



CITY OF HOBART

AGENDA

Planning Authority Committee Meeting
Open Portion
Wednesday, 25 June 2025
at 4.00 pm
Council Chamber, Town Hall



City of **HOBART**

THE MISSION

Working together to make Hobart a better place for the community.

THE VALUES

The Council is:

People	We care about people – our community, our customers and colleagues.
Teamwork	We collaborate both within the organisation and with external stakeholders drawing on skills and expertise for the benefit of our community.
Focus and Direction	We have clear goals and plans to achieve sustainable social, environmental and economic outcomes for the Hobart community.
Creativity and Innovation	We embrace new approaches and continuously improve to achieve better outcomes for our community.
Accountability	We are transparent, work to high ethical and professional standards and are accountable for delivering outcomes for our community.

ORDER OF BUSINESS

Business listed on the agenda is to be conducted in the order in which it is set out, unless the committee by simple majority determines otherwise.

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Planning Authority Committee Meeting (Open Portion) held Wednesday, 25 June 2025 at 4.00 pm in the Council Chamber, Town Hall.

The title Chief Executive Officer is a term of reference for the General Manager as appointed by Council pursuant s.61 of the *Local Government Act 1993* (Tas).

APPOINTED MEMBERS

Councillor Dutta (Chairperson)
Lord Mayor Councillor A M Reynolds
Deputy Lord Mayor Cr Dr Z E Sherlock
Councillor W F Harvey
Councillor R J Posselt
Councillor B Lohberger
Councillor G H Kitsos

Apologies:

Leave of Absence: Nil.

NOMINEE MEMBERS

Alderman M Zucco
Councillor J Kelly
Councillor L Elliot
Alderman L Bloomfield
Councillor W Coats

1 ACKNOWLEDGEMENT OF COUNTRY

2. CONFIRMATION OF MINUTES

The minutes of the Open Portion of the Planning Authority Committee meeting held on [Wednesday, 11 June 2025](#), are submitted for confirming as an accurate record.

3. CONSIDERATION OF SUPPLEMENTARY ITEMS

Ref: Part 2, Regulation 8(6) of the *Local Government (Meeting Procedures) Regulations 2015*.

Recommendation

That the Committee resolve to deal with any supplementary items not appearing on the agenda, as reported by the Chief Executive Officer.

4. INDICATIONS OF PECUNIARY AND CONFLICTS OF INTEREST

Ref: Part 2, Regulation 8(7) of the *Local Government (Meeting Procedures) Regulations 2015*.

Members of the Committee are requested to indicate where they may have any pecuniary or conflict of interest in respect to any matter appearing on the agenda, or any supplementary item to the agenda, which the Committee has resolved to deal with.

5. TRANSFER OF AGENDA ITEMS

Regulation 15 of the *Local Government (Meeting Procedures) Regulations 2015*.

A Committee may close a part of a meeting to the public where a matter to be discussed falls within 15(2) of the above regulations.

In the event that the Committee transfer an item to the closed portion, the reasons for doing so should be stated.

Are there any items which should be transferred from this agenda to the closed portion of the agenda, or from the closed to the open portion of the agenda?

6 PLANNING AUTHORITY ITEMS – CONSIDERATION OF ITEMS WITH DEPUTATIONS

In accordance with the requirements of Part 2 Regulation 8(3) of the *Local Government (Meeting Procedures) Regulations 2015*, the Chief Executive Officer is to arrange the agenda so that the planning authority items are sequential.

In accordance with Part 2 Regulation 8(4) of the *Local Government (Meeting Procedures) Regulations 2015*, the Committee by simple majority may change the order of any of the items listed on the agenda, but in the case of planning items they must still be considered sequentially – in other words they still have to be dealt with as a single group on the agenda.

Where deputations are to be received in respect to planning items, past practice has been to move consideration of these items to the beginning of the meeting.

RECOMMENDATION

That in accordance with Regulation 8(4) of the *Local Government (Meeting Procedures) Regulations 2015*, the Committee resolve to deal with any items which have deputations by members of the public regarding any planning matter listed on the agenda, to be taken out of sequence in order to deal with deputations at the beginning of the meeting.

7. COMMITTEE ACTING AS PLANNING AUTHORITY

In accordance with the provisions of Part 2 Regulation 25 of the *Local Government (Meeting Procedures) Regulations 2015*, the intention of the Committee to act as a planning authority pursuant to the *Land Use Planning and Approvals Act 1993* is to be noted.

In accordance with Regulation 25, the Committee will act as a planning authority in respect to those matters appearing under this heading on the agenda, inclusive of any supplementary items.

The Committee is reminded that in order to comply with Regulation 25(2), the Chief Executive Officer is to ensure that the reasons for a decision by a Council or Council Committee acting as a planning authority are recorded in the minutes.

7.1 APPLICATIONS UNDER THE HOBART INTERIM PLANNING SCHEME 2015

7.1.1 10 SELFS POINT ROAD, NEW TOWN - PARTIAL CHANGE OF USE TO CONTAINER REFUND POINT PLN-HOB-2025-0188 - FILE REF: F25/46211

Address: 10 Selfs Point Road, New Town

Proposal: Partial Change of Use to Container Refund Point

Expiry Date: 27 June 2025

Extension of Time:

Author: Deanne Lang

RECOMMENDATION

That: Pursuant to the Hobart Interim Planning Scheme 2015, the Planning Authority Committee, in accordance with the delegations contained in its terms of reference, approves the application for Partial Change of Use to Container Refund Point at 10 SELFS POINT RD NEW TOWN TAS 7008 for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

GEN - General

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-HOB-2025-0188 - 10 Selfs Point Road New Town TAS 7008 - Final Planning Documents except where modified below.

PLN 8 - Hours of Operation

The use must not be open to the public outside of the following hours:

The approved hours of operation are:

7am to 9pm Monday to Saturday; and
8 am to 9pm Sundays and public holidays

Advice: any extension to the above hours of operation will require an application for a new planning permit to be submitted.

PLN 9 - Hours of Operation

Commercial vehicles which access the site for the handling and disposal of waste and recycling from the container refund point must not be undertaken outside of the following hours;

The approved hours of operation are:

7am to 9pm Monday to Saturday; and

8am to 9pm Sundays and public holidays

Advice: any extension to the above hours of operation will require an application for a new planning permit to be submitted

ENG 1B - Development Engineering - Protection of Council Assets

Any damage to council infrastructure resulting from the implementation of this permit, must, at the discretion of the Council:

1. Be met by the owner by way of reimbursement (cost of repair and reinstatement to be paid by the owner to the Council); or
2. Be repaired and reinstated by the owner to the satisfaction of the Council.

A photographic record of the Council's infrastructure adjacent to the subject site must be provided to the Council prior to any commencement of works.

A photographic record of the Council's infrastructure (e.g. existing property service connection points, roads, buildings, stormwater, footpaths, driveway crossovers and nature strips, including if any, pre-existing damage) will be relied upon to establish the extent of damage caused to the Council's infrastructure during construction. In the event that the owner/developer fails to provide to the Council a photographic record of the Council's infrastructure, then any damage to the Council's infrastructure found on completion of works will be deemed to be the responsibility of the owner.

ENG 3A - Development Engineering - Parking and Access

Design

The access driveway and parking area must be constructed in accordance with the Australian Standard AS2890.1:2004 - Off-Street Car Parking, and must not restrict the car parking layout and aisle.

Any departure from the documentation approved as part of this planning permit, and any works which are not detailed in the documentation must be either:

1. approved by the Director Strategic and Regulatory Services, via a condition endorsement application; or
2. designed and constructed in accordance with Australian Standard AS/NZ 2890.1:2004.

The works required by this condition must be completed prior to first occupation.





ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's website for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

OCCUPATION OF THE PUBLIC HIGHWAY

You may require a permit for the occupation of the public highway for construction or special event (e.g. placement of skip bin, crane, scissor lift etc.). [Click here for more information.](#)

Attachment A: PLN-HOB-2025-0188 - 10 SELFS POINT ROAD
NEW TOWN TAS 7008 - Planning Assessment
Report  
Attachment B: PLN-HOB-2025-0188 - 10 SELFS
POINT ROAD NEW TOWN TAS 7008 - Agenda
Documents  



PLANNING ASSESSMENT REPORT

Type of Report: Committee
Committee: 25 June 2025
Expiry Date: 27 June 2025
Application No: PLN-HOB-2025-0188
Address: 10 SELFS POINT RD NEW TOWN TAS 7008
Applicant: ERA Planning and Environment
Level 1, 125A Elizabeth Street, Hobart, Tasmania,
Australia, 7000
Proposal: Partial Change of Use to Container Refund Point
Representations: Nil
Performance criteria: N/A

1. Executive Summary

1.1 Planning approval is sought for Partial Change of Use to Container Refund Point at 10 SELFS POINT RD NEW TOWN TAS 7008

1.2 More specifically the proposal includes:

- Partial Change of Use of Council's carpark associated with the recreation oval on the corner of Risdon Road and Queens Walk to a container refund point;
- Placement of a 6m x 5m container refund machine, with a 1.2m x 5m awning on the existing car parking area associated with Council's recreation ground on the corner of Queens Walk and Risdon Road;
- The container will have a maximum height of 2.6m;
- The container refund machine and awning will require the removal of four (4) existing car parking spaces;
- A new hard stand area of 9.8m x 2.5m will adjoin the northern elevation of the container refund machine
- The container refund machine will be operated during the following hours:
 - 7am to 9pm Monday to Saturday;
 - 8am to 9pm Sunday and public holidays;

- The site will be serviced by commercial vehicles during the following hours:
 - 7 am to 9pm Monday to Saturday
 - 8am to 9pm Sunday and public holidays; and
 - No signage is proposed other than that placed on the container refund machine.
- 1.3 The proposal does not rely on any performance criteria to satisfy the following standards and codes:
- 1.3.1 Planning Directive No. 9 – Container Refund Scheme – Exemptions and Special Provisions – Use
- 1.4 No representations were received during the statutory advertising period 3 to 18 June 2025
- 1.5 The proposal is recommended for approval subject to conditions.
- 1.6 The final decision is delegated to the Planning Committee as the proposed works are on Council Land.

2. Site Detail

- 2.1 The subject site consists of a number of titles, all of which are owned by Hobart City Council. The container refund machine will be placed on an existing gravel car park behind the amenities block at the recreation ground on the corner of Risdon Road and Queens Walk. Access to the container refund machine is via the existing car park.



Fig. 1 – the location of the proposed recycling container machine in the context of 10 Selfs Point Road



Fig. 2 – the container refund machine will be located in the existing car park, directly behind the amenity's block on the corner of Risdon Road and Queens Park. Image taken by Council's Development Appraisal Planner.

3. Proposal

- 3.1 Planning approval is sought for Partial Change of Use to Container Refund Point at 10 SELFS POINT RD NEW TOWN TAS 7008
- 3.2 More specifically the proposal is for:
- Partial Change of Use of Council's carpark associated with the recreation oval on the corner of Risdon Road and Queens Walk to a container refund point
 - Placement of a 6m x 5m container refund machine, with a 1.2m x 5m awning on the existing car parking area associated with Council's recreation ground on the corner of Queens Walk and Risdon Road;
 - The container will have a maximum height of 2.6m;
 - The container refund machine and awning will require the removal of four (4) existing car parking spaces;
 - A new hard stand area of 9800mm x 250mm will adjoin the northern elevation of the container refund machine

- The container refund machine will be operated during the following hours:
 - 7am to 9pm Monday to Saturday;
 - 8am to 9pm Sunday and public holidays
- The site will be serviced by commercial vehicles during the following hours
 - 7 am to 9pm Monday to Saturday
 - 8am to 9pm Sunday and public holidays; and
- No signage is proposed other than that located on the container refund machine



Fig. 3 – proposed site plan



Fig. 4 – the container refund machine will be located directly behind the amenities building . Image taken by Council's Development Appraisal Planner.

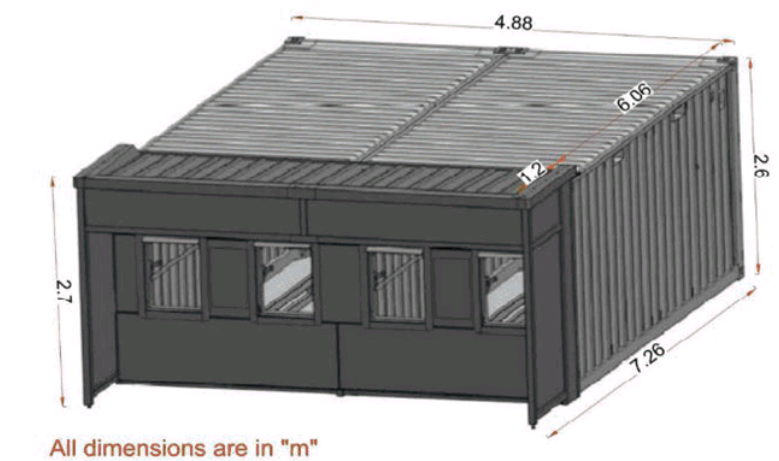


Fig. 5 – elevations of the proposed container refund machine



Fig. 6- the front elevation of the container refund machine



Fig. 7 – the rear and side elevations of the container refund machine

4 Background

- 4.1 The application has been submitted in response to the Tasmanian Government's commitment to introduce a Container Refund Scheme, which resulted in the introduction of the *Container Refund Scheme Act 2022*. The Scheme allows for approved beverage containers to be exchanged for a 10 cent refund.

- 4.2 Any application for the Container Refund Point and Refund Machine must be assessed against Planning Directive No. 9 – Container Refund Scheme – Exemptions and Special Provisions, which came into effect on 24 January 2024.
- 4.3 The proposed Container Refund Point is proposed on Council land. General Manager's Consent (GMC-HOB-2025-0018) for the proposed works was approved and issued on 23 April 2025
- 4.4 The application was incorrectly advertised. The application is permitted, by virtue of the proposal meeting all requirements of Clause 9.1.2 of the Planning Directive No. 9 – Container Refund Scheme – Exemptions and Special Provisions, which came into effect on 24 January 2024.
- 4.5 Clause 9.1.2 (l) of the Planning Directive No. 9 – Container Refund Scheme – Exemptions and Special Provisions relates to hours of operation of the container refund machine. There have been several conversations with the applicant relating to the hours of operation of the container refund machine. In order to gain the permitted status of this Container Refund Point, the applicant must comply with the following hours:
 - a. 7am – 9pm Monday to Saturday; and
 - b. 8am – 9pm Sundays and public holidays; or
 - c. Alternatively, within the hours of operation of a co-located business.

The applicant has chosen to operate the refund container machine in accordance with a. and b. as these hours are greater than those operated by the co-located business on the site (Ten Lives Cats Centre). A condition has been applied this effect.

- 4.6 Although the application is permitted, it must nevertheless be determined by the Planning Committee as the subject site is owned by the Hobart City Council.

5 Concerns raised by representors

- 5.1 No representations were received during the statutory advertising period between 3 to 18 June 2025

6 Assessment

- 6.1 The Hobart Interim Planning Scheme 2015 is a performance based planning scheme. To meet an applicable standard, a proposal must demonstrate compliance with either an acceptable solution or a performance criterion. Where a proposal complies with a standard by relying on one or more performance criteria, the Council may approve or refuse the proposal on that basis. The ability to approve or refuse the proposal relates only to the performance criteria.

- 6.2 As stated above, 10 Selfs Point Road consists of several titles, all owned by the Hobart City Council. The titles are within a number of different zones. The area in which the proposed container refund point will be located is within the 18.0 Recreation Zone - of the Hobart Interim Planning Scheme 2015.
- 6.3 The existing use is Recreation, the proposed use is Recycling and Waste Disposal. The existing use is a no permit required use. The proposed use is a prohibited use in the zone under the Hobart Interim Planning Scheme 2015.
- 6.4 Under the Planning Directive No. 9 – Container Refund Scheme – Exemptions and Special Provisions, the use is a permitted use in the Recreation Zone.
- 6.5 The proposal has been assessed against Planning Directive No. 9 – Container Refund Scheme – Exemptions and Special Provisions. The proposal does not rely on the following performance criteria to comply with the applicable standards.

7 Discussion

- 7.1 Planning approval is sought for Partial Change of Use to Container Refund Point at 10 SELFS POINT RD NEW TOWN TAS 7008
- 7.2 The application was advertised and no representations were received.
- 7.3 The proposal has been assessed against the provisions of the Planning Directive No. 9 – Container Refund Scheme – Exemptions and Special Provisions and does not rely on any performance criteria to satisfy the scheme's relevant standards and codes. As such, the proposal must be approved by Council in accordance with the provisions of section 58 of the *Land Use Planning and Approvals Act 1993*.
- 7.4 As stated above, the placement of a container refund machine on a site in the Recreation Zone is permitted under clause 9.1.2 Planning Directive No. 9 – Container Refund Scheme – Exemptions and Special Provisions, provided that the application meets items (a) – (l). The application submitted meets all requirements under Clause 9.1.2(a) – (l)

Notwithstanding the subject site has been identified as being within an Inundation Prone Area. Clause 9.1.3 of the Planning Directive states:

"No other provisios in the relevant planning scheme apply to a use or development that complies with sub clause 9.1.2.

The placement of the container refund machine will result in the loss of four (4) onsite car parking spaces. Clause 9.1.4 states:

" there is no requirement for providing car parking space for container refund points approved under subclauses 9.1.1 or 9.1.2."

7.4 Although the proposal is permitted, the application was referred to the following officers:

- Development Engineer;
- Roads Engineer
- Stormwater Services Engineer
- Parks Planner
- Mobility Engineer (assessed the application as part of the application for General Manager Consent)

7.5 The officers have raised no objection to the proposal, subject to conditions.

7.6 The proposal is recommended for approval.

8 Conclusion

8.1 The proposed Partial Change of Use to Container Refund Point at 10 SELFS POINT RD NEW TOWN TAS 7008 satisfies the relevant provisions of the Hobart Interim Planning Scheme 2015, and as such is recommended for approval.

9 Recommendations

That: Pursuant to the Hobart Interim Planning Scheme 2015, the Planning Committee, in accordance with the delegations contained in its terms of reference, approves the application for Partial Change of Use to Container Refund Point at 10 SELFS POINT RD NEW TOWN TAS 7008 for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

GEN - General

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-HOB-2025-0188 - 10 Selfs Point Road New Town TAS 7008 - Final Planning Documents except where modified below.

PLN 8 - Hours of Operation

The use must not be open to the public outside of the following hours:

The approved hours of operation are:

7am to 9pm Monday to Saturday; and
8 am to 9pm Sundays and public holidays

Advice: any extension to the above hours of operation will require an application for a new planning permit to be submitted.

PLN 9 - Hours of Operation

Commercial vehicles which access the site for the handling and disposal of waste and recycling from the container refund point must not be undertaken outside of the following hours;

The approved hours of operation are:

7am to 9pm Monday to Saturday; and

8am to 9pm Sundays and public holidays

Advice: any extension to the above hours of operation will require an application for a new planning permit to be submitted

ENG 1B - Development Engineering - Protection of Council Assets

Any damage to council infrastructure resulting from the implementation of this permit, must, at the discretion of the Council:

1. Be met by the owner by way of reimbursement (cost of repair and reinstatement to be paid by the owner to the Council); or
2. Be repaired and reinstated by the owner to the satisfaction of the Council.

A photographic record of the Council's infrastructure adjacent to the subject site must be provided to the Council prior to any commencement of works.

A photographic record of the Council's infrastructure (e.g. existing property service connection points, roads, buildings, stormwater, footpaths, driveway crossovers and nature strips, including if any, pre-existing damage) will be relied upon to establish the extent of damage caused to the Council's infrastructure during construction. In the event that the owner/developer fails to provide to the Council a photographic record of the Council's infrastructure, then any damage to the Council's infrastructure found on completion of works will be deemed to be the responsibility of the owner.

ENG 3A - Development Engineering - Parking and Access Design

The access driveway and parking area must be constructed in accordance with the Australian Standard AS2890.1:2004 - Off-Street Car Parking, and must not restrict the car parking layout and aisle.

Any departure from the documentation approved as part of this planning permit, and any works which are not detailed in the documentation must be either:

1. approved by the Director Strategic and Regulatory Services, via a condition endorsement application; or

2. designed and constructed in accordance with Australian Standard AS/NZ 2890.1:2004.

The works required by this condition must be completed prior to first occupation.

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, bylaws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's website for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

OCCUPATION OF THE PUBLIC HIGHWAY

You may require a permit for the occupation of the public highway for construction or special event (e.g. placement of skip bin, crane, scissor lift etc.). Click [here](#) for more information.



(Deanne Lang)

Development Appraisal Planner

As a signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

Date of Report: 19 June 2025



10 Sels Point Road, New Town

TOMRA Container Refund Scheme

Supporting planning report | 8 April 2025

ERA Planning and Environment acknowledge *palawa* as the Traditional Owners of *Iutruwita* (Tasmania).

They are the original custodians of our land, sky and waters. We respect their unique ability to care for country and deep spiritual connection to it.

We honour and pay our respect to Elders past and present, whose knowledge and wisdom has and will ensure the continuation of culture and traditional practices.

We acknowledge that their sovereignty has never been ceded.

Always was, always will be.

ERA Planning Pty Ltd trading as ERA Planning and Environment
ABN 67 141 991 004

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Job Number: 2425-039

Document Status

Document Version	Date	Author	Reviewer
Final	8 April 2025	Georgina Young	Clare Hester



Permit overview

Permit application details

Applicant	ERA Planning and Environment
Owner	Hobart City Council
Address	10 Selfs Point Road, New Town
Lot description	Folio of the Register: 188048, Lot 1
Description of proposal	Container Refund Scheme

Relevant Planning Provisions

Applicable planning scheme	Hobart Interim Planning Scheme 2015
Zone(s)	Recreation
Codes	Not applicable
Discretions	Nil

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1 Introduction

1.1 Purpose of the report

ERA Planning and Environment (ERA) has been engaged by TOMRA to seek planning approval for the use and development of a container refund point at 10 Selfs Point Road, New Town. This report provides the relevant background material, proposal details and an appraisal of the development against the relevant planning provisions.

1.2 Name of planning authority

The relevant planning authority is the Hobart City Council.

1.3 Statutory controls

This planning permit application is to be assessed in accordance with the *Land Use Planning and Approvals Act 1993* (LUPAA) and is subject to the provisions of the *Hobart Interim Planning Scheme 2015*.

Specifically, the proposal requires assessment against the applicable general provision clauses of the planning scheme.

1.4 Title documentation

This planning permit application relates to land at 10 Selfs Point Road, New Town (title reference 188048/1), under the ownership of Hobart City Council.

The landowner has been notified of the intention to lodge this planning permit application pursuant to clause 52 of the LUPAA.

Title documents are available at Appendix A.

1.5 Background

The Tasmanian Government has committed to introduce a Container Refund Scheme (CRS), where approved beverage containers can be exchanged for a 10 cent refund at various refund points through the state. The *Container Refund Scheme Act 2022*, which is the legislation to enable the CRS, was passed by Parliament in March 2022. Approximately 49 sites are being considered for multiple types of container refund points.

2 Proposal

The proposal seeks approval for the use and development of a container refund machine (Recycling and Waste Disposal) at 10 Selfs Point Road, New Town.

The proposed container refund machine would be located to the south west of the existing toilet block, opposite the Graham Family Funerals on the corner of Bay Road, Queens Walk and Risdon Road. This section of the site is directly accessible from Queens Walk. The location of the container refund point is shown below in Figure 1.

The container refund machine would be approximately 6 m x 5 m, with an awning that is approximately 1.2 m x 5 m. The maximum height would be approximately 2.6 m.

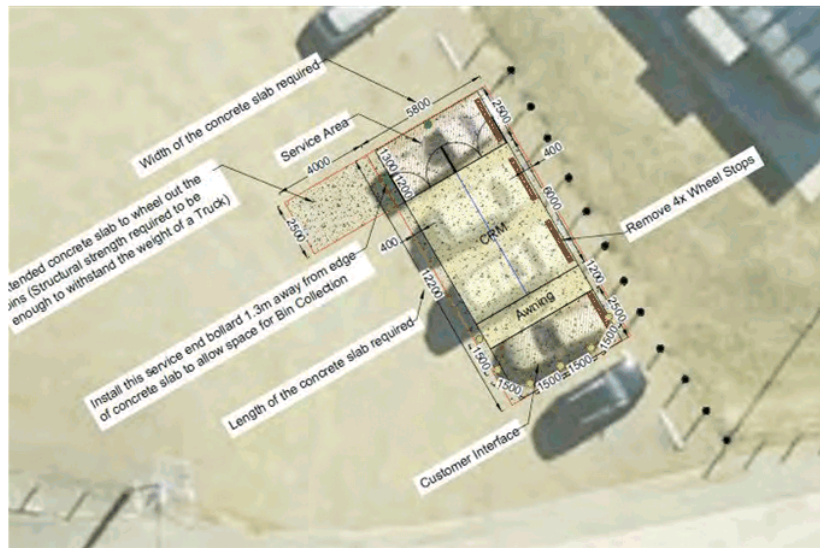


Figure 1 Proposed location of the container refund point

3 Site description

The site is generally flat and is located over a large area of approximately 10.85 ha. The site is located on both sides of the Brooker Highway and contains various uses such as sporting grounds, the Tasmanian Institute of Sport, The Tasmanian Bridge Association and Ten Lives.

The site is in the Recreation zone. The surrounding area is a combination of zonings, with utilities to the northeast, Community Purpose, Inner Residential and Recreation to the southeast and Inner Residential, Community Purpose and General Residential to the west.

An aerial image of the subject site and surrounds can be found below in Figure 2.

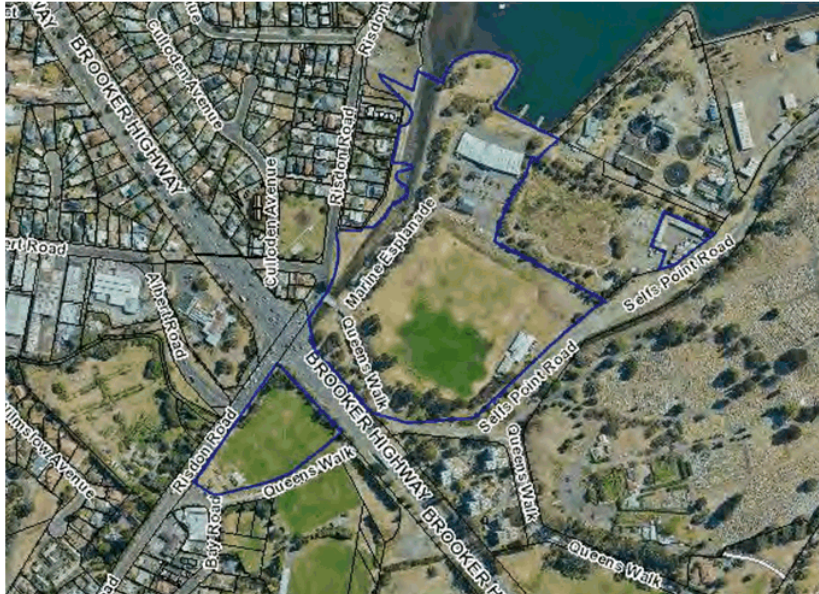


Figure 2 Aerial Image of the subject site (source www.thelist.tas.gov.au)

4 Planning assessment

4.1 Introduction

Exemption provisions can be found in *Planning Directive No. 9 - Container refund Scheme – Exemptions and Special Provisions*. These provisions include specific requirements that relate to the size and location for the exemptions to be achieved; otherwise, a planning permit will be required. In this instance the proposal would not meet the exemption requirements, and a planning permit is therefore required.

Clause 9.1 Container Refund Points of *Planning Directive No. 9* sets out the provisions around container refund points. More specifically, this clause sets out both discretionary and permitted clauses, 9.1.1 and 9.1.2 respectively, with regards to the container refund points.

Pursuant to clause 9.1.3 no other provisions in the planning scheme apply to a use or development that complies with clause 9.1.2.

Pursuant to clause 9.1.4 there is no requirement to provide car parking spaces for container refund points approved under subclauses 9.1.1 or 9.1.2.

4.2 Relevant definitions

The following definitions are relevant to the proposal:

4.2.1 The Container Refund Scheme Act 2022

The *Container Refund Scheme Act 2022* defines a container refund point under section 4 as:

(1) For the purposes of this Act, the following are container refund points:

- a. a facility, or premises, where an empty approved container may be deposited in exchange for the payment of the refund amount;
- a. a container refund machine;
- b. a facility, premises or machine, or a class of facilities, premises or machines, that is or are prescribed as a container refund point.

The *Container Refund Scheme Act 2022* defines a container refund machine under section 3 as:

Container refund machine means a machine, or other drive, that is –

- c. designed or manufactured to pay the refund amount when an approved container is inserted in , or otherwise deposited at, the machine or device; or
- d. is prescribed as a container refund machine for the purposes of this Act

4.2.2 Hobart Interim Planning Scheme 2015

The key relevant definitions of the *Hobart Interim Planning Scheme 2015* are:

Recycling and Waste Disposal

use of land to collect, dismantle, store, dispose of, recycle or sell used or scrap material. Examples include a recycling depot, refuse disposal site, scrap yard, vehicle wrecking yard and waste transfer station.

4.2.3 Planning Directive No. 9

The key relevant definitions under section 3 of *Planning Directive No. 9* are:

Waste transfer station

means use of land to receive and temporarily store waste before it is removed elsewhere and includes a container refund point, excluding a bag drop refund point, a container refund machine, an over the counter refund point and a pop-up refund point.

Bag drop refund point

means the use of land for a container refund point to receive and internally store bags of approved containers for later collection.

4.3 Special Provisions

The following table sets out the clauses, pursuant to Clause 9.1.2 of the planning scheme, that need to be complied with for the proposal to be permitted in the Recreation zone.

Table 1 Clause 9.1.2 of the Interim Planning Scheme

Clause 9.1.2	Planner Response
Clause 9.1.2 (a) <i>co-located on a site with an existing business;</i>	<p>The proposed container refund point would be located on the same site as several businesses, including Ten Lives Cat Centre, which has the following ABN: 78 883 186 467 and the Hobart Recreation Ground, owned and maintained by the Hobart City Council, which has the following ABN: 39 055 343 428.</p> <p>Therefore, the proposal complies with clause 9.1.2 (a).</p>
Clause 9.1.2 (b) <i>there are not more than 2 signs for the bag drop refund point or container refund machine that are not attached to the bag drop point or container refund machine structure and the signs are not:</i> <i>(i) less than 2m from the boundary of a lot in the General Residential Zone, Inner Residential Zone, or Low Density Residential Zone;</i> <i>(ii) illuminated;</i> <i>(iii) more than 2 m² combined total area; and</i> <i>(iv) on a separate site to the bag drop refund point or container refund machine;</i>	<p>All proposed signage is attached to the container refund machine. Therefore, the proposal complies with clause 9.1.2 (b).</p>
Clause 9.1.2 (c) <i>for any attached sign on a bag drop refund point or container refund machine structure, that sign must:</i> <i>(i) be for the following sign types, as defined by the relevant interim planning scheme:</i> <i>(a) an awning fascia sign that does not project above or below the fascia of the awning to which it is attached, and has a height of not less than 2m above ground level;</i> <i>(b) a wall sign that does not project above the top of the wall to which it is attached; or</i> <i>(c) a wall mural sign;</i> <i>(ii) comply with E7.4 or E7.6 A1 of the Signs Code in the relevant Kentish and King Island Interim Planning Scheme.</i>	<p>The proposed signs would be a combination of an awning fascia sign and wall signs. – complying with clause 9.1.2(i)(c).</p> <p>The awning fascia sign does not project above or below the fascia of the awning to which it is attached and has a height of not less than 2 m above ground level – complying with clause 9.1.2 (c)(i)(a).</p> <p>The wall signs would not project above the top of the wall to which they are attached in accordance with clause 9.1.2 (c)(i)(b).</p>
Clause 9.1.2 (d) <i>in the Local Business Zone, General Business Zone or Central Business Zone, the setback from a frontage is:</i> <i>(i) equal to or more than the relevant Acceptable Solution frontage setback for the relevant zone; and</i> <i>(ii) not less than the relevant Acceptable Solution frontage setback of any applicable specific area plan;</i>	<p>The subject site is in the Recreation zone, therefore clause 9.1.2(d) is not applicable.</p>
Clause 9.1.2 (e) <i>in the Village Zone, Urban Mixed-Use Zone, Commercial Zone, Community Purpose Zone or Recreation Zone, the setback from a frontage is not less than 2m;</i>	<p>The subject site is in the Recreation zone. The minimum setback to frontage would be 5 m to Queens Walk. The proposal therefore complies with clause 9.1.2.(e).</p>

Clause 9.1.2	Planner Response
<p>Clause 9.1.2 (f) <i>the side and rear setback is not less than the relevant zone or an applicable specific area plan Acceptable Solution for side and rear setbacks;</i></p>	<p><i>Clause 18.4.2 Setback of the Hobart Interim Planning Scheme 2015 is as follows:</i> A2 <i>Building setback from a residential zone must be no less than:</i> <i>(a) 3 m;</i> <i>(b) half the height of the wall,</i> <i>whichever is the greater.</i> The Container Refund Machine would be setback more than 3 m from a residential zone and therefore complies with clause 9.1.2(f).</p>
<p>Clause 9.1.2 (g) <i>the height of the structure for a bag drop refund point or a container refund machine is not more than 3m;</i></p>	<p>The height of the container refund machine structure is less than 3 m. Therefore, the proposal complies with clause 9.1.2(g).</p>
<p>Clause 9.1.2 (h) <i>the area of each structure is not more than:</i> <i>(i) 20m² for the bag drop refund point; or</i> <i>(ii) 60m² for the container refund machine;</i></p>	<p>The area of the container refund machine structure is less than 60 m². Therefore, the proposal complies with clause 9.1.2(h).</p>
<p>Clause 9.1.2 (i) <i>the container refund machine operates within the hours of operation of a co-located business on the site, unless 9.1.2 (l) is applicable;</i></p>	<p>The container refund machine would operate within the hours of the co-located businesses on the site. Therefore, the proposal complies with clause 9.1.2(i). Clause 9.1.2(l) is applicable; refer below.</p>
<p>Clause 9.1.2 (j) <i>the placement of the container refund point satisfies the requirements in the acceptable solutions for the relevant code that relates to the provision of car parking on the site, as follows;</i> <i>(i) E9.5.2 and E9.6.1 in the E9 Traffic Generating Use and Parking Code in the relevant Kentish and King Island Interim Planning Schemes;</i> <i>(ii) E6.7 in the E6 Parking and Sustainable Transport Code in the relevant George Town Interim Planning Scheme; and</i> <i>(iii) E6.7, except for E6.7.8, E6.7.9, E6.7.10, E6.7.11, E6.7.12 in the E6 Parking and Access Code in the relevant Derwent Valley, Hobart, Huon Valley and Kingborough Interim Planning Scheme;</i></p>	<p>Clause 9.1.2(j)(i) & (ii) are not applicable to the proposal. <i>Clause E6.7.1 Number of Vehicular Accesses</i> relates to vehicle access points. No new vehicle access points are proposed, which meets the acceptable solution. <i>Clause E6.7.2 Design of Vehicular Accesses</i> relates to the design of vehicular access. No new accesses are proposed therefore this clause is not applicable. <i>Clause E6.7.3 Vehicular Passing Areas Along an Access.</i> No new passing areas are proposed therefore this clause is not applicable. <i>Clause E6.7.4 On-Site Turning</i> relates to on-site turning. No new on-site turning areas are proposed therefore this clause is not applicable. <i>Clause E6.7.5 Layout of Parking Areas</i> relates to the layout of parking areas. No new parking areas are proposed, therefore this clause is not applicable. <i>Clause E6.7.6 Surface Treatment of Parking Areas.</i> No changes are proposed to the surface treatment of existing parking areas, therefore this clause is not applicable. <i>Clause E6.7.7 Lighting of Parking Areas.</i> No new lighting is proposed, therefore this clause is not applicable.</p>
<p>Clause 9.1.2 (k) <i>the Local Historic Heritage Code does not require a permit for the use or development; and</i></p>	<p>A permit is not required pursuant to the local historic heritage code. Therefore, the proposal complies with clause 9.1.2(k).</p>
<p>Clause 9.1.2 (l) <i>use of a bag drop refund point or a container refund machine within 50m of a General Residential Zone, Inner Residential Zone or Low Density Residential Zone:</i> <i>(i) operates within the following hours of operation:</i> <i>(a) 7.00am to 9.00pm Monday to Saturday; and</i></p>	<p>The container refund machine would be located within 50 m of a residential zone. The machine would operate within the hours of operation of the co-located businesses on the site and therefore complies with clause 9.1.2(l)(i)(c). No external lighting, other than security lighting, would operate. The proposal therefore complies with clause 9.1.2(l)(iii).</p>

Clause 9.1.2	Planner Response
<p><i>(b) 8.00am to 9.00pm on Sundays and public holidays; or</i></p> <p><i>(c) alternatively within the hours of operation of a co-located business;</i></p> <p><i>(ii) operates external lighting, excluding any security lighting, only within the hours of 6.00am to 11.00pm;</i></p> <p><i>(iii) baffles any security lighting so that direct light does not extend into adjoining lots in a General Residential Zone, Inner Residential Zone or Low Density Residential Zone; and</i></p> <p><i>(iv) is serviced by commercial vehicles for the container refund point within the hours of:</i></p> <p><i>(a) 7.00am to 9.00pm Monday to Saturday; and</i></p> <p><i>(b) 8.00am to 9.00pm Sunday and public holidays.</i></p>	<p>There is no change to the existing security lighting. Clause 9.1.2(l)(iii) does not apply.</p> <p>The container refund machine would only be serviced by commercial vehicles within the prescribed hours and therefore complies with clause 9.1.2(l)(iv).</p>

5 Conclusion

The proposal seeks approval for the use and development of a container refund point (Recycling and Waste Disposal) at 10 Selfs Point Road, New Town. This report identifies that the proposal is subject to the provisions of the *Hobart Interim Planning Scheme 2015*.

An assessment against all relevant standards has been outlined in this report. The assessment has demonstrated that the proposal complies with *Planning Directive No. 9* and is therefore a permitted application.

Table 2 Summary of relevant standards

Clause	Complies
General Provisions	
Clause 9.1.2 (a)	Yes
Clause 9.1.2 (b)	Yes
Clause 9.1.2 (c)	Yes
Clause 9.1.2 (d)	Not applicable
Clause 9.1.2 (e)	Yes
Clause 9.1.2 (f)	Yes
Clause 9.1.2 (g)	Yes
Clause 9.1.2 (h)	Yes
Clause 9.1.2 (i)	Yes
Clause 9.1.2 (j)	Yes
Clause 9.1.2 (k)	Yes
Clause 9.1.2 (l)	Yes

Appendix A Certificate of Title

Appendix B Plans



Contact us

ERA Planning & Environment
Level 1, 125A Elizabeth St *nipaluna* (Hobart) 7000

☎ (03) 6165 0443

✉ enquiries@eraplanning.com.au

eraplanning.com.au



PlanBuild
TASMANIA

REQUEST FOR INFORMATION - PLANNING

Status: Under Review

Reference

PLANNA-HOB-2025-1528

Application Reference

PLN-HOB-2025-0188

Address

10 SELFS POINT RD NEW TOWN TAS 7008

Titles

163941/1

Information Requested

#	Reason	Origin
1	<p>PLNFi5 - Planning - Signs</p> <p>I refer to the documents submitted with your application. The documents entitled "Kiosk specifications" and which include details of the size and location of the proposed signage, do not reflect the (size) of the proposed container shown on plans submitted - drawing number P21077-001 Revision C - sheets 1-7.</p> <p>On this basis, please provide amended details confirming which signs to be applied to the container. Alternatively, you may wish to include a notation on the kiosk specifications confirming that only one container is proposed, and these photos are examples of what signage may be applied.</p>	LUPAA 1993
2	Please provide evidence how your client Tomra satisfies the definition of "By, or on behalf of the Crown"	
3	<p>1. It is unclear where the 5m setback shown on the boundary setback site plan is being measured from. Please confirm and show clearly on the plan if this measurement has been taken from the edge of the awning closest to the frontage or from the container.</p> <p>2. Please amend the floor and elevation plans to show the proposed awnings.</p>	
4	Please confirm the hours of operation of the co located businesses on the site and how the refund machine would cease operation during the times that the businesses do not operate.	

Response comments

Response to Request for Further Information

Hi Deanne,

Further to our conversation last week I believe the application is permitted and complies with Clause 9.1.2. of Planning Directive 9 and therefore does not require assessment against any other provisions of the planning scheme as per Clause 9.1.3 of Planning Directive 9 below.

9.1.3 No other provisions in the relevant planning scheme apply to a use or development that complies with sub clause 9.1.2.

Please find below the requested RFI.

#1 - Planning signs - as per phone conversation with Deanne Lang, week starting 5/5/25, the application is for 2 shipping containers and therefore the documents titled "kiosk specifications" reflect the proposed containers shown on the plans.

#2 [REDACTED] the contract being awarded to TOMRA on behalf of the Crown.

#3 - 1. please refer to the attached updated site plan clearly demonstrating the set back to the site boundaries.
2. please refer to the attached floor and elevation plans demonstrating the proposed awning. As per discussion with Deanne Lang.

#4 - 1. The hours of operation for the Hobart Recreation Ground are 24/7.
2. Our client has informed us as follows 'please note that our machines are programmed to only operate at the hours we specify'.

Documents

Version	Document Date	Document Type	Description	Prepared By
1	13 May 2025	Site Plan	site plan demonstrating setbacks to boundaires	TOMRA

1	13 Feb 2025	Elevations	Elevation demonstrating awning	TOMRA
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Form published: 28/11/2024 08:21

GENERAL

G1. THESE DRAWINGS BE READ IN CONJUNCTION WITH THE PROJECT SALES OFFER AND WITH OTHER SUCH WRITTEN INSTRUCTIONS AS MAY BE ISSUED.

G2. ALL DIMENSIONS ARE IN MILLIMETRES, UNLESS NOTED OTHERWISE.

G3. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE ELEMENTS, PHYSICALLY OR ELECTRONICALLY.

G4. DURING AND AFTER INSTALLATION, STRUCTURES SHALL BE MAINTAINED IN A SAFE AND STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED.

G5. RW BATTERY LIMIT TO SUPPLY CONTAINERS IS TO THE UNDERSIDE OF CONTAINER CORNER CASTS UNLESS NOTED OTHERWISE.

G6. WHERE PROPRIETARY ITEMS ARE SPECIFIED ON DRAWINGS, ALTERNATIVE MAY BE USED IF APPROVED BY THE DESIGN ENGINEER. ALL PROPRIETARY ITEMS SHALL BE INSTALLED STRICTLY IN ACCORDANCE WITH OEM SPECIFICATIONS, UNLESS NOTED OTHERWISE.

G7. ALL PENETRATION THROUGH ANY PART OF THE CONTAINER SHALL BE APPROVED BY THE RW DESIGN ENGINEER PRIOR EXECUTION.

G8. ANY DISCREPANCY, AMBIGUITY, OMISSION OR INCONSISTENCY SHALL BE REPORTED TO THE DESIGN ENGINEER BEFORE PROCEEDING WITH THE WORK.

G9. CONTAINERS ARE DESIGNED FOR SINGLE STACK ONLY.

G10. IF IN DOUBT, ASK.

G11. CURRENT VERSION OF APPROVED DRAWING IS STORED ONLINE. PRINTED COPIES ARE UNCONTROLLED.

ELECTRICAL

E1. ALL ELECTRICAL WORKS SHALL BE STRICTLY UNDERTAKEN BY A QUALIFIED ELECTRICIAN.

E2. ALL ELECTRICAL WORKS SHALL COMPLY WITH AS/NZS 3000 AND AS/NZS 3001.

E3. ELECTRICAL TO BE FITTED AS 2 POLES, UNLESS NOTED OTHERWISE.

E4. ELECTRICAL CABLES ARE FITTED BEHIND INSULATION PANELS, UNLESS NOTED OTHERWISE.

E3. ELECTRICAL EQUIPMENT, INCLUDING CONDUITS, CABLE LADDERS AND CABLES IN ALL AREAS SHALL BE PROTECTED FROM MECHANICAL DAMAGE BY USE OF SOLID BARRIERS IN ACCORDANCE WITH AS/NZS 3000.

E4. ELECTRICAL ENCLOSURES SHALL ONLY CONTAIN ELECTRICAL COMPONENTS. HYDRAULIC AND PNEUMATIC COMPONENTS SHALL BE SEPARATELY HOUSED.

E5. EARTHING AROUND THE CONTAINER IS EXCLUDED IN DESIGN, UNLESS NOTED OTHERWISE.

STEELWORK

S1. ALL STEEL, STEELWORK, CONNECTIONS AND ERECTION OF STEELWORK SHALL BE IN ACCORDANCE WITH THE SPECIFICATION, AS4100 AND AS3628.

S2. CONTAINERS SHALL BE TRANSPORTED IN ACCORDANCE WITH AS3711.4 FREIGHT CONTAINERS PART 4: GENERAL PURPOSE CONTAINERS.

S3. MODIFIED CONTAINERS SHALL NOT BE STACKED, UNLESS NOTED OTHERWISE.

S4. WHERE SPECIFIED, ALL BOLTS, NUTS AND WASHERS' DESIGNATION ARE AS FOLLOW:

- 4.6/S REFERS TO GRADE 4.6 COMMERCIAL BOLTS TO AS1111, TIGHTENED TO SNUG TIGHT CONDITION TO AS4100.
- 8.8/S REFERS TO GRADE 8.8 HIGH STRENGTH STRUCTURAL BOLTS TO AS1252, TIGHTENED TO A SNUG TIGHT CONDITION OF AS4100.
- 8.8/TB REFERS TO GRADE 8.8 HIGH STRENGTH STRUCTURAL BOLTS TO AS1252 FULLY TENSIONED TO AS4100 AS A BEARING TYPE JOINT.

S5. WHERE SPECIFIED, 8.8/TB AND 8.8/TF BOLTS SHALL BE TIGHTENED USING THE DIRECT TENSION METHOD USING CORONET LOAD INDICATOR WASHERS ONLY IN ACCORDANCE WITH AS4100.

S6. WELDING SHALL COMPLY WITH THE REQUIREMENTS OF AS1554.1 - SP, UNLESS NOTED OTHERWISE.

S7. WELD SYMBOLS ARE IN ACCORDANCE WITH THE LATEST EDITION OF AS1101.3.

S8. ALL NON-BOLTED ABUTTING STEEL INTERFACES SHALL BE WELDED ALL ROUND WITH CONTINUOUS FILLET WELD UNLESS NOTED OTHERWISE.

S9. ALL WELDS SHALL BE CONTINUOUS 3MM FILLET WELD (CFW) AND TO BE SP CATEGORY, UNLESS NOTED OTHERWISE. WHERE PLATE THICKNESS IS GREATER THAN 3MM, MINIMUM LEG LENGTHS AS PER BELOW:

THICKEST OF THINNEST PART (T)
4<T≤7 = 3MM MINIMUM LEG LENGTH
7<T≤10 = 5MM MINIMUM LEG LENGTH
10<T≤16 = 6MM MINIMUM LEG LENGTH

S10. ALL BUTT WELDS SHALL BE COMPLETE JOINT PENETRATION BUTT WELDS IN ACCORDANCE WITH AS1554.1, UNLESS NOTED OTHERWISE.

S11. ALL STEEL GRADES SHALL BE AS FOLLOWS:

PLATE = 250MPA AS3678
HOT ROLLED SECTIONS AND BAR = 300MPA AS3679.1
HOLLOW SECTIONS = C350MPA AS1163

S12. DEBURR AND BREAK ALL SHARP EDGES.

S13. ELECTRICAL TAGGING USING 6MM ROUND BAR SHALL BE STITCH WELDED TO SUITABLE SUBSTRATES AT MAXIMUM 1M SPACING, UNLESS NOTED OTHERWISE.

FRONT VIEW

RIGHT SIDE VIEW

LEFT SIDE VIEW

DATUM FACE

DATUM FACE

REAR VIEW DOORS END

PROTOTYPE DONOR UNIT: RWLU864387

REV	DATE	DESCRIPTION	DRN	CHK	APP
C	23/05/2022	ANCHOR POINTS MOVED 200mm, LIGHTS SPECIFICATION CHANGED	BD	RW	AB
B	21/05/2022	UNISTRUT, RUDLUG ANCHOR POINTS ADDED, LIGHTS ROTATED 90 DEG	BD	RW	AB
A	24/05/22	PRELIMINARY	BD	RW	AB

REV	DATE	DESCRIPTION	DRN	CHK	APP
A	24/05/22	PRELIMINARY	BD	RW	AB

THIS DRAWING IS THE PROPERTY OF UNITED RENTALS AUSTRALIA PTY LIMITED OR UNITED RENTALS NEW ZEALAND AND IS CONDITIONALLY LOANED TO THE RECIPIENT WHO BY RECEIVING IT HAS AGREED NOT TO REPRODUCE IT IN WHOLE OR IN PART, NOR MAKE ANY USE OF IT THAT HAS NOT BEEN APPROVED IN WRITING BY UNITED RENTALS AUSTRALIA PTY LIMITED OR UNITED RENTALS NEW ZEALAND.

Customer: TOMRA

Division: SPECIAL PROJECTS

Project: REDUCED FLOOR HEIGHT CONTAINER

Title: 20FT GP MODIFICATION GENERAL ARRANGEMENT

Drawn: BD 23/05/22

Checked: RW 23/05/22

Approved: AB 23/05/22

Sheet Size: A1

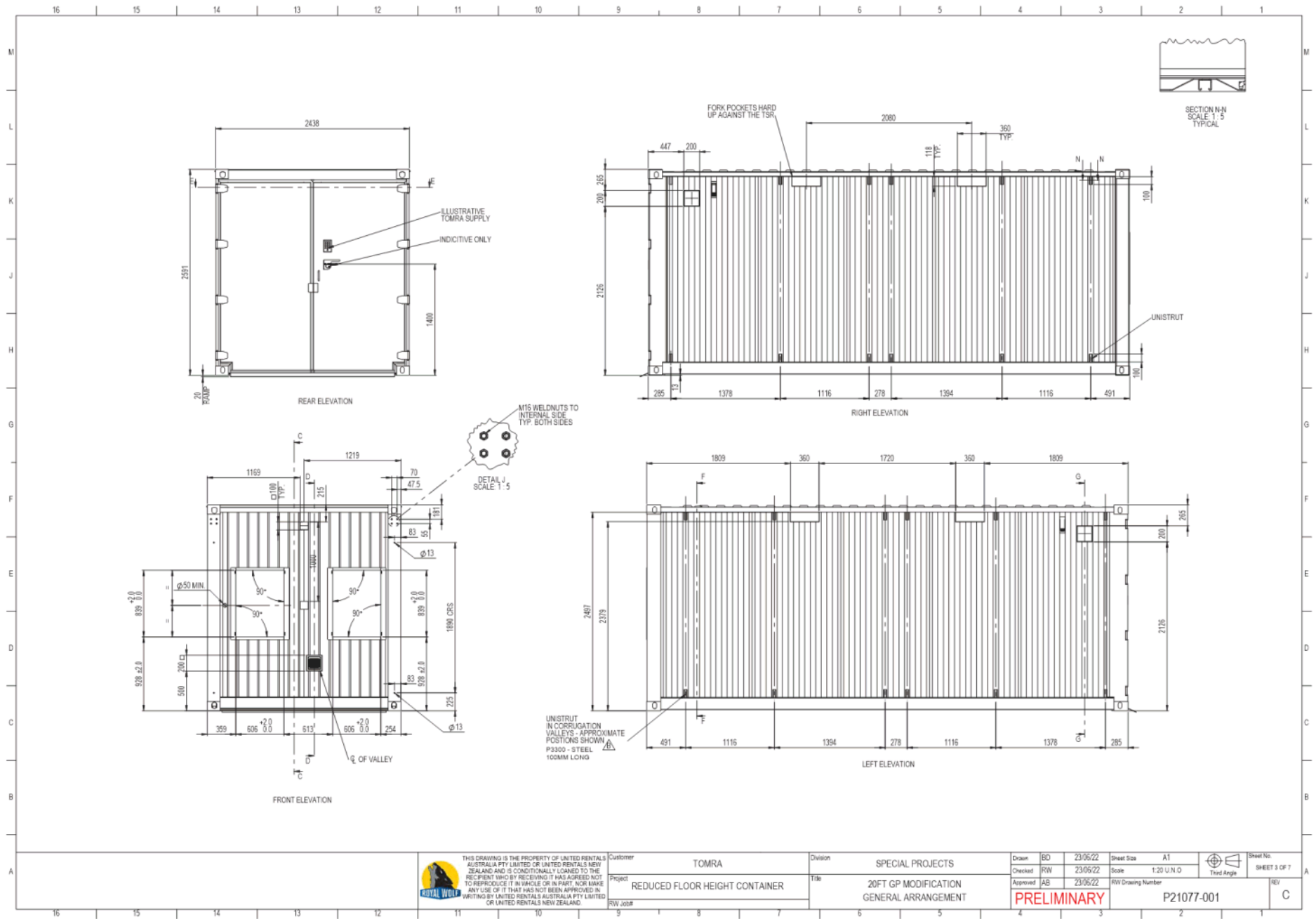
Scale: 1:20 U.N.D.

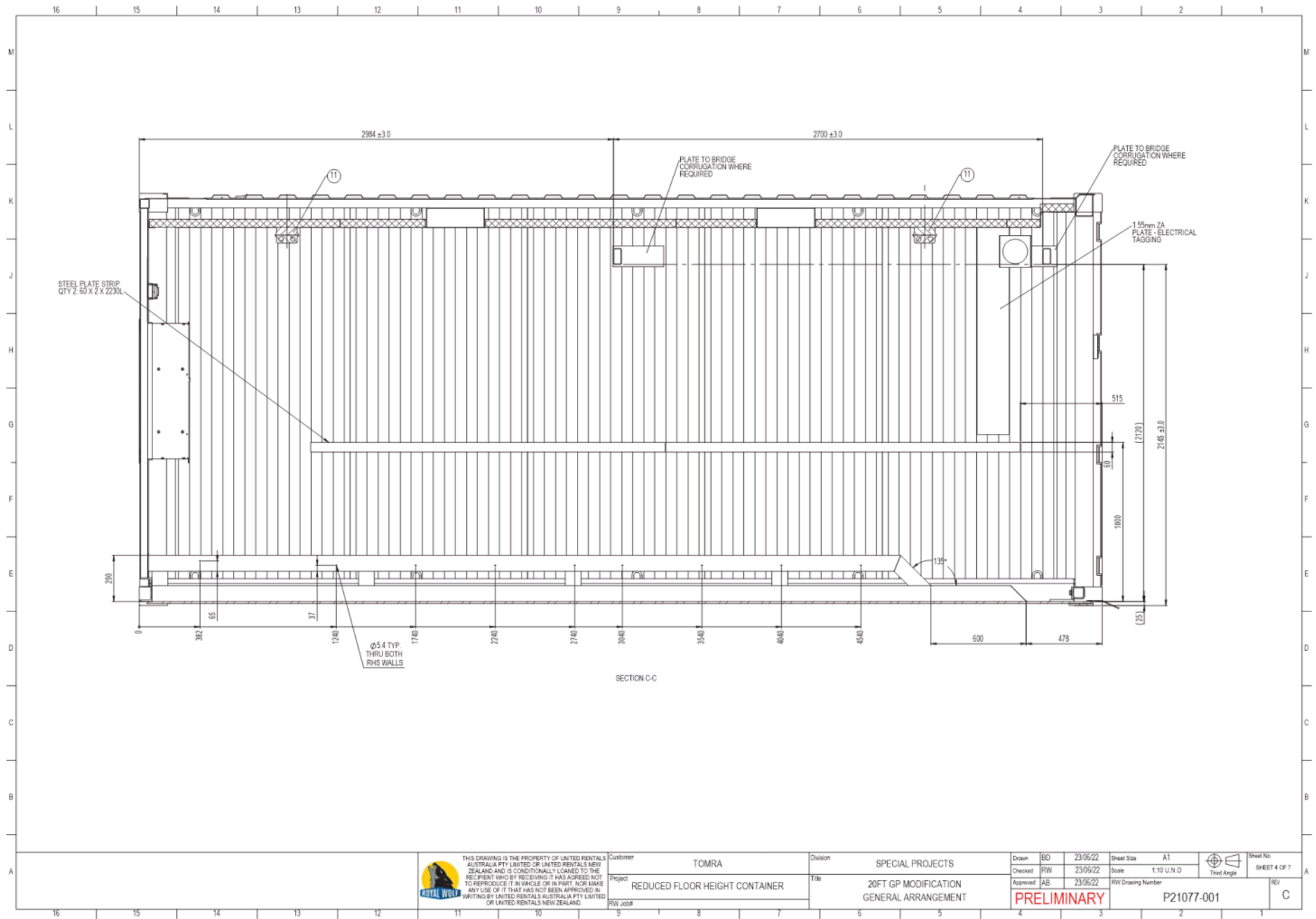
RW Drawing Number: PRELIMINARY

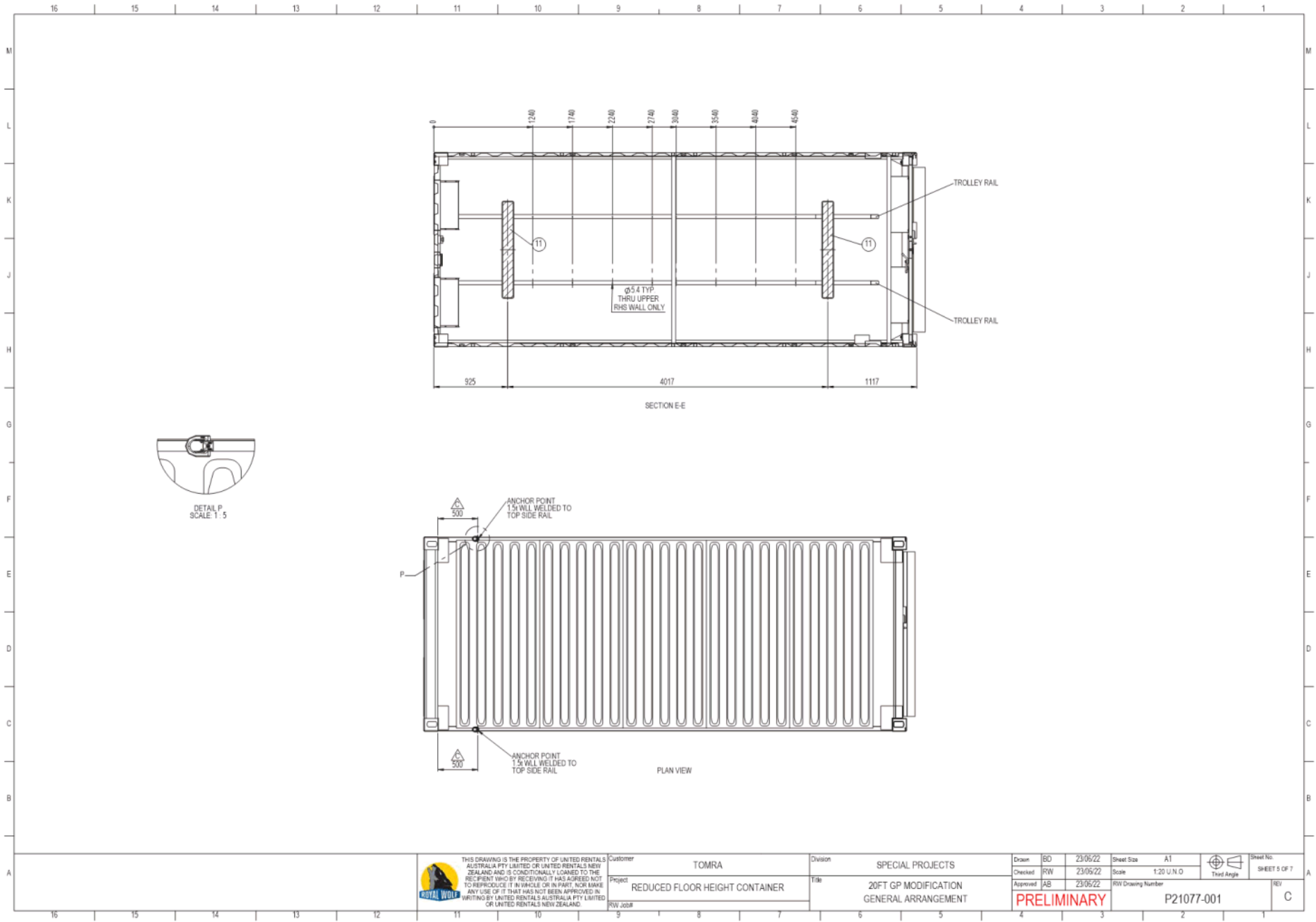
P21077-001

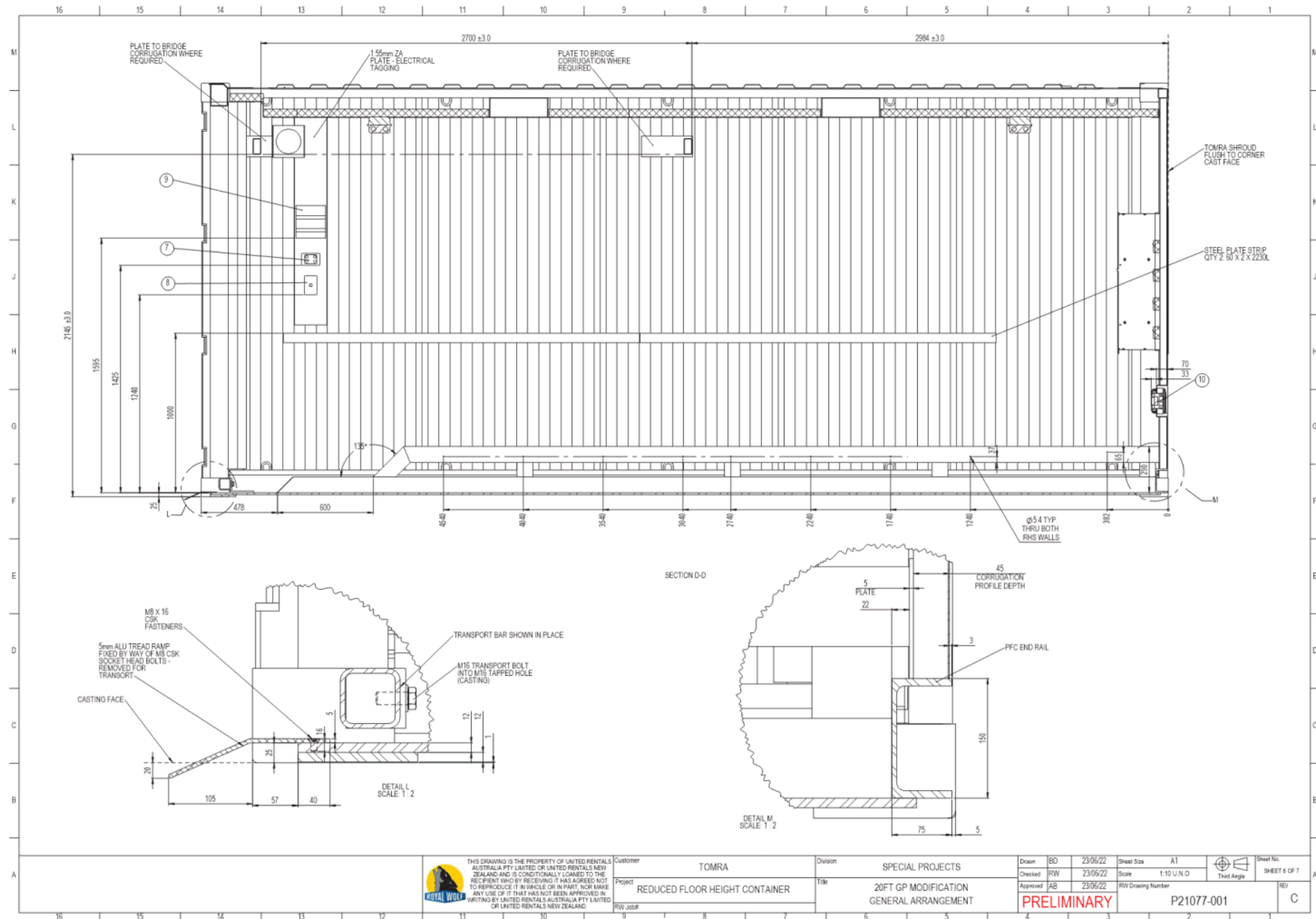
Sheet No. SHEET 1 OF 7

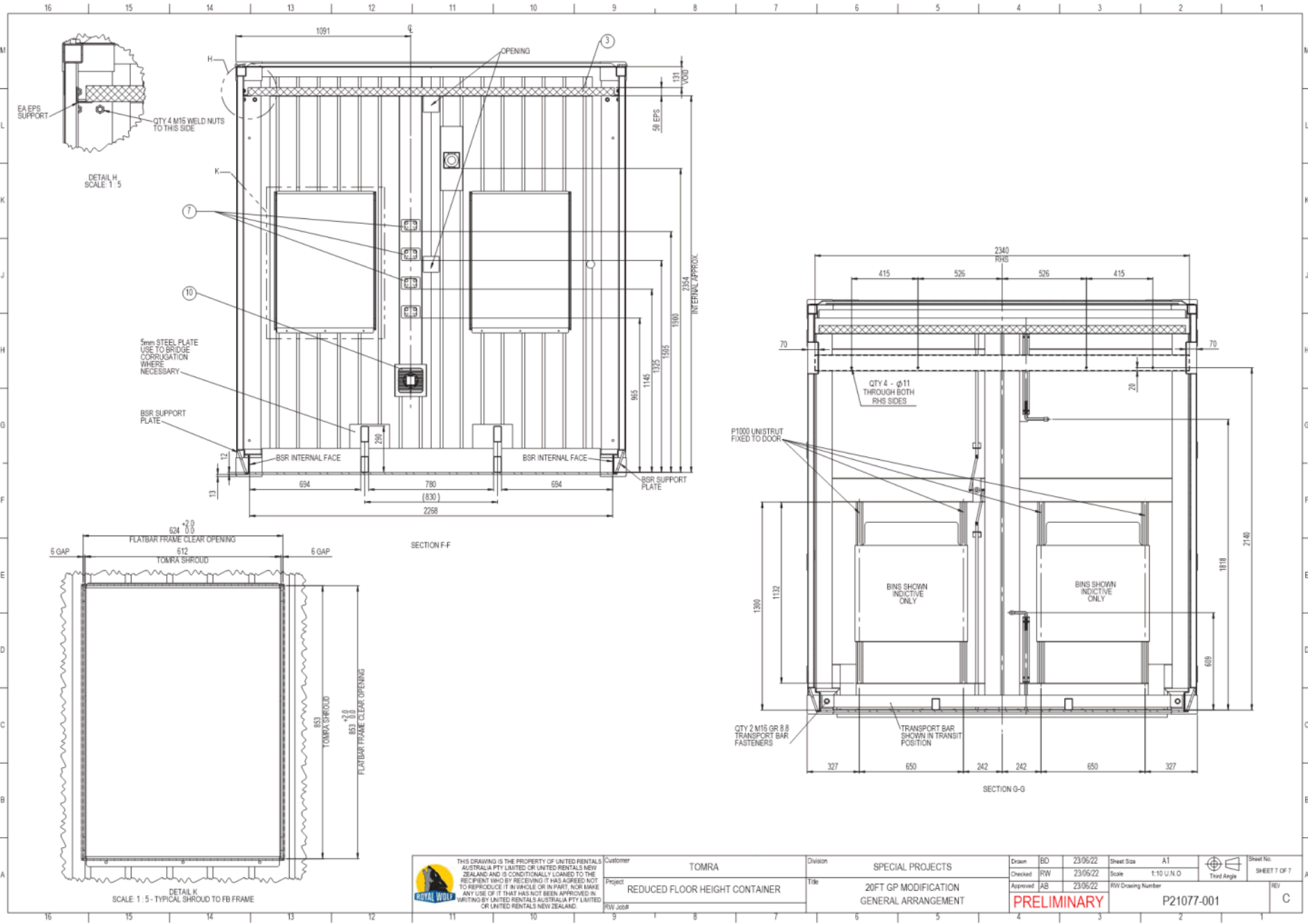
MACHINE SHROUDS IN SUPPLIED BY OTHERS



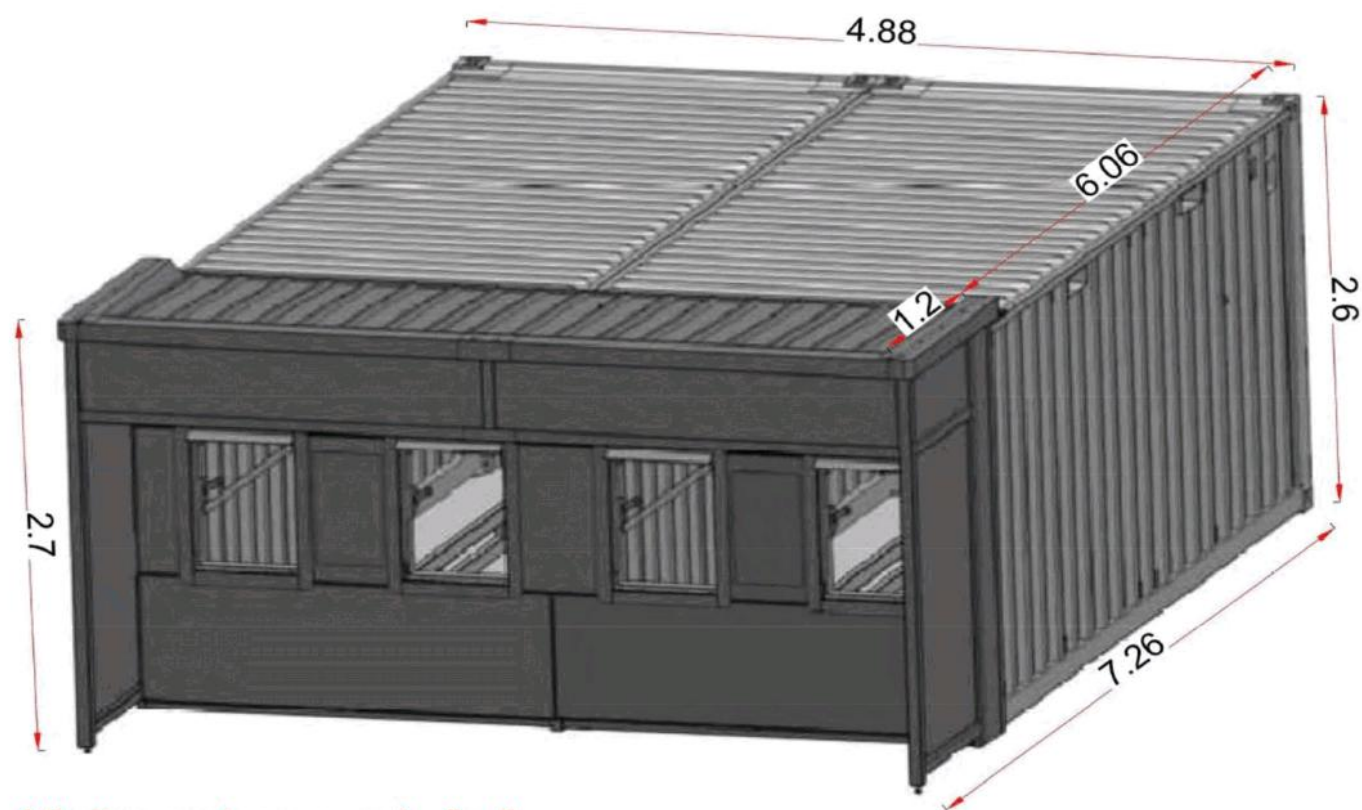








Roof and elevation plan.



All dimensions are in "m"





Tasmania S2 Kiosk specs



Front

All Awning steel parts are
powder-coated Shale Grey



Front | Specs

Panel	Material	Dimensions (W X H)	Comments
1	Recycle Rewards Front awning	2365 x 499	Vinyl Decal - 2 panels with join in the middle - 2 different decals
2	Top fascia	2370 x 669	Polycarbonate panel - 2 panels, printed on reverse (left right) - 2 different prints
3	Recycle Rewards bottom panel	2370 x 789	Polycarbonate panel - 2 panels, printed on reverse - Same print
4	Aluminium T9 panels (top)	600 x 245mm	QTY: 4 top panels - wrapped with an instructional decal
5	Aluminium T9 panels (bottom)	600 x 245mm	QTY: 4 Bottom panels - wrapped with a decal
6	Polycarbonate panel	259 x 925mm	printed on reverse - 2 panels (left right)
7	Digital screen	16x9	Revolving messaging behind a clear polycarbonate panel Qty: 2x
8	Polycarbonate panel	566 x 925mm	Printed on reverse QTY: 1x

Side



Panel	Material	Dimensions (W X H)	Comments
1	Vinyl side banners	5620 x 2415 mm	QTY: 2 banners (1 each side) - banners slide into a 4-sided metal track
2	"Refund here" side awning panel	1046 x 491	Vinyl Decal
3	Shared zone poster	Portrait A1	Vinyl decal Left and right > outwards facing

Back



Panel	Material	Dimensions (W X H)	Comments
1	Recycle rewards left panel	1118 x 2349 mm	Vinyl decal applied to steel door QTY: 2x
2	10 refund here right panel	1118 x 2349 mm	Vinyl decal applied to steel door QTY: 2x



PlanBuild
TASMANIA

PLANNING APPLICATION

Status:

Reference

PLN-HOB-2025-0188

Address

10 SELFS POINT RD NEW TOWN TAS 7008

Titles

163941/1

Application Checklist

As part of the preliminary review of the application, at a minimum, please check:

- ☐ The right title and schedule of easements have been provided.
- ☐ The right fee has been paid.
- ☐ The plans are legible.
- ☐ The information provided by the applicant is correct/sufficient.
- ☐ Does it adjoin Council owned land? If so, please refer to Parks.

Please also don't forget to check for:

- ☐ TasWater
- ☐ TasNetworks
- ☐ Archaeology
- ☐ Contaminated sites
- ☐ Is it a Major Project?
- ☐ Who has delegation to determine the application

Checked By

-

Pre-Application Advice

Have you spoken with anyone at Council about this application?

- ☐ Yes - enter details below
- ☒ No - continue to the next section

If yes, provide the name of the person you contacted

Applicant

Name	Email	Phone	Address	Involvement

Owners

Name	Email Address	Address

Relevant Property Title/s

Selected Titles

163941/1

Total Area: 0m²

Owner Notification

Are you the sole owner of the land?

- ☐ Yes - continue to the next section
☒ No - answer question below

If no, have you notified all owners, joint or part owners of your intention to submit this application?

- ☒ Yes - enter owner details below
☐ No - you must notify all owners before proceeding with this application

List all owners, joint or part owners as recorded on the Title documents notified:
City of Hobart

Enter the date that the last owner, joint or part owner was notified
23/04/2025

Declaration

- ☒ I declare that all land owners, joint or part owners have been notified of this planning application.

Crown Land Consent

Is Crown Land involved in the proposed use or development?

- ☐ Yes - complete question below
☒ No - continue to the next section - see further information below
☐ Unsure

If yes, has written Crown Land consent been obtained?

- ☐ Yes - upload written consent
☐ No - application will not be progressed until consent has been provided

General Manager Consent

Is Council-owned or administered land involved in the proposed use or development?

- ☒ Yes - complete question below
☐ No - continue to the next section
☐ Unsure

If yes, has written consent been obtained from the Council General Manager?

- ☒ Yes - upload written consent
☐ No - application will not be progressed until consent has been provided

Proposed Use or Development

What is the reason for your planning application?

- ☐ I want to change how the property is used
☐ I want to use the property for visitor accommodation
☐ I want to subdivide
☒ I want to undertake a new development or alteration
☐ I want to do a minor boundary adjustment
☐ I want to put up a sign(s)
☐ I want to demolish
☐ I want to do works only
☐ Other

If your application is to subdivide, please enter the number of proposed lots.
0

If your application is for signage, please enter the number of signs.

Is the property a Tasmanian Heritage Listed Property?

- ☐ Yes
☒ No

Is the application for an EPA Activity under the Environmental Management and Pollution Control Act 1994?

- ☐ Yes
- ☒ No
- ☐ Unsure

Is the proposed use or development permitted or discretionary?

- ☒ Permitted
- ☐ Discretionary
- ☐ Unsure if permitted or discretionary

Provide a full description of the proposed use or development
Container Refund Machine

Will the proposed use or development involve a road reserve?

- ☐ Yes - complete the section below
- ☒ No - continue to the next section
- ☐ Unsure

If yes, enter the address(es) or locations below:
If yes, how will the road reserve be affected?

Value of Work

What is the estimated value of the works?
7000

Assessment Documents

Version	Document Date	Document Type	Description	Prepared By
1	23 Apr 2025	Council Landowner Consent	Council Landowner Consent	ERA Planning and Environment

Council Description

Council Proposed Use or Development Description
Container Refund Machine

Assessment Timeframe

Requests / Referrals

No Referrals

**RESULT OF SEARCH**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



SEARCH OF TORRENS TITLE

VOLUME 188048	FOLIO 1
EDITION 1	DATE OF ISSUE 28-Feb-2025

SEARCH DATE : 04-Apr-2025

SEARCH TIME : 02.37 PM

DESCRIPTION OF LAND

City of HOBART

Lot 1 on Plan 188048

Derivation : Part of Lot 34118, 30A-1R-18Ps, Gtd. to the Lord Mayor, Aldermen and Citizens of the City of Hobart, Part of 5694m2 Gtd. to the Crown and Whole of 8724m2 Gtd. to the Crown (P139845)
Prior CT 163941/1

SCHEDULE 1

C490304 TRANSFER to HOBART CITY COUNCIL Registered
02-Oct-2003 at noon

SCHEDULE 2

C490304 Land is limited in depth to 15 metres, excludes minerals and is subject to reservations relating to drains sewers and waterways in favour of the Crown
C493602 Land is limited in depth to 15 metres, excludes minerals and is subject to reservations relating to drains sewers and waterways in favour of the Crown
C490304 Transfer Made Subject To Fencing Provision
C939090 BURDENING WAYLEAVE EASEMENT with the benefit of a restriction as to user of land in favour of Aurora Energy Pty Ltd over the land marked Wayleave Easement 6.00 wide on Plan 188048 Registered 08-Dec-2009 at noon
C520429 ADHESION ORDER under Section 110 of the Local Government (Building and Miscellaneous Provisions) Act 1993 Registered 23-Apr-2004 at noon

UNREGISTERED DEALINGS AND NOTATIONS

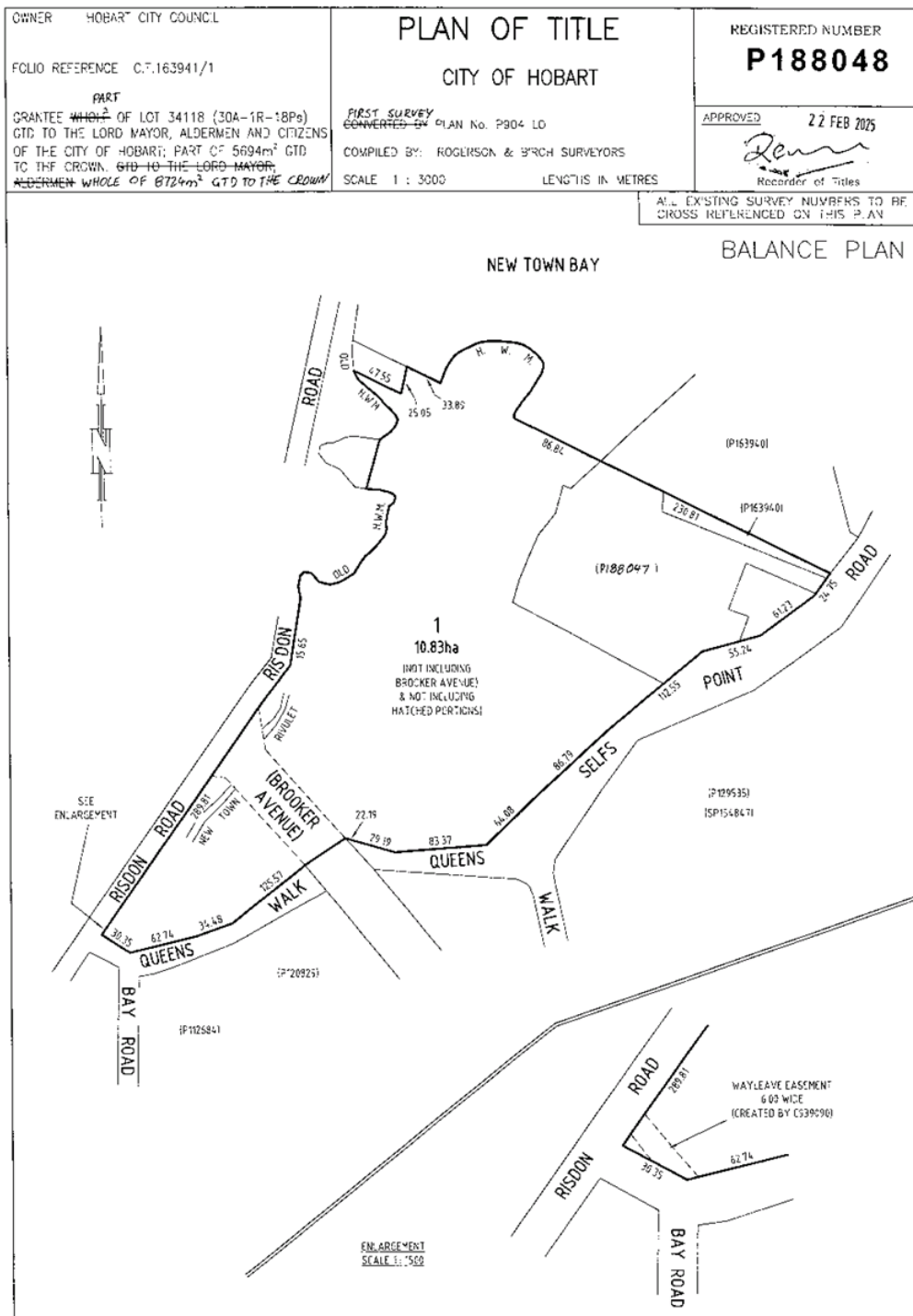
No unregistered dealings or other notations



FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980





PlanBuild
TASMANIA

REQUEST FOR INFORMATION - PLANNING

Status: Under Review

Reference

PLANNA-HOB-2025-1750

Application Reference

PLN-HOB-2025-0188

Address

10 SELFS POINT RD NEW TOWN TAS 7008

Titles

163941/1

Information Requested

#	Reason	Origin
1	PLN Generic 1. Please provide any stamped plans that were received alongside the General Manager Consent.	
2	1. It is unclear where the 5m setback shown on the boundary setback site plan is being measured from. Please confirm and show clearly on the plan if this measurement has been taken from the edge of the awning closest to the frontage or from the container. MET 2. Please amend the floor plan to show the proposed awnings. NEW REQUEST 3. Please provide an amended site plan to show the distance between the edge of the awning and the southern boundary of the site (that section opposite 2 Queens Walk).	
3	Please confirm the hours of operation of the co located businesses on the site and how the refund machine would cease operation during the times that the businesses do not operate. <i>Advice: The Hobart Recreation Ground does not constitute or meet the definition of a business.</i> The 10 Lives Cat Centre is located upon 10 Selfs Point Road. The hours of operation on their website are as follows: <ul style="list-style-type: none"> Tuesday - Friday 11.30-4.30 Saturday - 10am - 4pm Monday, Sunday and Public Holidays - closed Please confirm the hours of operation of the container refund point. If it is the intention to operate consistent with the above hours of operation, please confirm that the machines will be programmed to operate during the aforementioned hours of operation. <i>Advice: please be advised that the location of the Container Refund Point is approximately 20m from the Inner Residential Zone. You may wish to apply these hours of operation under 9.1.2(l).</i>	
4	Flood Risk As part of the General Manager's Consent process, concern was raised about the substantial flood risk at the site. To increase resilience against this issue, the project manager proposed that detail of an engineered tie suitable for a flood would be included as part of the application. No detail of this kind can be identified in the documents received. Please either indicate where these details are included in the application, or otherwise supply revised detail related to this tie down feature. <i>For enquiries related to the above request, please do not hesitate to contact Council's Program Leader - Stormwater and Waterways Services, Thomas McMahon on 62382924</i>	Stormwater Engineering

Response comments

Response to Request for Further Information

Hi De,

As per our phone conversation this morning you are now satisfied with all of request 2, re setbacks.

Our client would like to have the operating hours as per the permitted hours set out in Clause 9.1.2(l) of PD 9.

Please find attached the engineering information around engineering ties for the refund machine.

Thank you. Georgina.

Documents

Version	Document Date	Document Type	Description	Prepared By
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1	21 May 2025	Engineering Drawings	Engineering ties for container refund machine	HED Consulting
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Form published: 28/11/2024 08:21



GENERAL MANAGER CONSENT

Reference

GMC-HOB-2025-0018

Address

10 SELFS POINT RD NEW TOWN TAS 7008

Titles

163941/1

Applicant

Name	Email	Phone	Address	Involvement
ERA Planning and Environment	enquiries@eraplanning.com.au	0361650443	Level 1, 125A Elizabeth Street, Hobart, Tasmania, Australia, 7000	Applicant

Council Reference

Council Proposed Use or Development Description

Container Refund Machine

Consent Information

Information

I advise that pursuant to Section 52 of the Land Use Planning and Approvals Act 1993, I grant my consent on behalf of the Council as the owner/administrator of the above land for you to make application to the Council for a planning permit for the development described above and as per the attached documents. I granted consent pursuant to delegation, a copy of which is enclosed.

Please note that the granting of the consent is only for the making of the application and in no way should such consent be seen as prejudicing any decision the Council is required to make as the statutory planning authority.

This consent does not constitute an approval to undertake any works and does not authorise the owner, developer or their agents any right to enter or conduct works on any Council managed land whether subject to this consent or not.

If planning approval is granted by the planning authority, you will be required to seek approvals and permits from the Council as both landlord, land manager, or under other statutory powers (such as other legislation or Council ByLaws) that are not granted with the issue of a planning permit under a planning scheme. This includes the requirement for you to reapply for a permit to occupy a public space under the Council's Public Spaces By-Law if the proposal relates to such an area.

Accordingly, I encourage you to continue to engage with the Council about these potential requirements.

Signatory

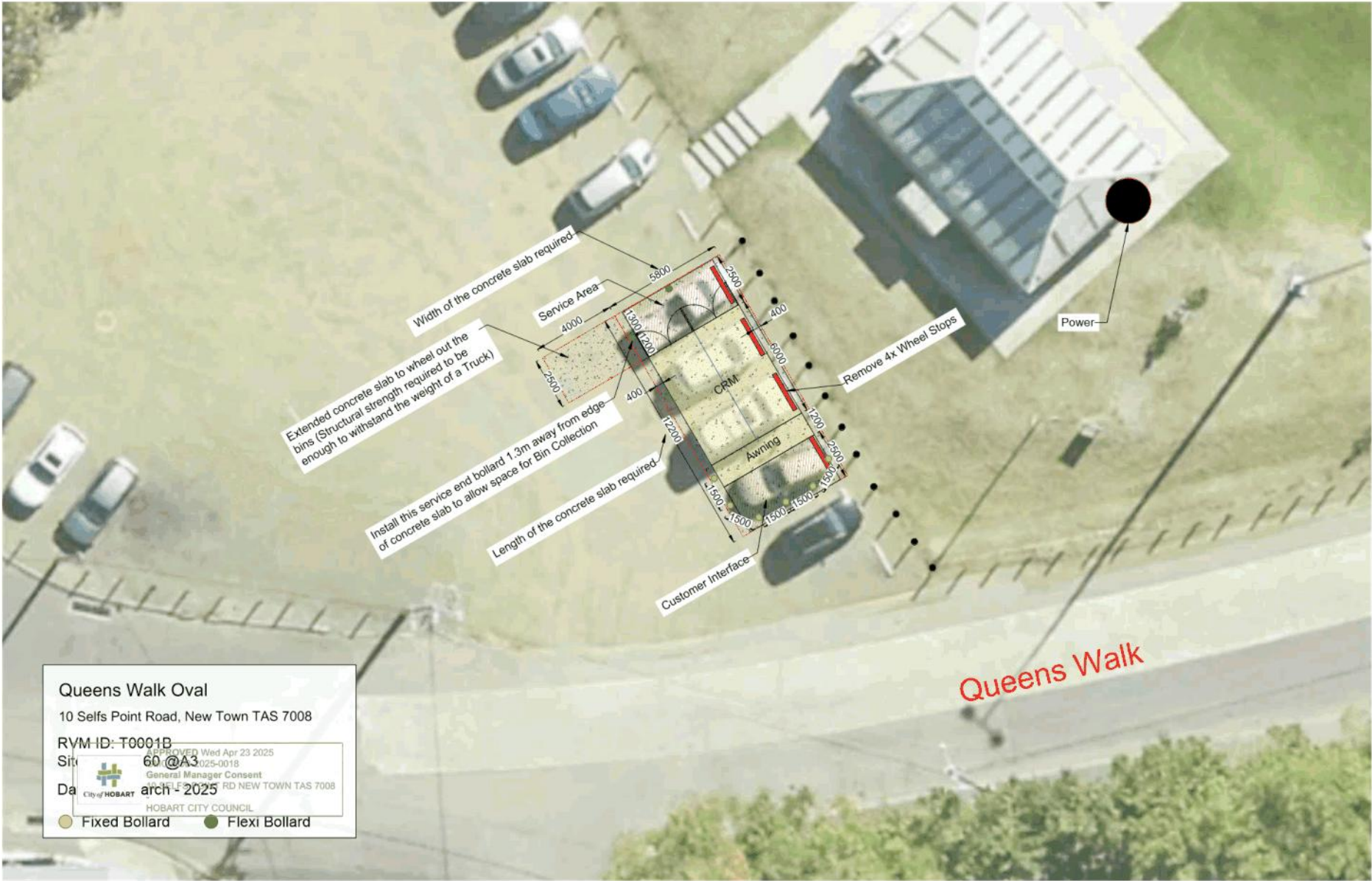
A handwritten signature in blue ink, appearing to read "Michael Stretton".

Signed: Michael Stretton**Signature applied by:** Nicole Spooner

Supporting Documents

Version	Document Date	Document Type	Description	Prepared By
2	25 Mar 2025	Other	boundary setbacks	TOMRA
2	8 Apr 2025	Planning Assessment Report	Planning report	ERA Planning and Environment
2	25 Mar 2025	Site Plan	Site Plan	TOMRA

Submitted on **23/04/2025**







10 Selfs Point Road, New Town

TOMRA Container Refund Scheme



APPROVED 8 Apr 2025
EMC-DOE-2025-0075
General Manager Consent
10 SELFS POINT RD NEW TOWN TAS 7008
HOBART CITY COUNCIL

Supporting planning report | 8 April 2025

ERA Planning and Environment acknowledge *palawa* as the Traditional Owners of *lutruwita* (Tasmania).

They are the original custodians of our land, sky and waters. We respect their unique ability to care for country and deep spiritual connection to it.

We honour and pay our respect to Elders past and present, whose knowledge and wisdom has and will ensure the continuation of culture and traditional practices.

We acknowledge that their sovereignty has never been ceded.

Always was, always will be.

ERA Planning Pty Ltd trading as ERA Planning and Environment
ABN 67 141 991 004

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Job Number: 2425-039

Document Status

Document Version	Date	Author	Reviewer
Final	8 April 2025	Georgina Young	Clare Hester



Permit overview

Permit application details

Applicant	ERA Planning and Environment
Owner	Hobart City Council
Address	10 Selfs Point Road, New Town
Lot description	Folio of the Register: 188048, Lot 1
Description of proposal	Container Refund Scheme

Relevant Planning Provisions

Applicable planning scheme	Hobart Interim Planning Scheme 2015
Zone(s)	Recreation
Codes	Not applicable
Discretions	Nil



Contents

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1 Introduction

1.1 Purpose of the report

ERA Planning and Environment (ERA) has been engaged by TOMRA to seek planning approval for the use and development of a container refund point at 10 Selfs Point Road, New Town. This report provides the relevant background material, proposal details and an appraisal of the development against the relevant planning provisions.

1.2 Name of planning authority

The relevant planning authority is the Hobart City Council.

1.3 Statutory controls

This planning permit application is to be assessed in accordance with the *Land Use Planning and Approvals Act 1993* (LUPAA) and is subject to the provisions of the *Hobart Interim Planning Scheme 2015*.

Specifically, the proposal requires assessment against the applicable general provision clauses of the planning scheme.

1.4 Title documentation

This planning permit application relates to land at 10 Selfs Point Road, New Town (title reference 188048/1), under the ownership of Hobart City Council.

The landowner has been notified of the intention to lodge this planning permit application pursuant to clause 52 of the LUPAA.

Title documents are available at Appendix A.

1.5 Background

The Tasmanian Government has committed to introduce a Container Refund Scheme (CRS), where approved beverage containers can be exchanged for a 10 cent refund at various refund points through the state. The *Container Refund Scheme Act 2022*, which is the legislation to enable the CRS, was passed by Parliament in March 2022. Approximately 49 sites are being considered for multiple types of container refund points.



2 Proposal

The proposal seeks approval for the use and development of a container refund machine (Recycling and Waste Disposal) at 10 Selfs Point Road, New Town.

The proposed container refund machine would be located to the south west of the existing toilet block, opposite the Graham Family Funerals on the corner of Bay Road, Queens Walk and Risdon Road. This section of the site is directly accessible from Queens Walk. The location of the container refund point is shown below in Figure 1.

The container refund machine would be approximately 6 m x 5 m, with an awning that is approximately 1.2 m x 5 m. The maximum height would be approximately 2.6 m.

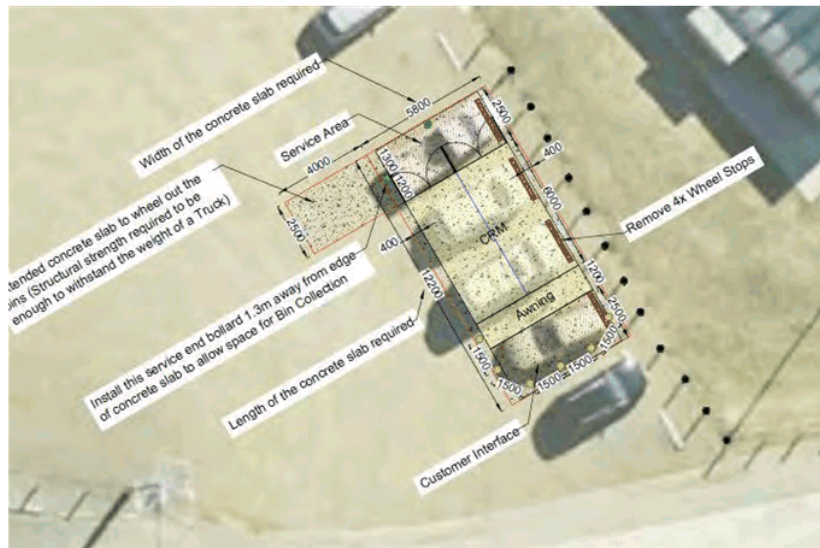


Figure 1 Proposed location of the container refund point



3 Site description

The site is generally flat and is located over a large area of approximately 10.85 ha. The site is located on both sides of the Brooker Highway and contains various uses such as sporting grounds, the Tasmanian Institute of Sport, The Tasmanian Bridge Association and Ten Lives.

The site is in the Recreation zone. The surrounding area is a combination of zonings, with utilities to the northeast, Community Purpose, Inner Residential and Recreation to the southeast and Inner Residential, Community Purpose and General Residential to the west.

An aerial image of the subject site and surrounds can be found below in Figure 2.



Figure 2 Aerial image of the subject site (source www.thelist.tas.gov.au)



4 Planning assessment

4.1 Introduction

Exemption provisions can be found in *Planning Directive No. 9 - Container refund Scheme – Exemptions and Special Provisions*. These provisions include specific requirements that relate to the size and location for the exemptions to be achieved; otherwise, a planning permit will be required. In this instance the proposal would not meet the exemption requirements, and a planning permit is therefore required.

Clause 9.1 Container Refund Points of *Planning Directive No. 9* sets out the provisions around container refund points. More specifically, this clause sets out both discretionary and permitted clauses, 9.1.1 and 9.1.2 respectively, with regards to the container refund points.

Pursuant to clause 9.1.3 no other provisions in the planning scheme apply to a use or development that complies with clause 9.1.2.

Pursuant to clause 9.1.4 there is no requirement to provide car parking spaces for container refund points approved under subclauses 9.1.1 or 9.1.2.

4.2 Relevant definitions

The following definitions are relevant to the proposal:



4.2.1 The Container Refund Scheme Act 2022

The *Container Refund Scheme Act 2022* defines a container refund point under section 4 as:

(1) For the purposes of this Act, the following are container refund points:

- a. a facility, or premises, where an empty approved container may be deposited in exchange for the payment of the refund amount;
- a. a container refund machine;
- b. a facility, premises or machine, or a class of facilities, premises or machines, that is or are prescribed as a container refund point.

The *Container Refund Scheme Act 2022* defines a container refund machine under section 3 as:

Container refund machine means a machine, or other drive, that is –

- c. designed or manufactured to pay the refund amount when an approved container is inserted in, or otherwise deposited at, the machine or device; or
- d. is prescribed as a container refund machine for the purposes of this Act

4.2.2 Hobart Interim Planning Scheme 2015

The key relevant definitions of the *Hobart Interim Planning Scheme 2015* are:

Recycling and Waste Disposal

use of land to collect, dismantle, store, dispose of, recycle or sell used or scrap material. Examples include a recycling depot, refuse disposal site, scrap yard, vehicle wrecking yard and waste transfer station.

4.2.3 Planning Directive No. 9

The key relevant definitions under section 3 of *Planning Directive No. 9* are:

Waste transfer station

means use of land to receive and temporarily store waste before it is removed elsewhere and includes a container refund point, excluding a bag drop refund point, a container refund machine, an over the counter refund point and a pop-up refund point.


Bag drop refund point


means the use of land for a container refund point to receive and internally store bags of approved containers for later collection.

4.3 Special Provisions

The following table sets out the clauses, pursuant to Clause 9.1.2 of the planning scheme, that need to be complied with for the proposal to be permitted in the Recreation zone.

Table 1 Clause 9.1.2 of the Interim Planning Scheme

Clause 9.1.2	Planner Response
Clause 9.1.2 (a) <i>co-located on a site with an existing business;</i>	<p>The proposed container refund point would be located on the same site as several businesses, including Ten Lives Cat Centre, which has the following ABN: 78 883 186 467 and the Hobart Recreation Ground, owned and maintained by the Hobart City Council, which has the following ABN: 39 055 343 428.</p> <p>Therefore, the proposal complies with clause 9.1.2 (a).</p>
Clause 9.1.2 (b) <i>there are not more than 2 signs for the bag drop refund point or container refund machine that are not attached to the bag drop point or container refund machine structure and the signs are not:</i> <i>(i) less than 2m from the boundary of a lot in the General Residential Zone, Inner Residential Zone, or Low Density Residential Zone;</i> <i>(ii) illuminated;</i> <i>(iii) more than 2 m² combined total area; and</i> <i>(iv) on a separate site to the bag drop refund point or container refund machine;</i>	<p>All proposed signage is attached to the container refund machine. Therefore, the proposal complies with clause 9.1.2 (b).</p>
Clause 9.1.2 (c) <i>for any attached sign on a bag drop refund point or container refund machine structure, that sign must:</i> <i>(i) be for the following sign types, as defined by the relevant interim planning scheme:</i> <i>(a) an awning fascia sign that does not project above or below the fascia of the awning to which it is attached, and has a height of not less than 2m above ground level;</i> <i>(b) a wall sign that does not project above the top of the wall to which it is attached; or</i> <i>(c) a wall mural sign;</i> <i>(ii) comply with E7.4 or E7.6 A1 of the Signs Code in the relevant Kentish and King Island Interim Planning Scheme.</i>	<p>The proposed signs would be a combination of an awning fascia sign and wall signs. – complying with clause 9.1.2(i)(c).</p> <p>The awning fascia sign does not project above or below the fascia of the awning to which it is attached and has a height of not less than 2 m above ground level – complying with clause 9.1.2 (c)(i)(a).</p> <p>The wall signs would not project above the top of the wall to which they are attached in accordance with clause 9.1.2 (c)(i)(b).</p> <div style="border: 1px solid green; padding: 5px; display: inline-block;">  <p>APPROVED Wed Apr 23 2025 GMC-HOB-2025-0018 General Manager Consent 10 SELFS POINT RD NEW TOWN TAS 7008 - HOBART CITY COUNCIL</p> </div>
Clause 9.1.2 (d) <i>in the Local Business Zone, General Business Zone or Central Business Zone, the setback from a frontage is:</i> <i>(i) equal to or more than the relevant Acceptable Solution frontage setback for the relevant zone; and</i> <i>(ii) not less than the relevant Acceptable Solution frontage setback of any applicable specific area plan;</i>	<p>The subject site is in the Recreation zone, therefore clause 9.1.2(d) is not applicable.</p>
Clause 9.1.2 (e) <i>in the Village Zone, Urban Mixed-Use Zone, Commercial Zone, Community Purpose Zone or Recreation Zone, the setback from a frontage is not less than 2m;</i>	<p>The subject site is in the Recreation zone. The minimum setback to frontage would be 5 m to Queens Walk. The proposal therefore complies with clause 9.1.2.(e).</p>

Clause 9.1.2	Planner Response
Clause 9.1.2 (f) <i>the side and rear setback is not less than the relevant zone or an applicable specific area plan Acceptable Solution for side and rear setbacks;</i>	<p><i>Clause 18.4.2 Setback of the Hobart Interim Planning Scheme 2015 is as follows:</i></p> <p><i>A2</i></p> <p><i>Building setback from a residential zone must be no less than:</i></p> <p><i>(a) 3 m;</i></p> <p><i>(b) half the height of the wall,</i></p> <p><i>whichever is the greater.</i></p> <p>The Container Refund Machine would be setback more than 3 m from a residential zone and therefore complies with clause 9.1.2(f).</p>
Clause 9.1.2 (g) <i>the height of the structure for a bag drop refund point or a container refund machine is not more than 3m;</i>	<p>The height of the container refund machine structure is less than 3 m. Therefore, the proposal complies with clause 9.1.2(g).</p>
Clause 9.1.2 (h) <i>the area of each structure is not more than:</i> <i>(i) 20m² for the bag drop refund point; or</i> <i>(ii) 60m² for the container refund machine;</i>	<p>The area of the container refund machine structure is less than 60 m². Therefore, the proposal complies with clause 9.1.2(h).</p>
Clause 9.1.2 (i) <i>the container refund machine operates within the hours of operation of a co-located business on the site, unless 9.1.2 (l) is applicable;</i>	<p>The container refund machine would operate within the hours of the co-located businesses on the site. Therefore, the proposal complies with clause 9.1.2(i).</p> <p>Clause 9.1.2(l) is applicable; refer below.</p>
Clause 9.1.2 (j) <i>the placement of the container refund point satisfies the requirements in the acceptable solutions for the relevant code that relates to the provision of car parking on the site, as follows;</i> <i>(i) E9.5.2 and E9.6.1 in the E9 Traffic Generating Use and Parking Code in the relevant Kentish and King Island Interim Planning Schemes;</i> <i>(ii) E6.7 in the E6 Parking and Sustainable Transport Code in the relevant George Town Interim Planning Scheme; and</i> <i>(iii) E6.7, except for E6.7.8, E6.7.9, E6.7.10, E6.7.11, E6.7.12 in the E6 Parking and Access Code in the relevant Derwent Valley, Hobart, Huon Valley and Kingborough Interim Planning Scheme;</i>	<p>Clause 9.1.2(j)(i) & (ii) are not applicable to the proposal.</p> <p><i>Clause E6.7.1 Number of Vehicular Accesses</i> relates to vehicle access points. No new vehicle access points are proposed, which meets the acceptable solution.</p> <p><i>Clause E6.7.2 Design of Vehicular Accesses</i> relates to the design of vehicular access. No new accesses are proposed therefore this clause is not applicable.</p> <p><i>Clause E6.7.3 Vehicular Passing Areas Along an Access.</i> No new passing areas are proposed therefore this clause is not applicable.</p> <p><i>Clause E6.7.4 On-Site Turning</i> relates to on-site turning. No new on-site turning areas are proposed therefore this clause is not applicable.</p> <p><i>Clause E6.7.5 Layout of Parking Areas</i> relates to the layout of parking areas. No new parking areas are proposed, therefore this clause is not applicable.</p> <p><i>Clause E6.7.6 Surface Treatment of Parking Areas.</i> No changes are proposed to the surface treatment of existing parking areas, therefore this clause is not applicable.</p> <p><i>Clause E6.7.7 Lighting of Parking Areas.</i> No new lighting is proposed, therefore this clause is not applicable.</p>
<div style="display: flex; align-items: center;">  <div> <p>APPROVED Wed Apr 23 2025 GMC-HOB-2025-0018 General Manager Consent 10 SELFS POINT RD NEW TOWN TAS 7008 - HOBART CITY COUNCIL</p> </div> </div>	
Clause 9.1.2 (k) <i>the Local Historic Heritage Code does not require a permit for the use or development; and</i>	<p>A permit is not required pursuant to the local historic heritage code. Therefore, the proposal complies with clause 9.1.2(k).</p>
Clause 9.1.2 (l) <i>use of a bag drop refund point or a container refund machine within 50m of a General Residential Zone, Inner Residential Zone or Low Density Residential Zone:</i> <i>(i) operates within the following hours of operation:</i> <i>(a) 7.00am to 9.00pm Monday to Saturday; and</i>	<p>The container refund machine would be located within 50 m of a residential zone. The machine would operate within the hours of operation of the co-located businesses on the site and therefore complies with clause 9.1.2(l)(i)(c).</p> <p>No external lighting, other than security lighting, would operate. The proposal therefore complies with clause 9.1.2(l)(iii).</p>

Clause 9.1.2	Planner Response
<p>(b) 8.00am to 9.00pm on Sundays and public holidays; or</p> <p>(c) alternatively within the hours of operation of a co-located business;</p> <p>(ii) operates external lighting, excluding any security lighting, only within the hours of 6.00am to 11.00pm;</p> <p>(iii) baffles any security lighting so that direct light does not extend into adjoining lots in a General Residential Zone, Inner Residential Zone or Low Density Residential Zone; and</p> <p>(iv) is serviced by commercial vehicles for the container refund point within the hours of:</p> <p>(a) 7.00am to 9.00pm Monday to Saturday; and</p> <p>(b) 8.00am to 9.00pm Sunday and public holidays.</p>	<p>There is no change to the existing security lighting. Clause 9.1.2(l)(iii) does not apply.</p> <p>The container refund machine would only be serviced by commercial vehicles within the prescribed hours and therefore complies with clause 9.1.2(l)(iv).</p>



5 Conclusion

The proposal seeks approval for the use and development of a container refund point (Recycling and Waste Disposal) at 10 Selfs Point Road, New Town. This report identifies that the proposal is subject to the provisions of the *Hobart Interim Planning Scheme 2015*.

An assessment against all relevant standards has been outlined in this report. The assessment has demonstrated that the proposal complies with *Planning Directive No. 9* and is therefore a permitted application.

Table 2 Summary of relevant standards

Clause	Complies
General Provisions	
Clause 9.1.2 (a)	Yes
Clause 9.1.2 (b)	Yes
Clause 9.1.2 (c)	Yes
Clause 9.1.2 (d)	Not applicable
Clause 9.1.2 (e)	Yes
Clause 9.1.2 (f)	Yes
Clause 9.1.2 (g)	Yes
Clause 9.1.2 (h)	Yes
Clause 9.1.2 (i)	Yes
Clause 9.1.2 (j)	Yes
Clause 9.1.2 (k)	Yes
Clause 9.1.2 (l)	Yes



Appendix A Certificate of Title



City of **HOBART**

APPROVED Wed Apr 23 2025
GMC-HOB-2025-0018
General Manager Consent
10 SELFS POINT RD NEW TOWN TAS 7008
-
HOBART CITY COUNCIL

Appendix B Plans



City of **HOBART**

APPROVED Wed Apr 23 2025
GMC-HOB-2025-0018
General Manager Consent
10 SELFS POINT RD NEW TOWN TAS 7008
-
HOBART CITY COUNCIL

**Contact us**

ERA Planning & Environment
Level 1, 125A Elizabeth St *nipaluna* (Hobart) 7000

☎ (03) 6165 0443

✉ enquiries@eraplanning.com.au

eraplanning.com.au



PlanBuild
TASMANIA

REQUEST FOR INFORMATION - PLANNING

Status: Under Review

Reference

PLANNA-HOB-2025-1528

Application Reference

PLN-HOB-2025-0188

Address

10 SELFS POINT RD NEW TOWN TAS 7008

Titles

163941/1

Information Requested

#	Reason	Origin
1	PLNFi5 - Planning - Signs I refer to the documents submitted with your application. The documents entitled "Kiosk specifications" and which include details of the size and location of the proposed signage, do not reflect the (size) of the proposed container shown on plans submitted - drawing number P21077-001 Revision C - sheets 1-7. On this basis, please provide amended details confirming which signs to be applied to the container. Alternatively, you may wish to include a notation on the kiosk specifications confirming that only one container is proposed, and these photos are examples of what signage may be applied.	LUPAA 1993
2	Please provide evidence how your client Tomra satisfies the definition of "By, or on behalf of the Crown"	
3	1. It is unclear where the 5m setback shown on the boundary setback site plan is being measured from. Please confirm and show clearly on the plan if this measurement has been taken from the edge of the awning closest to the frontage or from the container. 2. Please amend the floor and elevation plans to show the proposed awnings.	
4	Please confirm the hours of operation of the co located businesses on the site and how the refund machine would cease operation during the times that the businesses do not operate.	

Response comments

Response to Request for Further Information

Hi Deanne,

Further to our conversation last week I believe the application is permitted and complies with Clause 9.1.2. of Planning Directive 9 and therefore does not require assessment against any other provisions of the planning scheme as per Clause 9.1.3 of Planning Directive 9 below.

9.1.3 No other provisions in the relevant planning scheme apply to a use or development that complies with sub clause 9.1.2.

Please find below the requested RFI.

#1 - Planning signs - as per phone conversation with Deanne Lang, week starting 5/5/25, the application is for 2 shipping containers and therefore the documents titled "kiosk specifications" reflect the proposed containers shown on the plans.

#2 [REDACTED] the contract being awarded to TOMRA on behalf of the Crown.

#3 - 1. please refer to the attached updated site plan clearly demonstrating the set back to the site boundaries.
2. please refer to the attached floor and elevation plans demonstrating the proposed awning. As per discussion with Deanne Lang.

#4 - 1. The hours of operation for the Hobart Recreation Ground are 24/7.
2. Our client has informed us as follows 'please note that our machines are programmed to only operate at the hours we specify'.

Documents

Version	Document Date	Document Type	Description	Prepared By
1	13 May 2025	Site Plan	site plan demonstrating setbacks to boundaires	TOMRA

1	13 Feb 2025	Elevations	Elevation demonstrating awning	TOMRA
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Form published: 28/11/2024 08:21

THESE DRAWINGS TO BE READ IN CONJUNCTION WITH THE FOLLOWING MANUFACTURER'S DOCUMENTATION:

DRAWING PREPARED BY ROYAL WOLF, PROJECT 20' GP COLLECTION SOLUTION RWT DRAWING NO. RWT-CSC-HS1162-001 REV 3, SHEET 1 OF 5

DRAWING PREPARED BY ROYAL WOLF, PROJECT 20' GP COLLECTION SOLUTION RWT DRAWING NO. RWT-CSC-HS1162-001 REV 3, SHEET 2 OF 5

DRAWING PREPARED BY ROYAL WOLF, PROJECT 20' GP COLLECTION SOLUTION RWT DRAWING NO. RWT-CSC-HS1162-001 REV 3, SHEET 3 OF 5

DRAWING PREPARED BY ROYAL WOLF, PROJECT 20' GP COLLECTION SOLUTION RWT DRAWING NO. RWT-CSC-HS1162-001 REV 3, SHEET 4 OF 5

DRAWING PREPARED BY ROYAL WOLF, PROJECT 20' GP COLLECTION SOLUTION RWT DRAWING NO. RWT-CSC-HS1162-001 REV 3, SHEET 5 OF 5

DRAWING PREPARED BY ROYAL WOLF, PROJECT 20' GP COLLECTION SOLUTION RW DRAWING NO. RWT-CSC-HS1162-058 REV 4, SHEET 1 OF 4

DRAWING PREPARED BY ROYAL WOLF, PROJECT 20' GP COLLECTION SOLUTION RW DRAWING NO. RWT-CSC-HS1162-058 REV 4, SHEET 2 OF 4

DRAWING PREPARED BY ROYAL WOLF, PROJECT 20' GP COLLECTION SOLUTION RW DRAWING NO. RWT-CSC-HS1162-058 REV 4, SHEET 3 OF 4

DRAWING PREPARED BY ROYAL WOLF, PROJECT 20' GP COLLECTION SOLUTION RW DRAWING NO. RWT-CSC-HS1162-058 REV 4, SHEET 4 OF 4

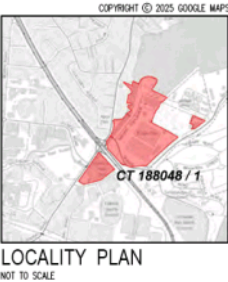
DRAWING PREPARED BY ROYAL WOLF, PROJECT 20' GP COLLECTION SOLUTION RW DRAWING NO. RWT-CSC-HS1162-078 REV 8, SHEET 1-3

DRAWING PREPARED BY ROYAL WOLF, PROJECT 20' GP COLLECTION SOLUTION RW DRAWING NO. RWT-CSC-HS1162-078 REV 8, SHEET 2-3

DRAWING PREPARED BY ROYAL WOLF, PROJECT 20' GP COLLECTION SOLUTION RW DRAWING NO. RWT-CSC-HS1162-078 REV 8, SHEET 3-3

DRAWING PREPARED BY LUK ENGINEERING, PROJECT S2 RECYCLING KIOSK, DRAWING NO. 21016-CO0-002 REV 0

DRAWING PREPARED BY HEDD ENGINEERED DESIGN, TITLED SIDE BOLTABLET W/ST LOCK, DRAWING NO. CHSTL, REV 01 SHEET 1 OF 1



DRAWING INDEX	
1 of 5.	COVER SHEET
2 of 5.	SITE PLAN (PENDING PLANNING PERMIT)
3 of 5.	FOOTINGS/SLAB PLAN
4 of 5.	PLAN, ELEVATIONS, SECTION & DETAILS
5 of 5.	ALTERNATIVE AWNING FRAME DETAILS

Proposed Container Refund Scheme
at Queens Walk Oval,
10 Selfs Point Road, New Town,
for TOMRA Collection Australia

HED Consulting

Hobart Engineering & Design

Ground Floor, The Sandstone Building, 1 Liverpool St, Hobart TASMANIA 7000

phone (03) 6146 0334

e info@hed-consulting.com.au

www.hed-consulting.com.au

PROPOSED CONTAINER REFUND SCHEME at QUEENS WALK OVAL, 10 SELFS POINT RD, NEW TOWN, for TOMRA COLLECTION AUSTRALIA

Date : 21/5/2025	Job No. : H3031
Scale : Shown at A3	Sheet : 1 of 5
Drawn : DA	Issue : PRELIMINARY

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SITE PLAN (PENDING ISSUE OF PLANNING PERMIT)

HED Consulting
Hobart Engineering & Design
Ground Floor, The Sandstone Building, 1 Liverpool St, Hobart TASMANIA 7000
phone (03) 6146 0334
e info@hed-consulting.com.au
www.hed-consulting.com.au

PROPOSED CONTAINER REFUND SCHEME at QUEEN'S WALK OVAL, 10 SELFS POINT RD, NEW TOWN, for TOMRA COLLECTION AUSTRALIA	Date : 21/5/2025	Job No. : H3031
	Scale : SHOWN at A3	Sheet : 2 of 5
	Drawn : DA	Issue : PRELIMINARY

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NCC / BCA 2022

STRUCTURAL STEEL MEMBERS & STEEL FRAMING (WHERE APPLICABLE):

STRUCTURAL STEEL MEMBERS TO BE IN ACCORDANCE WITH NCC. 2022 VOL. 1 PART B1 & AS4100. FOR COLD-FORMED STEEL STRUCTURES, MEMBERS ARE TO COMPLY WITH AS/NZS 4600.

STRUCTURAL STEEL MEMBERS THAT ARE NOT BUILT INTO A MASONRY WALL MUST BE PROTECTED AGAINST CORROSION IN ACCORDANCE WITH NCC. 2022 VOL. 2 & HOUSING PROVISIONS PART 6.3.9. FOR INTERNAL MEMBERS IN A "LOW" ENVIRONMENT THAT IS PERMANENTLY DRY NO PROTECTION IS REQUIRED.

JOISTS, BEARERS AND LINTELS MUST BE RESTRAINED FROM LATERAL MOVEMENT OR TWISTING ALONG THEIR LENGTH BY FIXING RAFTERS OR JOISTS TO THE TOP FLANGE OF MEMBERS.

WELDS TO ADHERE TO AS4100 AND AS/NZS 1554.5. 6MM (MIN.) CONTINUOUS FILLET WELDS.

EARTHWORKS (WHERE APPLICABLE):

ALL SITE EARTHWORKS TO BE IN COMPLIANCE WITH PART 3 OF NCC. VOL. 2 & HOUSING PROVISIONS, AND AS3798.

EXCAVATE SITE TO THE REQUIRED LEVELS.

SLOPE GROUND AWAY FROM THE FOOTINGS AT A SLOPE OF NOT LESS THAN 50MM OVER 1000MM.

DRAINAGE OF WATER TO COMPLY WITH NCC. VOL. 2 & HOUSING PROVISIONS PART 3.3.

GENERAL NOTES:

WORKMANSHIP, MATERIALS AND DESIGN SHALL COMPLY WITH AUSTRALIAN STANDARDS, THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA (NCC / BCA 2022), LOCAL COUNCIL REQUIREMENTS, AND RELEVANT CODES AND STANDARDS.

BUILDER SHALL VERIFY ALL SIZES AND DIMENSIONS ON SITE BEFORE COMMENCING WORKS.

ALL WRITTEN DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALED DIMENSIONS.

SITE SET-OUT TO BE UNDERTAKEN BY A QUALIFIED SURVEYOR.

SITE PREPARATION:

SITE PREPARATION TO BE IN COMPLIANCE WITH AS2870 AND NCC. VOLUME 2 & HOUSING PROVISIONS PART 3.

STRUCTURAL NOTES:

REFER DRAWINGS PREPARED BY ROYAL WOLF, PROJECT 20' GP COLLECTION SOLUTION RW DRAWING NO. RWT-CSC-HS1162-055 REV 4, SHEETS 1-4 INCLUSIVE AND RW DRAWING NO. RWT-CSC-HS1162-075 REV 8, SHEETS 1-3 INCLUSIVE.

CONCRETE NOTES:

WORKMANSHIP, MATERIALS & DESIGN TO BE IN ACCORDANCE WITH AS 2870-2011, AS 3600 & RELEVANT CODES LISTED THEREIN. CONCRETE STRENGTHS SHALL BE AS FOLLOWS:
FOOTINGS: 25MPa
SLUMP: 100mm
20MM MAX. NOMINAL AGGREGATE SIZE

CONCRETE COVER SHALL BE AS FOLLOWS:
FOOTINGS: 40mm MIN.
SLAB: 30mm MIN.

REINFORCEMENT SHALL BE SECURELY WIRED IN PLACE WITHOUT WELDING UNLESS APPROVED OTHERWISE.
SITE LAYOUT & BUILDING PROPORTIONS TO BE CHECKED BY BUILDER ON SITE PRIOR TO COMMENCEMENT OF WORKS.
ALL FOOTINGS SHALL BE BEDDED OR PIERED TO APPROVED SUITABLE FOUNDATION MATERIAL.
NO CONCRETE SHALL BE POURED PRIOR TO INSPECTION & APPROVAL BY QUALIFIED PERSON(S).

HED Consulting

Hobart Engineering & Design
Ground Floor,
The Sandstone Building phone (03) 6146 0334
1 Liverpool St. e info@hed-consulting.com.au
Hobart TASMANIA 7000 www.hed-consulting.com.au

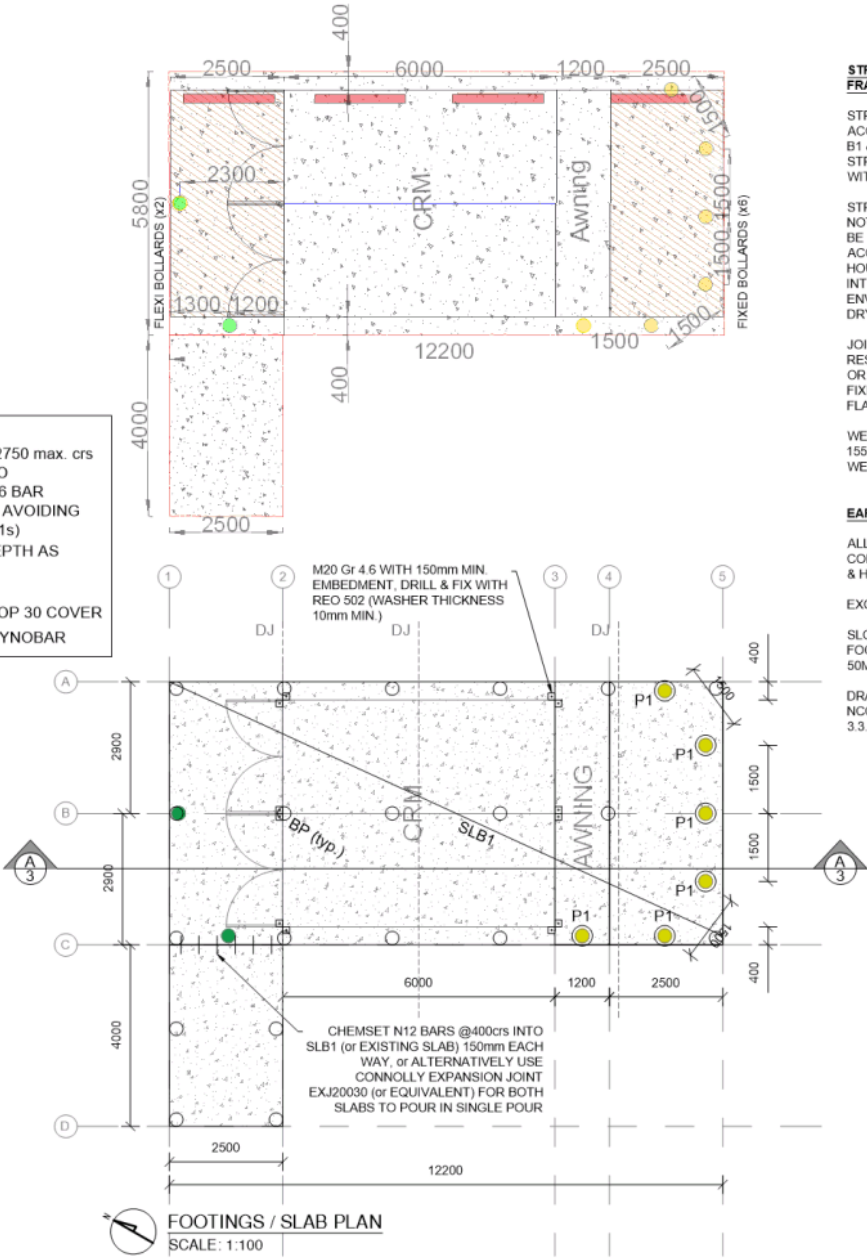
SITE CLASSIFICATION - P
HED CONSULTING - SITE INVESTIGATION REPORT DATED 14/05/25

PROPOSED CONTAINER REFUND SCHEME
at QUEEN'S WALK OVAL,
10 SELFS POINT RD, NEW TOWN,
for TOMRA COLLECTION AUSTRALIA

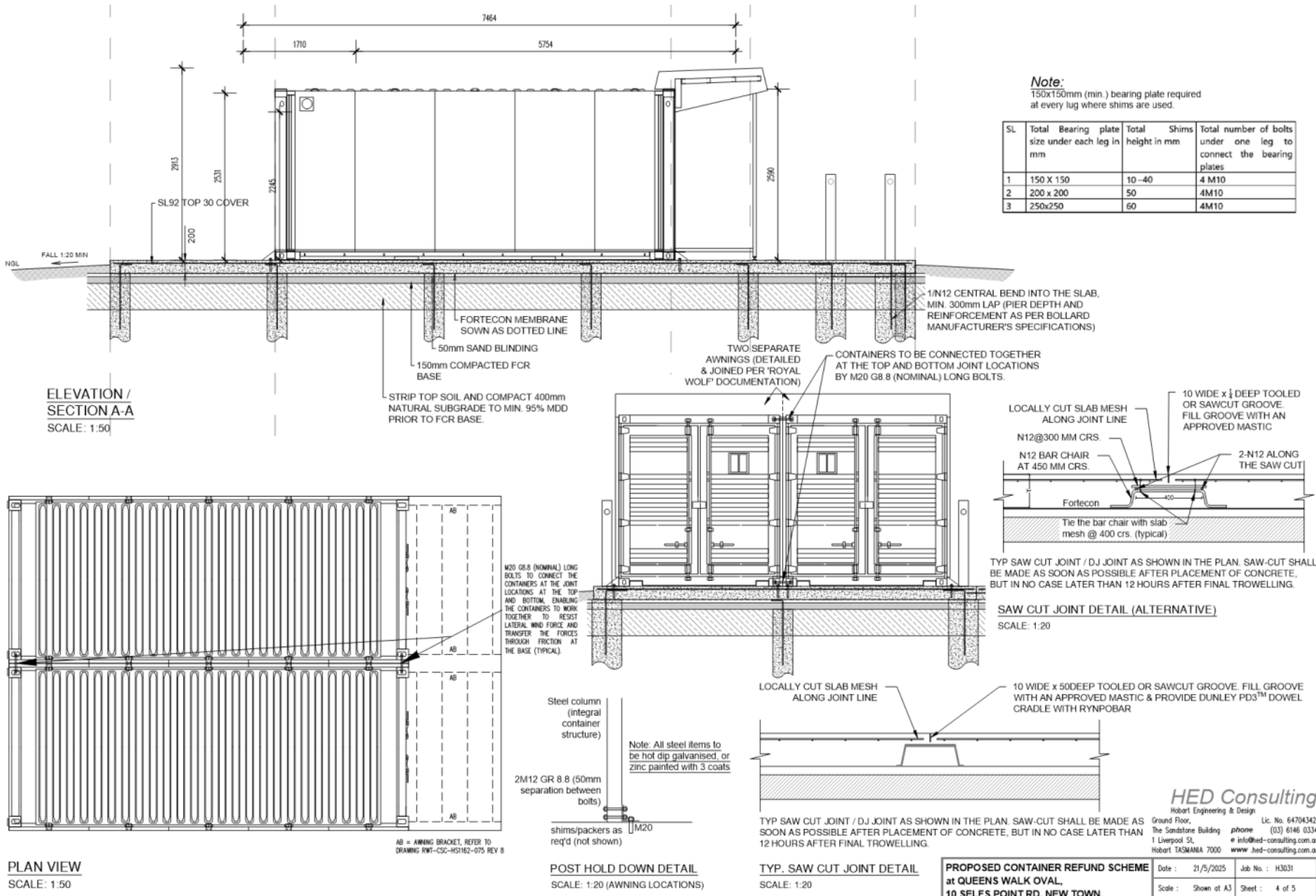
Date :	21/5/2025	Job No. :	H3031
Scale :	Shown at A3	Sheet :	3 of 5
Drawn :	AW/SA	Issue :	PRELIMINARY

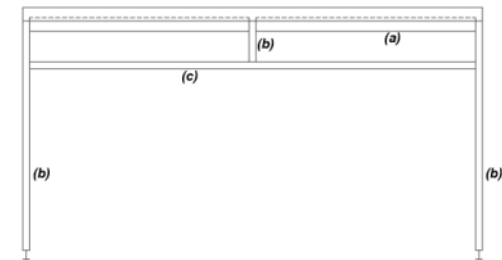
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KEY:
BP: Ø300mm CONCRETE BORED PIERS AT 2750 max. crs BELOW SLABS IN BOTH DIRECTIONS (TO COMPETENT NATURAL MATERIAL), 1N16 BAR COGGED 100 INTO SLAB (20 TOTAL No., AVOIDING PROXIMITY/OVERLAP WITH BOLLARD P1s)
P1: INDICATIVE Ø450 CONCRETE PIERS (DEPTH AS PER BOLLARD MANUFACTURER SPECIFICATIONS)
SLB1: 200mm THICK CONCRETE SLAB, SL92 TOP 30 COVER
DJ: DANLEY PD3™ DOWEL CRADLE WITH RYNOBAR

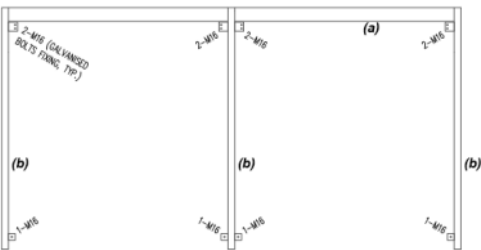


FOOTINGS / SLAB PLAN
SCALE: 1:100

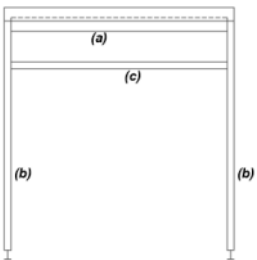




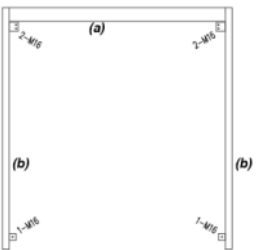
FRAME FRONT VIEW
(TWO-CONTAINER KIOSK)
SCALE 1 : 50



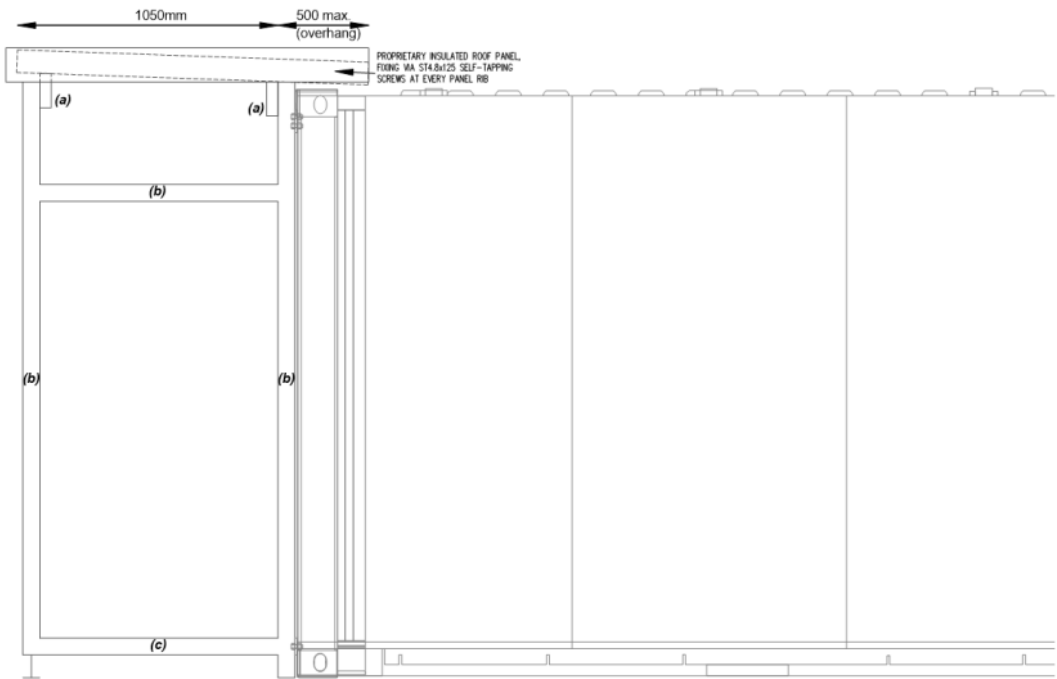
FRAME REAR (AGAINST CONTAINER) VIEW
(TWO-CONTAINER KIOSK)
SCALE 1 : 50



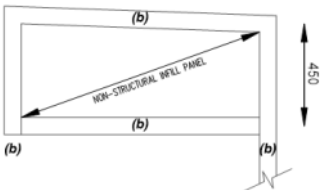
FRONT VIEW
(SINGLE-CONTAINER KIOSK)
SCALE 1 : 50



REAR VIEW
(SINGLE-CONTAINER KIOSK)
SCALE 1 : 50



FRAME SIDE VIEW (TYPICAL END FRAME)
SCALE 1 : 20



FRAME SIDE VIEW (MID FRAME)
SCALE 1 : 20

MEMBER SCHEDULE:
(a) 150x50x3 RHS
(b) 75x75x2 RHS
(c) 75x50x2 RHS

NOTE:
STEEL BRACKETS 8mm THICK, ALL STEEL COMPONENTS
TO BE PROTECTED WITH PROPRIETARY GALV. PRIMER /
APPLIED CORROSION PROTECTION

ALTERNATIVE AWNING FRAME DETAILS
SCALE : (AS SHOWN)

HED Consulting
Hobart Engineering & Design
Ground Floor, The Sandstone Building
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PROPOSED CONTAINER REFUND SCHEME at QUEEN'S WALK OVAL, 10 SELFS POINT RD, NEW TOWN, for TOMRA COLLECTION AUSTRALIA	Date : 21/5/2025	Job No. : H3031
	Scale : Shown at A3	Sheet : 5 of 5
	Drawn : AW/SA	Issue : PRELIMINARY

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8. REPORTS

8.1 Delegated Decisions Report (Planning) File Ref: F25/45320

Report of the Director Strategic and Regulatory Services of 17 June 2025 and attachment.

Delegation: Committee



City of **HOBART**

MEMORANDUM: PLANNING AUTHORITY COMMITTEE

Delegated Decisions Report (Planning)

Attached is the Delegated Decisions Report (Planning) for the period 15 May 2025 to 16 June 2025.

RECOMMENDATION

That the information contained in the “Delegated Decisions Report (Planning)” be received and noted.

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

Neil Noye
**DIRECTOR STRATEGIC AND
REGULATORY SERVICES**

Date: 17 June 2025
File Reference: F25/45320

Attachment A: Delegated Decisions Report (Planning) ↓ 

No	Reference Number	Council Description	Property Address	Estimated Cost	Decision	Date Approved
1	PLN-HOB-2024-0340	Partial Demolition and Alterations (New Outbuilding)	32 DE WITT ST BATTERY POINT	\$ 20,000	Approved	27/05/2025
2	PLN-HOB-2024-0641	Dwelling, Fencing and Associated Works	31 MCAULAY RD SANDY BAY	\$ 750,000	Approved	15/05/2025
3	PLN-HOB-2024-0663	Partial Alterations, Extension, and Extension to Operating Hours	527 SANDY BAY RD SANDY BAY	\$ 35,000	Approved	16/05/2025
4	PLN-HOB-2024-0699	Partial Demolition, Frontage Fence, and Parking Deck	7 FREDERICK ST WEST HOBART	\$ 150,000	Approved	13/06/2025
5	PLN-HOB-2024-0712	Partial Demolition, Alterations and Extension to Hospital, Alterations to Emergency Department Access, Signage and Associated Works	48 LIVERPOOL ST HOBART	\$ 150,000	Approved	16/05/2025
6	PLN-HOB-2025-0003	Partial Alterations (new roof)	24 WILLOWDENE AV SANDY BAY	\$ 30,000	Approved	27/05/2025
7	PLN-HOB-2025-0056	Alterations to Previously Approved Development (PLN-19-768)	201 MACQUARIE ST HOBART	\$ 895,000	Approved	13/06/2025
8	PLN-HOB-2025-0069	Dwelling	118 YORK ST SANDY BAY	\$ 553,000	Approved	16/05/2025
9	PLN-HOB-2025-0071	Partial Demolition and Alterations (Carport and Deck)	37B DERWENTWATER AV SANDY BAY T	\$ 15,000	Approved	16/05/2025
10	PLN-HOB-2025-0088	Partial Demolition, Alterations, Extension and Outbuilding	UNIT 2 45 NEWDEGATE ST WEST HOBART	\$ 300,000	Approved	29/05/2025
11	PLN-HOB-2025-0090	Alterations to Previously Approved Development (Jetty)	34 CLARKE A BATTERY POINT	\$ 30,000	Approved	13/06/2025
12	PLN-HOB-2025-0095	Partial Demolition and Alterations to Parking	207 DAVEY ST SOUTH HOBART	\$ 3,000	Approved	16/05/2025
13	PLN-HOB-2025-0105	Partial Demolition, Alterations, Extension and Deck	4 LINCOLN ST SANDY BAY	\$ 150,000	Approved	16/05/2025

No	Reference Number	Council Description	Property Address	Estimated Cost	Decision	Date Approved
14	PLN-HOB-2025-0109	Partial Demolition, Alterations and Extension	74 LIPSCOMBE AV SANDY BAY	\$ 585,000	Approved	02/06/2025
15	PLN-HOB-2025-0122	Partial Demolition and Alterations for New Pedestrian Tunnel, Fencing, Landscaping, and Associated Works	71 NELSON RD SANDY BAY	\$ 200,000	Approved	27/05/2025
16	PLN-HOB-2025-0145	Alterations (Carport)	UNIT 2 96A GIBLIN ST LENAH VALLEY	\$ 11,650	Approved	15/05/2025
17	PLN-HOB-2025-0151	Demolition	Lot 1 FRANKLIN WHRF HOBART	\$ 100,000	Approved	15/05/2025
18	PLN-HOB-2025-0155	Partial Demolition, Alterations and Extension to Hospital - Emergency Department	48 LIVERPOOL ST HOBART	\$ 7,800,000	Approved	04/06/2025
19	PLN-HOB-2025-0156	Partial Alterations and Extension (New Garage)	732 SANDY BAY RD SANDY BAY	\$ 150,000	Approved	16/05/2025
20	PLN-HOB-2025-0157	Partial Demolition and Alterations	331 ELIZABETH ST NORTH HOBART	\$ 80,000	Approved	12/06/2025
21	PLN-HOB-2025-0163	Partial Demolition, Alterations, Extension and Outbuilding (Garage)	17 MEREDITH ST NEW TOWN	\$ 500,000	Approved	12/06/2025
22	PLN-HOB-2025-0166	Partial Demolition and Alterations	1 FOLDER ST SANDY BAY	\$ 2,000	Approved	03/06/2025
23	PLN-HOB-2025-0169	Landscaping, Front Fencing and Alterations (Pergolas)	5A GIBLIN ST LENAH VALLEY	\$ 2,000	Approved	12/06/2025
24	PLN-HOB-2025-0173	Signage	256-278 ELIZABETH ST NORTH HOBART	\$ 12,000	Approved	10/06/2025
25	PLN-HOB-2025-0175	Landscaping	58A NAPOLEON ST BATTERY POINT	\$ 10,000	Approved	13/06/2025
26	PLN-HOB-2025-0181	Alterations (Statue)	34 MURRAY ST HOBART	\$ 2,000	Approved	05/06/2025

No	Reference Number	Council Description	Property Address	Estimated Cost	Decision	Date Approved
27	PLN-HOB-2025-0183	Partial Demolition, Alterations and Extension	12 ROOPE ST NEW TOWN	\$ 90,000	Approved	13/06/2025
28	PLN-HOB-2025-0186	Partial Demolition and Alterations	34-36 ELIZABETH ST HOBART	\$ 600,000	Approved	10/06/2025
29	PLN-HOB-2025-0190	Alterations (Solar Panels)	34 DAVEY ST HOBART	\$ 20,000	Approved	22/05/2025
30	PLN-HOB-2025-0191	Change of Use to Residential (Single Dwelling)	169 DAVEY ST HOBART	\$ -	Approved	04/06/2025
31	PLN-HOB-2025-0192	Partial Demolition, Alterations and Carport	2 ERINA PL SANDY BAY	\$ 40,000	Approved	05/06/2025
32	PLN-HOB-2025-0197	Signage	26-32 WELLINGTON ST NORTH HOBART	\$ -	Approved	03/06/2025
33	PLN-HOB-2025-0214	Alterations (Balustrade and Pergola)	311 DAVEY ST SOUTH HOBART	\$ 25,000	Approved	10/06/2025
34	PLN-HOB-2025-0219	Outbuilding	569A SANDY BAY RD SANDY BAY	\$ 15,050	Approved	12/06/2025
35	PLN-HOB-2025-0223	Partial Demolition and Alterations	6 GROSVENOR ST SANDY BAY	\$ 190,000	Approved	10/06/2025

8.2 Planning Advertising Report
File Ref: F25/45427

Report of the Director Strategic and Regulatory Services of 17 June 2025
and attachment.

Delegation: Committee



City of **HOBART**

MEMORANDUM: PLANNING AUTHORITY COMMITTEE

Planning Advertising Report

Attached is the Planning Advertising Report for the period 15 May 2025 to 16 June 2025.

RECOMMENDATION

That the information contained in the “Planning Advertising Report” be received and noted.

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

Neil Noye
**DIRECTOR STRATEGIC AND
REGULATORY SERVICES**

Date: 17 June 2025
File Reference: F25/45427

Attachment A: Planning Advertising Report ↴ 

No	Reference Number	Council Description	Property Address	Estimated Cost	Expiry Date	Proposed Delegation	Advertising Period Start	Advertising Period End
1	CVO-HOB-2025-0027	Change of Use to Visitor Accommodation	UNIT 6 7 UNA ST MOUNT STUART	\$ -	19/06/2025	Director	10/06/2025	24/06/2025
2	PLN-HOB-2024-0441	New Outbuilding, Carport, and Front Fencing	51 DOYLE AV LENAH VALLEY	\$ 11,300	19/06/2025	Director	21/05/2025	04/06/2025
3	PLN-HOB-2024-0684	Partial Demolition, Alterations and Extension	205 WARWICK ST WEST HOBART	\$ 630,000	24/06/2025	Director	02/06/2025	17/06/2025
4	PLN-HOB-2024-0699	Partial Demolition, Frontage Fence, and Parking Deck	7 FREDERICK ST WEST HOBART	\$ 260,000	13/06/2025	Determined	21/05/2025	04/06/2025
5	PLN-HOB-2025-0020	Change of Use to Multiple Dwellings (One Existing, One New)	94A and 95B MARLYN RD SOUTH HOBART	\$ 515,000	03/07/2025	Director	12/06/2025	26/06/2025
6	PLN-HOB-2025-0056	Alterations to Previously Approved Development (PLN-19-768)	201 MACQUARIE ST HOBART	\$ 895,000	13/06/2027	Determined	21/05/2025	04/06/2025
7	PLN-HOB-2025-0061	Partial Demolition, Alterations and Extension	49 DERWENTWATER AV SANDY BAY	\$ 500,000	28/06/2025	Director	06/06/2025	23/06/2025
8	PLN-HOB-2025-0090	Alterations to Previously Approved Development (Jetty)	34 CLARKE AV BATTERY POINT	\$ 30,000	13/06/2027	Director	19/05/2025	02/06/2025

No	Reference Number	Council Description	Property Address	Estimated Cost	Expiry Date	Proposed Delegation	Advertising Period Start	Advertising Period End
9	PLN-HOB-2025-0099	Partial Demolition and Alterations to Retaining Wall	6 ROMILLY ST SOUTH HOBART	\$ 200,000	28/06/2025	Director	19/05/2025	02/06/2025
10	PLN-HOB-2025-0123	Boundary Wall	6 SHELDON PL WEST HOBART	\$ 15,000	24/06/2025	Director	27/05/2025	11/06/2025
11	PLN-HOB-2025-0125	Outbuilding	65 WELLESLEY ST SOUTH HOBART	\$ 30,000	28/06/2025	Director	02/06/2025	17/06/2025
12	PLN-HOB-2025-0127	Partial Demolition, Alterations and Extension	3 FARADAY ST WEST HOBART	\$ 125,000	07/07/2025	Director	06/06/2025	23/06/2025
13	PLN-HOB-2025-0130	Partial Demolition, Alterations, Extension and Signag	1A BRISBANE ST HOBART	\$ 600,000	30/06/2025	Director	27/05/2025	11/06/2025
14	PLN-HOB-2025-0143	Partial Demolition, Alterations and Extension	80 PRINCES ST SANDY BAY	\$ 495,000	10/07/2025	Director	17/06/2025	01/07/2025
15	PLN-HOB-2025-0154	Change of Use to 18 Multiple Dwellings (16 existing and 2 new), Partial Demolition, Alterations and Extension, New Outbuilding (Laundry) Retaining Walls and Front Fencing	63 GOULBURN ST HOBART	\$ 175,000	01/07/2025	Director	27/05/2025	11/06/2025

No	Reference Number	Council Description	Property Address	Estimated Cost	Expiry Date	Proposed Delegation	Advertising Period Start	Advertising Period End
16	PLN-HOB-2025-0155	Partial Demolition, Alterations and Extension to Hospital (Emergency Department)	48 LIVERPOOL ST HOBART	\$ 78,000,000	04/06/2027	Determined	19/05/2025	02/06/2025
17	PLN-HOB-2025-0158	Partial Demolition, Alterations and Fence	15 FITZROY PL SANDY BAY	\$ 40,000	22/07/2025	Director	13/06/2025	27/06/2025
18	PLN-HOB-2025-0159	Signage	72 ELIZABETH ST HOBART	\$ 400,000	26/06/2025	Director	28/05/2025	12/06/2025
19	PLN-HOB-2025-0174	Partial Demolition, Alterations, Extension, Swimming Pool and Front Fencing	9 ST CANICE AV SANDY BAY	\$ 320,000	16/06/2025	Determined	29/05/2025	13/06/2025
20	PLN-HOB-2025-0175	Landscape Works	58A NAPOLEON ST BATTERY POINT	\$ 10,000	13/06/2027	Determined	19/05/2025	02/06/2025
21	PLN-HOB-2025-0179	Partial Demolition, New Buildings, Extension to Visitor Accommodation Use, Extension to Operating Hours, and Subdivision (Boundary Adjustment)	46 SWANSTON ST and 27 PIRIE ST NEW TOWN	\$ 1,200,000	10/07/2025	Director	12/06/2025	26/06/2025
22	PLN-HOB-2025-0183	Partial Demolition, Alterations and Extension	12 ROOPE ST NEW TOWN	\$ 90,000	13/06/2027	Determined	21/05/2025	04/06/2025

No	Reference Number	Council Description	Property Address	Estimated Cost	Expiry Date	Proposed Delegation	Advertising Period Start	Advertising Period End
23	PLN-HOB-2025-0186	Partial Demolition and Alterations	34-36 ELIZABETH ST HOBART	\$ 600,000	10/06/2027	Determined	23/05/2025	06/06/2025
24	PLN-HOB-2025-0188	Partial Change of Use to Container Refund Point	10 SELFS POINT RD NEW TOWN	\$ 7,000	20/06/2025	Director	03/06/2025	18/06/2025
25	PLN-HOB-2025-0189	Dwelling	23 DUKE ST SANDY BAY	\$ 531,535	29/06/2025	Director	03/06/2025	18/06/2025
26	PLN-HOB-2025-0193	Partial Demolition, Alterations and Extension	91B FOREST RD WEST HOBART	\$ 450,000	20/06/2025	Director	29/05/2025	13/06/2025
27	PLN-HOB-2025-0209	Alterations, Signage and Partial Change of Use to Food Services	6 LEFROY ST NORTH HOBART	\$ 5,000	27/06/2025	Director	10/06/2025	24/06/2025
28	PLN-HOB-2025-0213	Partial Demolition, Alterations, Extension and Carport	111 FOREST RD WEST HOBART	\$ 400,000	29/06/2025	Director	04/06/2025	19/06/2025
29	PLN-HOB-2025-0214	Alterations (Baulstrade and Pergola)	311 DAVEY ST SOUTH HOBART	\$ 25,000	10/06/2027	Determined	19/05/2025	02/06/2025
30	PLN-HOB-2025-0216	Alterations and Landscaping	15 PIRIE ST NEW TOWN	\$ 30,000	29/06/2025	Director	12/06/2025	26/06/2025
31	PLN-HOB-2025-0223	Partial Demolition and Alterations	6 GROSVENOR ST SANDY BAY	\$ 190,000	10/06/2027	Determined	23/05/2025	06/06/2025
32	PLN-HOB-2025-0233	Partial Demolition, Alterations and Extension	20 LANSLOWNE C WEST HOBART	\$ 190,000	7/07/2025	Director	17/06/2025	01/07/2025
33	PLN-HOB-2025-0237	Garage	27 HILLSIDE CR WEST HOBART	\$ 100,000	29/06/2025	Director	28/05/2025	12/06/2025

No	Reference Number	Council Description	Property Address	Estimated Cost	Expiry Date	Proposed Delegation	Advertising Period Start	Advertising Period End
34	PLN-HOB-2025-0240	Pylon Sign	116-138 CAMPBELL ST HOBART	\$ -	29/06/2025	Director	11/06/2025	25/06/2025
35	PLN-HOB-2025-0257	Signage	265-269 ELIZABETH ST NORTH HOBART	\$ 3,000	17/07/2025	Director	12/06/2025	26/06/2025
36	PLN-HOB-2025-0263	Partial Demolition, Alterations and Extension	25 LILLIE ST GLEBE	\$ 60,000	7/06/2025	Director	11/06/2025	25/06/2025
37	PLN-HOB-2025-0272	Signage	50A MURRAY ST HOBART	\$ 3,000	22/07/2025	Director	18/06/2025	02/07/2025

9. RESPONSES TO QUESTIONS WITHOUT NOTICE

Regulation 29(3) *Local Government (Meeting Procedures) Regulations 2015*.
File Ref: 13-1-10

The Chief Executive Officer reports:-

"In accordance with the procedures approved in respect to Questions Without Notice, the following responses to questions taken on notice are provided to the Committee for information.

The Committee is reminded that in accordance with Regulation 29(3) of the *Local Government (Meeting Procedures) Regulations 2015*, the Chairperson is not to allow discussion or debate on either the question or the response."

RECOMMENDATION

That the following responses to questions without notice be received and noted.

9.1 140 Bathurst Street, Hobart

Memorandum of the Deputy Director Strategic and Regulatory Services of 26 March 2025.

9.2 Improved Public Signage

Memorandum of the Deputy Director Strategic and Regulatory Services of 9 April 2025.

9.3 Development near Waratah Nursery in South Hobart

Memorandum of the Deputy Director Strategic and Regulatory Services of 7 May 2025.

9.4 Lease Regatta Point

Memorandum of the Director Corporate Services of 7 May 2025

9.5 Visitor Management Plans

Memorandum of the Deputy Director Strategic and Regulatory Services of 26 March 2025.



City of **HOBART**

**MEMORANDUM: LORD MAYOR
DEPUTY LORD MAYOR
ELECTED MEMBERS**

140 BATHURST STREET, HOBART

Meeting: Planning Authority Committee

Meeting date: 26 March 2025

Raised by: Lord Mayor - Councillor Reynolds

Question:

Can the Deputy Director advise if Council is aware of the status of the property located at 140 Bathurst Street, Hobart on the corner of Bathurst and Harrington Street?

Response:

It is understood that the building is vacant. There has been a recent history of squatters alongside property damage to the frontage fence/broken windows etc.

Council has undertaken several inspections in recent years responding to complaints about the dilapidated state of the property.

Approval was granted under PLN-23-481(October 2023) for front fencing on the Bathurst Street frontage, in front of the existing car park, this may now be in place. This was to replace temporary fencing on that frontage. Our understanding that this was prompted by compliance investigations following complaints.

The site had a previous use as an office but there have been no applications made to Council to either intensify this use, change this use, or undertake any significant development on the site in the past decade.

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

A handwritten signature in blue ink, appearing to read 'Karen'.

Karen Abey
**DEPUTY DIRECTOR STRATEGIC AND
REGULATORY SERVICES**

Date: 16 June 2025
File Reference: F25/23441; 13-1-10



MEMORANDUM: LORD MAYOR
DEPUTY LORD MAYOR
ELECTED MEMBERS

IMPROVED PUBLIC SIGNAGE

Meeting: Planning Authority Committee

Meeting date: 9 April 2025

Raised by: Lord Mayor Councillor Reynolds

Question:

Around 2016 or 2017, Council introduced a reform to improve public signage for advertising more significant public interest development applications. Can we get some information about the current procedures and practise for implementation of this Council decision? In terms of when we and don't use it.

Response:

For "major planning application", we use a large corflute sign rather than the usual signs, which allows us to use photos of the proposal. Major planning applications are those proposals requiring planning consent that exceed 2,000m² in floor area and/or 3 storeys in height which are located within the area covered by the *Sullivans Cove Planning Scheme 1997* and within the Central Business, General Business, Commercial and Urban Mixed Use Zones of the *Hobart Interim Planning Scheme 2015*.

This aligns with our delegations and referral criteria to the Urban Design Advisory Panel.

The approximate cost is \$250 per application.

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

A handwritten signature in blue ink, appearing to read 'Karen'.

Karen Abey
**DEPUTY DIRECTOR STRATEGIC AND
REGULATORY SERVICES**

Date: 16 June 2025
File Reference: F25/27309; 13-1-10



City of **HOBART**

MEMORANDUM: LORD MAYOR
DEPUTY LORD MAYOR
ELECTED MEMBERS

DEVELOPMENT NEAR WARATAH NURSERY IN SOUTH HOBART

Meeting: Planning Authority Committee

Meeting date: 7 May 2025

Raised by: Councillor Kitsos

Question:

Do we have a planning application for a development in South Hobart at the bottom of Tara Street near the Waratah nursery? It needs to be reviewed as I am concerned about the development in terms of landslip and environmental safety.

Response:

The removal of one *Eucalyptus Globulus* (Blue Gum) located at the top embankment of 1A Tara Street, South Hobart was confirmed by officers as meeting the exemptions in the current planning scheme. The work was carried out after taking guidance from our Roads team.

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

Karen Abey
DEPUTY DIRECTOR STRATEGIC AND

REGULATORY SERVICES

Date: 20 June 2025

File Reference: F25/37564; 13-1-10



City of **HOBART**

MEMORANDUM: LORD MAYOR
DEPUTY LORD MAYOR
ELECTED MEMBERS

LEASE REGATTA POINT

Meeting: Planning Authority Committee

Meeting date: 7 May 2025

Raised by: Lord Mayor - Councillor Reynolds

Question:

Has the State Government formally revoked the City of Hobart's lease or interest over the land at Regatta point, both the area where apartments are to be built and the area where the Northern Road would go through Council's land?

Response:

The State Government has not revoked the City of Hobart's Crown Lease for the Regatta Point area. However, the Crown Lease is currently holding over on a month-to-month basis and can be terminated by the State Government with one month's written notice.

The State Government has advised that it is their intention to terminate the Council's lease and grant a new lease to the Macquarie Point Development Corporation. Council officers and the CEO are engaging with Crown Law and Macquarie Point Development Corporation to prepare a deed of surrender to facilitate an orderly transfer of tenure and occupation.

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.



Michael Reynolds
DIRECTOR CORPORATE SERVICES

Date: 16 June 2025
File Reference: F25/37571; 13-1-10



MEMORANDUM: LORD MAYOR
DEPUTY LORD MAYOR
ELECTED MEMBERS

VISITOR MANAGEMENT PLANS

Meeting: Planning Authority Committee

Meeting date: 26 March 2025

Raised by: Lord Mayor Councillor Reynolds

Question:

Could a Visitor Management Plan be included as a standard clause in all Visitor Accommodation Permits?

Response:

Each planning application must be considered on its own merits, including the conditions to be imposed.

The discretion to grant a permit and the discretion to impose conditions is an exercise of administrative power. To that end it should be exercised reasonably and having regard to all relevant considerations, not be made in regard to irrelevant considerations, not be exercised in accordance with a rule without regard to the particular merits of a case, and not in bad faith (to name a few of the matters identified by the *Judicial Review Act 2000*).

Imposition of a standard condition on a permit solely by virtue of the use classification of the proposal is not considered an appropriate exercise of administrative power. There are and will be cases where there is little to no real benefit to sound planning outcomes in imposing the visitor accommodation management plan (VAMP) condition, for example on permitted applications, on permits granted in non-residential zones, or on permits granted in residential zones where there is likely going to be little if any impact on surrounding residences, having regard to the particular circumstances of the area (for example on very large parcels/separation between neighbours, existing pattern of use and development in the area etc.)

Most discretionary applications for change of use to visitor accommodation will have a VAMP condition imposed, for whole house conversion to visitor accommodation in residential zones. This is imposed having regard to the scheme controls which applied to the assessment and the context of the area.

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.



Karen Abey
**DEPUTY DIRECTOR STRATEGIC AND
REGULATORY SERVICES**

Date: 16 June 2025
File Reference: F25/23475; 13-1-10

10. QUESTIONS WITHOUT NOTICE

Regulation 29 of the *Local Government (Meeting Procedures) Regulations 2015*.
File Ref: 13-1-10

1. A councillor at a meeting may ask a question without notice –
 - (a) of the chairperson; or
 - (b) through the chairperson, of –
 - (i) another councillor; or
 - (ii) the chief executive officer.
2. In putting a question without notice at a meeting, a councillor must not –
 - (a) offer an argument or opinion; or
 - (b) draw any inferences or make any imputations – except so far as maybe necessary to explain the question.
3. The chairperson of a meeting must not permit any debate of a question without notice or its answer.
4. The chairperson, councillor or chief executive officer who is asked a question without notice at a meeting may decline to answer the question.
5. The chairperson of a meeting may refuse to accept a question without notice if it does not relate to the activities of the council.
6. Questions without notice, and any answers to those questions, are not required to be recorded in the minutes of the meeting.
7. The chairperson of a meeting may require a councillor to put a question without notice in writing.

11. CLOSED PORTION OF THE MEETING

That the Committee resolve by majority that the meeting be closed to the public pursuant to regulation 15(1) of the *Local Government (Meeting Procedures) Regulations 2015* because the items included on the closed agenda contain the following matters:

- Minutes of a Closed Committee meeting

The following items were discussed: -

- | | |
|------------|--|
| Item No. 1 | Minutes of the last meeting of the Closed Portion of the Committee Meeting |
| Item No. 2 | Consideration of supplementary items to the agenda |
| Item No. 3 | Indications of pecuniary and conflicts of interest |
| Item No. 4 | Questions without Notice |