

Property

17 BEACH ROAD SANDY BAY TAS 7005

People

Applicant *

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Owner *

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Use

Other

Details

Have you obtained pre application advice?

No

If YES please provide the pre application advice number eg PAE-17-xx

Are you applying for permitted visitor accommodation as defined by the State Government Visitor Accommodation Standards? Click on help information button for definition. *

No

Is the application for SIGNAGE ONLY? If yes, please enter \$0 in the cost of development, and you must enter the number of signs under Other Details below. *

No

If this application is related to an enforcement action please enter Enforcement Number

Details

What is the current approved use of the land / building(s)? *

Recreation

Please provide a full description of the proposed use or development (i.e. demolition and new dwelling, swimming pool and garage) *

New lighting at Oval 2 at Sandown Park, Sandy Bay

Estimated cost of development *

260000.00

Existing floor area (m2)

Proposed floor area (m2)

Site area (m2)

Carparking on Site

Total parking spaces

0

Existing parking spaces

N/A

☒ Other (no selection chosen)

Other Details

Does the application include signage? *

☒ No

How many signs, please enter 0 if there are none involved in this application? *

0

Tasmania Heritage Register

Is this property on the Tasmanian Heritage Register? ☒ No

Documents

Required Documents

Title (Folio text and Plan and Appendix A - Titles.pdf Schedule of Easements) *

Plans (proposed, existing) * Appendix B - J220526BS-E01 Rev T1.pdf

Supporting Documents

Photos or Montages	Appendix C - Photomontage 11.jpg
Planning Report	Planning Report - Recreation Zone - Sandown Park 2.pdf
Light Spill	Appendix D - A22012-02-A Sandown Park - Soccer.pdf
Arborist Report	Appendix E - Impact of works on trees surrounding Sandown Park Oval No.2_5-08-2021.pdf

REFER GEOTECHNICAL REPORT AND STRUCTURAL FOOTING DESIGN PROVIDED BY OTHERS FOR LIGHT POLE INSTALLATION PRIOR TO ANY CONSTRUCTION COMMENCING.

NOTE: THIS DRAWING SHOULD BE PRINTED IN COLOUR FOR FULL CLARITY.

NOTE: THIS DRAWING SHOULD BE READ IN CONJUNCTIONS WITH THE ELECTRICAL SPECIFICATION.

TPZ EXCLUSION ZONES NEED TO BE ESTABLISHED. ENGAGE THE PROJECT ARBORIST TO COMMUNICATE THE EXCAVATION METHODOLOGY AND TO DETERMINE ROOT MANAGEMENT PROTECTION. EXCAVATION MUST BE VIA VACUUM TRUCK OR BORING.

TABLE 1						
	LUMINAIRE SELECTION	POLE 1 QTY	POLE 2 QTY	POLE 3 QTY	POLE 4 QTY	TOTAL (kW)
①	PHILLIPS APEX OPTIVISION LED GEN 3.5 -3 MODULE 5700K BVP528 A35-NB-BL	2	2	2	2	11.36
②	PHILLIPS APEX OPTIVISION LED GEN 3.5 -3 MODULE 5700K BVP528 A35-MB-BL	1	1	1	1	5.680
TOTAL		4.260	4.260	4.260	4.260	17.040

LEGEND

- NEW POLE MOUNTED SPORTS LIGHT - COMPLETE WITH 18m POLES. FOR LUMINAIRE ARRANGEMENTS REFER TABLE 1 FOR FURTHER INFORMATION.
- EXISTING LIGHT POLE TO REMAIN AS INSTALLED.
- EXISTING ELECTRICAL SWITCHBOARD.
- PROPOSED NEW DB- SPORTS LIGHTING (DB-SLI)
- NEW ELECTRICAL PIT. REFER TO JMG SPECIFICATION FOR DETAILS.
- PROPOSED INDICATIVE UNDERGROUND CONDUIT ROUTE.
- SRZ (STRUCTURAL ROOT ZONE)
- TPZ ZONE (TREE PROTECTION ZONE)
- NEW SPORTS LIGHTING

DESIGNED IN ACCORDANCE WITH

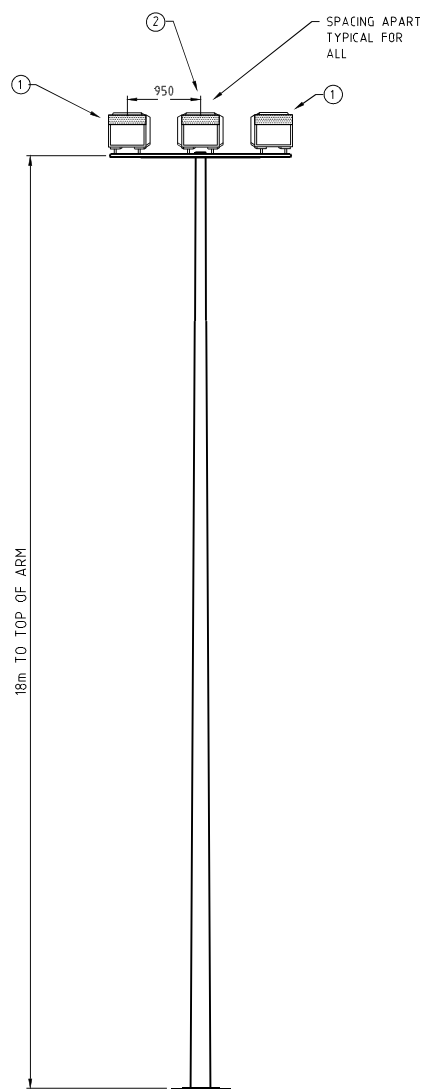
- AUSTRALIAN STANDARD AS2560.2:2021 FOR FOOTBALL ALL CODES.
- 200 LUX FOR COMPETITION
- 100 LUX FOR TRAINING
- 50 LUX FOR SPECIFIC LOCATIONS WHERE REQUIRED
- MET WITH AS4282- 2019 - OBTRUSIVE LIGHT ASSESSMENT

LUMINAIRE SELECTION - PHILLIPS OPTIVISION LED GEN 3.5 50K 757 130 IP66 3 MODULE LT & LO VERSIONS USE INTEGRAL SHIELDS TO MITIGATE OBTRUSIVE LIGHT. SPORTS LIGHTS SHOULD BE MOUNTED AT A MINIMUM 950mm APART (TYPICAL FOR ALL)

- LAMP = LED A35 ASSYMETRIC WIDE BEAM & NARROW BEAM
- LAMP FLUX = 194,000 LUMENS
- MF = 0.86
- LUMINAIRE WATTAGE = 1420.0W
- CABLE FROM DRIVER TO FLOODLIGHTS = 7c + 2.5mm² cable
- COLOUR = 740 NEUTRAL WHITE
- CCT = 5700K
- CRI = >70
- WEIGHT = 26.5kg (REMOTE DRIVER 6.3kg)
- WINDAGE = 0.32 m2 (40° TILT)
- VOLTAGE = 400V
- CONTROLS SYSTEM INPUT = DALI
- DIMMING = INTEGRAL
- DRIVER BOX = EVP500 IS ORDERED WITH FLOOD LIGHTS BVCP525, COMPLETE WITH SUSPENSION KIT.
- COMPLETE WITH LIGHT CONTROL LOUVERS (IF REQUIRED) MAY NEED TO BE LOCATED EXTERNAL TO POLE.
- POLES = GM POLES
- POLE HEIGHT = 18m + HEADFRAME
- LIGHT FITTINGS CAN BE MOUNTED OVER/UNDER WITHOUT MODIFICATIONS/ACCESSORIES (SINGLE CROSS-ARM ONLY).

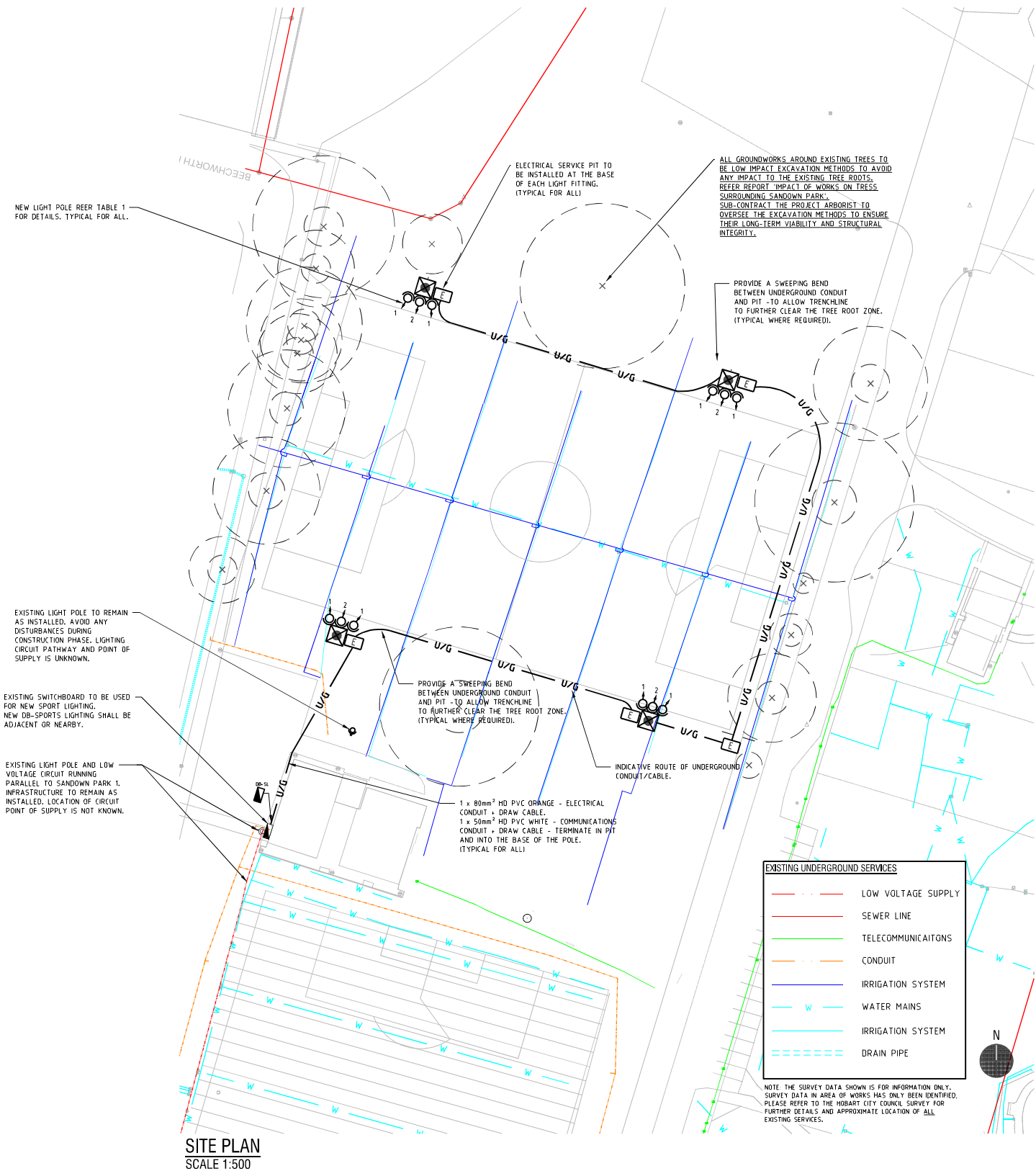
NOTES

- ALL WORKS ARE TO COMPLY WITH THE REQUIREMENT OF THE SPECIFICATION, AS/NZS 3000, AS/NZS 3008, HOBART CITY COUNCIL AND THE LOCAL SUPPLY AUTHORITY.
- SUPPLY AND INSTALL A DALI BUS FROM EACH LIGHT POLE BACK TO THE SWITCHBOARD LOCATION IN 1.5pr CABLE FOR DALI.
- MAKE PROVISION FOR HOISTING EQUIPMENT FOR POLE INSTALLATION, COMMISSIONING AND THEN AIMING OF THE SPORTS LIGHTING.
- NOMINATE A SUITABLY QUALIFIED REPRESENTATIVE FOR COMMISSIONING AND THE AIMING OF THE SPORTS LIGHTING, INCLUDE THESE COSTS IN THE TENDER SUBMISSION.
- PROVIDE RCD PROTECTED CIRCUITS IN ACCORDANCE WITH AS/NZS 3000.
- FOR ALL UNDERGROUND CABLING WORKS, CONFIRM LOCATIONS OF OTHER SERVICES PRIOR TO COMMENCEMENT. HAND DIGGING, VACUUM TRUCK OR BORING MUST OCCUR AROUND THE TREE PROTECTION ZONES IDENTIFIED AS THE GREEN ZONE AROUND THE BASE OF THE TREES.
- PROVIDE WRITTEN CONFIRMATION THAT THE INSTALLATION HAS MET THE REQUIREMENTS AS STATED AND TO MEET THE CODE REQUIREMENTS.
- THE FINAL SIZE AND EXACT LOCATIONS OF IN-GROUND ELECTRICAL PITS ARE TO BE DETERMINED ON SITE. PITS ARE TYPICALLY LOCATED TO ENABLE EASE OF FUTURE INSTALLATIONS, THEY CAN BE SHARED PITS WITH SUITABLE SEGREGATION. SHALL BE CONSIDERED DURING INSTALLATION AND FINAL SIZING.



DETAIL A: SPORTS LIGHT TOWER ELEVATION N.T.S

*REFER TO TABLE 1 FOR SPORTS LIGHTING SPECIFICATION



T2	10-10-22	REVISED TENDER ISSUE
T1	05-10-22	TENDER ISSUE
P2	16/09/22	REVISED PRELIMINARY ISSUE
P1	01.09.2022	PRELIMINARY ISSUE
REV	DATE	REMARK

SAFETY IN DESIGN REPORT PER WHS REGULATIONS
The following risks which are unique to this design have been identified:
This report does not relieve contractors from their responsibilities under the Act to identify, report, mitigate and manage all aspects of risk and safety.

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PROJECT
SANDOWN AVENUE
SANDY BAY, HOBART
SANDOWN PARK 2

TITLE
ELECTRICAL SERVICES
POWER, COMMUNICATIONS &
LIGHTING LAYOUT

Accepted C. HOLLOWAY (Client's Rep)	Date
Accepted L. TERRY (Team Leader)	Date
Approved C. PURDON (Principal)	Date

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SCALES @ A1	DESIGNED BY	DRAWN BY
L. TERRY	D. VERASDONCK	
PLOT DATE	10/10/2022	

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DO NOT CONSTRUCT WORKS DIRECTLY FROM THIS DRAWING
CONTRACTOR is to measure and prepare coordinated working drawings for construction. Refer to PROJECT SPECIFICATION.

PLOT DETAILS J220526BS-E (PARK 2) DWG

PROJECT NO. J220526BS

DWG NO.	REVISION
E01	T2

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NOT FOR CONSTRUCTION

PLANNING REPORT

City of Hobart

Sandown 2 Lighting

Sandown Avenue Sandy Bay

OCTOBER 2022

Issuing Office: 117 Harrington Street, Hobart 7000

JMG Project No. 220526

Document Issue Status

Ver.	Issue Date	Description	Originator		Checked		Approved	
1	8/9	Planning Report	KH	22/9	AF	29/9	MSC	

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Appendix A - Title Information

Appendix B - Proposal Plans

Appendix C - Photo Montages

Appendix D - Light Spill Diagram

Appendix E - Arborist Report

1 Introduction

1.1 Purpose of Report

Johnstone McGee and Gandy Pty Ltd (JMG) have been engaged by the City of Hobart to prepare a development application for the installation of new lighting at Oval 2 at Sandown Park, Sandy Bay.

JMG has been engaged by the Department to prepare a report addressing compliance with relevant planning requirements. This report serves to provide an assessment of the proposed development and works against the provisions of the *Hobart Interim Planning Scheme 2015* (the Scheme).

1.2 Site Location & Context

The subject site in its entirety is approximately 59,634m² of Council owned land known as 'Long Beach Reserve' (PID 5601657). The location within this reserve the subject of this development proposal is known as Sandown Park (CT 112723/1, refer to Figure 1) with frontage to Sandown Avenue and Long Point Road, Sandy Bay.

For full details, refer to the Titles (Table 1) in Appendix A.

Long Beach Reserve and Sandown Oval is a large regional park, playground and sports ground precinct. The area has many features allowing for a range of recreational activities, such as .

The location which is the subject of this application (Sandown Oval 2) is currently used for junior soccer and athletics. The oval can be used as an off-lead exercise area when sport is not being played or activities are undertaken. The facility has the following existing features: bins, car parking, dogs allowed on/off lead, a drinking fountain, recreational facilities, and seating.

The grounds get very little use over winter (soccer season) as there is no lighting.

Land use to the west of the site is residential. Land to the east is Recreational with land zoned Local Business to the southeast and Utilities to the immediate south (Road). The Sandy Bay Sailing Club is to the immediate north.

The site is not subject to the Heritage Precinct Overlay (to the west) nor is it listed.

Table 1 - Titles of Subject Site

Property	Title Reference	Owner
17 BEACH ROAD, SANDY BAY	156268/1000, 96046/23, 96046/21, 214498/1, 96046/17, 96046/22, 96046/18, 96046/25, 96046/20, 96046/19, 96046/24, 112723/1, 96046/15, 214645/1, 233369/1, 21996/3, 96046/16	Local Government Authority Hobart City Council



Figure 1: Subject site with subject title in red (source: LIST map - accessed on 08.09.22).

2 Proposed Development

Sandown Oval 2 will have new lighting installed in order to allow for Soccer games and practices to occur in the evening and in the low light levels associated with winter.

Four new light towers will be erected, each with one cross arm (three head fitting). Each structure will have a total height of 18.0 metres from the finished ground level to the centreline of the fittings.

Lighting will meet the Australian Standard for competition to 200 lux minimum over the required lighting area. This illumination is suitable for training, special events and for twilight soccer matches (winter only) and is part of works to upgrade the oval which recently resulted in a new playing surface being installed.

The lighting has been designed in accordance with applicable Australian Standard (AS/NZS 428) to minimise impacts associated with light spillage.

Soccer is predominantly a winter activity as such the anticipated change in usage patterns following the lighting will extend practice and games into the evenings. The lights will generally be switched off by 10:00 pm.

Occasional one-off events which would require illumination at a later time will be assessed on their own merits at that time.

Details relating to the calculations and configuration of pole layout and light spill (including any design features that screen the filament from view as much as possible) can be found below:

- Appendix B - Proposal Plans;
- Appendix C - Photo Montages;
- Appendix D - Light Spill Diagram.

The impact of works on trees surrounding Sandown Park Oval has also been assessed (see Appendix E).

3 Policy Assessment

The applicable planning instrument is the *Hobart Interim Planning Scheme* (the Scheme).

The development site is located on land zoned 'Recreation' (Figure 2). In accordance with the Planning Scheme, the proposed development fits within the use category of *Sports and Recreation* and is a 'No Permit Required' Use as it supports Sports use and is provided by the Council.

The nature of the proposal and the location of the site requires that the proposal be considered against several Scheme elements:

- Clause 18.0 Recreation Zone;
- E5.0 Road and Railway Assets Code;
- E6.0 Parking and Access Code; and
- E24.0 Significant Trees Code.

The following section provides an assessment of the proposal against each of the above-listed Scheme elements.



Figure 2: Land use zones (source: LIST map - accessed on 08.09.22)

3.1 Hobart Interim Planning Scheme 2015

18.0 Recreation Zone

18.1 Zone Purpose

- 18.1.1.1 To provide for a range of active and organised recreational use or development and complementary uses that do not impact adversely on the recreational use of the land.
- 18.1.1.2 To encourage open space networks that are linked through the provision of walking and cycle trails.
- 18.1.1.3 To recognise and protect areas for public recreation and open space.
- 18.1.1.4 To provide for community service uses such as indoor sports facilities and community halls and other uses such as cemeteries in an open setting.
- 18.1.1.5 To maintain an appropriate level of amenity for residential uses in the nearby residential zones without unreasonable restriction or constraint on the nature and hours of activities in the Recreation Zone.

The proposed development does not change the existing use of the site for 'Sports and Recreation'. The development will allow for greater flexibility in terms of when the oval can be used but is not expected to result in any significant increase in overall site usage rather extended use of the site by the existing sports related activity, soccer, which has led to the decision to install lights. As is discussed further in this report, the development is consistent with the relevant zone and precinct controls.

The proposal will not undermine the residential character of the area as it affects an existing community facility and will have minimal impact on residential amenity.

18.3 Use Standards

18.3.1 Hours of Operation

<i>Objective: That non-residential use does not cause an unreasonable loss of amenity to residential zones.</i>	
A1 Hours of operation of a use within 50 m of a residential zone must be within: (a) 7.00 am to 8.00 pm Mondays to Fridays inclusive; (b) 8.00 am to 6.00 pm Saturdays; (c) 10.00 am to 5.00 pm Sundays and Public Holidays; except for office and administrative tasks.	P1 Hours of operation of a use within 50 m of a residential zone must not have an unreasonable impact upon the residential amenity of land in a residential zone through commercial vehicle movements, noise or other emissions that are unreasonable in their timing, duration or extent.

The intended operational hours for non-residential use are as follows:

7.00 am to 10.00 pm Mondays to Fridays inclusive;

8.00 am to 10.00 pm Saturdays;

10.00 am to 10.00 pm Sundays and Public Holidays;

The use is within 50m of a residential zone as such a Performance Based Solution is required.

The Use is existing with the lighting towers proposed to extend the time of an evening available for junior soccer or athletic activity (and associated site clearance of equipment and personnel).

The potential light spill impact is demonstrated in Appendix D and shows that the light towers will not have an unreasonable impact on the residential amenity of land in a residential zone. The Use does not involve commercial vehicle movements, noise or other emissions that are unreasonable in their timing, duration or extent.

The proposal is therefore able to meet the Performance Criteria (P1).

18.3.2 Noise

Not applicable. No noise emissions are associated with the light towers.

18.3.3 External Lighting

A1 External lighting, other than flood lighting of sport and recreation facilities, within 50 m of a residential zone must comply with all of the following: (a) be turned off between 9:00 pm and 6:00 am, except for security lighting; (b) security lighting must be baffled to ensure they do not cause emission of light outside the zone.	P1 ***
---	------------------

The use is within 50m of a residential zone however the floodlighting is associated with a sports a recreation facility therefore this clause is not considered applicable.

A2 Flood lighting of sport and recreation facilities within 200 m of a residential zone must not subject nearby residential lots to obtrusive light, as defined in AS 4282-1997-1.4.7	P2 ***
--	-----------

Flood lighting within 200 m of a residential zone will not subject nearby residential lots to obtrusive light, as defined in AS 4282-1997-1.4.7, see Appendix D. The proposal is therefore deemed to comply with the Acceptable Solution (A2).

18.3.4 Commercial and Patron Vehicle Movements

No change of permitted commercial and patron vehicle movements is proposed therefore this clause is not considered applicable.

18.3.5 Discretionary Use

As no change of Use is proposed this clause is not considered applicable.

18.4 Development Standards for Buildings and Works

18.4.1 Building Height

A1 Building height must be no more than: 10 m.	P1 Building height must satisfy all of the following: (a) be consistent with any Desired Future Character Statements provided for the area; (b) not unreasonably overshadow adjacent public space;
--	---

The light poles are classified as a Class 10b building and the height exceeds 10m as such a performance-based solution is required.

There is no Desired Future Character Statement (a) and the light poles will not unreasonably overshadow adjacent public spaces due to their width and position in relation to adjacent public spaces (b) as such the proposal is able to meet the Performance Criteria (P1).

A2 Building height within 10 m of a residential zone must be no more than 8.5 m.	P2 ***
---	-----------

As no buildings are proposed within 10m of a residential zone as such this clause is not considered applicable.

18.4.2 Setback

A1 Building setback from frontage must be no less than: 5m	P1 ***
--	-----------

The new light poles are set back greater than 5m from a frontage therefore the proposal is deemed to comply with the Acceptable Solution (A1).

A2 Building setback from a residential zone must be no less than: (a) 3 m; (b) half the height of the wall, whichever is the greater.	P2 ***
---	-----------

The new light poles are set back greater than 3m from a residential zone and do not contain 'walls'. The development is deemed to comply with Acceptable Solution (A2).

18.4.3 Design

As there are no walls of a building to assess this clause is not considered applicable.

18.4.4 Passive Surveillance

As there are no buildings proposed this clause is not considered applicable.

18.4.5 Landscaping

As there are no buildings proposed and landscaping is existing this clause is not considered applicable.

18.4.6 Outdoor Storage Areas

As no building works are proposed which would lead to use that requires outdoor storage this clause is not considered applicable.

18.4.7 Fencing

No fencing is proposed or required therefore this clause is not considered applicable.

18.5 Development Standards for Subdivision

As this proposal does not involve subdivision this clause is not considered applicable.

E5.0 Road and Railway Assets Code

The proposal (4 light towers) will not require a new vehicle crossing, junction or level crossing or intensify the use of existing access nor does it involve a sensitive use, a building, works or subdivision within 50m metres of a Utilities Zone that is part of a rail network a category 1 - Trunk Road or a category 2 - Regional Freight Road, that is subject to a speed limit of more than 60km/h kilometres per hour.

As such this Code is considered to not be applicable.

E6.0 Parking and Access Code

No use or development is exempt from assessment against this code (E6.4.1).

The proposed development (works) is for the erection of 4 light towers which will not result in a parking demand nor the requirement for parking facilities. The proposed Use will not be modified nor intensified.

As assessment against each provision shows that each clause is considered not to be applicable as such the proposal is considered to have been addressed.

E15.0 Coastal Inundation Hazard Area

A portion of the site (see Table 1) is subject to Coastal Inundation Hazard Area overlay however Sandown Park 2 (the location subject to this application for development approval) is not subject to this overlay.

The development proposed is not on land in the Coastal Inundation High, Medium and Low Hazard Areas; no change of use (from a non-habitable building to a habitable building or to new use with a habitable room on land that is in the Coastal Inundation High, Medium and Low Hazard Areas or the Riverine Inundation Hazard Area shown on the planning scheme maps) is proposed; the development is not on land subject to the risk of riverine flooding of 1% AEP or more; and the development of buildings and works is not dependent on a coastal location.

This Code is therefore, not considered applicable.

E16.0 Coastal Erosion Hazard Area

A portion of the site (see Table 1) is subject to Coastal Erosion Hazard Area overlay however Sandown Park 2 (the location subject to this application for development approval) is not subject to this overlay.

The development proposed is not in the Coastal Erosion Hazard Area shown on the planning scheme maps; no change of use (from a non-habitable building to a habitable building or to new use with a habitable room on land that is in the Coastal Erosion Hazard Area shown on the planning scheme maps) is proposed; and the proposed works are not dependant on coastal land.

This Code is therefore, not considered applicable.

3.2 State Policies

Policies under the *State Policies and Projects Act 1993* (the Act) are considered in this section.

State Policy on the Protection of Agricultural land 2009

The site is not considered to be 'Agricultural Land' as defined in the State Policy for the Protection of Agricultural Land, hence is not subject to the Policy.

State Coastal Policy 1996

The site upon which the towers are to be erected is not within the 'Coastal Zone' as defined in the State Coastal Policy, hence is not subject to the Policy.

State Policy on Water Quality Management 1997

The development does not involve any new point source discharges hence will not conflict with any protected environmental values in the State Policy for Water Quality Management.

4 Impact Assessment

Context, Setting and Visual Impact

The visual impact of the development will be the erection of four new 18.0m high light poles around the oval.

Photo montage are available in Appendix C which demonstrates the visual impact of the proposed poles from 250m (southeast).

The development will not cause any unreasonable impacts on residential amenity as:

- Light spillage will be controlled in accordance with the relevant Australian Standards;
- The development is of minimal significance to the overall appearance of the recreational facility or the visual character of the area or streetscape. Given the width of the poles, the development will not cause any significant obstruction of

Light Spill diagrams and available in Appendix D.

Traffic and Transport Networks

No changes to site access or parking are proposed. The reallocation of match times may change the hours when traffic is generated by the use of the site but will not have any significant impact on the volume of overall traffic generated by the site.

Public Domain

The development affects a Council-owned and operated facility. The new lighting will improve the standard of the facility by bringing illumination levels up to current standards.

Utilities

The development will connect to Aurora's reticulated electricity grid.

Heritage

The proposal is not considered to have any significant impact on the built form, historic townscape associations or streetscape context of any listed items.

The site is not listed on the Tasmanian Heritage Register or in the Planning Scheme for heritage conservation value. The site is east of heritage precinct SB14.

The development will not materially alter the fabric of any listed property but will have a minor effect on the appearance of the area by virtue of erecting new structures.

The erection of four new poles around the Sandown oval will have minimal impact on the streetscape context. Furthermore, the poles will be located on an existing recreational property and are obscured largely by mature trees.

Water

The lighting scheme will not increase the demand for reticulated infrastructure.

Air and Micro-Climate

The use of the site for sporting purposes will not generate any emissions to the air.

Flora and Fauna

An arborist assessment has been undertaken (Appendix E) as Sandown Oval 2 has mature trees growing on all sides and in close proximity to the oval. Tree roots extend under the edge of the oval and surrounding areas which will be disturbed during the installation of underground electrical cabling to power the lights. Expert advice states that 18 trees may potentially be impacted. Encroachment over the root zones of 11 trees is likely to range from moderate to severe.

Use of conventional excavation methods within the trees' tree protection zones is impactable with their retention as such a low-impact method will be employed with guidance from an arborist.

Waste

The building contractor will be responsible for disposing of all construction waste.

Energy

The lighting scheme will utilise energy-efficient luminaires.

Noise

The new lighting will mean that a proportion of junior soccer games and training will occur in the evening rather than during the day. Training will continue to occur on weeknights. The lights will be switched off by 10:00 pm to allow for dispersal from the site by participants and staff.

Hazards

The site is not known to be at any particular risk of natural hazards.

Safety, Security and Crime Prevention

The new development is therefore not considered to be at any particular risk of vandalism.

Economic and Social Impact

The new lighting will provide illumination in line with current standards for football matches, supporting the recreational use of the site. Being able to train in the evening will increase the potential suitability of the site to accommodate junior soccer.

The development has been designed in accordance with the appropriate Australian Standard to ensure that light spillage from the site does not result in any unreasonable loss of amenity for surrounding residents.

5 Conclusion

The proposed development involves the construction of four 18m lighting poles at an existing recreational facility. The development supports the existing use of the site.

The development generates one discretion under the Planning Scheme:

- 18.3.1 Hours of Operation

Hours of operation will have a minor impact as demonstrated. The light spill has been determined which shows the scope of the impact.

The height of the lighting poles requires consideration. A detailed photo montage has been prepared that demonstrates how the development will appear from a distance (250m).

The development will not result in a substantial increase in the overall number of days of usage and it will not result in a significant loss of amenity.

The development will not materially alter the fabric of the existing trees which are integral to the amenity of the site. Expert instruction has been provided regarding actions that will mitigate the impact of installing underground cabling to power the lights.

The application is considered to comply with the requirements of the *Hobart Interim Planning Scheme 2015* as well as all State Policies and accordingly, ought to be approved by Council.

APPENDIX A

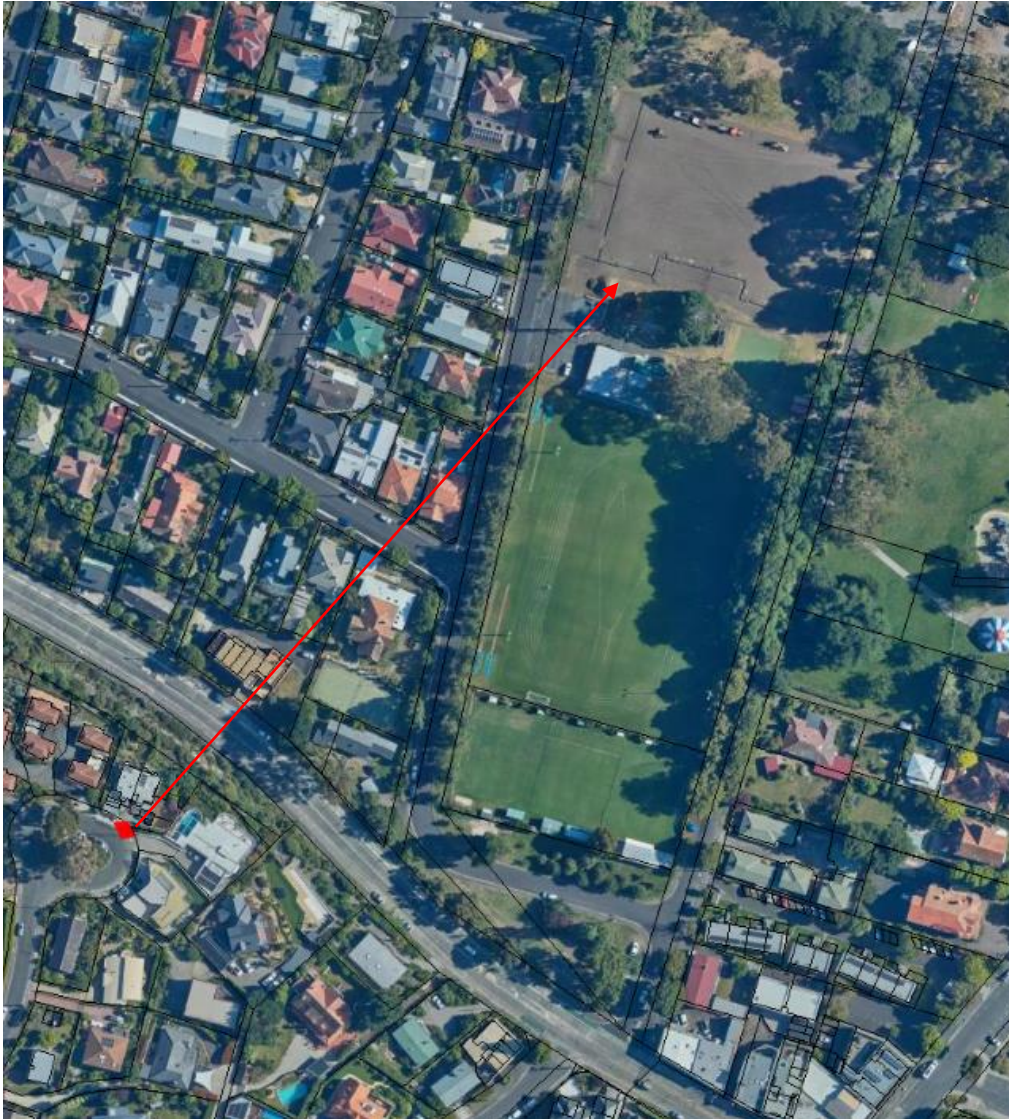
Title Information

APPENDIX B

Proposal Plans

APPENDIX C

Photo Montages



Chessington Street Sandy Bay (4/10/22)

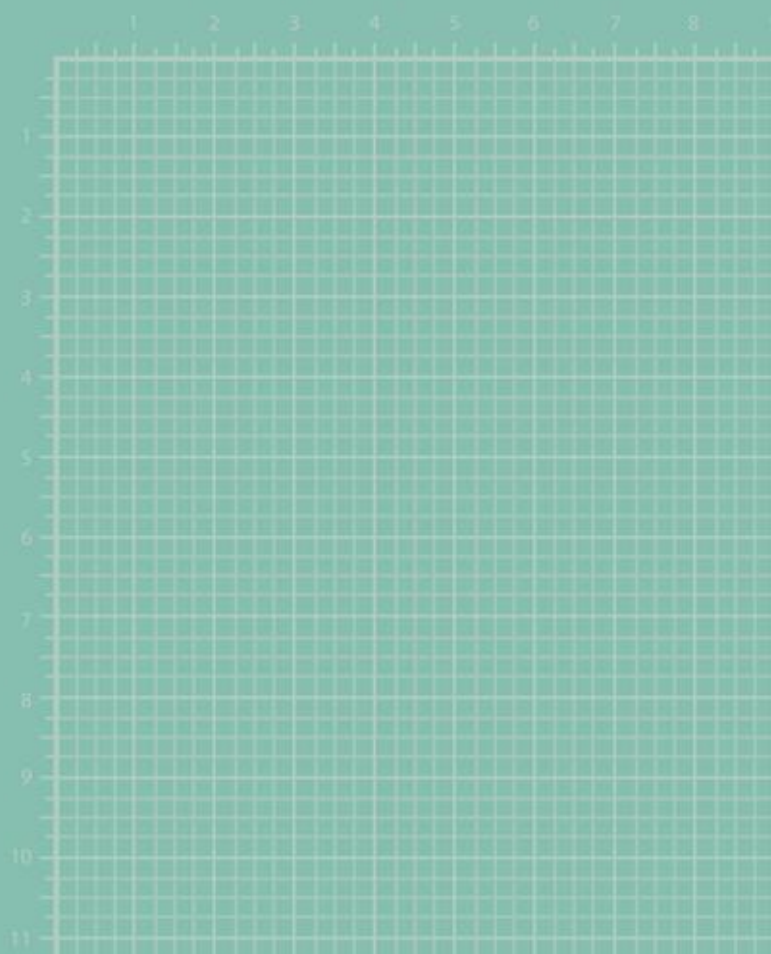
APPENDIX D

Light Spill Diagrams

APPENDIX E

Arborist Report

1



Johnstone McGee & Gandy Pty Ltd

ABN 76 473 834 852 ACN 009 547 139

www.jmg.net.au

HOBART OFFICE
117 Harrington Street
Hobart TAS 7000
Phone (03) 6231 2555
infohbt@jmg.net.au

LAUNCESTON OFFICE
49-51 Elizabeth Street
Launceston TAS 7250
Phone (03) 6334 5548
infohbn@jmg.net.au



JMG Ref: J220526BS

26 October 2022

General Manager
City of Hobart

Attention: Ben Ikin

117 Harrington Street
Hobart 7000
Phone (03) 6231 2555
Fax (03) 6231 1535
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Launceston 7250
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Johnstone McGee &
Gandy Pty Ltd
ABN 76 473 834 852
ACN 009 547 139
as trustee for Johnstone
McGee & Gandy
Unit Trust

www.jmg.net.au

Dear Ben,

PLANNING APPLICATION - APPLICATION NO. PLN-22-662 - 17 BEACH ROAD, SANDY BAY - LIGHTING

I refer to the Council's letter regarding the above application dated 11 October 2022. To enable further consideration a response to the Council's 'request for further information' (RFI) is addressed in the sequence below.

1. Irrigation Details

The irrigation system has been installed by the City of Hobart. The irrigation details do not form part of this proposal as they are existing. They do dictate pole placement and infrastructure placement for powering the poles as do the trees which is why they have been identified on the drawing set (along with sewer line, telecommunications etc.) as required.

2. Clarification of Light Poles

Please see Attachment 1 (revised ELECTRICAL SERVICES POWER, COMMUNICAITONS & LIGHTING LAYOUT).

3. Operating Hours

The installation of the lights is to primarily maximise usage of the grounds. This will include:

- Additional matches and training will be unchanged but more spread out.
- Additional usage will be available with expanded operating hours.

We trust that the advice contained in this letter satisfies Council's request, however, if further information or clarification is required, please contact me on 62 312 555 or via khill@jmg.net.au.

Yours faithfully,

JOHNSTONE MCGEE & GANDY PTY LTD


Katrina Hill | Town Planning

JMG Ref: J220526BS

15 November 2022

General Manager
City of Hobart

Attention: Ben Ikin

117 Harrington Street
Hobart 7000
Phone (03) 6231 2555
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Johnstone McGee &
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Dear Ben,

PLANNING APPLICATION - APPLICATION NO. PLN-22-662 - 17 BEACH ROAD, SANDY BAY - LIGHTING

I refer to the Council's letter regarding the above application dated 15 November 2022. To enable further consideration a response to the Council's 'request for further information' (RFI) is addressed in the sequence below.

1. PLN Fi1

Text on the drawing provided (Appendix D of the original application) is a declaration from the person who conducted the obtrusive lighting assessment that the assessment was carried out in accordance with AS/NZS 4282:2019 Control of the obtrusive effects of outdoor lighting and that the proposed design will comply with the light technical parameters of Table 3.2 and the maximum luminous intensities of Table 3.3.

By providing the required information on the drawing the Assessor declares that the proposed design does comply with the light technical parameters of Table 3.2 and the maximum luminous intensities of Table 3.3 for both the noncurfew and curfew periods when the lights are off (not operating).

We trust that the advice contained in this letter satisfies Council's request, however, if further information or clarification is required, please contact me on 62 312 555 or via khill@jmg.net.au.

Yours faithfully,

JOHNSTONE MCGEE & GANDY PTY LTD


Katrina Hill | Town Planning



The values of light technical parameters shown in this lighting design calculation are nominal. They are based on parameters provided by the client and the specific details as reported in this document. Results in practice may be different due to variations such as luminaire positioning/aiming, surface reflectance, supply voltage, local luminaire ambient temperature, obstacles/furniture, etc. They are also subject to normally accepted photometric tolerances, and calculation/program uncertainties. Southern Lighting shall be under no liability to the Customer for failure to attain such performance figures. Commercial in confidence.

Design Notes:

Draft Design for Review.
Dimensions and set-out have been taken from a pdf/satellite image, subject to confirmation prior to installation/commissioning.
For further calculations and/or for installation/aiming details please contact Southern Lighting.

MH = the nominal height above the playing surface to a single cross-arm.
No account is taken for any difference in height of the pole base and the playing surface.
Any significant difference should be advised.
Cross-arm design should be checked so that luminaires can be aimed without obstruction.
The suitability of the existing poles to support new floodlights must be confirmed by others.

Philips OptiVision LED gen3.5 CCT=5700K, Ra8=70. DALI (max. dim level 10%).
BVP528 50K 757 T30 IP66 3 module, Weight=26.5 kg (remote driver 6.3 kg).
SCx=0.29 (at 30° uplift), SCx=0.33 (at 40-50° uplift)
For A35 types subtract 35° from "Tilt" to get the uplift of the body (do not use the clear visor). All A35 luminaires have uplift <= 37°. Floodlights should be spaced at least 95cm apart.
Note trunnion depth is 30mm, longer bolts may be required.
Drivers remote, poles must be checked for capacity to house.
Driver rating: 230-400V +/-10% 50Hz. Single phase preferred.
Refer to Mounting instructions for inrush current details.
Cable from driver to floodlight 6C+E 1000V (by others):
Length<25m use 1.5mm2, Length<=50m use 2.5mm2, <= 200m possible with extra core.
Can be mounted over/under without modification/accessories, (single cross-arm only, if two or more cross-arms are required, then provision must be made for sufficient offset to avoid the luminaires on the lower arm/s shadowing those on the upper arm).



Glare Ratings (GR) are based on a diffuse playing surface reflectance of 25%.
GRmax <=50 for observers per Figure 2.6.7 AS2560.2:2021 for outdoor football.

A maintenance factor (LLF) of 0.86 has been allowed to apply to all luminaires.
A maintenance policy should be adopted to support the maintenance factor.
These calculations use LLF = 1.0 to show obtrusive light initial values.
All illuminance values should multiplied by the maintenance factor for maintained values.

AS/NZS 4282:2019 Obtrusive light assessment:
Conforms to Environmental Zone A3 - Medium District Brightness (suburban) limits:
- Maximum luminous intensity per luminaire (I) < 12500 cd non-curfew (Level 1)
- Vertical illuminance (Ev) <= 10 lux
- Threshold Increment (TI) <= 20% (adaptation level Lad = 1 cd/m2 or as shown)
- ULR (UWLR) <= 0.02
All luminaires on, direct flux only, no obstructions such as trees are included.
Ev and I calculated at building lines or property boundaries at the heights as shown.
For TI the carriageway plane is assumed to be horizontal at z = 0.

Ev I				
Project: Ev I				
Label	CalcType	Units	Description	Max
Ev 1_Cd_Seg1	Obtrusive - Cd	N.A.	z = 1.5 - 20 m	4588
Ev 1_III_Seg1	Obtrusive - III	Lux	z = 1.5 - 20 m	2.5
Ev 2_Cd_Seg1	Obtrusive - Cd	N.A.	z = 1.5 - 20 m	2574
Ev 2_Cd_Seg2	Obtrusive - Cd	N.A.	z = 1.5 - 20 m	2633
Ev 2_III_Seg1	Obtrusive - III	Lux	z = 1.5 - 20 m	0.6
Ev 2_III_Seg2	Obtrusive - III	Lux	z = 1.5 - 20 m	0.6
Ev 3_Cd_Seg1	Obtrusive - Cd	N.A.	z = 1.5 - 20 m	1810
Ev 3_III_Seg1	Obtrusive - III	Lux	z = 1.5 - 20 m	0.1

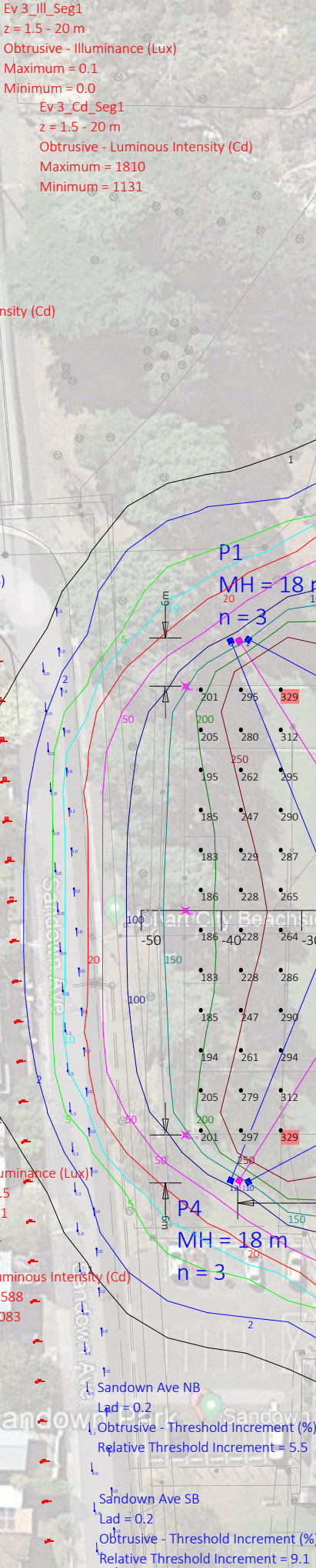
TI				
Project: TI				
Label	CalcType	Units	Lad	TI
Beechworth Rd EB	Obtrusive - TI	%	0.2	6.9
Long Point Rd NB	Obtrusive - TI	%	1	13.0
Long Point Rd SB	Obtrusive - TI	%	1	9.0
Sandown Ave NB	Obtrusive - TI	%	0.2	5.5
Sandown Ave SB	Obtrusive - TI	%	0.2	9.1

Luminaire Schedule						
Symbol	Qty	Label	Description	Source	Power	LLF
	8	BVP528 A35-NB +BL	Apex OptiVision LED Gen3.5 3-module 5700K	LED2130/757 OUT T30 50K	1420	1.000
	4	BVP528 A35-MB +BL	Apex OptiVision LED Gen3.5 3-module 5700K	LED2130/757 OUT T30 50K	1420	1.000

UWLR Area Summary	
Label	UWLR
ULR	0.002

GR				
Project: GR				
Label	CalcType	Units	Description	Max
GRmax	Glare Rating	N.A.	r = 0.25	44.6

Calculation Summary					
Project: Illuminance					
Label	CalcType	Avg (lx)	Min/Avg	Min/Max	UG
Soccer	Illuminance	249	0.66	0.50	1.48



A 2022-09-07 AM Original issue	
Rev:	Date: By: Comment:
Project: SANDOWN PARK SOCCER	
Title: 200 Lux	
Client:	Scale: As shown
Doc #:	A22012-02 Page:
SOUTHERN LIGHTING & DISTRIBUTION	



Tree inclined

Impact of works on trees surrounding Sandown Park Oval No.2, Lower Sandy Bay.



Jerry Romanski

Arborist / Consultant

B.Sc (Hons),

Ass. Dip. App. Sc.(Hort/Arb)

29 Winston Avenue

Seven Mile Beach TAS. 7170

M: 0419 363 011

jerry@treeinclined.com

5 August 2021

Contents

1. Background and scope	3
2. Summary of findings.....	4
3. The proposed works and root zones of nearby trees	5
4. Potential impact of development on nearby trees	6
Table 1. Trees potentially impacted by proposed works at Oval No.2	7
5. Tree protection recommendations	10

1. Background and scope

Sandown Park Oval 2 is a popular sports venue located in lower Sandy Bay. Mature trees are growing on all sides and in close proximity to the oval (Figure 1). Tree roots extending from the large Sequoiadendron growing to the south of the oval are clearly visible at the surface and by the edge of the oval. The oval surface has become uneven – a situation possibly contributed to by tree roots.

Extensive reconstruction of Oval No.2 is currently proposed. The works will include stripping of the existing turf surface, installation of below ground drainage, irrigation and electrical infrastructure (see Section 3). The works are likely to encounter tree roots, with some of the works likely to impact structurally important tree roots.

- This assessment of potential impact by the proposed works on nearby trees was prepared for Shannon Avery, Program Leader Sport and Recreation with the City of Hobart.
- The report identifies trees likely to be impacted by the work, provides an estimate of likely encroachment over the trees' root zones and suggests methods to minimise the potential impact on tree roots.
 - Ground based inspection of the trees was completed on 3/08/2021.
- Documents used in this assessment were:
 - Sandown Park Oval No. 2 Reconstruction Design Drawings V2 17.6.2020. This report should be viewed together with full plans of the proposed works.

Figure 1. Aerial view of Oval No.2. Approximate location of trees potentially impacted by the works is indicated by orange disks (CoH:Tree Inspections 2020, GIS Layer extract).



2. Summary of findings

- The proposed works have potential to directly impact on 18 trees. Encroachment over the root zones of 11 trees is likely to range from moderate to severe.
- Retention of all existing trees is possible with exceptional care employed during the planning and execution of this project.
 - I consider that employment of a project arborist and frequent and open communication between project management, contractors and the project arborist essential to the retention of the nearby trees and their continued contribution to the landscape of Sandy Bay.
- Use of conventional excavation methods within the trees' tree protection zones is incompatible with their retention. Low impact excavation methods and oversight by the project arborist will necessary to minimise the impact on tree roots and ensure their long-term viability and structural integrity.



Trees along the western boundary of Oval No.2

OVERLAY OF DRAINAGE AND IRRIGATION PLANS



4. Potential impact of development on nearby trees

Legend for Table 1.

Tree.	- tree number in plan presented in Section 3
HGT	- approximate tree height (m)
DAB	- trunk diameter above root flare
DBH	- trunk diameter over bark at approximately 1.4m above the ground
H/S	- assessment of tree health / structure (G- good, F- fair, P- poor, D- dead)
Comments	- key points affecting the tree's potential for maintenance within the scope of the proposed development
SRZ	- structural root zone radius (m)*
TPZ	- tree protection zone radius (m)*
Encroachment	- nature of the encroachment into the tree's TPZ
Enc_%	- proportion of the TPZ impacted by the encroachment
RET.	- retention recommendation (Y – yes, to be retained; N – no, tree to be removed)
RECS	- management recommendations
<ul style="list-style-type: none">- SRZ and TPZ dimensions were guided by AS 4970-2009, Protection of trees on development sites.	

Mature and young elms along Long Point Road and the eastern side of Oval No.2 .



Table 1. Trees potentially impacted by proposed works at Oval No.2 .

Tree	Asset ID	SPECIES	HGT	DAB	DBH	H/S	SRZ	TPZ	Comments	Encroachment	Enc %	Ret.	RECS
1	3726	Sequoiadendron gigantea	15-25	2.50	2.50	F/F	4.9	15.0	Heaving of playing surface-large roots expected below playing surface (roots visible on surface 17m from tree)	Collector drain line, irrigation line.	9.4	Y	Low impact excavation methods (boring, hydro, hand) to be used for installation of drainage, irrigation and electrical infrastructure between DP6 and DP7. Electrical conduit from the Pavilion to be installed outside of the TPZ.
2	3600	Betula pendula	<8	0.12	0.08	G/G	1.5	2.0		N/A		Y	
3	3601	Betula pendula	8-15	0.59	0.51	G/G	2.7	6.1		Collector / Perimeter drain line, irrigation line and electrical, DP8 and outlet drain pipe,	21	Y	Alternative outlet drain alignment recommended to reduce impact of excavation on tree 3.
4	3603	Pinus nigra var. maritima	15-25	0.91	0.82	G/G	3.2	9.8		Perimeter drain, irrigation and electrical	43	Y	Low impact excavation methods (hydro, hand) to be used for installation of drainage and irrigation lines.
5	3605	Pinus nigra var. maritima	15-25	0.97	0.92	G/G	3.3	11.0		Perimeter drain, irrigation and electrical	>50	Y	Low impact excavation methods (hydro, hand) to be used for installation of drainage and irrigation lines.
6	3606	Pinus muricata	8-15	0.75	0.60	G/G	2.9	7.2		Perimeter drain, irrigation and electrical	24	Y	Low impact excavation methods (hydro, hand) to be used for installation of drainage and irrigation lines.

Tree	Asset ID	SPECIES	HGT	DAB	DBH	H/S	SRZ	TPZ	Comments	Encroachment	Enc %	Ret.	RECS
7	3738	Pinus nigra var. maritima	15-25	0.64	0.59	G/G	2.7	7.1		Perimeter drain, irrigation and electrical	24	Y	Low impact excavation methods (hydro, hand) to be used for installation of drainage and irrigation lines.
8	3720	Pinus nigra var. maritima	15-25	0.93	0.87	G/G	3.2	10.4		Perimeter drain, irrigation and electrical	30	Y	Low impact excavation methods (hydro, hand) to be used for installation of drainage and irrigation lines.
9	3719	Pinus nigra var. maritima	15-25	0.72	0.60	F/G	2.9	7.2		Perimeter and main drain, DP1, irrigation and electrical	6.5	Y	Consider low impact excavation methods (hydro, hand) to be used for installation of drainage and irrigation lines.
10	3602	Pinus pinaster	15-25	1.19	1.10	G/G	3.6	13.2		Perimeter and main drain, DP1, irrigation and electrical	<1	Y	Consider low impact excavation methods (hydro, hand) to be used for installation of drainage and irrigation lines.
11	3717	Bursaria spinosa	<8	0.46	0.45	G/P	2.4	5.4	Very mature, divides into 3 leaders at 1.6m - western leader failed and resuming on ground, eastern leader cracked off and propped on the ground.	N/A		Y	
12	3714	Eucalyptus viminalis	15-25	1.34	1.22	G/F	3.7	14.6	Decay in lower trunk, leans toward playing field.	Perimeter and main drain, irrigation and electrical	<1	Y	
13	3713	Ulmus procera	15-25	0.95	0.84	G/F	3.2	10.1		N/A		Y	
14	3436	Ulmus procera	>25	1.48	1.48	G/F	3.9	15.0		Perimeter and main drain, DP4, irrigation and electrical	34	Y	Low impact excavation methods (hydro, hand) to be used for installation of drainage and irrigation lines.
15	3435	Ulmus x hollandica	<8	0.17	0.10	G/G	1.6	2.0		N/A		Y	

Tree	Asset ID	SPECIES	HGT	DAB	DBH	H/S	SRZ	TPZ	Comments	Encroachment	Enc %	Ret.	RECS
16	264125	Ulmus sp.	8-15	0.31	0.28	G/G	2.0	3.4		Perimeter drain, irrigation and electrical	10	Y	Consider low impact excavation methods (hydro, hand) to be used for installation of drainage and irrigation lines.
17	3434	Ulmus x hollandica	15-25	0.76	0.70	G/G	2.9	8.4		Perimeter drain, irrigation and electrical	31	Y	Low impact excavation methods (hydro, hand) to be used for installation of drainage and irrigation lines.
18	264126	Ulmus sp.	<8	0.11	0.09	G/G	1.5	2.0		N/A		Y	



Tree 1. A very large conifer with an extensive root system. Roots are visible near the edge of the playing surface beyond the 15 m radius of the standard TPZ.



5. Tree protection recommendations

TPZ – “A specified area above and below the ground and at a given distance from the trunk set aside for the protection of a tree’s roots and crown to provide for the viability and structural stability of a tree... (AS 4970-2009).” Such areas are to exclude vehicular traffic, excavation, storage of materials and disposal of building waste.

SRZ – “The area around the base of a tree required for the tree’s stability in the ground. The woody root growth and soil cohesion in this area are necessary to hold the tree upright.” (AS 4970-2009)

1. It is clear from the plan presented in Section 3 that standard tree protection measures will not be possible during this project. The proposed works substantially encroach over the TPZ and SRZ of many nearby trees. It is critical that a project arborist is engaged to offer assistance during the final planning of the project, its execution and site rehabilitation.
 - a. The works will necessitate the use of machinery and will produce a substantial volume of spoil. Methodology for the works and location of stockpiles need to be approved by the project arborist as these can impact not only on the trees included in this report, but also on others nearby, including significant for the City of Hobart blue gums growing to the south of Oval No.2.
 - b. Where possible, TPZ exclusion zones need to be established following consultation with the project arborist and before the commencement of earthworks. These may be delineated with stakes and barrier tape or temporary fencing panels, based on the assessment of the project arborist.
2. Standard excavation techniques will not be possible within the TPZ of most trees included in this report. Excavation methodology needs to be communicated to and approved by the project arborist. It is likely that large roots will be exposed during the works. The need for stand over by an arborist during excavation for services within the trees’ TPZ to provide root management advice and services is to be expected.
 - a. The site includes a range of tree species of various sizes. As such, it is difficult to nominate a minimum diameter for roots to be retained during the works as this will vary between the affected trees and the proximity of potential damage to the trunks. Close communication between project management and the project arborist is essential to minimise the potentially significant impact on trees roots and in turn the trees’ viability. Generally, roots should not be torn by machinery – seek advice of the project arborist.

SEARCH OF TORRENS TITLE

VOLUME 214645	FOLIO 1
EDITION 1	DATE OF ISSUE 10-Jan-1995

SEARCH DATE : 05-Oct-2022

SEARCH TIME : 01.28 PM

DESCRIPTION OF LAND

City of HOBART

Lot 1 on Plan 214645

Derivation : Part of 41A-2R Gtd to G Cartwright and anor; Part
of 38A-12Ps Gtd to W S Gellibrand

Prior CT 2566/8

SCHEDULE 1

A71085 TRANSFER to HOBART CITY COUNCIL

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

SEARCH OF TORRENS TITLE

VOLUME 233369	FOLIO 1
EDITION 1	DATE OF ISSUE 01-Mar-1995

SEARCH DATE : 05-Oct-2022

SEARCH TIME : 01.28 PM

DESCRIPTION OF LAND

City of HOBART

Lot 1 on Plan 233369

Derivation : Part of 41A-2R-0Ps. Gtd. to G. Cartwright & anor.

Prior CT 3162/48

SCHEDULE 1

A64263 HOBART CITY COUNCIL

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



SCHEDULE OF EASEMENTS

Plan No.

S.P21996

NOTE:—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

Easements:

Lot 1 is

- (1) TOGETHER WITH a right of carriageway over that part of Lot 3 marked "Right-of-Way (Private) 4.50 wide" on the plan.
- (2) SUBJECT TO a right of carriageway appurtenant to the land comprised in folio of the Register Volume 2850 Folio 65 over that part of Lot 1 marked "Right-of-Way (Private) 4.50 wide" on the plan.
- (3) SUBJECT TO a right of carriageway appurtenant to the lands comprised in folios of the Register Volume 2850 Folio 66 and Volume 2966 Folio 86 over that part of Lot 1 marked "Right-of-Way (Private) 4.50 wide" on the plan.


Lot 3 is

- (1) SUBJECT TO a right of carriageway appurtenant to Lot 1 on the plan over that part of Lot 3 marked "Right-of-Way (Private) 4.50 wide" on the plan.
- (2) SUBJECT TO a right of carriageway appurtenant to the land comprised in folio of the Register Volume 2850 Folio 65 over that part of Lot 3 marked "Right-of-Way (Private) 4.50 wide" on the plan.
- (3) SUBJECT TO a right of carriageway appurtenant to the lands comprised in folios of the Register Volume 2850 Folio 66 and Volume 2966 Folio 86 over that part of Lot 3 marked "Right-of-Way (Private) 4.50 wide" on the plan.

The Common Seal of the)
Lord Mayor Aldermen and)
Citizens of the City of)
Hobart was hereunto affixed)
in the presence of:-)



LORD MAYOR



TOWN CLERK

21996

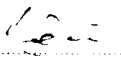
This is the schedule of easements attached to the plan of Lord Mayor Aldermen and
(Insert Subdivider's Full Name)

Citizens of the City of Hobart affecting land in

The City of Hobart being Certificate of Title Volume 2933 Folio 24
(Insert Title Reference)

Sealed by The Lord Mayor Aldermen and Citizens on 10th November 1983
of the City of Hobart

28066


Council Clerk/Town Clerk
Tasman

<p align="center">SCHEDULE OF EASEMENTS</p> <p>NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.</p>	<p align="center">Registered Number</p> <p align="center">SP 156268</p>
--	--

PAGE 1 OF 1 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

No easements covenants or profits a prendre are intended to be created.

SIGNED by MICHAEL DAVID JONES)
being and as the Manager Crown Land Services)
prescribed in Statutory Rule No. 187 of 2001 and)
pursuant to an Instrument of Delegation dated)
25 November 2004 in the presence of:-)



Signature of witness:



Name of witness: Kelvin Pelham

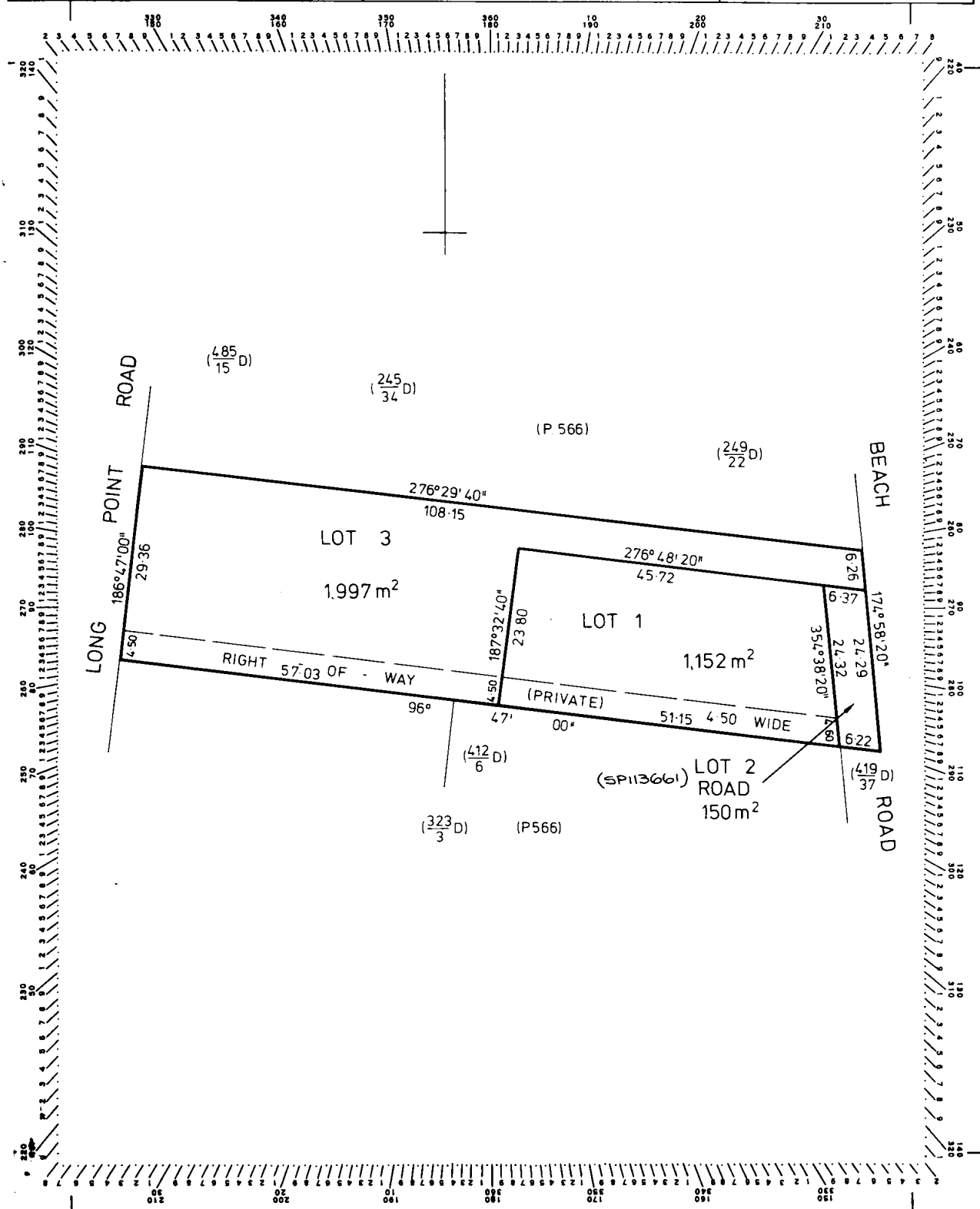
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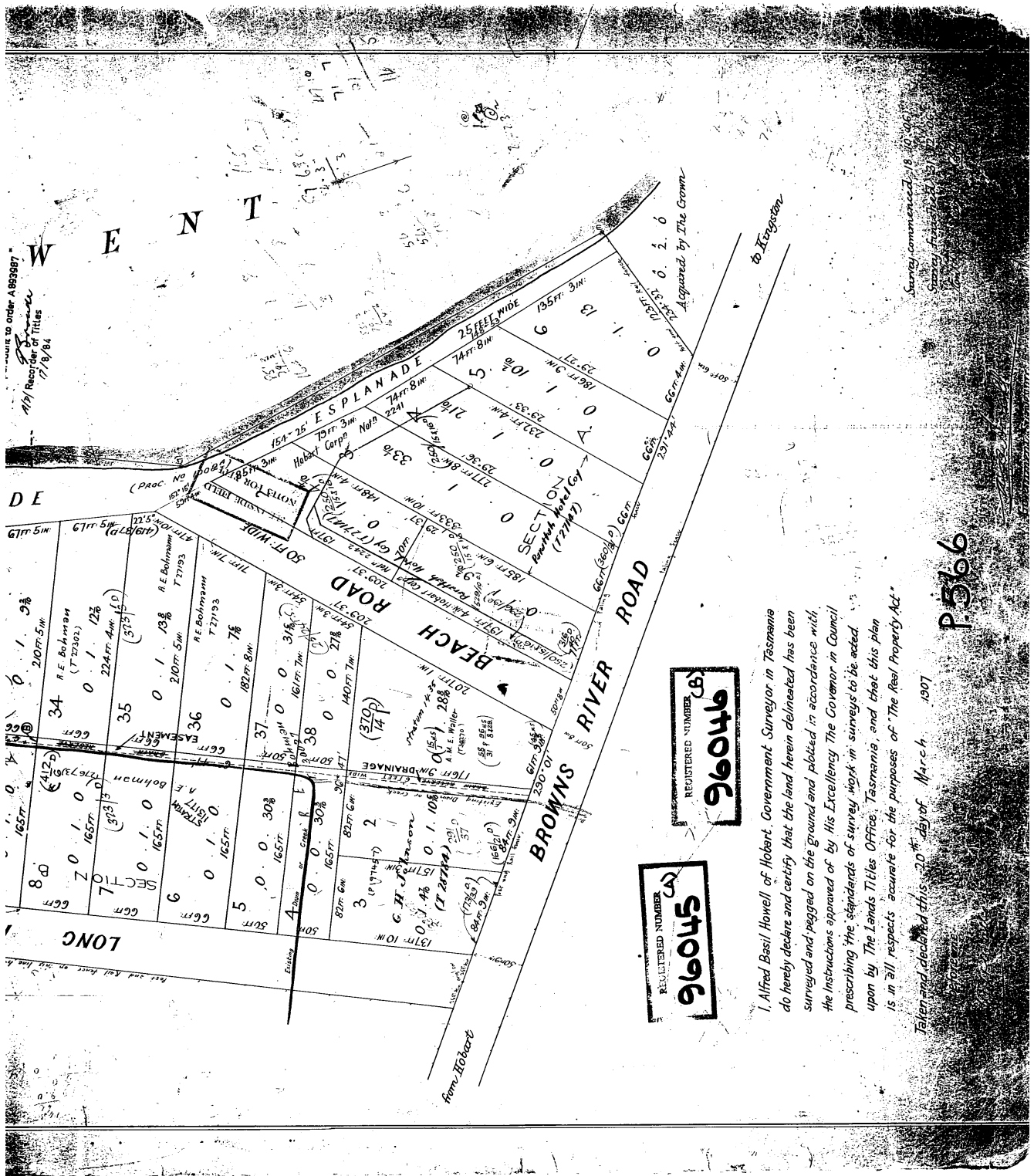
Address: Crown Land Services
134 Macquarie Street
HOBART

(USE ANNEXURE PAGES FOR CONTINUATION)

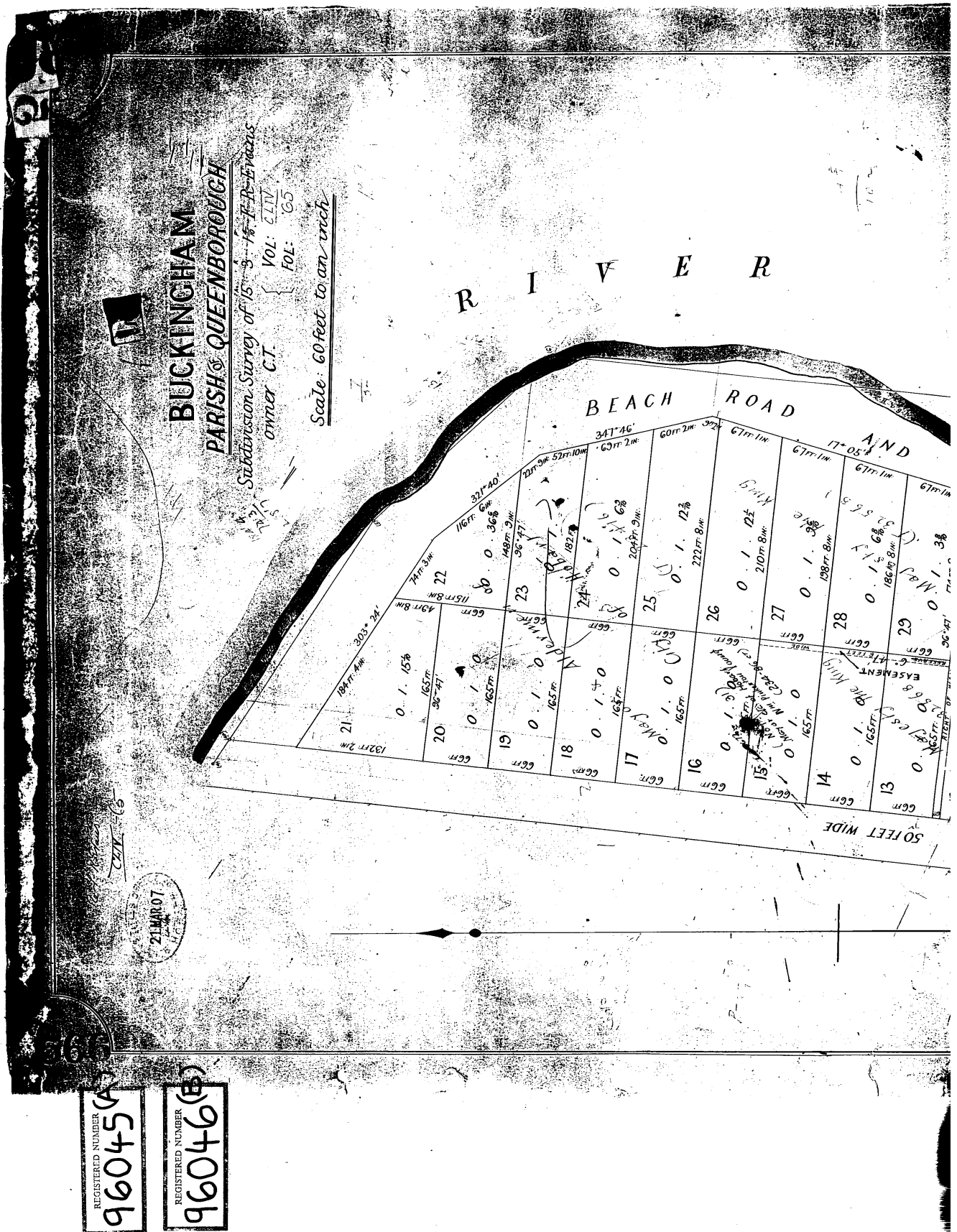
<p>SUBDIVIDER: The Crown</p> <p>FOLIO REF: Section 27A</p> <p>SOLICITOR & REFERENCE: Crown Land Services, 20 48 70</p>	<p>PLAN SEALED BY: The Crown</p> <p>DATE: 17 December 2008</p> <p>20 48 70..... REF NO. Crown Delegate</p>
<p>NOTE: The Council Delegate must sign the Certificate for the purposes of identification.</p>	

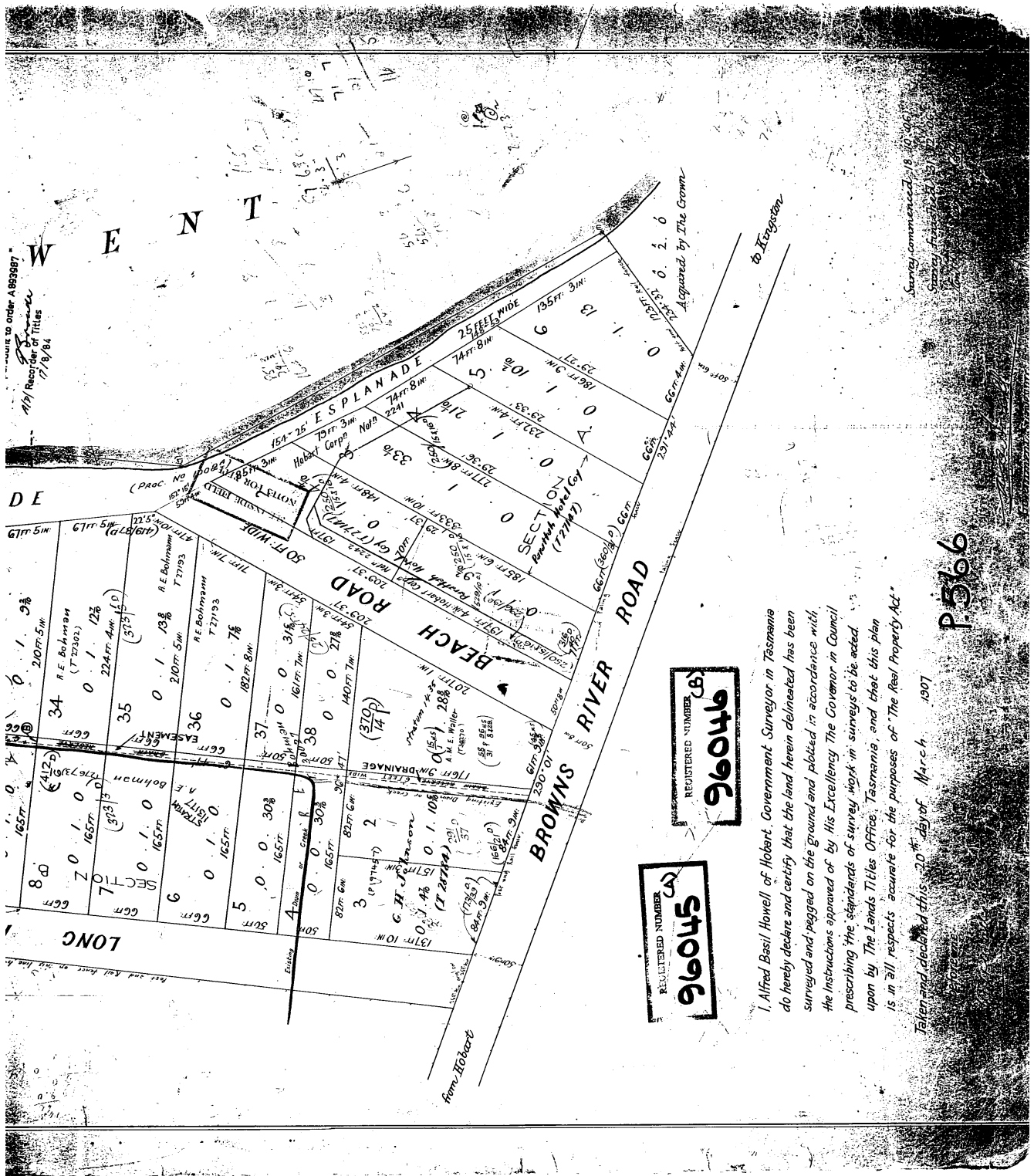
Owner: LORD MAYOR, ALDERMEN & CITIZENS OF THE CITY OF HOBART Title Reference: CT 2933/24 Grantee: PART OF 44° 2' 0" GTD. TO GEO. CARTWRIGHT & ROBERT PITCAIRN & PART OF 38° 0' 12" GTD. TO WILLIAM ST PAUL GELLIBRAND	PLAN OF SURVEY by Surveyor <u>G. L. KING</u> of land situated in the CITY OF HOBART SCALE 1: 600 MEASUREMENTS IN METRES	Registered Number: S. P21996 Effective from: 21 AUG 1984 <i>E. R. Thorp</i> Recorder of titles
--	--	---



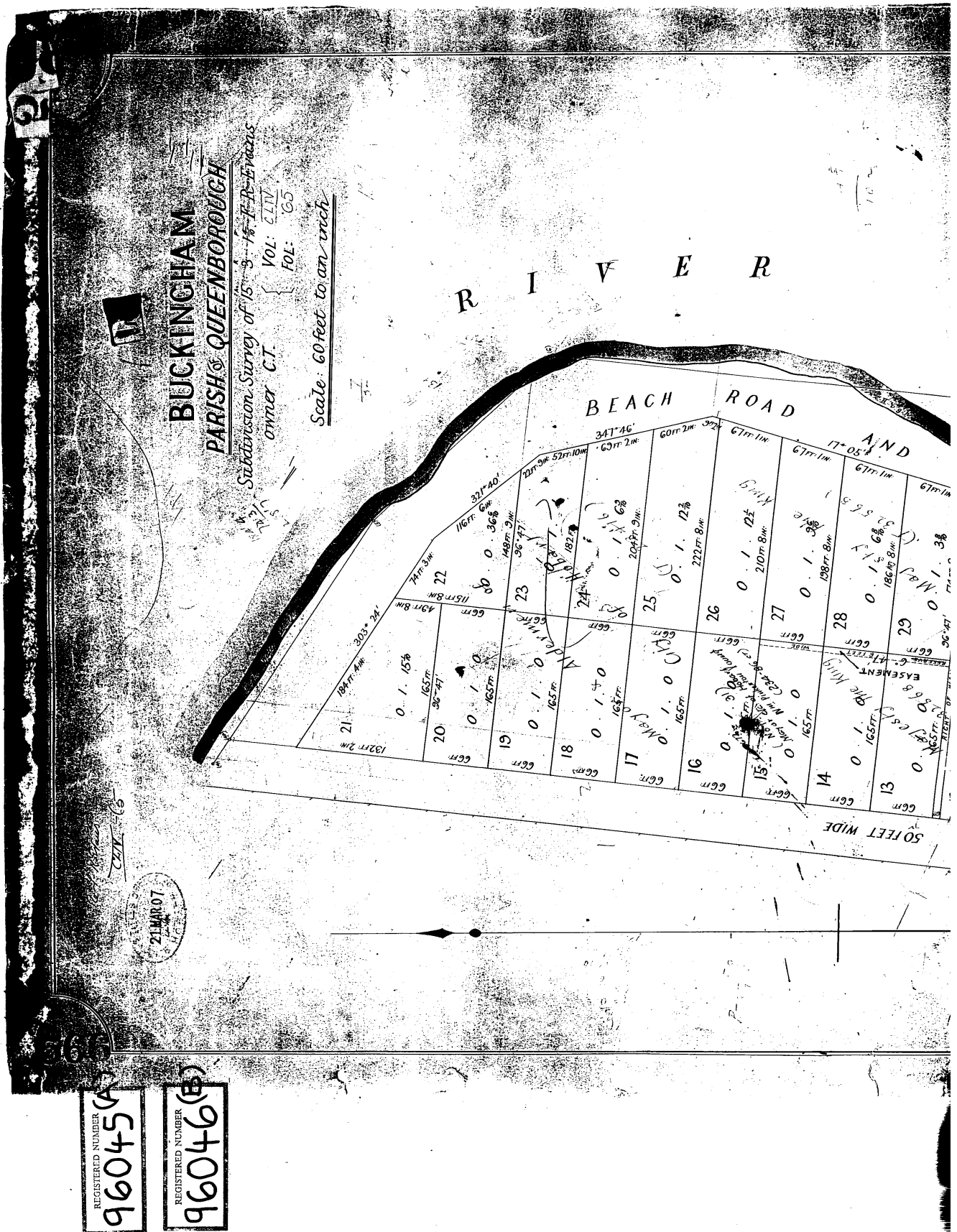


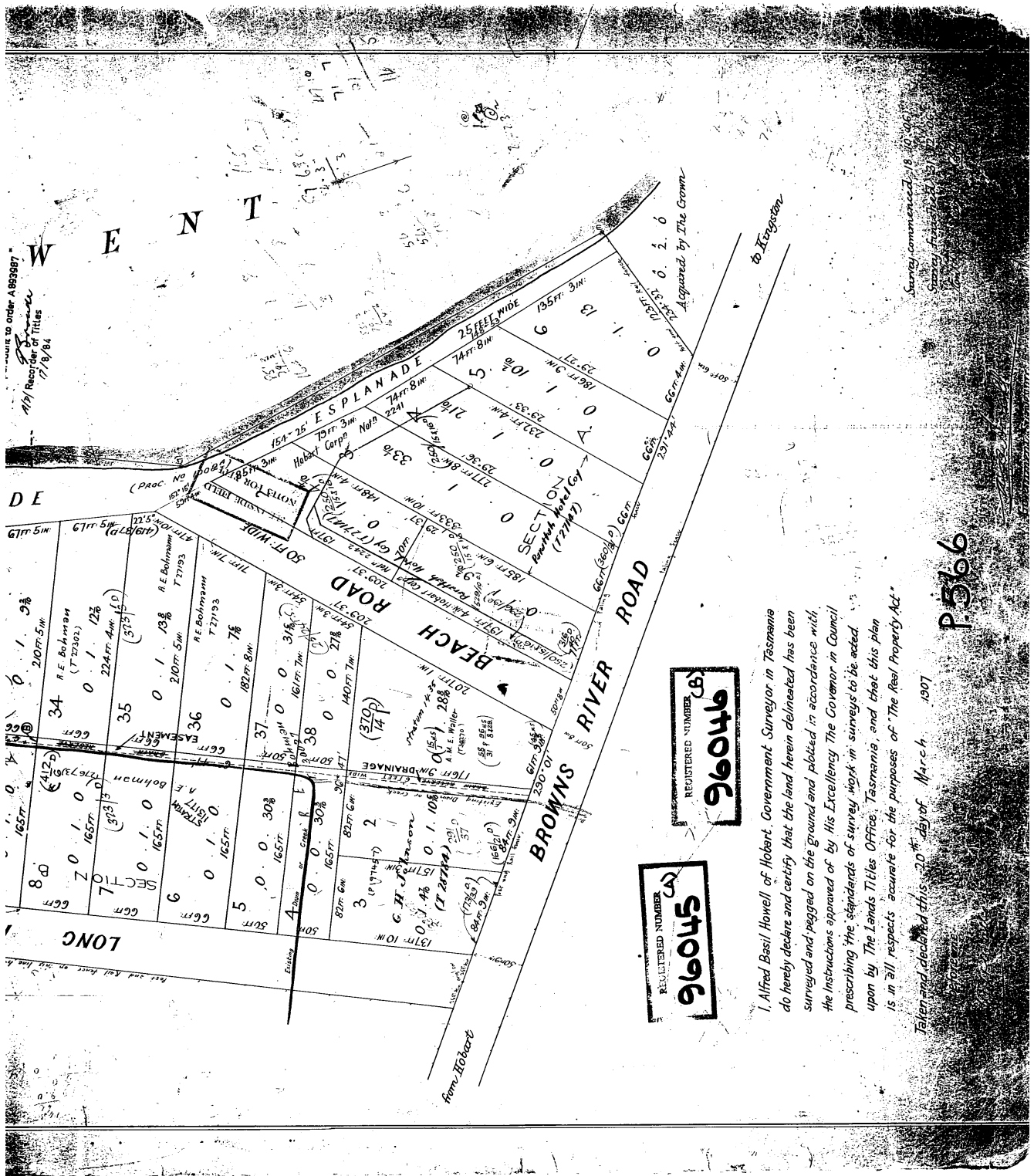




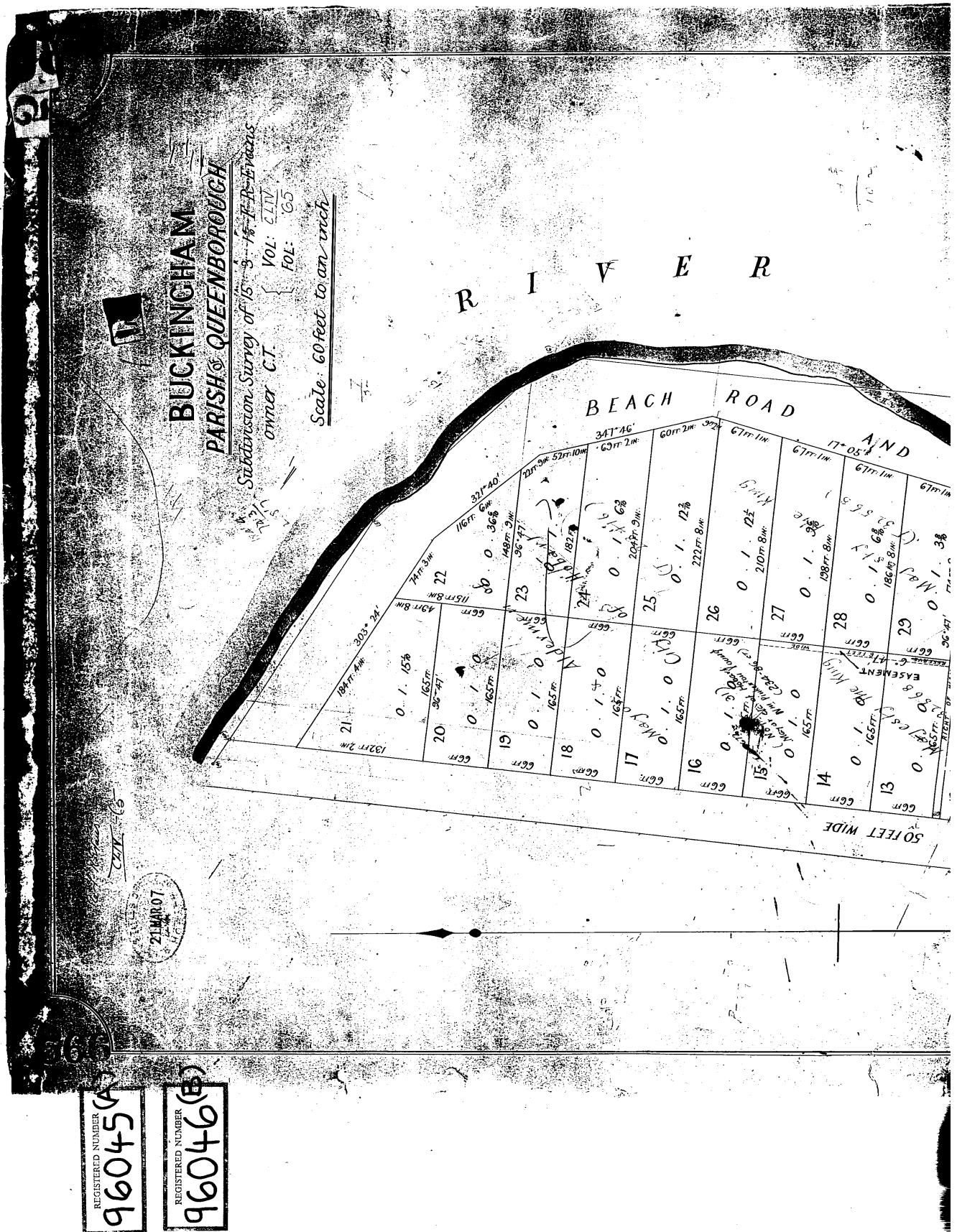


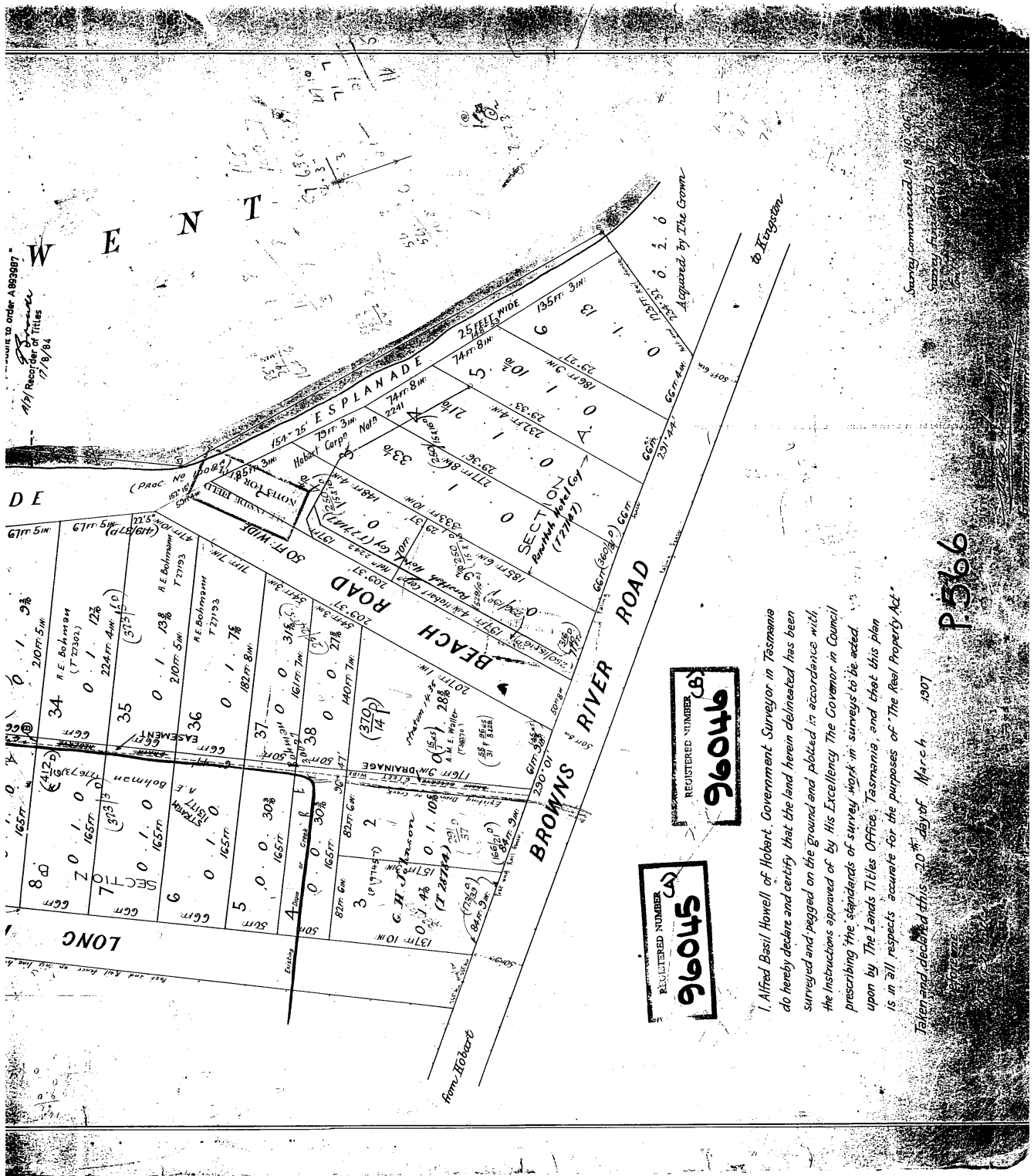




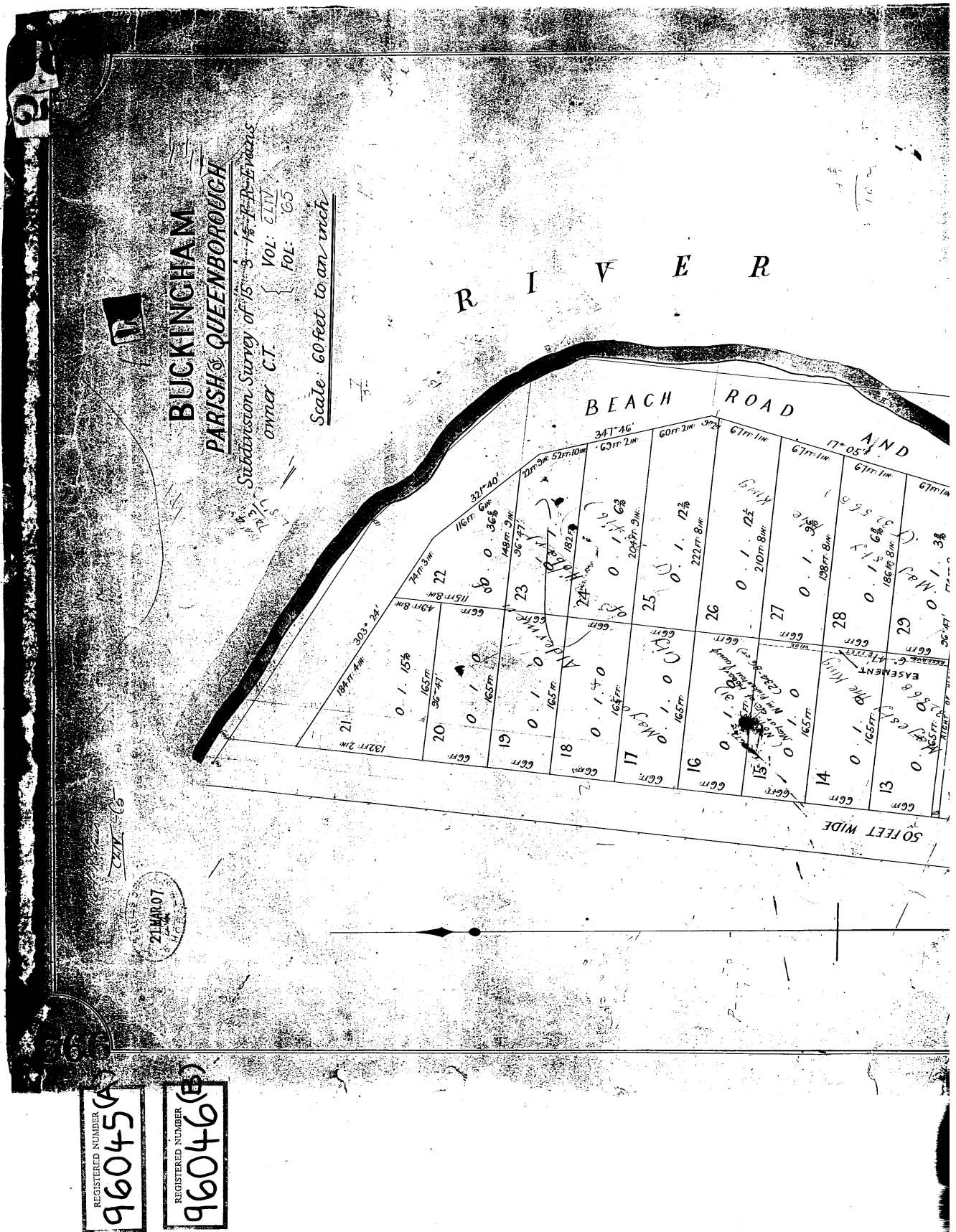


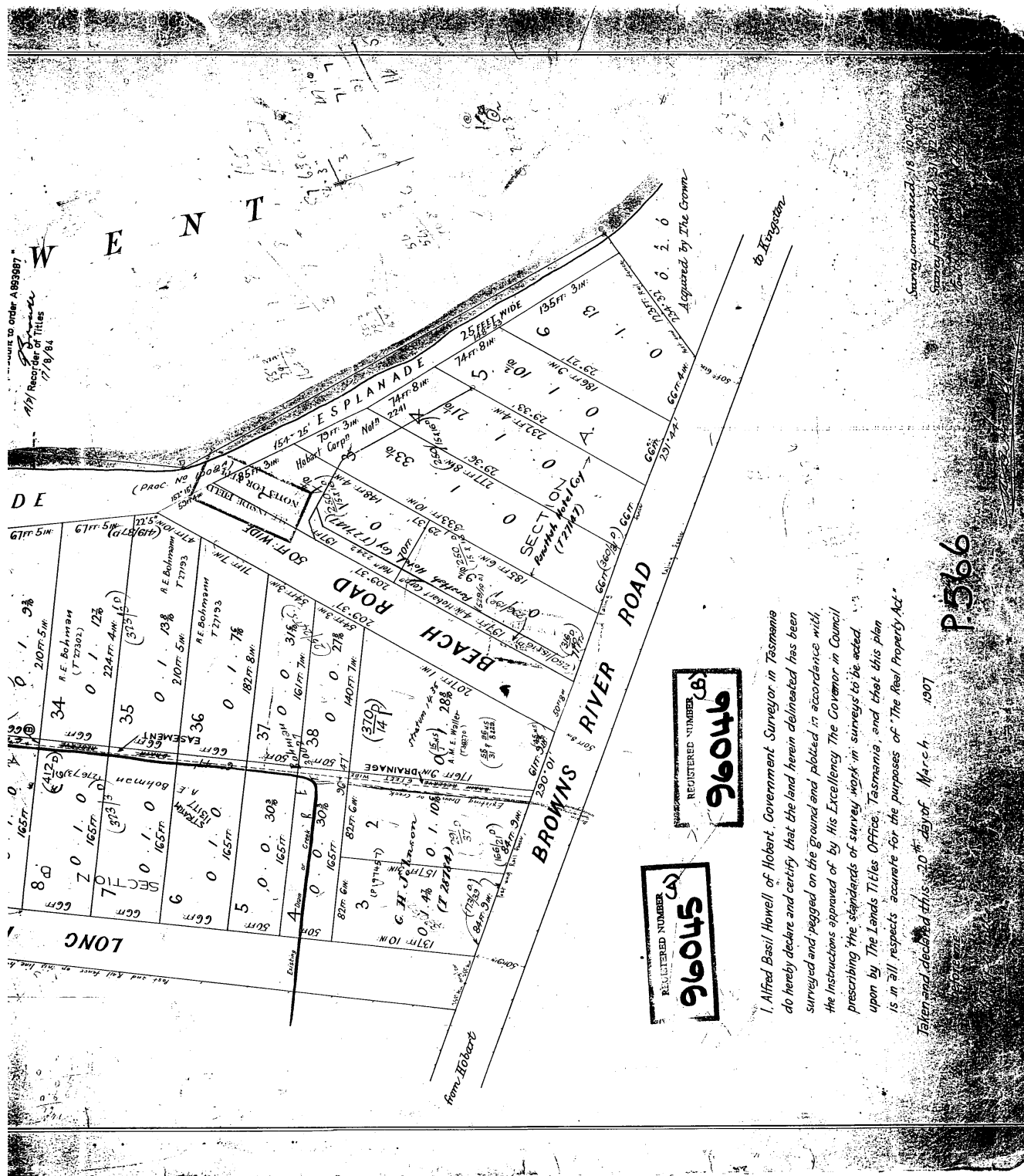




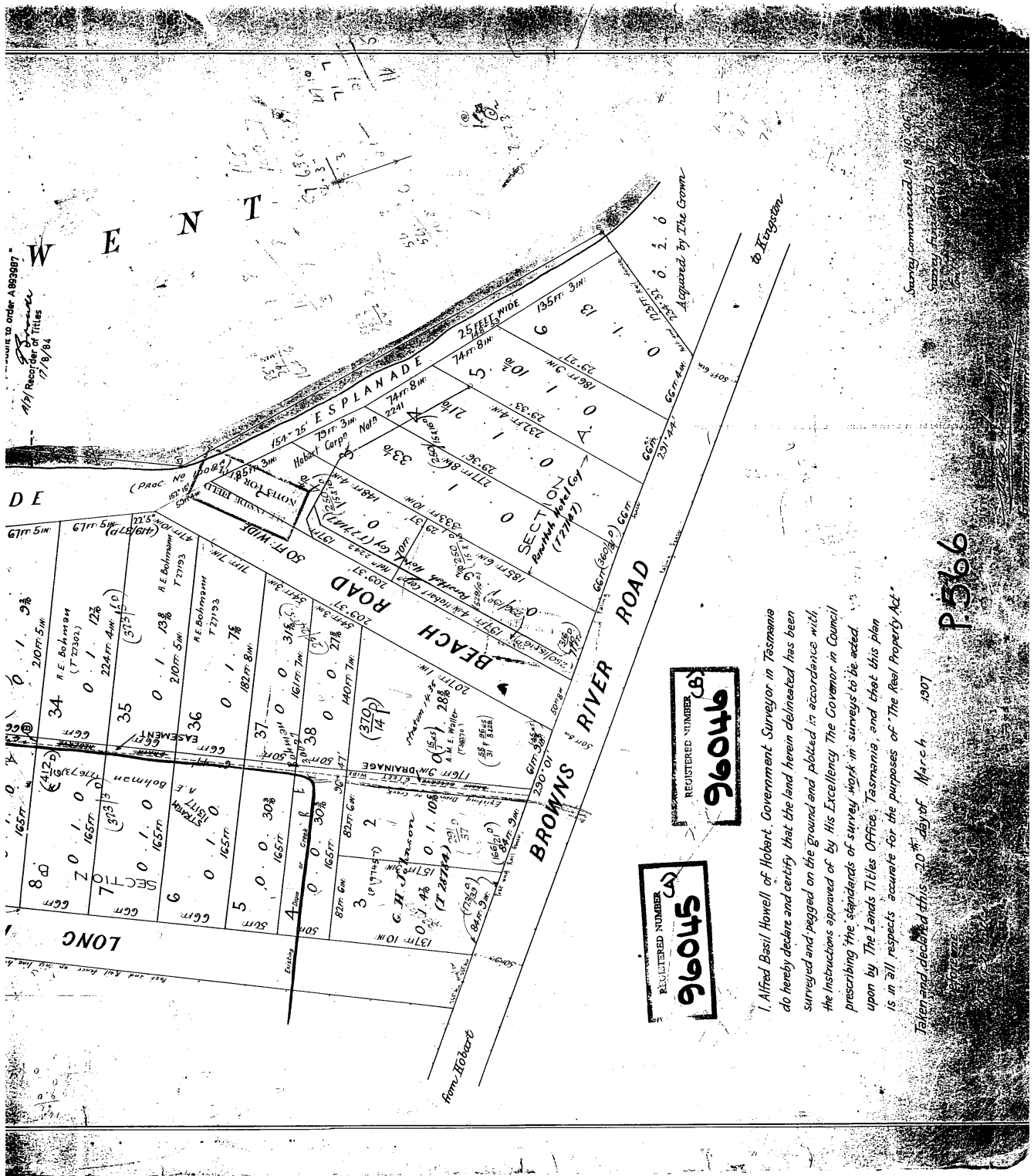






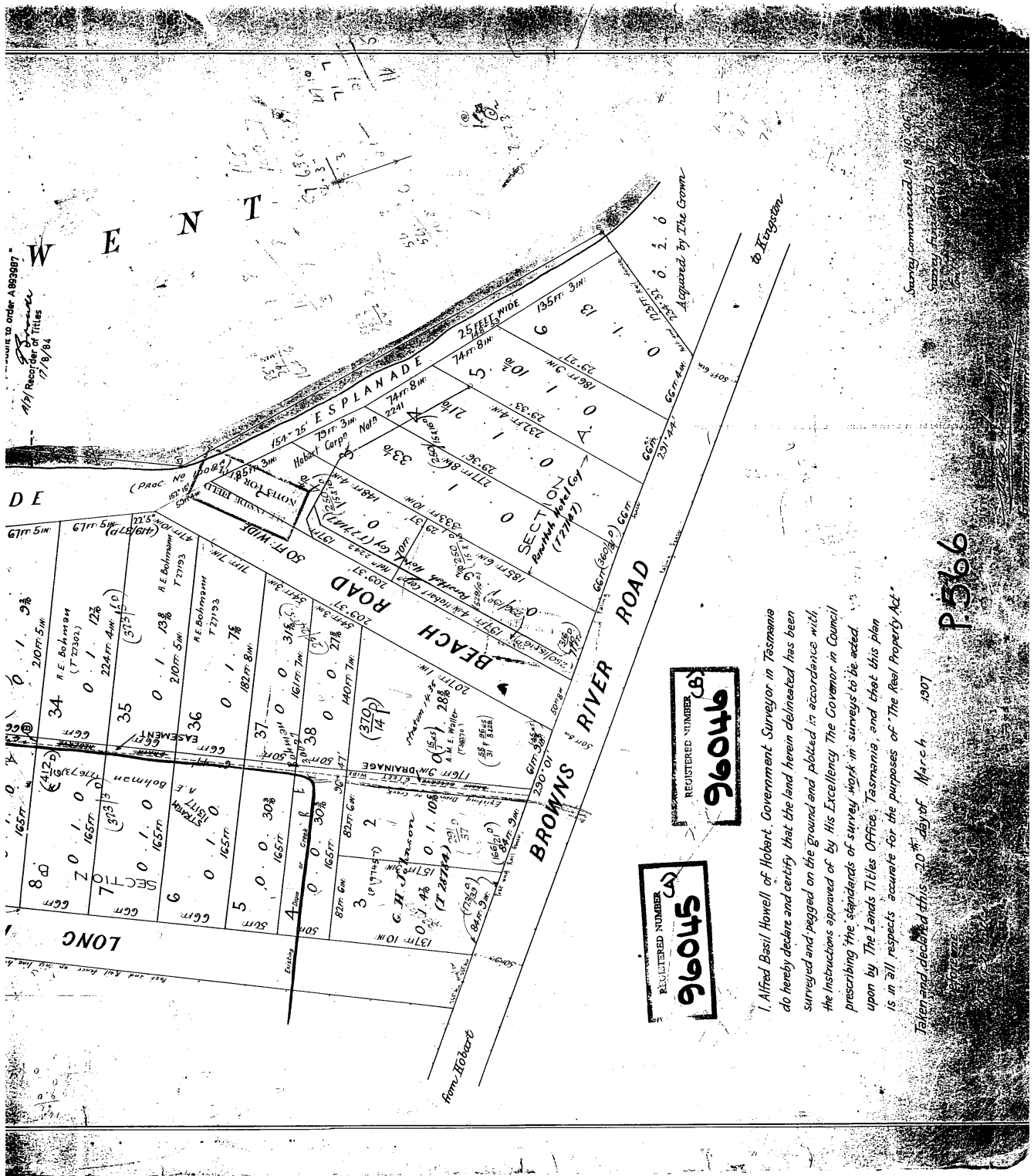










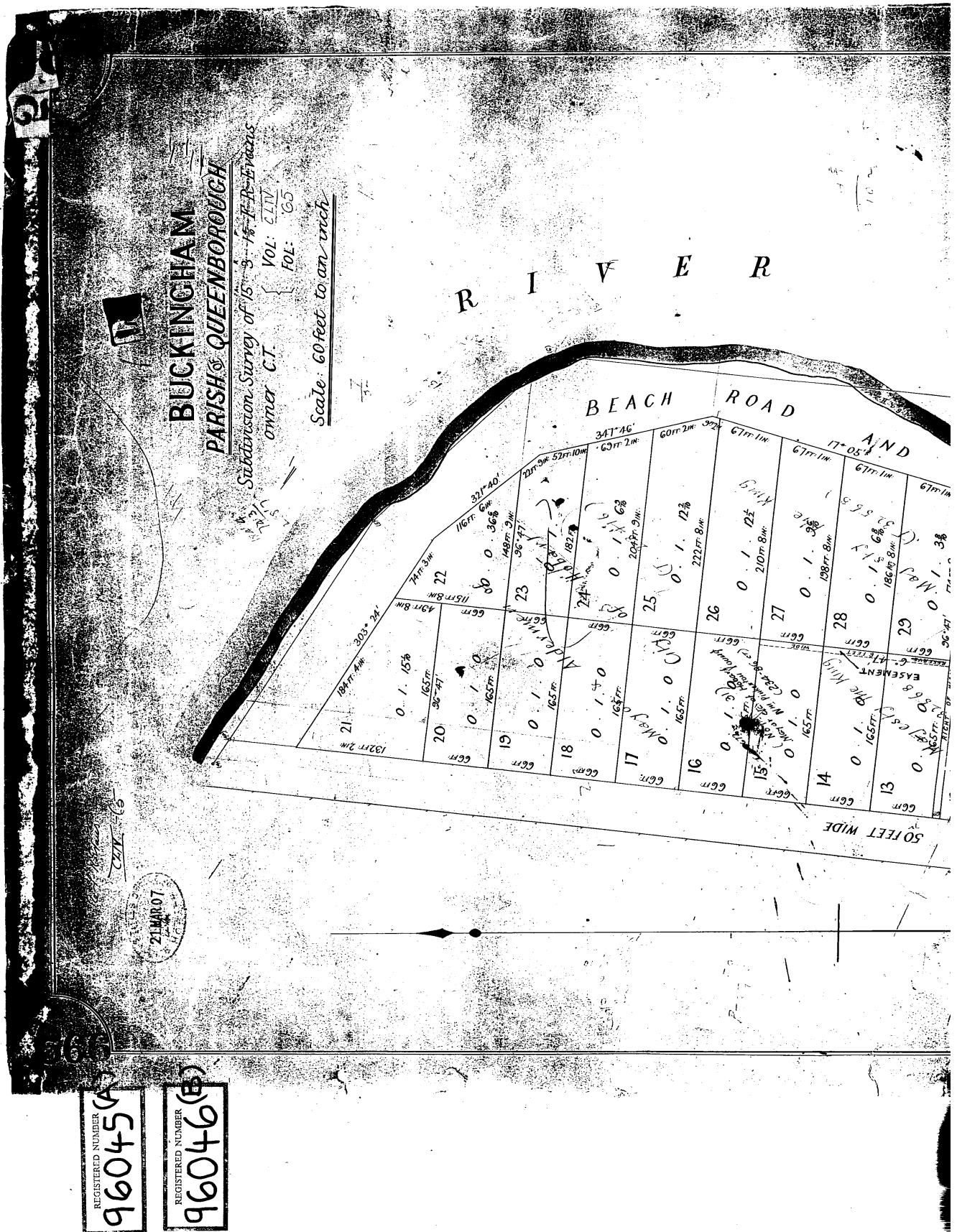


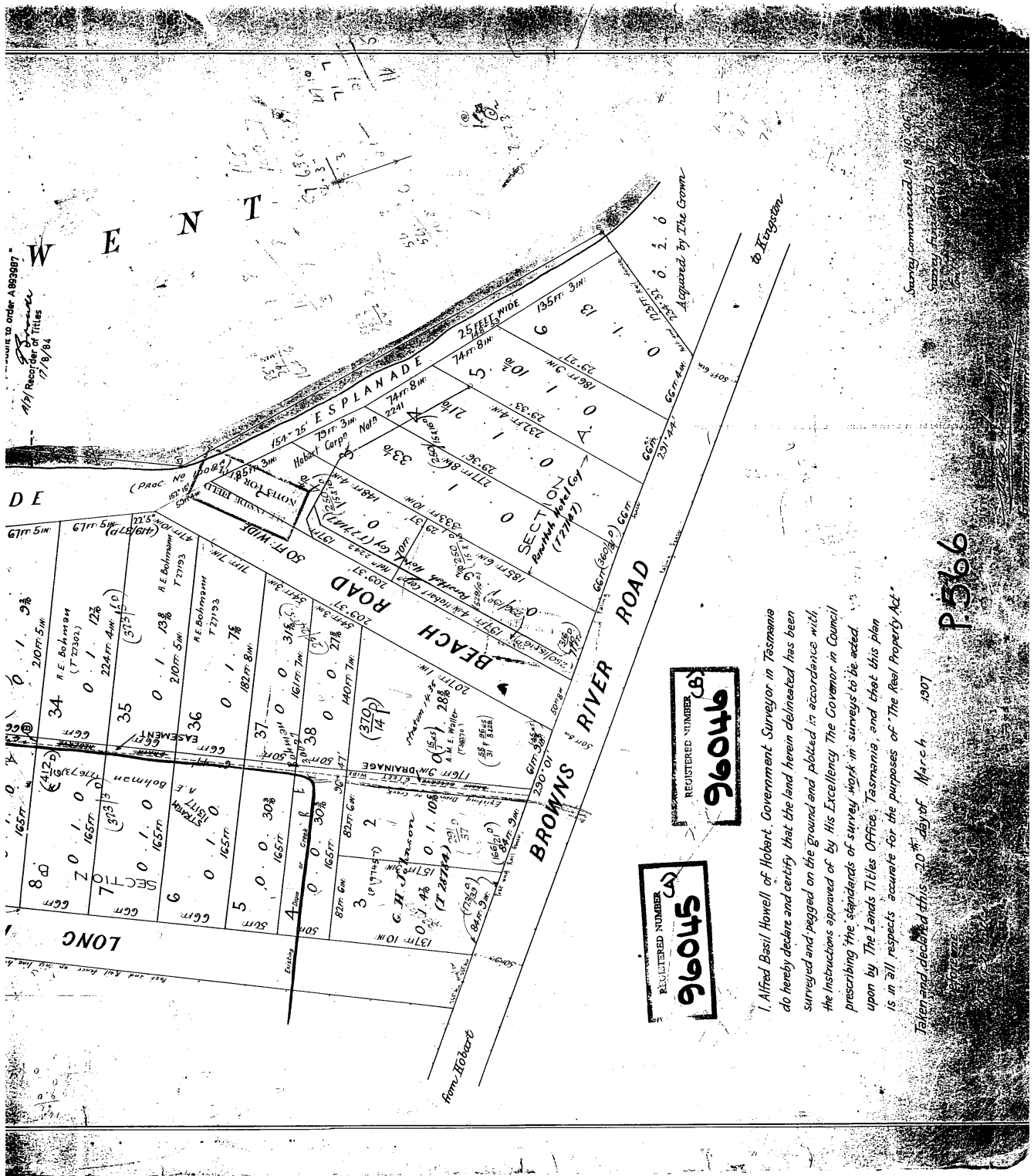
P.5366

Taken and declared this 20th day of March 1907

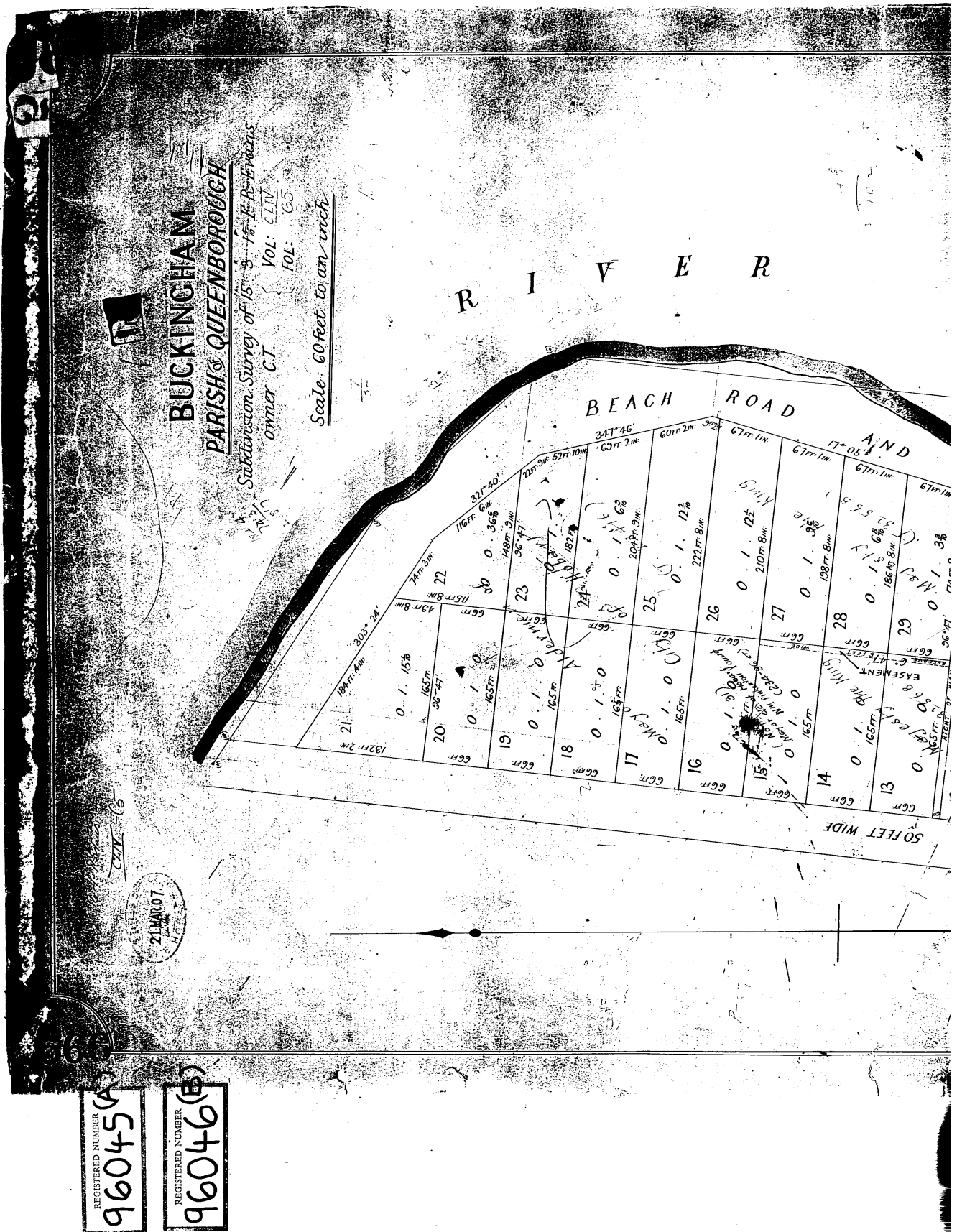
I, Alfred Basil Howell of Hobart, Government Surveyor in Tasmania do hereby declare and certify that the land herein delineated has been surveyed and pegged on the ground and plotted in accordance with the Instructions approved of by His Excellency The Governor in Council prescribing the standards of survey work in surveys to be acted upon by The Lands Titles Office, Tasmania, and that this plan is in all respects accurate for the purposes of "The Real Property Act"







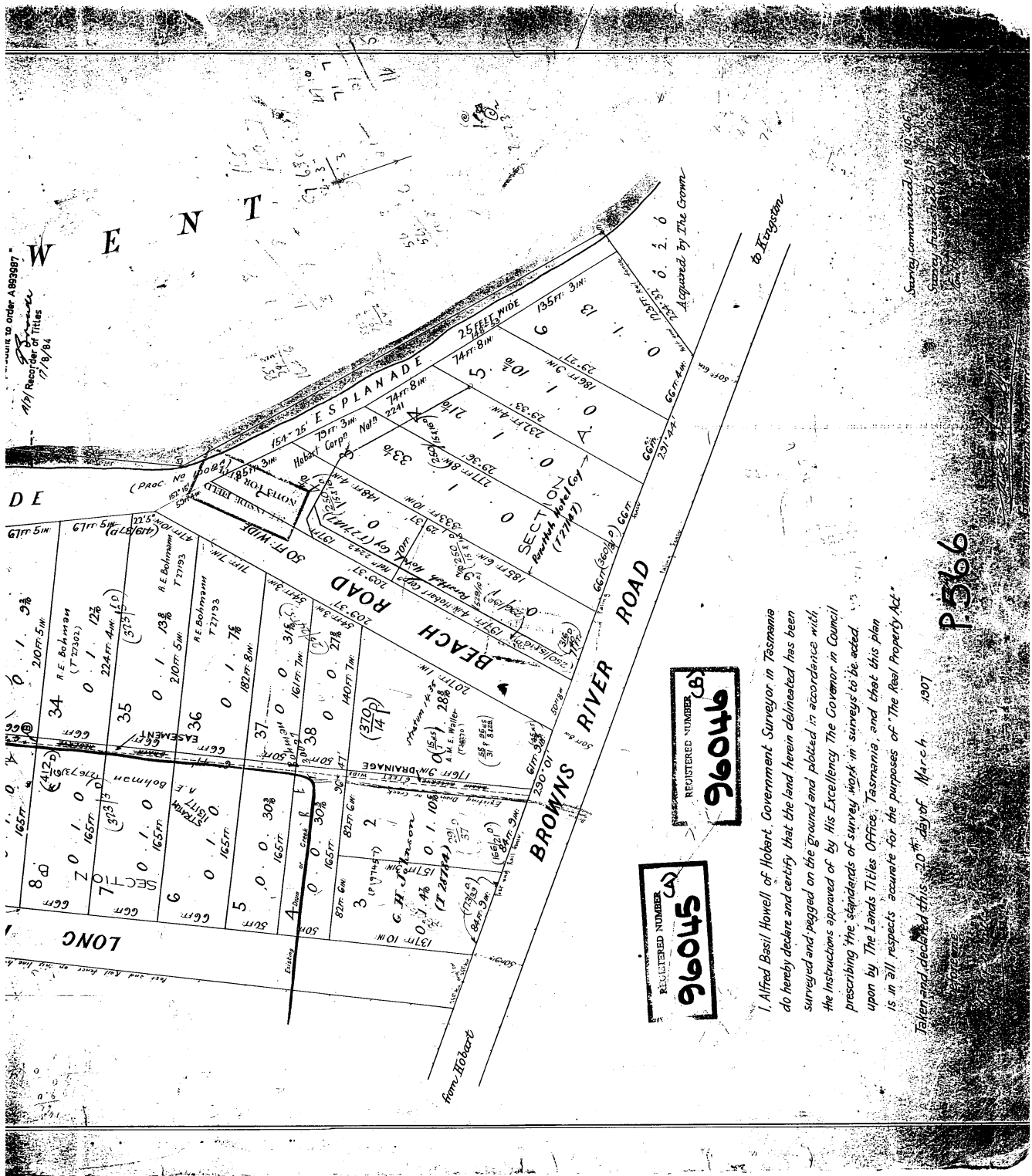




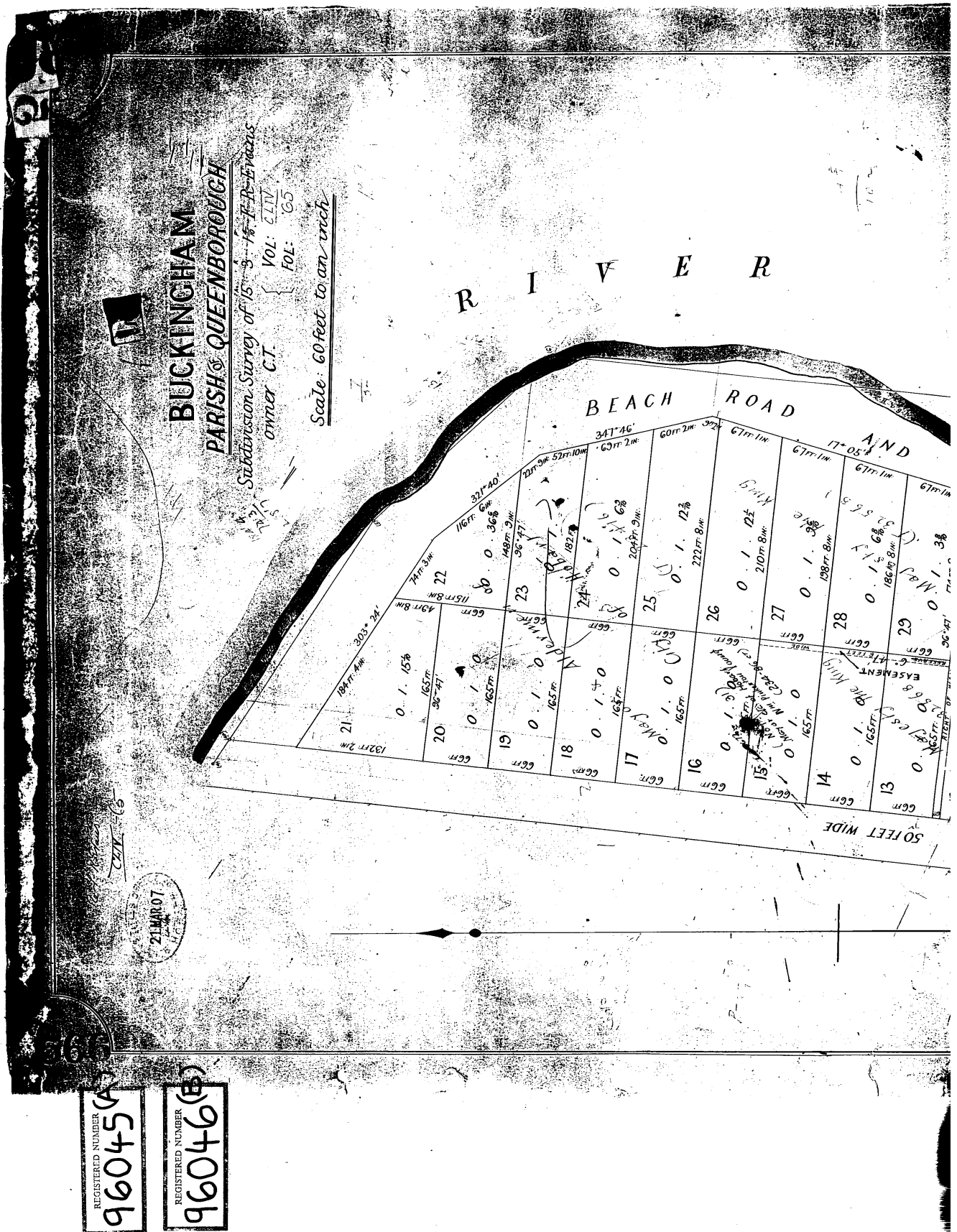


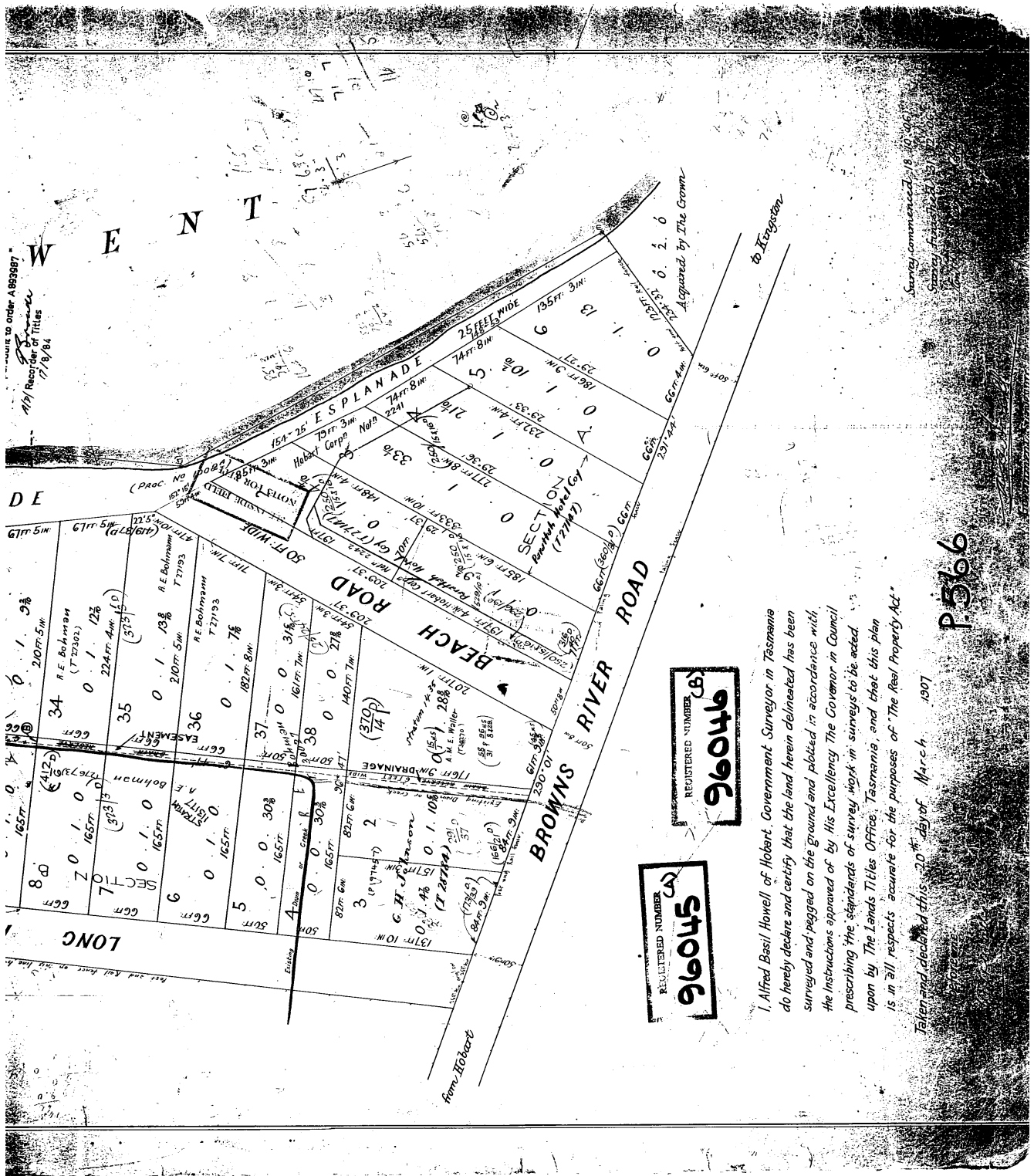
















OWNER	PLAN OF TITLE		REGISTERED NUMBER
FOLIO REFERENCE CT. 3219 / 50	LOCATION CITY OF HOBART		P 112723
GRANTEE	FIRST SURVEY PLAN No. 17 / 31 TS. COMPILED BY LTO.	APPROVED 18 JUL 1994 <i>Michael J. Smith</i> Recorder of Titles	
	SCALE 1:1500	LENGTHS IN METRES	
MAPSHEET MUNICIPAL CODE No. 21	LAST 12742, 11526-11529 INCL & UPI No 11580 - 11605 INCL.	LAST PLAN No. 17 / 31 TS.	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN

BALANCE PLAN

LOT 1.
 3.971 ha

OWNER
THE CROWN

FOLIO REFERENCE

S27A (LTA 1980) APPLICATION (C.872281) Lot 1001
(C.872282) Lot 1000

GRANTEE

~~Whole of Lot 1000, 7903m², Granted to the Crown~~
~~Whole of Lot 1001, 461m², Granted to the Crown~~

PLAN OF SURVEY

BY SURVEYOR D.B. MILLER (HOBART CITY COUNCIL)

LOCATION

CITY OF HOBART

SCALE 1:2,000

LENGTHS IN METRES

REGISTERED NUMBER

SP156268

APPROVED 27 JAN 2009

Alice Kawa
Recorder of Titles

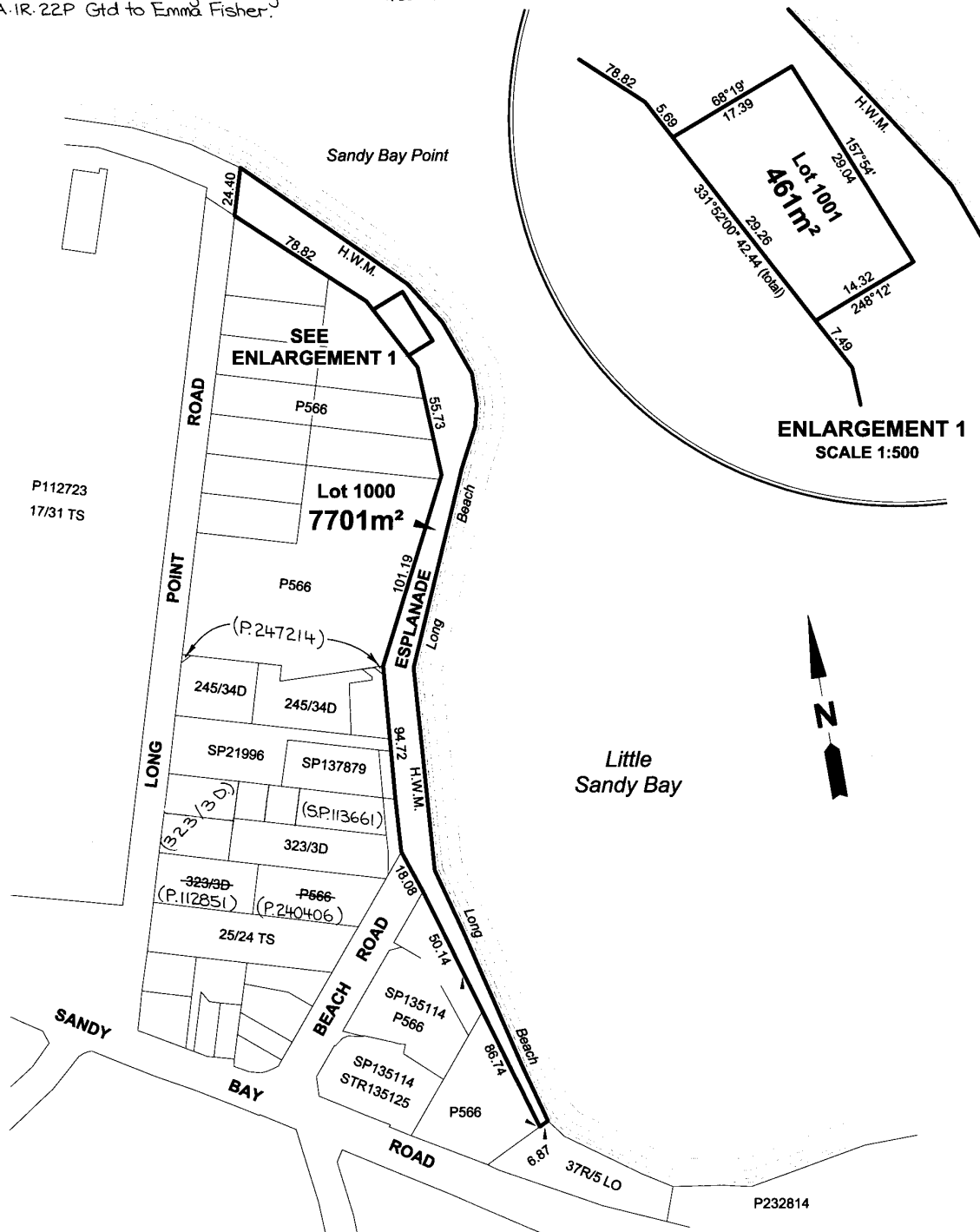
MAPSHEET MUNICIPAL
CODE No 114 (5224-13)

LAST
UPI No

LAST PLAN P.96045
No. ~~P.566~~ P.96046

ALL EXISTING SURVEY NUMBERS TO BE
CROSS REFERENCED ON THIS PLAN

Part of 41A.2R.OP Gtd to George Cartwright & Robert Pitcairn
Part of 2A.1R.22P Gtd to Emma Fisher.



NOTE: Lots 1000 compiled from P566 & 37R/5 LO and this survey.

CROWN DELEGATE

DATE

ORIGINAL - NOT TO BE REMOVED FROM TITLES OFFICE

R.P. 1469

TASMANIA

REAL PROPERTY ACT, 1862, as amended

NOTE—REGISTERED FOR OFFICE
CONVENIENCE TO REPLACE



CERTIFICATE OF TITLE

Register Book

Vol. Fol.

2556 10

Cert. of Title. Vol. 668. Fol. 93.

I certify that the person described in the First Schedule is the registered proprietor of an estate in fee simple in the land within described together with such interests and subject to such encumbrances and interests as are shown in the Second Schedule. In witness whereof I have hereunto signed my name and affixed my seal.

M. Hutchinson

Recorder of Titles.



DESCRIPTION OF LAND

CITY OF HOBART

TWENTY ONE PERCHES AND NINE TENTHS OF A PERCH on the Plan hereon

FIRST SCHEDULE (continued overleaf)

THE LORD MAYOR ALDERMEN AND CITIZENS OF THE CITY OF HOBART

SECOND SCHEDULE (continued overleaf)

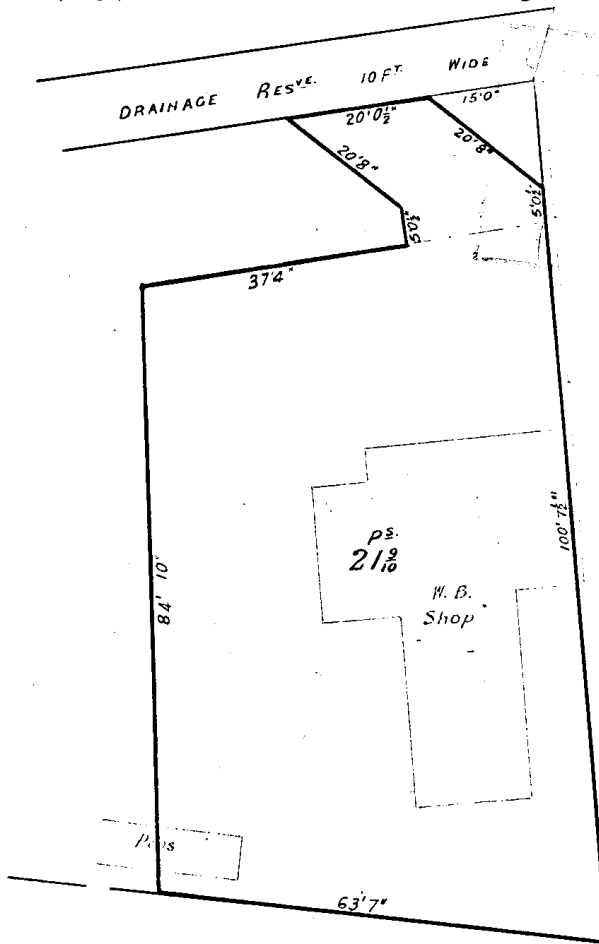
TRANSFER NO. 142234 was made SUBJECT TO fencing condition.

Lot 1 of this plan consists of all the land comprised in the above-mentioned cancelled folio of the Register.

ES CANCELLED UNDER SIGI

REGISTERED NUMBER

214498



249/22D.

Part of 41A-2R-OPs. - Gtd. to G. Cartwright & Anr. - Meas. in ft. & ins.

FIRST Edition. Registered

28 NOV 1983

Derived from C.T. Vol. 668. Fol. 93. Transfer 142234 Tourist Attractions (Tas.) Pty. Ltd.

ORIGINAL - NOT TO BE REMOVED FROM TITLES OFFICE

R.P. 1469

TASMANIA

REAL PROPERTY ACT, 1862, as amended

NOTE—REGISTERED FOR OFFICE
CONVENIENCE TO REPLACE



CERTIFICATE OF TITLE

Register Book

Vol. Fol.

2566 8

Cert. of Title Vol. 666 Fol. 43.

I certify that the person described in the First Schedule is the registered proprietor of an estate in fee simple in the land within described together with such interests and subject to such encumbrances and interests as are shown in the Second Schedule. In witness whereof I have hereunto signed my name and affixed my seal.

W. Hutchinson

Recorder of Titles.



DESCRIPTION OF LAND

CITY OF HOBART

ONE ROOD SIX PERCHES AND NINE TENTHS OF A PERCH on the Plan hereon

FIRST SCHEDULE (continued overleaf)

THE LORD MAYOR ALDERMEN AND CITIZENS OF THE CITY OF HOBART.

SECOND SCHEDULE (continued overleaf)

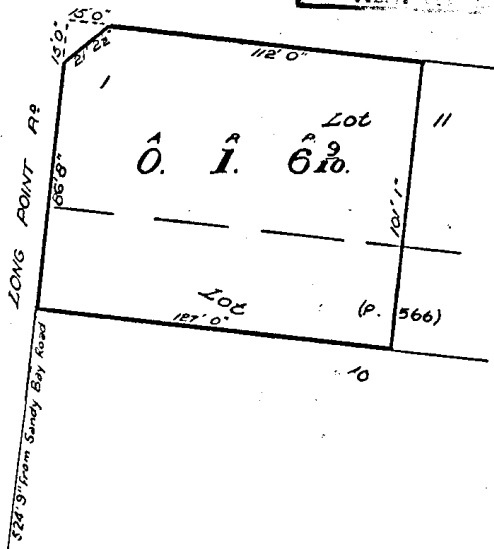
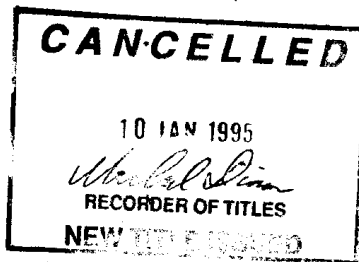
NIL.

F THE RECORDER OF TITLES ARE NO LONGER SUBSISTING.

Lot 1 of this plan consists of all the land comprised in the above-mentioned cancelled folio of the Register

REGISTERED NUMBER

214645



Part of 41 acres 2 roods - Gtd. to G. Cartwright & anor.
Part of 38 acres 12 perches - Gtd. to W.S. Gellibrand - Meas. in Ft.
& Ins. 245/34D.

22 DEC 1969

FIRST Edition. Registered

Derived from C.T. Vol. 666 Fol. 43. Transfer A71085 P.F.S. Fife & anor.

ORIGINAL - NOT TO BE REMOVED FROM TITLES OFFICE

R.P. 1469

TASMANIA

REAL PROPERTY ACT, 1862, as amended

NOTE—REGISTERED FOR OFFICE

CONVENIENCE TO REPLACE



CERTIFICATE OF TITLE

Register Book

Vol. Fol.

3162 48

Cert. of Title Vol. 721 Fol. 23

CANCELLED
I certify that the person described in the First Schedule is the registered proprietor of an estate in fee simple in the land within described together with such interests and subject to such encumbrances and interests as are shown in the Second Schedule. In witness whereof I have hereunto signed my name and affixed my seal.
- 1 MAR 1995
Michael Dism
RECORDER OF TITLES
NEW TITLE ISSUED

ACTING Recorder of Titles.



DESCRIPTION OF LAND

CITY OF HOBART

ONE ROOD FIFTEEN PERCHES AND FIVE TENTHS OF A PERCH on the Plan hereon.

FIRST SCHEDULE (continued overleaf

THE LORD MAYOR ALDERMEN AND CITIZENS OF THE CITY OF HOBART.

SECOND SCHEDULE (continued overleaf)

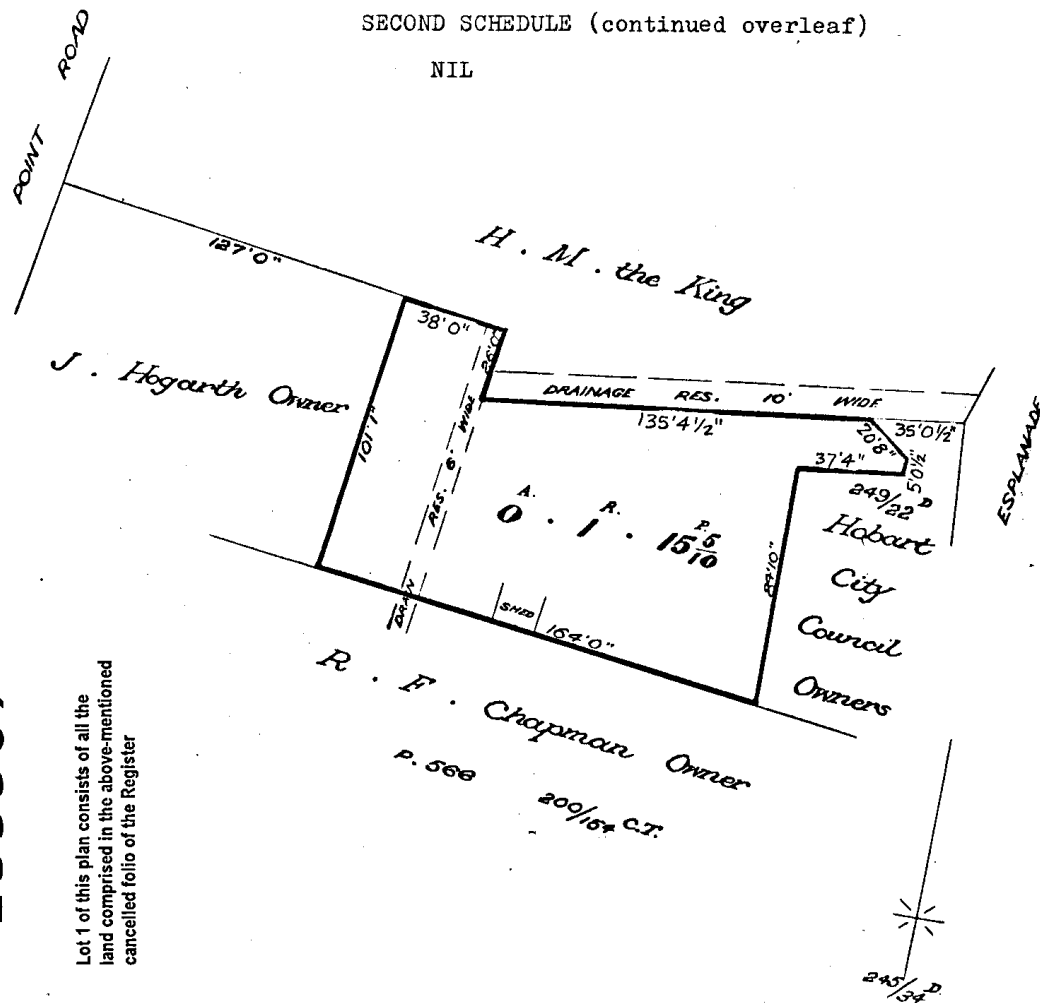
NIL

CANCELLED UNDER SIGNATURE OF THE RECORDER OF TITLES ARE NO LONGER SUBSISTING.

REGISTERED NUMBER

233369

Lot 1 of this plan consists of all the land comprised in the above-mentioned cancelled folio of the Register



Part of 41A-2R-OPs. Gtd. to G. Cartwright & anor. - Meas. in Ft. & Ins. 245/34D.
FIRST Edition. Registered 1882/1931

Derived from C.T. Vol. 721 Fol. 23 - Transfer A64263 J.A.Harrison.

SEARCH OF TORRENS TITLE

VOLUME 21996	FOLIO 3
EDITION 1	DATE OF ISSUE 31-May-1994

SEARCH DATE : 05-Oct-2022

SEARCH TIME : 01.28 PM

DESCRIPTION OF LAND

City of HOBART

Lot 3 on Sealed Plan 21996

Derivation : Part of 41A-2R-0Ps Gtd to G Cartwright and Anor

and Part of 38A-0R-12Ps Gtd to W S P Gellibrand

Prior CT 4063/77

SCHEDULE 1

A96334 HOBART CITY COUNCIL

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP 21996 EASEMENTS in Schedule of Easements

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

SEARCH OF TORRENS TITLE

VOLUME 96046	FOLIO 15
EDITION 1	DATE OF ISSUE 25-Oct-1994

SEARCH DATE : 05-Oct-2022

SEARCH TIME : 01.28 PM

DESCRIPTION OF LAND

City of HOBART

Lot 15 on Plan 96046 (formerly being P566(B))

Derivation : Part of 41A-2R-0P Gtd. to G. Cartwright & Anr.

Prior CT 3170/62

SCHEDULE 1

HOBART CITY COUNCIL

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

SEARCH OF TORRENS TITLE

VOLUME 96046	FOLIO 16
EDITION 1	DATE OF ISSUE 25-Oct-1994

SEARCH DATE : 05-Oct-2022

SEARCH TIME : 01.28 PM

DESCRIPTION OF LAND

City of HOBART

Lot 16 on Plan 96046 (formerly being P566(B))

Derivation : Part of 41A-2R-0P Gtd. to G. Cartwright & Anr.

Prior CT 3170/62

SCHEDULE 1

HOBART CITY COUNCIL

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

SEARCH OF TORRENS TITLE

VOLUME 96046	FOLIO 18
EDITION 1	DATE OF ISSUE 13-Sep-1994

SEARCH DATE : 05-Oct-2022

SEARCH TIME : 01.28 PM

DESCRIPTION OF LAND

City of HOBART

Lot 18 on Plan 96046 (formerly being P566(B))

Derivation : Parts of 44acs 2rds 0ps and 2acs 1rds 22ps Gtd to

G Cartwright and anor

Prior CT 3209/60

SCHEDULE 1

HOBART CITY COUNCIL

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

SEARCH OF TORRENS TITLE

VOLUME 96046	FOLIO 19
EDITION 1	DATE OF ISSUE 13-Sep-1994

SEARCH DATE : 05-Oct-2022

SEARCH TIME : 01.28 PM

DESCRIPTION OF LAND

City of HOBART

Lot 19 on Plan 96046 (formerly being P566(B))

Derivation : Parts of 44acs 2rds 0ps and 2acs 1rds 22ps Gtd to

G Cartwright and anor

Prior CT 3209/60

SCHEDULE 1

HOBART CITY COUNCIL

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

SEARCH OF TORRENS TITLE

VOLUME 96046	FOLIO 20
EDITION 1	DATE OF ISSUE 13-Sep-1994

SEARCH DATE : 05-Oct-2022

SEARCH TIME : 01.28 PM

DESCRIPTION OF LAND

City of HOBART

Lot 20 on Plan 96046 (formerly being P566(B))

Derivation : Parts of 44acs 2rds 0ps and 2acs 1rds 22ps Gtd to

G Cartwright and anor

Prior CT 3209/60

SCHEDULE 1

HOBART CITY COUNCIL

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

SEARCH OF TORRENS TITLE

VOLUME 96046	FOLIO 21
EDITION 1	DATE OF ISSUE 13-Sep-1994

SEARCH DATE : 05-Oct-2022

SEARCH TIME : 01.28 PM

DESCRIPTION OF LAND

City of HOBART

Lot 21 on Plan 96046 (formerly being P566(B))

Derivation : Parts of 44acs 2rds 0ps and 2acs 1rds 22ps Gtd to

G Cartwright and anor

Prior CT 3209/60

SCHEDULE 1

HOBART CITY COUNCIL

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

SEARCH OF TORRENS TITLE

VOLUME 96046	FOLIO 22
EDITION 1	DATE OF ISSUE 13-Sep-1994

SEARCH DATE : 05-Oct-2022

SEARCH TIME : 01.28 PM

DESCRIPTION OF LAND

City of HOBART

Lot 22 on Plan 96046 (formerly being P566(B))

Derivation : Parts of 44acs 2rds 0ps and 2acs 1rds 22ps Gtd to

G Cartwright and anor

Prior CT 3209/60

SCHEDULE 1

HOBART CITY COUNCIL

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

SEARCH OF TORRENS TITLE

VOLUME 96046	FOLIO 23
EDITION 1	DATE OF ISSUE 13-Sep-1994

SEARCH DATE : 05-Oct-2022

SEARCH TIME : 01.28 PM

DESCRIPTION OF LAND

City of HOBART

Lot 23 on Plan 96046 (formerly being P566(B))

Derivation : Parts of 44acs 2rds 0ps and 2acs 1rds 22ps Gtd to

G Cartwright and anor

Prior CT 3209/60

SCHEDULE 1

HOBART CITY COUNCIL

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

SEARCH OF TORRENS TITLE

VOLUME 96046	FOLIO 24
EDITION 1	DATE OF ISSUE 13-Sep-1994

SEARCH DATE : 05-Oct-2022

SEARCH TIME : 01.28 PM

DESCRIPTION OF LAND

City of HOBART

Lot 24 on Plan 96046 (formerly being P566(B))

Derivation : Parts of 44acs 2rds 0ps and 2acs 1rds 22ps Gtd to

G Cartwright and anor

Prior CT 3209/60

SCHEDULE 1

HOBART CITY COUNCIL

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

SEARCH OF TORRENS TITLE

VOLUME 96046	FOLIO 25
EDITION 1	DATE OF ISSUE 13-Sep-1994

SEARCH DATE : 05-Oct-2022

SEARCH TIME : 01.28 PM

DESCRIPTION OF LAND

City of HOBART

Lot 25 on Plan 96046 (formerly being P566(B))

Derivation : Parts of 44acs 2rds 0ps and 2acs 1rds 22ps Gtd to

G Cartwright and anor

Prior CT 3209/60

SCHEDULE 1

HOBART CITY COUNCIL

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

SEARCH OF TORRENS TITLE

VOLUME 112723	FOLIO 1
EDITION 2	DATE OF ISSUE 20-Oct-2020

SEARCH DATE : 05-Oct-2022

SEARCH TIME : 12.15 PM

DESCRIPTION OF LAND

City of HOBART

Lot 1 on Plan 112723

Derivation : Part of 38A-0R-12Ps. Gtd. to W. St. P. Gellibrand.

Prior CT 3219/50

SCHEDULE 1

HOBART CITY COUNCIL

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

BURDENING EASEMENT: a free right of passage for the running of water slops and drainage for the owners and occupiers for the land situate on the Western side of the roadway which lies on the Western side of the said land within described hereinafter called "the said land" over the piece of land shown on Plan No. 112723 and marked "Right of Drainage" with the right for the owner or owners occupier or occupiers for the time being of the said land and their agents servants and workmen from time to time and and at all times hereafter to enter into and upon the said strip of land marked "Right of Drainage" to inspect and repair cleanse and amend any sewers drains or watercourses which may at any time hereinafter be made or pass under through or along the said strip of land marked "Right of Drainage" but without doing any unnecessary damage thereto.

E207926 LEASE to OPTUS MOBILE PTY LIMITED of a leasehold estate for the term of 9 years from 18-Jan-2018 (of that part of the said land within described as 1 (9.0m2) on Annexure B on the plan attached to the said lease) Registered 20-Oct-2020 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

SEARCH OF TORRENS TITLE

VOLUME 156268	FOLIO 1000
EDITION 1	DATE OF ISSUE 27-Jan-2009

SEARCH DATE : 05-Oct-2022

SEARCH TIME : 01.28 PM

DESCRIPTION OF LAND

City of HOBART

Lot 1000 on Sealed Plan 156268 (Section 27A of the Land Titles Act.)

Derivation : Part of 41A-2R-0P Gtd. to George Cartwright and Robert Pitcairn and Part of 2A-1R-22P Gtd. to Emma Fisher

SCHEDULE 1C871209 TRANSFER to HOBART CITY COUNCIL Registered
27-Jan-2009 at 12.01 PMSCHEDULE 2

Reservations and conditions in the Crown Grant if any

C871209 FENCING PROVISION in Transfer

C871209 REVERSIONARY CONDITIONS set forth in Transfer

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

SEARCH OF TORRENS TITLE

VOLUME 214498	FOLIO 1
EDITION 1	DATE OF ISSUE 09-Jan-1995

SEARCH DATE : 05-Oct-2022

SEARCH TIME : 01.28 PM

DESCRIPTION OF LAND

City of HOBART

Lot 1 on Plan 214498

Derivation : Part of 41A-2R-0Ps Gtd to G Cartwright and Anr

Prior CT 2556/10

SCHEDULE 1

142234 TRANSFER to HOBART CITY COUNCIL

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

142234 FENCING CONDITION in Transfer

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



City of **HOBART**

Enquiries to: City Life

Phone: (03) 6238 2711

Email: coh@hobartcity.com.au

2 November 2022

Katrina Hill
117 Harrington Street
117 Harrington Street
HOBART TAS 7000

mailto: khill@jmg.net.au

Dear Sir/Madam

**17 BEACH ROAD, SANDY BAY - GMC-INSTALLATION OF NEW LIGHTING AT OVAL 2
AT SANDOWN PARK, SANDY BAY NOTICE OF LAND OWNER CONSENT TO LODGE
A PLANNING APPLICATION - GMC-22-72**

Site Address:

17 Beach Road

Description of Proposal:

Lighting

Applicant Name:

Katrina Hill

PLN (if applicable):

PLN-22-662

I write to advise that pursuant to Section 52 of the *Land Use Planning and Approvals Act 1993*, I grant my consent on behalf of the Hobart City Council as the owner/administrator of the above land for you to make application to the City for a planning permit for the development described above and as per the attached documents. I granted consent pursuant to delegation, a copy of which is enclosed.

Please note that the granting of the consent is only for the making of the application and in no way should such consent be seen as prejudicing any decision the Council is required to make

as the statutory planning authority.

This consent does not constitute an approval to undertake any works and does not authorise the owner, developer or their agents any right to enter or conduct works on any Council managed land whether subject to this consent or not.

If planning approval is granted by the planning authority, you will be required to seek approvals and permits from the City as both landlord, land manager, or under other statutory powers (such as other legislation or City By-Laws) that are not granted with the issue of a planning permit under a planning scheme. This includes the requirement for you to reapply for a permit to occupy a public space under the City's Public Spaces By-law if the proposal relates to such an area.

Accordingly, I encourage you to continue to engage with the City about these potential requirements.

Yours faithfully



(Glenn Doyle)

HEAD OF CITY PROJECTS

Relevant documents/plans:

Drawing E01 dated 05/10/22 from JMG Engineers & Planners

City of Hobart

INSTRUMENT OF DELEGATION

General Delegation

Head of City Projects

Section 64 of the Local Government Act 1993

I, Kelly Grigsby, Chief Executive Officer, being the General Manager as appointed by Council pursuant to Section 61 of the *Local Government Act 1993 (Tas)* ("the Act") hereby delegate pursuant to Section 64 of the Act, the following powers and functions to the Head of City Projects:

1. to sign an application; and
2. to provide written permission to make an application;

pursuant to section 52(1B) of the *Land Use Planning and Approvals Act 1993*, except where an application pursuant to that section is recommended for refusal by Council officers.

Dated this 24th day of February 2022



SIGNED

Kelly Grigsby
(Chief Executive Officer)

Being the General Manager as appointed by Council pursuant to section 61 of the *Local Government Act 1993 (Tas)*



City of **HOBART**

REFER GEOTECHNICAL REPORT AND STRUCTURAL FOOTING
DESIGN PROVIDED BY OTHERS FOR LIGHT POLE INSTALLATION
PRIOR TO ANY CONSTRUCTION COMMENCING.

NOTE: THIS DRAWING SHOULD BE PRINTED IN
COLOUR FOR FULL CLARITY.

NOTE: THIS DRAWING SHOULD BE READ IN
CONJUNCTIONS WITH THE ELECTRICAL SPECIFICATION.

TPZ EXCLUSION ZONES NEED TO BE ESTABLISHED.
ENGAGE THE PROJECT ARBORIST TO COMMUNICATE THE
EXCAVATION METHODOLOGY AND TO DETERMINE ROOT
MANAGEMENT PROTECTION. EXCAVATION MUST BE VIA
VACUUM TRUCK OR BORING.

TABLE 1						
	LUMINAIRE SELECTION	POLE 1 QTY	POLE 2 QTY	POLE 3 QTY	POLE 4 QTY	TOTAL (KW)
①	PHILLIPS APEX OPTIVISION LED GEN 3.5 -3 MODULE 5700K BVP528 A35-MB-BL.	2	2	2	2	11.36
②	PHILLIPS APEX OPTIVISION LED GEN 3.5 -3 MODULE 5700K BVP528 A35-MB-BL.	1	1	1	1	5.680
TOTAL		4,260	4,260	4,260	4,260	17,040

LEGEND

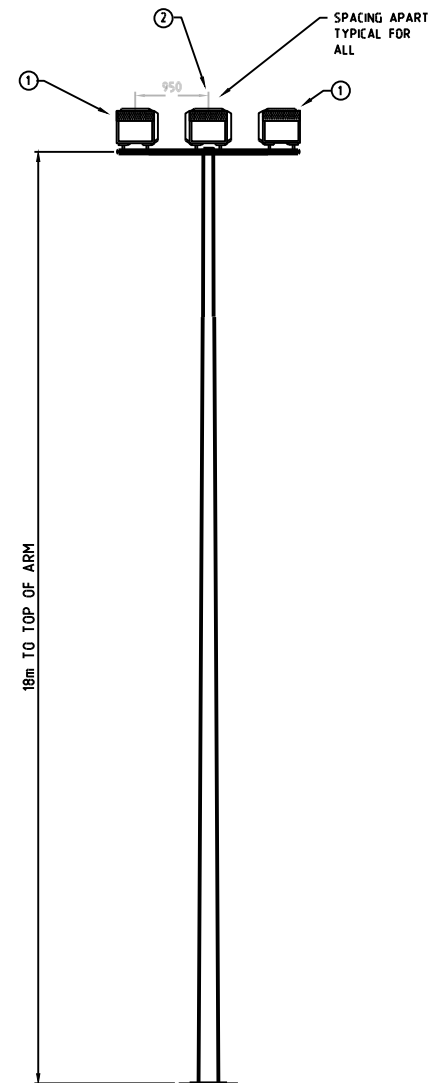
- NEW POLE MOUNTED SPORTS LIGHT - COMPLETE WITH 18m POLES. FOR LUMINAIRE ARRANGEMENTS REFER TABLE 1 FOR FURTHER INFORMATION.
- EXISTING LIGHT POLE TO REMAIN AS INSTALLED.
- EXISTING ELECTRICAL SWITCHBOARD.
- PROPOSED NEW DB- SPORTS LIGHTING (DB-SLI)
- NEW ELECTRICAL PIT. REFER TO JMG SPECIFICATION FOR DETAILS.
- PROPOSED INDICATIVE UNDERGROUND CONDUIT ROUTE.
- SRZ (STRUCTURAL ROOT ZONE)
- TPZ ZONE (TREE PROTECTION ZONE)
- NEW SPORTS LIGHTING

DESIGNED IN ACCORDANCE WITH:
AUSTRALIAN STANDARD AS2560.2:2021 FOR FOOTBALL ALL CODES.
• 200 LUX FOR COMPETITION
• 100 LUX FOR TRAINING
• 50 LUX FOR SPECIFIC LOCATIONS WHERE REQUIRED
• MET WITH AS4282- 2019 - OBTRUSIVE LIGHT ASSESSMENT

LUMINAIRE SELECTION - PHILLIPS OPTIVISION LED GEN 3.5 50W 757 130 IP66 3 MODULE
17 & 10 VERSIONS USE INTEGRAL SHIELDS TO MITIGATE OBTRUSIVE LIGHT.
SPORTS LIGHTS SHOULD BE MOUNTED AT A MINIMUM 950mm APART (TYPICAL FOR ALL)
• LAMP = LED A35 ASSYMETRIC WIDE BEAM & NARROW BEAM
• LAMP FLUX = 194,000 LUMENS
• MF = 0.86
• LUMINAIRE WATTAGE = 1420.0W
• CABLE FROM DRIVER TO FLOODLIGHTS = 7c - 2.5mm² cable
• COLOUR = 740 NEUTRAL WHITE
• CCT = 5700K
• CRI = >70
• WEIGHT = 26.5kg (REMOTE DRIVER 6.3kg)
• WINDAGE = 0.32 m² (40° TILT)
• VOLTAGE = 400V
• CONTROLS SYSTEM INPUT = DALI
• DIMMING = INTEGRAL
• DRIVER BOX = EYP500 IS ORDERED WITH FLOOD LIGHTS BVP525, COMPLETE WITH SUSPENSION KIT.
• COMPLETE WITH LIGHT CONTROL LOUVERS (IF REQUIRED) MAY NEED TO BE LOCATED EXTERNAL TO POLE.
• POLES = GM POLES
• POLE HEIGHT = 18m + HEADFRAME
• LIGHT FITTINGS CAN BE MOUNTED OVER/UNDER WITHOUT MODIFICATIONS/ACCESSORIES
(SINGLE CROSS-ARM ONLY).

NOTES

- ALL WORKS ARE TO COMPLY WITH THE REQUIREMENT OF THE SPECIFICATION, AS/NZS 3000, AS/NZS 3008, HOBART CITY COUNCIL AND THE LOCAL SUPPLY AUTHORITY.
- SUPPLY AND INSTALL A DALI BUS FROM EACH LIGHT POLE BACK TO THE SWITCHBOARD LOCATION IN 1.5pr CABLE FOR DALL.
- MAKE PROVISION FOR HOISTING EQUIPMENT FOR POLE INSTALLATION, COMMISSIONING AND THEN AIMING OF THE SPORTS LIGHTING.
- NOMINATE A SUITABLY QUALIFIED REPRESENTATIVE FOR COMMISSIONING AND THE AIMING OF THE SPORTS LIGHTING, INCLUDE THESE COSTS IN THE TENDER SUBMISSION.
- PROVIDE RCD PROTECTED CIRCUITS IN ACCORDANCE WITH AS/NZS 3000.
- FOR ALL UNDERGROUND CABLING WORKS, CONFIRM LOCATIONS OF OTHER SERVICES PRIOR TO COMMENCEMENT. HAND DIGGING, VACUUM TRUCK OR BORING MUST OCCUR AROUND THE 'TREE PROTECTION ZONES' IDENTIFIED AS THE GREEN ZONE AROUND THE BASE OF THE TREES.
- PROVIDE WRITTEN CONFIRMATION THAT THE INSTALLATION HAS MET THE REQUIREMENTS AS STATED AND TO MEET THE CODE REQUIREMENTS.
- THE FINAL SIZE AND EXACT LOCATIONS OF IN-GROUND ELECTRICAL PITS ARE TO BE DETERMINED ON SITE. PITS ARE TYPICALLY LOCATED TO ENABLE EASE OF FUTURE INSTALLATIONS, THEY CAN BE SHARED PITS WITH SUITABLE SEGREGATION. SHALL BE CONSIDERED DURING INSTALLATION AND FINAL SIZING.



DETAIL A:
SPORTS LIGHT TOWER ELEVATION
N.T.S

*REFER TO TABLE 1 FOR SPORTS LIGHTING SPECIFICATION

T1 05-10-22 TENDER ISSUE
P2 16/09/22 REVISED PRELIMINARY ISSUE
P1 08/09/22 PRELIMINARY ISSUE
REV DATE REMARK

SAFETY IN DESIGN REPORT PER WHS REGULATIONS
The following risks which are unique to this design have been identified:
This report does not release contractors from their responsibilities under the Act to identify, report, mitigate and manage all aspects of risk and safety.

JMG
Engineers & Planners

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PROJECT
SANDOWN AVENUE
SANDY BAY, HOBART
SANDOWN PARK 2

TITLE
ELECTRICAL SERVICES
POWER, COMMUNICAITONS &
LIGHTING LAYOUT

Accepted C. HOLLOWAY (Discipline Head) Date

Accepted L. TERRY (Team Leader) Date

Approved C. PURDON (Principal) Date

This document must be signed "Approved" by JMG to authorise it for use. JMG accepts no liability whatsoever for construction or construction use.

SCALES @ A1 DESIGNED BY DRAWN BY

L. TERRY D. VERASDONCK

PLOT DATE 05/10/2022

DO NOT SCALE DIMENSIONS FROM THIS DRAWING
DO NOT CONSTRUCT WORKS DIRECTLY FROM THIS DRAWING
CONTRACTOR TO SITE MEASURE AND PREPARE COORDINATED WORKING DRAWINGS FOR CONSTRUCTION. REFER TO PROJECT SPECIFICATION.

PLOT DETAILS J220526BS-E (PARK 2).DWG

PROJECT NO. J220526BS

DWG NO. E01 REVISION T1

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