



CITY OF HOBART

# AGENDA

## City Planning Committee Meeting

### Open Portion

Monday, 19 September 2022

at 5:00 pm

Council Chamber, Town Hall

## SUPPLEMENTARY ITEM

### ORDER OF BUSINESS

COMMITTEE ACTING AS PLANNING AUTHORITY ..... 3

#### APPLICATIONS UNDER THE HOBART INTERIM PLANNING SCHEME 2015

7.1.9 18 McDevitt Avenue, 5A Zomay Avenue, 5B Zomay Avenue,  
Dynnyrne - Two Multiple Dwellings..... 4

**The Chief Executive Officer reports:**

“That in accordance with the provisions of Part 2 Regulation 8(6) of the *Local Government (Meeting Procedures) Regulations 2015*, these supplementary matters are submitted for the consideration of the Committee.

Pursuant to Regulation 8(6), I report that:

- (a) information in relation to the matter was provided subsequent to the distribution of the agenda;
- (b) the matter is regarded as urgent; and
- (c) advice is provided pursuant to Section 65 of the Act.”

## **COMMITTEE ACTING AS PLANNING AUTHORITY**

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In accordance with the provisions of Part 2 Regulation 25 of the *Local Government (Meeting Procedures) Regulations 2015*, the intention of the Committee to act as a planning authority pursuant to the *Land Use Planning and Approvals Act 1993* is to be noted.

In accordance with Regulation 25, the Committee will act as a planning authority in respect to those matters appearing under this heading on the agenda, inclusive of any supplementary items.

The Committee is reminded that in order to comply with Regulation 25(2), the Chief Executive Officer is to ensure that the reasons for a decision by a Council or Council Committee acting as a planning authority are recorded in the minutes.

**7.1.9 18 MCDEVITT AVENUE, 5A ZOMAY AVENUE, 5B ZOMAY AVENUE,  
DYNMYRNE - TWO MULTIPLE DWELLINGS  
PLN-22-251 - FILE REF: F22/94457**

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Address: 18 McDevitt Avenue, 5A Zomay Avenue, 5B Zomay Avenue, Dynmyrne

Proposal: Two Multiple Dwellings

Expiry Date: 22 October 2022

Extension of Time:

Author: Michael McClenahan

**RECOMMENDATION**

That pursuant to the *Hobart Interim Planning Scheme 2015*, the City Planning Committee, in accordance with the delegations contained in its terms of reference, approve the application for Two Multiple Dwellings, at 18 McDevitt Avenue, 5A Zomay Avenue, and 5B Zomay Avenue for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

**GEN**

**The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-22-251 - 18 MCDEVITT AVENUE DYNMYRNE TAS 7005 - Final Planning Documents except where modified below.**

Reason for condition

To clarify the scope of the permit.

**TW**

**The use and/or development must comply with the requirements of TasWater as detailed in the form Submission to Planning Authority Notice, Reference No. TWDA 2022/00653-HCC dated 15/08/2022 as attached to the permit.**

Reason for condition

To clarify the scope of the permit.



**PLN s4**

**Each dwelling must have a waste storage area adjacent to the driveway (within the property boundaries) with the dimensions of at least 0.75m wide by 1.2m deep.**

**Prior to the issue of any approval under the *Building Act 2016*, revised plans demonstrating the waste storage areas in accordance with the above requirement, must be submitted and approved as a Condition Endorsement.**

**All work required by this condition must be undertaken in accordance with the approved revised plans. The waste storage areas must be installed prior to first use.**

*Advice:*

*This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.*

Reason for condition

To provide for the storage of waste and recycling bins for multiple dwellings.

**ENG sw1**

**All stormwater from the proposed development (including but not limited to: roofed areas, ag drains, retaining wall ag drains and impervious surfaces such as driveways and paved areas) must be drained to the Council's stormwater infrastructure prior to first occupation or commencement of use (whichever occurs first).**

*Advice:*

*Under section 23 of the Urban Drainage Act 2013 it is an offence for a property owner to direct stormwater onto a neighbouring property.*

Reason for condition

To ensure that stormwater from the site will be discharged to a suitable Council approved outlet.

**SW 9**

Prior to occupancy or the commencement of the approved use (whichever occurs first) detention for stormwater discharges from the development must be installed.

A stormwater management report and design must be submitted and approved, prior to the issue of any approval under the *Building Act 2016* or the commencement of work on the site (whichever occurs first). The stormwater management report and design must be prepared by a suitably qualified engineer and must:

1. include detailed design and supporting calculations of the detention tank showing:
  1. detention tank sizing such that there is no increase in flows from the developed site up to 5% AEP event and no worsening of flooding;
  2. the layout, the inlet and outlet (including long section), outlet size, overflow mechanism and invert level;
  3. the discharge rates and emptying times; and
  4. all assumptions must be clearly stated;
2. include a supporting maintenance plan, which specifies the required maintenance measures to check and ensure the ongoing effective operation of all systems, such as: inspection frequency; cleanout procedures; descriptions and diagrams of how the installed systems operate; details of the life of assets and replacement requirements.

All work required by this condition must be undertaken and maintained in accordance with the approved stormwater management report and design.

**ENG 2a**

Prior to first occupation or commencement of use (whichever occurs first), vehicular barriers compliant with the Australian Standard AS/NZS 1170.1:2002 must be installed to prevent vehicles running off the edge of an access driveway or parking module (parking spaces, aisles and manoeuvring area) where the drop from the edge of the trafficable area to a lower level is 600mm or greater, and wheel stops (kerb) must be installed for

**drops between 150mm and 600mm. Barriers must not limit the width of the driveway access or parking and turning areas approved under the permit.**

*Advice:*

*The Council does not consider a slope greater than 1 in 4 to constitute a lower level as described in AS/NZS 2890.1:2004 Section 2.4.5.3. Slopes greater than 1 in 4 will require a vehicular barrier or wheel stop.*

*Designers are advised to consult the [National Construction Code 2016](#) to determine if pedestrian handrails or safety barriers compliant with the Code are also required in the parking module this area may be considered as a path of access to a building.*

Reason for condition

To ensure the safety of users of the access driveway and parking module and compliance with the standard.

## **ENG 2b**

**Further detailed designs are required for vehicle barriers in the following locations:**

- 1. Along the edge of each of the driveways.**

**This documentation must be submitted and approved as a condition endorsement, prior to the issuing of any approval under the *Building Act 2016*.**

**The detailed designs must:**

- 1. be prepared and certified by a suitably qualified engineer;**
- 2. be in accordance with the Australian Standard AS/NZS 1170.1:2002, if possible; and**
- 3. show dimensions, levels, and other details as Council deem necessary to satisfy the above requirement.**

**The vehicle barriers must be installed in accordance with the approved detailed designs prior to first occupation.**

*Advice:*

*This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.*

Reason for condition

To ensure the safety of users of the access driveway and parking module and compliance with the standard.

### **ENG 2c**

**Prior to the first occupation, a suitably qualified engineer must certify that the vehicle barriers have been installed in accordance design drawings approved by Condition ENG 2b.**

*Advice:*

*An example certificate is available on our [website](#).*

Reason for condition

To ensure the safety of users of the access driveway and parking module and compliance with the relevant standards.

### **ENG 3a**

**The access driveway and parking area must be constructed in accordance with the following documentation which forms part of this permit:**

**Aldanmark Consulting Engineers drawings C101 rev B, C102 rev C, C301 rev B, C302 rev B, C303 rev B, C304, rev B and C401 rev B received by the Council on 8 August 2022.**

**Any departure from that documentation and any works which are not detailed in the documentation must be either:**

- a. **approved by the Director City Life, via a condition endorsement application; or**
- b. **designed and constructed in accordance with Australian Standard AS/NZ 2890.1:2004.**

**The works required by this condition must be completed prior to first occupation.**

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

### **ENG 3c**

**Prior to the first occupation, a suitably qualified engineer must certify that the access driveway and parking area has been constructed in accordance with design drawings approved by Condition ENG 3a.**

*Advice:*

*We strongly encourage you to speak to your engineer before works begin so that you can discuss the number and nature of the inspections they will need to do during the works in order to provide this certification. It may be necessary for a surveyor to also be engaged to ensure that the driveway will be constructed as approved.*

*The reason this condition has been imposed as part of your planning permit is that the driveway is outside the Australian Standard gradients or design parameters. If the driveway is not constructed as it has been approved then this may mean that the driveway will either be unsafe or will not function properly.*

*An example certificate is available on our [website](#).*

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

### **ENG 4**

**The access driveway and parking module (car parking spaces, aisles and manoeuvring area) approved by this permit must be constructed to a sealed standard (spray seal, asphalt, concrete, pavers or equivalent Council approved) and surface drained to the Council's stormwater infrastructure prior to the first occupation.**

Reason for condition

To ensure the safety of users of the access driveway and parking module, and that it does not detract from the amenity of users, adjoining occupiers or the environment by preventing dust, mud and sediment transport.

#### **ENG 5**

**The number of car parking spaces approved to be used on the site is four (4) and to be located within the garages.**

*Advice:*

*No on-site parking is approved with in the driveways.*

Reason for condition

To ensure the provision of parking for the use is safe and efficient.

#### **ENG 6**

**The existing concrete crossover on the McDevitt Avenue frontage of the property must not be used for vehicular parking.**

*Advice:*

Redundant crossovers are required to be reinstated under the Hobart City Council's Infrastructure By Law.

Reason for condition

To ensure that parking areas for cars are located, designed and constructed to enable safe, easy and efficient use.

#### **ENG 1**

**Any damage to council infrastructure resulting from the implementation of this permit, must, at the discretion of the Council:**

- 1. Be met by the owner by way of reimbursement (cost of repair and reinstatement to be paid by the owner to the Council); or**
- 2. Be repaired and reinstated by the owner to the satisfaction of the Council.**

**A photographic record of the Council's infrastructure adjacent to the subject site must be provided to the Council prior to any commencement of works.**

**A photographic record of the Council's infrastructure (e.g. existing property service connection points, roads, buildings, stormwater, footpaths, driveway crossovers and nature strips, including if any, pre-existing damage) will be relied upon to establish the extent of damage caused to the Council's infrastructure during construction. In the event that the owner/developer fails to provide to the Council a photographic record of the Council's infrastructure, then any damage to the Council's infrastructure found on completion of works will be deemed to be the responsibility of the owner.**

Reason for condition

To ensure that any of the Council's infrastructure and/or site-related service connections affected by the proposal will be altered and/or reinstated at the owner's full cost.

#### **ENG s1**

**The excavation and/or earth-retaining structures (ie embankments, cuttings, retaining walls), footings and driveway deck within embankment easement supporting the Right of Way must not undermine the stability and integrity of the Right of Way and its infrastructure.**

**Prior to the first occupation, documentation by a suitably qualified engineer certifying that all works within the embankment easement have not undermined the stability and integrity of the Right of Way and its infrastructure, is to be submitted to Council.**

*Advice:*

*Certification may be submitted to Council as part of the Building Act 2016 approval process or via condition endorsement (see general advice on how to obtain condition endorsement).*

Reason for condition

To ensure that the stability and integrity of the right of way is not compromised by the development.

**ENV 2**

**Sediment and erosion control measures, in accordance with an approved soil and water management plan (SWMP), must be installed prior to the commencement of work and maintained until such time as all disturbed areas have been stabilised and/or restored or sealed to the Council's satisfaction.**

**A SWMP must be submitted as a Condition Endorsement prior to the issue of any approval under the *Building Act 2016* or the commencement of work, whichever occurs first. The SWMP must be prepared in accordance with the Soil and Water Management on Building and Construction Sites fact sheets (Derwent Estuary Program, 2008), available [here](#).**

**All work required by this condition must be undertaken in accordance with the approved SWMP.**

*Advice:*

*This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.*

Reason for condition

To avoid the pollution and sedimentation of roads, drains and natural watercourses that could be caused by erosion and runoff from the development.

**ADVICE**

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.



## CONDITION ENDORSEMENT

If any condition requires that further documents are submitted and approved, you will need to submit the relevant documentation to satisfy the condition via the Condition Endorsement Submission on Council's [online services e-planning portal](#). Detailed instructions can be found [here](#).

A fee of 2% of the value of the works for new public assets (stormwater infrastructure, roads and related assets) will apply for the condition endorsement application.

Once approved, the Council will respond to you via email that the condition has been endorsed (satisfied).

Where building approval is also required, it is recommended that documentation for condition endorsement be submitted well before submitting documentation for building approval. Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.

## BUILDING PERMIT

You may need building approval in accordance with the *Building Act 2016*. Click [here](#) for more information.

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

## PLUMBING PERMIT

You may need plumbing approval in accordance with the *Building Act 2016*, *Building Regulations 2016* and the National Construction Code. Click [here](#) for more information.

## STORMWATER

Please note that in addition to a building and/or plumbing permit, development must be in accordance with the Hobart City Council's Infrastructure By law. Click [here](#) for more information.

## REDUNDANT CROSSOVERS

Redundant crossovers are required to be reinstated under the Hobart City Council's Infrastructure By law. Click [here](#) for more information.

## RIGHT OF WAY

The private right of way must not be reduced, restricted or impeded in any way, and all beneficiaries must have complete and unrestricted access at all times.

You should inform yourself as to your rights and responsibilities in respect to the private right of way particularly reducing, restricting or impeding the right during and after construction.

## WEED CONTROL

Effective measures are detailed in the Tasmanian Washdown Guidelines for Weed and Disease Control: Machinery, Vehicles and Equipment (Edition 1, 2004). The guidelines can be obtained from the Department of Primary Industries, Parks, Water and Environment [website](#).

## WORK PLACE HEALTH AND SAFETY

Appropriate occupational health and safety measures must be employed during the works to minimise direct human exposure to potentially-contaminated soil, water, dust and vapours. Click [here](#) for more information.

## PROTECTING THE ENVIRONMENT

In accordance with the *Environmental Management and Pollution Control Act 1994*, local government has an obligation to "use its best endeavours to prevent or control acts or omissions which cause or are capable of causing pollution." Click [here](#) for more information.

## NOISE REGULATIONS

Click [here](#) for information with respect to noise nuisances in residential areas.

## WASTE DISPOSAL

It is recommended that the developer liaise with the Council's Cleansing and Solid Waste Unit regarding reducing, reusing and recycling materials associated with demolition on the site to minimise solid waste being directed to landfill.

Further information regarding waste disposal can also be found on the Council's [website](#).

## FEES AND CHARGES

Click [here](#) for information on the Council's fees and charges.

## DIAL BEFORE YOU DIG

Click [here](#) for dial before you dig information.

## MCDEVITT AVENUE PART 5 AGREEMENT


In accordance with the Part 5 agreement D103577 which is applicable to this Title, the following requirements are made:

- The dwelling should be constructed to Bushfire Rating BAL12.5.
- A 5000L rainwater tank for re-use on site must be installed.

Please note that Part 5 Agreement D103577 with Hobart City Council requires the owner(s) of the property to:

- implement and maintain the Bushfire Management Plan in relation to the property;
- comply with the advice and recommendations of the geotechnical assessment report by Geo-Environmental Solutions;
- implement and maintain the Weed Management Plan in relation to the land; and
- Implement and maintain the Stormwater Management Plan in relation to the land.

Copies of the plans and reports are attached to the Agreement. Copies of Part 5 Agreements can be obtained via the 'Scanned Dealings' section of the [The LIST website](#).

Attachment A: PLN-22-251 - 18 MCDEVITT AVENUE DYNMYRNE TAS 7005  
- Planning Committee or Delegated Report ↓ 

Attachment B: PLN-22-251 - 18 MCDEVITT AVENUE DYNMYRNE TAS 7005  
- CPC documents ↓ 

**APPLICATION UNDER HOBART INTERIM PLANNING SCHEME 2015**

Type of Report: Committee  
Committee: 19 September 2022  
Expiry Date: 22 October 2022  
Application No: PLN-22-251  
Address: 18 MCDEVITT AVENUE , DYNMYRNE  
5 A ZOMAY AVENUE , DYNMYRNE  
5 B ZOMAY AVENUE , DYNMYRNE  
Applicant: BEN REDMOND  
27 HUNTER STREET  
Proposal: Two Multiple Dwellings  
Representations: Four  
Performance criteria: General Residential Zone Development Standards, Parking and Access Code

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**1. Executive Summary**

- 1.1 Planning approval is sought for Two Multiple Dwellings, at 18 McDevitt Avenue, 5A Zomay Avenue, and 5B Zomay Avenue.
- 1.2 More specifically the proposal includes:
- Construction of two new detached multiple dwellings. Each multiple dwelling will include three bedrooms, two bathrooms, kitchen and dining room, lounge room, study, and two car garage.
  - Each multiple dwelling will follow the topography of the land and feature four storeys, which includes the entry level including the garage, two levels for bedrooms and living spaces, and an undercroft level featuring a study room.
  - Vehicle access to the site will be via a shared right of way to the rear of the property which has a frontage to Zomay Avenue.
  - Landscaping will be undertaken surrounding the dwellings and a mailbox and pedestrian access along the McDevitt Avenue frontage.
- 1.3 The proposal relies on performance criteria to satisfy the following standards and codes:

- 1.3.1 General Residential Zone - Setbacks and Building Envelope, Site Coverage and Private Open Space, Privacy, Waste Storage for Multiple Dwellings
- 1.3.2 Parking and Access Code - Number of Parking Spaces, Layout of Parking Areas
- 1.4 Four (4) representations objecting to the proposal were received within the statutory advertising period between 18/08/22 - 01/09/22.
- 1.5 The proposal is recommended for approval subject to conditions.
- 1.6 The final decision is delegated to the City Planning Committee, because four (4) objections to the proposal were received during the statutory advertising period.

## 2. Site Detail

- 2.1 The subject site is located at 18 McDevitt Avenue, Dynnryne and comprises a single title vacant lot approximately 798m<sup>2</sup> in size. The site is presently cleared and only features low rise vegetation, the site slopes steeply uphill to the south, away from the McDevitt Avenue frontage. Access to the site is made either via the McDevitt Avenue frontage to the north, or via a benefiting easement to the south which opens to the Zomay Avenue frontage, this easement is shared with the properties at 5A through to 5E Zomay Avenue, and 16 McDevitt Avenue. The surrounding area is characterised by predominately residential uses or vacant subdivided land. A site visit was undertaken following the conclusion of the statutory advertising period.



Figure 1: Aerial image of the subject site (bordered in blue) and surrounding area.





**Figure 2:** View of the subject site from the McDevitt Avenue frontage.



**Figure 3:** View of the shared right of way from Zomay Avenue.

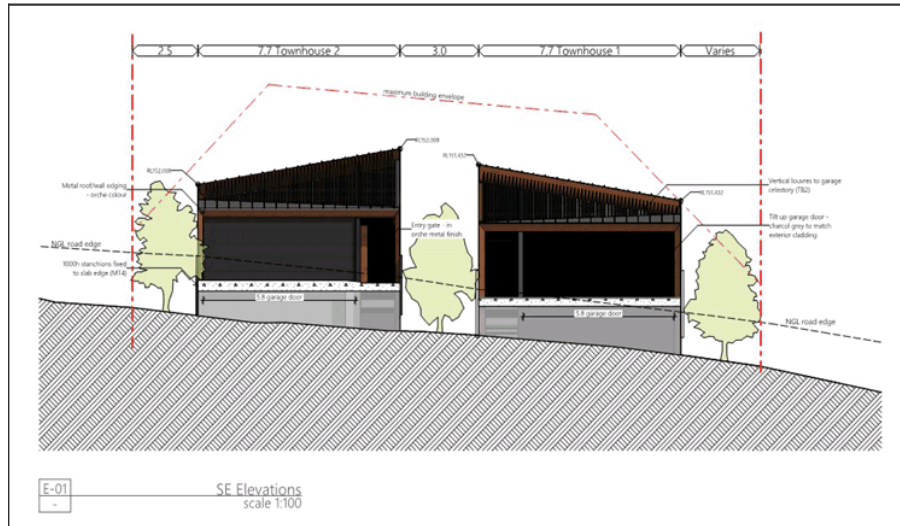
### 3. Proposal

- 3.1 Planning approval is sought for Two Multiple Dwellings, at 18 McDevitt Avenue, 5A Zomay Avenue, and 5B Zomay Avenue.
- 3.2 More specifically the proposal is for:
- Construction of two new detached multiple dwellings. Each multiple dwelling will include three bedrooms, two bathrooms, kitchen and dining room, lounge room, study, and two car garage
  - Each multiple dwelling will follow the topography of the land and feature four storeys, which includes the entry level including the garage, two levels for bedrooms and living spaces, and an undercroft level featuring a study room.
  - Vehicle access to the site will be via a shared right of way to the rear of the property which has frontage to Zomay Avenue
  - Landscaping will be undertaken surrounding the dwellings and a mailbox and pedestrian access along the McDevitt Avenue frontage

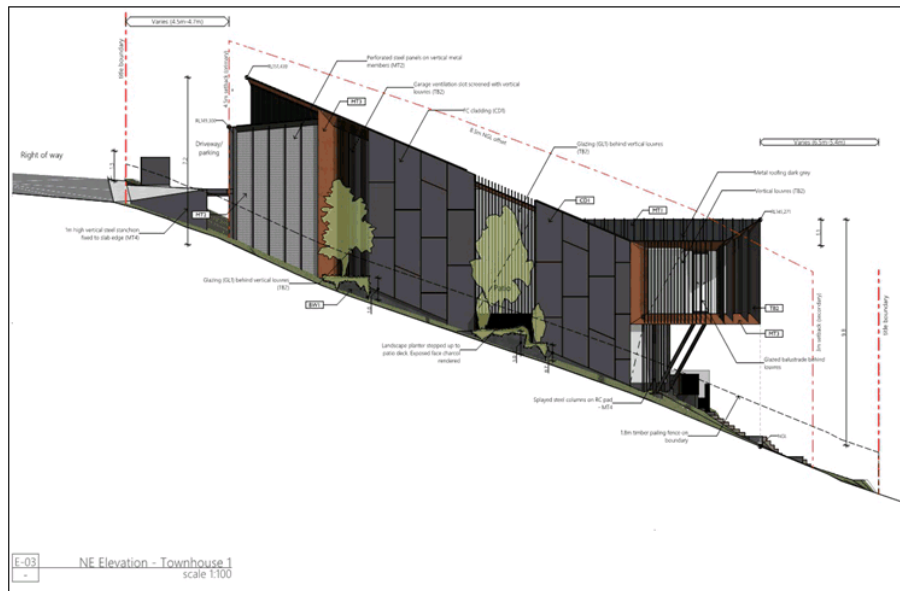




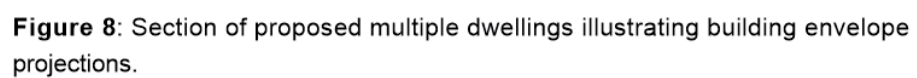
Figure 4: Site plan of proposed multiple dwellings

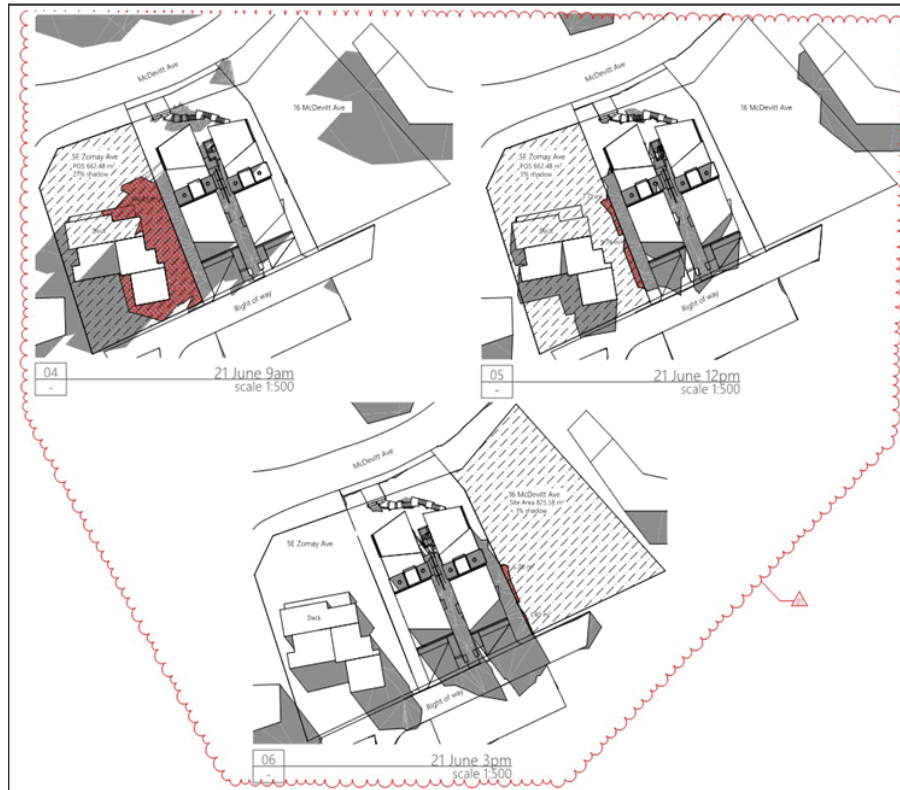


**Figure 5:** Rear elevation of proposed multiple dwellings. Note the road level is the black dotted line.



**Figure 6:** North east elevation of proposed dwelling 1.





**Figure 9:** Sun shadow diagrams of proposed multiple dwellings on June 21st.

#### 4. Background

- 4.1 The site is within the original 20 lot subdivision approved under PLN-11-00799-01.
- 4.2 The site has a benefitting easement on the certificate of title, which provides a right of carriageway over the driveway on 5A and 5B Zomay Avenue.

#### 5. Concerns raised by representors

- 5.1 Four (4) representations objecting to the proposal were received within the statutory advertising period between 18/08/22 - 01/09/22.
- 5.2 The following table outlines the concerns raised in the representations received. Those concerns which relate to a discretion invoked by the proposal are addressed in Section 6 of this report.

**Building Envelope**

- Separation between dwellings not in keeping with the neighbourhood
- Having two closely constructed garages will be unattractive and dominate the frontage
- The proposed development is not consistent with the density, separation between, scale, bulk, massing, proportion or site coverage with established properties in the area. Houses along McDevitt Ave and those using the right of way created by 5A and 5B Zomay Avenue have all been recently built as single family homes (many with young children) that celebrate the views, space and airy nature of this subdivision.
- The proposed development currently has garage openings of 5800 for townhouse 1 and 5800mm for townhouse 2. This combined total is well over the 6m maximum of A1, and based on a southern boundary of 24.23m it is getting close to the "half the width" criteria of A1 as well.
- Our home was carefully designed to be responsive to the slope of the land and considerate to established properties in the neighbourhood. We have situated our dwelling to take advantage of the northerly aspect and morning sun. The proposed development would have a significant negative impact on the amenity and value of our property and therefore we would like to object to the development of a building so close to the boundary and so far outside the building envelope.

**Right of Way and Parking**

- Expectation that right of way would be an extension of open space for existing dwellings
- Objection in increase in vehicle traffic from 8 dwellings accessing the right of way
- Only designed for three dwellings and concern if it is sufficiently engineered to accommodate traffic from 8 dwellings
- Concern over potential for impact to visitor parking in the right of way access strip and further congestion issues in the future
- Currently, the right of way is less than 6m (only 5.4 meters, cannot do the three-point turn) and is serving 7 properties (7 blocks of land). The additional 2 townhouses will increase the traffic volume using this narrow right of way and thus increase the risk of crashes
- The development plans for 18 McDevitt Ave do not have any traffic engineering certification, nor show the turn paths and driveway gradient, and cross fall. With the limited information provided and based on the small turning area allowed in both their driveways, we expected that the vehicles from these townhouses will be exiting their driveways by reversing out instead exiting forward which is a much safer option
- We have safety concerns regarding the fences and walls proposed at their driveways. Fences and solid walls are proposed on top of the embankment easement, up to the crossover. We are concerned that it may block the line of sight when drivers are reversing out from their driveways
- The intersection with the private road with Zomay Avenue occurs at a tight, steep corner where Zomay Ave turns into Caroline Street. I am not aware of a traffic management plan governing the safety of vehicles or pedestrians at this intersection. An additional 6 vehicles turning into and out of this intersection constitutes a significantly increase risk to safety.
- The proposed development does not provide for dedicated visitor parking

**Waste Storage**

- It does not appear to us that there will be sufficient storage for the three bins required in our area. As this will likely mean that additional bins are left on the driveway, in direct view of our entrance, we consider this to be unacceptable
- The curbside space available for bins to be put out for collection is barely adequate for the four existing dwellings due to the slope and other driveways on Zomay Avenue and Caroline Street.
- No thought has been given to the collection of rubbish, green waste and recycle bins. Currently they are all dragged to intersection with Zomay Avenue/Caroline Street. As 2 bins per household are left there each week, currently this means a total of 8 bins some of which will get blown over and deposit their contents onto the road way
- The proposed development currently allows for a waste storage area of 700d x 1200w each – an area of 0.84m<sup>2</sup> per dwelling. This is just over half of the minimum required by A1. There are three bins required for properties at this site (rubbish, recycling and green waste) which at the standard sizes requires a minimum width of 1600 to store appropriately. The proposed development therefore also does not meet the minimum required by performance criteria P1.

**Historical Subdivision // Density**

- Only one dwelling at each lot was permitted within the original DA for the subdivision. Two townhouses are proposed at 18 McDevitt Ave and should not be permitted
- The extension to Zomay Avenue was originally only for blocks 5A, 5B and 5C Zomay Avenue, ie a total of 3 dwellings.
- There are now 2 additional dwellings using this access, which was not in the original planning approval, the current application will add a further 2 dwellings and further increase the number of vehicles using this access onto Zomay/Caroline Street

**6. Assessment**

- 6.1 The *Hobart Interim Planning Scheme 2015* is a performance based planning scheme. To meet an applicable standard, a proposal must demonstrate compliance with either an acceptable solution or a performance criterion. Where a proposal complies with a standard by relying on one or more performance criteria, the Council may approve or refuse the proposal on that basis. The ability to approve or refuse the proposal relates only to the performance criteria relied on.

- 6.2 The site is located within the General Residential Zone of the *Hobart Interim Planning Scheme 2015*.
- 6.3 There is no existing use on the site. The proposed use is Residential (multiple dwelling). The proposed use is a permitted use in the zone.
- 6.4 The proposal has been assessed against:
- 6.4.1 D10.0 General Residential Zone
  - 6.4.2 E6.0 Parking and Access Code
  - 6.4.3 E7.0 Stormwater Management Code
- 6.5 The proposal relies on the following performance criteria to comply with the applicable standards:
- 6.5.1 General Residential Zone:
    - Setbacks and Building Envelope - D10.4.2 P1; P3*
    - Site Coverage and Private Open Space - D10.4.3 P1; P2*
    - Privacy – D10.4.6 P1*
    - Waste Storage for Multiple Dwellings - D10.4.8 P1*
  - 6.5.2 Parking and Access Code:
    - Number of Parking Spaces - E6.6.1 P1*
    - Layout of Parking Ares - E6.7.5 P1*
- 6.6 Each performance criterion is assessed below.
- 6.7 Setback and Building Envelope D10.4.2 P1
- 6.7.1 The acceptable solution at clause 10.4.2 A1 requires that for a vacant site, and there are existing dwellings on adjoining properties on the same street, a dwelling must have a setback not more than the greater, or less than the lesser, setback for the equivalent frontage of the dwellings on the adjoining sites on the same street,
  - 6.7.2 The proposal includes a vacant site with existing dwellings on adjoining properties on the same street. The proposal has a setback of 3.9m with setbacks of 10.8m at 16 McDevitt Avenue and 14.6m at 5E Zomay Avenue (also known as 20 McDevitt Avenue).



6.7.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.

6.7.4 The performance criterion at clause 10.4.2 P1 provides as follows:

*A dwelling must:*

*(a) have a setback from a frontage that is compatible with the streetscape, having regard to any topographical constraints; and*

*(b) if abutting a road identified in Table 10.4.2, include additional design elements that assist in attenuating traffic noise or any other detrimental impacts associated with proximity to the road.*

6.7.5 The minimum setback of the proposed multiple dwellings from the McDevitt Avenue frontage will be approximately 3.9m. Both dwellings have an angled deck facing this frontage and the setbacks otherwise range from 5.4m to 6.1m. The adjoining property adjacent to the vacant subject site, 5E Zomay Avenue, is positioned to the rear of the site so as to take advantage of the vehicle access via the right of way to the south and as such have a setbacks of greater than 10m. All sites along this southern side of McDevitt Avenue have a steep topography which rises away from the frontage, the proposed design of the multiple dwellings has sought to respond to these constraints by building in response to the fall of the land. As a means of creating a continuous floor plate, the lower level of both dwellings will feature a living space and balcony that projects beyond the undercroft living area and will have an angled fascia that has created these reduced setbacks.

Other dwellings in the streetscape along the northern side of McDevitt Avenue at number 9, 7 and 3, also exhibit reduced setbacks and demonstrate that due to the difficulties of the topography, there is no uniform streetscape setback exemplified. Accounting for these similar examples, and having regard for the steepness of the site, the proposed setbacks of the dwellings are considered compatible with the streetscape.

6.7.6 The proposal complies with the performance criterion.

6.8 Setback and Building Envelope D10.4.2 P3

6.8.1 The acceptable solution at clause 10.4.2 A3 requires that a dwelling must

be contained within a building envelope determined by a distance equal to the frontage setback and projecting a line at an angle of 45 degrees from the horizontal at a height of 3m above existing ground level at the side and rear boundaries to a building height of not more than 8.5m above existing ground level.

- 6.8.2 The proposal includes two new structures which will partially project within the frontage setback and which will also project beyond the three dimensional building envelope
- 6.8.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.
- 6.8.4 The performance criterion at clause 10.4.2 P3 provides as follows:

*The siting and scale of a dwelling must:*

*(a) not cause an unreasonable loss of amenity to adjoining properties, having regard to:*

*(i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property;*

*(ii) overshadowing the private open space of a dwelling on an adjoining property;*

*(iii) overshadowing of an adjoining vacant property; and*

*(iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property;*

*(b) provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area; and*

*(c) not cause an unreasonable reduction in sunlight to an existing solar energy installation on:*

*(i) an adjoining property; or*

*(ii) another dwelling on the same site.*

- 6.8.5 The proposal includes two multiple dwellings which will have a minimum

setback of 3.9m from the primary frontage and will also project beyond the building envelope on the 45 degree angle as it rises from the side boundary, as well as above the 8.5m building height.

With respect to overshadowing, there is only one adjoining property that is likely be affected by the proposal. Shadow diagrams provided with the application (drawing number 2104 - D01 to D03) indicate that the neighbouring site at 5E Zomay Avenue (also known at 20 McDevitt Avenue) would have some overshadowing impact from the proposed development. These shadow diagrams illustrate that on March and June 21st, the reduction in sunlight to the dwelling and its private open space would be at the greatest extent at 9:00am and would reduce over the morning so that by midday the overshadowing is only limited to the open space around the shared side boundary. Whilst no hour by hour diagrams have been provided, it would be a reasonable assumption that overshadowing and sunlight reduction would only be directly impacting the adjoining dwelling until 10:30am or 11:00am on both March and June 21st. After midday the adjoining dwelling at 5E Zomay Avenue will have unobstructed sunlight for the rest of the day.

With respect to subclause 10.4.2 P3 (a) (i), the proposed dwellings will not cause any reduction in sunlight to habitable room (other than a bedroom) on the adjoining property at 5E Zomay Avenue during June 21st. Available building plans for this property illustrate that two windows on the eastern elevation, facing the subject site, will be overshadowed from 9:00am until at least midmorning. These windows open into a bedroom and a bathroom/laundry, both of which are excluded from assessment under this clause. There will also be a reduction in sunlight in the early morning to windows along the lower floor of the northern elevation although building plans with Council also illustrate that these rooms are all bedrooms. The overshadowing illustrated on March 21st illustrate that there will a slight increase in the impact to windows along the northern elevation of the adjoining dwelling with some windows on the first floor also seeing a minor reduction in sunlight from 9:00am until mid morning, these will open to a mixed use room or study.

One objection received during the statutory advertising period raised concern with the level of overshadowing of this adjoining property and the importance of direct sunlight for solar design and passive heating purposes in the early morning. Based on the information available to Council, the assessment is that the impacts of the proposal on reduction in sunlight to habitable rooms (other than a bedroom) remains reasonable. Whilst several windows will be overshadowed in the early

morning these all open to non-habitable rooms or bedrooms and the impacts cannot be considered under the subclause. The above cited representor implies that one of the lower floor rooms, closest to the shared boundary, serves as a dual bedroom or study so for a comprehensive assessment, this room will also be assessed under this subclause. The window to this bedroom/study space will be on the northern elevation of the dwelling and will have sunlight reduced from 9:00am until a mid morning period during March and June. Given the shadows at 9:00 only just reach this window it can be presumed that the reduction in sunlight will only be for short period of time and could potentially be in sunlight from 10:00am or earlier. The window will otherwise enjoy unobstructed sunlight to the rest of the day and whilst there may be a loss of amenity through this early morning shadow, it will not be for a sustained length of time and is therefore assessed as not being to an extent that would represent an unreasonable loss of amenity. A similar assessment is given to the upper floor study which will be briefly in shadow on March 21st. The window will only see brief a reduction and otherwise have unobstructed sunlight, the extent of the impact is not considered to be an unreasonable loss of amenity.

In response to subclause 10.4.2 P3 (a) (ii), the proposed dwellings will see some overshadowing of private open space of the dwelling on the adjoining lot at 5E Zomay Avenue. The overshadowing on both March and June 21st, as indicated on supplied shadow diagrams, will be from 9:00am and will reduce over time until 12:00pm where there will be only a slight overshadowing of the space along the shared side boundary. As the adjoining lot shares similar steep topography, the open space will be primarily concentrated on decks attached to the dwelling. The lower floor deck is narrow and is already under a semi transparent roof whilst the first floor deck will be completely uncovered. Supplied diagrams illustrate that there will be some overshadowing of this space during the mornings of March and June which will likely reduce over the mid morning period and otherwise have direct and unobstructed sunlight for the rest of the day. This overshadowing is not assessed as being to a duration or extent that would represent an unreasonable loss of amenity. Overshadowing will also see the northern yard of the adjoining site be in shadow from 9:00am and reducing to a small extent by midday, this is presently undeveloped space that would not be likely occupied for extended period of time for recreation. One representation expressed a concern for the overshadowing to future landscaping in this specific area which may contain a future open space area. Officers cannot make an assessment on what presently does not exist on the site and so this cannot be taken into account. In any event, it is noted that this northern yard space will only

have early to mid morning overshadowing and therefore if a landscaped yard space was presently existing on the property, any overshadowing impacts would be likely assessed as also being not creating an unreasonable impact.

There will be slight overshadowing to the shared driveway space to the direct south of the subject site as well as front parking area of 5C Zomay Avenue at 3:00pm on June 21st. This space does not serve as private open space and is therefore not assessed under the subclause. Overshadowing of this area would not cause any unreasonable impacts to dwellings on adjoining lots.

There are no adjoining vacant properties to the subject site that will be impacted by any overshadowing, there is no application of subclause 10.4.2 P3 (a) (iii) in this assessment.

In regards to subclause 10.4.2 P3 (a) (iv) the siting and scale of the dwelling must not cause an unreasonable loss of amenity through visual impacts through bulk, scale or proportions when viewed from an adjoining property. The proposal includes two detached multiple dwellings which have four separate levels that sit within two rectangular structures which follow the sloping topography of the site. A characteristic of the McDevitt Avenue subdivision is the steep topography of all the sites which emphasise unobstructed northern views across South Hobart and the CBD. The two properties which will have the greatest visual intrusion from the property, by virtue of their proximity, will be sited directly adjacent, to the east and west, at 16 McDevitt Avenue and 5E Zomay Avenue. Whilst the dwelling at 16 McDevitt Avenue has not been constructed, Council records indicate approved building plans and an assumption of future construction will be made. The dwellings on these two sites will not face the subject site, and are instead designed to face outwards over the northern slope. Objections received during the statutory advertising period raised concern that the bulk, massing, and proportions are inconsistent with the established dwellings in the surrounding area. Whilst the proposed development will have height above the acceptable solution of 8.5m, this is understood to be a design response given the steep slope of the site. It is acknowledged that the proposal has a large presence on the site, but by following the topography of the land the proposal ensures that the dwelling is reduced in scale, and avoids massing and bulk that would otherwise exist on a dwelling sited on stilts. Considering the adjoining dwellings have a similar outlook as the proposed development, the primary visual direction for those in the dwellings will be to the north and not towards the subject site. Whilst this will not be a case of fleeting

glimpses of the proposed development, the dwellings will not be sited in a way as to create a high degree of visual intrusion, and therefore represent a proposal that is assessed as being unlikely to cause an unreasonable impact to amenity through visual impacts. The proposal design also presents a varied fascia when viewed from an adjoining lot, that includes varied materiality, shapes, and heights that reduces the perception of any significant bulk or mass that will be further softened by landscaping.

Objections also raised concerns about the perception of the garages at the rear of the site in how they dominate the rear of the property. The garages will have a setback from the rear of the subject site of between 4.5m and 6.5m. The building form will remain as a single storey and it is not considered that the specific form around the garage area would present as creating an unreasonable loss of amenity due to visual impacts.

With respect to subclause 10.4.2 P3 (b) the proposal will have setbacks that remain consistent with those found on established properties in the immediate context. Setbacks from side boundaries of between 2m and 3m are proposed on the subject site which will see an approximate setback of 5m to 7m between dwellings on the subject site and dwellings on adjoining properties. Examples on established properties in the area demonstrate that setbacks between dwellings on adjoining properties range from less than 3.5m to over 8m. Objections have raised concern at the spacing between dwelling on the subject site itself, which can be addressed under other clauses.

Finally, there proposed overshadowing will not impact any existing solar energy installations on the subject site, or on adjoining properties.

6.8.6 The proposal complies with the performance criterion.

6.9 Site Coverage and Private Open Space - D10.4.3 P1

6.9.1 The acceptable solution at clause 10.4.3 A1 requires that for multiple dwellings, dwellings must have a total area of private open space of not less than 60m<sup>2</sup> associated with each dwelling.

6.9.2 The proposal includes approximately 30.28m<sup>2</sup> for dwelling 1 and 30.85m<sup>2</sup> dwelling 2.

6.9.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.

- 6.9.4 The performance criterion at clause 10.4.3 P1 provides as follows:

*Dwellings must have:*

*(a) site coverage consistent with that existing on established properties in the area;*

*(b) private open space that is of a size and with dimensions that are appropriate for the size of the dwelling and is able to accommodate:*

*(i) outdoor recreational space consistent with the projected requirements of the occupants and, for multiple dwellings, take into account any common open space provided for this purpose within the development; and*

*(ii) operational needs, such as clothes drying and storage; and*

*(c) reasonable space for the planting of gardens and landscaping.*

- 6.9.5 The proposed development will have a site coverage of 49%, which remains compliant with clause 10.4.3 A1 (a). The two proposed multiple dwellings will have private open space that will be spread across three separate balconies and patio decks. These spaces have been assessed as remaining appropriate for the size of the dwelling and will be able to accommodate the projected outdoor recreation requirements of the occupants as well as providing for operational needs. There will be other outdoor area on the space that may be appropriate for certain outdoor activities but the topography presents as a significant constraint to its use. There will remain sufficient areas for the planting of gardens and landscaping beyond these balcony and patio deck areas.

- 6.9.6 The proposal complies with with the performance criterion.

6.10 Site Coverage and Private Open Space - D10.4.3 P2

- 6.10.1 The acceptable solution at clause 10.4.3 A2 requires that a dwelling must have private open space in one location that is not less than 24m<sup>2</sup>.

- 6.10.2 The proposal includes two multiple dwellings with private open space in one location that is less than 24m<sup>2</sup>.

- 6.10.3 The proposal does not comply with the acceptable solution; therefore

assessment against the performance criterion is relied on.

- 6.10.4 The performance criterion at clause 10.4.3 P2 provides as follows:

*A dwelling must have private open space that includes an area capable of serving as an extension of the dwelling for outdoor relaxation, dining, entertaining and children's play and is:*

*(a) conveniently located in relation to a living area of the dwelling; and*

*(b) orientated to take advantage of sunlight.*

- 6.10.5 Both multiple dwellings will have three separate areas of private open space (patio decks and balconies) for their exclusive use, these will have an area that will range between 8.3m<sup>2</sup> and 11.7m<sup>2</sup>. These private open space areas will provide for appropriate space to capably serve as an extension of the dwelling for outdoor relaxation, dining, and entertaining. The areas will all be located adjacent to living areas of the dwelling and include areas oriented to take advantage of sunlight.

- 6.10.6 The proposal complies with with the performance criterion.

6.11 Privacy – D10.4.6 P1

- 6.11.1 The acceptable solution at clause 10.4.6 A1 requires that a balcony or deck that has a finished surface level more than 1m above existing ground level must have a permanently fixed screen to a height of not less than 1.7m above the finished surface level, with a uniform transparency of not more than 25%, along the sides facing a side boundary, unless the balcony or deck has a setback of not less than 3m from the side boundary.

- 6.11.2 The proposal includes a balcony and deck on the north east elevation of dwelling 1 and south west elevation of dwelling 2 which will have a finished floor level greater than 1m above existing ground level with a setback of less than 3m from the side boundary, none of the balconies or decks will have screening to a height of 1.7m with a transparency of not more than 25%.

- 6.11.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.

- 6.11.4 The performance criterion at clause 10.4.6 P1 provides as follows:



*A balcony, deck, roof terrace, parking space or carport for a dwelling (whether freestanding or part of the dwelling) that has a finished surface or floor level more than 1m above existing ground level, must be screened, or otherwise designed, to minimise overlooking of:*

*(a) a dwelling on an adjoining property or its private open space; or*

*(b) another dwelling on the same site or its private open space.*

- 6.11.5 The balconies on both dwelling 1 and dwelling 2 will have a setback of 2.5m from their respective side boundaries and will have vertical louvre screening facing the side boundaries of 16 McDevitt Avenue and 5D Zomay Avenue. There remains insufficient details as to whether this screening provides a transparency of not more than 25%. It is assessed that the location of the balconies as well as the proposed vertical louvre screening will be sufficient to minimise overlooking of dwellings on adjoining properties as well as the private open space of these lots. Any open area on adjoining lots directly adjacent to the balconies has a steep topography and is unlikely to be used for sustained periods of recreation or use.

With respect to the smaller patio decks, these will be primarily inset in a courtyard style space with a small outward facing elevation to the side boundaries of the lot. The size and positioning of these patio spaces in the context of adjoining dwellings will minimise the potential of overlooking. Due to the topography of the area, most elements of the dwellings and their private open space, on adjoining lots will be positioned higher than the patio in question, or suitable setback from the shared boundaries, further reducing the potential for privacy impacts.

- 6.11.6 The proposal complies with with the performance criterion.

6.12 Waste Storage for Multiple Dwellings - D10.4.8 P1

- 6.12.1 The acceptable solution at clause 10.4.8 A1 requires that a multiple dwelling must have a waste storage area that is not less than 1.5m<sup>2</sup> per dwelling and in an area for the exclusive use of each dwelling.
- 6.12.2 The proposal includes a waste storage area for the exclusive use of each dwelling but which is less than 1.5m<sup>2</sup> in size.
- 6.12.3 The proposal does not comply with the acceptable solution; therefore

assessment against the performance criterion is relied on.

- 6.12.4 The performance criterion at clause 10.4.8 P1 provides as follows:

*A multiple dwelling must have storage for waste and recycling bins that is:*

*(a) capable of storing the number of bins required for the site;*

*(b) screened from the frontage and any dwellings; and*

*(c) if the storage area is a common storage area, separated from any dwellings to minimise impacts caused by odours and noise.*

- 6.12.5 The proposal includes areas for the exclusive use of each dwelling and are to be located adjacent to the driveway entrance facing the right of way at the rear of the site. The proposed area will be approximately 700mm (d) x 1200mm (w) x 1500mm (h). The proposed depth of these areas is not capable of storing a 240 litre bin used for recycling by the Council. A condition requiring lodgment of updated plans demonstrating a storage area with sufficient area to accommodate these bins will be recommended.

Provided these revised storage areas are supplied, they will be capable of storing two bins each, which will include general waste and recycling and are the two bins required for a multiple dwelling use. The storage areas will have screening 1.5m high and are therefore considered to be appropriately screened from any dwellings.

One objection to the development raised concern that the storage areas were not capable of containing Council bins. Advice from Council's Waste Services Unit has confirmed the storage area dimensions that will be conditioned as part of the permit will be sufficient to store the required general waste and recycling bins. Green waste bins are optional for a multiple dwelling use and are not one of the bins required for the site.

- 6.12.6 The proposal complies with the performance criterion.

6.13 Number of Parking Spaces - E6.6.1 P1

- 6.13.1 The acceptable solution at clause 6.6.1 A1 requires that the number of on-site car parking spaces must be no less than and no greater than the number specified in Table E6.1, which is two spaces for each dwelling.

- 6.13.2 The proposal includes six (6) on-site car parking spaces.
- 6.13.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.
- 6.13.4 The performance criterion at clause 6.6.1 P1 provides as follows:

*The number of on-site car parking spaces must be sufficient to meet the reasonable needs of users, having regard to all of the following:*

- (a) car parking demand;*
- (b) the availability of on-street and public car parking in the locality;*
- (c) the availability and frequency of public transport within a 400m walking distance of the site;*
- (d) the availability and likely use of other modes of transport;*
- (e) the availability and suitability of alternative arrangements for car parking provision;*
- (f) any reduction in car parking demand due to the sharing of car parking spaces by multiple uses, either because of variation of car parking demand over time or because of efficiencies gained from the consolidation of shared car parking spaces;*
- (g) any car parking deficiency or surplus associated with the existing use of the land;*
- (h) any credit which should be allowed for a car parking demand deemed to have been provided in association with a use which existed before the change of parking requirement, except in the case of substantial redevelopment of a site;*
- (i) the appropriateness of a financial contribution in lieu of parking towards the cost of parking facilities or other transport facilities, where such facilities exist or are planned in the vicinity;*
- (j) any verified prior payment of a financial contribution in lieu of parking for the land;*

*(k) any relevant parking plan for the area adopted by Council;*

*(l) the impact on the historic cultural heritage significance of the site if subject to the Local Heritage Code;*

*(m) whether the provision of the parking would result in the loss, directly or indirectly, of one or more significant trees listed in the Significant Trees Code.*

6.13.5 Referral was made to Council's Development Engineer who has provided the following assessment:

The number of on-site car parking spaces must be sufficient to meet the reasonable needs of users, having regard to all of the following:

(a) car parking demand;

**- The empirical parking assessment indicates that the provision of four (4) on-site car parking spaces will sufficiently meet the likely demands associated with the development. Additional car parking is not necessary for visitors. Also the layout of the proposed visitor car parking within the driveways do not satisfy Clause E.6.7.5**

(b) the availability of on-street and public car parking in the locality;

**- There is a on-street parking in the surrounding road network. The potential demands for visitor and overflow parking may be accommodated in the surrounding road network.**

(c) the availability and frequency of public transport within a 400m walking distance of the site;

**- Metro Tasmania operate regular bus services within 400 metres of the subject site.**

(d) the availability and likely use of other modes of transport;

**- Other modes of transport are available.**

(e) the availability and suitability of alternative arrangements for car parking provision;

**- No alternative parking provision is available or considered necessary.**

(f) any reduction in car parking demand due to the sharing of car parking spaces by multiple uses, either because of variation of car parking demand over time or because of efficiencies gained from the consolidation of shared car parking spaces;

**- Not applicable.**

(g) any car parking deficiency or surplus associated with the existing use of the land;

**- Not applicable.**

(h) any credit which should be allowed for a car parking demand deemed to have been provided in association with a use which existed before the change of parking requirement, except in the case of substantial redevelopment of a site;

**- Not applicable.**

(i) the appropriateness of a financial contribution in lieu of parking towards the cost of parking facilities or other transport facilities, where such facilities exist or are planned in the vicinity;

**- Not applicable.**

(j) any verified prior payment of a financial contribution in lieu of parking for the land;

**- Not applicable.**

(k) any relevant parking plan for the area adopted by Council;

**- Not applicable.**

(l) the impact on the historic cultural heritage significance of the site if subject to the Local Heritage Code; and

**- Not applicable.**

(m) whether the provision of the parking would result in the loss, directly or

indirectly, of one or more significant trees listed in the Significant Trees Code.

- No impact.

**Based on the above assessment and given the submitted documentation, the number of on-site car parking spaces approved is four (4) under Performance Criteria P1:E6.6.1 of the Planning Scheme. The two (2) proposed on-site visitor car parking spaces are not approved, this is particularly due to the actual parking demands that will be generated by the development and the proposed parking layout.**

6.13.6 The proposal complies with the performance criterion.

6.14 Layout of Parking Areas - E6.7.5 P1

6.14.1 The acceptable solution at clause 6.7.5 A1 requires that the layout of car parking spaces, access aisles, circulation roadways and ramps must be designed and constructed to comply with section 2 "Design of Parking Modules, Circulation Roadways and Ramps" of AS/NZS 2890.1:2004 Parking Facilities Part 1: Off-street car parking and must have sufficient headroom to comply with clause 5.3 "Headroom" of the same Standard.

6.14.2 The proposal includes a driveway to the dwelling described as Townhouse 1 which is not of sufficient length at 4.7m within the boundaries of the property to accommodate a 5.4m long visitor car parking space with in the boundaries of the property and with in the driveway. Jockey parking is also proposed as part of the parking arrangement.

6.14.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.

6.14.4 The performance criterion at clause 6.7.5 P1 provides as follows:

*The layout of car parking spaces, access aisles, circulation roadways and ramps must be safe and must ensure ease of access, egress and manoeuvring on-site.*

6.14.5 Referral was made to Council's Development Engineer who has provided the following assessment:

The car parking spaces within the garages are acceptable however the submitted documentation appears to not satisfy this requirement for the visitor car parking spaces within the driveway. The length of the visitor car parking space at 4.7m for Townhouse 1 is not acceptable and not approved. The gradients up to 24.45% within the visitor car parking space for Townhouse 2 is not acceptable and not approved. Both visitor car parking spaces are in a Jockey parking arrangement with a car parking space within the garage for each of the dwellings. Residential car parking space layout may utilise 'Jockey Parking' configuration in which the one car parking space is behind another car parking space provided it serves the same dwelling and is not designated for visitors. The car parking spaces within the driveway have been identified as visitor parking and therefore not approved as these car parking spaces are in a jockey parking arrangement.

6.14.6 The proposal complies with the performance criterion.

## **7. Discussion**

- 7.1 Planning approval is sought for Two Multiple Dwellings, at 18 McDevitt Avenue, 5A Zomay Avenue, and 5B Zomay Avenue.
- 7.2 The application was advertised and received four (4) representations. The representations raised concerns including impacts from the proposed development due to building envelope discretions, overshadowing, visual impacts, site coverage, insufficient on-site waste storage, not enough kerbside area for rubbish collection, appropriateness of the density, and a number of concerns about the safety and feasibility of increasing traffic along the shared right of way at the rear of the site. It is noted that the proposal meets the acceptable solution for density in the planning scheme.
- 7.3 Concerns regarding discretions against the building envelope and site coverage were addressed in section 6 of this report. Advice was provided by Council's Waste Service Unit that there remained sufficient area along the frontage of 5 Zomay Avenue and 1 Caroline Street for collection of additional bins. Objections raised about the width of the garages are understood but cannot be assessed against clause 10.4.5 A1 or P1 as the garages on the site face a rear boundary. A frontage is only where the site meets a Council managed road, and the garages face a shared private right of way, well over 12m from a primary frontage.

- 7.4 Concerns regarding the use of the right of way are noted. The creation of a right of way does not of itself require planning approval, which may help to explain why additional rights of way have been able to be created post the planning approval of the original subdivision. The adequacy of the right of way has been addressed by the Council's Development Engineer who advises that the title of the subject property shows benefiting easements for a right of carriageway on land marked right of way 'D and right of way 'E' on sealed plan 166929 which allows vehicular access to Zomay Avenue for this property and there are benefiting easements for several other properties to access Zomay Avenue from the same right of way. The majority of the right of way contains a concrete driveway approximately 5.5m wide reducing to a 3.0m wide concreted driveway for two (2) properties at the end of the right of way which provides sufficient width for two vehicle to pass and will be sufficient for traffic to flow within the right of way. Residents accessing their properties from the right of way should be able to manoeuvre vehicles within their driveways and the right of way to access Zomay Avenue in a forward direction and any non-resident using the right of way should be able to utilise one or more of the driveways off of the right of way to undertake manoeuvres (three point turn) to turn around and exit the right of way in a forward direction. The driveway, access and benefiting easements providing access to Zomay Avenue is existing and the traffic generated by the two multiple dwelling would be low and have low impact of traffic flow. The applicant has identified six (6) on site car parking spaces, however only four (4) on site car parking spaces will be approved which will reduce the traffic generation. The development is not required to provide on site turning for vehicles to exit the property in a forward direction, however applicant provided detail driveway and parking designs prepared by an Engineering Consultant that adequately identified vehicles can reverse from the property and manoeuvre with in the right of way such that vehicles can access onto Zomay Avenue in a forward direction. Right of ways must not be restricted or impeded in any way and all beneficiaries must have completed and unrestricted access at all times, therefore visitors can not park within the right of way.

All property owners with benefiting easements over the private right of way should be aware of their rights and responsibilities in respect to the private right of way particularly with regard to restricting or impeding the right of way and ensure that visitors do not park within the right of way. Zomay Avenue is a low traffic volume road and the existing intersection of the driveway from the right of way with Zomay Avenue has adequate sight distance and visibility with a low traffic volume using the right of way resulting in low impact to traffic flow in the area. There is no requirement for the provision of sight distance when accessing from a property to a right of way therefore sight distance standards can not be applied. Due to the low speed environment of the driveway within the right of way the concern regarding sight distances is considered to be a low risk.



- 7.5 The proposal has been assessed against the relevant provisions of the planning scheme and is considered to perform well.
- 7.6 The proposal has been assessed by other Council officers, including the Council's Development Engineer and Stormwater Engineer. The officers have raised no objection to the proposal, subject to conditions.
- 7.7 The proposal is recommended for approval.

## 8. Conclusion

- 8.1 The proposed Two Multiple Dwellings, at 18 McDevitt Avenue, 5A Zomay Avenue, and 5B Zomay Avenue satisfies the relevant provisions of the *Hobart Interim Planning Scheme 2015*, and as such is recommended for approval.

## 9. Recommendations

That: Pursuant to the *Hobart Interim Planning Scheme 2015*, the City Planning Committee, in accordance with the delegations contained in its terms of reference, approve the application for Two Multiple Dwellings, at 18 McDevitt Avenue, 5A Zomay Avenue, and 5B Zomay Avenue for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

### GEN

**The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-22-251 - 18 MCDEVITT AVENUE DYNMYRNE TAS 7005 - Final Planning Documents except where modified below.**

Reason for condition

To clarify the scope of the permit.

### TW

**The use and/or development must comply with the requirements of TasWater as detailed in the form Submission to Planning Authority Notice, Reference No. TWDA 2022/00653-HCC dated 15/08/2022 as attached to the permit.**

Reason for condition

To clarify the scope of the permit.

### PLN s4

**Each dwelling must have a waste storage area adjacent to the driveway (within the property boundaries) with the dimensions of at least 0.75m wide by 1.2m deep.**

**Prior to the issue of any approval under the Building Act 2016, revised plans demonstrating the waste storage areas in accordance with the above requirement, must be submitted and approved as a Condition Endorsement.**

**All work required by this condition must be undertaken in accordance with the approved revised plans. The waste storage areas must be installed prior to first use.**

*Advice:*

*This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.*

Reason for condition

To provide for the storage of waste and recycling bins for multiple dwellings.

#### **ENG sw1**

**All stormwater from the proposed development (including but not limited to: roofed areas, ag drains, retaining wall ag drains and impervious surfaces such as driveways and paved areas) must be drained to the Council's stormwater infrastructure prior to first occupation or commencement of use (whichever occurs first).**

*Advice:*

*Under section 23 of the Urban Drainage Act 2013 it is an offence for a property owner to direct stormwater onto a neighbouring property.*

Reason for condition

To ensure that stormwater from the site will be discharged to a suitable Council approved outlet.

#### **SW 9**

**Prior to occupancy or the commencement of the approved use (whichever occurs first) detention for stormwater discharges from the development must be installed.**

**A stormwater management report and design must be submitted and approved, prior to the issue of any approval under the *Building Act 2016* or the commencement of work on the site (whichever occurs first). The stormwater management report and design must be prepared by a suitably qualified engineer and must:**

1. **include detailed design and supporting calculations of the detention tank showing:**
  1. **detention tank sizing such that there is no increase in flows from**

- the developed site up to 5% AEP event and no worsening of flooding;
2. the layout, the inlet and outlet (including long section), outlet size, overflow mechanism and invert level;
  3. the discharge rates and emptying times; and
  4. all assumptions must be clearly stated;
2. include a supporting maintenance plan, which specifies the required maintenance measures to check and ensure the ongoing effective operation of all systems, such as: inspection frequency; cleanout procedures; descriptions and diagrams of how the installed systems operate; details of the life of assets and replacement requirements.

All work required by this condition must be undertaken and maintained in accordance with the approved stormwater management report and design.

#### ENG 2a

Prior to first occupation or commencement of use (whichever occurs first), vehicular barriers compliant with the Australian Standard AS/NZS 1170.1:2002 must be installed to prevent vehicles running off the edge of an access driveway or parking module (parking spaces, aisles and manoeuvring area) where the drop from the edge of the trafficable area to a lower level is 600mm or greater, and wheel stops (kerb) must be installed for drops between 150mm and 600mm. Barriers must not limit the width of the driveway access or parking and turning areas approved under the permit.

*Advice:*

*The Council does not consider a slope greater than 1 in 4 to constitute a lower level as described in AS/NZS 2890.1:2004 Section 2.4.5.3. Slopes greater than 1 in 4 will require a vehicular barrier or wheel stop.*

*Designers are advised to consult the [National Construction Code 2016](#) to determine if pedestrian handrails or safety barriers compliant with the Code are also required in the parking module this area may be considered as a path of access to a building.*

Reason for condition

To ensure the safety of users of the access driveway and parking module and compliance with the standard.

#### ENG 2b

Further detailed designs are required for vehicle barriers in the following locations:

1. Along the edge of each of the driveways.

This documentation must be submitted and approved as a condition endorsement, prior to the issuing of any approval under the *Building Act 2016*.

The detailed designs must:

1. be prepared and certified by a suitably qualified engineer;
2. be in accordance with the Australian Standard AS/NZS 1170.1:2002, if possible; and
3. show dimensions, levels, and other details as Council deem necessary to satisfy the above requirement.

The vehicle barriers must be installed in accordance with the approved detailed designs prior to first occupation.

*Advice:*

*This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.*

Reason for condition

To ensure the safety of users of the access driveway and parking module and compliance with the standard.

#### **ENG 2c**

**Prior to the first occupation, a suitably qualified engineer must certify that the vehicle barriers have been installed in accordance design drawings approved by Condition ENG 2b.**

*Advice:*

*An example certificate is available on our [website](#).*

Reason for condition

To ensure the safety of users of the access driveway and parking module and compliance with the relevant standards.

**ENG 3a**

The access driveway and parking area must be constructed in accordance with the following documentation which forms part of this permit: Aldanmark Consulting Engineers drawings C101 rev B, C102 rev C, C301 rev B, C302 rev B, C303 rev B, C304, rev B and C401 rev B received by the Council on 8 August 2022.

Any departure from that documentation and any works which are not detailed in the documentation must be either:

- (a) approved by the Director City Life, via a condition endorsement application; or
- (b) designed and constructed in accordance with Australian Standard AS/NZ 2890.1:2004.

The works required by this condition must be completed prior to first occupation.

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

**ENG 3c**

Prior to the first occupation, a suitably qualified engineer must certify that the access driveway and parking area has been constructed in accordance with design drawings approved by Condition ENG 3a.

*Advice:*

*We strongly encourage you to speak to your engineer before works begin so that you can discuss the number and nature of the inspections they will need to do during the works in order to provide this certification. It may be necessary for a surveyor to also be engaged to ensure that the driveway will be constructed as approved.*

*The reason this condition has been imposed as part of your planning permit is that the driveway is outside the Australian Standard gradients or design parameters. If the driveway is not constructed as it has been approved then this may mean that the driveway will either be unsafe or will not function properly.*

*An example certificate is available on our [website](#).*

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

#### **ENG 4**

**The access driveway and parking module (car parking spaces, aisles and manoeuvring area) approved by this permit must be constructed to a sealed standard (spray seal, asphalt, concrete, pavers or equivalent Council approved) and surface drained to the Council's stormwater infrastructure prior to the first occupation.**

Reason for condition

To ensure the safety of users of the access driveway and parking module, and that it does not detract from the amenity of users, adjoining occupiers or the environment by preventing dust, mud and sediment transport.

#### **ENG 5**

**The number of car parking spaces approved to be used on the site is four (4) and to be located within the garages.**

*Advice:*

*No on-site parking is approved within the driveways.*

Reason for condition

To ensure the provision of parking for the use is safe and efficient.

#### **ENG 6**

**The existing concrete crossover on the McDevitt Avenue frontage of the property must not be used for vehicular parking.**

*Advice:*

Redundant crossovers are required to be reinstated under the Hobart City Council's Infrastructure By Law.

Reason for condition

To ensure that parking areas for cars are located, designed and constructed to enable safe, easy and efficient use.

#### **ENG 1**

**Any damage to council infrastructure resulting from the implementation of this permit, must, at the discretion of the Council:**

1. **Be met by the owner by way of reimbursement (cost of repair and reinstatement to be paid by the owner to the Council); or**
2. **Be repaired and reinstated by the owner to the satisfaction of the Council.**

**A photographic record of the Council's infrastructure adjacent to the subject site must be provided to the Council prior to any commencement of works.**

**A photographic record of the Council's infrastructure (e.g. existing property service connection points, roads, buildings, stormwater, footpaths, driveway crossovers and nature strips, including if any, pre-existing damage) will be relied upon to establish the extent of damage caused to the Council's infrastructure during construction. In the event that the owner/developer fails to provide to the Council a photographic record of the Council's infrastructure, then any damage to the Council's infrastructure found on completion of works will be deemed to be the responsibility of the owner.**

Reason for condition

To ensure that any of the Council's infrastructure and/or site-related service connections affected by the proposal will be altered and/or reinstated at the owner's full cost.

#### **ENG s1**

**The excavation and/or earth-retaining structures (ie embankments, cuttings, retaining walls), footings and driveway deck within embankment easement supporting the Right of Way must not undermine the stability and integrity of the Right of Way and its infrastructure.**

**Prior to the first occupation, documentation by a suitably qualified engineer certifying that all works within the embankment easement have not undermined the stability and integrity of the Right of Way and its**



infrastructure, is to be submitted to Council.

*Advice: Certification may be submitted to Council as part of the Building Act 2016 approval process or via condition endorsement (see general advice on how to obtain condition endorsement).*

Reason for condition

To ensure that the stability and integrity of the right of way is not compromised by the development.

## ENV 2

Sediment and erosion control measures, in accordance with an approved soil and water management plan (SWMP), must be installed prior to the commencement of work and maintained until such time as all disturbed areas have been stabilised and/or restored or sealed to the Council's satisfaction.

A SWMP must be submitted as a Condition Endorsement prior to the issue of any approval under the *Building Act 2016* or the commencement of work, whichever occurs first. The SWMP must be prepared in accordance with the Soil and Water Management on Building and Construction Sites fact sheets (Derwent Estuary Program, 2008), available [here](#).

All work required by this condition must be undertaken in accordance with the approved SWMP.

*Advice:*

*This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.*

Reason for Condition

To avoid the pollution and sedimentation of roads, drains and natural watercourses that could be caused by erosion and runoff from the development.

## ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to

obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

#### **CONDITION ENDORSEMENT**

If any condition requires that further documents are submitted and approved, you will need to submit the relevant documentation to satisfy the condition via the Condition Endorsement Submission on Council's [online services e-planning portal](#). Detailed instructions can be found [here](#).

A fee of 2% of the value of the works for new public assets (stormwater infrastructure, roads and related assets) will apply for the condition endorsement application.

Once approved, the Council will respond to you via email that the condition has been endorsed (satisfied).

Where building approval is also required, it is recommended that documentation for condition endorsement be submitted well before submitting documentation for building approval. Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.

#### **BUILDING PERMIT**

You may need building approval in accordance with the *Building Act 2016*. Click [here](#) for more information.

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

#### **PLUMBING PERMIT**

You may need plumbing approval in accordance with the *Building Act 2016*, *Building Regulations 2016* and the National Construction Code. Click [here](#) for more information.

#### **STORMWATER**

Please note that in addition to a building and/or plumbing permit, development must be in accordance with the Hobart City Council's Infrastructure By law. Click [here](#) for more information.

**REDUNDANT CROSSOVERS**

Redundant crossovers are required to be reinstated under the Hobart City Council's Infrastructure By law. Click [here](#) for more information.

**RIGHT OF WAY**

The private right of way must not be reduced, restricted or impeded in any way, and all beneficiaries must have complete and unrestricted access at all times.

You should inform yourself as to your rights and responsibilities in respect to the private right of way particularly reducing, restricting or impeding the right during and after construction.

**WEED CONTROL**

Effective measures are detailed in the Tasmanian Washdown Guidelines for Weed and Disease Control: Machinery, Vehicles and Equipment (Edition 1, 2004). The guidelines can be obtained from the Department of Primary Industries, Parks, Water and Environment [website](#).

**WORK PLACE HEALTH AND SAFETY**

Appropriate occupational health and safety measures must be employed during the works to minimise direct human exposure to potentially-contaminated soil, water, dust and vapours. Click [here](#) for more information.

**PROTECTING THE ENVIRONMENT**

In accordance with the *Environmental Management and Pollution Control Act 1994*, local government has an obligation to "use its best endeavours to prevent or control acts or omissions which cause or are capable of causing pollution." Click [here](#) for more information.

**NOISE REGULATIONS**

Click [here](#) for information with respect to noise nuisances in residential areas.

**WASTE DISPOSAL**

It is recommended that the developer liaise with the Council's Cleansing and Solid Waste Unit regarding reducing, reusing and recycling materials associated with

demolition on the site to minimise solid waste being directed to landfill.

Further information regarding waste disposal can also be found on the Council's [website](#).

#### **FEES AND CHARGES**

Click [here](#) for information on the Council's fees and charges.

#### **DIAL BEFORE YOU DIG**

Click [here](#) for dial before you dig information.

#### **MCDEVITT AVENUE PART 5 AGREEMENT**

In accordance with the Part 5 agreement D103577 which is applicable to this Title, the following requirements are made:

- The dwelling should be constructed to Bushfire Rating BAL12.5.
- A 5000L rainwater tank for re-use on site must be installed.

Please note that Part 5 Agreement D103577 with Hobart City Council requires the owner(s) of the property to:

- implement and maintain the Bushfire Management Plan in relation to the property;
- comply with the advice and recommendations of the geotechnical assessment report by Geo-Environmental Solutions;
- implement and maintain the Weed Management Plan in relation to the land; and
- Implement and maintain the Stormwater Management Plan in relation to the land.

Copies of the plans and reports are attached to the Agreement. Copies of Part 5 Agreements can be obtained via the 'Scanned Dealings' section of the [The LIST website](#).



(Michael McClenahan)

**Development Appraisal Planner**

*As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.*



(Ben Ikin)

**Senior Statutory Planner**

*As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.*

Date of Report: 8 September 2022

**Attachment(s):**

Attachment B - CPC Agenda Documents

2104  
**Bai Townhouses**  
18 Mcdevitt Ave  
Residential

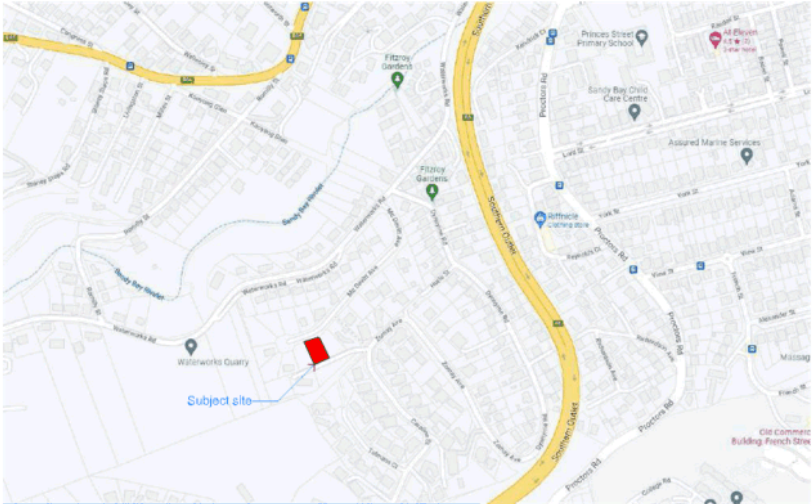
DESIGNER  
Circa Morris-Nunn Architects  
Certified Architect - Ganche Chua - CC2142 T  
Address: 27 Hunter Street, IXL Atrium, Hobart TAS 7000 AUS

LOCATION  
Project No: 2104  
Title Reference: 166929/B  
Site Area: 787 m<sup>2</sup>  
Impervious surface area: 390.9m<sup>2</sup>

SITE COVERAGE: 49%  
CAR PARKING SPACES: 6

SITE DETAILS  
CLIMATE ZONE: 7  
WIND SPEED: N2  
SOIL CLASS: Assumed class M, engineer to confirm during construction  
BAL: 12.5  
CORROSION: C3  
ALPINE AREA: N/A

Area Schedule - Townhouse 1		Area Schedule - Townhouse 2	
Area Type	Measured Area	Zone Category	Measured Area
Dwelling Interior	179.47	Dwelling Interior	178.27
Garage	48.51	Garage	49.79
	227.98 m <sup>2</sup>		228.06 m <sup>2</sup>
POS	30.29	POS	30.85



Sheet	Title	Issue Set	REV	Date
A00	COVER	B	01	18/7/22, 4...
A01	SURVEY			-
A02	SITE PLAN	B	01	18/7/22, 4...
B01	Entry Level	B	01	18/7/22, 4...
B02	Middle Level	B	01	18/7/22, 4...
B03	Lower Level	B	01	18/7/22, 4...
B04	Undercroft	B	01	18/7/22, 4...
C01	Elevations - South East			-
C02	North West	B	01	18/7/22, 4...
C03	North East Townhouse 1			-
C04	South West Townhouse 1			-
C05	South West - Townhouse 2	B	01	18/7/22, 4...
C06	North East Townhouse 2			-
C07	Section 01			-
C08	Section 02			-
C09	Section 03	B	01	18/7/22, 4...
C10	Section 04	B	01	18/7/22, 4...
D01	Sun Studies	A	01	8/6/22, 11...
D02	Sun Studies	A	01	8/6/22, 11...
D03	Sun Studies	A	01	8/6/22, 11...
D04	Sun Studies	A	01	8/6/22, 11...
D05	Exterior Views	B	01	18/7/22, 4...
D06	Exterior Views	B	01	18/7/22, 4...

revisions

SET ID	REV ID	NAME	DATE
B	01	DARFI 18-05-22	18/7/22

MATERIAL KEY

MT1	METAL CLADDING - MONUMENT
MT2	METAL SHEET PERFORATED - MONUMENT
MT3	METAL CLADDING - GINCHIE COLOUR
MT4	STEEL WORK - PU PAINT MONUMENT
C01	FIBRE CEMENT SHEET - STAINED BLACK
BR1	RENDERED BLOCKWORK - GREY
CM1	RC SLAB - EXPOSED AGG
TS1	EXTERIOR TIMBER - DECKING/CLADDING
TR2	LOUVRES - TIMBER/COMPOSITE CHARCOAL GREY
GL1	LOW REFLECTIVE GLAZING

original drawing size

1:10	1:50	1:100	1:200
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18 Mcdevitt Ave  
Lingling Gao & Xuesong Bai

2a Hakea Drive  
Tolmans Hill  
TAS, 7007

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**circa** morris-nunn chua architects

Contact

ixl atrium | 27 hunter st | hobart | tas | 7000  
03 6236 9544  
info@circamorrisnunn.com.au

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COVER

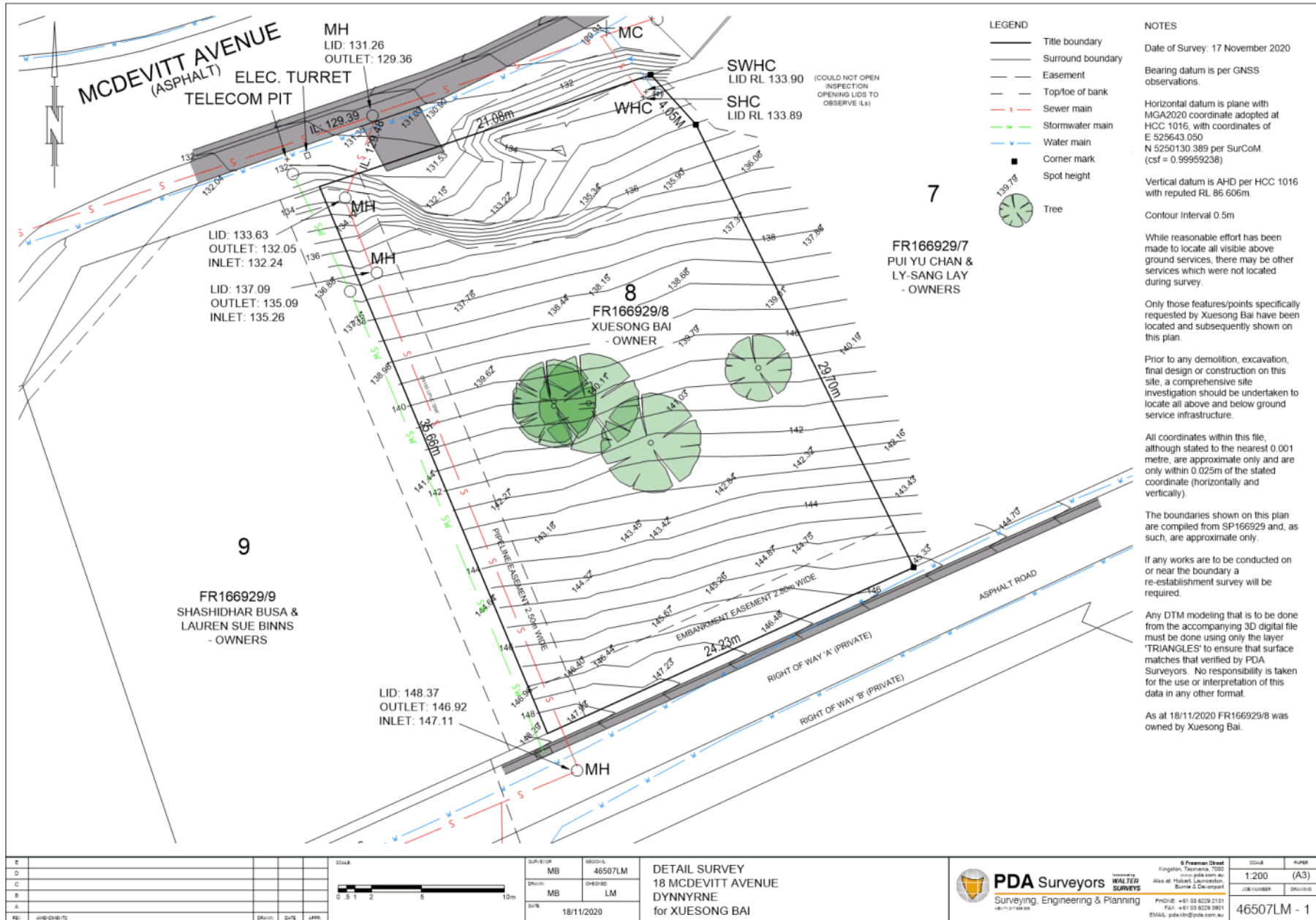
Preliminary

Development Application

Issue Date	Issue	Revision
September 2022		

2104-A00 B 01





revisions			
SET ID	REV ID	NAME	DATE
B	01	DARFI 18-05-22	18/7/22

MATERIAL KEY	
MT1	METAL CLADDING - MONUMENT
MT2	METAL SHEET PERFORATED - MONUMENT
MT3	METAL CLADDING - GINGHE COLOUR
MT4	STEEL WORK - PU PAINT MONUMENT
CS1	FIBRE CEMENT SHEET - STAINED BLACK
BR1	RENDERED BLOCKWORK - GREY
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GL1	LOW REFLECTIVE GLAZING

original drawing size			
100	200	300	1:10
0.5	1	2.5	1:50
1	2	5	1:100
2	4	10	1:200

**18 Mcdevitt Ave**  
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**Contact**  
lvl atrium | 27 hunter st | hobart | tas | 7000  
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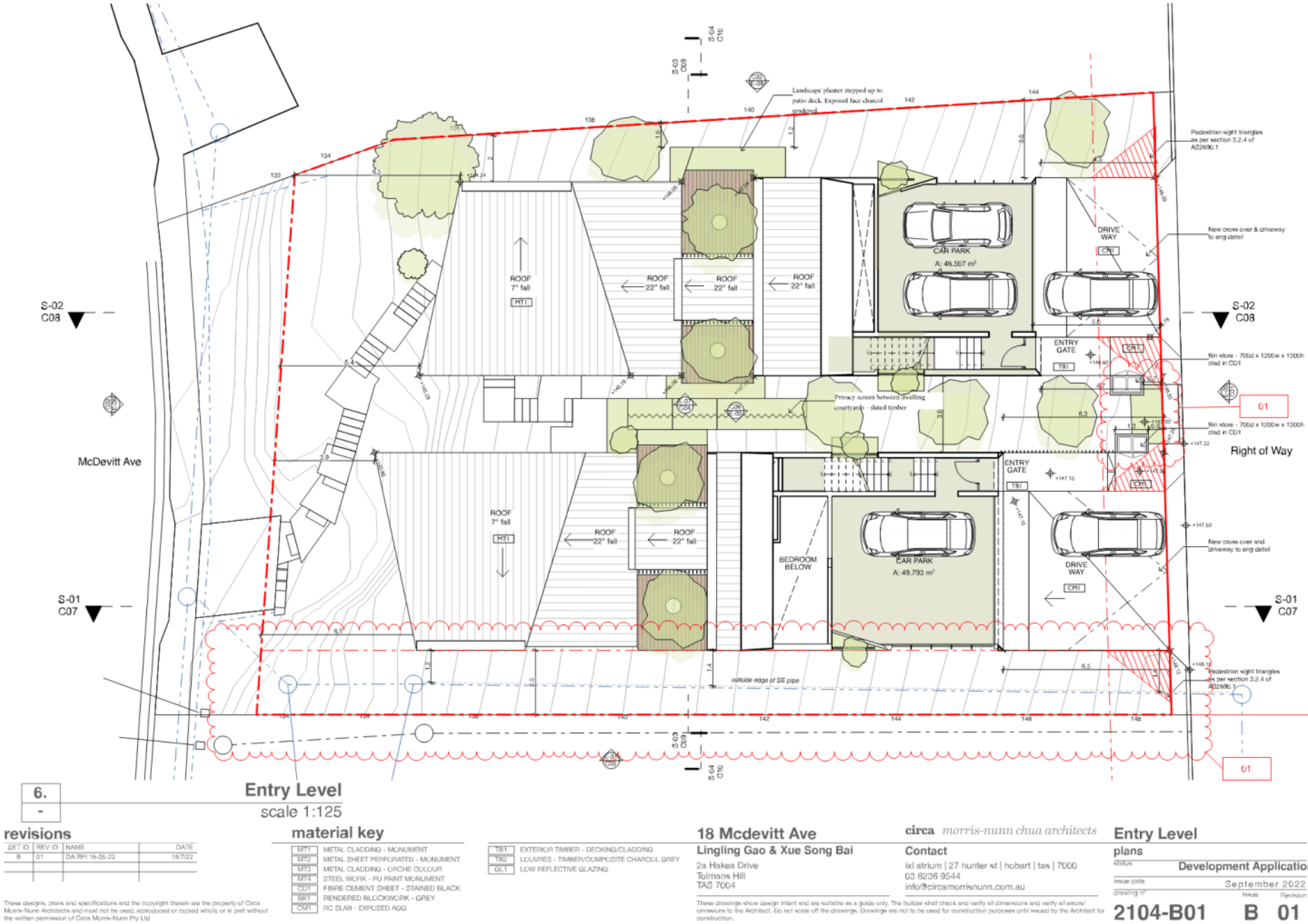
SITE PLAN	
Preliminary	
status	Development Application
issue date	September 2022
drawing n°	issue revision
2104-A02	B 01



A1
-

Site Plan  
scale 1:200

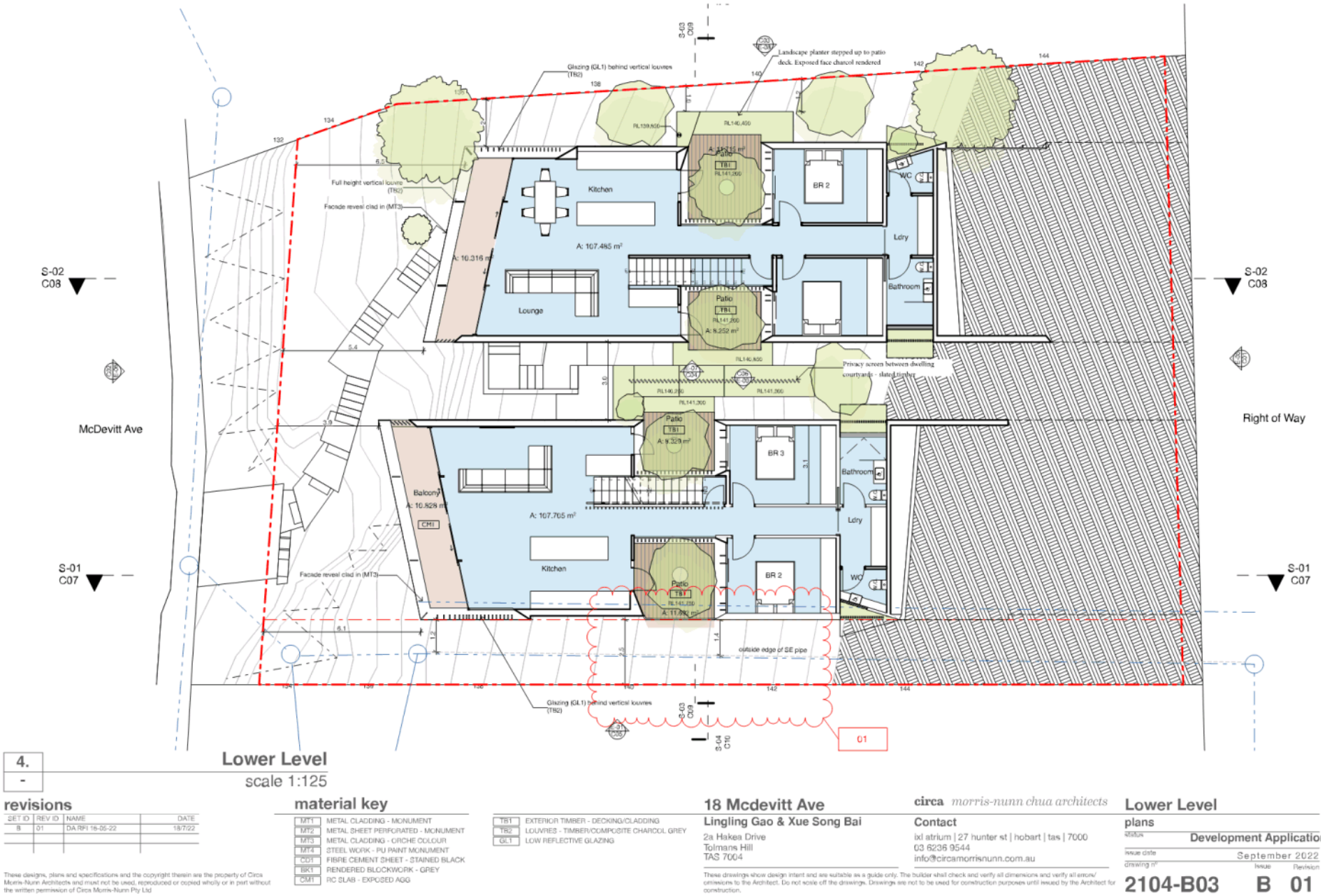




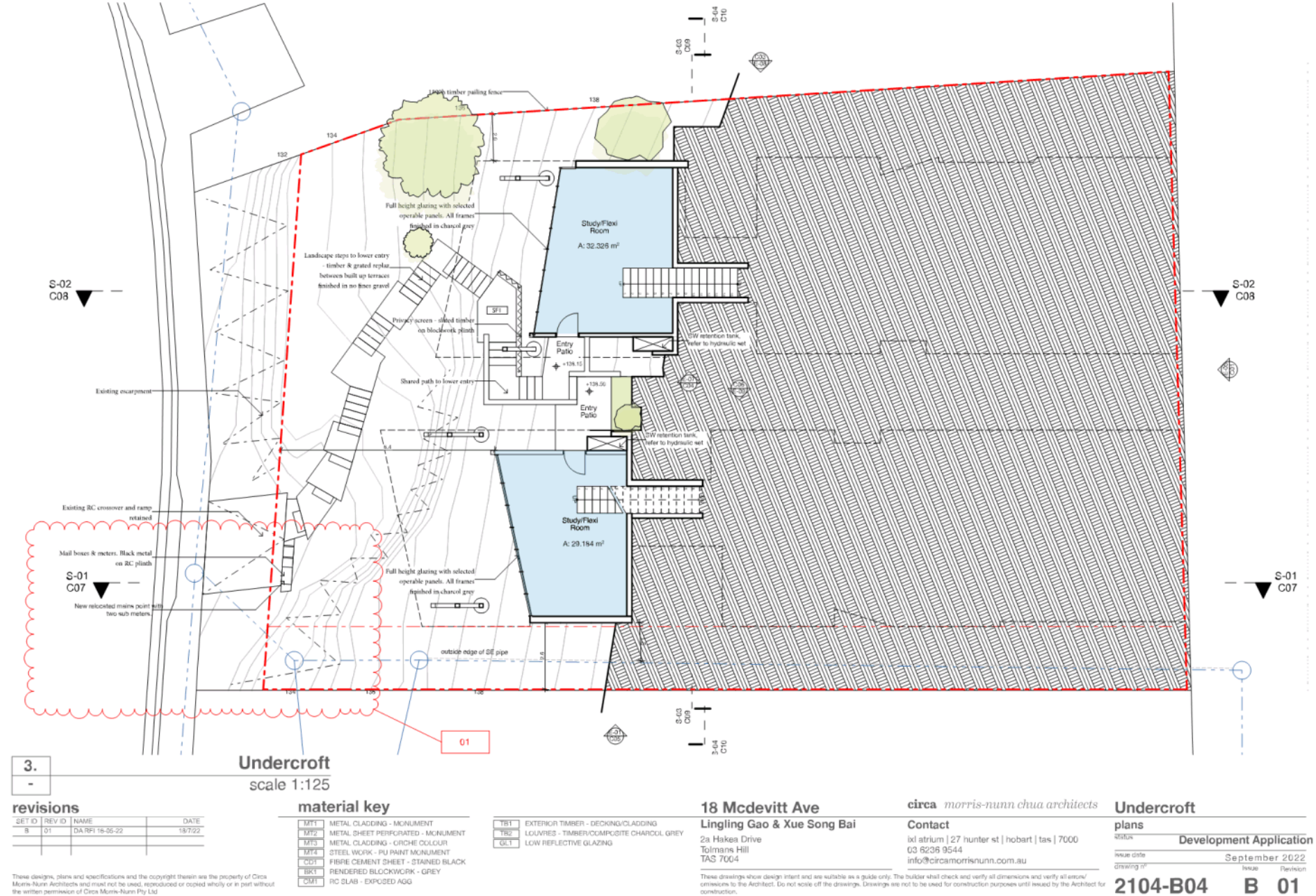
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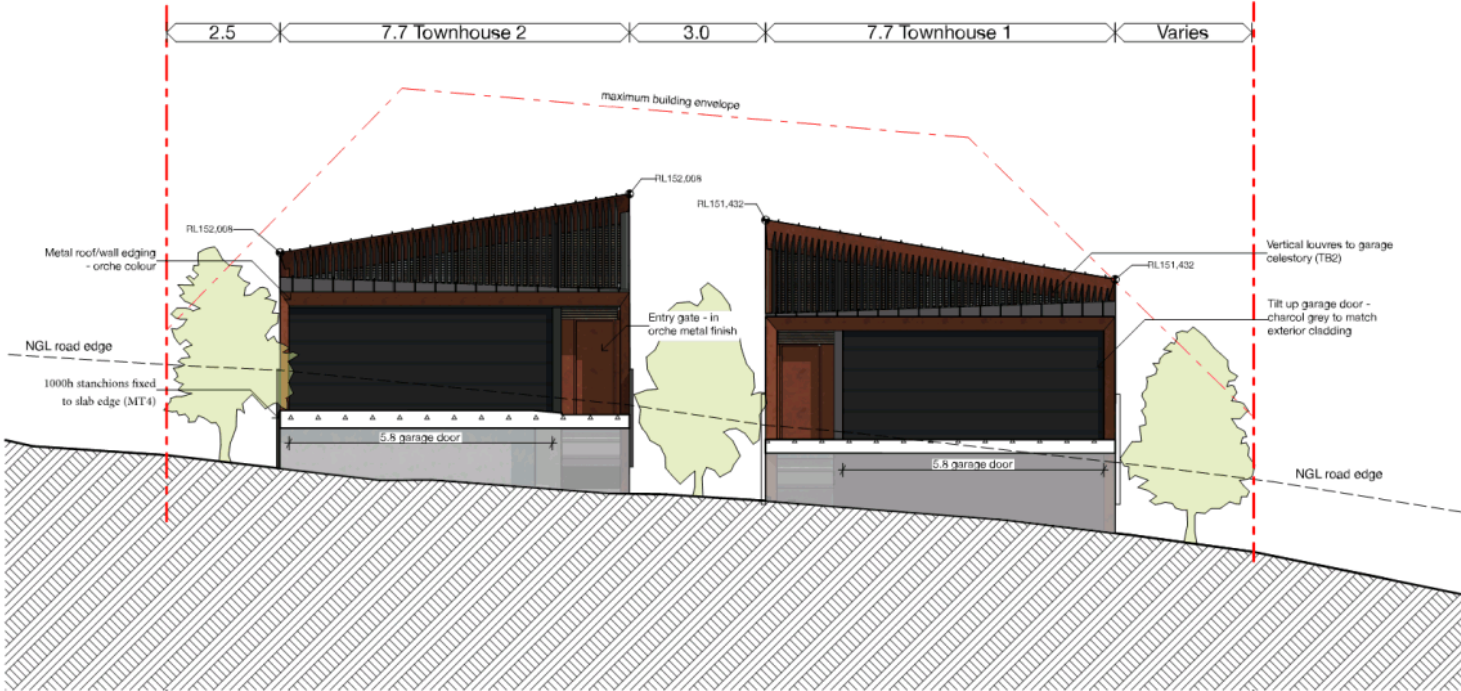
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**E-01** SE Elevations  
scale 1:100

revisions			
SET ID	REV ID	NAME	DATE

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material key	
MT1	METAL CLADDING - MONUMENT
MT2	METAL SHEET PERFORATED - MONUMENT
MT3	METAL CLADDING - ORCHE COLOUR
MT4	STEEL WORK - PU PAINT MONUMENT
CD1	FIBRE CEMENT SHEET - STAINED BLACK
BK1	RENDERED BLOCKWORK - GREY
CMT	RC SLAB - EXPOSED AGG

TB1	EXTERIOR TIMBER - DECKING/CLADDING
TB2	LOUVRES - TIMBER/COMPOSITE CHARCOAL GREY
GL1	LOW REFLECTIVE GLAZING

**18 Mcdevitt Ave**  
**Lingling Gao & Xue Song Bai**  
2a Hakea Drive  
Tolmans Hill  
TAS 7004

**circa morris-nunn chua architects**  
**Contact**  
1st atrium | 27 hunter st | hobart | tas | 7000  
03 6236 9544  
info@circamorrisnunn.com.au

Elevations - South East	
Elevations	
status	Development Application
issue date	September 2022
drawing of	issue revision

**2104-C01**

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E-02  
=

North West Elevation  
scale 1:100

revisions

SET ID	REV ID	NAME	DATE
B	01	DA RFI 16-05-22	18/7/22

material key

MT1	METAL CLADDING - MONUMENT
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MT4	STEEL WORK - PAINT MONUMENT
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BR1	RENDERED BLOCKWORK - GREY
CM1	RC SLAB - EXPOSED AGG

TB1	EXTERIOR TIMBER - DECKING/CLADDING
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GL1	LOW REFLECTIVE GLAZING

18 Mcdevitt Ave  
Lingling Gao & Xue Song Bai  
2a Hakea Drive  
Tolmans Hill  
TAS 7004

circa morris-nunn chua architects  
Contact  
ixl atrium | 27 hunter st | hobart | tas | 7000  
03 6236 9544  
info@circamorrisnunn.com.au

North West  
Elevations  
Status Development Application  
Issue date September 2022  
Drawing n°  
2104-C02 B 01

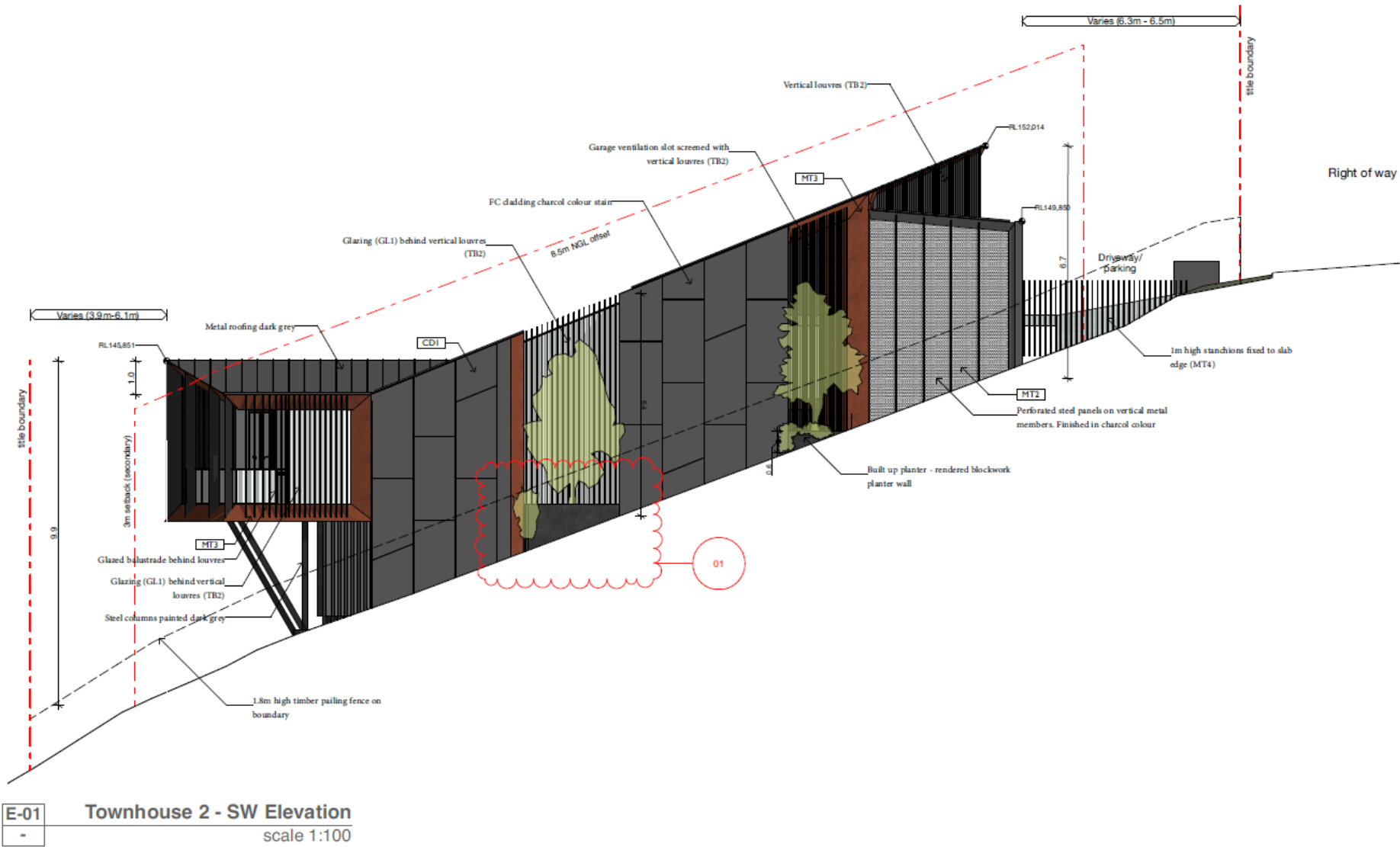
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revisions

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18 Mcdevitt Ave  
Lingling Gao & Xue Song Bai  
2a Hakea Drive  
Toimans Hill  
TAS 7004

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Contact  
lxi atrium | 27 hunter st | hobart | tas | 7000  
03 6236 9544  
info@circamorrisnunchua.com.au

South West - Townhouse 2

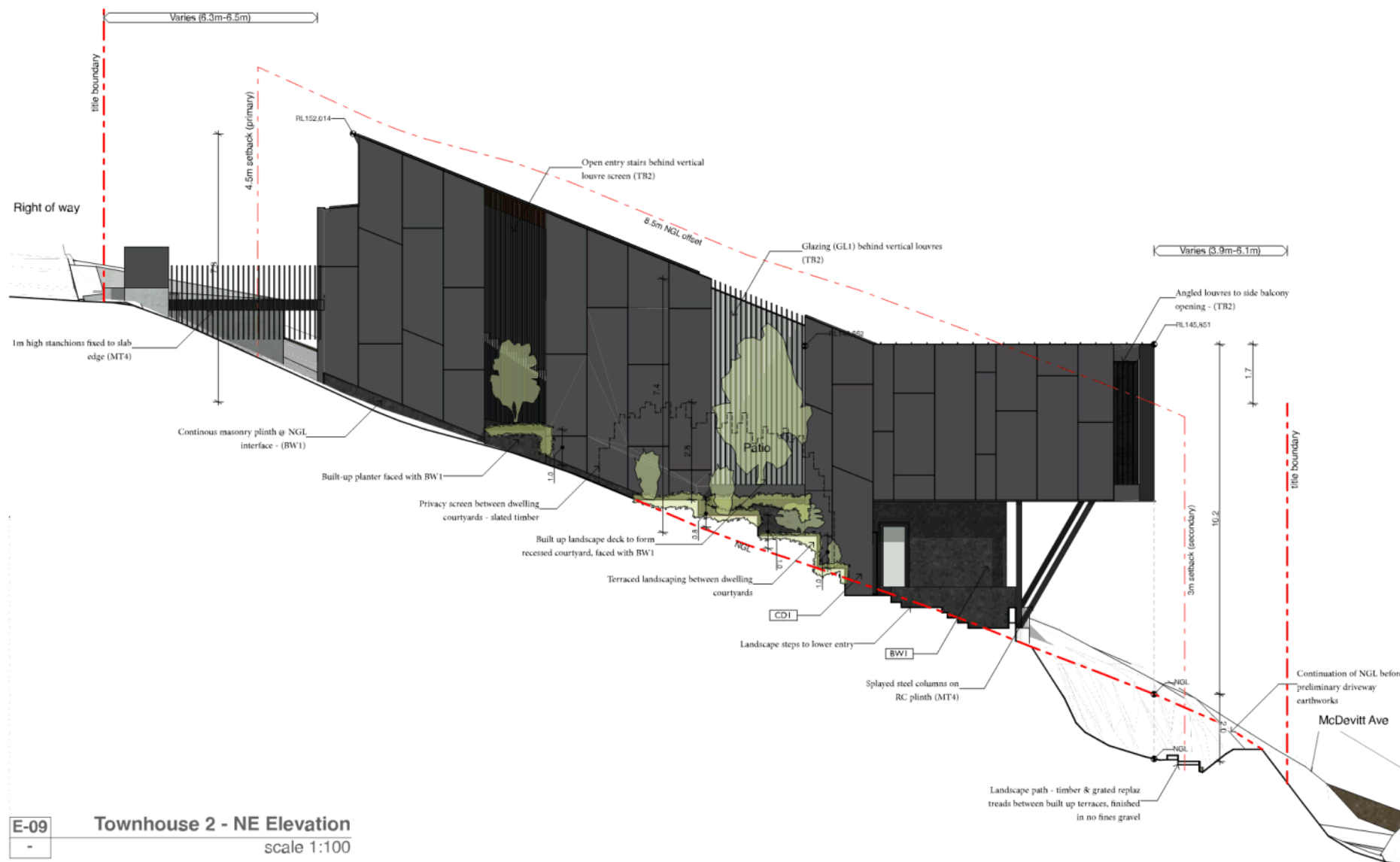
Elevations

Status Development Application

Issue date September 2022

Drawing n° Issue Revision

2104-C05 B 01



E-09	Townhouse 2 - NE Elevation
-	scale 1:100

## revisions

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2a Hakea Drive  
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TAS 7004

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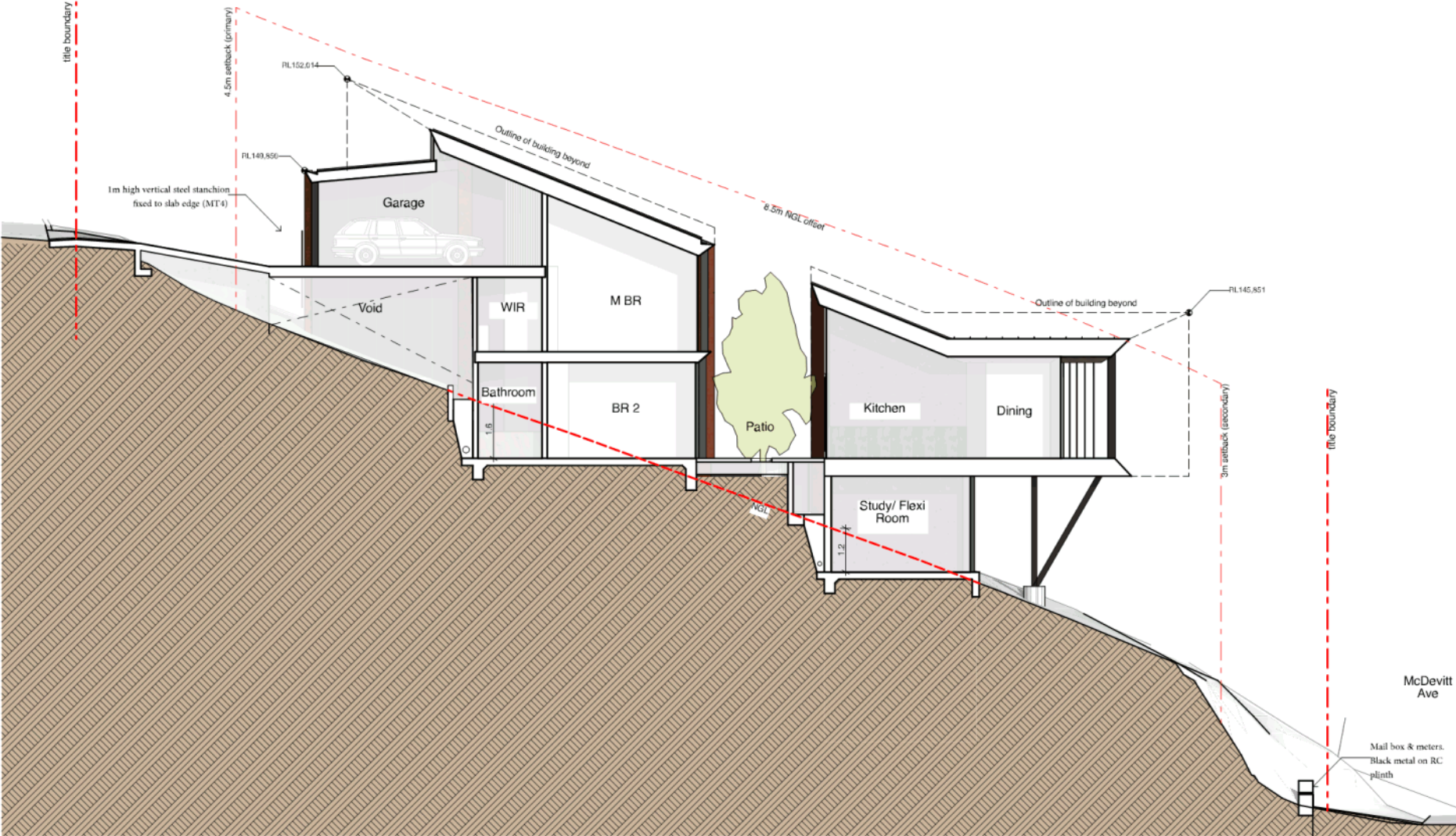
## Contact

ixl atrium | 27 hunter st | hobart | tas | 7000  
03 6236 9544  
info@circamorrisnunn.com.au

### North East Townhouse 2

<b>Elevations</b>	
status	Development Application
issue date	September 2022
drawing n°	Issue Revision

for **2104-C06**



**S-01** Section  
- scale 1:100

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BR1	RENDERED BLOCKWORK - GREY
CMT	RC SLAB - EXPOSED AGG

TBT	EXTERIOR TIMBER - DECKING/CLADDING
TB2	LOUVERES - TIMBER/COMPOSITE CHARCOIL GREY
GL1	LOW REFLECTIVE GLAZING

**18 Mcdevitt Ave**  
**Lingling Gao & Xue Song Bai**  
2a Hakea Drive  
Tolmans Hill  
TAS 7004

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**circa morris-nunn chua architects**  
**Contact**  
ixl atrium | 27 hunter st | hobart | tas | 7000  
03 6236 9544  
info@circamorrisnunn.com.au

Section 01		
Sections		
status	Development Application	
issue date	September 2022	
drawing of	issue	revision

**2104-C07**



for **2104-C08**

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S-03  
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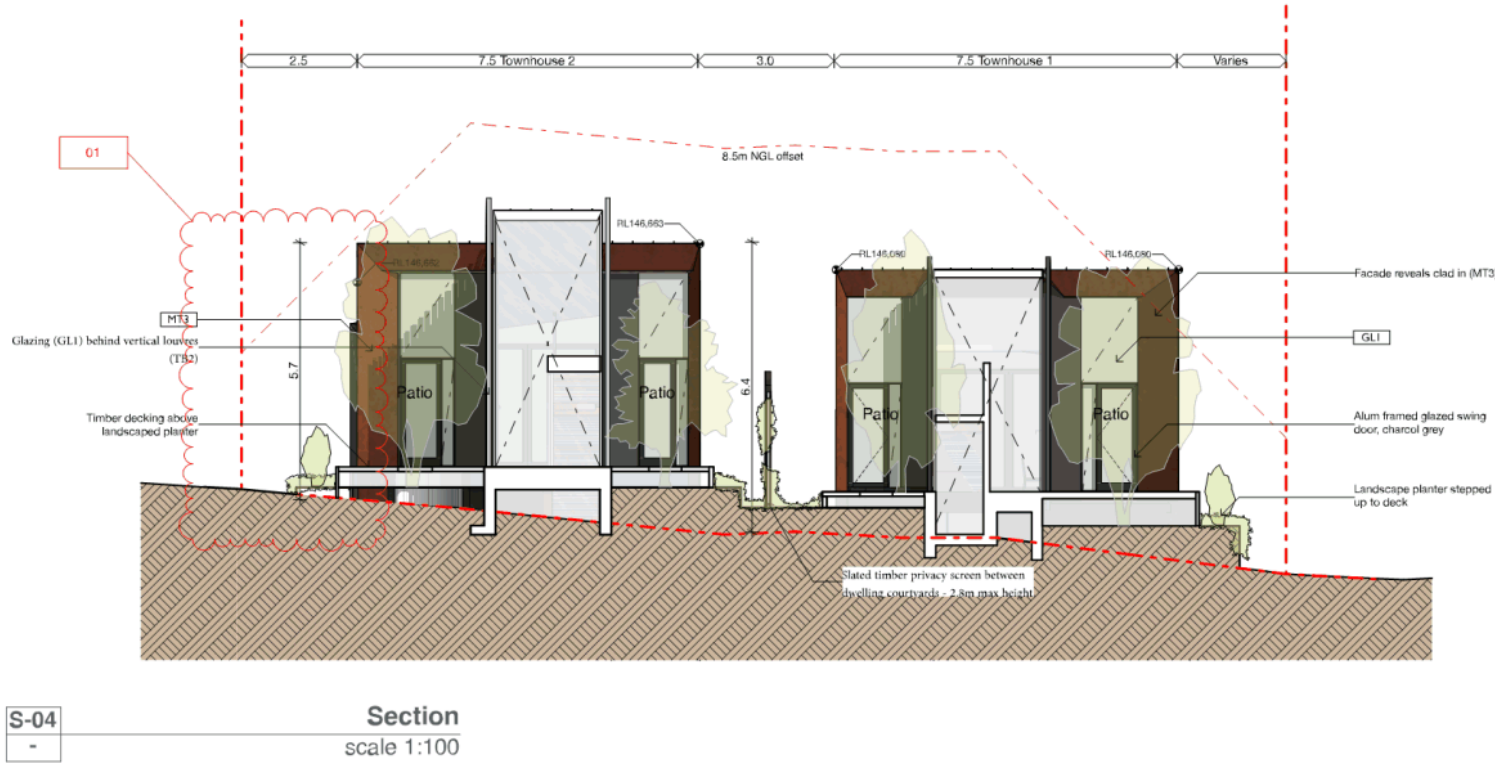
circa morris-nunn chua architects

Contact  
ixl atrium | 27 hunter st | hobart | tas | 7000  
03 6236 9544  
info@circamorrisnunn.com.au

Section 03

Sections		
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2104-C09 B 01



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8	01	DARF1 16-05-22	19/7/22

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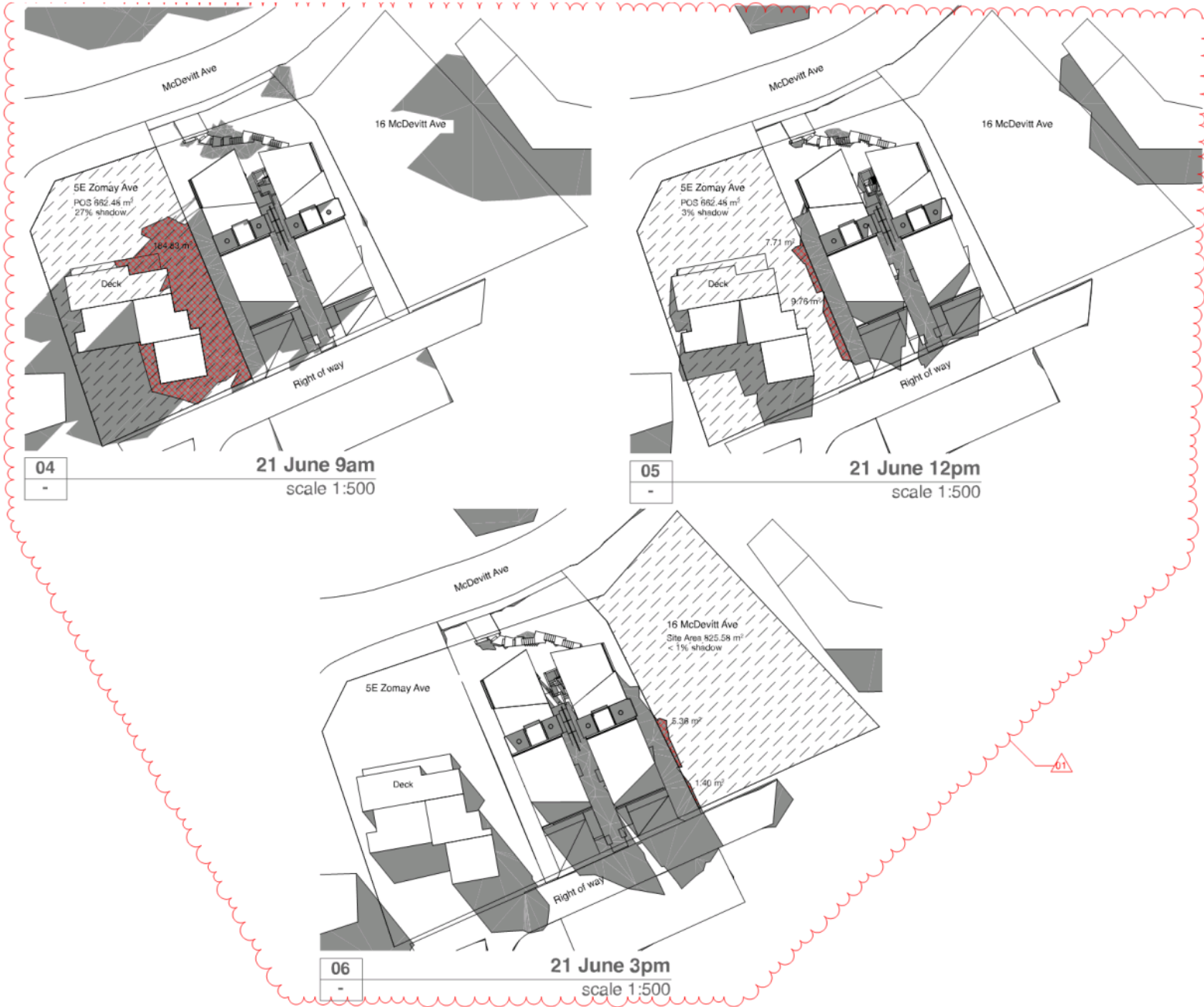
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Sections	
Status	Development Application
Issue date	September 2022
drawing n°	Issue Revision

2104-C10 B 01







revisions

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BR1	RENDERED BLOCKWORK - GREY
CM1	RC SLAB - EXPOSED AGG
TS1	EXTERIOR TIMBER - DECKING/CLADDING
TR	LOUVRES - TIMBER/COMPOSITE CHARCOAL GREY
GL1	LOW REFLECTIVE GLAZING

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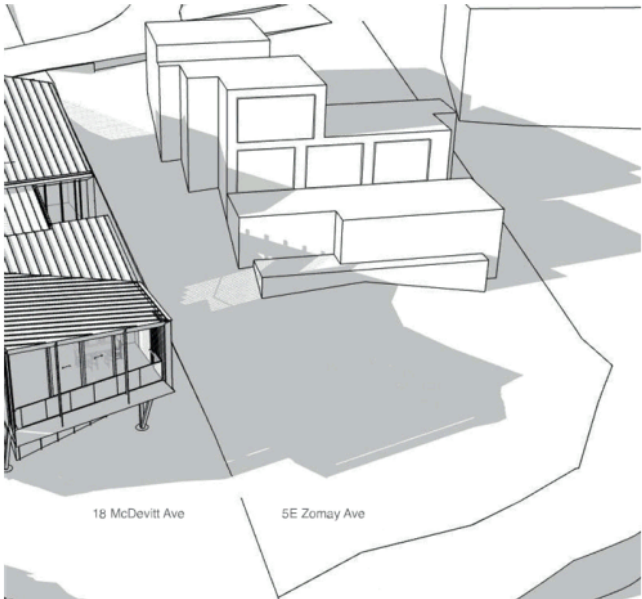
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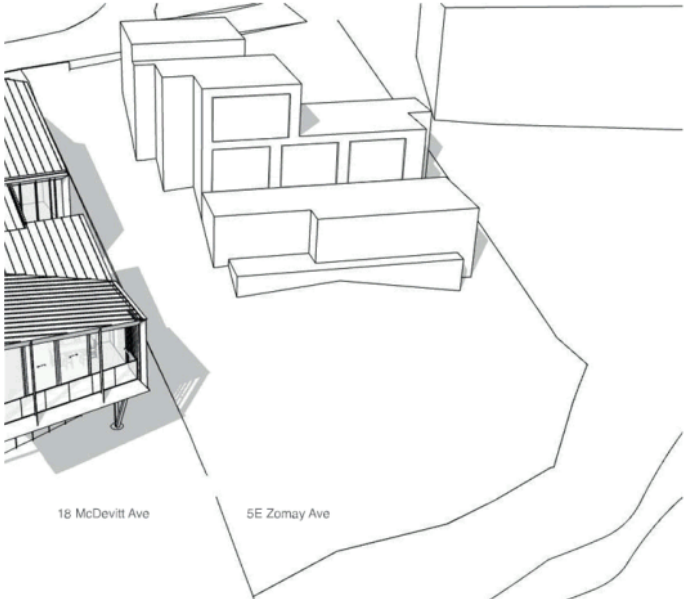
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3D Views	Development Application
Issue Date	September 2022
Issue	Revision
2104-D02	A 01



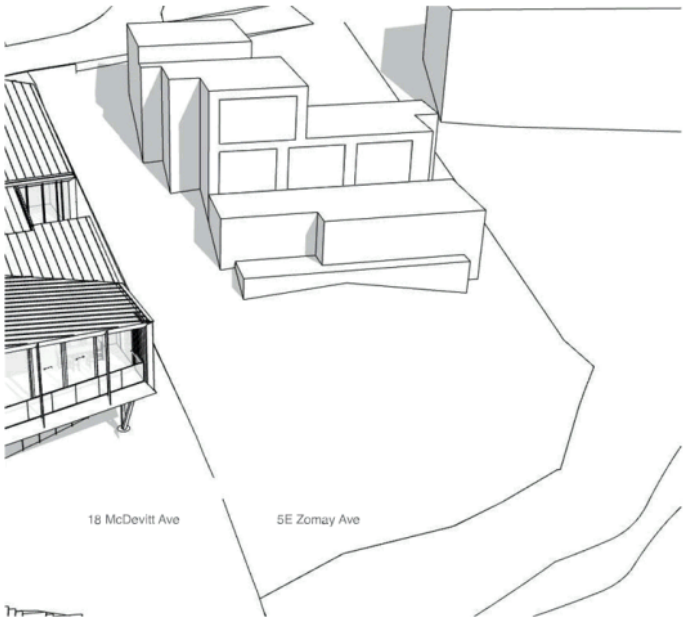


01.1 21 March 9am



02.1 21 March 12pm

□ Windows to habital rooms



03.1 21 March 3pm

revisions

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GL1	LOW REFLECTIVE GLAZING

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18 Mcdevitt Ave

Lingling Gao & Xuesong Bai

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Sun Studies

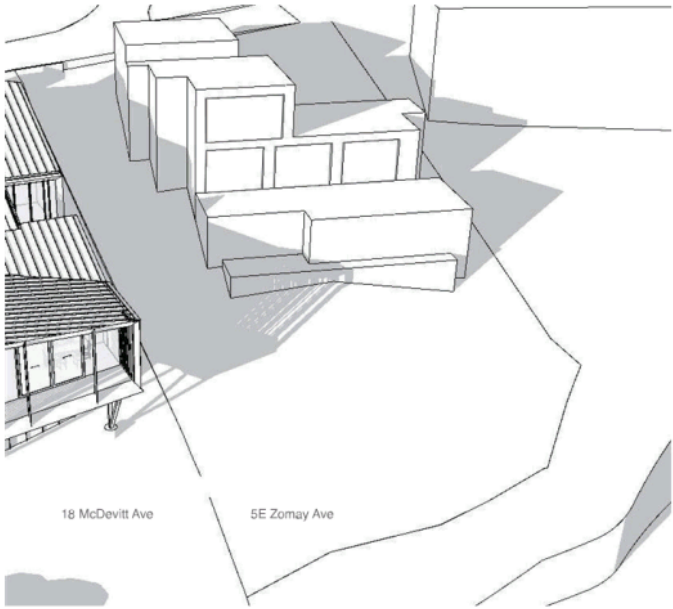
3D Views

Development Application

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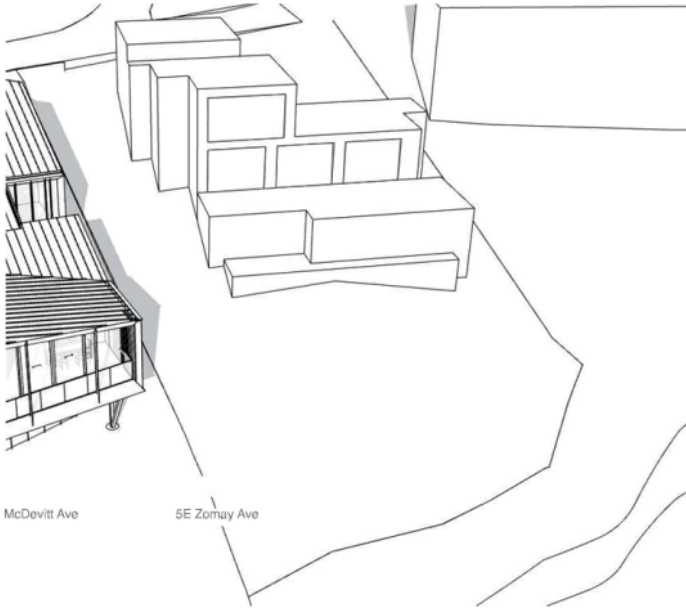
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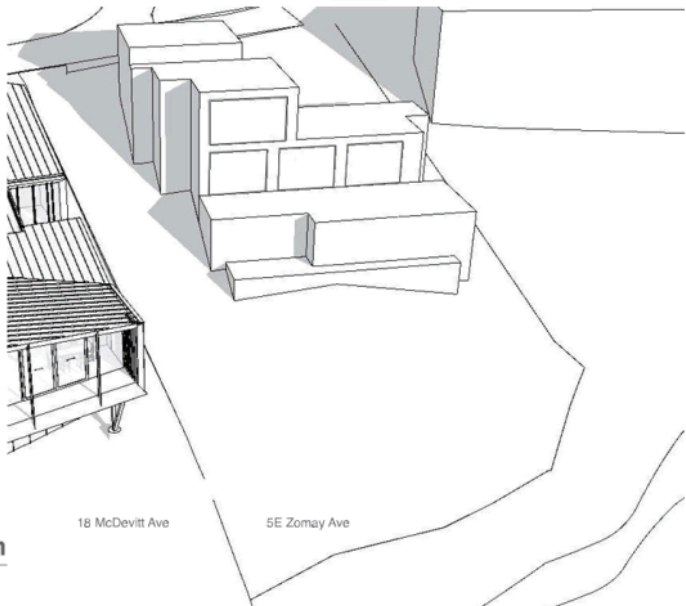
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21 June 3pm

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original drawing size

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18 Mcdevitt Ave

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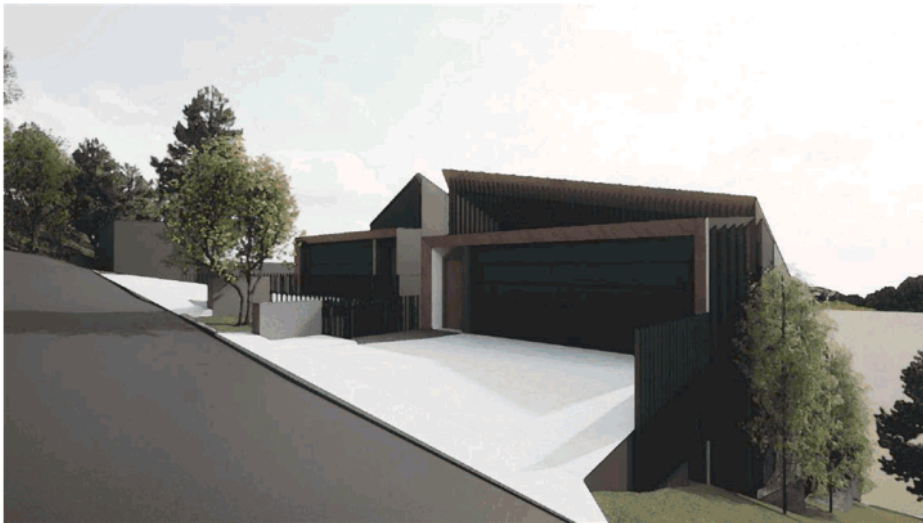
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2104-D04 A 01



Zomay Ave view 1



Zomay Ave view 2

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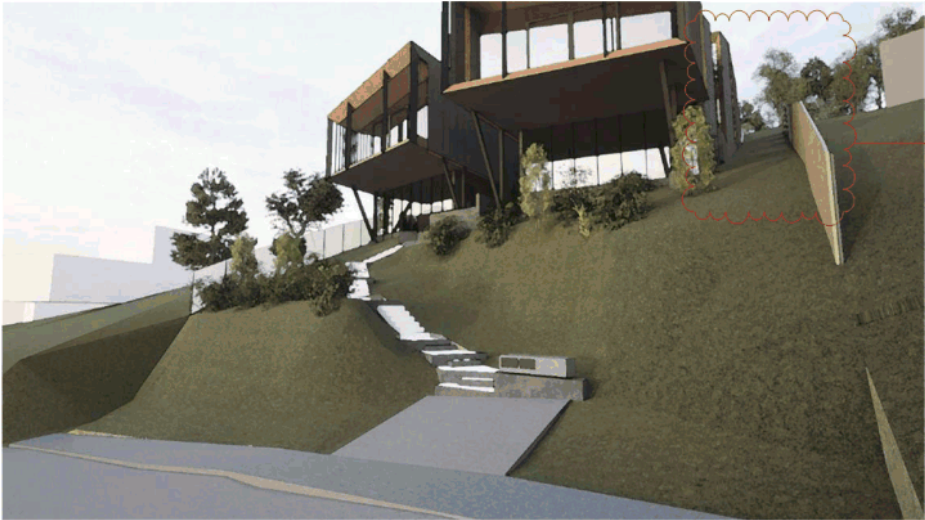
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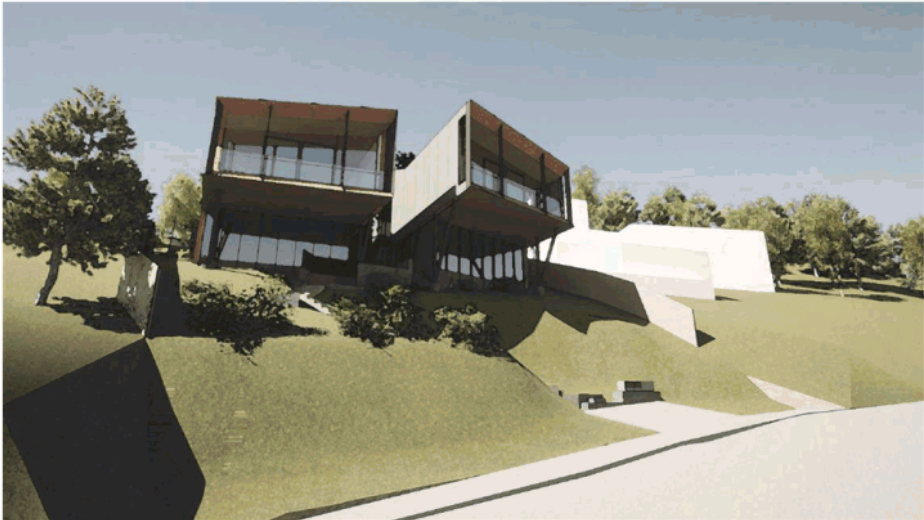
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Exterior Views

3D Views	Development Application
Issue Date	September 2022
Drawing n°	Issue Revision
2104-D05	B 01



McDevitt Ave view 1



McDevitt Ave view 2

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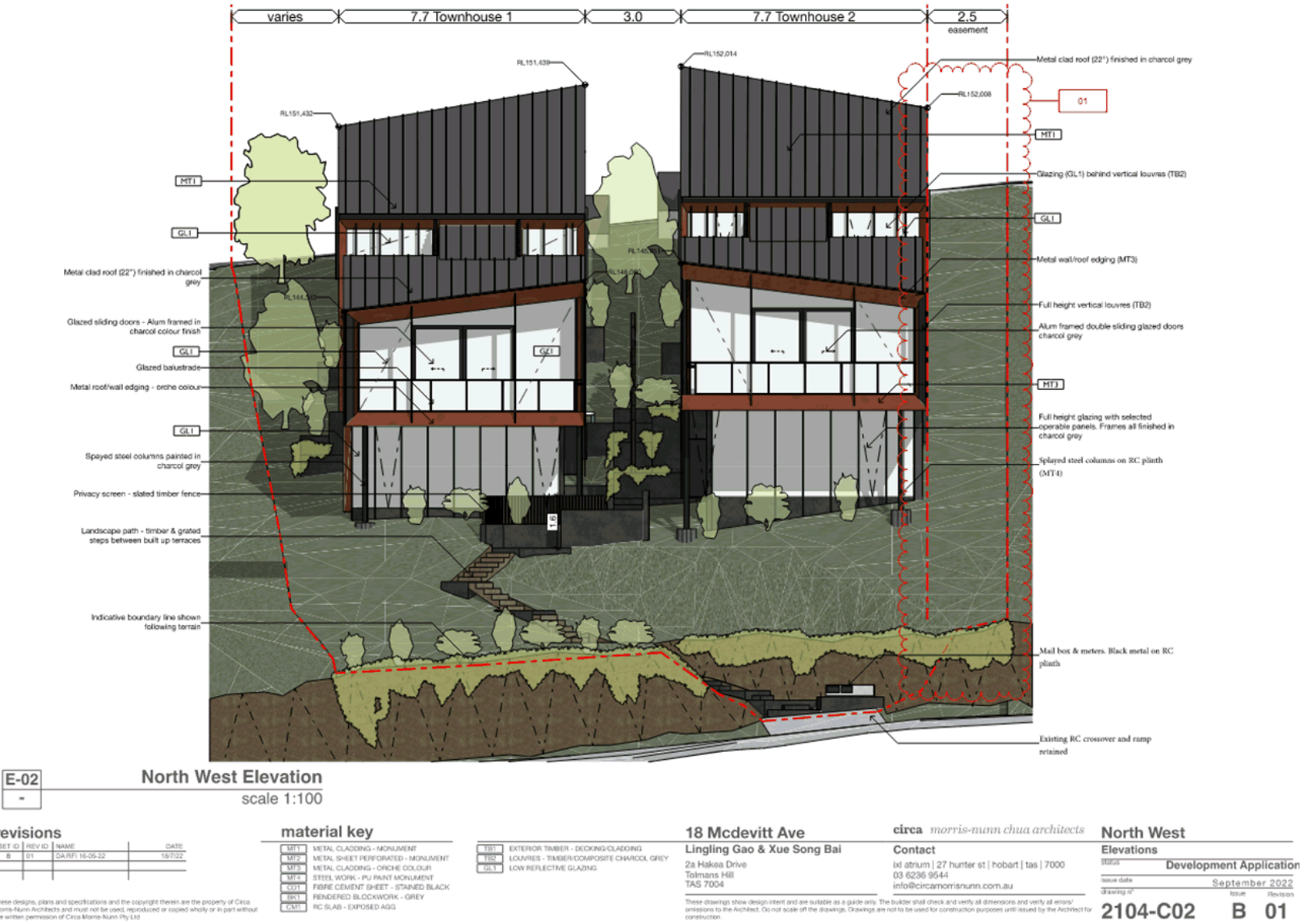
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info@circamorrisnunn.com.au

Exterior Views

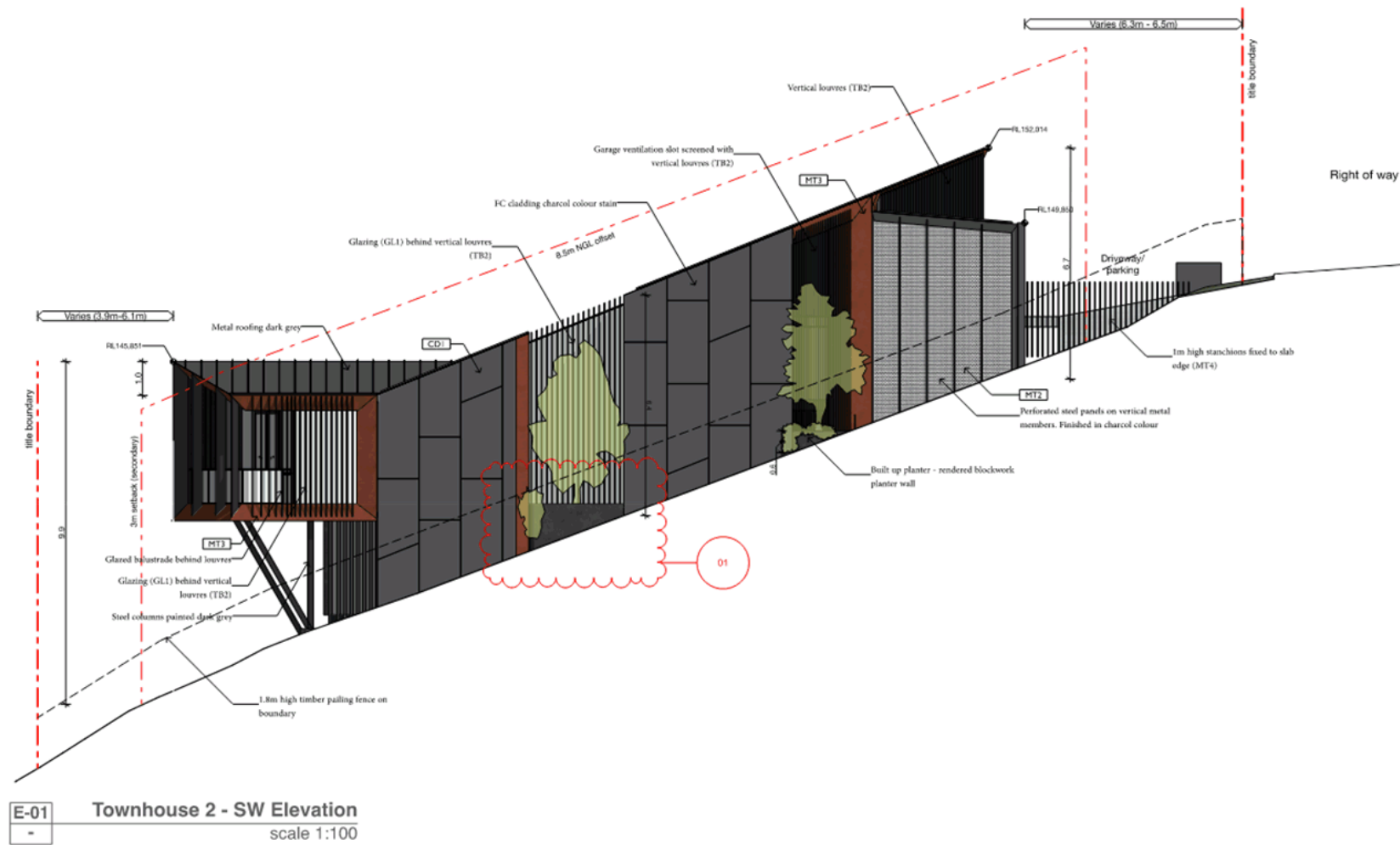
3D Views		
status	Development Application	
issue date	September 2022	
drawing n°	2104-D06	B 01











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South West - Townhouse 2			
Elevations			
DEVELOP	Development Application		
Issue date	September 2022		
Drawing n°	Issue	Revision	
2104-C05	B	01	



18 McDevitt Avenue, Dynnyrne, Tas., 7005

Bushfire Report.

Version-Final Report.

Date: 30/07/2022

Author: Philip Cullen

Accreditation No: BFP-152

Address: 11 Salvator Road, West Hobart, Tas., 7000

Mobile: 0428108434

Email: [philip.cullen@optusnet.com.au](mailto:philip.cullen@optusnet.com.au)

Disclaimer

The assessment contained in this report has been undertaken in accordance with the provisions of *Planning Directive 5.1 Bushfire-Prone Areas Code (s.12A of the Land Use Planning and Approvals Act 1993)*, *Australian Standard 3959:2018 Construction of buildings in bushfire-prone areas* and *Director's Determination- Requirements for Building in Bushfire-Prone Areas, Building Act 2016, Version: 2.2, Date: 6 February 2020*. I have taken all reasonable measures to ensure that the information presented in this assessment is accurate and reflects the conditions on and around the designated site and allotment at the date of the report.

The assessment within 150m of the site is based on the properties of the vegetation on the day of the field inspection and does not provide for changes in the classification of the vegetation due to unanticipated growth or vegetation planting. It should be noted that, over time, long-term changes in the climate experienced at the site (and therefore the fire regime experienced) could result in a change to the type (classification) of the vegetation that has been recorded at the time of this assessment. If such changes occur then the results of the current assessment will not be relevant.

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- 1. Introduction**
  - 1.1 Development overview
  - 1.2 The report
- 2. Property details and Planning**
  - 2.1 Address
  - 2.2 Municipality
  - 2.3 Title reference
  - 2.4 Lot area
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  - 4.4 Bushfire attack level (BAL) assessment
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  - 4.5 Site assessed Bushfire Attack Level
- 5. Assessment for a development of a new dwelling with carport**
  - 5.1 Development standards for a new dwelling with carport
    - 5.1.1 Construction requirements
    - 5.1.2 Property Access
    - 5.1.3 Reticulated Water Supply for Fire Fighting
    - 5.1.4 Provision of a Hazard Management Area
- 6. Conclusion**
  - 6.1 Summary
  - 6.2 Conditions

**Attachment 1: Site photos****Attachment 2: Schedule of building requirements under AS3959-2018 for the proposed development****Attachment 3: Bushfire Hazard Management Plan****Attachment 4: Form 55**

## Executive Summary

## Proposal

The subject land is known as *18 McDevitt Avenue, Dynnyrne* and is 829 m<sup>2</sup> in area.

The development proposed is for 2 new dwellings (units) with garages (Class 1A).

## BAL Assessment

The site is assessed against the requirements of *Planning Directive 5.1 Bushfire-Prone Areas Code*, *Australian Standard 3959:2018 Construction of buildings in bushfire-prone areas* and *Director's Determination- Requirements for Building in Bushfire-Prone Areas, Building Act 2016, Version: 2.2, Date: 6 February 2020*.

The site has been assessed as BAL 12.5.

## Conclusions

The Bushfire hazard Management Plan (Attachment 3) is certified as meeting all the relevant Acceptable Solutions of the Bushfire-Prone Areas Code.

Certification of the Bushfire Hazard Management Plan is subject to compliance with the conditions set out in part 6 of this report.

## 1. Introduction

### 1.1 Development overview

The following is a Bushfire Attack Level (BAL) Assessment for a pre-existing lot located at 18 McDevitt Avenue, Dynnryne, Tasmania, 7005. The development proposal is for 2 new dwellings (units) with garages (Class 1A). The client is Lingling Gao and Xuesong Bai.

The development is located on land that is within a Bushfire Prone Areas Planning Scheme Overlay.

The assessment presented in this report was undertaken by Philip Cullen. The report is based on a site assessment completed on the 21/07/2022 and additional information obtained from various electronic data bases.

Philip Cullen is accredited under Part 4A of the *Fire Service Act 1979 (Accreditation No BFP-152)* He is accredited to perform the functions of an Accredited Person under Section 60B of the Act. He is accredited to perform the following:

- 1. Certify a Bushfire Hazard Management Plan for the purposes of the *Building Act 2016*.
- 3A. Certify a Bushfire Hazard Management Plan meets the Acceptable Solutions for Vulnerable Uses and Hazardous Uses for the purposes of the *Land Use Planning and Approvals Act 1993*.

### 1.2 The report

The assessments contained in this report have been undertaken in accordance with the Provisions of the *Planning Directive 5.1 Bushfire-Prone Areas Code* and the bushfire attack level assessment as defined in *Australian Standard 3959:2018 Construction of buildings in bushfire-prone areas*. All reasonable measures have been taken to ensure that the information presented in this assessment is accurate and reflects the conditions on and around the designated site and allotment at the date of the report.

The Bushfire Attack Level (BAL) Assessment undertaken uses a Forest Fire Danger Index (FDI) of 50. On days where the forecast Fire Danger Rating is Severe, Extreme, or Catastrophic the FDI is predicted to exceed 50.

The assessment, concentrated on areas within 150m of the site, is based on the properties of the vegetation on the day of the field inspection and does not provide for changes in the classification of the vegetation due to unanticipated growth or vegetation planting. It should be noted that, over time, long-term changes in the climate experienced at the site (and therefore possibly the fire regime experienced) could result in a change to the type (classification) of the vegetation that the site supports. If such changes occur then the results of the current assessment will not be relevant.

## 2. Property Details and Planning

2.1 Address: 18 McDevitt Avenue, Dynnryne, Tasmania, 7005.

2.2 Municipality: Hobart.

2.3 Title reference: 166929/8.

2.4 Lot Area: 787 m<sup>2</sup>.

2.5 Planning: The subject land is within the Hobart Interim Planning Scheme 2015. The subject land is zoned General Residential.

### 3. Development Description

The development proposed: a new dwelling with carport (Class 1A).

### 4. Site Analysis

#### 4.1 Topography and aspect

The subject land and surroundings is a steep northerly slope. Slopes within 150 m of the proposed dwelling range from 18-20+°. Effective slopes under areas of unmanaged forest that influence the site fall in this range (Figure 1).

#### 4.2 Vegetation Description

The native vegetation on and in the vicinity of the proposed development is identified in Tasveg 4 as *Allocasuarina verticillata* forest this is interspersed with small areas of *Eucalyptus viminalis* Grassy and Woodland Forest (DVG) and urban land (FUR) (Figure 1).

#### 4.3 Natural Values and Cultural Heritage Assessments

A Natural Values Assessment and a Cultural Heritage Assessment are not required.

Figure 1. 18 McDevitt Avenue, Aerial imagery, Topography, Vegetation and directions of BAL assessment.



## 4.4 Bushfire attack level (BAL) assessment

4.4.1 Type of Development or works assessed: a new dwelling with carport (Class 1A).

## 4.4.2 BAL Assessment

The proposed development at McDevitt Ave., Dynnyrne is surrounded by urban lots and forest (Figure 1). The forest determines the BAL rating.

Table 1. BAL Assessment. Relevant Fire Danger Index (FDI) 50<sup>1</sup>

Direction and distance to classified vegetation		Slope under classified vegetation	BAL rating
North	HMA 0-4m Urban 4-150 m	Down slope 20°	Low
North east	HMA 0-2m Urban 2-150 m	Down slope 10°	Low
East	HMA 0-3 m Urban 3-150 m	Down slope 5°	Low
South east	HMA 0-5 m Urban 5-150 m	Up slope	Low
South	HMA 0-6 m Urban 6-112 m Forest 140-112 m	Up slope	Low
South west	HMA 0-3 m, Urban 3-46 m Forest 46-150 m	Up slope	12.5
West	HMA 0-3 m Urban 3-84 m Forest 84-150 m	Down slope 9°	12.5
North west	HMA 0-6 m Urban 6-150m	Down slope 5°	Low
<b>Conclusion BAL 12.5</b>			

<sup>1</sup> Note: This assessment is based on an FDI of 50. On days when the fire danger is classified as Severe, Extreme, or Catastrophic the FDI is forecast to exceed 50.

## 4.5 Site Assessed Bushfire Attack Level

The subject land is assessed as BAL 12.5. This is achieved by establishing a Hazard Management Area (HMA) that is to be maintained as gardens, mowed lawns, areas of gravel, paths and driveway. (Attachment 3).

## 5. Assessment for development of a new dwelling with carport

The assessment for the development of for 2 new dwellings (units) with garages is in accordance with the requirements of *Australian Standard 3959:2018 Construction of Buildings in Bushfire Prone Areas*, and *Director's Determination- Requirements for Building in Bushfire-Prone Areas, Building Act 2016, Version: 2.2, Date: 6 February 2020*.

## 5.1 Development standards for the proposed dwelling

## 5.1.1 Construction requirements

Building work (including additions or alterations to an existing building) in a bushfire-prone area must be designed and constructed in accordance with an Acceptable Construction Manual determined by the Building code of Australia, being either:

- (a) AS3959-2018; or
- (b) *Standard for Steel Construction in Bushfire Areas* published by the National Association of Steel Framed Housing Inc. (NASH).

as appropriate for BAL 12.5 as determined for the site.

A schedule of building requirements under AS3959-2018 for the proposed development is included as Attachment 2.

## 5.1.2 Property Access

The property access is from Caroline Street at the rear of the lot to the proposed development. This access is less than 10 m in length. Fire-fighting water supply is from a hydrant about 60 m to the east of the lot entrance on Caroline Street. There are no special design or construction requirements for access to the dwelling (see Table 2).

Table 2. (From Table 4.2, Requirements for Building in Bushfire-Prone Areas<sup>2</sup>)

Column 1 Element	Column 2 Requirement
A. Property access length is less than 30 metres; or access is not required for a fire appliance to access a water connection point.	There are no specified design and construction requirements.

<sup>2</sup> Determination: Requirements for Building in Bushfire-Prone Areas, Version: 2.2, Date: 6 February 2020

#### 5.1.3 Reticulated Water Supply for Fire Fighting

Fire-fighting water supply will be from a hydrant that is installed on the Taswater water main that runs along Caroline Street. The hydrant is located approximately 60 m from the lot (see section 5.1.2 above). The furthest extremity of the proposed extension is less than 120 m (measured as a hose lay from the hydrant). The hydrant complies with the standards for fire fighting hydrants as set out in Table 4.3A, Requirements for Building in Bushfire-Prone Areas<sup>3</sup>)

#### 5.1.4 Provision of a Hazard Management Area

The HMA will be managed in minimal fuel condition as gardens, mowed lawns, areas of gravel, paths and driveway. The HMA will provide a BAL of 12.5 for the dwelling. This HMA will be established in accordance with a certified Bushfire Hazard Management Plan (Attachment 3).

### 6. Conclusion

#### 6.1 Summary

The subject land is a pre-existing lot with an area 787 m<sup>2</sup>, located at 18 McDevitt Avenue, Dynnyrne, Tasmania, 7005. The proposed development is for 2 new dwellings (units) with garage (Class 1A).

The area is zoned General Residential.

The site and proposed development has been assessed against the requirements of *Australian Standard 3959:2018 Construction of Buildings in Bushfire Prone Areas, Planning Directive No 5.1 Bushfire Prone-Areas Code and Determination: Requirements for Building in Bushfire-Prone Areas, Version: 2.2, Date: 6 February 2020*.

The BAL rating for the proposed dwelling has been assessed as BAL 12.5.

The Bushfire Hazard Management Plan (Attachment 3) is certified as meeting all the relevant acceptable solutions of the Bushfire-Prone Areas Code.

#### 6.2 Conditions

Certification of the Bushfire Hazard Management Plan is subject to compliance with the following conditions below. It is recommended that Planning and Building Permit Authorities include the following conditions on permits issued.

All parts of the Hazard Management Area (see attachment 3) to be maintained as low threat vegetation as gardens, lawns, areas of gravel, paths and driveway.

Private access to be maintained to the standard specified in Table 4.2, *Requirements for Building in Bushfire-Prone Areas*<sup>3</sup>

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<sup>3</sup> Determination: Requirements for Building in Bushfire-Prone Areas, Version: 2.2, Date: 6 February 2020.



**Attachment 1. Site photographs.**

Plate 1. Looking north.



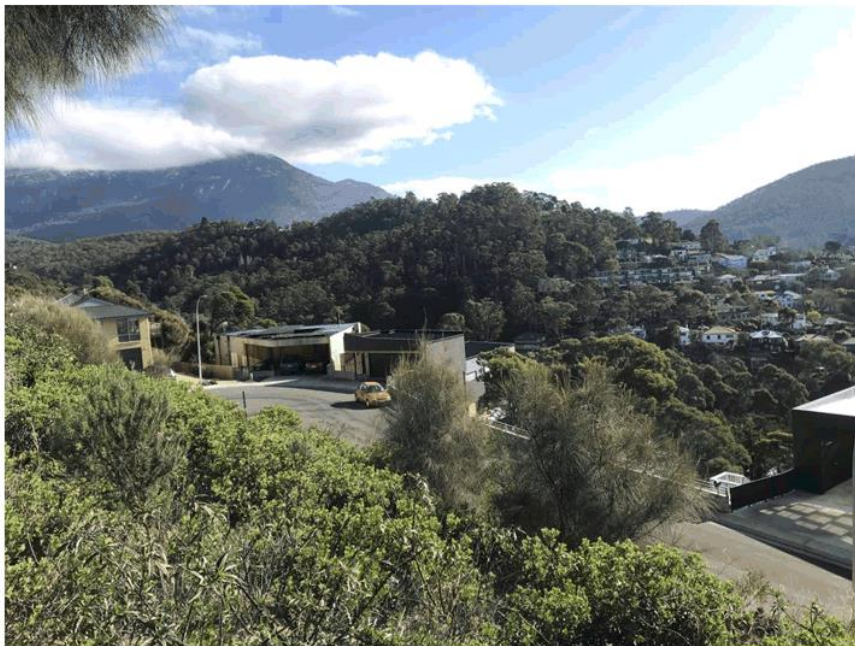
Plate 2. Looking east.



Plate 3. Looking south.



Plate 4. Looking west.





**Attachment 2.**

Schedule of building requirements under AS3959-2018<sup>4</sup> for the proposed development detailed in *Proposed Townhouses. Lingling Gao and Xuesong Bai 18 McDevitt Avenue, Dynnyrne. Drawing Nos A.02, Morris=Nunn Architects, 03/2022.*

Bushfire Attack Level: BAL 12.5

**Summary of construction requirements for BAL 12.5**

A building assessed as being BAL 12.5 shall comply with sections 3 and clauses 5.2 to 5.8 of AS 3959 (2018)-Amendment No.3 (The Standard).

**SUBFLOOR SUPPORTS**

No special requirements.

**CONCRETE SLABS ON GROUND**

No special requirements.

**ELEVATED FLOORS****Enclosed sub-floor spaces**

There are no construction requirements for elevated floors including bearers, joist, and flooring, where the sub-floor space is enclosed with-

- (a) A wall that complies with Clause 7.4 of the Standard; except that sarking is not required where specified in Clause 7.4.1 (c); or
- (b) A mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion resistant steel, bronze, or aluminium; or
- (c) A combination of Items (a) and (b) above.

**Unenclosed sub-floor spaces**

Where the sub-floor is unenclosed, the bearers, joists and flooring < 400 mm above the finished ground level shall be one of the following;

- (a) Materials that comply with the following:
  - (1) Bearers and joists shall be a) non-combustible; or b) bushfire-resisting timber (see Appendix F); or a combination of a) and b).
  - (2) Flooring shall be a) non-combustible, or b) bushfire-resisting timber (see Appendix F); or c) timber (other than bushfire-resisting timber), particle board or plywood flooring where the underside is sarked or lined with mineral wool insulation, or d) a combination of a), b), or c) above.

A system complying with AS 1530.8.1

**EXTERNAL WALLS****1) Walls**

The exposed components of an external wall that are less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the wall shall be:

- (a) Non-combustible material.

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<sup>4</sup> Australian Standard 3959-2018 Construction of Buildings in Bushfire Prone Areas

Note: examples include, but are not limited to the following (with a minimum of 90 mm in thickness) such as cavity brick, masonry veneer walls with an outer leaf of clay, concrete, calcium silicate or natural stone, precast or in situ walls of concrete or aerated concrete or earth walling including mud brick; or

- (b) Timber logs of a species with a density of 680 kg/m<sup>3</sup> or greater at a 12 percent moisture content; of a minimum nominal overall thickness of 90 mm and a minimum thickness of 70 mm (see Clause 3.11 of the Standard); and gauge planed; or
- (c) Cladding that is fixed externally to a timber-framed or steel-framed wall and is-
  - (i) Non-combustible material; or
  - (ii) Fibre-cement a minimum of 6 mm in thickness; or
  - (iii) Bushfire-resisting timber (refer to the table at the end of this document); or
  - (iv) A timber species as specified in Appendix E of the Standard; or
  - (v) a combination of any of Items (i), (ii), (iii) or (iv) above; or
- (d) A combination of any of Items (a), (b) or (c) above.

## 2) Joints

All joints in the external surface material of walls shall be covered, sealed, overlapped, backed or butt-jointed to prevent gaps greater than 3 mm.

## 3) Vents and weepholes

Vents and weepholes in external walls shall be screened with a mesh with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium, except where the vents and weepholes have an aperture less than 3 mm.

## EXTERNAL WINDOWS and DOORS

### 1) Windows

Window assemblies shall comply with one of the following:

- (a) They shall be completely protected by a bushfire shutter that complies with Clause 5.5.1 of the Standard.
- (b) They shall be completely protected externally by screens that comply with Clause 5.5.1A of the Standard; or
- (c) They shall comply with the following:
  - (i) For window assemblies less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the window frame, window frames and window joinery shall be made from:
    - (A) Bushfire-resisting timber (see Appendix F of the Standard); or
    - (B) A timber species as specified in Paragraph E2, Appendix E of the Standard; or
    - (C) Metal; or
    - (D) Metal-reinforced PVC-U. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel and the frame and sash shall satisfy the design load, performance and structural strength of the member.
  - (ii) Externally fitted hardware that supports the sash in its functions of opening and closing shall be metal.
  - (iii) Where glazing is less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings, having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the window frame, the glazing shall be toughened glass minimum 5 mm in thickness, or glass blocks with no restriction on glazing methods. NOTE: Where double-glazed units are used, the above requirements apply to the external face of the window assembly only.
  - (iv) Where glazing is other than that specified in (iii) above, annealed glass may be used.
  - (v) The openable portions of windows shall be screened internally or externally with screens that comply with Clause 5.5.1A of the Standard.

(vi) Glazed elements that are designed to take internal screens shall use toughened glass minimum 5 mm and the openable portion shall be screened with screens that comply with Note 2 below.

2) Screens

Screening of the openable portions of all windows is required in all BALs to prevent the entry of embers to the building when the window is open. Screening of the openable and fixed portions of some windows is required in some BALs to reduce the effects of radiant heat on some types of glass. If the screening is required to reduce the effects of radiant heat on the glass, the screening has to be external so that the glass in the openable portion of the window will be protected when it is shut.

If the screening is required only to prevent the entry of embers, the screening may be fitted externally or internally.

2) Doors

Side hung external doors including French doors, panel fold, and bi-fold doors, shall comply with one of the following:

(a) Doors and door frames shall be protected by bushfire shutters that comply with Clause 5.5.1 of the Standard, or

(b) Doors and door frames shall be protected externally by screens that comply with Clause 5.5.1A of the Standard, or

(c) Doors and door frames shall comply with the following:

(i) Doors shall be-

(A) non-combustible; or

(B) a solid timber, laminated timber, or reconstituted timber door, having a minimum thickness of 35 mm for the first 400 mm above the threshold; or

(C) a door, including a hollow core door, with a non-combustible kickplate on the outside for the first 400 mm above the threshold; or

(D) a door, including a hollow core door, protected externally by a screen complying with Clause 5.5.1A of the Standard; or

(E) a fully framed glazed door, where the framing is made of materials specified for bushfire shutters (see Clause 5.5.1 of the Standard), or from a timber species as specified in Paragraph E2, Appendix F of the Standard.

(ii) Where doors incorporate glazing, the glazing shall comply with glazing requirements for windows.

(iii) Doors shall be tight fitting in the door frame and to an abutting door, if applicable.

(iv) Where any part of the door frame is less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings, having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the door (see Figure D3, Appendix 3 of the Standard) that part of the door shall be made from:

(A) Bushfire-resisting timber (see Appendix F of the Standard); or

(B) A timber species as specified in Paragraph E2, Appendix E of the Standard; or

(C) Metal; or

(D) Metal-reinforced PVC-U. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel and the frame and sash shall satisfy the design load, performance and structural strength of the member.

(v) Weather strips, draught excluders, or draught seals shall be installed at the base of side hung doors.

Sliding doors shall comply with one of the following:

(a) They shall be completely protected externally by a bushfire shutter that complies with Clause 5.5.1 of the Standard, or

- (b) They shall be completely protected externally by screens that comply with Clause 5.5.1A of the standard, or
  - (c) They shall comply with the following:
    - (i) Any glazing incorporated in the sliding doors shall be Grade A safety glass complying with AS 1288.
    - (ii) Both the door frame supporting the sliding door and the framing surrounding any glazing shall be made from:
      - (A) Bushfire-resisting timber (see Appendix F of the Standard); or
      - (B) A timber species as specified in Paragraph E2, Appendix E of the Standard; or
      - (C) Metal; or
      - (D) Metal-reinforced PVC-U. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel and the frame and sash shall satisfy the design load, performance and structural strength of the member.
    - (iii) There is no requirement to screen the openable part of the sliding door. However, if screens are fitted, the screens shall comply with Clause 5.5.1 of the Standard.
    - (iv) Sliding doors shall be tight fitting in the frames.
- Vehicle access doors (garage doors)  
Not applicable.

**ROOFS (INCLUDING VERANDA AND ATTACHED CARPORT ROOFS, PENETRATIONS, EAVES, FASCIAS, GABLES, GUTTERS AND DOWNPIPES)**

**1. General**

The following apply to all types of roofs and roofing systems:

- (a) roof tiles, roof sheets and roof-covering accessories are to be non-combustible.
- (b) the roof/wall junction is to be sealed to prevent openings greater than 3 mm, either by the use of fascia and eaves linings or by sealing between the top of the wall and the underside of the roof and between the rafters at the line of the wall.
- (c) roof ventilation openings, such as gable and roof vents, are to be fitted with ember guards made of non-combustible material or a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.

**2. Tiled roofs.**

- (a) be located on top of the roof framing, except that the roof battens may be fixed above the sarking;
- (b) cover the entire roof area including ridges and hips; and
- (c) extend into gutters and valleys.

**3. Sheet roofs**

- (a) be fully sarked, except that foil-backed insulation blankets may be installed over the battens; and
- (b) have any gaps greater than 3 mm (such as under corrugations or ribs of sheet roofing and between roof components) sealed at the fascia or wall line, and at the valleys, hips and ridges by
  - (i) a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium; or
  - (ii) mineral wool; or
  - (iii) other non-combustible material; or
  - (iv) a combination of any of Items (i), (ii) or (iii) above.

Note: Sarking is used as a secondary form of ember protection for the roof space to account for minor gaps that may develop in sheet roofing.

**4. Verandah, carport and awning roofs**

The following apply to veranda, carport and awning roofs:

- (a) A veranda, carport or awning roof forming part of the main roof space shall meet all the

requirements for the main roof.

(b) A veranda, carport or awning roof separated from the main roof space by an external wall shall have a non-combustible roof covering.

NOTE: There is no requirement to line the underside of a veranda, carport or awning roof that is separated from the main roof space.

#### 5. Roof penetrations

The following apply to roof penetrations:

(a) Roof penetrations, including roof lights, roof ventilators, roof-mounted evaporative cooling units, aerials, vent pipes and supports for solar collectors, shall be adequately sealed at the roof to prevent gaps greater than 3 mm. The material used to seal the penetration shall be non-combustible.

(b) Openings in vented roof lights, roof ventilators or vent pipes shall be fitted with ember guards made from a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.

This requirement does not apply to the exhaust flues of heating or cooking devices with closed combustion chambers. In the case of gas appliance flues, ember guards shall not be fitted.

NOTE: Gasfitters are required to provide a metal flue pipe above the roof and terminate with a certified gas flue cowl complying with AS 4566. Advice may be obtained from State gas technical regulators.

(c) All overhead glazing shall be Grade A safety glass complying with AS 1288.

(d) Glazed elements in roof lights and skylights may be of polymer provided a Grade A safety glass diffuser, complying with AS 1288, is installed under the glazing. Where glazing is an insulating glazing unit (IGU), Grade A toughened safety glass minimum 4 mm thickness, shall be used in the outer pane of the IGU.

(e) Flashing elements of tubular skylights may be of a fire-retardant material, provided the roof integrity is maintained by an under-flashing of a material having a flammability index no greater than 5.

(f) Evaporative cooling units shall be fitted with non-combustible butterfly closers as close as practicable to the roof level or the unit shall be fitted with non-combustible covers with a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.

(g) Vent pipes made of PVC are permitted.

#### 6. Eaves linings, fascias and gables

The following apply to eaves linings, fascias and gables:

(a) Gables shall comply with the requirements for external walls above.

(c) Eaves ventilation openings greater than 3 mm shall be fitted with ember guards made of non-combustible material or a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.

Joints in eaves linings, fascias and gables may be sealed with plastic joining strips or timber storm moulds.

NOTE: The Standard does not provide construction requirements for fascias, bargeboards and eaves linings.

#### 7. Gutters and downpipes

The standard does not provide material requirements for-

(a) gutters, with the exception of box gutters; and

(b) downpipes.

If installed, gutter and valley leaf guards shall be non-combustible. Box gutters shall be non-combustible and flashed at the junction with the roof with non-combustible material.

### VERANDAHS, DECKS, STEPS, RAMPS AND LANDINGS

#### 1) General



Decking may be spaced.

There is no requirement to enclose the subfloor spaces of verandas, decks, steps, ramps or landings.

2) Enclosed subfloor spaces of verandas, decks, steps, ramps and landings

(a) This Standard does not provide construction requirements for the materials used to enclose a sub-floor space except where those materials are less than 400 mm from the ground.

Where the materials are used to enclose a subfloor space are less than 400 mm from the ground, they shall comply with Clause 5.4 of the Standard.

b) Supports

This Standard does not provide construction requirements for support posts, columns, stumps, stringers, piles, and poles.

c) Framing

This Standard does not provide construction requirements for the framing of verandas, decks, steps, ramps or landings.

d) Decking

This Standard does not provide construction requirements for decking, stair treads and trafficable surfaces of ramps and landings that are more than 300 mm from a glazed element.

Decking, stair treads, and trafficable surfaces of ramps and landings less than 300 mm (measured horizontally at deck level) from glazed elements that are less than 400 mm (measured vertically) from the surface of the deck (see Figure D2, Appendix D of the Standard) shall be made from-

(a) non-combustible material, or

(b) Bushfire-resisting timber (see Appendix F of the Standard); or

(c) A timber species as specified in Paragraph E1, Appendix E of the Standard; or

(d) PVC-U, or

(e) a combination of any of (a), (b), (c), and (d) above.

3) Unenclosed subfloor spaces of verandas, decks, steps, and landings.

a) Supports

This Standard does not provide construction requirements for support posts, columns, stumps, stringers, piles, and poles.

b) Framing

This Standard does not provide construction requirements for the framing of verandas, decks, steps, ramps or landings.

(c) Decking, stair treads, and trafficable surfaces of ramps and landings

This Standard does not provide construction requirements for decking, stair treads and trafficable surfaces of ramps and landings that are more than 300 mm from a glazed element.

Decking, stair treads, and trafficable surfaces of ramps and landings less than 300 mm (measured horizontally at deck level) from glazed elements that are less than 400 mm (measured vertically) from the surface of the deck (see Figure D2, Appendix D of the Standard) shall be made from-

(a) non-combustible material, or

(b) Bushfire-resisting timber (see Appendix F of the Standard); or

(c) A timber species as specified in Paragraph E1, Appendix E of the Standard; or

(d) PVC-U, or

(e) a combination of any of (a), (b), (c), and (d) above.

4) Balustrades, handrails or other barriers

This Standard does not provide construction requirements for balustrades, handrails, and other barriers.

#### WATER AND GAS SUPPLY PIPES

Above-ground, exposed water and gas supply pipes are to be metal.

Window and door openings shall be protected as follows:

-Screens shall have a maximum aperture of 2mm. Made from steel, bronze, or aluminium.

- Frame to be naturally high bushfire resistant timber (high density).
  - Glazing less than 400mm above ground, decks, or awnings shall be grade A minimum 4 mm safety glass. Annealed glass may be used.
  - Door openings, including roller doors, shall be sealed (no gap to exceed 3 mm).
- Alternatively openings can have bushfire shutters fitted. Built from non-combustible materials.

#### Roofs

- Roofs to be fully sarked.
- Gaps between roofing material and fascia, valleys, and ridges to be fitted with non-combustible material i.e. Fireseal blanket or equivalent.

#### Decks, steps, and landings

No requirement for sub-deck spaces to be enclosed, or for supports, framing, and decking material. Decking to be non-combustible or fire-resistant within 300mm horizontally and 400mm vertically from any glazed element.

#### BUSH FIRE RESISTING SPECIES

The following species have been tested and meet the requirements for a bush fire resisting timber species:

Standard trade name Botanical name

Ash silvertop *Eucalyptus sieberi*

Blackbutt *Eucalyptus pilularis*

Gum, red, river *Eucalyptus camaldulensis*

Gum, spotted *Corymbia maculata*

*Corymbia henryi*

*Corymbia citriodora*

Ironbark, red *Eucalyptus sideroxylon*

Kwila (Merbau) *Intsia bijuga*

Turpentine *Syncarpia glomulifera*

## Attachment 3. Bushfire Hazard Management Plan: 18 McDevitt Avenue, Dynnyrne. Tas., 7005



**Hazard Management Area Prescriptions**

The Hazard Management Area extends to lot boundary on all sides

**Hazard reduction and removal**

- The Hazard Management Area incorporates all of the lot and is to be managed as gardens, lawns, paths, and driveway.
- Ground cover vegetation (grasses, herbs and graminoids) to be maintained no higher than 100mm.
- Remove fallen branches, bark and leaves and keep ground litter to a maximum of 20mm depth from around trees.
- Prune to create and maintain a separation distance of 2m (vertically) between the ground cover (maintained to <100mm) and the lowest branches of trees in the HMA.
- Clear private access of any trees and branches within 0-5m of carriageway and 4m over carriageway.
- Remove any fire hazards such as woodpiles and garden waste to at least 10m from dwelling.
- Keep roofs and guttering clear of flammable debris.
- Minimise the storage of petroleum fuels and store fuels at least 10m from dwelling in a suitable enclosed shed.

**Landscaping**

- Use low flammability plants in the garden and refrain from plantings within 1m of the dwelling (see *Fire resisting garden plants* Tasmanian Fire Service Brochure).
- Include non-flammable areas adjacent to dwelling such as paths, driveways, areas of pebbles or crushed stone and mowed lawns.
- Use non-flammable mulches (not pine bark, woodchips etc.).

## Attachment 4.

CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM		Section 321
<div style="display: flex; justify-content: space-between;"> <div style="width: 60%;"> <div style="border: 1px solid black; padding: 2px; margin-bottom: 2px;">Lingling Gao and Xuesong Bai</div> <div style="border: 1px solid black; padding: 2px; margin-bottom: 2px;">18 McDevitt Avenue</div> <div style="display: flex; justify-content: space-between;"> <div style="border: 1px solid black; padding: 2px; width: 40%;">Dyynyrne, Tasmania,</div> <div style="border: 1px solid black; padding: 2px; width: 20%;">7005</div> </div> </div> <div style="width: 35%; text-align: right; font-size: small;"> Owner /Agent Address Suburb/postcode </div> </div>	<div style="border: 1px solid black; padding: 10px; display: inline-block;"> <div style="font-size: 2em; font-weight: bold; margin-bottom: 5px;">55</div> <div>Form</div> </div>	
<b>Qualified person details:</b>		
Qualified person: <div style="border: 1px solid black; padding: 2px;">Philip Cullen</div> Address: <div style="border: 1px solid black; padding: 2px;">11 Salvator Road</div> <div style="display: flex; justify-content: space-between;"> <div style="border: 1px solid black; padding: 2px; width: 40%;">West Hobart, Tasmania</div> <div style="border: 1px solid black; padding: 2px; width: 20%;">7000</div> </div> Licence No: <div style="border: 1px solid black; padding: 2px;">BFP-152</div> Email address: <div style="border: 1px solid black; padding: 2px;">philip.cullen@optusnet.com.au</div>	Phone No: <div style="border: 1px solid black; padding: 2px;">0428108434</div> Fax No: <div style="border: 1px solid black; padding: 2px;">N/A</div>	
Qualifications and Insurance details:	<div style="border: 1px solid black; padding: 5px;">           Accredited to report on bushfire hazards under part 4A of the Fire Service Act 1979         </div> <div style="font-size: x-small; margin-top: 5px;"> <i>(description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)</i> </div>	
Speciality area of expertise:	<div style="border: 1px solid black; padding: 5px;">           Analysis of hazards in bushfire-prone areas         </div> <div style="font-size: x-small; margin-top: 5px;"> <i>(description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)</i> </div>	
<b>Details of work:</b>		
Address:	<div style="border: 1px solid black; padding: 2px;">18 McDevitt Avenue</div> <div style="display: flex; justify-content: space-between;"> <div style="border: 1px solid black; padding: 2px; width: 40%;">Dyynyrne, Tasmania</div> <div style="border: 1px solid black; padding: 2px; width: 20%;">7005</div> </div>	
The assessable item related to this certificate:	<div style="border: 1px solid black; padding: 5px;">           18 McDevitt Avenue, Dyynyrne            Bushfire Hazard Report            Bushfire Hazard Management Plan         </div> <div style="font-size: x-small; margin-top: 5px;"> <i>(description of the assessable item being certified)</i>            Assessable item includes –           <ul style="list-style-type: none"> <li>- a material;</li> <li>- a design</li> <li>- a form of construction</li> <li>- a document</li> <li>- testing of a component, building system or plumbing system</li> <li>- an inspection, or assessment, performed</li> </ul> </div>	
<b>Certificate details:</b>		
Certificate type:	<div style="border: 1px solid black; padding: 5px;">           Bushfire Hazard         </div> <div style="font-size: x-small; margin-top: 5px;"> <i>(description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)</i> </div>	
This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)		
<div style="display: flex; justify-content: space-between;"> <div>             building work, plumbing work or plumbing installation or demolition work: <input type="checkbox"/>              or           </div> <div>             a building, temporary structure or plumbing installation: <input checked="" type="checkbox"/> </div> </div>		

In issuing this certificate the following matters are relevant –

Documents:	18 McDevitt Avenue, Dynnynrne, Tasmania, 7005 Bushfire Hazard Report Bushfire Hazard Management Plan
Relevant calculations:	As per AS 3959-2018
References:	Planning Directive 5.1 Bushfire-Prone Areas Code (s.12A of the Land Use Planning and Approvals Act 1993), Australian Standard 3959:2018 Construction of buildings in bushfire-prone areas Determination, Director of Building Control, Requirements for Building in Bushfire- Prone Areas, Building Act 2016, Version: 2.2, Date: 6 February 2020.

*Substance of Certificate: (what it is that is being certified)*

Bushfire Hazard Report for 2 new dwellings (units) with attached garages at 18 McDevitt Avenue, Dynnynrne, Tasmania, 7005. A BAL rating of 12.5 has been determined. A Bushfire Hazard Management Plan detailing a Hazard Management Area is included. A Schedule of building requirements under AS3959:2018 is included.

*Scope and/or Limitations*

The assessment contained in this report has been undertaken in accordance with the provisions of *Planning Directive 5.1 Bushfire-Prone Areas Code (s.12A of the Land Use Planning and Approvals Act 1993)*, *Australian Standard 3959:2018 Construction of buildings in bushfire-prone areas* and *Determination, Director of Building Control, Requirements for Building in Bushfire-Prone Areas, Building Act 2016, Version: 2.2, Date: 6 February 2020*.

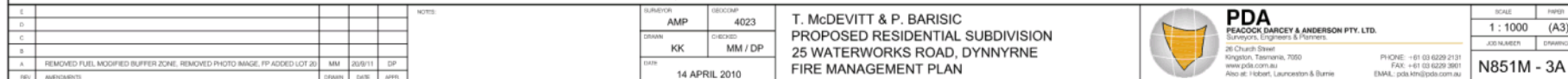
I have taken all reasonable measures to ensure that the information presented in this assessment is accurate and reflects the conditions on and around the designated site and allotment at the date of the report.

The assessment within 150m of the site is based on the properties of the vegetation on the day of the field inspection and does not provide for changes in the classification of the vegetation due to unanticipated growth or vegetation planting. It should be noted that, over time, long-term changes in the climate experienced at the site (and therefore the fire regime experienced) could result in a change to the type (classification) of the vegetation that has been recorded at the time of this assessment. If such changes occur then the results of the current assessment will not be relevant.

I certify the matters described in this certificate.

	<i>Signed:</i>	<i>Certificate No:</i>	<i>Date:</i>
Qualified person:	<div style="border: 1px solid black; padding: 2px;"> Philip James CULLEN  </div>	<div style="border: 1px solid black; padding: 2px;">114</div>	<div style="border: 1px solid black; padding: 2px;">31/07/2022</div>





			DESIGN	RM	 <b>ALDANMARK</b> CONSULTING ENGINEERS  Lower Ground 199 Macquarie Street Hobart TAS 7000 03 524 8669 mail@aldanmark.com.au www.aldanmark.com.au	PROJECT: BAI TOWNHOUSES	ADDRESS: 18 MCDEVITT AVENUE D'NYNRYNE TAS 7005	SHEET: COVER
C	DEVELOPMENT APPROVAL	18/01/2022	CHECKED	RM				
B	DEVELOPMENT APPROVAL	01/02/2022	CHECKED	MM				
A	PRELIMINARY	25/01/2022	UNRFRD	MM				
REV	ISSUE	DATE	APPROVAL					
						CLIENT: DR GAU HEALTH AND CARE	SCALE: AS INDICATED PROJECT No: 21 E 19 - 3 TOTAL SHEETS: 13 SHEET: C001 REV: C	

**GENERAL NOTES:**

1. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL, HYDRAULIC AND STRUCTURAL DRAWINGS AND SPECIFICATIONS. STANDARD REQUIREMENTS ARE TO BE TAKEN INTO CONSIDERATION.
2. THESE DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION UNLESS ENDORSED FOR CONSTRUCTION AND AUTHORIZED FOR USE BY THE ENGINEER.
3. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH PRELIMINARY STANDARD DRAWINGS AND SPECIFICATIONS, AUSTRALIAN STANDARDS, LOCAL TENDERS CODE OF AUSTRALIA & WATER SUPPLY CODE OF AUSTRALIA AND TO THE SATISFACTION OF COUNCIL'S DEVELOPMENT ENGINEER.
4. PRELIMINARY STANDARD DRAWINGS TO BE READ IN CONJUNCTION WITH COUNCIL EXCLUSION SHEETS TSD-21-14 & TSD-21-15.
5. ALL WORKS ARE TO BE MAINTAINED IN A BART CONDITION.
6. CONTRACTOR TO BE RESPONSIBLE FOR THE CONSTRUCTION OF WORKS.
7. CONTRACTOR TO OBTAIN APPROVAL OF WORKS AND COORDINATE WORK WITH ALL RELEVANT AUTHORITIES PRIOR TO COMMENCEMENT.
8. A STATE OF WORKS REPORT MUST BE OBTAINED FROM COUNCIL PRIOR TO ANY WORKS COMMENCING.
9. SURVEY DATA, PRESENTED AND PROVIDED BY PLS SURVEYORS.
10. ARCHITECTURAL, LIFT AND SITE LAYOUT UNDETERMINED AND PROVIDED BY COUNCIL MEMORANDUM CHAIR ARCHITECTS.

**WORKPLACE HEALTH & SAFETY NOTES:**

- BEFORE THE CONTRACTOR COMMENCED WORK THE CONTRACTOR SHALL UNDERTAKE A SITE SPECIFIC PROJECT PRE-START MEETING ANALYSIS OF SAFETY ANALYSIS WHICH SHALL IDENTIFY IN DOCUMENTED FORM:
- THE TYPE OF WORK
  - HAZARDS AND RISKS TO HEALTH AND SAFETY
  - THE CONTROLS TO BE APPLIED IN ORDER TO ELIMINATE OR MINIMIZE THE RISK POSED BY THE IDENTIFIED HAZARDS
  - THE MONITORING AND THE RISK CONTROL MEASURES TO BE IMPLEMENTED

THESE ARE TO BE SUBMITTED TO THE SUPERINTENDENT AND/OR OTHER RELEVANT WORKPLACE SAFETY OFFICERS.

FOR THIS PROJECT, POSSIBLE HAZARDS INCLUDE (BUT ARE NOT LIMITED TO):

- EXCAVATION OF ANY TYPE & DEPTH
- CONTAMINATED SOILS
- CONSTRUCTION IN PROXIMITY WITH HIGH WATER TABLE
- FELLING, CULPING AND/OR REMOVAL OF EXISTING TREES/VEGETATION
- UNDERGROUND UTILITIES (GAS, ELECTRICITY, WATER, FIBRE OPTIC, ETC.)
- COMMERCIAL SERVICES
- OVERHEAD POWER LINES
- UNDERGROUND WATER AND REMOVAL OF WATER
- TELECOMMUNICATION CABLES, BOTH UNDERGROUND & OVERHEAD
- ELECTRICAL POWER CABLES, BOTH UNDERGROUND & OVERHEAD
- WORKING AT HEIGHTS
- WORKING WITH HAZARDOUS CONTAMINATED MATERIALS
- TRAFFIC MANAGEMENT

**EARTHWORKS & DRIVEWAY NOTES:**

1. ALL EARTHWORKS SHALL BE IN ACCORDANCE WITH AS/NZS 14180:2007 "GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENT".
2. ALL EARTHWORKS AND TYPICAL SLOPES SHALL BE STATED AND SHOWN IN THE AREA OF PROPOSED WORKS.
3. NEW OR MODIFIED DRIVEWAY CROSSSECTIONS SHALL BE IN ACCORDANCE WITH PRELIMINARY STANDARD DRAWING TSD-21-14-2 AND MUST BE INSPECTED AND APPROVED BY COUNCIL.
4. EXCAVATED AND IMPORTED MATERIALS USED AS FILL TO BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.
5. FILL MATERIAL SHALL BE WELL GRADED AND FREE OF ROCKS OR COBBLES EXCEEDING 100mm IN DIAMETER UNLESS APPROVED BY THE ENGINEER.
6. FILL REQUIRED TO SUPPORT DRIVEWAYS INCLUDING FILL IN ENVIRONMENTAL SITES. SUPPORT DRIVEWAYS SHALL BE NOTIFIED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
  - TOP SOIL AND ORGANIC MATERIAL SHALL BE STRIPPED TO A MINIMUM OF 100mm.
  - THE SUBGRADE SHALL HAVE A MINIMUM BEARING CAPACITY OF 100 kPa.
  - FILL IN ENVIRONMENTAL SITES SHALL BE FREE FROM NATURAL OBSTACLES.
  - THE FILL SHALL BE COMPACTED IN HYDRAULIC LAYERS OF NOT MORE THAN 300mm.
  - EACH LAYER SHALL BE COMPACTED TO A MINIMUM DENSITY RATIO OF 95% UTD. IT IS THE BUILDERS RESPONSIBILITY TO INSURE THAT THIS IS COMPLIED.
7. WHERE THE ABOVE REQUIREMENTS CANNOT BE ACHIEVED THE ENGINEER SHALL BE CONSULTED AND THE FORMATION SHALL BE PROOF ROLLED UNDER SUPERVISION OF THE ENGINEER TO CONFIRM AN APPROVED BARE.
8. CONCRETE PAVEMENTS SHALL BE CURED FOR A MINIMUM OF 7 DAYS BEFORE ANY UNPROTECTED TRAFFIC METHOD.
9. SHARP CORNER JOINTS SHALL BE CONSTRUCTED AS SOON AS POSSIBLE WITHOUT TRAVELLING THE Joints. GENERALLY THIS SHALL BE WITHIN 10 METRES.
10. BATTERS SHALL BE SET TO A SLOPE ANGLE OF 1:1 UNLESS OTHERWISE NOTED WITH THE BCA VOLUME 2 AS INDICATED BELOW.

SOIL TYPE (* REFER BCA 3.2.4)	EMBANKMENT SLOPES H:L	
	CONTRACTED FILL	CUT
STABLE ROCK (K)	2:1	8:1
SAND (K)	1:2	1:2
SILT (K)	1:4	1:4
CLAY	FORM CLAY	1:2
	SOFT CLAY	NOT BATTERABLE
SOFT SOILS (K)	NOT BATTERABLE	NOT BATTERABLE

NOTE: WHERE SITE CONDITIONS ARE UNFAVOURABLE FOR A BATTERED BANK CONSULT THE ENGINEER FOR A SUITABLE RETAINING WALL DESIGN. EARTHWORKS THAT ARE TO BE LEFT EXPOSED MUST BE STABILIZED BY VEGETATION OR SIMILAR WORKS TO PREVENT SOIL EROSION.

**DRAINAGE AND SERVICES NOTES:**

1. ALL WORKS ASSOCIATED WITH PUBLIC STORMWATER INFRASTRUCTURE IS TO BE CARRIED OUT IN ACCORDANCE WITH PRELIMINARY STANDARD DRAWINGS AND SPECIFICATIONS AND TO THE SATISFACTION OF COUNCIL.
2. ALL WORKS ASSOCIATED WITH PUBLIC SEWER AND WATER IS TO BE CARRIED OUT IN ACCORDANCE WITH THE WMA PARTS 1 & 2 (1) (1) AND SEWERAGE CODES OF AUSTRALIA, TOWNSHIP SUPPLEMENTS TO THE SAME, AND TO THE SATISFACTION OF TOWNSHIP.
3. ALL CONSTRUCTION TO EXISTING WORKS TO BE CARRIED OUT BY THE REGULATE AUTHORITY AT COST TO BUILDERS UNLESS APPROVED OTHERWISE.
4. HYDRAULIC LAYOUT TO BE COORDINATED WITH OTHER SERVICES HYDRAULIC LAYOUT AS SHOWN IN MATERIAL LAYOUT TO BE COMPLETED AS SHOWN.
5. ALL EXISTING SERVICES TO BE LOCATED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.
6. GENERAL MATERIALS INSTALLATION TESTING SHALL COMPLY WITH AS/NZS 1580:2001 VOLUME 1 & 2.
7. INSTALL ALL SUB-SOIL DRAINS TO THE REQUIREMENTS OF AS/NZS 1580:2001 VOLUME 2 AND PART 1 OF THE WMA PART 1 & 2.
8. PAVEMENT AND INFRASTRUCTURE AREAS SHALL BE AT A MINIMUM OF 150mm TO THE FINISHED GRADE UNLESS OTHERWISE NOTED.
9. ALL NEW WORK UNDER TRAFFICABLE AREAS INCLUDING DRIVEWAYS IS TO BE NOTIFIED WITH COUNCIL PRIOR TO COMMENCEMENT.
10. DRIVEWAY PIPES TO BE 150mm UTD CLASS 4. PIPES UNDER TRAFFICABLE AREAS TO BE 150mm UTD.
11. MINIMUM GRADES FOR PRIVATE DRAINAGE PIPES SHALL BE 1% FOR STORMWATER AND 1% FOR SEWER (U/D).
12. MINIMUM COVER FOR PRIVATE DRAINAGE PIPES SHALL BE 100mm FOR STORMWATER AND 150mm FOR SEWER (U/D).
13. TOWNSHIP SEWER MAINS TO BE MINIMUM 150mm UTD CLASS 4. DRIVEWAY MAINS WITH MINIMUM CLASS 4 WITH EXISTING PROPERTY CONNECTIONS.
14. INFORMATION BATTERS TO BE MINIMUM 1:1 CLASS 4. DRIVEWAY MAINS TO BE MINIMUM 1:1 CLASS 4. DRIVEWAY MAINS TO BE MINIMUM 1:1 CLASS 4.
15. WATER PIPES TO BE 150mm UTD POLY PIPE AND FITTINGS TO BE 150mm UTD CLASS 4.
16. WATER CONNECTIONS SHALL BE PROVIDED WITH WATERSTOP AND PROTECT ON PREVENTION AS PER TOWNSHIP STANDARD DRAWING WMA-1000.
17. 150mm UTD.
18. ALL EXISTING SERVICES SHALL BE INSPECTED BY COUNCIL PRIOR TO BATTER.
19. IF EXISTING SERVICES HAVE BEEN DESIGNATED BY PLS CAPACITY TABLES, THESE PITS MAY NEED TO BE INCREASED IN MINIMUM INTERNAL SIZE DUE TO THE DEPTH AS PER AS/NZS 1580:2001 VOLUME 2 AS INDICATED BELOW WHICH IS THE CONTRACTORS RESPONSIBILITY TO ENSURE COMPLIANCE TO 1580:2001.

DEPTH TO BATTERY OF OUTLET	MINIMUM INTERNAL DIMENSIONS (mm)	
	WIDTH	LENGTH
0-100	400	400
100-150	400	400
150-200	400	400
200-250	400	400
250-300	400	400
300-350	400	400
350-400	400	400
400-450	400	400
450-500	400	400
500-550	400	400
550-600	400	400
600-650	400	400
650-700	400	400
700-750	400	400
750-800	400	400
800-850	400	400
850-900	400	400
900-950	400	400
950-1000	400	400

**CIVIL INSPECTIONS / HOLD POINTS:**

THE ALDANMARK IS TO ALLOW TO ENGAGE ALDANMARK ENGINEERS TO UNDERTAKE INSPECTIONS AT THE FOLLOWING HOLD POINTS OF A CIVIL HOLD POINT:

1. SUBGRADE PREPARATION LEVEL OF DRIVEWAY PAVEMENT INCLUDING OF PROOF ROLL.
2. BASE OF ROAD PAVEMENT INCLUDING OF PROOF ROLL.
3. DRIVEWAY REINFORCEMENT AND CASTING PRIOR TO CONCRETE POUR.



THESE DRAWINGS SHALL BE APPROVED BY RELEVANT AUTHORITIES (COUNCIL & TOWNSHIP) PRIOR TO CONSTRUCTION.

THIS DRAWING MUST ONLY BE DISTRIBUTED IN FULL COLOUR. ALDANMARK CONSULTING ENGINEERS ACCEPTS NO LIABILITY ARISING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.

**REMARKS OF LANDSCAPE AND SERVICES:**

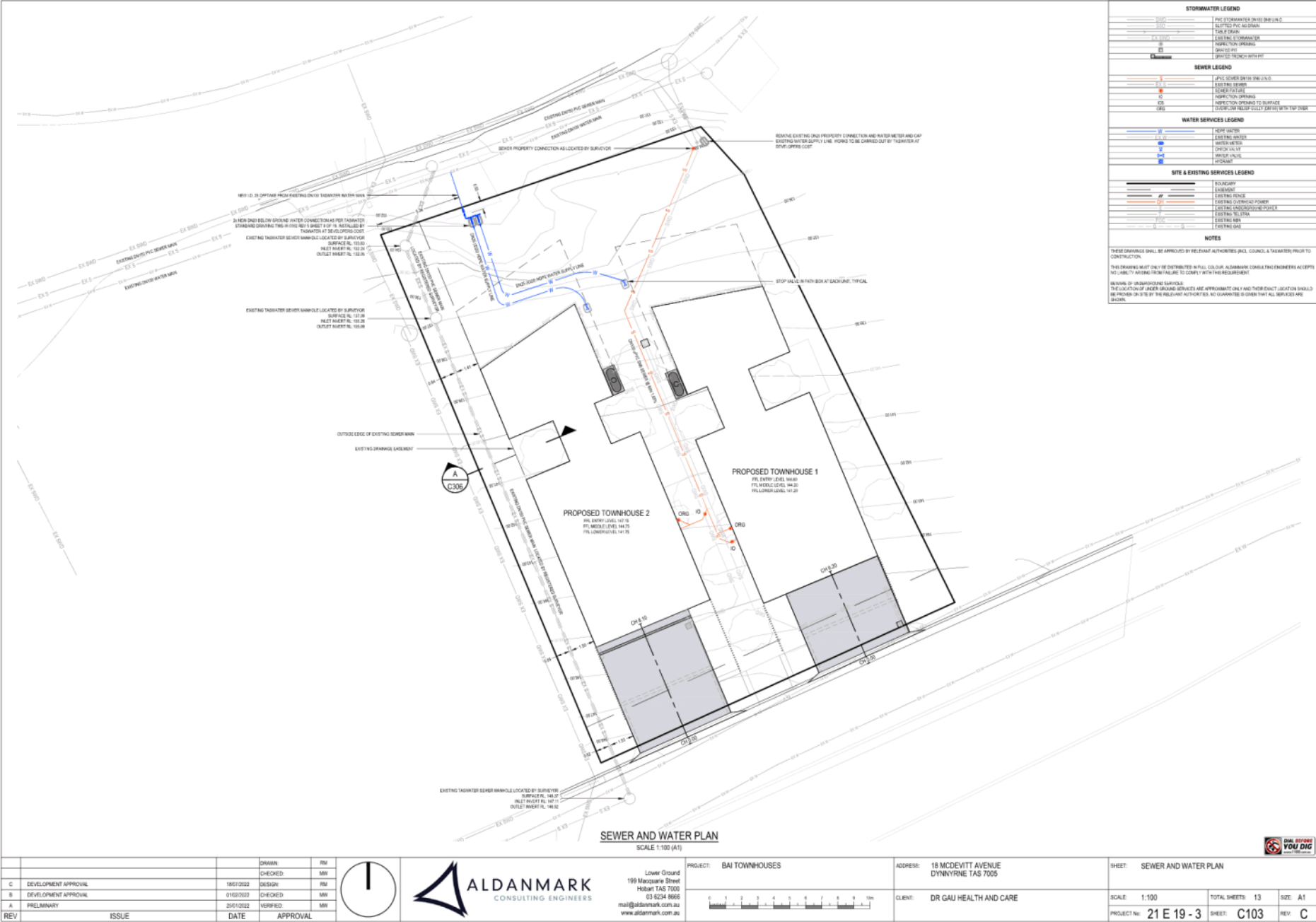
THE LOCATION OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT LOCATION SHOULD BE PROVIDED ON SITE BY THE RELEVANT AUTHORITY. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN.

				DRAWN: RM	 <div>ALDANMARK CONSULTING ENGINEERS</div>	Lower Ground 199 Macquarie Street Hobart TAS 7000 03 5234 8666 mail@aldanmark.com.au www.aldanmark.com.au	PROJECT: BAI TOWNHOUSES	ADDRESS: 18 MCDEVITT AVENUE DUNNYRNE TAS 7005	SHEET: ENGINEERING NOTES		
				CHECKED: MM							
				DESIGN: RM							
B	DEVELOPMENT APPROVAL	01/03/2022	CHECKED: MM								
A	PRELIMINARY	25/01/2022	VERIFIED: MM								
REV	ISSUE	DATE	APPROVAL					CLIENT: DR GAU HEALTH AND CARE	SCALE: AS INDICATED	TOTAL SHEETS: 13	SIZE: A1
									PROJECT NO: 21 E 19 - 3	SHEET: C002	REV: B





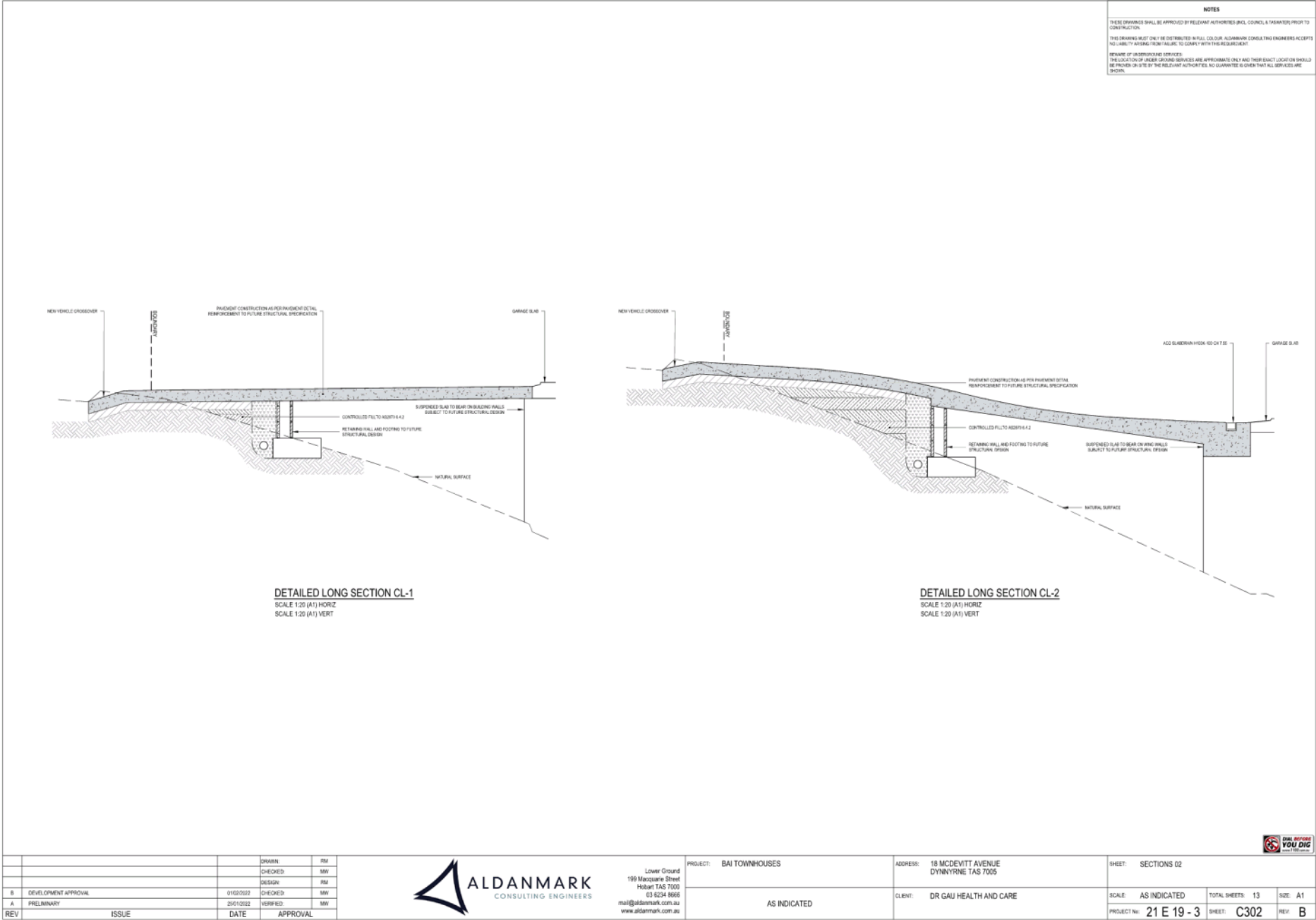






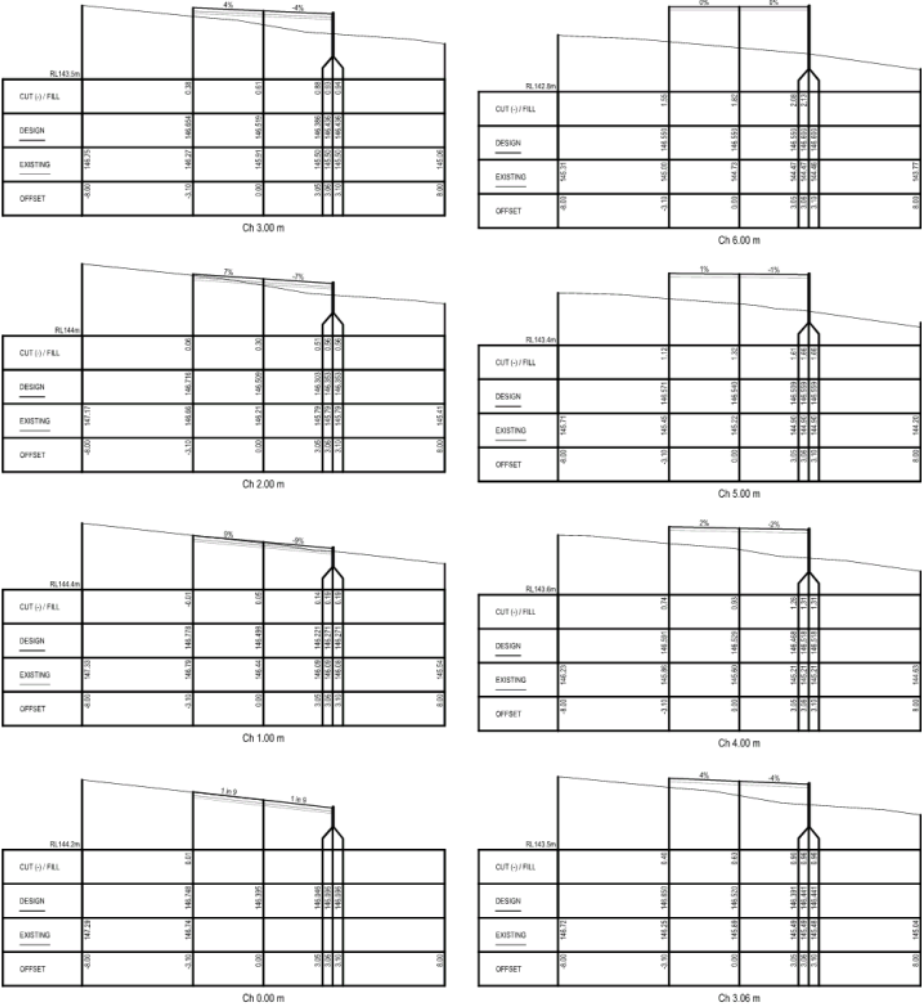






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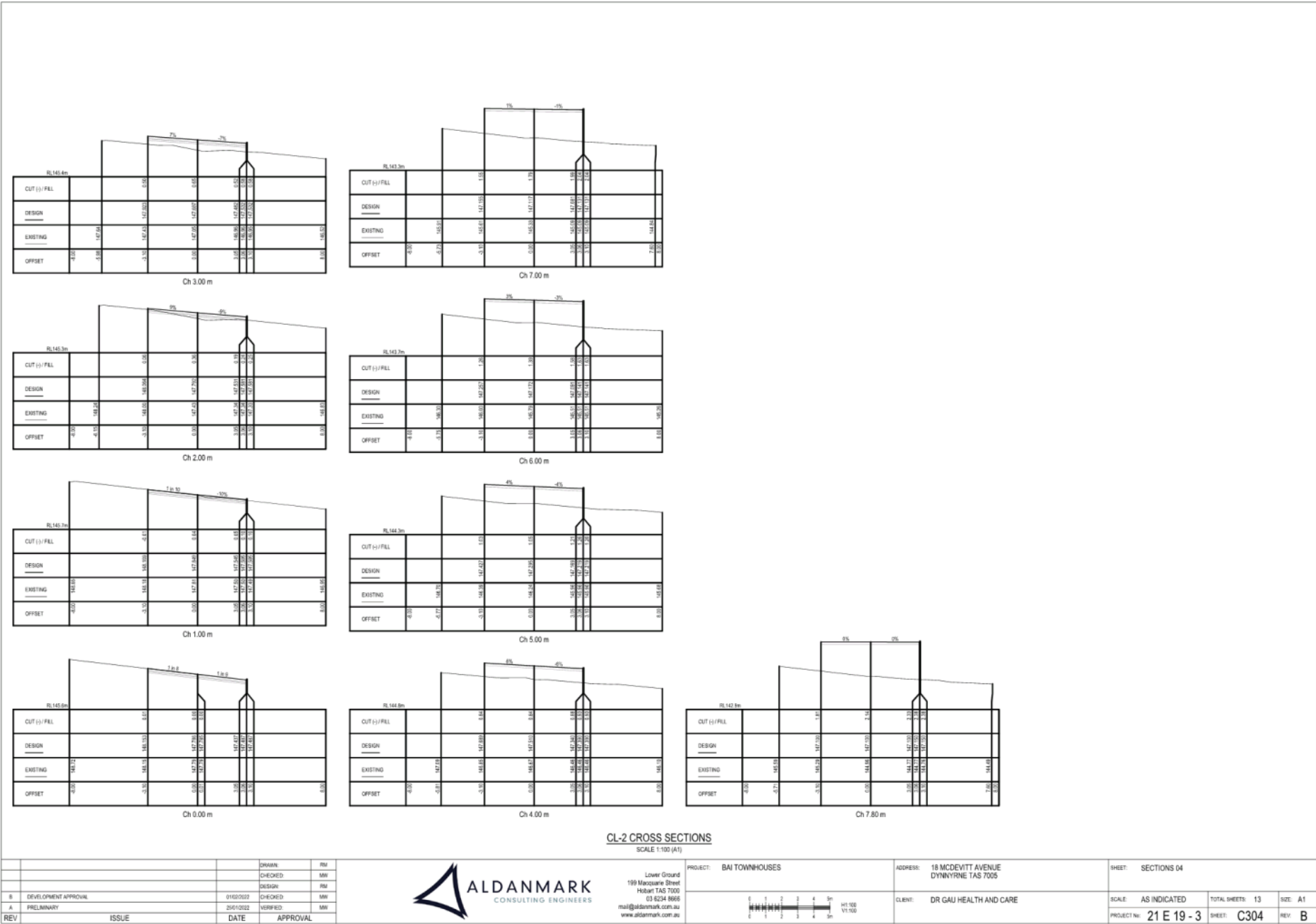
THESE DRAWINGS SHALL BE APPROVED BY RELEVANT AUTHORITIES (INCL. COUNCIL & TOWNERS) PRIOR TO CONSTRUCTION.  
THIS DRAWING MUST ONLY BE DISTRIBUTED IN FULL. COLOUR ALDANMARK CONSULTING ENGINEERS ACCEPTS NO LIABILITY ARISING FROM FAILURE TO COMPLY WITH THE REQUIREMENT.  
DEFINITION OF UNDESIGNED SERVICES:  
THE LOCATION OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THERE EXACT LOCATION SHOULD BE PROVIDED ON SITE BY THE RELEVANT AUTHORITY. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN.

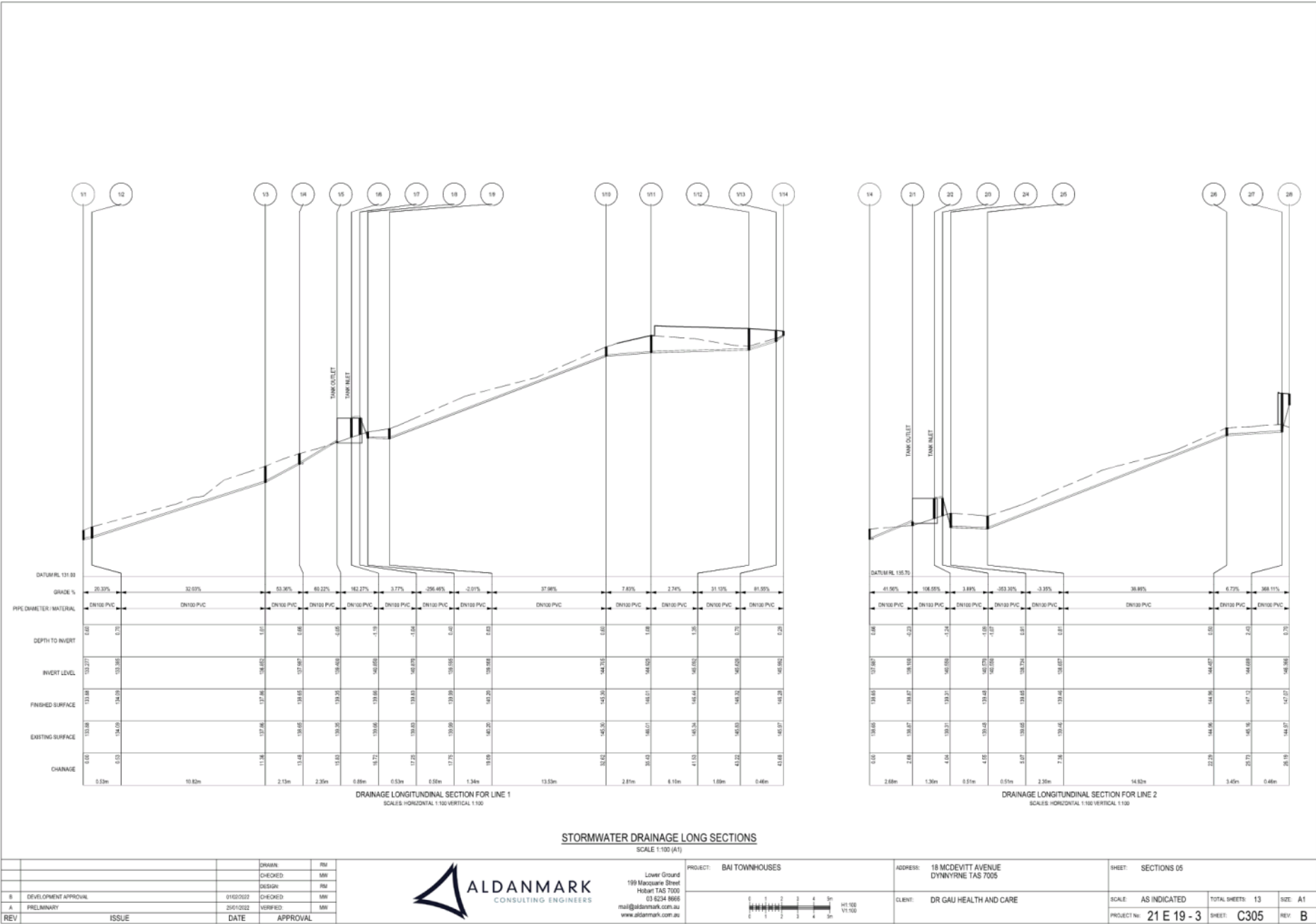


CL-1 CROSS SECTIONS  
SCALE 1:100 (A1)



		DRAWN: RM	 <p>Lower Ground 199 Macquarie Street Hobart TAS 7000 03 5234 8666 mail@aldanmark.com.au www.aldanmark.com.au</p>	PROJECT: BAI TOWNHOUSES	ADDRESS: 18 MCDEVITT AVENUE D'YNNYRNE TAS 7005	SHEET: SECTIONS 03
		CHECKED: MW				
		DESIGN: RM				
B DEVELOPMENT APPROVAL		01/03/2022		CHECKED: MW		
A PRELIMINARY		20/01/2022	VERIFIED: MW			
REV	ISSUE	DATE	APPROVAL	 <p>0 1 2 3 4 5m 1:100 1:100</p>	CLIENT: DR GAU HEALTH AND CARE	SCALE: AS INDICATED TOTAL SHEETS: 13 SIZE: A1 PROJECT No: 21 E 19 - 3 SHEET: C303 REV: B









		DESIGN	RM	 <div>ALDANMARK CONSULTING ENGINEERS</div> <div>Lower Ground 199 Macquarie Street Hobart TAS 7000 03 5234 9506 mail@aldanmark.com.au www.aldanmark.com.au</div>	PROJECT:	BAI TOWNHOUSES	ADDRESS:	18 MCDEVITT AVENUE DYNWYNYRE TAS 7005	SHEET:	SECTIONS 06			
		CHECKED	MM		AS INDICATED	CLIENT:	DR GAU HEALTH AND CARE	SCALE:	1:20	TOTAL SHEETS:	13	SIZE:	A1
		DESIGN	MM				PROJECT No:	21 E 19 - 3	SHEET:	C306	REV:	C	
		CHECKED	MM										
C	DEVELOPMENT APPROVAL	18/01/2022	VERIFIED	MM									
REV	ISSUE	DATE	APPROVAL										



CIVIL DRAWINGS  
BAI TOWNHOUSES  
18 MCDEVITT AVENUE  
DYNMYRNE TAS 7005

C001	COVER	B	01/02/2022
C002	ENGINEERING NOTES	B	01/02/2022
C101	LOCALITY PLAN	B	01/02/2022
C102	STORMWATER AND GRADING PLAN	B	01/02/2022
C103	SEWER AND WATER PLAN	B	01/02/2022
C104	SOIL AND WATER MANAGEMENT PLAN	B	01/02/2022
C301	SECTIONS 01	B	01/02/2022
C302	SECTIONS 02	B	01/02/2022
C303	SECTIONS 03	B	01/02/2022
C304	SECTIONS 04	B	01/02/2022
C305	SECTIONS 05	B	01/02/2022
C401	CONSTRUCTION DETAILS	B	01/02/2022

			DRAWN	RM	 <div>ALDANMARK CONSULTING ENGINEERS</div> <div>Lower Ground 199 Macquarie Street Hobart TAS 7000 03 524 5699 mali@aldanmark.com.au www.aldanmark.com.au</div>	PROJECT	BAI TOWNHOUSES	ADDRESS	18 MCDEVITT AVENUE DYNKIRRE TAS 7005	SHEET	COVER				
			CHECKED	MN											
			DESIGN	RM											
B	DEVELOPMENT APPROVAL	01/02/2022	CHECKED	MN											
A	PRELIMINARY	25/01/2022	VERIFIED	MN				CLIENT	DR GAU HEALTH AND CARE	SCALE	AS INDICATED	TOTAL SHEETS	12	SIZE	A1
REV	ISSUE	DATE	APPROVAL					PROJECT No.	21 E 19 - 3	SHEET	C001	REV	B		

GENERAL NOTES:

1. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL, MECHANICAL AND STRUCTURAL DRAWINGS AND SPECIFICATIONS. STANDARDS REFERENCED ARE TO THE MOST CURRENT VERSION.
2. THESE DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION UNLESS ENDORSED FOR CONSTRUCTION AND AUTHORISED FOR REUSE ACCORDINGLY.
3. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH STANDARD STANDARDS, STANDARDS AND SPECIFICATIONS, AUSTRALIAN STANDARDS, (UNLESS OTHERWISE SPECIFIED), AND THE WATER SUPPLY CODE OF AUSTRALIA AND TO THE SATISFACTION OF COUNCIL'S DEVELOPMENT ENGINEER.
4. PRELIMINARY STANDARDS DRAWINGS TO BE READ IN CONJUNCTION WITH COUNCIL EXCLUSION SHEETS TOWARDS A TIE-INS.
5. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE ACT.
6. CONFORM ALL LEVELS ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.
7. CONTRACTOR TO OBTAIN APPROVAL, SERVICE CLEARANCES AND COORDINATE WORK WITH ALL RELEVANT AUTHORITIES PRIOR TO COMMENCEMENT.
8. A STATE OF ADDRESS NOTIFICATION MUST BE OBTAINED FROM COUNCIL PRIOR TO ANY WORK COMMENCING.
9. SURVEY DATA UNDERSTAND AND PROVIDED BY SURVEYORS.
10. ARCHITECTURAL LIFT AND SITE LAYOUT UNDERSTAND AND PROVIDED BY CIVIL WORKS/ARCHITECTS.

WORKPLACE HEALTH & SAFETY NOTES:

- BEFORE THE CONTRACTOR COMMENCES WORK, THE CONTRACTOR SHALL UNDERTAKE A SITE SPECIFIC PROJECT PRE-START MEETING (PPT) OR SAFETY ANALYSIS (PPT) WHICH SHALL INCLUDE THE FOLLOWING:
- THE TYPE OF WORK.
  - HAZARDS AND RISKS TO HEALTH AND SAFETY.
  - THE CONTROLS TO BE APPLIED IN ORDER TO ELIMINATE OR MINIMISE THE RISKS POSED BY THE IDENTIFIED HAZARDS.
  - THE MEASURES TO BE TAKEN TO CONTROL THE RISKS TO HEALTH AND SAFETY.

THESE ARE TO BE SUBMITTED TO THE SUPERINTENDENT WORKER OR OTHER RELEVANT WORKPLACE SAFETY OFFICERS.

FOR THIS PROJECT, POSSIBLE HAZARDS INCLUDE (BUT ARE NOT LIMITED TO):

- EXCAVATION OF ANY TYPE & DEPTH.
- CONTAMINATED SOILS.
- CONSTRUCTION IN CLOSE PROXIMITY TO HIGH WATER TABLE.
- FELLING, LOGGING AND REMOVAL OF EXISTING TREES/VEGETATION.
- UNDERGROUND UTILITIES (MANHOLES, CABLES, ETC).
- COMBUSTIBLES.
- OVERHEAD POWER LINES.
- UNDERGROUND WATER, WATER AND SEWER PIPES.
- TELECOMMUNICATION CABLES - BOTH UNDERGROUND & OVERHEAD.
- ELECTRICAL POWER CABLES - BOTH UNDERGROUND & OVERHEAD.
- WORKING AT HEIGHTS.
- WORKING WITH MATERIALS CONTAINING MATERIALS.
- TRAFFIC MANAGEMENT.

EARTHWORKS & DRIVEWAY NOTES:

1. ALL EARTHWORKS SHALL BE IN ACCORDANCE WITH AS/NZS 1546:2001 ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENT.
2. ALL EXCAVATION AND TRENCHES SHALL BE STOPPED AND GRABBED IN THE AREA OF SUSPECTED REMAINS.
3. NEW OR MODIFIED DRIVEWAY CROSSINGS SHALL BE IN ACCORDANCE WITH PWSA STANDARD DRAWING TDS-01-02 AND MUST BE APPROVED AND APPROVED BY COUNCIL.
4. EXCAVATED AND IMPORTED MATERIALS USED AS FILL IS TO BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.
5. FILL MATERIAL SHALL BE WELL GRADED AND FREE OF ROCKS OR CORNERS EXCEEDING 150mm IN DIAMETER UNLESS APPROVED FOR OTHERWISE.
6. FILL REQUIRED TO SUPPORT DRIVEWAYS INCLUDING FILL IN EMBANKMENTS THAT SUPPORT DRIVEWAYS SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
  - TOP SOIL AND ORGANIC MATTER SHALL BE REMOVED TO A MINIMUM OF 150mm.
  - THE FILL SHALL HAVE A MINIMUM DENSITY CAPACITY OF 100%.
  - FILL EMBANKMENTS SHALL BE REVEALED TO A MINIMUM OF 10%.
  - THE FILL SHALL BE COMPACTED IN HORIZONTAL LAYERS OF NOT MORE THAN 300mm.
  - EACH LAYER SHALL BE COMPACTED TO A MINIMUM DENSITY RATIO OF 95% UTL. IT IS THE BUILDERS RESPONSIBILITY TO ENSURE THAT THIS IS ACHIEVED.
7. WHERE THE ABOVE REQUIREMENTS CANNOT BE ACHIEVED, THE ENGINEER SHALL BE CONSULTED AND THE FORMATION SHALL BE PROOF ROLLED UNDER SUPERVISION OF THE ENGINEER TO CONFIRM AN APPROVED SHAPE.
8. CONCRETE PAVEMENTS SHALL BE CURED FOR A MINIMUM OF 2 DAYS USING A CURRENT BEST PRACTICE METHOD.
9. SLOPE CONTROL JOINTS SHALL BE CONSTRUCTED AS SOON AS POSSIBLE WITHOUT ENDANGERING THE JOINT. GENERALLY THIS SHALL BE WITHIN 24 HOURS.
10. BATTERS SHALL BE SET TO A SAFE ANGLE OF REPOSE IN ACCORDANCE WITH THE BCA VOL 2 AS INDICATED BELOW.

SOIL TYPE (* REFER BCA 3.2.4)	EMBANKMENT SLOPES H:L	
	COMPACTED FILL	CUT
STABLE ROCK (L)	2:3	8:1
SAND (L)	1:2	1:2
SILT (P)	1:4	1:4
CLAY	FINE CLAY	1:2
	COARSE CLAY	1:1
SOFT CLAY	NOT SUITABLE	2:3
SOFT SILT (P)	NOT SUITABLE	NOT SUITABLE

NOTE: WHERE SITE CONDITIONS ARE UNFAVOURABLE FOR A BATTERED BANK, CONSULT THE ENGINEER FOR A SUITABLE RETAINING WALL DESIGN. EMBANKMENTS THAT ARE TO BE LEFT EXPOSED MUST BE STABILISED BY VEGETATION OR SIMILAR WORKS TO PREVENT SOIL EROSION.

DRAINAGE AND SERVICES NOTES:

1. ALL WORKS ASSOCIATED WITH PUBLIC STORMWATER INFRASTRUCTURE IS TO BE CARRIED OUT IN ACCORDANCE WITH PWSA (PWSA) LIGHT STANDARD DRAWINGS AND SPECIFICATIONS AND TO THE SATISFACTION OF COUNCIL.
2. ALL WORKS ASSOCIATED WITH PUBLIC SEWER AND WATER IS TO BE CARRIED OUT IN ACCORDANCE WITH THE WSA (PWSA) SD & SD (WATER AND SEWERAGE CODES OF AUSTRALIA) TOWARDS SUPPLEMENTS TO THE SAME, AND TO THE SATISFACTION OF COUNCIL.
3. ALL CONNECTIONS TO EXISTING WORKS TO BE CARRIED OUT BY THE REGULATING AUTHORITY AT COST TO BUILDER UNLESS APPROVED OTHERWISE.
4. HYDRAULIC LAYOUT TO BE COORDINATED WITH OTHER SERVICES HYDRAULIC LAYOUT AS SHOWN IN NATIONAL LAYOUT TO BE COMPLETED IN SITE.
5. ALL EXISTING SERVICES TO BE LOCATED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.
6. GENERAL NATIONAL INSTALLATION TESTING SHALL COMPLY WITH AS/NZS 1546:2001 AND THE NCC (VOLUME 3) (PWSA) PART 1.1.3 OF THE NCC (VOLUME 3) (PWSA).
7. INSTALL ALL PUBLIC DRAINAGE TO THE REQUIREMENTS OF AS/NZS 1546:2001 AND PART 1.1.3 OF THE NCC (VOLUME 3) (PWSA).
8. PAVEMENT AND INFRASTRUCTURE AREAS SHALL FALL AT A MINIMUM OF 1% (1:100) TOWARDS AN APPROVED DRAINAGE POINT.
9. ALL PIPE WORKS UNDER TRAFFICABLE AREAS INCLUDING DRIVEWAYS IS TO BE REINFORCED WITH COMPOSITE FIBRE.
10. DRAINAGE PIPES TO BE MIN. 400mm CLASS DIA. PIPES UNDER TRAFFICABLE AREAS TO BE MIN. 600mm DIA.
11. MINIMUM GRADES FOR PRIVATE DRAINAGE PIPES SHALL BE 1% FOR COMMERCIAL AND 1.5% FOR RESIDENTIAL.
12. MINIMUM COVER FOR PRIVATE DRAINAGE PIPES SHALL BE 500mm FOR COMMERCIAL AND 300mm FOR RESIDENTIAL.
13. TOWARDS SEWER MAINS TO BE MINIMUM 400mm CLASS DIA. ENDS AND WITH MINIMUM 4% DIA. ENDS PROPERTY CONNECTIONS.
14. STORMWATER MAINS TO BE MINIMUM 400mm CLASS DIA. ENDS AND WITH APPROVED EQUIVALENT UNLESS NOTED OTHERWISE.
15. WATER PIPES TO BE MIN. 400mm DIA. AND FITTINGS TO BE MIN. 400mm DIA. UNLESS NOTED OTHERWISE.
16. WATER CONNECTIONS SHALL BE PROVIDED WITH THE TRENCH AND BACKFILL PREVENTION AS PER TOWARDS STANDARD DRAWINGS TDS-01-02.
17. ALL PIPES TO BE MANHOLE BY COUNCIL PRIOR TO WORKS.
18. PIPE DIMENSIONS SHOWN HAVE BEEN DESIGNED BY PIPE CAPACITY TABLE. THESE PIPES MAY NEED TO BE INCREASED IN MINIMUM INTERNAL DIA. DUE TO THE DEPTH AS PER AS/NZS 1546:2001 AS PER TABLE BELOW WHICH IS THE CONTRACTORS RESPONSIBILITY TO ENSURE COMPLIANCE TO AS/NZS 1546:2001.

DEPTH TO INVERT OF OUTLET	MINIMUM INTERNAL DIAMETERS (mm)	
	WIDTH	LENGTH
4000	400	400
4000	600	600
4000	800	800
4000	1000	1000
4000	1200	1200

CIVIL INSPECTIONS / HOLD POINTS:

THE BUILDER IS TO ALLOW TO INSURE ADEQUATE ENGINEERS TO UNDERTAKE INSPECTIONS AT THE FOLLOWING HOLD POINTS OF A CIVIL WORKS NATURE:

1. SUBGRADE/FOUNDATION LEVEL OF DRIVEWAY PAVEMENT INCLUSIVE OF PROOF ROLL.
2. BASE OF ROAD PAVEMENT INCLUSIVE OF PROOF ROLL.
3. DRIVEWAY WORK PAVEMENT AND JOINTING PRIOR TO CONCRETE POUR.



THESE DRAWINGS SHALL BE APPROVED BY RELEVANT AUTHORITIES (PWSA, COUNCIL & TOWARDS PRIOR TO CONSTRUCTION).

THESE DRAWINGS MAY ONLY BE DISTRIBUTED BY FULLY QUALIFIED ALDANMARK CONSULTING ENGINEERS. ACCEPTS NO LIABILITY ARISING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.

THE LOCATION OF EXISTING SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT LOCATION SHOULD BE PROVIDED ON SITE BY THE RELEVANT AUTHORITY. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN.

		DRAWN	RM
		CHECKED	MM
		DESIGN	RM
B	DEVELOPMENT APPROVAL	01/03/2022	CHECKED MM
A	PRELIMINARY	25/11/2022	VERIFIED MM
REV	ISSUE	DATE	APPROVAL

Lower Ground  
199 Macquarie Street  
Hobart TAS 7000  
03 6234 8666  
mail@aldanmark.com.au  
www.aldanmark.com.au

PROJECT: BAI TOWNHOUSES

ADDRESS: 18 MCDEVITT AVENUE  
DYNKYRNE TAS 7005

CLIENT: DR GAU HEALTH AND CARE

SHEET: ENGINEERING NOTES

SCALE: AS INDICATED

PROJECT No: 21 E 19 - 3

TOTAL SHEETS: 12

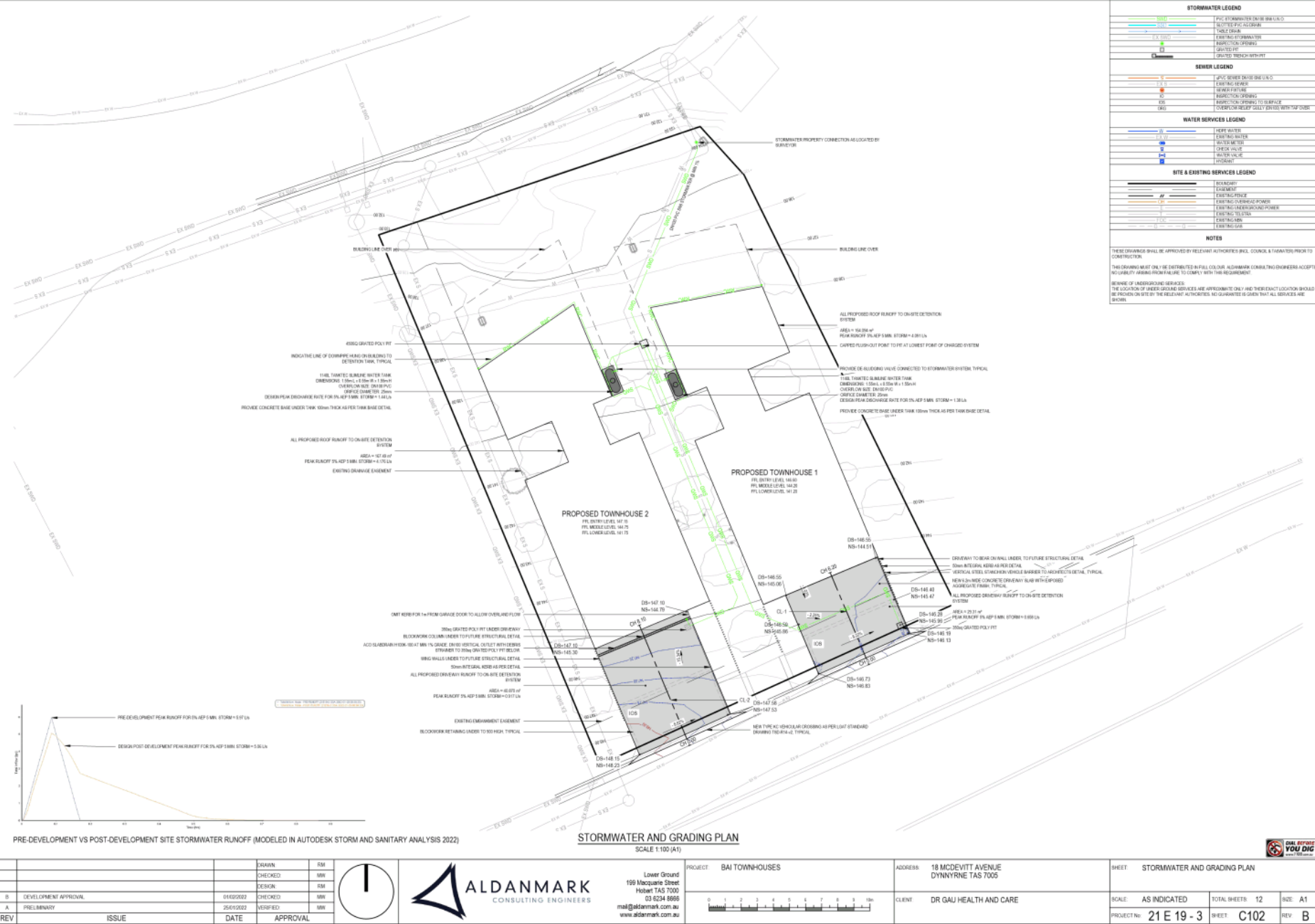
SHEET: C002

SIZE: A1

REV: B

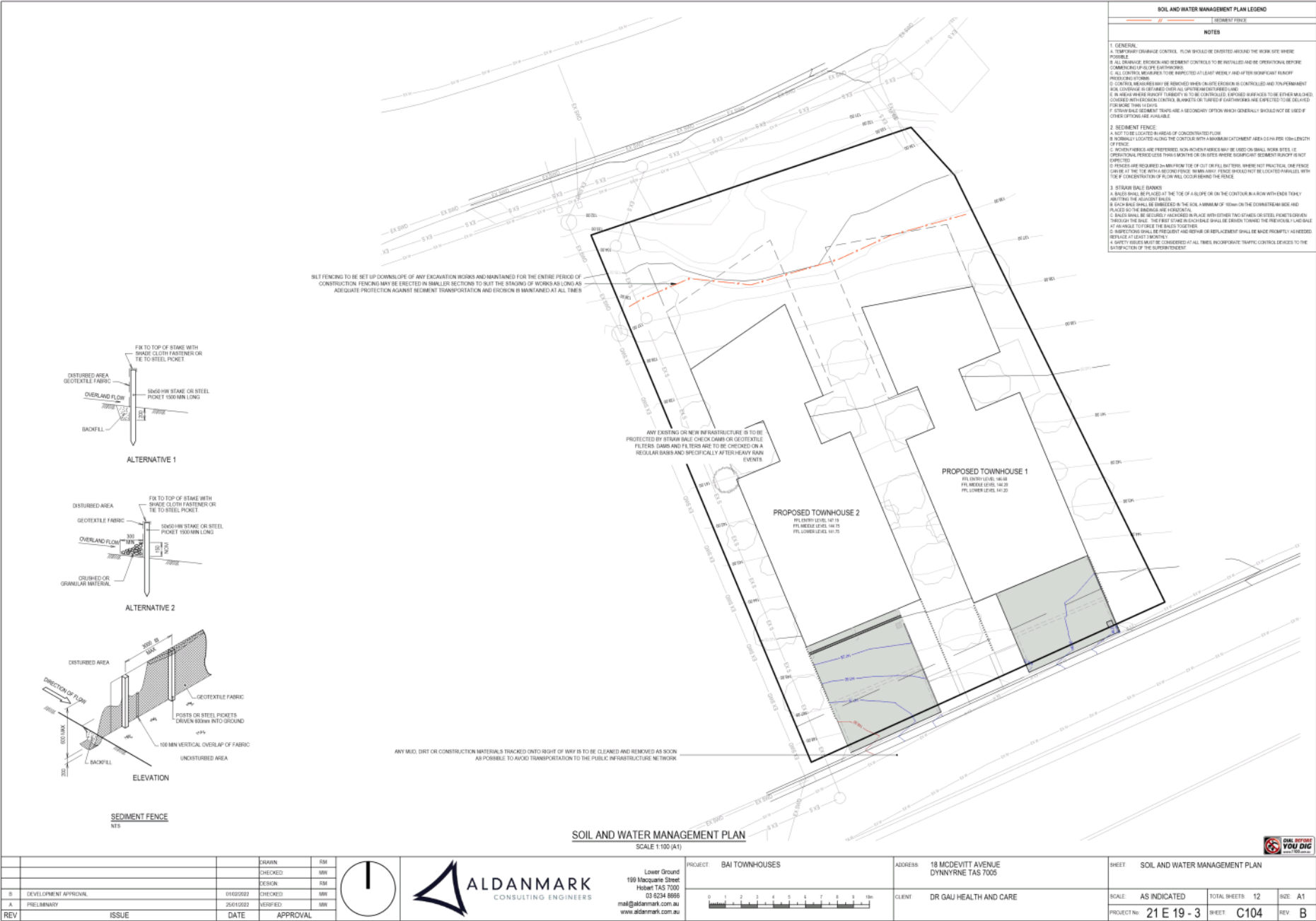


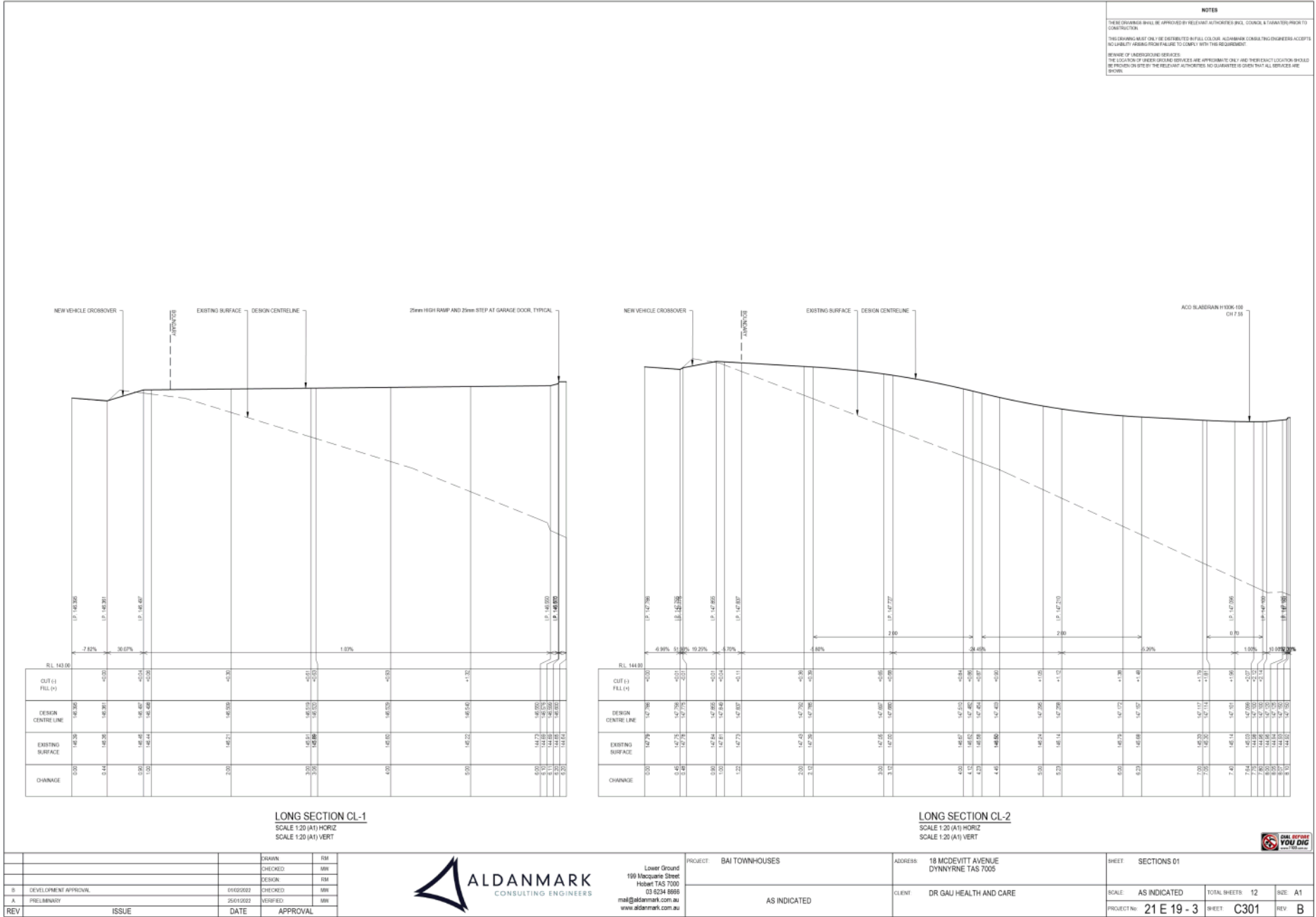


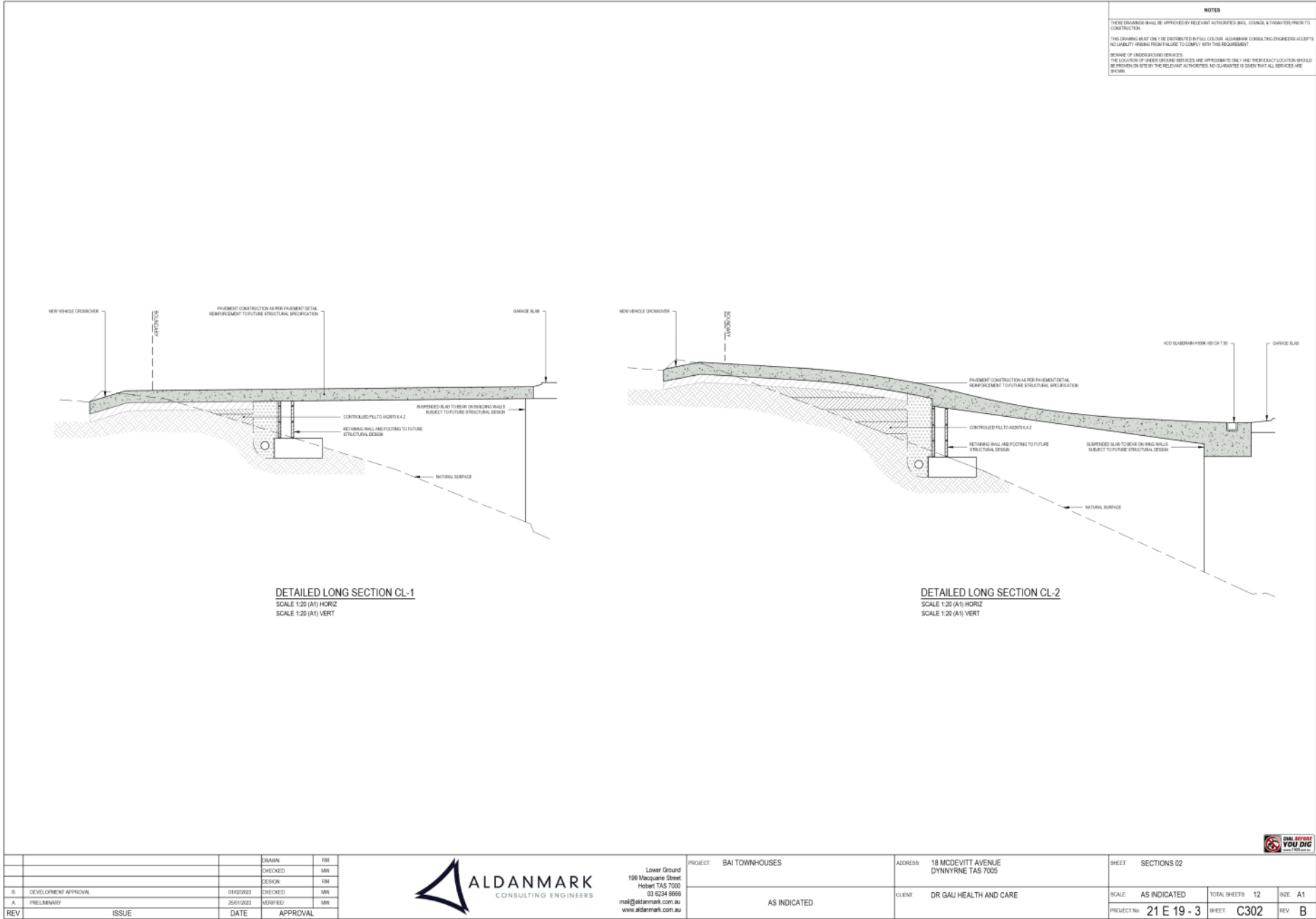






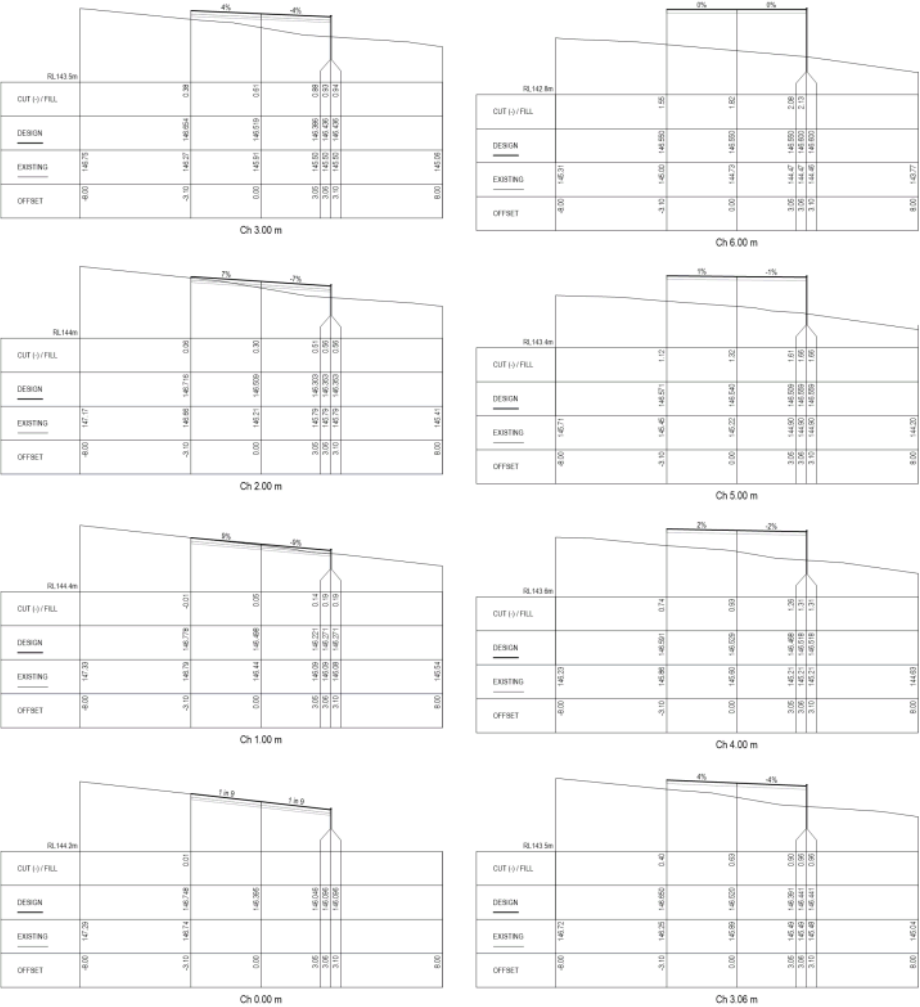






NOTES

THESE DRAWINGS SHALL BE APPROVED BY RELEVANT AUTHORITIES (LOCAL COUNCIL & TOWN) PRIOR TO CONSTRUCTION.  
THESE DRAWINGS MUST ONLY BE DISTRIBUTED IN FULL COLOUR. ALDANMARK CONSULTING ENGINEERS ACCEPTS NO LIABILITY ARISING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.  
REMARK: OF UNDERGROUND SERVICES.  
THE LOCATION OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEREFORE LOCATION SHOULD BE PROVIDED ON SITE BY THE RELEVANT AUTHORITIES. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN.



CL-1 CROSS SECTIONS  
SCALE 1:100 (A1)

REV	ISSUE	DATE	APPROVAL
B	DEVELOPMENT APPROVAL	01/03/2022	CHECKED: RM
A	PRELIMINARY	25/12/2022	DESIGN: RM



Lower Ground  
199 Macquarie Street  
Hobart TAS 7000  
03 6234 8666  
mail@aldanmark.com.au  
www.aldanmark.com.au

PROJECT: BAI TOWNHOUSES



ADDRESS: 18 MCDEVITT AVENUE  
DYNNIRRE TAS 7005

CLIENT: DR GAU HEALTH AND CARE

SHEET: SECTIONS 03

SCALE: AS INDICATED

PROJECT No: 21 E 19 - 3

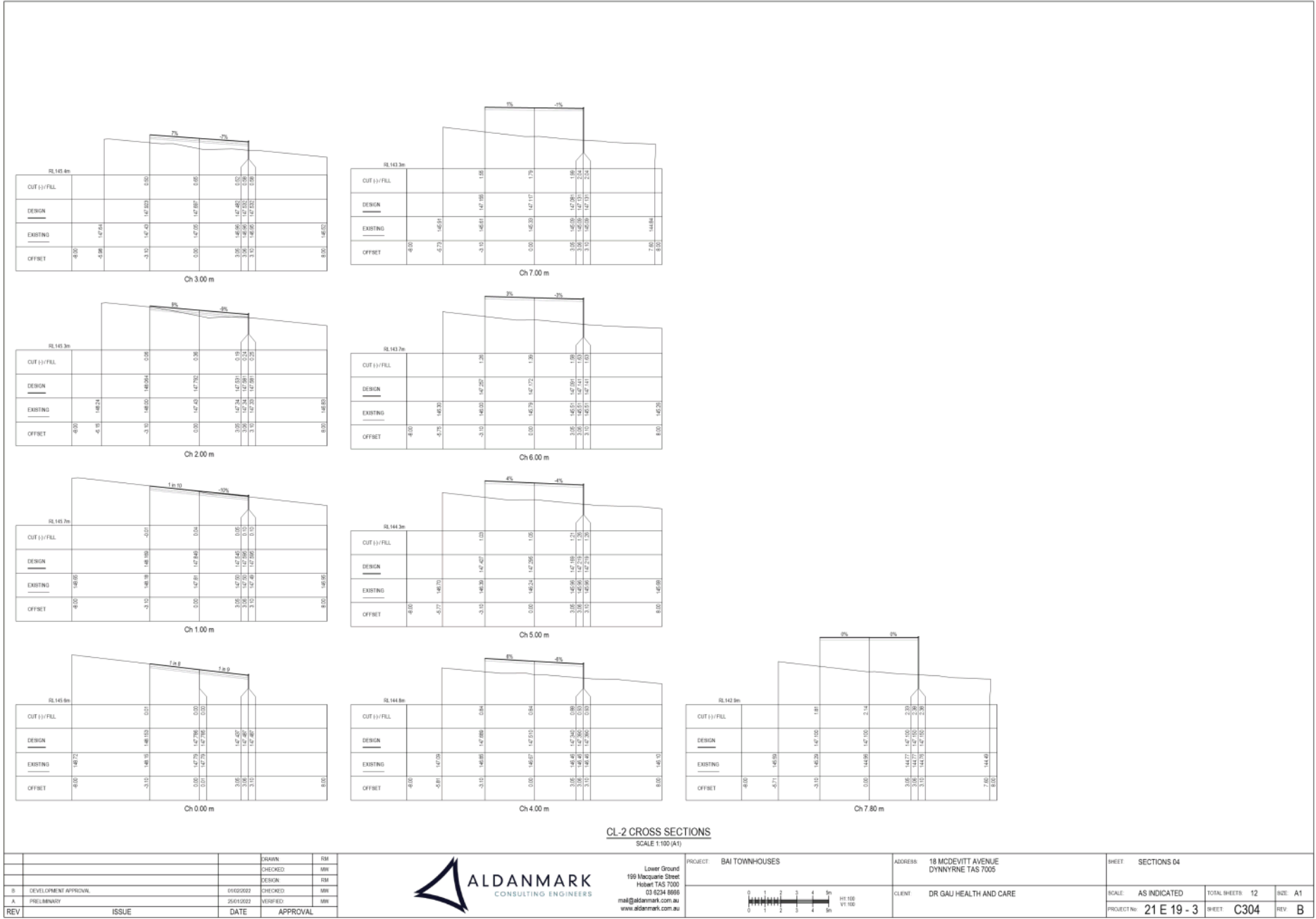
TOTAL SHEETS: 12

SHEET: C303

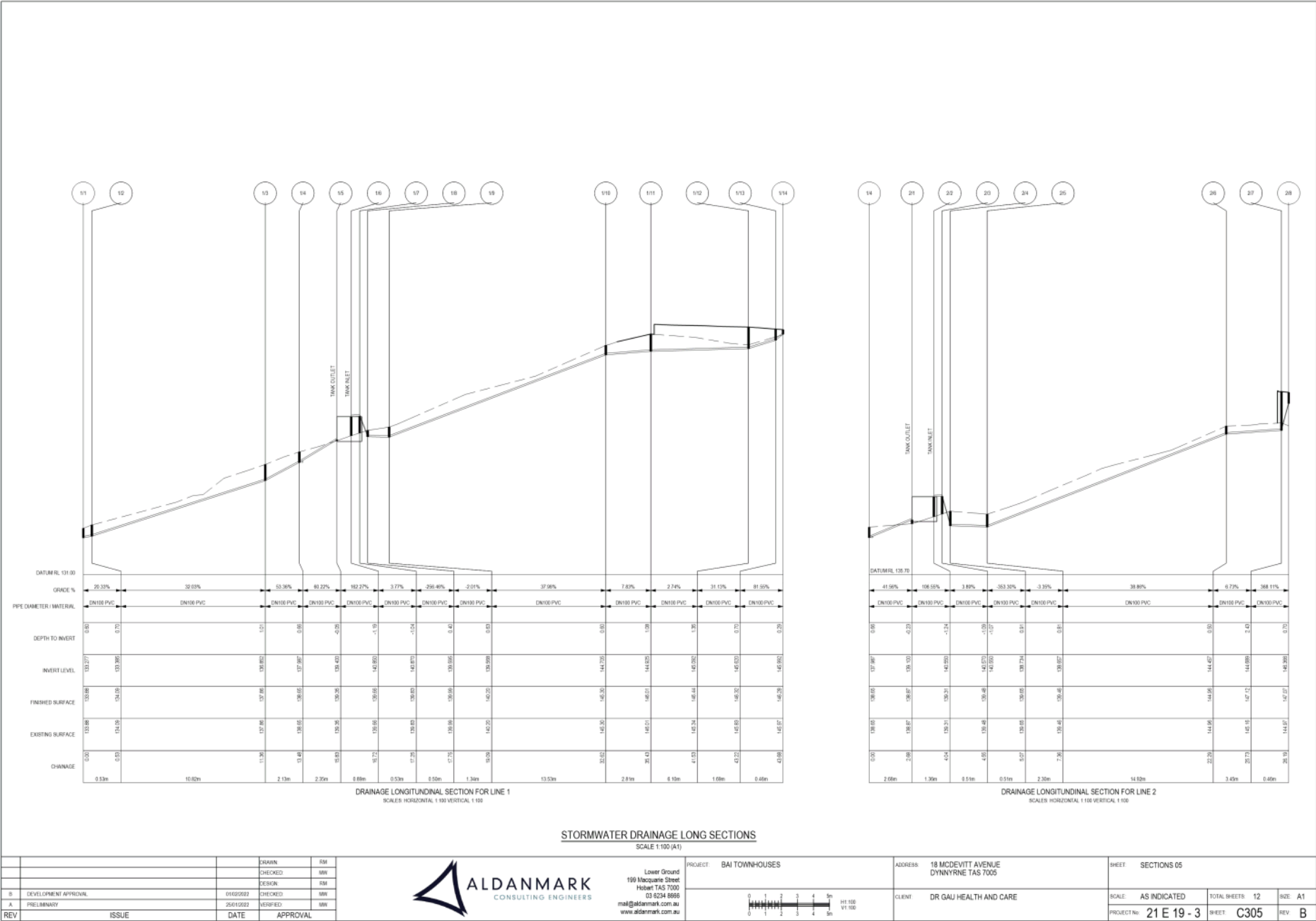
SIZE: A1

REV: B



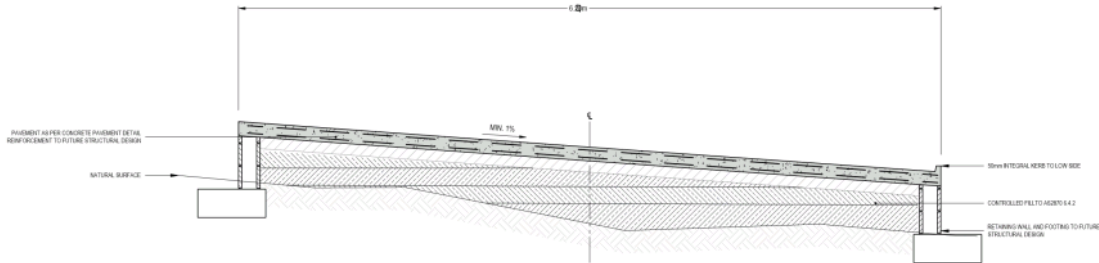




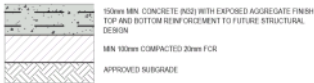


NOTES

THESE DRAWINGS SHALL BE APPROVED BY RELEVANT AUTHORITIES (LOCAL COUNCIL & TOWN) PRIOR TO CONSTRUCTION.  
THESE DRAWINGS MUST ONLY BE DISTRIBUTED BY FULLY QUALIFIED ALDANMARK CONSULTING ENGINEERS ACCEPTS NO LIABILITY ARISING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.  
REVIEW OF UNDERGROUND SERVICES:  
THE LOCATION OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEREFORE LOCATION SHOULD BE CHECKED ON SITE BY THE RELEVANT AUTHORITIES. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN.



TYPICAL CROSS SECTION CL-1 & CL-2  
SCALE 1:20 (A1) HORIZ  
SCALE 1:20 (A1) VERT

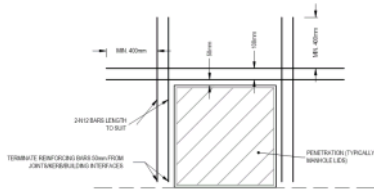


CONCRETE PAVEMENT DETAIL

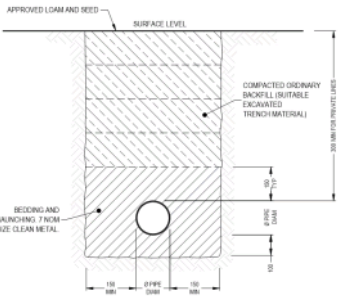


NOTE: CONCRETE PAVEMENT NOT DESIGNED FOR SPECIAL SURFACE FINISHES SUCH AS EXPOSED AGGREGATE.

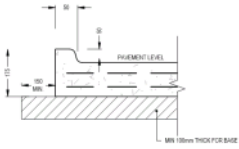
CONCRETE TANK BASE DETAIL



DRIVEWAY PENETRATION DETAIL  
SCALE 1:20 (A1)



TYPICAL CROSS SECTION - NON TRAFFICABLE  
SCALE 1:10 (A1)



INTEGRAL KERB - 50mm  
SCALE 1:10 (A1)



REV	ISSUE	DATE	APPROVAL
1	DEVELOPMENT APPROVAL	01/03/2022	CHECKED: RM
2	PRELIMINARY	25/01/2022	VERIFIED: MN



Lower Ground  
199 Macquarie Street  
Hobart TAS 7000  
03 6234 8666  
mail@aldanmark.com.au  
www.aldanmark.com.au

PROJECT: BAI TOWNHOUSES



ADDRESS: 18 MCDEVITT AVENUE  
DYNRYNE TAS 7005

CLIENT: DR GAU HEALTH AND CARE

SHEET: CONSTRUCTION DETAILS

SCALE: AS INDICATED	TOTAL SHEETS: 12	SIZE: A1
PROJECT No: 21 E 19 - 3	SHEET: C401	REV: B

*circa morris-nunn architects*

IXL Atrium  
27 Hunter Street  
Hobart TAS 7000 AU

*e.* info@circamorrisnunn.com.au  
*w.* circamorrisnunn.com.au  
*p.* +61 3 6236 9544

23-Mar-22

Attention:  
HCC Planning

To planning officer in charge:

## 2 Townhouse dwellings @ 18 McDevitt Avenue Dynnryne 7005

We are pleased to present the development application for the above property. Please find enclosed the following documentation supporting the proposal.

- Architectural documentation
- Civil documentation
- Survey
- Fire management plan
- Property Titles

The proposed townhouses at 18 McDevitt Avenue are a carefully considered proposal that seeks to occupy the site in a respectful manner.

The siting of the dwelling has been chosen in relation to site topography, northern aspect, views, and neighbouring properties. Much of the dwelling's form complies with the general residential building envelope however there are minor encroachments due to the step site. These have sort to be mitigated by the sloped building form that nestles into the terrain seeking to reduce its visual impact.

Due to the terrain and a desire to reduce invasive site works, vehicular access is proposed from the 'right of way' off Zomay Avenue at the top of the site. Two separate driveways with on site parking are provided with a minimum of 1 vistor car park per dwelling. Mail collection and servicing meters will be retained at the lower end of the property at McDevitt Avenue.

The recessive material selection and colour palette seeks to be complemented by proposed landscaping and planting. Windows, openings, and POS been carefully positioned so as to reduce privacy concerns between the dwelling themselves and for the neighbouring properties.

We hope the City of Hobart views the proposal favourably.

Yours sincerely,

Ben Redmond

Planning #253316

**Property**

18 MCDEVITT AVENUE DYNMYRNE TAS 7005

**People****Applicant \***

BEN REDMOND  
27 HUNTER STREET  
HOBART TAS 7000  
0452 387 464  
ben@circaarchitecture.com.au

**Owner \***

Xue Song Bai  
2a Hakea Drive  
TOLMANS HILL TAS 7007  
0413747594  
baix@utas.edu.au

**Entered By**

BEN REDMOND  
27 HUNTER STREET  
HOBART TAS 7000  
0452 387 464  
ben@circaarchitecture.com.au

**Use**

Multiple dwellings

**Details**

Have you obtained pre application advice?

☒ No

If YES please provide the pre application advice number eg PAE-17-xx

Are you applying for permitted visitor accommodation as defined by the State Government Visitor Accommodation Standards? Click on help information button for definition. If you are not the owner of the property you MUST include signed confirmation from the owner that they are aware of this application. \*

☒ No

Is the application for SIGNAGE ONLY? If yes, please enter \$0 in the cost of development, and you must enter the number of signs under Other Details below. \*

☒ No

If this application is related to an enforcement action please enter Enforcement Number

## Details

What is the current approved use of the land / building(s)? \*

General residential

Please provide a full description of the proposed use or development (i.e. demolition and new dwelling, swimming pool and garage) \*

2 residential dwellings

Estimated cost of development \*

1800000.00

Existing floor area (m2)

0.00

Proposed floor area (m2)

458.93

Site area (m2)

787

## Carparking on Site

Total parking spaces

6

Existing parking spaces

0

N/A

☒ Other (no selection  
chosen)

## Other Details

Does the application include signage? \*

☒ Yes

\* Please be advised that you are required to lodge plans of the sign. The plans should show:  
dimensions, location, colours, wording, method of illumination, does it flash, method of fixing to  
wall, etc.

How many signs, please enter 0 if there are none involved in  
this application? \*

0

## Tasmania Heritage Register

Is this property on the Tasmanian Heritage Register?

☒ No

## Documents

## Required Documents

Title (Folio text and Plan and FolioPlan&Text-166929-8.pdf  
Schedule of Easements) \*

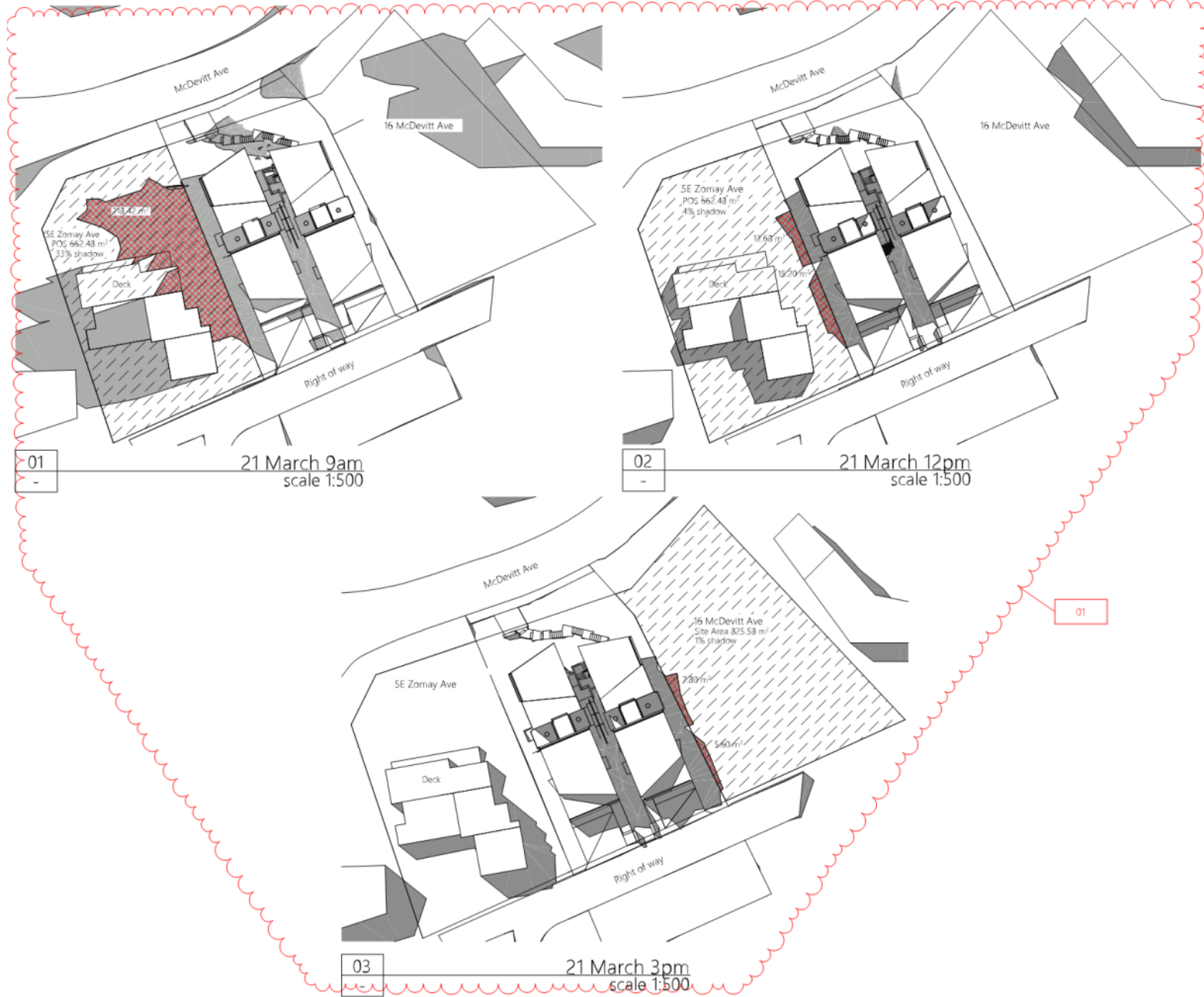
Plans (proposed, existing) \* 220323\_2104\_DA.pdf

Covering Letter 220323\_2104 Cover Letter.pdf

## Supporting Documents

Concept Servicing Plan 220201 CIV 21E19-3 B.pdf

Bushfire Management Plan Fire Management Plan.pdf



revisions			
SET ID	REV ID	NAME	DATE
A	01	Transmittal Set	4/06/2022

MATERIAL KEY	
MT1	METAL CLADDING - MONUMENT
MT2	METAL SHEET PERFORATED - MONUMENT
MT3	METAL CLADDING - DRICHE COLOUR
MT4	STEEL WORK - PU PAINT MONUMENT
CF1	FIBRE CEMENT SHEET - STAINED BLACK
BC1	RENDERED BLOCKWORK - GREY
CM1	RC SLAB - EXPOSED AGG
TS1	EXTERIOR TIMBER - DECKING/CLADDING
TS2	LOUVRES - TIMBER/COMPOSITE CHARCOAL GREY
GL1	LOW REFLECTIVE GLAZING

original drawing size	
11mm	1:10
15mm	1:50
20mm	1:100
25mm	1:200

**13 Mcdevitt Ave**  
**Lingling Gao & Xuesong Bai**  
2a Hakea Drive  
Tolmans Hill  
TAS, 7007

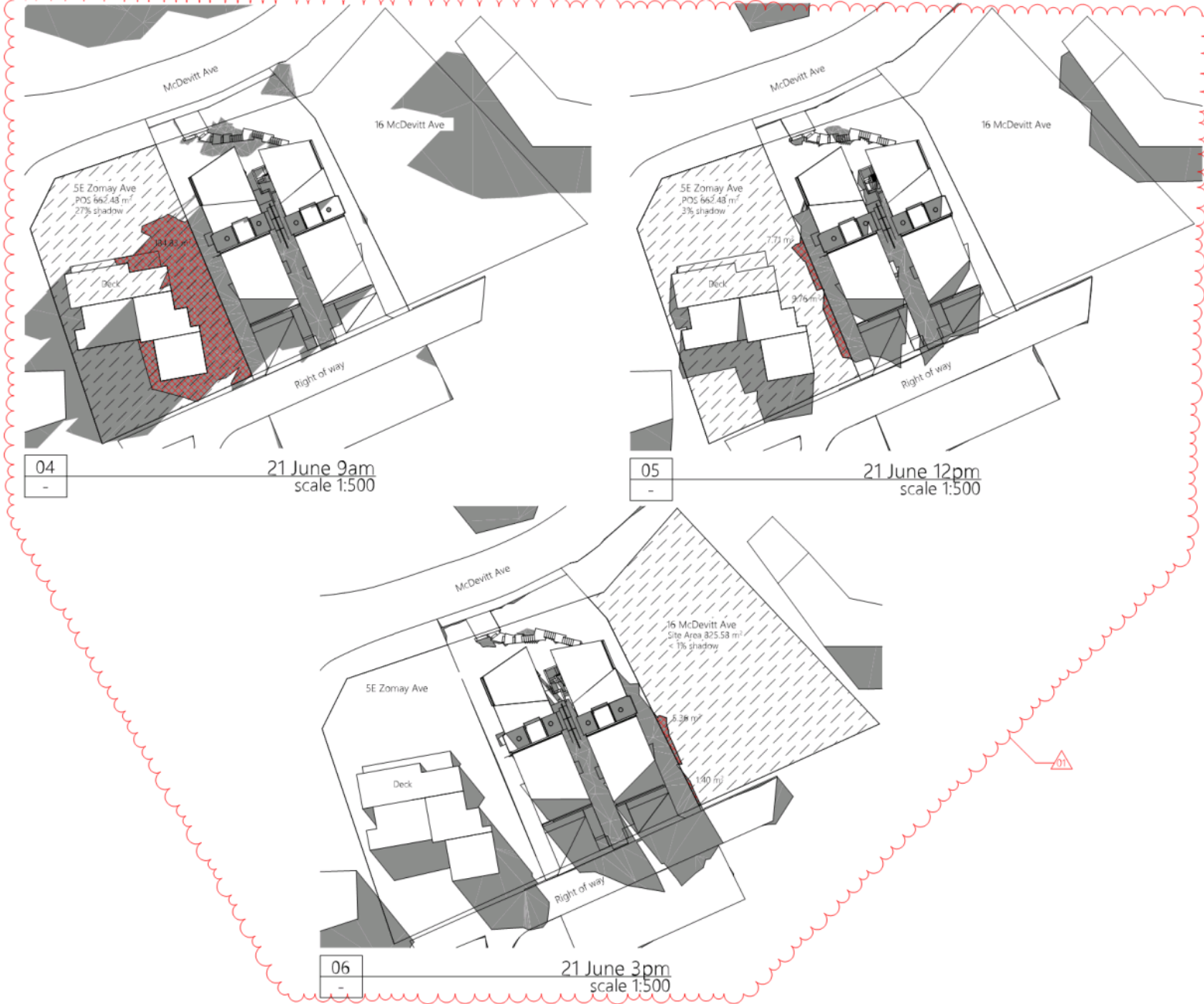
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**circa morris-nunn chua architects**  
**Contact**  
ixl atrium | 27 hunter st | hobart | tas | 7000  
03 6236 9544  
info@circamorrisnunn.com.au

These drawings show design intent and are suitable as a guide only. The builder shall check and verify all dimensions and verify all errors/ omissions to the Architect. Do not scale off the drawings. Drawings are not to be used for construction purposes until issued by the Architect for construction.

Sun Studies	
3D Views	
status	Development Application
issue date	May 2022
drawing n°	Issue Revision
2104-D01	A 01





revisions

SET ID	REV ID	NAME	DATE
A	01	Transmittal Set	4/06/2022

MATERIAL KEY

MT1	METAL CLADDING - MONUMENT
MT2	METAL SHEET PERFORATED - MONUMENT
MT3	METAL CLADDING - DRICHE COLOUR
MT4	STEEL WORK - PU PAINT MONUMENT
CD1	FIBRE CEMENT SHEET - STAINED BLACK
BC1	RENDERED BLOCKWORK - GREY
CM1	RC SLAB - EXPOSED AGG
TB1	EXTERIOR TIMBER - DECKING/CLADDING
TS1	LOUVRES - TIMBER/COMPOSITE CHARCOAL GREY
GL1	LOW REFLECTIVE GLAZING

original drawing size

1:10	1:50	1:100	1:200
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13 Mcdevitt Ave  
Lingling Gao & Xuesong Bai  
2a Hakea Drive  
Tolmans Hill  
TAS, 7007

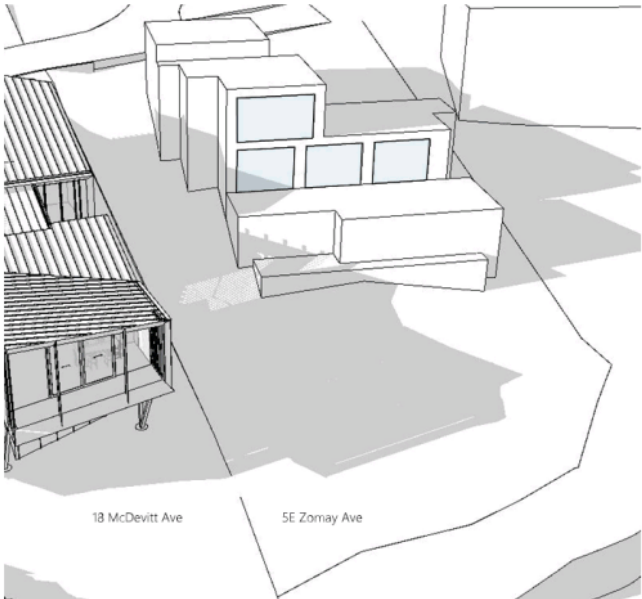
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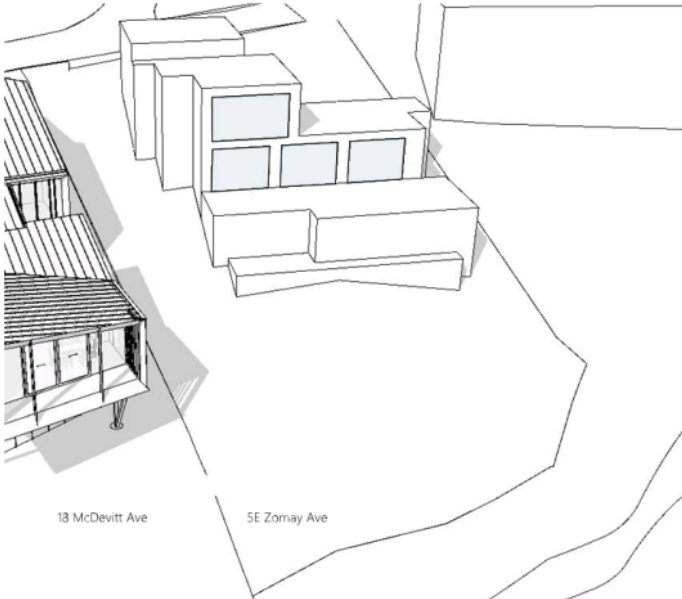
Sun Studies

3D Views
status
Development Application
issue date
May 2022
drawing n°
2104-D02
issue
A
revision
01



01.1 21 March 9am

Windows to habital rooms



02.1 21 March 12pm



03.1 21 March 3pm

revisions			
SET ID	REV ID	NAME	DATE
A	01	Transmittal Set	4/06/2022

MATERIAL KEY	
MT1	METAL CLADDING - MONUMENT
MT2	METAL SHEET PERFORATED - MONUMENT
MT3	METAL CLADDING - ORCHE COLOUR
MT4	STEEL WORK - PU PAINT MONUMENT
CD1	FIBRE CEMENT SHEET - STAINED BLACK
BC1	RENDERED BLOCKWORK - GREY
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TS1	EXTERIOR TIMBER - DECKING/CLADDING
TS2	LOUVRES - TIMBER/COMPOSITE CHARCOAL GREY
GL1	LOW REFLECTIVE GLAZING

original drawing size			
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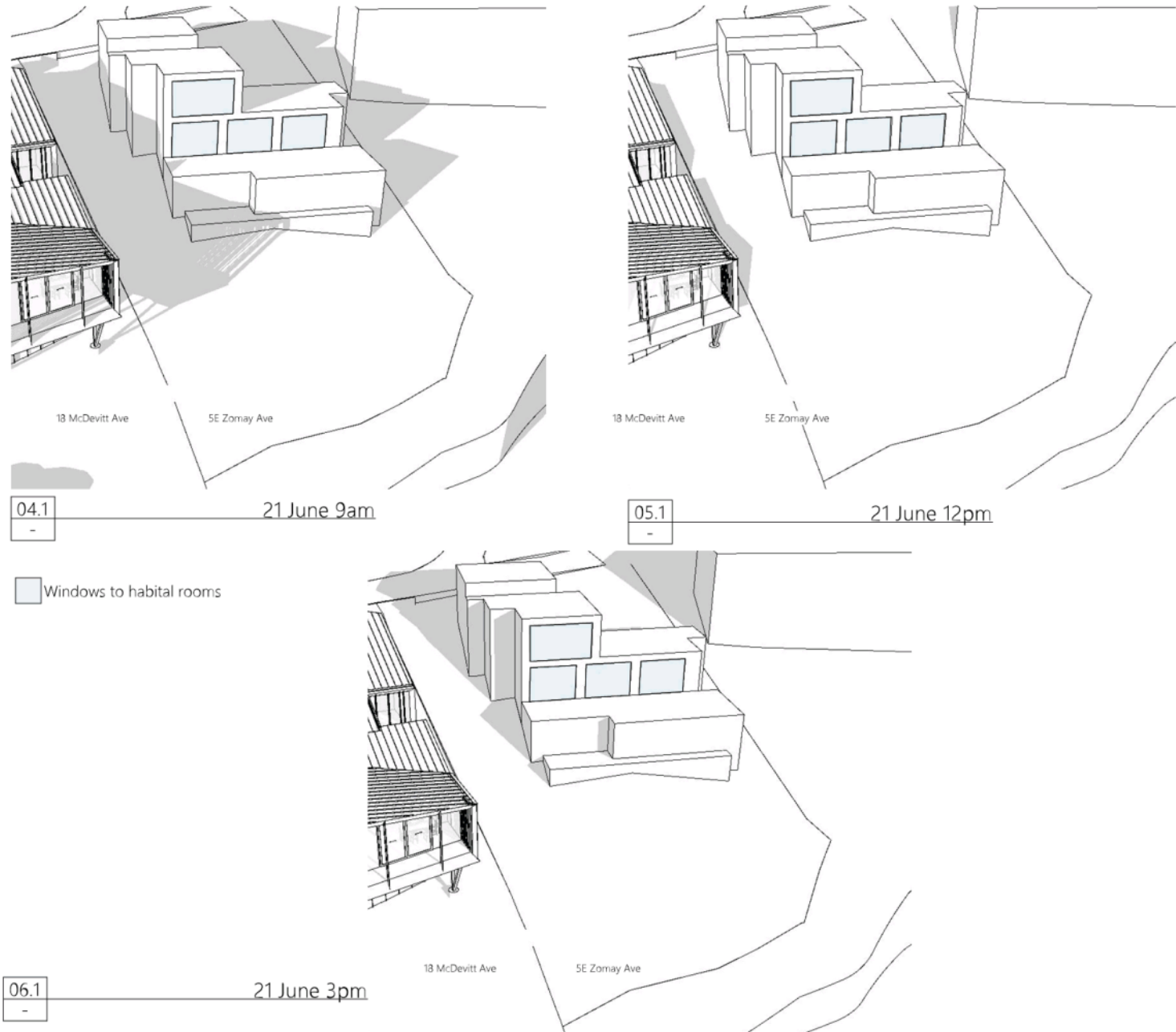
18 Mcdevitt Ave  
Lingling Gao & Xuesong Bai  
2a Hakea Drive  
Tolmans Hill  
TAS, 7007

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Sun Studies			
3D Views			
status		Development Application	
issue date		May 2022	
drawing n°	issue	Revision	
2104-D03	A	01	



revisions			
SET ID	REV ID	NAME	DATE
A	01	Transmittal Set	4/06/2022

MATERIAL KEY	
MT1	METAL CLADDING - MONUMENT
MT2	METAL SHEET PERFORATED - MONUMENT
MT3	METAL CLADDING - DRICHE COLOUR
MT4	STEEL WORK - PU PAINT MONUMENT
CD1	FIBRE CEMENT SHEET - STAINED BLACK
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GL1	LOW REFLECTIVE GLAZING

original drawing size			
1:10	1:50	1:100	1:200
1:10	1:50	1:100	1:200
1:10	1:50	1:100	1:200
1:10	1:50	1:100	1:200

18 Mcdevitt Ave  
Lingling Gao & Xuesong Bai  
2a Hakea Drive  
Tolmans Hill  
TAS, 7007

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Sun Studies			
3D Views			
status		Development Application	
issue date		May 2022	
drawing n°	issue	Revision	
2104-D04	A	01	

**RESULT OF SEARCH**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



## SEARCH OF TORRENS TITLE

VOLUME 166929	FOLIO 20
EDITION 4	DATE OF ISSUE 19-Feb-2016

SEARCH DATE : 04-May-2022

SEARCH TIME : 02.44 PM

DESCRIPTION OF LAND

City of HOBART

Lot 20 on Sealed Plan 166929

Derivation : Part of 633Acres Gtd. to Robert Lathrop Murray  
Prior CT 147668/1SCHEDULE 1E36258 TRANSFER to DAMIAN JOHN PEARCE and ANNA CLAIRE  
BAMFORD Registered 19-Feb-2016 at 12.01 PMSCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP166929 EASEMENTS in Schedule of Easements

SP166929 FENCING PROVISION in Schedule of Easements

M497686 BURDENING EASEMENT: a right of carriageway  
(appurtenant to Lot 7 on Sealed Plan 166929) over the  
land marked Right of Way 'F' on Sealed Plan 166929  
Registered 04-Aug-2015 at noonE17436 BURDENING EASEMENT: a right of carriageway  
(appurtenant to Lot 8 on Sealed Plan 166929) over the  
land marked Right of Way 'E' on Sealed Plan 166929

SP166929 WATER SUPPLY RESTRICTION

D103577 AGREEMENT pursuant to Section 71 of the Land Use  
Planning and Approvals Act 1993 Registered  
24-Sep-2013 at noonE36259 MORTGAGE to Commonwealth Bank of Australia  
Registered 19-Feb-2016 at 12.02 PMUNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

**RESULT OF SEARCH**

RECORDER OF TITLES

*Issued Pursuant to the Land Titles Act 1980*

## SEARCH OF TORRENS TITLE

VOLUME 166929	FOLIO 19
EDITION 3	DATE OF ISSUE 05-Jan-2017

SEARCH DATE : 04-May-2022

SEARCH TIME : 02.44 PM

DESCRIPTION OF LAND

City of HOBART

Lot 19 on Sealed Plan 166929

Derivation : Part of 633Acres Gtd. to Robert Lathrop Murray  
Prior CT 147668/1SCHEDULE 1D49448 TRANSFER to EMILY MARIAN PALERMO and DAVIDE PALERMO  
as tenants in common in equal shares Registered  
29-May-2014 at 12.01 PMSCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP166929 EASEMENTS in Schedule of Easements

SP166929 FENCING PROVISION in Schedule of Easements

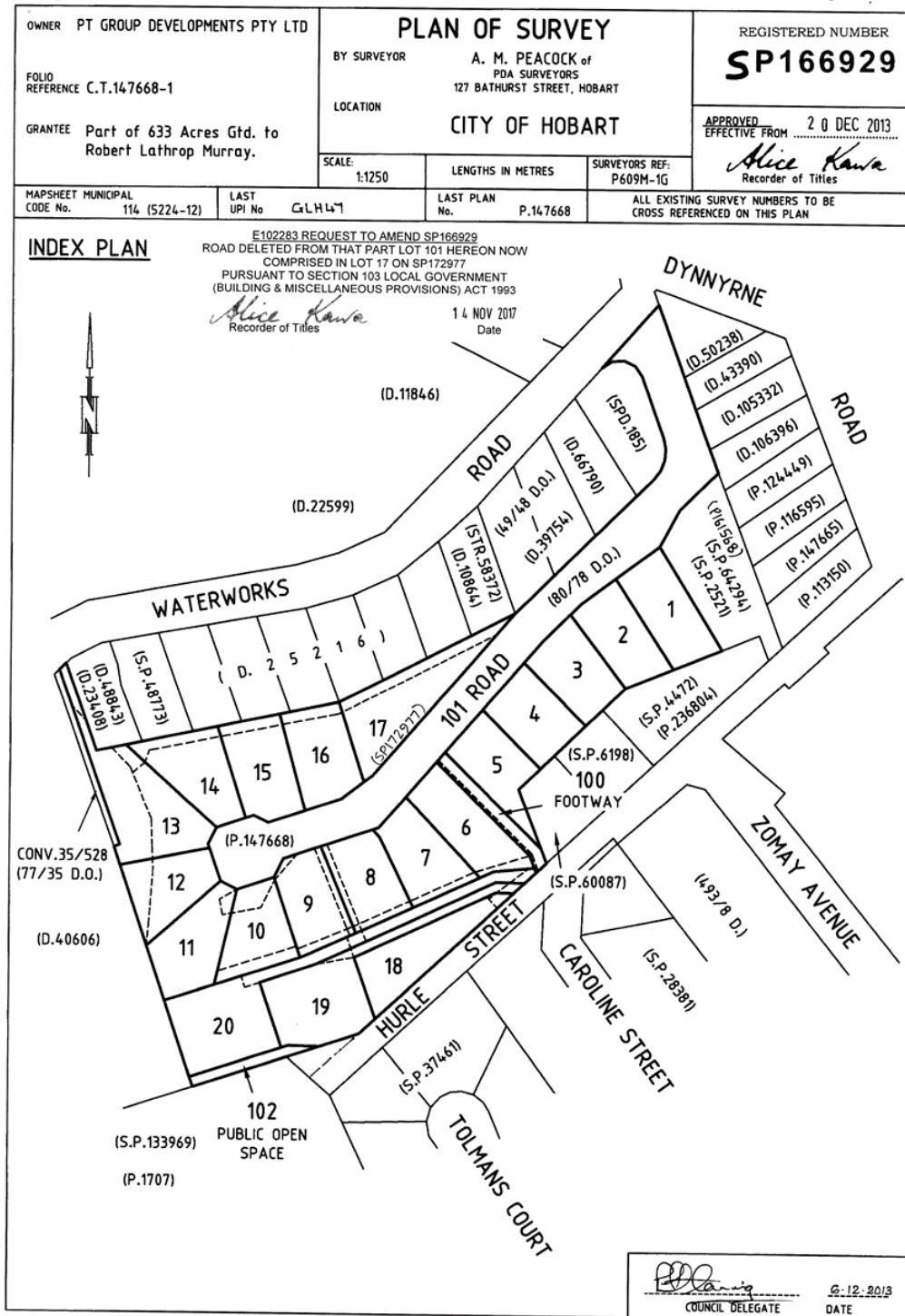
D49448 BURDENING EASEMENTS: A right of carriageway  
(appurtenant to Lot 8 on Sealed Plan 166929) over the  
land marked Right of Way 'D' shown on Sealed Plan  
166929

SP166929 WATER SUPPLY RESTRICTION

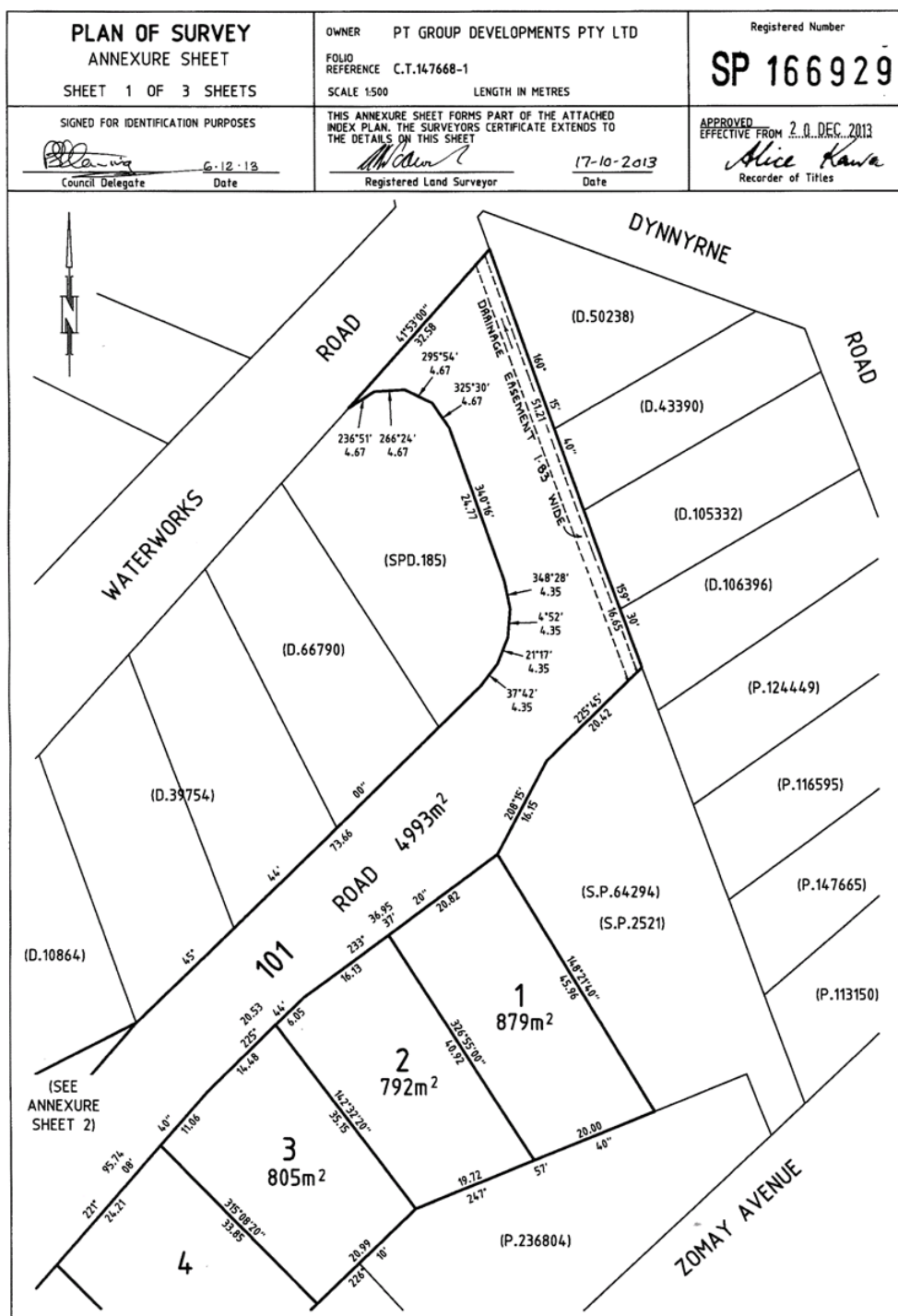
D103577 AGREEMENT pursuant to Section 71 of the Land Use  
Planning and Approvals Act 1993 Registered  
24-Sep-2013 at noonE75911 MORTGAGE to Commonwealth Bank of Australia  
Registered 05-Jan-2017 at 12.01 PMUNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations







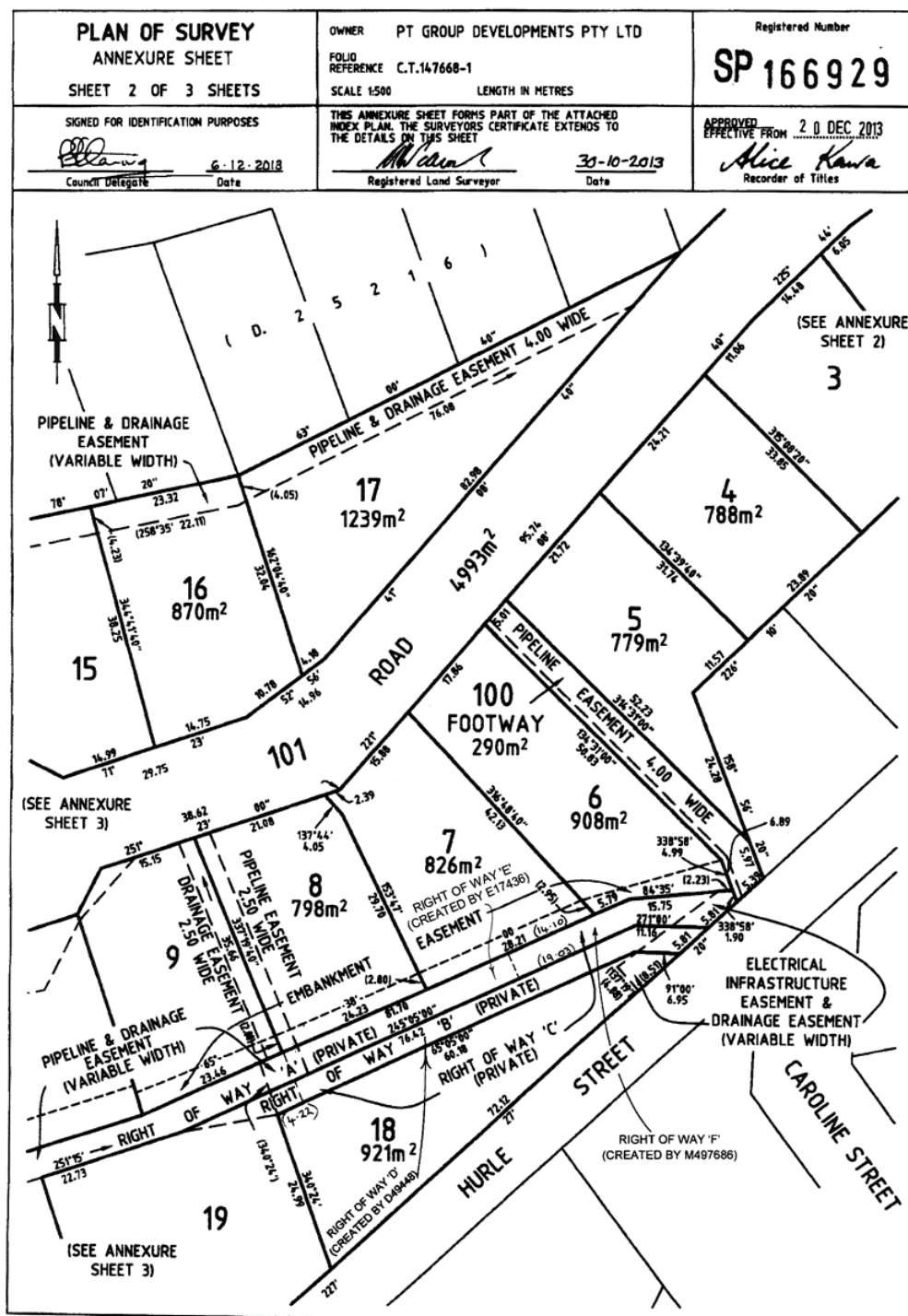




## FOLIO PLAN

RECORDED OF TITLES

*Issued Pursuant to the Land Titles Act 1980*





## FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

