

This assessment would recommend approval of the new building under this criteria.

CONCLUSION

This assessment concludes that this new building proposal satisfies the criteria of 22.5.5 and as such should be recommended for approval under the Heritage provision of the Sullivans Cove Planning Scheme.

Moreover the demolition consideration illustrates that partial demolition of the existing building is the only way to achieve the floor area for the Wellness Centre. The retention of the original Hotel façade provides a streetscape continuity that is a desirable outcome when used in conjunction with the new structure behind.

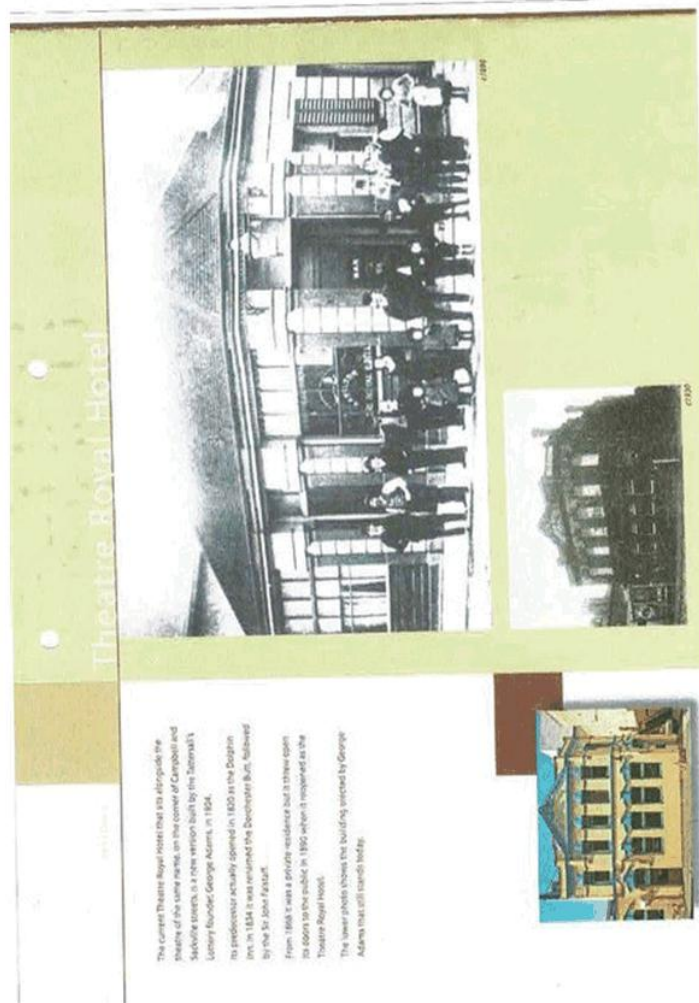
It is recommended however, that the retained façade of the Theatre Royal Hotel be coloured to represent its original appearance.

Moreover, it is recommended that a storyboard be made to illustrate the history of the site. This board should be placed in a prominent position and be made in durable material and finishes.

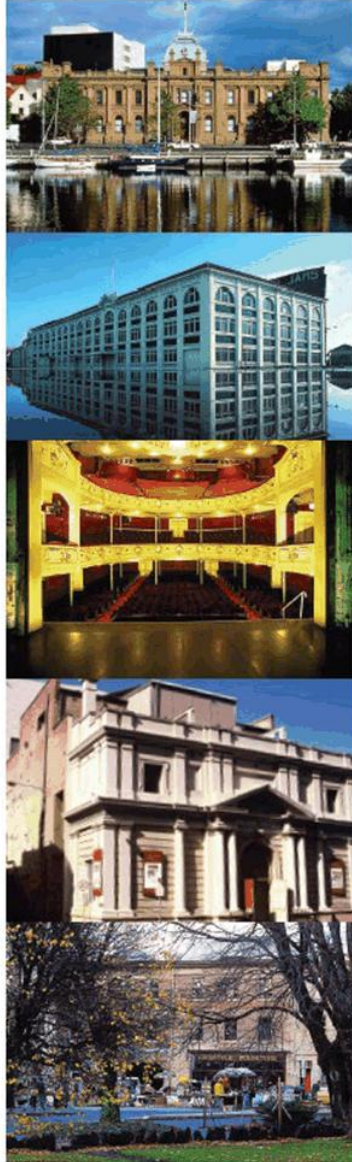
APPENDIX

1. Theatre Royal Hotel
Here's Cheers by C J Dennison
2. Heritage CV – Garry Forward
3. Architectural drawings for development proposal – Cumulus Studio – Architects

1. Theatre Royal Hotel - Here's Cheers by C J Dennison



CULTURAL AND HERITAGE



GARRY FORWARD LFRAIA

Garry is an internationally recognised and published architect with more than 35 years of experience in consultancy practice, both in Australia and overseas.

Heritage and conservation have always been a core interest. Garry has post graduate qualifications in this field from the International Centre for Conservation in Rome and a wide range of experience as a consultant to both the public and private sectors.

Garry was directly involved in the early years of the National Trust in Tasmania and is a founding member of the International Council on Monuments and Sites (Australia).

Managing good outcomes for development and heritage within the planning system, including the Tasmanian Cultural Heritage Act is often a vexed issue. Garry has been involved on both sides of the "planning fence" and has provided expert witness testimony at a number of planning appeals in both Tasmania and Victoria.

POSITION:

Director, Forward Consultancy Pty. Ltd.

QUALIFICATIONS:

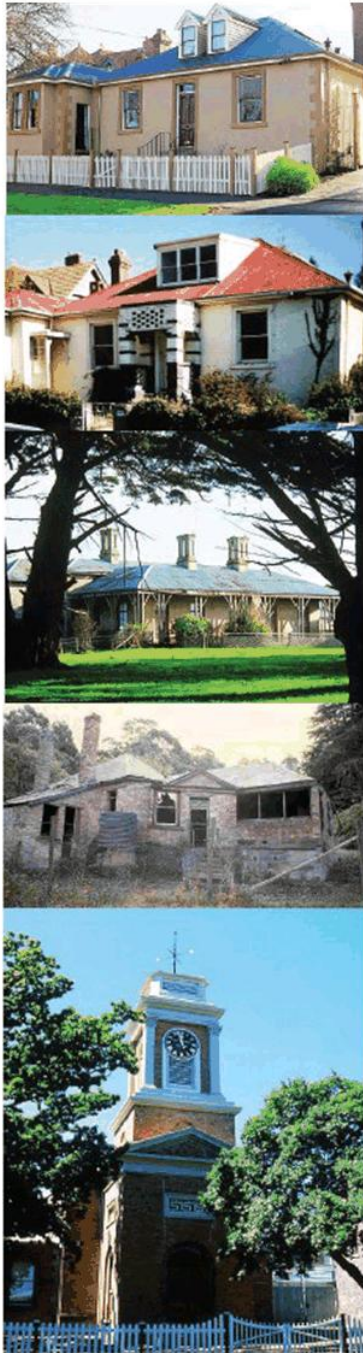
International Centre for the Conservation of Monuments and Sites (I.C.C.R.O.M) Rome, 1982

York Institute of Advanced Architectural Studies, Conservation in Urban Areas, 1976

Conservation of Historic Structures (summer schools), 1974 - 1975

Urban Planning (2 yr study, post graduate), 1975 - 1976

Diploma of Architecture, Tasmania, 1971

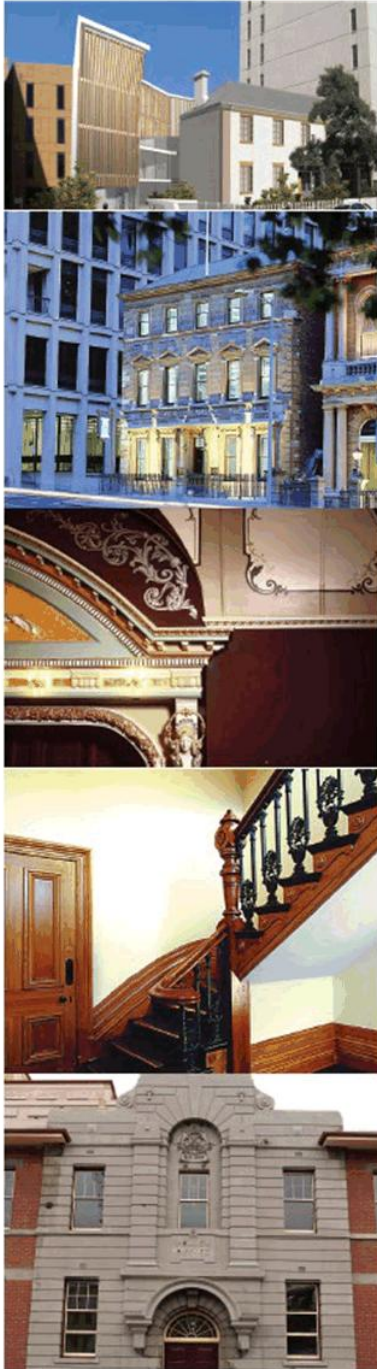


PROFESSIONAL AFFILIATIONS:

Registered Architect, Tasmania, 1972 - to date
 Royal Australian Institute of Architects, 1973 - to date (Life Fellow 2004)
 Royal Australian Institute of Architects, President, Tasmania, 1983 - 1984
 International Council on Monuments and Sites (Australia) 1974 - to date
 Royal Australian Planning Institute, Affiliate 1974 - 1984
 Australian Heritage Commission – Technical Advisory Com., 1974 - 1984
 National Trust of Australia (TAS), 1974 - to date; Councillor, 1974 - 1998
 Battery Point Planning Advisory Committee (H.C.C.), 1976 - 2004
 Association for Preservation Technology, 1982 - to date

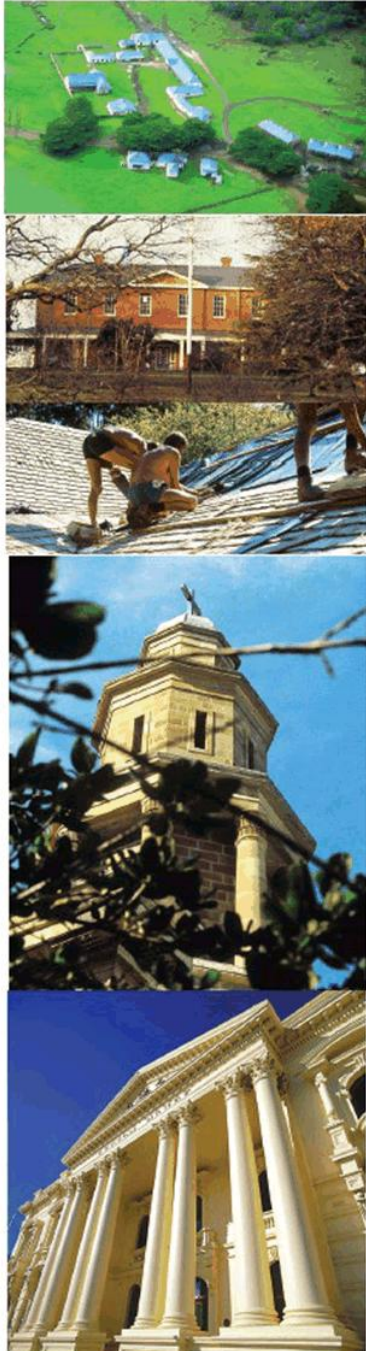
PROFESSIONAL CAREER:

Forward Consultants Pty. Ltd. – Director, 2009 - to date
 Forward Brianese + Partners – Director, 2008 - 2009
 DesignInc Tasmania – Director, 2001 - 2007
 DesignInc Beijing – Director, 2003 - 2007
 Forward Brianese + Partners – Director, 2000 - 2001
 Forward Viney + Partners – Principal, 1997 - 2000
 Forward Viney Woolan, Hobart & Melbourne – Principal, 1991 - 1997
 Forward Consultants, Hobart & Melbourne – Principal, 1982 - 1991



SELECTED LIST OF HERITAGE PROJECTS

Lithend - Port Arthur
 Port Arthur Houses and Farm - Port Arthur
 St Georges Church - Battery Point
 Highfield - Circular Head
 Maria Island - East Coast of Tasmania
 Penitentiary Chapel and Criminal Courts - Hobart
 Centre for the Arts - Hobart
 Hobart Custom House for TMAG - Hobart
 Roberts / The Old Woolstore - Hobart
 Launceston Customs House - Launceston
 Theatre Royal - Hobart
 Old Treasury Building - Melbourne
 25 Salamanca Place - Hobart
 83 Salamanca Place - Hobart
 The Briars - Mornington
 McCrae Homestead - Dromana
 Broadfoots Boatsheds - Warrnambool
 Evandale Conservation Study - Evandale
 Pontville Study - Pontville
 27 - 33 Hunter Street - Conservation Plan - Hobart
 Casey's Steam Museum - Hobart
 Victoria Barracks RIMA Project - South Melbourne
 City of Hobart Conservation Plan 1 - Hobart
 Entally Conservation Plan - Hadsphen
 Sullivan's Cove Studies 1 and 3 (Heritage Section) - Hobart
 Queens Domain Old University - Hobart
 Launceston Gas Works Redevelopment - Launceston
 Friends' School - Hobart
 National Trust - Franklin House Conservation Plan
 105 Macquarie Street Hobart
 142 Davey Street Hobart
 Portside Building Burnie, MasterPlan
 New Royal Hobart Hospital, MasterPlan



AWARDS

RAIA Award - Commendation - 2001
RAIA Award - Conservation - 2000
RAIA Awards - James Blackburn Award for Housing (plus 3 commendations) - 1977
RAIA Awards - Henry Hunter Award for Recycling & Conservation - 1996
RAIA - John Lee Archer Award for New Building (plus one other award) - 1995
RAIA Awards (three) - 1994
RAIA Awards (three) - 1993
RAIA Award - 1992
RAIA Award (plus National President's Award) - 1987
Sullivans Cove Ideas Competition - 1986
RAIA Award (plus Award National finalist) - 1985
RAIA Award - 1983
Italian Government Scholarship (I.C.C.R.O.M.) - 1982
1st Prize Architects Selection Competition - 1981
(Tasmanian Department of Housing - Campbell Court)
RAIA Awards (two) - 1980
RAIA Award - 1979
Undergraduate prizes Years 1 and 4 - 1965-1980

2. Architectural drawings for development proposal – Cumulus Studio – Architects

NOTE:
FINAL EXTENT OF EXCAVATION IS UNKNOWN AND WILL BE DEPENDENT UPON GEOTECHNICAL CONDITIONS ON SITE AND STRUCTURAL DESIGN WITH MINIMAL EXCAVATION IN GROUND.
THE INTENT IS TO MINIMISE EXCAVATION IN GROUND.
THE BUILDING SPECIFICATIONS WILL BE WRITTEN WITH SPECIFIC HOLD POINTS FOR ANY AREAS OF ARCHAEOLOGICAL SIGNIFICANCE AND TREATED APPROPRIATELY.

CAMPBELL STREET

SACKVILLE STREET

REFER NOTES FOR
EXTENT OF EXCAVATION

EXTENT OF EXCAVATION
1:100

CU
EST
2021

MUL

US

REV DATE PURPOSE
OR DEVELOPMENT APPLICATION

NOT FOR CONSTRUCTION

CUMULUS STUDIO PTY LTD
INFO@CUMULUS.STUDIO
THE COPYRIGHT OF THESE DESIGNS, PLANS AND SPECIFICATIONS BELONGS TO CUMULUS STUDIO PTY LTD AND MUST NOT BE USED, REPRODUCED OR COPIED WITHOUT THEIR WRITTEN PERMISSION.
HOBART
SUITE 2, LEVEL 2, 147 MACQUARIE ST.
HOBART TAS 7000
+613 6231 4841
LAUNCESTON
GROUND FLOOR - SUITE 2, 33 CORNWALL ST.
LAUNCESTON TAS 7290
+613 6333 0930
MELBOURNE
LEVEL 2, 75-76 HARDWARE LN.
MELBOURNE VIC 3002
+613 6231 4841
ADELAIDE
SUITE 5/40, WATSON STREET
ADELAIDE SA 5000
+613 6231 4841
SYDNEY
LEVEL 4, 18 FOSTER STREET
SYDNEY NSW 2050
+613 6231 4841
THESE DRAWINGS SHOW DESIGN INTENT & ARE INTENDED AS A GUIDE ONLY. DO NOT SCALE OFF. THE DRAWINGS, ALL DIMENSIONS IN MILLIMETRES, DIMENSIONS OF EXISTING BUILDINGS ARE INDICATED ONLY. THEY SHOULD NOT BE RELIED ON AND ARE TO BE VERIFIED ON SITE BEFORE COMMENCING WORK. ALL DOCUMENTS SHALL BE READ IN CONSULTATION WITH SPECIFICATIONS AND ANY CONSULTANTS DETAIL. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE, RELEVANT AUSTRALIAN STANDARDS & LOCAL AUTHORITY BY LAWS AND REGULATIONS. ANY DISCREPANCIES, ERRORS OR OMISSIONS SHALL BE REFERRED TO THE ARCHITECTS. DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL ISSUED "FOR CONSTRUCTION".

PROJECT NAME
SHE CANCER
WELLNESS CENTRE

PROJECT ADDRESS
31-35 CAMPBELL ST
HOBART
TAS 7000

PROJECT STAGE
DEVELOPMENT APPLICATION

DRAWING TITLE
EXTENT OF EXCAVATION

ARCHITECT
PETER WALKER, CC2143E

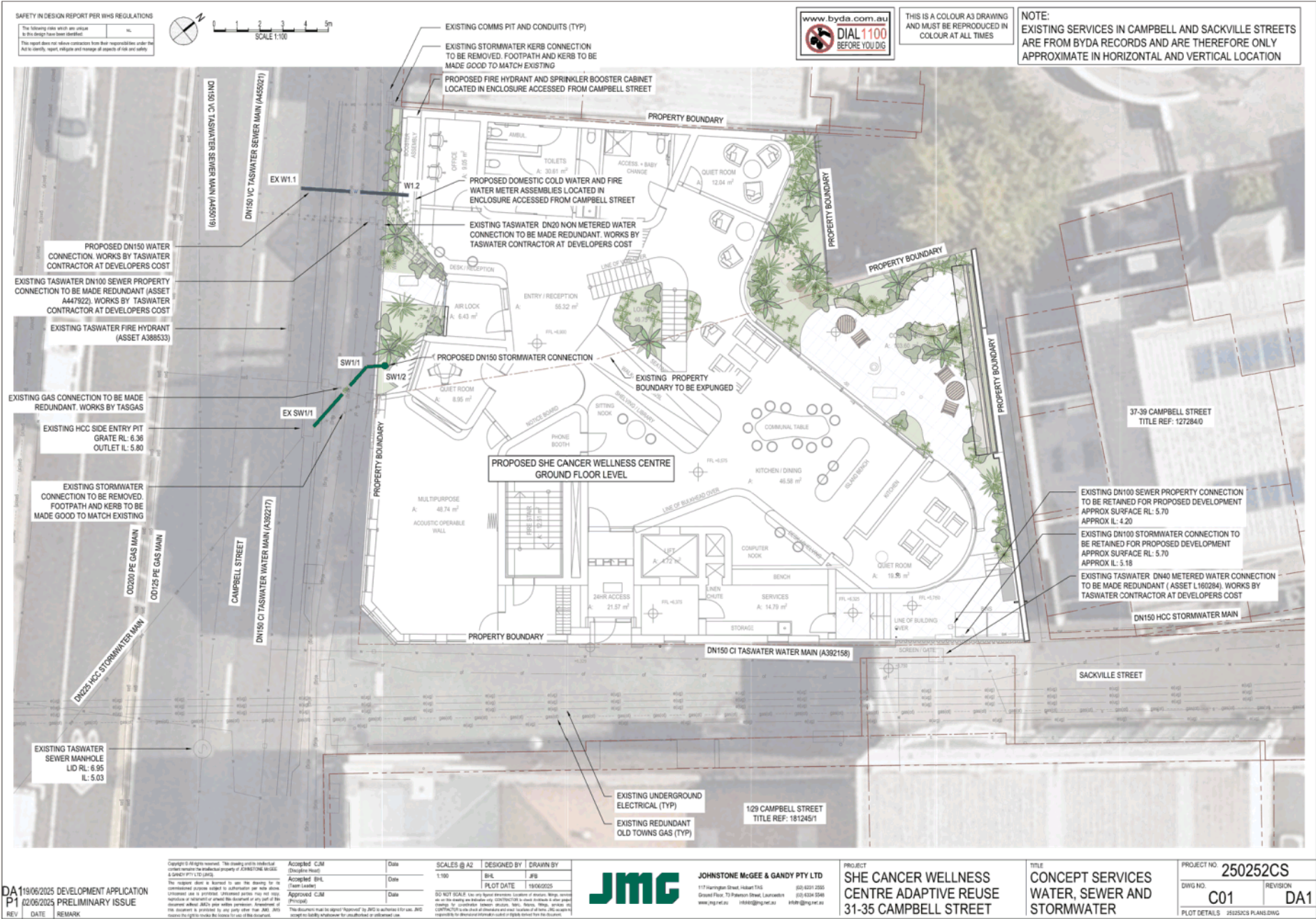
DRAWN BY CHECKED BY
OP, RB, TB, KF, KS AG

SCALE ORIGINAL SIZE
1:100 A2

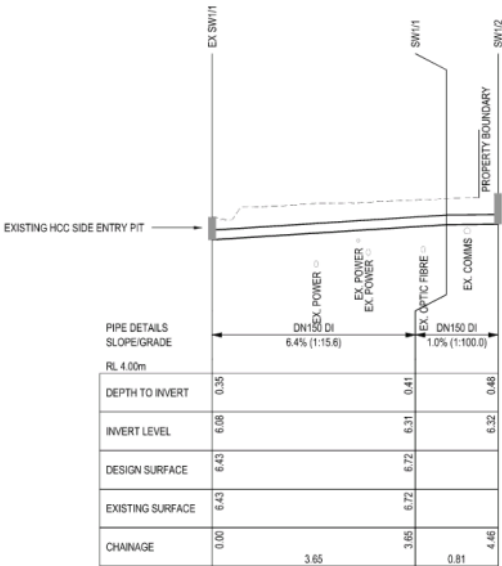
PROJECT N° DATE
J24031 15/7/2025

DRAWING N° REVISION

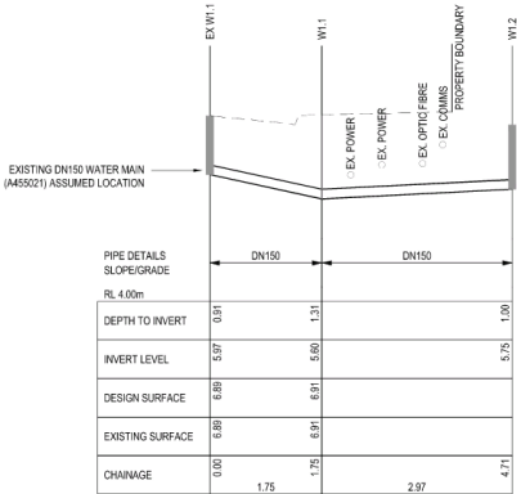
DA18-01



SAFETY IN DESIGN REPORT PER WHS REGULATIONS	
The following risks which are unique to this design have been identified:	No.
This report does not release contractors from their responsibilities under the Act to identify, report, mitigate and manage all aspects of risk and safety.	



STORMWATER PROFILE
SCALES: 1:50(H) 1:50(V)



WATER CONNECTION PROFILE
SCALES: 1:50(H) 1:50(V)

NOTE:
EXISTING SERVICES IN CAMPBELL AND SACKVILLE STREETS
ARE FROM BYDA RECORDS AND ARE THEREFORE ONLY
APPROXIMATE IN HORIZONTAL AND VERTICAL LOCATION

DA119/06/2025 DEVELOPMENT APPLICATION
P1 02/06/2025 PRELIMINARY ISSUE

REV DATE REMARK

Copyright is All rights reserved. This drawing and its intellectual content remain the intellectual property of JOHNSTONE MCGEE & GANDY PTY LTD (JMG).	Accepted C/M (Design/Head)	Date	AS SHOWN	DESIGNED BY BHL	DRAWN BY JHB
This report shall be limited to the use for which it is commissioned and shall not be used for any other purpose without the written consent of JMG. No liability shall be accepted by JMG for any loss or damage arising from the use of this report for any purpose other than that for which it was commissioned.	Accepted B/L (Team Leader)	Date		PLOT DATE 19/06/2025	
	Approved C/M (Principal)	Date			

117 Harrington Street, Hobart TAS Ground Floor, 70 Robertson Street, Launceston www.jmg.net.au info@jmg.net.au	(03) 6221 2555 (03) 6224 5548 info@jmg.net.au
--	---

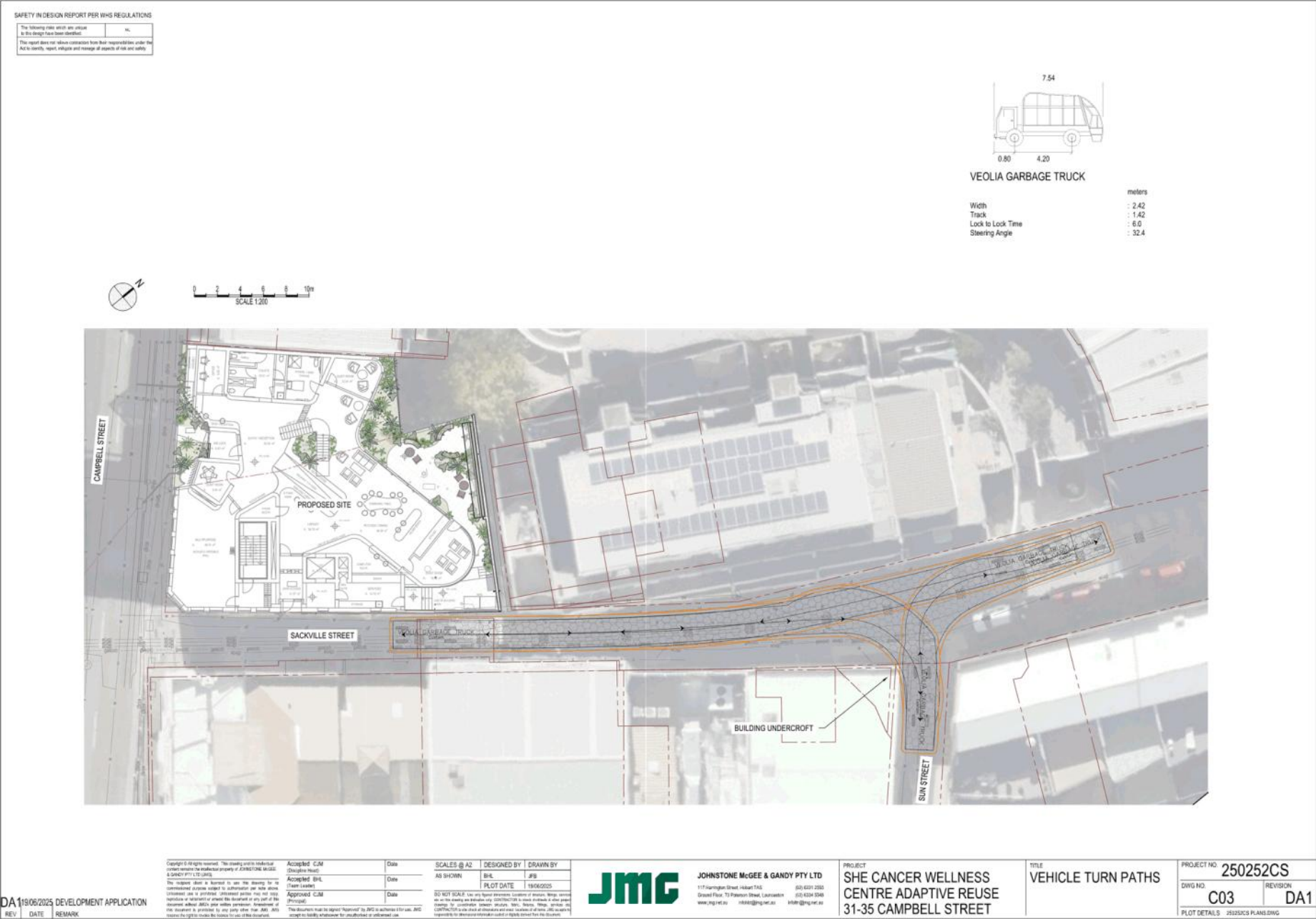


JOHNSTONE MCGEE & GANDY PTY LTD
117 Harrington Street, Hobart TAS
Ground Floor, 70 Robertson Street, Launceston
www.jmg.net.au info@jmg.net.au

PROJECT
SHE CANCER WELLNESS
CENTRE ADAPTIVE REUSE
31-35 CAMPBELL STREET

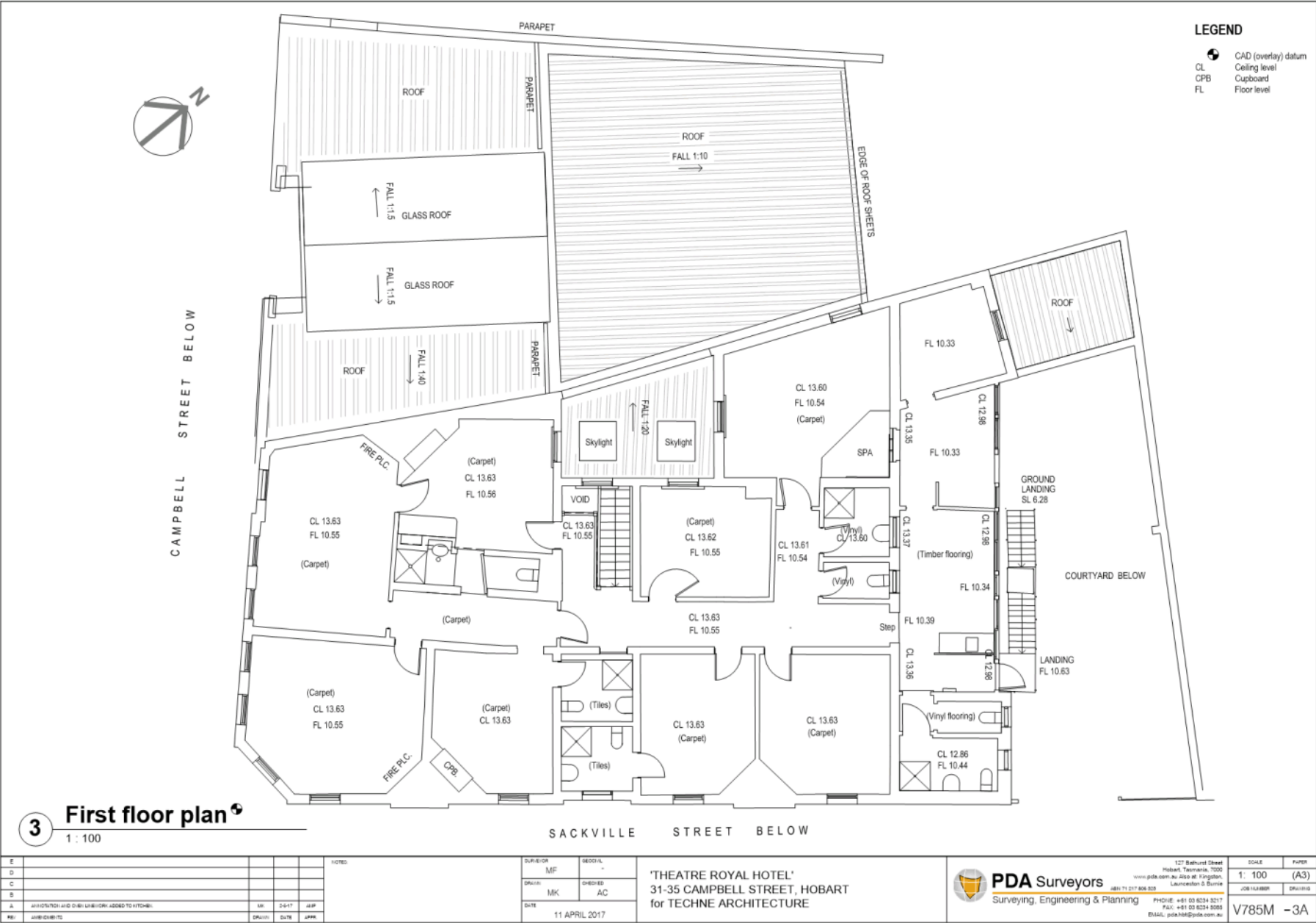
TITLE
STORMWATER AND
WATER CONNECTION
PROFILES

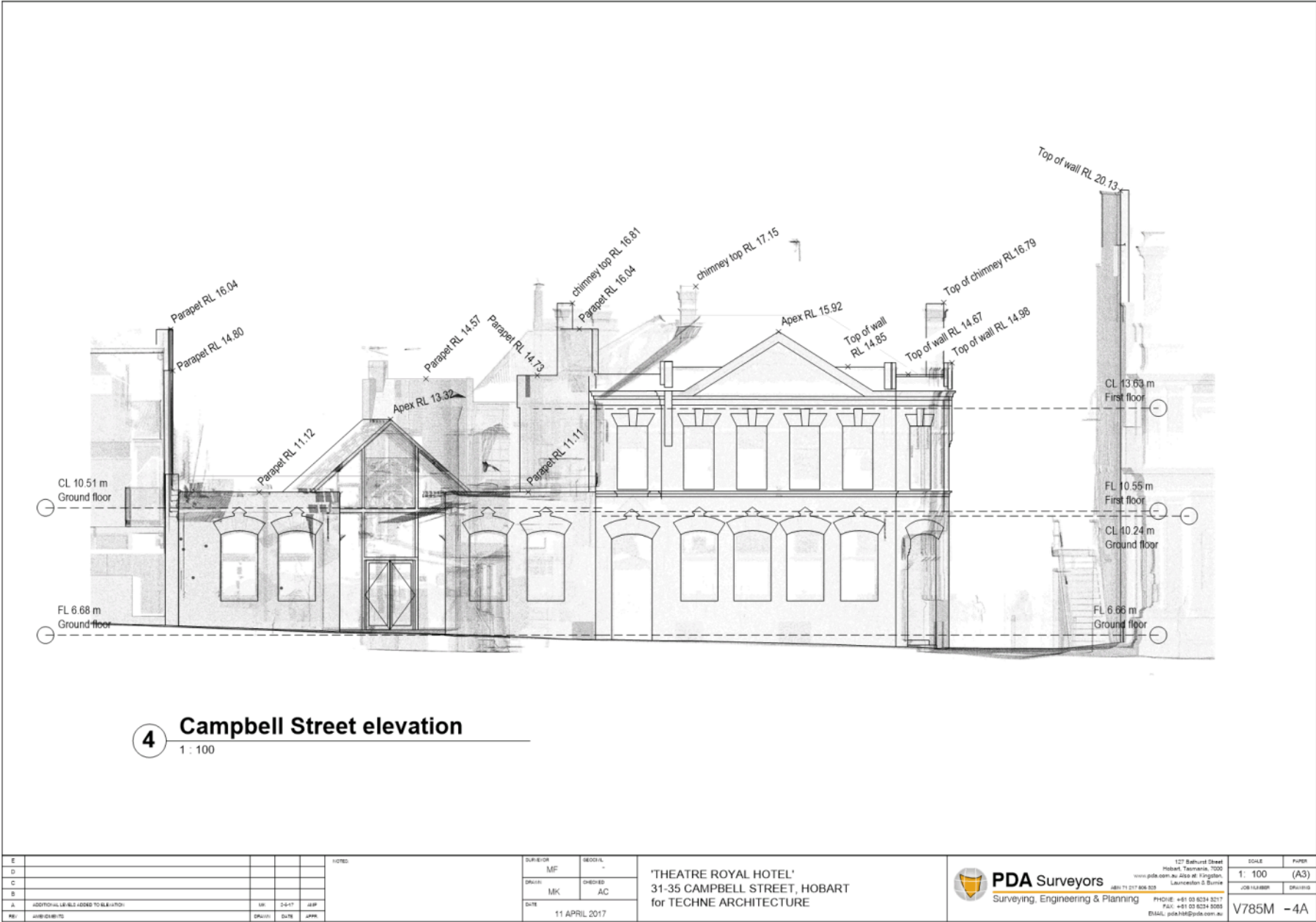
PROJECT NO.	250252CS
DWG NO.	C02
REVISION	DA1
PLOT DETAILS	250252CS PLANS.DWG



[illegible]










5 Sackville Street elevation
1 : 100

E						NOTES:		SUPERVISOR		DESIGNER		'THEATRE ROYAL HOTEL' 31-35 CAMPBELL STREET, HOBART for TECHNÉ ARCHITECTURE		 PDA Surveyors Surveying, Engineering & Planning 127 Bathurst Street Hobart, Tasmania, 7000 www.pda.com.au JOHN LAURENCE PHONE: +61 03 6234 3217 FAX: +61 03 6234 3088 EMAIL: pda.hk@pda.com.au		SCALE		PAPER	
D						MF		1: 100		(A3)									
C						MK		CHECKED		AC						JOB NO: 8888		DRAWING	
B																			
A		ADDITIONAL LEVELS ADDED TO ELEVATION		SR		3-6-17		JLP											
REV:		ADDED DIMENSIONS		DRAWN		DATE		APP										V785M -5A	

CONCEPT SERVICES REPORT

SHE CANCER WELLNESS CENTRE

CUMULUS STUDIO
19 JUNE 2025



TABLE OF CONTENTS

1.	Introduction	3
2.	Sanitary Drainage System	4
3.	Water	5
4.	Stormwater	7
5.	Vehicle Access	11
6.	Electrical	11

Appendix A - Architectural Plans

Appendix B - Concept Civilworks Plans

Appendix C - Site Catchment Flow Analysis

Appendix D - Water and Sewer Demand Calculations

Appendix E - Fire Head Loss Calculations

Issuing Office: 117 Harrington Street, Hobart 7000								
JMG Project No. 250252CS								
Document Issue Status								
Ver.	Issue Date	Description	Originator		Checked		Approved	
1	17/06/2025	Draft Issue	JFB		BHL		CJM	
2	19/06/2025	Development Application	JFB		BHL		CJM	

CONDITIONS OF USE OF THIS DOCUMENT

- Copyright © All rights reserved. This document and its intellectual content remains the intellectual property of JOHNSTONE McGEE & GANDY PTY LTD (JMG). ABN 76 473 834 852 ACN 009 547 139
- The recipient client is licensed to use this document for its commissioned purpose subject to authorisation per 3. below. Unlicensed use is prohibited. Unlicensed parties may not copy, reproduce or retransmit this document or any part of this document without JMG's prior written permission. Amendment of this document is prohibited by any party other than JMG.
- This document must be signed "Approved" by JMG to authorise it for use. JMG accept no liability whatsoever for unauthorised or unlicensed use.
- Electronic files must be scanned and verified virus free by the receiver. JMG accept no responsibility for loss or damage caused by the use of files containing viruses.
- This document must only be reproduced and/or distributed in full colour. JMG accepts no liability arising from failure to comply with this requirement.



1. Introduction

JMG has been engaged as the Consulting Engineer for the proposed SHE Cancer Wellness Centre at 31-35 Campbell Street, Hobart. The proposal involves the redevelopment of the existing Theatre Royal Hotel site into a new four-storey, purpose-built cancer wellness centre, providing essential services and accommodation for individuals affected by cancer.

This Concept Services Report has been prepared in support of the Development Application (DA) and outlines the proposed servicing strategies for sanitary drainage, water supply, and stormwater management, in accordance with all relevant regulatory requirements and design standards.

The existing site comprises the two-storey Theatre Royal Hotel, spanning two titles at the corner of Campbell and Sackville Streets, opposite the Royal Hobart Hospital. The total site area is approximately 585 m². It is proposed that the two titles be amalgamated into a single title.

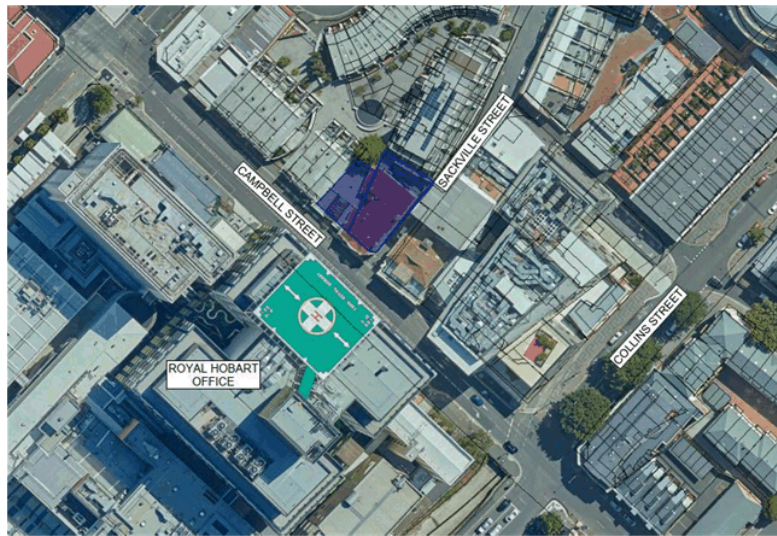


Figure 1: Site Locality Plan

2. Sanitary Drainage System

2.1 Existing System

There are two known sewer property connections servicing the site, one for each title. For the purposes of this report, these are referred to as Connection A and Connection B.

- Connection A is a DN100 property connection to TasWater's DN150 vitrified clay (VC) sewer main (Asset ID: A455021), located within Campbell Street to the south-east of the site.
- Connection B is a DN100 property connection to TasWater's DN150 cast iron (CI) sewer main (Asset ID: A441602), located within Sackville Street to the east of the site.

Refer to Figure 2 for existing TasWater infrastructure and property connection locations.

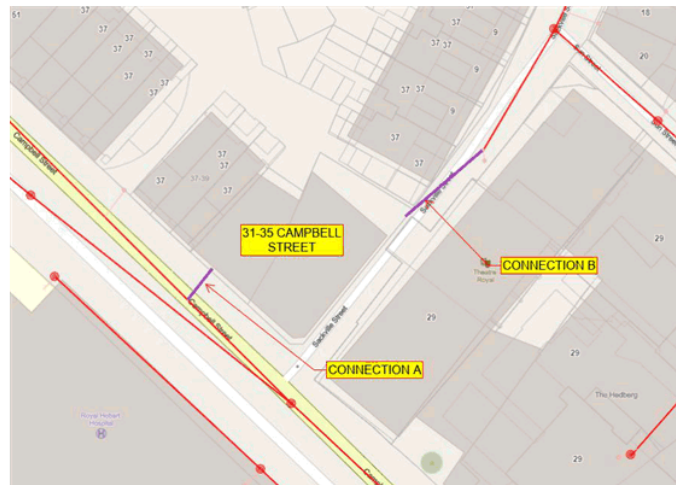


Figure 2: Existing TasWater sewer infrastructure and site sewer connections

2.2 Applicable Design Standards

The sanitary drainage system for the proposed development will be designed in accordance with the National Plumbing and Drainage Code - AS 3500.2 (Sanitary Plumbing and Sanitary Drainage) and relevant TasWater design standards.

2.3 Proposed System

It is proposed that all new sanitary drainage from the development will discharge to Connection B, located at the north-eastern corner of the site. Connection A will be made redundant and sealed in accordance with TasWater requirements.

Based on fixture unit calculations in accordance with AS 3500.2 Section 6.3, the total site loading has been estimated at 155 fixture units, which is below the allowable maximum of 165 fixture units for a DN100 property connection, AS3500.2 Table 3.3.1. As such, the existing Connection B has adequate capacity to accommodate the proposed development's peak flows.

Sewerage flows for the proposed development have been estimated using the TasWater Supplement to the Sewerage Code of Australia. Refer Table 1 for a summary of the calculated design flows.

Table 1: Residential Sewer Flow Calculations

	Value	Units
Equivalent Tenements	12.0	(-)
Average Dry Weather Flow	0.0628	(L/s)
Peak Dry Weather Flow	0.999	(L/s)
Design Flow	1.08	(L/s)

3. Water

3.1 Existing System

The site is currently serviced by two separate water connections, one for each property title:

- A DN40 metered connection (L160284) from the DN150 cast iron (CI) water main (Asset ID: A392158) located in Sackville Street
- A DN20 non-metered connection from the DN150 CI water main (Asset ID: A392217) located in Campbell Street

These existing connections are shown on Figure 3.

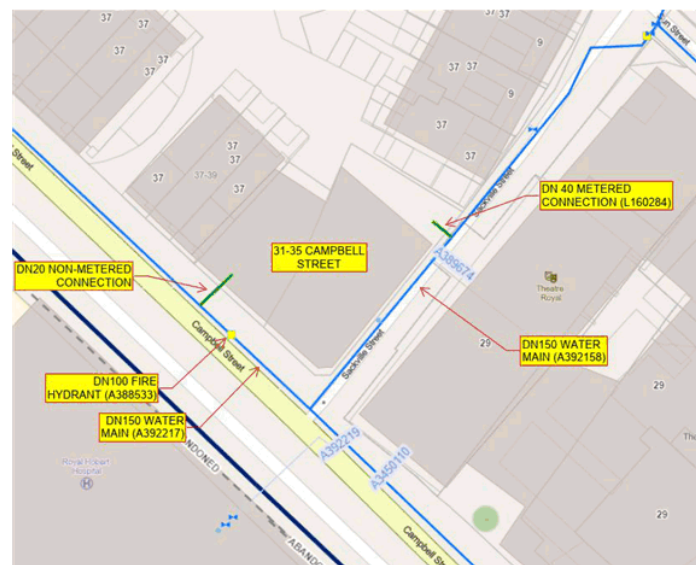


Figure 3: Existing TasWater water infrastructure and site water connections

3.2 Applicable Design Standards

The water reticulation system for the development will be designed in accordance with the following standards and authority requirements:

- AS 3500.1 - National Plumbing and Drainage Code: Water Supply
- TasWater's Water Metering & Guidelines - for metering requirements
- TasWater's Water Boundary Backflow Containment Selection Guidelines - for backflow prevention
- AS 2419.1 - Fire Hydrant Installations, for fire coverage compliance
- AS 2118.1 - Automatic Fire Sprinkler Systems

3.3 Proposed System

The existing water connections from Campbell Street and Sackville Street will be made redundant and sealed in accordance with TasWater's requirements as part of the redevelopment.

A new above-ground domestic water meter sized in accordance with AS3500.1 and a DN150 fire water meter assembly will be installed within the property boundary, meeting TasWater's metering and backflow containment guidelines. The site hazard rating to be determined pending confirmation of the allied health tenancy use. This new connection is proposed to be made to the existing DN150 TasWater main (A392217) in Campbell Street and will provide a consolidated, compliant water supply for the development. Refer to the civil drawings in Appendix B for the location of the new water property connection.

The development will be serviced by new internal water supply pipework installed in accordance with AS 3500.1, connected to the new metered supply.

Water demand has been estimated using the TasWater supplement to the MRWA Water Supply Code, with the results summarised in Table 2.

Table 2: Residential Water Demand Calculations as per AS3500.1 and TasWater Supplement

	Value	Units
Number of Units	8.0	(-)
Probable Simultaneous Demand	1.53	(L/s)
Average Water Demand per day	5485	(L/day)

Fire hydrant protection for the development will be designed in accordance with AS 2419.1, Table 2.2.5(b), which specifies for the proposed development that a single hydrant must be capable of delivering a minimum flow of 10 L/s at a residual pressure of 350 kPa. Internal hydrant outlets will be provided on each level within the fire stairwell, with the most hydraulically disadvantaged outlet located on the roof level.

Fire sprinkler protection for the development will be designed in accordance with AS2118.1, which specifies that fire sprinklers will be provided to all internal levels and provide protection to external openings (windows) that are within 6.0m of any neighbouring properties. The fire sprinkler flowrate is based upon the worst case scenario, which for the proposed development is the activation of 14 wall wetting sprinkler heads at a combined 18 L/s at a minimum head pressure of 70 KPa.

Based on the fire head loss calculations (refer to Appendix E), the combined demand from the most disadvantaged hydrant and the internal sprinkler system results in a minimum required pressure at the property boundary of 615 kPa at 28 L/s.

TasWater have completed hydraulic modelling on the existing DN150 TasWater main (A392217) at the fire hydrant (A388533) located in Campbell Street Adjacent to the proposed development. The results of the residual pressure from this testing is shown in Table 3. Based on these results the required pressured of 615 KPa at 28 L/s can be achieved at the proposed property connection location.

Table 3: Fire Flow Modelling Results on Hydrant A388533

Fire Flow (L/s)	Residual Pressure (m)
0	85.75
5	85.55
10	85.40
15	85.24
20	85.04
25	84.79
28	84.63
30	84.51
40	83.84
50	83.04

4. Stormwater

4.1 Existing Systems

The site is currently divided into two distinct stormwater catchments. One catchment discharges directly into the Hobart City Council (HCC) stormwater network in Campbell Street, to the south of the site, while the other discharges to the Sackville Street HCC stormwater main to the east. Refer to Figure 4 for the pre development catchment delineation.

Both catchments consist entirely of impervious surfaces, primarily roofed areas and a concrete courtyard located in the north-eastern corner of the site.

Given the fully developed nature of the site, a time of concentration (TOC) of 5 minutes has been adopted for both catchments. The 5% Annual Exceedance Probability (AEP) flows for a 5-minute storm event are summarised in Table 4.

Table 4: Predevelopment Catchment Analysis

	Campbell Street Catchment	Sackville Street Catchment
Catchment Area	137 m ²	434 m ²
Runoff Coefficient	0.9	0.9
5% AEP Flow	3.1 L/s	9.5 L/s

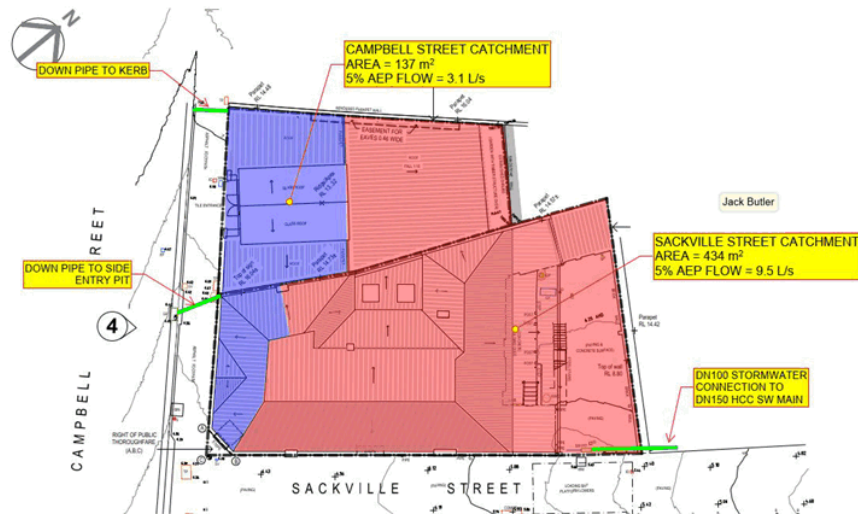


Figure 4: Existing Stormwater Catchments Plan

4.2 Design Standards

Stormwater drainage for the proposed development will be designed in accordance with the Hobart City Council (HCC) design standards, AS 3500.3: Plumbing and Drainage - Stormwater Drainage, the National Construction Code, and the applicable Planning Scheme requirements.

The proposed stormwater management strategy has been developed in direct consultation with Hobart City Council's Stormwater Engineer, ensuring alignment with Council's expectations and local network constraints. The following design parameters were confirmed during this consultation:

- On-site detention is not required, provided the post-development impervious area does not exceed the pre-development impervious area.
- HCC prefers that as much runoff as practicable be redirected to the Campbell Street stormwater connection due to known capacity constraints in the Sackville Street stormwater main.
- Climate change allowances are not required in pre- and post-development stormwater calculations.
- A cash contribution in lieu of on-site stormwater treatment will be accepted by Council.

4.3 Proposed Systems

Post-development stormwater runoff will be collected by a new internal piped drainage network. In accordance with Council's preference, the system has been designed to redirect a greater proportion of runoff to the Campbell Street catchment. This results in an increase in the Campbell Street catchment area of 330 m², as illustrated in Figure 5.

This redirection is in response to advice received from HCC, noting capacity limitations within the Sackville Street stormwater main, and forms part of the agreed strategy to reduce reliance on that network. The existing stormwater connection to Campbell Street will be removed and a new DN150 stormwater property connection discharging into the HCC side entry pit will be provided to suit the new internal drainage layout.

The Sackville Street catchment will decrease in area from 434 m² to 104 m². This portion of the site will remain connected to the existing DN100 stormwater connection at the rear of the property. Due to surface level constraints at the rear of the site being lower than Campbell Street, this area cannot be redirected to the Campbell Street network.

The TOC remains at 5 minutes for both catchments. The resulting 5% AEP peak flows are summarised in Table 5. Refer to Appendix C for the detailed stormwater calculations for both pre and post development catchments.

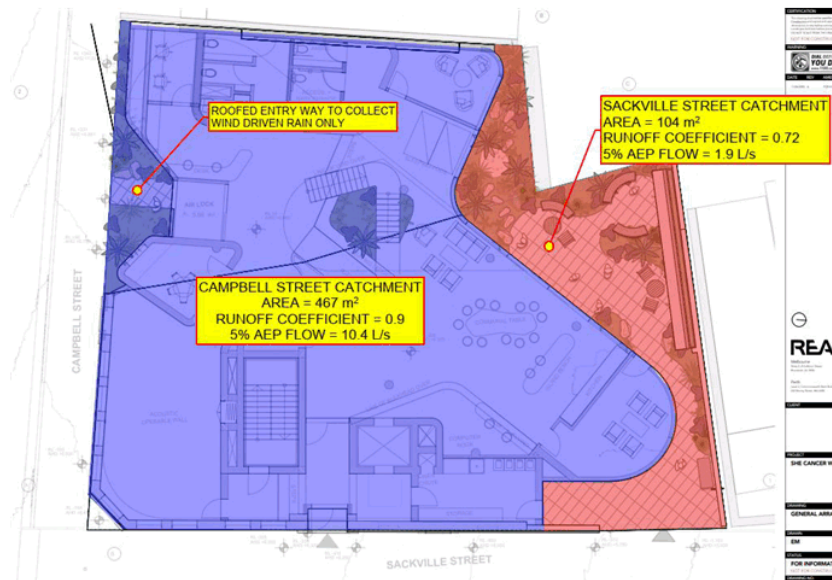


Figure 5: Post Development Catchments Plan

Table 5: Post Development Catchment Analysis

	Campbell Street Catchment	Sackville Street Catchment
Catchment Area	467 m ²	104 m ²
Runoff Coefficient	0.9	0.72
5% AEP Flow	10.4 L/s	1.9 L/s

4.4 Planning Scheme Requirements

The proposed development has been assessed against the relevant Acceptable Solutions and Performance Criteria of the Stormwater Management Code under the Hobart Interim Planning Scheme:

A1 - Stormwater from new impervious surfaces must be disposed of by gravity to public stormwater infrastructure.

All impervious surfaces on-site will be drained via gravity through the internal drainage network to the two proposed Hobart City Council stormwater connections.

A2 - A stormwater system for a new development must incorporate water sensitive urban design principles R1 for the treatment and disposal of stormwater if any of the following apply:

- a. the size of new impervious area is more than 600 m²;*
- b. new car parking is provided for more than 6 cars;*
- c. a subdivision is for more than 5 lots.*

As the new impervious area exceeds 600 m², the performance criteria would typically require a water-sensitive urban design (WSUD) system to meet the required quality targets via treatment devices. However, HCC has confirmed that a cash contribution in lieu of treatment would be accepted as an alternative option.

A3 - A minor stormwater drainage system must be designed to comply with all of the following:

- a. be able to accommodate a storm with an ARI of 20 years in the case of non-industrial zoned land and an ARI of 50 years in the case of industrial zoned land, when the land serviced by the system is fully developed;*
- b. stormwater runoff will be no greater than pre-existing runoff or any increase can be accommodated within existing or upgraded public stormwater infrastructure.*

The onsite private stormwater network will be adequately sized and designed to convey the 5% AEP storm event outlined in Section 4 and Appendix C. From the stormwater catchment analysis there is not an increase in flows from the site which aligns with advice from Council that stormwater detention is not required to limit flows.

A4 - A major stormwater drainage system must be designed to accommodate a storm with an ARI of 100 years.

Overland flows generated on the site or likely to impact the site from upstream can be safely conveyed away from the site via overland flow paths in Campbell Street and Sackville Street without impacting the proposed development.

5. Vehicle Access

Waste collection for the proposed development will be undertaken by a private contractor, with a 7.5 m long Veolia garbage truck engaged to service the site. Vehicle swept path analysis has been undertaken to confirm the access arrangement and turning movements associated with waste collection. Refer to Sheet C03 of the Civil Drawings for the detailed turning path, attached as Appendix B.

The garbage truck will access the site via Sackville Street, approaching from the east. As demonstrated on the swept path plan, the vehicle will enter Sun Street, perform a turning manoeuvre, and then reverse or reposition to park parallel to the site frontage along Sackville Street to collect bins.

This arrangement has been reviewed in the context of the local street network and surrounding usage patterns. The portion of Sackville Street south of Sun Street functions primarily as a low-traffic local access road, with minimal vehicle movement and predominant use by pedestrians. As such, the proposed waste collection manoeuvre is not expected to cause any significant disruption or nuisance to traffic flow or pedestrian safety in the area.

The swept path confirms that the 7.5 m garbage truck can complete the turning and parking manoeuvre without the requirement for complex reversing movements within the public road reserve, ensuring operational safety and compliance with best-practice urban service vehicle design principles.

6. Electrical

An application has been submitted to TasNetworks to confirm whether the anticipated maximum demand for the site can be accommodated within the existing network infrastructure.

TasNetworks has advised that the current site at 31-35 Campbell Street, Hobart is serviced via an existing cabinet located on Sackville Street (refer Figure 6), which is supplied by a 750 kVA substation. Based on a preliminary assessment by TasNetworks, a maximum demand (MD) of approximately 274 Amps could likely be supported from this supply point. However, this will require further review when the application progresses to the formal design and load assessment stage. We are currently awaiting a Letter of Offer from TasNetworks to proceed to this next stage.



APPENDIX A

Architectural Plans



SHE CANCER WELLNESS CENTRE

31-35 CAMPBELL ST

NO.	DRAWING NAME	REV	DATE
DA00	COVER PAGE	01	19/6/2025, 1:20 pm
DA01	PROPOSED SITE PLAN	01	19/6/2025, 1:20 pm
DA02	DECONSTRUCTION - GF	01	19/6/2025, 1:20 pm
DA03	DECONSTRUCTION - L1	01	19/6/2025, 1:20 pm
DA04	DECONSTRUCTION - ELEVATIONS	01	19/6/2025, 1:20 pm
DA05	PROPOSED - GF	01	19/6/2025, 1:20 pm
DA06	PROPOSED - L1	01	19/6/2025, 1:20 pm
DA07	PROPOSED - L2	01	19/6/2025, 1:20 pm
DA08	PROPOSED - L3	01	19/6/2025, 1:20 pm
DA09	PROPOSED - L4/ROOF	01	19/6/2025, 1:20 pm
DA10	PROPOSED - STREETSCAPE	01	19/6/2025, 1:20 pm
DA11	PROPOSED - SOUTH-WEST ELEVATION	01	19/6/2025, 1:20 pm
DA12	PROPOSED - NORTH ELEVATION	01	19/6/2025, 1:20 pm
DA13	PROPOSED - SOUTH-EAST ELEVATION	01	19/6/2025, 1:20 pm
DA14	SUN STUDIES	01	19/6/2025, 1:20 pm
DA15	SUN STUDIES	01	19/6/2025, 1:20 pm
DA16	SUN STUDIES	01	19/6/2025, 1:20 pm
DA17	SUN STUDIES	01	19/6/2025, 1:20 pm

CUMULUS RESPECTFULLY ACKNOWLEDGES THE FIRST PEOPLES OF AUSTRALIA, THEIR ELDERS PAST, PRESENT AND EMERGING, WHO WERE AND ARE THE KEEPERS OF THEIR CULTURAL AND SPIRITUAL KNOWLEDGE AND TRADITIONS, AND THE TRADITIONAL CUSTODIANS OF THE LAND ON WHICH WE LIVE AND WORK.

ARCHITECT/BSIP

ARCHITECT / ACCREDITED DESIGNER
PETER WALKER

ACCREDITATION N°
CC2143E

ARCHITECT ADDRESS
SUITE 2, LEVEL 2, 147 MACQUARIE STREET HOBART, TAS 7000
+61(0) 8231 4841

CLIENT/OWNER/PRINCIPAL

CLIENT NAME
SHE GYNAECOLOGICAL CANCER GROUP

CLIENT ADDRESS
40 MOLLE ST HOBART TASMANIA 7000

PROJECT INFORMATION

PROJECT N°
J24031

PROJECT NAME
SHE CANCER WELLNESS CENTRE

PROJECT ADDRESS
31-35 CAMPBELL ST
HOBART
TAS 7000

DETAILS

NCC CLASSIFICATION 3, 5, 9B
CONSTRUCTION TYPE TYPE A
TITLE REFERENCE 42971/1, 42972/1
DESIGN WIND SPEED REFER ENG
SOIL CLASS REFER ENG
CLIMATE ZONE 7
BAL RATING LOW
ALPINE AREA NO
CORROSION LEVEL C2
OTHER HAZARDS

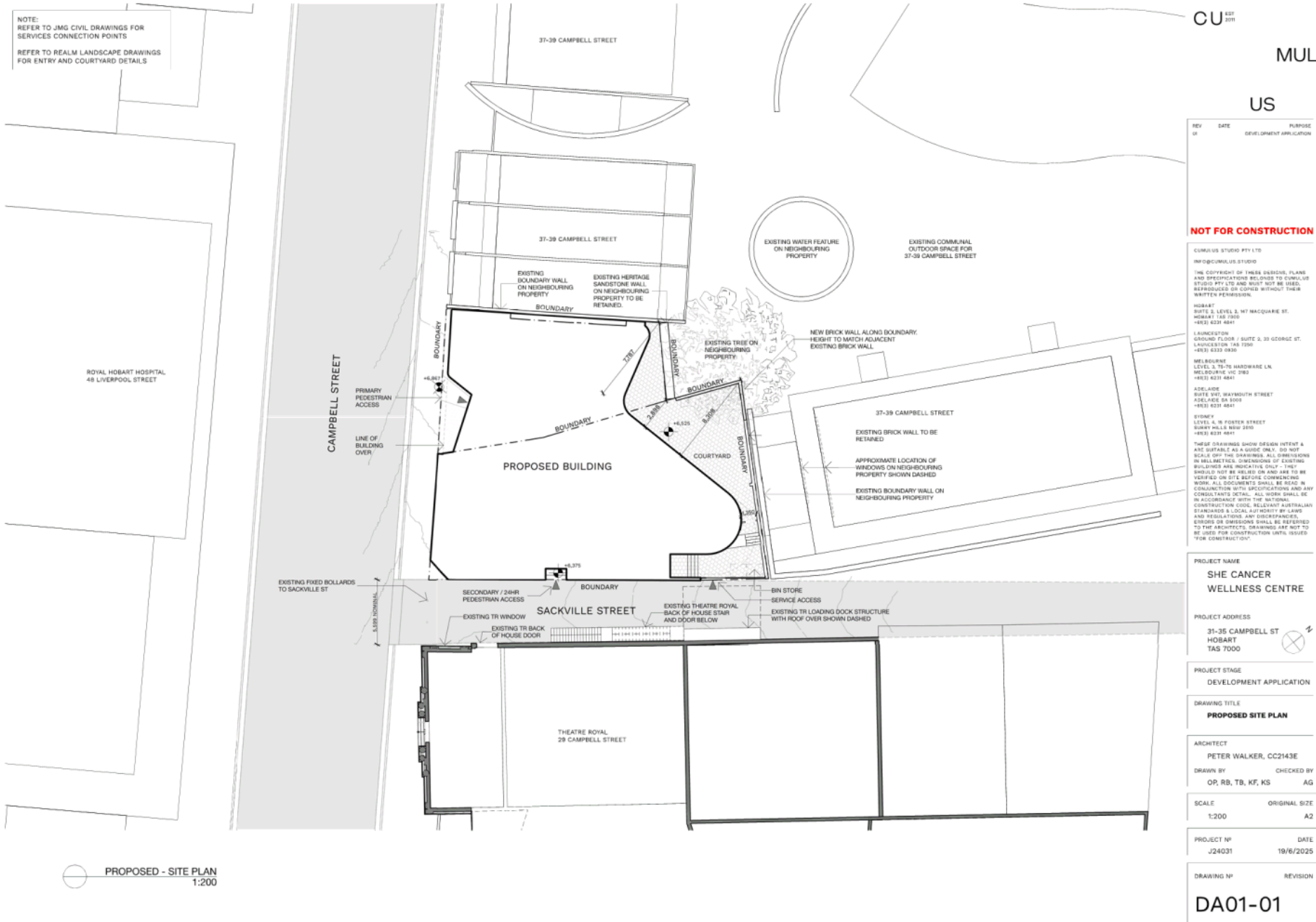


LOCATION PLAN
1:500

FLOOR AREA SCHEDULE	
GROUND FLOOR:	384M2
LEVEL 1:	326M2
LEVEL 2:	361M2
LEVEL 3:	340M2
TOTAL:	1,411M2

MU
CU LUS^{EST 2011}

REV	DATE	PURPOSE	PROJECT STAGE	DRAWING TITLE
01		DEVELOPMENT APPLICATION	DEVELOPMENT APPLICATION	COVER PAGE
		SCALE	ORIGINAL SIZE	PROJECT N°
		1:500	A2	J24031
		DATE		
		19/6/2025		
		ARCHITECT		
		PETER WALKER, CC2143E		
		DRAWN BY	CHECKED BY	DRAWING N°
		OP, RB, TB, KF, KS	AG	DA00-01



NOTE:
THIS DRAWING WOULD TYPICALLY BE REFERRED TO AS A DEMOLITION DRAWING, HOWEVER THE INTENT IS FOR THE BROAD ADOPTION OF SALVAGE AND REUSE OF RESOURCES IN LIEU OF SENDING TO LANDFILL.
REFER TO JMG CIVIL REPORT FOR DISCONNECTION OF EXISTING SITE SERVICES.



CURULUS STUDIO PTY LTD
INFO@CURULUS.STUDIO

THE COPYRIGHT OF THESE DESIGNS, PLANS AND SPECIFICATIONS BELONGS TO CURULUS STUDIO PTY LTD AND MUST NOT BE USED, REPRODUCED OR COPIED WITHOUT THEIR WRITTEN PERMISSION.

HOBART
SUITE 2, LEVEL 2, 147 MACQUARIE ST.
HOBART TAS 7000
+613 6231 4841

LAUNCESTON
GROUND FLOOR - SUITE 2, 33 GEORGE ST.
LAUNCESTON TAS 7200
+613 6333 0930

MELBOURNE
LEVEL 2, 75-76 HARDWARE LN.
MELBOURNE VIC 3003
+613 6231 4841

ADELAIDE
SUITE 540, WATKINS STREET
ADELAIDE SA 5000
+613 6231 4841

SYDNEY
LEVEL 4, 16 FOSTER STREET
BERRY HILLS NSW 2570
+613 6231 4841

THESE DRAWINGS SHOW DESIGN INTENT & NOT DETAIL. AS A GUIDE ONLY. DO NOT SCALE OFF THE DRAWINGS. ALL DIMENSIONS IN METRICS. DIMENSIONS OF EXISTING BUILDINGS ARE INDICATED ONLY - THEY SHOULD NOT BE RELIED ON AND ARE TO BE VERIFIED ON SITE BEFORE COMMENCING WORK. ALL DOCUMENTS SHALL BE READ IN CONSULTATION WITH DISSEMINATION AND ANY CONSULTANTS DETAIL. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE, RELEVANT AUSTRALIAN STANDARDS & LOCAL AUTHORITY BY LAWS AND REGULATIONS. ANY DISCREPANCIES, ERRORS OR OMISSIONS SHALL BE REFERRED TO THE ARCHITECTS. DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL ISSUED "FOR CONSTRUCTION".

PROJECT NAME
SHE CANCER
WELLNESS CENTRE

PROJECT ADDRESS
31-35 CAMPBELL ST
HOBART
TAS 7000

PROJECT STAGE
DEVELOPMENT APPLICATION

DRAWING TITLE
DECONSTRUCTION - GF

ARCHITECT
PETER WALKER, CC2143E

DRAWN BY
OP, RB, TB, KF, KS

CHECKED BY
AG

SCALE
1:100

ORIGINAL SIZE
A2

PROJECT N°
J24031

DATE
19/6/2025

DRAWING N°
DA02-01

REVISION

CU 1011

MUL

US

NOT FOR CONSTRUCTION

EXISTING BOUNDARY WALL ON NEIGHBOURING PROPERTY. TOP OF WALL +18040

BOUNDARY

EXISTING HERITAGE SANDSTONE WALL ON NEIGHBOURING PROPERTY. ENSURE PROTECTED. TOP OF WALL +8070

EXISTING TREE

BOUNDARY

DECONSTRUCT EXISTING BUILDING COMPLETE TO MAKE WAY FOR NEW WORK

EXISTING BOUNDARY WALL RETAINED TOP OF WALL +8800

DECONSTRUCT EXISTING EXTERNAL WALL TO MAKE WAY FOR NEW WORK

EXISTING BOUNDARY WALL ON NEIGHBOURING PROPERTY TOP OF WALL +14000

BOUNDARY

EXISTING FACADE RETAINED

EXISTING THEATRE ROYAL BACK OF HOUSE DOOR

EXISTING THEATRE ROYAL WINDOW

DECONSTRUCT EXISTING ROLLER DOOR, WALL AND STEPS

EXISTING TR LOADING DOCK STRUCTURE WITH ROOF OVER SHOWN DASHED

BOUNDARY

BASEMENT LEVEL TO BE INVESTIGATED BY ENGINEER TO DETERMINE EXTENT OF DECONSTRUCTION WORK

5.000 METRES

1:100

NOTE:
THIS DRAWING WOULD TYPICALLY BE REFERRED
TO AS A DEMOLITION DRAWING, HOWEVER THE
INTENT IS FOR THE BROADER ADOPTION OF
SALVAGE AND REUSE OF RESOURCES IN LIEU OF
SENDING TO LANDFILL.

REFER TO JMG CIVIL REPORT FOR
DISCONNECTION OF EXISTING SITE SERVICES.



CURMUS

MUL

US

REV	DATE	PURPOSE
01		DEVELOPMENT APPLICATION

NOT FOR CONSTRUCTION

CURMUS STUDIO PTY LTD
INFO@CURMUSSTUDIO.COM
THE COPYRIGHT OF THESE DESIGNS, PLANS AND SPECIFICATIONS BELONGS TO CURMUS STUDIO PTY LTD AND MUST NOT BE USED, REPRODUCED OR COPIED WITHOUT THEIR WRITTEN PERMISSION.

HOBART
SUITE 2, LEVEL 2, 147 MACQUARIE ST.
HOBART TAS 7000
+613 6231 4841

LAUNCESTON
GROUND FLOOR - SUITE 2, 30 GORDON ST.
LAUNCESTON TAS 7250
+613 6333 0930

MELBOURNE
LEVEL 2, 78-79 HARDWARE LN.
MELBOURNE VIC 3002
+613 6231 4841

ADELAIDE
SUITE 5/40, WAYMOUTH STREET
ADELAIDE SA 5000
+613 6231 4841

SYDNEY
LEVEL 4, 18 FOSTER STREET
SYDNEY NSW 2050
+613 6231 4841

THESE DRAWINGS SHOW DESIGN INTENT & NOT DETAIL. AS A GUIDE ONLY. DO NOT SCALE OFF THE DRAWINGS. ALL DIMENSIONS IN MILLIMETRES. DIMENSIONS OF EXISTING BUILDINGS ARE INDICATED ONLY. THESE SHOULD NOT BE RELIED ON AND ARE TO BE VERIFIED ON SITE BEFORE COMMENCING WORK. ALL DOCUMENTS SHALL BE READ IN CONSULTATION WITH SPECIFICATIONS AND ANY CONSULTANT'S DETAIL. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE, RELEVANT AUSTRALIAN STANDARDS & LOCAL AUTHORITY BY LAWS AND REGULATIONS. ANY DISCREPANCIES, ERRORS OR OMISSIONS SHALL BE REFERRED TO THE ARCHITECTS. DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL ISSUED "FOR CONSTRUCTION".

PROJECT NAME
**SHE CANCER
WELLNESS CENTRE**

PROJECT ADDRESS
31-35 CAMPBELL ST
HOBART
TAS 7000

PROJECT STAGE
DEVELOPMENT APPLICATION

DRAWING TITLE
DECONSTRUCTION - L1

ARCHITECT
PETER WALKER, CC2143E

DRAWN BY
OP, RB, TB, KF, KS

CHECKED BY
AG

SCALE
1:100

ORIGINAL SIZE
A2

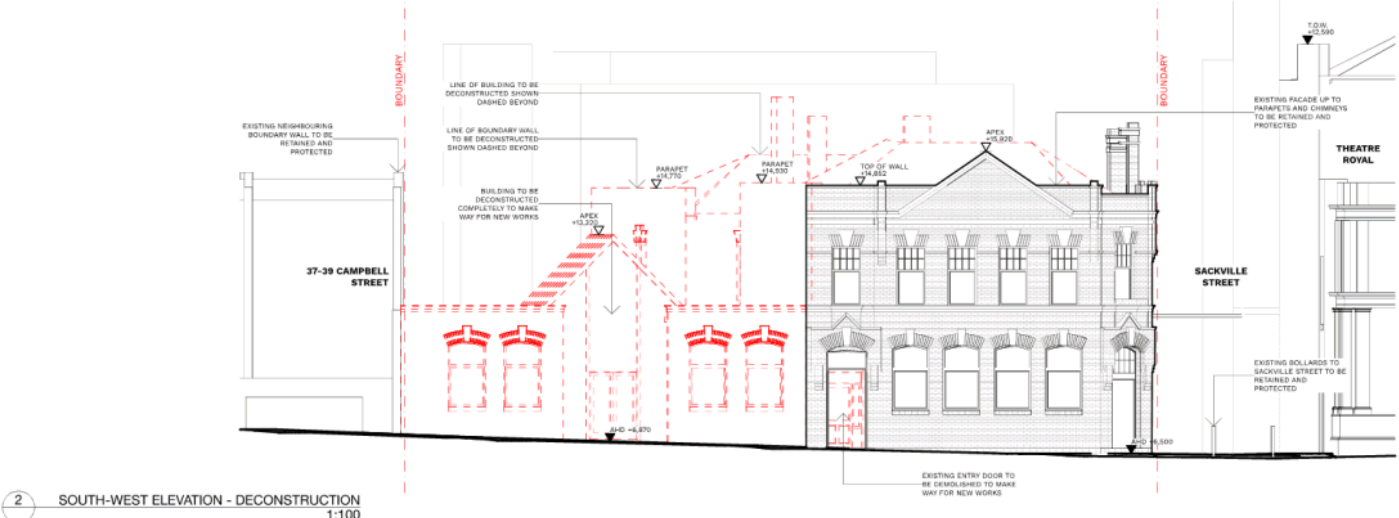
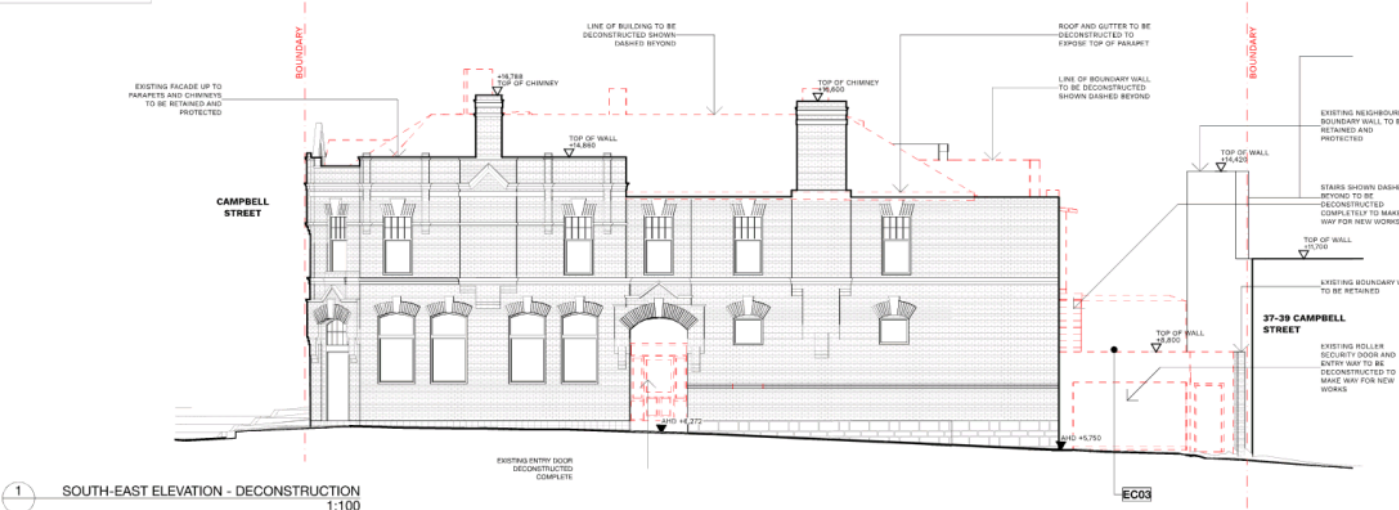
PROJECT Nº
J24031

DATE
19/6/2025

DRAWING Nº
REVISION

DA03-01

NOTE:
THIS DRAWING WOULD TYPICALLY BE REFERRED
TO AS A DEMOLITION DRAWING, HOWEVER THE
INTENT IS FOR THE BROADER ADOPTION OF
SALVAGE AND REUSE OF RESOURCES IN LIEU OF
SENDING TO LANDFILL.
REFER TO JMG CIVIL REPORT FOR
DISCONNECTION OF EXISTING SITE SERVICES.



CUMULUS
MUL

US

REV DATE PURPOSE
OR DEVELOPMENT APPLICATION

NOT FOR CONSTRUCTION

CUMULUS STUDIO PTY LTD
INFO@CUMULUS.STUDIO

THE COPYRIGHT OF THESE DESIGNS, PLANS
AND SPECIFICATIONS BELONGS TO CUMULUS
STUDIO PTY LTD AND MUST NOT BE USED,
REPRODUCED OR COPIED WITHOUT THEIR
WRITTEN PERMISSION.

HOBART
SUITE 2, LEVEL 2, 141 MACQUARIE ST.
HOBART TAS 7000
+613 6231 4841

LAUNCESTON
GROUND FLOOR SUITE 2, 39 GORDON ST.
LAUNCESTON TAS 7250
+613 6333 0930

MELBOURNE
LEVEL 2, 78-79 HARDWARE LN
MELBOURNE VIC 3003
+613 6231 4841

ADELAIDE
SUITE 5/10, WYNDHAM STREET
ADELAIDE SA 5000
+613 6231 4841

SYDNEY
LEVEL 4, 18 FOSTER STREET
BERRY HILLS NSW 2570
+613 6231 4841

THESE DRAWINGS SHOW DESIGN INTENT &
NOT DETAIL. ALL A GUIDE ONLY. DO NOT
SCALE OFF THE DRAWINGS. ALL DIMENSIONS
IN MILLIMETRES. DIMENSIONS OF EXISTING
BUILDINGS ARE INDICATED ONLY. THEY
SHOULD NOT BE RELIED ON AND ARE TO BE
VERIFIED ON SITE BEFORE COMMENCING
WORK. ALL DOCUMENTS SHALL BE READ IN
CONJUNCTION WITH SPECIFICATIONS AND ANY
CONSULTANT'S DETAIL. ALL WORK SHALL BE
IN ACCORDANCE WITH THE NATIONAL
CONSTRUCTION CODE, RELEVANT AUSTRALIAN
STANDARDS & LOCAL AUTHORITY BY LAWS
AND REGULATIONS. ANY DISCREPANCIES,
ERRORS OR OMISSIONS SHALL BE REFERRED
TO THE ARCHITECTS. DRAWINGS ARE NOT TO
BE USED FOR CONSTRUCTION UNTIL ISSUED
"FOR CONSTRUCTION".

PROJECT NAME
**SHE CANCER
WELLNESS CENTRE**

PROJECT ADDRESS
**31-35 CAMPBELL ST
HOBART
TAS 7000**

PROJECT STAGE
DEVELOPMENT APPLICATION

DRAWING TITLE
**DECONSTRUCTION -
ELEVATIONS**

ARCHITECT
PETER WALKER, CC2143E

DRAWN BY
OP, RB, TB, KF, KS

CHECKED BY
AG

SCALE
1:100

ORIGINAL SIZE
A2

PROJECT Nº
J24031

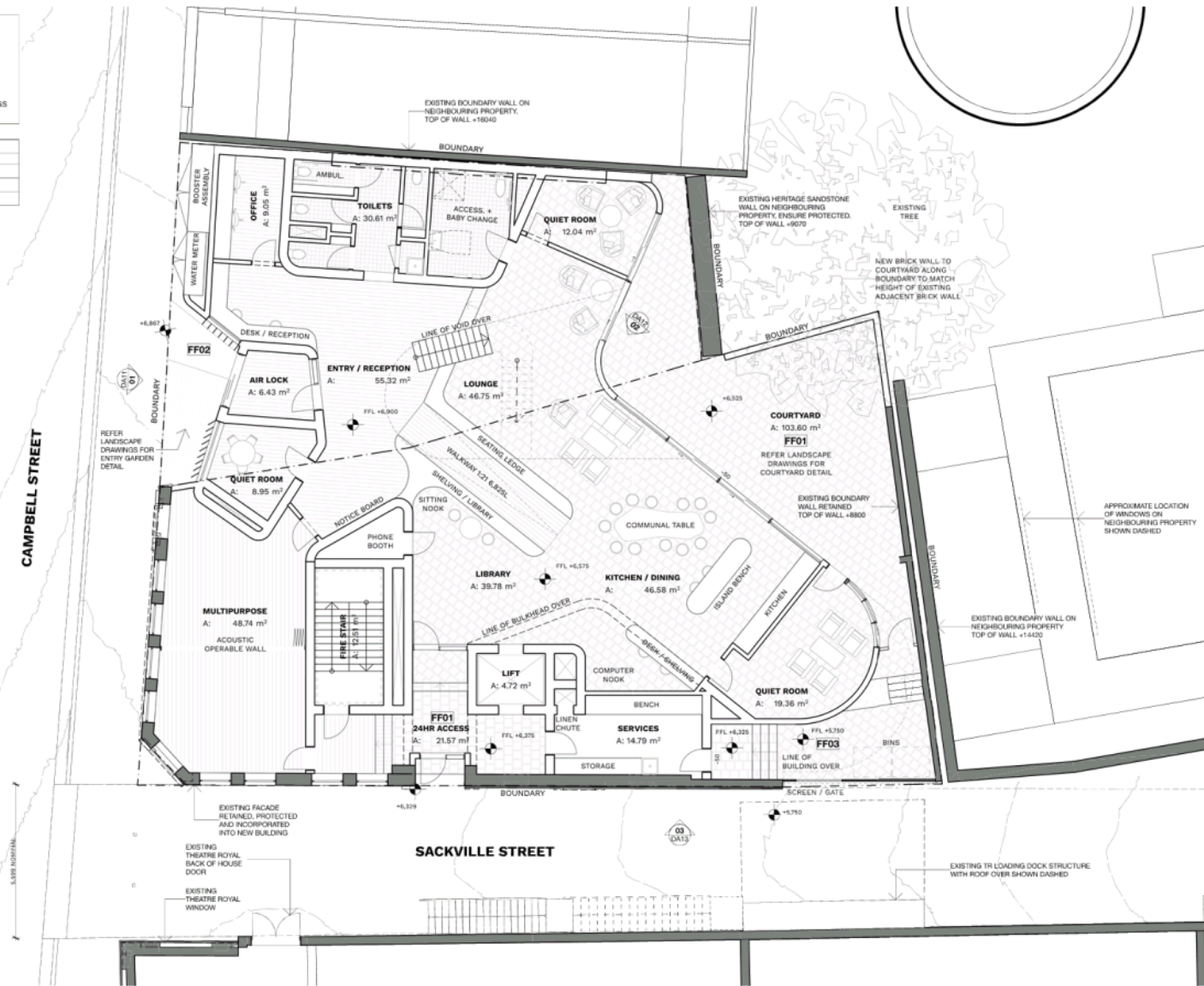
DATE
19/6/2025

DRAWING Nº
REVISION

DA04-01

NOTE:
REFER TO DA01 SITE PLAN FOR OFFSET DIMENSIONS.
REFER TO JMG CIVIL DRAWINGS FOR SERVICES CONNECTION POINTS.
REFER TO REALM LANDSCAPE DRAWINGS FOR ENTRY AND COURTYARD DETAILS.

EXTERNAL FINISHES LEGEND	
CODE	ITEM DESCRIPTION
FF01	STONE TILING/PAVING
FF02	PAVING
FF03	STONE TILING/PAVING



CURULUS STUDIO PTY LTD
INFO@CURULUS.STUDIO

THE COPYRIGHT OF THESE DRAWINGS, PLANS AND SPECIFICATIONS BELONGS TO CURULUS STUDIO PTY LTD AND MUST NOT BE USED, REPRODUCED OR COPIED WITHOUT THEIR WRITTEN PERMISSION.

HOBART
SUITE 2, LEVEL 2, 141 MACQUARIE ST.
HOBART TAS 7000
+613 6231 4841

LAUNCESTON
GROUND FLOOR - SUITE 2, 30 GEORGE ST.
LAUNCESTON TAS 7250
+613 6333 0930

MELBOURNE
LEVEL 2, 75-76 HARDWARE LN.
MELBOURNE VIC 3002
+613 6231 4841

ADELAIDE
SUITE 540, WATKINS STREET
ADELAIDE SA 5000
+613 6231 4841

SYDNEY
LEVEL 4, 18 FOSTER STREET
SYDNEY NSW 1580
+613 6231 4841

THESE DRAWINGS SHOW DESIGN INTENT & NOT DETAIL. AS A GUIDE ONLY. DO NOT SCALE OFF THE DRAWINGS. ALL DIMENSIONS IN MILLIMETRES. DIMENSIONS OF EXISTING BUILDINGS ARE INDICATED ONLY. THESE SHOULD NOT BE RELIED ON AND ARE TO BE VERIFIED ON SITE BEFORE COMMENCING WORK. ALL DOCUMENTS SHALL BE READ IN CONSULTATION WITH SPECIFICATIONS AND ANY CONSULTANT'S DETAIL. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE, RELEVANT AUSTRALIAN STANDARDS & LOCAL AUTHORITY BY LAWS AND REGULATIONS. ANY DISCREPANCIES, ERRORS OR OMISSIONS SHALL BE REFERRED TO THE ARCHITECTS. DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL ISSUED "FOR CONSTRUCTION".

PROJECT NAME

SHE CANCER
WELLNESS CENTRE

PROJECT ADDRESS

31-35 CAMPBELL ST
HOBART
TAS 7000

PROJECT STAGE

DEVELOPMENT APPLICATION

DRAWING TITLE

PROPOSED - GF

ARCHITECT

PETER WALKER, CC2143E

DRAWN BY

OP, RB, TB, KF, KS

CHECKED BY

AG

SCALE

ORIGINAL SIZE

1:100, 1:1

A2

PROJECT N°

J24031

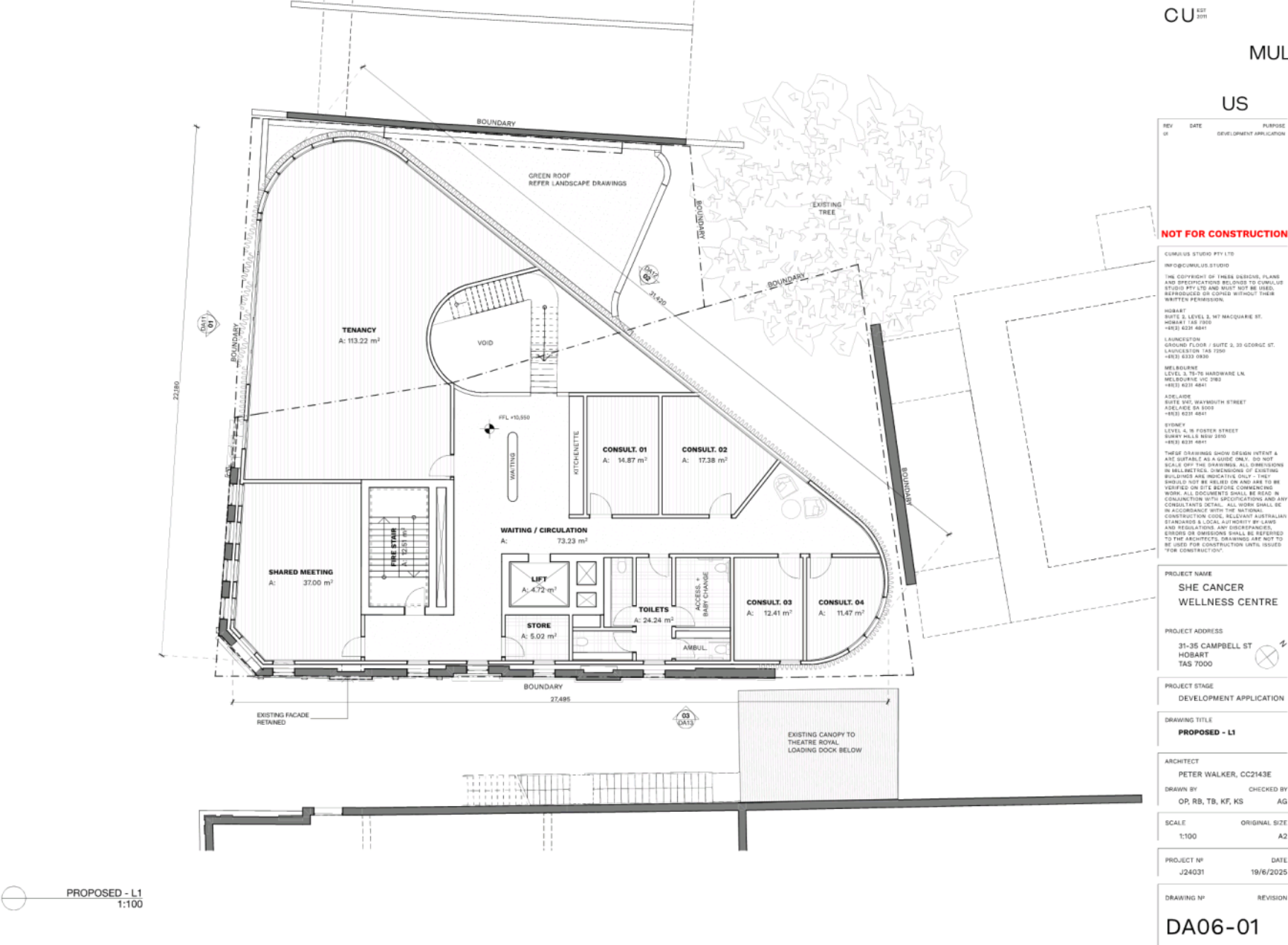
DATE

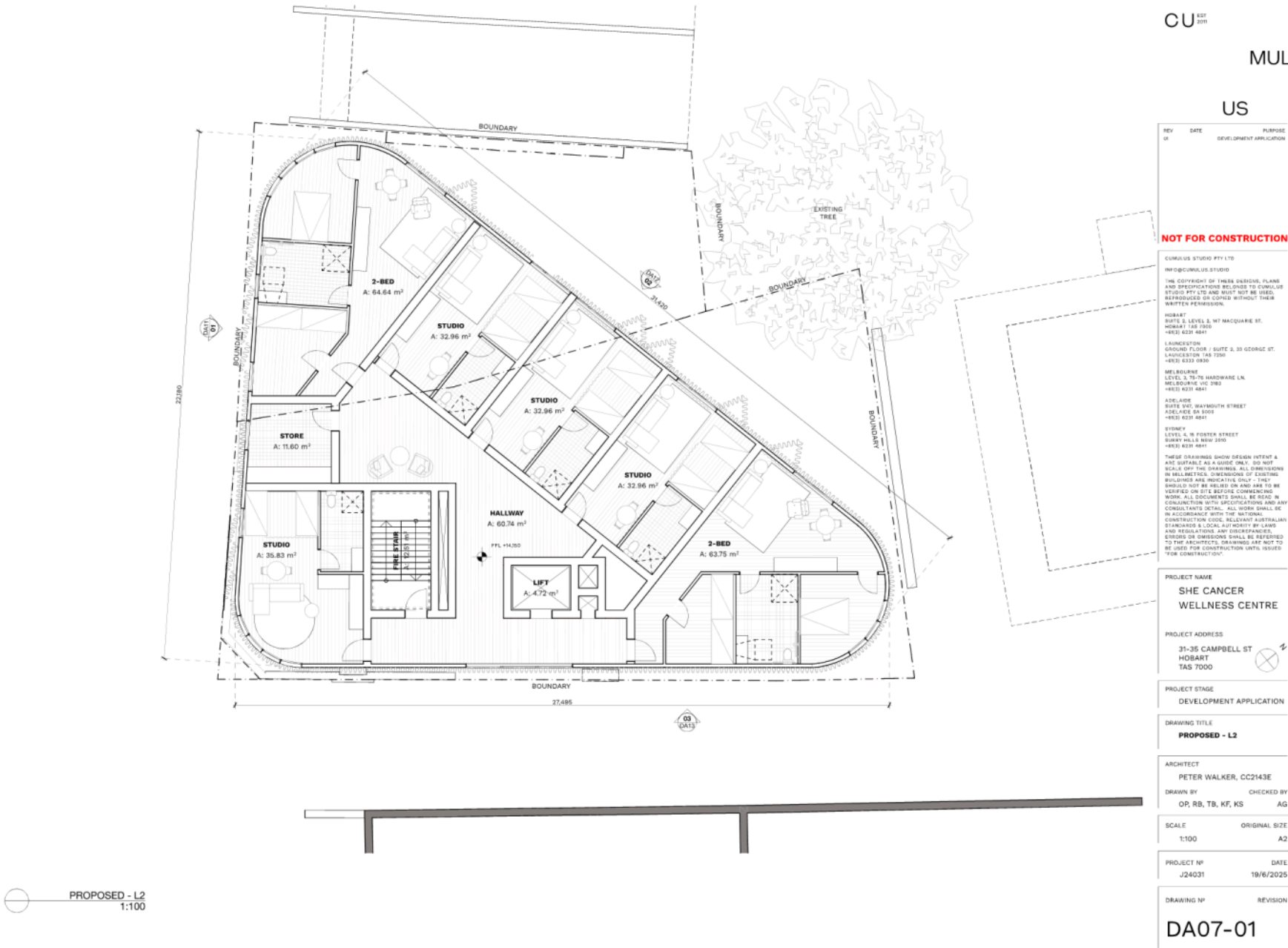
19/6/2025

DRAWING N°

REVISION

DA05-01





CURMUS STUDIO PTY LTD

INFO@CURMUSSTUDIO.COM

THE COPYRIGHT OF THESE DESIGNS, PLANS AND SPECIFICATIONS BELONGS TO CURMUS STUDIO PTY LTD AND MUST NOT BE USED, REPRODUCED OR COPIED WITHOUT THEIR WRITTEN PERMISSION.

HOBART
SUITE 2, LEVEL 2, 147 MACQUARIE ST.
HOBART TAS 7000
+613 6231 4841

LAUNCESTON
GROUND FLOOR - SUITE 2, 33 GEORGE ST.
LAUNCESTON TAS 7250
+613 6333 0930

MELBOURNE
LEVEL 2, 75-76 HARDWARE LN.
MELBOURNE VIC 3002
+613 6231 4841

ADELAIDE
SUITE 5/10, WATKINS STREET
ADELAIDE SA 5000
+613 6231 4841

SYDNEY
LEVEL 4, 18 FOSTER STREET
BURRY HILLS NSW 2150
+613 6231 4841

THESE DRAWINGS SHOW DESIGN INTENT & ARE NOT TO BE USED FOR CONSTRUCTION. SCALE OFF: THE DRAWINGS, ALL DIMENSIONS IN METRICS. DIMENSIONS OF EXISTING BUILDINGS ARE INDICATED ONLY. THESE SHOULD NOT BE RELIED ON AND ARE TO BE VERIFIED ON SITE BEFORE COMMENCING WORK. ALL DOCUMENTS SHALL BE READ IN CONJUNCTION WITH SPECIFICATIONS AND ANY CONSULTANT'S DETAIL. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE, RELEVANT AUSTRALIAN STANDARDS & LOCAL AUTHORITY BY LAWS AND REGULATIONS. ANY DISCREPANCIES, ERRORS OR OMISSIONS SHALL BE REFERRED TO THE ARCHITECTS. DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL ISSUED "FOR CONSTRUCTION".

PROJECT NAME
SHE CANCER
WELLNESS CENTRE

PROJECT ADDRESS
31-35 CAMPBELL ST
HOBART
TAS 7000

PROJECT STAGE
DEVELOPMENT APPLICATION

DRAWING TITLE
PROPOSED - L3

ARCHITECT
PETER WALKER, CC2143E

DRAWN BY
OP, RB, TB, KF, KS

CHECKED BY
AG

SCALE
1:100

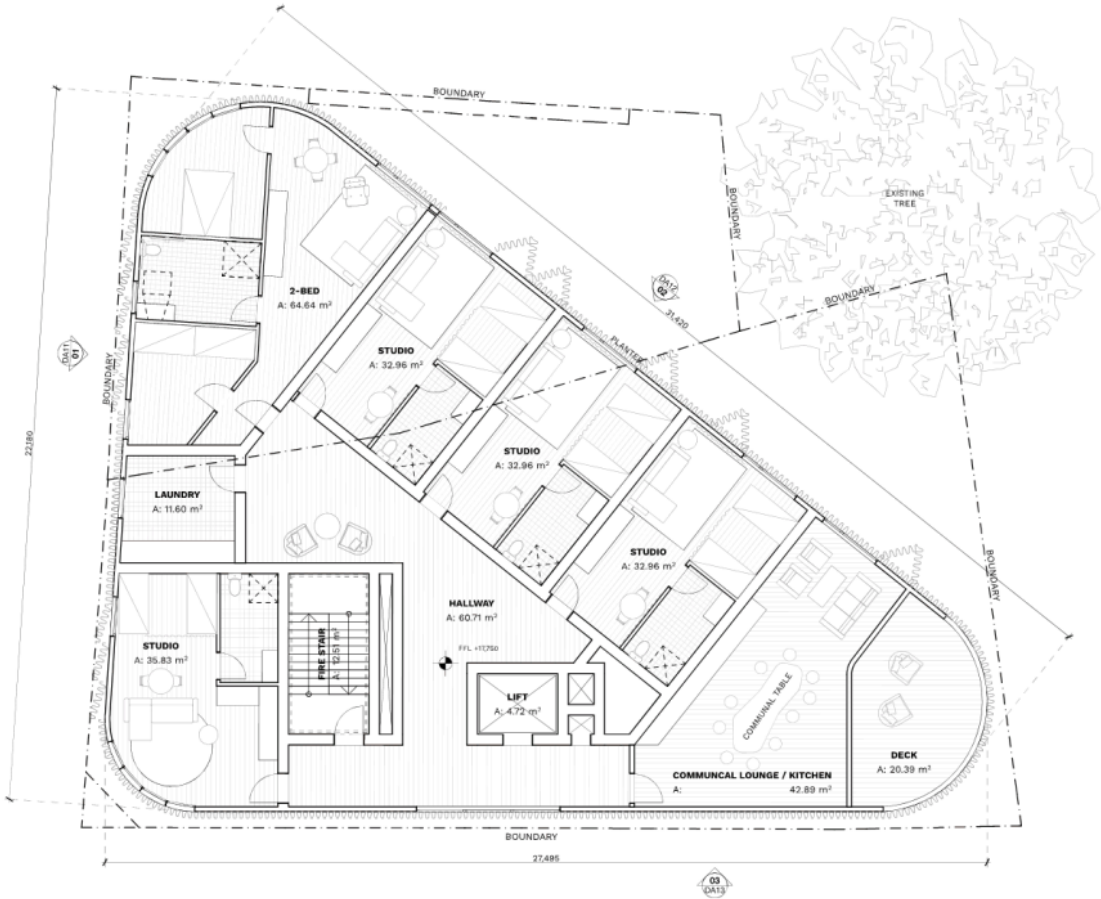
ORIGINAL SIZE
A2

PROJECT Nº
J24031

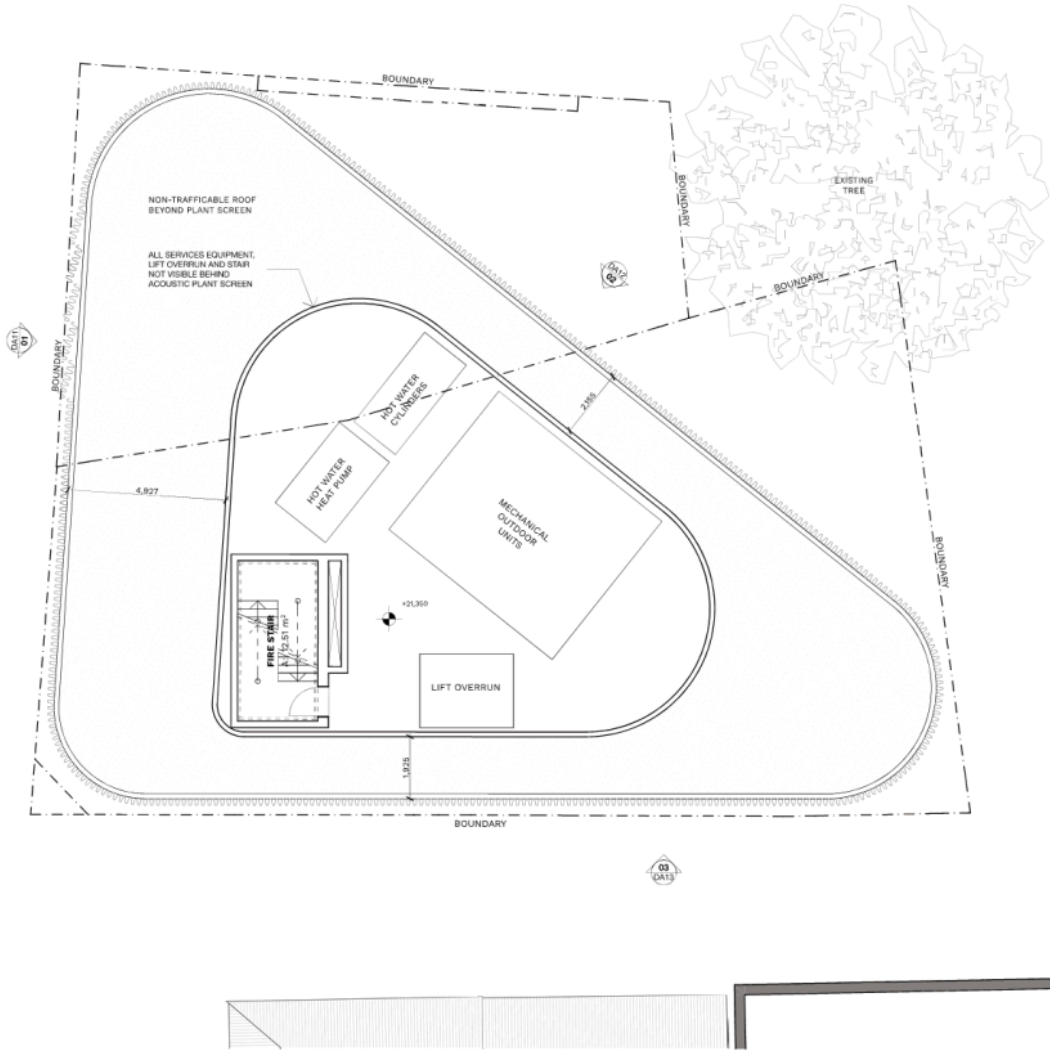
DATE
19/6/2025

DRAWING Nº
REVISION

DA08-01



PROPOSED - L3
1:100



PROPOSED - L4/ROOF
1:100

CUMULUS

MUL

US

REV DATE PURPOSE
OR DEVELOPMENT APPLICATION

NOT FOR CONSTRUCTION

CUMULUS STUDIO PTY LTD
INFO@CUMULUS.STUDIO
THE COPYRIGHT OF THESE DESIGNS, PLANS AND SPECIFICATIONS BELONGS TO CUMULUS STUDIO PTY LTD AND MUST NOT BE USED, REPRODUCED OR COPIED WITHOUT THEIR WRITTEN PERMISSION.
HOBART
SUITE 2, LEVEL 2, 147 MACQUARIE ST.
HOBART TAS 7000
+613 6231 4841
LAUNCESTON
GROUND FLOOR SUITE 2, 33 GORRIG ST.
LAUNCESTON TAS 7250
+613 6333 0930
MELBOURNE
LEVEL 2, 75-76 HARDWARE LN.
MELBOURNE VIC 3002
+613 6231 4841
ADELAIDE
SUITE 5/10, WATKINS STREET
ADELAIDE SA 5000
+613 6231 4841
SYDNEY
LEVEL 4, 16 FOSTER STREET
SYDNEY NSW 2050
+613 6231 4841
THESE DRAWINGS SHOW DESIGN INTENT & ARE NOT TO BE USED AS A GUIDE ONLY. DO NOT SCALE OFF. THE DRAWINGS, ALL DIMENSIONS IN MILLIMETRES, DIMENSIONS OF EXISTING BUILDINGS ARE INDICATED ONLY. THESE SHOULD NOT BE RELIED ON AND ARE TO BE VERIFIED ON SITE BEFORE COMMENCING WORK. ALL DOCUMENTS SHALL BE READ IN CONJUNCTION WITH SPECIFICATIONS AND ANY CONSULTANTS DETAIL. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE, RELEVANT AUSTRALIAN STANDARDS & LOCAL AUTHORITY BY LAWS AND REGULATIONS. ANY DISCREPANCIES, ERRORS OR OMISSIONS SHALL BE REFERRED TO THE ARCHITECTS. DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL ISSUED "FOR CONSTRUCTION".

PROJECT NAME
SHE CANCER
WELLNESS CENTRE

PROJECT ADDRESS
31-35 CAMPBELL ST
HOBART
TAS 7000

PROJECT STAGE
DEVELOPMENT APPLICATION

DRAWING TITLE
PROPOSED - L4/ROOF

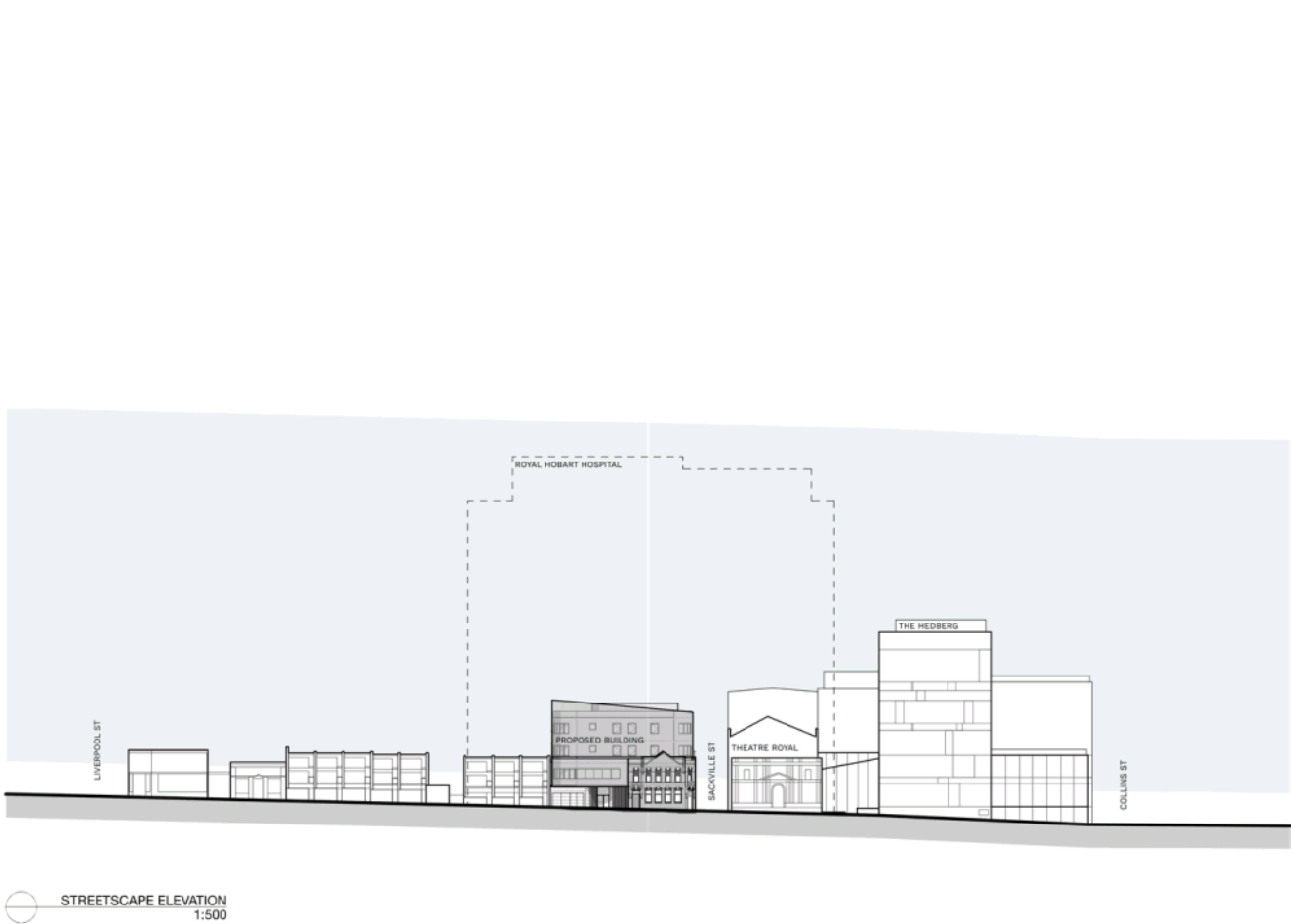
ARCHITECT
PETER WALKER, CC2143E
DRAWN BY
OP, RB, TB, KF, KS
CHECKED BY
AG

SCALE
1:100
ORIGINAL SIZE
A2

PROJECT Nº
J24031
DATE
19/6/2025

DRAWING Nº
REVISION

DA09-01



CUMULUS^{EST} 2011

MUL

US

REV	DATE	PURPOSE
01		DEVELOPMENT APPLICATION

NOT FOR CONSTRUCTION

CUMULUS STUDIO PTY LTD
INFO@CUMULUS.STUDIO

THE COPYRIGHT OF THESE DESIGNS, PLANS AND SPECIFICATIONS BELONGS TO CUMULUS STUDIO PTY LTD AND MUST NOT BE USED, REPRODUCED OR COPIED WITHOUT THEIR WRITTEN PERMISSION.

HOBART
SUITE 2, LEVEL 2, 147 MACQUARIE ST.
HOBART TAS 7000
+613 6231 4841

LAUNCESTON
GROUND FLOOR - SUITE 2, 30 GEORGE ST.
LAUNCESTON TAS 7250
+613 6333 0930

MELBOURNE
LEVEL 2, 75-76 HARDWARE LN.
MELBOURNE VIC 3002
+613 6231 4841

ADELAIDE
SUITE 5/40, WATKINS STREET
ADELAIDE SA 5000
+613 6231 4841

SYDNEY
LEVEL 4, 16 FOSTER STREET
BURRY HILL NSW 2150
+613 6231 4841

THESE DRAWINGS SHOW DESIGN INTENT & NOT INTENDED AS A GUIDE ONLY. DO NOT SCALE OFF. THE DRAWINGS, ALL DIMENSIONS, IN DIMENSIONS, DIMENSIONS OF EXISTING BUILDINGS ARE INDICATIVE ONLY. THEY SHOULD NOT BE RELIED ON AND ARE TO BE VERIFIED ON SITE BEFORE COMMENCING WORK. ALL DOCUMENTS SHALL BE READ IN CONSULTATION WITH SPECIFICATIONS AND ANY CONSULTANT'S DETAIL. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE, RELEVANT AUSTRALIAN STANDARDS & LOCAL AUTHORITY BY LAWS AND REGULATIONS. ANY DISCREPANCIES, ERRORS OR OMISSIONS SHALL BE REFERRED TO THE ARCHITECTS. DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL ISSUED "FOR CONSTRUCTION".

PROJECT NAME
SHE CANCER
WELLNESS CENTRE

PROJECT ADDRESS
31-35 CAMPBELL ST
HOBART
TAS 7000

PROJECT STAGE
DEVELOPMENT APPLICATION

DRAWING TITLE
PROPOSED - STREETSCAPE

ARCHITECT
PETER WALKER, CC2143E

DRAWN BY
OP, RB, TB, KF, KS

CHECKED BY
AG

SCALE
1:500

ORIGINAL SIZE
A2

PROJECT N°
J24031

DATE
19/6/2025

DRAWING N°
DA10-01

REVISION

EXTERNAL CLADDING LEGEND	
CODE	ITEM DESCRIPTION
EC01	PERFORATED METAL SCREEN
EC02	COLOURED CONCRETE TO MATCH EC01
EC03	BRICK
EC04	METAL/CEMENT SHEET GLASSING TO MATCH EC01
EC05	GLASS GLAZING WITH WINDOW FRAMES - COLOURS TO MATCH ADJACENT CLADDING
EC06	ACOUSTIC PLANT SCREEN
XEC01	PAINT TO EXISTING BRICK TO MATCH ORIGINAL



CU^{EST}₁₀₁₁

MUL

US

REV	DATE	PURPOSE
01		DEVELOPMENT APPLICATION

NOT FOR CONSTRUCTION

CORULUS STUDIO PTY LTD
INFO@CORULUS.STUDIO
THE COPYRIGHT OF THESE DESIGNS, PLANS AND SPECIFICATIONS BELONGS TO CORULUS STUDIO PTY LTD AND MUST NOT BE USED, REPRODUCED OR COPIED WITHOUT THEIR WRITTEN PERMISSION.
HOBART
SUITE 2, LEVEL 2, 141 MACQUARIE ST.
HOBART TAS 7000
+613 6231 4841
LAUNCESTON
GROUND FLOOR - SUITE 2, 30 GEORGE ST.
LAUNCESTON TAS 7250
+613 6333 0930
MELBOURNE
LEVEL 2, 78-79 HARDWARE LN.
MELBOURNE VIC 3003
+613 6231 4841
ADELAIDE
SUITE 5/10, WAYMOUTH STREET
ADELAIDE SA 5003
+613 6231 4841
SYDNEY
LEVEL 4, 16 FOSTER STREET
BERRY HILLS NSW 2570
+613 6231 4841
THESE DRAWINGS SHOW DESIGN INTENT & ARE NOT TO BE USED AS A GUIDE ONLY. DO NOT SCALE OFF THE DRAWINGS. ALL DIMENSIONS IN MILLIMETRES. DIMENSIONS OF EXISTING BUILDINGS ARE INDICATED ONLY - THEY SHOULD NOT BE RELIED ON AND ARE TO BE VERIFIED ON SITE BEFORE COMMENCING WORK. ALL DOCUMENTS SHALL BE READ IN CONSULTATION WITH SPECIFICATIONS AND ANY CONSULTANTS DETAIL. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE, RELEVANT AUSTRALIAN STANDARDS & LOCAL AUTHORITY BY LAWS AND REGULATIONS. ANY DISCREPANCIES, ERRORS OR OMISSIONS SHALL BE REFERRED TO THE ARCHITECTS. DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL ISSUED "FOR CONSTRUCTION".

PROJECT NAME
SHE CANCER
WELLNESS CENTRE
PROJECT ADDRESS
31-35 CAMPBELL ST
HOBART
TAS 7000

PROJECT STAGE
DEVELOPMENT APPLICATION

DRAWING TITLE
PROPOSED - SOUTH-WEST
ELEVATION

ARCHITECT
PETER WALKER, CC2143E
DRAWN BY
OP, RB, TB, KF, KS
CHECKED BY
AG

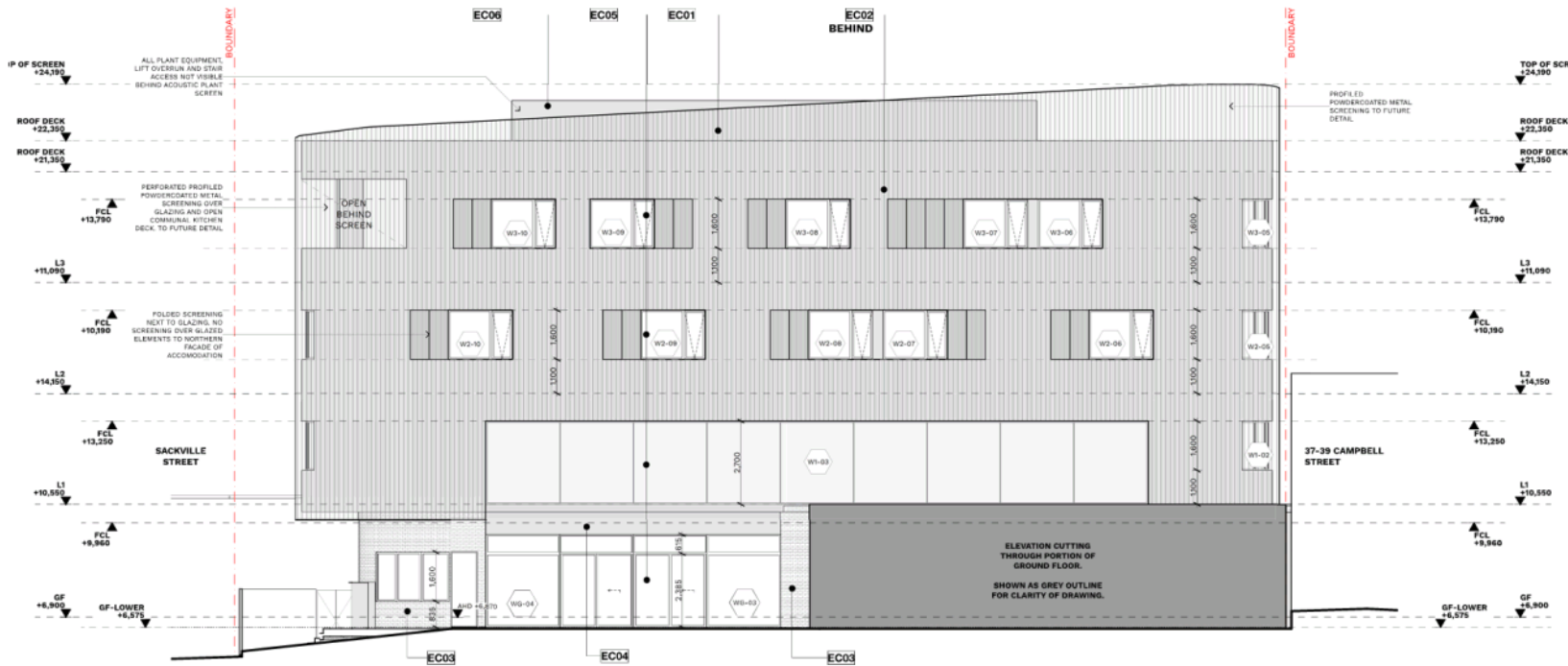
SCALE
1:100, 1:1
ORIGINAL SIZE
A2

PROJECT N°
J24031
DATE
19/6/2025

DRAWING N°
REVISION

DA11-01

EXTERNAL CLADDING LEGEND	
CODE	ITEM DESCRIPTION
EC01	PERFORATED METAL SCREEN
EC02	COLOURED CONCRETE TO MATCH EC01
EC03	BRICK
EC04	METAL CEMENT SHEET GLAZING TO MATCH EC01
EC05	GLASS GLAZING WITH WINDOW FRAMES - COLOURS TO MATCH ADJACENT CLADDING
EC06	ACOUSTIC PLANT SCREEN
EC07	PAINT TO EXISTING BRICK TO MATCH ORIGINAL



CU	EST	10/11
MUL		
US		
REV	DATE	PURPOSE
01		DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION		
CURULUS STUDIO PTY LTD		
INFO@CURULUS.STUDIO		
THE COPYRIGHT OF THESE DRAWINGS, PLANS AND SPECIFICATIONS BELONGS TO CURULUS STUDIO PTY LTD AND MUST NOT BE USED, REPRODUCED OR COPIED WITHOUT THEIR WRITTEN PERMISSION.		
HOBART		
SUITE 2, LEVEL 2, 141 MACQUARIE ST.		
HOBART TAS 7000		
+853 6231 4841		
LAUNCESTON		
GROUND FLOOR SUITE 2, 39 GEORGE ST.		
LAUNCESTON TAS 7250		
+853 6231 4841		
MELBOURNE		
LEVEL 2, 75-76 HARDWARE LN.		
MELBOURNE VIC 3002		
+853 6231 4841		
ADELAIDE		
SUITE 340, WYNDHAM STREET		
ADELAIDE SA 5000		
+853 6231 4841		
SYDNEY		
LEVEL 4, 18 FOSTER STREET		
SYDNEY NSW 1500		
+853 6231 4841		
THESE DRAWINGS SHOW DESIGN INTENT & ARE NOT TO BE USED AS A GUIDE ONLY. DO NOT SCALE OFF THE DRAWINGS. ALL DIMENSIONS IN MILLIMETRES. DIMENSIONS OF CUTTING BOUNDARIES ARE INDICATED ONLY. THEY SHOULD NOT BE RELIED ON AND ARE TO BE VERIFIED ON SITE BEFORE COMMENCING WORK. ALL DOCUMENTS SHALL BE READ IN CONSULTATION WITH CURULUS STUDIO AND ANY CONSULTANT'S DETAIL. ALL WORK SHALL BE IN ACCORDANCE WITH THE CURULUS STUDIO CONSTRUCTION CODE. RELEVANT AUSTRALIAN STANDARDS & LOCAL AUTHORITY BY LAWS AND REGULATIONS ANY DISCREPANCIES, ERRORS OR OMISSIONS SHALL BE REFERRED TO THE ARCHITECT'S DRAWINGS AND NOT TO BE USED FOR CONSTRUCTION DATA ISSUED "FOR CONSTRUCTION".		
PROJECT NAME		
SHE CANCER		
WELLNESS CENTRE		
PROJECT ADDRESS		
31-35 CAMPBELL ST		
HOBART		
TAS 7000		
PROJECT STAGE		
DEVELOPMENT APPLICATION		
DRAWING TITLE		
PROPOSED - NORTH		
ELEVATION		
ARCHITECT		
PETER WALKER, CC2143E		
DRAWN BY		CHECKED BY
OP, RB, TB, KF, KS		AG
SCALE		ORIGINAL SIZE
1:100, 1:1		A2
PROJECT N°		DATE
J24031		19/6/2025
DRAWING N°		REVISION
DA12-01		

EXTERNAL CLADDING LEGEND	
CODE	ITEM DESCRIPTION
EC01	PERFORATED METAL SCREEN
EC02	COLORURED CONCRETE TO MATCH EC01
EC03	BRICK
EC04	METAL/CEMENT SHEET GLASSING TO MATCH EC01
EC05	GLASS GLAZING WITH WINDOW FRAMES - COLOURS TO MATCH ADJACENT CLADDING
EC06	ACOUSTIC PLANT SCREEN
XEC01	PAINT TO EXISTING BRICK TO MATCH ORIGINAL



CURULUS

MUL

US

REV	DATE	PURPOSE
01		DEVELOPMENT APPLICATION

NOT FOR CONSTRUCTION

CURULUS STUDIO PTY LTD
INFO@CURULUS.STUDIO

THE COPYRIGHT OF THESE DESIGNS, PLANS AND SPECIFICATIONS BELONGS TO CURULUS STUDIO PTY LTD AND MUST NOT BE USED, REPRODUCED OR COPIED WITHOUT THEIR WRITTEN PERMISSION.

HOBART
SUITE 2, LEVEL 1, 111 MACQUARIE ST.
HOBART TAS 7000
+613 6231 4841

LAUNCESTON
GROUND FLOOR - SUITE 2, 39 GEORGE ST.
LAUNCESTON TAS 7250
+613 6333 0930

MELBOURNE
LEVEL 2, 75-76 HARDWARE LN.
MELBOURNE VIC 3003
+613 6231 4841

ADELAIDE
SUITE 5/10, WATKINS STREET
ADELAIDE SA 5000
+613 6231 4841

SYDNEY
LEVEL 4, 18 FOSTER STREET
SYDNEY NSW 2050
+613 6231 4841

THESE DRAWINGS SHOW DESIGN INTENT & ANT. SITUATION. ALL DIMENSIONS, DO NOT SCALE OFF THE DRAWINGS. ALL DIMENSIONS IN MILLIMETRES. DIMENSIONS OF EXISTING BUILDINGS ARE INDICATED ONLY. THESE SHOULD NOT BE RELIED ON AND ARE TO BE VERIFIED ON SITE BEFORE COMMENCING WORK. ALL DOCUMENTS SHALL BE READ IN CONSULTATION WITH SPECIFICATIONS AND ANY CONSULTANTS DETAIL. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE, RELEVANT AUSTRALIAN STANDARDS & LOCAL AUTHORITY BY LAWS AND REGULATIONS. ANY DISCREPANCIES, ERRORS OR OMISSIONS SHALL BE REFERRED TO THE ARCHITECTS. DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL ISSUED "FOR CONSTRUCTION".

PROJECT NAME

SHE CANCER
WELLNESS CENTRE

PROJECT ADDRESS

31-35 CAMPBELL ST
HOBART
TAS 7000

PROJECT STAGE

DEVELOPMENT APPLICATION

DRAWING TITLE

PROPOSED - SOUTH-EAST
ELEVATION

ARCHITECT

PETER WALKER, CC2143E

DRAWN BY

OP, RB, TB, KF, KS

CHECKED BY

AG

SCALE

ORIGINAL SIZE

1:100, 1:1

A2

PROJECT N°

DATE

J24031

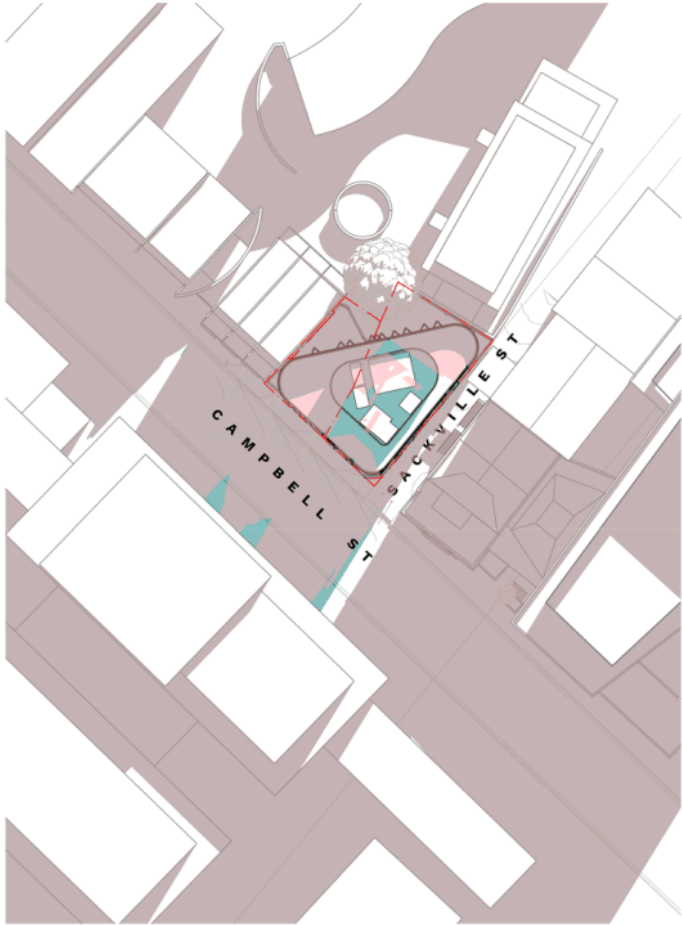
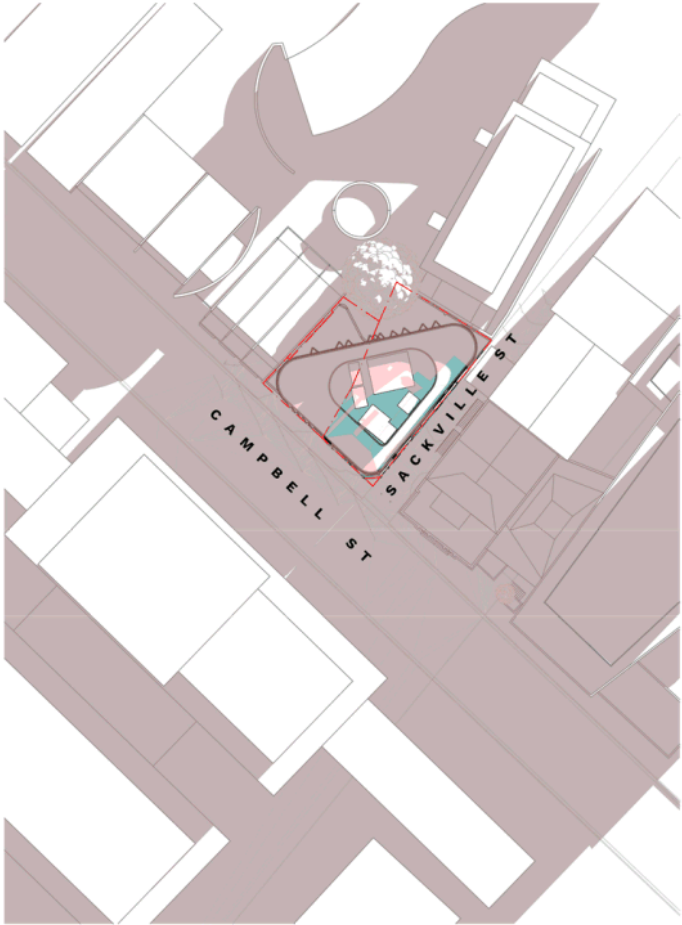
19/6/2025

DRAWING N°

REVISION

DA13-01

CUMULUS
MUL
US



REV	DATE	PURPOSE
01		DEVELOPMENT APPLICATION

NOT FOR CONSTRUCTION

CUMULUS STUDIO PTY LTD
INFO@CUMULUS.STUDIO

THE COPYRIGHT OF THESE DESIGNS, PLANS AND SPECIFICATIONS BELONGS TO CUMULUS STUDIO PTY LTD AND MUST NOT BE USED, REPRODUCED OR COPIED WITHOUT THEIR WRITTEN PERMISSION.

HOBART
SUITE 2, LEVEL 2, 147 MACQUARIE ST.
HOBART TAS 7000
+613 6231 4841

LAUNCESTON
GROUND FLOOR - SUITE 2, 30 GORRUC ST.
LAUNCESTON TAS 7250
+613 6333 0930

MELBOURNE
LEVEL 2, 75-76 HARDWARE LN.
MELBOURNE VIC 3002
+613 6231 4841

ADELAIDE
SUITE 540, WATSON STREET
ADELAIDE SA 5000
+613 6231 4841

SYDNEY
LEVEL 4, 18 FOSTER STREET
BERRY HILLS NSW 2150
+613 6231 4841

THESE DRAWINGS SHOW DESIGN INTENT & ARE NOT TO BE USED FOR CONSTRUCTION. SCALE OFF: THE DRAWINGS, ALL DIMENSIONS IN MILLIMETRES, DIMENSIONS OF EXISTING BUILDINGS ARE INDICATED ONLY. THESE SHOULD NOT BE RELIED ON AND ARE TO BE VERIFIED ON SITE BEFORE COMMENCING WORK. ALL DOCUMENTS SHALL BE READ IN CONJUNCTION WITH SPECIFICATIONS AND ANY CONSULTANT'S DETAIL. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE, RELEVANT AUSTRALIAN STANDARDS & LOCAL AUTHORITY BY LAWS AND REGULATIONS. ANY DISCREPANCIES, ERRORS OR OMISSIONS SHALL BE REFERRED TO THE ARCHITECTS. DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL ISSUED "FOR CONSTRUCTION".

PROJECT NAME
**SHE CANCER
WELLNESS CENTRE**

PROJECT ADDRESS
31-35 CAMPBELL ST
HOBART
TAS 7000

PROJECT STAGE
DEVELOPMENT APPLICATION

DRAWING TITLE
SUN STUDIES

ARCHITECT
PETER WALKER, CC2143E

DRAWN BY
OP, RB, TB, KF, KS

CHECKED BY
AG

SCALE
1:500

ORIGINAL SIZE
A2

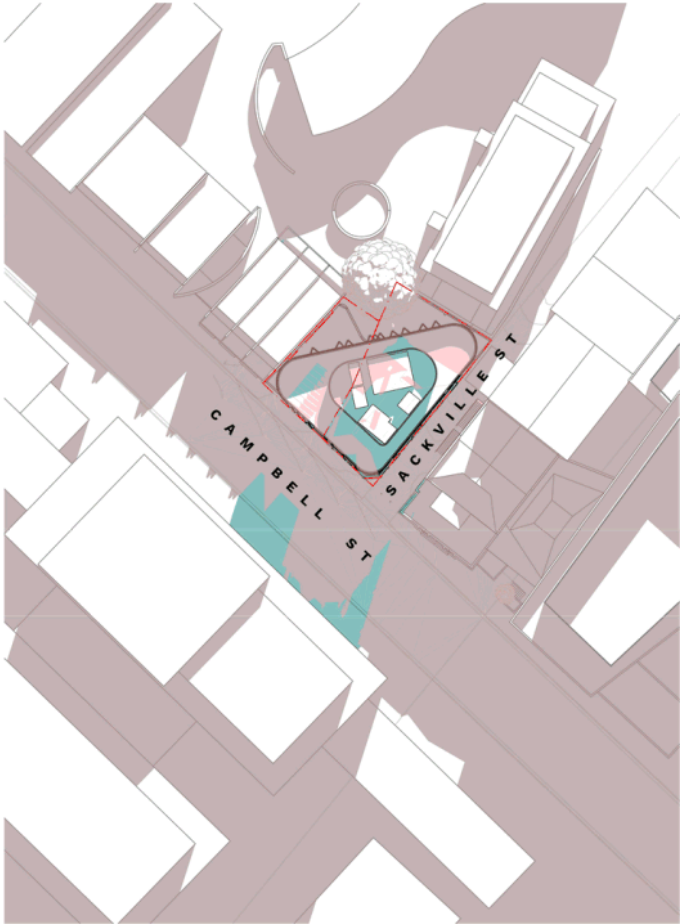
PROJECT N°
J24031

DATE
19/6/2025

DRAWING N°
DA14-01

REVISION

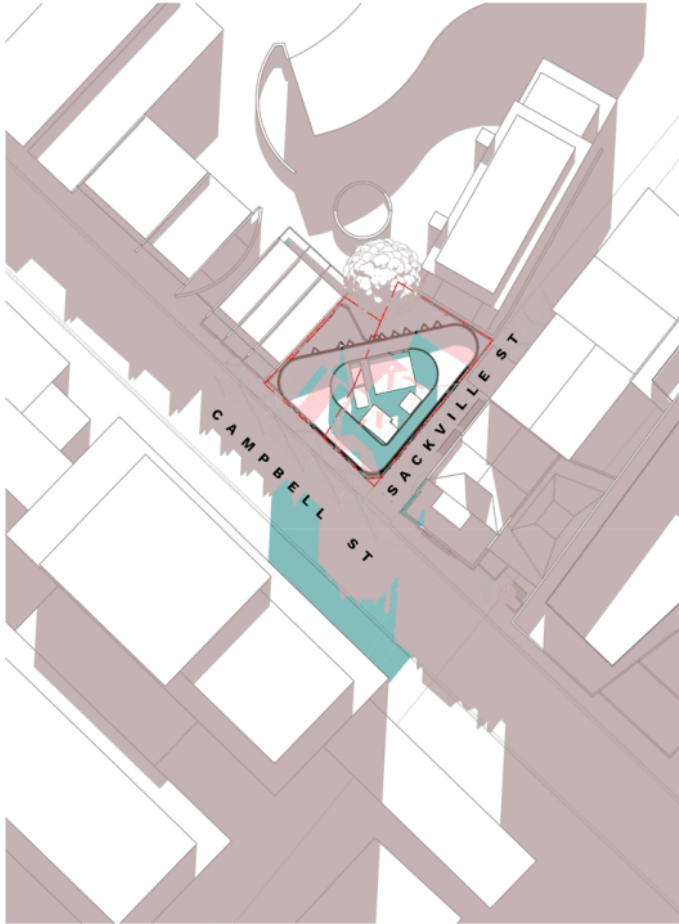
CURMULUS STUDIO PTY LTD
MUL
US



SHADOW DIAGRAMS_JUNE 21_11AM
1:500

ADDITIONAL
SHADOW CAST BY
PROPOSAL

EXISTING SHADOW



SHADOW DIAGRAMS_JUNE 21_12PM
1:500

REV	DATE	PURPOSE
01		DEVELOPMENT APPLICATION

NOT FOR CONSTRUCTION

CURMULUS STUDIO PTY LTD
INFO@CURMULUS.STUDIO

THE COPYRIGHT OF THESE DESIGNS, PLANS AND SPECIFICATIONS BELONGS TO CURMULUS STUDIO PTY LTD AND MUST NOT BE USED, REPRODUCED OR COPIED WITHOUT THEIR WRITTEN PERMISSION.

HOBART
SUITE 2, LEVEL 2, 147 MACQUARIE ST.
HOBART TAS 7000
+61(0) 8231 4841

LAUNCESTON
GROUND FLOOR - SUITE 2, 30 GORDON ST.
LAUNCESTON TAS 7250
+61(0) 6333 0930

MELBOURNE
LEVEL 2, 75-76 HARDWARE LN.
MELBOURNE VIC 3002
+61(0) 8231 4841

ADELAIDE
SUITE 540, WAYMOUTH STREET
ADELAIDE SA 5000
+61(0) 8231 4841

SYDNEY
LEVEL 4, 18 FOSTER STREET
BERRY HILLS NSW 2150
+61(0) 8231 4841

THESE DRAWINGS SHOW DESIGN INTENT & ANT. SITUATION. ALL DIMENSIONS SHALL BE VERIFIED ON SITE BEFORE COMMENCING WORK. ALL DOCUMENTS SHALL BE READ IN CONJUNCTION WITH SPECIFICATIONS AND ANY CONSULTANTS DETAIL. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE, RELEVANT AUSTRALIAN STANDARDS & LOCAL AUTHORITY BY LAWS AND REGULATIONS. ANY UNEXPECTED ERRORS OR OMISSIONS SHALL BE REFERRED TO THE ARCHITECTS. DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL ISSUED "FOR CONSTRUCTION".

PROJECT NAME
**SHE CANCER
WELLNESS CENTRE**

PROJECT ADDRESS
31-35 CAMPBELL ST
HOBART
TAS 7000

PROJECT STAGE
DEVELOPMENT APPLICATION

DRAWING TITLE
SUN STUDIES

ARCHITECT
PETER WALKER, CC2143E

DRAWN BY
OP, RB, TB, KF, KS

CHECKED BY
AG

SCALE
1:500

ORIGINAL SIZE
A2

PROJECT N°
J24031

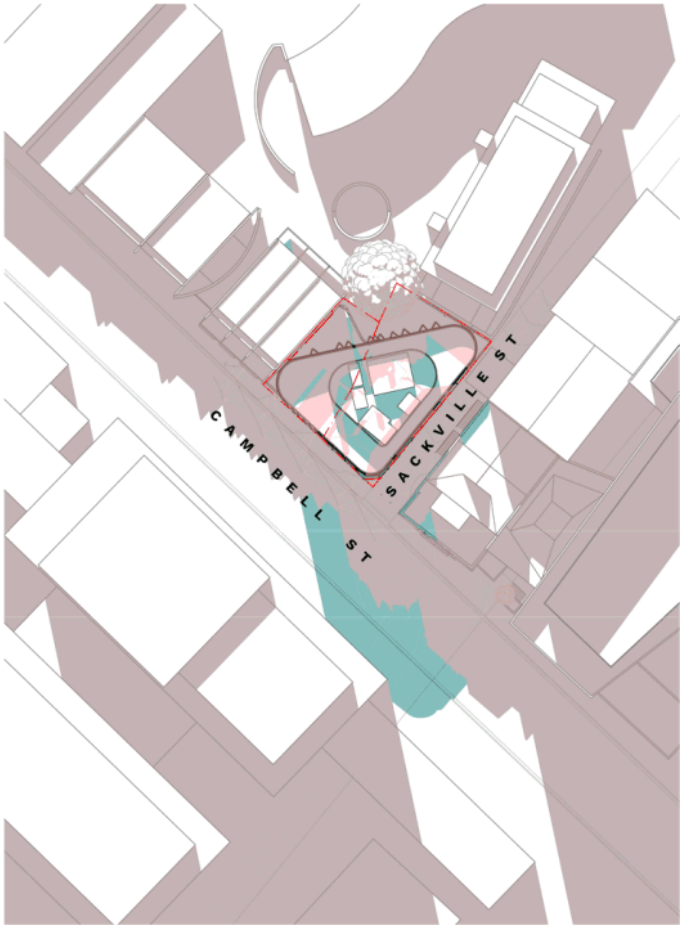
DATE
19/6/2025

DRAWING N°
DA15-01

REVISION

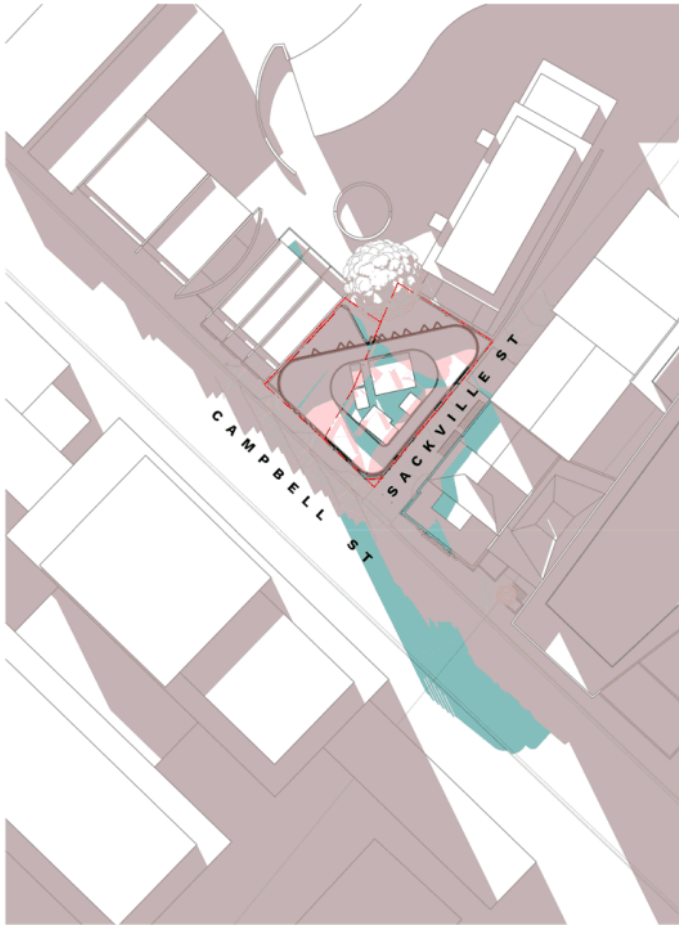
CUMULUS
MUL

US



SHADOW DIAGRAMS_JUNE 21_1PM
1:500

ADDITIONAL
SHADOW CAST BY
PROPOSAL
EXISTING SHADOW



SHADOW DIAGRAMS_JUNE 21_2PM
1:500

NOT FOR CONSTRUCTION

CUMULUS STUDIO PTY LTD
INFO@CUMULUS.STUDIO
THE COPYRIGHT OF THESE DESIGNS, PLANS
AND SPECIFICATIONS BELONGS TO CUMULUS
STUDIO PTY LTD AND MUST NOT BE USED,
REPRODUCED OR COPIED WITHOUT THEIR
WRITTEN PERMISSION.
HOBART
SUITE 2, LEVEL 2, 147 MACQUARIE ST.
HOBART TAS 7000
HREJ 6231 4841
LAUNCESTON
GROUND FLOOR - SUITE 2, 30 GORDON ST.
LAUNCESTON TAS 7250
HREJ 6533 0930
MELBOURNE
LEVEL 2, 75-76 HARDWARE LN.
MELBOURNE VIC 3002
HREJ 6231 4841
ADELAIDE
SUITE 540, WAYMOUTH STREET
ADELAIDE SA 5000
HREJ 6231 4841
SYDNEY
LEVEL 4, 18 FOSTER STREET
BERRY HILLS NSW 2150
HREJ 6231 4841
THESE DRAWINGS SHOW DESIGN INTENT &
ANT DISTANCE. ALL GUIDES ONLY. DO NOT
SCALE OFF. THE DRAWINGS, ALL DIMENSIONS
IN METRICS. DIMENSIONS OF EXISTING
BUILDINGS ARE INDICATED ONLY. THESE
SHOULD NOT BE RELIED ON AND ARE TO BE
VERIFIED ON SITE BEFORE COMMENCING
WORK. ALL DOCUMENTS SHALL BE READ IN
CONJUNCTION WITH SPECIFICATIONS AND ANY
CONSULTANTS DETAIL. ALL WORK SHALL BE
IN ACCORDANCE WITH THE NATIONAL
CONSTRUCTION CODE, RELEVANT AUSTRALIAN
STANDARDS & LOCAL AUTHORITY BY LAWS
AND REGULATIONS. ANY DISCREPANCIES
BETWEEN OR AMONGST SHALL BE REFERRED
TO THE ARCHITECTS. DRAWINGS ARE NOT TO
BE USED FOR CONSTRUCTION UNTIL ISSUED
"FOR CONSTRUCTION".

PROJECT NAME
SHE CANCER
WELLNESS CENTRE

PROJECT ADDRESS
31-35 CAMPBELL ST
HOBART
TAS 7000

PROJECT STAGE
DEVELOPMENT APPLICATION

DRAWING TITLE
SUN STUDIES

ARCHITECT
PETER WALKER, CC2143E
DRAWN BY
OP, RB, TB, KF, KS

SCALE
1:500

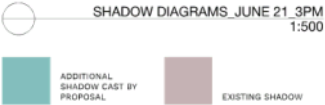
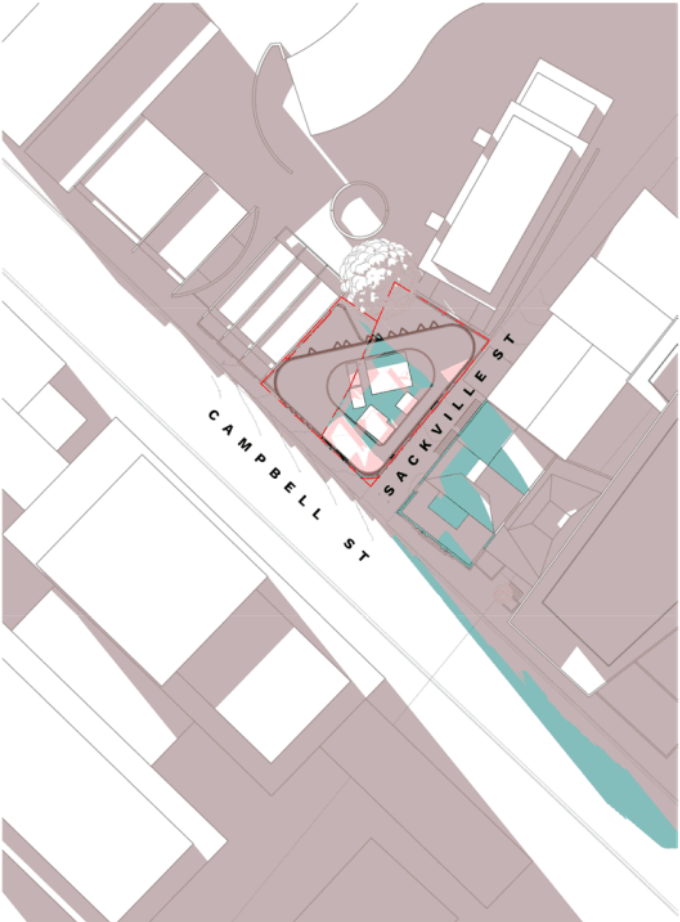
ORIGINAL SIZE
A2

PROJECT N°
J24031

DATE
19/6/2025

DRAWING N°
DA16-01

REVISION



CUS

MUL

US

REV	DATE	PURPOSE
01		DEVELOPMENT APPLICATION

NOT FOR CONSTRUCTION

CUMULUS STUDIO PTY LTD
INFO@CUMULUS.STUDIO

THE COPYRIGHT OF THESE DESIGNS, PLANS AND SPECIFICATIONS BELONGS TO CUMULUS STUDIO PTY LTD AND MUST NOT BE USED, REPRODUCED OR COPIED WITHOUT THEIR WRITTEN PERMISSION.

HOBART
SUITE 2, LEVEL 2, 147 MACQUARIE ST.
HOBART TAS 7000
+613 6231 4841

LAUNCESTON
GROUND FLOOR - SUITE 2, 33 GEORGE ST.
LAUNCESTON TAS 7250
+613 6333 0930

MELBOURNE
LEVEL 2, 75-76 HARDWARE LN.
MELBOURNE VIC 3002
+613 6231 4841

ADELAIDE
SUITE 5/47, WAYMOUTH STREET
ADELAIDE SA 5000
+613 6231 4841

SYDNEY
LEVEL 4, 18 FOSTER STREET
SYDNEY NSW 2000
+613 6231 4841

THESE DRAWINGS SHOW DESIGN INTENT & ARE NOT TO BE USED FOR CONSTRUCTION. SCALE OFF: THE DRAWINGS, ALL DIMENSIONS IN MILLIMETERS, DIMENSIONS OF EXISTING BUILDINGS ARE INDICATED ONLY. THESE SHOULD NOT BE RELIED ON AND ARE TO BE VERIFIED ON SITE BEFORE COMMENCING WORK. ALL DOCUMENTS SHALL BE READ IN CONSULTATION WITH SPECIFICATIONS AND ANY CONSULTANT'S DETAIL. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE, RELEVANT AUSTRALIAN STANDARDS & LOCAL AUTHORITY BY LAWS AND REGULATIONS. ANY DISCREPANCIES, ERRORS OR OMISSIONS SHALL BE REFERRED TO THE ARCHITECTS. DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL ISSUED "FOR CONSTRUCTION".

PROJECT NAME
SHE CANCER
WELLNESS CENTRE

PROJECT ADDRESS
31-35 CAMPBELL ST
HOBART
TAS 7000

PROJECT STAGE
DEVELOPMENT APPLICATION

DRAWING TITLE
SUN STUDIES

ARCHITECT
PETER WALKER, CC2143E

DRAWN BY
OP, RB, TB, KF, KS

CHECKED BY
AG

SCALE
1:500

ORIGINAL SIZE
A2

PROJECT N°
J24031

DATE
19/6/2025

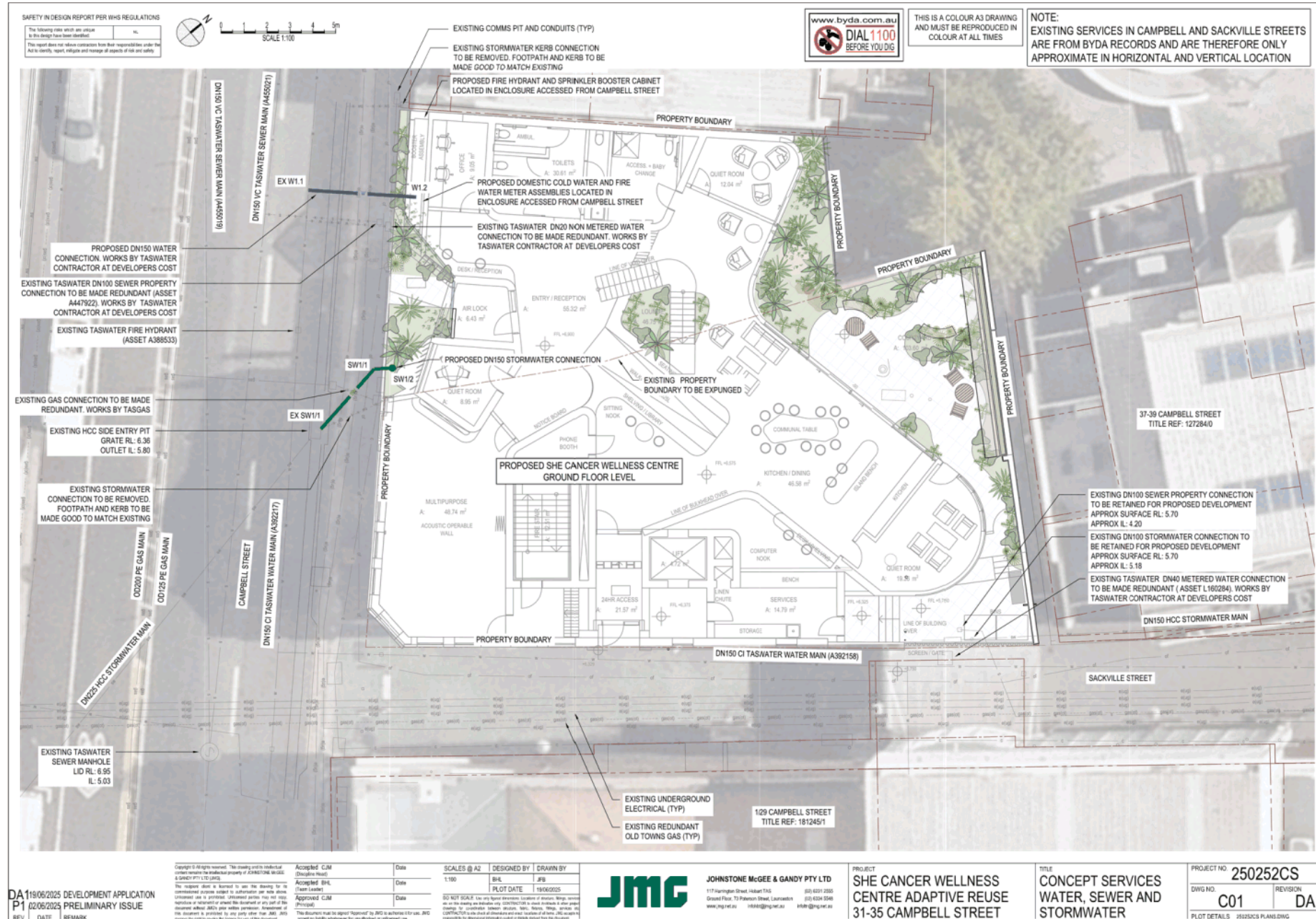
DRAWING N°
DA17-01

REVISION

APPENDIX B

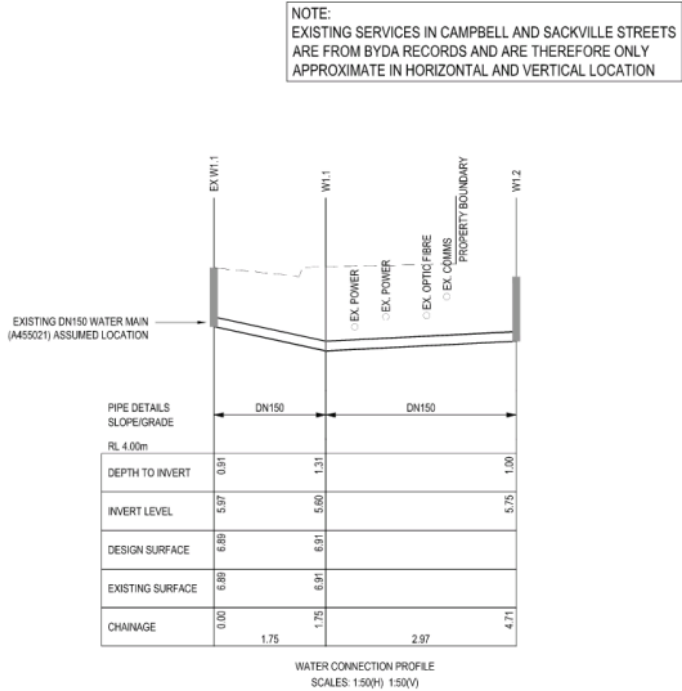
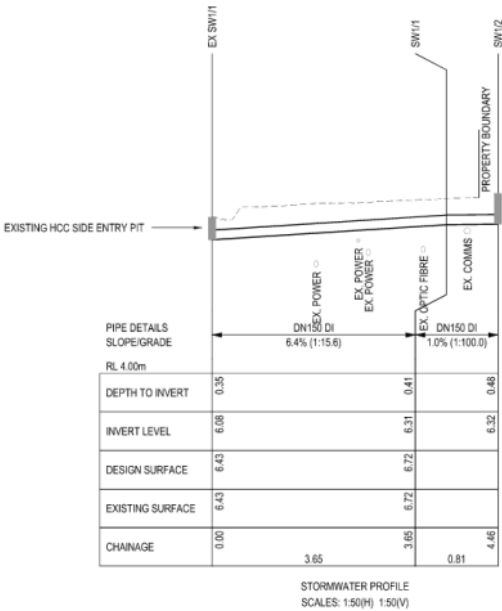
Concept Civilworks Plans





SAFETY IN DESIGN REPORT PER WHS REGULATIONS

The following risks which are unique to this design have been identified:	No.
This report does not release contractors from their responsibilities under the Act to identify, report, mitigate and manage all aspects of risk and safety.	



DA119/06/2025 DEVELOPMENT APPLICATION
P1 02/06/2025 PRELIMINARY ISSUE

REV DATE REMARK

Copyright is All rights reserved. This drawing and its intellectual content remain the intellectual property of JOHNSTONE MCGEE & GANDY PTY LTD (JMG).	Accepted C/M (Design Lead)	Date	AS SHOWN	DESIGNED BY BHL	DRAWN BY JHB
This report shall be limited to the use for which it is commissioned and shall not be used for any other purpose without the written consent of JMG. JMG does not accept liability for any loss or damage arising from the use of this document for any other purpose.	Accepted S/H (Team Leader)	Date		PLOT DATE 19/06/2025	
	Approved C/M (Principal)	Date			

JOHNSTONE MCGEE & GANDY PTY LTD
117 Harrington Street, Hobart TAS
Ground Floor, 70 Robertson Street, Launceston
www.jmg.net.au info@jmg.net.au



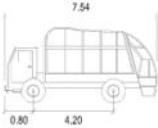
PROJECT
SHE CANCER WELLNESS
CENTRE ADAPTIVE REUSE
31-35 CAMPBELL STREET

TITLE
STORMWATER AND
WATER CONNECTION
PROFILES

PROJECT NO. 250252CS
DWG NO. C02
PLOT DETAILS: 250252CS PLANS.DWG

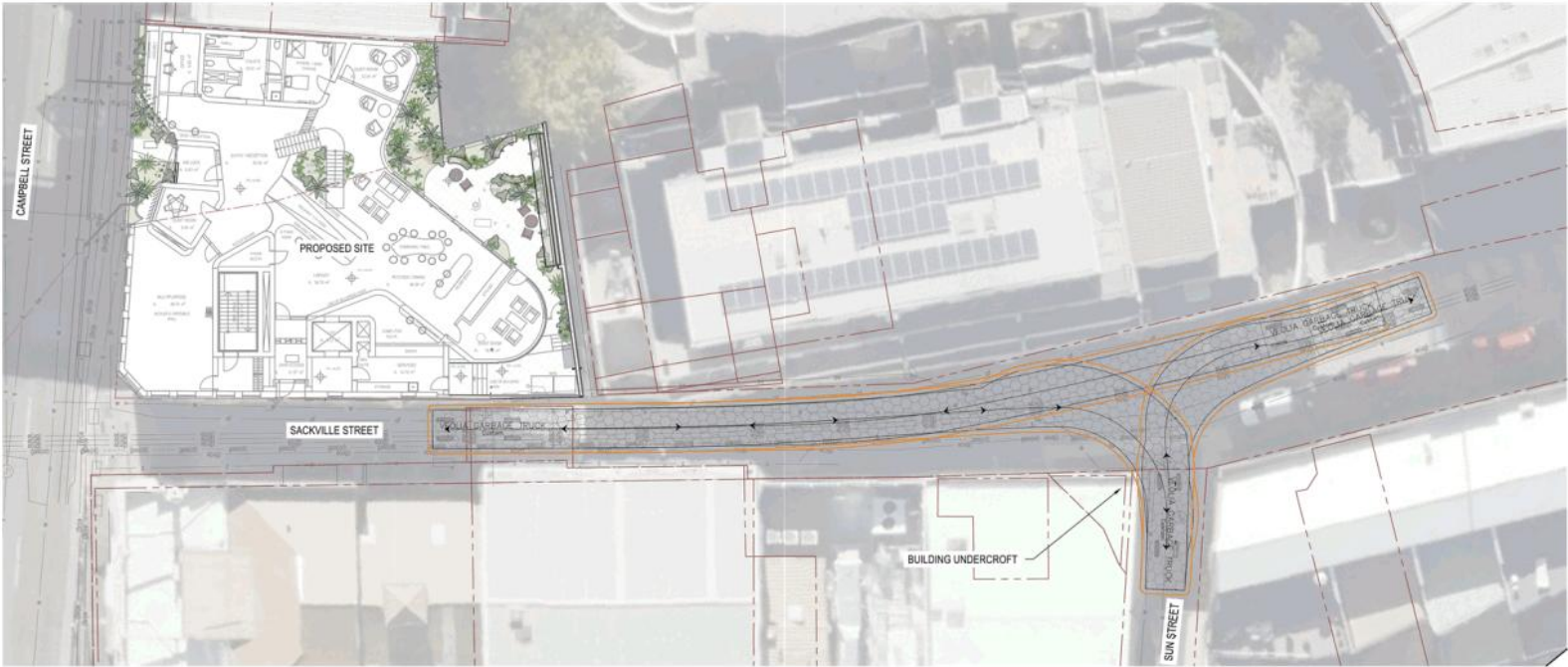
REVISION
DA1

SAFETY IN DESIGN REPORT PER WHS REGULATIONS	
The following rules which are unique to this design have been identified:	Yes
This report does not release contractors from their responsibilities under the Act to identify, report, mitigate and manage all aspects of risk and safety.	



VEOLIA GARBAGE TRUCK

	metres
Width	: 2.42
Track	: 1.42
Lock to Lock Time	: 6.0
Steering Angle	: 32.4



DA119/06/2025 DEVELOPMENT APPLICATION
REV DATE REMARK

Copyright is reserved. This drawing and its contents are the intellectual property of JOHNSTONE MCGEE & GANDY PTY LTD (JMG).	Accepted C/M (Designated)	Date	AS SHOWN	DESIGNED BY	DRAWN BY
This report shall be accepted by the client, or its authorised representative, for the purposes of the project. It shall not be used for any other purpose without the written consent of JMG.	Accepted B/L (Team Leader)	Date	B/L	JFB	
This document is provided to you for your information only. It is not to be used for any other purpose without the written consent of JMG.	Approved C/M (Principal)	Date	PLOT DATE	19/06/2025	

117 Harrington Street, Hobart TAS Ground Floor, 75 Roper Street, Launceston www.jmg.net.au info@jmg.net.au	(03) 6221 2580 (03) 6224 3548 info@jmg.net.au
--	---



JOHNSTONE MCGEE & GANDY PTY LTD
117 Harrington Street, Hobart TAS
Ground Floor, 75 Roper Street, Launceston
www.jmg.net.au info@jmg.net.au

PROJECT
SHE CANCER WELLNESS
CENTRE ADAPTIVE REUSE
31-35 CAMPBELL STREET

TITLE
VEHICLE TURN PATHS

PROJECT NO.	250252CS
DWG NO.	C03
REVISION	DA1
PLOT DETAILS	250252CS PLANS.DWG

APPENDIX C

Site Catchment Flow Analysis



STORMWATER CALCULATIONS

PROJECT DESCRIPTION:	SHE Cancer Wellness Centre
PROJECT ADDRESS:	31-35 Campbell Street Hobart
PROJECT NUMBER:	250252CS
REVISION:	2

DATE:	17/05/2025
DESIGNED:	JFB
REVIEWED:	BHL

CAMPBELL STREET SITE PARAMETERS

	Pre Development		Post Development	
Site Area	137	m ²	467	m ²
Effective Impervious Area	137	m ²	467	m ²
Percentage Impervious	100%	(-)	100%	(-)
Runoff Coefficient	0.90	(-)	0.90	(-)
Time of Concentration	5	mins	5	mins

CAMPBELL STREET PEAK CATCHMENT FLOWS

	Pre Development		Post Development	
	I _{tc,Y} (mm/h)	Flow (L/s)	I _{tc,Y} (mm/h)	Flow (L/s)
AEP				
10%	72.3	2.48	72.3	8.4
5%	84.9	3.06	84.9	10.4
2%	102.0	4.02	102.0	13.7
1%	116.0	4.77	116.0	16.3

SACKVILLE STREET SITE PARAMETERS

	Pre Development		Post Development	
Site Area	434	m ²	104	m ²
Effective Impervious Area	427.4	m ²	81.2	m ²
Percentage Impervious	98%	(-)	78%	(-)
Runoff Coefficient	0.89	(-)	0.72	(-)
Time of Concentration	5	mins	5	mins

SACKVILLE STREET PEAK CATCHMENT FLOWS

	Pre Development		Post Development	
	I _{tc,Y} (mm/h)	Flow (L/s)	I _{tc,Y} (mm/h)	Flow (L/s)
AEP				
10%	72.3	7.7	72.3	1.5
5%	84.9	9.5	84.9	1.9
2%	102.0	12.6	102.0	2.5
1%	116.0	14.9	116.0	2.9

APPENDIX D

Water and Sewer Demand Calculations



WATER ET CALCULATIONS

PROJECT DESCRIPTION:	SHE Cancer Wellness Centre
PROJECT ADDRESS:	Campbell Street
PROJECT NUMBER:	250252CS
REVISION:	2



DATE:	17/05/2025
DESIGNED:	JFB
REVIEWED:	BHL

EQUIVALENT TENEMENT RATES

Development Number	Development Type	Rate	Units	Value	ETs
Development 1	Office	0.004	GBFA (m ²)	842	3.368
Development 2	Apartment - 1 Bedroom	0.33	Dwelling	8	2.64
Development 3	Apartment - 2 Bedroom	0.5	Dwelling	4	2
Total ETs					8.008

Note: The equivalent tenement (ET) demand rates used in this spreadsheet are based on the TasWater Supplement to the WSAA Water Supply Code of Australia (WSA 03). These rates reflect TasWater's adopted design guidelines for assessing water infrastructure demands.

WATER DESIGN FLOW CALCULATIONS

PROJECT DESCRIPTION:	SHE Cancer Wellness Centre
PROJECT ADDRESS:	Campbell Street
PROJECT NUMBER:	250252CS
REVISION:	2

DATE:	17/05/2025
DESIGNED:	JFB
REVIEWED:	BHL

DESIGN FLOWS

Variable	Formula	Calculated Value	Units	Comments
ETs	-	8.008	-	From Previous Sheet
Average Day Demand (AD)	$685 \text{ L/ET/day} \times \text{ETs}$	5485	L/day	Section 2.3.1 TasWater Supp
Mean Day Max Month (MDMM) demand	$1.5 \times \text{AD}$	8228	L/day	Section 2.3.4.1 TasWater Supp
Peak Day Demand (PD)	$2.25 \times \text{AD}$	12342	L/day	Section 2.3.4.2 TasWater Supp
Peak Hour Demand (PH)	$2.0 \times \text{PD}$	24685	L/hr	Section 2.3.4.3 TasWater Supp
Probable Simultaneous Demand (PSD)	$0.03 \times \text{ETs} + 0.4554 \times \text{SQRT}(\text{ETs})$	1.529	L/s	AS/NZS 3500.1:2003 Table 3.2.3
Peak Day Flow Rate	$\text{PD}/(\text{day/hour/minute})$	0.143	L/s	-

SEWER ET CALCULATIONS

PROJECT DESCRIPTION:	SHE Cancer Wellness Centre
PROJECT ADDRESS:	Campbell Street
PROJECT NUMBER:	250252CS
REVISION:	2

DATE:	17/05/2025
DESIGNED:	JFB
REVIEWED:	BHL

SITE PARAMETERS

Site Area	0.0571	ha
I(1,2) 1 hr duration rainfall intensity, ARI 2 years	11.8	mm/hr

EQUIVALENT TENEMENT RATES

Development Number	Development Type	Rate	Units	Value	ETs
Development 1	Office	0.006	GBFA (m ²)	842	5.052
Development 2	Apartment - 1 Bedroom	0.5	Dwelling	8	4
Development 3	Apartment - 2 Bedroom	0.75	Dwelling	4	3
Total ETs					12.052

Note: The equivalent tenement (ET) demand rates used in this spreadsheet are based on the TasWater Supplement to the WSAA Gravity Sewerage Code of Australia (WSA 02). These rates reflect TasWater's adopted design guidelines for assessing sewer infrastructure demands.

SEWER DESIGN FLOW CALCULATIONS



PROJECT DESCRIPTION:	SHE Cancer Wellness Centre
PROJECT ADDRESS:	Campbell Street
PROJECT NUMBER:	250252CS
REVISION:	2

DATE:	17/05/2025
DESIGNED:	JFB
REVIEWED:	BHL

DESIGN FLOWS

Variable	TasWater Formula	Calculated Value	Units	Comments
ETs	-	12.052	-	From Previous Sheet
ADWF	450 L/ET/day x ETs	0.0628	L/s	Appendix C TasWater Supp
d	$0.01 * (\text{LOG}(A))^4 - 0.19 * (\text{LOG}(A))^3 + 1.4 * (\text{LOG}(A))^2 - 4.66 * \text{LOG}(A) + 7.57$	15.92	-	Appendix C WSA02
PDWF	d x ADWF	0.999	L/s	Section 2.3.4.2 TasWater Supp
GWl	0.025 X A X Portion(wet)	0.00099925	L/s	Section 5.5.5.2 TasWater Supp
A _{eff}	#REF!	0.057	m2	Appendix C WSA02
C	Saspect + Naspect	1.4	-	Section 5.5.5.2 TasWater Supp
Factor (size)	$(40/A)^{0.12}$	2.20	-	Appendix C WSA02
X	log(ARI)	0.699	-	Section 5.5.5.2 TasWater Supp
Factor (containment)	$0.77 \times (10^{(0.43X)}) / (10^{(0.14X^2)})$	1.3	-	Appendix C WSA02
I	$I_{1,2} \times \text{Factor}_{\text{size}} \times \text{Factor}_{\text{containment}}$	33.7	-	Appendix C WSA02
RDI	0.028 x A _{eff} x C x I	0.075	L/s	Appendix C WSA02
Design Flow	PDWF + GWl + RDI	1.08	L/s	Appendix C WSA02

APPENDIX E

Fire Head Loss Calculations





Project: SHE Cancer Wellness Centre

Subject: Fire Headloss Calcs (Hydrant)

Name: BHL

Date: 19/06/2025

Project No: 250252CS

Sheet No: 1/2

NCC Building Classification:

Ground Floor Class 9B

L1/L2 Class 5

L3/L4 Class 3

Roof Class 10A (open deck)

AS2419.1 2021 Table 2.2.5(B) NCC Building classification all classes not more than 25m height, fire compartment <1000m²

∴ Number of hydrant outlets = 1

AS2419.1 2021 Table 2.2.5(B) Minimum unassisted hydrant pressure & flow external or internal attack hydrant 10L/s @ 350kPa residual pressure

Elevation loss from booster to hydrant on roof

Campbell Street surface level approx ??m AHD (proposed booster location)

Proposed building open roof deck hydrant outlet = 21.35m AHD + 1m riser

∴ Δ elevation = 22.35m - 6.6m = 15.75m, say 16m

Fitting loss from booster to hydrant on roof

	k	No.	
90 degree bend	0.75	8 (assumption)	Sum k = 6.0
discharge	1	1	

flow rate to m³/s10 L/s = 0.01 m³/s
$$\begin{aligned} \therefore \text{Loss} &= 7 \times V_m/s^2 / 2g \\ &= 7 \times 1.27m/s^2 / (2 \times 9.81) \\ &= 0.58m \end{aligned}$$
area of the pipeArea = $\pi \times r^2 = \pi \times (0.05)^2 \approx 0.00785 m^2$ Velocity = $\frac{0.01}{0.00785} \approx 1.27 m/s$ Pipe friction loss from booster to roof hydrant

Assumption for pipe length:

25m horizontal + 16m vertical in stair = say 42m

Assume: c=140, Q= 10L/s, d= 100mm, L=42m

Using Hazen Williams online head loss calculator = 6.94kPa = 0.69m

Total head loss from booster to roof hydrant

Δ elevation = 16m

k(fittings) = 0.58m

pipe = 0.69m

∴ total = 17.27m = 169.42kPa



Project: SHE Cancer Wellness Centre

Subject: Fire Headloss Calcs (Hydrant)

Name: BHL

Date: 19/06/2025

Project No: 250252CS

Sheet No: 2/2

fire demand at booster

Hydrant= 10L/s

Sprinkler= 18L/s (from separate calculations)

 $= 28\text{L/s}$ Elevation loss from connection at TasWater main to booster

I.L. TasWater main in Campbell Street = 5.5m AHD (assumed)

RL booster= 7.6m (building GF level 6.6m +1m)

 $\therefore \Delta \text{ elevation} = 7.6\text{m} - 5.5\text{m} = 2.1\text{m}$ Pipe friction loss from connection at TasWater main to booster

Assumption for pipe length:

10m horizontal + 2.1m vertical= say 12m

Assume: $c=140$, $Q=28\text{L/s}$, $d=150\text{mm}$, $L=12\text{m}$ Using Hazen Williams online head loss calculator= $1.86\text{kPa} = 0.19\text{m}$ Fitting loss from connection at TasWater main to booster

	k	No.	
90 degree bend	0.75	8 (assumption)	Sum k= 6

 $\therefore \text{ Loss} = 6$ $= 6 \times V\text{m/s}^2 / 2g$ $= 6 \times 1.59 \text{ m/s}^2 / (2 \times 9.81)$ $= 0.77\text{m}$ • v = velocity (m/s)• Q = flow rate in $\text{m}^3/\text{s} = 28 \div 1000 = 0.028 \text{ m}^3/\text{s}$ • A = cross-sectional area of pipe $= \pi \times (d/2)^2$

Pipe diameter = 150 mm = 0.15 m

 $A = \pi \times (0.15/2)^2 = \pi \times 0.075^2 \approx 0.017671 \text{ m}^2$

Now calculate velocity:

$$v = \frac{0.028}{0.017671} \approx 1.585 \text{ m/s}$$

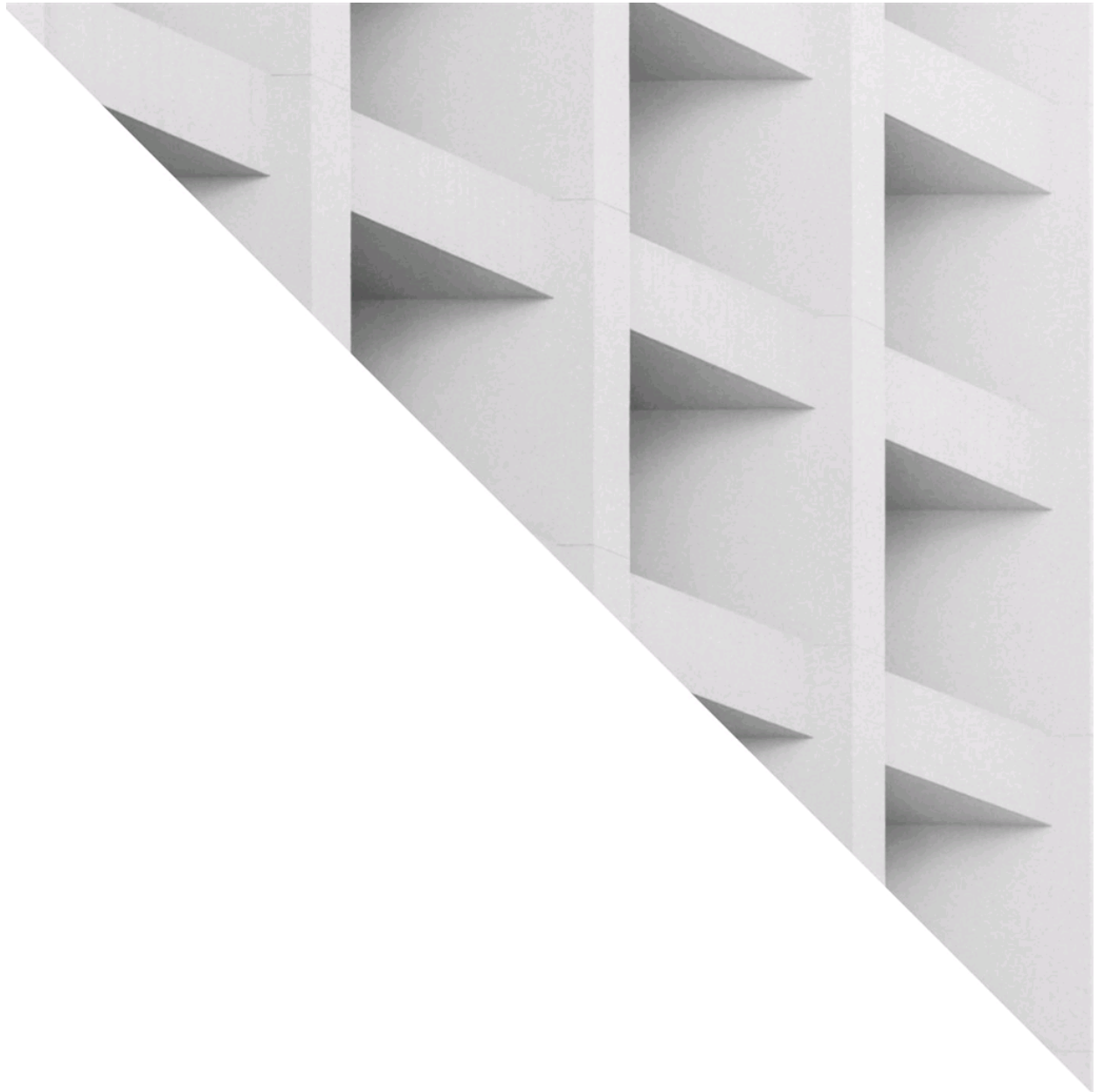
Fitting through detector check

Flow rate= 28L/s

From Emerson Valvcheq backflow online specification, loss= $65\text{kPa} = 6.63\text{m}$ Total head loss from connection at TasWater main to booster $\Delta \text{ elevation} = 2.1\text{m}$ $k(\text{fittings}) = 0.77\text{m}$ pipe= 0.19m detector check= 6.63m $\therefore \text{ total} = 9.69\text{m} = 95.1\text{kPa}$ Required flow and pressure at connection to TasWater main in Campbell Street required to service development:

Demand at booster= 28L/s @ 519.42-kPa

Demand at connection to TasWater main= 28L/s @ 614.52kPa, say, 615kPa



ACN 009 547 139 | ABN 76 473 834 852

117 HARRINGTON STREET, HOBART (03) 6231 2555
GROUND FLOOR, 73 PATERSON STREET, LAUNCESTON (03) 6334 5548
www.jmg.net.au



GENERAL MANAGER CONSENT

Reference

GMC-HOB-2025-0024

Address

31-35 CAMPBELL ST HOBART TAS 7000

Titles

42971/1, 42972/1

Applicant

Name	Email	Phone	Address	Involvement
Mr Frazer Read	frazer@allurbanplanning.com.au	0400109582	19 Mawhera Avenue, Sandy Bay, Tasmania, Australia, 7005	Applicant

Council Reference

Council Proposed Use or Development Description

Upgraded service connections

Consent Information

Information

I advise that pursuant to Section 52 of the Land Use Planning and Approvals Act 1993, I grant my consent on behalf of the Council as the owner/administrator of the above land for you to make application to the Council for a planning permit for the development described above and as per the attached documents. I granted consent pursuant to delegation, a copy of which is enclosed.

Please note that the granting of the consent is only for the making of the application and in no way should such consent be seen as prejudicing any decision the Council is required to make as the statutory planning authority.

This consent does not constitute an approval to undertake any works and does not authorise the owner, developer or their agents any right to enter or conduct works on any Council managed land whether subject to this consent or not.

If planning approval is granted by the planning authority, you will be required to seek approvals and permits from the Council as both landlord, land manager, or under other statutory powers (such as other legislation or Council ByLaws) that are not granted with the issue of a planning permit under a planning scheme. This includes the requirement for you to reapply for a permit to occupy a public space under the Council's Public Spaces By-Law if the proposal relates to such an area.

Accordingly, I encourage you to continue to engage with the Council about these potential requirements.

Signatory

A handwritten signature in blue ink, appearing to read "Michael Stretton".

Signed: Michael Stretton

Signature applied by: Nicole Spooner

Supporting Documents

Version	Document Date	Document Type	Description	Prepared By
2	2 June 2025	Engineering Drawings	Civil site plan	JMG

Submitted on 16/06/2025

June 11, 2025

Mr Scott Harris
CEO SHE Gynaecological Group
40 Molle St
Hobart TAS 7000

Dear Scott

Owners Consent – Lease and development of Theatre Royal Hotel for the proposed Wellness Centre

Thank you for your letter dated June 6, 2025 requesting landowner consent to enable SHE to submit a Development Application for the Theatre Royal Hotel.

The University has approved entering into a 20-year lease with SHE Gynaecological Cancer Group (SHE) for the use and development of the Theatre Royal Hotel building in Campbell St for SHE's proposed Wellness Centre. The University supports and recognises the importance of this project and community benefits it will provide for Tasmanians.

Following the meeting between SHE and UTAS on 5 June 2025 to discuss the proposed designs and layout for the Wellness Centre, UTAS approves the plans and specifications and grants consent for SHE to advance its design in preparation for tendering the construction and refurbishment works.

It is noted that SHE intends to submit a Development Application to the City of Hobart on 19 June 2025 to refurbish the building into a Wellness Centre for cancer patients, and the proposed building design is essential for the application.

We look forward to receiving updates as the project progresses.

Yours sincerely,



Phil Leersen
Executive Director – Campus Services

**RESULT OF SEARCH**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

SEARCH OF TORRENS TITLE

VOLUME 42971	FOLIO 1
EDITION 9	DATE OF ISSUE 16-Jun-2016

SEARCH DATE : 04-Jun-2025

SEARCH TIME : 10.11 AM

DESCRIPTION OF LAND

City of HOBART

Lot 1 on Diagram 42971

Derivation : Part of OA-1R-OP Gtd to C McLachlan

Prior CT 4641/57

SCHEDULE 1

E27553 TRANSFER to UNIVERSITY OF TASMANIA Registered
16-Jun-2016 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
24/9472 Right of public thorough fare (appurtenant to the
 mayor, Alderman and Citizens of the City of Hobart)
 over the land marked "A.B.C." on Diagram No. 42971

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

**RESULT OF SEARCH**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

SEARCH OF TORRENS TITLE

VOLUME 42972	FOLIO 1
EDITION 10	DATE OF ISSUE 16-Jun-2016

SEARCH DATE : 04-Jun-2025

SEARCH TIME : 10.11 AM

DESCRIPTION OF LAND

City of HOBART

Lot 1 on Diagram 42972

Derivation : Whole of 0A-0R-7.1/2Ps Gtd to John Guest

Prior CT 4641/58

SCHEDULE 1

E27553 TRANSFER to UNIVERSITY OF TASMANIA Registered
16-Jun-2016 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

24/9472 CONVEYANCE - Burdening Easement: Right to
uninterrupted access transmission and enjoyment of
light (appurtenant to the land adjoining on the north
western side) over and across the said land within
described to the existing windows of the dwelling
house known as "Quatt Quatta"

24/9472 CONVEYANCE - Burdening Easement: Right to keep
maintain erect and re-erect eaves (appurtenant to the
said dwelling house over the land marked 'eaves 0.46
wide' on Diagram No. 42972

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

**FOLIO PLAN**

RECORDER OF TITLES

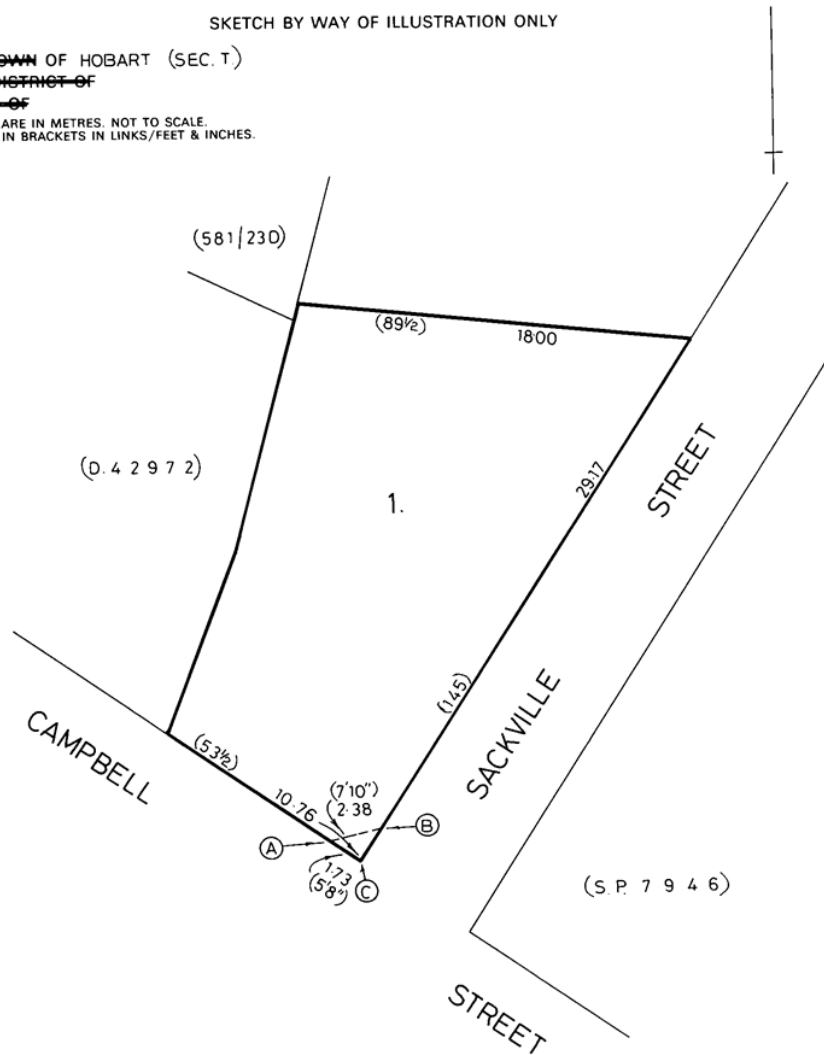
Issued Pursuant to the Land Titles Act 1980



APPROVED... 26 JUL 2020 <i>[Signature]</i> RECORDER OF TITLES	CONVERSION PLAN (ISTLY DESC.) CONVERTED FROM 65/0817	REGISTERED NUMBER D.42971
FILE NUMBER Y. 11339	GRANTEE: PART OF 0-1-0 GTD. TO CHARLES M ^C LACHLAN.	DRAWN A. Horsey 20-2-90

SKETCH BY WAY OF ILLUSTRATION ONLY

CITY/TOWN OF HOBART (SEC. T)
~~LAND DISTRICT OF~~
~~PARISH OF~~
 LENGTHS ARE IN METRES. NOT TO SCALE.
 LENGTHS IN BRACKETS IN LINKS/FEET & INCHES.





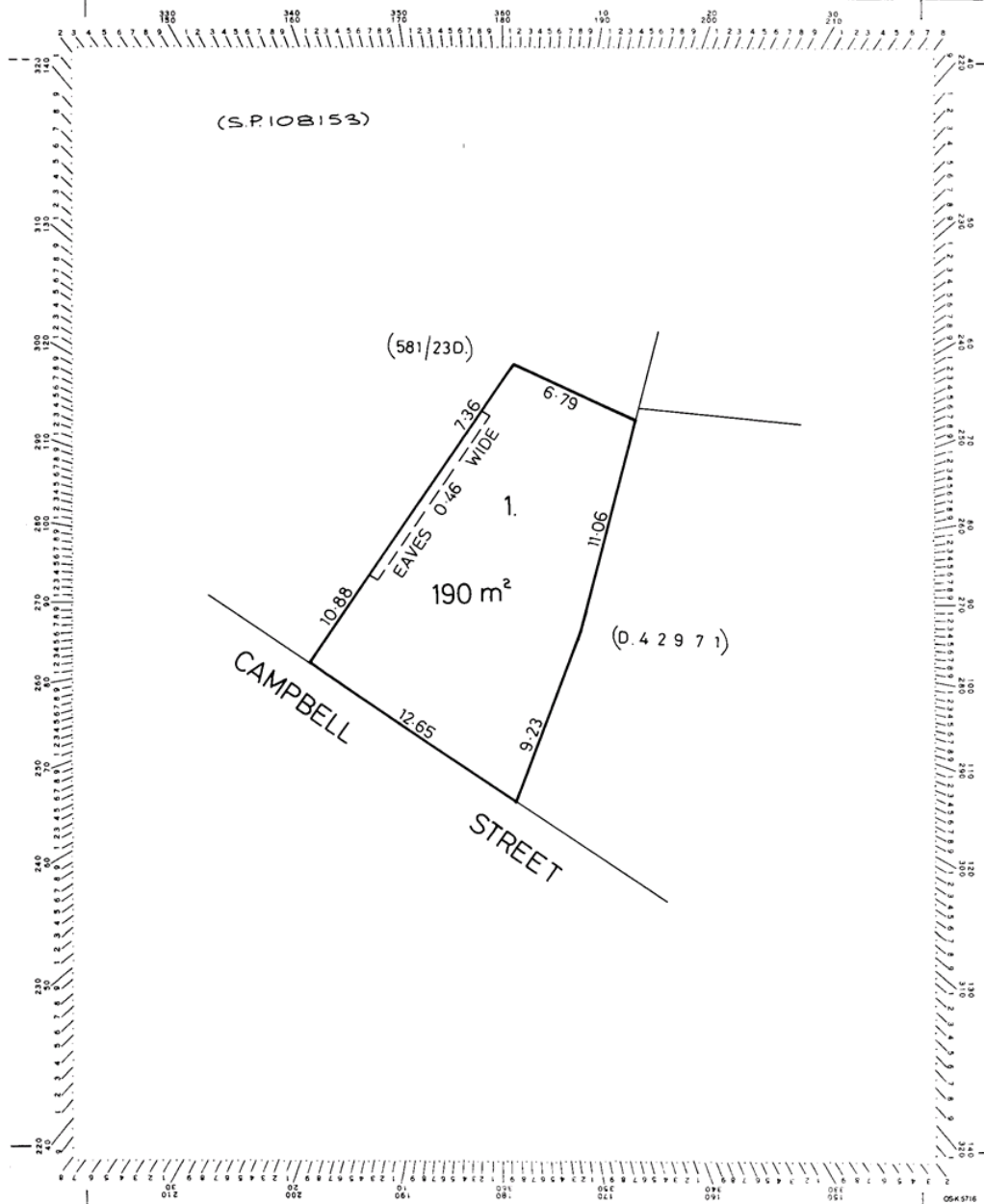
FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



Owner: L. T. ACT 1980.	PLAN OF SURVEY of land situated in the CITY OF HOBART (SEC. 1)	Registered Number: D.42972
Title Reference: Y.11339	COMPILED FROM 15/13 HOB L.O.	Approved: 28 FEB 1990
Grantee: WHOLE OF 0-0-7½ GTD TO JOHN GUEST.	SCALE 1: 200 MEASUREMENTS IN METRES	Recorder of Titles



Provide a full description of the proposed use or development

Partial demolition, adhesion of titles and redevelopment of the site for a four storey wellness centre for the SHE Gynaecological Cancer Group including allied health facilities and consulting suites on ground and first floor and residential accommodation comprising studio and 2-bedroom apartments, supported by communal kitchen/lounges and laundry areas on the 3rd and 4th. This accommodation is intended for patients undergoing treatment or carers supporting patients in nearby medical facilities.

Will the proposed use or development involve a road reserve?

- ☒ Yes - complete the section below
- ☐ No - continue to the next section
- ☐ Unsure

If yes, enter the address(es) or locations below:

Campbell Street Road Reservation

If yes, how will the road reserve be affected?

Upgraded service connections

Value of Works**What is the estimated value of the works?**

18580000

Supporting Documents

Version	Document Date	Document Type	Description	Prepared By
1	16 June 2025	Other	GMC	HCC
1	30 May 2025	Heritage Impact Assessment	Heritage Impact Statement	Garry Forward
1	19 June 2025	Architectural Plans	Architectural Plans	Cumulus
1	17 June 2025	Other	Architectural Design Response	Cumulus
1	11 June 2025	Other	Owners Consent	UTAS
1	20 June 2025	Planning Assessment Report	Planning Assessment Report	Mr Frazer Read
1	4 June 2025	Property Title Document	0 Folio Text 42971_0_1.pdf	Mr Frazer Read
1	4 June 2025	Property Title Document	1 FOLIO PLAN 42971_0_1.pdf	Mr Frazer Read
1	4 June 2025	Property Title Document	0 Folio Text 42972_0_1.pdf	Mr Frazer Read
1	4 June 2025	Property Title Document	1 FOLIO PLAN 42972_0_1.pdf	Mr Frazer Read
1	19 June 2025	Other	Landscape Report	REALM
1	19 June 2025	Other	Landscape Plan	REALM
1	19 June 2025	Engineering Drawings	Civil Engineering Plans	JMG
1	19 June 2025	Other	Concept Services Report	JMG
1	3 May 2017	Other	Existing Surveyed Floor Plans and Elevations	PDA Surveyors
1	16 June 2025	Other	GMC - engineering drawings	HCC- JMG

Next steps

When you have completed all the necessary fields and attached all required documents to support your application, click on the green 'Save & Submit' button at the top right of this form.

Once submitted, the Council will review your application. A request for the payment of application fees will be sent to you via PlanBuild Tasmania.

Once the fees have been paid and the Council is satisfied with the information provided, the application will be assessed and you will be notified of the outcome.

If further action is required to assess your application you will receive an email notification from PlanBuild which will tell you what you need to provide to continue the application.