



CITY OF HOBART

AGENDA

Planning Authority Committee Meeting
Open Portion
Wednesday, 20 August 2025
at 4.00 pm
Council Chamber, Town Hall



City of **HOBART**

THE MISSION

Working together to make Hobart a better place for the community.

THE VALUES

The Council is:

People	We care about people – our community, our customers and colleagues.
Teamwork	We collaborate both within the organisation and with external stakeholders drawing on skills and expertise for the benefit of our community.
Focus and Direction	We have clear goals and plans to achieve sustainable social, environmental and economic outcomes for the Hobart community.
Creativity and Innovation	We embrace new approaches and continuously improve to achieve better outcomes for our community.
Accountability	We are transparent, work to high ethical and professional standards and are accountable for delivering outcomes for our community.

ORDER OF BUSINESS

Business listed on the agenda is to be conducted in the order in which it is set out, unless the committee by simple majority determines otherwise.

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Planning Authority Committee Meeting (Open Portion) held Wednesday, 20 August 2025 at 4.00 pm in the Council Chamber, Town Hall.

The title Chief Executive Officer is a term of reference for the General Manager as appointed by Council pursuant s.61 of the *Local Government Act 1993* (Tas).

COMMITTEE MEMBERS

Councillor M S C Dutta (Chairperson)
Lord Mayor Councillor A M Reynolds
Deputy Lord Mayor Councillor Dr Z E Sherlock
Councillor W F Harvey
Councillor R J Posselt
Councillor B Lohberger
Councillor G H Kitsos

Apologies:

Leave of Absence:

Councillor W N S Coats

NOMINEE MEMBERS

Alderman M Zucco
Councillor J L Kelly
Councillor L M Elliot
Alderman L A Bloomfield
Councillor W N S Coats

1 ACKNOWLEDGEMENT OF COUNTRY

2. CONFIRMATION OF MINUTES

The minutes of the Open Portion of the Planning Authority Committee meeting held on [Wednesday, 6 August 2025](#), are submitted for confirming as an accurate record.

3. CONSIDERATION OF SUPPLEMENTARY ITEMS

Ref: Part 2, Regulation 10(7) of the *Local Government (Meeting Procedures) Regulations 2025*.

Recommendation

That the Committee resolve to deal with any supplementary items not appearing on the agenda, as reported by the Chief Executive Officer.

4. INDICATIONS OF CONFLICTS OF INTEREST

Ref: Part 2, Regulation 10(8) of the *Local Government (Meeting Procedures) Regulations 2025*.

Members of the Committee are requested to indicate where they may have, or are likely to have, interest in the agenda.

5. TRANSFER OF AGENDA ITEMS

Regulation 17 of the *Local Government (Meeting Procedures) Regulations 2025*.

A Committee may close a part of a meeting to the public where a matter to be discussed falls within 17(2) of the above regulations.

In the event that the Committee transfers an item to the closed portion, the reasons for doing so should be stated.

Are there any items which should be transferred from this agenda to the closed portion of the agenda, or from the closed to the open portion of the agenda?

6 PLANNING AUTHORITY ITEMS – CONSIDERATION OF ITEMS WITH DEPUTATIONS

In accordance with the requirements of Part 2 Regulation 10(4) of the *Local Government (Meeting Procedures) Regulations 2025*, the Chief Executive Officer is to arrange the agenda so that the planning authority items are sequential.

In accordance with Part 2 Regulation 10(5) of the *Local Government (Meeting Procedures) Regulations 2025*, the Committee by simple majority may change the order of any of the items listed on the agenda, but in the case of planning items they must still be considered sequentially – in other words they still have to be dealt with as a single group on the agenda.

Where deputations are to be received in respect to planning items, past practice has been to move consideration of these items to the beginning of the meeting.

RECOMMENDATION

That in accordance with Regulation 10(5) of the *Local Government (Meeting Procedures) Regulations 2025*, the Committee resolve to deal with any items which have deputations by members of the public regarding any planning matter listed on the agenda, to be taken out of sequence in order to deal with deputations at the beginning of the meeting.

7. COMMITTEE ACTING AS PLANNING AUTHORITY

In accordance with the provisions of Part 2 Regulation 29 of the *Local Government (Meeting Procedures) Regulations 2025*, the intention of the Committee to act as a planning authority pursuant to the *Land Use Planning and Approvals Act 1993* is to be noted.

In accordance with Regulation 29, the Committee will act as a planning authority in respect to those matters appearing under this heading on the agenda, inclusive of any supplementary items.

The Committee is reminded that in order to comply with Regulation 29(2), the Chief Executive Officer is to ensure that the reasons for a decision by a Council or Council Committee acting as a planning authority are recorded in the minutes.

7.1 APPLICATIONS UNDER THE HOBART INTERIM PLANNING SCHEME 2015

7.1.1 43A PIRIE STREET, NEW TOWN - PARTIAL DEMOLITION, ALTERATIONS, EXTENSION AND CHANGE OF USE TO BOARDING HOUSE (21 UNITS) PLN-HOB-2025-0170 - FILE REF: F25/61496

Address:	43A Pirie Street, New Town
Proposal:	Partial Demolition, Alterations, Extension and Change of Use to Boarding House (21 Units)
Expiry Date:	20 August 2025
Extension of Time:	Not applicable
Author:	Dan Burke

RECOMMENDATION

That pursuant to the *Hobart Interim Planning Scheme 2015*, the Planning Committee, in accordance with the delegations contained in its terms of reference approve the application for Partial Demolition, Alterations, Extension and Change of Use to Boarding House (21 Units) at 43A PIRIE STREET, NEW TOWN for the reasons outlined in the officer report and a permit containing the following conditions be issued:

GEN – General

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-HOB-2025-0170 - 43 AND 43A PIRIE STREET NEW TOWN TAS 7008 - Final Planning Documents except where modified below.

THC – General

The use and/or development must comply with the requirements of the Tasmanian Heritage Council as detailed in the Notice of Heritage Decision, THC Works Ref: 8682 dated 12 August 2025, as attached to the permit.

TW – General

The use and/or development must comply with the requirements of TasWater as detailed in the form Submission to Planning Authority Notice, Reference No. TASWASPAN-HOB-2025-0118 dated 27 June 2025 as attached to the permit.

PLN 15 - Residential Accommodation Management Plan

Prior to the commencement of the approved use, a management plan for the operation of the Boarding House must be submitted and approved as a condition endorsement, to the satisfaction of the Council's Director Strategic and Regulatory Network. The management plan must include measures to limit, manage and mitigate unreasonable impacts upon the amenity of long term residents. These measures must include, but are not limited to, the following requirements:

1. To limit, manage, and mitigate noise generated as a result of the residential accommodation.
2. To limit, manage, and mitigate behaviour issues caused as a result of the residential accommodation.
3. To maintain the security of the building where the residential accommodation would be located, including managing and/or limiting access to shared areas and facilities.
4. To specify the maximum permitted occupancy of the residential accommodation.
5. To specify that guests must utilise the site for the parking of vehicles, that the maximum number of vehicles to be parked on the site (8), and detail where the parking spaces are located and how the spaces are to be accessed. Additionally, residents should be discouraged from bringing more than 8 vehicles and the parking of any additional vehicles in nearby streets should also be discouraged.
6. To provide details pertaining to the private skip bin collection, i.e. collection point, collection times etc.
7. To provide a name and contact phone number of a person who will respond to any complaints regarding behaviour of residents.

Once approved, the management plan must be implemented prior to the commencement of the approved use and must be maintained for as long as the residential accommodation is in operation. The management plan

must be provided to adjacent property owners and occupiers within 14 days of being approved. If the property is sold, the updated management plan (in accordance with 7, above) must be provided to adjacent property owners and occupiers within 10 business days of settlement.

ENG 1 - Development Engineering - Protection of Council Assets

Any damage to council infrastructure resulting from the implementation of this permit, must, at the discretion of the Council:

1. Be met by the owner by way of reimbursement (cost of repair and reinstatement to be paid by the owner to the Council); or
2. Be repaired and reinstated by the owner to the satisfaction of the Council.

Any damage must be immediately reported to Council.

A photographic record of the Council's infrastructure adjacent to the subject site must be provided to the Council prior to any commencement of works.

A photographic record of the Council's infrastructure (e.g. existing property service connection points, roads, buildings, stormwater, footpaths, driveway crossovers and nature strips, including if any, pre-existing damage) will be relied upon to establish the extent of damage caused to the Council's infrastructure during construction. In the event that the owner/developer fails to provide to the Council a photographic record of the Council's infrastructure, then any damage to the Council's infrastructure found on completion of works will be deemed to be the responsibility of the owner.

ENG 3A - Development Engineering - Parking and Access Design

The access driveway and parking area must be constructed in accordance with the following documentation which forms part of this permit: [Aldanmark - Reference - 25E99-16 (C102, C105, & C201) Rev 3 Dated 15/7/2025] (received by the Council on 15 July 2025).

Any departure from that documentation and any works which are not detailed in the documentation must be either:

- a) approved by the Director Strategic and Regulatory Services , via a

- condition endorsement application; or
- b) designed and constructed in accordance with Australian Standard AS/NZ 2890.1:2004.

The works required by this condition must be completed prior to first occupation.

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

ENG 3C - Development Engineering - Parking and Access Design

Prior to the first occupation, a suitably qualified engineer must certify that the access driveway and parking area has been constructed in accordance with design drawings approved by Condition ENG 3a.

Advice:

We strongly encourage you to speak to your engineer before works begin so that you can discuss the number and nature of the inspections they will need to do during the works in order to provide this certification. It may be necessary for a surveyor to also be engaged to ensure that the driveway will be constructed as approved.

The reason this condition has been imposed as part of your planning permit is that the driveway is outside the Australian Standard gradients or design parameters. If the driveway is not constructed as it has been approved then this may mean that the driveway will either be unsafe or will not function properly.

An example certificate is available on our website.

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

ENG 4 - Development Engineering - Parking and Access Seal

The access driveway and parking module (car parking spaces, aisles and

manoeuvring area) approved by this permit must be constructed to a sealed standard (spray seal, asphalt, concrete, pavers or equivalent Council approved) and surface drained to the Council's stormwater infrastructure prior to the commencement of use.

Reason for condition

To ensure the safety of users of the access driveway and parking module, and that it does not detract from the amenity of users, adjoining occupiers or the environment by preventing dust, mud and sediment transport.

ENG 5 - Development Engineering - Parking and Access Design

All parking spaces must be delineated by means of white or yellow lines 80mm to 100mm wide, or white or yellow pavement markers in accordance with Australian Standards AS/NZS 2890.1 2004, prior to commencement of use.

Reason for condition

To ensure the provision of parking for the use is safe and efficient.

ENG 13 - Development Engineering - Subdivision Services

A construction waste management plan must be implemented throughout construction.

A construction waste management plan must be submitted and approved as a Condition Endorsement, prior to commencement of work on the site. The construction waste management plan must include:

- Provisions for commercial waste services for the handling, storage, transport and disposal of post-construction solid waste and recycle bins from the development; and
- Provisions for the handling, transport and disposal of demolition material, including any contaminated waste and recycling opportunities, to satisfy the above requirement.

All work required by this condition must be undertaken in accordance with the approved construction waste management plan.

Advice:

This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.

It is recommended that the developer liaise with the Council's City Resilience Unit regarding reducing, reusing and recycling materials associated with demolition on the site to minimise solid waste being directed to landfill. Further information can also be found on the Council's website.

Reason for condition

To ensure that solid waste management from the site meets the Council's requirements and standards.

ENV 2 - Environmental Planning - Soil Water Management Plan

Sediment and erosion control measures, sufficient to prevent sediment from leaving the site and in accordance with an approved soil and water management plan (SWMP), must be installed prior to the commencement of work and maintained until such time as all disturbed areas have been stabilised and/or restored or sealed to the Council's satisfaction.

A SWMP for each relevant stage must be submitted and approved as a Condition Endorsement prior to the issue of any approval under the *Building Act 2016* or the commencement of work, whichever occurs first. The SWMP must be prepared in accordance with the *Erosion And Sediment Control, The Fundamentals for Development in Tasmania* and associated guideline documents (TEER &DEP, 2023), available from the Derwent Estuary Program's website. The SWMP must detail temporary site drainage. If the site or controls change, an updated SWMP must be submitted.

All work required by this condition must be undertaken in accordance with the approved SWMP.

Advice:

This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.

SW 7 - Stormwater – Design

Prior to occupancy or the commencement of the use (whichever occurs first), any new stormwater connection must be constructed, and existing redundant connection(s) be abandoned and sealed at the owner's expense.

Prior to the issuing of any approval under the *Building Act 2016* or commencement of works (whichever occurs first), detailed engineering drawings must be submitted and approved. The detailed engineering drawings must include:

1. The location of any proposed connection(s) and all existing connection(s);
2. The size and design of the connection such that it is appropriate to safely service the development;
3. Clearances from any nearby obstacles (e.g. services, crossovers, trees, poles, walls);
4. Long-sections of any proposed connection(s) clearly showing clearances from any nearby services, cover, size, material and delineation of public and private infrastructure;
5. Connections which are free-flowing gravity driven; and
6. Be in general accordance with Council's departures from the LGAT Tasmanian Standard Drawings, available from our website

All work required by this condition must be undertaken in accordance with the approved detailed drawings. The approved stormwater connection documents must be included in your plumbing application document set and listed in accompanying forms.

Advice:

Upgraded or new connections can be approved either via the CEP process, plumbing permit application or via a Request to install a stormwater service connection form. The approved stormwater connection documents must be included in your plumbing permit application document set and listed in accompanying forms.

A single connection for a property is required under the Urban Drainage Act 2013.

SW 9 - Stormwater – Design

Prior to occupancy or the commencement of the approved use (whichever occurs first), detention for stormwater discharges from the development must be installed such that there is no increase in flows from the developed site up to a 5% AEP event in general accordance with the planning permit documents.

The approved stormwater management design must be submitted prior to the issue of any approval under the *Building Act 2016* or the commencement of work on the site (whichever occurs first).

All work required by this condition must be undertaken and maintained in accordance with the approved stormwater management report and design.

Any departure from the documentation and any works which are not detailed in the documentation must be submitted and approved via a condition endorsement application.

Advice:

The applicant is advised to submit the approved design and report (with included maintenance plan and tank sections) as a part of their plumbing permit application.

SURV 17 - Survey - Proposed Changes to Existing Right of Carriageway Easement on Title

It is noted that the proposed development encroaches over an existing burdening Right of Carriageway easement currently listed on title. This easement must be adjusted to be clear of the proposed development, to the satisfaction of the parties to which it currently benefits, prior to the issue of any building permit.

Reason for condition

To ensure compliance with statutory provisions

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, bylaws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's website for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

BUILDING PERMIT

You may need building approval in accordance with the *Building Act 2016*.
Click here for more information.

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

PLUMBING PERMIT

You may need plumbing approval in accordance with the *Building Act 2016*, *Building Regulations 2016* and the National Construction Code. Click here for more information.

SPECIAL CONNECTION PERMIT

You may need a Special Connection Permit (Trade Waste) in accordance with the *Plumbing Regulations 2014* and the Tasmanian Plumbing Code. Click here for more information.

ACCOUSTIC FENCE

It is recommended that a new boundary fence between 43A Pirie Street and the adjoining property at 45 Pirie Street be installed, particularly adjacent to the approved parking area, which would reduce amenity impacts to the adjoining dwelling from the use of the spaces by residents vehicles.

STORMWATER

Please note that in addition to a building and/or plumbing permit, development must be in accordance with the Hobart City Council's Infrastructure By law. [Click here for more information.](#)

NEW SERVICE CONNECTION

If a new stormwater service connection is required for this development, please contact the Hobart City Council's Stormwater & Waterways Group to initiate the application process for your new stormwater connection. The connection design can be approved via a condition endorsement application, a plumbing permit application, or via a Request to install a stormwater service connection form.

STORMWATER / ROADS / ACCESS

Services to be designed and constructed in accordance with the (IPWEA) LGAT – standard drawings, with any of Council's relevant departures from them, available from our website. [Click here for more information.](#)

WORKS INVOLVING, OR IN PROXIMITY OF EXISTING DRAINS

The application proposes works on existing drains servicing the neighbouring property 43 Pirie Street.

Section 73 of the *Building Act 2016* requires that a person must not perform any building work over an existing drain or within one metre from the edge of an existing drain measured horizontally, unless the owner of the building obtains written consent from the general manager of the council for the municipal area where the work is performed.

WORKS INVOLVING, OR IN PROXIMITY OF SERVICE EASEMENTS

For any building work over or within any existing or proposed services easement, the consent of the beneficiaries of the easement will be required in accordance with section 74 of the *Building Act 2016* and/or any plumbing works under section 42 of the *Building Regulations 2016*.

A person must not perform any building work over or within a service easement unless the person obtains written consent to do so from the person on whose behalf the service easement was created.

BUILDING OVER AN EASEMENT

In order to build over the service easement, you will require the written consent of the person on whose behalf the easement was created, in accordance with section 74 of the *Building Act 2016*.

STRUCTURES CLOSE TO COUNCIL'S STORMWATER MAIN

The design of structures (including footings) must provide protection for the Council's infrastructure. For information regarding appropriate designs please contact the Council's Infrastructure and Assets Network. You may need the General Manager's consent under section 13 of the *Urban Drainage Act 2013* and consent under section 73 or 74 of the *Building Act 2016*.

REDUNDANT CROSSOVERS

Redundant crossovers are required to be reinstated under the Hobart City Council's Infrastructure By law. [Click here for more information.](#)

ACCESS

Designed in accordance with LGAT- IPWEA – Tasmanian standard drawings. [Click here for more information.](#)

CROSS OVER CONSTRUCTION

The construction of the crossover can be undertaken subject to Council approval of the design. [Click here for more information.](#)

STREET LIGHTING

The relocation of a light pole must be in accordance with TasNetworks and Hobart City Council requirements. [Click here for more information.](#)

STORMWATER / ROADS / ACCESS

Services to be designed and constructed in accordance with the (IPWEA) LGAT – standard drawings. [Click here for more information.](#)

RIGHT OF WAY

The private right of way must not be reduced, restricted or impeded in any way, and all beneficiaries must have complete and unrestricted access at all times.

You should inform yourself as to your rights and responsibilities in respect to the private right of way particularly reducing, restricting or impeding the right during and after construction.

PRIVATE COVENANTS

Please be advised that this property is subject to covenants contained within the schedule of easements.

The approved development may require consent and/or a modification to the covenant to ensure it is undertaken lawfully. You must not act on this planning permit until you have obtained any necessary consent or modification to the covenant which is required for the approved development.

If you proceed with the development inconsistent with the terms of the covenant, the parties with the benefit of the covenant may be entitled to make an application in the Courts to restrain a breach. The grant of this planning permit does not constitute a waiver, modification or release of the terms of the covenant nor approval under the terms of the covenant to undertake the proposed development.

WORK PLACE HEALTH AND SAFETY

Appropriate occupational health and safety measures must be employed during the works to minimise direct human exposure to potentially-contaminated soil, water, dust and vapours. [Click here for more information.](#)

PROTECTING THE ENVIRONMENT

In accordance with the *Environmental Management and Pollution Control Act 1994*, local government has an obligation to "use its best endeavours to prevent or control acts or omissions which cause or are capable of causing pollution." [Click here for more information.](#)

NOISE REGULATIONS

Click here for information with respect to noise nuisances in residential areas.

WASTE DISPOSAL

It is recommended that the developer liaise with the Council's City Resilience Group regarding reducing, reusing and recycling materials associated with demolition on the site to minimise solid waste being directed to landfill.

Further information regarding waste disposal can also be found on the Council's website.

Attachment A: Committee Report - Planning Authority Committee Agenda Documents - PLN-HOB-2025-0170 - 43 AND 43A PIRIE STREET NEW TOWN TAS 7008 ↓



Attachment B: DA-25-6762 Attachment B - Planning Authority Committee Agenda Documents - PLN-HOB-2025-0170 - 43 AND 43A PIRIE STREET NEW TOWN TAS 7008 ↓ 



SECTION 57 DELEGATED REPORT DISCRETIONARY PLANNING PERMIT

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

Type of Report:	Committee <i>The development has been assessed under the Hobart Interim Planning Scheme 2015.</i>
Delegated:	20 August 2025
Expiry Date:	20 August 2025
Application No:	PLN-HOB-2025-0170
Address:	43A Pirie Street, New Town, Tas 7008
Proposal:	Partial Demolition, Alterations, Extension, and Change of Use to Boarding House (21 Units)
Applicant:	Ms Rachelle Rocha, 43A Pirie Street, New Town, TAS, 7008.
Advertisement:	The application was advertised between 24 July 2025 and 7 August 2025.
Representations:	A total of two (2) representations were received during the statutory advertising period.
Zone:	Inner Residential Zone Development Standards
Performance criteria:	Inner Residential Zone Development Standards – Setbacks and Building Envelope and Frontage Fences Historic Heritage Code – Buildings and Works other than Demolition
Delegation:	The final decision is delegated to the Planning Committee as the proposal has been called in by an elected member.
Recommendations:	Approval, subject to conditions.
Attachments:	Attachment A: Conditions

PLN-HOB-2025-0170 43A Pirie Street, New Town, Tas 7008 Delegated Report

REPORT

1. Proposal

1.1. Planning approval is sought for the Partial Demolition, Alterations, Extension, and Change of Use to Boarding House (21 Units).

1.2. More specifically, the proposal includes:

- Partial demolition to existing building including minor demolition to existing pond and other landscape features;
- Addition of a second storey to the existing building and alterations to provide twenty-one (21) self-contained boarding house units;
- Each unit ranges between 28sqm and 47sqm and is in a studio format with open-plan bedroom, kitchen, lounge, plus a private ensuite and a private courtyard to nine of the ground floor units;
- The ground floor includes eleven (11) units and is further altered to provide a lift, internal stairs, cleaners cupboard and store, deliveries locker and a new communal courtyard area with landscaping, retaining structures, stairs and outdoor seating;
- Then first floor is to include the remaining ten (10) units, internal stairs, lift and a communal laundry;
- External alterations will further include the provision of eight (8) car parking spaces to the rear of the site, driveway and kerb -re-alignment, landscaping to including fence and pedestrian entry gate, six (6) bicycle parking spaces and bin storage;
- Construction materials are mixed cladding products including timber-look aluminium feature cladding, rendered brick and colorbond roofing;
- The maximum building height is 7.75 metres from natural ground level and 7.48 metres above the floor level of the existing building (RL: 41.72).
- New fencing to both Roope Street and Pirie Street interfaces measuring up to 2.0 metres from natural ground level.

2. Site Detail

2.1. The subject site is located at the corner of Pirie and Roope Streets. The area is predominantly comprised of single dwellings on moderately sized residential lots,

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generally around 650 sqm in area. To the north east is Flint House, a heritage two storey residence of substantial size which has operated as a low income boarding house since the 1980's. The access for Flint House traverses via a Right of Way through the western (rear) portion of the subject site. Various shops, services and amenities including New Town Plaza and Calvary Hospital are within a kilometre of the site.

2.2.



Figure 1: Aerial of the site, showing existing building and its proximity to Flint House at the adjoining lot.

Source: Council GIS

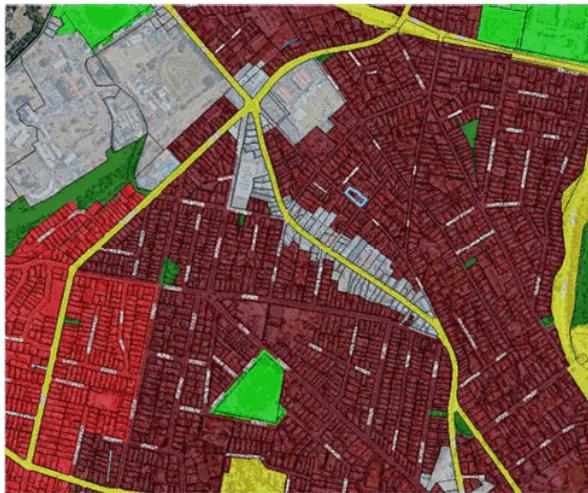


Figure 2: Zone Map under HIPS 2015

Source: Council GIS

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Figure 3: Heritage Map under HIPS 2015. The above image indicates that the subject site is an individually listed Heritage Place, however Council's Cultural Heritage Unit have confirmed that this is in error and GIS should show that this listing applies only to 43 Pirie Street (Flint House) rather than 43A Pirie Street. With the exception of some minor stormwater works, there are buildings and works proposed to 43 Pirie Street.

Source: Council GIS



Figure 4: The existing building at 43A Pirie Street as seen from Pirie Street, looking north-east, with Flint House seen in the background.

Source: Officer photo, taken 7 August 2025.

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*Figure 5: The site as seen from Roope Street, looking west.
Source: Officer photo, taken 7 August 2025.*



*Figure 6: The site and rear of the existing building as seen from the vehicle access
with Pirie Street.
Source: Officer photo, taken 7 August 2025.*

3. Background

- 3.1. Planning Permit PLN-21-200 was granted 9 August 2021 and allowed *Demolition, Six Multiple Dwellings, Front Fencing, and Associated Works.*

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- 3.2. Works in relation to the approval above did not commence and the permit has expired.
- 3.3. The site was originally part of Flint House and from 1975, the site was used as Mothercraft Home, including Matrons Residence with student accommodation and another as well as nursery and staff facilities. However, by the 1980's began use as a boarding house and was the site was eventually transferred from Government ownership to private freehold in 1994.
- 3.4. Compliance investigations have previously taken place on account of fire safety concerns.

4. Representation

- 4.1. The table below summarises all the concerns raised by representors during the statutory advertising period.

Concerns	Response
The existing boarding house (Flint House) does not meet minimum standards for rental properties.	It is acknowledged that Flint House located at 43 Pirie Street is used as a boarding house and site visits by Council have verified that elements are in disrepair, including several broken windows. Rental Standards and indeed, the disrepair of adjoining properties cannot be considered under this application. This concern is not a planning consideration under the <i>Hobart Interim Planning Scheme 2015</i> .
Parking and Traffic, the proposal is too large and the proposed parking numbers are too inadequate and their location will further lead to noise disruptions.	The proposal has been supported by a Traffic Impact Assessment and has been further assessed by Council's Development Engineering Unit. The proposed parking numbers meet the acceptable solution under the Parking and Access Code. Concerns regarding vehicular noise and amenity impacts posed by the car park location (abutting an adjoining dwelling) can be addressed via condition that will require a residential accommodation management plan, as well advice that an acoustic fence at the rear (western boundary) of the site be installed, subject to planning controls regarding fence heights.
Lack of on-site management, issues	This aspect of the representation is regarding the use of the boarding house at the adjoining lot and therefore cannot considered under this assessment. However, as

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with police and fire department.	noted above, a residential accommodation management plan is to be requested via conditions to ensure the use does not unreasonably impact amenity.
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5. Assessment

5.1. The *Hobart Interim Planning Scheme 2015* is a performance based planning scheme. To meet an applicable standard, a proposal must demonstrate compliance with either an acceptable solution or a performance criterion. Where a proposal complies with a standard by relying on one or more performance criteria, the Council may approve or refuse the proposal on that basis. The ability to approve or refuse the proposal relates only to the performance criteria.

5.2. This site is located within the Inner Residential Zone Development Standards of the *Hobart Interim Planning Scheme 2015*.

5.3. The table below summarises the existing and proposed development in accordance with the Use Table of the zone:

	Existing Development	Proposed Use
Use	Residential	Residential (Boarding House)
Zone status	No Permit Required	Permitted

5.4. The proposal has been assessed against:

- 5.4.1. Inner Residential Zone Development Standards
- 5.4.2. Parking and Access Code
- 5.4.3. Stormwater Management Code
- 5.4.4. Historic Heritage Code

5.5. The proposal relies on the following criteria to comply with the applicable standards:

- 5.5.1. Inner Residential Zone Development Standards - Setbacks and Building Envelope – 11.4.2 (P3), Frontage Fences – 11.4.7 (P1)

5.6. Each of the performance criteria is assessed below:

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5.7. Inner Residential Zone Development Standards - Setbacks and Building Envelope – 11.4.2 (P3)

5.7.1. The acceptable solution at clause 11.4.2 A3 requires buildings to be contained within the building envelope as depicted in Figure 11.1.

5.7.2. The proposal includes an upper storey addition, constructed above the existing single storey building. Sections of the addition protrude from the building envelope as depicted under Figure 11.1.

5.7.3. As such, the assessment relies upon assessment against performance criterion P3 at clause 11.4.2, which reads:

The siting and scale of a dwelling must:

(a) not cause an unreasonable loss of amenity to adjoining properties, having regard to:

(i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property;

(ii) overshadowing the private open space of a dwelling on an adjoining property;

(iii) overshadowing of an adjoining vacant property; and

(iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property; and

(b) provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area.

5.7.4. The design includes retention of the existing single storey building which is sited within 3.0 metres of the Roope Street frontage and less than 1.5 metres from the side (north-eastern) boundary. Although the proposed upper storey is setback from both boundaries, some small sections protrude from the building envelope.

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The proposed maximum height (7.75 metres) is compatible with the streetscape, particularly on account of the fall of the land and the taller, Flint House Building immediately to the northeast.

At the interface between the proposed upper storey and Flint House, there is a minimum setback of 1.45 metres but the majority of the proposal maintains a 2.29 metres setback, thus providing for a clear separation between buildings that is in line with the existing rhythm and spacing between dwellings elsewhere in the streetscape.

Shadow diagrams submitted in support of the application demonstrate that overshadowing caused by the proposal mostly falls upon Pirie and Roope Streets and does not unreasonably impact adjoining private properties. The proposal is located to the south of its nearest adjoining buildings and will therefore not unreasonably impact the availability of natural light to those residents.

5.7.5. The proposal complies with the performance criteria.

5.8. Inner Residential Zone Development Standards - Frontage Fences – 11.4.7 (P1)

5.8.1. There is no acceptable solution at clause 11.4.7 A1 and the proposed height of the fencing exceeds the exemptions itemised under B5.6.3 which limits fences within 4.5 metres of the frontage to a height of no more than 1.8 metres.

5.8.2. The proposal includes fencing to a height of 2.0 metres at the Roope Street frontage as well as the entirety of the side boundary fronting Pirie Street.

5.8.3. As such, the assessment relies upon assessment against performance criterion P1 at clause 11.4.7, which reads:

A fence (including a free-standing wall) for a dwelling within 4.5m of a frontage must:
(a) provide for security and privacy while allowing for passive surveillance of the road; and

PLN-HOB-2025-0170 43A Pirie Street, New Town, Tas 7008 Delegated Report

(b) be compatible with the height and transparency of fences in the street, having regard to:
(i) the topography of the site; and
(ii) traffic volumes on the adjoining road.

5.8.4. The proposed 2.0 metre timber paling fencing is to replace the existing 2.0 timber paling fence but will include a modified vehicle entry and a new pedestrian entry at Pirie Street. This fencing is also a continuation of the existing 2.0 (and approximately 3.0 metre brick wall) that fronts Roope Street in front of Flint House at 43 Pirie Street. The existing building on site provides limited passive surveillance on account of the existing fence as well as the fall of the land which has recessed the single storey building windows to almost below the road and below the fence line. The proposed upper storey will allow for passive surveillance clear of the new fence line as four upper storey units will contain windows fronting Pirie Street and another unit will have windows fronting Roope Street, ultimately improving the passive surveillance outcome. The common courtyard area which is located at the corner of Pirie and Roope Streets will require privacy and security as well as some noise containment and given the topography of the site, which places this courtyard area below the footpath and street level, a taller fence is considered acceptable.

5.8.5. The proposal complies with the performance criteria.

6. Discussion

- 6.1. As discussed in Section 5 – Assessment of this report, the proposal relies upon performance criteria to satisfy the standards and codes of the relevant planning scheme. The proposal has been assessed against the provisions of section 57 of the *Land Use Planning and Approvals Act 1993* and is considered to perform well.
- 6.2. The representations received during the statutory advertisement period have been considered in Section 4 – Representation and discussed in Section 5 – Assessment of this report.

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- 6.3. The application was referred internally to Council Officers including the Development Engineering, Stormwater and Surveying Units. The proposal was not initially referred to the Cultural Heritage Unit as the submission plans did not include works within 43 Pirie Street. After minor excavation and services were introduced to the proposal on this land, Council's Cultural Heritage Unit confirmed that they would meet the exemptions under the Historic Heritage Code. THC have however included recommendations with respect the protection of the existing established tree to the rear of 43 Pirie Street.

7. Conclusion

- 7.1. The proposed Partial Demolition, Alterations, Extension, and Change of Use to Boarding House (21 Units) at 43A Pirie Street, New Town, Tas 7008 for the reasons outlined in the officer's report is recommended for approval, subject to the conditions contained within in Attachment A.

Dan Burke

Development Appraisal Planner

As a signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

Michael McClenahan

Senior Statutory Planner

As a signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

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ATTACHMENT A: CONDITIONS

GEN – General

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-HOB-2025-0170 - 43 AND 43A PIRIE STREET NEW TOWN TAS 7008 - Final Planning Documents except where modified below.

THC - General

The use and/or development must comply with the requirements of the Tasmanian Heritage Council as detailed in the Notice of Heritage Decision, THC Works Ref: 8682 dated 12 August 2025, as attached to the permit.

TW – General

The use and/or development must comply with the requirements of TasWater as detailed in the form Submission to Planning Authority Notice, Reference No. TASWASPAN-HOB-2025-0118 dated 27 June 2025 as attached to the permit.

PLN 15 - Residential Accommodation Management Plan

Prior to the commencement of the approved use, a management plan for the operation of the Boarding House must be submitted and approved as a condition endorsement, to the satisfaction of the Council's Director Strategic and Regulatory Network. The management plan must include measures to limit, manage and mitigate unreasonable impacts upon the amenity of long term residents. These measures must include, but are not limited to, the following requirements:

1. To limit, manage, and mitigate noise generated as a result of the residential accommodation.
2. To limit, manage, and mitigate behaviour issues caused as a result of the residential accommodation.
3. To maintain the security of the building where the residential accommodation would be located, including managing and/or limiting access to shared areas and facilities.
4. To specify the maximum permitted occupancy of the residential accommodation.
5. To specify that guests must utilise the site for the parking of vehicles, that the maximum number of vehicles to be parked on the site (8), and detail where the parking spaces are located and how the spaces are to be accessed. Additionally, residents should be discouraged from bringing more than 8 vehicles and the parking of any additional vehicles in nearby streets should also be discouraged.

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6. To provide details pertaining to the private skip bin collection, i.e. collection point, collection times etc.
7. To provide a name and contact phone number of a person who will respond to any complaints regarding behaviour of residents.

Once approved, the management plan must be implemented prior to the commencement of the approved use and must be maintained for as long as the residential accommodation is in operation. The management plan must be provided to adjacent property owners and occupiers within 14 days of being approved. If the property is sold, the updated management plan (in accordance with 7, above) must be provided to adjacent property owners and occupiers within 10 business days of settlement.

ENG 1 - Development Engineering - Protection of Council Assets

Any damage to council infrastructure resulting from the implementation of this permit, must, at the discretion of the Council:

1. Be met by the owner by way of reimbursement (cost of repair and reinstatement to be paid by the owner to the Council); or
2. Be repaired and reinstated by the owner to the satisfaction of the Council.

Any damage must be immediately reported to Council.

A photographic record of the Council's infrastructure adjacent to the subject site must be provided to the Council prior to any commencement of works.

A photographic record of the Council's infrastructure (e.g. existing property service connection points, roads, buildings, stormwater, footpaths, driveway crossovers and nature strips, including if any, pre-existing damage) will be relied upon to establish the extent of damage caused to the Council's infrastructure during construction. In the event that the owner/developer fails to provide to the Council a photographic record of the Council's infrastructure, then any damage to the Council's infrastructure found on completion of works will be deemed to be the responsibility of the owner.

ENG 3A - Development Engineering - Parking and Access Design

The access driveway and parking area must be constructed in accordance with the following documentation which forms part of this permit: [Aldanmark - Reference - 25E99-16 (C102, C105, & C201) Rev 3 Dated 15/7/2025] (received by the Council on 15 July 2025).

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Any departure from that documentation and any works which are not detailed in the documentation must be either:

- (a) approved by the Director City Life, via a condition endorsement application; or
- (b) designed and constructed in accordance with Australian Standard AS/NZ 2890.1:2004.

The works required by this condition must be completed prior to first occupation.

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

ENG 3C - Development Engineering - Parking and Access Design

Prior to the first occupation, a suitably qualified engineer must certify that the access driveway and parking area has been constructed in accordance with design drawings approved by Condition ENG 3a.

Advice:

We strongly encourage you to speak to your engineer before works begin so that you can discuss the number and nature of the inspections they will need to do during the works in order to provide this certification. It may be necessary for a surveyor to also be engaged to ensure that the driveway will be constructed as approved.

The reason this condition has been imposed as part of your planning permit is that the driveway is outside the Australian Standard gradients or design parameters. If the driveway is not constructed as it has been approved then this may mean that the driveway will either be unsafe or will not function properly.

An example certificate is available on our [website](#).

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

ENG 4 - Development Engineering - Parking and Access Seal

The access driveway and parking module (car parking spaces, aisles and manoeuvring area) approved by this permit must be constructed to a sealed standard (spray seal, asphalt, concrete, pavers or equivalent

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Council approved) and surface drained to the Council's stormwater infrastructure prior to the commencement of use.

Reason for condition

To ensure the safety of users of the access driveway and parking module, and that it does not detract from the amenity of users, adjoining occupiers or the environment by preventing dust, mud and sediment transport.

ENG 5 - Development Engineering - Parking and Access Design

All parking spaces must be delineated by means of white or yellow lines 80mm to 100mm wide, or white or yellow pavement markers in accordance with Australian Standards AS/NZS 2890.1 2004, prior to commencement of use.

Reason for condition

To ensure the provision of parking for the use is safe and efficient.

ENG 13 - Development Engineering - Subdivision Services

A construction waste management plan must be implemented throughout construction.

A construction waste management plan must be submitted and approved as a Condition Endorsement, prior to commencement of work on the site. The construction waste management plan must include:

- Provisions for commercial waste services for the handling, storage, transport and disposal of post-construction solid waste and recycle bins from the development; and
- Provisions for the handling, transport and disposal of demolition material, including any contaminated waste and recycling opportunities, to satisfy the above requirement.

All work required by this condition must be undertaken in accordance with the approved construction waste management plan.

Advice:

This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.

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It is recommended that the developer liaise with the Council's City Resilience Unit regarding reducing, reusing and recycling materials associated with demolition on the site to minimise solid waste being directed to landfill. Further information can also be found on the Council's [website](#).

Reason for condition

To ensure that solid waste management from the site meets the Council's requirements and standards.

ENV 2 - Environmental Planning - Soil Water Management Plan

Sediment and erosion control measures, sufficient to prevent sediment from leaving the site and in accordance with an approved soil and water management plan (SWMP), must be installed prior to the commencement of work and maintained until such time as all disturbed areas have been stabilised and/or restored or sealed to the Council's satisfaction.

A SWMP for each relevant stage must be submitted and approved as a Condition Endorsement prior to the issue of any approval under the *Building Act 2016* or the commencement of work, whichever occurs first. The SWMP must be prepared in accordance with the *Erosion And Sediment Control, The Fundamentals for Development in Tasmania* and associated guideline documents (TEER &DEP, 2023), available from the Derwent Estuary Program's [website](#). The SWMP must detail temporary site drainage. If the site or controls change, an updated SWMP must be submitted.

All work required by this condition must be undertaken in accordance with the approved SWMP.

Advice:

This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.

SW 7 - Stormwater – Design

Prior to occupancy or the commencement of the use (whichever occurs first), any new stormwater connection must be constructed, and existing redundant connection(s) be abandoned and sealed at the owner's expense.

Prior to the issuing of any approval under the Building Act 2016 or commencement of works (whichever occurs first), detailed engineering drawings must be submitted and approved. The detailed engineering drawings must include:

1. The location of any proposed connection(s) and all existing connection(s);

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2. The size and design of the connection such that it is appropriate to safely service the development;
3. Clearances from any nearby obstacles (e.g. services, crossovers, trees, poles, walls);
4. Long-sections of any proposed connection(s) clearly showing clearances from any nearby services, cover, size, material and delineation of public and private infrastructure;
5. Connections which are free-flowing gravity driven; and
6. Be in general accordance with Council's departures from the LGAT Tasmanian Standard Drawings, available from [our website](#)

All work required by this condition must be undertaken in accordance with the approved detailed drawings. The approved stormwater connection documents must be included in your plumbing application document set and listed in accompanying forms.

Advice: Upgraded or new connections can be approved either via the CEP process, plumbing permit application or via a [Request to install a stormwater service connection](#) form. The approved stormwater connection documents must be included in your plumbing permit application document set and listed in accompanying forms.

A single connection for a property is required under the Urban Drainage Act 2013.

SW 9 - Stormwater – Design

Prior to occupancy or the commencement of the approved use (whichever occurs first), detention for stormwater discharges from the development must be installed such that there is no increase in flows from the developed site up to a 5% AEP event in general accordance with the planning permit documents.

The approved stormwater management design must be submitted prior to the issue of any approval under the *Building Act 2016* or the commencement of work on the site (whichever occurs first).

All work required by this condition must be undertaken and maintained in accordance with the approved stormwater management report and design.

Any departure from the documentation and any works which are not detailed in the documentation must be submitted and approved via a condition endorsement application.

Advice:

The applicant is advised to submit the approved design and report (with included maintenance plan and tank sections) as a part of their plumbing permit application.

SURV 17 - Survey - Proposed Changes to Existing Right of Carriageway Easement on Title

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It is noted that the proposed development encroaches over an existing burdening Right of Carriageway easement currently listed on title. This easement must be adjusted to be clear of the proposed development, to the satisfaction of the parties to which it currently benefits, prior to the issue of any building permit.

Reason for Condition

To ensure compliance with statutory provisions

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, bylaws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's website for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

BUILDING PERMIT

You may need building approval in accordance with the *Building Act 2016*. Click [here](#) for more information.

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

PLUMBING PERMIT

You may need plumbing approval in accordance with the *Building Act 2016*, *Building Regulations 2016* and the National Construction Code. Click [here](#) for more information.

SPECIAL CONNECTION PERMIT

You may need a Special Connection Permit (Trade Waste) in accordance with the *Plumbing Regulations 2014* and the Tasmanian Plumbing Code. Click [here](#) for more information.

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ACCOUSTIC FENCE

It is recommended that a new boundary fence between 43A Pirie Street and the adjoining property at 45 Pirie Street be installed, particularly adjacent to the approved parking area, which would reduce amenity impacts to the adjoining dwelling from the use of the spaces by residents vehicles.

STORMWATER

Please note that in addition to a building and/or plumbing permit, development must be in accordance with the Hobart City Council's Infrastructure By law. Click [here](#) for more information.

NEW SERVICE CONNECTION

If a new stormwater service connection is required for this development, please contact the Hobart City Council's Stormwater & Waterways Group to initiate the application process for your new stormwater connection. The connection design can be approved via a condition endorsement application, a plumbing permit application, or via a [Request to install a stormwater service connection](#) form.

STORMWATER / ROADS / ACCESS

Services to be designed and constructed in accordance with the (IPWEA) LGAT – standard drawings, with any of Council's relevant departures from them, available from our website. Click [here](#) for more information.

WORKS INVOLVING, OR IN PROXIMITY OF EXISTING DRAINS

The application proposes works on existing drains servicing the neighbouring property 43 Pirie Street. Section 73 of the Building Act 2016 requires that a person must not perform any building work over an existing drain or within one metre from the edge of an existing drain measured horizontally, unless the owner of the building obtains written consent from the general manager of the council for the municipal area where the work is performed.

WORKS INVOLVING, OR IN PROXIMITY OF SERVICE EASEMENTS

For any building work over or within any existing or proposed services easement, the consent of the beneficiaries of the easement will be required in accordance with section 74 of the Building Act 2016 and/or any plumbing works under section 42 of the Building Regulations 2016.

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A person must not perform any building work over or within a service easement unless the person obtains written consent to do so from the person on whose behalf the service easement was created.

BUILDING OVER AN EASEMENT

In order to build over the service easement, you will require the written consent of the person on whose behalf the easement was created, in accordance with section 74 of the *Building Act 2016*.

STRUCTURES CLOSE TO COUNCIL'S STORMWATER MAIN

The design of structures (including footings) must provide protection for the Council's infrastructure. For information regarding appropriate designs please contact the Council's Infrastructure and Assets Network. You may need the General Manager's consent under section 13 of the *Urban Drainage Act 2013* and consent under section 73 or 74 of the *Building Act 2016*.

REDUNDANT CROSSOVERS

Redundant crossovers are required to be reinstated under the Hobart City Council's Infrastructure By law. Click [here](#) for more information.

ACCESS

Designed in accordance with LGAT- IPWEA – Tasmanian standard drawings. Click [here](#) for more information.

CROSS OVER CONSTRUCTION

The construction of the crossover can be undertaken subject to Council approval of the design. Click [here](#) for more information.

STREET LIGHTING

The relocation of a light pole must be in accordance with TasNetworks and Hobart City Council requirements. Click [here](#) for more information.

STORMWATER / ROADS / ACCESS

PLN-HOB-2025-0170 43A Pirie Street, New Town, Tas 7008 Delegated Report

Services to be designed and constructed in accordance with the (IPWEA) LGAT – standard drawings. Click [here](#) for more information.

RIGHT OF WAY

The private right of way must not be reduced, restricted or impeded in any way, and all beneficiaries must have complete and unrestricted access at all times.

You should inform yourself as to your rights and responsibilities in respect to the private right of way particularly reducing, restricting or impeding the right during and after construction.

PRIVATE COVENANTS

Please be advised that this property is subject to covenants contained within the schedule of easements. The approved development may require consent and/or a modification to the covenant to ensure it is undertaken lawfully. You must not act on this planning permit until you have obtained any necessary consent or modification to the covenant which is required for the approved development.

If you proceed with the development inconsistent with the terms of the covenant, the parties with the benefit of the covenant may be entitled to make an application in the Courts to restrain a breach. The grant of this planning permit does not constitute a waiver, modification or release of the terms of the covenant nor approval under the terms of the covenant to undertake the proposed development.

WORK PLACE HEALTH AND SAFETY

Appropriate occupational health and safety measures must be employed during the works to minimise direct human exposure to potentially-contaminated soil, water, dust and vapours. Click [here](#) for more information.

PROTECTING THE ENVIRONMENT

In accordance with the *Environmental Management and Pollution Control Act 1994*, local government has an obligation to "use its best endeavours to prevent or control acts or omissions which cause or are capable of causing pollution." Click [here](#) for more information.

NOISE REGULATIONS

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Click [here](#) for information with respect to noise nuisances in residential areas.

WASTE DISPOSAL

It is recommended that the developer liaise with the Council's City Resilience Group regarding reducing, reusing and recycling materials associated with demolition on the site to minimise solid waste being directed to landfill.

Further information regarding waste disposal can also be found on the Council's [website](#).



PlanBuild
TASMANIA

PLANNING APPLICATION

Status:

Reference

PLN-HOB-2025-0170

Address

43A PIRIE ST NEW TOWN TAS 7008

Titles

107319/1

Before you start

Before you start your application, you will need to know if you require planning approval or not.

If you are unsure if you require a permit, use the [PlanBuild Tasmania Enquiry Service](#) to lodge a request for advice from the relevant Council.

Once your application has been submitted the Council will review your application. If payment has not been made, you will be sent a request for the payment of application fees via PlanBuild Tasmania.

Once the fees have been paid and the Council is satisfied with the information provided, the application will be assessed and you will be notified of the outcome.

If further action is required to assess your application you will receive an email notification containing a task to complete.

Pre-Application Advice

Have you spoken with anyone at Council about this application?

Yes - enter details below

No - continue to the next section

If yes, provide the name of the person you contacted

Daniel Bourke

Applicant

PERSONAL INFORMATION REMOVED

Owners

PERSONAL INFORMATION REMOVED

Certificate(s) of Title

Selected Titles

107319/1

Total Area: 1374m²

Owner Notification

Are you the sole owner of the land?

Yes - continue to the next section

No - answer question below

If no, have you notified all owners, joint or part owners of your intention to submit this application?

Yes - enter owner details below

No - you must notify all owners before proceeding with this application

List all owners, joint or part owners as recorded on the Title documents notified:

Enter the date that the last owner, joint or part owner was notified

Declaration

I declare that all land owners, joint or part owners have been notified of this planning application.

Crown Land Consent

Is Crown Land involved in the proposed use or development?

- Yes - complete question below
 No - continue to the next section - see further information below
 Unsure

If yes, has written Crown Land consent been obtained?

- Yes - upload written consent
 No - application will not be progressed until consent has been provided

General Manager Consent

Is Council-owned or administered land involved in the proposed use or development?

- Yes - complete question below
 No - continue to the next section
 Unsure

If yes, has written consent been obtained from the Council General Manager?

- Yes - upload written consent
 No - application will not be progressed until consent has been provided

Proposed Use or Development

What is the reason for your planning application?

- I want to change how the property is used
 I want to use the property for visitor accommodation
 I want to subdivide
 I want to undertake a new development or alteration
 I want to do a minor boundary adjustment
 I want to put up a sign(s)
 I want to demolish
 I want to do works only
 Other

If your application is to subdivide, please enter the number of proposed lots.

0

If your application is for signage, please enter the number of signs.

2

Is the property a Tasmanian Heritage Listed Property?

- Yes
 No

Is the application for an EPA Activity under the Environmental Management and Pollution Control Act 1994?

- Yes
 No
 Unsure

Is the proposed use or development permitted or discretionary?

- Permitted
 Discretionary
 Unsure if permitted or discretionary

Provide a full description of the proposed use or development

Please Refer Cover Letter

Will the proposed use or development involve a road reserve?

- Yes - complete the section below
- No - continue to the next section
- Unsure

If yes, enter the address(es) or locations below:

If yes, how will the road reserve be affected?

Value of Works

What is the estimated value of the works?

1800000

Supporting Documents

Version	Document Date	Document Type	Description	Prepared By
1	9 Apr 2025	Property Title Document	FolioText-107319-1.pdf	Ms Rachelle Rocha
1	9 Apr 2025	Property Title Document	FolioPlan-107319-1 (1).pdf	Ms Rachelle Rocha
1	9 Apr 2025	Cover Letter	Cover Letter	Ms Rachelle Rocha
1	8 Apr 2025	Plans	Architectural Plans	Graham Hills - G. Hills & Partners Architects

Next steps

When you have completed all the necessary fields and attached all required documents to support your application, click on the green 'Save & Submit' button at the top right of this form.

Once submitted, the Council will review your application. A request for the payment of application fees will be sent to you via PlanBuild Tasmania.

Once the fees have been paid and the Council is satisfied with the information provided, the application will be assessed and you will be notified of the outcome.

If further action is required to assess your application you will receive an email notification from PlanBuild which will tell you what you need to provide to continue the application.

Form published: 12/03/2025 09:30

DECLARATION

Pursuant to Section 52(1)(a) of the Land Use Planning and Approvals Act 1993 (TAS)

On this day, 20 May 2025, I declare that the Applicant, Marly Trainer Pty Ltd, has notified the adjoining owner, Sian Kiaw Kong of 34 Nirimba Street, Slacks Creek QLD 4127, of the intention to make an application with Hobart City Council for a permit that will require works to be carried out on his adjoining land located at 43 Pirie Street, New Town Tasmania. A copy of the relevant Folio Plan and Folio Text are *enclosed* with this declaration (Lot 1 on plan 199999).



Rachelle Rocha
Managing Director



Tasmanian Heritage Council
GPO Box 618 Hobart Tasmania 7000
Tel: 1300 850 332
enquiries@heritage.tas.gov.au
www.heritage.tas.gov.au

PLANNING REF: PLN-HOB-2025-0170
THC WORKS REF: 8682
REGISTERED PLACE NO: 2718
APPLICANT: Rachelle Rocha
DATE: 17 July 2025

RECEIPT OF ADDITIONAL INFORMATION

(Historic Cultural Heritage Act 1995)

The Place: 'Flint House', 43 Pirie Street, New Town
Proposed Works: 21 SOUs and change of use at 43a Pirie St, underground services at 43 Pirie St.

Under section 37(4) of the *Historic Cultural Heritage Act 1995*, the Heritage Council gives notice that it is satisfied with the additional information received by our office on 17/07/2025, required by our Notice dated 27/06/2025.

The clock can accordingly re-start on this date (17/07/2025) subject to any other information being required by your planning authority.

Please contact Erin Rockliffe on 0419 589 283 if you require clarification of any matter contained in this letter.

A handwritten signature in black ink that reads "Erin Rockliffe".

Erin Rockliffe
Heritage Advisor – Heritage Tasmania
Under delegation of the Tasmanian Heritage Council



SUBMISSION TO PLANNING AUTHORITY NOTICE - SPAN

Reference
TASWASPAN-HOB-2025-0118

Application Reference
PLN-HOB-2025-0170

Address
43A PIRIE ST NEW TOWN TAS 7008

Titles
107319/1

Applicant

Name	Email	Phone	Address	Involvement
Ms Rachelle Rocha	rrochadevelopment@gmail.com	0404295314	43A Pirie Street, New Town, Tasmania, Australia, 7008	Applicant

Owner

Name	Email Address	Address
Ms Rachelle Rocha	rrochadevelopment@gmail.com	43A Pirie Street, New Town, Tasmania, Australia, 7008

Relevant Property Title/s

Selected Titles
107319/1

Total Area: 1374m²

Council Description of Use and/or Development

Council Proposed Use or Development Description

Partial Demolition, Alterations, Extension, and Change of Use to Boarding House and Visitor Accommodation (21 Units)

Response

Pursuant to the Water and Sewerage Industry Act 2008 (TAS)

Section 56P(1) - TasWater imposes the following conditions on the permit for this application:

Conditions

#	Condition	Origin
1	<p>CONNECTIONS, METERING & BACKFLOW</p> <ul style="list-style-type: none"> A suitably sized water supply with a metered connection and sewerage system and connection to the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost. Prior to commencing construction/use of the development, any water connection utilised for construction/the development must have a backflow prevention device and water meter installed, to the satisfaction of TasWater. 	
2	<p>ASSET CREATION & INFRASTRUCTURE WORKS</p> <ul style="list-style-type: none"> Prior to applying for a Certificate for Certifiable Works, the developer must physically locate all existing infrastructure to provide sufficient information for accurate design and physical works to be undertaken. Plans submitted with the application for Certificate(s) for Certifiable Work (Building and/or Plumbing) must, to the satisfaction of TasWater show, all existing, redundant and/or proposed property services and mains. Prior to undertaking any works related to water and sewerage, physical markers must be in place that clearly identify where water and/or sewer connections are to be made in accordance with any approved plan to TasWater's satisfaction. 	

3	<p>EASEMENTS & ENDORSEMENTS</p> <ul style="list-style-type: none"> • Pipeline easements, to TasWater’s satisfaction, must be created over any existing or proposed TasWater infrastructure and be in accordance with TasWater’s standard pipeline easement conditions. • Prior to the use of the development / issue of a Certificate of Water & Sewerage Compliance (Building and or Plumbing) from TasWater, the applicant must submit a copy of the completed Transfer for the provision of a Pipeline and Services Easement(s), on 43 PIRIE ST (C/T: 199999/1), to cover existing/proposed TasWater infrastructure as required by the above condition. All costs and expenses related to the transfer of easement(s) to TasWater are to be paid by the developer. 	
4	<p>DEVELOPER CHARGES</p> <ul style="list-style-type: none"> • Prior to TasWater issuing a Certificate(s) for Certifiable Work (Building) and/or (Plumbing), the applicant or landowner as the case may be, must pay a developer charge totalling \$5,798.10 to TasWater for water infrastructure for 3.3 additional Equivalent Tenements, indexed by the Consumer Price Index All groups (Hobart) from the date of this Submission to Planning Authority Notice until the date it is paid to TasWater. • Prior to TasWater issuing a Certificate(s) for Certifiable Work (Building) and/or (Plumbing), the applicant or landowner as the case may be, must pay a developer charge totalling \$8,785.00 to TasWater for sewerage infrastructure for 5.0 additional Equivalent Tenements, indexed by the Consumer Price Index All groups (Hobart) from the date of this Submission to Planning Authority Notice until the date it is paid to TasWater. 	
5	<p>Development Assessment Fees The applicant or landowner as the case may be, must pay a development assessment fee of \$775.39 and a Consent to Register a Legal Document fee of \$256.99 to TasWater, as approved by the Economic Regulator and the fees will be indexed, until the date paid to TasWater. The payment is required within 30 days of the issue of an invoice by TasWater.</p>	
6	<p>ADVICE General For information on TasWater development standards, please visit https://www.taswater.com.au/building-and-development/technical-standards For application forms please visit https://www.taswater.com.au/building-and-development/development-application-form</p> <p>Important Notice Regarding Plumbing Plans and Associated Costs The SPAN includes references to documents submitted as part of the application. These plans are acceptable for planning purposes only and are subject to further detailed assessment and review during the next stage of the development proposal. TasWater’s assessment staff will ensure that the design contains sufficient detail to assess compliance with relevant codes and regulations. Additionally, the plans must be clear enough for a TasWater contractor to carry out any water or sewerage-related work. Depending on the nature of the project, your application may require Building and/or Plumbing permits or could be exempt from these requirements. Regardless, TasWater’s assessment process and associated time are recoverable through an assessment fee. Please be aware that your consultant may need to make revisions to their documentation to ensure the details are fit for construction. Any costs associated with updating these plans should be discussed directly with your consultant.</p> <p>Developer Charges For information on Developer Charges please visit the following webpage - https://www.taswater.com.au/building-and-development/developer-charges</p> <p>Service Locations Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.</p> <ul style="list-style-type: none"> • A permit is required to work within TasWater’s easements or in the vicinity of its infrastructure. Further information can be obtained from TasWater. • TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit https://www.taswater.com.au/building-and-development/service-locations for a list of companies. • Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council. <p>Boundary Trap Area The proposed development is within a boundary trap area and the developer will need to provide a boundary trap that prevents noxious gases or persistent odours back venting into the property’s sanitary drain. The boundary trap is to be contained within the property boundaries and the property owner remains responsible for the ownership, operation and maintenance of the boundary trap.</p>	

<p>Water Modelling Advice Modelling indicates there is capacity in the existing network at 43A Pirie St, New Town (pipe A386643 and HydA386312) to supply this proposed development without impacting adversely on the existing infrastructure or customers. Total boundary heads (HGL), not pressures, at the proposed connection point(s) with the reservoir set to 1/3rd full are:</p>			
Location	H.G.L. (m) Peak hour	H.G.L. (m) Peak day + 10 l/s fire flow	Pressure (kPa) Peak day + 10 l/s fire flow
A386312	97	96	530
<p>These are heads within the Taswater network, so they do not account for losses in customer piping and fittings. This result is based on a sound but imperfect knowledge of conditions on the field and those who use this information should allow an appropriate margin of error in their design.</p> <p>Please see below for fire flow assessment as requested: As requested, we have simulated a fire flow test on hydrant A386312 at an assumed elevation of 40.66m AHD, the reservoir (Lower Domain Reservoir) was set to one third full and we picked time (19:00 hours), fire flow residual pressures (not heads) are:</p>			
7	Fire Flow (L/s)	Residual Pressure (m)	
	0.00	57.87	
	10.00	55.59	
	20.00	50.44	
	30.00	42.43	
	40.00	31.57	
	50.00	17.85	
<p>This project is within the HBW07 supply zone which is served by the Lower Domain Reservoir. This reservoir provides 99.5 m of head when it is 1/3 full. The full flow model has not been performed, as the pressure changes are minimal. Based on the results above, the requirements appear to be met, so running the full flow model is not necessary.</p> <p>It should be noted that these are the residual pressures in the water main itself at the proposed connection point and do not include losses through the actual connection or associated pipework. This result is based on a sound but imperfect knowledge of conditions on the field and those who use this information should allow an appropriate margin of error in their design.</p>			

Referral Documents

Version	Document Date	Document Type	Description	Prepared By
1	17 June 2025	Request for Information	RFI Response	Daniel Burke
1	17 June 2025	Request for Information	RFI Response	Daniel Burke
1	17 June 2025	Request for Information	RFI Response	Daniel Burke
1	17 June 2025	Request for Information	RFI Response	Daniel Burke
1	17 June 2025	Request for Information	RFI Response	Daniel Burke
1	17 June 2025	Request for Information	RFI Response	Daniel Burke

Schedule of Drawings/Documents

Schedule of Drawings/Documents

Prepared By	Drawings / Document No.	Revision No.	Date of Issue
Aldanmark Consulting Engineers	"Sewer and Water Plan" / Proj: 25E99-16 - Sheet: C103	0	16/05/2025
G Hills & Partners Architects	"Existing Site Plan" / Proj: 22472 - Sheet: DD01	-	3/06/2025

TasWater Details

Officer Name	Officer Title	Officer Contact Number
Robert Raymond Stapleton	Assessment Officer	0417279866

Submitted on 27/06/2025

PROPOSED BOARDING HOUSE

for: Marly Trainer Pty Ltd
at: 43A Pirie St, NEW TOWN

Project No. **22472**

Date: Jun. 2025

DESIGN DEVELOPMENT DRAWINGS

Drawing Schedule

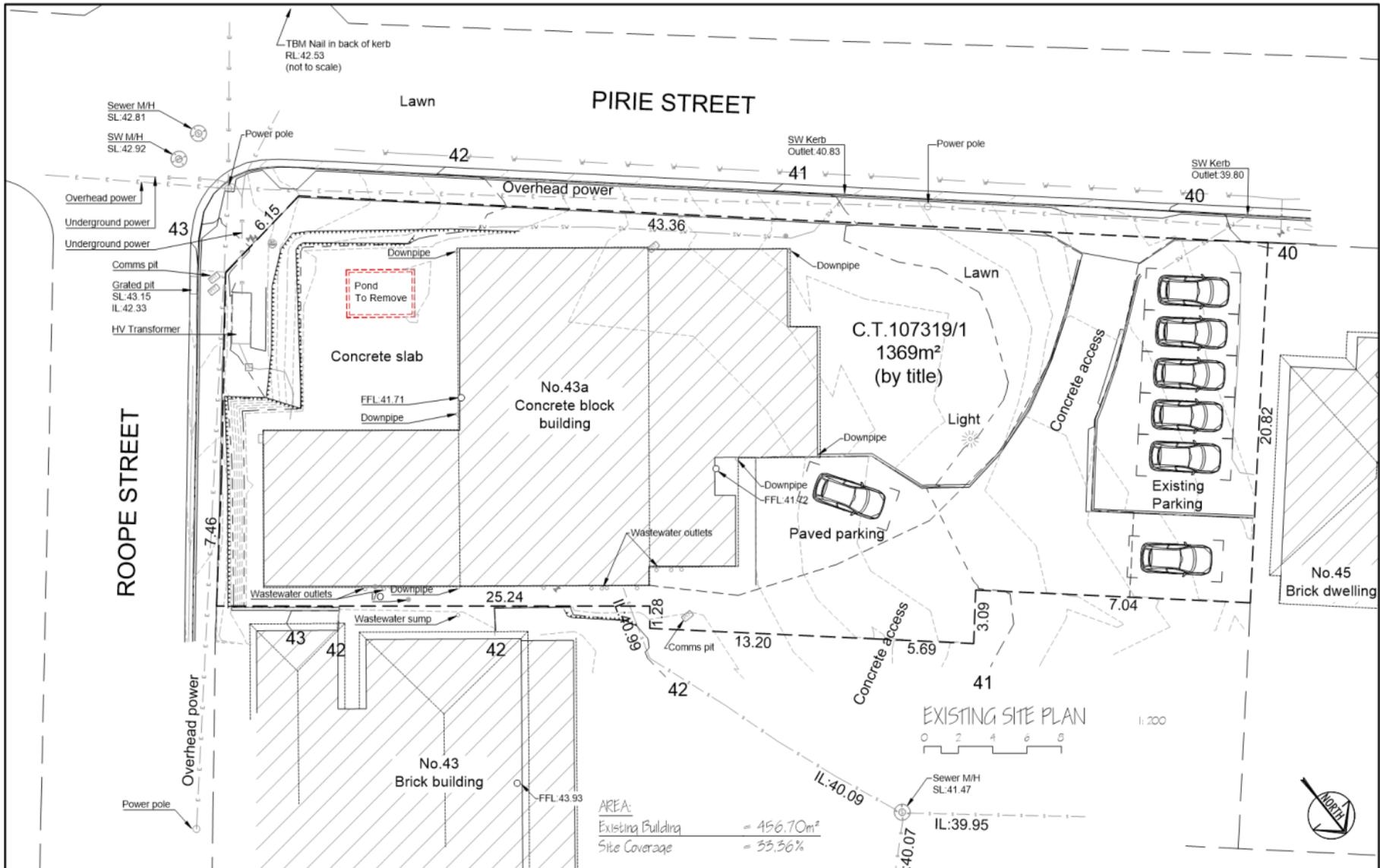
DD01	Existing Site Plan	DD10	Door & Window Schedule
DD02	Proposed Vehicle Manoeuvring Plan	DD11	Site Fence Elevations 1
DD03	Proposed Site Plan	DD12	Site Fence Elevations 2
DD04	Proposed Site Landscaping Plan	DD13	Shadow Diagram June 21st 9am
DD05	Proposed Ground Floor Plan	DD14	Shadow Diagram June 21st 12pm
DD06	Proposed Upper Floor Plan	DD15	Shadow Diagram June 21st 3pm
DD07	Proposed Elevations 1	DD16	Shadow Diagram March 21st 9am
DD08	Proposed Elevations 2	DD17	Shadow Diagram March 21st 12pm
DD09	Proposed Roof Plan	DD18	Shadow Diagram March 21st 3pm

Prepared by:

G.Hills&Partners ARCHITECTS



P.O. Box 910, Kingston, Tas 7051
Ph: (03) 6229 1799 Mob: 0419 883 370
Email: graham.hills@bigpond.com
Tas Building Practitioner No. CC23678



AREA:
 Existing Building = 456.70m²
 Site Coverage = 35.56%

NOTES:
 * Do not scale the drawings.
 * Verify levels / dimensions on site prior to commencement, report any discrepancies / variations to designer.
 * Materials / workmanship to comply with AS codes, BCA & relevant regulations.

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REVISION NOTES		
No.	Revision/Issue	Date

G.Hills&Partners ARCHITECTS

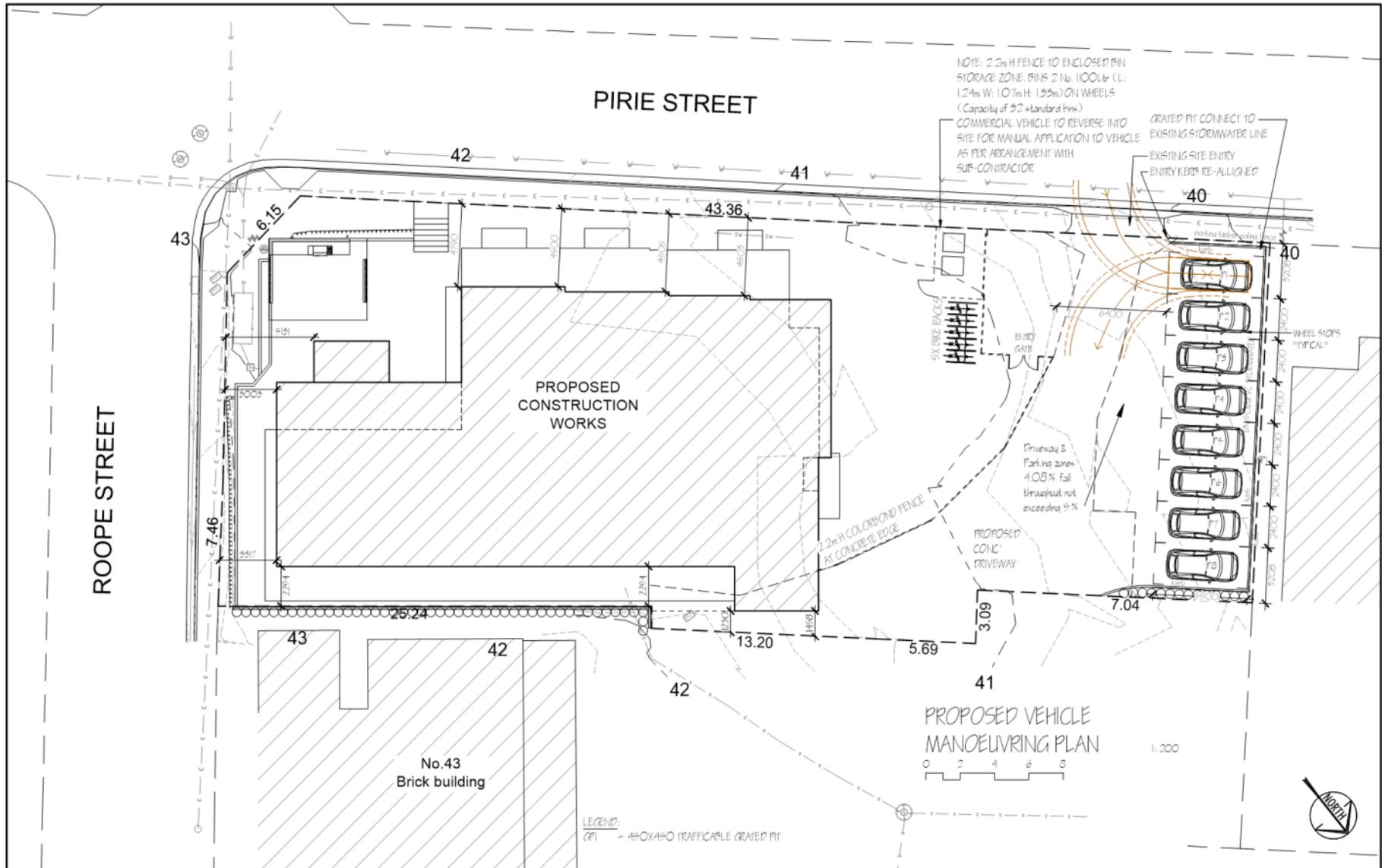
PO Box 910, KINGSTON, TAS 7051
 P 03 6229 1799 E graham.hills@bigpond.com
 Building Designer Accreditation No. CC2367B

Project Name and Address
PROPOSED BOARDING HOUSE
 43A Pirie St, NEW TOWN

Drawing Title
EXISTING SITE PLAN

Client
Marly Trainer Pty Ltd

DRAWING TYPE Design Dev' Drawings	PROJECT No. 22472
DATE 3-Jun-25	SHEET DD01
SCALE 1:200	SIZE A3
CHECKED G. HILLS	DESIGN G. HILLS
DRAWN G. H. S. K.	



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No.	Revision/Issue	Date

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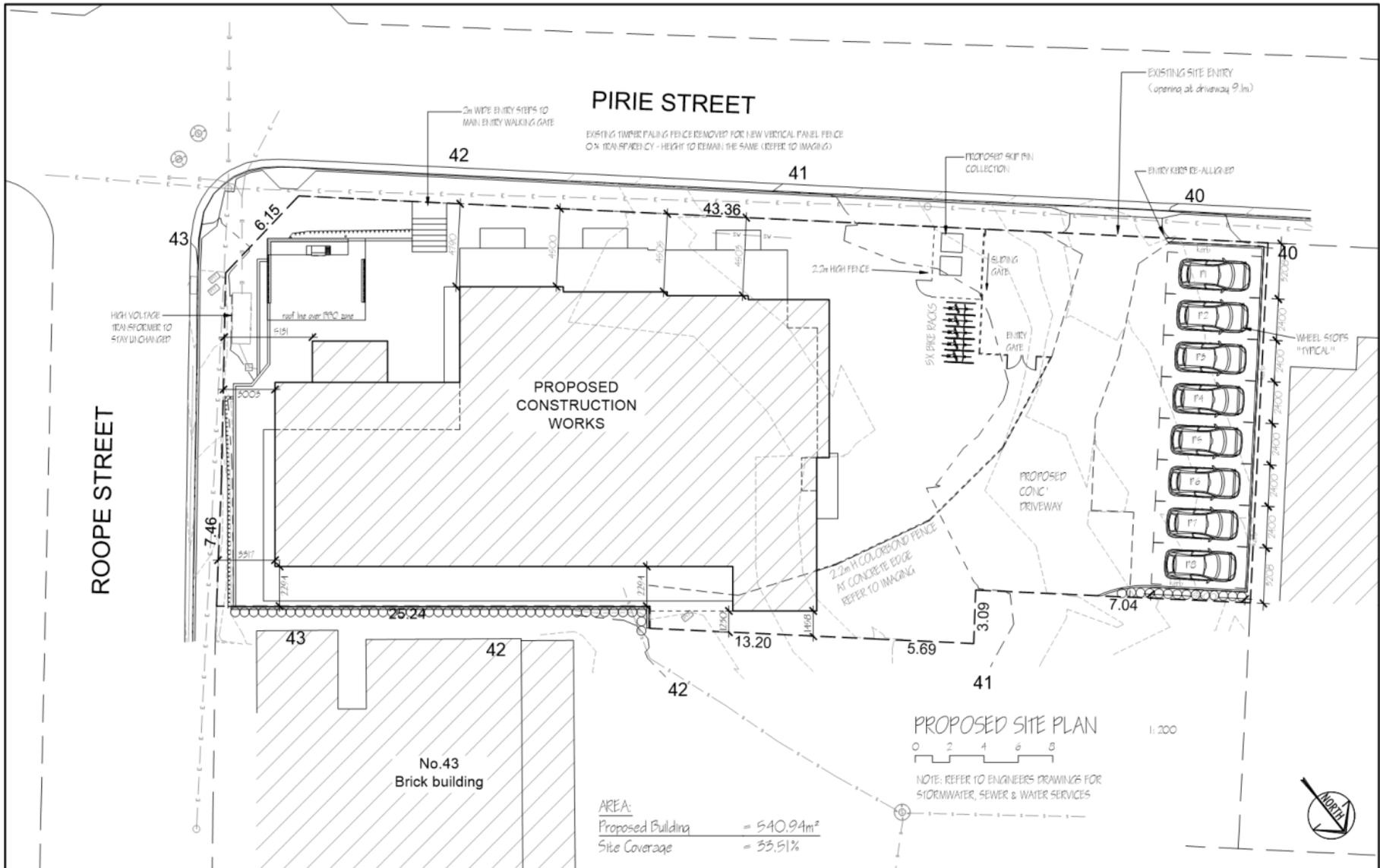
PO Box 910, KINGSTON, TAS 7051
 P 03 6229 1799 E graham.hills@bigpond.com
 Building Designer Accreditation No. CC2367B

Project Name and Address
PROPOSED BOARDING HOUSE
 43A Pirie St, NEW TOWN

Drawing Title
PROPOSED VEHICLE MANOEUVRING PLAN

Client
 Marly Trainer Pty Ltd

DRAWING TYPE Design Dev' Drawings	PROJECT NO. 22472
DATE 3-Jun-25	SHEET DD02
SCALE 1:200	SIZE A3
CHECKED G. HILLS	DESIGN G. HILLS
DRAWN G. H. S. K.	



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REVISION NOTES		
No.	Revision/Issue	Date
B	Revised Notations	May 25

G.Hills&Partners ARCHITECTS

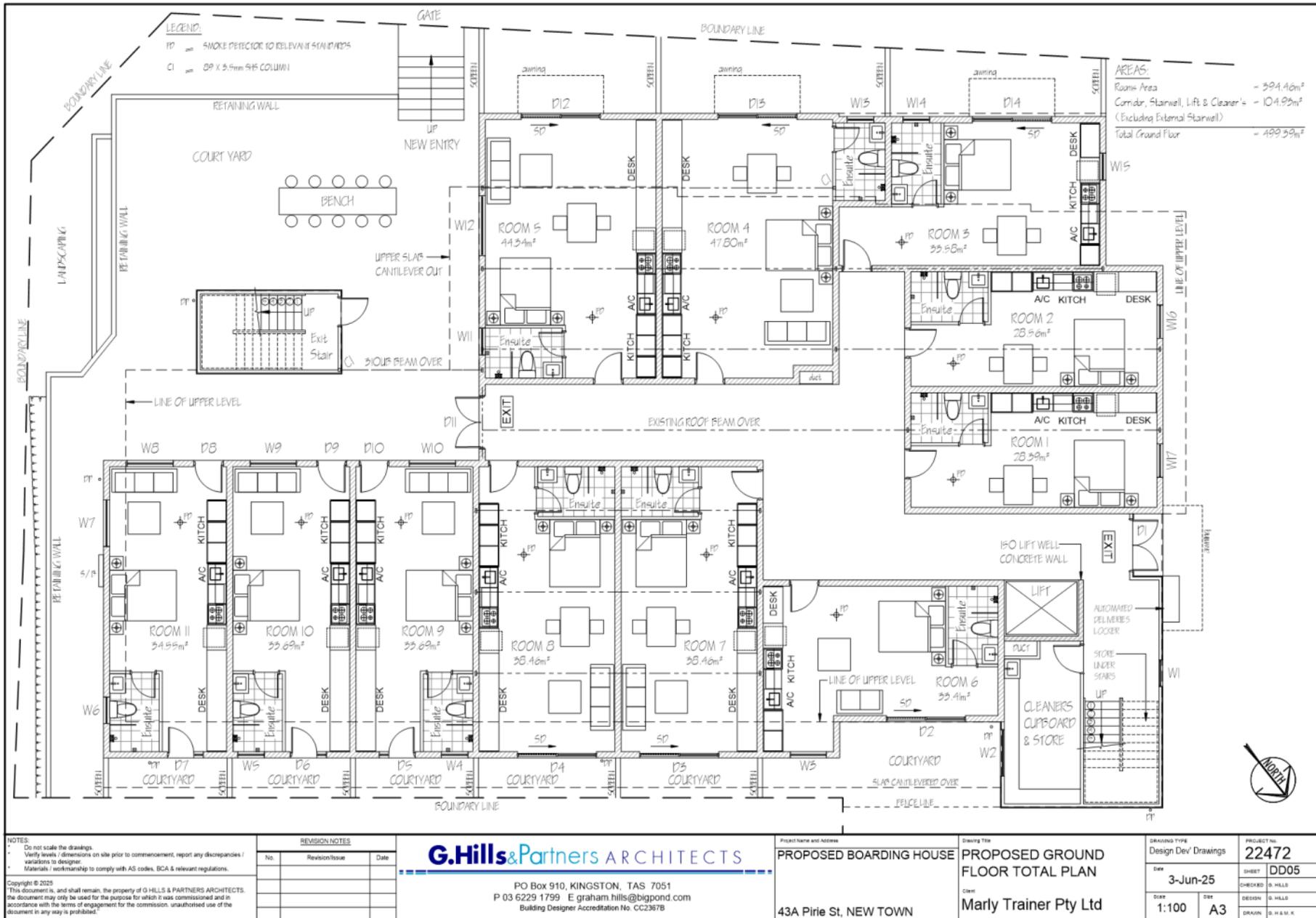
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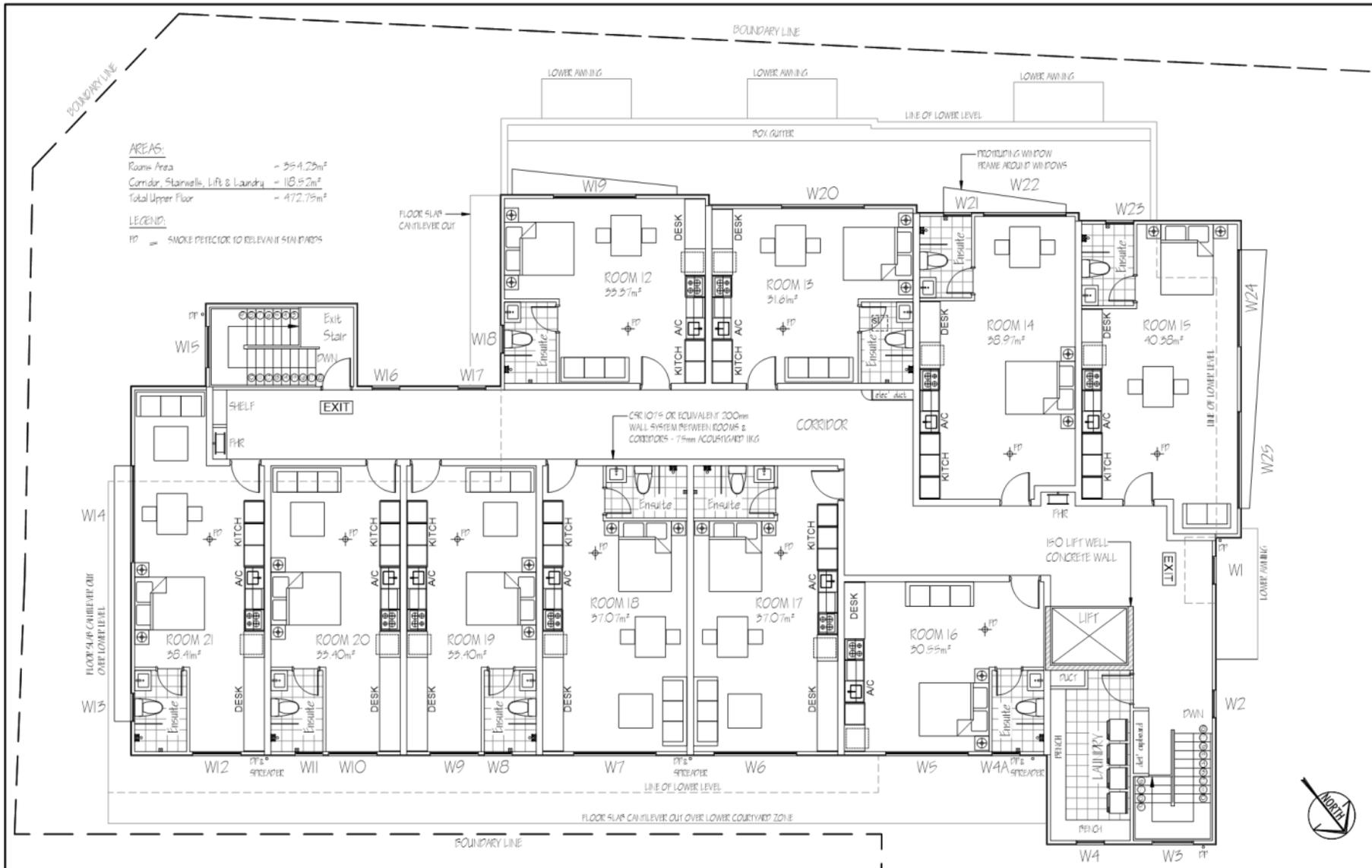
Project Name and Address
PROPOSED BOARDING HOUSE
 43A Pirie St, NEW TOWN

Drawing Title
PROPOSED SITE PLAN

Client
Marly Trainer Pty Ltd

DRAWING TYPE Design Dev' Drawings	PROJECT No. 22472
DATE 3-Jun-25	SHEET DD03
SCALE 1:200	DESIGN G. HILLS
APP. No. A3	DRAWN G. H. S. K.





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 Building Designer Accreditation No. CC2367B

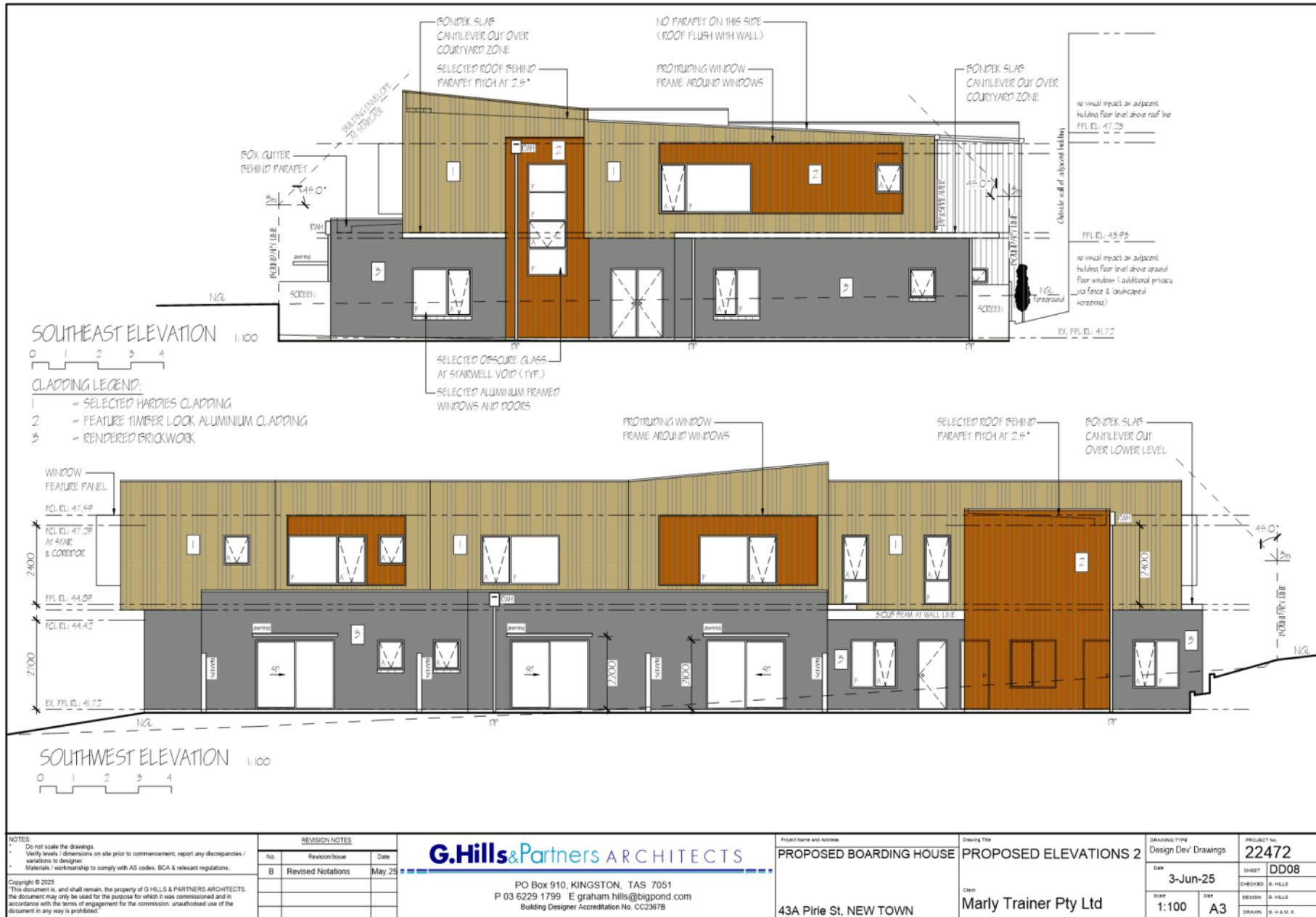
Project Name and Address
PROPOSED BOARDING HOUSE
 43A Pirie St, NEW TOWN

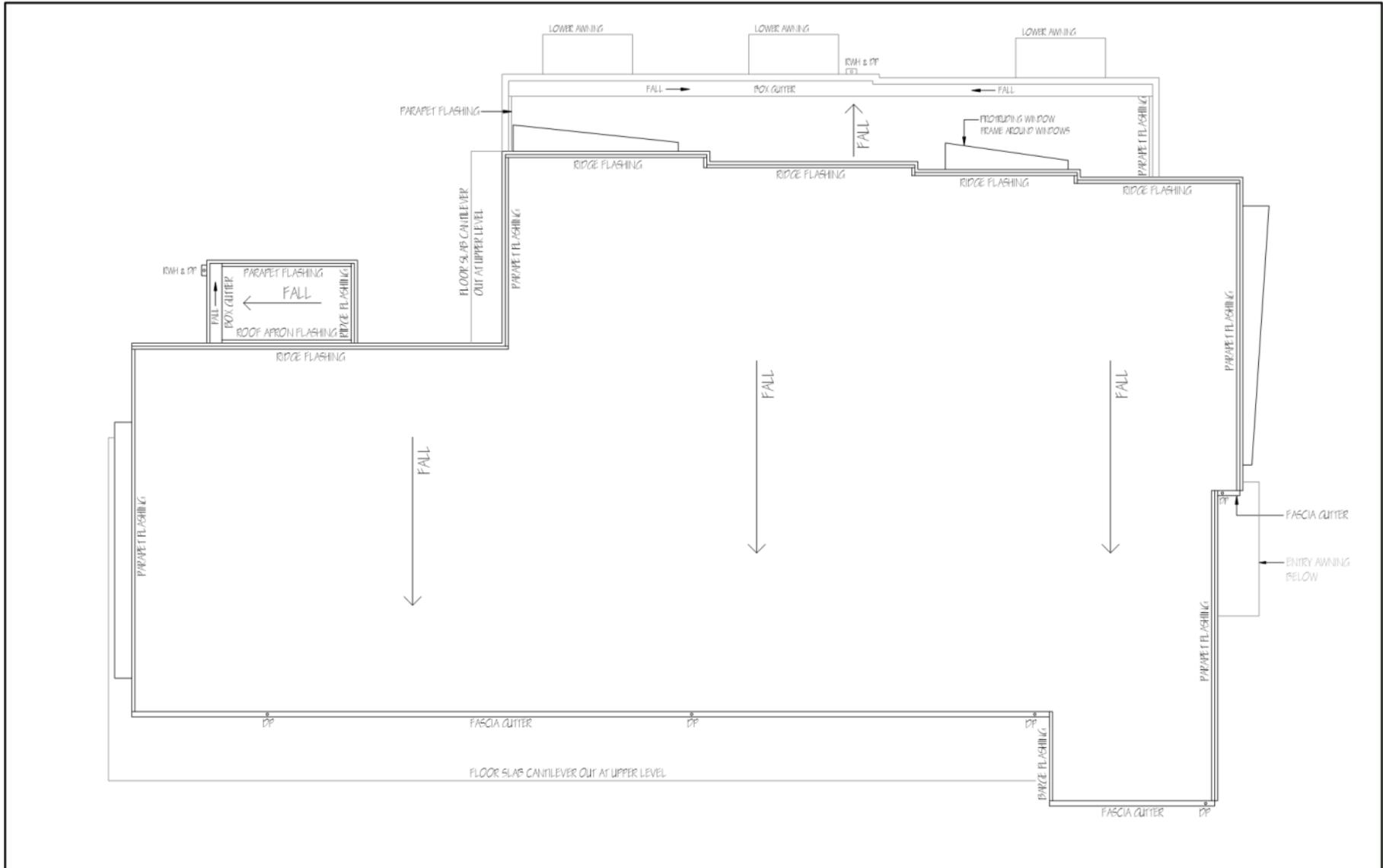
Drawing Title
PROPOSED UPPER FLOOR TOTAL PLAN

Client
Marly Trainer Pty Ltd

DRAWING TYPE Design Dev' Drawings	PROJECT No. 22472
Date 3-Jun-25	SHEET DD06
Scale 1:100	Size A3
CHECKED G. HILLS	DESIGN G. HILLS
DRAWN G. H. S. K.	







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	No.	Revision/Issue	Date																
Date 3-Jun-25	SHEET DD09																		
Date 1:100	Size A3																		
CHECKED G. HILLS	DESIGN G. HILLS																		
DRAWN G. HILLS K.	G. HILLS K.	G. HILLS K.																	

GROUND FLOOR WINDOW & DOOR SCHEDULE

	HEIGHT	WIDTH	DESCRIPTION
W1	2100	800	AWNING, FIXED
W2	450	1410	FIXED, AWNING
W3	2100	1010	AWNING, FIXED
W4	900	810	AWNING
W4 A	900	810	AWNING
W5	900	810	AWNING
W6	900	810	AWNING
W7	1457	1410	AWNING, FIXED
W8	1457	1410	AWNING, FIXED
W9	1457	1410	AWNING, FIXED
W10	1457	1410	FIXED, AWNING
W11	900	810	AWNING
W12	1457	810	AWNING, FIXED
W13	900	810	AWNING
W14	900	810	AWNING
W15	900	810	AWNING
W16	2100	1010	AWNING, FIXED
W17	2100	1010	AWNING, FIXED
P1	2100	1600	DOUBLE ENTRY DOOR
P2	2100	2410	SLIDING DOOR
P3	2100	2410	SLIDING DOOR
P4	2100	2410	SLIDING DOOR
P5	2100	1100	770 GLAZED PANEL DOOR WITH FIXED S/L.
P6	2100	1100	770 GLAZED PANEL DOOR WITH FIXED S/L.
P7	2100	1100	770 GLAZED PANEL DOOR WITH FIXED S/L.
P8	2100	900	820 EXTERNAL DOOR
P9	2100	900	820 EXTERNAL DOOR
P10	2100	900	820 EXTERNAL DOOR
P11	2100	1600	DOUBLE ENTRY DOOR
P12	2100	2410	SLIDING DOOR
P13	2100	2410	SLIDING DOOR
P14	2100	2410	SLIDING DOOR

UPPER FLOOR WINDOW & DOOR SCHEDULE

	HEIGHT	WIDTH	DESCRIPTION
W1	2100	800	AWNING, FIXED
W2	2100	800	AWNING, FIXED
W3	3400	1200	FIXED, FIXED, AWNING, FIXED
W4	900	810	AWNING
W4A	900	810	AWNING
W5	1500	2400	FIXED, AWNING
W6	1500	2400	AWNING, FIXED
W7	1500	2400	FIXED, AWNING
W8	900	810	AWNING
W9	1500	1410	AWNING, FIXED
W10	1500	1410	FIXED, AWNING
W11	900	810	AWNING
W12	1500	1410	FIXED, AWNING
W13	900	810	AWNING
W14	1500	2800	AWNING, FIXED
W15	3400	1200	FIXED, FIXED, AWNING, FIXED
W16	2100	800	AWNING, FIXED
W17	2100	800	AWNING, FIXED
W18	900	810	AWNING
W19	1500	2400	FIXED, AWNING
W20	1500	2400	AWNING, FIXED
W21	900	810	AWNING
W22	1500	2400	FIXED, AWNING
W23	900	810	AWNING
W24	2100	2800	FIXED, AWNING
W25	2100	2800	AWNING, FIXED

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No.	Revision/Issue	Date

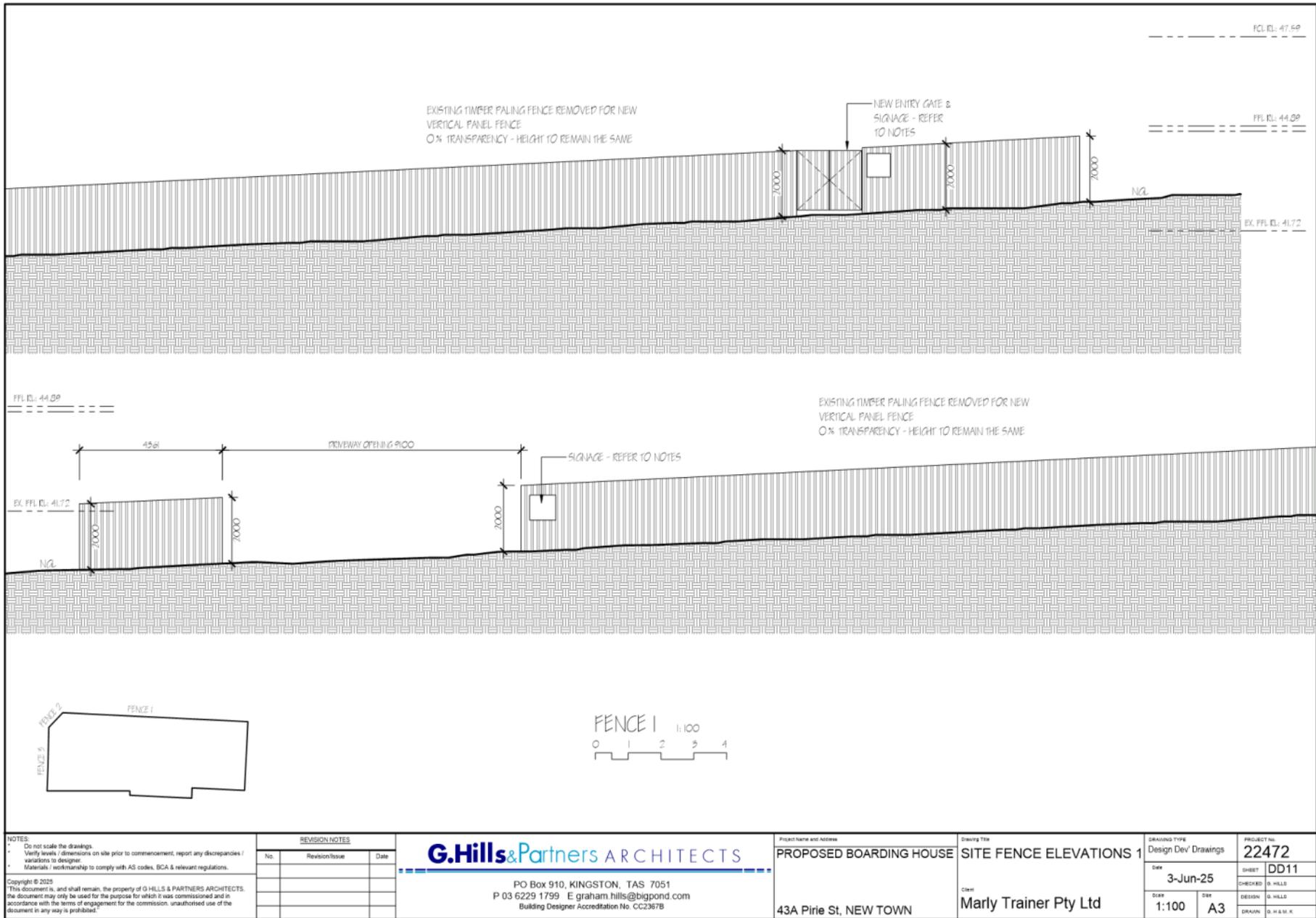
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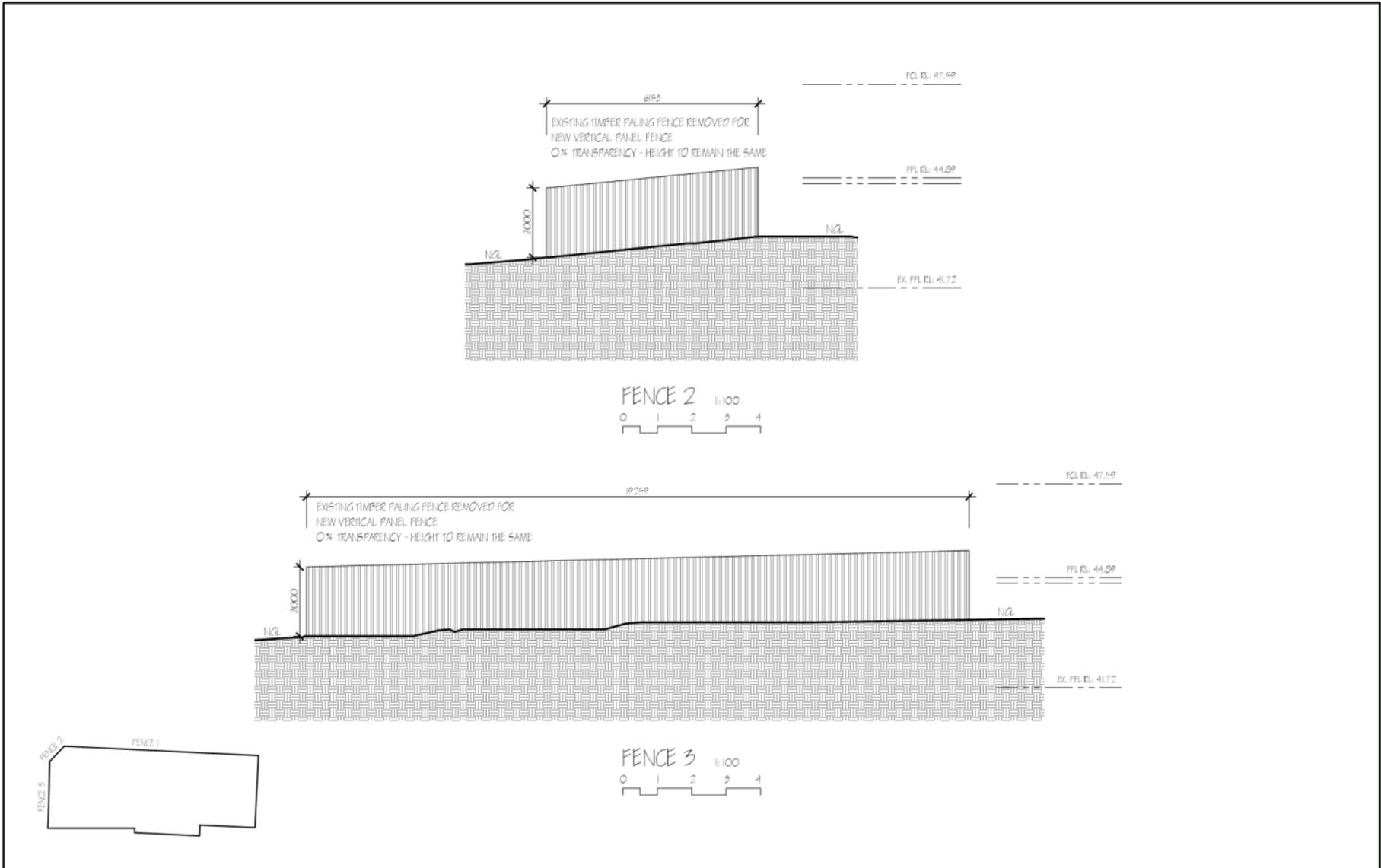
PO Box 910, KINGSTON, TAS 7051
 P 03 6229 1799 E graham.hills@bigpond.com
 Building Designer Accreditation No. CC2367B

Project Name and Address
PROPOSED BOARDING HOUSE
 43A Pirie St, NEW TOWN

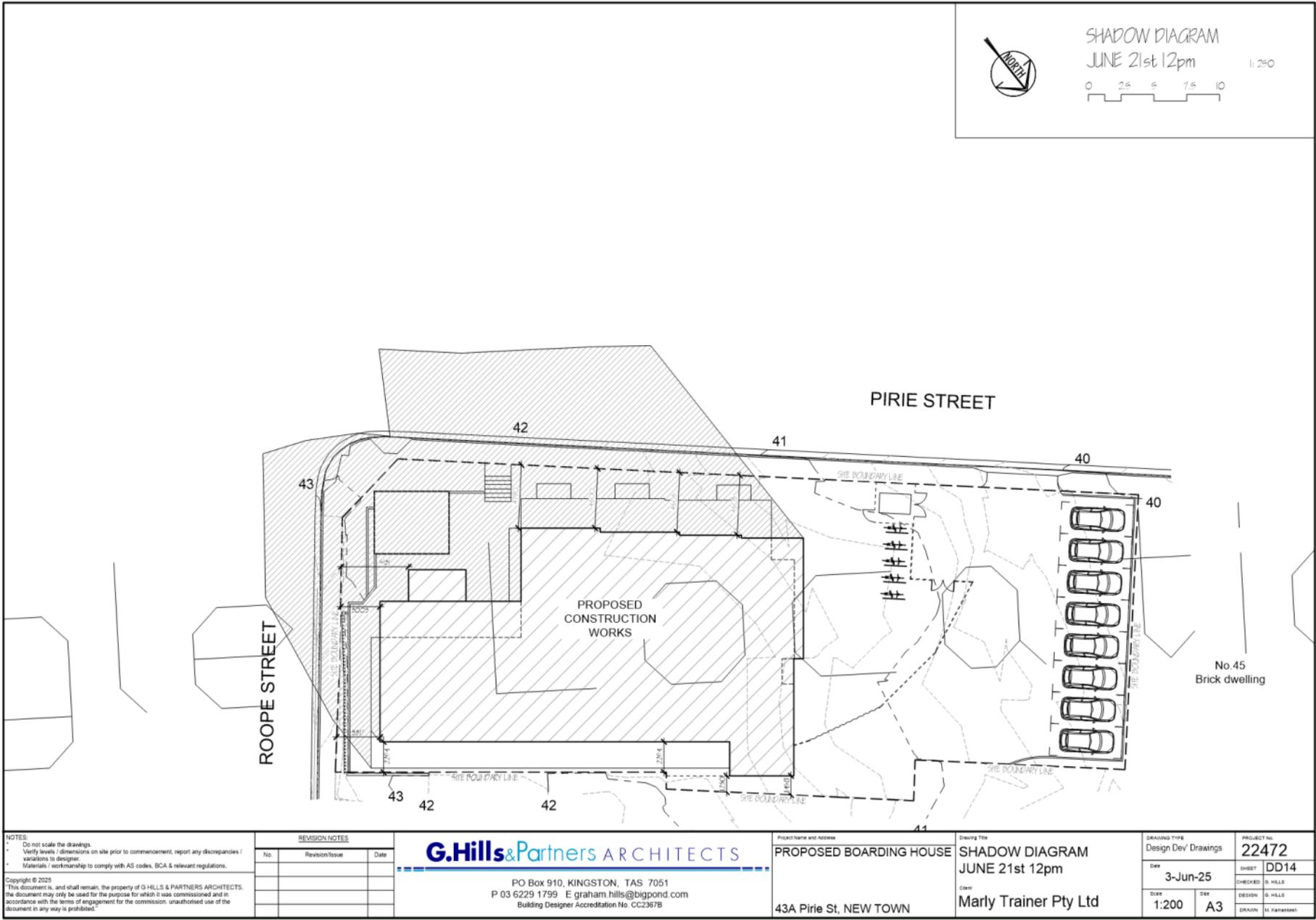
Drawing Title
WINDOW & DOOR SCHEDULES
 Client
Marly Trainer Pty Ltd

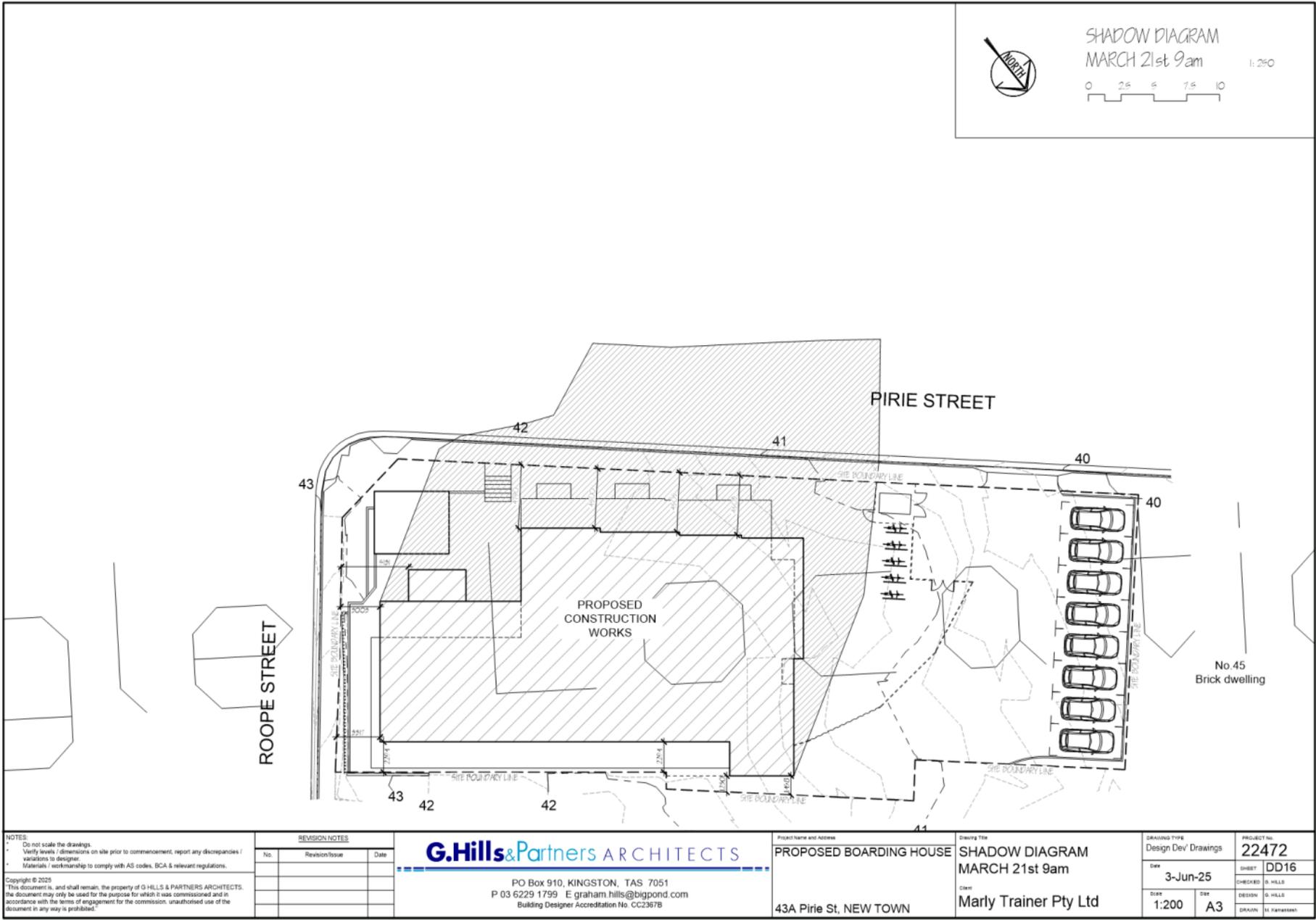
DRAWING TYPE Design Dev' Drawings	PROJECT No. 22472
DATE 3-Jun-25	SHEET DD10
DWS 1:100	DWA A3
CHECKED G. HILLS	DESIGN G. HILLS
DRAWN G. H. & M. K.	

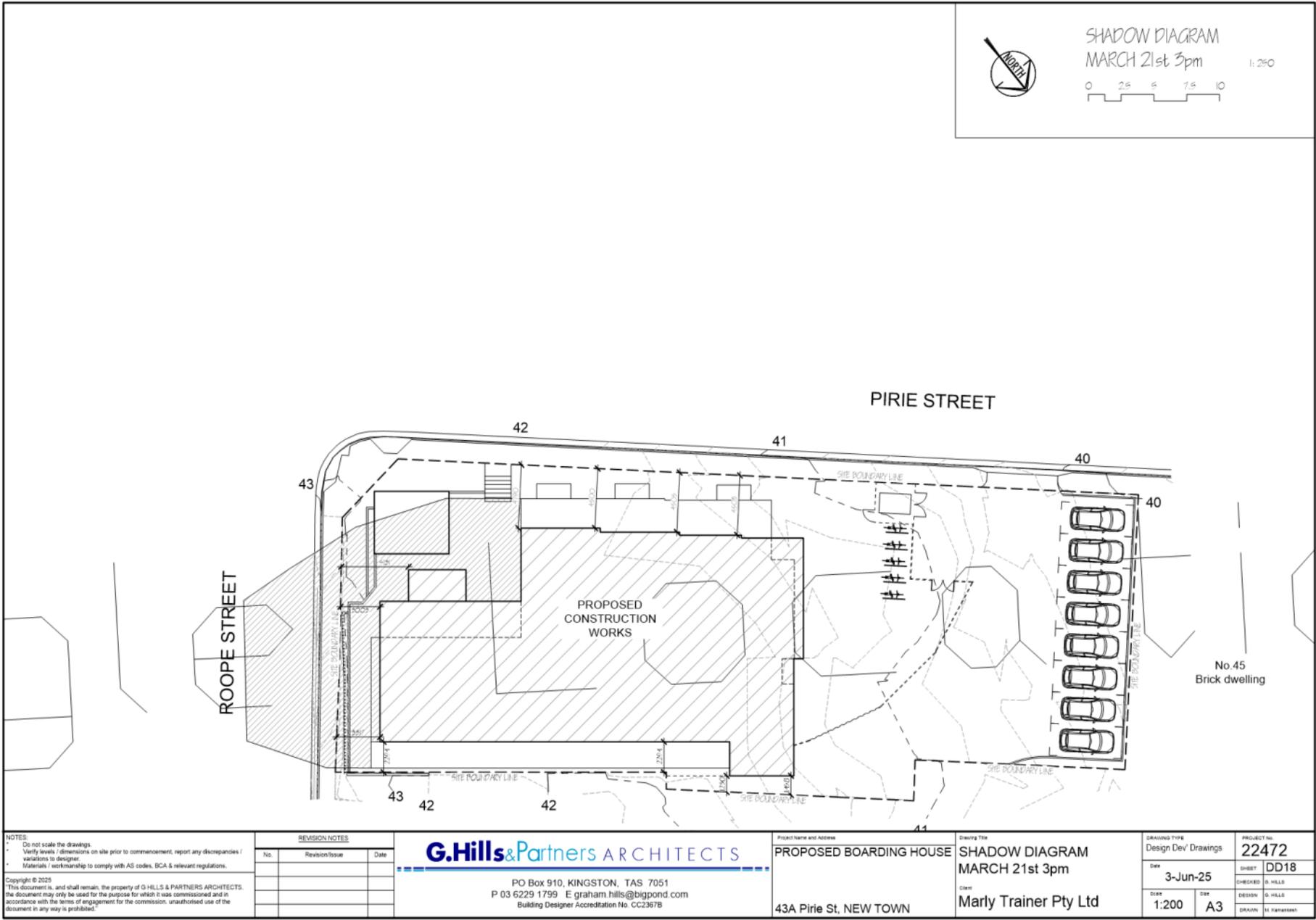




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	No.	Revision/Issue	Date																		
Date 3-Jun-25		SHEET DD12																			
DIMS 1:100	DWS A3	CHECKED G. HILLS																			
		DESIGN G. HILLS DRAWN G. H. S. K.																			







CIVIL DRAWINGS
 MARLY TRAINER PTY LTD
 43A PIRIE STREET
 NEW TOWN

C001	COVER	3	15/07/2025
C002	ENGINEERING NOTES	0	16/04/2025
C101	SITE PLAN	2	15/07/2025
C102	ROAD AND STORMWATER PLAN	3	15/07/2025
C103	SEWER AND WATER PLAN	1	15/07/2025
C104	JOINTING PLAN	2	15/07/2025
C105	TURNPATH PLAN	1	4/06/2025
C106	SOIL AND WATER MANAGEMENT PLAN	0	16/04/2025
C201	LONG SECTION	1	15/07/2025
C301	STORMWATER LONG SECTION - SHEET 1	0	16/05/2025
C302	STORMWATER LONG SECTION - SHEET 2	0	16/05/2025

			DRAIN	LG									
3	BUILDING APPROVAL	15/07/2025	CHECKED	DE									
2	BUILDING APPROVAL	4/06/2025	DESIGN	LG									
1	BUILDING APPROVAL	16/05/2025	CHECKED	DE									
0	BUILDING APPROVAL	16/04/2025	REVIEWED	RP									
REV	ISSUE	DATE	APPROVAL										



Lower Ground
 199 Macquarie Street
 Hobart TAS 7000
 03 6234 8666
 mail@aldanmark.com.au
 www.aldanmark.com.au

PROJECT:	MARLY TRAINER PTY LTD	ADDRESS:	43A PIRIE STREET NEW TOWN	SHEET:	COVER
CLIENT:	RACHELLE ROCHA	SCALE:	AS INDICATED	TOTAL SHEETS:	11
		PROJECT No:	25E99-16	SHEET:	C001
				REV:	3

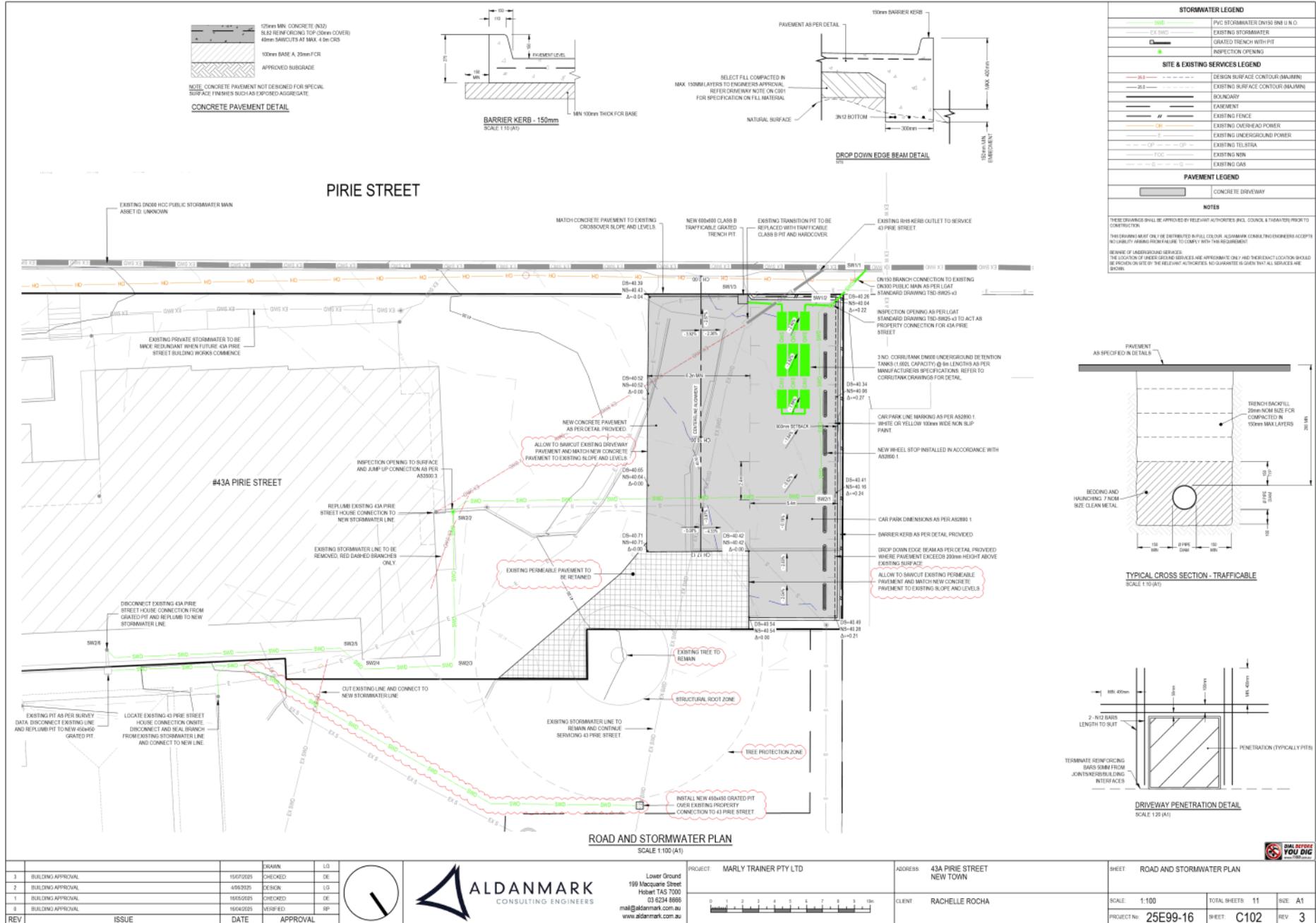


STORMWATER LEGEND	
— SWD	PVC STORMWATER DN150 8M U.N.O.
— EX SWD	EXISTING STORMWATER
—	GRADED TRENCH WITH PIT
—	INSPECTION OPENING
SEWER LEGEND	
— S	UPVC SEWER DN150 8M U.N.O.
— EX S	EXISTING SEWER
— IO	INSPECTION OPENING
WATER SERVICES LEGEND	
— W	HDPPE WATER
— EX W	EXISTING WATER/WMN
SITE & EXISTING SERVICES LEGEND	
— DA	DESIGN SURFACE CONTOUR (MAMM)
— EA	EXISTING SURFACE CONTOUR (MAMM)
—	BOUNDARY
— F	FENCEMENT
— F	EXISTING FENCE
— OH	EXISTING OVER-HEAD POWER
— U	EXISTING UNDERGROUND POWER
— OP	EXISTING TEL/SFIA
— FOC	EXISTING FIBRE
— G	EXISTING GAS
PAVEMENT LEGEND	
—	CONCRETE DRIVEWAY
NOTES	
THESE DRAWINGS SHALL BE APPROVED BY RELEVANT AUTHORITIES (INCL. COUNCIL & STATORS) PRIOR TO CONSTRUCTION. THIS DRAWING MUST ONLY BE DISTRIBUTED IN FULL COLOUR. ALDANMARK CONSULTING ENGINEERS ACCEPTS NO LIABILITY ARISING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT. BEWARE OF UNDERGROUND SERVICES. THE LOCATION OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT LOCATION SHOULD BE CHECKED ON SITE BY THE RELEVANT AUTHORITIES. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN.	

SITE PLAN
 SCALE 1:250 (A1)



<table border="1"> <thead> <tr> <th>REV</th> <th>ISSUE</th> <th>DATE</th> <th>APPROVAL</th> </tr> </thead> <tbody> <tr> <td>2</td> <td>BUILDING APPROVAL</td> <td>15/07/2025</td> <td>[Signature]</td> </tr> <tr> <td>1</td> <td>BUILDING APPROVAL</td> <td>4/09/2025</td> <td>[Signature]</td> </tr> <tr> <td>3</td> <td>BUILDING APPROVAL</td> <td>16/04/2025</td> <td>[Signature]</td> </tr> </tbody> </table>		REV	ISSUE	DATE	APPROVAL	2	BUILDING APPROVAL	15/07/2025	[Signature]	1	BUILDING APPROVAL	4/09/2025	[Signature]	3	BUILDING APPROVAL	16/04/2025	[Signature]	EXAMIN LG CHECKED DE DESIGN LG CHECKED DE VERIFIED RP	<p>ALDANMARK CONSULTING ENGINEERS</p> <p>Lower Ground 199 Macquarie Street Hobart TAS 7000 03 6234 8666 mail@aldanmark.com.au www.aldanmark.com.au</p>	PROJECT: MARLY TRAINER PTY LTD ADDRESS: 43A PIRIE STREET NEW TOWN CLIENT: RACHELLE ROCHA	SHEET: SITE PLAN SCALE: 1:250 PROJECT No: 25E99-16 TOTAL SHEETS: 11 SHEET: C101 SIZE: A1 REV: 2
REV	ISSUE	DATE	APPROVAL																		
2	BUILDING APPROVAL	15/07/2025	[Signature]																		
1	BUILDING APPROVAL	4/09/2025	[Signature]																		
3	BUILDING APPROVAL	16/04/2025	[Signature]																		



REV	ISSUE	DATE	APPROVAL
3	BUILDING APPROVAL	15/07/2025	CHECKED DE
2	BUILDING APPROVAL	4/09/2025	DESIGN LG
1	BUILDING APPROVAL	16/05/2025	CHECKED DE
0	BUILDING APPROVAL	16/04/2025	REVIEW RP

ALDANMARK
CONSULTING ENGINEERS

Lower Ground
199 Macquarie Street
Hobart TAS 7000
03 6234 8666
mail@aldanmark.com.au
www.aldanmark.com.au

PROJECT: MARLY TRAINER PTY LTD

ADDRESS: 43A PIRIE STREET
NEW TOWN

CLIENT: RACHELLE ROCHA

SCALE: 1:100

PROJECT NO: 25E99-16

SHEET: ROAD AND STORMWATER PLAN

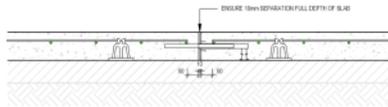
TOTAL SHEETS: 11

SHEET: C102

SCALE: A1

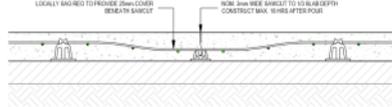
REV: 3

JOINT SPECIFICATION			
JOINT TYPE	EXPANSION - COMBILLEY EXL200	CONC GRADE	R10
JOINT SEAL	SCUM	DOVEL MATERIAL	NOT OFFERED (SE WARRIED STEEL)
MAX. LENGTH	NA	DOVEL LENGTH	40mm
MAX. EXPANSION	10mm	DOVEL DIA	16mm
SLAB THICKNESS	120mm	DOVEL CENTRES	400mm

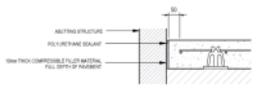


JT-EJ-02-001 - 125 EXPANSION JOINT
 1:10

JOINT SPECIFICATION			
JOINT TYPE	CRACK CONTROL	CONC GRADE	R10
JOINT SEAL	SCUM	DOVEL MATERIAL	NA
MAX. LENGTH	NA	DOVEL TYPE	NA
REINFORCEMENT	R10	DOVEL WIDTH	NA
SLAB THICKNESS	120mm	DOVEL CENTRES	NA



JT-SJ-01-001 - 125 SAWCUT JOINT
 1:10



ISOLATION JOINT DETAIL
 SCALE 1:10 (A1)

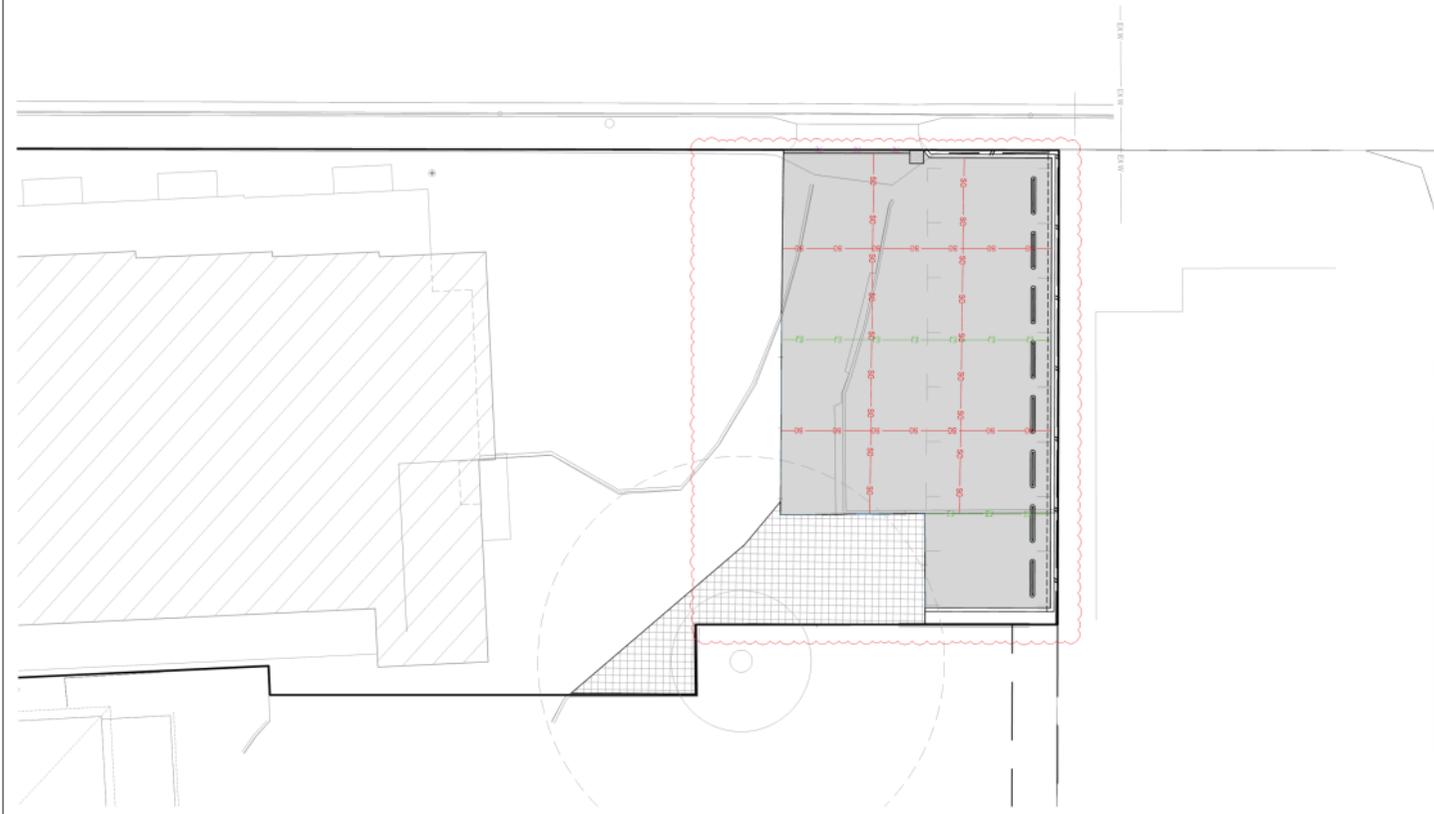
JOINTING LEGEND	
— 80 — 80 —	SAWCUT JOINT
— E — E —	EXPANSION JOINT
— I — I —	ISOLATION JOINT
— C — C —	CONSTRUCTION JOINT
— R — R —	REINFORCEMENT BARR

NOTES

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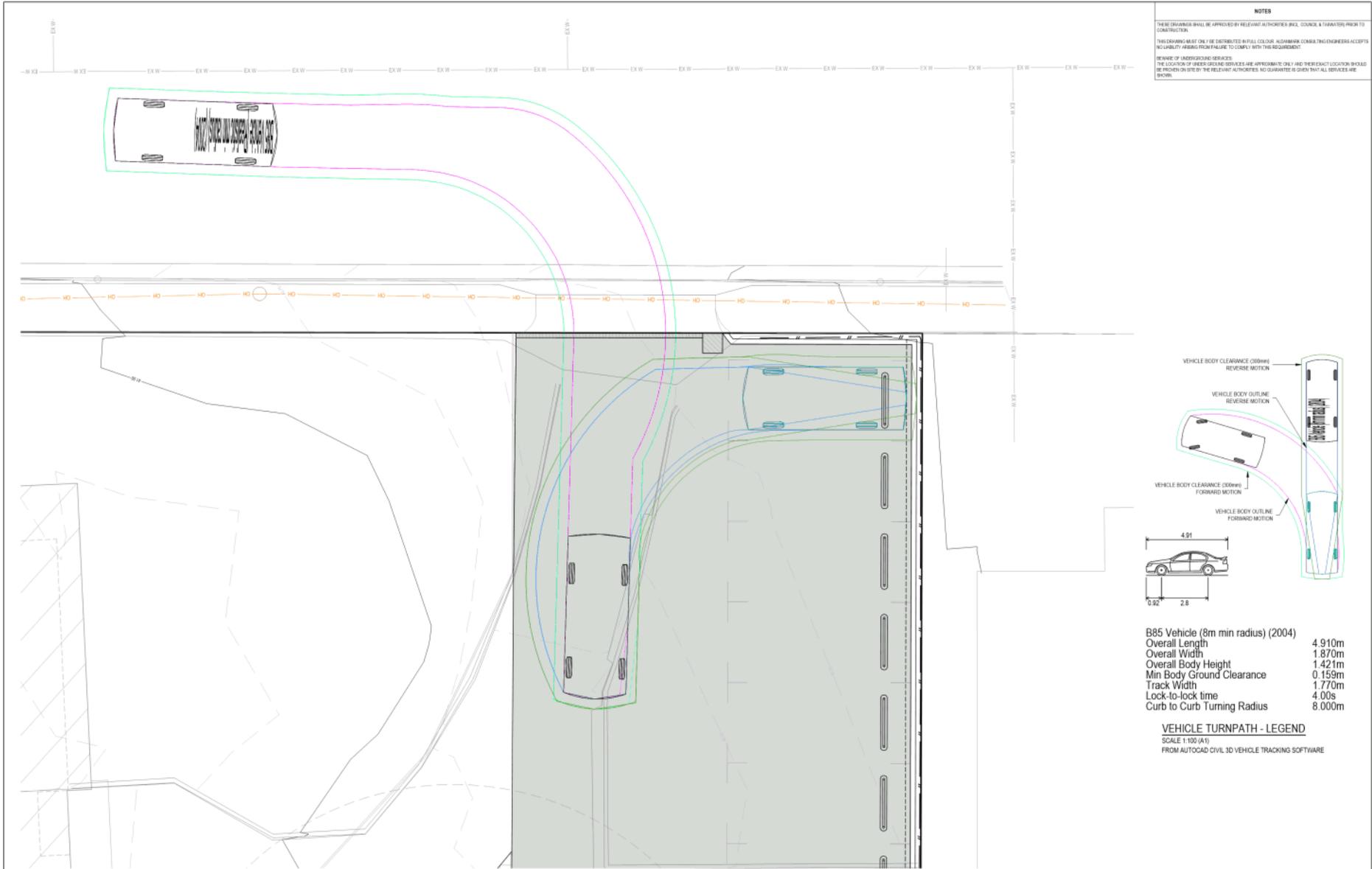
BE AWARE OF UNDERGROUND SERVICES. THE LOCATION OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT LOCATION SHOULD BE CHECKED ON SITE BY THE RELEVANT AUTHORITIES. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN.



JOINTING PLAN
 SCALE 1:100 (A1)

REV	ISSUE	DATE	APPROVAL			PROJECT: MARLY TRAINER PTY LTD Lower Ground 199 Macquarie Street Hobart TAS 7000 03 6234 8666 mail@aldanmark.com.au www.aldanmark.com.au	ADDRESS: 43A PIRIE STREET NEW TOWN CLIENT: RACHELLE ROCHA	SHEET: JOINTING PLAN SCALE: 1:100 PROJECT No: 25E99-16	TOTAL SHEETS: 11 SHEET: C104	SIZE: A1 REV: 2
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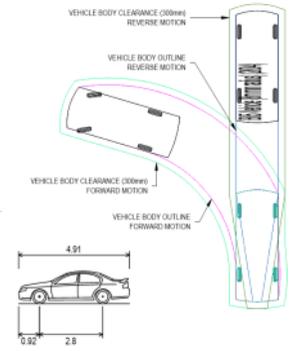


NOTES

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THIS DRAWING IS NOT TO BE REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF ALDANMARK CONSULTING ENGINEERS. ACCEPTS NO LIABILITY ARISING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.

STATEMENT OF UNDERGROUND SERVICES:
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B85 Vehicle (8m min radius) (2004)
 Overall Length 4.910m
 Overall Width 1.870m
 Overall Body Height 1.421m
 Min Body Ground Clearance 0.159m
 Track Width 1.770m
 Lock-to-lock time 4.00s
 Curb to Curb Turning Radius 8.000m

VEHICLE TURNPATH - LEGEND
 SCALE 1:100 (A1)
 FROM AUTOCAD CIVIL 3D VEHICLE TRACKING SOFTWARE

TURNPATH PLAN
 SCALE 1:50 (A1)

		<table border="1"> <tr><td>DRAWN</td><td>LG</td></tr> <tr><td>CHECKED</td><td>DE</td></tr> <tr><td>DESIGN</td><td>LG</td></tr> <tr><td>CHECKED</td><td>DE</td></tr> <tr><td>VERIFIED</td><td>RP</td></tr> </table>	DRAWN	LG	CHECKED	DE	DESIGN	LG	CHECKED	DE	VERIFIED	RP		<p>ALDANMARK CONSULTING ENGINEERS</p>	Lower Ground 199 Macquarie Street Hobart TAS 7000 03 6234 8666 mail@aldanmark.com.au www.aldanmark.com.au	PROJECT: MARLY TRAINER PTY LTD	ADDRESS: 43A PIRIE STREET NEW TOWN	SHEET: TURNPATH PLAN
DRAWN	LG																	
CHECKED	DE																	
DESIGN	LG																	
CHECKED	DE																	
VERIFIED	RP																	
1	BUILDING APPROVAL	4/09/2025	CHECKED	DE		CLIENT: RACHELLE ROCHA	SCALE: 1:50	TOTAL SHEETS: 11	SIZE: A1									
2	BUILDING APPROVAL	16/04/2025	VERIFIED	RP			PROJECT NO: 25E99-16	SHEET: C105	REV: 1									
REV	ISSUE	DATE	APPROVAL															

NOTES:

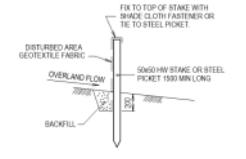
1. GENERAL
 - A. TEMPORARY DRAINAGE CONTROL. FLOW SHOULD BE DIVERTED AROUND THE WORK SITE WHERE POSSIBLE.
 - B. ALL DRAINAGE, EROSION AND SEDIMENT CONTROLS TO BE INSTALLED AND BE OPERATIONAL BEFORE COMMENCING UP-SLOPE EARTHWORKS.
 - C. ALL CONTROL MEASURES TO BE INSPECTED AT LEAST WEEKLY AND AFTER SIGNIFICANT RUNOFF PRODUCING STORMS.
 - D. CONTROL MEASURES MAY BE REMOVED WHEN ON-SITE EROSION IS CONTROLLED AND 70% PERMANENT SOIL COVERAGE IS OBTAINED OVER ALL UPSTREAM DISTURBED LAND.
 - E. IN AREAS WHERE RUNOFF TURBIDITY IS TO BE CONTROLLED, EXPOSED SURFACES TO BE EITHER MULCHED, COVERED WITH EROSION CONTROL BLANKETS OR TURFED IF EARTHWORKS ARE EXPECTED TO BE DELAYED FOR MORE THAN 14 DAYS.
 - F. STRAW BALE SEDIMENT TRAPS ARE A SECONDARY OPTION WHICH GENERALLY SHOULD NOT BE USED IF OTHER OPTIONS ARE AVAILABLE.
2. SEDIMENT FENCE
 - A. NOT TO BE LOCATED IN AREAS OF CONCENTRATED FLOW.
 - B. NORMALLY LOCATED ALONG THE CONTOUR WITH A MAXIMUM CATCHMENT AREA 0.6 HA PER 100m LENGTH OF FENCE.
 - C. WOVEN FABRICS ARE PREFERRED. NON-WOVEN FABRICS MAY BE USED ON SMALL WORK SITES, I.E. OPERATIONAL PERIOD LESS THAN 6 MONTHS OR ON SITES WHERE SIGNIFICANT SEDIMENT RUNOFF IS NOT EXPECTED.
 - D. FENCES ARE REQUIRED 2m MIN FROM TOE OF CUT OR FILL BATTERS, WHERE NOT PRACTICAL ONE FENCE CAN BE AT THE TOE WITH A SECOND FENCE 1M MIN AWAY. FENCE SHOULD NOT BE LOCATED PARALLEL WITH TOE IF CONCENTRATION OF FLOW WILL OCCUR BEHIND THE FENCE.
3. STRAW BALE BANKS
 - A. BALES SHALL BE PLACED AT THE TOE OF A SLOPE OR ON THE CONTOUR IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
 - B. EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF 100mm ON THE DOWNSTREAM SIDE AND PLACED SO THE BINDINGS ARE HORIZONTAL.
 - C. BALES SHALL BE SECURELY ANCHORED IN PLACE WITH EITHER TWO STAKES OR STEEL PICKETS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER.
 - D. INSPECTIONS SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED. REPLACE AT LEAST 3 MONTHLY.
4. SAFETY ISSUES MUST BE CONSIDERED AT ALL TIMES. INCORPORATE TRAFFIC CONTROL DEVICES TO THE SATISFACTION OF THE SUPERINTENDENT.

NOTES

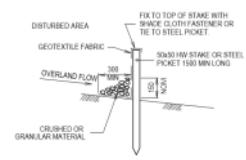
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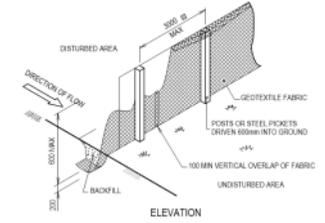
RENDER OF UNDERGROUND SERVICES. THE LOCATION OF THESE SERVICES ARE APPROXIMATE ONLY AND THEREFORE LOCATION SHOULD BE CHECKED ON SITE BY THE RELEVANT AUTHORITIES. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN.



ALTERNATIVE 1

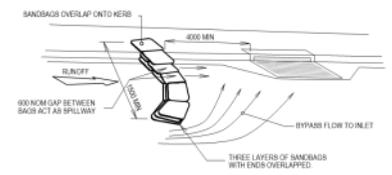


ALTERNATIVE 2

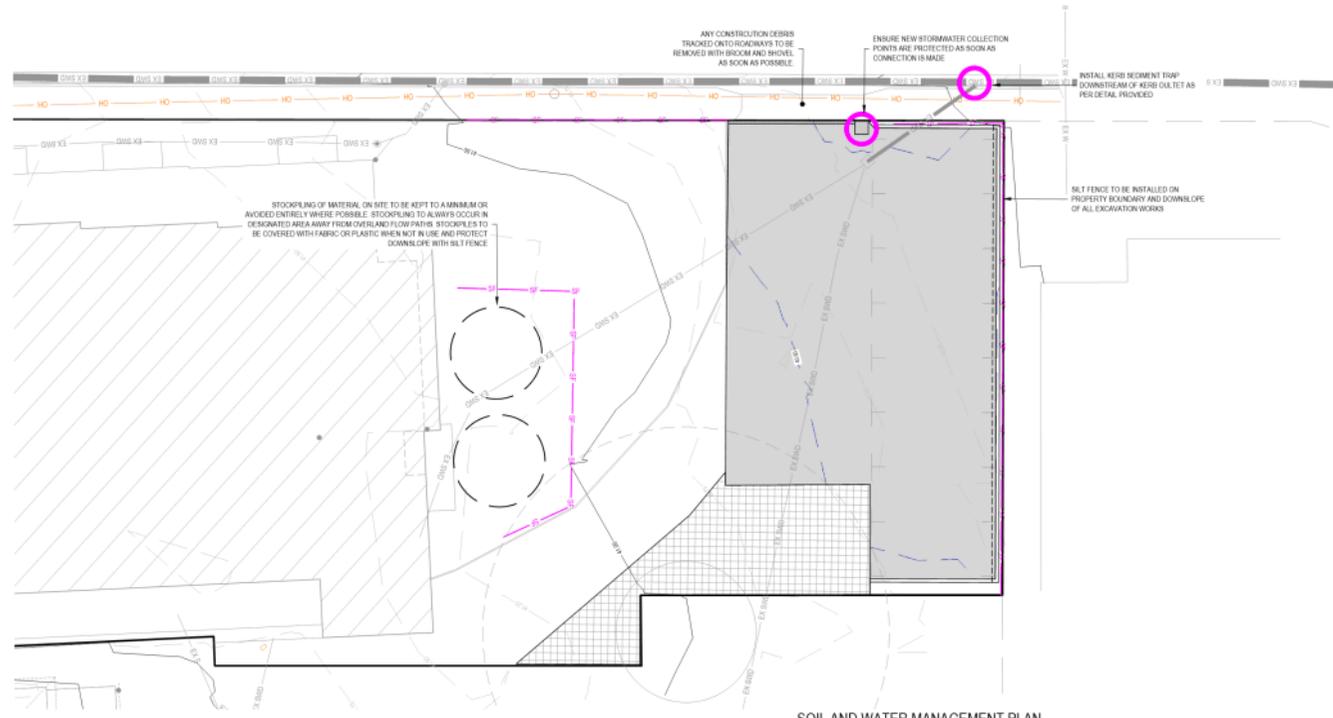


ELEVATION

SEDIMENT FENCE
 NTS



ON GRADE KERB INLET SEDIMENT TRAP
 NTS



SOIL AND WATER MANAGEMENT PLAN
 SCALE 1:100 (A1)

<table border="1"> <tr> <td>REV</td> <td>BUILDING APPROVAL</td> <td>16/04/2025</td> <td>VERIFIED</td> <td>RP</td> </tr> <tr> <td>ISSUE</td> <td></td> <td></td> <td>APPROVAL</td> <td></td> </tr> </table>		REV	BUILDING APPROVAL	16/04/2025	VERIFIED	RP	ISSUE			APPROVAL		<p>ALDANMARK CONSULTING ENGINEERS</p> <p>Lower Ground 199 Macquarie Street Hobart TAS 7000 03 6234 8666 mail@aldanmark.com.au www.aldanmark.com.au</p>	PROJECT: MARLY TRAINER PTY LTD ADDRESS: 43A PIRIE STREET NEW TOWN CLIENT: RACHELLE ROCHA	SHEET: SOIL AND WATER MANAGEMENT PLAN SCALE: 1:100 PROJECT NO: 25E99-16 SHEET: C106 REV: 0
REV	BUILDING APPROVAL	16/04/2025	VERIFIED	RP										
ISSUE			APPROVAL											

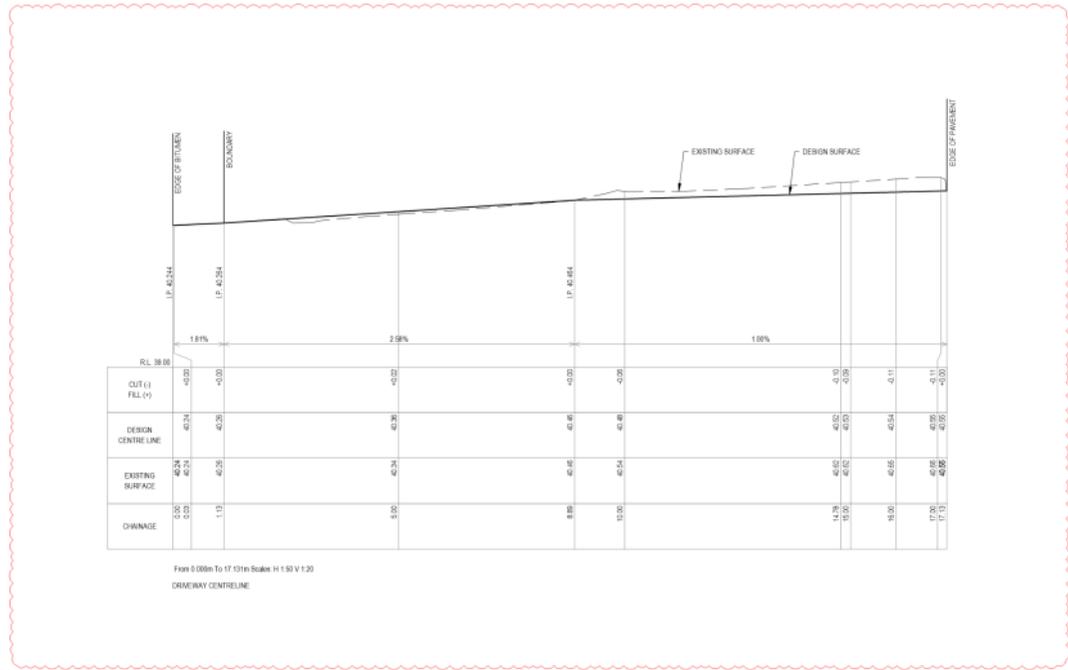


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LONG SECTION
 AS INDICATED

			DRAWN	LG					
			CHECKED	DE					
			DESIGN	LG					
1	BUILDING APPROVAL	15/07/2025	CHECKED	DE					
2	BUILDING APPROVAL	16/04/2025	REVIEWED	RP					
REV	ISSUE	DATE	APPROVAL						



Lower Ground
 199 Macquarie Street
 Hobart TAS 7000
 03 6234 8686
 mail@aldanmark.com.au
 www.aldanmark.com.au

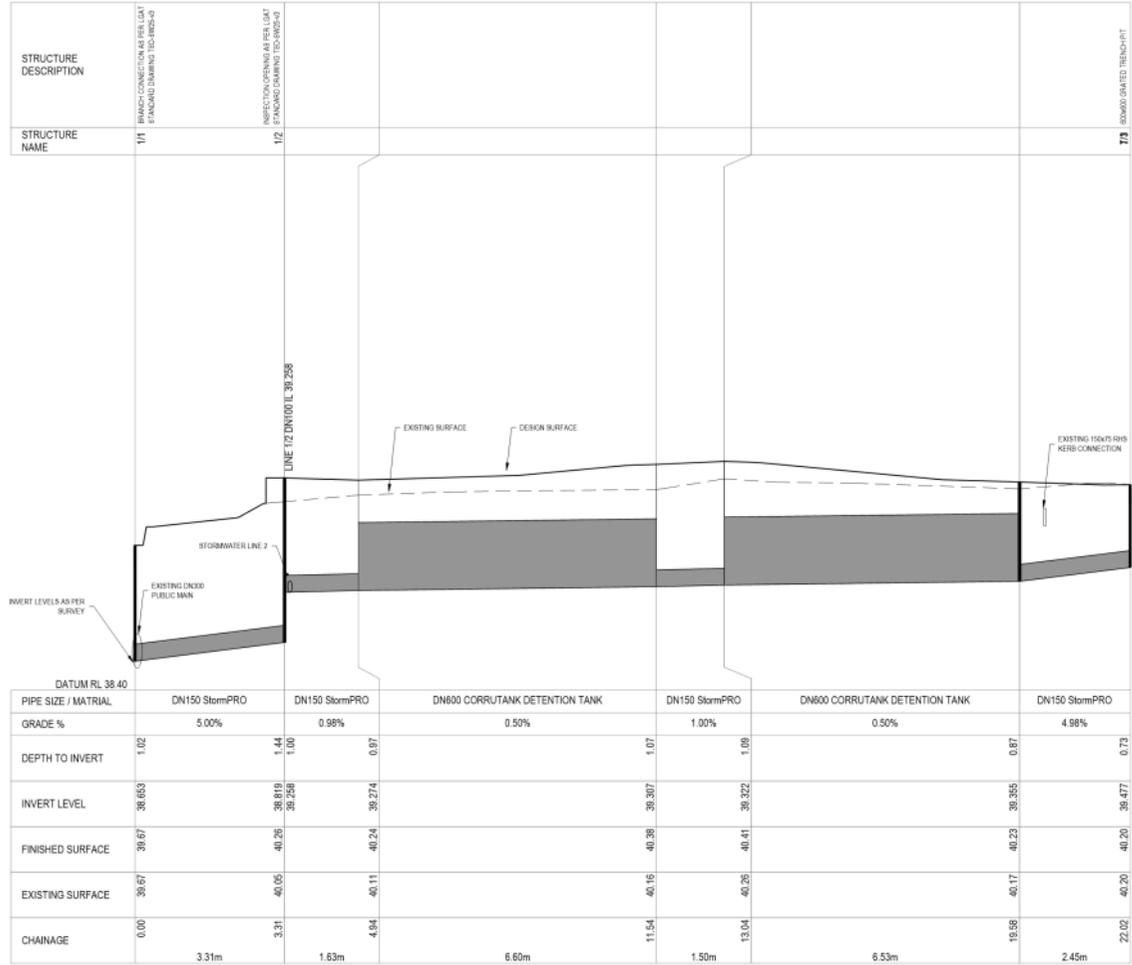
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CLIENT:	RACHELLE ROCHA	SCALE:	AS INDICATED	TOTAL SHEETS:	11
	AS INDICATED	PROJECT No:	25E99-16	SHEET:	C201
				REV:	1

NOTES

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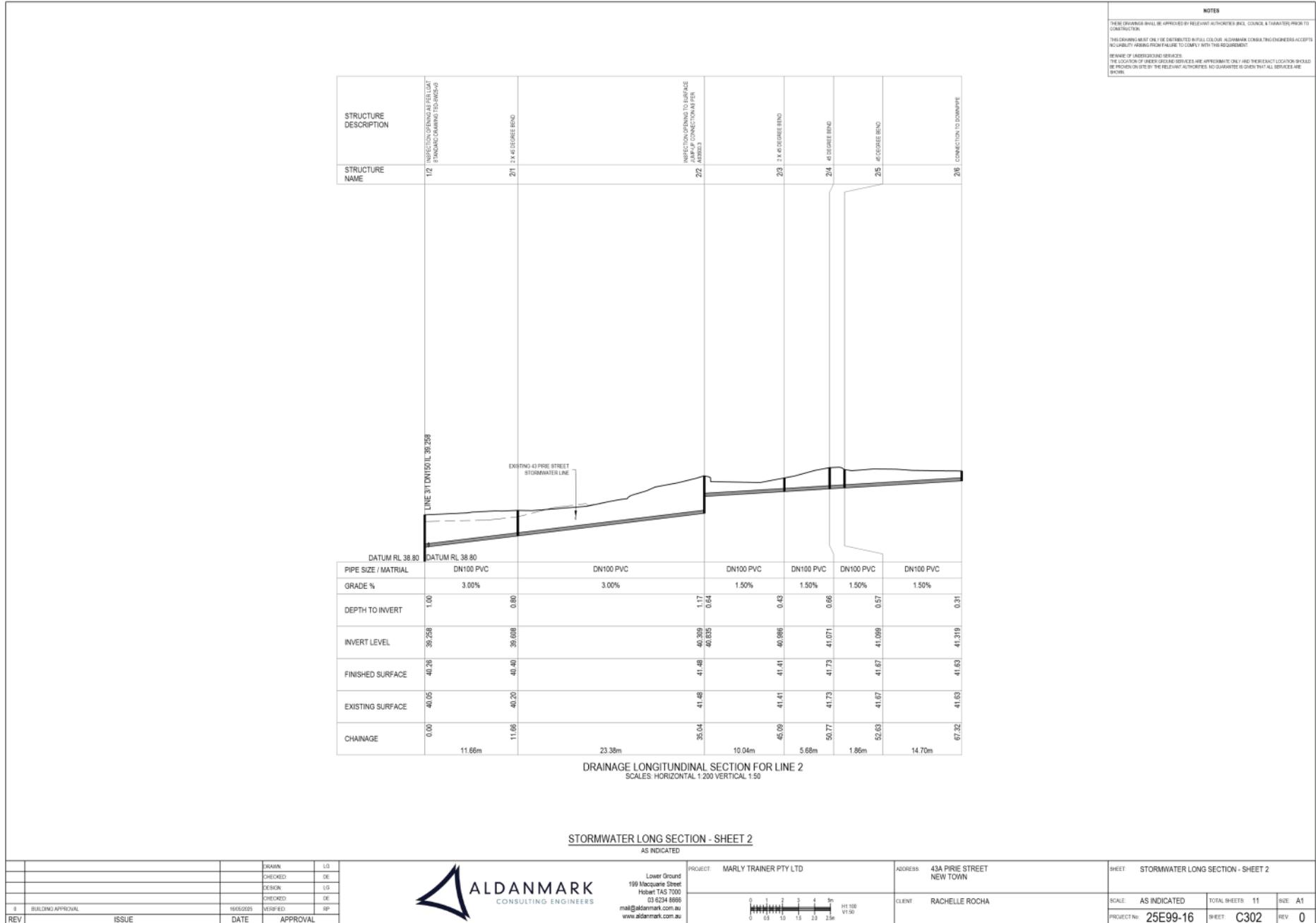
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Drainage LONGITUDINAL SECTION FOR LINE 1
SCALE: HORIZONTAL 1:50 VERTICAL 1:20

STORMWATER LONG SECTION - SHEET 1
AS INDICATED

<table border="1"> <tr> <td>DRAIN</td> <td>LG</td> </tr> <tr> <td>CHECKED</td> <td>DE</td> </tr> <tr> <td>DESIGN</td> <td>LG</td> </tr> <tr> <td>CHECKED</td> <td>DE</td> </tr> <tr> <td>VERIFIED</td> <td>RP</td> </tr> </table>		DRAIN	LG	CHECKED	DE	DESIGN	LG	CHECKED	DE	VERIFIED	RP	<p>Lower Ground 199 Macquarie Street Hobart TAS 7000 03 6234 8666 mail@aldanmark.com.au www.aldanmark.com.au</p>	PROJECT: MARLY TRAINER PTY LTD	ADDRESS: 43A PIRIE STREET NEW TOWN	SHEET: STORMWATER LONG SECTION - SHEET 1
DRAIN	LG														
CHECKED	DE														
DESIGN	LG														
CHECKED	DE														
VERIFIED	RP														
<table border="1"> <tr> <td>REV</td> <td>ISSUE</td> <td>DATE</td> <td>APPROVAL</td> </tr> <tr> <td>1</td> <td>BUILDING APPROVAL</td> <td>16/05/2025</td> <td></td> </tr> </table>	REV	ISSUE	DATE	APPROVAL	1	BUILDING APPROVAL	16/05/2025			CLIENT: RACHELLE ROCHA	SCALE: AS INDICATED	TOTAL SHEETS: 11	SIZE: A1		
REV	ISSUE	DATE	APPROVAL												
1	BUILDING APPROVAL	16/05/2025													
				PROJECT No: 25E99-16	SHEET: C301	REV: 0									



NOTES

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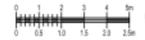
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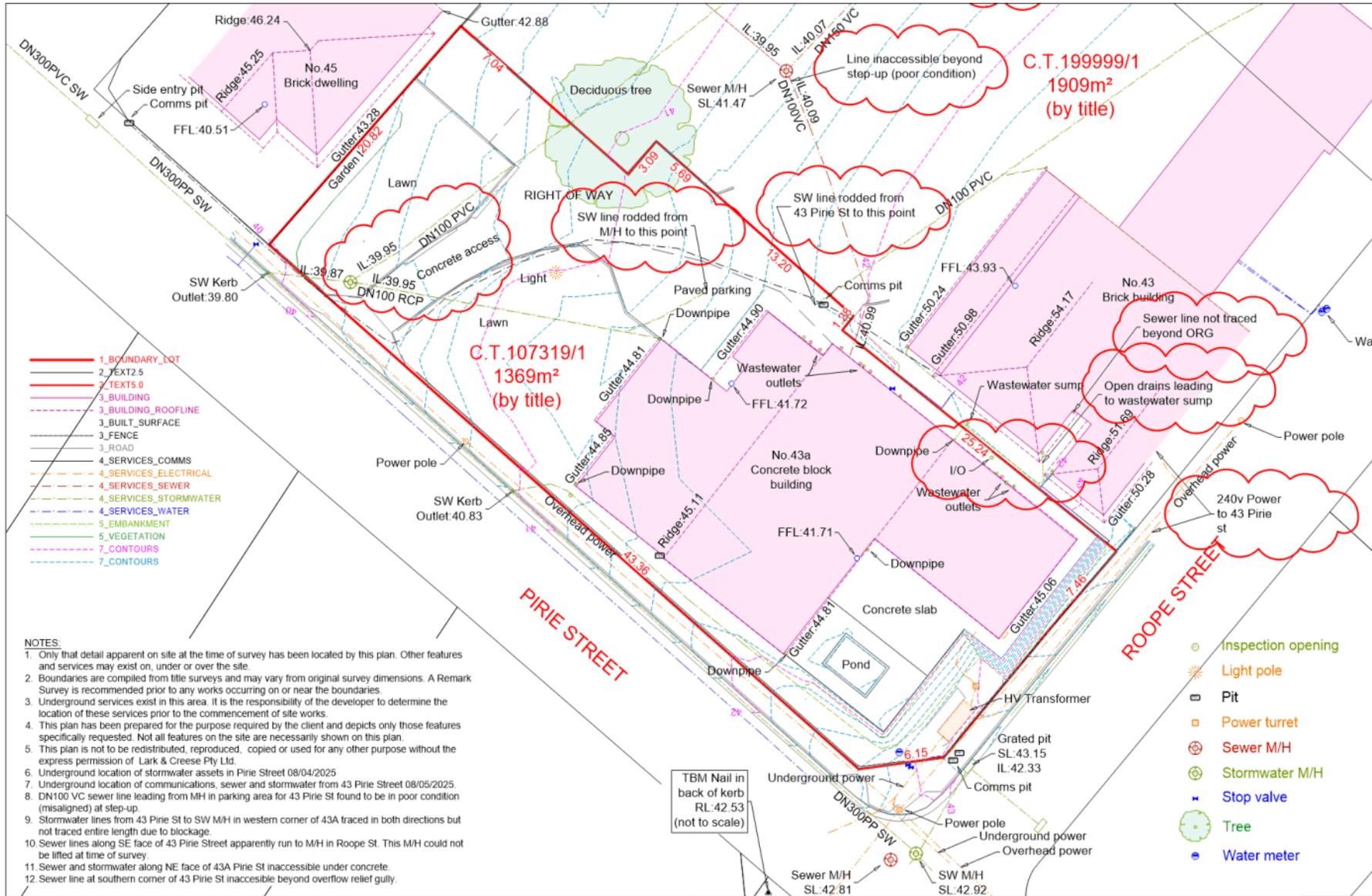
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		DRAWN	LG		PROJECT	MARLY TRAINER PTY LTD	ADDRESS	43A PIRIE STREET NEW TOWN
		CHECKED	DE				CLIENT	RACHELLE ROCHA
		DESIGN	LG				SCALE	AS INDICATED
		CHECKED	DE				TOTAL SHEETS	11
		VERIFIED	RP				SHEET	C302
8	BUILDING APPROVAL	16/05/2025					PROJECT No	25E99-16
REV	ISSUE	DATE	APPROVAL				SIZE	A1
							REV	0



Lower Ground
199 Macquarie Street
Hobart TAS 7000
03 6234 8686
mal@aldanmark.com.au
www.aldanmark.com.au





- NOTES:**
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 - Boundaries are compiled from title surveys and may vary from original survey dimensions. A Remark Survey is recommended prior to any works occurring on or near the boundaries.
 - Underground services exist in this area. It is the responsibility of the developer to determine the location of these services prior to the commencement of site works.
 - This plan has been prepared for the purpose required by the client and depicts only those features specifically requested. Not all features on the site are necessarily shown on this plan.
 - This plan is not to be redistributed, reproduced, copied or used for any other purpose without the express permission of Lark & Creese Pty Ltd.
 - Underground location of stormwater assets in Pirie Street 08/04/2025
 - Underground location of communications, sewer and stormwater from 43 Pirie Street 08/05/2025
 - DN100 VC sewer line leading from MH in parking area for 43 Pirie St found to be in poor condition (misaligned) at step-up
 - Stormwater lines from 43 Pirie St to SW M/H in western corner of 43A traced in both directions but not traced entire length due to blockage.
 - Underground location of stormwater assets in Roope Street 08/04/2025
 - Sewer and stormwater along SE face of 43 Pirie Street apparently run to MH in Roope St. This MH could not be lifted at time of survey.
 - Sewer and stormwater along NE face of 43A Pirie St inaccessible under concrete.
 - Sewer line at southern corner of 43 Pirie St inaccessible beyond overflow relief gully.

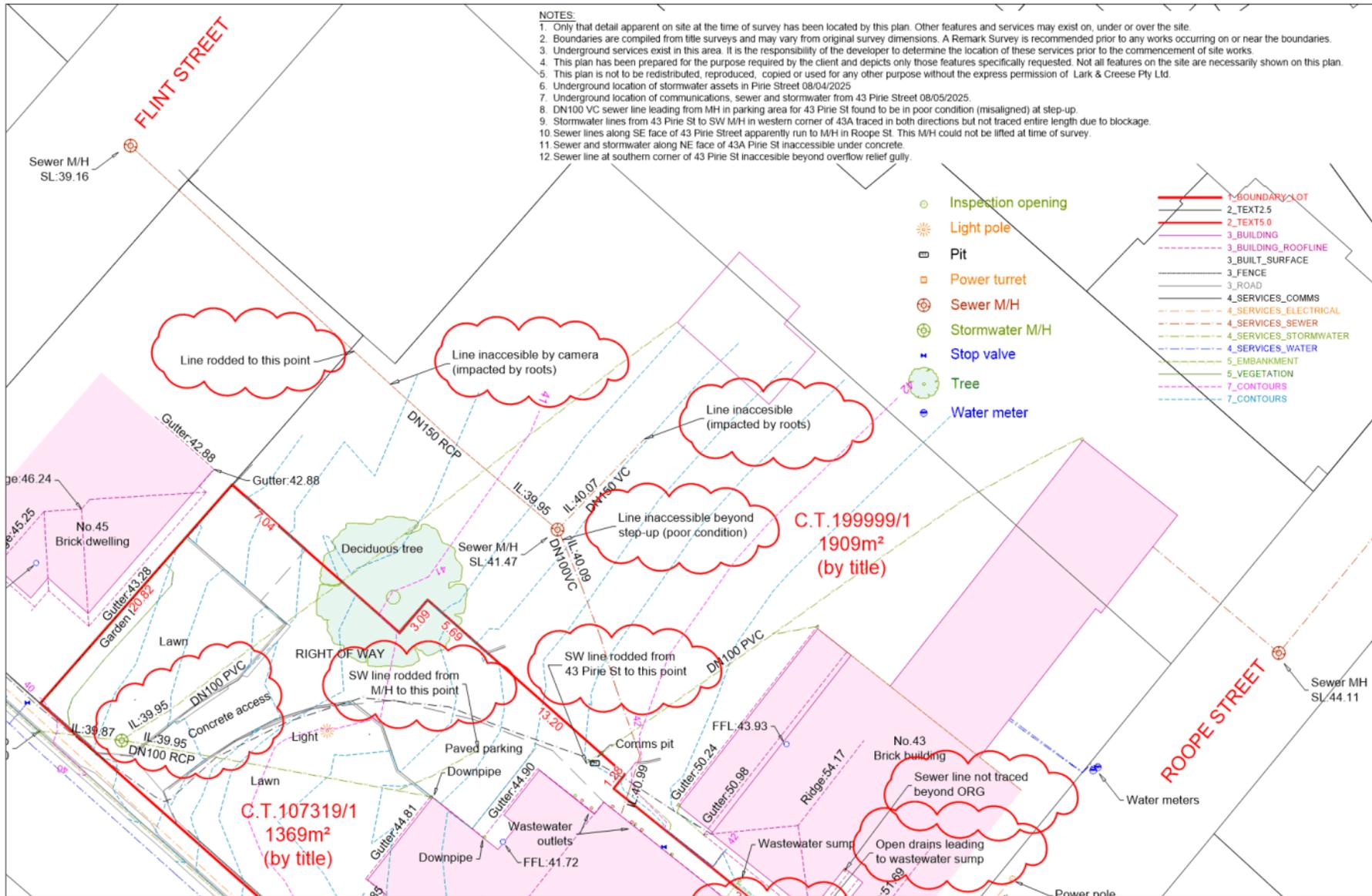
LARK & CREESE Pty Ltd
 Land & Engineering Surveyors
 62 Channel Highway, Kingston
 +61 (0)3 6229 6563
 info@larkandcreese.com.au
 www.larkandcreese.com.au

DETAIL PLAN

43A PIRIE STREET
 NEW TOWN
 CHANNEL CONSTRUCTION
 & JOINERY PTY LTD

TITLE	107319/1	PROJECT	30815	DATE	09/05/2025
PID	5682688	DRAWING	52397-04	DRAWN	AC
CONTOUR	0.20m	SCALE	1:250@A3	CHECKED	NC





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 6. Underground location of stormwater assets in Pirie Street 08/04/2025
 7. Underground location of communications, sewer and stormwater from 43 Pirie Street 08/05/2025.
 8. DN100 VC sewer line leading from MH in parking area for 43 Pirie St found to be in poor condition (misaligned) at step-up.
 9. Stormwater lines from 43 Pirie St to SW M/H in western corner of 43A traced in both directions but not traced entire length due to blockage.
 10. Sewer lines along SE face of 43 Pirie Street apparently run to M/H in Roope St. This M/H could not be lifted at time of survey.
 11. Sewer and stormwater along NE face of 43A Pirie St inaccessible under concrete.
 12. Sewer line at southern corner of 43 Pirie St inaccessible beyond overflow relief gully.

- ⊙ Inspection opening
 - ☀ Light pole
 - ⊠ Pit
 - ⊠ Power turret
 - ⊕ Sewer M/H
 - ⊕ Stormwater M/H
 - ⊕ Stop valve
 - 🌳 Tree
 - ⊕ Water meter
- 1-BOUNDARY_LOT
 - 2-TEXT2.5
 - 2-TEXT5.0
 - 3-BUILDING
 - 3-BUILDING_ROOFLINE
 - 3-BUILT_SURFACE
 - 3-FENCE
 - 3-ROAD
 - 4-SERVICES_COMMS
 - 4-SERVICES_ELECTRICAL
 - 4-SERVICES_SEWER
 - 4-SERVICES_STORMWATER
 - 4-SERVICES_WATER
 - 5-EMBANKMENT
 - 5-VEGETATION
 - 7-CONTOURS
 - 7-CONTOURS

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DETAIL PLAN

**43A PIRIE STREET
 NEW TOWN**
 CHANNEL CONSTRUCTION
 & JOINERY PTY LTD

TITLE	107319/1	PROJECT	30815	DATE	09/05/2025
PID	5682688	DRAWING	52397-04	DRAWN	AC
CONTOUR	0.20m	SCALE	1:250@A3	CHECKED	NC





**Potential impact of development at 43A Pirie St, New Town,
on a nearby mature Linden tree.**

Jerry Romanski

Arborist / Consultant
*B.Sc (Hons),
Ass. Dip. App. Sc.(Hort/Arb)*

29 Winston Avenue
Seven Mile Beach TAS. 7170

M: 0419 363 011
jerry@treeinclined.com

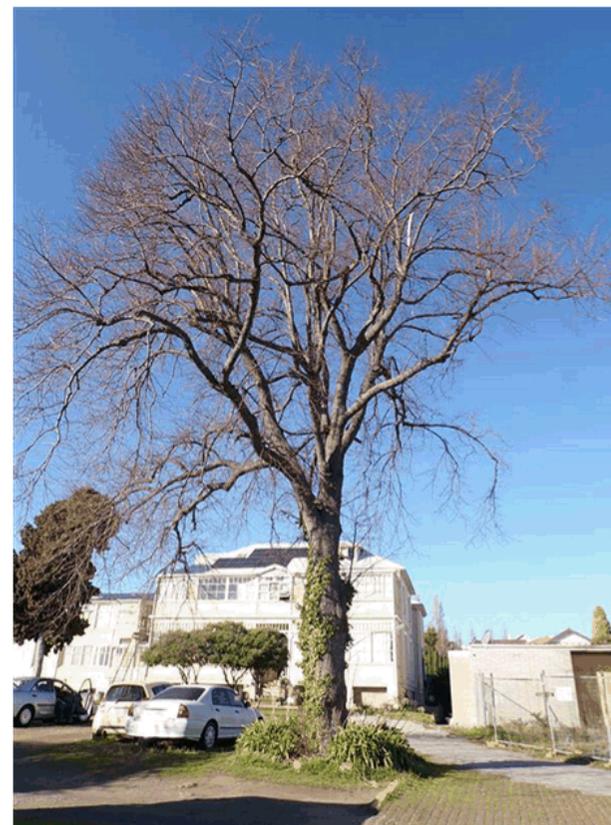
16 July 2025

1. Terms of reference

- This development impact assessment was prepared for Marly Trainer Pty Ltd.
- The report indicates expected impact of proposed works on a mature Linden tree (*Tilia cordata*) growing at 43 Pirie St. New Town (Figure 1).
- Documents use in this assessment were:
 - Folio of Civil Drawings Marly Trainer Pty Ltd 43A Pirie St New Town, by ALDANMARK Consulting Engineers.
 - Specifically: Road and Stormwater Plan, Sheet C102 Rev.3, 15/07/2025.
- The site and tree were inspected on 7/07/2025.

2. Summary of findings

- The proposed works are likely to have a negligible impact on the mature Linden.
- See Section 4 for tree protection and general management notes.



3. Proposed works near the Linden tree

- New stormwater and sewerage infrastructure (Figure 2).
 - The trenches for both the stormwater and sewerage plumbing will extend outside of the tree’s TPZ.

- Expansion of the formal car parking area. The area surrounding the Linden has been used for formal and informal car parking in the past and includes concrete grass pavers and a concrete driveway.
 - The grass pavers within the TPZ will be retained.
 - The new concrete parking area would encroach into the tree’s TPZ (see Table 1).
 - Soil surface beyond the formally paved areas is already compacted by historic vehicle traffic.

Table 1. Dimensions of structural and tree protection zone.

TREE	SPECIES	DAB	DBH	H/S	SRZ	TPZ	Encroachment	Enc %	Ret.
1	Tilia cordata	0.86	0.75	G/G	3.1	9.0	Concrete car park	3	Y

Tree – tree number in Fig. 2
 SPECIES - botanic name of tree.
 DAB - trunk diameter above root flare (m)
 DBH. - DBH, at 1.4m (m)
 H/S - assessment of tree health / structure (G- good, F- fair, P- poor, D- dead)
 SRZ - structural root zone radius (m)*
 TPZ - standard tree protection zone radius (m)*
 Encroachment - nature of encroachment over TPZ
 Enc % – proportion of standard TPZ encroached by the proposed development
 RET. - Potential for retention within the scope of the proposed development:
 Y – yes, N – no, ? – consider retention

- - SRZ and TPZ dimensions were guided by AS 4970-2009, Protection of trees on development sites.



Figure 3. Grass pavers (to the right of the trunk) and the surround garden bed at the base of the trunk.

4. Tree protection notes

TPZ – “A specified area above and below the ground and at a given distance from the trunk set aside for the protection of a tree’s roots and crown to provide for the viability and structural stability of a tree... (AS 4970-2009).” Such areas are to exclude vehicular traffic, storage of materials and disposal of building waste.

- Only a modified tree protection can be established at this site due to the need to maintain access over the existing concrete driveway that passes over some of the tree’s TPZ.
 - Despite the preexisting compaction damage over the northern section of the Linden’s root zone, a TPZ barrier (as a minimum stakes supporting barrier mesh) should be erected and observed around the northern half of the TPZ and the existing garden around the trunk bordered by the driveway to the south.
- Building materials, debris or soil spoil must not be stored within the TPZ, including over the grass pavers within the TPZ.
 - Sheet C106 Rev. 0 in the drawings folio shows a designated stockpile area. This area needs to be clear of the TPZ.
- It is unlikely that large roots (>50 mm in diameter) will be encountered during the proposed works. Seek further advice from an arborist regarding the management of roots or above ground parts of the Linden during the build, if required.

General tree management notes

- The crown has been lopped at 10 m – 12 m above the ground in the distant past. Some decay is expected at the historic lop cuts. The decay not expected to be structurally significant at this time.
- Storm damage to branches is evident in the crown. A broken branch is hung up in the upper mid-crown. Consider removal of the damaged branch.
- The lower trunk of the tree is grown over by ivy (Figure 1 and 3). In interest of the tree’s long-term vitality, removal of the ivy off the trunk is recommended.



Figure 4. The Linden has been lopped in the past. A small hanger is lodged in the upper mid-trunk.

Marly Trainer Pty Ltd
c/- Suite 2, 1451 Pittwater Road
Narrabeen NSW 2101

4 June 2025

Dan Bourk
Hobart City Council

Dear Mr Bourk

43A Pirie Street, New Town TAS - FolioPlan 107319 ('Property')
Response to Further RFIS

We kindly request that the change of use application be amended to withdraw reference to 'visitor accommodation'. The building will be used solely as a 'boarding house' and the change of use application is limited to that use only.

Enclosed with this cover letter are photographs of the existing site conditions for the proposed car parking area.

On the basis that the proposed use is now solely a boarding house, we note that:

- (a) A boarding house, hostel, or residential college use requires 1 parking space per staff member and 1 space for every 3 licensed residents. The boarding accommodation rooms are expected to be occupied by single residents;
- (b) The proposed development, which includes 21 rooms (with no on-site employees), requires according to the planning scheme, 8 on-site car parking spaces only;
- (c) Council's records indicate that 2 car spaces are already approved for this site; and
- (d) The current application proposes to increase the number of car spaces to 8 to comply with the planning scheme.

Should you require any further supporting information, please let us know.

Regards
Marly Trainer Pty Ltd



Rachelle Rocha
Managing Director



Traffic Impact Statement



Redevelopment at 43A Pirie Street, New Town



May 2025

Disclaimer: This report has been prepared based on and in reliance upon the information provided to Hubble Traffic Pty Ltd by the client and gathered by Hubble Traffic Pty Ltd during the preparation of the report. Whilst all reasonable skill, care and diligence has been used in preparation of the report, Hubble Traffic Pty Ltd take no responsibility for errors or omissions arising from misstatements by third parties.

This report has been prepared specifically for the exclusive use of the client named in the report and to the extent necessary, Hubble Traffic Pty Ltd disclaim responsibility for any loss or damage occasioned by use of or reliance upon this report, or the date produced herein, by any third party.

Version	Date	Reason for Issue
Draft	November 2024	Draft issued for client feedback
Final	February 2025	Final issued
Updated	April 2025	Updated floor plans
Updated	May 2025	RFI on parking numbers



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1. Introduction

A development application for 43A Pirie Street, New Town, was lodged with the City of Hobart Council (Council), who has requested further information to address the following three clauses of Hobart Interim Planning Scheme 2015:

- E6.6.2 – Number of Accessible Car Parking Spaces for People with a Disability,
- E6.7.5 – Design of Parking Areas, and
- E6.7.6 – Surface Treatment.

Rachelle Rocha on behalf of the developer, has engaged Hubble Traffic to prepare an independent Traffic Impact Statement to respond to Council's RFI.

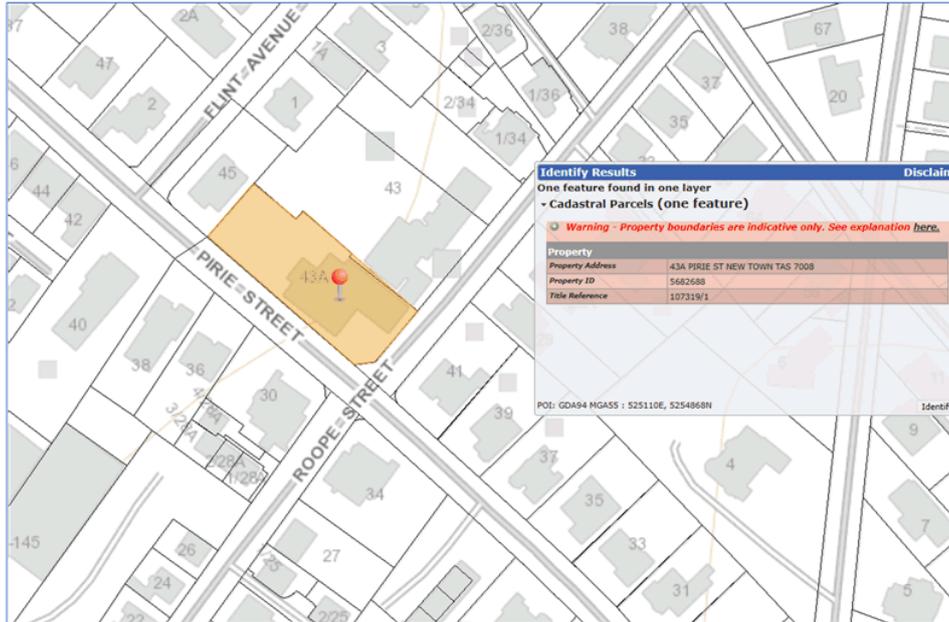
This assessment has referred to the following information and resources:

- Hobart Interim Planning Scheme 2015
- Australian Standard 2890.1:2004 Off-street car parking document, (the Standard)
- Tasmanian Planning Scheme (planning scheme), and
- Autoturn vehicle swept path software.

2. Site description

Located at 43A Pirie Street, New Town, and situated within an established urban residential area, the development site is a large rectangular shaped parcel of land, with an existing building situated on the eastern side of the site. The site has road frontage to both Pirie Street and Roope Street, and an existing vehicular access to Pirie Street, which also serves the adjacent property at 43 Pirie Street.

Diagram 2.0 – Extract from Land Information System Tasmania Database



3. Development proposal

The proposal involves redeveloping the existing single-storey building and adding a first-floor level, to offer accommodation, specifically for boarding house and visitor lodging. Total of 21 rooms, 17 designated for boarding house use and four reserved for visitor accommodation.

The vehicular access to Pirie Street will be retained in its current format and continue to provide access to the adjacent property. Additionally, the informal on-site parking will be upgraded to a formal car park, providing 11 on-site parking spaces, including one accessible space.

Diagram 3.0A – Development proposal

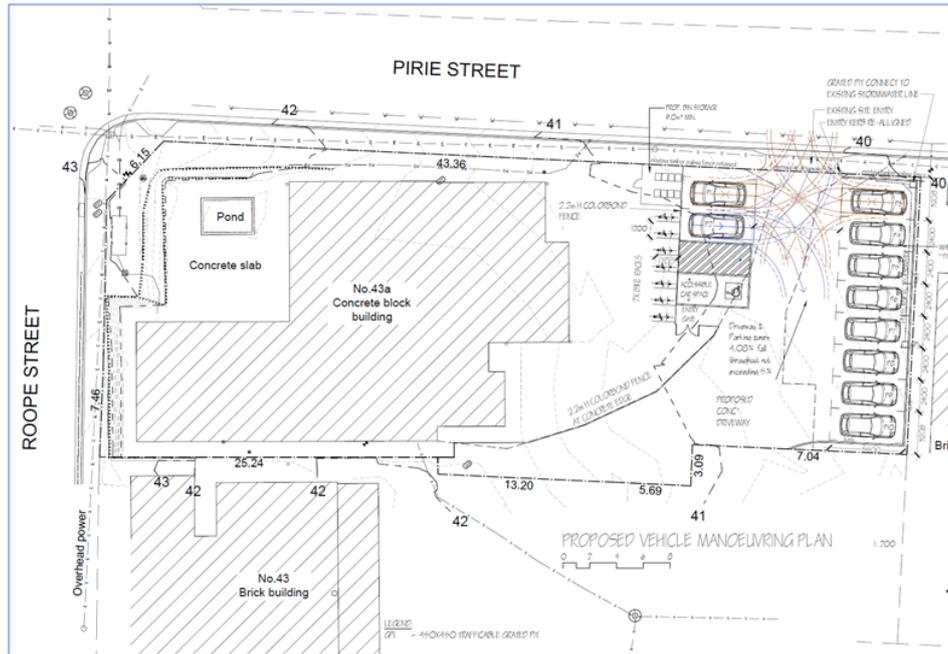


Diagram 3.0B – Proposed ground floor plan

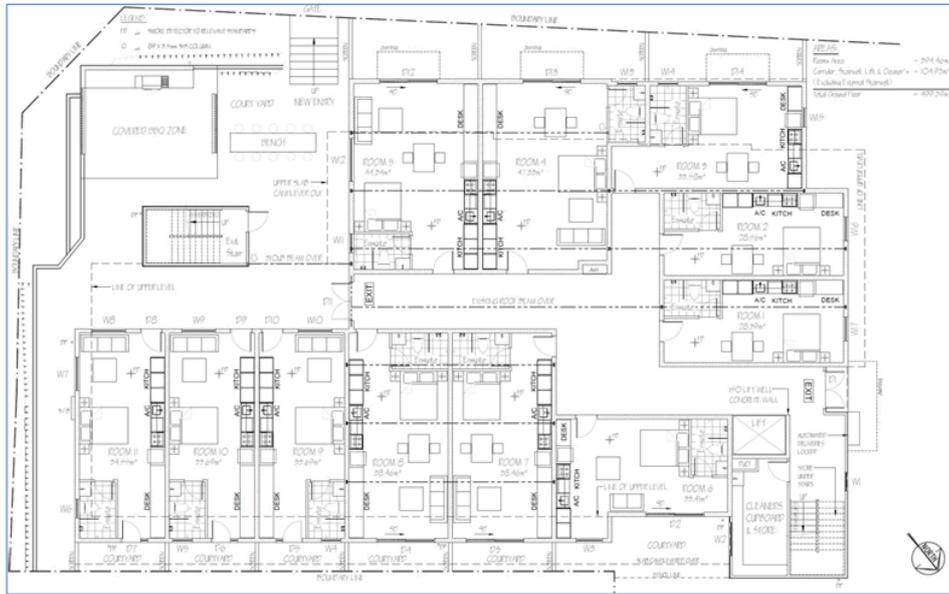
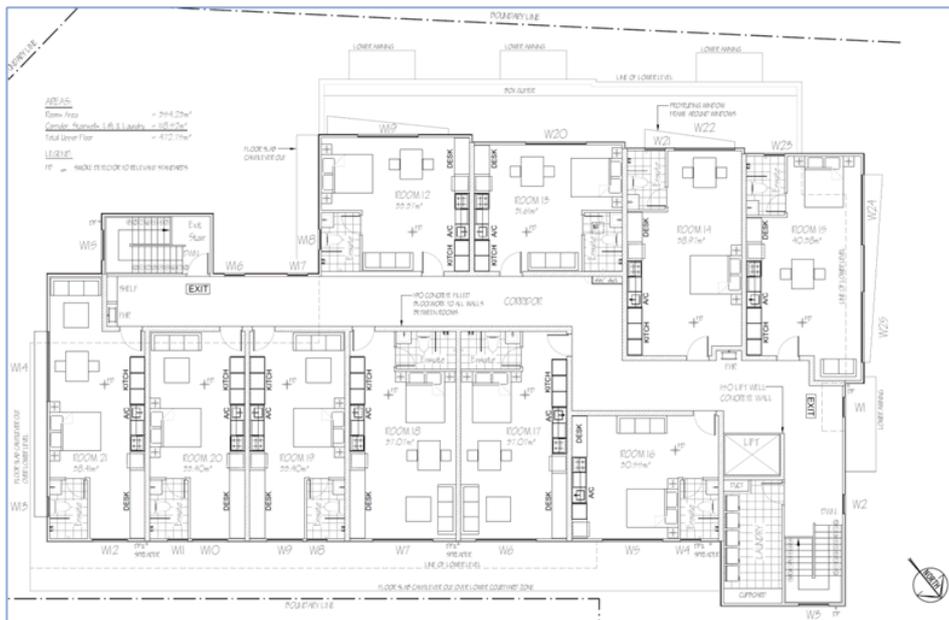


Diagram 3.0C – Proposed first floor plan

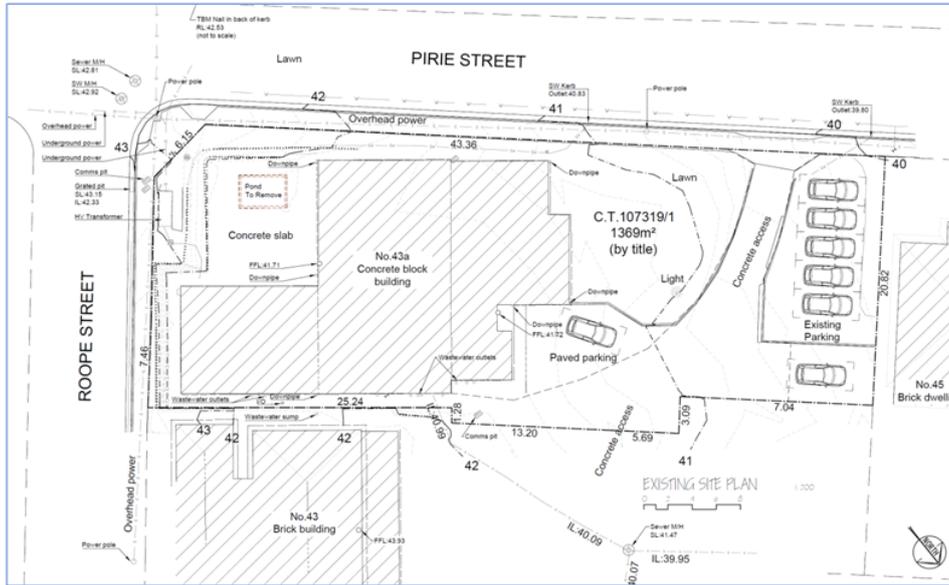


T: 0416 064 755
E: Hubbletraffic@outlook.com

4. On-site parking and internal layout

To achieve the on-site internal parking layout, two or more of the four large trees at the location will need to be removed. The developer has indicated that these trees are not native, or heritage listed.

Diagram 4.0 – Existing layout



4.1. Number of car parking spaces

According to planning scheme table E6.1, the building will have two on-site uses: 17 rooms classified as boarding house, hostel, or residential college, and four rooms classified as visitor accommodation.

A boarding house, hostel, or residential college use requires one parking space per staff member and one space for every three licensed residents, while visitor accommodation requires one parking space per room.

The boarding accommodation rooms are expected to be occupied by a single resident. Although the developer has advised there will be no employees, a building manager will be engaged, who may generate an infrequent parking demand for one space.

Table 4.1 - Number of on-site car parking spaces required for the on-site uses

Activity	Use	Planning scheme requirements	Number of residents / rooms	Number of parking spaces
Boarding rooms	Boarding house or hostel or residential college	One space for each staff member and one for every three licensed residents	17	6
Visitor accommodation	Visitor accommodation	One space per room	4	4
Total				10

According to the planning scheme, this use requires 10 on-site car parking spaces as illustrated in the table above. The developer will provide 11 spaces, including one accessible space, to reduce parking overflow. This number of spaces meets the planning scheme acceptable solution.

4.2. Layout and dimensions of the on-site car parking spaces

The parking spaces have been designed to comply with the dimensions specified in the Standard, as user class 1A, suitable for a residential or domestic use. These spaces will be ninety degrees to the parking aisle, with intermediate spaces to be 2.4 metres wide, and end spaces 3.2 metres wide as they are located against a vertical obstruction higher than 150 millimetres. All parking spaces will be 5.4 metres long and supported with a minimum parking aisle width of 6.4 metres.

All parking spaces will be delineated with pavement markings and supported with wheel stops.

4.3. Gradient of parking spaces

On-site measurements determined that the gradient of the natural ground surface, where the parking spaces are to be located, ranges from four to five percent. This allows for the construction of parking spaces with a gradient not exceeding five percent, in compliance with Section 2.4.6 of the Standard.

4.4. Design of internal driveway

The design incorporates an internal driveway extending from Pirie Street, through the development site and connecting with the adjacent property. This driveway will be constructed with a concrete surface, with a minimum width of 6.4 metres to facilitate two-way traffic flow.

The layout will use the natural topography and kerbing along the northwest side, to collect and direct surface water to grated pits, feeding in to an appropriate stormwater system.

4.5. Gradient of the internal driveway

The natural ground topography is reasonably flat, with the internal driveway gradients not exceeding five percent, as noted on the architects plan. This design allows vehicles to enter and leave the site without experiencing any ground clearance issues.

4.6. Existing vehicular access

The Pirie Street vehicular access and paling fence will be retained in its current arrangement. The access is 5.8 metres wide and suitable to accommodate two-way traffic flow, with the 9.1 metre gap in the paling fence providing drivers leaving the driveway, suitable sight lines to see pedestrians or cyclists using the public footpath, to avoid conflict.

Photograph 4.6 – Existing vehicular access



4.7. On-site turning and vehicle manoeuvrability

The design layout provides sufficient manoeuvring area behind all parking spaces, to allow for vehicles to enter and leave in an efficient manner, complying with the Standard for user class 1A, suitable for residential and domestic users.

In the following diagrams, vehicle swept path software has been used to demonstrate the swept path of a B85 vehicle entering and leaving a selection of the parking spaces, including the accessible parking space.

In the swept path diagrams, the vehicle outline is indicated by the red line, while the green line represents a 300 millimetre lateral clearance.

Diagram 4.7A – Swept path of B85 vehicle leaving parking spaces 3, 5, 7, and 9

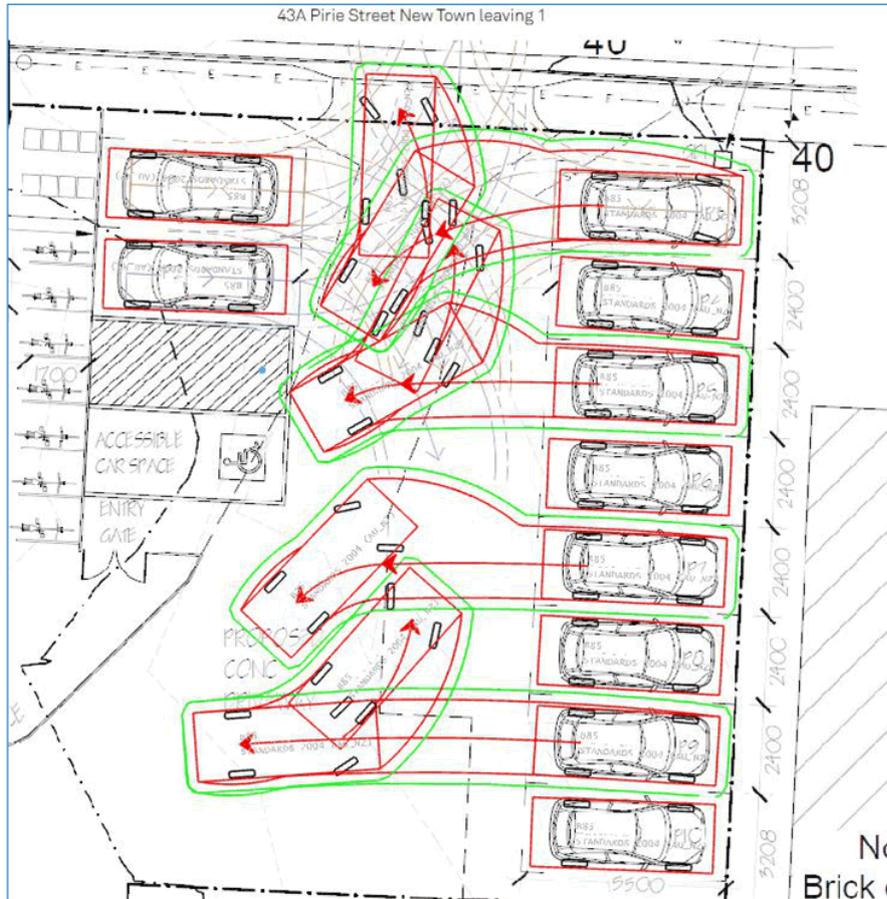


Diagram 4.7B – Swept path of B85 vehicle leaving parking spaces 4, 6, 8, and 10

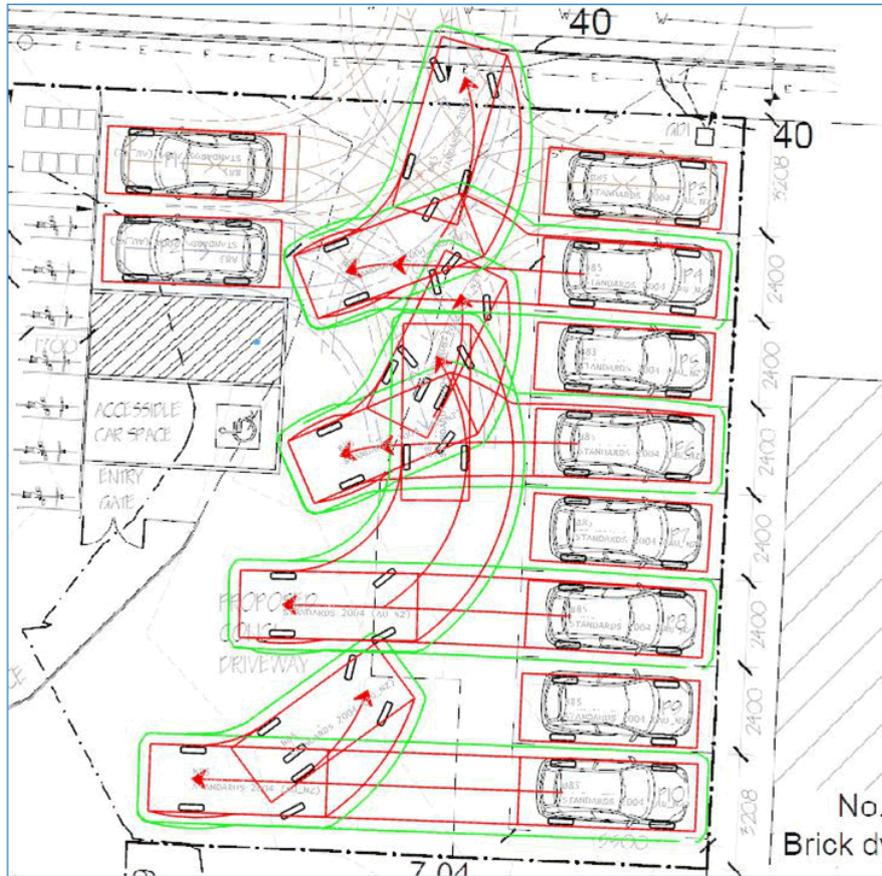


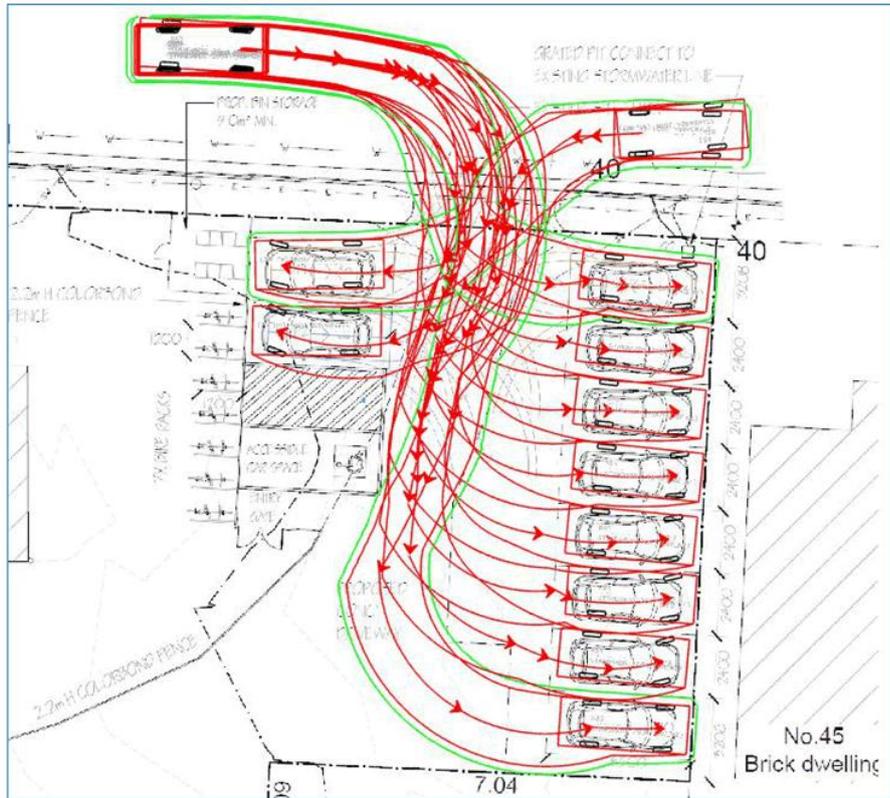
Diagram 4.7C – Swept path of B85 vehicle leaving parking spaces 1 and 2



Diagram 4.7D – Swept path of B85 vehicle entering and leaving the accessible parking space



Diagram 4.7E – Swept path of B85 vehicle entering all parking spaces



5. Planning scheme

5.1. E6.6.1 – Number of Car Parking Spaces

The planning scheme table E6.1 requires 10 on-site parking spaces for the accommodation development. The development includes 11 spaces, with one being an accessible space, thereby meeting the minimum requirement under the planning scheme and reducing potential overflow parking.

Despite the absence of employees, the additional space will facilitate the occasional presence of the building manager, enhancing convenience for users and visitors. This can be accomplished without adversely affecting pedestrian movement or landscaping.

The inclusion of one additional parking space must be justified under the performance criteria P1, as outlined in the table below.

Criteria	Assessment
Objective: The number of on-site car parking spaces must be sufficient to meet the reasonable needs of users, having regard to all of the following:	
a) Car parking demand;	The intended use is anticipated to require 10 parking spaces. An additional space will be provided to enhance amenities for users, visitors, and the building manager without adversely affecting pedestrian movement or landscaping.
b) The availability of on street and public car parking in the locality;	No applicable, the use is not relying on parking outside of the site.
c) the availability and frequency of public transport within a 400m walking distance of the site;	Nor applicable
d) the availability and likely use of other modes of transport;	Not applicable
e) the availability and suitability of alternative arrangements for car parking provision;	Not applicable
f) any reduction in car parking demand due to the sharing of car parking spaces by multiple uses, either because of variation of car parking demand over time or because of efficiencies gained from the consolidation of shared car parking spaces;	Nor applicable
g) any car parking deficiency or surplus associated with the existing use of the land;	Not applicable
h) any credit which should be allowed for a car parking demand deemed to have been provided in association with a use which existed before the change of parking requirement, except in the case of	Not applicable

substantial redevelopment of a site;	
i) the appropriateness of a financial contribution in lieu of parking towards the cost of parking facilities or other transport facilities, where such facilities exist or are planned in the vicinity;	Not applicable
j) any verified prior payment of a financial contribution in lieu of parking for the land;	Not applicable
k) any relevant parking plan for the area adopted by Council;	Not applicable
l) the impact on the historic cultural heritage significance of the site if subject to the Local Heritage Code;	Not applicable
m) whether the provision of the parking would result in the loss, directly or indirectly, of one or more significant trees listed in the Significant Trees Code.	Not applicable

5.2. E6.6.2 – Number of Accessible Car Parking Spaces for People with a Disability

Under the National Building Code, the building is classified as a Class 3 building, where the number of accessible parking spaces is calculated by multiplying the total number of car parking spaces by the percentage of:

- (a) accessible sole-occupancy units to the total number of sole-occupancy units, or
- (b) accessible bedrooms to the total number of bedrooms.

The developer has advised that none of the bedrooms are designed as accessible, and none of the occupants are expected to be accessible users, and therefore not generating a need for an accessible parking space.

Although accessible users are not expected to be accommodated within this building, the parking layout includes one accessible parking space, supported by a shared zone and located as close as possible to the entrance of the building, and designed to comply with AS2890.6 Part 6: Off-street parking for people with disabilities

The one accessible parking spaces complies with the acceptable solution A1.

5.3. E6.7.5 – Design of Parking Areas

The layout of the parking and circulation areas have been designed to comply with user class 1A of the Standard, ensuring that vehicles can enter and leave the development site in a forward-driving direction, and leave in a safe and efficient manner.



All parking spaces will be delineated with appropriate line markings, supported with wheel stops, and located on a gradient that shall not exceed five percent.

This design complies with the acceptable solution A1.



5.4. E6.7.6 – Surface Treatment

The internal driveway and parking spaces will be constructed with a hard-wearing concrete surface, with suitable grades to direct the surface water to grated pits, feeding into an approved stormwater drainage system, complying with the acceptable solution A1.



6. Conclusion

From a traffic engineering and road safety perspective, the proposed parking layout will comply with the relevant planning scheme and Australian Standards, providing a suitable level of service, as:

- the development will have sufficient parking spaces to meet the expected demand,
- layout includes one accessible parking space,
- on-site parking spaces have been designed to comply with user class 1A of the Standard, supported with suitable manoeuvring areas, allowing all vehicles to enter and exit parking spaces safely and efficiently,
- all vehicles can enter and leave the development site in a forward-driving direction, without adversely impacting other users,
- internal gradients will be compliant for a residential use, and
- the vehicular access with Pirie Street is suitable to accommodate two-way traffic flow and will be retained.

This assessment found no reason why this development should not proceed.



FOLIO PLAN

RECORDER OF TITLES

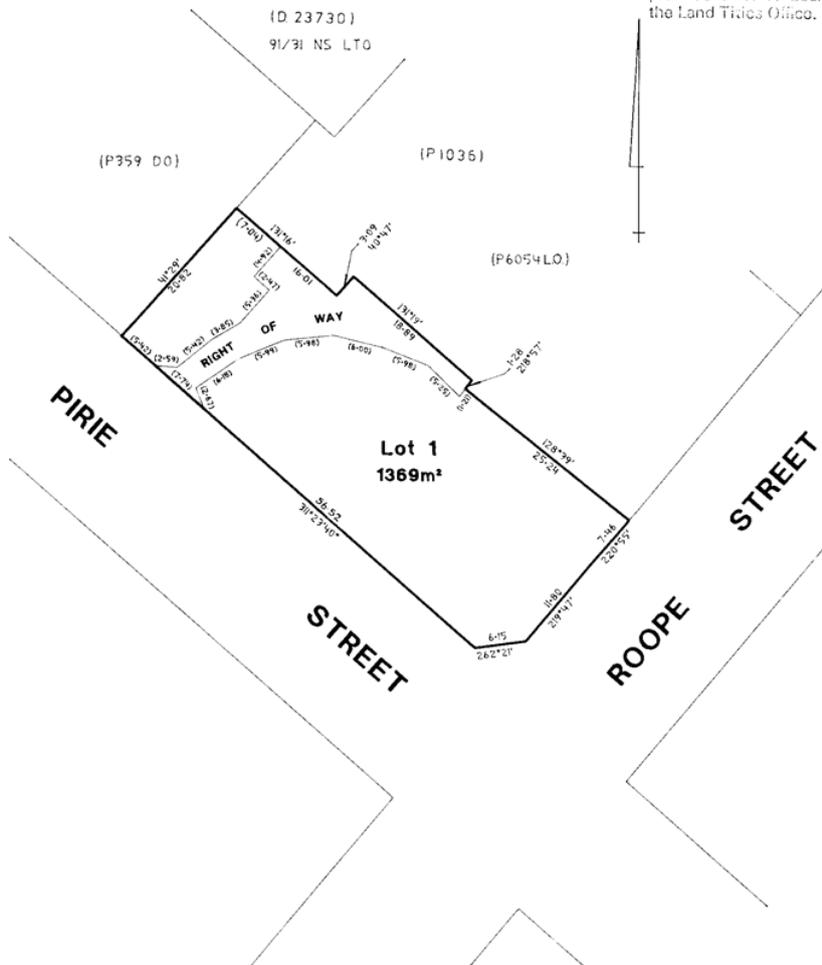
Issued Pursuant to the Land Titles Act 1980



OWNER THE CROWN FOLIO REFERENCE Form (24/9576 SURR.) SEC. 27 B 691087 GRANTEE Part of 1574/26 Granted to Charles Swanston WHOLE OF LOT 1, 1369m ² THE CROWN	PLAN OF SURVEY BY SURVEYOR LOCATION CITY OF HOBART SCALE 1: 500 LENGTHS IN METRES		REGISTERED NUMBER D107319 APPROVED EFFECTIVE FROM 7 SEP 1993 Recorder of Titles
	TASMAR MUN No 21 (SHEET No. 5225)	LAST UPI No. 6247	LAST SURVEY PLAN No.P6054.LO

COMPILED PLAN

This plan was prepared by the Survey Department for the Department of Natural Resources and Environment for the purposes of the section 37A of the Land Titles Act, 1980. It is prepared with particular care but has not been examined at the Land Titles Office.



930596

COMPILED FROM P6054



RESULT OF SEARCH

RECORDER OF TITLES
 Issued Pursuant to the Land Titles Act 1980



SEARCH OF TORRENS TITLE

VOLUME 107319	FOLIO 1
EDITION 8	DATE OF ISSUE 15-Oct-2024

SEARCH DATE : 16-Oct-2024
 SEARCH TIME : 08.25 PM

DESCRIPTION OF LAND

City of HOBART
 Lot 1 on Diagram 107319
 Derivation : Whole of Lot 1, 1369 m2 Granted to The Crown
 Derived from X5571 Application B691087

SCHEDULE 1

N222466 TRANSFER to MARLY TRAINER PTY LTD Registered
 15-Oct-2024 at noon

SCHEDULE 2

B691087 Land is limited in depth to 15 metres, excludes minerals and is subject to reservations relating to drains sewers and waterways in favour of the Crown
 PG 331/22BURDENING EASEMENT: Right of Carriageway [appurtenant to Folio of the Register Volume 4111 Folio 14] over the Right of Way shown on Diagram No 107319
 B675457 FENCING CONDITION in Transfer

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



RESULT OF SEARCH

RECORDER OF TITLES
 Issued Pursuant to the Land Titles Act 1980



SEARCH OF TORRENS TITLE

VOLUME 199999	FOLIO 1
EDITION 4	DATE OF ISSUE 02-Mar-2022

SEARCH DATE : 07-Mar-2024
 SEARCH TIME : 09.36 AM

DESCRIPTION OF LAND

City of HOBART
 Lot 1 on Plan 199999
 Derivation : Whole of Lot 39436 Gtd. to E.E. Hermanis & Others
 Prior CT 4111/14

SCHEDULE 1

E170212 TRANSFER to SIN KIAW KONG Registered 02-Mar-2022 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 BENEFITING EASEMENT: a right of carriageway over the land
 marked Right of Carriageway on Plan No. 199999
 E292703 MORTGAGE to BNY Trust Company of Australia Limited
 Registered 02-Mar-2022 at 12.01 PM
 N153623 CAVEAT by Wealth Plus Investment Pty Ltd and Yhshin
 Holding Pty Ltd Registered 21-Aug-2023 at noon
 N173652 CAVEAT by Australia Pacific Mortgage Fund Ltd
 Registered 06-Dec-2023 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



Tasmanian Heritage Council
GPO Box 618 Hobart Tasmania 7000
Tel: 1300 850 332
enquiries@heritage.tas.gov.au
www.heritage.tas.gov.au

PLANNING REF: PLN-HOB-2025-0170
THC WORKS REF: 8682
REGISTERED PLACE NO: 2718
APPLICANT: Rachelle Rocha
DATE: 12 August 2025

NOTICE OF HERITAGE DECISION

(Historic Cultural Heritage Act 1995)

The Place: 'Flint House', 43 Pirie Street, New Town
Proposed Works: 21 SOUs and change of use at 43a Pirie Street, underground services and tree removal at 43 Pirie Street.

Under section 39(6)(a) of the *Historic Cultural Heritage Act 1995*, the Heritage Council gives notice that it consents to the discretionary permit being granted in accordance with Development Application PLN-HOB-2025-0170.

Advice

It is recommended that the owner, and contractor are familiar with Tasmanian Heritage Council Practice Note 2 *Managing Historical Archaeological Significance in the Works Process*, and in particular section 7 related to dealing with unexpected discoveries.

Should you require clarification of any matters contained in this notice, please contact Erin Rockliffe on 1300 850 332.

A handwritten signature in purple ink, appearing to read 'Ian Boersma'.

Ian Boersma
Works Manager – Heritage Tasmania
Under delegation of the Tasmanian Heritage Council

7.2 APPLICATIONS UNDER THE SULLIVANS COVE PLANNING SCHEME 1997

7.2.1 10-14 DAVEY STREET, HOBART - PARTIAL DEMOLITION AND ALTERATIONS PLN-HOB-2025-0266 - FILE REF: F25/61049

Address:	10-14 Davey Street, Hobart
Proposal:	Partial Demolition and Alterations
Expiry Date:	21 August 2025
Extension of Time:	Not applicable
Author:	Deanne Lang

RECOMMENDATION

That pursuant to the *Sullivans Cove Planning Scheme 1997*, the Planning Committee, in accordance with the delegations contained in its terms of references approves the application for Partial Demolitions and Alterations at 10-14 DAVEY STREET HOBART TAS 7000 for the reasons outlines in the officer's report and a permit containing the following conditions be issued:

GEN – General

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-HOB-2025-0266 - 10-14 Davey Street Hobart 7000 - Final Planning Documents except where modified below.

THC – General

The use and/or development must comply with the requirements of the Tasmanian Heritage Council as detailed in the Notice of Heritage Decision, THC Works Ref:8687 dated 7 August 2025, as attached to the permit.

TR 2 - Traffic - Construction Management

A construction traffic and parking management plan must be implemented throughout the construction works.

The construction traffic and parking management plan (CTPMP) (including cars, public transport vehicles, service vehicles, pedestrians and cyclists) must be submitted and approved as a condition endorsement prior to the commencement of work on the site. The CTPMP must be prepared by a suitably qualified expert and must include:

1. A communications plan to advise the wider community of the traffic and parking impacts during construction, including pedestrian impacts;
2. Start dates and finish dates of various stages of works;
3. Times that trucks and other traffic associated with the works will be allowed to operate; and
4. The name of a superintendent, or the like, to advise the City of Hobart of the progress of works in relation to the traffic and parking management with regular meetings during the works;
5. Measures to mitigate and control mud, dust and sediment within and around the site; and
6. Fencing which is proposed to secure and protect the site during construction.

All work required by this condition must be undertaken in accordance with the approved CTPMP.

HER 6

Should any features or deposits of an archaeological nature be discovered on the site during excavation or disturbance:

1. All excavation and/or disturbance must stop immediately; and
2. A qualified archaeologist must be engaged to attend the site and provide advice and assessment of the features and/or deposits discovered and make recommendations on further excavation and/or disturbance; and
3. All and any recommendations made by the archaeologist engaged in accordance with 2. above must be complied with in full; and
4. All features and/or deposits discovered must be reported to the Council with 1 day of the discovery; and
5. A copy of the archaeologist's advice, assessment and recommendations obtained in accordance with 2. above must be provided to Council within 30 days of receipt of the advice, assessment and recommendations.

Excavation and/or disturbance must not recommence unless and until approval is granted from the Council.

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The

advice is not exhaustive and you must inform yourself of any other legislation, bylaws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's website for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

BUILDING PERMIT

You may need building approval in accordance with the *Building Act 2016*. Click [here](#) for more information.

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

PLUMBING PERMIT

You may need plumbing approval in accordance with the *Building Act 2016*, *Building Regulations 2016* and the National Construction Code. Click [here](#) for more information.

SPECIAL CONNECTION PERMIT

You may need a Special Connection Permit (Trade Waste) in accordance with the *Plumbing Regulations 2014* and the Tasmanian Plumbing Code. Click [here](#) for more information.

- Attachment A: PLN-HOB-2025-0266 10-14 DAVEY ST HOBART
TAS 7000 Planning Committee Report ↓ 
- Attachment B: PLN-HOB-2025-0266 - 10_14 DAVEY STREET
HOBART TAS 7000 -Committee Planning
Documents ↓ 



PLANNING ASSESSMENT REPORT

Type of Report:	Committee The development has been assessed under the <i>Sullivans Cove Planning Scheme 1997</i> .
Committee:	20 August 2025
Expiry Date:	21 August 2025
Application No:	PLN-HOB-2025-0266
Address:	10-14 DAVEY ST HOBART TAS 7000
Proposal:	Partial Demolition and Alterations
Applicant:	Dan Knight
Advertisement:	The application was advertised between 18 July 2025 and 1 August 2025.
Representations:	No representations were received during the statutory advertising period.
Zone:	Sullivans Cove 2.0 Mixed Use
Performance criteria:	Schedule 1 –Conservation of Cultural Heritage Significance and Places of Archaeology – 22.4.5 Schedule 7 Demolition on a Place of Cultural Significance – 28.8.1-28.8.3
Delegation:	The final decision is delegated to the Planning Committee as the proposed works are within a Council owned building which is upon Council owned land.
Recommendation:	Approval, subject to conditions

1. Proposal

- 1.1. Planning approval is sought for the Partial Demolition and Alterations.
- 1.2. More specifically, the proposal includes:
 - Internal demolition of structures, walls, doors, steps, floorboards and the like;
 - Removal of external light fixtures;
 - Internal layout changes and fitout works, including new walls and platform lift;
 - No changes to existing hours of operation; and

PLN-HOB-2025-0266 10-14 DAVEY ST HOBART TAS 7000- Planning Committee Report

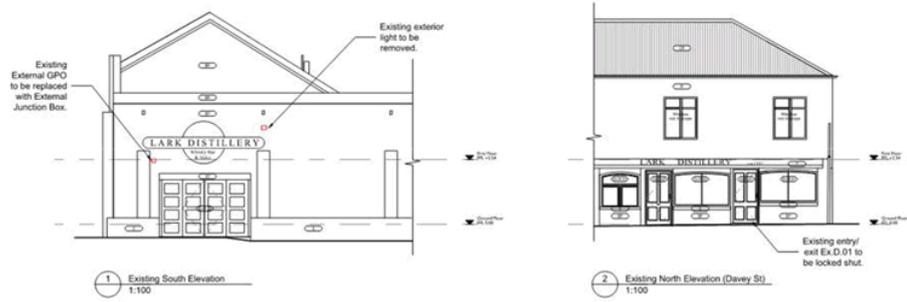


Fig. 3 existing elevations

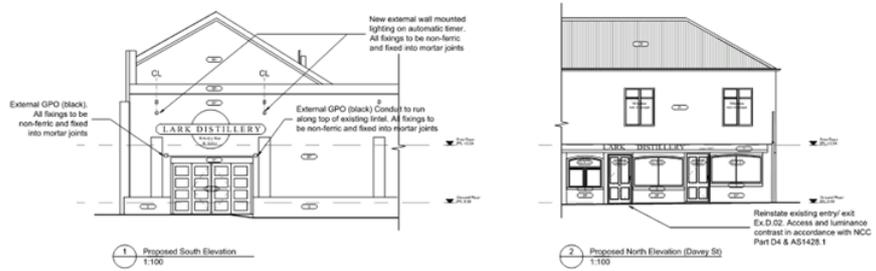


Fig. 4 – proposed elevations

PLN-HOB-2025-0266 10-14 DAVEY ST HOBART TAS 7000- Planning Committee Report

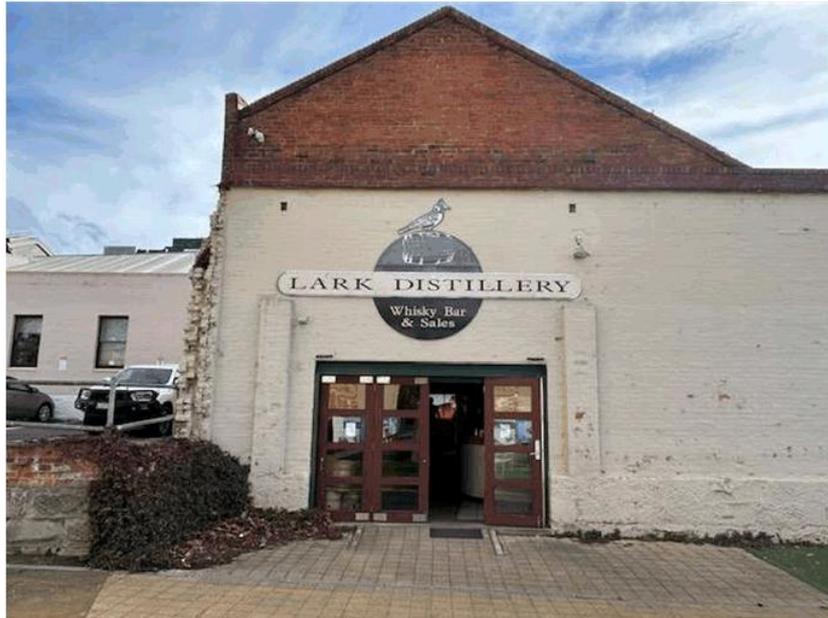


Fig. 5 – the rear of the side – the existing spotlights will be removed and new lighting installed

Source Development Appraisal Planner

2. Site Detail

- 2.1. The subject site is Lot 1 of title 32426, or is more commonly known as 10-14 Davey Street, Hobart, and is a corner allotment. Currently, the site is operating as LARK Distillery within the shop with entrance from Davey Street and the rear of the building from Argyle Street.

PLN-HOB-2025-0266 10-14 DAVEY ST HOBART TAS 7000- Planning Committee Report



Figure 6: Aerial of site (in yellow)

Source: Council GIS Map



Figure 7: subject building facing Davey Street. The works are to the right hand side of the building "Lark Distillery".

Source Development Appraisal Planner

3. Background

- 3.1. Use approval was approved under PLN-201015 in November 2000

PLN-HOB-2025-0266 10-14 DAVEY ST HOBART TAS 7000- Planning Committee Report

- 3.2. An extension to this use was approved under PLN-210843 in October 2001 for “Alterations and Extension to Café/Distillery (Access Through Rear Wall and Outdoor Dining) and Sign”
- 3.3. General Manager’s Consent (GMC-HOB-2025-0021) for the proposed works was granted on 23 June 2025.

4. Representation

- 4.1. No representations were received during the statutory advertising period.

5. Assessment

- 5.1. The *Sullivans Cove Planning Scheme 1997* is a performance based planning scheme. To meet an applicable standard, a proposal must demonstrate compliance with either an acceptable solution or a performance criterion. Where a proposal complies with a standard by relying on one or more performance criteria, the Council may approve or refuse the proposal on that basis. The ability to approve or refuse the proposal relates only to the performance criteria.
- 5.2. This site is located within the Sullivans Cove 2.0 Mixed Use of the *Sullivans Cove Planning Scheme 1997*.
- 5.3. The existing use is defined as a hotel which is a discretionary use in Sullivans Cove 2.0 Mixed Use Activity Area. The works are ancillary to the existing use and will not change the use of the land.
- 5.4 The proposal has been assessed against:
 - 5.4.1 Parts A and B – Strategic Framework
 - 5.4.2 Part D – Clause 16 - Activity Area Controls
 - 5.4.3 Schedule 1 – Conservation of Cultural Heritage Values
 - 5.4.4 Schedule 7 – Demolition
- 5.5 The proposal relies on the following criteria to comply with the acceptable standards:
 - 5.5.1 Schedule 1 – Conservation of Places of Cultural Significance – 22.3.4
 - 5.5.2 Schedule 7 – Demolition on a Place of Cultural Significance – 28.8.1- 28.8.3
- 5.6 Each of the performance criteria is assessed below:

PLN-HOB-2025-0266 10-14 DAVEY ST HOBART TAS 7000- Planning Committee Report

5.7.	Schedule 1 – Conservations of Cultural Heritage Values Schedule 7 - Demolition	
5.7.1		<p>The acceptable solution for building and works to a place of cultural significance must be related to works related to the conservation of a place of cultural significance.</p> <p>There is no acceptable solution for external alterations to the building appearance or structures on a Place of Cultural Significance.</p> <p>The acceptable solution for demolition requires a submission of a Conservation Plan and the provision of street elevations to show the scale and impact of the demolition on places of cultural significance</p>
5.7.2		<p>The proposal includes partial demolition and internal alterations in order to improve the quality and functionality of the interior. The works also include alterations to the external lighting.</p> <p>A Conservation Plan has not been submitted with the application, however, the applicant has submitted a Heritage Impact Assessment to support their application.</p>
5.7.3		As the proposal does not comply with the acceptable solution, it therefore relies upon assessment against the below performance criterion.
5.7.4		The performance criterion at clauses Schedule 1:22.4.5 and Schedule 7:28.8.1 provides as follows:
		<p><u>Schedule 1 - Conservation of Places of Cultural Significance</u></p> <p><i>'Building or works' on places of cultural significance which cannot satisfy the 'deemed to comply' provisions of Clause 22.4.4 may be approved at the discretion of the Planning Authority. The following criteria must be taken into consideration in the assessment of all proposals to undertake 'building or works' on places of cultural significance:</i></p> <ul style="list-style-type: none"> • <i>'Building or works' must complement and contribute to the cultural significance, character and appearance of the place and its setting;</i> • <i>'Building or works' must be in compliance with the conservation strategy of an approved Conservation Plan, where required and/or provided;</i> • <i>The location, bulk and appearance of 'building or works' must not adversely affect the heritage values of any place of cultural significance;</i>

PLN-HOB-2025-0266 10-14 DAVEY ST HOBART TAS 7000- Planning Committee Report

		<ul style="list-style-type: none"> • <i>'Building or works' must not reduce the apparent authenticity of places of cultural significance by mimicking historic forms;</i> • <i>'Building or works' may be recognisable as new but must not be individually prominent;</i> • <i>The painting of previously unpainted surfaces is discouraged.</i> <p><u>Schedule 7 - Demolition to a Place of Cultural Significance</u></p> <p><i>Where the application involves the demolition of a building on a Place included in Table 1 of Schedule 1 – Conservation of Cultural Heritage Values then the application must satisfy the following:</i></p> <p><i>The requirement of Clause 22.4.3 for the submission of a Conservation Plan, and</i></p> <p><i>The provision of street elevations or 'true perspectives' to show the scale and impact of the demolition on places of cultural significance and the streetscape.</i></p>
	5.7.5	The application was referred to Council's Cultural Heritage Officer, who provided the following report:
		<p>Proposal:</p> <p>This application is for works to a Council owned property used as a bar. The bar has been operating in this location for some time and this application is to upgrade and elevate the interior public spaces and facilities.</p> <p>Assessment:</p> <p>The proposed works are internal to the existing Lark Distillery and Bar with the exception of changes to the lighting on the south east elevation from the outdoor seating area.</p> <p>New work includes:</p> <ul style="list-style-type: none"> • Removal of floating floor, steps and handrail (handrail only to main staircase to the upper level) and new platform lift and handrails • Removal of bar and all fixtures and fittings • Removal of all bathroom walls, fittings and fixtures and a new compliant WC configuration. • Decommissioning of mezzanine alongside the raising of floor to increase head height below. • Removal of miscellaneous non-significant walls and cupboards etc. <p>The application is supported by a Heritage Impact Statement prepared by Purcell and the full scope of works is described within.</p> <p>An assessment against clause 22.4.5 has been undertaken in the HIA and makes a number of conclusions that are accepted. In summary, it concludes</p>

PLN-HOB-2025-0266 10-14 DAVEY ST HOBART TAS 7000- Planning Committee Report

		<p>the proposed internal work is considered acceptable as it is recognisably new but of a scale, form and configuration that does not alter the appearance or character of the interior improving the functionality and quality of the interior.</p> <p>The proposed new work is considered to satisfy clause 22.4.5.</p> <p>The demolition is limited to modern and non-significant fitout with the HIA identifying the significant fabric to be retained and protected.</p> <p>The proposed demolition is not considered to impact on the cultural heritage values of the place and wider Sullivans Cove. The proposal is considered to satisfy clauses 28.8.1 (submission documentation not required), 28.8.2 and 28.8.3 (submission documentation not required).</p> <p>In the event of unanticipated finds it is recommended that a condition of permit be included that requires a qualified archaeologist to be engaged.</p> <p>Conclusion</p> <p>The proposal satisfies the above provisions of the Sullivans Cove Planning Scheme 1997.</p>
5.7.6		The proposal complies with the performance criterion.

6 Discussion

6.1 As discussed in Section 5 – Assessment of this report, the proposal relies upon performance criteria to satisfy the standards and codes of the relevant planning scheme. The proposal has been assessed against the provisions of section 57 of the *Land Use Planning and Approvals Act 1993* and is considered to perform well.

7 Conclusion

7.1 The proposed Partial Demolition and Alterations at 10-14 DAVEY ST HOBART TAS 7000 satisfies the relevant provisions of the Sullivans Cove Planning Scheme 1997, and as such is recommended for approval, subject to conditions.

8 Recommendations

That Pursuant to the Sullivans Cove Planning Scheme 1997, the Planning Committee, in accordance with the delegations contained in its terms of references approves the application for Partial Demolitions and Alterations at 10-14 DAVEY STREET HOBART TAS 7000 for the reasons outlines in the officer’s report and a permit containing the following conditions be issued:

PLN-HOB-2025-0266 10-14 DAVEY ST HOBART TAS 7000- Planning Committee Report

GEN - General

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-HOB-2025-0266 - 10-14 Davey Street Hobart 7000 - Final Planning Documents except where modified below.

THC - General

The use and/or development must comply with the requirements of the Tasmanian Heritage Council as detailed in the Notice of Heritage Decision, THC Works Ref:8687 dated 7 August 2025, as attached to the permit.

TR 2 - Traffic - Construction Management

A construction traffic and parking management plan must be implemented throughout the construction works.

The construction traffic and parking management plan (CTPMP) (including cars, public transport vehicles, service vehicles, pedestrians and cyclists) must be submitted and approved as a condition endorsement prior to the commencement of work on the site . The CTPMP must be prepared by a suitably qualified expert and must include:

1. A communications plan to advise the wider community of the traffic and parking impacts during construction, including pedestrian impacts,
2. Start dates and finish dates of various stages of works,
3. Times that trucks and other traffic associated with the works will be allowed to operate; and
4. The name of a superintendent, or the like, to advise the City of Hobart of the progress of works in relation to the traffic and parking management with regular meetings during the works.
5. Measures to mitigate and control mud, dust and sediment within and around the site;
6. Fencing which is proposed to secure and protect the site during construction.

All work required by this condition must be undertaken in accordance with the approved CTPMP.

HER 6

Should any features or deposits of an archaeological nature be discovered on the site during excavation or disturbance:

1. All excavation and/or disturbance must stop immediately; and
2. A qualified archaeologist must be engaged to attend the site and provide advice and assessment of the features and/or deposits discovered and make recommendations on further excavation and/or disturbance; and

PLN-HOB-2025-0266 10-14 DAVEY ST HOBART TAS 7000- Planning Committee Report

3. All and any recommendations made by the archaeologist engaged in accordance with 2. above must be complied with in full; and
4. All features and/or deposits discovered must be reported to the Council with 1 day of the discovery; and
5. A copy of the archaeologist's advice, assessment and recommendations obtained in accordance with 2. above must be provided to Council within 30 days of receipt of the advice, assessment and recommendations.

Excavation and/or disturbance must not recommence unless and until approval is granted from the Council.

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, bylaws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's website for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

BUILDING PERMIT

You may need building approval in accordance with the *Building Act 2016*. Click [here](#) for more information.

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

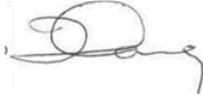
PLUMBING PERMIT

You may need plumbing approval in accordance with the *Building Act 2016*, *Building Regulations 2016* and the National Construction Code. Click [here](#) for more information.

SPECIAL CONNECTION PERMIT

You may need a Special Connection Permit (Trade Waste) in accordance with the *Plumbing Regulations 2014* and the Tasmanian Plumbing Code. Click [here](#) for more information.

PLN-HOB-2025-0266 10-14 DAVEY ST HOBART TAS 7000- Planning Committee Report



Deanne Lang

Development Appraisal Planner

As a signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.



Micheal McClenahan

Senior Statutory Planner

As a signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.



PlanBuild
TASMANIA

PLANNING APPLICATION

Status:

Reference

PLN-HOB-2025-0266

Address

10-14 DAVEY ST HOBART TAS 7000

Titles

32426/1

Before you start

Before you start your application, you will need to know if you require planning approval or not.

If you are unsure if you require a permit, use the [PlanBuild Tasmania Enquiry Service](#) to lodge a request for advice from the relevant Council.

Once your application has been submitted the Council will review your application. If payment has not been made, you will be sent a request for the payment of application fees via PlanBuild Tasmania.

Once the fees have been paid and the Council is satisfied with the information provided, the application will be assessed and you will be notified of the outcome.

If further action is required to assess your application you will receive an email notification containing a task to complete.

Pre-Application Advice

Have you spoken with anyone at Council about this application?

Yes - enter details below

No - continue to the next section

If yes, provide the name of the person you contacted

Spoke to Christopher Phu and Sarah Waight on 10/06/25 at council chambers

Applicant

Personal Information Removed

Owners

Personal Information Removed

Certificate(s) of Title

Selected Titles

32426/1

Total Area: 415m²

Owner Notification

Are you the sole owner of the land?

Yes - continue to the next section

No - answer question below

If no, have you notified all owners, joint or part owners of your intention to submit this application?

Yes - enter owner details below

No - you must notify all owners before proceeding with this application

List all owners, joint or part owners as recorded on the Title documents notified:
Hobart City Council

Enter the date that the last owner, joint or part owner was notified
23/06/2025

Declaration

I declare that all land owners, joint or part owners have been notified of this planning application.

Crown Land Consent

Is Crown Land involved in the proposed use or development?

- Yes - complete question below
 No - continue to the next section - see further information below
 Unsure

If yes, has written Crown Land consent been obtained?

- Yes - upload written consent
 No - application will not be progressed until consent has been provided

General Manager Consent

Is Council-owned or administered land involved in the proposed use or development?

- Yes - complete question below
 No - continue to the next section
 Unsure

If yes, has written consent been obtained from the Council General Manager?

- Yes - upload written consent
 No - application will not be progressed until consent has been provided

Proposed Use or Development

What is the reason for your planning application?

- I want to change how the property is used
 I want to use the property for visitor accommodation
 I want to subdivide
 I want to undertake a new development or alteration
 I want to do a minor boundary adjustment
 I want to put up a sign(s)
 I want to demolish
 I want to do works only
 Other

If your application is to subdivide, please enter the number of proposed lots.
0

If your application is for signage, please enter the number of signs.

Is the property a Tasmanian Heritage Listed Property?

- Yes
 No

Is the application for an EPA Activity under the Environmental Management and Pollution Control Act 1994?

- Yes
 No
 Unsure

Is the proposed use or development permitted or discretionary?

- Permitted
 Discretionary
 Unsure if permitted or discretionary

Provide a full description of the proposed use or development

Lark Distillery is proposing to renovate our existing cellar door at 14 Davey St to create a site that is more accessible and better reflects the brand and heritage of the site - removing the modern elements of the existing fit out and replacing them with finishings that are more elevated and luxurious. We are also proposing to bring the bathrooms and site up to code and improve the outdoor area with the use of loose furniture.

Will the proposed use or development involve a road reserve?

- Yes - complete the section below
- No - continue to the next section
- Unsure

If yes, enter the address(es) or locations below:

If yes, how will the road reserve be affected?

Value of Works

What is the estimated value of the works?
500000

Supporting Documents

Version	Document Date	Document Type	Description	Prepared By
1	8 May 2025	Property Title Document	FolioPlan-32426-1.pdf	Mr Dan Knight
1	8 May 2025	Property Title Document	FolioText-32426-1.pdf	Mr Dan Knight
1	23 June 2025	PlanBuild Document	General Manager Consent	Nicole Spooner
1	23 June 2025	Architectural Plans	Floor Plans	Lucy Burke-Smith
1	25 June 2025	Cover Letter	Cover Letter for Application	Mr Dan Knight
1	24 June 2025	Engineering Drawings	Electrical Engineering Blue Beam	COVA
1	25 June 2025	Heritage Impact Assessment	Heritage Impact Assessment	Mr Dan Knight

Next steps

When you have completed all the necessary fields and attached all required documents to support your application, click on the green 'Save & Submit' button at the top right of this form.

Once submitted, the Council will review your application. A request for the payment of application fees will be sent to you via PlanBuild Tasmania.

Once the fees have been paid and the Council is satisfied with the information provided, the application will be assessed and you will be notified of the outcome.

If further action is required to assess your application you will receive an email notification from PlanBuild which will tell you what you need to provide to continue the application.



GENERAL MANAGER CONSENT

Reference

GMC-HOB-2025-0021

Address

10-14 DAVEY ST HOBART TAS 7000

Titles

32426/1

Applicant

Name	Email	Phone	Address	Involvement
Mr Dan Knight	dan@larkdistilling.com	0410494946	14 Davey St, Hobart, Tasmania, Australia, 7000	Applicant

Council Reference

Council Proposed Use or Development Description

Consent Information

Information

I advise that pursuant to Section 52 of the Land Use Planning and Approvals Act 1993, I grant my consent on behalf of the Council as the owner/administrator of the above land for you to make application to the Council for a planning permit for the development described above and as per the attached documents. I granted consent pursuant to delegation, a copy of which is enclosed.

Please note that the granting of the consent is only for the making of the application and in no way should such consent be seen as prejudicing any decision the Council is required to make as the statutory planning authority.

This consent does not constitute an approval to undertake any works and does not authorise the owner, developer or their agents any right to enter or conduct works on any Council managed land whether subject to this consent or not.

If planning approval is granted by the planning authority, you will be required to seek approvals and permits from the Council as both landlord, land manager, or under other statutory powers (such as other legislation or Council ByLaws) that are not granted with the issue of a planning permit under a planning scheme. This includes the requirement for you to reapply for a permit to occupy a public space under the Council's Public Spaces By-Law if the proposal relates to such an area.

Accordingly, I encourage you to continue to engage with the Council about these potential requirements.

Please note that the General Manager Consent only applies to the lease area of Lark Distillery.

Signatory

Signed: Michael Stretton

Signature applied by: Nicole Spooner

Supporting Documents

Version	Document Date	Document Type	Description	Prepared By
2	28 May 2025	Architectural Plans	Floor plans of the proposed development	Lucy Burke-Smith

Submitted on 23/06/2025



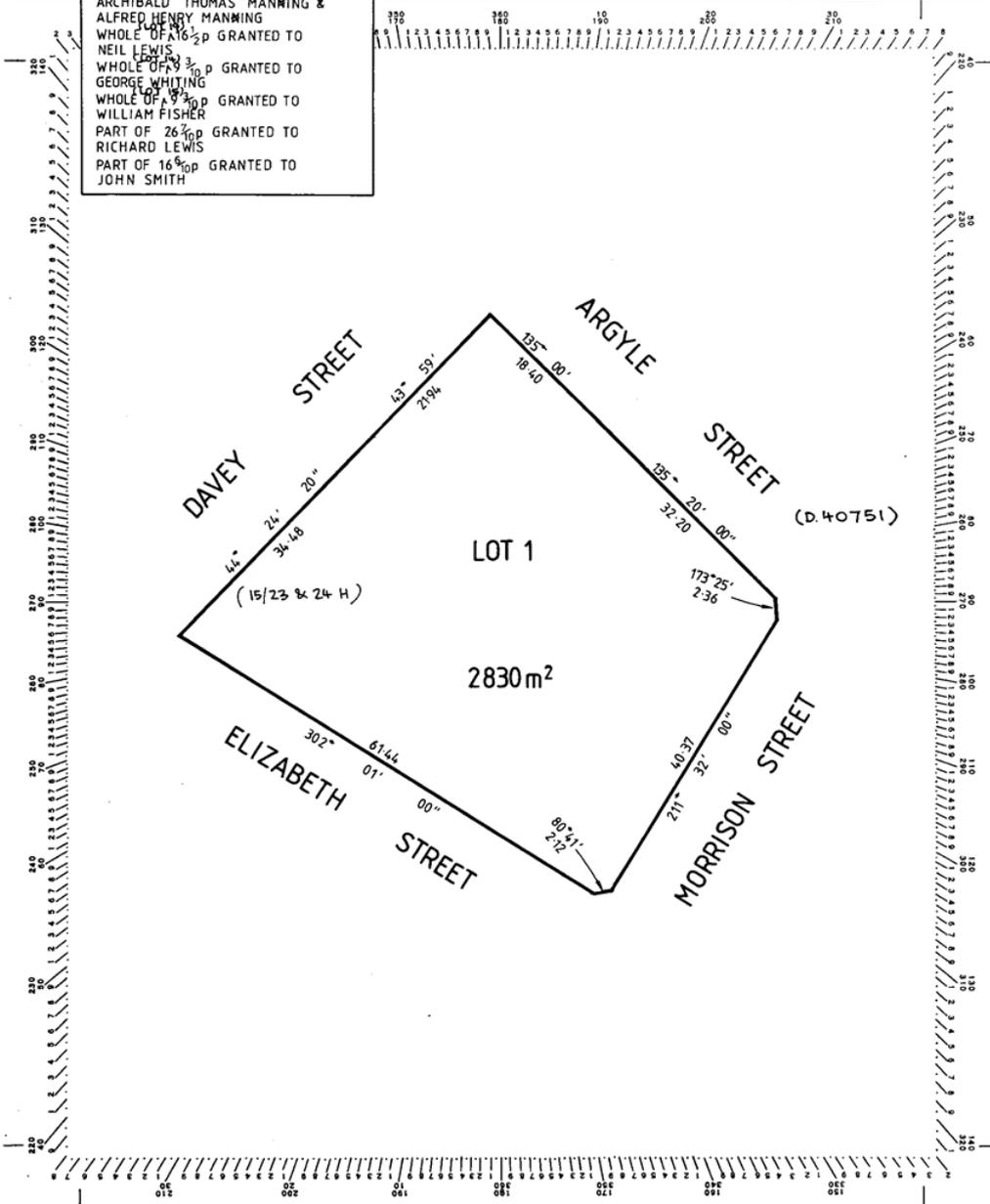
FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



Owner: THE LORD MAYOR ALDERMEN AND CITIZENS OF THE CITY OF HOBART	PLAN OF SURVEY by Surveyor.....P.S. FLEMING..... of land situated in the CITY OF HOBART SEC 03 SCALE 1:500 MEASUREMENTS IN METRES	Registered Number: D32426 Approved 11 APR 1988 Effective from:  Recorder of Titles
Title Reference: CONV 33/7004 CONV 36/9736 CONV 37/4224 CONV 39/8968 CONV 45/9138 & CT 3111/35		
Grantee: (LOT 20) WHOLE OF 16 1/2 p. GRANTED TO ARCHIBALD THOMAS MANNING & ALFRED HENRY MANNING (LOT 19) WHOLE OF 15 1/2 p. GRANTED TO ARCHIBALD THOMAS MANNING & ALFRED HENRY MANNING (LOT 18) WHOLE OF 16 1/2 p. GRANTED TO NEIL LEWIS (LOT 17) WHOLE OF 9 3/10 p. GRANTED TO GEORGE WHITING (LOT 16) WHOLE OF 9 3/10 p. GRANTED TO WILLIAM FISHER PART OF 26 1/10 p. GRANTED TO RICHARD LEWIS PART OF 16 8/10 p. GRANTED TO JOHN SMITH		





RESULT OF SEARCH

RECORDER OF TITLES
 Issued Pursuant to the Land Titles Act 1980



SEARCH OF TORRENS TITLE

VOLUME	FOLIO
32426	1
EDITION	DATE OF ISSUE
1	28-Apr-1994

SEARCH DATE : 14-Apr-2025
 SEARCH TIME : 02.04 PM

DESCRIPTION OF LAND

City of HOBART
 Lot 1 on Diagram 32426
 Derivation : For grantees see plan
 Prior CT 4447/32

SCHEDULE 1

A434413 HOBART CITY COUNCIL

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 B129210 ADHESION ORDER under Section 477A of the Local
 Government Act 1962 Registered 11-Apr-1988 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



23rd June 2025

Hobart City Council
Town Hall, Macquarie Street
GPO Box 503
Hobart 7000
Tasmania

Dear Planning Officer,

Please find enclosed a Development Application for the Lark Cellar Door at 14 Davey St.

The information provided below is to support the development application for 10-14 Davey Street, Hobart – Title Reference 32426/1 and is to be read in conjunction with the documents attached to this application.

This premises currently operates as a cellar door and deliveries come to the Davey Street entrance and are serviced by an existing loading bay in front of the premises. There will be no change to this.

The Lark Cellar Door currently operates with the hours below. There will be no change to this.

Monday	11.00am – 12.00pm
Tuesday	11.00am – 12.00pm
Wednesday	11.00am – 12.00pm
Thursday	11.00am – 12.00pm
Friday	11.00am – 12.00pm
Saturday	11.00am – 12.00pm
Sunday	11.00am – 12.00pm

Existing bin storage is located on Argyle Street and is collected by Veolia. No change is proposed to waste collection or capacity.

Please note that all outdoor loose furniture to be placed within the lease boundary. No sub-surface work is proposed as part of the development application.

Yours sincerely,



Dan Knight
Head of Hospitality
Lark Distillery

LARK Distillery Davey Street Cellar Door



Address: 10-14 Davey Street, Hobart, TAS
 Property ID: 5661182
 Title Reference: 32426/1
 THR ID: 2283

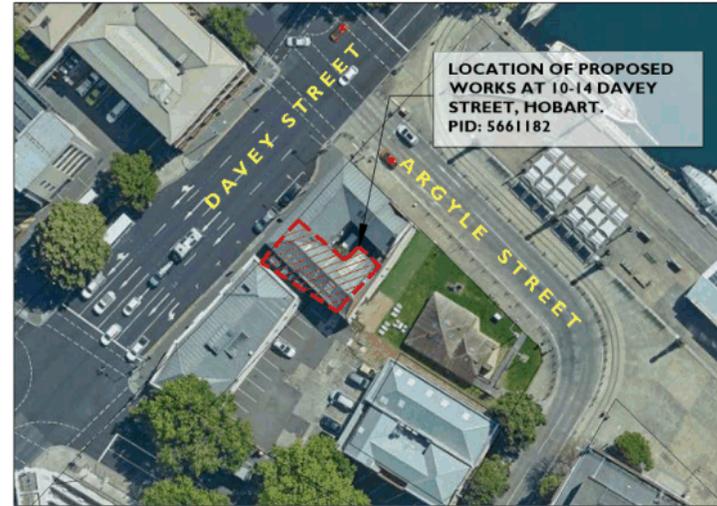
PRELIMINARY
 NOT FOR CONSTRUCTION

Dwg No.	Drawing Title
244098-PUR-XX-XX-DR-A-0001	DRAWING INDEX & LOCATION PLAN
244098-PUR-XX-XX-DR-A-1001	EXISTING/DEMOLITION GA FLOOR PLANS
244098-PUR-XX-XX-DR-A-1201	EXISTING/DEMOLITION GA ELEVATION
244098-PUR-XX-XX-DR-A-2001	PROPOSED GA FLOOR PLANS
244098-PUR-XX-XX-DR-A-2201	PROPOSED GA ELEVATION
244098-PUR-XX-XX-DR-A-3001	HERITAGE INTERFACE DETAILS 1
244098-PUR-XX-XX-DR-A-3002	HERITAGE INTERFACE DETAILS 2

PART J6 - AIR CONDITIONING & VENTILATION
REFER TO DWGS BY OTHERS FOR ALL MECHANICAL VENTILATION DETAILS / CERTIFICATION & NCC PART J6 CALCULATIONS / COMPLIANCE.
PART J7 - ARTIFICIAL LIGHTING & POWER
REFER TO DRAWINGS BY OTHERS FOR ALL ELECTRICAL & LIGHTING DETAILS / CERTIFICATION & NCC PART J7 CALCULATIONS / COMPLIANCE.

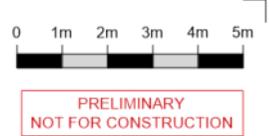
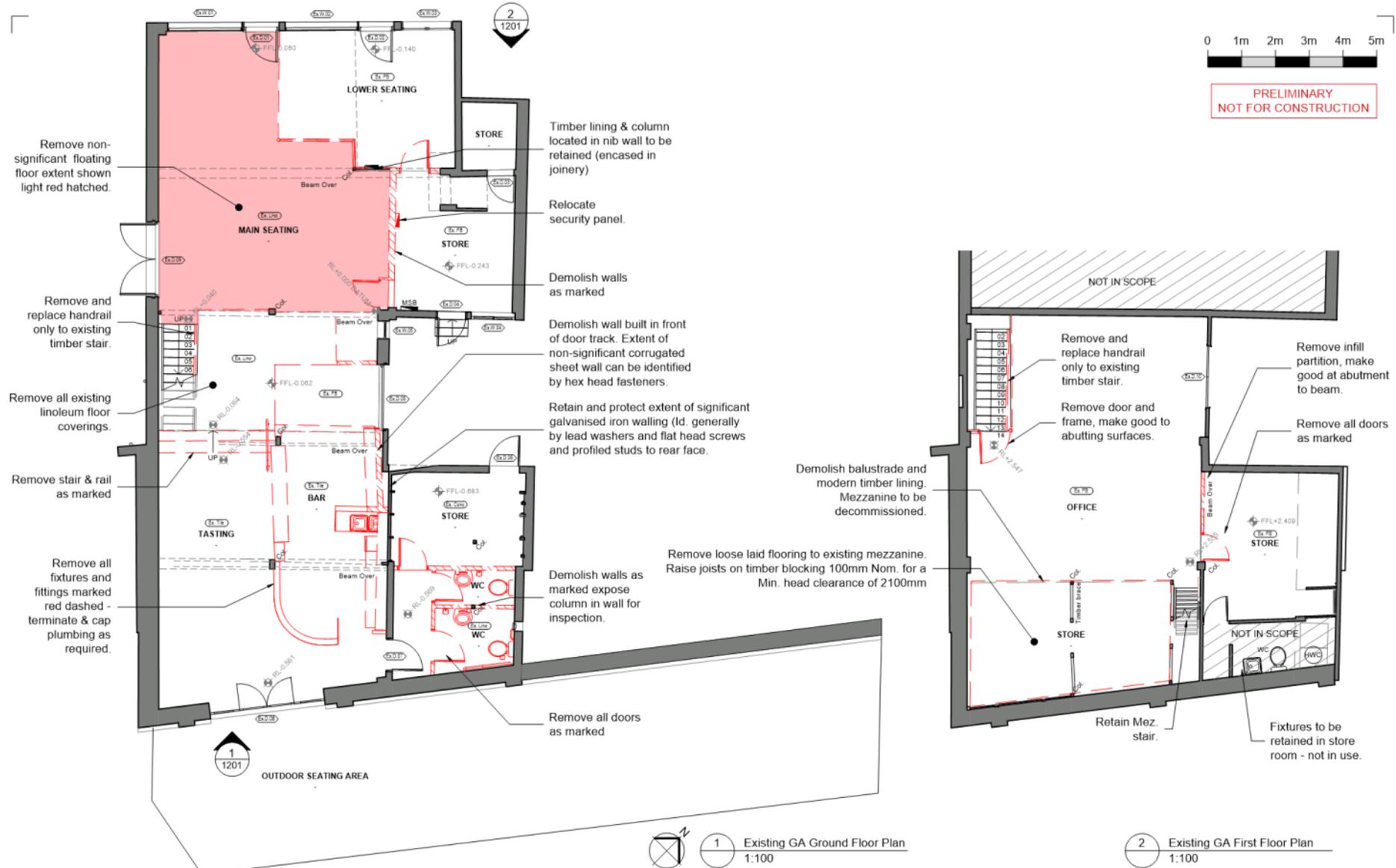
GENERAL NOTES:

- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANTS DRAWINGS AND SPECIFICATIONS AND SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF CONSTRUCTION OF THE WORKS.
- ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHOULD BE CONFIRMED ON SITE BY THE CONTRACTOR PRIOR TO ANY WORKS AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS. DO NOT SCALE THE DRAWINGS. FIGURED DIMENSIONS SHOULD BE USED.
- ALL PROPRIETARY PRODUCTS ARE TO BE INSTALLED IN ACCORDANCE WITH THEIR MANUFACTURER'S WRITTEN/PUBLISHED SPECIFICATION. SUBSTITUTED PRODUCTS WILL NOT BE ACCEPTED WITHOUT PRIOR APPROVAL.
- MATERIALS AND WORKMANSHIP SHALL COMPLY WITH THE CURRENT EDITION OF THE NATIONAL CONSTRUCTION CODE (NCC), THE APPROPRIATE AUSTRALIAN STANDARDS, THE BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING AUTHORITIES EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
- RETAIN AND CONSERVE ELEMENTS OF HIGH SIGNIFICANCE INCLUDING FABRIC, ORIGINAL FINISHES AND LAYOUTS. UNDERTAKE ALL DEMOLITION WORK, REMOVAL OF MODERN ACCRETIONS AND THE LIKE CAREFULLY AND BY HAND WHEREVER POSSIBLE TO AVOID DAMAGE TO SURROUNDING HERITAGE FABRIC.
- EXISTING PENETRATIONS ARE TO BE USED WHERE POSSIBLE WHEN INTRODUCING NEW SERVICES AND EQUIPMENT. WHERE NEW PENETRATIONS ARE REQUIRED WHICH ARE NOT REFLECTED IN DESIGN DOCUMENTATION, HERITAGE ADVICE SHOULD BE SOUGHT PRIOR TO COMMENCEMENT.
- WHERE A TIMBER ELEMENT IS DAMAGED, REPORT TO HERITAGE ARCHITECT & ENGINEER FOR INSTRUCTION.
- EXISTING SURFACES TO BE RETAINED ARE TO BE PROTECTED. ANY DAMAGE SUSTAINED DURING THE DURATION OF THE WORKS IS TO BE REPLACED OR MADE GOOD TO AN EQUIVALENT STANDARD OR BETTER. ALLOW FOR MAKING GOOD ALL EXISTING SURFACES EXPOSED AFTER REMOVAL OF EXISTING FIXTURES AND FITTINGS. INSTALL NECESSARY PROTECTION PRIOR TO COMMENCING WORK THAT MAY DAMAGE SURROUNDING HERITAGE FABRIC.
- UNEXPECTED OR UNDOCUMENTED DILAPIDATION OF FIXTURES OR MATERIALS DISCOVERED DURING THE DEMOLITION WORKS SHOULD BE BROUGHT TO THE ATTENTION OF THE PROJECT MANAGER AND HERITAGE ARCHITECT/CONSULTANT. THE EXTENT OF NEW WORKS RESULTING IS TO BE AGREED WITH THE PROJECT MANAGER PRIOR TO PROCEEDING.
- ALL ITEMS TO BE REMOVED FROM SITE FOR REINSTATEMENT AFTER COMPETITION ARE TO BE STORED IN A SECURE DRY LOCATION TO BE AGREED WITH THE PROJECT MANAGER AND CLIENT.
- ALL DEMOLISHED FIXTURES AND MATERIALS ARE TO BE REMOVED FROM SITE AND DISPOSED OF SAFELY AND LEGALLY BY THE BUILDER.



1 Location Plan
 NTS

<p>Notes</p> <p>Drawings are based on existing data and may not accurately represent what is physically present. Do not scale from this drawing. All dimensions are to be verified on site before proceeding with the work.</p> <p>All dimensions are in millimetres unless stated otherwise.</p> <p>Important! No liability is accepted in writing of any description. All digital information within this DWG is for the copyright of Purcell Architects Limited and is the intellectual property of Purcell.</p> <p>No digital information may be copied or reproduced by any party for any purpose without written permission.</p>	<table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>BY</th> <th>CHK</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>P3</td> <td>23.08.2025</td> <td>HJ</td> <td>LBD</td> <td>S4 For Planning Issue</td> </tr> <tr> <td>P2</td> <td>08.08.2025</td> <td>HJ</td> <td>LBD</td> <td>S1 For Coordination</td> </tr> <tr> <td>P1</td> <td>28.08.2024</td> <td>HJ</td> <td>LBD</td> <td>S1 For Coordination</td> </tr> </tbody> </table>	REV	DATE	BY	CHK	DESCRIPTION	P3	23.08.2025	HJ	LBD	S4 For Planning Issue	P2	08.08.2025	HJ	LBD	S1 For Coordination	P1	28.08.2024	HJ	LBD	S1 For Coordination	<p>CLIENT LARK Distillery</p> <p>PROJECT Davey Street Cellar Door</p>	<p>JOB NUMBER 244098</p> <p>TITLE Drawing Index & Location Plan</p>	<p>SIZE / SCALE A3L NTS</p> <p>REV / DUTY/REASON FOR ISSUE P3 S4 - For Planning Issue</p> <p>DRAWING NUMBER 244098-PUR-XX-XX-DR-A-0001</p> <p>PURCELL</p>
	REV	DATE	BY	CHK	DESCRIPTION																			
P3	23.08.2025	HJ	LBD	S4 For Planning Issue																				
P2	08.08.2025	HJ	LBD	S1 For Coordination																				
P1	28.08.2024	HJ	LBD	S1 For Coordination																				
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1 Existing GA Ground Floor Plan
 1:100

2 Existing GA First Floor Plan
 1:100

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WALL LEGEND

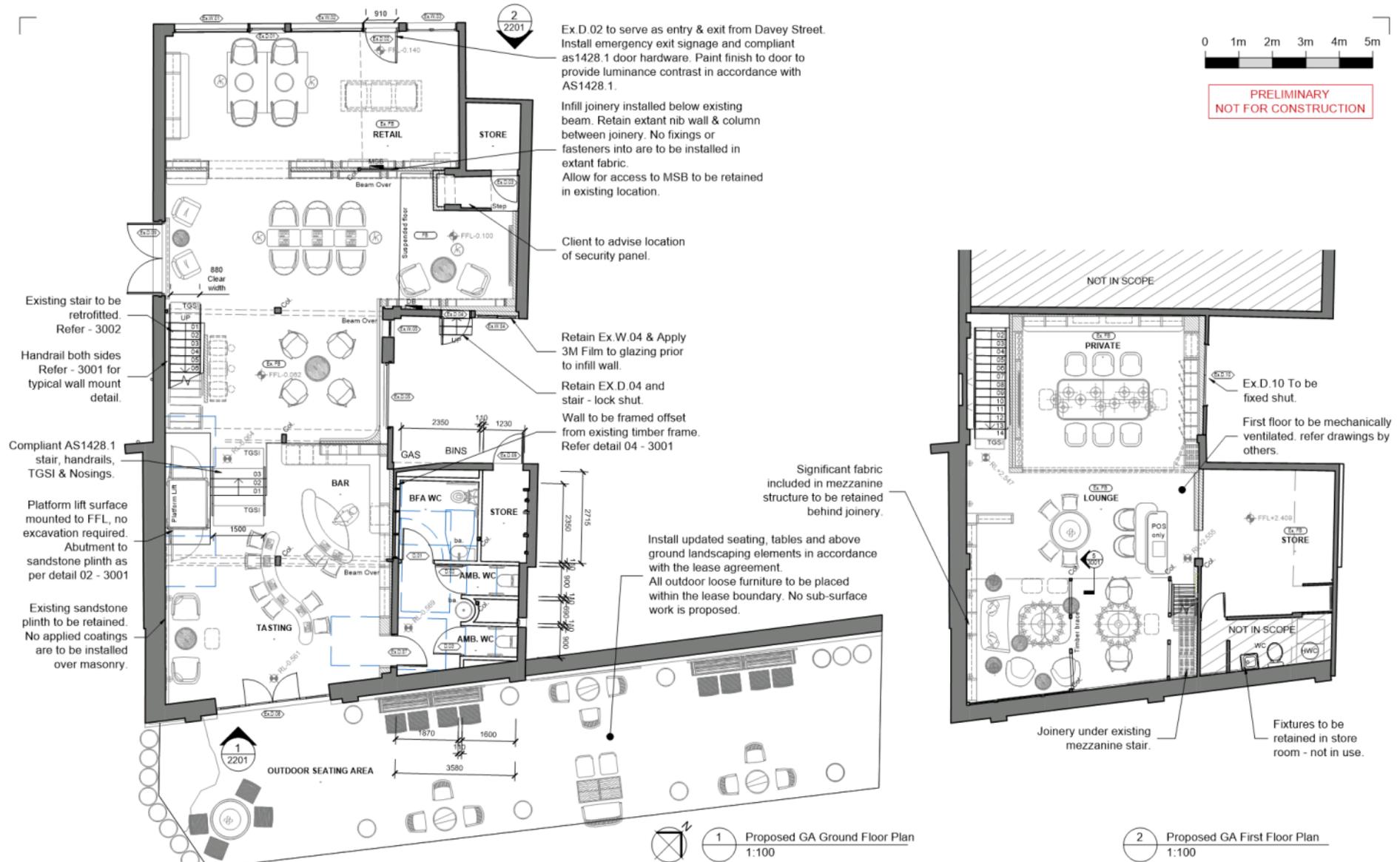
	EXISTING WALLS
	EXISTING WALLS TO BE DEMOLISHED

REV	DATE	BY	CHK	DESCRIPTION
P3	23.08.2025	HJ	LBD	D4 For Planning Issue
P2	17.08.2025	HJ	LBD	D1 For Coordination
P1	28.08.2024	HJ	LBD	D1 For Coordination

CLIENT
LARK Distillery
 PROJECT
Davey Street Cellar Door

JOB NUMBER
244098
 TITLE
Existing/Demolition GA Floor Plans

SIZE SCALE
 A3L 1:100
 REV: QUANTITY/REASON FOR ISSUE
P3 S4 - For Planning Issue
 DRAWING NUMBER
244098-PUR-XX-DR-A-1001



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WALL LEGEND	
	EXISTING WALLS
	PROPOSED WALLS

REV	DATE	BY	CHK	DESCRIPTION
P4	23.08.2025	HJ	LRD	S4 For Planning Issue
P3	17.08.2025	HJ	LRD	S1 For Coordination
P2	08.08.2025	HJ	LRD	S1 For Coordination
P1	28.05.2025	HJ	LRD	S1 For Coordination

CLIENT
LARK Distillery
 PROJECT
Davey Street Cellar Door

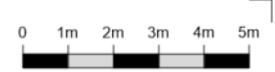
JOB NUMBER
244098
 TITLE
Proposed GA Floor Plans

SIZE SCALE
 A3L 1:100

REV. DATE REASON FOR ISSUE
P4 S4 - For Planning Issue

DRAWING NUMBER
244098-PUR-XX-DR-A-2001

DATE: 23/08/2025
 DRAWN BY: HJ
 CHECKED BY: LR
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 Email: info@purcell.com.au
 Website: www.purcell.com.au



PRELIMINARY
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1 Proposed South Elevation
 1:100



2 Proposed North Elevation (Davey St)
 1:100

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P1	28.08.2024	HJ	LBO	S1 For Coordination

Abbreviation	
BR	Brick
BP	Brick Paved
CR	Corrugated Roof Sheets
R	Render
S	Stone
ST	Steel
T	Timber

CLIENT
LARK Distillery
 PROJECT
Davey Street Cellar Door

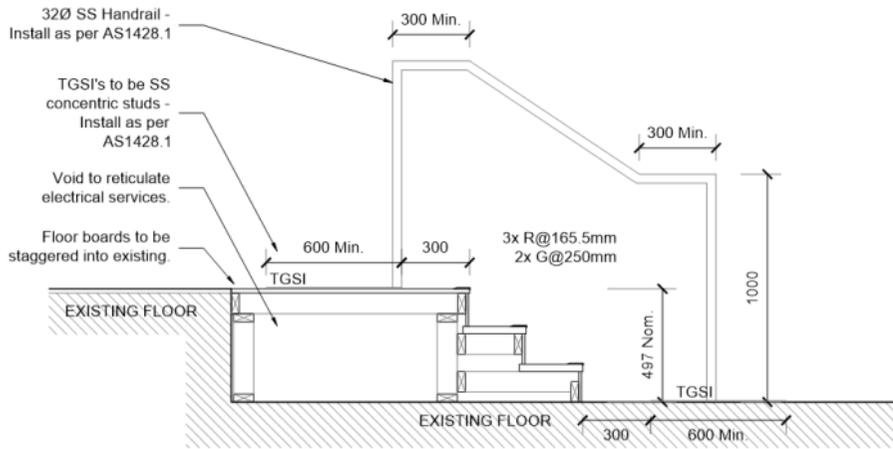
JOB NUMBER
244098
 TITLE
Proposed GA Elevations

SIZE SCALE
A3L 1:100
 REV. DUTY/REASON FOR ISSUE
P2 S4 - For Planning Issue
 DRAWING NUMBER
244098-PUR-XX-DR-A-2201

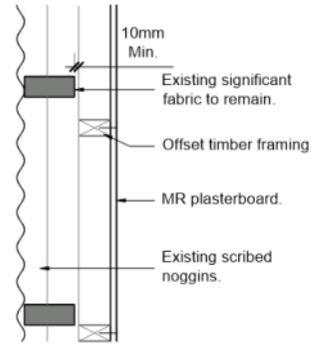


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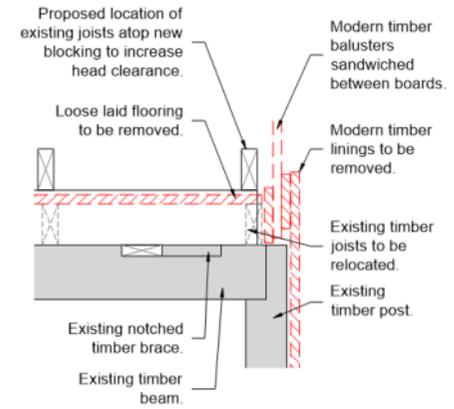
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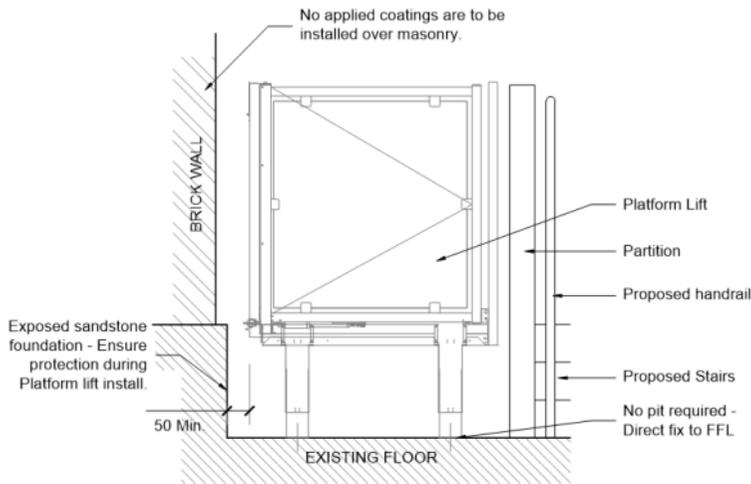
1 Proposed Stair Section
 1:20



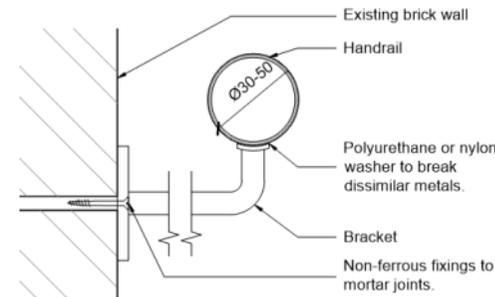
4 Heritage Wall Detail 01
 2001 1:10



5 Heritage Mezzanine Detail 01
 2001 1:10



2 Proposed Platform Lift Section 1
 1:20



3 Typical Wall Mounted Handrail Detail
 1:2

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P2	17.08.2025	HJ	LSD	D1 For Coordination
P1	09.08.2025	HJ	LSD	D1 For Coordination

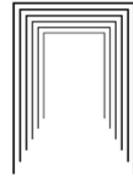
CLIENT
LARK Distillery
 PROJECT
Davey Street Cellar Door

JOB NUMBER
244098
 TITLE
Proposed Heritage Interface details 1

SIZE SCALE
 A3L -
 REV: DUTY/REASON FOR ISSUE
P3 S4 - For Planning Issue
 DRAWING NUMBER
244098-PUR-XX-DR-A-3001



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PURCELL

LARK CELLER DOOR

10-14 DAVEY STREET, NIPALUNA / HOBART

HERITAGE IMPACT ASSESSMENT

JUNE 2025



Author	Date	Revision	By	Checked
PURCELL	13/06/2025	00 Draft for Client Review	LM	LBS
nipaluna	24/06/2025	01 Final Draft	LBS	TS
Ground Floor, 183 Macquarie Street Hobart, Tas 7000	25/06/2025	02 Final	LBS	TS

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Nominated Architect: Lucy Burke-Smith
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Acknowledgement of Country

Purcell acknowledge the Traditional Custodians of Country throughout Australia and pay our respects to Elders past, present, and emerging. We respectfully acknowledge and pay respect to the Muwinina people, the traditional and original owners of country and the Palawa people of lutruwita/Tasmania the continuing custodians, of country.

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HERITAGE IMPACT ASSESSMENT

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INTRODUCTION

Background

Lark Distilling Co. Ltd commissioned Purcell to prepare this Heritage Impact Assessment (HIA) to accompany a Development Application for the proposed demolition and interior fit out (Proposal) at 10-14 Davey Street, nipaluna / Hobart (Place).

The 'Former Chesterman Building' is Permanently Registered in the Tasmanian Heritage Register (THR) with THR ID Number: 2283.¹ It is also a Place of cultural significance in the *Sullivans Cove Planning Scheme, 1997* (SCPS 1997), Table 1 and Figure 5 (Ref No. 3),² and as a Place of Archaeological Potential in SCPS 1997, Table 2 and Figure 5a (Ref No. 2).³ It is part of Key Site 5 'Elizabeth/Argyle Block' as defined in the SCPS 1997, Part F.⁴

The following documentation details the Proposal assessed in this HIA:

- Purcell, Architectural Plans, dated 23/06/2025 (see Appendix A, for details).
- COVA services sketches, over Purcell Architectural Plans, dated 24/06/2025 (see Appendix A, for details).

Lucy Burke-Smith (Director), Linda Mott (Senior Heritage Consultant), of Purcell prepared this report. Hugh Jones (Graduate of Architecture) visited the Site on 05 May 2025 and inspected the interior. Lucy Burke-Smith (Partner) and Hugh Jones visited the Site on 15 May 2025 and completed a physical inspection of the interior, exterior streetscape, and context. Unless otherwise cited, all images were taken at these site visits.

Limitations

This HIA is limited to an assessment of the potential statutory built heritage impacts of the Proposal to the setting, context, and significant fabric of the registered built features on the Place. It is based on the current statutory heritage controls, and non-statutory guidelines, applicable to the heritage listed Place located at 10- 14 Davey Street. Desk-based research, and client-provided information to date, form the basis of this report, no new archival research was undertaken. It does not consider the proposed works' responsiveness to the wider provisions of the *Sullivans Cove Planning Scheme*, and Works Guidelines of Heritage Tasmania, beyond that of built heritage.

All references to heritage, or heritage impacts, are to registered, built heritage only. This report does not consider other potential heritage impacts of the Proposal, including, without limitation, to landscape, vegetation, sub-surface, archaeological or indigenous heritage.

The Hobart Local Provisions Schedule (HOB-LPS) is anticipated to be enacted on or around 23 June 2025. This assessment accounts for the Hobart Interim Planning Scheme, incorporating the SCPS 1997, in effect at the time of drafting.

Terminology

The conservation terminology used in this report is of a specific nature and is defined within *The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance, 2013*, (*Burra Charter*).

References

This HIA references the following documents:

- *The Sullivans Cove Planning Scheme, 1997* (SCPS 1997), effective from 24 January 2024.
- *The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance*, 2013.
- Tasmanian Heritage Council, *Works Guidelines*, November 2015

1 Tasmanian Heritage Council (THC), Tasmanian Heritage Register (THR) Datasheet, [THR ID 2283](#), accessed 10/04/2025.

2 *Sullivans Cove Planning Scheme* (SCPS 1997), updated 24 January 2024, Table 1, p 72.

3 *SCPS 1997*, Table 2, 77.

4 *SCPS 1997*, Part F, Figure 11.

UNDERSTANDING THE SITE

Location

The Site's address is 10-14 Davey Street (Certificate of Title 32426/1). It is within Sullivans Cove on the waterfront in central Hobart. The THR Datasheet for the place describes the building as "... a significant element in the urban streetscape."⁵



Figure 1: Aerial view, the approximate Site boundary outlined in yellow. (Source: ListMap, overlaid by Purcell)

10-14 Davey Street is located on the approximate original shoreline at the time of the arrival of European people to Luturwita (c.1803). The site is now set back from the water's edge which has been progressively reclaimed and formalised into a set of rectangular docks.

Description

The Tasmanian Heritage Register Datasheet describes the 'Former Chesterman Building' (THR ID 2283) as:

An early commercial building demonstrating an unusual half timbered construction method that is now rare. The battens projecting above the ridge originally held advertising signboards for the timber business that once operated from the site.⁶

The place is an unusual example of a double storey, timber-framed, brick-infilled Victorian era commercial building. The façade, doors, and windows, are largely intact. The building has a hip roof, with a central, open courtyard. The upper level has been rendered and has an applied textured finish. The lower portion of the building is painted a warm pink hue and timber work, including doors and window frames, has been painted a dark green.

⁵ THC, THR Datasheet, 'Former Chesterman Building', THR ID Number: 2283.

⁶ THC, THR Datasheet, 'Former Chesterman Building', THR ID Number: 2283.



UNDERSTANDING THE SITE

The interior has exposed stone and brick walls. A structural grid of timber columns is largely intact. The bricks were previously painted, and the paint has since been removed. The surface of the bricks is thus quite marked and uneven. Sandstone blocks are at ground level / base of walls. The floor is a combination of tiles, concrete slab, lino, and some timber boards, overlaid to an earlier timber floor. A set of stairs connect to a mezzanine level that is constructed of rough sawn hardwood and retains original timbers and period fixings which have been modified over time.

The remains of a fireplace hearth are apparent in the location of the circa 2000s mini-orb bar. There do not appear to be any remnants of the fireplace, chimney breast, or chimney. A mix of significant and non-significant corrugated iron forms a wall to the rear of the bar. The early and significant fabric is discernable from the profiled timber noggings to the rear and fixings with lead washers. Structural timbers are exposed, and robust period fixings and nails are evident. Door frames and windows are intact, with Victorian era details such as elaborate door paneling and differentiated thickness of timbers around glazing. Internally the Place has been modified with a modern fit out.

Statutory Listings and Overview of Significance

Historic Cultural Heritage Act (TAS) 1995

The 'Former Chesterman Building' (Certificate of Title 32426/1) is Permanently Registered as State Significant on the Tasmanian Heritage Register, with THR ID 2283.⁷ No Statement is provided for places listed prior to 2007. However, the THR Datasheet identifies that the Place meets the following criteria from the *Historic Cultural Heritage Act 1995*:

- b) *The place possesses uncommon or rare aspects of Tasmania's history.*
The Former Chesterman Building is of historic heritage significance because it is a rare example of a Victorian timber framed (with brick infill) commercial building.
- f) *The place has a strong or special association with a particular community or cultural group for social or spiritual reasons.*
This building is of historic heritage significance because its historical and townscape associations are regarded as important to the community's sense of place.

Sullivans Cove Planning Scheme 1997

The Place is identified as a Place of Cultural Heritage Significance in Table 1 and Figure 5 of the SCPS 1997 (Ref No. 2) as the 'Former Chesterman Building'.⁸ The Place is also identified as a Place of Archaeological Potential in Table 2 of the SCPS 1997 as 'Chesterman's', 10-14 Argyle Street (Ref No. 2).⁹ The place is not within a Heritage Precinct.

The Place is identified on Figure 11 as Key Site 5: 'Elizabeth/Argyle Block'. A 'Site Development plan is not included within the SCPS 1997 for Key Site 5.

Non-Statutory Listings

The Site is not included on the Register of the National Estate. The RNE was closed in 2007 and is maintained as a non-statutory, publicly available, archive and educational resource.¹⁰

The National Trust list (in Tasmania) was rescinded by the Tasmanian Government after it was used as a base for the Tasmanian Heritage Council register and no longer has statutory force. The Tasmanian National Trust does not maintain a publicly available list of Tasmanian Heritage places.¹¹

⁷ THC, THR Datasheet, [THR ID 2283](#).

⁸ [SCPS 1997](#), updated 24 January 2024, Table 1, p 72.

⁹ [SCPS 1997](#), updated 24 January 2024, Table 2, 77.

¹⁰ Department of Climate Change, Energy, the Environment and Water (DCCEEW), 'Search the Australian Heritage Database' [website], accessed 12/05/2025.

¹¹ Tasmanian National Trust, 'About us TAS', accessed 12/05/2025.

UNDERSTANDING THE SITE

Historical overview

Chesterman & Co (THR#2283) was established by Henry Chesterman in the 1860s. Chesterman had broad business interests in southern Tasmania, including sawmilling. In c1889 Chesterman constructed a two-storey open timber racking structure on the corner of Davey and Argyle Streets, bricks stables and an adjoining two-storey brick office building. Although altered, Chesterman & Co at 10-14 Davey Street is one of the only other extant structures located in the Hobart CBD associated with the timber industry.¹²

The early Victorian era commercial building is associated with Henry Chesterman, whose obituary (1906) reads as follows:

Mr. Henry Chesterman, a colonist of Tasmania for half a century, and a well-known figure in mercantile circles, died at his late residence, Montpelier road, at noon yesterday, in his 78th year. He had been in failing health for some time, and during the last three months had been confined to the house. Mr. Chesterman was born in Chippenham, Wiltshire, in 1829, and came to Victoria in the ship John Chalmers, Captain J. Smith, arriving in Hobson's Bay in November, 1852. He visited the leading goldfields at the time, but ultimately decided to settle in Tasmania, and came to Hobart in 1856, settling in the Franklin district. In the early sixties Mr. Chesterman carried out some very extensive Government contracts in the Huon, Scottsdale, and Ringarooma districts, in conjunction with Mr. John Hay, No. 2, including the Huon-road. He afterwards founded the firm of H. Chesterman and Co., timber merchants, and interested himself in the establishment of sawmills at Hastings, Garden Island Creek, and Port Esperance, and for many years his firm has carried on one of the largest export businesses in the State. At one time the deceased was closely identified with the shipping interests, and had several sailing vessels trading to the colonies and New Zealand. In 1881 he was elected a warden of the Hobart Marine Board, and was several times re-elected. He always took an active part in the board's business, and did his best to further the interests of the port. In 1900 he retired from business in favour of his sons, and from the Marine Board in 1903. The deceased was a justice of the peace, and a member of the Loan Guarantee Company and the Building Society. He leaves a widow and a large grown-up family. His eldest son, Edwin, is senior engineer to the Melbourne Metropolitan Drainage Board; another son, Alfred, is district surveyor for Mussellbrook, New South Wales; Frank is manager of the Raminea saw mills. C. E. Chesterman is manager of the firm at Hobart: and the youngest son, Sydney, is in Melbourne in a commercial house. The deceased also leaves three daughters. Yesterday the flags on the shipping offices and on vessels in harbour were half-masted, as a token of respect to his memory. The late Mr. Chesterman was a much esteemed member of the community, and news of his death was received with regret. ...¹³

Chesterman purchased the SV May Queen in 1873. The SV May Queen is Australia's oldest sail trading vessel and is moored in Constitution Dock to the northeast of the Site across Argyle Street.¹⁴



Figure 2: 1930 photograph showing the 'Former Chesterman's Building' with the trees of Franklin Square behind and the foothills and mountain beyond. (Source: Eric Douglas, 'The small docks holding fishing vessels, Hobart (Nov 1930)', TA, SD_ILS:854999).



Figure 3: The upper parts of the Former Chesterman's Building can be seen in the bottom left-hand corner of the image (Source: N. H. Propsting, 'Wharves from Custom House', Hobart, in 'Hobart Wharves Part 2: collection of postcards', (c1870-1950), TA, SD_ILS:708354).

¹² THC, THR Datasheet, [THR ID 12028 Crisp & Gunn offices and workshop, and Forestry Tasmania dome](#).

¹³ 'OBITUARY', *The Mercury Saturday Morning*, 11 August 1906, p 3, accessed 12/05/2025

¹⁴ Maritime Museum Tasmania, 'Explore' [website], accessed 15/05/2025.

UNDERSTANDING THE SITE

Recent Images of the Place and its context



Figure 4: Northeastern (Argyle Street) elevation showing the battens projecting above the ridge that held signage.



Figure 5: Northwestern (Davey Street) elevation showing the battens projecting above the ridge that held signage.



Figure 6: The SV May Queen, located nearby in Constitution Dock



Figure 7: Exterior door Ex.D.01 to Davey Street proposed to be locked shut (right most door in Figure 5 above).



Figure 8: Ground floor raised floating floor and lino floor on top of original timber floorboards proposed for removal.



Figure 9: Ground floor modern steps proposed for removal and replacement with a platform lift and narrower stairs, timber stair to first floor beyond (left).

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UNDERSTANDING THE SITE



Figure 10: Ground floor bar with early / original corrugated iron partition to be retained. Wall beyond nib wall with modern corrugated iron lining proposed for removal.



Figure 11: Ground floor back side of the early / original corrugated iron partition to be retained. Note profiled noggings.



Figure 12: Ground floor bar with modern corrugated iron partition to be removed. Column to be retained.



Figure 13: Ground floor toilet partitions, fixtures, and fittings proposed for removal, column in right side partition wall to be exposed and retained.

UNDERSTANDING THE SITE



Figure 14: Ground floor existing authority meter in cupboard (white arrow) to be retained and incorporated into proposed joinery unit. Adjacent Column, timber bearers and joists to be retained untouched.



Figure 15: First floor fittings and fixtures to be retained, within storeroom – not in use.



Figure 16: First floor columns to be retained on far wall, mezzanine (right), with modern balustrade.



Figure 17: First floor view to the mezzanine with modern balustrade proposed for removal.



Figure 18: First floor view showing the bracing to be retained and modern balustrade above proposed for removal.



Figure 19: First floor loose-laid mezzanine floorboards to be removed and retained on site, joists to be raised to allow for a nominal clearance of 2100mm under.

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Proposed Works

It is noted the owner (City of Hobart Council) of the building has commenced reroofing the place and that these works are beyond the scope of this assessment.

The following summary of works was extracted from the architectural drawings listed at Appendix A.

- removal of ground floor non-significant floating floor to current Main Seating (Figure 8);
- removal of ground floor stairs to floating floor level in current tasting area (Figure 9);
- demolition of non-significant ground & first floor walls, bar fixtures and fittings (Figure 10 and Figure 12);
- removal of non-significant ground floor linoleum flooring (Figure 8 and Figure 9);
- retention of Ex.W.04, proposed to have 3M film applied to glazing prior to having an internal infill wall built over it;
- retention of Ex.D.04 and associated exterior stairs, door proposed to be locked shut
- removal of WC fittings, fixtures, doors, and partitions, to ground floor (Figure 13);
- removal and replacement of stair handrail to first floor (Figure 9);
- removal of mezzanine balustrade and timbers facing onto mezzanine supports (Figure 17);
- removal and retention of mezzanine loose floorboards (Figure 19);
- retention of mezzanine bracing (Figure 18);
- height increase to joists to provide a nominal clearance of 2100mm under mezzanine (Figure 19); and
- Internal fit out, including infill joinery; bar joinery; sanitary fixtures and fittings; and loose furniture.
- Replacement of outdoor furniture to existing designated dining area (Permit 210843)

Purcell, Architectural Plans, dated 23/06/2025 (see Appendix A for details) of the DA package has further details of the proposal.



Figure 20: Aerial view, the approximate area of proposed works hatched red (Source: [ListMap](#), overlaid by Purcell)



HERITAGE IMPACT ASSESSMENT

Guidance Documentation

This assessment follows the best practice management framework for historic sites contained in:

- The Burra Charter: 'The Australia ICOMOS Charter for Places of Cultural Significance', 2013.
- Heritage Tasmania, 'Works Guidelines for Historic Heritage Places', for the Tasmanian Heritage Council, November 2015.

Assessment Methodology

This assessment is based on observations made during a site visit and a review of the design proposal.

The assessment considers the potential for detrimental impacts because of the proposal, as well as all mitigation measures proposed, within the context of the *Historic Cultural Heritage Act 1995* and the *Sullivans Cove Planning Scheme, 1997*. The assessment considers objectives of Part E, Schedule 1, Conservation of Cultural Heritage Values, the Objectives and Performance Criteria for Activities in Activity Area 2.0 Sullivans Cove 'Mixed Use' (Part D, s16).

The Proposed works have been assessed for their impact to the heritage value of the Heritage Place as identified in its Statement of Significance, and the place's setting and context. The Proposal has also been considered against non-statutory guidelines published by Australia ICOMOS. Direct (fabric) and indirect (visual) impacts are both considered in this assessment.

Assessment against the Sullivans Cove Planning Scheme 1997

10-14 Davey Street, nipaluna / Hobart is included in Table 1, Schedule 1 and on Figure 5 as a Place of Cultural Significance (Ref. No. 3). Table 2 as a place of archaeological potential, and on Figure 11 as Key Site 5: 'Elizabeth/Argyle Block' in the SCPS 1997.

The following tables assess the Proposal against the relevant Development Standards and specific Performance Criteria for Heritage Places on Schedule 1 of the SCPS 1997.

Part E22 Schedule 1 – Conservation Of Cultural Heritage Values

22.1 Introduction

Conservation of the cultural heritage values of Sullivans Cove is the primary objective of the Scheme. Where there is an apparent conflict with other objectives, the conservation of cultural heritage values takes precedence.

This schedule applies to conservation of the cultural heritage values of identified places of cultural significance, including spaces, buildings and objects, and conservation of patterns of continuing or historic use. It also applies to the conservation of archaeologically sensitive sites and the conservation of a recognisable historic character in the areas where authentic historic fabric and spaces remain.

The controls of this clause apply to the carrying out of 'building or works' on places of cultural significance identified in Table 1 to this Schedule, and on Figure 5 'Places of Cultural Significance'. The status afforded to the places identified shall apply to all of the land within the title boundary, except where this is specifically indicated in Table 1 as not being the case.

10-14 Davey Street, nipaluna / Hobart is included in Table 1, Schedule 1 and on Figure 5 of the SCPS 1997 as a Place of Cultural Significance (Ref. No. 3).

22.2 Objectives

- *To provide the mechanisms to allow the conservation of heritage values.*
- *To provide an incentive for 'building or works' to be carried out in a manner which is compatible with conservation of cultural heritage values.*



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- To ensure that the recognisable historic character of Sullivans Cove is not compromised by new development which overwhelms the places of cultural significance, or, by new development which reduces the apparent authenticity of the historic places by mimicking historic forms.
- To encourage new development to be recognisable as new, but not individually prominent. Such development must reflect a "good neighbour" relationship to places of identified cultural value.

22.4 Conservation of Places of Cultural Significance

22.4.5 'Discretionary' 'Building or Works'	
<p>'Building or works' on places of cultural significance which cannot satisfy the 'deemed to comply' provisions of Clause 22.4.4 may be approved at the discretion of the Planning Authority.</p> <p>The following criteria must be taken into consideration in the assessment of all proposals to undertake 'building or works' on places of cultural significance:</p>	
Criteria	Assessment
<ul style="list-style-type: none"> • 'Building or works' must complement and contribute to the cultural significance, character and appearance of the place and its setting; 	The proposed predominantly internal fitout will not alter the cultural significance, character and appearance of the place and its setting.
<ul style="list-style-type: none"> • 'Building or works' must be in compliance with the conservation strategy of an approved Conservation Plan, where required and/or provided; 	The place is not subject to an approved Conservation Plan.
<ul style="list-style-type: none"> • The location, bulk and appearance of 'building or works' must not adversely affect the heritage values of any place of cultural significance; 	The proposed predominantly internal fitout will not adversely affect the place's heritage values. It will allow for the sustainable, compatible, ongoing use of the place.
<ul style="list-style-type: none"> • 'Building or works' must not reduce the apparent authenticity of places of cultural significance by mimicking historic forms; 	The proposal does not mimic historic forms and will therefore not reduce the apparent authenticity of the place.
<ul style="list-style-type: none"> • 'Building or works' may be recognisable as new but must not be individually prominent; 	The Proposed interior fitout will be recognisable as new, but will not alter the exterior of the building.
<ul style="list-style-type: none"> • The painting of previously unpainted surfaces is discouraged. 	No painting of previously unpainted surfaces is proposed.

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22.6 Places of Archaeological Sensitivity

22.6.5 'Discretionary' 'Building or Works'	
<i>Having regard to the contents and recommendations of an Archaeological Sensitivity Report accepted by the Planning Authority pursuant to Clause 22.6.3 the following criteria must be taken into consideration in the assessment of all proposals to develop places of cultural significance listed in Table 2 or that are considered likely to be of archaeological interest or significance:</i>	
Criteria	Assessment
<ul style="list-style-type: none"> <i>The likelihood of the proposed 'building or works' resulting in the removal or destruction of items of archaeological significance.</i> 	The proposal is unlikely to result in the removal or destruction of archaeological significance, with no earth works or excavation proposed.
<ul style="list-style-type: none"> <i>The cultural significance of the site.</i> 	The proposal will not impact the historic archaeological significance of the site as no earth works or excavation proposed.
<ul style="list-style-type: none"> <i>Evidence of an adequate archaeological reconnaissance and site sampling prior to the approval or carrying out of works.</i> 	Archaeological investigations and site sampling are not applicable as no earth works or excavation proposed.
<ul style="list-style-type: none"> <i>The need to reasonably protect potential archaeological significance during the design, and carrying out of works.</i> 	The proposal does not include works that will disturb the ground and is unlikely to disturb any potential archaeological significance.
<ul style="list-style-type: none"> <i>The need to undertake an archaeological 'watching brief' to be required during the carrying out of works.</i> 	An archaeological watching brief is not considered applicable as no earth works or excavation proposed. In the event of unanticipated finds <i>Practice Note 2. MANAGING HISTORICAL ARCHAEOLOGICAL SIGNIFICANCE IN THE WORKS PROCESS</i> , Tasmanian Heritage Council, 2014, would apply.

Assessment against Part D, s16 Activity Area 2.0 Sullivans Cove 'Mixed Use'

16.1 General Characteristics of the Activity Area

The 'Sullivans Cove Mixed Use' Activity Area comprises the land stretching from Battery Point across the central Cove area to the north side of Hunter Street, and beyond to the Liverpool Street extension. This Activity Area is Hobart's major tourist destination and has a readily identifiable image as a focus for cultural activities and supports a wide range of other uses which contribute to its character and vitality. This Activity Area includes a great diversity in architectural style and spatial characteristics. There are many buildings, objects and spaces of cultural heritage in this Activity Area, including the Salamanca Place buildings, Parliament House and other governmental and institutional buildings. The area accommodates a range of mid and late 20th century buildings as well, from the 'silos', to the Grand Chancellor Hotel, HEC Building and the Antarctic Centre. A number of important pedestrian spaces in the Cove are located in this Activity Area. The road network currently carries high levels of through traffic - most notably along the Macquarie - Davey Street Couplet, and along Brooker Avenue and the Tasman Highway. Land within this Activity Area acts as a transition space between the CBD and waters edge, as well as between Hunter Street and Salamanca Place, and in the area across Brooker Avenue between the CBD and the Domain.



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16.2 'Objectives and Performance Criteria for Activities'

The following objectives and performance criteria apply to all use and development in this Activity Area.

Objective	Performance Criteria	Assessment
(a) To ensure that activities within the Cove respect the cultural heritage and character of the Activity Area.	<ul style="list-style-type: none"> All use and development within the Activity Area must demonstrably contribute to, and enhance the cultural heritage, built form (bulk, height, volume, urban detail) and spatial characteristics of the activity area. Activities requiring large, undifferentiated floor areas shall be discouraged in the activity area, except where such activities can be accommodated within existing buildings. New development north of Brooker Avenue must be designed in a manner which protects the cultural heritage and landscape qualities of the Domain including the setting of the Cenotaph. 	<ul style="list-style-type: none"> The proposed development supports the ongoing, sustainable use of the 'Former Chesterman Building'. The proposed internal fit out respects the cultural heritage and character of the Activity Area by retaining the external heritage features of the building and internal heritage fabric. It will enhance the user experience of the place and the branding of the The Proposal is not north of Brooker Avenue.
(b) To ensure that the amenity, character and cultural heritage values of the Cove's roads and other public spaces are conserved and enhanced.	<ul style="list-style-type: none"> Use and development on road reserves, public parks and other public spaces within the activity area shall only be 'permitted' where they do not detract from the space's amenity or heritage value. 	<ul style="list-style-type: none"> Development is not proposed on a road reserve, public park or public space.
(c) To encourage use and development which generate pedestrian movement through the activity area.	<ul style="list-style-type: none"> Outdoor dining and other outdoor pedestrian activities are encouraged in appropriate locations. Activities which generate pedestrian traffic are to be encouraged particularly along Salamanca Place, Hunter Street, the western side of Morrison Street and the block bounded by Davey, Elizabeth, Morrison and Argyle Streets. All use and development shall facilitate pedestrian access, circulation, amenity and safety within the Cove. All use and development must facilitate access for the disabled and other pedestrians with restricted mobility. Parking and vehicle movement within public urban spaces intended primarily to facilitate pedestrian movement shall be discouraged where it conflicts with pedestrian movement and safety. 	<ul style="list-style-type: none"> The area nominated for upgraded outdoor dining and activation is within the current lease boundary, and continued activation of this area is a condition of the Lessee under the terms of the existing lease. The use of the outdoor dining area will facilitate pedestrian access, circulation and amenity.



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Objective	Performance Criteria	Assessment
(d) To encourage the further development of the Activity Area as a tourist destination.	<ul style="list-style-type: none"> The existing mix of tourist-oriented uses and facilities, including shops, restaurants and hotels shall continue to be encouraged. 	<ul style="list-style-type: none"> The existing tourist-oriented use is to be continued.
(e) To promote the use of the roads, other public spaces and buildings within the area for festivals and other public gatherings.	<ul style="list-style-type: none"> Markets and Cultural and Community Events shall be encouraged in spaces designated as having a primarily 'pedestrian' function. 	<ul style="list-style-type: none"> Not applicable.
(f) To ensure that the Activity Area's primary function as a place for a range of arts, cultural, civic, recreational and entertainment activities, is strengthened together with its role as a shop window for quality Tasmanian produced goods.	<p>Arts and Cultural Activities:</p> <ul style="list-style-type: none"> Arts and Cultural activities, including small 'in-shop' artist workshops, shall be promoted throughout the Activity Area. In particular, such activities will be encouraged along primary pedestrian routes in the Cove. <p>Retail Activities:</p> <ul style="list-style-type: none"> A diverse, but balanced, mix of retail activities including art and craft centres, shops and eating establishments shall be promoted, especially in the Salamanca area, to reinforce the role of the Cove as the City's 'cultural precinct'. 	<ul style="list-style-type: none"> The existing retail and hospitality use is to be continued.
(g) To encourage offices, administrative and smaller scale activities in locations where they reinforce rather than conflict with more active uses that characterise the attractiveness to visitors walking around this part of the Cove.	<p>Office and Educational Activities:</p> <ul style="list-style-type: none"> Office uses, including financial institutions, consulting suites and other administrative activities shall be encouraged to locate in existing buildings within the Cove. Office uses and smaller education activities proposed in retail areas of the Cove shall be encouraged to locate within existing buildings on the first floor or above. Large non retail or visitor related activities such as offices will be encouraged to locate within existing office buildings, particularly in the Macquarie Street - Davey Street area. Any education centre activity of a significant scale should focus on the existing Centre of arts or other locations where they would not replace uses that contribute to a more active street frontage. Public display offices shall be discouraged from locating in the centre of retail areas. 	<ul style="list-style-type: none"> Not applicable.



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Objective	Performance Criteria	Assessment
<p>(h) To facilitate residential development in appropriate locations as a secondary use to support the Activity Area's businesses and other activities essential to its role as a key visitor destination.</p>	<p>Residential Activities:</p> <ul style="list-style-type: none"> • Residential and visitor accommodation shall be encouraged in buildings fronting secondary spaces, on first floor level or above, and in other locations which will not adversely impact on the economic vitality of retailing. • Residential and visitor accommodation shall be encouraged in buildings fronting secondary spaces, on first floor level or above, and in other locations which will complement and not adversely impact on the economic vitality of arts, cultural and related retailing activities. <p>Environmental and Amenity Impacts:</p> <ul style="list-style-type: none"> • Industrial activities, manufacturing and transport terminals shall be encouraged to locate in areas which do not create local traffic, parking, pedestrian or residential amenity impacts, or impacts on the social, cultural and recreational uses of the area. 	<ul style="list-style-type: none"> • Not applicable.
<p>(i) To minimise the use of public land resources of the activity area for commuter and other long term parking.</p>	<ul style="list-style-type: none"> • Public car parking within the Cove shall be provided primarily to meet the short term parking needs of tourists and other visitors to the Cove. 	<ul style="list-style-type: none"> • Not applicable.
<p>(j) To ensure sound environmental planning and management for all activities.</p>	<ul style="list-style-type: none"> • All use and development to demonstrate the minimisation of on and off site energy requirements resulting from the proposed activity. • All use and development must minimise direct and indirect environmental risk or effects and where possible provide a new environmental gain for the wider environment. 	<ul style="list-style-type: none"> • The existing retail and hospitality use is to be continued and will not result in an increase to environmental risk or effects.
<p>(k) Promote use and development in the transition area between the CBD and the Domain and the Cove and the Domain which contributes to the 'gateway' function of that area.</p>	<ul style="list-style-type: none"> • The development of land addressing Liverpool Street, Brooker Avenue and the Tasman Highway, shall be responsive to the 'gateway' function of the land facing those roads. • Activities which facilitate pedestrian movement between the city and the Domain and the Cove and Domain will be encouraged. 	<ul style="list-style-type: none"> • Not applicable.



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Objective	Performance Criteria	Assessment
(1) To encourage a new road access linking Activity Area 3.0 and Brooker Avenue.	<ul style="list-style-type: none"> A new access road servicing Activity Area 3.0 and with the potential to also service Activity Area 4.1 shall be encouraged at the location shown in figure 9a. It must be constructed to best practice engineering standards and designed to respond appropriately to the Cove-Domain 'gateway' function of the site. 	<ul style="list-style-type: none"> Not applicable.

Part F Key Sites

Prior to any significant development of a Key Site a 'Site Development Plan' must be prepared.

A Site Development Plan may be incorporated into the Scheme by amendment pursuant to the Land Use Planning and Approvals Act 1993.

All Site Development Plans prepared for Key Sites must reflect the provisions of the Strategic Framework (Part B) and the Objectives and Performance Criteria of the relevant Activity Area (Part D) and satisfy the Objectives and provisions of the Schedules (Part E) of the Scheme.

There is no 'Site Development Plan' for Key Site 5. The internal fitout to continue an existing use and refresh the retail and hospitality offering, retaining significant fabric, is unlikely to be considered a 'significant development' and will likely not require a 'Site Development Plan'.

Assessment against the Works Guidelines for Historic Heritage Places

The Site is identified as a Heritage Place under the *Historic Cultural Heritage Act 1995*. The following table assesses the Proposal against the relevant Works Guidelines for Historic Heritage Places, 2015.

6.0 DEMOLITION, RELOCATION AND MOVEABLE HERITAGE	
6.2 Partial demolition <i>Demolishing or removing non-significant additions to heritage structures, where the work involved will not result in damage to historic fabric or will not markedly impact on the ability to understand the historical evolution of the place.</i> <i>Removing non-significant building fabric, applied finishes, fixtures or fittings.</i>	The proposal is limited to the demolition and removal of modern fit out: non-significant building fabric, applied finishes, fixtures or fittings, and joinery. Significant fabric is to be retained, protected, and unaltered as part of the proposal.
9.0 ALTERATIONS, ADDITIONS AND EXTENSIONS	
9.1 Internal partitions <i>Installing light weight partition walls (eg. office cubicles, shop fit outs) that</i> <ul style="list-style-type: none"> does not involve the removal of original fabric; does not alter a significant design or layout of an interior space, including historic patterns of access and movement; 	The proposed partitions are designed as standalone joinery units and do not involve the removal of original fabric nor alter the historic patterns of access and movement. The warehouse nature of the place will remain evident. The free-standing nature of the joinery, and self-supporting design of the toilet amenities is such that there will be no impact to significant fabric, including the

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<ul style="list-style-type: none"> • does not impact on significant fabric (eg: ceiling heights, plaster detail such as cornices, timber panelling, skirting, architraves, historic/original wallpaper); and are fully reversible. • are fully reversible 	post and beam construction and extant significant galvanised iron partition walls.
9.4 Internal alterations– (generally) <i>New openings into walls that are of little or no significance.</i> <i>Upgrading bathroom, kitchen or laundry fit-outs where there will be no alterations to significant door and/or window openings and no impacts to significant joinery, walls, ceilings or floors, or significant archaeological values below floor level.</i>	There are no proposed openings into walls of significance. The upgrade of the toilet amenities is to be undertaken without alteration to significant fabric, including doors, windows, floor, ceiling and the post and beam structure.
<p>10.0 ACCESS TO HERITAGE PLACES</p>	
10.1 Providing access (generally) <i>Access solutions that clearly do not impact on the significant character, fabric, or spaces of a place.</i>	The proposed access solution of a platform lift does not impact on the significant character, fabric or spaces of the place. There is no requirement for a lift pit, and all required services will be reticulated through the proposed new stairs to match the floor levels in the space. Generally upgrades to the stairs are to non-original fabric, the exception being the affixing of the wall mounted handrail which is nominated as being non-ferrous fixings to mortar joints so as to mitigate impacts and support reversibility (Detail 03/3001, Revision P3, Purcell 23/06/2025).
10.2 Equal access toilet facilities <i>Installing new equal access toilet fit-outs in areas with an existing modern fit-out where there is no impact on heritage fabric, areas of archaeological potential or other aspects of significance.</i>	Equal access toilet facilities are proposed as a self-supporting insertion which will not result in impact to the heritage fabric of the place, nor require excavation, given the extension of existing service reticulation.
<p>11.0 NEW SERVICES</p>	
11.1 New services– (generally) <i>Installing new services where the work clearly does not result in either a physical or visual impact on the significant character, fabric or spaces of a place.</i> <i>Installing plant and equipment in roof spaces or under floors where this work can occur without disturbance of significant fabric.</i> <i>Replacing electrical cabling, fuses and meters where original or early switches, power points and light fittings are retained.</i> <i>New wiring and fittings that are unobtrusive to the heritage fabric and character of the place, where the</i>	It is understood that existing mechanical and electrical services are to be retained and reused, or upgraded to match existing. (COVA Sketches 01-06, dated 24/06/2025). The exception here being the introduction of cassette, floor and wall mounted Air Conditioning units to the First Floor. These have been specified and designed to be concealed and/or located in visually discreet locations so as to mitigate their visual impact. Condenser units are to be co-located in the rear service yard, in or above the bin storage with racking 'such as to avoid fixing units to heritage fabric' (COVA Sketch 03, dated 24/06/2025) New wiring and fittings are required for the nominated platform lift but will be reticulated through the existing sub-floor space.



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<p><i>fixings will not damage significant heritage fabric.</i></p> <p><i>New meter (with or without box/cover) placed in a discreet location and concealed from public view.</i></p> <p><i>Installing pipes or cabling within existing floor/wall penetrations and cavities.</i></p> <p><i>New pipes or cables that enter the building at the lowest possible level and through a mortar joining rather than through heritage fabric.</i></p> <p><i>Excavating existing service trenches to install new pipes or cabling.</i></p> <p><i>Trenching for pipes or cables that does not affect significant archaeological values.</i></p>	<p>Upgraded toilet amenities will be serviced by an alteration to the existing base building plumbing and be reticulated and concealed within new stud walls.</p> <p>This work will not result in physical or visual impact to the character fabric or spaces of the place.</p>
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Summary

The works accord with the provisions of the Sullivans Cove Planning Scheme and its primary objective to conserve the cultural heritage values of Sullivans Cove. The 'building or works' will be carried out in a manner which is compatible with conservation of cultural heritage values of the 'Former Chesterman Building' and will not reduce its apparent authenticity.

Following an assessment of the proposal against '[Works Guidelines for Historic Heritage Places](#)', it is our conclusion that the works will have negligible impact on the historic cultural heritage significance of the Place. Heritage Tasmania may consider that the works are consistent with the provisions for Minor Works and are capable of being carried out in accordance with the Works Guidelines (s42(4)).

Recommendations

In the event of unanticipated finds *Practice Note 2: MANAGING HISTORICAL ARCHAEOLOGICAL SIGNIFICANCE IN THE WORKS PROCESS*, Tasmanian Heritage Council, 2014, should apply.

PURCELL 

APPENDICES

Appendix A Document and Drawing List

Author	Drawing No.	Drawing / Document Name	Rev	Date
Purcell	244098-PUR-XX-XX-DR-A-0001	DRAWING INDEX & LOCATION PLAN	P3	23/06/2025
Purcell	244098-PUR-XX-XX-DR-A-1001	EXISTING/DEMOLITION GA FLOOR PLANS	P3	23/06/2025
Purcell	244098-PUR-XX-XX-DR-A-1201	EXISTING/DEMOLITION GA ELEVATION	P2	23/06/2025
Purcell	244098-PUR-XX-XX-DR-A-2001	PROPOSED GA FLOOR PLANS	P4	23/06/2025
Purcell	244098-PUR-XX-XX-DR-A-2201	PROPOSED GA ELEVATION	P2	23/06/2025
Purcell	244098-PUR-XX-XX-DR-A-3001	HERITAGE INTERFACE DETAILS 1	P3	23/06/2025
Purcell	244098-PUR-XX-XX-DR-A-3002	HERITAGE INTERFACE DETAILS 2	P1	23/06/2025
COVA	COVA SK 01	Concept Sketch over 244098-PUR-XX-XX-DR-A-1001	C	24/06/2025
COVA	COVA SK 02	Concept Sketch over 244098-PUR-XX-XX-DR-A-1201	C	24/06/2025
COVA	COVA SK 03	Concept Sketch over 244098-PUR-XX-XX-DR-A-2001	C	24/06/2025
COVA	COVA SK 04	Concept Sketch over 244098-PUR-XX-XX-DR-A-2001	C	24/06/2025
COVA	COVA SK 06	Concept Sketch over 244098-PUR-XX-XX-DR-A-2201	C	24/06/2025

Purcell Tasmania
nipaluna
Ground Floor, 183 Macquarie Street
Hobart, Tas 7000
Nominated Architect:
Lucy Burke-Smith
ARN 898 CC6606

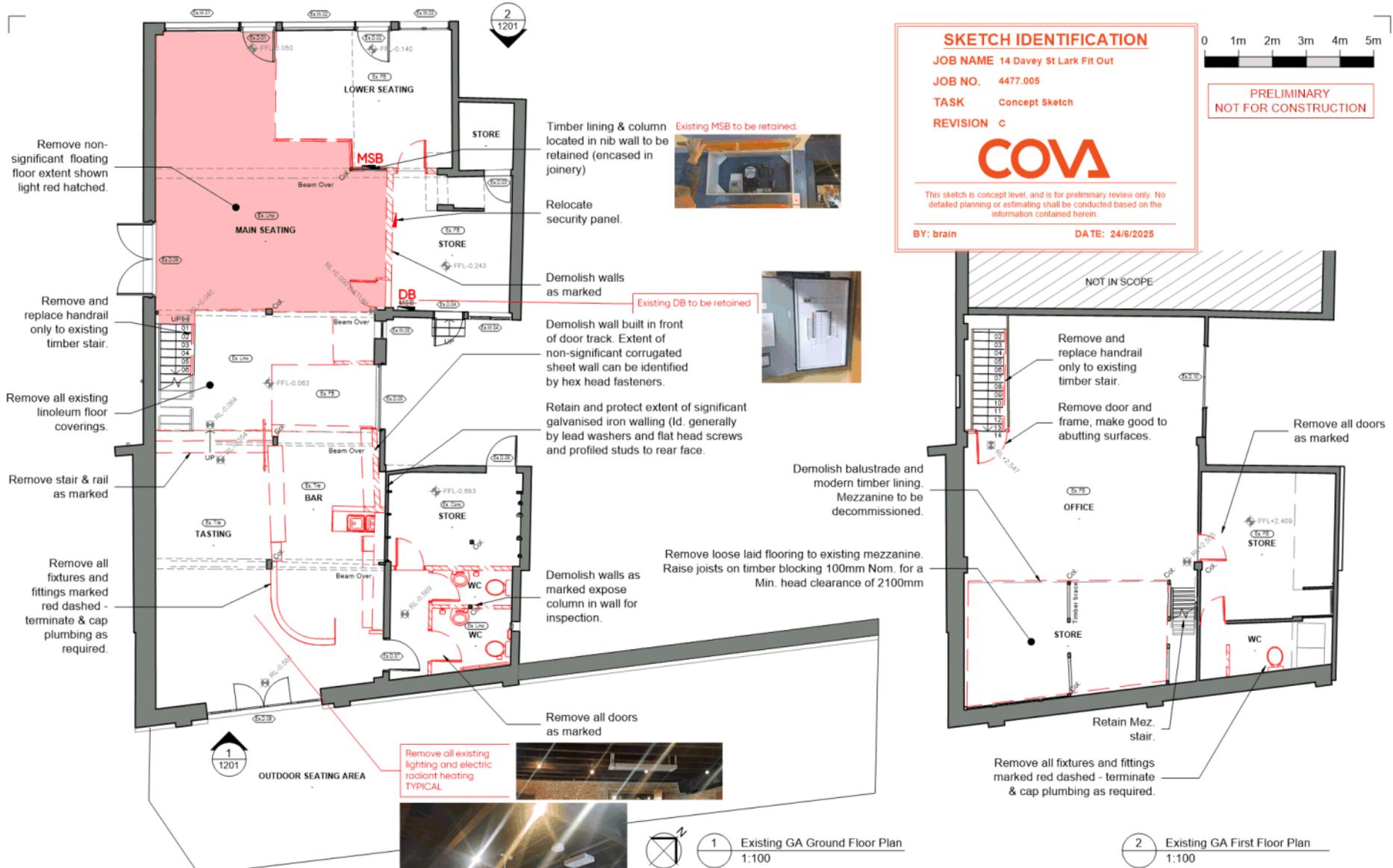
Purcell New South Wales
Warrane
Office #26
The Commons
388 George Street
Sydney, NSW 2000
Nominated Architect:
Tracey Skovronek
ARN NSW 11029

Purcell Victoria
Narm
Level 4, 182 Victoria Parade
East Melbourne VIC 3002
ARBV Registered Architectural Company
(VIC): 600439

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Hong Kong, Bristol, Cambridge, Canterbury,
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Notes:
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 All dimensions are in millimetres unless stated otherwise.
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REV	DATE	BY	CHK	DESCRIPTION
P2	17.08.2025	HJ	LBS	S1 For Coordination
P1	28.05.2025	HJ	LBS	S1 For Coordination

CLIENT
LARK Distillery
 PROJECT
Davey Street Cellar Door

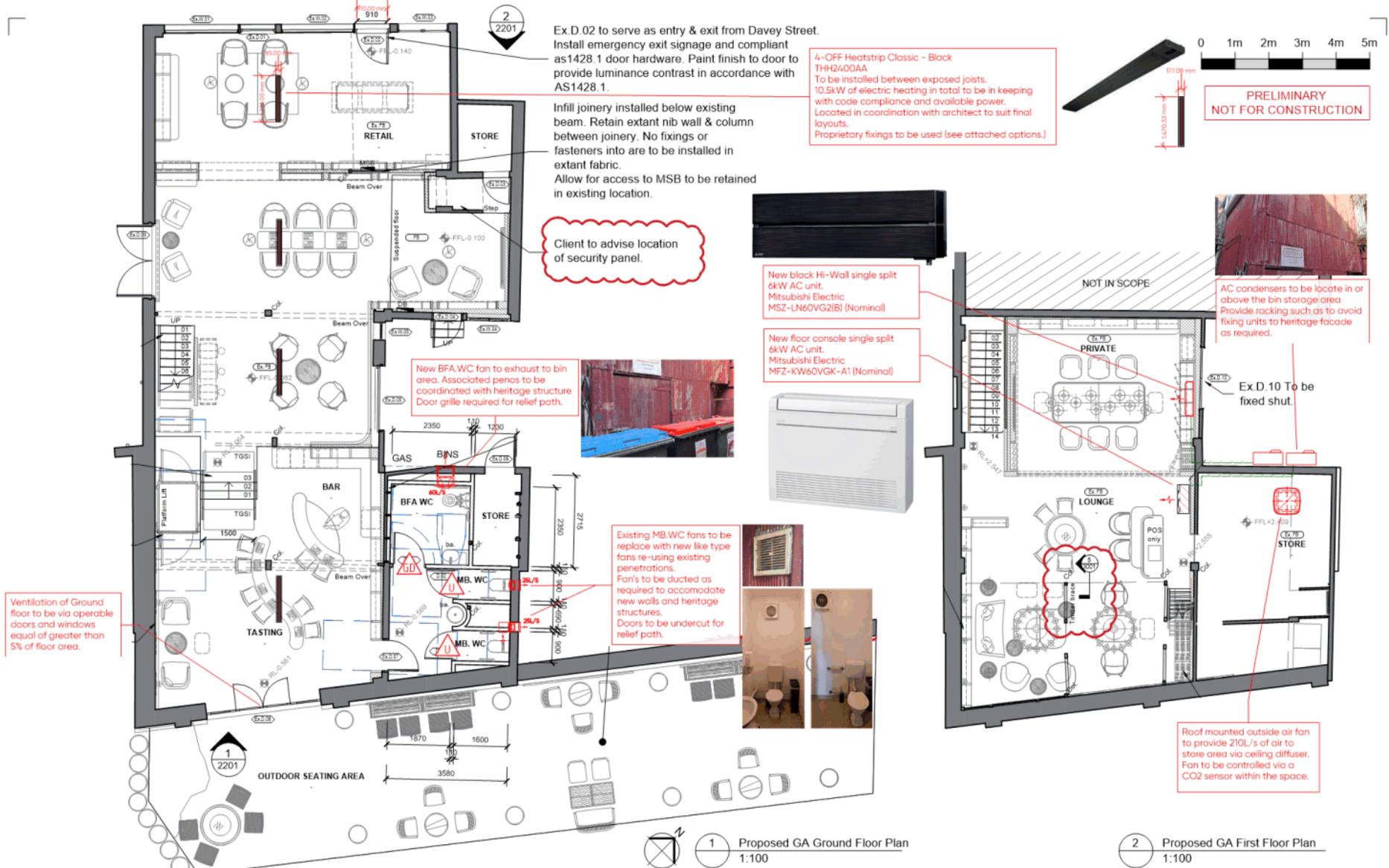
JOB NUMBER
244098
 TITLE
Existing/Demolition GA Floor Plans

SIZE SCALE
 A3L 1:100
 REV. QUANTITY/REASON FOR ISSUE
P2 S1 - For Coordination
 DRAWING NUMBER
244098-PUR-XX-DR-A-1001



1 Existing GA Ground Floor Plan
 1:100

2 Existing GA First Floor Plan
 1:100



Ex.D.02 to serve as entry & exit from Davey Street. Install emergency exit signage and compliant as 1428.1 door hardware. Paint finish to door to provide luminance contrast in accordance with AS1428.1.

Infill joinery installed below existing beam. Retain extant nib wall & column between joinery. No fixings or fasteners into are to be installed in extant fabric. Allow for access to MSB to be retained in existing location.

Client to advise location of security panel.

New BFA.WC fan to exhaust to bin area. Associated pens to be coordinated with heritage structure. Door grille required for relief path.

Existing MB.WC fans to be replace with new like type fans re-using existing penetrations. Fan's to be ducted as required to accommodate new walls and heritage structures. Doors to be undercut for relief path.

1/4-OFF Heatstrip Classic - Black THH2400AA To be installed between exposed joists. 10.5kW of electric heating in total to be in keeping with code compliance and available power. Located in coordination with architect to suit final layouts. Proprietary fixings to be used (see attached options.)

New black Hi-Wall single split 6kW AC unit. Mitsubishi Electric MSZ-LN60VG2(B) (Nominal)

New floor console single split 6kW AC unit. Mitsubishi Electric MFZ-KW60VGK-A1 (Nominal)

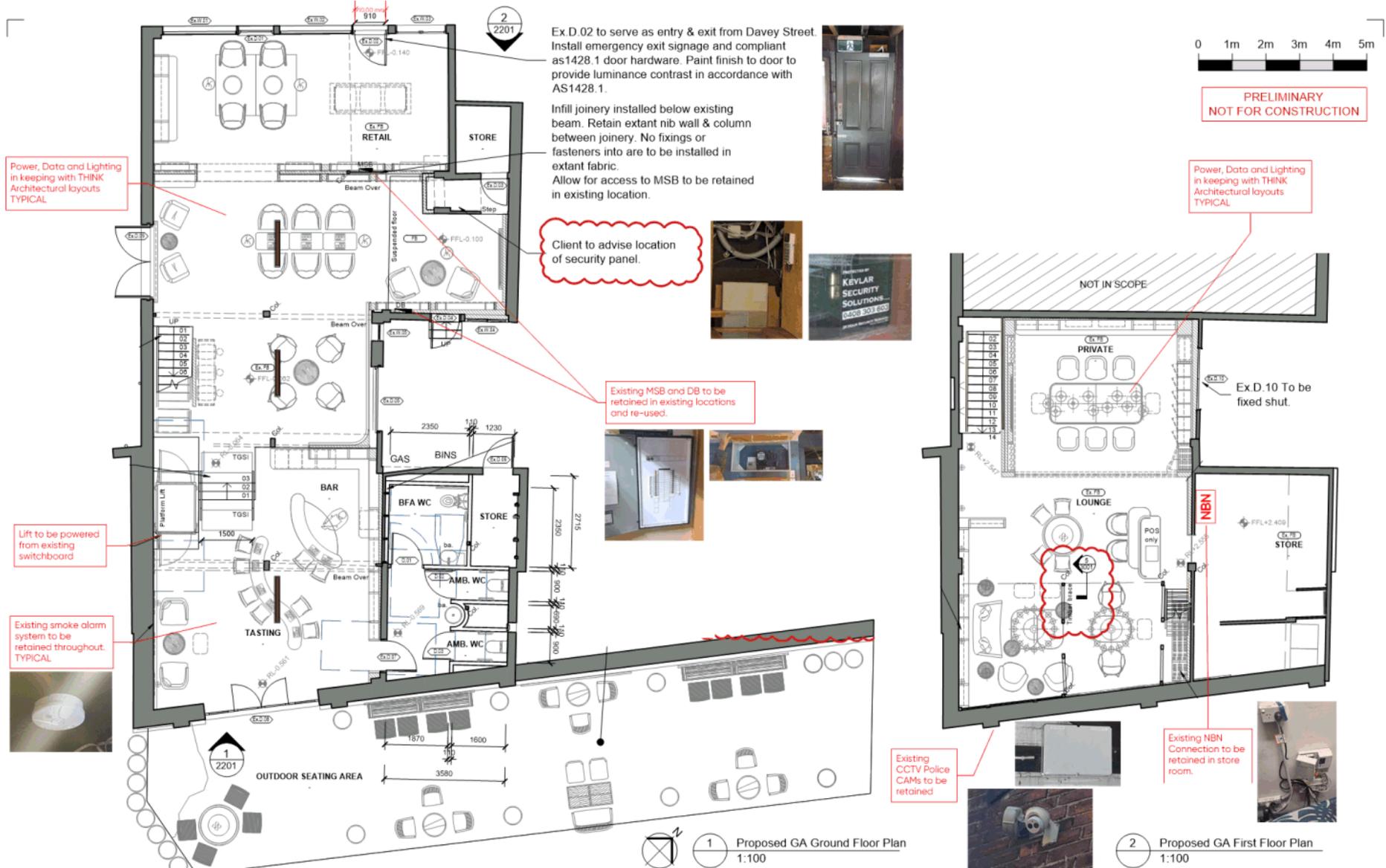
PRELIMINARY
NOT FOR CONSTRUCTION

AC condensers to be locate in or above the bin storage area. Provide racking such as to avoid fixing units to heritage facade as required.

Ex.D.10 To be fixed shut.

Roof mounted outside air fan to provide 210L/s of air to store area via ceiling diffuser. Fan to be controlled via a CO2 sensor within the space.

Ventilation of Ground floor to be via operable doors and windows equal of greater than 5% of floor area.



Power, Data and Lighting in keeping with THINK Architectural layouts TYPICAL

Lift to be powered from existing switchboard

Existing smoke alarm system to be retained throughout. TYPICAL



Ex.D.02 to serve as entry & exit from Davey Street. Install emergency exit signage and compliant as 1428.1 door hardware. Paint finish to door to provide luminance contrast in accordance with AS1428.1.

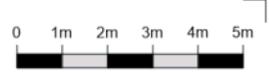


Infill joinery installed below existing beam. Retain extant nib wall & column between joinery. No fixings or fasteners into are to be installed in extant fabric. Allow for access to MSB to be retained in existing location.

Client to advise location of security panel.



Existing MSB and DB to be retained in existing locations and re-used.



PRELIMINARY
NOT FOR CONSTRUCTION

Power, Data and Lighting in keeping with THINK Architectural layouts TYPICAL

NOT IN SCOPE

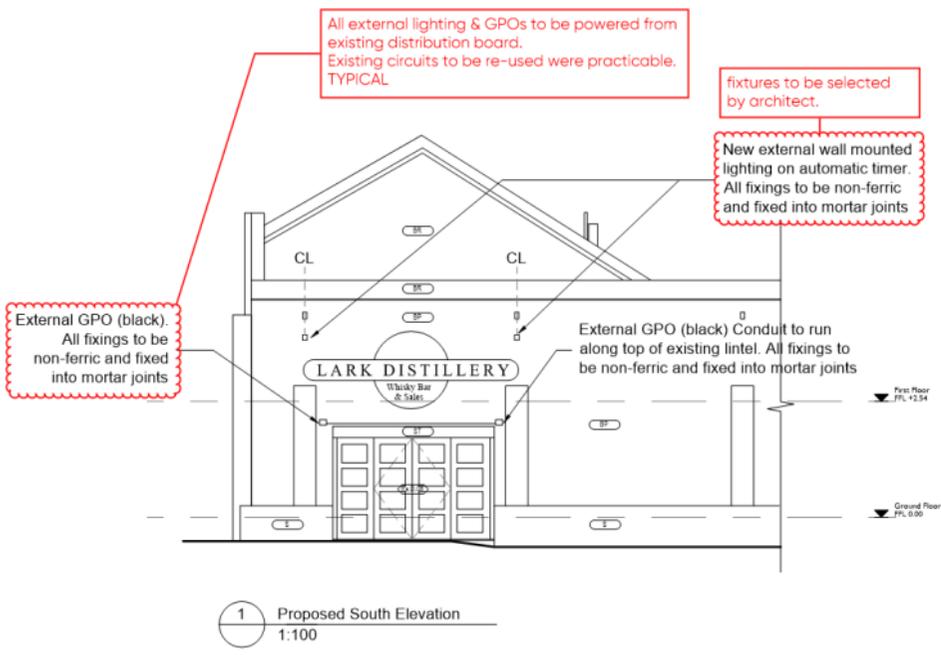
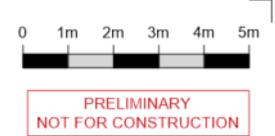
Ex.D.10 To be fixed shut.

Existing CCTV Police CAMs to be retained



Existing NBN Connection to be retained in store room.





1 Proposed South Elevation
 1:100



2 Proposed North Elevation (Davey St)
 1:100

Notes
 Drawings are based on current data and may not accurately represent what is physically present.
 Do not scale from this drawing. All dimensions are to be verified on site before proceeding with the work.
 All dimensions are in millimetres unless stated otherwise.
 Responsibility for installation and fixing of any hardware.
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Abbreviation	Description
BR	Brick
BP	Brick Paved
CR	Corrugated Roof Sheets
R	Render
S	Stone
ST	Steel
T	Timber

REV	DATE	BY	CHK	DESCRIPTION
P1	28.08.2024	HJ	LSD	S1 For Coordination

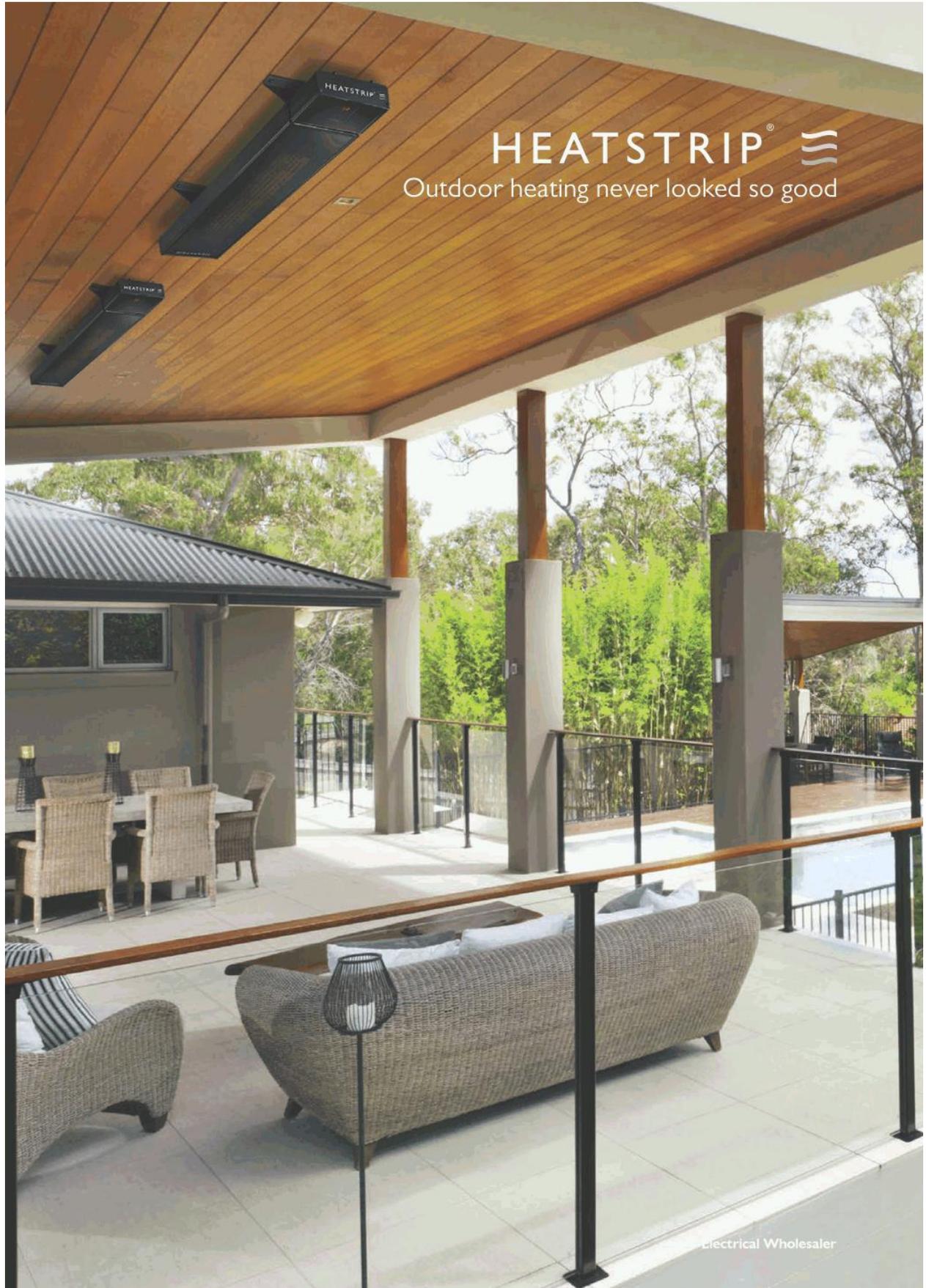
CLIENT
LARK Distillery
 PROJECT
Davey Street Cellar Door

JOB NUMBER
244098
 TITLE
Proposed GA Elevations

SIZE SCALE
A3L 1:100
 REV. DUTY/REASON FOR ISSUE
P1 S1 - For Coordination
 DRAWING NUMBER
244098-PUR-XX-DR-A-2201



PURCELL ARCHITECTS LTD. 100/101-100/102 COLLEGE STREET, PERTH, WEST AUSTRALIA 2670
 100/101-100/102 COLLEGE STREET, PERTH, WA 6150
 PERTH OFFICE: 08 9422 2200
 100/101-100/102 COLLEGE STREET, PERTH, WA 6150
 PERTH OFFICE: 08 9422 2200
 100/101-100/102 COLLEGE STREET, PERTH, WA 6150
 PERTH OFFICE: 08 9422 2200



PRODUCT SELECTOR

CLASSIC - PAGE 2

Application

- Pergola / Protected alfresco
- Difficult to heat indoor areas
- Cafe, garage/shed

Ideal Mounting Height 2.1-2.5m

Max Mounting Height 2.7m

CLASSIC WITH REMOTE & APP - PAGE 3

Application

- Pergola / protected alfresco
- Difficult to heat indoor areas
- Cafe, garage, shed

Ideal Mounting Height 2.1-2.5m

Max Mounting Height 2.7m

ENHANCE WITH REMOTE & APP - PAGE 9

Application

- Indoor / Outdoor
- Direct spot heating applications

Ideal Mounting Height 2.1-2.5m

Max Mounting Height 2.7m

MAX DC WITH REMOTE - PAGE 10

Application

- High ceilings
- Exposed alfresco
- Balconies

Ideal Mounting Height 2.2-2.8m

Max Mounting Height 3m

ELEGANCE - PAGE 4

Application

- Protected alfresco
- Difficult to heat indoor areas

Ideal Mounting Height 2.1-2.5m

Max Mounting Height 2.7m

MAX - PAGE 11

Application

- High ceilings
- Exposed alfresco
- Balconies

Ideal Mounting Height 2.2-2.8m

Max Mounting Height 3m

ELEGANCE WITH REMOTE & APP - PAGE 5

Application

- Protected alfresco
- Difficult to heat indoor areas

Ideal Mounting Height 2.1-2.5m

Max Mounting Height 2.7m

INTENSE PORTABLE - PAGE 12

Application

- Portable spot heating
- Dining / entertaining / work stations
- Suitable for indoor and outdoor areas

Indoor Heating Area 14m²

Outdoor Heating Area 5-9m²

INTENSE (ALL BLACK) - PAGE 6

Application

- Under cover protected areas
- Semi-exposed outdoor locations

Ideal Mounting Height 2.1-2.5m

Max Mounting Height 2.8m

INTENSE NANO - PAGE 13

Application

- Portable spot heating
- Dining / entertaining / work stations
- Suitable for indoor and outdoor areas

Indoor Heating Area 14m²

Outdoor Heating Area 5-9m²

INTENSE OFF-WHITE - PAGE 7

Application

- Under cover protected areas
- Semi-exposed outdoor locations

Ideal Mounting Height 2.1-2.5m

Max Mounting Height 2.8m

PORTABLE LPG - PAGE 14

Application

- Portable spot heating
- Outdoor dining / kitchen
- Hospitality
- Patios / courtyards / balconies

Heating Area 16m²

INTENSE WITH REMOTE & APP - PAGE 8

Application

- Under cover protected areas
- Semi-exposed outdoor locations

Ideal Mounting Height 2.1-2.5m

Max Mounting Height 2.8m

WALL MOUNTED NATURAL GAS - PAGE 15

Application

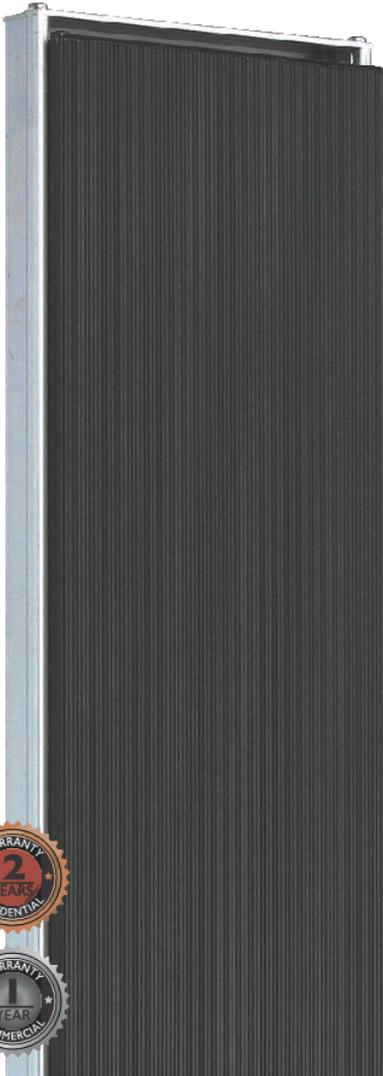
Alfresco areas / hospitality / outdoor dining / kitchen / patios / balconies

Ideal Mounting Height 2-2.7m

Max Mounting Height 3.5m

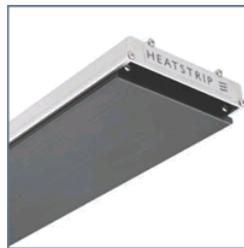
Heating Area 16m²

2

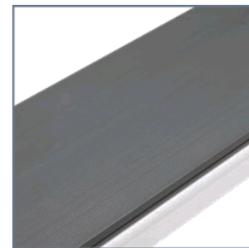


Classic slimline electric, heating solution for your balcony, patio, undercover, protected alfresco area, or verandah. Also suitable for indoor use.

- Indoor/outdoor electric radiant heater.
- 3 models available THH1800A (1800W), THH2400A (2400W) & THH3200A (3200W).
- Convenient DIY installation for the 1800W and 2400W models. 3200W model must be hard-wired.
- Standard mounting bracket included can be used for wall or ceiling mounting. Bracket can also be used to suspend the heater using chains or wires.
- Ideal mounting height 2.1-2.5m. Max mounting height 2.7m.



Corrosion protected for even the toughest environments.



Stylish, sleek, unobtrusive design with unique HEATSTRIP front profile and coating technology.

Optional Controllers

HARDWIRED (TT-MTM)
 Wall mounted controller & remote control.



DIY (TT-MTR-PLUG)
 Timer switch remote control of plug-in heaters. Max 10amps.



Model	Running Costs**	Power	Current	Dimensions	Weight	Lead Length	Plug	Heating Area	Standard Bracket	Flush Mount Kit	Extension Poles
THH1800A	45c / hr	1800 Watts	7.5 amps	1104x165x48mm	6 kg	1000 mm	Yes	3-4 m ²	ZBRAK-113S	THHAC-010	THHAC-005 (300mm)
THH2400A	60c / hr	2400 Watts	10 amps	1364x165x48mm	7 kg	1000 mm	Yes	4-5 m ²	ZBRAK-113S	THHAC-011	THHAC-006 (600mm)
THH3200A*	80c / hr	3200 Watts	13.3 amps	1774x165x48mm	9 kg	1000 mm	No	5-6 m ²	ZBRAK-113S	THHAC-012	THHAC-007 (900mm) THHAC-008 (1200mm)

Materials of construction: High temperature ceramic coated extruded alloy. IP55 Rated.
 ** Running cost based off \$0.25/kWh energy tariff.

***This unit must be installed by a licensed electrician.**

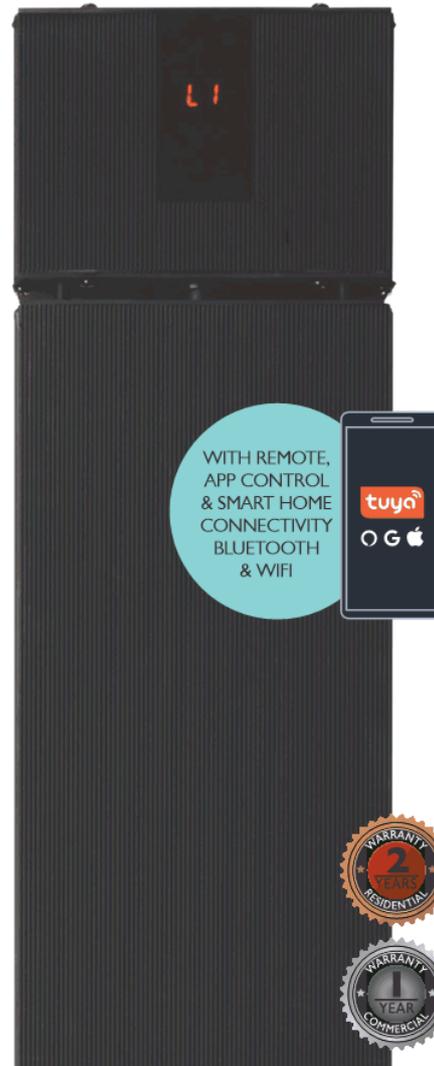


HEATSTRIP[®] CLASSIC

WITH REMOTE & APP

App and remote controlled sleek, all-black electric heating solution for your undercover, protected alfresco area, balcony, patio or verandah. Also suitable for indoor use.

- Indoor/outdoor electric radiant heater.
- 2 models available THH2400AA (2400W) & THH3200AA (3200W).
- Remote, app plus smart home connectivity. Compatible with Google and Amazon smart home platforms. Bluetooth & WIFI.
- Convenient DIY Installation for the 2400W model. 3200W model must be hard-wired.
- Standard mounting bracket can be used for wall or ceiling mounting. Bracket can also be used to suspend the heater using chains or wires.
- Ideal mounting height 2.1-2.5m. Max mounting height 2.7m.



App and remote control provides 3 heat levels with adjustable timer options from 0-24 hours with the touch of a button.



Optional mounting accessories available, including flush mount kits and extension poles

Model	Running Costs**	Power	Current	Dimensions	Weight	Lead Length	Plug	Heating Area	Standard Bracket	Flush Mount Kit	Extension Poles
THH2400AA	60c / hr	2400 Watts	10 amps	1371x165x48mm	7 kg	1000 mm	Yes	4-5 m ²	ZBRK-113B	THHAC-013	THYAC-047 (300mm) THYAC-048 (600mm) THYAC-049 (900mm) THYAC-050 (1200mm)
THH3200AA*	80c / hr	3200 Watts	13.3 amps	1780x165x48mm	9 kg	1000 mm	No	5-6 m ²	ZBRK-113B	THHAC-014	

Materials of construction: High temperature all-black ceramic coated extruded alloy IP55 rated.
 **Running cost based off \$0.25/kWh energy tariff.

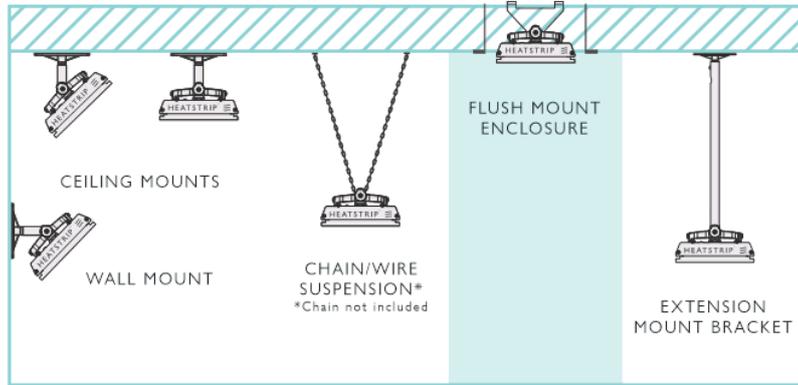
*This unit must be installed by a licensed electrician..

ACCESSORIES

We have a wide range of mounting accessories and controllers are available. Let your HEATSTRIP outdoor heater be a feature, or let it blend with in with your choice of décor.

Mounting accessories for Classic & Elegance Models

Standard mounting bracket can be used for wall, ceiling mounting. Bracket can also be used to suspend the heater using chains or wires.



Available in silver, white, black (Matching coloured brackets are included with the heater).



Flush Mount Kits are available for each model. Available in silver, white or black trim.



Extension poles available in 4 size (300/600/900/1200mm) in silver, white or black.

Mounting accessories for Intense & Max Models

Standard mounting bracket can be used for wall, ceiling mounting. Bracket can also be used to suspend the heater using chains or wires.



Available in black or silver (Matching coloured brackets are included with the heater).



Flush Mount Kits are available for each model. Available in black or silver trim.

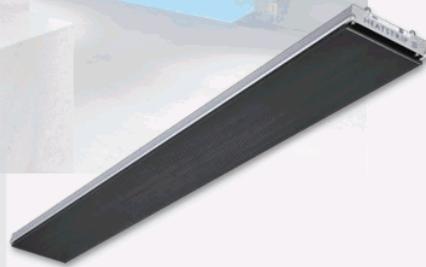


Extension poles available in 4 size (300/600/900/1200mm) in silver, white or black.

HEATSTRIP[®]



Classic (THH-A) Product Manual



HEATSTRIP[®] Classic (THH-A)

www.heatstrip.com.au

Ph: 03 9562 3455 | E: sales@thermofilm.com.au

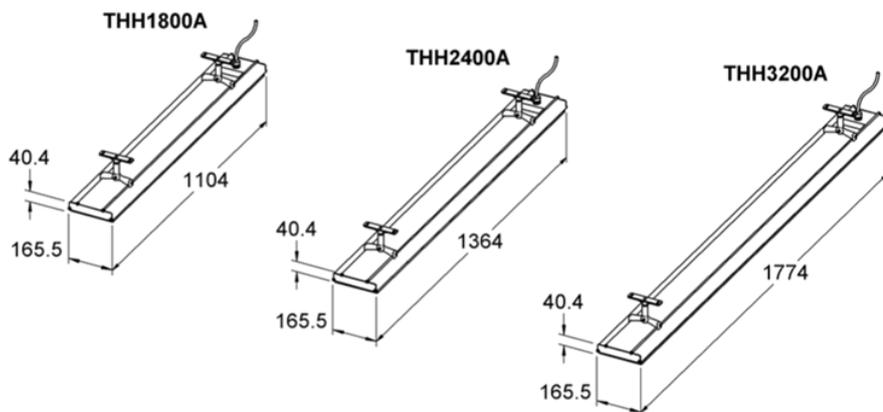
HEATSTRIP®

Specifications - Australia

March 2023 Rev 2

MODEL	POWER (WATTS)	CURRENT (AMPS)	DIMENSIONS (mm)	WEIGHT (Kg)	LEAD LENGTH (mm)	PLUG
THH1800A	1800	7.5	1104x 165 x 48	6	1000	YES
THH2400A	2400	10	1364 x 165 x 48	7	1000	YES
THH3200A	3200	13.3	1774 x 165 x 48	9	500	NO

MODEL							
HEATER TYPE	High intensity electric radiant overhead heater with high surface area profiled alloy						
OUTPUT	Refer to model code chart above						
POWER	230-240 Volts Nominal at 50—60 Hertz, Single Phase						
CONNECTION	3 Core Cable 2.5mm ²						
APPROVALS	AUSTRALIA/NZ						
MOUNTING HEIGHT	<table border="0"> <tr> <td>MINIMUM</td> <td>2.1 m</td> </tr> <tr> <td>RECOMMENDED</td> <td>2.3 m to 2.5 m</td> </tr> <tr> <td>MAXIMUM</td> <td>2.7 m in a fully enclosed outdoor area (For higher ceiling heights, units can be lowered using optional bracket kits or refer to the Heatstrip Max range)</td> </tr> </table>	MINIMUM	2.1 m	RECOMMENDED	2.3 m to 2.5 m	MAXIMUM	2.7 m in a fully enclosed outdoor area (For higher ceiling heights, units can be lowered using optional bracket kits or refer to the Heatstrip Max range)
MINIMUM	2.1 m						
RECOMMENDED	2.3 m to 2.5 m						
MAXIMUM	2.7 m in a fully enclosed outdoor area (For higher ceiling heights, units can be lowered using optional bracket kits or refer to the Heatstrip Max range)						
MOUNTING OPTIONS	Suitable for ceiling, wall, beam, fixed umbrella and recess mounting. Also available for extension mount using rigid fixing poles and chain mount bracket.						
PROTECTION RATING	IP55 Protection from water ingress from all directions						
COUNTRY OF MANUFACTURE	Australia						





Radiant footprint

HEATSTRIP® electric heaters produce radiant heat which heats objects rather than the air. Therefore, it is imperative that objects to be heated (ie. people), are within the direct radiant footprint of the heater.

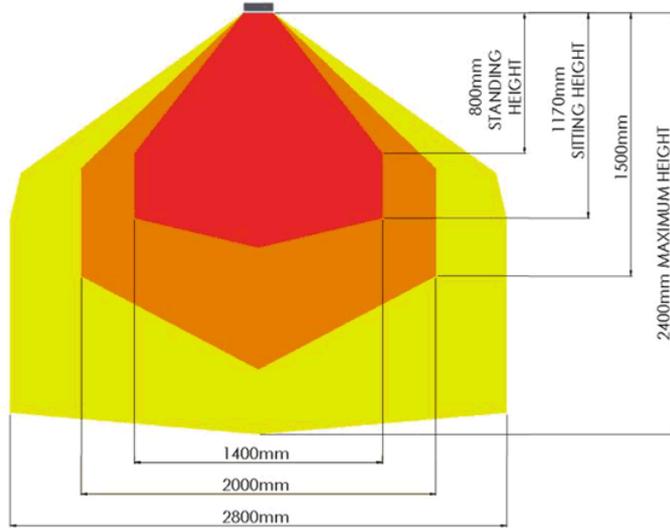
The diagram to the left shows the radiant footprint of HEATSTRIP® Classic, and is an approximate guide based on a fully enclosed outdoor environment.

This diagram shows that the maximum heat output is found directly under the heater, and the temperature decreases as you move away from the heater.

It highlights the importance of maintaining recommended mounting heights, and if possible, positioning the heater directly above the area to be heated.

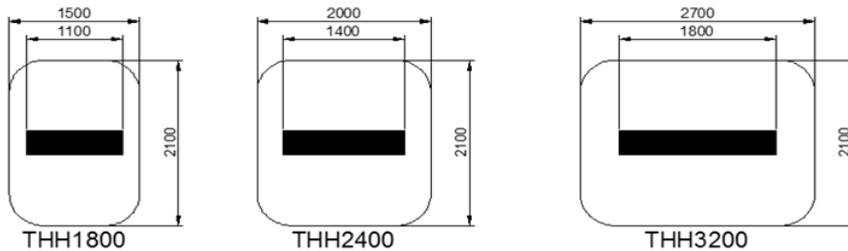
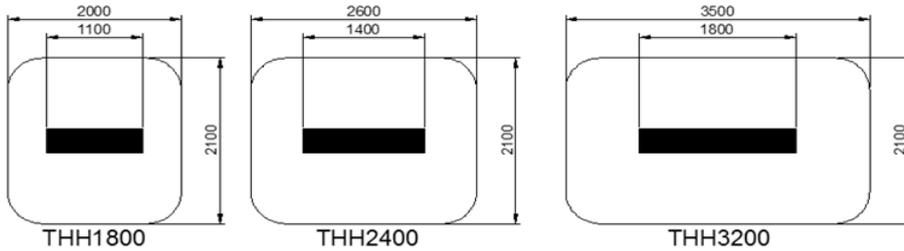
Note that the temperature is the same for all 4 models, regardless of the wattage.

However, as the size increases and the length of the unit increases, the radiant footprint will be longer.



The below diagrams show the approximate heating area for each model, based on both an indoor and outdoor enclosed environment, with direct overhead mounting.

The radiant footprint is reduced in angled, wall mounted installations.





Installation Requirements

The ideal mounting position for the HEATSTRIP® Classic is on the ceiling directly above the area to be heated. If this is not possible, HEATSTRIP® can be mounted on a wall and angled downwards. In this situation, ensure the mounting height is in the range of 2.1m to 2.7m and the table is within 2.5m of the wall.

For mounting heights more than 2.7m, we recommend the use of the optional accessories to reduce the height of the heater to 2.3m—2.5 m. This will increase the effectiveness of your HEATSTRIP®. Refer to the Mounting Accessory section for more information.

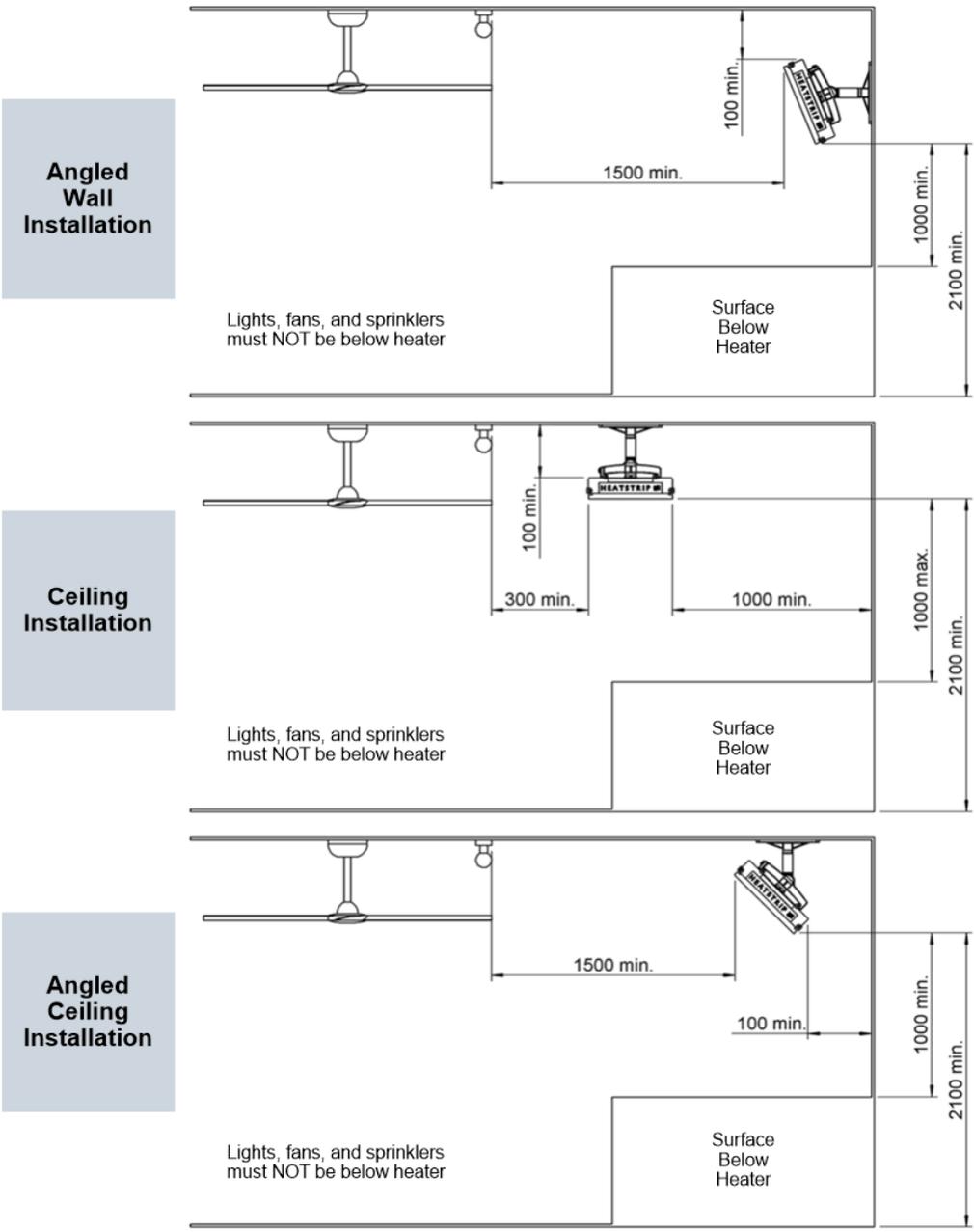
Electrical connections/GPO's should not be located at the back of the heater. They should be located outside the physical footprint of the units to minimize heat build-up behind the units. If the heater is to be mounted on an incline (e.g. vaulted ceiling), ensure the electrical connection is located at the lowest point of the heater.

Incorrect Installation	Correct Installation
<p data-bbox="411 1630 683 1680">The heating surface must never be directed toward the ceiling</p>	

HEATSTRIP®

Installation location — the diagrams below provide the minimum recommended clearances in mm.

WARNING: This heater is not equipped with a device to control the room temperature. Do not use this heater in small rooms when they are occupied by persons not capable of leaving the room on their own, unless constant supervision is provided.

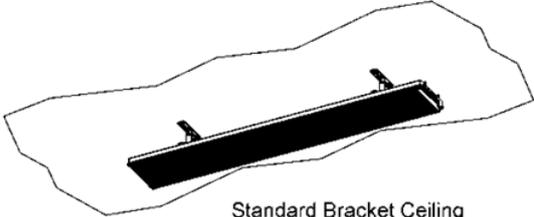
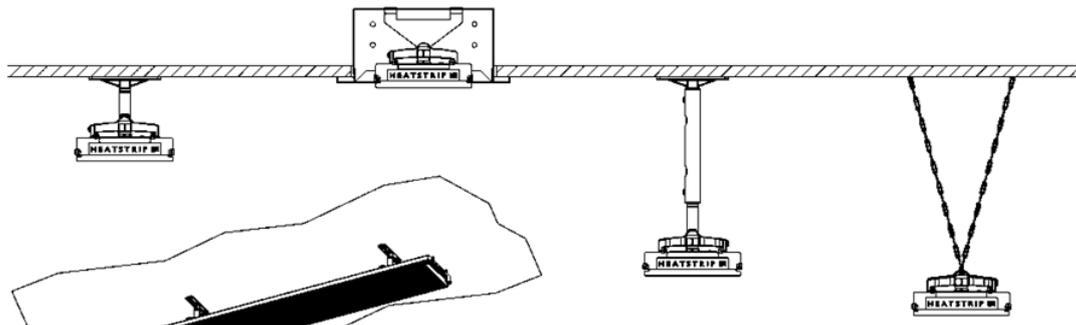


HEATSTRIP®

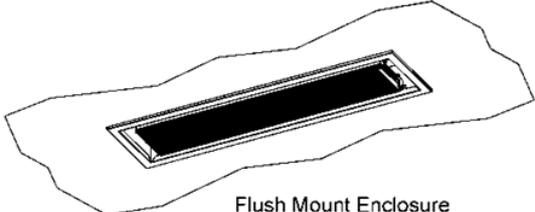
Mounting options

Installing the HEATSTRIP® Classic is simple and easy using the standard mounting brackets supplied. For other irregular locations there are range of mounting options available - refer to diagrams below

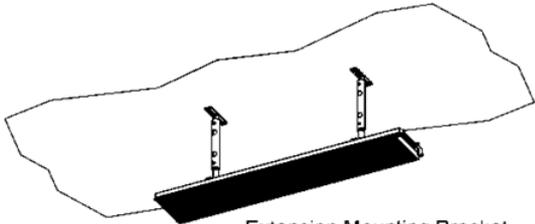
The HEATSTRIP® Classic can be mounted directly to the ceiling, angled downwards on a wall, fitted flush with the ceiling, suspended on chains or poles, attached to beams or poles, mounted end-to-end, or 2 units side-by-side together. Refer to the following pages for more detailed information on each mounting option.



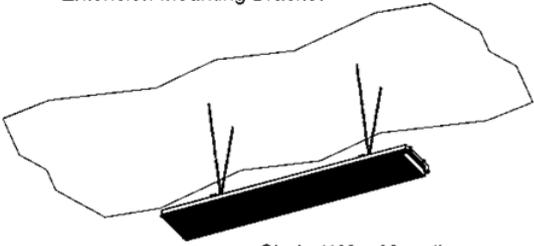
Standard Bracket Ceiling



Flush Mount Enclosure



Extension Mounting Bracket

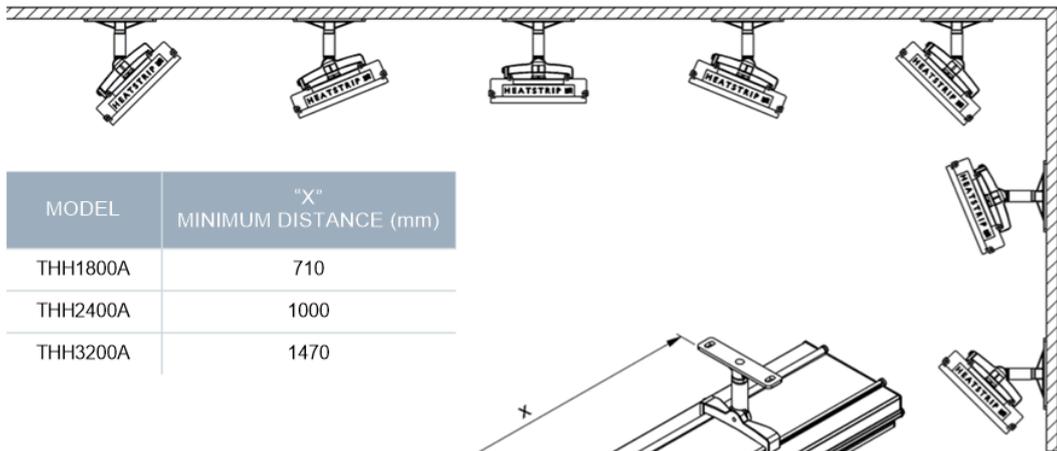


Chain / Wire Mounting

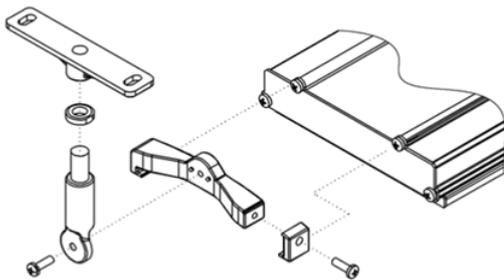
HEATSTRIP®

Standard mounting brackets

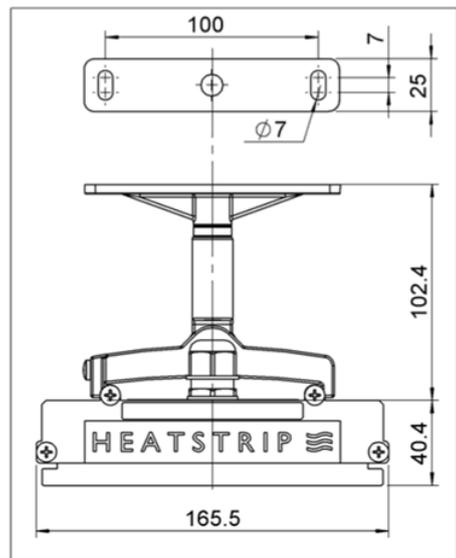
The HEATSTRIP® Classic comes with a pair of standard mounting brackets. These adjustable brackets allow direct ceiling or wall mount, and come with preset angle options of parallel, 22.5° and 45°.



MODEL	"X" MINIMUM DISTANCE (mm)
THH1800A	710
THH2400A	1000
THH3200A	1470



PART No	PACKAGED DIMENSIONS (mm)	WEIGHT (kg)	MATERIAL
ZBRAK-113S	125 x 150 x 40	0.2	ALLOY



HEATSTRIP®

Flush mount enclosure

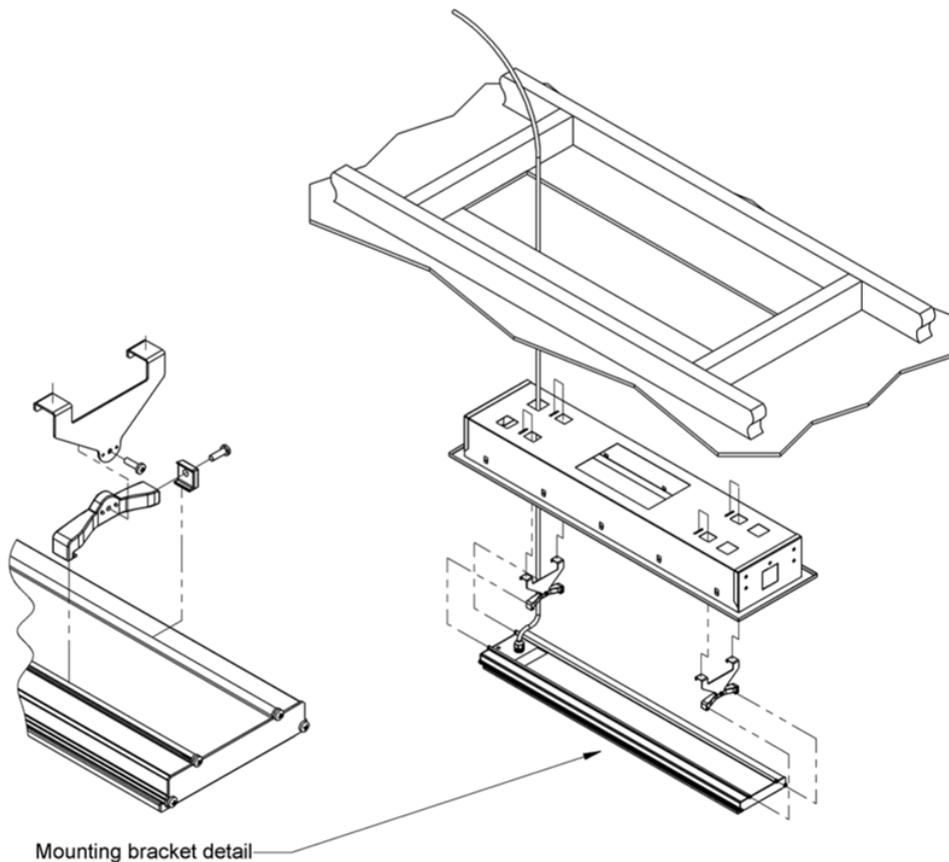
The Flush Mount Enclosure is an ideal way to neatly install the HEATSTRIP® into a ceiling. They are available for all HEATSTRIP® Classic models, and are supplied as a one-piece unit suitable for mounting individual heaters. Flush mounting can be used with plaster or timber lined ceiling materials.

An ideal mounting height is 2.3m-2.5m, with a maximum ceiling height of 2.7m in an outdoor enclosed environment. Maximum mounting heights should be strictly followed, otherwise the performance of the units may be reduced.

The fascia of the enclosure is manufactured from 316 Stainless Steel and the rear casing is black zinc coated steel.

Please refer to the Flush Mount Enclosure Installation Manual for more detailed installation information.

SUITABLE FOR MODELS	PART No	HOLE CUTOUT DIMENSIONS (mm)	OVERALL DIMENSIONS (mm)	WEIGHT (kg)
THH 1800A	THHAC-010	1160 x 230	1210 x 280 x 125	6
THH 2400A	THHAC-011	1420 x 230	1470 x 280 x 125	8
THH 3200A	THHAC-012	1830 x 230	1880 x 280 x 125	9





HEATSTRIP Wall Mounting Kit - (THHAC-028)

HEATSTRIP Wall Mounting Kit is an ideal way to install units into hard to mount applications where wall mounting is preferable to direct overhead mounting, applications include heating over tables, lounges, work stations etc. These kits are suitable for all HEATSTRIP Elegance & Classic models.

Instructions:

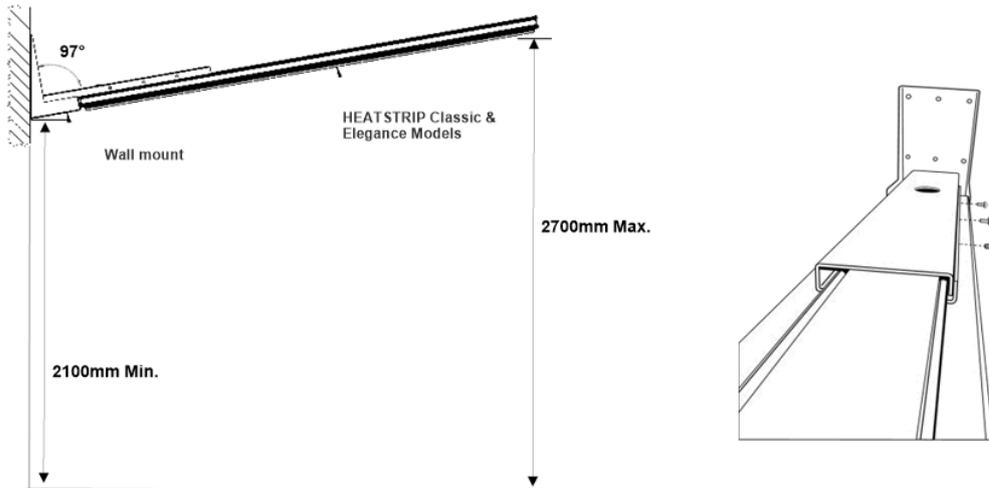
Fix the wall bracket in the desired location using 6 x 8 mm fasteners that will be more than adequate to safely support the bracket and the HEATSTRIP unit.

When bracket is installed lift the heater into position passing the power cord through the hole. Locate the heater so the L bracket fits into the mounting groove located on the back of the HEATSTRIP. Position the angle piece into the mounting groove on opposite side of the heater and secure firmly onto the bracket using the 3 screws provided.



Installation Location - The below diagram outlines the recommended clearances.

Note: The minimum height from the ground to bottom of the bracket is 2.1m, and the maximum height from the ground to the end of the heater is 2.7m. We recommend a mounting height of 2.3 to 2.5m.



FLOOR	DIMENSION (mm)	WEIGHT (Kg)	MATERIALS
	550 (L) x 165 (W) x 250 (H)	3.5	Powder coated Mild Steel

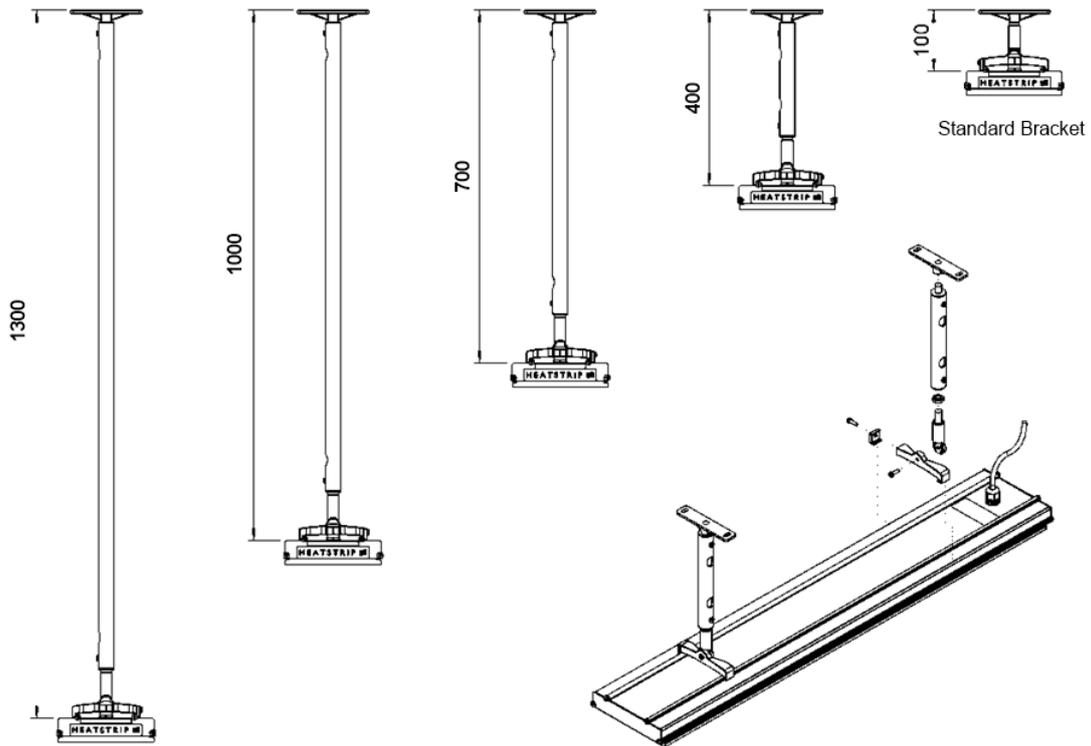


Extension Mount Bracket

The Extension Mount bracket allows HEATSTRIP® Classic units to be lowered from high ceilings using rigid connections. The brackets are designed to be used with 20mm x 20mm x 1mm tube (SHS), and can be supplied as brackets only for customising the length of the drop on site, or supplied as a complete kit with brackets, pre-cut poles and connections. The standard length options as part of the kit are 150mm, 300mm, 600mm, 900mm and 1200mm.

The extension mount brackets utilise components from the standard bracket kit which is supplied with each heater.

*screws to ceiling are not included



PART No	DIMENSIONS (mm)	WEIGHT (kg)	MATERIALS	NOTES
THHAC-005	300 x 20 x 20	0.21	ALLOY	Kit Includes 2 x 300mm Extension Poles
THHAC-006	600 x 20 x 20	0.38	ALLOY	Kit Includes 2 x 600mm Extension Poles
THHAC-007	900 x 20 x 20	0.55	ALLOY	Kit Includes 2 x 900mm Extension Pole
THHAC-008	1200 x 20 x 20	0.71	ALLOY	Kit Includes 2 x 1200mm Extension Pole



Split Systems



RANGE

Indoor Units

MSZ-LN Series

Capacity Range: 2.5/3.5/5.0/6.0kW

- ⊙ Built-In Wi-Fi
- ⊙ Plasma Quad Plus Filter
- ⊙ Dual Split Vane Technology
- ⊙ Quiet 19dBA Noise Level (LN25)
- ⊙ 3D i-see Sensor
- ⊙ Dual Barrier Coating



MSZ-EF Series

Capacity Range: 2.5/3.5/4.2/5.0kW

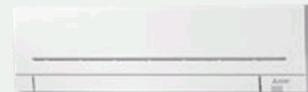
- ⊙ Built-In Weekly Timer
- ⊙ Nano Platinum Filter
- ⊙ Appealing design matches any room décor
- ⊙ Built-In Wi-Fi
- ⊙ Quiet 21dBA Noise Level in 'Quiet Mode' (EF25/35)



MSZ-AP Series

Capacity Range: 2.0/2.5/3.5/4.2/5.0/6.0/7.1/7.8kW

- ⊙ Dual Barrier Coating
- ⊙ Quiet 18dBA Noise Level (AP25 in heating mode)
- ⊙ Built-In Anti-Allergy Enzyme Filter*2
- ⊙ Long Airflow Operation (AP60/71/80)
- ⊙ Built-In Wi-Fi*2
- ⊙ Electrostatic Anti-Allergy Enzyme Filter (Optional)*2



MSZ-AS90

Capacity Range: 9.0kW

- ⊙ Dual Barrier Coating
- ⊙ Long Operation
- ⊙ Vertical & Horizontal Vanes
- ⊙ Wi-Fi Control*1
- ⊙ Anti-Allergy Enzyme Filter (Optional)*2

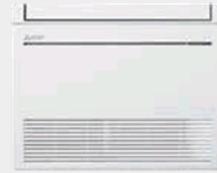


*1 Optional Wi-Fi adapter required per unit.
 *2 Excludes MSZ-AP20.

MFZ-KW Series

Capacity Range: 2.5/3.5/4.2/5.0/6.0kW

- ⊙ Simple & Flat Design
- ⊙ Nano Platinum Filter
- ⊙ Multi-Flow Vane (Optimum Air Distribution)
- ⊙ Built-In Wi-Fi
- ⊙ Built-In Installation Capability
- ⊙ Built-In Weekly Timer



MLZ-KP Series

Capacity Range: 2.5/3.5/5.0kW

- ⊙ Slim Body
- ⊙ Horizontal Airflow
- ⊙ Multi-Flow Vane (Optimum Air Distribution)
- ⊙ Auto Vane Control
- ⊙ Built-In Weekly Timer
- ⊙ Wi-Fi Control¹



SLZ-M Series

Capacity Range: 2.5/3.5/5.0/6.0 kW

- ⊙ Outside-Air Intake
- ⊙ Wi-Fi Control¹
- ⊙ 3D i-see Sensor (Optional)
- ⊙ Unit height of only 235mm
- ⊙ Compact 2ft x 2ft size for ceiling installation



SEZ-M Series

Capacity Range: 2.5/3.5/5.0/6.0/7.1kW

- ⊙ Compact Design
- ⊙ Three fan speeds and four static pressure levels
- ⊙ Wi-Fi Control¹
- ⊙ Unit height of only 200mm



¹Optional Wi-Fi adapter required per unit.

RANGE | INDOOR UNITS



MSZ-LN Series

Indoor Unit

The LN Series is a great accompaniment for the contemporary home, blending efficiency with a sleek and ultra modern design. With a range of deep, rich colours, like pearl white, ruby red and onyx black, the LN Series is premium and stylish.



Plasma Quad Plus Filter

An advanced, multi-stage filter system designed to effectively reduce common allergens and bacteria and influenza virus ensuring the circulation of fresh, clean air back into the room.*1



Built-In Wi-Fi*2 Control

Unlock the door to smarter heating and cooling, for total home comfort. View and control your air conditioner from anywhere in the world, set up schedules and get true two-way feedback.



3D i-see Sensor

Monitors the whole room in sections and directs the airflow to areas of the room where the temperature does not match the temperature setting. For e.g. when cooling the room, if the middle of the room is detected to be hotter, more airflow is directed towards it. Eliminating unnecessary heating/cooling.



Dual Split Vane Technology

The unique dual split vane design allows airflow to be customised to suit different areas of the room, by independently directing air up, down, left and right.

General Specifications

Capacity Range: 2.5/3.5/5.0/6.0kW

Unit Dimensions (mm):

890 (W) x 233 (D) x 307 (H)

Available Colours:

Pearl White,
 Ruby Red,
 Onyx Black

Additional Features:

- » Direct/Indirect Airflow
- » Dual Barrier Coating
- » Natural Flow
- » Absence Detection

*1 Testing Standard JEM1467:2015.

*2 Requires an internet connection and the App downloaded on your smartphone or tablet with the latest operation system available.

RANGE | INDOOR UNITS

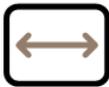


MFZ-KW Series

Indoor Unit



Our floor consoles are a great renovation option with their slimline design, fitting neatly into cavities of renovated fireplaces or heaters. The auto swing vane provides a more natural and comfortable airflow throughout the room.



Slim & Sophisticated

A contemporary slimline design that can be recessed into your wall to significantly reduce the indoor unit's depth from 215mm to 145mm - a 33% decrease. Also features a removable base, it is the ideal solution to provide compact, unobtrusive installation.



Built-In Wi-Fi*1 Control

Unlock the door to smarter heating and cooling systems, for total home comfort. Connecting your Mitsubishi Electric air conditioner to your smartphone, tablet or online account, giving you the freedom to fully control each unit on-the-go via an internet connection from anywhere in the world.



Rapid Heating Technology

Rapid Heating Technology ensures the perfect room temperature is reached, faster. Warm air is blown out in a downward direction and then sucked back into the unit to quickly raise the temperature of the air being blown out.



Nano Platinum Feature

The Nano Platinum Deodorising Filter reduces airborne bacteria while improving air quality. The optional Electro Static Anti-Allergy Enzyme Filter assists in the reduction of common allergens.*2

General Specifications

Capacity Range: 2.5/3.5/4.2/5.0/6.0kW

Unit Dimensions (mm):
 750 (W) x 215 (D) x 600 (H)

Available Colours:
 Pure White

- Additional Features:
- » Quiet Operation (models 25/35), 19dB Heating (models 25/35)
 - » i-Save Mode
 - » Multi Flow Vane

*1 Requires an internet connection and the App downloaded on your smartphone or tablet with the latest operating system available.
 *2 Testing Standard JIS L1902.

Bluetooth* Touch Screen Controller

PAR-CT01MAA-S/SB/PB

A full colour 3.5" touch LCD display suitable for both residential and commercial applications. Remote controller can communicate with smartphone or tablet device via Bluetooth Low Energy (BLE).

Features:

- Logo/photo image customisation
- White or Premium Black finishes
- 180 colour patterns available
- Customisable display
- Multilingual support: The smartphone app can be displayed in the language that the user's smartphone is set to

*Available for PAR-CT01MAA-SB and PAR-CT01MAA-PB.



PAR-CT01MAA-PB

7 Day Wired Controller

PAR-41MAA

A large easy to read display with backlit LCD.

Features:

- Weekly timer – 8 patterns up to 7 days
- Auto-Off timer
- Operation lock
- Multi Language (EN/FR/DE/ES/IT/PT/SV/RU)
- Temperature range restriction – Limit minimum and maximum to prevent over heating/cooling



PAR-41MAA

Handheld Controllers

PAR-SL97A-E | PAR-SL101A-E

With an easy to read display and a variety of operating modes at the touch of a button. This controller features a weekly and 24 hour timer, On/Off timer to set operating times on a daily basis. The 'i-Save' mode recalls the preset temperature.

Features:

- 24 hour timer
- Mode and fan speed selection
- i-Save mode
- 3D i-see Sensor controller (PAR-SL101A-E only)

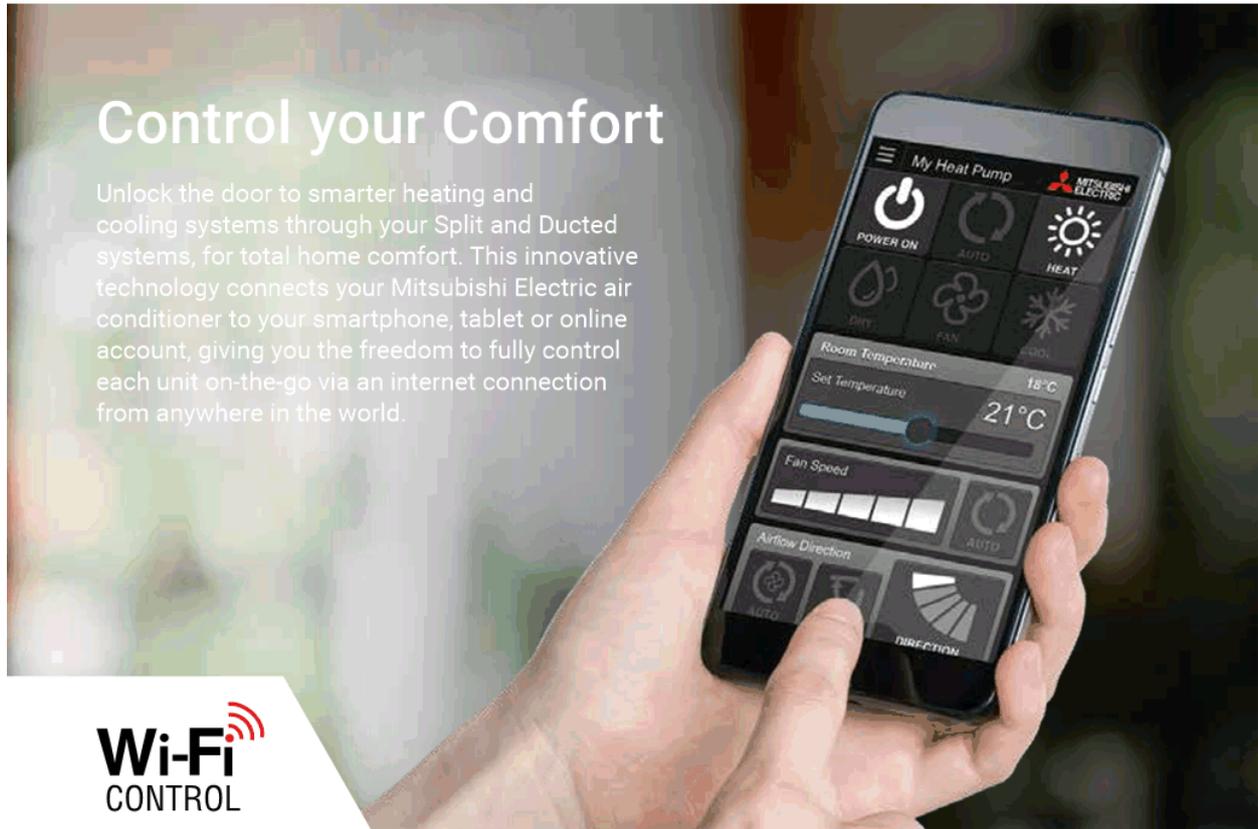


PAR-SL97A-E



PAR-SL101A-E

CONTROLLERS



Features

- » Adjusting set temperature
- » Changing mode
- » Fan Speed
- » Auto-off
- » Zone Control



Develop Operating Rules

Tailor your system to always meet your needs and unlock the full potential of your air conditioner. Program your system to automatically turn On/Off at specific times, change settings, and develop temperature rules to ensure superior comfort day after day.



Voice Control

Mitsubishi Electric air conditioning systems connected with Wi-Fi Control*1 are Amazon Alexa*2 and Google Assistant*3 enabled. This means you can enjoy hands-free control.



Control Multiple Units

Customise the settings of each air conditioner in your home. Purchase multiple adaptors to manage all air conditioners independently on the same account, to ensure complete control over your system. The result is a tailored system to your needs.

*1 Optional Wi-Fi adapter required per unit (excludes LN Series, EF Series, KW Series, and AP25-80 Series). Requires an internet connection and the App downloaded on your smartphone or tablet with the latest operation system available.

*2 To use Amazon Alexa to control your air conditioner you will need an Amazon Alexa Echo device.

*3 To use Google Assistant to control your air conditioner you will need a Google Home Smart speaker.

SPECIFICATIONS



MUZ-LN25/35VG2-A2

MUZ-LN50VG3-A1

MUZ-LN60VG2-A1

MSZ-LN Series (Wall Mounted)				MSZ-LN25VG2(V/B/R)-A3	MSZ-LN35VG2(V/B/R)-A3	MSZ-LN50VG3(V/B/R)-A1	MSZ-LN60VG3(V/B/R)-A1	
Indoor Unit				MUZ-LN25VG2-A2	MUZ-LN35VG2-A2	MUZ-LN50VG3-A1	MUZ-LN60VG2-A1	
Outdoor Unit				MUZ-LN25VG2-A2	MUZ-LN35VG2-A2	MUZ-LN50VG3-A1	MUZ-LN60VG2-A1	
Refrigerant				R32				
Cooling	Capacity [Rated]*1	kW		2.50	3.50	5.00	6.10	
	Capacity [Min-Max]	kW		1.00 - 3.50	0.80 - 4.00	1.00 - 6.00	1.40 - 6.90	
	Total Input [Rated]*1	kW		0.49	0.82	1.38	1.73	
	Total Input [Min-Max]	kW		0.18 - 0.90	0.16 - 1.18	0.19 - 2.33	0.27 - 2.73	
	EER			5.10	4.27	3.62	3.53	
	AEER			5.07	4.25	3.61	3.52	
	TCSPF (Residential)		Hot		6.92	6.08	5.32	4.85
			Average		6.48	5.75	5.07	4.64
			Cold		6.74	6.05	5.38	4.87
	ZERL (Residential) Star Rating**		Hot		5.0	4.5	3.5	3.0
			Average		4.5	4.0	3.5	3.0
			Cold		5.0	4.5	3.5	3.0
	Running Current [Rated]**	A		2.70	3.80	6.30	7.80	
	Sound Pressure Level	In [Quiet-Lo-Mid-Hi-SHi]	dBA		19 - 23 - 29 - 36 - 42	19 - 24 - 29 - 36 - 43	27 - 31 - 35 - 39 - 46	29 - 37 - 41 - 45 - 49
Out (PWL)		dBA		46 (60)	49 (61)	51 (64)	55 (65)	
Air Volume (In) [Quiet-SHi]	L/s		78 - 207	78 - 217	95 - 232	118 - 262		
Heating	Capacity [Rated]*1	kW		3.20	4.00	6.00	6.80	
	Capacity [Min-Max]	kW		0.70 - 5.40	0.90 - 6.30	1.00 - 8.20	1.80 - 9.80	
	Total Input [Rated]*1	kW		0.60	0.82	1.48	1.80	
	Total Input [Min-Max]	kW		0.15 - 1.50	0.17 - 1.88	0.17 - 3.00	0.33 - 3.62	
	COP			5.33	4.88	4.05	3.78	
	ACOP			5.30	4.86	4.04	3.77	
	HSPF (Residential)		Hot		5.54	5.42	4.75	4.72
			Average		5.25	5.03	4.32	4.21
			Cold		4.93	4.62	3.87	3.74
	ZERL (Residential) Star Rating**		Hot		4.0	3.5	3.0	3.0
			Average		3.5	3.5	2.5	2.5
			Cold		3.0	3.0	2.0	2.0
	Running Current [Rated]**	A		3.40	3.80	6.80	7.53	
	Sound Pressure Level	In [Quiet-Lo-Mid-Hi-SHi]	dBA		19 - 24 - 29 - 38 - 45	19 - 24 - 29 - 38 - 45	25 - 29 - 35 - 43 - 47	29 - 37 - 41 - 45 - 49
Out (PWL)		dBA		49 (61)	50 (62)	54 (66)	55 (69)	
Air Volume (In) [Quiet-SHi]	L/s		75 - 232	75 - 232	90 - 262	108 - 262		
Max. Running Current	A		7.1	9.9	13.9	15.2		
Indoor Unit	Input [Rated] (Cooling/Heating)	W		20/27	23/27	29/34	40/40	
	Dimensions [HxWxD]	mm		307 x 890 x 233	307 x 890 x 233	307 x 890 x 233	307 x 890 x 233	
Outdoor Unit	Weight	kg		15.5	15.5	16.0	16.0	
	Dimensions [HxWxD]	mm		550 x 800 x 285	550 x 800 x 285	714 x 800 x 285	880 x 840 x 330	
Piping	Weight	kg		33.0	34.0	40.0	53.0	
	Breaker Size	A		10	10	16	16	
Piping	Diameter [Liquid/Gas]	mm		ø6.35/ø9.52	ø6.35/ø9.52	ø6.35/ø9.52	ø6.35/ø12.70	
	Max. Length/Height	m		20/12	20/12	30/12	30/15	
Guaranteed Operating Range [Outdoor]	Cooling	°C		-10 ~ 46	-10 ~ 46	-10 ~ 46	-10 ~ 46	
	Heating	°C		-15 ~ 24	-15 ~ 24	-15 ~ 24	-15 ~ 24	
Refrigerant Amount [Pre-Charged]	kg		0.80	0.85	1.25	1.45		

Notes:

*1 The Capacity (rated), Total Input (rated) and Running Current (rated) are determined under conditions T1 (cooling) or H1 (heating) of AS/NZS 3823.1.1
 Cooling: Indoor 27°CDB/19°CWB, Outdoor 35°CDB/24°CWB
 Heating: Indoor 20°CDB/15°CWB, Outdoor 7°CDB/6°CWB

*2 ZERL (Residential) refers to 'Zoned Energy Rating Label' residential star rating based on GEMS 2019 Determination.

*3 Rated Load Amps (RLA) is based on nominal conditions. Use Maximum Circuit Amps (MCA) for power supply infrastructural sizing, etc.

SPECIFICATIONS



MUFZ-KW-25/35/42VG2-A1

MUFZ-KW-50/60VG2-A1

MFZ-KW Series (Floor Standing)			MUFZ-KW25VGK-A1	MUFZ-KW35VGK-A1	MUFZ-KW42VGK-A1	MUFZ-KW50VGK-A1	MUFZ-KW60VGK-A1	
Indoor Unit			MUFZ-KW25VG2-A1	MUFZ-KW35VG2-A1	MUFZ-KW42VG2-A1	MUFZ-KW50VG2-A1	MUFZ-KW60VG2-A1	
Refrigerant			R32					
Cooling	Capacity [Rated]*1	kW	2.50	3.50	4.20	5.00	6.10	
	Capacity [Min-Max]	kW	0.70 - 3.40	0.70 - 3.80	0.70 - 5.00	1.00 - 5.70	1.00 - 6.50	
	Total Input [Rated]*1	kW	0.57	0.87	1.11	1.32	1.73	
	Total Input [Min-Max]	kW	0.19 - 0.89	0.19 - 1.01	0.19 - 1.68	0.31 - 1.95	0.31 - 2.25	
	EER		4.38	4.02	3.78	3.78	3.52	
	AEER		4.32	3.98	3.75	3.76	3.50	
	TCSPF (Residential)	Hot		5.56	5.33	4.72	4.58	4.46
		Average		5.08	4.96	4.43	4.32	4.22
		Cold		5.18	5.12	4.54	4.41	4.36
	ZERL (Residential) Star Rating**	Hot		4.0	3.5	3.0	3.0	2.5
		Average		3.5	3.0	2.5	2.5	2.5
		Cold		3.5	3.5	3.0	2.5	2.5
Running Current [Rated]**	A	2.90	4.10	5.10	5.90	7.50		
Sound Pressure Level	In [Quiet-Lo-Mid-Hi-SH]	dB(A)	20 - 26 - 32 - 38 - 44	20 - 26 - 32 - 38 - 44	20 - 28 - 36 - 43 - 51	27 - 31 - 35 - 39 - 44	27 - 35 - 39 - 46 - 53	
	Out (PWL)	dB(A)	48 (61)	48 (61)	48 (62)	53 (66)	53 (66)	
Air Volume (In) [Quiet-Lo-Mid-Hi-SH]	L/s	65 - 80 - 107 - 135 - 172	65 - 80 - 107 - 135 - 172	65 - 88 - 125 - 163 - 228	102 - 112 - 133 - 155 - 177	102 - 133 - 160 - 205 - 250		
Capacity [Rated]*1	kW	3.40	4.30	5.40	5.80	6.50		
Capacity [Min-Max]	kW	0.23 - 4.60	0.23 - 6.00	0.23 - 6.70	1.20 - 8.20	1.20 - 8.80		
Total Input [Rated]*1	kW	0.78	1.14	1.43	1.53	1.88		
Total Input [Min-Max]	kW	0.13 - 1.35	0.13 - 2.38	0.13 - 2.40	0.37 - 3.30	0.37 - 3.43		
COP		4.35	3.77	3.77	3.79	3.45		
ACOP		4.31	3.74	3.75	3.77	3.44		
HSPF (Residential)	Hot		4.62	4.59	4.67	4.67	4.64	
	Average		4.36	4.14	4.17	4.20	4.05	
	Cold		4.07	3.74	3.70	3.79	3.56	
ZERL (Residential) Star Rating**	Hot		3.0	3.0	3.0	3.0	3.0	
	Average		2.5	2.5	2.5	2.5	2.5	
	Cold		2.5	2.0	2.0	2.0	2.0	
Running Current [Rated]**	A	3.80	5.10	6.50	6.80	8.30		
Sound Pressure Level	In [Quiet-Lo-Mid-Hi-SH]	dB(A)	18 - 25 - 31 - 38 - 44	18 - 25 - 31 - 38 - 44	18 - 27 - 36 - 44 - 51	29 - 35 - 40 - 45 - 50	29 - 35 - 41 - 47 - 51	
	Out (PWL)	dB(A)	46 (59)	47 (60)	47 (61)	56 (69)	56 (69)	
Air Volume (In) [Quiet-Lo-Mid-Hi-SH]	L/s	58 - 75 - 102 - 135 - 173	58 - 75 - 102 - 135 - 173	58 - 83 - 125 - 170 - 235	100 - 128 - 157 - 193 - 239	100 - 128 - 162 - 208 - 243		
Max. Running Current	A	9.9	9.9	10.1	15.3	15.4		
Input [Rated] (Cooling/Heating)	W	28/28	28/28	52/53	26/52	63/59		
Indoor Unit	Dimensions [HxWxD]	mm	600 x 750 x 215	600 x 750 x 215	600 x 750 x 215	600 x 750 x 215	600 x 750 x 215	
	Weight	kg	15.0	15.0	15.0	15.0	15.0	
Outdoor Unit	Dimensions [HxWxD]	mm	550 x 800 x 285	550 x 800 x 285	550 x 800 x 285	880 x 840 x 330	880 x 840 x 330	
	Weight	kg	35.0	35.0	35.0	54.0	54.0	
Breaker Size	A	10	10	12	16	20		
Piping	Diameter [Liquid/Gas]	mm	ø6.35/ø9.52	ø6.35/ø9.52	ø6.35/ø9.52	ø6.35/ø12.70	ø6.35/ø12.70	
	Max. Length/Height	m	20/12	20/12	20/12	30/15	30/15	
Guaranteed Operating Range [Outdoor]	Cooling	°C	-10 ~ 46	-10 ~ 46	-10 ~ 46	-10 ~ 46	-10 ~ 46	
	Heating	°C	-15 ~ 24	-15 ~ 24	-15 ~ 24	-15 ~ 24	-15 ~ 24	
Refrigerant Amount [Pre-Charged]	kg	1.00	1.00	1.00	1.30	1.30		

Notes:

*1 The Capacity (rated), Total Input (rated) and Running Current (rated) are determined under conditions T1 (cooling) or H1 (heating) of AS/NZS 3823.1.1

Cooling: Indoor 27°CDB/19°CWB, Outdoor 35°CDB/24°CWB

Heating: Indoor 20°CDB/15°CWB, Outdoor 7°CDB/6°CWB

*2 ZERL (Residential) refers to 'Zoned Energy Rating Label' residential star rating based on GEMS 2019 Determination.

*3 Rated Load Amps (RLA) is based on nominal conditions. Use Maximum Circuit Amps (MCA) for power supply infrastructural sizing, etc.

LARK Distillery Davey Street Cellar Door



Address: 10-14 Davey Street, Hobart, TAS
 Property ID: 5661182
 Title Reference: 32426/1
 THR ID: 2283

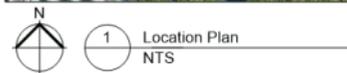
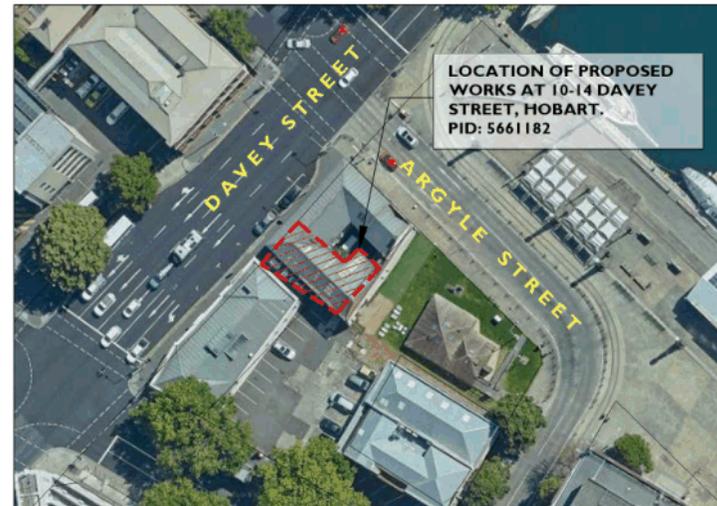
PRELIMINARY
 NOT FOR CONSTRUCTION

Dwg No.	Drawing Title
244098-PUR-XX-XX-DR-A-0001	DRAWING INDEX & LOCATION PLAN
244098-PUR-XX-XX-DR-A-1001	EXISTING/DEMOLITION GA FLOOR PLANS
244098-PUR-XX-XX-DR-A-1201	EXISTING/DEMOLITION GA ELEVATION
244098-PUR-XX-XX-DR-A-2001	PROPOSED GA FLOOR PLANS
244098-PUR-XX-XX-DR-A-2201	PROPOSED GA ELEVATION
244098-PUR-XX-XX-DR-A-3001	HERITAGE INTERFACE DETAILS

PART J6 - AIR CONDITIONING & VENTILATION
REFER TO DWGS BY OTHERS FOR ALL MECHANICAL VENTILATION DETAILS / CERTIFICATION & NCC PART J6 CALCULATIONS / COMPLIANCE.
PART J7 - ARTIFICIAL LIGHTING & POWER
REFER TO DRAWINGS BY OTHERS FOR ALL ELECTRICAL & LIGHTING DETAILS / CERTIFICATION & NCC PART J7 CALCULATIONS / COMPLIANCE.

GENERAL NOTES:

- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANTS DRAWINGS AND SPECIFICATIONS AND SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF CONSTRUCTION OF THE WORKS.
- ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHOULD BE CONFIRMED ON SITE BY THE CONTRACTOR PRIOR TO ANY WORKS AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS. DO NOT SCALE THE DRAWINGS. FIGURED DIMENSIONS SHOULD BE USED.
- ALL PROPRIETARY PRODUCTS ARE TO BE INSTALLED IN ACCORDANCE WITH THEIR MANUFACTURER'S WRITTEN/PUBLISHED SPECIFICATION. SUBSTITUTED PRODUCTS WILL NOT BE ACCEPTED WITHOUT PRIOR APPROVAL.
- MATERIALS AND WORKMANSHIP SHALL COMPLY WITH THE CURRENT EDITION OF THE NATIONAL CONSTRUCTION CODE (NCC), THE APPROPRIATE AUSTRALIAN STANDARDS, THE BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING AUTHORITIES EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
- RETAIN AND CONSERVE ELEMENTS OF HIGH SIGNIFICANCE INCLUDING FABRIC, ORIGINAL FINISHES AND LAYOUTS. UNDERTAKE ALL DEMOLITION WORK, REMOVAL OF MODERN ACCRETIONS AND THE LIKE CAREFULLY AND BY HAND WHEREVER POSSIBLE TO AVOID DAMAGE TO SURROUNDING HERITAGE FABRIC.
- EXISTING PENETRATIONS ARE TO BE USED WHERE POSSIBLE WHEN INTRODUCING NEW SERVICES AND EQUIPMENT. WHERE NEW PENETRATIONS ARE REQUIRED WHICH ARE NOT REFLECTED IN DESIGN DOCUMENTATION, HERITAGE ADVICE SHOULD BE SOUGHT PRIOR TO COMMENCEMENT.
- WHERE A TIMBER ELEMENT IS DAMAGED, REPORT TO HERITAGE ARCHITECT & ENGINEER FOR INSTRUCTION.
- EXISTING SURFACES TO BE RETAINED ARE TO BE PROTECTED. ANY DAMAGE SUSTAINED DURING THE DURATION OF THE WORKS IS TO BE REPLACED OR MADE GOOD TO AN EQUIVALENT STANDARD OR BETTER. ALLOW FOR MAKING GOOD ALL EXISTING SURFACES EXPOSED AFTER REMOVAL OF EXISTING FIXTURES AND FITTINGS. INSTALL NECESSARY PROTECTION PRIOR TO COMMENCING WORK THAT MAY DAMAGE SURROUNDING HERITAGE FABRIC.
- UNEXPECTED OR UNDOCUMENTED DILAPIDATION OF FIXTURES OR MATERIALS DISCOVERED DURING THE DEMOLITION WORKS SHOULD BE BROUGHT TO THE ATTENTION OF THE PROJECT MANAGER AND HERITAGE ARCHITECT/CONSULTANT. THE EXTENT OF NEW WORKS RESULTING IS TO BE AGREED WITH THE PROJECT MANAGER PRIOR TO PROCEEDING.
- ALL ITEMS TO BE REMOVED FROM SITE FOR REINSTATEMENT AFTER COMPETITION ARE TO BE STORED IN A SECURE DRY LOCATION TO BE AGREED WITH THE PROJECT MANAGER AND CLIENT.
- ALL DEMOLISHED FIXTURES AND MATERIALS ARE TO BE REMOVED FROM SITE AND DISPOSED OF SAFELY AND LEGALLY BY THE BUILDER.



APPROVED Mon Jun 23 2025
 GMC-HOB-2025-0021
 General Manager Consent
 10-14 DAVEY ST HOBART TAS 7000
 HOBART CITY COUNCIL

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P1	28.08.2024	HJ	LBS	S1 For Coordination

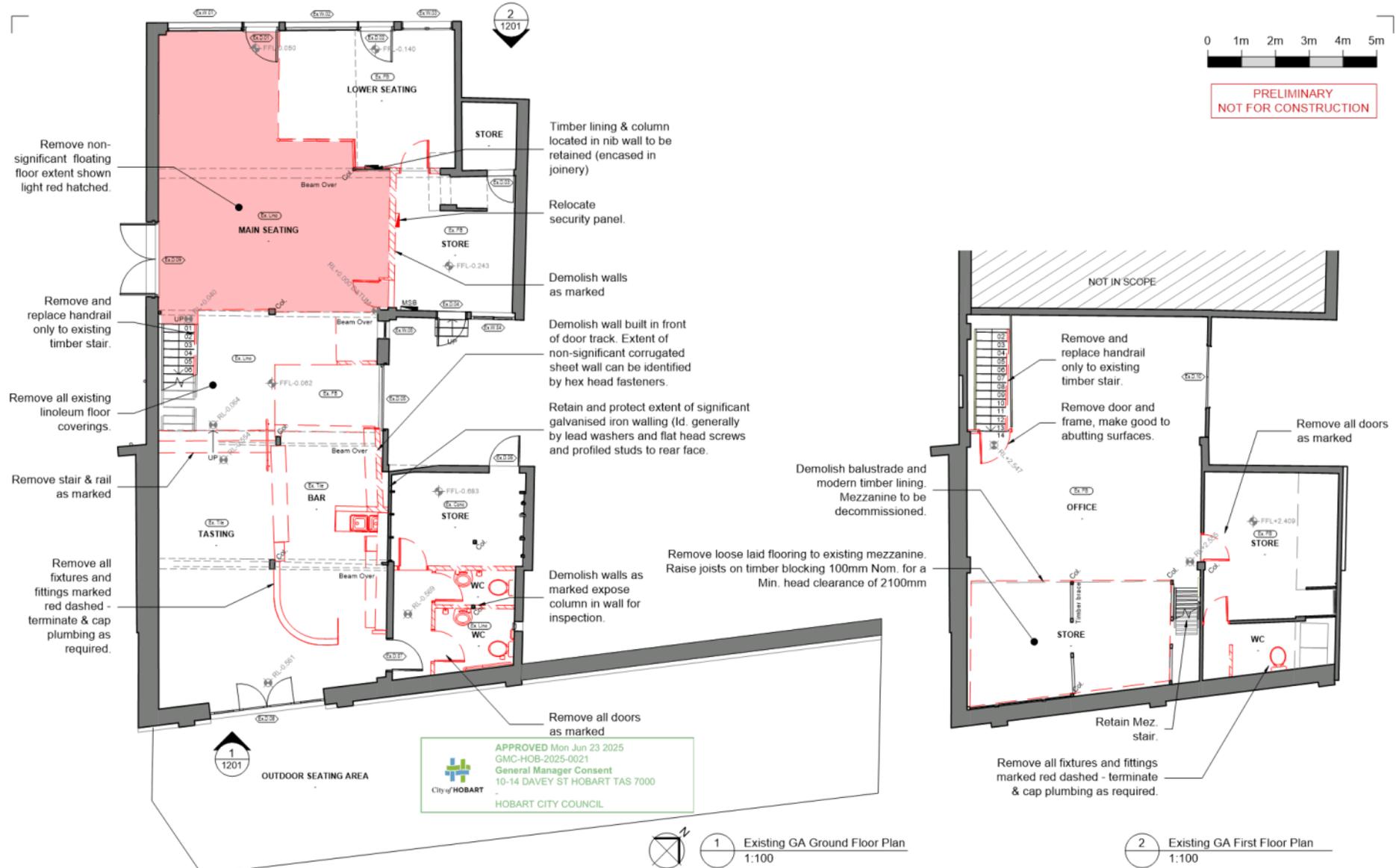
CLIENT
LARK Distillery
 PROJECT
Davey Street Cellar Door

JOB NUMBER
244098
 TITLE
Drawing Index & Location Plan

SIZE SCALE
A3L NTS
 REV. DUTY/REASON FOR ISSUE
P2 S1 - For Coordination
 DRAWING NUMBER
244098-PUR-XX-XX-DR-A-0001



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APPROVED Mon Jun 23 2025
 GMC-HOB-2025-0021
 General Manager Consent
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1 Existing GA Ground Floor Plan
 1:100

2 Existing GA First Floor Plan
 1:100

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WALL LEGEND

	EXISTING WALLS
	EXISTING WALLS TO BE DEMOLISHED

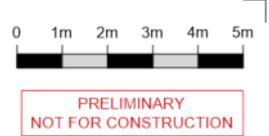
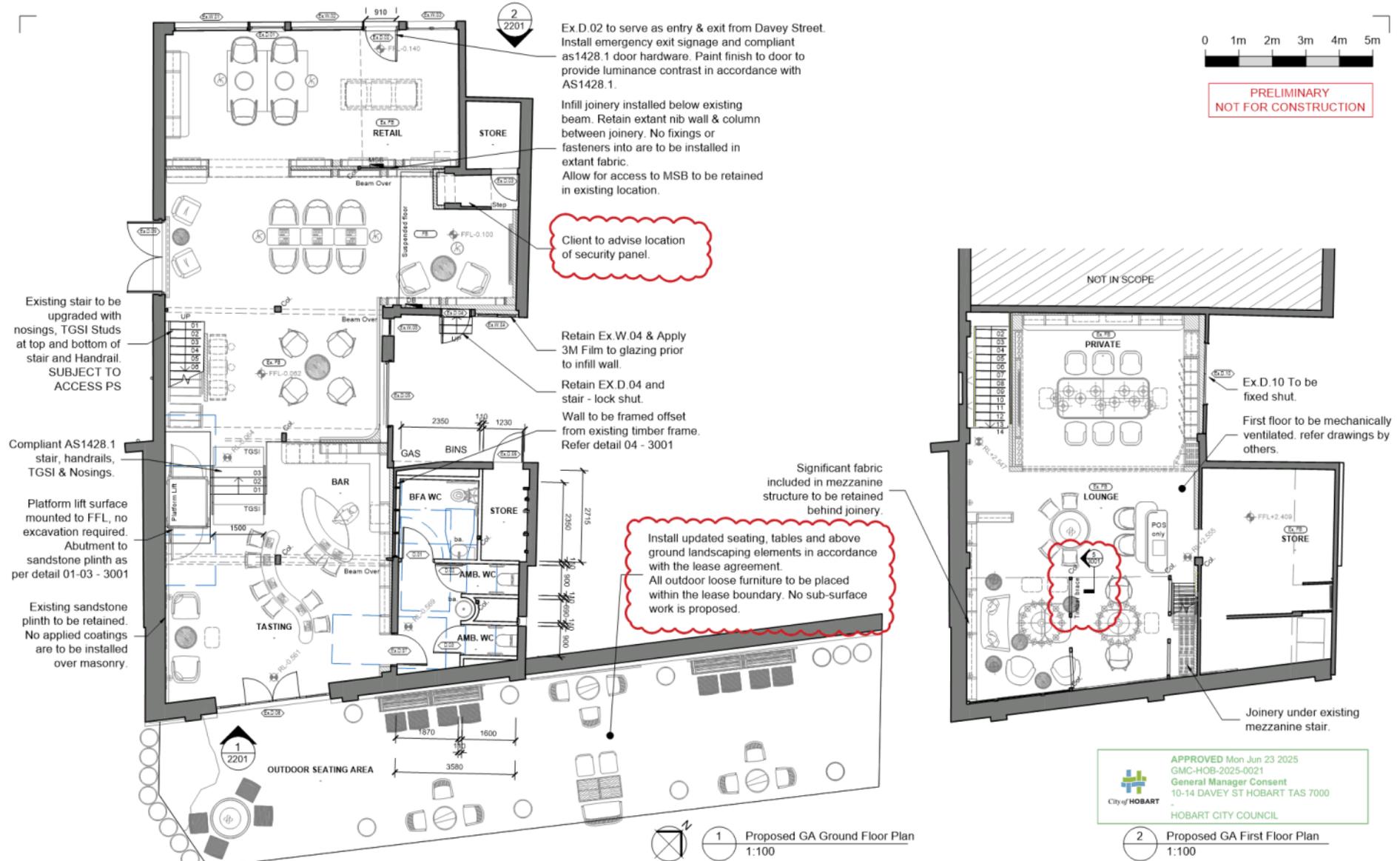
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P1	28.08.2024	HJ	LBS	S1 For Coordination

CLIENT
LARK Distillery
 PROJECT
Davey Street Cellar Door

JOB NUMBER
244098
 TITLE
Existing/Demolition GA Floor Plans

SIZE SCALE
 A3L 1:100
 REV. DUTY/REASON FOR ISSUE
P2 S1 - For Coordination
 DRAWING NUMBER
244098-PUR-XX-DR-A-1001





APPROVED Mon Jun 23 2025
 GMC-HOB-2025-0021
 General Manager Consent
 10-14 DAVEY ST HOBART TAS 7000
 HOBART CITY COUNCIL

1 Proposed GA Ground Floor Plan
 1:100

2 Proposed GA First Floor Plan
 1:100

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WALL LEGEND

	EXISTING WALLS
	PROPOSED WALLS

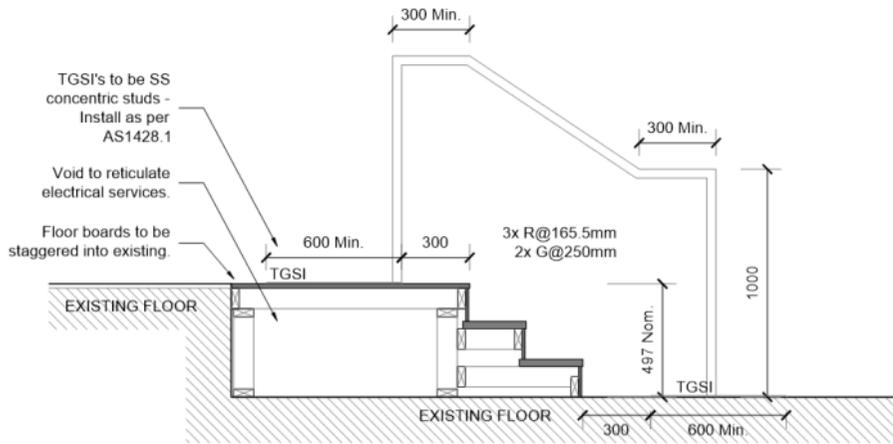
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P2	08.08.2025	HJ	LSD	S1 For Coordination
P1	28.08.2024	HJ	LSD	S1 For Coordination

CLIENT
LARK Distillery
 PROJECT
Davey Street Cellar Door

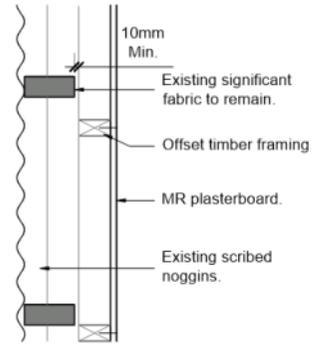
JOB NUMBER
244098
 TITLE
Proposed GA Floor Plans

SIZE SCALE
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 REV. DUTY/REASON FOR ISSUE
P3 S1 - For Coordination
 DRAWING NUMBER
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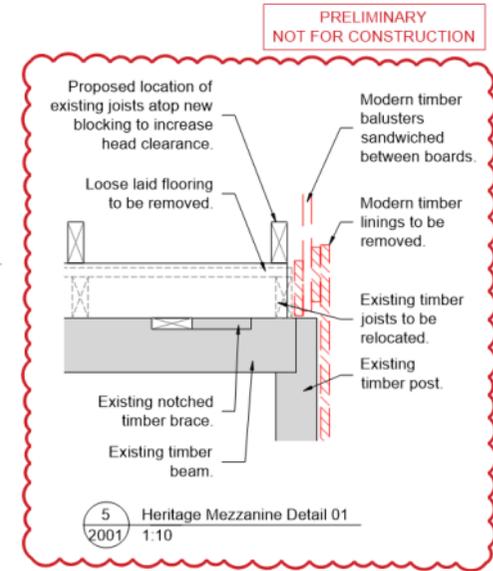




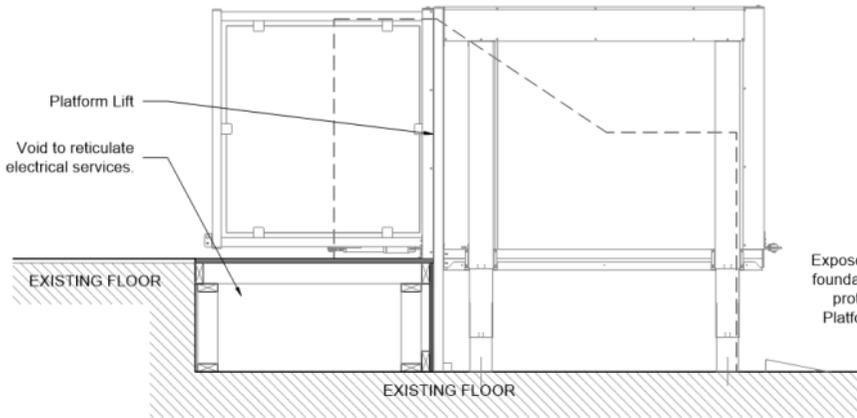
1 Proposed Stair Section
1:20



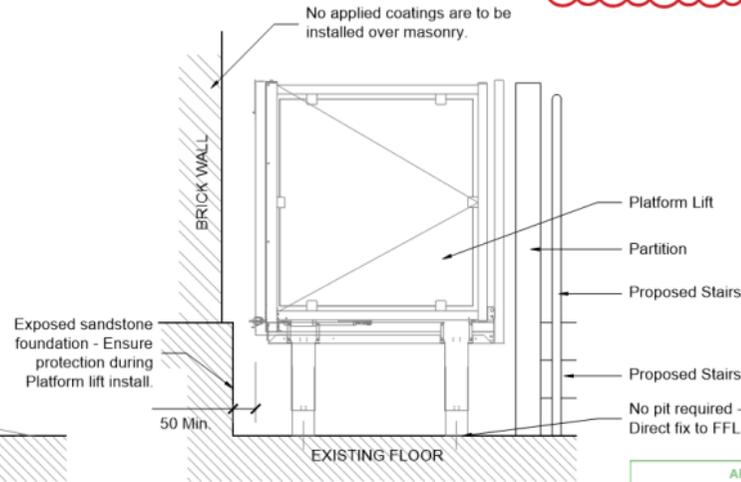
4 Heritage Wall Detail 01
2001 1:10



5 Heritage Mezzanine Detail 01
2001 1:10



2 Proposed Platform Lift Section 1
1:20



3 Proposed Platform Lift Section 2
1:20

APPROVED Mon Jun 23 2025
GMC-HOB-2025-0021
General Manager Consent
10-14 DAVEY ST HOBART TAS 7000
City of HOBART
HOBART CITY COUNCIL

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REV	DATE	BY	CHK	DESCRIPTION
P2	17.08.2025	HJ	LBS	S1 For Coordination
P1	08.08.2025	HJ	LBS	S1 For Coordination

CLIENT
LARK Distillery
PROJECT
Davey Street Cellar Door

JOB NUMBER
244098
TITLE
Proposed Heritage Interface details

SIZE SCALE
A3L -
REV. SUBMITTAL REASON FOR ISSUE
P2 S1 - For Coordination
DRAWING NUMBER
244098-PUR-XX-XX-DR-A-3001



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Tasmanian Heritage Council
GPO Box 618 Hobart Tasmania 7000
Tel: 1300 850 332
enquiries@heritage.tas.gov.au
www.heritage.tas.gov.au

PLANNING REF: PLN-HOB-2025-0266
THC WORKS REF: 8687
REGISTERED PLACE NO: 2283
APPLICANT: Dan Knight
DATE: 7 August 2025

NOTICE OF HERITAGE DECISION

(Historic Cultural Heritage Act 1995)

The Place: 'Former Chesterman Building', 10-14 Davey Street, Hobart.
Proposed Works: Alterations to existing fitout.

Under section 39(6)(b) of the *Historic Cultural Heritage Act 1995*, the Heritage Council gives notice that it consents to the discretionary permit being granted in accordance with Development Application PLN-HOB-2025-0266 to the following conditions:

- I. **(i) Changes to the paint colours of the façade on Davey Street, including to doors and door frames, must be sympathetic to the heritage character of the place; and,**
(ii) For any substantial changes to the external colour scheme, details must be submitted to Heritage Tasmania and endorsed by the Works Manager prior to the works being undertaken.

Reason for condition

To ensure that any changes that are not currently documented are in keeping with the character of the place, consistent with the appropriate outcomes in Section 1.9 of the *Works Guidelines*.

Advice

If repainting of the exterior is proposed to be in a colour scheme substantially the same as what currently exists, no further heritage approval will be required.

Should you require clarification of any matters contained in this notice, please contact the undersigned on 1300 850 332.

A handwritten signature in purple ink, appearing to read 'Ian Boersma'.

Ian Boersma
Works Manager – Heritage Tasmania
Under delegation of the Tasmanian Heritage Council

8. REPORTS

8.1 Delegated Decision Report (Planning) File Ref: F25/61077

Report of the Deputy Director Strategic and Regulatory Services of 14 August 2025 and attachment.

Delegation: Committee



City of **HOBART**

MEMORANDUM: PLANNING AUTHORITY COMMITTEE

Delegated Decision Report (Planning)

Attached is the delegated planning decisions report for the period 30 July 2025 to 11 August 2025.

RECOMMENDATION

That the information contained in the 'Delegated Decision Report (Planning)' be received and noted.

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

Karen Abey
**DEPUTY DIRECTOR STRATEGIC AND
REGULATORY SERVICES**

Date: 14 August 2025
File Reference: F25/61077

Attachment A: Delegated Decision Report (Planning) ↓ 

No	Reference Number	Council Description	Property Address	Estimated Cost	Decision	Date Approved
1	PLN-HOB-2024-0545	Partial Demolition, Alterations and Subdivision (Lot Consolidation) including 137 Liverpool Street and the Murray Street Road Reservation	139 LIVERPOOL ST HOBART TAS 7000	\$750,000.00	Approved	04/08/2025
2	PLN-HOB-2024-0595	Alterations and Extension (Swimming Pool and Carport)	21B GRAYLING AV SOUTH HOBART TAS 7004	\$200,000.00	Approved	06/08/2025
3	PLN-HOB-2025-0021	Dwelling	19 THELMA DR WEST HOBART TAS 7000	\$1,000,000.00	Approved	06/08/2025
4	PLN-HOB-2025-0180	Partial Alterations and Extensions to Outbuilding	757 HUON RD FERN TREE TAS 7054	\$60,000.00	Approved	08/08/2025
5	PLN-HOB-2025-0251	Partial Demolition, Alterations and Extension	578A NELSON RD MOUNT NELSON TAS 7007	\$300,000.00	Approved	30/07/2025
6	PLN-HOB-2025-0270	Partial Demolition, Alteration and Change of Use Multiple Dwelling (one existing and one new)	24 WELLINGTON ST NORTH HOBART TAS 7000	\$750,000.00	Approved	08/08/2025
7	PLN-HOB-2025-0271	Partial Demolition, Alterations, Extension, and Swimming Pool	72 HAMPDEN RD BATTERY POINT TAS 7004	\$500,000.00	Approved	08/08/2025
8	PLN-HOB-2025-0274	Partial Demolition and Alterations (Deck)	UNIT 1 3 WENTWORTH ST SOUTH HOBART TAS 7004	\$150,000.00	Approved	07/08/2025

No	Reference Number	Council Description	Property Address	Estimated Cost	Decision	Date Approved
9	PLN-HOB-2025-0275	Partial Demolition, Alterations, Extension and Garage	4 PEDDER ST NEW TOWN TAS 7008	\$65,000.00	Approved	30/07/2025
10	PLN-HOB-2025-0276	Partial Demolition, Alterations and Pergola	17 CARLTON ST NEW TOWN TAS 7008	\$180,000.00	Approved	06/08/2025
11	PLN-HOB-2025-0284	Partial Demolition and Alterations	56 QUEEN ST SANDY BAY TAS 7005	\$8,000.00	Approved	08/08/2025
12	PLN-HOB-2025-0286	Carport	27 REGENT ST SANDY BAY TAS 7005	\$10,000.00	Approved	07/08/2025
13	PLN-HOB-2025-0288	Retaining Wall	10 ST GEORGES TCE BATTERY POINT TAS 7004	\$45,000.00	Approved	05/08/2025
14	PLN-HOB-2025-0302	Partial Demolition and Alterations	7 FRANKLIN ST WEST HOBART TAS 7000	\$0.00	Approved	07/08/2025
15	PLN-HOB-2025-0305	Outbuilding (Shed)	20 BYRON ST SANDY BAY TAS 7005	\$18,500.00	Approved	04/08/2025
16	PLN-HOB-2025-0306	Partial Demolition, Alterations, Extension and Front Fencing	1 BUTTERWORTH ST WEST HOBART TAS 7000	\$170,000.00	Approved	05/08/2025

No	Reference Number	Council Description	Property Address	Estimated Cost	Decision	Date Approved
17	PLN-HOB-2025-0316	Alterations (Solar Panels)	48 COLVILLE ST BATTERY POINT TAS 7004	\$13,450.00	Approved	08/08/2025
18	PLN-HOB-2025-0331	Alterations (Solar Panels)	5 STAR ST SANDY BAY TAS 7005	\$29,720.00	Approved	30/07/2025
19	PLN-HOB-2025-0342	Partial Demolition, Alterations and Ancillary Dwelling	11 ABERDEEN ST GLEBE TAS 7000	\$30,000.00	Approved	08/08/2025
20	PLN-HOB-2025-0386	Change of Use to Two Multiple Dwellings (One existing and One new)	UNIT 3 8 WALLACE AV LENAH VALLEY TAS 7008	\$0.00	Approved	07/08/2025

8.2 Planning - Advertised Applications Report
File Ref: F25/61128

Report of the Deputy Director Strategic and Regulatory Services of 14 August 2025 and attachment.

Delegation: Committee



City of **HOBART**

MEMORANDUM: PLANNING AUTHORITY COMMITTEE

Planning - Advertised Applications Report

Attached is the advertised applications list for the period 30 July 2025 to 11 August 2025.

RECOMMENDATION

That the information contained in the 'Planning – Advertised Applications Report' be received and noted.

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

Karen Abey
**DEPUTY DIRECTOR STRATEGIC AND
REGULATORY SERVICES**

Date: 14 August 2025
File Reference: F25/61128

Attachment A: Planning - Advertised Applications Report  

No	Reference Number	Council Description	Property Address	Estimated Cost	Expiry Date	Proposed Delegation	Advertising Period Start	Advertising Period End
1	BSA-HOB-2025-0015	Change of Use to Visitor Accommodation	39 GOULBURN ST HOBART TAS 7000	\$0.00	15/9/2025	Director	08/08/2025	22/08/2025
2	CVO-HOB-2025-0047	Change of Use to Visitor Accommodation	UNIT 5 62 BELLEVUE PDE NEW TOWN TAS 7008	\$0.00	9/05/2025	Director	01/08/2025	15/08/2025
3	CVO-HOB-2025-0049	Change of Use to Visitor Accommodation	UNIT 2 1-5 PAULDON DR SANDY BAY TAS 7005	\$0.00	9/08/2025	Director	01/08/2025	15/08/2025
4	PLN-HOB-2024-0549	Partial Demolition, Alterations and Extension	33 DOYLE AV LENAH VALLEY TAS 7008	\$ 500,000.00	15/9/2025	Director	12/08/2025	26/08/2025
5	PLN-HOB-2025-0294	Partial Demolition, Alterations, and Deck	30 PULCHELLA DR TOLMANS HILL TAS 7007	\$30,000.00	20/8/2025	Director	04/08/2025	18/08/2025
6	PLN-HOB-2025-0322	Change of Use to Sport and Recreation (Gym)	50 LETITIA ST NORTH HOBART TAS 7000	\$100,000.00	29/08/2025	Director	06/08/2025	20/08/2025
7	PLN-HOB-2025-0324	Dwelling	12A GARDENIA GR SANDY BAY TAS 7005	\$595,000.00	12//09/2025	Director	08/08/2025	22/08/2025
8	PLN-HOB-2025-0325	Change of Use to Multiple Dwellings (Two New)	UNIT 3 and 4 19-21 CASTRAY ESP BATTERY POINT TAS 7004	\$700,000.00	9/06/2025	Director	08/08/2025	22/08/2025

No	Reference Number	Council Description	Property Address	Estimated Cost	Expiry Date	Proposed Delegation	Advertising Period Start	Advertising Period End
8	PLN-HOB-2025-0362	Alterations and Extension to Previously Approved Development (PLN-HOB-2024-0239)	22A PRINCES ST SANDY BAY TAS 7005	\$100,000.00	9/06/2025	Director	11/08/2025	25/08/2025
9	PLN-HOB-2025-0364	Partial Demolition, Alterations and Retaining Wall	145 WARWICK ST WEST HOBART TAS 7000	\$150,000.00	9/02/2025	Director	11/08/2025	25/08/2025
10	PLN-HOB-2025-0366	Outbuilding (Shipping Container)	11 PLAISTER CT SANDY BAY TAS 7005	\$5,000.00	9/04/2025	Director	08/08/2025	22/08/2025
11	PLN-HOB-2025-0374	Alterations to a Previously Approved Development	10 ELLINGTON RD SANDY BAY TAS 7005	\$500.00	05/09/202	Director	08/08/2025	22/08/2025
12	PLN-HOB-2025-0380	Alterations (Trellis and Pergola)	84 GROSVENOR ST SANDY BAY TAS 7005	\$7,000.00	10/09/2025	Director	11/08/2025	25/08/2025
13	PLN-HOB-2025-0387	Alterations	UNIT 2 89 GIBLIN ST NEW TOWN TAS 7008	\$100,000.00	9/12/2025	Director	11/08/2025	25/08/2025

9. RESPONSES TO QUESTIONS WITHOUT NOTICE

Regulation 34(3) *Local Government (Meeting Procedures) Regulations 2025*.
File Ref: 13-1-10

The Chief Executive Officer reports:-

“In accordance with the procedures approved in respect to Questions Without Notice, the following responses to questions taken on notice are provided to the Committee for information.

The Committee is reminded that in accordance with Regulation 34(3) of the *Local Government (Meeting Procedures) Regulations 2025*, the Chairperson is not to allow discussion or debate on either the question or the response.”

RECOMMENDATION

That the following responses to questions without notice be received and noted.

9.1 Changes to Parking Minimums

Memorandum of the Deputy Director Strategic and Regulatory Services of 12 August 2025.

9.2 Limitations on Lumens

Memorandum of the Deputy Director Strategic and Regulatory Services of 4 August 2025.



City of **HOBART**

MEMORANDUM: LORD MAYOR
DEPUTY LORD MAYOR
ELECTED MEMBERS

CHANGES TO PARKING MINIMUMS

Meeting: Planning Authority Committee

Meeting date: 23 July 2025

Raised by: Councillor Posselt

Question:

As part of the TPS that's due to come in shortly, are there any changes to parking minimums? Noting that the report we looked at tonight had a fairly ridiculous assessment of parking minimums for car parks. Are there any changes coming?

Response:

The car parking requirements for the *Hobart Interim Planning Scheme 2015* are largely comparable to the car parking requirements of the State Planning Provisions, which will apply to the City of Hobart once the *Tasmanian Planning Scheme* is applicable (likely to be mid-August 2025).

It is agreed that many of the minimum car parking requirements are excessive, particularly in the context of Hobart. However, as they are a statewide provision, they are intended to cater for a variety of Council areas and a diversity of uses.

The Performance Criteria for car parking numbers do provide flexibility to reduce the amount of car parking provided depending on a number of factors, and Hobart Council Officers are competently and regularly applying these to support a reduced number of car parks where appropriate. However, the Hobart Central Business Zone discourages the provision of car parking, and through the development of the Central Hobart Plan provisions, the extension of this requirement throughout the plan area will be explored.

There is further scope for flexibility by the creation of “parking precinct plans” under the C2.0 Parking and Sustainable Transport Code. Further advice will be provided to Elected Members on this issue in the context of the Central Hobart Plan proposed amendments.

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.



Karen Abey
**DEPUTY DIRECTOR STRATEGIC AND
REGULATORY SERVICES**

Date: 12 August 2025
File Reference: F25/57980; s13-001-10



City of **HOBART**

MEMORANDUM: LORD MAYOR
DEPUTY LORD MAYOR
ELECTED MEMBERS

LIMITATIONS ON LUMENS

Meeting: Planning Authority Committee

Meeting date: 23 July 2025

Raised by: Councillor Posselt

Question:

Are there any limitations within our Planning Scheme or the incoming TPS on Lumens or candles of LED signs that is a standard?

Response:

The Signs Code under the Tasmanian Planning Scheme will make illuminated signs discretionary with a more comprehensive Performance Criteria than the existing Interim Scheme Signs Code. Although not requiring a specific maximum level of Lumens it seeks to ensure illuminated signage meets the following objectives:

- a) illuminated signs are compatible with the streetscape;*
- b) the cumulative impact of illuminated signs on the character of the area is managed, including the need to avoid visual disorder or clutter of signs; and*
- c) any potential negative impacts of illuminated signs on road safety and pedestrian movement are minimised.*

The greater complexity and wider consideration of factors outlined in the Performance Criteria should allow for lighting concerns to be considered upon assessment of new illuminated signage. The relevant provision *C1.6.2 Illuminated signs* are at Attachment A.

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.



Karen Abey
**DEPUTY DIRECTOR STRATEGIC AND
REGULATORY SERVICES**

Date: 4 August 2025
File Reference: F25/57983

Attachment A: C1.6.2 Illuminated signs ↓ 

Tasmanian Planning Scheme - State Planning Provisions

C1.6.2 Illuminated signs

Objective:	That: (a) illuminated signs are compatible with the streetscape; (b) the cumulative impact of illuminated signs on the character of the area is managed, including the need to avoid visual disorder or clutter of signs; and (c) any potential negative impacts of illuminated signs on road safety and pedestrian movement are minimised.
Acceptable Solutions	
A1 No Acceptable Solution.	P1 An illuminated sign must not cause an unreasonable loss of amenity to adjacent properties or have an unreasonable effect on the safety, appearance or efficiency of a road, and must be compatible with the streetscape, having regard to: (a) the location of the sign; (b) the size of the sign; (c) the intensity of the lighting; (d) the hours of operation of the sign; (e) the purpose of the sign; (f) the sensitivity of the area in terms of view corridors, the natural environment and adjacent residential amenity; (g) the intended purpose of the changing message of the sign; (h) the percentage of the sign that is illuminated with changing messages; (i) proposed dwell time; and (j) whether the sign is visible from the road and if so the proximity to and impact on an electronic traffic control device.
A2 An illuminated sign visible from public places in adjacent roads must not create the effect of flashing, animation or movement, unless it is providing direction or safety information.	P2 No Performance Criterion.

10. QUESTIONS WITHOUT NOTICE

Regulations 33 and 34 of the *Local Government (Meeting Procedures) Regulations 2025*.
File Ref: 13-1-10

- 33(2) *A question asked at a meeting is to, as far as practicable –*
- (a) be concise; and*
 - (b) be clear; and*
 - (c) not be a statement; and*
 - (d) have minimal pre-ambles*
34. *Questions without notice by a councillor*
1. *A councillor at a meeting may ask a question without notice –*
 - (a) of the chairperson; or*
 - (b) through the chairperson, of –*
 - (i) another councillor; or*
 - (ii) the chief executive officer.*
 2. *In asking a question without notice at a meeting, a councillor must not –*
 - (a) offer an argument or opinion; or*
 - (b) draw any inferences or make any imputations – except so far as maybe necessary to explain the question.*
 3. *The chairperson of a meeting must not permit any debate of a question without notice or its answer.*
 4. *The chairperson, councillor or chief executive officer who is asked a question without notice at a meeting may decline to answer the question.*
 5. *The chairperson of a meeting may require a councillor to put a question without notice in writing.*

11. CLOSED PORTION OF THE MEETING

That the Committee resolve by majority that the meeting be closed to the public pursuant to regulation 17(1) of the *Local Government (Meeting Procedures) Regulations 2025* because the items included on the closed agenda contain the following matters:

- Minutes of a Closed Committee meeting
- Closed Questions Without Notice

The following items were discussed: -

- | | |
|------------|----------------------------------------------------------------------------|
| Item No. 1 | Minutes of the last meeting of the Closed Portion of the Committee Meeting |
| Item No. 2 | Consideration of supplementary items to the agenda |
| Item No. 3 | Indications of conflicts of interest |
| Item No. 4 | Questions Without Notice |