



CITY OF HOBART

AGENDA

Planning Committee Meeting
Open Portion
Wednesday, 28 August 2024
at 5.00 pm
Council Chamber, Town Hall

Note: This meeting has been re-scheduled to occur on Wednesday 11 September 2024 at 4.30pm Council Chamber, Town Hall.



City of **HOBART**

THE MISSION

Working together to make Hobart a better place for the community.

THE VALUES

The Council is:

People	We care about people – our community, our customers and colleagues.
Teamwork	We collaborate both within the organisation and with external stakeholders drawing on skills and expertise for the benefit of our community.
Focus and Direction	We have clear goals and plans to achieve sustainable social, environmental and economic outcomes for the Hobart community.
Creativity and Innovation	We embrace new approaches and continuously improve to achieve better outcomes for our community.
Accountability	We are transparent, work to high ethical and professional standards and are accountable for delivering outcomes for our community.

ORDER OF BUSINESS

Business listed on the agenda is to be conducted in the order in which it is set out, unless the committee by simple majority determines otherwise.

APOLOGIES AND LEAVE OF ABSENCE

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**Planning Committee Meeting (Open Portion) held Wednesday, 28 August 2024
at 5.00 pm in the Council Chamber, Town Hall.**

The title Chief Executive Officer is a term of reference for the General Manager as appointed by Council pursuant s.61 of the *Local Government Act 1993* (Tas).

COMMITTEE MEMBERS

Councillor M Dutta (Chairperson)
Lord Mayor Councillor A M Reynolds
Deputy Lord Mayor Cr Dr Z Sherlock
Alderman M Zucco
Councillor W F Harvey
Councillor J Kelly
Councillor L Elliot
Alderman L Bloomfield
Councillor R Posselt
Councillor B Lohberger
Councillor W Coats
Councillor G Kitsos

Apologies:

Leave of Absence: Nil.

1. CONFIRMATION OF MINUTES

The minutes of the Open Portion of the Planning Committee meeting held on [Wednesday, 31 July 2024](#), are submitted for confirming as an accurate record.

2. CONSIDERATION OF SUPPLEMENTARY ITEMS

Ref: Part 2, Regulation 8(6) of the *Local Government (Meeting Procedures) Regulations 2015*.

Recommendation

That the Committee resolve to deal with any supplementary items not appearing on the agenda, as reported by the Chief Executive Officer.

3. INDICATIONS OF PECUNIARY AND CONFLICTS OF INTEREST

Ref: Part 2, Regulation 8(7) of the *Local Government (Meeting Procedures) Regulations 2015*.

Members of the Committee are requested to indicate where they may have any pecuniary or conflict of interest in respect to any matter appearing on the agenda, or any supplementary item to the agenda, which the Committee has resolved to deal with.

4. TRANSFER OF AGENDA ITEMS

Regulation 15 of the *Local Government (Meeting Procedures) Regulations 2015*.

A Committee may close a part of a meeting to the public where a matter to be discussed falls within 15(2) of the above regulations.

In the event that the Committee transfer an item to the closed portion, the reasons for doing so should be stated.

Are there any items which should be transferred from this agenda to the closed portion of the agenda, or from the closed to the open portion of the agenda?

5. PLANNING AUTHORITY ITEMS - CONSIDERATION OF ITEMS WITH DEPUTATIONS

In accordance with the requirements of Part 2 Regulation 8(3) of the *Local Government (Meeting Procedures) Regulations 2015*, the Chief Executive Officer is to arrange the agenda so that the planning authority items are sequential.

In accordance with Part 2 Regulation 8(4) of the *Local Government (Meeting Procedures) Regulations 2015*, the Committee by simple majority may change the order of any of the items listed on the agenda, but in the case of planning items they must still be considered sequentially – in other words they still have to be dealt with as a single group on the agenda.

Where deputations are to be received in respect to planning items, past practice has been to move consideration of these items to the beginning of the meeting.

RECOMMENDATION

That in accordance with Regulation 8(4) of the *Local Government (Meeting Procedures) Regulations 2015*, the Committee resolve to deal with any items which have deputations by members of the public regarding any planning matter listed on the agenda, to be taken out of sequence in order to deal with deputations at the beginning of the meeting.

6. COMMITTEE ACTING AS PLANNING AUTHORITY

In accordance with the provisions of Part 2 Regulation 25 of the *Local Government (Meeting Procedures) Regulations 2015*, the intention of the Committee to act as a planning authority pursuant to the *Land Use Planning and Approvals Act 1993* is to be noted.

In accordance with Regulation 25, the Committee will act as a planning authority in respect to those matters appearing under this heading on the agenda, inclusive of any supplementary items.

The Committee is reminded that in order to comply with Regulation 25(2), the Chief Executive Officer is to ensure that the reasons for a decision by a Council or Council Committee acting as a planning authority are recorded in the minutes.

6.1 APPLICATIONS UNDER THE HOBART INTERIM PLANNING SCHEME 2015

6.1.1 123 WOODCUTTERS ROAD, TOLMANS HILL - ALTERATIONS TO PARKING AREA AND LANDSCAPING PLN-24-225 - FILE REF: F24/77108

Address:	123 Woodcutters Road, Tolmans Hill
Proposal:	Alterations to Parking Area and Landscaping
Expiry Date:	19 September 2024
Extension of Time:	Not applicable
Author:	Deanne Lang

RECOMMENDATION

That pursuant to the *Hobart Interim Planning Scheme 2015*, the Planning Committee, in accordance with the delegations contained in its terms of reference, approves the application for Alterations to Parking Area and Landscaping at 123 WOODCUTTERS RD TOLMANS HILL TAS 7007 for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-24-225 123 Woodcutters Road Tolmans Hill Final Planning Documents except where modified below.

Reason for condition

To clarify the scope of the permit.

All stormwater from the proposed development (including but not limited to: roofed areas, ag drains, retaining wall ag drains and impervious surfaces such as driveways and paved areas) must be drained to the Council's stormwater infrastructure prior to first occupation or commencement of use (whichever occurs first).

Advice:

Under section 23 of the Urban Drainage Act 2013 it is an offence for a property owner to direct stormwater onto a neighbouring property.

Council notes that site photos show impervious surfaces (such as the consolidated crushed granite landscaped areas and deck) which are not shown as drained. All runoff from impervious areas must be directed to the Council's stormwater infrastructure. Alternatively, the areas may be converted to a pervious material to ensure that stormwater is not directed onto neighbouring properties.

Reason for condition

To ensure that stormwater from the site will be discharged to a suitable Council approved outlet.

The proposed (retaining wall) must be designed to ensure the protection and access to the Council's stormwater main.

The works must be undertaken and maintained in accordance with the submitted planning permit documents.

Reason for condition

To ensure the protection of the Council's hydraulic infrastructure.

The "Existing Landscaped Utilities Area" and "Existing Forecourt Area" as shown on the submitted documentation are not car parking areas, approval as car parking areas is not implied or granted as part of this permit.

Reason for condition

To clarify the scope of the permit.

Any damage to council infrastructure resulting from the implementation of this permit, must, at the discretion of the Council:

- 1. Be met by the owner by way of reimbursement (cost of repair and reinstatement to be paid by the owner to the Council); or**
- 2. Be repaired and reinstated by the owner to the satisfaction of the Council.**

A photographic record of the Council's infrastructure adjacent to the subject site must be provided to the Council prior to any commencement of works.

A photographic record of the Council's infrastructure (e.g. existing property service connection points, roads, buildings, stormwater, footpaths, driveway crossovers and nature strips, including if any, pre-existing damage) will be relied upon to establish the extent of damage caused to the Council's infrastructure during construction. In the event that the owner/developer fails to provide to the Council a photographic record of the Council's infrastructure, then any damage to the Council's infrastructure found on completion of works will be deemed to be the responsibility of the owner.

Reason for condition

To ensure that any of the Council's infrastructure and/or site-related service connections affected by the proposal will be altered and/or reinstated at the owner's full cost.

Sediment and erosion control measures sufficient to prevent sediment from leaving the site must be installed prior to any disturbance of the site, and maintained until all areas of disturbance have been stabilized or re-vegetated.

Advice:

For guidance, please see the TEER & DEP (2023) Erosion and Sediment Control guideline documents available from the Derwent Estuary Program's website.

Reason for condition

To avoid the sedimentation of roads, drains, natural watercourses, Council land that could be caused by erosion and runoff from the development, and to comply with relevant State legislation.

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's website for further information.

Prior to any commencement of work on the site or commencement of the use the following additional/permits/approval may be required from the Hobart City Council.

BUILDING PERMIT

You may need building approval in accordance with the *Building Act 2016*. [Click here for more information.](#)

This is a discretionary permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

PLUMBING PERMIT

You may need plumbing approval in accordance with the *Building Act 2016* and the National Construction Code.

FEES AND CHARGES

[Click here for information on the Council's fees and charges.](#)

DIAL BEFORE YOU DIG

[Click here for dial before you dig information.](#)

TOLMANS HILL LOCAL AREA PLAN


The Tolmans Hill Local Area Plan is available [here](#).

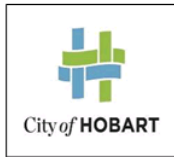
This approval and subsequent conditions are given in the knowledge that the Part 5 Agreement on the title (CT. 133969/2) to the property is effective and binds the applicant to the restrictions and controls of the Tolmans Hill Local Area Plan.

At the time of issue no consent had been granted under the Tolmans Hill Local Area Plan. The applicant is advised to submit a landscape plan to Council which confirms the area of disturbance on the site does not exceed 400sqm of the site. Areas for rehabilitation are to be clearly shown on the plan in conformity with the restrictions and controls of Stage 5 of the Tolmans Hill Local Area Plan. The areas for rehabilitation should indicate use of local native planting species, including trees and ground covers and show the size and location of all planting within these areas.

The Applicant is advised that until a landscape plan has been submitted and approved and any works are completed so that the site complies with the restrictions and controls of the Tolmans Hill Local Area Plan and this permit, enforcement proceedings under ENF-22-246 remain outstanding.

Plant species listed in Council's Restricted Plant List: Potentially Invasive Species Generally Unsuitable for Planting in or Adjacent Bushland, Riparian and Coastal Areas (June 2011) must not be planted on the lot.

- Attachment A: [PLN-24-225 - 123 Woodcutter Road, Tolmans Hill - Committee Report](#) ↓
- Attachment B: [PLN-24-225 - 123 Woodcutters Road Tolmans Hill - Attachment B - Planning Committee Agenda Documents](#) ↓ 



PLANNING ASSESSMENT REPORT

Type of Report: Committee
Committee: 28 August 2024
Expiry Date: 19 September 2024
Application No: PLN-HOB-2024-0225
Address: 123 WOODCUTTERS RD TOLMANS HILL TAS 7007
Applicant: Shane Dennis
123 Woodcutters Road, Tolmans Hill, 7007, Tas,
Australia
Proposal: Alterations to Parking Area and Landscaping
Representations: Six (6)
Performance criteria: Development Standards – Building Envelope

1. Executive Summary

- 1.1. Planning approval is sought for Alterations to Parking Area and Landscaping at 123 WOODCUTTERS RD TOLMANS HILL TAS 7007.
- 1.2. More specifically the proposal includes request for retrospective approval for:
 - 900mm - 1120mm high dry stone retaining wall setback 4m from the front boundary;
 - 25sqm gravel area between the garage and the 900mm – 1120mm high dry stone retaining wall;
 - 32sqm gravel area between the entrance to the dwelling and the side boundary shared with 121 Woodcutters Road. This area is surrounded on three sides by a 250mm – 1000mm high dry stone retaining wall;
 - 20.90sqm sitting area. This area has a crushed gravel base and surrounded on three sides by 800mm – 1360mm high dry stacked stone retaining wall;
 - 19.70 sqm sitting area. This area has a synthetic grass base and surrounded on three sides by 800mm – 940mm high dry stacked stone retaining wall; and
 - 25m long retaining wall with a maximum height of 800mm. This wall has a maximum setback of 1320mm from the boundary shared with 121 Woodcutters Road.
- 1.3. The proposal relies on performance criteria to satisfy the following standards and codes:
 - 1.3.1. Development Standards – Building Envelope
- 1.4. Six (6) representations objecting to the proposal was received within the statutory advertising period between 10 July – 5 August 2024.

- 1.5. The proposal is recommended for approval subject to conditions.
- 1.6. The final decision is delegated to the Planning Committee.

2. Site Detail

2.1. Site Background

The subject property is zoned Low Density Residential and is located within Stage 5 of Tolmans Hill Local Area Plan. The subject site contains a large single rendered dwelling which, with the exception of the multiple dwellings within 116 Woodcutters Road, is consistent with those properties in the immediate area.



Fig. 1 – Subject Site – image taken by Council's Development Appraisal Planner

3. Proposal

- 3.1. Planning approval is sought for Alterations to Parking Area and Landscaping at 123 WOODCUTTERS RD TOLMANS HILL TAS 7007.
- 3.2. More specifically the proposal is for retrospective approval for
 - 900mm - 1120mm high dry stone retaining wall setback 4m from the front boundary;

- A 25sqm gravel area between the garage and the 900mm – 1120mm high dry stone retaining wall;
- 32sqm gravel area between the entrance to the dwelling and the side boundary shared with 121 Woodcutters Road. This area is surrounded on three sides by a 250mm – 1000mm high dry stone retaining wall;
- 20.90sqm sitting area. This area has a crushed gravel base and surrounded on three sides by 800mm – 1360mm high dry stacked stone retaining wall;
- 19.70 sqm sitting area. This area has a synthetic grass base and surrounded on three sides by 800mm – 940mm high dry stacked stone retaining wall; and
- 25m long retaining wall with a maximum height of 800mm. This wall has a maximum setback of 1320mm from the boundary shared with 121 Woodcutters Road.

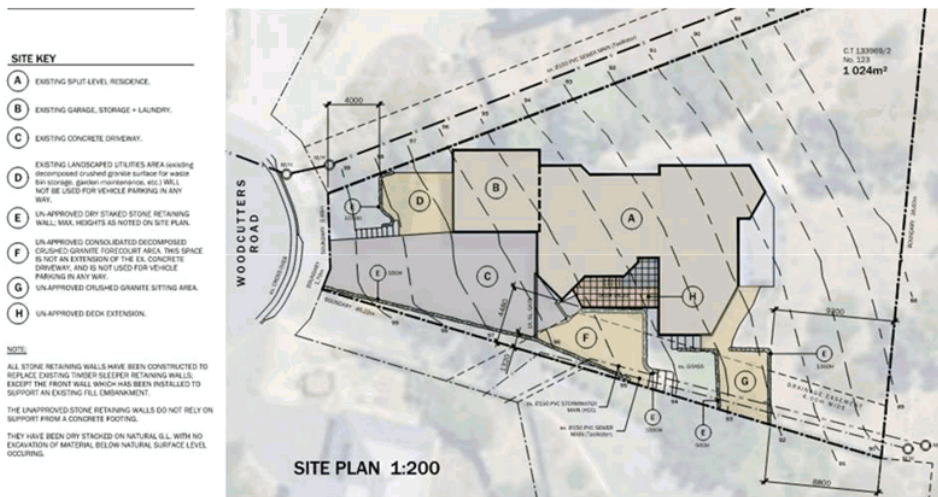
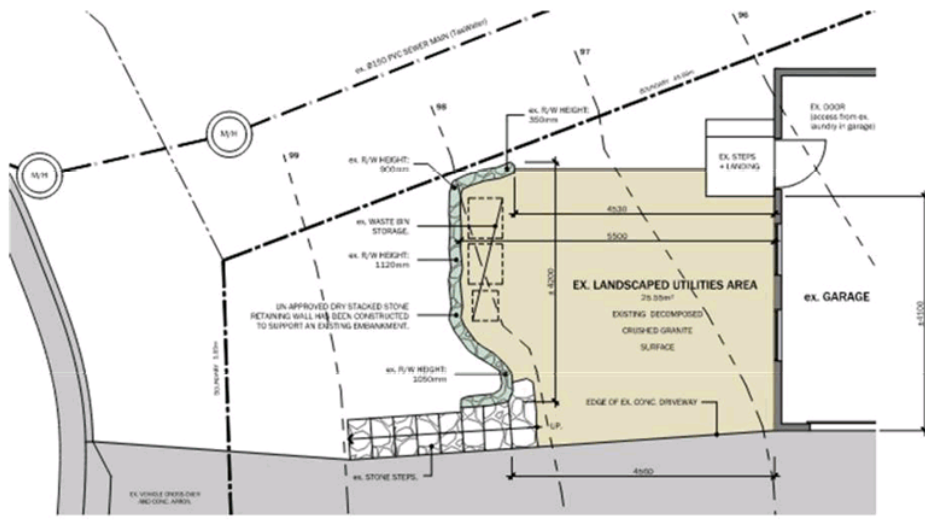


Fig. 2 – site plan. Note: Area H (deck extension) was approved under Planning Assessment Enquiry - PAE-23-51



Fig.3– gravel area between the garage and the front boundary. Image provided by applicant



RETAINING WALL PLAN 1:50

Fig. 4 – retaining wall and gravel area (location of trailer) between the garage and the front boundary

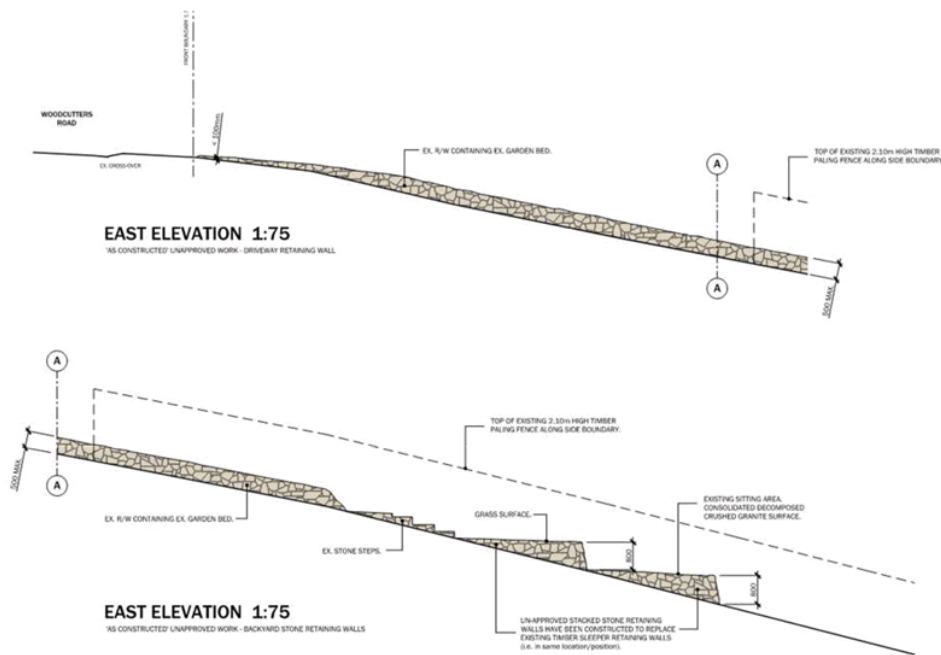


Fig. 5 – retaining wall running parallel to the side boundary shared with 121 Woodcutters Road

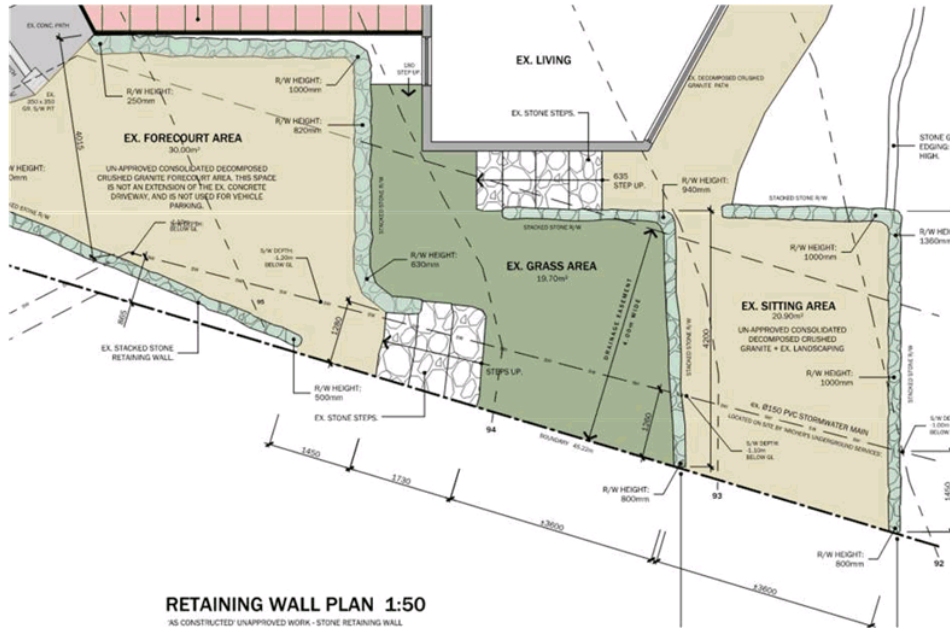


Fig. 6 – (section of) the retaining wall running parallel to the side boundary shared with 121 Woodcutters Road and retaining walls within the property creating seating/sitting terraces

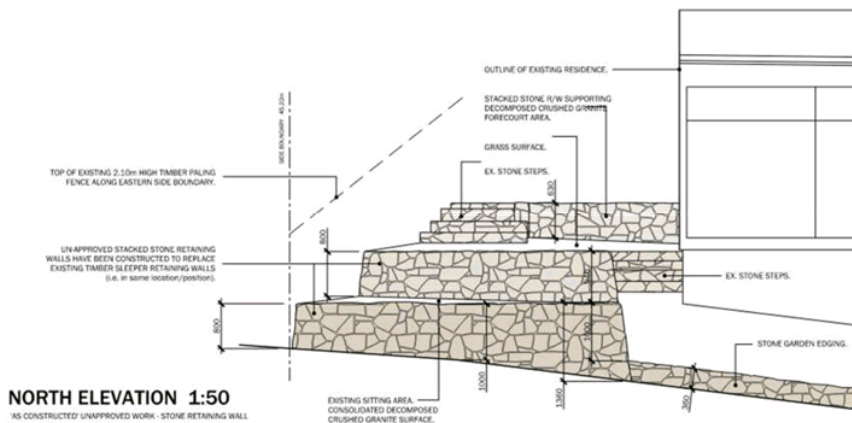


Fig. 7 – retaining walls within the property creating the forecourt and seating/sitting terraces



Fig. 8 – forecourt – image provided by the applicant



Fig. 9 – seating area with the sitting area in the background. Image provided by the applicant



Fig. 10 – seating and sitting area taken from the rear garden area. Image provided by the applicant

4. Background

- 4.1 The dwelling was approved under PLN-03-01501-01 on the 8 August 2003.

Prior to submitting the above development application, the owner applied to Council to amend and increase the building envelope on the subject site property under the Tolmans Hill Local Area Plan (THLAP) from 294sqm to 391sqm. Council approved the increase to the building envelope on the 8 August 2002. The amended building envelope complied with the maximum area of disturbance 400sqm of the THLAP. (see Fig. 11)

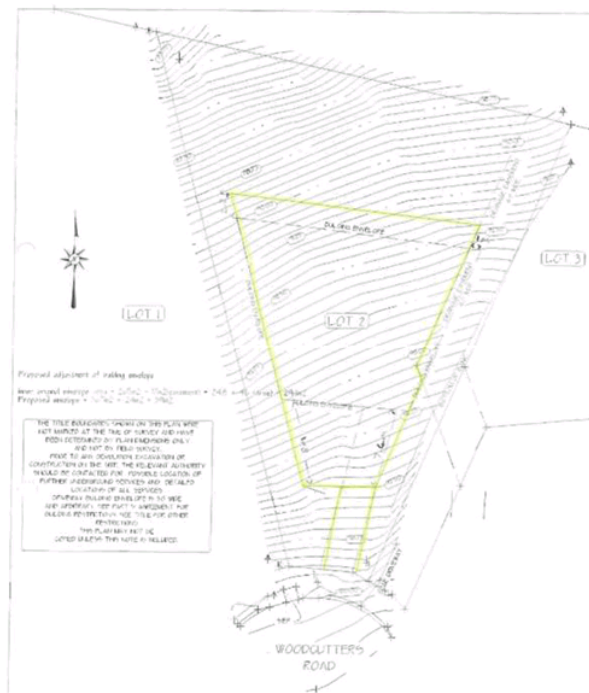


Fig. 11 – amended (current) building envelope shown on lot 2 Stage 5 THLAP

The subject application was submitted on the 16 May 2024, in response to Non Compliant Activity 24-25, as the retaining walls, forecourt and hard stand parking areas had been constructed without the relevant approvals.

As stated above, the deck shown on the site plan and marked "H" was determined as being "no permit required" under PAE-23-51.

The application was required to be readvertised due to an administrative error. This required the proposal being advertised from 10 July - 5 August 2024.

5. Concerns raised by representors

- 5.1. Six (6) representations objecting to the proposal were received within the statutory advertising period between 10 July – 5 August 2025.
- 5.2. The following outlines the concerns raised in the representations received. Those concerns which relate to a discretion invoked by the proposal are addressed in Section 6 of this report.

Comments relating to (unapproved) decks

These decks are resting hard up against a shared boundary fence and is effectively being used as a retaining wall supporting these bulk earthworks. The fence is not

designed to be a retaining wall and may eventually fall, which will result in a safety hazard being introduced to a neighbouring property. As it appears to be higher than 1 metre, it is also in breach of safety legislation as it does not have a compliant 1 metre high guardrail.

The removal of native vegetation and the installation of a multi-layered compacted dirt deck along the shared boundary fence line. This work first occurred when there was no boundary fence between the subject site and an adjoining property and part of the work was illegally conducted on this adjoining property.

Further, the deck is covered with fake grass and introduced compacted gravel.

The non-natural elevated deck areas also infringes on the privacy of the residents of an adjoining property as they are right on the shared boundary and appear to contravene provisions of *The Hobart Interim Planning Scheme 2015* Part D: 12.4.6A1 This deck is described in their plans as a "Sitting Area", however in reality it appears to be a deck/balcony and all of the deck/balcony regulations and requirements need to be complied with. We are unaware of whether an engineer's certificate has been provided for this work and if it has not, we request that one be provided and assessed.

Comments including change in description relating to the materials used in the extended driveway

It is noted that the applicant has requested a change in description of the gravel driveway material by both Hobart City Council (HCC) and the building designer in the retrospective application. It is now described as decomposed crushed granite (previously referred to as compacted gravel) which followed an email from the applicant to Council dated 27 June 2024. As Council are aware, these are quite different materials with very different drainage properties and I request Council confirm which material has been used.

Comments relating to the Tolmans Hill Local Area Plan

The works consisting of:

- bulk earthwork/excavation to create illegal decks;
- illegal vehicle carparks
- northern carpark extending from the existing driveway;
- southern car park adjoining the garage;

These works cover approximately 100sqms in the THLAP "non-disturbance" area which results in the applicant's disturbance area at over 500sqms. I believe the works also involved several mature native trees being destroyed and removed:

The decks are on top of a sewage main line easement and in the "non-disturbance area" designated in the THLAP.

There is also a multi levelled dirt structure erected on the western side of their boundary in the "non – disturbance" area of their property that is also non-compliant with the THLAP and also needs to be removed.

Vehicle Car Parking and Forecourt Area

The removal of trees and vegetation in the “non-disturbance” area to establish two compacted dirt car parks. One carpark is at the southern end of their garage and the other one is at the end of the northern end of their permitted driveway.

The applicants state this carpark was existing when they purchased their property. Whilst there was a small dirt area in existence when they purchased the property, I believe the current owners completed works to build the carpark it is today. I recall the applicants have also parked their smaller black car in this illegal car park on several occasions. I understand HCC has access to historical property photos and request you access these to confirm if this is the case.

The application states that the forecourt area is not used for car parking. I recall the car park being used on other occasions for car parking, I believe another such occasion may have been during the New Year’s eve period this year – if Council have access to date/time photos then please access these to confirm if this is the case. In fact, it can be seen that it has been most likely designed and built for parking vehicles, as evidenced by the rock paths built into it for vehicle tyres to run along in order to prevent the powered wheels of vehicles skidding on the slippery gravel surface.

The applicants have flagrantly disregarded the Legislative and THLAP requirements to build these carparks in the first place without the required HCC permissions. Now, they have applied to have permission for these carparks to remain, without having the appropriate car parking requirements apply to them.

Accordingly, I strongly request that HCC properly use their powers to ensure these carparks are removed and reinstated to their natural state, or if not so, then be made to comply with all of the relevant car parking requirements including E6.0 Parking and Access Code, because that is what they appear to have been designed and used for. If not, then this will create potential never ending compliance and legal liability issues for HCC.

General comments including those relating to civil matters

These works have been carried out without applying for or receiving any of the required HCC permissions and contravene, safety legislation, planning legislation, the Tolmans Hill Local Area Plan (THLAP) and our civil property rights.

6. Assessment

- 6.1. The Tasmanian Planning Scheme is a performance based planning scheme. To meet an applicable standard, a proposal must demonstrate compliance with either an acceptable solution or a performance criterion. Where a proposal complies with a standard by relying on one or more performance criteria, the Council may approve or refuse the proposal on that basis. The ability to approve or refuse the proposal relates only to the performance criteria.

- 6.2. This site is located within the 10.0 Low Density Residential Zone – *Hobart Interim Planning Scheme 2015*.
- 6.3. The existing and proposed use is a single dwelling which is a No Permit Required use in the zone.
- 6.4. The proposal has been assessed against
- 6.4.1. 10.0 Low Density Residential Zone
 - 6.4.2. Part E- E 6.0 Parking and Access Code
 - 6.4.3. Part E – E7.0 Stormwater Management Code
 - 6.4.4. Tolmans Hill Local Area Plan – Stage 5
- 6.5. The proposal relies on the following performance criteria to comply with the applicable standards:
- 6.5.1. Low Density Residential Zone – Building Envelope Part D12.4.2P3
- 6.6. Each performance criteria is assessed below:
- 6.7. Setbacks and Building Envelope Part D 12.4.2P3
- 6.7.1. The acceptable solution at clause 12.4.2A3 requires a dwelling to be contained within the prescribed building envelope. As part of the building envelope, a wall greater than 9m in length which is within 1.5m of a side boundary is deemed to be outside the building envelope.
 - 6.7.2. The proposal includes 25m long wall within 1.5m of the side boundary shared within 121 Woodcutters Road.
 - 6.7.3. The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.
 - 6.7.4. The performance criteria at clause Part D12.4.2P3 provides as follows:

The siting and scale of a dwelling must:
(a) not cause unreasonable loss of amenity by:
(i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining lot; or
(ii) overshadowing the private open space of a dwelling on an adjoining lot; or
(iii) overshadowing of an adjoining vacant lot; or
(iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining lot; and

b) provide separation between dwellings on adjoining lots that is compatible with that prevailing in the surrounding area.

- 6.7.5 The objectives of the setback and building envelope provisions, in this instance, are to control the siting and scale of dwellings and provide reasonably consistent separation between dwellings on adjacent sites and a dwelling and its frontage.

The proposal results in a 25m long wall within 1.5m of the side boundary shared within 121 Woodcutters Road. This wall is between 100mm - 800mm in height. A 2.1m high boundary fence sits behind the wall.

The wall sits in front of and a minimum of 900mm below the shared (side) boundary fence and runs parallel to the driveway within 121 Woodcutters Road. The dwelling within 121 Woodcutters Road is east of the retaining wall and is setback approximately 6700mm from the shared boundary. Due to the topography of the area the dwelling within the adjoining property sits approximately 2m higher than the retaining wall.

Based on the height and location of this wall and combined with the fact that it sits a minimum of 900mm below the boundary fence shared with 121 Woodcutters Road, it is considered that the works will not result in a detrimental impact to the adjoining property, including visual amenity.

- 6.7.6 The proposal complies with the performance criterion.

6.8 Tolmans Hill Local Area Plan

- 6.8.1 The site is located within Tolmans Hill Local Area Plan Stage 5 (TLAP). The TLAP guides, regulates and prohibits use and development within the TLAP area, with the overall purpose of enabling Tolmans Hill to develop as a bushland garden suburb that is unobtrusive when viewed from the surrounding Hobart area.

The TLAP is required by a condition of the original planning permit for the subdivision of Tolmans Hill. The provisions of the Local Area Plan are enforced through a Part 5 Agreement with Council, registered on the site's title. Land owners are obliged to comply with the provisions of the TLAP, as well as the *Hobart Interim Planning Scheme 2015*.

Assessment against the applicable provisions of the TLAP is provided below.

6.8.2 Building Area:

All the works are outside the building envelope which was amended on 8 August 2002 under the THLAP for Lot 2 on SP133969.

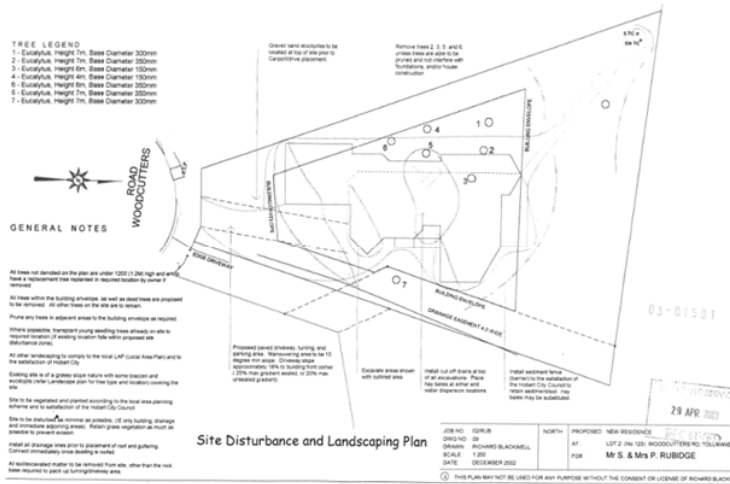


Fig. 12 –The landscaping and site disturbance plan submitted as part of PLN-03—1501

Condition 4 (below) was imposed on the permit and required an amended landscape plan to be submitted.

An amended landscape plan shall be submitted and approved by Senior Statutory Planner prior to any building approval being granted and for clearing of vegetation. Areas for bushland retention and rehabilitation (including excavation cuts) are to be clearly shown on the plan in conformity with the standards of the relevant Tolmans Hill Local Area Plan. The areas for rehabilitation should indicate use of local native species including trees and ground covers and show the size and location of all planting within these areas.

Reason for Condition

In order that the bushland nature of the Tolmans Hill Estate is retained.

Council’s records include written confirmation from the Development Appraisal Planner who assessed this development application, that substantial commencement of the landscaping had been achieved and that the landscaping bond could be refunded.

Table 1: Stage 5 of the THLAP states that the maximum allowable area of disturbance on the subject site is 400sqm.

The subject site has a building envelope which shows the primary area of disturbance which designates the area in which buildings, earthworks, paving and gardens can be constructed. Trees cannot be removed unless they are within the footprint of works. Under performance criteria an

alternate area could be disturbed provided that a maximum disturbance area on the subject site remains 400sqm.

No recent photographs can be located to confirm whether or not any vegetation removal or disturbance was required to undertake the works which have been undertaken without the relevant approvals.

The applicant has not submitted a plan confirming the new area of disturbance on the site as a result of the subject works.



Fig. 14 – 18 Landscaping/disturbed area at rear – images taken by Development Appraisal Planner

Should the application be approved, advice will be placed on the permit

Advising that a maximum area of 400m² can be disturbed (including vegetation removal) in accordance with the Part 5 agreement, and that they should ensure compliance with this requirement.

6.8.3 Exterior Colours and Finishes:

N/A

6.8.4 Height

N/A

6.8.5 Vegetation and Landscaping

As stated above, the construction of the sitting and (grassed) seating area, the retaining wall running parallel to the boundary shared with 121 Woodcutters Road is considered to be landscaping.

6.8.6 Fire Management

N/A

6.8.7 Minor Site Features

It is considered that the construction of the retaining wall between the front boundary and the garage, is a minor site feature. This wall is not considered to be a front fence as it is not visible above the existing ground level.

The shrub beds located between the retaining wall and the side boundary fence are also considered to be a minor feature and meet the acceptable solution.

6.8.8 As stated above, the applicant has not submitted an amended plan showing the area of disturbance on the site as a result of the (unapproved) works. Consequently, if approved, advice as detailed above will be included on the permit.

Provided that the area of disturbance on the site is less than 400sqm, the proposal is considered to comply with the applicable provisions of the TLAP.

7. Discussion

- 7.1. Planning approval is sought for Alterations to Parking Area and Landscaping at 123 WOODCUTTERS RD TOLMANS HILL TAS 7007.
- 7.2. The application was advertised and received six (6) representations. The representations raised concerns including issues relating to civil matters,

inconsistency with the Tolmans Hill Local Area Plan, privacy and that the works have been undertaken without the relevant approvals.

- 7.3. The proposal has been assessed against the provisions of the *Hobart Interim Planning Scheme 2015* against the scheme's relevant standards and codes and is considered to perform well.
- 7.4. The proposal has been assessed by other Council officers, including the Council's Development Engineer and Stormwater Services Engineer. The officers have reviewed the representations and have raised no objection to the proposal, subject to conditions.

The application was referred to TasWater who has confirmed that the proposed development does not require a submission from TasWater.

- 7.5. The proposal is recommended for approval.

8. Conclusion

- 8.1. The proposed Alterations to Parking Area and Landscaping at 123 WOODCUTTERS RD TOLMANS HILL TAS 7007 at 123 WOODCUTTERS RD TOLMANS HILL TAS 7007 satisfies the relevant provisions of the *Hobart Interim Planning Scheme 2015* and as such is recommended for approval.

9. Recommendations

- That: Pursuant to the *Hobart Interim Planning Scheme 2015*, the Council approves the application for Alterations to Parking Area and Landscaping at 123 WOODCUTTERS RD TOLMANS HILL TAS 7007 for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-24-225 123 Woodcutters Road Tolmans Hill Final Planning Documents except where modified below.

Reason for condition

To clarify the scope of the permit.

All stormwater from the proposed development (including but not limited to: roofed areas, ag drains, retaining wall ag drains and impervious surfaces such as driveways and paved areas) must be drained to the Council's stormwater infrastructure prior to first occupation or commencement of use (whichever occurs first).

Advice:

Under section 23 of the *Urban Drainage Act 2013* it is an offence for

a property owner to direct stormwater onto a neighbouring property.

Council notes that site photos show impervious surfaces (such as the consolidated crushed granite landscaped areas and deck) which are not shown as drained. All runoff from impervious areas must be directed to the Council's stormwater infrastructure. Alternatively, the areas may be converted to a pervious material to ensure that stormwater is not directed onto neighboring properties.

Reason for condition

To ensure that stormwater from the site will be discharged to a suitable Council approved outlet.

The proposed (retaining wall) must be designed to ensure the protection and access to the Council's stormwater main.

The works must be undertaken and maintained in accordance with the submitted planning permit documents.

Reason for condition

To ensure the protection of the Council's hydraulic infrastructure.

The "*Existing Landscaped Utilities Area*" and "*Existing Forecourt Area*" as shown on the submitted documentation are not car parking areas, approval as car parking areas is not implied or granted as part of this permit.

Reason for condition

To clarify the scope of the permit.

Any damage to council infrastructure resulting from the implementation of this permit, must, at the discretion of the Council:

- 1. Be met by the owner by way of reimbursement (cost of repair and reinstatement to be paid by the owner to the Council); or**
- 2. Be repaired and reinstated by the owner to the satisfaction of the Council.**

A photographic record of the Council's infrastructure adjacent to the subject site must be provided to the Council prior to any commencement of works.

A photographic record of the Council's infrastructure (e.g. existing property service connection points, roads, buildings, stormwater, footpaths, driveway crossovers and nature strips, including if any, pre-existing damage) will be relied upon to establish the extent of damage caused to the Council's

infrastructure during construction. In the event that the owner/developer fails to provide to the Council a photographic record of the Council's infrastructure, then any damage to the Council's infrastructure found on completion of works will be deemed to be the responsibility of the owner.

Reason for condition

To ensure that any of the Council's infrastructure and/or site-related service connections affected by the proposal will be altered and/or reinstated at the owner's full cost.

Sediment and erosion control measures sufficient to prevent sediment from leaving the site must be installed prior to any disturbance of the site, and maintained until all areas of disturbance have been stabilized or re-vegetated.

Advice:For guidance, please see the *TEER & DEP (2023) Erosion and Sediment Control* guideline documents available from the Derwent Estuary Program's [website](#).

Reason for condition

To avoid the sedimentation of roads, drains, natural watercourses, Council land that could be caused by erosion and runoff from the development, and to comply with relevant State legislation.

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's website for further information.

Prior to any commencement of work on the site or commencement of the use the following additional/permits/approval may be required from the Hobart City Council.

BUILDING PERMIT

You may need building approval in accordance with the *Building Act 2016*. Click here for more information.

This is a discretionary permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

PLUMBING PERMIT

You may need plumbing approval in accordance with the *Building Act 2016* and the *National Construction Code*.

FEES AND CHARGES

Click [here](#) for information on the Council's fees and charges.

DIAL BEFORE YOU DIG

Click [here](#) for dial before you dig information.

TOLMANS HILL LOCAL AREA PLAN

The Tolmans Hill Local Area Plan is available [here](#).

This approval and subsequent conditions are given in the knowledge that the Part 5 Agreement on the title (CT. 133969/2) to the property is effective and binds the applicant to the restrictions and controls of the Tolmans Hill Local Area Plan.

At the time of issue no consent had been granted under the Tolmans Hill Local Area Plan. The applicant is advised to submit a landscape plan to Council which confirms the area of disturbance on the site does not exceed 400sqm of the site. Areas for rehabilitation are to be clearly shown on the plan in conformity with the restrictions and controls of Stage 5 of the Tolmans Hill Local Area Plan. The areas for rehabilitation should indicate use of local native planting species, including trees and ground covers and show the size and location of all planting within these areas.

The Applicant is advised that until a landscape plan has been submitted and approved and any works are completed so that the site complies with the restrictions and controls of the Tolmans Hill Local Area Plan and this permit, enforcement proceedings under ENF-22-246 remain outstanding.

Plant species listed in Council's Restricted Plant List: Potentially Invasive Species Generally Unsuitable for Planting in or Adjacent Bushland, Riparian and Coastal Areas (June 2011) must not be planted on the lot.



As a signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

Date of Report: 22 August 2024

RETROSPECTIVE APPLICATION (deck and retaining walls)

No. 123 WOODCUTTERS ROAD, TOLMANS HILL
 S. DENNIS

SCHEDULE OF DRAWINGS

ARCHITECTURAL

A01	DRAWING SCHEDULE & LOCATION PLAN
A02	SITE PLAN
A03	NATIONAL CONSTRUCTION CODE NOTES
A04	GENERAL NOTES
A05	EXISTING DECK PLAN
A06	DECK EXTENSION PLAN
A07	EXTERIOR ELEVATIONS - DECK EXTENSION
A08	DECK FRAMING PLAN
A09	RETAINING WALL PLAN - FRONT OF PROPERTY
A10	EXTERIOR ELEVATIONS - FRONT RETAINING WALL
A11	RETAINING WALL PLAN - BACKYARD
A12	EXTERIOR ELEVATIONS - BACKYARD RETAINING WALLS
A13	EXTERIOR ELEVATIONS - BACKYARD RETAINING WALLS
A14	LONG SECTION - DN150 STORMWATER MAIN

GENERAL INFORMATION

LAND CERTIFICATE OF TITLE REFERENCE No. - C.T. 133969/2

SOIL REPORT CONSULTANT & CLASSIFICATION - NONE PROVIDED.

DESIGN WIND SPEED - N3 (50m/s)

CLIMATE ZONE FOR THERMAL DESIGN (building code of australia) - ZONE 7

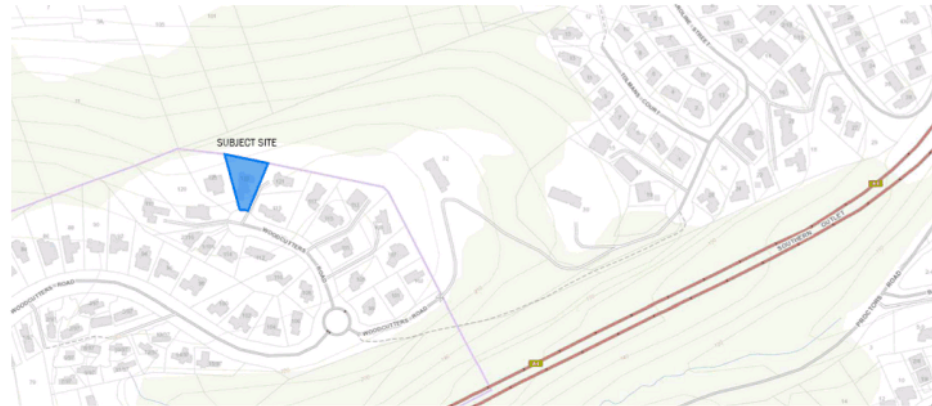
BUSHFIRE-PRONE AREA BAL RATING (bushfire attack level) - UNDETERMINED. THE SITE IS LOCATED IN A COUNCIL DESIGNATED BUSHFIRE PRONE AREA.

ALPINE AREA (fire safety) - NO

CORROSION ENVIRONMENT - LOW (mild steel corrosion rate 1.3 to 25µm/y). TYPICALLY REMOTE INLAND AREAS OR MORE THAN 1km FROM SHELTERED BAYS.

EXTERNAL BUILDING AREAS (proposed)

AREA OF UN-APPROVED DECK EXTENSION - 12.30m²



LOCATION PLAN

MATT GILLEY
 BUILDING DESIGNER

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PROJECT:
RETROSPECTIVE APPLICATION

No. 123 WOODCUTTERS ROAD
 TOLMANS HILL

S. DENNIS

DATE: JUN 2024
 PROJECT No. 1893

ISSUE/REV:
 A. DA ISSUE. 15.5.24
 B. ADDITIONAL INFO. 11.8.24

TITLE:
LOCATION PLAN

SCALE: N.T.S. (A3)
 DRAWING No:

A01

SHEET: 1 OF 14

IMPORTANT

1. USE WRITTEN DIMENSIONS ONLY.
2. DO NOT SCALE DRAWINGS.
3. THE CONTRACTOR IS TO CHECK ALL LEVELS, DATUMS, AND DIMENSIONS IN RELATION TO THE DRAWINGS AND THE SITE BEFORE PROCEEDING WITH THE WORK OR SHOP DRAWINGS.
4. ENSURE THAT THIS DRAWING AND ANY ACCOMPANYING DETAILS AND/OR SPECIFICATIONS HAVE BEEN STAMPED AS 'APPROVED' BY THE RELEVANT LOCAL AUTHORITY.
5. THE PROPRIETOR IS TO ENSURE THAT ANY 'CONDITIONS OF APPROVAL' ISSUED BY THE BUILDING SURVEYOR, RELEVANT COUNCIL AND OTHER STATUTORY AUTHORITIES ARE PASSED ON TO THE CONTRACTOR BEFORE CONSTRUCTION BEGINS.
6. MATERIALS AND WORKMANSHIP SHALL CONFORM WITH RELEVANT STANDARDS, BUILDING CODE OF AUSTRALIA AND PRODUCT MANUFACTURERS WRITTEN INSTRUCTIONS.
7. ANY ALTERATION TO THE CONSTRUCTION AND/OR MATERIALS INDICATED IN THESE DRAWINGS IS TO BE APPROVED BY THE DESIGNER, THE ENGINEER, THE BUILDING SURVEYOR, AND THE PROPRIETOR BEFORE PROCEEDING WITH THE WORK.
8. IF IN DOUBT - ASK CONTACT THE BUILDING DESIGNER AND/OR RELEVANT CONSULTANT.

SITE IS LOCATED WITHIN THE FOLLOWING ZONES & AREAS OF THE HOBART INTERIM PLANNING SCHEME 2015:-

- 12.0 LOW DENSITY RESIDENTIAL ZONE.
- BIO-DIVERSITY PROTECTION AREA.
- BUSHFIRE PRONE AREA.

NO PROPOSED INCREASE TO EXISTING SITE COVERAGE (i.e. roof area).

SITE KEY

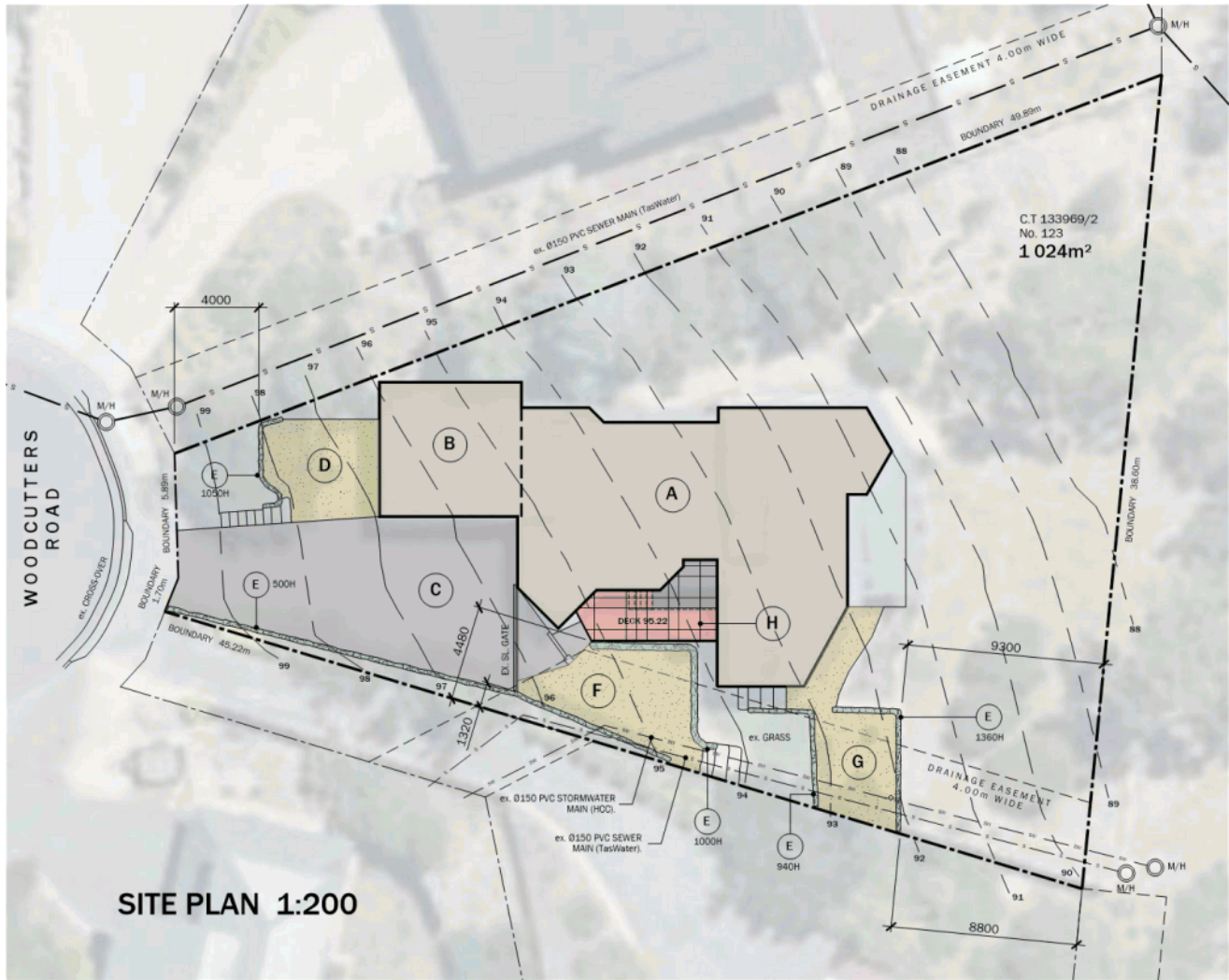
- (A) EXISTING SPLIT-LEVEL RESIDENCE.
- (B) EXISTING GARAGE, STORAGE + LAUNDRY.
- (C) EXISTING CONCRETE DRIVEWAY.
- (D) EXISTING LANDSCAPED UTILITIES AREA (existing decomposed crushed granite surface for waste bin storage, garden maintenance, etc.) WILL NOT BE USED FOR VEHICLE PARKING IN ANY WAY.
- (E) UN-APPROVED DRY STAKED STONE RETAINING WALL; MAX. HEIGHTS AS NOTED ON SITE PLAN.
- (F) UN-APPROVED CONSOLIDATED DECOMPOSED CRUSHED GRANITE FORECOURT AREA. THIS SPACE IS NOT AN EXTENSION OF THE EX. CONCRETE DRIVEWAY, AND IS NOT USED FOR VEHICLE PARKING IN ANY WAY.
- (G) UN-APPROVED CRUSHED GRANITE SITTING AREA.
- (H) UN-APPROVED DECK EXTENSION.

NOTE:

ALL STONE RETAINING WALLS HAVE BEEN CONSTRUCTED TO REPLACE EXISTING TIMBER SLEEPER RETAINING WALLS; EXCEPT THE FRONT WALL WHICH HAS BEEN INSTALLED TO SUPPORT AN EXISTING FILL EMBANKMENT.

THE UNAPPROVED STONE RETAINING WALLS DO NOT RELY ON SUPPORT FROM A CONCRETE FOOTING.

THEY HAVE BEEN DRY STACKED ON NATURAL G.L. WITH NO EXCAVATION OF MATERIAL BELOW NATURAL SURFACE LEVEL OCCURRING.



SITE PLAN 1:200

MATT GILLEY
 BUILDING DESIGNER

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**PROJECT:
 RETROSPECTIVE APPLICATION**

No. 123 WOODCUTTERS ROAD
 TOLMANS HILL

S. DENNIS
 DATE: JUN 2024
 PROJECT No. 1899

ISSUE REV:
 A. DA ISSUE. 15.5.24
 B. ADDITIONAL INFO. 11.6.24



**TITLE:
 SITE PLAN**

SCALE: 1:200 (A3)
 DRAWING No:

A02

SHEET: 2 OF 14

GENERAL NOTES - NATIONAL CONSTRUCTION CODE (NCC)

WHEN CARRYING OUT THE BUILDING WORK, A BUILDER (or owner builder) SHOULD BE FAMILIAR WITH GENERAL CONSTRUCTION PRACTICES, THE REQUIREMENTS OF THE NATIONAL CONSTRUCTION CODE (NCC) VOLUME TWO & HOUSING PROVISIONS, AS WELL AS LOCAL COUNCIL RULES/REGULATIONS.

A COPY OF ALL PLANNING, BUILDING & PLUMBING PERMITS, AND DRAWINGS STAMPED "APPROVED" BY THE LOCAL AUTHORITY MUST BE KEPT ON SITE.

EARTHWORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH PART 3.1 OF THE NCC. EXCAVATION & FILL UTILISING UNPROTECTED EMBANKMENTS SHALL BE IN ACCORDANCE WITH TABLE 3.2.1 OF THE THE NCC.

IF RECOMMENDED IN SOIL REPORT OR BY STRUCTURAL ENGINEER, SUB-SOIL DRAINAGE AROUND THE BUILDING MUST BE CARRIED OUT IN ACCORDANCE WITH PART 3.3 OF THE THE NCC AND AS/NZS 3500.3.2 OR AS/NZS 3500.5 (domestic installations, section 5).

FOOTING & SLAB CONSTRUCTION (including vapour barriers & damp-proofing membranes) SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS 2870, AND MUST COMPLY WITH PART 4.1 OF THE THE NCC. NO EDGE REBATE SHALL BE LESS THAN 20mm. DESIGN & CERTIFICATION TO BE BY AN ACCREDITED PRACTISING STRUCTURAL ENGINEER.

CONCRETE MUST BE MANUFACTURED TO COMPLY WITH AS 3600 - AND HAVE A MINIMUM STRENGTH OF 25MPa (N25) AT 28 DAYS. STEEL REINFORCING MUST COMPLY WITH AS 2870. GENERALLY CONCRETE AND REINFORCING MUST COMPLY WITH PART 4.2 OF THE NCC. ALSO REFER TO STRUCTURAL ENGINEER'S GENERAL NOTES AND DETAILS.

FOOTING AND SLAB CONSTRUCTION SHALL BE CARRIED OUT IN ACCORDANCE WITH PART 4.2 OF THE NCC AND AS 2870. ALSO REFER TO STRUCTURAL ENGINEER'S GENERAL NOTES AND DETAILS.

UNREINFORCED & REINFORCED MASONRY WALLS (incl. all lintel, wall ties & accessories) SHALL BE CONSTRUCTED IN ACCORDANCE WITH PART 5 OF THE NCC, AS 3700 AND AS 4773 (masonry for small buildings). PROVIDE VERTICAL ARTICULATION JOINTS OR REINFORCING AS SPECIFIED BY STRUCTURAL ENGINEER.

ALL TIMBER FRAMING SHALL BE CARRIED OUT IN ACCORDANCE WITH AS 1684.2 AND/OR AS 1684.4. DESIGN & CERTIFICATION TO BE BY AN ACCREDITED PRACTISING STRUCTURAL ENGINEER. ALSO REFER TO STRUCTURAL NOTES AND DETAILS.

ALL GUTTERS AND DOWNPIPES SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS/NZS 3500.3.2 OR AS/NZS 3500.5 (domestic installations, section 5). REFER TO ROOF PLAN FOR EXTENTS, AND ARCHITECTURAL DWGS FOR TYPICAL GUTTER & FASCIA DETAILS.

WALL CLADDING SHALL BE INSTALLED IN ACCORDANCE WITH PART 7.5 OF THE NCC. ALL FIBRE CEMENT CLADDING / FLASHINGS SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATION. FLASHING TO WALL OPENINGS SHALL ALSO COMPLY WITH PART 7.5.6 OF THE NCC, USING MATERIALS THAT COMPLY WITH AS/NZS 2904. REFER TO ARCHITECTURAL DRAWINGS FOR TYPICAL DETAILS.

ALL WINDOWS AND INTERNAL GLAZING SHALL BE TAGGED OR CERTIFIED COMPLIANT WITH AS1288 (safety) AND AS2047(weatherproofing). GLAZING SHALL ALSO COMPLY WITH PART 8.1-8.4 OF THE NCC.

WATERPROOFING OF ALL INTERNAL WET AREAS SHALL BE IN ACCORDANCE WITH PART 10.2 OF THE NCC, AND AS3740 - WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS. PROVIDE THE FOLLOWING AS A MINIMUM SUBSTRATE TO:-
 WALLS - 6mm 'HARDIES VILLABOARD' FIBRE CEMENT SHEET, OR 10mm W/R PLASTERBOARD.
 FLOORS - CONCRETE SLAB, OR 19mm 'HARDIES SCYON SECURA' WET AREA FLOORING OVER TIMBER FLOOR FRAME.

ROOM HEIGHTS SHALL COMPLY WITH PART 10.3 OF THE NCC. MINIMUM CEILING HEIGHTS SHALL BE GENERALLY 2.4m, UNLESS IN A KITCHEN, HALL, BATHROOM, LAUNDRY OR GARAGE, WERE A MINIMUM OF 2.1m IS ACCEPTABLE. MINIMUM CEILING HEIGHTS ABOVE THE NOSINGS OF STAIR TREADS MUST BE 2.0m CLEAR.

PROVIDE ARTIFICIAL LIGHTING TO ALL ROOMS IN ACCORDANCE WITH PART 10.5.2. AND AS/NZS 1680.0. REFER TO REFLECTED CEILING PLAN. NOTE: - FINAL LIGHTING LAYOUT TO BE CO-ORDINATED BETWEEN THE OWNER AND BUILDER.

ALL RELEVANT BUILDING WORKS SHALL COMPLY WITH PART 13 (energy efficiency) OF THE NCC. GARAGE AREAS ARE NOT REQUIRED TO COMPLY WITH THIS SECTION.

ALL BULK & THERMAL INSULATION MUST COMPLY WITH AS/NZS 4859.1, AND SHALL BE INSTALLED IN ACCORDANCE WITH NCC 2019 PART 3.12, TO FORM A CONTINUOUS BARRIER WITH THE ROOF, CEILINGS, WALLS & FLOORS.

REQUIRED MINIMUM TOTAL R-VALUES (climate zone 7) SHALL BE AS FOLLOWS:-
 a. ROOF AND/OR CEILINGS - R5.1
 b. WALLS - R2.8
 c. FLOORS (suspended and enclosed) - R2.75
 REFER TO ARCHITECTURAL DRAWINGS FOR TYPICAL CONSTRUCTION DETAILS.

EXTERNAL GLAZING SHALL COMPLY WITH NCC 2019 PART 3.12. REFER TO THE WINDOW SCHEDULE AND ENERGY ASSESSMENT PROVIDED BY OTHERS FOR TYPE OF GLAZING AND WINDOW FRAMES TO BE INSTALLED. BUILDER TO CONFIRM AVAILABILITY OF SPECIFIED GLASS.

BUILDING SEALING MUST COMPLY WITH NCC 2019 PART 3.12. ROOFS, EXTERNAL WALLS, FLOORS, WINDOWS AND DOORS WITHIN THE EXTERNAL FABRIC OF THE BUILDING SHALL BE CONSTRUCTED TO MINIMISE AIR LEAKAGE. REFER TO ARCHITECTURAL DRAWINGS FOR TYPICAL DETAILS.

INSTALL CLOSE FITTING ARCHITRAVE, SKIRTING OR CORNICE, OR EXPANDING FOAM, RUBBER COMPRESSIVE STRIP, CAULKING OR THE LIKE.

HOT WATER SUPPLY SYSTEM SHALL BE DESIGNED & INSTALLED IN ACCORDANCE WITH SECTION 8 OF AS/NZS 3500.4 OR CLAUSE 3.38 OF AS/NZS 3500.5 .

COLD WATER SUPPLY PIPING WITHIN 500mm OF THE CONNECTION TO THE HOT WATER STORAGE UNIT MUST BE INSULATED WITH 19mm OF CLOSED CELL POLYMER (inside building) WITH A MINIMUM THERMAL RATING OF R0.9; or 25mm OF CLOSED CELL POLYMER (outside building) WITH A MINIMUM THERMAL RATING OF R1.3

WHS REGULATIONS 2012

WORKPLACE HEALTH & SAFETY REGULATIONS 2012 (WHS REGULATIONS) REQUIRE THERE TO BE A PRINCIPAL CONTRACTOR (THE BUILDER) FOR ANY PROJECT WITH A CONSTRUCTION VALUE OVER \$250,000.

THE BUILDER SHALL SAFELY CARRY OUT ALL WORK IN ACCORDANCE WITH WHS REGULATIONS. THE WHS REGULATIONS REQUIRE THAT BEFORE STARTING WORK THE BUILDER MUST IDENTIFY ALL OF THE HIGH RISK CONSTRUCTION WORK THAT WILL BE UNDERTAKEN. DEVELOP SAFE WORK METHOD STATEMENTS FOR THESE, AND ENSURE THAT ALL WORK IS CARRIED OUT IN ACCORDANCE WITH THEM.

POWER SUPPLY
 WHERE WORK IS IN PROXIMITY TO OVERHEAD POWER LINES, THE BUILDER SHALL FORM AN APPROPRIATE SAFE WORK STRATEGY. WHERE THE EXISTING POWER SUPPLY NEEDS TO BE RELOCATED, THE BUILDER SHALL CONSULT WITH 'AURORA' & ALL OTHER RELEVANT AUTHORITIES. POWER LINE RELOCATION SHALL BE CONDUCTED IN A SAFE MANNER, AND IN ACCORDANCE WITH ALL RELEVANT STANDARDS & REGULATIONS.

CONSTRUCTION WORK - CODE OF PRACTICE
 THE CODE OF PRACTICE FOR CONSTRUCTION WORK IS AN APPROVED CODE OF PRACTICE UNDER SECTION 274 OF THE WORK HEALTH & SAFETY ACT (the WHS Act).

AN APPROVED CODE OF PRACTICE IS A PRACTICAL GUIDE TO ACHIEVING THE STANDARDS OF HEALTH, SAFETY AND WELFARE REQUIRED UNDER THE WHS ACT AND THE WORK HEALTH & SAFETY REGULATIONS (WHS regulations).

THE CODE PROVIDES GUIDANCE TO PRINCIPAL CONTRACTORS AND OTHER PERSONS CONDUCTING A BUSINESS OR UNDERTAKING, WHO CARRYOUT CONSTRUCTION WORK, ON HOW TO MEET THE HEALTH & SAFETY REQUIREMENTS UNDER THE WHS ACT & REGULATIONS RELATING TO CONSTRUCTION WORK.

THE CODE SHOULD BE READ IN CONJUNCTION WITH OTHER CODES OF PRACTICE ON SPECIFIC HAZARDS AND CONTROL MEASURES RELEVANT TO THE CONSTRUCTION INDUSTRY INCLUDING (but not limited to):-

- DEMOLITION WORK
- EXCAVATION WORK
- MANAGING ELECTRICAL RISK AT THE WORKPLACE
- MANAGING THE RISK OF FALLS AT WORKPLACES
- MANAGING NOISE AND PREVENTING HEARING LOSS AT WORK
- PREVENTING FALLS IN HOUSING CONSTRUCTION
- CONFINED SPACES
- HAZARDOUS MANUAL TASKS
- FIRST AID IN THE WORKPLACE
- SAFE DESIGN OF STRUCTURES

A COPY OF THE CODE OF PRACTICE FOR CONSTRUCTION WORK CAN BE DOWNLOADED FROM THE FOLLOWING LINK:-
<http://www.safeworkaustralia.gov.au/sites/swa/about/publications/pages/construction-work>

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PROJECT:
RETROSPECTIVE APPLICATION

No. 123 WOODGUTTERS ROAD
 TOLMANS HILL

S. DENNIS

DATE: JUN 2024
 PROJECT No: 1893

ISSUE REV:
 A. DA ISSUE 15.5.24
 B. ADDITIONAL INFO 11.6.24

TITLE:
GENERAL NOTES

SCALE: N/A (A3)
 DRAWING No:

A03

SHEET: 3 OF 14

BUILDING REGULATIONS 2016 EXCERPT FROM PART 3 - PERFORMANCE OF WORK GENERALLY

14. PREVENTION OF NUISANCES WHEN PERFORMING WORK
- (1) IN THIS REGULATION - NUISANCE INCLUDES DIRT, DUST, FUMES, NOISE, SMOKE, BUILDING AND PLUMBING MATERIALS, SEWAGE AND CONCENTRATION OF WATER.
 - (2) A PERSON PERFORMING WORK ON PREMISES MUST NOT ALLOW A NUISANCE THAT IS CAUSED BY THE WORK, OR HAS OCCURRED IN THE COURSE OF THE WORK -
 - (a) TO BECOME A RISK OR THREAT TO PUBLIC HEALTH; OR
 - (b) TO ADVERSELY AFFECT AN OWNER, OCCUPIER OR USER OF PREMISES ADJOINING THE PREMISES WHERE THE WORK IS BEING PERFORMED.
15. REQUIREMENTS FOR DEMOLITION PERFORMED AS PART OF WORK
- (1) A PERSON MUST NOT DEMOLISH, OR REMOVE, A BUILDING AS PART OF BUILDING WORK OR DEMOLITION WORK UNLESS HE OR SHE HAS -
 - (a) REMOVED, IN ACCORDANCE WITH THE ACT OR ANY OTHER ACT, ALL KNOWN HAZARDOUS SUBSTANCES AND MATERIALS FROM THE PREMISES, WHERE THE WORK IS TO BE PERFORMED; AND
 - (b) RECEIVED WRITTEN ADVICE FROM -
 - (i) EACH RELEVANT ELECTRICITY ENTITY THAT SUPPLIES ELECTRICITY TO THE BUILDING, THAT -
 - (A) ALL SUPPLY OF ELECTRICITY TO THE BUILDING HAS BEEN DISCONNECTED; AND
 - (B) ALL AERIAL OR UNDERGROUND ELECTRICITY SUPPLY CABLES HAVE BEEN REMOVED; AND
 - (ii) EACH RELEVANT GAS ENTITY THAT SUPPLIES GAS TO THE BUILDING, THAT -
 - (A) ALL SUPPLY OF GAS TO THE BUILDING HAS BEEN DISCONNECTED; AND
 - (B) ALL SUPPLY LINES FOR GAS HAVE BEEN REMOVED; AND
 - (iii) PROVIDED WRITTEN NOTIFICATION TO THE FOLLOWING PERSONS, OR ENSURED THAT THE FOLLOWING PERSONS HAVE RECEIVED WRITTEN NOTIFICATION, IN RESPECT OF THE FOLLOWING MATTERS:
 - (i) THE GENERAL MANAGER OF THE RELEVANT MUNICIPAL AREA IN RESPECT OF THE TIMETABLE FOR CAPPING ANY STORMWATER SERVICES ON THE PREMISES AS PART OF THE WORK;
 - (ii) THE RELEVANT REGULATED ENTITY IN RESPECT OF THE TIMETABLE IN WHICH -
 - (A) ALL SEWERS ON THE PREMISES WILL BE CAPPED AS PART OF THE WORK; AND
 - (B) ALL WATER SUPPLY LINES ON THE PREMISES WILL BE SEALED OFF AS PART OF THE WORK;
 - (iii) THE CHIEF OFFICER IN RESPECT OF THE TIMETABLE IN WHICH -
 - (A) ALL TELEPHONE LINES, OR OTHER SIGNALING DEVICES, ASSOCIATED WITH THE MONITORING OF FIRE PROTECTION EQUIPMENT MONITORED BY THE TASMANIA FIRE SERVICE ON THE PREMISES WILL BE DISCONNECTED AS PART OF THE WORK; AND
 - (B) THE WATER SUPPLY TO THE BUILDING, OR WATER SUPPLY DEVICE, BOOSTER OR OTHER ASSEMBLY ASSOCIATED WITH FIRE PROTECTION EQUIPMENT ON THE PREMISES, WILL BE REMOVED, DISMANTLED OR ALTERED AS PART OF THE WORK; AND
 - (C) ALL OCCUPANT SAFETY SYSTEMS INCLUDING EMERGENCY WARNING INTERCOMMUNICATION SYSTEMS, AIR-HANDLING SYSTEMS, STAIRWELL PRESSURISATION SYSTEMS OR SMOKE OR FIRE DOORS ON THE PREMISES WILL BE REMOVED, DISMANTLED OR ALTERED AS PART OF THE WORK.
 - (2) A PERSON MUST NOT, AS PART OF PERMIT BUILDING WORK OR PERMIT DEMOLITION WORK, DEMOLISH OR REMOVE A BUILDING IN WHICH ESSENTIAL BUILDING SERVICES THAT ARE FIRE SAFETY REQUIREMENTS ARE PRESENT UNLESS HE OR SHE HAS PROVIDED THE CHIEF OFFICER WITH A COPY OF THE RELEVANT PERMIT NO LATER THAN THE SPECIFIED PERIOD BEFORE THE WORK IS TO BE PERFORMED.
 - (3) A PERSON, WHEN DEMOLISHING OR REMOVING A BUILDING AS PART OF BUILDING WORK OR DEMOLITION WORK, MUST ENSURE THAT -
 - (a) ALL REASONABLE STEPS ARE TAKEN AT EACH POINT IN THE WORK TO PREVENT BUILDING MATERIALS AND DEBRIS FALLING ONTO OR INTO -
 - (i) A PLACE WHICH IS OPEN TO MEMBERS OF THE PUBLIC; AND
 - (ii) PREMISES ADJACENT TO THE PREMISES WHERE THE DEMOLITION IS BEING PERFORMED; AND
 - (b) THE POSITIONS OF CAPPED SEWER AND STORMWATER SERVICES, AND SEALED-OFF WATER SUPPLY LINES, ARE CLEARLY MARKED AT THE PREMISES; AND
 - (c) ON COMPLETION OF THE DEMOLITION OR REMOVAL -
 - (i) THE SITE OF THE DEMOLITION OR REMOVAL IS CLEAN AND TIDY; AND
 - (ii) ALL GLASS, OR OTHER DANGEROUS OR HAZARDOUS MATERIALS, THAT IS DEBRIS FROM THE DEMOLITION OR REMOVAL HAS BEEN REMOVED FROM THE PREMISES.

16. PROTECTION WORK TO BE PERFORMED IN CERTAIN CIRCUMSTANCES FOR THE PURPOSES OF SECTION 76 OF THE ACT, IF WORK BEING PERFORMED UNDER THE ACT -
- (a) INVOLVES, OR CAUSES, AN EXCAVATION OR VOID; AND
 - (b) THE DIRECTOR OF BUILDING CONTROL DETERMINES THAT THE EXCAVATION OR VOID IS A DANGER TO THE PUBLIC -
- A GUARD MUST BE PROVIDED, AS PART OF THE PROTECTION WORK TO BE PERFORMED UNDER THE ACT IN RESPECT OF THE WORK, TO ENSURE THAT MEMBERS OF THE PUBLIC DO NOT GAIN UNAUTHORISED ACCESS TO THE EXCAVATION OR VOID.

- REQUIREMENTS BEFORE BUILDING DEMOLITION OR REMOVAL - ASBESTOS
- (1) A PERSON MUST NOT DEMOLISH OR REMOVE A BUILDING UNLESS THE PERSON HAS -
 - (a) TAKEN ALL REASONABLY PRACTICABLE STEPS TO IDENTIFY THE PRESENCE OF ASBESTOS IN THE BUILDING; AND
 - (b) COMPLIED WITH CHAPTER 8 OF THE WORK HEALTH AND SAFETY REGULATIONS 2012.
 - (2) A PERSON MUST NOT REMOVE A BUILDING UNLESS THE PERSON HAS REMOVED ALL ASBESTOS (INCLUDING MATERIAL IDENTIFIED AS CONTAINING ASBESTOS) FROM THE BUILDING IN ACCORDANCE WITH CHAPTER 8 OF THE WORK HEALTH AND SAFETY REGULATIONS 2012.

DRAWING ABBREVIATIONS

- a. AWNING WINDOW.
- BCA NATIONAL CONSTRUCTION CODE (VOLUME 2) - BUILDING CODE OF AUSTRALIA 2019.
- BLDG. BUILDING
- CONC. CONCRETE.
- C.J. CONTROL JOINT.
- COL. COLUMN (unless noted as SHS).
- DIA. DIAMETER.
- DWG. No. DRAWING NUMBER.
- ELEV. ELEVATION.
- ELEC. ELECTRICAL.
- f. FIXED WINDOW.
- F.C.L. FINISHED CEILING LEVEL.
- F.F.L. FINISHED FLOOR LEVEL.
- GALV. GALVANISED.
- MIN. MINIMUM.
- MAX. MAXIMUM.
- No. NUMBER OF (.....)
- N.T.S. NOT TO SCALE.
- N.G.L. NATURAL GROUND LEVEL.
- O/A. OVERALL DIMENSION.
- s. SLIDING WINDOW.
- sd. GLAZED SLIDING DOOR PANEL.
- S/S. STAINLESS STEEL.
- TYP. TYPICAL.
- U.N.O. UNLESS NOTED OTHERWISE.
- U/S. UNDERSIDE OF (.....)
- vty. VANITY UNIT.

GENERAL NOTES

WHEN CARRYING OUT THE BUILDING WORK, A BUILDER (or owner builder) SHOULD BE FAMILIAR WITH GENERAL CONSTRUCTION PRACTICES, THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA (BCA), AS WELL AS LOCAL COUNCIL RULES/REGS.

A COPY OF ALL PLANNING, BUILDING & PLUMBING PERMITS, AND DRAWINGS STAMPED "APPROVED" BY THE LOCAL AUTHORITY MUST BE KEPT ON SITE.






DEMOLITION WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH AUSTRALIAN STANDARD AS2601: THE DEMOLITION OF STRUCTURES, AND SAFE WORK AUSTRALIA CODE OF PRACTICE - DEMOLITION WORK.

EXISTING SERVICES: - BEFORE STARTING DEMOLITION, LOCATE AND MARK ALL EXISTING UNDERGROUND SERVICES IN THE AREAS WHICH WILL BE AFFECTED BY THE DEMOLITION OPERATIONS.

UTILITY SERVICES: - CONTACT DIAL BEFORE YOU DIG TO IDENTIFY LOCATION OF UNDERGROUND UTILITY SERVICES PIPES AND CABLES. DO NOT EXCAVATE BY MACHINE WITHIN 1.00m OF EXISTING UNDERGROUND SERVICES.

ASBESTOS REMOVAL SHALL BE CARRIED OUT BY A SUITABLY LICENSED PERSON. SAMPLES HAVE BEEN TAKEN FROM THE SITE (eaves soffit lining), ANALYSED AND IDENTIFIED IN A REPORT PROVIDED BY 'IPM CONSULTING SERVICES'.

GENERAL DRAWING KEY

-  EXISTING WALL TO REMAIN IN PLACE.
-  UN-APPROVED DRY STAKED STONE RETAINING WALL; MAXIMUM HEIGHTS AS NOTED ON PLAN.
-  CENTRE LINE OF BUILDING ELEMENT.
-  BUILDING CROSS SECTION TAG.
-  DETAIL NUMBER TAG.

MATT GILLEY
 BUILDING DESIGNER

PO BOX 254 LINDSFARNE
 TASMANIA 7015
 matt.gilley@tbgood.com
 0437 499 038
 LICENCE NO. CC5089C

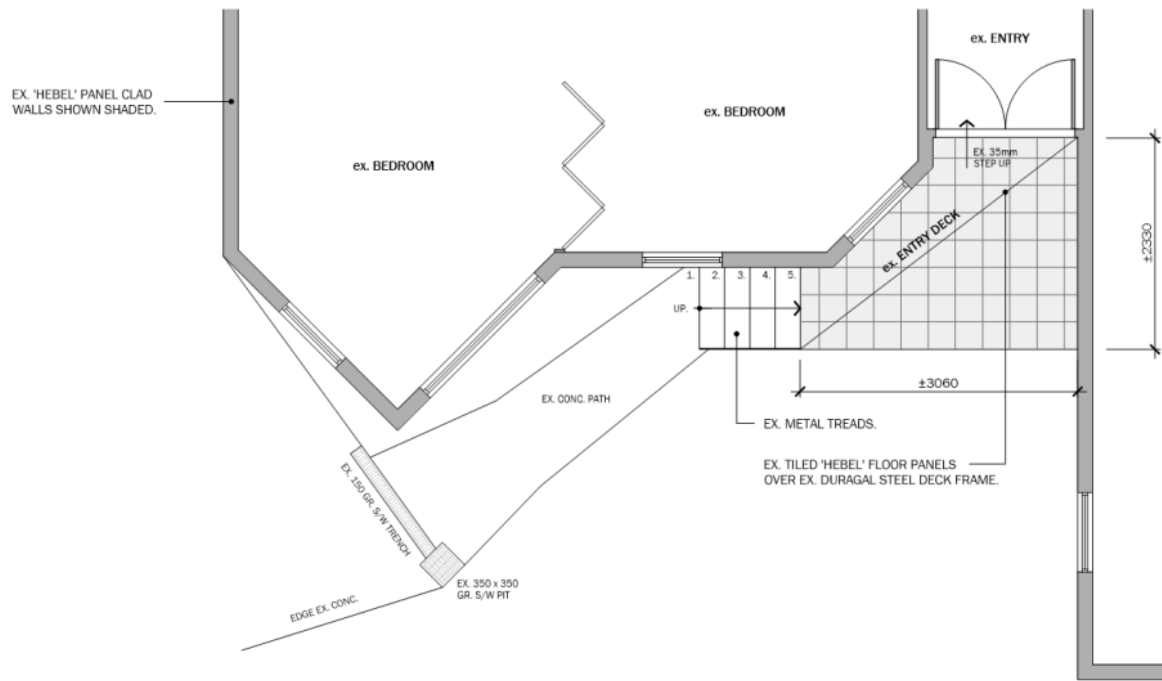
PROJECT:
RETROSPECTIVE APPLICATION
 No. 123 WOODGITTERS ROAD
 TOLMANS HILL
S. DENNIS
 DATE: JUN 2024
 PROJECT NO: 1893
 ISSUE REV:
 A. DA ISSUE: 15.5.24
 B. ADDITIONAL INFO: 11.8.24

TITLE:
GENERAL NOTES

SCALE: N/A (A3)
 DRAWING NO:

A04

SHEET: 4 OF 14



DECK PLAN 1:50
EXISTING - PRIOR TO UNAPPROVED WORK

MATT GILLEY
BUILDING DESIGNER

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TAGMANKA 7015
matt.gilley@sigsond.com
0437 490 238
LICENCE NO. CC38890C

PROJECT:
RETROSPECTIVE APPLICATION

No. 123 WOODCUTTERS ROAD
TOLMANS HILL

S. DENNIS
DATE: JUN 2024
PROJECT NO: 1893

ISSUE/REV:
A. DA ISSUE. 15.5.24
B. ADDITIONAL INFO. 11.6.24

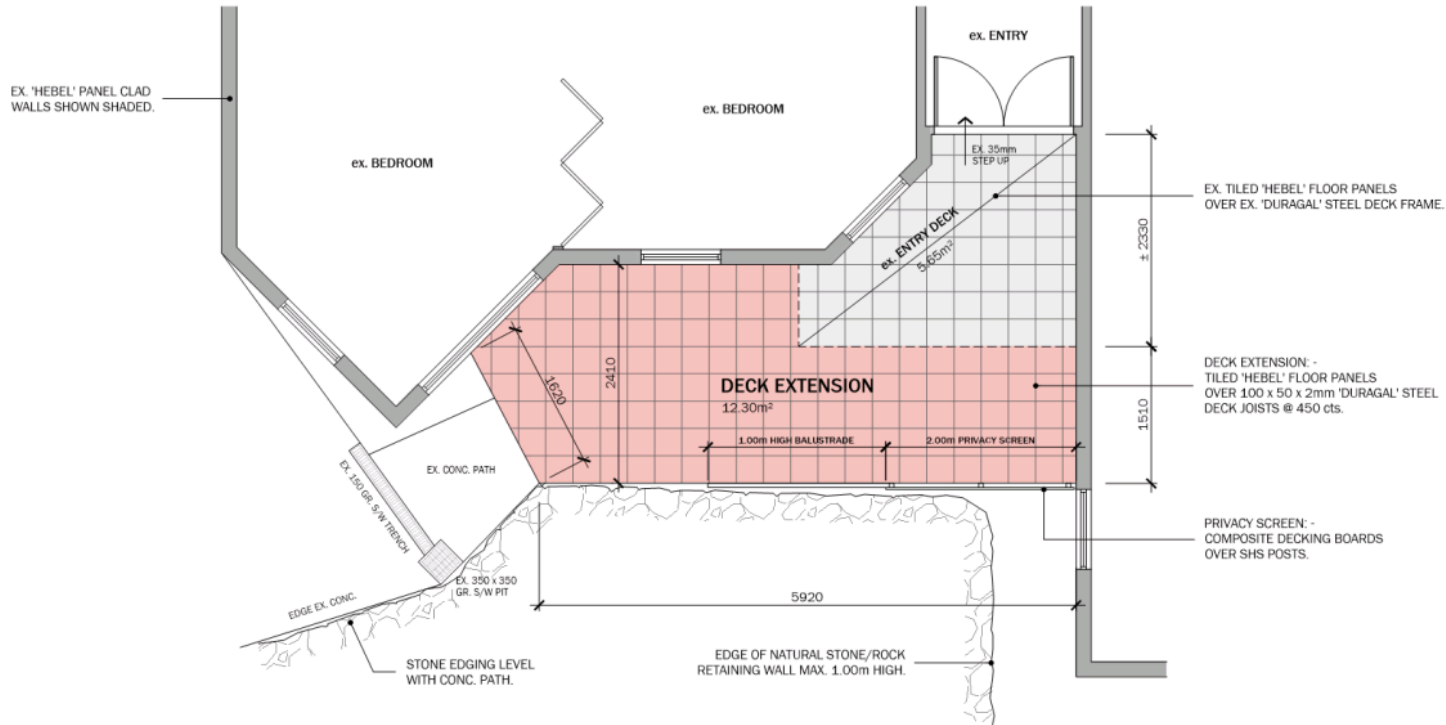


TITLE:
EXISTING DECK PLAN

SCALE: 1:50 (A3)
DRAWING NO:

A05

SHEET: 5 OF 14



DECK PLAN 1:50
 'AS CONSTRUCTED' UNAPPROVED WORK

MATT GILLEY
 BUILDING DESIGNER

PO BOX 224 LINDISFARNE
 TASMANIA 7015
 matt.gilley@bigpond.com
 0437 499 238
 LICENCE NO. CC058862

PROJECT:
RETROSPECTIVE APPLICATION

No. 123 WOODCUTTERS ROAD
 TOLMANS HILL

S. DENNIS

DATE: JUN 2024
 PROJECT NO: 1893

ISSUE/REV:
 A. 04 ISSUE 15.5.24
 B. ADDITIONAL INFO 11.8.24

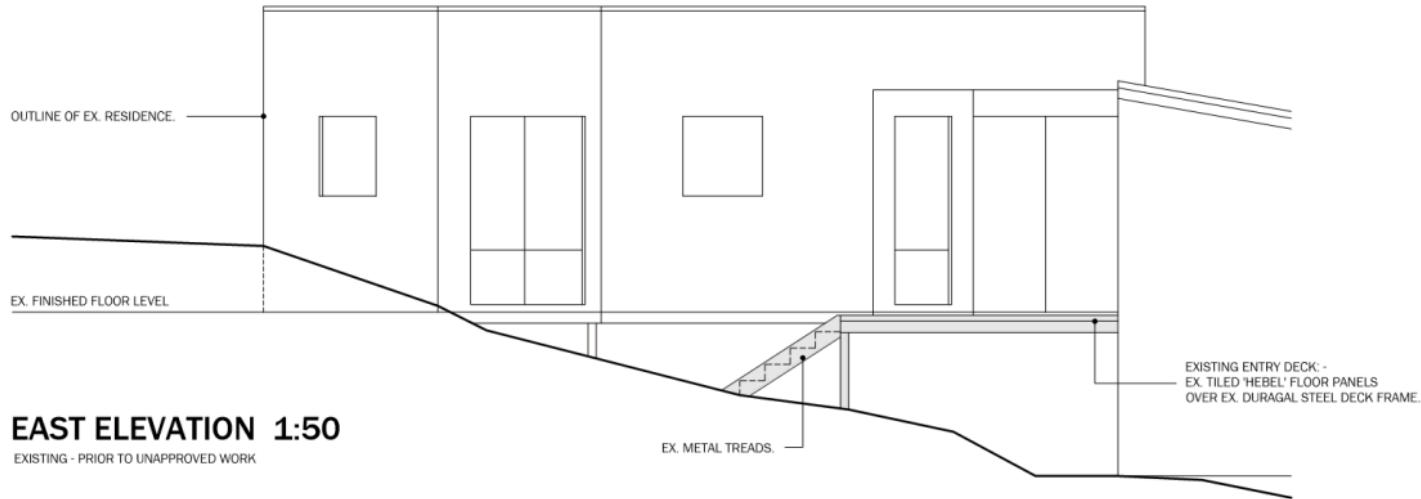


TITLE:
DECK EXTENSION PLAN

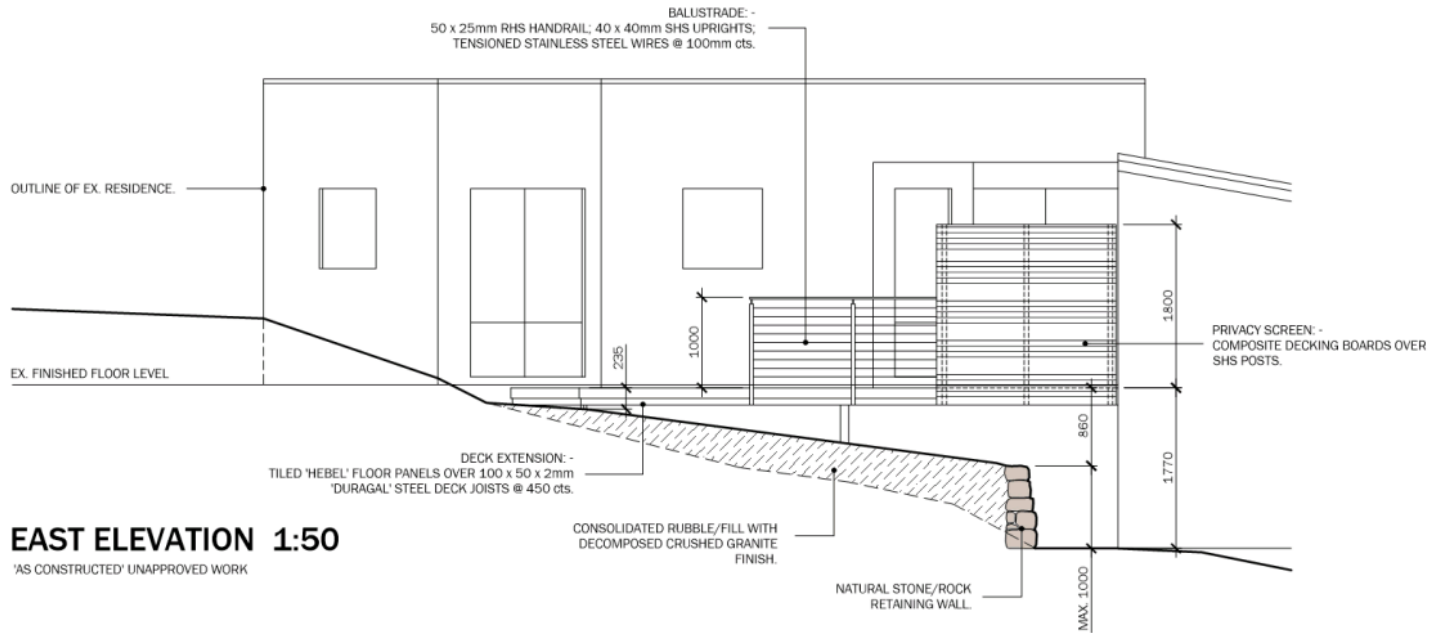
SCALE: 1:50 (A3)
 DRAWING NO:

A06

SHEET: 6 OF 14



EAST ELEVATION 1:50
 EXISTING - PRIOR TO UNAPPROVED WORK



EAST ELEVATION 1:50
 'AS CONSTRUCTED' UNAPPROVED WORK

MATT GILLEY
 BUILDING DESIGNER

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 TASMANIA 7015
 matt.gilley@bigpond.com
 0437 499 238
 LICENCE No. CC59586C

PROJECT:
RETROSPECTIVE APPLICATION
 No. 173 WOODCUTTERS ROAD
 TOLMANS HILL
S. DENNIS
 DATE: JUN 2024
 PROJECT No. 1853
 ISSUE/REV:
 A. DA ISSUE. 15.5.24
 B. ADDITIONAL INFO. 11.5.24

TITLE:
EXTERIOR ELEVATIONS

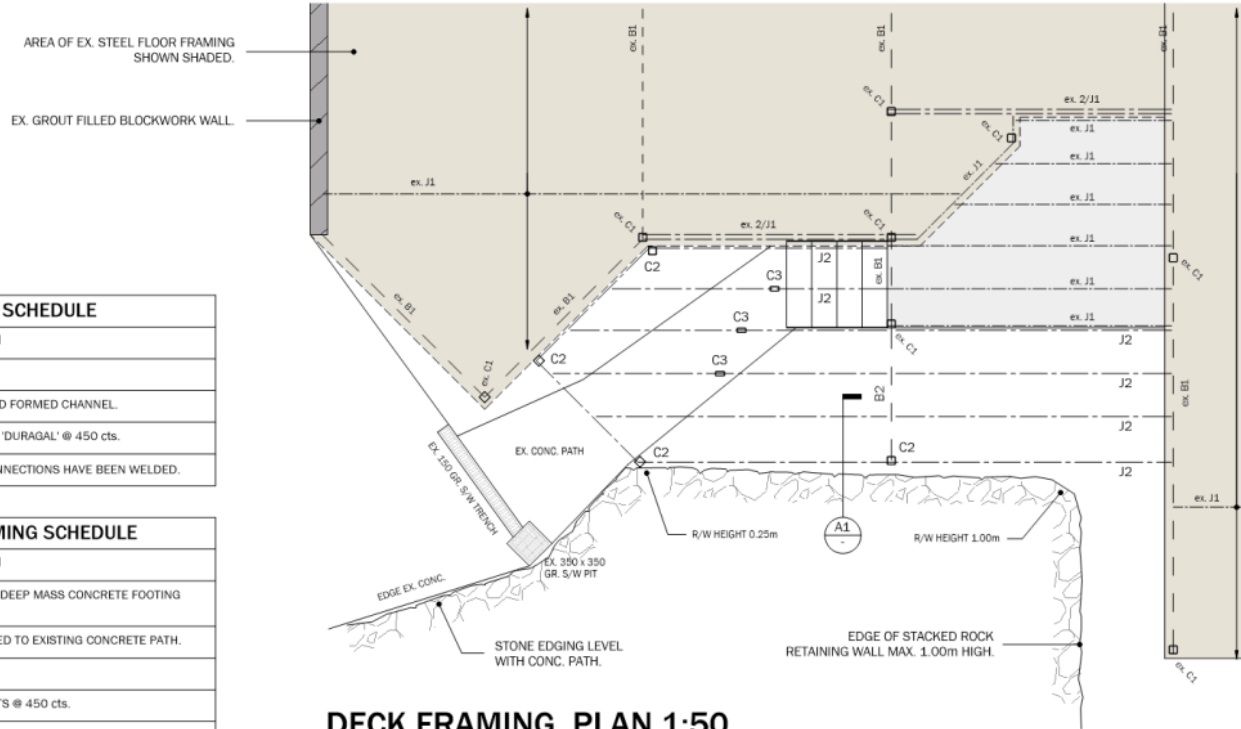
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 DRAWING No:

A07

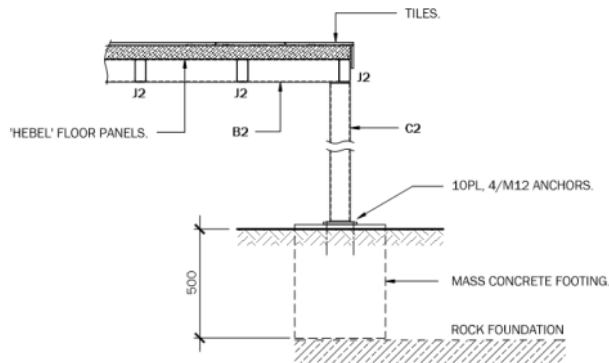
SHEET: 7 OF 14

EXISTING FRAMING SCHEDULE	
MARK	DESCRIPTION
ex. C1	EXISTING COLUMN: - 89 x 3.5mm SHS.
ex. B1	EXISTING BEARER: - 200 x 75 x 6mm COLD FORMED CHANNEL.
ex. J1	EXISTING FLOOR JOIST: - 100 x 50 x 2mm 'DURAGAL' @ 450 cts.
NOTE:- ALL STEELWORK IS GALVANISED AND CONNECTIONS HAVE BEEN WELDED.	

'AS CONSTRUCTED' FRAMING SCHEDULE	
MARK	DESCRIPTION
C2	89 x 3.5mm SHS COLUMN OVER 500mm DEEP MASS CONCRETE FOOTING BEARING ON SANDSTONE FOUNDATION.
C3	100 x 50 x 2mm 'DURAGAL' STUMP BOLTED TO EXISTING CONCRETE PATH.
B2	100 x 50 x 2mm 'DURAGAL' BEARER.
J2	100 x 50 x 2mm 'DURAGAL' @ DECK JOISTS @ 450 cts.
NOTE:- ALL STEELWORK IS GALVANISED AND CONNECTIONS HAVE BEEN WELDED.	



DECK FRAMING PLAN 1:50
 'AS CONSTRUCTED' UNAPPROVED WORK



DECK DETAIL 1:20

MATT GILLEY
 BUILDING DESIGNER

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PROJECT:
RETROSPECTIVE APPLICATION

No. 123 WOODCUTTERS ROAD
 TOLMANS HILL

S. DENNIS
 DATE: JUN 2024
 PROJECT NO: 1880

ISSUE/REV:
 A. DA ISSUE. 15.5.24
 B. ADDITIONAL INFO. 11.8.24

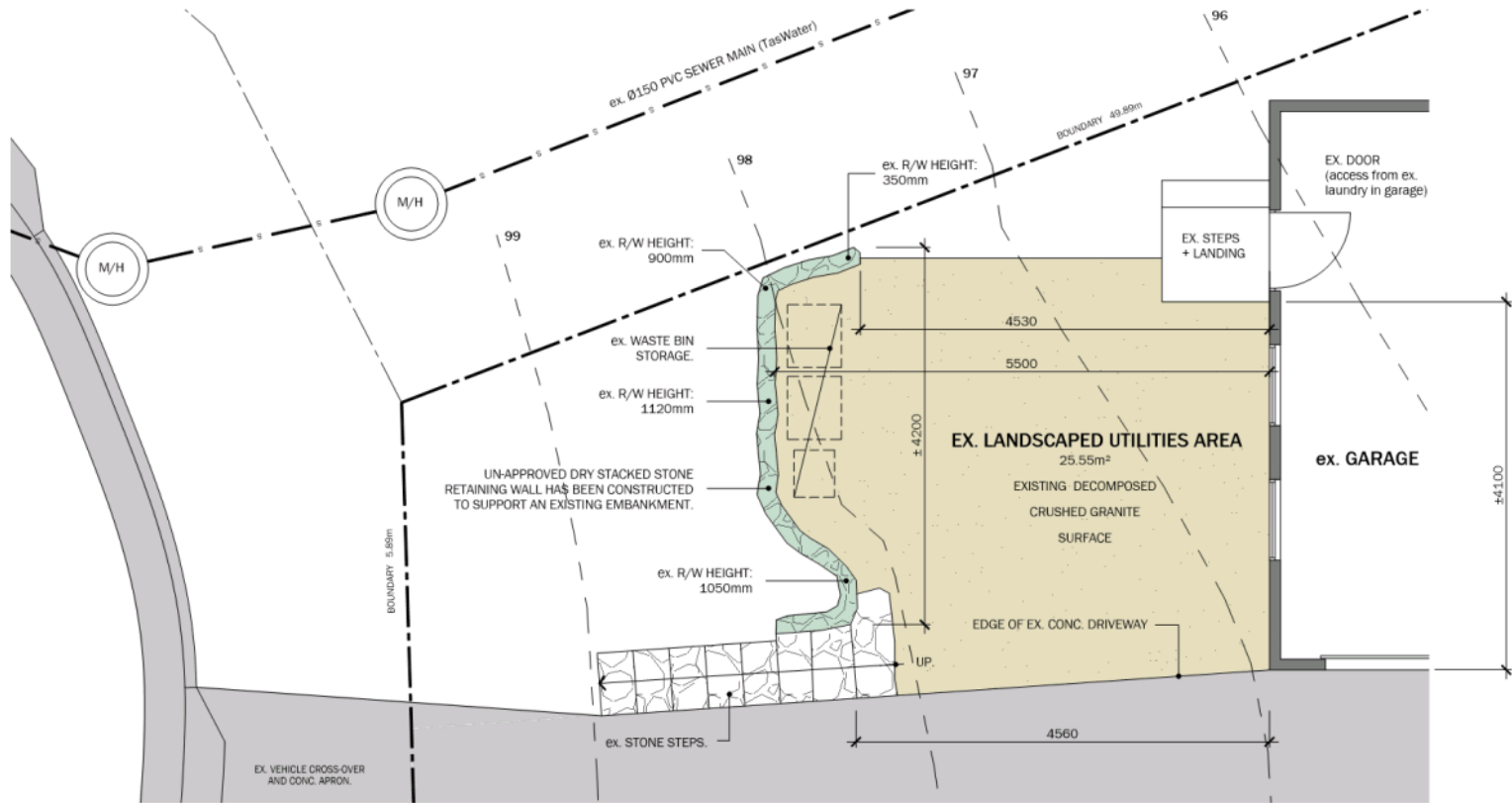


TITLE:
DECK FRAMING PLAN

SCALE: 1:50 (A3)
 DRAWING NO:

A08

SHEET: 8 OF 14



RETAINING WALL PLAN 1:50
'AS CONSTRUCTED' UNAPPROVED WORK - STONE RETAINING WALL

MATT GILLEY
BUILDING DESIGNER

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m.gilley@bigpond.com
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LICENCE NO. CC5088C

PROJECT:
RETROSPECTIVE APPLICATION

No. 123 WOODCUTTERS ROAD
TOLMANS HILL

S. DENNIS
DATE: JUN 2024
PROJECT No. 1880

ISSUE/REV:
A. DA ISSUE. 15.5.24
B. ADDITIONAL INFO. 11.8.24

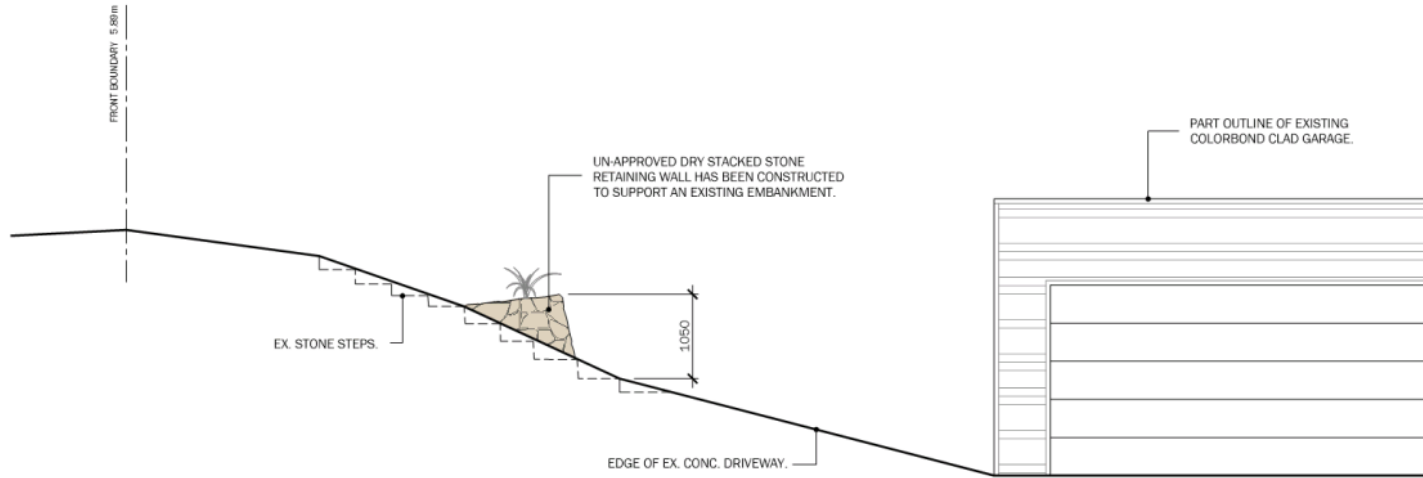


TITLE:
**RETAINING WALL
PLAN - FRONT**

SCALE: 1:50 (A3)
DRAWING No.

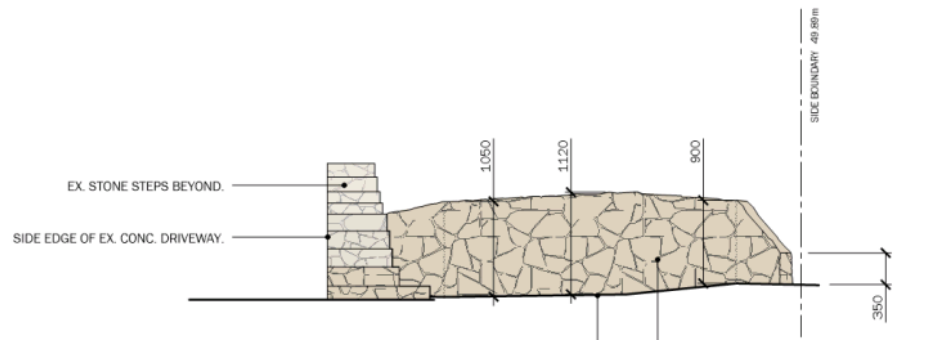
A09

SHEET: 9 OF 14



EAST ELEVATION 1:50

'AS CONSTRUCTED' UNAPPROVED WORK - STONE RETAINING WALL



NORTH ELEVATION 1:50

'AS CONSTRUCTED' UNAPPROVED WORK - STONE RETAINING WALL

MATT GILLEY
 BUILDING DESIGNER

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 0437 499 238
 LICENCE No. CC0888C

PROJECT:
RETROSPECTIVE APPLICATION

No. 123 WOODCUTTERS ROAD
 TOLMANS HILL

S. DENNIS

DATE: JUN 2024
 PROJECT No. 1893

ISSUE REV:
 A. DA ISSUE. 15.5.24
 B. ADDITIONAL INFO. 11.8.24

TITLE:
RETAINING WALL ELEVATIONS - FRONT

SCALE: 1:50 (A3)
 DRAWING No:

A10

SHEET: 10 OF 14

MATT GILLEY
 BUILDING DESIGNER

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 0437 490 238
 LICENCE No. CC35889C

PROJECT:
RETROSPECTIVE APPLICATION

No. 123 WOODCUTTERS ROAD
 TOLMANS HILL

S. DENNIS
 DATE: JUN 2024
 PROJECT No: 1893

ISSUE/REV:
 A. DA ISSUE 15.5.24
 B. ADDITIONAL INFO. 11.8.24

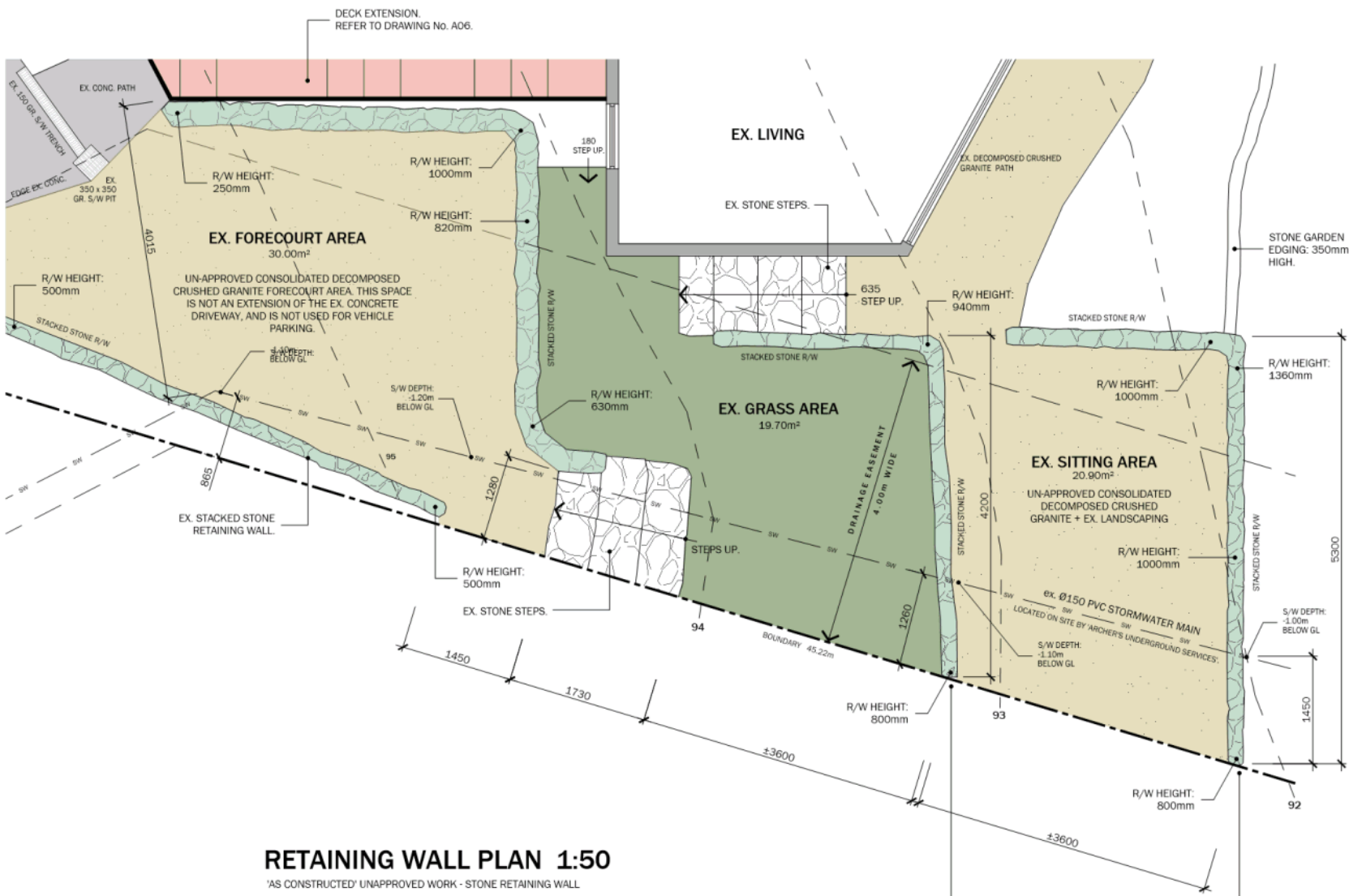


TITLE:
RETAINING WALL PLAN - BACK

SCALE: 1:50 (A3)
 DRAWING No:

A11

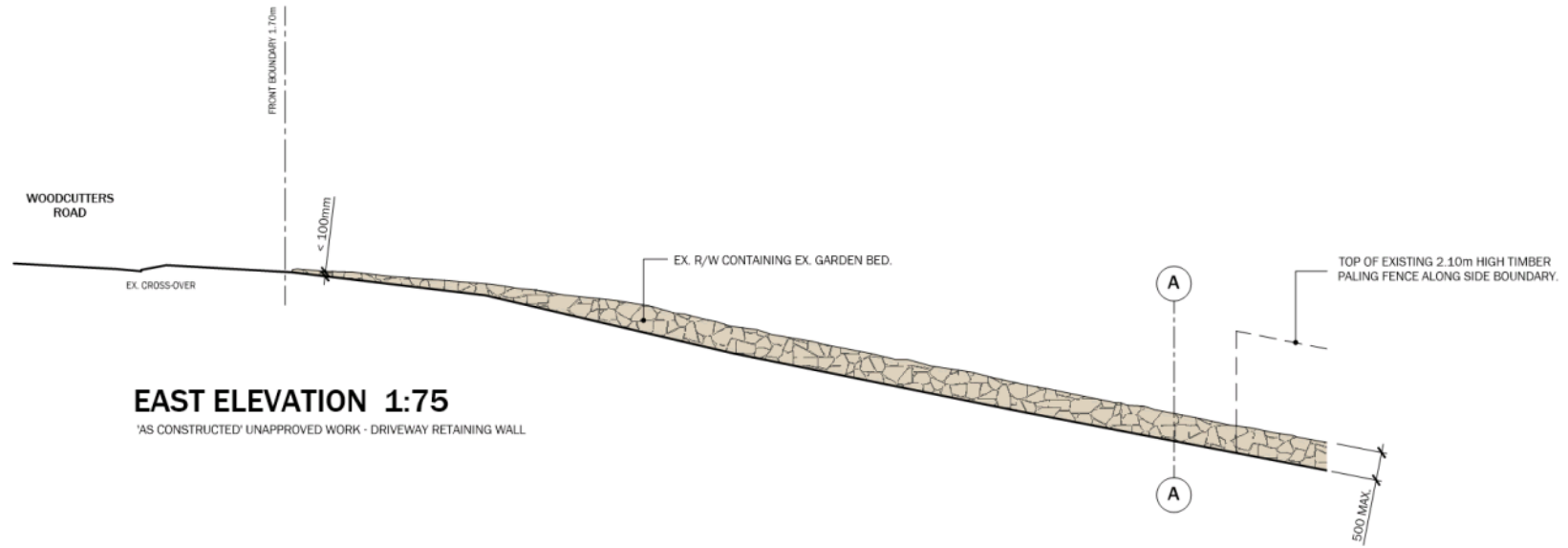
SHEET: 11 OF 14



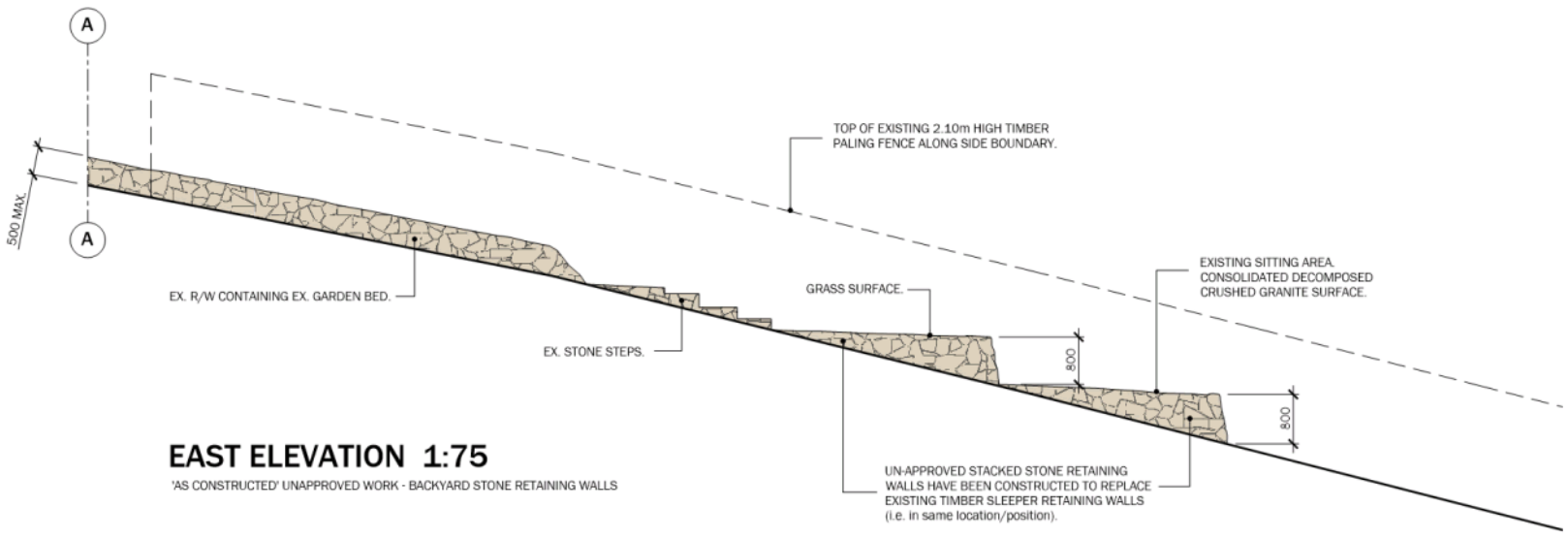
RETAINING WALL PLAN 1:50
 'AS CONSTRUCTED' UNAPPROVED WORK - STONE RETAINING WALL

NOTE: - THE UNAPPROVED STONE RETAINING WALLS DO NOT RELY ON SUPPORT FROM A CONCRETE FOOTING. THEY HAVE BEEN DRY STACKED ON NATURAL G.L. WITH NO EXCAVATION OF MATERIAL BELOW NATURAL SURFACE LEVEL OCCURRING.

UN-APPROVED STACKED STONE RETAINING WALLS HAVE BEEN CONSTRUCTED TO REPLACE EXISTING TIMBER SLEEPER RETAINING WALLS (i.e. in same location/position).



EAST ELEVATION 1:75
 'AS CONSTRUCTED' UNAPPROVED WORK - DRIVEWAY RETAINING WALL



EAST ELEVATION 1:75
 'AS CONSTRUCTED' UNAPPROVED WORK - BACKYARD STONE RETAINING WALLS

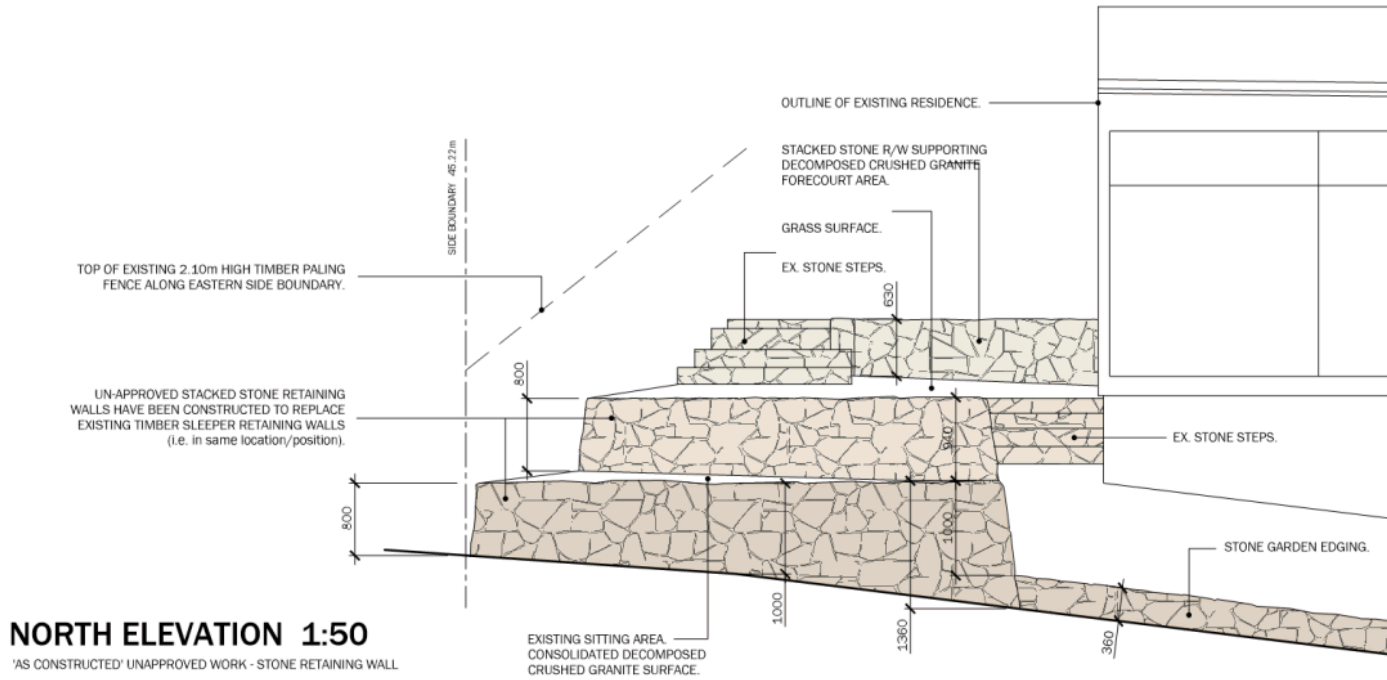
MATT GILLEY
 BUILDING DESIGNER

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 matt.gilley@bigpond.com
 0437 499 238
 LICENCE No. CC5888C

PROJECT:
RETROSPECTIVE APPLICATION
 No. 123 WOODCUTTERS ROAD
 TOLMANS HILL
S. DENNIS
 DATE: JUN 2024
 PROJECT No. 1893
 ISSUE/REV:
 A. DA ISSUE 15.5.24
 B. ADDITIONAL INFO. 17.5.24

TITLE:
RETAINING WALL ELEVATIONS - FRONT/BACK
 SCALE: 1:75 (A3)
 DRAWING No:

A12
 SHEET: 12 OF 14



MATT GILLEY
BUILDING DESIGNER

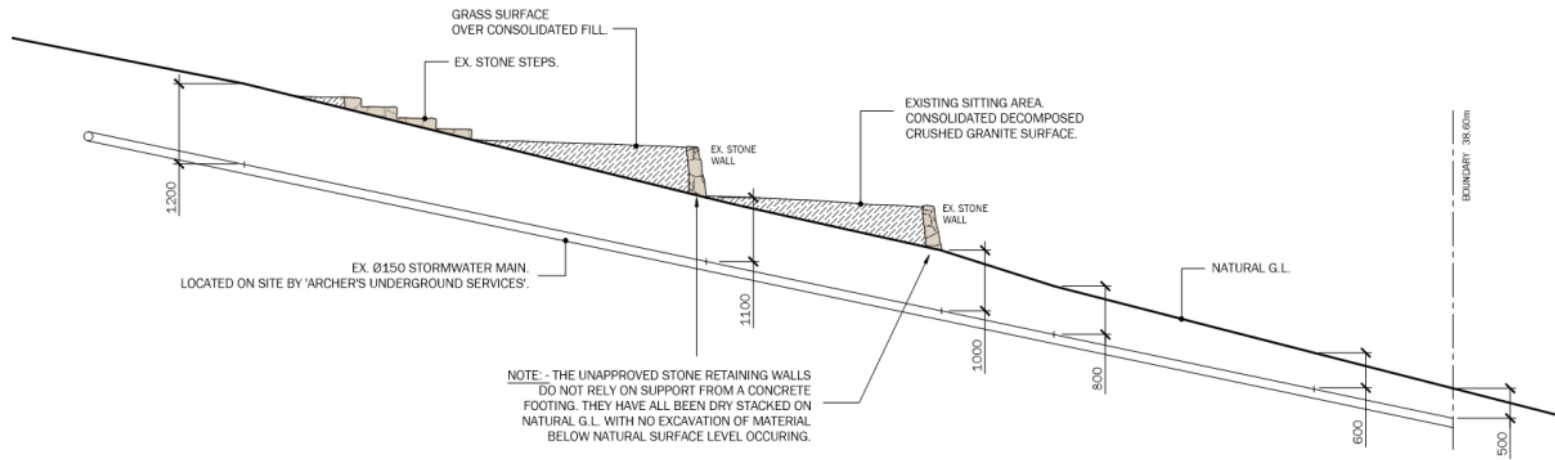
PO BOX 224 LINDISFARNE
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0437 499 238
LICENCE No. CC0588C

PROJECT:
RETROSPECTIVE APPLICATION

No. 123 WOODCUTTERS ROAD
TOLMANS HILL

S. DENNIS
DATE: JUN 2024
PROJECT No. 1893

ISSUE/REV:
A. DA ISSUE 15.5.24
B. ADDITIONAL INFO. 11.8.24



LONG SECTION 1:75

'AS CONSTRUCTED' UNAPPROVED WORK - BACKYARD STONE RETAINING WALLS

TITLE:
LONG SECTION - STORMWATER

SCALE: 1:75 (A3)
DRAWING No:

A14

SHEET: 14 OF 14

IMPORTANT

1. USE WRITTEN DIMENSIONS ONLY.
2. DO NOT SCALE DRAWINGS.
3. THE CONTRACTOR IS TO CHECK ALL LEVELS, DATUMS, AND DIMENSIONS IN RELATION TO THE DRAWINGS AND THE SITE BEFORE PROCEEDING WITH THE WORK OR SHOP DRAWINGS.
4. ENSURE THAT THIS DRAWING AND ANY ACCOMPANYING DETAILS AND SPECIFICATIONS HAVE BEEN STAMPED AS APPROVED BY THE RELEVANT LOCAL AUTHORITY.
5. THE PROPRIETOR IS TO ENSURE THAT ANY 'CONDITIONS OF APPROVAL' ISSUED BY THE BUILDING SURVEYOR, RELEVANT COUNCIL AND OTHER STATUTORY AUTHORITIES ARE PASSED ON TO THE CONTRACTOR BEFORE CONSTRUCTION BEGINS.
6. MATERIALS AND WORKMANSHIP SHALL CONFORM WITH RELEVANT STANDARDS, BUILDING CODE OF AUSTRALIA AND PRODUCT MANUFACTURERS WRITTEN INSTRUCTIONS.
7. ANY ALTERATION TO THE CONSTRUCTION AND/OR MATERIALS INDICATED IN THESE DRAWINGS IS TO BE APPROVED BY THE DESIGNER, THE ENGINEER, THE BUILDING SURVEYOR, AND THE PROPRIETOR BEFORE PROCEEDING WITH THE WORK.
8. IF IN DOUBT, ASK TO CONTACT THE BUILDING DESIGNER AND/OR RELEVANT CONSULTANT.

SITE KEY

- A** EXISTING SPLIT-LEVEL RESIDENCE.
- B** EXISTING GARAGE.
- C** EXISTING CONCRETE DRIVEWAY.
- D** EXISTING GRAVEL PARKING AREA FOR TRAILER. THIS HAS NOT BEEN INSTALLED BY THE CURRENT OWNER. THE OWNER HAS STATED THIS WAS ALREADY IN PLACE BEFORE PURCHASING THE PROPERTY.
- E** UN-APPROVED DRY STAKED STONE RETAINING WALL. MAX. HEIGHTS AS NOTED ON SITE PLAN.
- F** UN-APPROVED CONSOLIDATED GRAVEL FORECOURT AREA. THIS SPACE IS NOT AN EXTENSION OF THE EX. CONCRETE DRIVEWAY, AND IS NOT USED FOR VEHICLE PARKING.
- G** UN-APPROVED CONSOLIDATED GRAVEL SITTING AREA.

SITE IS LOCATED WITHIN THE FOLLOWING ZONES & AREAS OF THE HOBART INTERIM PLANNING SCHEME 2015:-

- 12.0 LOW DENSITY RESIDENTIAL ZONE.
- BIO-DIVERSITY PROTECTION AREA.
- BUSHFIRE PRONE AREA.

NO PROPOSED INCREASE TO EXISTING SITE COVERAGE (i.e. roof area).



LEADER:
 Ag drain ---
 Bracher pipe ①
 Connect to house
 drain pipe ②

WORK SITE ADDRESS: 123 Woodcutters Rd, Williams Hill
Postcode.....

LOCATED Tick	TELSTRA	TAS NETWORK	NBN	TASWATER	storm water	
		QL-.....	QL-.....	QL-.....	QL-.....	QL- B

Sketch of work site & assets located

**DISCLAIMER: Duty of Care. All asset owners guidelines to apply.
Pothole by hand or use Non-destructive Hydro Excavation methods to expose and verify location and depth of all assets.**

Comments/Notes:
storm water 0 - - - - ->







MATT GILLEY | building designerPO BOX 224 LINDISFARNE
TASMANIA 70150437 499 238
matt.gilley@bigpond.comABN: 95 445 885 428
Licence No. GC5666C

Our ref: 1893

15th May, 2024Hobart City Council
16 Elizabeth Street
Hobart TAS 7000**RETROSPECTIVE PLANNING APPLICATION (NCA-24-25)
123 WOODCUTTERS ROAD, TOLMANS HILL (CT-133969/2)**

Dear Council Planner,

This letter forms part of a new Planning Application for the above development in response to Council's "Building Notice" NCA-24-25 for un-approved building works.

The un-approved work comprises of several stacked stone retaining walls, some slightly over 1.00m in height, and an extension to the existing front entry deck.

The owner/applicant has pointed out the following: -

- The existing gravelled area at the front of the existing garage was already in place before the current owner purchased the property. The gravel is used for trailer parking, and storage of three (3) plastic waste collection bins.
- The gravel forecourt area in front of the deck extension is not an extension of the existing concrete driveway, and is not used for vehicle parking.
- The stacked stone retaining walls in the backyard to replace existing timber sleeper retaining walls in the same location. The two terraced sitting areas were in place at the time of purchasing the property.

If you would like to discuss any of the information provided, please feel free to contact me directly – 0437 499 238.
Thank you.

Yours sincerely,



Matthew Gilley
Building Designer











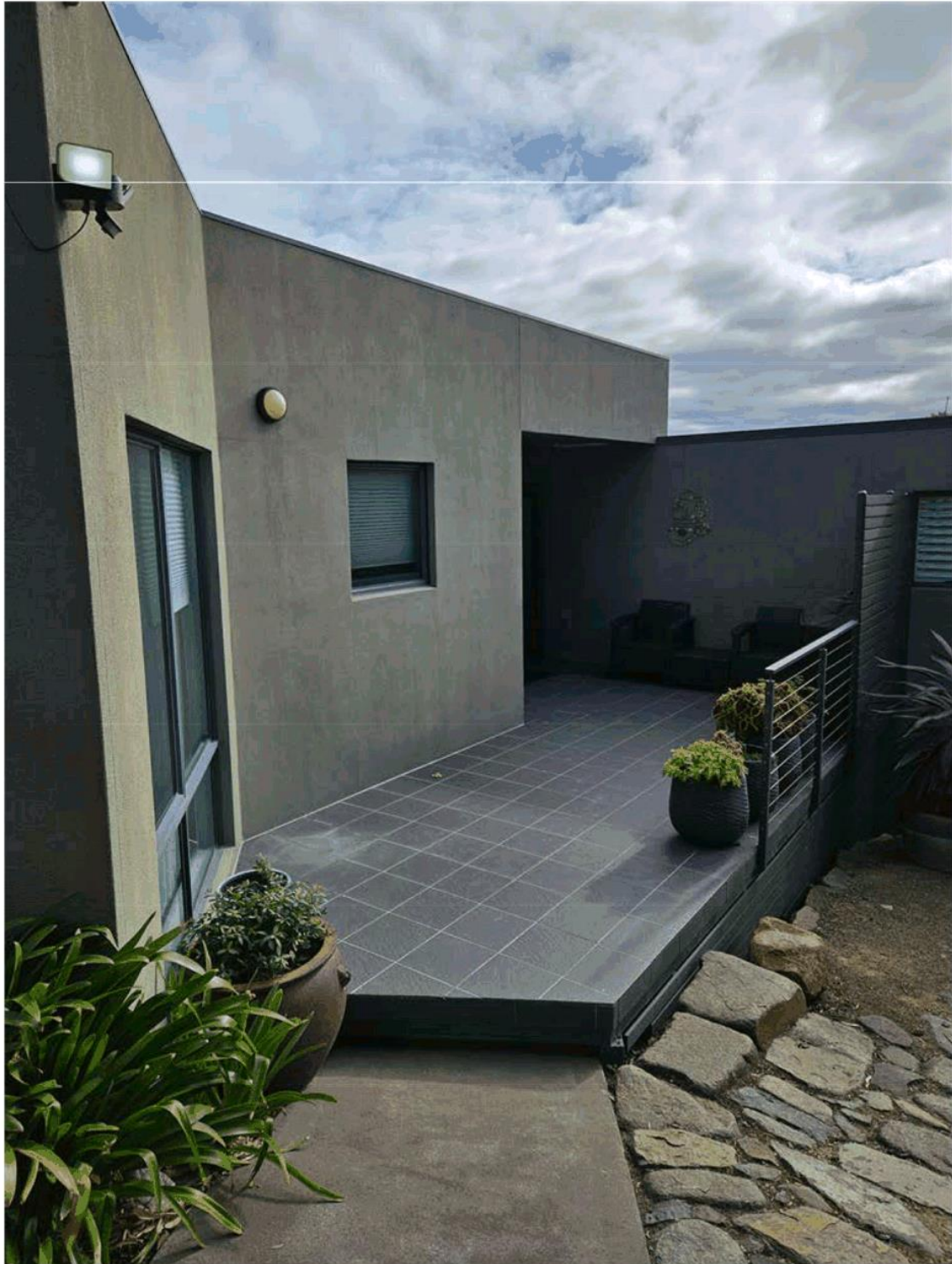




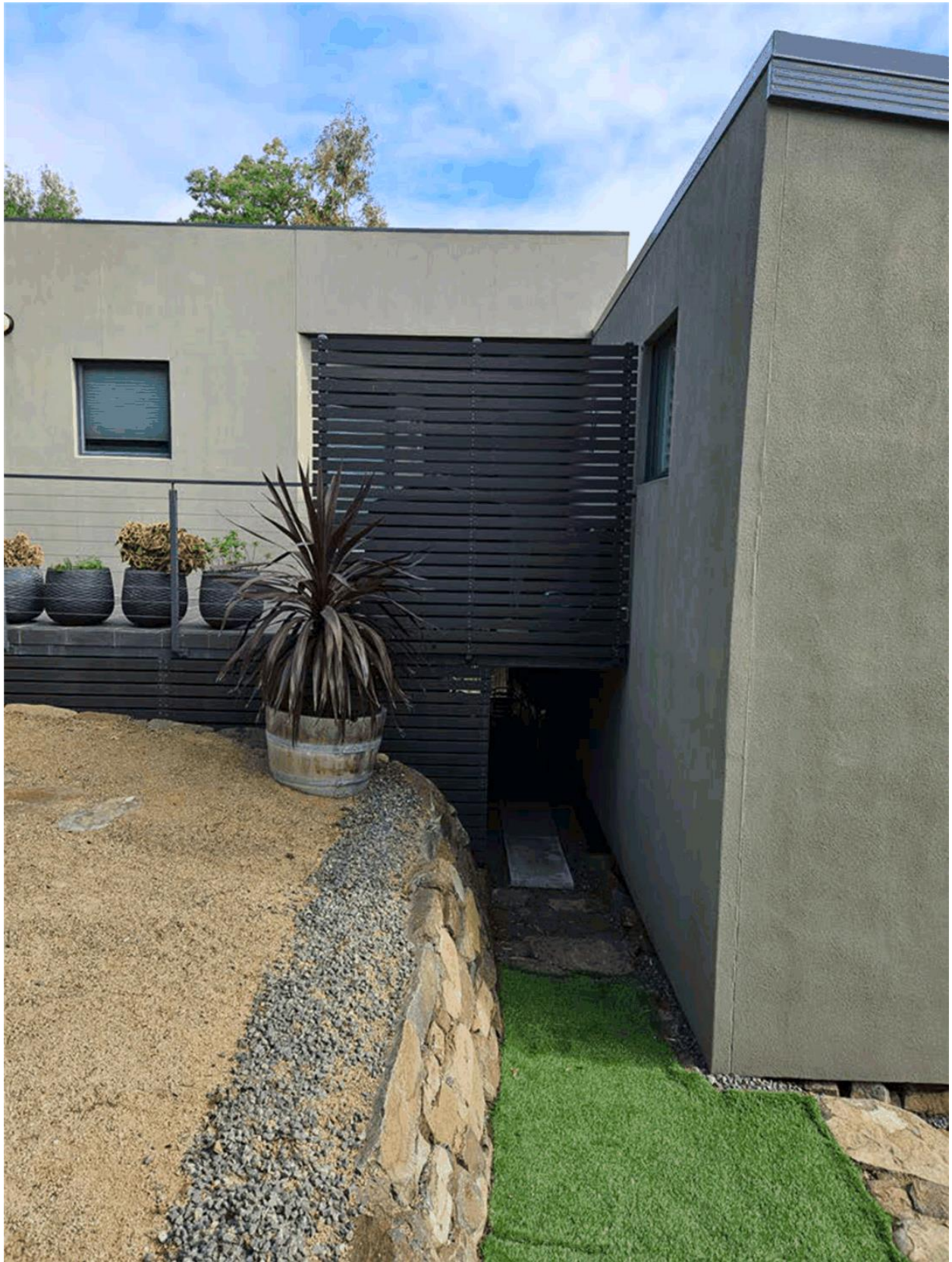






























RESULT OF SEARCH

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



SEARCH OF TORRENS TITLE

VOLUME	FOLIO
133969	2
EDITION	DATE OF ISSUE
8	10-Oct-2018

SEARCH DATE : 10-Apr-2024

SEARCH TIME : 05.50 PM

DESCRIPTION OF LAND

City of HOBART
 Lot 2 on Sealed Plan 133969
 Derivation : Part of 633 Acres Granted to R.Murray
 Prior CT 132597/1

SCHEDULE 1

M716371 TRANSFER to SHANE MICHAEL DENNIS and PETRA ANTONIA DENNIS Registered 10-Oct-2018 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 SP 133969 EASEMENTS in Schedule of Easements
 SP 133969 FENCING COVENANT in Schedule of Easements
 C56888 AGREEMENT pursuant to Section 71 of the Land Use Planning and Approvals Act 1993 Registered 17-Nov-1997 at 12.01 PM
 C142240 AGREEMENT pursuant to Section 71 of the Land Use Planning and Approvals Act 1993 Registered 04-Dec-1998 at noon
 C511197 AGREEMENT pursuant to Section 71 of the Land Use Planning and Approvals Act 1993 Registered 22-Oct-2003 at noon
 E153583 MORTGAGE to Commonwealth Bank of Australia Registered 10-Oct-2018 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



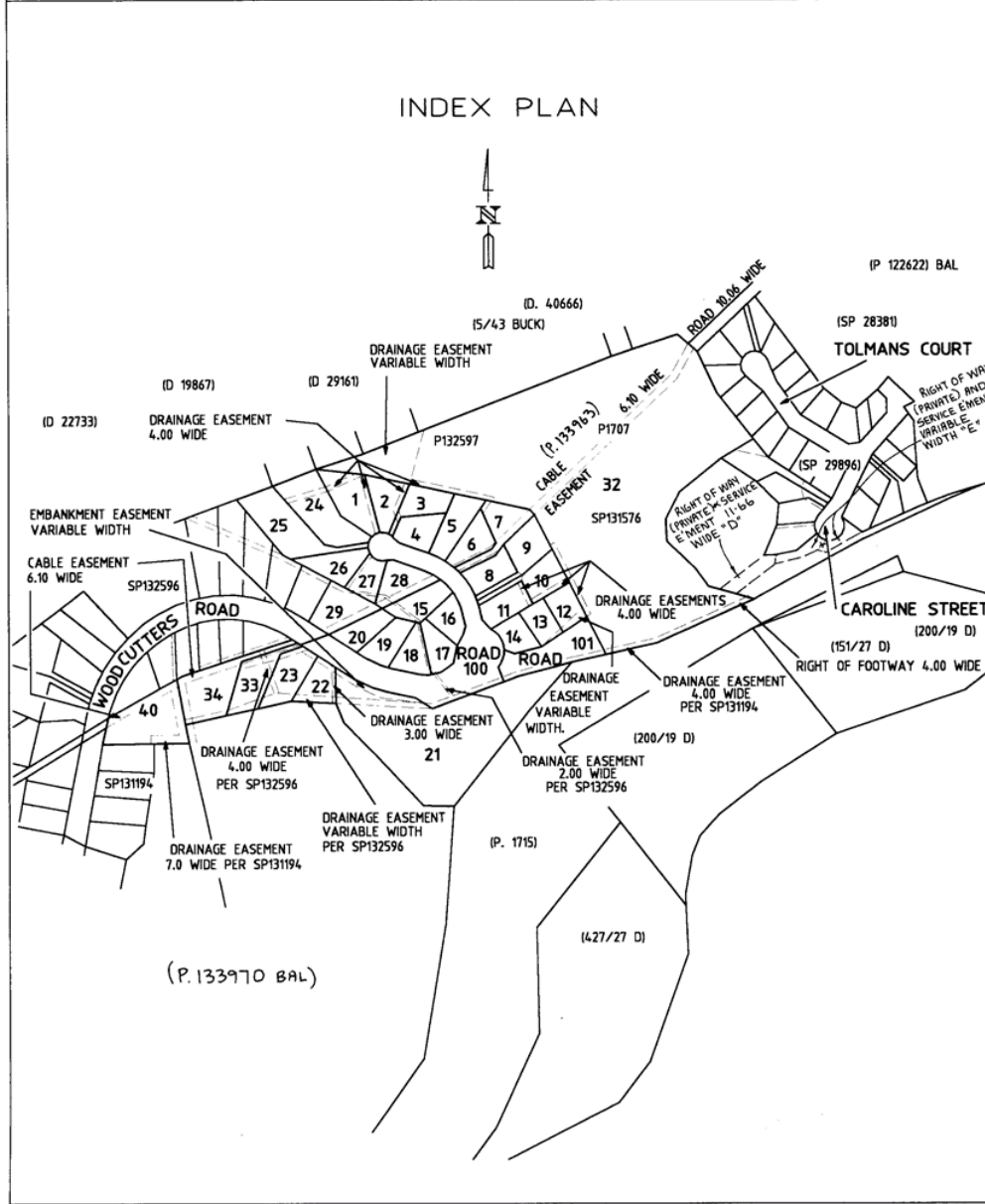
FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



OWNER FREDRICK JAMES GRANT & ANNABELLE WENDY GRANT owners N.J.C. BOWLER, T.D. & J.M. BOWER FOLIO REFERENCE 132597 - 1 132596-29 131194-40 GRANTEE 131576-6 133963-5 & 7 PART OF 633 AC GTD TO ROBERT LATHROP MURRAY	PLAN OF SURVEY BY SURVEYOR TERENCE S. CROMER <small>Cromer & Associates</small> LOCATION 39 Beach Street, Melbourne <small>4244 3455</small> CITY OF HOBBART		REGISTERED NUMBER SP 133969 APPROVED EFFECTIVE FROM 14 JUN 2000 <i>Alice Kawa</i> Recorder of Titles
	SCALE 1: 3000 LENGTHS IN METRES		
MAPSHEET MUNICIPAL CODE No. 114 (S224-12)	LAST UPI No. FZF06 FZF06 GCJ81 G6J01	LAST PLAN P.133963 No. P.132597	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN

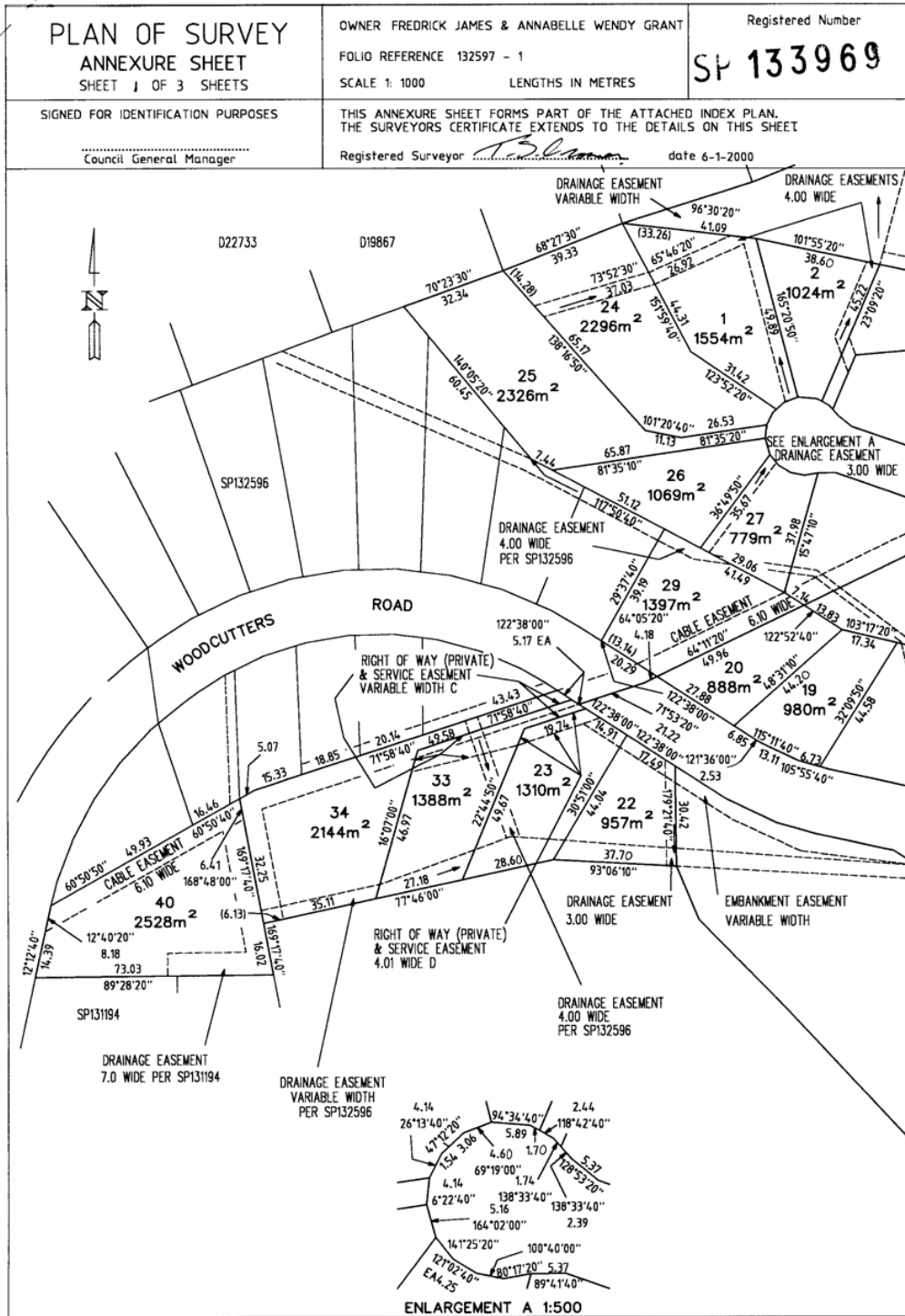




FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

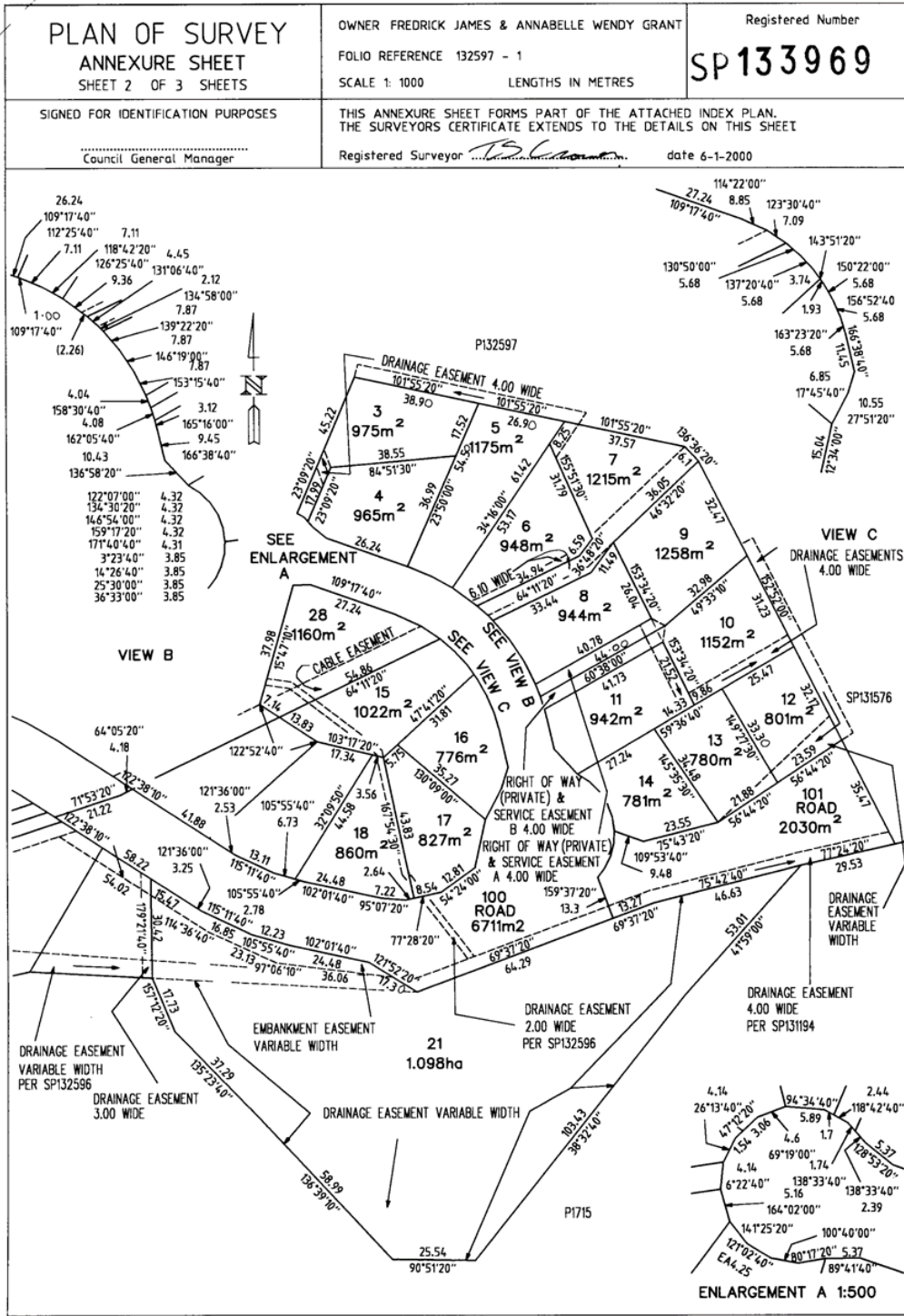




FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

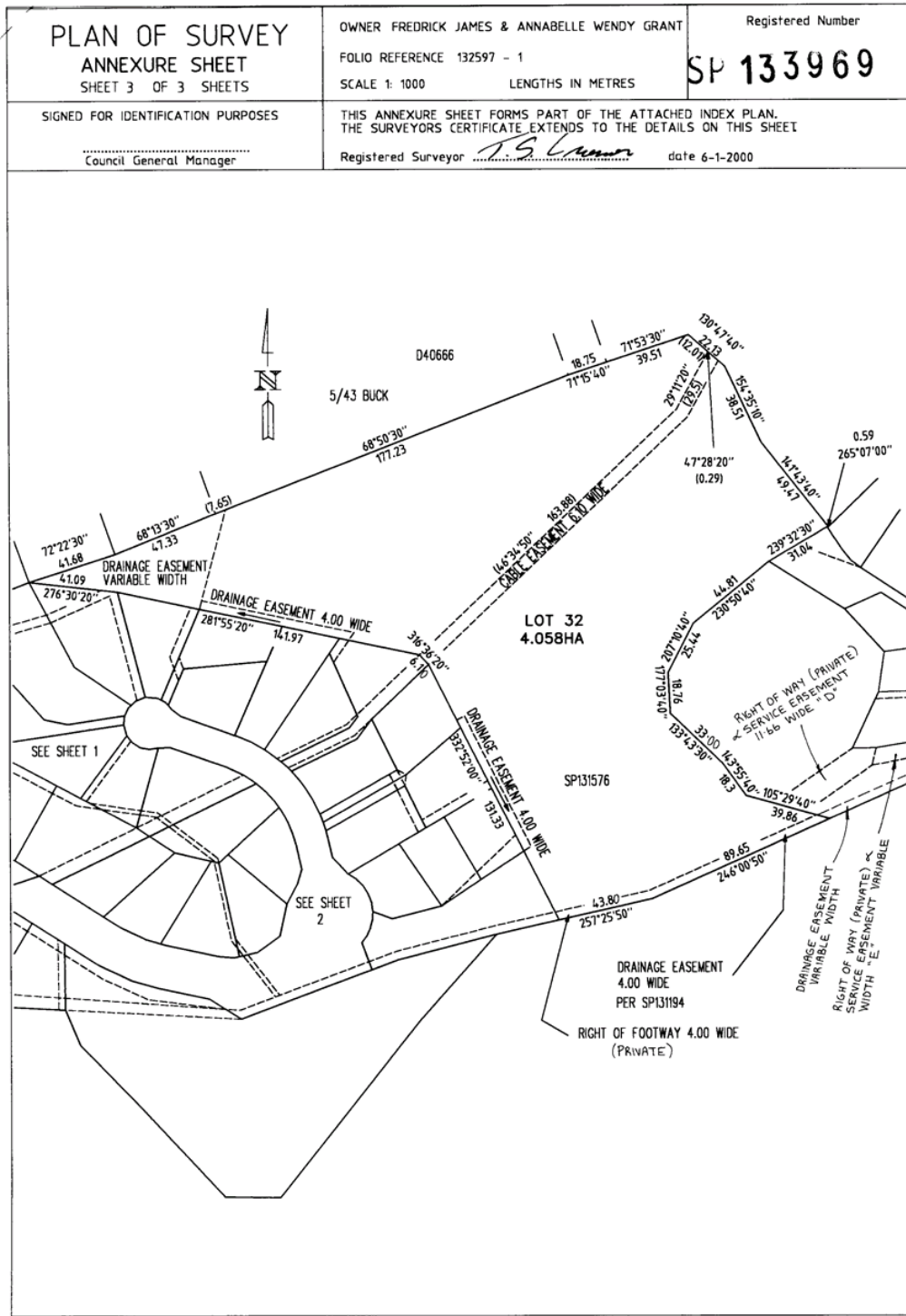




FOLIO PLAN

RECORDER OF TITLES

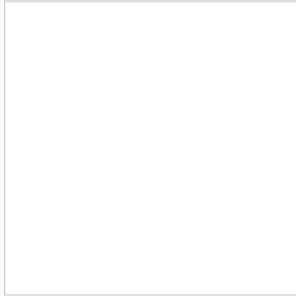
Issued Pursuant to the Land Titles Act 1980



Planning #300916

Property

123 WOODCUTTERS ROAD TOLMANS HILL TAS 7007



People

Applicant *	SHANE DENNIS 123 WOODCUTTERS ROAD TOLMANS HILL TAS 7007 0448 862 269 shanedennis@y7mail.com
--------------------	---

Owner *	SHANE DENNIS 123 WOODCUTTERS ROAD TOLMANS HILL TAS 7007 0448 862 269 shanedennis@y7mail.com
----------------	---

Entered By	MATT GILLEY 0437499238 matt.gilley@bigpond.com
-------------------	--

Use

Single dwelling

Details

Have you obtained pre application advice?

No

If YES please provide the pre application advice number eg PAE-17-xx

Are you applying for permitted visitor accommodation as defined by the State Government Visitor Accommodation Standards? Click on help information button for definition. Please note: the City of Hobart has adopted a differential rating for properties used for short stay visitor accommodation, which will apply to your property if you obtain a planning permit for visitor accommodation. For further information on the differential rating please review the frequently asked questions on our website or contact our Rates Unit on 03 6238 2787. *

No

Is the application for SIGNAGE ONLY? If yes, please enter \$0 in the cost of development, and you must enter the number of signs under Other Details below. *

No

If this application is related to an enforcement action please enter Enforcement Number

NCA-24-25	
Details	
What is the current approved use of the land / building(s)? *	
SINGLE DWELLING	
Please provide a full description of the proposed use or development (i.e. demolition and new dwelling, swimming pool and garage) *	
RETROSPECTIVE APPLICATION FOR RETAINING WALLS AND DECK EXTENSION.	
Estimated cost of development *	
20000.00	
Existing floor area (m2)	Proposed floor area (m2)
	12.30
Site area (m2)	
1024	
Carparking on Site	
Total parking spaces	Existing parking spaces
	2
N/A	
<input checked="" type="checkbox"/> Other (no selection chosen)	
Other Details	
Does the application include signage? *	
<input checked="" type="radio"/> No	
How many signs, please enter 0 if there are none involved in this application? *	
0	
Tasmania Heritage Register	
Is this property on the Tasmanian Heritage Register? <input checked="" type="radio"/> No	
Documents	
Required Documents	
Title (Folio text and Plan and CT-133969-2.pdf Schedule of Easements) *	
Plans (proposed, existing) * Drawings - 123 Woodcutters Rd, Tolmans Hill 150524.pdf	
Covering Letter Covering Letter - 123 Woodcutters Rd.pdf	
Supporting Documents	
Photos or Montages	Photos (prior to un-approved work).pdf
Photos or Montages	Photos (un-approved front retaining wall).pdf
Photos or Montages	Photos (un-approved deck extension).pdf
Photos or Montages	Photos (un-approved backyard retaining walls).pdf

From: matt.gilley@bigpond.com
To: "Deanne Lang"
Cc: "Shane Dennis"
Subject: FW: Additional Information Request - PLN-24-225 - 123 WOODCUTTERS ROAD TOLMANS HILL TAS 7007
Date: Friday, 21 June 2024 9:26:00 AM
Attachments: [image1.png](#)
[image2.png](#)
[SKM_C300i24062010550.pdf](#)
[image001.png](#)
[image002.png](#)

Hi Deanne,

Please see below for a response from the applicant (Shane Dennis) regarding the most recent RFI. Could you please pass this onto Sven Tan. I have tried calling Sven, with no luck with him returning my calls.

Attached is a sketch from the applicant indicating an existing ag. drain servicing the upper front gravel area, that connects into the existing stormwater HCD. Council connection point is located at LHS of the rear boundary.

I will be away on leave from next week, so if you could direct any further RFIs to the applicant that would be appreciated.

Thanks De.

Regards,

MATT GILLEY
building designer

PO BOX 224 LINDISFARNE TASMANIA 7015

matt.gilley@bigpond.com

0437 499 238

LICENCE No. CC5666C



I will be on leave from Thursday June 27th, returning to the office Monday 15th July.

CONFIDENTIALITY NOTICE AND DISCLAIMER

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From: Shane Dennis <shanedennis@y7mail.com>

Sent: Thursday, June 20, 2024 7:42 PM

To: matt.gilley@bigpond.com

Subject: Shane Dennis

Hi Matt

I would like to talk to you before we have your engineer design anything moving forward. Like you previously said, it's all in the wording how you reply / answer councils request for further information.

Council have advised they require further information quoting

E7.0 Stormwater Code

E7.7.1 A1 or P1

I've attached pages from the above code.

Please see A1 / P1 (a)

managed by the following.

“Gravel Area & Deck Extension”

Dry stack retaining wall lower side of gravel area is backed with 300mm aggregate allowing stormwater run off to be disposed of on-site via this soakage device. E7.7.1 A1/P1(a)

“Gravel Area Beside Garage”

This area has aggregate drain running full length of garage to collect any stormwater run off. This drain is connected directly the house plumbing (west side) as detailed on the house plan provided. E7.7.1 A1

I couldn't find a definition anywhere in references provided describing what

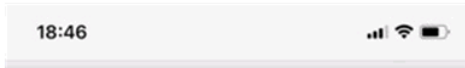
“Impervious Surface” means.

All landscaping within the easement area over public infrastructure has a separation greater than 1mt from DN150 stormwater.

No excavation or footings were constructed with in the easement area. Therefore, no CCTV inspection of DN150 stormwater is required.

Can you reply to council with the above. If council push the impervious surface quote then we need clarification from council via a definition. If we don't have this we can't answer their request for further information.

Let talk Matt, surely we can answer this together.



- result is not a whole number, the required number of (spaces) is the nearest whole number. If the fraction is one-half, the requirement is the next whole number.
- (b) Where an existing use or development is extended or intensified, the number of additional bicycle parking spaces required must be calculated on the amount of extension or intensification, provided the existing number of bicycle parking spaces is not reduced.
 - (c) Where there is an existing surplus of bicycle parking spaces on the land, any additional bicycle parking required may be drawn from the surplus.
 - (d) No new bicycle parking spaces are required to be provided for a change of use in an existing building where there is no increase in the floor area of the building and floor area used is less than 500m².

E7.0 Stormwater Management Code

E7.1 Purpose

E7.1.1 The purpose of this provision is to ensure that stormwater disposal is managed in a way that furthers the objectives of the State Stormwater Strategy.

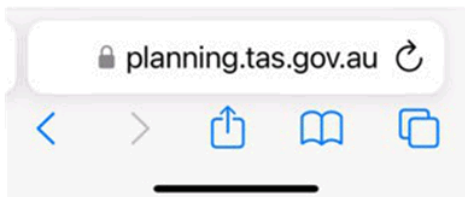
E7.2 Application

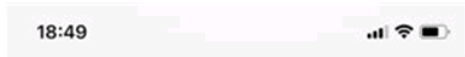
E7.2.1 This code applies to development requiring management of stormwater. This code does not apply to use.

E7.3 Definition of Terms

E7.3.1 In this code, unless the contrary intention appears:

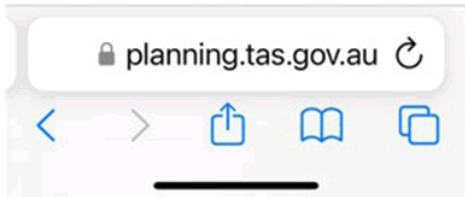
ARI	means the average recurrence interval, which means the average or expected value of the periods between exceedances of a given rainfall total accumulated over a given duration.
impervious surface	includes any roof or external paved or hardstand area, including for a road, driveway, a vehicle loading, parking and standing apron, cycle or pedestrian pathway, plaza, uncovered courtyard, deck or balcony or a storage and display area.
major stormwater drainage system	means the combination of overland flow paths (including roads and watercourses) and the underground reticulation system designed to provide safe conveyance of stormwater runoff and a specific level of flood mitigation.
minor stormwater drainage system	means the stormwater reticulation infrastructure designed to accommodate more frequent rainfall events (in comparison to major stormwater drainage systems) having regard to convenience, safety and cost.
stormwater drainage system	means a major or minor stormwater drainage system.
suitably qualified person (stormwater management)	means a professional engineer currently practising with relevant CPEng or NPER accreditation and an appropriate level of professional indemnity and public liability insurance.





- E7.4 Development Exempt from this Code
 - E7.4.1 No development is exempt from this code.
- E7.5 Application Requirements
 - E7.5.1 In addition to any other application requirements, the planning authority may require the applicant to provide any of the following information if considered necessary to determine compliance with performance criteria, as specified:
 - (a) a report from a suitably qualified person advising of the suitability of private and public stormwater systems for a proposed development or use;
 - (b) a report from a suitably qualified person on the suitability of a site for an on-site stormwater disposal system.
- E7.6 Use Standards
 - There are no use standards in this code.
- E7.7 Development Standards
 - E7.7.1 Stormwater Drainage and Disposal

Objective:	
To ensure that stormwater quality and quantity is managed appropriately.	
Acceptable Solutions	Performance Criteria
A1 Stormwater from new impervious surfaces must be disposed of by gravity to public stormwater infrastructure.	P1 Stormwater from new impervious surfaces must be managed by any of the following: (a) disposed of on-site with soakage devices having regard to the suitability of the site, the system design and water sensitive urban design principles (b) collected for re-use on the site; (c) disposed of to public stormwater infrastructure via a pump system which is designed, maintained and managed to minimise the risk of failure to the satisfaction of the Council.
A2 A stormwater system for a new development must incorporate water sensitive urban design principles P2 for the treatment and disposal of stormwater if any of the following apply: (a) the size of new impervious area is more than 600 m ² ; (b) new car parking is provided for more than 6 cars;	P2 A stormwater system for a new development must incorporate a stormwater drainage system of a size and design sufficient to achieve the stormwater quality and quantity targets in accordance with the State Stormwater Strategy 2020, as detailed in Table E7.1 unless it is not feasible to do so.



Shane Dennis
 123 Woodcutters Road
 Tolmans Hill
 Hobart Tasmania 7007
 H. (03) 62441463
 M. 0448862269

Mr Shane Dennis
123 Woodcutters Road
Tolman's Hill 7007
Tel 0448862269

27th June 2024

Hobart City Council
16 Elizabeth Street
Hobart TAS 7000

**RETROSPECTIVE PLANNING APPLICATION (PLN-24-225)
123 WOODCUTTERS ROAD, TOLMANS HILL (CT-133969/2)**

Dear Deanne

Thank you for your letter requesting further information for the above application.

In response, and after discussing with Council's Technical Officer Sven Fan I have provided the following details. Please note any amendments to drawings will be submitted when my planer Matt Gilley returns from holiday first week of July.

- Phone discussion with Sven Fan provided clarification on material used, all three landscaped areas D, F and G on plans submitted 15.05.24 **DO NOT** have compacted gravel (which is noted by council as impervious). These three areas have a covering of decomposed crushed granite.
- "Definition" Decomposed crushed granite is not gravel, it is a permeable material. Permeable surfaces lend themselves to aiding the soil and returning water to the water table. Decomposed crushed granite is also beneficial in that it won't collect water. Another huge benefit of a decomposed granite driveway is that it's extremely permeable and eco-friendly and allows stormwater to drain directly through it. It is excellent for mitigating driveway flooding and lessens the need for any extra drainage.
- The word "gravel" will be omitted and words "decomposed crushed granite" will be inserted on amended plans once Matt Gilley has returned from holiday first week in July.
- The extended deck area runoff is directed onto the forecourt area of decomposed crushed granite allowing any runoff to drain naturally and not toward any third-party land.
- All areas noted above allow water runoff to drain naturally into the soil not impacting any third-party land. All decomposed crushed granite areas slope away from third-party land.
- As discussed with Sven, clarification was sort for vertically distance of dry stack wall from DN150 stormwater infrastructure. Drawings submitted 11.05.24 A11, and A14

show vertical distance to stormwater infrastructure DN150 greater than one metre. Vertical depths were determined on site by a certified contractor that also located stormwater infrastructure.

If you would like to discuss any of the above information provided, please feel free to contact me directly on 0448862269.

Also, as mentioned above Matt Gilley will submit amended site drawings (deleting the word "gravel" and inserting the words "decomposed crushed granite") when he returns from holiday first week in July.

Yours sincerely,

Shane Dennis **Applicant**

7. REPORTS

7.1 Delegated Decision Report (Planning) File Ref: F24/76609

Memorandum of the Acting Director City Life of 22 August 2024 and attachment.

Delegation: Committee



City of **HOBART**

MEMORANDUM: PLANNING COMMITTEE

Delegated Decision Report (Planning)

Attached is the delegated planning decisions report for the period 23 July 2024 to 16 August 2024.

RECOMMENDATION

That:

1. ***That the information contained in the 'Delegated Decision Report (Planning)' be received and noted.***

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

Karen Abey
ACTING DIRECTOR CITY LIFE

Date: 22 August 2024
File Reference: F24/76609

Attachment A: Delegated Decision Report (Planning) ↓ 

Delegated Decisions Report (Planning)

Permit No	Description	Address	Works Value	Decision	Authority
PLN-21-86	Ancillary Dwelling	12 NICHOLAS DRIVE SANDY BAY TAS 7005	\$ 55,000	Approved	Delegated
PLN-23-467	Partial Change of Use to Two Multiple Dwellings (One Existing, One New), Outbuilding and Carport	396A STRICKLAND AVENUE SOUTH HOBART TAS 7004	\$ 650,000	Approved	Delegated
PLN-23-746	Sewerage Treatment Plant Upgrade	10 SELFS POINT ROAD NEW TOWN TAS 7008	\$ 100,000,000	Approved	Delegated
PLN-24-158	Partial Demolition, Alterations and Extension	37 GROSVENOR STREET SANDY BAY TAS 7005	\$ 450,000	Approved	Delegated
PLN-24-185	Extension to Restaurant, trading hours, take away cafe and signage and parking reduction	6 RUSSELL CRESCENT SANDY BAY TAS 7005	\$ 800,000	Approved	Delegated
PLN-24-202	Partial Demolition, Alterations, Extension and New Garage	30 CATO AVENUE WEST HOBART TAS 7000	\$ 38,000	Approved	Delegated
PLN-24-232	Partial Demolition, Alterations and Partial Change of Use to Eating Establishment and Hotel (Bar)	11 MORRISON STREET HOBART TAS 7000	\$ 40,000	Approved	Delegated
PLN-24-234	Partial Demolition, Alterations, Extension, Alterations to Car Parking and Front Fencing	10 ELLINGTON ROAD SANDY BAY TAS 7005	\$ 600,000	Approved	Delegated
PLN-24-241	Partial Demolition and Alterations (Carport)	195-205 MURRAY STREET HOBART TAS 7000	\$ 15,000	Approved	Delegated
PLN-24-244	Partial Demolition, Alterations, Deck and Front Fencing	24 PILLINGER STREET DYNMYRNE TAS 7005	\$ 100,000	Approved	Delegated
PLN-24-248	Partial Demolition, Alterations, Extension, Carport and Front Fencing	105 YORK STREET SANDY BAY TAS 7005	\$ 548,000	Approved	Delegated
PLN-24-253	Partial Demolition and Front Fencing (Gate)	19 AUDLEY STREET NORTH HOBART TAS 7000	\$ 10,000	Approved	Delegated

Permit No	Description	Address	Works Value	Decision	Authority
PLN-24-262	Subdivision (Boundary Adjustment)	23 MCGUINNESS CRESCENT LENA VALLEY TAS 7008	\$ -	Approved	Delegated
PLN-24-263	Partial Demolition, Alterations, Extension and Deck	764A SANDY BAY ROAD SANDY BAY TAS 7005	\$ 20,000	Approved	Delegated
PLN-24-264	Partial Demolition, Alterations and New Decks	28 COOLABAH ROAD SANDY BAY TAS 7005	\$ 500,000	Approved	Delegated
PLN-24-272	Deck and Pergola	12 CASCADE ROAD SOUTH HOBART TAS 7004	\$ 12,000	Approved	Delegated
PLN-24-274	Partial Demolition and New Outbuilding/Garage	14-18 BRAMBLE STREET RIDGEWAY TAS 7054	\$ 85,000	Approved	Delegated
PLN-24-283	Alterations	1/696 SANDY BAY ROAD SANDY BAY TAS 7005	\$ 8,000	Approved	Delegated
PLN-24-291	Partial Demolition and Ancillary Dwelling	12 BELLEVUE PARADE NEW TOWN TAS 7008	\$ 26,950	Approved	Delegated
PLN-24-297	Alterations (Pergola)	55-59 MURRAY STREET HOBART TAS	\$ 77,000	Approved	Delegated
PLN-24-299	Partial Demolition, Alterations and Extension	8 BELTON STREET SOUTH HOBART TAS 7004	\$ 300,000	Approved	Delegated
PLN-24-302	Alterations (Solar Panels)	332 DAVEY STREET SOUTH HOBART TAS 7004	\$ 15,000	Approved	Delegated
PLN-24-309	Partial Demolition, Alterations and Extension to Visitor Accommodation	17 GREGORY STREET SANDY BAY TAS 7005	\$ 50,000	Approved	Delegated
PLN-24-316	Deck	1/6 ELLERSLIE ROAD BATTERY POINT TAS 7004	\$ 5,000	Approved	Delegated
PLN-24-318	Change of Use to Visitor Accommodation	4 ALWYN ROAD LENA VALLEY TAS 7008	\$ -	Approved	Delegated
PLN-24-320	Alterations (Solar Panels)	19 KELLY STREET BATTERY POINT TAS 7004	\$ 10,000	Approved	Delegated
PLN-24-322	Alterations	82 MOLLE STREET HOBART TAS 7000	\$ 40,000	Approved	Delegated
PLN-24-47	Demolition and New Dwelling	35 POTTERY ROAD LENA VALLEY TAS 7008	\$ 2,050,000	Approved	Delegated

Permit No	Description	Address	Works Value	Decision	Authority
PLN-24-51	Dwelling, Three Visitor Accommodation Units and Associated Works	93A SUMMERLEAS ROAD FERN TREE TAS 7054	\$ 1,000,000	Approved	Delegated

7.2 Planning - Advertised Applications Report
File Ref: F24/76853

Memorandum of the Acting Director City Life of 22 August 2024 and attachment.

Delegation: Committee



City of **HOBART**

MEMORANDUM: PLANNING COMMITTEE

Planning - Advertised Applications Report

Attached is the advertised applications list for the period 23 July 2024 to 16 August 2024.

RECOMMENDATION

That:

- 1. That the information contained in the 'Planning – Advertised Applications Report' be received and noted.**

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

Karen Abey
ACTING DIRECTOR CITY LIFE

Date: 22 August 2024
File Reference: F24/76853

Attachment A: Planning - Advertised Applications Report ↓

No	Application	Street	Suburb	Development	Works Value	Expiry Date	Referral	Proposed Delegation	Advertising Period Start	Advertising Period End
1	PLN-24-348	13 MARINE TERRACE	BATTERY POINT	Partial Demolition, Alterations, Extension, Deck, Swimming Pool, and Boatshed including Ancillary Dwelling	\$1,000,000	4/09/2024	smeea	Director	1/08/2024	15/08/2024
2	PLN-24-334	69 HAMPDEN ROAD	BATTERY POINT	Extension to Food Services Use and Operating Hours and Partial Change of Use to General Retail and Hire	\$0	26/08/2024	baconr	Director	24/07/2024	7/08/2024
3	PLN-24-373	8 SOUTH STREET	BATTERY POINT	Partial Demolition, Alterations and Deck	\$30,000	10/09/2024	burked	Director	9/08/2024	23/08/2024
4	PLN-24-307	28 - 30 DAVEY STREET	HOBART	Alterations to Previously Approved Development (PLN-20-499)	\$10,000	28/08/2024	ayersh	Director	31/07/2024	14/08/2024
5	PLN-24-311	21 MURRAY STREET	HOBART	Partial Demolition and Alterations	\$1,800,000	13/08/2024	nolanm	Director	31/07/2024	14/08/2024
6	PLN-24-363	105 - 107 MOLLE STREET	HOBART	Change of Use to Visitor Accommodation	\$30,000	16/09/2024	smeea	Director	8/08/2024	22/08/2024
7	PLN-HOB-2024-0355	237-245 ELIZABETH STREET	HOBART	Partial Change of Use to Sports and Recreation (Pilates Studio) and Signage	\$5,000	16/09/2024	sherriffc	Director	16/08/2024	30/08/2024
8	PLN-21-791	11 A DALY ROAD	LENAH VALLEY	Four Multiple Dwellings (Three Existing and One New) and Extension to	\$250,000	26/08/2024	maxwellv	Director	2/08/2024	16/08/2024
9	PLN-24-282	209 - 211 LENA VALLEY ROAD (CT 10470/1)	LENAH VALLEY	Alterations (Milk Storage Tanks)	\$150,000	30/07/2024	sherriffc	Already Determined	30/07/2024	13/08/2024

No	Application	Street	Suburb	Development	Works Value	Expiry Date	Referral	Proposed Delegation	Advertising Period Start	Advertising Period End
10	PLN-24-364	19 GIRRABONG ROAD	LENAH VALLEY	Change of Use to Visitor Accommodation	\$0	6/09/2024	langd	Director	5/08/2024	19/08/2024
11	PLN-24-266	12 RIBBON GUM COURT	MOUNT NELSON	Partial Demolition Alterations and Change of Use to Multiple Dwellings (One Existing One New)	\$300,000	21/08/2024	ayersh	Director	6/08/2024	20/08/2024
12	PLN-24-193	6 ESK AVENUE	MOUNT STUART	Partial Demolition, Alterations, Extensions and Ancillary Dwelling	\$350,000	27/08/2024	sherriffc	Director	29/07/2024	12/08/2024
13	PLN-24-326	100 PINNACLE ROAD	MOUNT WELLINGTON	Dwelling, Carport, and Studio	\$800,000	7/10/2024	smeea	Committee (Council Land)	6/08/2024	20/08/2024
14	PLN-24-255	10 BOA VISTA ROAD	NEW TOWN	Partial Demolition, Alterations, Pergola, and Front Fencing	\$20,000	6/09/2024	smeea	Director	6/08/2024	20/08/2024
15	PLN-24-288	105 NEW TOWN ROAD	NEW TOWN	Partial Demolition, Signage, New Building for General Retail and Hire, and Associated Works	\$400,000	2/08/2024	nolanm	Director	2/08/2024	16/08/2024
16	PLN-24-337	31 ROOPE STREET	NEW TOWN	Alterations (Solar Panels)	\$12,000	26/08/2024	baconr	Director	25/07/2024	8/08/2024
17	PLN-24-377	39 BISHOP STREET	NEW TOWN	Change of Use to Visitor Accommodation	\$0	13/09/2024	maxwellv	Director	7/08/2024	21/08/2024
18	PLN-24-328	1 / 37 TASMA STREET	NORTH HOBART	Change of Use to Business and Professional Services (Consulting Rooms)	\$0	3/09/2024	sherriffc	Director	1/08/2024	15/08/2024

No	Application	Street	Suburb	Development	Works Value	Expiry Date	Referral	Proposed Delegation	Advertising Period Start	Advertising Period End
19	PLN-HOB-2024-0380	12-14A NEWDEGATE STREET	North Hobart	Change of Use to Visitor Accommodation	\$0	1/10/2024	langd	Director	16/08/2024	30/08/2024
20	PLN-23-267	668 SANDY BAY ROAD	SANDY BAY	Partial Demolition and Alterations	\$20,000	23/08/2024	maxwellv	Director	2/08/2024	16/08/2024
21	PLN-24-252	27 REGENT STREET	SANDY BAY	Partial Demolition, Alterations and Extension	\$200,000	12/07/2024	maxwellv	Director	6/08/2024	20/08/2024
22	PLN-24-289	546 SANDY BAY ROAD	SANDY BAY	Partial Demolition, Alterations and Extension to Garage	\$180,000	27/08/2024	ayersh	Director	29/07/2024	12/08/2024
23	PLN-24-293	1 B BUCHANAN AVENUE	SANDY BAY	Partial Demolition, Alterations, Extension and Carport	\$85,000	21/08/2024	smeea	Director	6/08/2024	20/08/2024
24	PLN-24-321	3 EDITH AVENUE	SANDY BAY	Partial Demolition, Alterations and Extension	\$400,000	15/08/2024	smeea	Already Determined	23/07/2024	6/08/2024
25	PLN-24-104	29 MANING AVENUE	SANDY BAY	Partial Demolition, Alterations and Extension	\$500,000	9/09/2024	langd	Director	9/08/2024	23/08/2024
26	PLN-24-362	2/5 FITZROY PLACE	SANDY BAY	Alterations (Solar Panels)	\$12,000	7/09/2024	ayersh	Director	9/08/2024	23/08/2024
27	PLN-HOB-2024-0388	UNIT 2/8 BINNEY COURT	SANDY BAY	Change of Use to Visitor Accommodation	\$3,000	24/09/2024	baconr	Director	16/08/2024	30/08/2024
28	PLN-HOB-2024-0390	6 FITZROY PLACE	SANDY BAY	Alterations (Solar Panels)	\$10,150	19/09/2024	ayersh	Director	16/08/2024	30/08/2024
29	PLN-24-166	1 INGRAM STREET	SOUTH HOBART	Ancillary Dwelling and Front Fencing	\$100,000	15/05/2024	nolanm	Director	30/07/2024	13/08/2024

No	Application	Street	Suburb	Development	Works Value	Expiry Date	Referral	Proposed Delegation	Advertising Period Start	Advertising Period End
30	PLN-HOB-2024-0386	41 WELLESLEY STREET	SOUTH HOBART	Alterations (Roof Over Deck)	\$21,973	17/09/2024	maxwellv	Director	16/08/2024	30/08/2024
31	PLN-HOB-2024-0167	2 HENNEBRY STREET	SOUTH HOBART	Change of Use to Visitor Accommodation	\$20,000	22/09/2024	maxwellv	Director	16/08/2024	30/08/2024
32	PLN-24-329	11 PULCHELLA DRIVE	TOLMANS HILL	Dwelling	\$650,000	21/08/2024	ayersh	Director	29/07/2024	12/08/2024
33	PLN-24-258	9 THELMA DRIVE	WEST	Dwelling	\$800,000	1/09/2024	ayersh	Director	29/07/2024	12/08/2024
34	PLN-24-295	395 LIVERPOOL STREET	WEST HOBART	Partial Demolition, Alterations and Extension	\$350,000	20/08/2024	ayersh	Already Determined	24/07/2024	7/08/2024
35	PLN-24-298	52 LOCHNER STREET	WEST HOBART	Alterations (Solar Panels)	\$12,000	9/09/2024	langd	Director	5/08/2024	19/08/2024
36	PLN-24-356	53 A HILL STREET	WEST HOBART	Change of Use to Visitor Accommodation	\$0	13/09/2024	burked	Director	7/08/2024	21/08/2024
37	PLN-24-370	1 / 117 LANSDOWNE CRESCENT	WEST HOBART	Partial Demolition and Alterations	\$8,000	10/09/2024	smeea	Director	8/08/2024	22/08/2024
38	PLN-24-119	19 DEVONSHIRE SQUARE	WEST HOBART	Partial Demolition, Alterations and Extensions	\$200,000	9/09/2024	burked	Director	9/08/2024	23/08/2024

8. QUESTIONS WITHOUT NOTICE

Regulation 29 of the Local Government (Meeting Procedures) Regulations 2015. File Ref: 13-1-10

- (1) A councillor at a meeting may ask a question without notice –
 - (a) of the chairperson; or
 - (b) through the chairperson, of –
 - (i) another councillor; or
 - (ii) the general manager.
- (2) In putting a question without notice at a meeting, a councillor must not –
 - (a) offer an argument or opinion; or
 - (b) draw any inferences or make any imputations – except so far as may be necessary to explain the question.
- (3) The chairperson of a meeting must not permit any debate of a question without notice or its answer.
- (4) The chairperson, councillor or general manager who is asked a question without notice at a meeting may decline to answer the question.
- (5) The chairperson of a meeting may refuse to accept a question without notice if it does not relate to the activities of the council.
- (6) Questions without notice, and any answers to those questions, are not required to be recorded in the minutes of the meeting.
- (7) The chairperson of a meeting may require a councillor to put a question without notice in writing.

9. CLOSED PORTION OF THE MEETING

That the Committee resolve by majority that the meeting be closed to the public pursuant to regulation 15(1) of the *Local Government (Meeting Procedures) Regulations 2015* because the items included on the closed agenda contain the following matters:

- Confirm the minutes of the Closed portion of the meeting
- Questions without notice in the Closed portion
- Planning Appeal - Mediation

The following items were discussed: -

- | | |
|----------------|---|
| Item No. 1 | Minutes of the last meeting of the Closed Portion of the Committee Meeting |
| Item No. 2 | Consideration of supplementary items to the agenda |
| Item No. 3 | Indications of pecuniary and conflicts of interest |
| Item No. 4 | Planning Authority Items – Consideration of Items with Deputations |
| Item No. 5 | Reports |
| Item No. 5.1 | Planning Authority Decisions Subject to Appeal before the Tasmanian Civil and Administrative Tribunal - Update LG(MP)R 15(4)(a) |
| Item No. 5.1 | Committee Acting as Planning Authority |
| Item No. 5.1.1 | PLN-22-323 - 199 Macquarie Street, Hobart - Appeal - Mediation
LG(MP)R 15(4)(a) |