



CITY OF HOBART

AGENDA

PLANNING COMMITTEE MEETING
OPEN PORTION
WEDNESDAY, 30 NOVEMBER 2022
AT 5:00 PM
COUNCIL CHAMBER, TOWN HALL



City of **HOBART**

THE MISSION

Working together to make Hobart a better place for the community.

THE VALUES

The Council is:

People	We care about people – our community, our customers and colleagues.
Teamwork	We collaborate both within the organisation and with external stakeholders drawing on skills and expertise for the benefit of our community.
Focus and Direction	We have clear goals and plans to achieve sustainable social, environmental and economic outcomes for the Hobart community.
Creativity and Innovation	We embrace new approaches and continuously improve to achieve better outcomes for our community.
Accountability	We are transparent, work to high ethical and professional standards and are accountable for delivering outcomes for our community.

ORDER OF BUSINESS

Business listed on the agenda is to be conducted in the order in which it is set out, unless the committee by simple majority determines otherwise.

APOLOGIES AND LEAVE OF ABSENCE

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Planning Committee Meeting (Open Portion) held Wednesday, 30 November 2022 at 5:00 pm in the Council Chamber, Town Hall.

This meeting of the Planning Committee is held in accordance with a Notice issued by the Premier on 31 March 2022 under section 18 of the *COVID-19 Disease Emergency (Miscellaneous Provisions) Act 2020*.

The title Chief Executive Officer is a term of reference for the General Manager as appointed by Council pursuant s.61 of the *Local Government Act 1993* (Tas).

COMMITTEE MEMBERS

Alderman S Behrakis (Chairman)
Lord Mayor Councillor A M Reynolds
Deputy Lord Mayor Councillor H Burnet
Alderman M Zucco
Councillor W F Harvey
Councillor M Dutta
Councillor Dr Z Sherlock
Councillor J Kelly
Councillor L Elliot
Alderman L Bloomfield
Councillor R Posselt
Councillor B Lohberger

Apologies:

Leave of Absence: Nil.

1. CONFIRMATION OF MINUTES

The minutes of the Open Portion of the City Planning Committee meeting held on [Monday, 24 October 2022](#), be confirmed as an accurate record.

2. CONSIDERATION OF SUPPLEMENTARY ITEMS

Ref: Part 2, Regulation 8(6) of the *Local Government (Meeting Procedures) Regulations 2015*.

Recommendation

That the Committee resolve to deal with any supplementary items not appearing on the agenda, as reported by the Chief Executive Officer.

3. INDICATIONS OF PECUNIARY AND CONFLICTS OF INTEREST

Ref: Part 2, Regulation 8(7) of the *Local Government (Meeting Procedures) Regulations 2015*.

Members of the Committee are requested to indicate where they may have any pecuniary or conflict of interest in respect to any matter appearing on the agenda, or any supplementary item to the agenda, which the Committee has resolved to deal with.

4. TRANSFER OF AGENDA ITEMS

Regulation 15 of the *Local Government (Meeting Procedures) Regulations 2015*.

A Committee may close a part of a meeting to the public where a matter to be discussed falls within 15(2) of the above regulations.

In the event that the Committee transfer an item to the closed portion, the reasons for doing so should be stated.

Are there any items which should be transferred from this agenda to the closed portion of the agenda, or from the closed to the open portion of the agenda?

5. PLANNING AUTHORITY ITEMS - CONSIDERATION OF ITEMS WITH DEPUTATIONS

In accordance with the requirements of Part 2 Regulation 8(3) of the *Local Government (Meeting Procedures) Regulations 2015*, the Chief Executive Officer is to arrange the agenda so that the planning authority items are sequential.

In accordance with Part 2 Regulation 8(4) of the *Local Government (Meeting Procedures) Regulations 2015*, the Committee by simple majority may change the order of any of the items listed on the agenda, but in the case of planning items they must still be considered sequentially – in other words they still have to be dealt with as a single group on the agenda.

Where deputations are to be received in respect to planning items, past practice has been to move consideration of these items to the beginning of the meeting.

RECOMMENDATION

That in accordance with Regulation 8(4) of the *Local Government (Meeting Procedures) Regulations 2015*, the Committee resolve to deal with any items which have deputations by members of the public regarding any planning matter listed on the agenda, to be taken out of sequence in order to deal with deputations at the beginning of the meeting.

5.1 APPLICATIONS UNDER THE HOBART INTERIM PLANNING SCHEME 2015

5.1.1 14 MARLBOROUGH STREET, SANDY BAY - PARTIAL DEMOLITION, ALTERATIONS AND CHANGE OF USE TO TWO MULTIPLE DWELLINGS PLN-22-361 - FILE REF: F22/118733

Address: 14 Marlborough Street, Sandy Bay

Proposal: Partial Demolition, Alterations and Change of Use to Two Multiple Dwellings

Expiry Date: 2 December 2022


Extension of Time: Not applicable


Author: Victoria Maxwell


RECOMMENDATION

That pursuant to the *Hobart Interim Planning Scheme 2015*, the Planning Committee refuse the application for partial demolition, alterations, and change of use to two multiple dwellings at 14 Marlborough Street, Sandy Bay 7005 for the following reason:

- 1 The proposal does not meet the acceptable solution or the performance criterion with respect to clause E6.6.1 A1 and P1 of the *Hobart Interim Planning Scheme 2015* because the number of on-site car parking spaces is not sufficient to meet the reasonable needs of users, having regard to the car parking demand and the availability of on-street and public car parking in the locality.

Attachment A: PLN-22-361 - 14 MARLBOROUGH STREET SANDY BAY TAS 7005 - Planning Committee or Delegated Report 

Attachment B: PLN-22-361 - 14 MARLBOROUGH STREET SANDY BAY TAS 7005 - PC Agenda Documents 

Attachment C: PLN-22-361 - 14 MARLBOROUGH STREET SANDY BAY TAS 7005 - Planning Referral Officer Development Engineering Report 

**APPLICATION UNDER HOBART INTERIM PLANNING SCHEME 2015**

Type of Report: Committee
Committee: 30 November 2022
Expiry Date: 2 December 2022
Application No: PLN-22-361
Address: 14 MARLBOROUGH STREET , SANDY BAY
Applicant: Phillip Stary
11 Glover Drive
Proposal: Partial Demolition, Alterations, and Change of Use to Two Multiple Dwellings
Representations: No representations
Performance criteria: Parking and access - Number of parking spaces.

1. Executive Summary

- 1.1 Planning approval is sought for Partial Demolition, Alterations, and Change of Use to Two Multiple Dwellings at 14 Marlborough Street, Sandy Bay.
- 1.2 More specifically the proposal includes:
- retrospective approval for a change of a single dwelling into a multiple dwelling;
 - demolition and internal alterations, converting three (3) dwellings created without a permit on the site into two multiple dwellings;
 - the two multiple dwellings will occupy the upper and lower floors respectively;
 - new external deck to be attached to front of the upper floor flat, providing additional private open space for the upper flat;
 - alterations to parking and access;
 - two parking spaces only, relying on jockey parking configuration.
- 1.3 The proposal relies on performance criteria to satisfy the following standards and codes:
- 1.3.1 Parking and Access Code - Number of Parking Spaces, Layout of Parking Area
- 1.4 No representations were received during the statutory advertising period between 4th to 18th November 2022.

- 1.5 The proposal is recommended for refusal.
- 1.6 The final decision is delegated to the Planning Committee, because the application is recommended for refusal.

2. Site Detail

- 2.1 The site is located on the eastern side of Marlborough Street, Sandy Bay. The site contains an existing dwelling on a roughly 707m² lot. The existing dwelling is currently being used as three (3) self contained dwellings without a permit. Enforcement action is currently underway against the landowner.

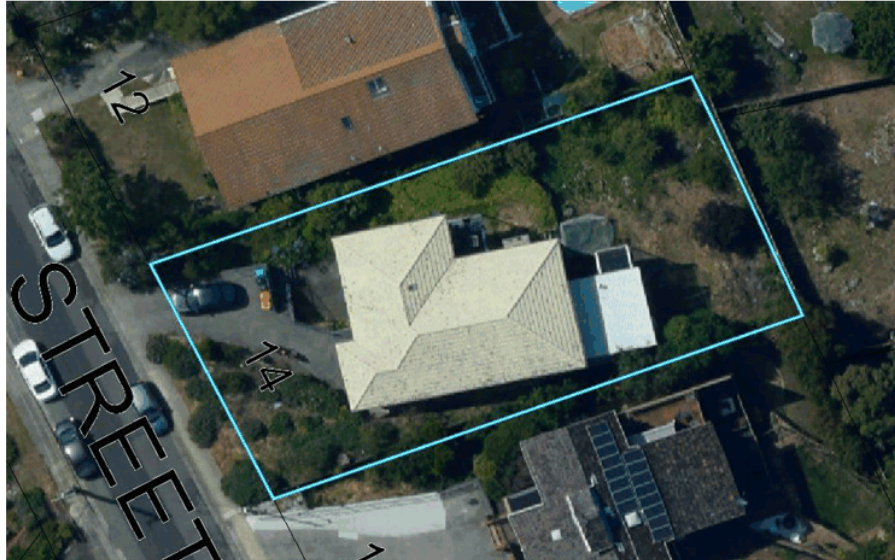


Figure 1: Site plan (Geo Cortex, 2022)

Surrounding uses are predominantly single dwellings on large residential lots. The site contains a two storey brick and tile dwelling, constructed in the 1980s. It is currently being used, without a permit, for between two and three flats. Officer inspections have repeatedly noted a third dwelling downstairs, created from underfloor area and laundry from that living space.



Figure 2: Front view from road reserve (the proposed upper deck will be constructed behind the railing to upper windows with privacy screening around) (Google Streeview, 2022)

The site has a significant slope down to the north east. There is a leveled parking deck in front of the dwelling, which can accommodate two (2) parking spaces in a jockey parking configuration.

3. Proposal

3.1 Planning approval is sought for Partial Demolition, Alterations, and Change of Use to Two Multiple Dwellings at 14 Marlborough Street, Sandy Bay.

3.2 More specifically the proposal includes:

- retrospective approval for a change of a single dwelling into a multiple dwelling;
- demolition and internal alterations, converting three (3) dwellings created without a permit on the site into two multiple dwellings;
- the two multiple dwellings will occupy the upper and lower floors respectively;
- new external deck to be attached to front of the upper floor flat, providing additional private open space for the upper flat;
- alterations to parking and access;
- two parking spaces only, relying on jockey parking configuration.

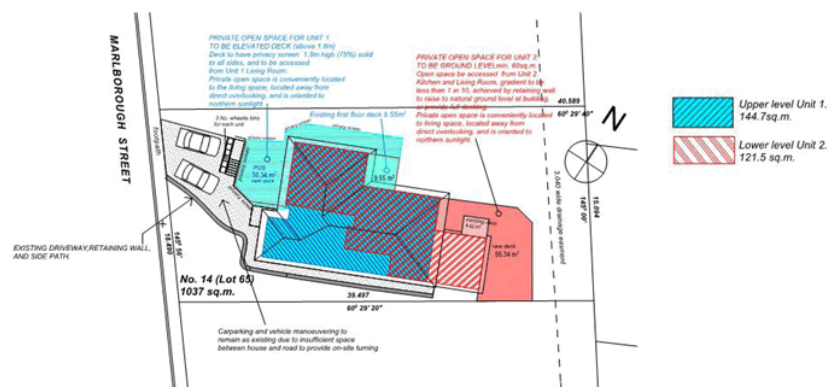


Figure 2: Proposed Site Plan (Stary, 2022)

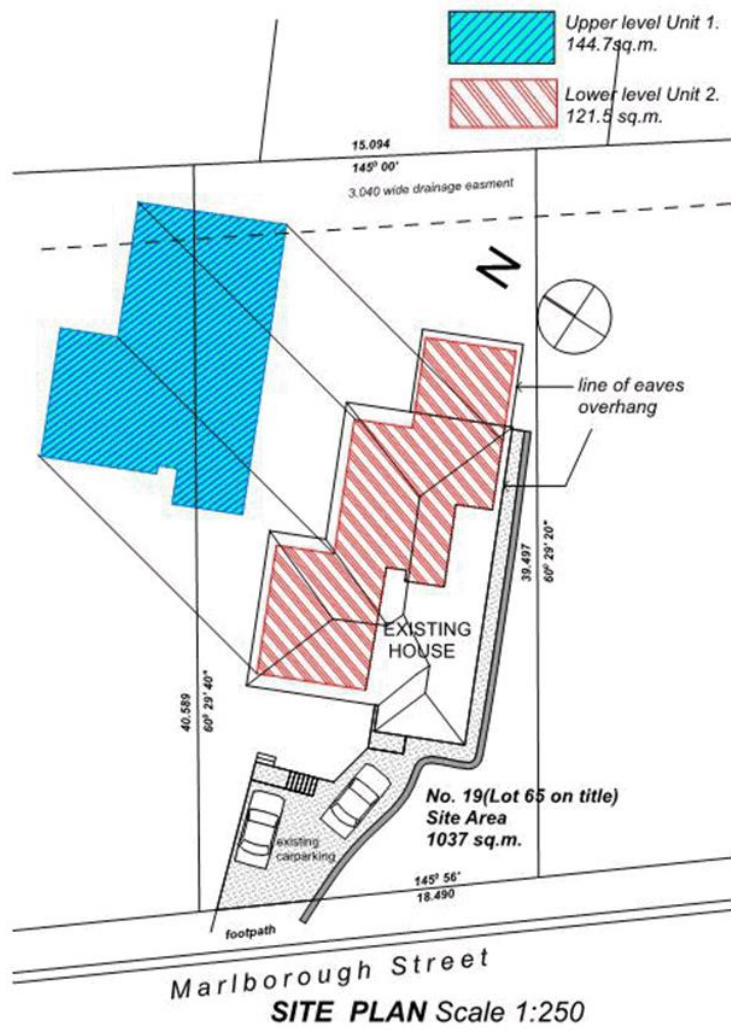


Figure 4: Plan of proposed upper and lower floor footprints (blue located above red) (Stary, 2022)

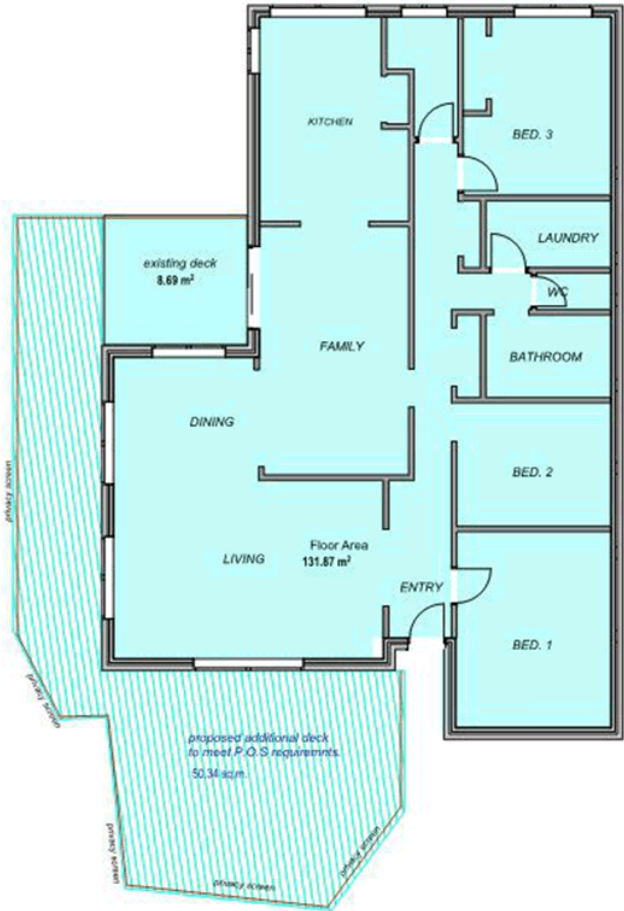


Figure 4: Upper floor plan with proposed deck to be constructed to provide private open space to that dwelling) (Stary, 2022)

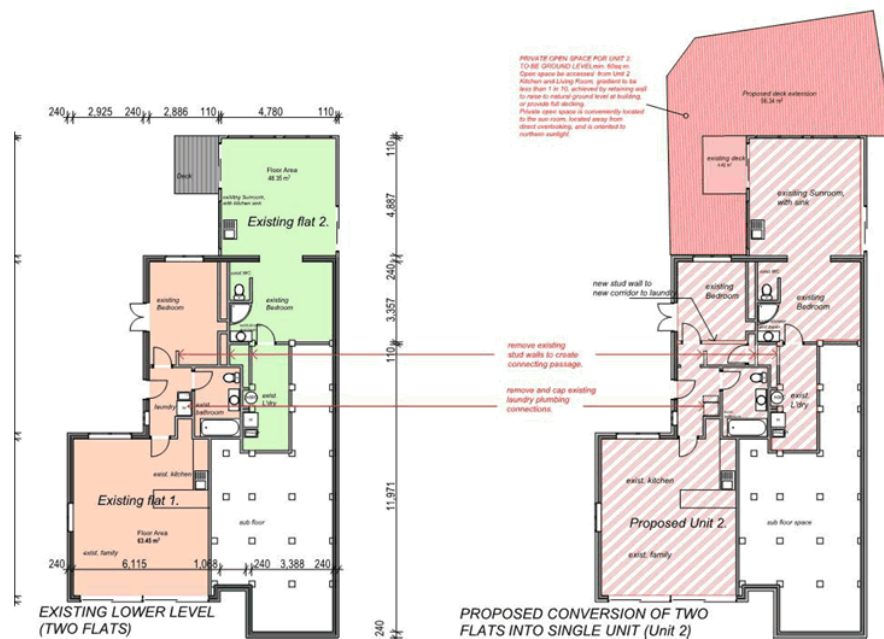


Figure 5: Existing and proposed lower floor plan, to convert the two habitable spaces into one (Stary, 2022)

4. Background

- 4.1 The dwelling was constructed in 1972 as a single dwelling with the accommodation on the upper floor and garage on the lower level. (BLD-72270).

In May 2002 a Notice of Illegal works was served for the following;

- 1 elevated parking deck, associated concrete access stairs, balustrades, retaining structures.
- 2 The lower level development to create habitable spaces and facilities.
- 3 Timber retaining wall structures on the rear yard which retain earth to a height in excess of 1000mm.
- 4 Decks attached to the lower level habitable rooms.

PLN-200617 approved the building as a single dwelling with a downstairs family room, including bar (presumably previous non approved kitchen). No laundry was shown downstairs.

- 4.2 The property was sold in 2012, with the 337 Certificate showing the PLN-200617 Planning Permit for a Single Dwelling.

PLN-13-00650-01 exempted the proposed House extension from the need for Planning Approval. This was for a small sun-room to the rear of the dwelling on the lower floor.

- 4.3 At some time since then, the dwelling was converted into three (3) flats; two downstairs and the original floor layout from 1972 upstairs.

Enforcement action under ENF-18-210 was commenced in October 2018.

Three applications (including the current application) have been submitted to attempt to legalise the three flats;

PLN-19-148 - three (3) Multiple Dwellings - Withdrawn
PLN-20-495 - three (3) multiple dwellings - withdrawn

- 4.4 The current application proposes two flats; using the existing floor plan for upstairs and a combined plan, integrating the two flats downstairs by the demolition of internal walls to enable full use of the downstairs area.

5. Concerns raised by representors

- 5.1 No representations were received during the statutory advertising period between 4th and 18th November 2022.

6. Assessment

- 6.1 The *Hobart Interim Planning Scheme 2015* is a performance based planning scheme. To meet an applicable standard, a proposal must demonstrate compliance with either an acceptable solution or a performance criterion. Where a proposal complies with a standard by relying on one or more performance criteria, the Council may approve or refuse the proposal on that basis. The ability to approve or refuse the proposal relates only to the performance criteria relied on.
- 6.2 The site is located within the General Residential zone of the *Hobart Interim Planning Scheme 2015*.
- 6.3 The existing use is approved as a Single dwelling, but it is being as three flats

without a permit. The proposed use is Multiple Dwelling (two units). The existing approved use (Single dwelling) is a No Permit Required use in the zone. The proposed use is a Permitted use in the zone.

6.4 The proposal has been assessed against:

6.4.1 D10.0 General Residential Zone

6.4.2 E6.0 Parking and Access Code

6.4.3 E7.0 Stormwater Management Code

6.5 The proposal relies on the following performance criteria to comply with the applicable standards:

6.5.1 Parking and Access Code:

Number of Parking Spaces - E6.6.1 P1

6.6 Each performance criterion is assessed below.

6.7 Parking and Access Code - Number of Parking Spaces

6.7.1 The acceptable solution at clause 6.6.1 requires compliance with Table 6.1, which requires two (2) parking spaces for each two or more bedroom dwelling.

6.7.2 The proposal includes two parking spaces originally approved under PLN-200617 for the single dwelling.

6.7.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.

6.7.4 The performance criterion at clause 6.6.1 P1 provides as follows:

The number of on-site car parking spaces must be sufficient to meet the reasonable needs of users, having regard to all of the following:

(a) car parking demand;

(b) the availability of on-street and public car parking in the locality;

(c) the availability and frequency of public transport within a 400m walking distance of the site;

- (d) the availability and likely use of other modes of transport;*
- (e) the availability and suitability of alternative arrangements for car parking provision;*
- (f) any reduction in car parking demand due to the sharing of car parking spaces by multiple uses, either because of variation of car parking demand over time or because of efficiencies gained from the consolidation of shared car parking spaces;*
- (g) any car parking deficiency or surplus associated with the existing use of the land;*
- (h) any credit which should be allowed for a car parking demand deemed to have been provided in association with a use which existed before the change of parking requirement, except in the case of substantial redevelopment of a site;*
- (i) the appropriateness of a financial contribution in lieu of parking towards the cost of parking facilities or other transport facilities, where such facilities exist or are planned in the vicinity;*
- (j) any verified prior payment of a financial contribution in lieu of parking for the land;*
- (k) any relevant parking plan for the area adopted by Council;*
- (l) the impact on the historic cultural heritage significance of the site if subject to the Local Heritage Code;*
- (m) whether the provision of the parking would result in the loss, directly or indirectly, of one or more significant trees listed in the Significant Trees Code.*

- 6.7.5 The application was referred to Council's Development Engineer, who advised the following;

Overview:

This proposal is not supported and recommended refusal due to the number of on-site car parking spaces available being insufficient to meet the reasonable needs of users, having regard to;

- car parking demand;
- the availability of on-street and public car parking in the locality;
- the availability and frequency of public transport within a 400m walking distance of the site; and
- the availability and likely use of other modes of transport.

The proposal is not supported on the basis that:

- It does not ensure sufficient parking is provided on site to minimise on-street parking and maximise the efficiency of the road network;
- It does not ensure that vehicle parking areas do not adversely impact on

amenity (subject site and surrounding properties);

- The relatively narrow highway reservation is not suitable for long-term on-street car parking;
- Surrounding properties in the immediate area appear to have the ability to park at least two (2x) vehicles (per dwelling) wholly contained within the property boundary;
- Lack of public car parking facilities in the locality;
- Limited access to public transport in this area;
- The site is not located a convenient walking distance from shops, schools and services; and
- Marlborough Street is a steep traverse (presents challenges for walking / bicycle riding / scootering).

It is noted that:

- The applicant decided to proceed as is and not seek a traffic impact statement prepared by a suitably qualified traffic engineer demonstrating the development will not adversely impact the road network and on-street parking (addressing Council's concerns); knowing Council's recommendation for refusal; and
- The applicant decided not to modify the existing car parking area to facilitate additional parking on-site.

Assessment:

The parking number assessment must satisfy either Acceptable Solutions or Performance Criteria for each clause of the Hobart Interim Planning Scheme 2015 (HIPS 2015).

Acceptable solution - A1:

NOT MET: The proposal includes two (2x) on-site car parking spaces, which is three (3x) less than required by Table E6.1.

The number of on-site car parking spaces must be:

(a) no less than and no greater than the number specified in Table E6.1;

Table E6.1 requires:

- A Multiple Dwelling containing 2 or more bedrooms (including all rooms capable of being used as a bedroom) to have two (2x) on-site car parking spaces.
- Proposal is for 2 dwellings with 2 or more bedrooms, therefore each requires two spaces, therefore four spaces total are required.
- One (1x) dedicated visitor parking space per 4 dwellings (rounded up to the nearest whole number).

Total = five (5x) car parking spaces required.

- Residential car parking space layout may utilise 'Jockey Parking' configuration in which the one car parking space is behind another car parking space provided it serves the same dwelling and is not designated for visitors.

Performance Criteria - P1:

NOT MET: The applicant has decided to proceed as is and not seek a traffic impact statement prepared by a suitably qualified traffic engineer demonstrating the development will not adversely impact the road network and on-street parking (addressing Council's concerns); knowing it has to be recommended for refusal.

The number of on-site car parking spaces must be sufficient to meet the reasonable needs of users, having regard to all of the following:

(a) car parking demand;

- Based on Council's records, observations and experience the provision of 2x on-site car parking spaces (jockey configuration) being able to be allocated to only one (1x) dwelling will not sufficiently meet the likely demands associated with the development;
- One (1x) dwelling will solely rely on on-street parking; and
- Both dwellings will solely rely on on-street parking for any on-site visitor parking.

(b) the availability of on-street and public car parking in the locality;

- No public car parking exist in the vicinity (2km>) of the development site;
- "No Stopping / No parking" yellow linemarking on the road (Marlborough Street) directly across from the development site;
- Three (3x) internal lots across from the development site would already rely for on-street for visitor parking;
- Relatively narrow highway reservation is not suitable for long-term on-street car parking;
- Surrounding properties in the immediate area appear to have the ability to park at least two (2x) vehicles (per dwelling) wholly contained within the property boundary; and
- On-street parking appears already well utilised.

(c) the availability and frequency of public transport within a 400m walking distance of the site;

- Metro Tasmania currently operate only one (1x) bus service (401) along Churchill Avenue which is within 400 metres of the subject site;
- Weekdays and Saturday on an hourly basis 7am to 6pm and every 2 hours > 6pm to 12am;
- Sunday and public holiday every 2 hours 10am - 8pm;
- Marlborough Street is a steep traverse (presents challenges for walking); and
- <https://www.metrotas.com.au/timetables/hobart/sandy-bay-to-hobart/>

(d) the availability and likely use of other modes of transport;

- The site is not located a convenient walking distance from shops, schools and services; and
- Residents would likely rely highly on a car for transport as Marlborough Street is a steep traverse (presents challenges for walking / bicycle riding / scootering).

(e) the availability and suitability of alternative arrangements for car parking provision;

- No alternative parking provision is available.

(f) any reduction in car parking demand due to the sharing of car parking spaces by multiple uses, either because of variation of car parking demand over time or because of efficiencies gained from the consolidation of shared car parking spaces;

- Not applicable.

(g) any car parking deficiency or surplus associated with the existing use of the land;

- Not applicable.

(h) any credit which should be allowed for a car parking demand deemed to have been provided in association with a use which existed before the change of parking requirement, except in the case of substantial redevelopment of a site;

- Not applicable.

(i) the appropriateness of a financial contribution in lieu of parking towards the cost of parking facilities or other transport facilities, where

such facilities exist or are planned in the vicinity;

- Not applicable.

(j) any verified prior payment of a financial contribution in lieu of parking for the land;

- The City's current position is not to support a financial contribution in lieu of parking for developments.

(k) any relevant parking plan for the area adopted by Council;

- Not applicable.

(l) the impact on the historic cultural heritage significance of the site if subject to the Local Heritage Code; and

- Not applicable.

(m) whether the provision of the parking would result in the loss, directly or indirectly, of one or more significant trees listed in the Significant Trees Code.

- No impact.

Based on the documentation submitted to date and given the above assessment, it is considered that the parking provision is unable to meet the Performance Criteria P1:E6.6.1 of the Planning Scheme. This is particularly due to the actual parking demands that will be generated by the development and available parking

6.7.6 The proposal does not comply with the performance criterion.

7. Discussion

- 7.1 Planning approval is sought for Partial Demolition, Alterations, and Change of Use to Two Multiple Dwellings at 14 Marlborough Street, Sandy Bay.
- 7.2 The application was advertised and no representations were received.
- 7.3 The proposal has been assessed against the relevant provisions of the planning scheme and is considered to not perform well.

7.4 The proposal has been assessed by other Council officers, including the Council's Development Engineer and Traffic. The officers have raised objection to the proposal.

7.5 The proposal is recommended for refusal.

8. Conclusion

8.1 The proposed Partial Demolition, Alterations, and Change of Use to Two Multiple Dwellings at 14 Marlborough Street, Sandy Bay does not satisfy the relevant provisions of the *Hobart Interim Planning Scheme 2015*, and as such is recommended for refusal.

9. Recommendations

That: Pursuant to the *Hobart Interim Planning Scheme 2015*, the Planning Committee, in accordance with the delegations contained in its terms of reference, refuses the application for Partial Demolition, Alterations, and Change of Use to Two Multiple Dwellings at 14 Marlborough Street, Sandy Bay for the following reason:

- 1 The proposal does not meet the acceptable solution or the performance criterion with respect to clause E6.6.1 A1 and P1 of the *Hobart Interim Planning Scheme 2015* because the number of on-site car parking spaces is not sufficient to meet the reasonable needs of users, having regard to the car parking demand and the availability of on-street and public car parking in the locality.



(Victoria Maxwell)

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.



(Ben Ikin)

Senior Statutory Planner

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

Date of Report: 22 November 2022

Attachment(s):

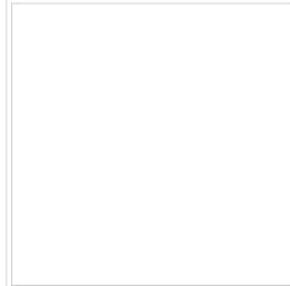
Attachment B - CPC Agenda Documents

Attachment C - Planning Referral Officer Report

Planning: #258344

Property

14 MARLBOROUGH STREET SANDY BAY TAS 7005

**People****Applicant ***

Phillip Stary
11 Glover Drive
SANDY BAY TAS 7005
0419 363 489
architect@netspace.net.au

Owner *

Lyn Chicote
14 Marlborough Street
SANDY BAY TAS 7005
0438 690 442
lynchicote@gmail.com

Entered By

PHILLIP STARY
0419 363 489
architect@netspace.net.au

Use

Multiple dwellings

Details

Have you obtained pre application advice?

☒ No

If YES please provide the pre application advice number eg PAE-17-xx

Are you applying for permitted visitor accommodation as defined by the State Government Visitor Accommodation Standards? Click on help information button for definition. If you are not the owner of the property you MUST include signed confirmation from the owner that they are aware of this application. *

☒ No

Is the application for SIGNAGE ONLY? If yes, please enter \$0 in the cost of development, and you must enter the number of signs under Other Details below. *

☒ No

If this application is related to an enforcement action please enter Enforcement Number

Details

What is the current approved use of the land / building(s)? *

residential

Please provide a full description of the proposed use or development (i.e. demolition and new dwelling, swimming pool and garage) *

Convert existing dwelling into two flats

Estimated cost of development *

30000.00

Existing floor area (m2)

266.00

Proposed floor area (m2)

266.00

Site area (m2)

1037

Carparking on Site

Total parking spaces

3

Existing parking spaces

2

N/A

☒ Other (no selection chosen)

Other Details

Does the application include signage? *

☒ No

How many signs, please enter 0 if there are none involved in this application? *

0

Tasmania Heritage Register

Is this property on the Tasmanian Heritage Register?

☒ No

Documents

Required Documents

Title (Folio text and Plan and FolioPlan-63384-65 (1).pdf
Schedule of Easements) *Title (Folio text and Plan and FolioText-63384-65.pdf
Schedule of Easements) *Title (Folio text and Plan and ScheduleOfEasements-63384-65.pdf
Schedule of Easements) *

Plans (proposed, existing) * DA 1 Cover Sheet and Site Plan.PDF

Plans (proposed, existing) * DA 2 Car parking.PDF

Plans (proposed, existing) * DA 3 Lower Level Floor Plan.PDF

Plans (proposed, existing) * DA 4 Upper level Floor Plan.PDF

From: Phillip Stary <architect@netspace.net.au>
Sent: Tuesday, 1 November 2022 2:26 PM
To: Victoria Maxwell
Subject: 14 Marlborough St., Sandy Bay

Caution! This message was sent from outside your organization.

[Allow sender](#) | [Block sender](#)

Hello Victoria,

Please proceed with the development application, in it's current form, without any further detailing of car parking, turning circles or traffic management.

Many thanks for all your valued assistance in the matter.

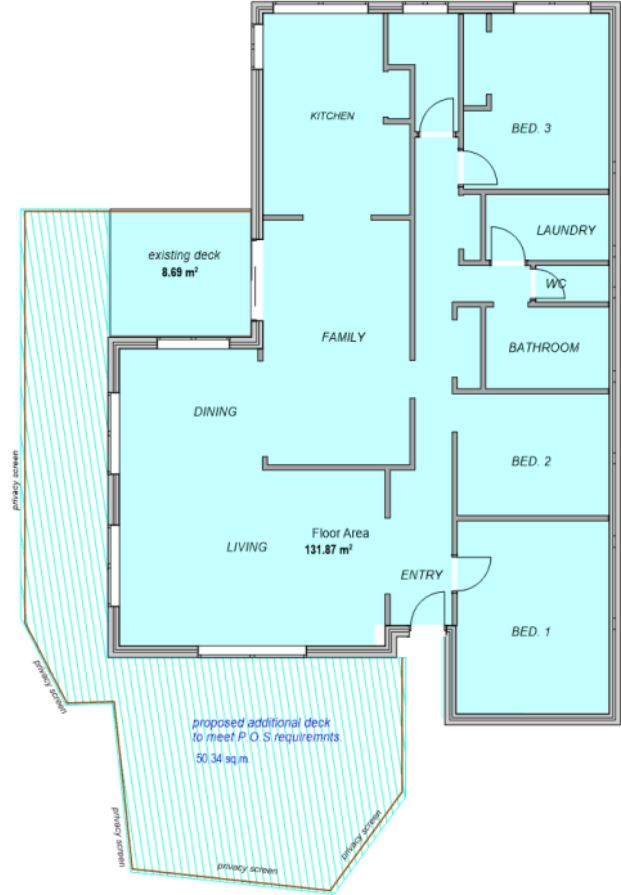
Regards

Phillip


Phillip Stary Architects

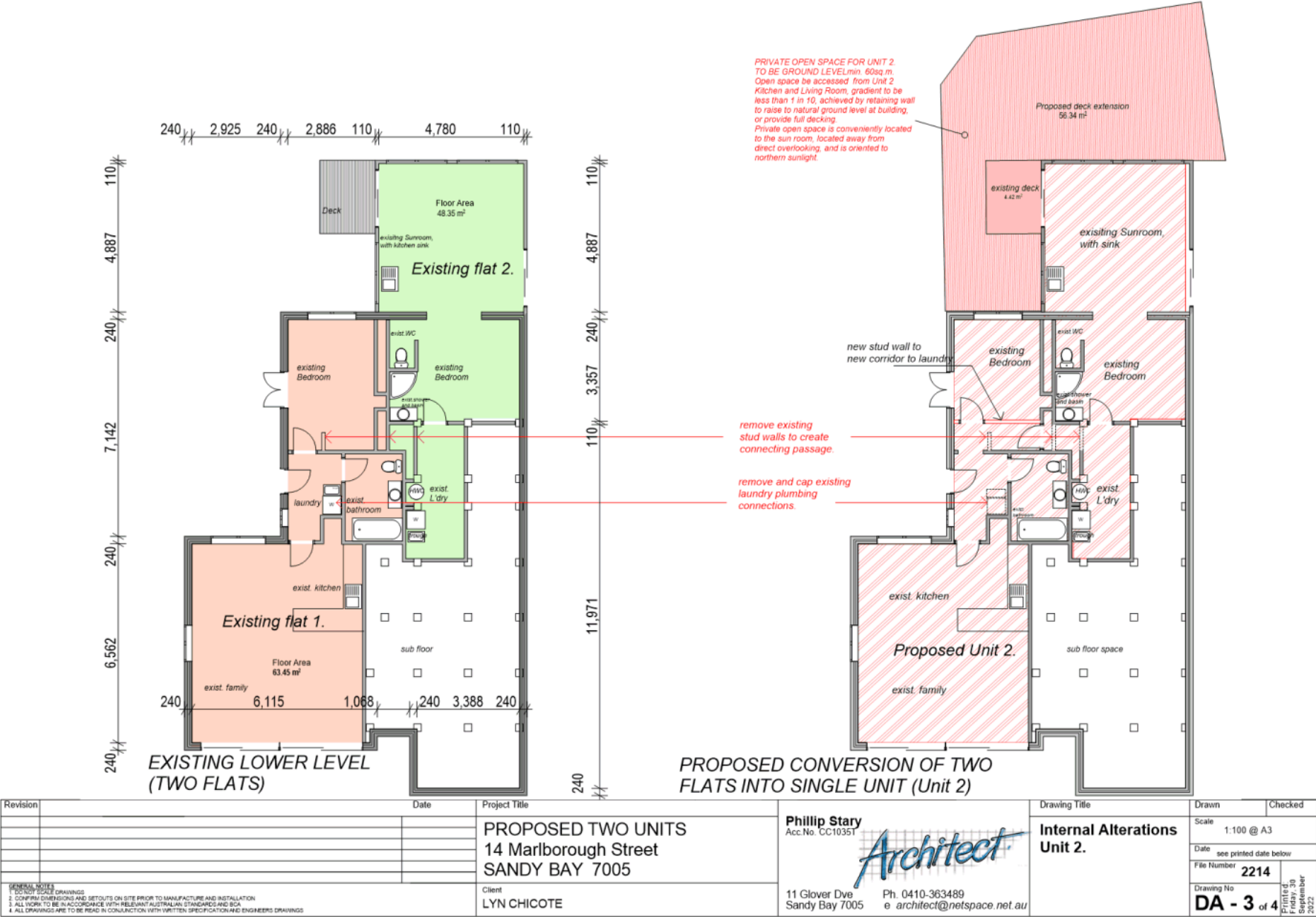
Ph: 0419 363 489

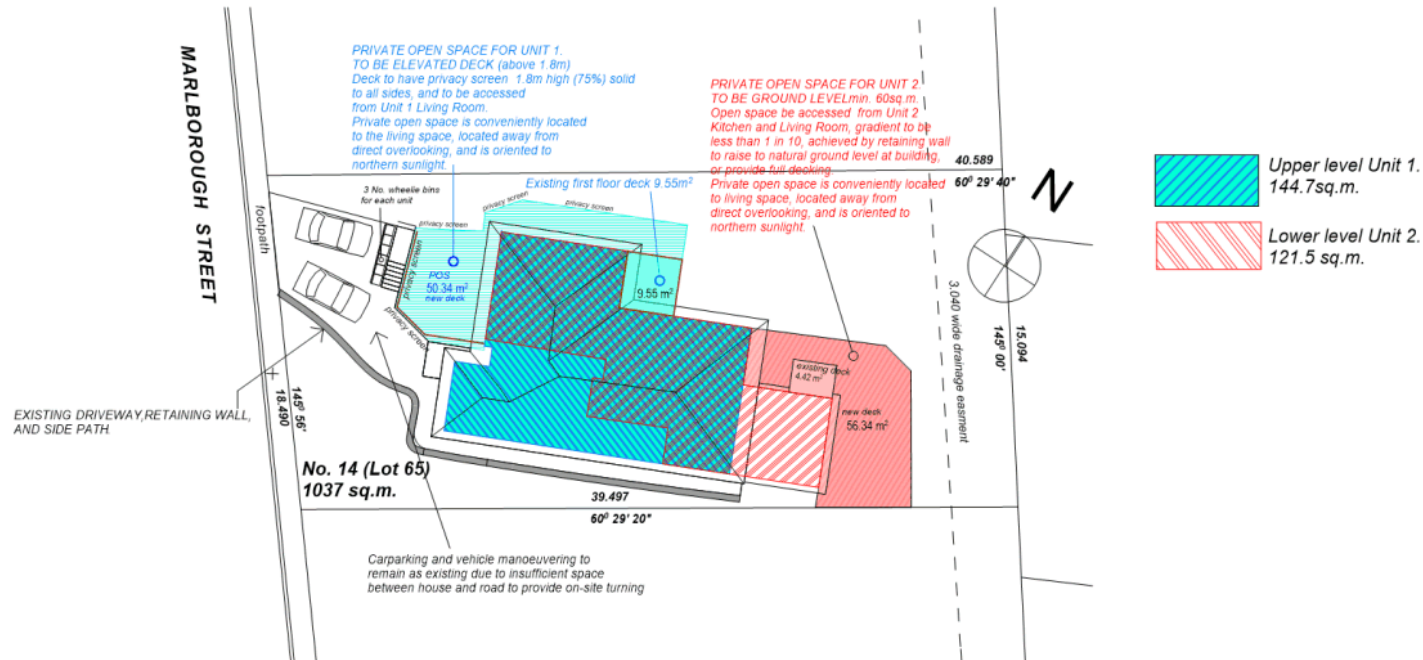
architect@netspace.net.au



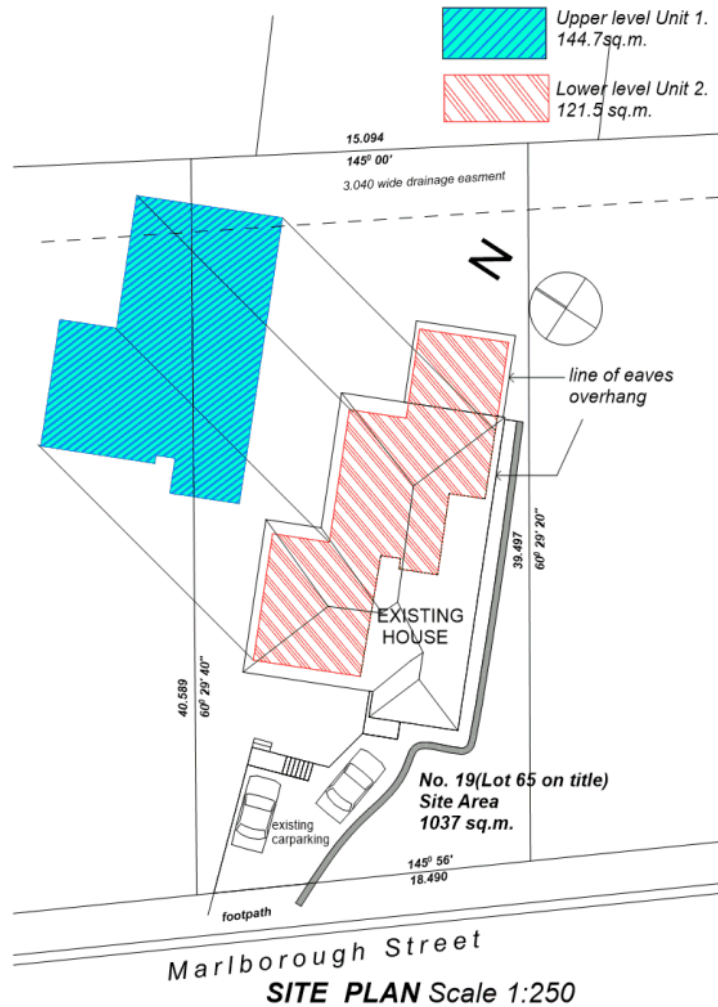
EXISTING SINGLE UNIT (Unit 1)

Revision	Date	Project Title	Phillip Stary Acc.No. CC10351	Drawing Title	Drawn	Checked
		PROPOSED TWO UNITS	 11 Glover Dve Sandy Bay 7005 Ph. 0410-363489 e. architect@netspace.net.au	Upper level Floor Plan	Scale	1:100 @ A3
		14 Marlborough Street			Date	see printed date below
		SANDY BAY 7005			File Number	2214
		Client LYN CHICOTE			Drawing No	DA - 4 of 4
GENERAL NOTES 1. CONSULT SITE DRAWINGS 2. CONFIRM DIMENSIONS AND DETAILS ON SITE PRIOR TO MANUFACTURE AND INSTALLATION 3. ALL WORK TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND SCA 4. ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH WRITTEN SPECIFICATION AND ENGINEERS DRAWINGS					Printed Friday, 30 September 2022	





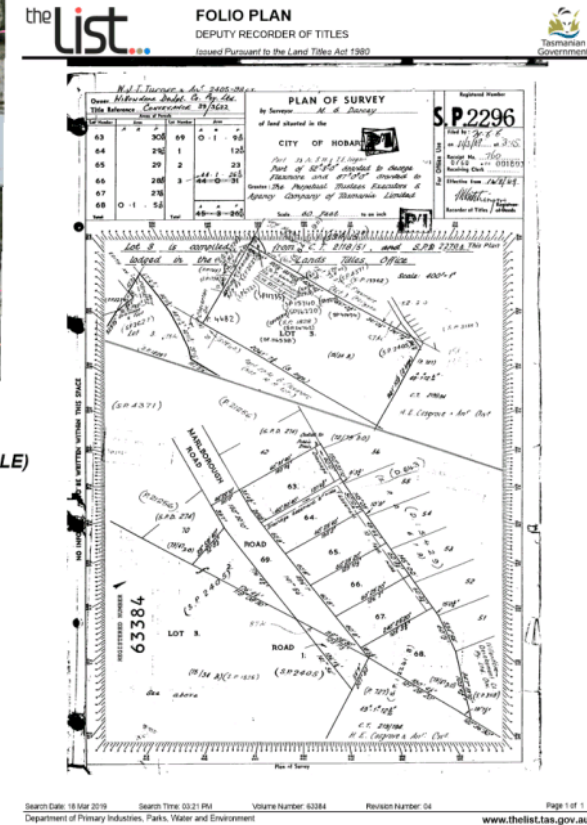
Revision	Date	Project Title	Phillip Stary Acc. No. CC1035T	Architect	Drawing Title	Drawn	Checked
		PROPOSED TWO UNITS			Car parking		
		14 Marlborough Street				Scale	1:250 @ A3
		SANDY BAY 7005				Date	refer printed date below
		Client				Job Number	2214
		LYN CHICOTE				Drawing No	DA - 2 of 4
GENERAL NOTES			11 Glover Drive Sandy Bay 7005	ph 0419 363 489 architect@netspace.net.au		Printed	Friday 30 September 2022
DO NOT SCALE DRAWINGS							
CONFIRM DIMENSIONS AND SETOUTS ON SITE PRIOR TO MANUFACTURE AND INSTALLATION							
ALL WORK IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND SCA							
ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH WRITTEN SPECIFICATION AND ENGINEERS DRAWINGS							



DRAWING LIST
BA1 Site Plan
BA2 Car Park Plan
BA3 Lower Floor Plan
BA4 Upper Floor Plan

Land Title reference

Vol. 63384 Fol. 65



Revision	Date	Project Title	Phillip Stary Acc. No. CC1035T	Drawing Title	Drawn	Checked
		PROPOSED TWO UNITS 14 Marlborough Street SANDY BAY 7005	Architect	Cover Sheet and Site Plan	Scale 1:250 @ A3	
GENERAL NOTES DO NOT SCALE DRAWINGS CONFIRM DIMENSIONS AND SETOUTS ON SITE PRIOR TO MANUFACTURE AND INSTALLATION ALL WORK IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND SCA ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH WRITTEN SPECIFICATION AND ENGINEERS DRAWINGS			Client LYN CHICOTE	11 Glover Drive Sandy Bay 7005	Date refer printed date below	
				ph 0419 363 489 e architect@netspace.net.au	Job Number 2214	
					Drawing No DA - 1 of 4	Printed Friday 30 September 2022

**RESULT OF SEARCH**

DEPUTY RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

SEARCH OF TORRENS TITLE

VOLUME	FOLIO
63384	65
EDITION	DATE OF ISSUE
8	24-Jan-2013

SEARCH DATE : 18-Mar-2019

SEARCH TIME : 03.20 PM

DESCRIPTION OF LAND

City of HOBART

Lot 65 on Sealed Plan 63384 (formerly being SP2296)

Derivation : Part of 52A-3R-0Ps. Gtd. to G. Flexmore

Prior CT 2525/3

SCHEDULE 1

D66869 TRANSFER to LEONITA GAMAYOT PUTIAN CHICOTE
Registered 09-Nov-2012 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP 63384 EASEMENTS in Schedule of Easements

D66911 MORTGAGE to Commonwealth Bank of Australia

Registered 09-Nov-2012 at 12.02 PM

D66908 INSTRUMENT Creating Restrictive Covenants Registered

24-Jan-2013 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



SCHEDULE OF EASEMENTS

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



SCHEDULE OF EASEMENTS

PLAN NO.

S.P 2296

NOTE:—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

Each Lot in Column A is

1. TOGETHER WITH a right of drainage over the drainage easement shown thereon passing through the Lots specified opposite thereto in Column B and
2. SUBJECT TO a right of drainage over the drainage easement passing through that Lot as appurtenant to the Lots shown thereon and specified opposite thereto in Column C and for the Corporation wherever so specified herein

Column A	Column B	Column C
Lot 63	Nil	64-68 Corporation
Lot 64	63	65-68 ⁺ Corporation ^o
Lot 65	63 and 64 ⁺	66 - 68
Lot 66	63, 64 ⁺ and 65	67 - 68
Lot 67	63, 64 ⁺ 65 and 66	68
Lot 68	63, 64 ⁺ 65, 66 and 67	Nil

- + Affected Easement along North East boundary only
- o Affected Easement along North West boundary only

INTERPRETATION "Corporation" means the Mayor, Aldermen and Citizens of the City of Hobart

SEALED by WILLOWDENE DEVELOPMENT COMPANY PTY. LTD. the Beneficial owner of the land described in Indenture of Conveyance Registered No. 39/3632



SIGNED by WILLIAM JOHN THOMAS TURNER and NONA MAY TURNER the Registered Proprietors of the land comprised and described in Certificate of Title Registered Volume 2118 Folio 51 in the presence of:

W. J. T. Turner
N. M. Turner
Witness
Hobart

W. J. T. Turner
N. M. Turner



SCHEDULE OF EASEMENTS

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



SEALED by GORDON JENNINGS CIVIL
CONSTRUCTIONS PROPRIETARY LIMITED
Mortgagee under Indenture of
Mortgage No. 39/3633



SIGNED SEALED AND DELIVERED for and
on behalf of COMMONWEALTH TRADING
BANK OF AUSTRALIA Mortgagee under
Memorandum of Mortgage No. A 216352
by MARICE JAMES
its duly constituted Attorney in the
presence of:

Marice James

James
ALICE JAMES, Solicitor

UNDER POWER OF ATTORNEY No. 2435
who hereby certifies that he has
received no notice of revocation
of the said power.

CERTIFIED CORRECT FOR THE PURPOSES OF THE REAL PROPERTY ACT 1962 AS AMENDED.

[Signature]

Solicitor For The Subdivisor.



SCHEDULE OF EASEMENTS

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



This is the schedule of easements attached to the plan of Lots 1-3, and 63-69,
Marlborough Road comprising part of the land in
Indenture of Mortgage 39/3632
(Grant Title Reference)
Sealed by Robert City Council on 10th March 1969

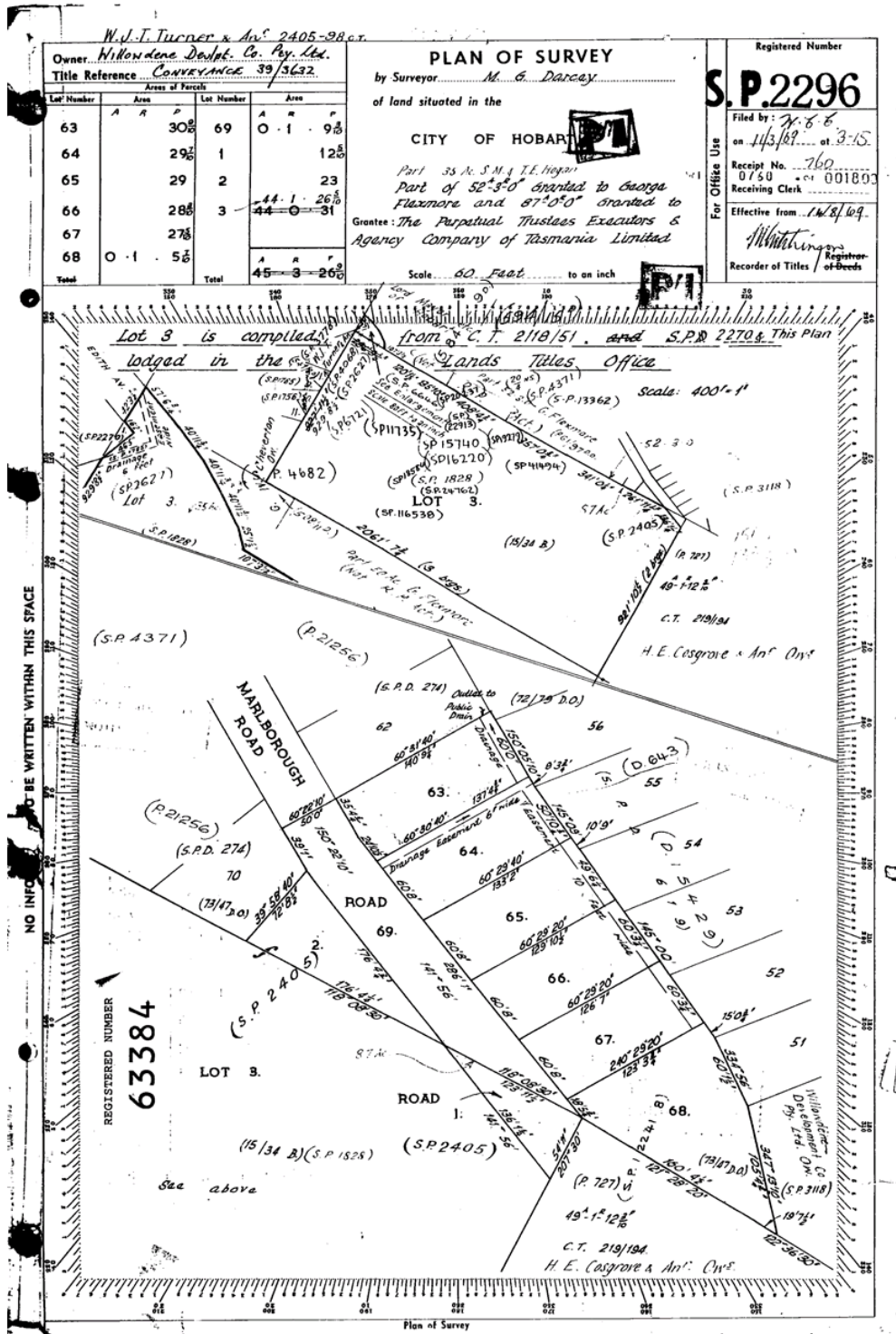
[Signature]
Council Clerk/Town Clerk



FOLIO PLAN

DEPUTY RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



Application Referral Development Engineering - Response

From:	Stefan Gebka - Development Engineering
Recommendation:	Proposal is unacceptable.
Date Completed:	
Address:	14 MARLBOROUGH STREET, SANDY BAY
Proposal:	Partial Demolition, Alterations, and Change of Use to Two Multiple Dwellings
Application No:	PLN-22-361
Assessment Officer:	Victoria Maxwell,

Referral Officer comments:

The proposal is not supported due to the number of on-site car parking spaces available being insufficient to meet the reasonable needs of users, having regard to;

- car parking demand;
- the availability of on-street and public car parking in the locality;
- the availability and frequency of public transport within a 400m walking distance of the site; and
- the availability and likely use of other modes of transport.

Council's engineers do not support approval due to the following reason;

- Does not ensure sufficient parking is provided on site to minimise on-street parking and maximise the efficiency of the road network;
- Does not ensure that vehicle parking areas do not adversely impact on amenity (subject site and surrounding properties);
- Relatively narrow highway reservation is not suitable for long-term on-street car parking;
- Surrounding properties in the immediate area appear to have the ability to park at least two (2x) vehicles (per dwelling) wholly contained within the property boundary;
- Lack of public car parking facilities in the locality;
- Limited access to public transport in this area;
- The site is not located a convenient walking distance from shops, schools and services;
- Marlborough Street is a steep traverse (presents challenges for walking / bicycle

riding / scootering);

- The applicant decided to proceed as is and not seek a traffic impact statement prepared by a suitably qualified traffic engineer demonstrating the development will not adversely impact the road network and on-street parking (addressing Council's concerns); knowing Council's recommendation for refusal; and
- The applicant decided not to modify the existing car parking area to facilitate additional parking on-site.

The proposal does not meet the Acceptable Solution or the Performance Criterion with respect to clause E6.6.1 of the Hobart Interim Planning Scheme 2015.

Therefore, in a council related engineering context, the proposal cannot be supported.

ASSESSMENT SUMMARY:

• E5.0 Road and railway access code - DOES NOT APPLY

- Clause E5.5.1 Existing road accesses and junctions - Not Applicable
- Clause E5.5.2: Existing level crossings - Not Applicable
- Clause E5.6.1: Development adjacent to roads and railways - Not Applicable
- Clause E5.6.2: Road accesses and junctions - Not Applicable
- Clause E5.6.3: New level crossings - Not Applicable
- Clause E5.6.4: Sight distance at accesses, junctions and level crossings - Not Applicable

• E6.0 Parking and Access Code - DOES APPLY

- Clause(s) E6.6's: Are all to do with parking number assessment - **Performance Criteria**
The parking number assessment must satisfy either Acceptable Solutions or Performance Criteria for each clause of the *Hobart Interim Planning Scheme 2015 (HIPS 2015)*.
Development Engineering has concluded the documentation submitted to date does not comply with the Acceptable Solution; therefore assessment against the Performance Criterion is relied on for clause E6.6.1.

Acceptable solution - A1: - NOT MET: The proposal includes two (2x) on-site car parking spaces, which is three (3x) less than required by Table E6.1.

The number of on-site car parking spaces must be:

(a) no less than and no greater than the number specified in Table E6.1;

- Table E6.1 requires: Single dwelling containing 2 or more bedrooms (including all rooms capable of being used as a bedroom) = Two (2x) on-site car parking spaces.

- A (dwellings) x B (From Table E6.1) = AB car parking spaces required

- 2 (dwellings) x 2 (From Table E6.1) = 4 car parking spaces required for the dwellings

- One (1x) dedicated visitor parking space per 4 dwellings (rounded up to the nearest whole number).

Total = five (5x) car parking spaces required.

- Residential car parking space layout may utilise 'Jockey Parking' configuration in which the one car parking space is behind another car parking space provided it serves it serves the same dwelling and is not designated for visitors.

Performance Criteria - P1: - **NOT MET:** (a), (b), (c), (d) and (e). The applicant decided to proceed as is and not seek a traffic impact statement prepared by a suitably qualified traffic engineer demonstrating the development will not adversely impact the road network and on-street parking (addressing Council's concerns); knowing Council's recommendation for refusal.

The number of on-site car parking spaces must be sufficient to meet the reasonable needs of users, having regard to all of the following:

(a) car parking demand;

- Based on Council's records, observations and experience the provision of 2x on-site car parking spaces (jockey configuration) being able to be allocated to only one (1x) dwelling will not sufficiently meet the likely demands associated with the development;
- One (1x) dwelling will solely rely on on-street parking;
- Both dwellings will solely rely on on-street parking for any on-site visitor parking; and
- The applicant decided not to modify the existing car parking area to facilitate additional parking on-site.

(b) the availability of on-street and public car parking in the locality;

- No public car parking exist in the vicinity (2km>) of the development site;
- "No Stopping / No parking" yellow linemarking on the road (Marlborough Street) directly across from the development site;
- Three (3x) internal lots across from the development site would already rely for on-street for visitor parking;
- Relatively narrow highway reservation is not suitable for long-term on-street car parking;
- Surrounding properties in the immediate area appear to have the ability to park at least two (2x) vehicles (per dwelling) wholly contained within the property boundary;
- On-street parking appears already well utilised; and
- The applicant decided to proceed as is and not seek a traffic impact statement prepared by a suitably qualified traffic engineer demonstrating the development will not adversely impact the road network and on-street parking (addressing Council's concerns); knowing Council's recommendation for refusal;

(c) the availability and frequency of public transport within a 400m walking distance of the site;

- Metro Tasmania currently operate only one (1x) bus service (401) along Churchill Avenue which is within 400 metres of the subject site;
- Weekdays and Saturday on an hourly basis 7am to 6pm and every 2 hours > 6pm to 12am;
- Sunday and public holiday every 2 hours 10am - 8pm;
- Marlborough Street is a steep traverse (present challenges for walking); and
- <https://www.metrotas.com.au/timetables/hobart/sandy-bay-to-hobart/>

(d) the availability and likely use of other modes of transport;

- The site is not located a convenient walking distance from shops, schools and services; and
- Residents would likely rely highly on a car for transport as Marlborough Street is a steep traverse (presents challenges for walking / bicycle riding / scootering).

(e) the availability and suitability of alternative arrangements for car parking provision;

- No alternative parking provision is available.

Development Engineering has concluded based on the documentation submitted to date and given the above assessment, the parking provision is unable to meet the Acceptable Solution A1 or Performance Criteria P1:E6.6.1 of the Planning Scheme. This is particularly due to the actual parking demands that will be generated by the development and available parking.

- Clause E6.7.1: Number of vehicle accesses - Not Applicable
- Clause E6.7.2: Design of vehicle accesses - Not Applicable
- Clause E6.7.3: Vehicle passing area along an access - Not Applicable
- Clause E6.7.4: On-site turning - Not Applicable
- Clause E6.7.5: Layout of parking areas - Not Applicable
- Clause E6.7.6: Surface treatment of parking areas - Not Applicable
- Clause E6.7.7: Lighting of parking areas - Not Applicable
- Clause E6.7.8: Landscaping of parking areas - Not Applicable
- Clause E6.7.9: Design of motorcycle parking areas - Not Applicable
- Clause E6.7.10: Design of bicycle parking areas - Not Applicable
- Clause E6.7.11: Bicycle end trip facilities (Planner assessment) - Not Applicable
- Clause E6.7.12: Siting of car parking (Planner assessment based on DE no.'s) - Not Applicable
- Clause E6.7.13: Facilities for commercial vehicles - Not Applicable
- Clause E6.7.14: Access to a road - Not Applicable
- Clause E6.7.15: Access to Niree Lane Sandy Bay - Not Applicable

- E7.0 Stormwater - DOES APPLY

- Clause E7.7.1 - 1: Stormwater drainage and disposal - Not Applicable
- Clause E7.7.1 - 2: Stormwater drainage and disposal - Not Applicable
- Clause E7.7.1 - 3: Stormwater drainage and disposal - Not Applicable
- Clause E7.7.1 - 4: Stormwater drainage and disposal - Not Applicable

COMMENTS:

In a council related engineering context, the proposal can be supported in principal subject to the following conditions and advice.

GENERAL CONDITIONS:

Nil (Refusal recommended)

ADVICE:

Nil (Refusal recommended)

REPRESENTATIONS:

Nil

DETAILED ASSESSMENT:

E5.0 Road and railway access code

[illegible]

E5.1 Purpose			<p>E5.1.1</p> <p>The purpose of this provision is to:</p> <p>(a) protect the safety and efficiency of the road and railway networks; and</p> <p>(b) reduce conflicts between sensitive uses and major roads and the rail network.</p>
E5.2 Application of this Code	YES	NO	
			This Code applies to use or development of land:
	Yes	No	(a) that will require a new vehicle crossing, junction or level crossing; or
	Yes	No	(b) that intensifies the use of an existing access; or
	Yes	No	(c) that involves a sensitive use, a building, works or subdivision within 50m metres of a Utilities zone that is part of:
	Yes	No	(i) a rail network;
	Yes	No	(ii) a category 1 - Trunk Road or a category 2 - Regional Freight Road, that is subject to a speed limit of more than 60km/h kilometres per hour.
Clause for Assessment			Comments / Discussion (in bold)
<p>Clause E5.5.1: Existing road accesses and junctions</p> <p>NOT APPLICABLE</p>			<p><u>Development Engineering has concluded the documentation submitted to date does not invoke clause E5.5.1.</u></p> <p>No intensification of existing road accesses and/or junctions proposed.</p>
<p>Clause E5.5.2: Existing level crossings</p> <p>NOT APPLICABLE</p>			<p><u>Development Engineering has concluded the documentation submitted to date does not invoke clause E5.5.2.</u></p> <p>No intensification of an existing level crossings proposed.</p>
<p>Clause E5.6.1: Development adjacent to roads and railways</p> <p>NOT APPLICABLE</p>			<p><u>Development Engineering has concluded the documentation submitted to date does not invoke clause E5.6.1.</u></p> <p>No development adjacent to category 1 or category 2 road proposed.</p>

Clause E5.6.2: Road accesses and junctions			Development Engineering has concluded the documentation submitted to date does not invoke clause E5.6.2. No new accesses or access junctions proposed.
NOT APPLICABLE			
Clause E5.6.3: New level crossings			Development Engineering has concluded the documentation submitted to date does not invoke clause E5.6.3. No new level crossings proposed.
NOT APPLICABLE			
Clause E5.6.4: Sight distance at accesses, junctions and level crossings			Development Engineering has concluded the documentation submitted to date does not invoke clause E5.6.4. No new accesses (road) and/or junctions proposed.
NOT APPLICABLE			

E 6.0 Parking and Access Code

E6.1 Purpose			E6.1.1 The purpose of this provision is to:
	Yes	N/A	(a) ensure safe and efficient access to the road network for all users, including drivers, passengers, pedestrians and cyclists;
	Yes	N/A	(b) ensure enough parking is provided for a use or development to meet the reasonable requirements of users, including people with disabilities;
	Yes	N/A	(c) ensure sufficient parking is provided on site to minimise on-street parking and maximise the efficiency of the road network;
	Yes	N/A	(d) ensure parking areas are designed and located in conformity with recognised standards to enable safe, easy and efficient use and contribute to the creation of vibrant and liveable places;
	Yes	N/A	(e) ensure access and parking areas are designed and located to be safe for users by minimising the potential for conflicts involving pedestrians, cyclists and vehicles; and by reducing opportunities for crime or anti-social behaviour;
	Yes	N/A	(f) ensure that vehicle access and parking areas do not adversely impact on amenity, site characteristics or hazards;
	Yes	N/A	(g) recognise the complementary use and benefit of public transport and non-motorised modes of transport such as bicycles and walking;
	Yes	N/A	(h) provide for safe servicing of use or development by commercial vehicles.

E6.2 Application of this Code	YES	—	This code applies to all use and development.
Clause for Assessment			Comments / Discussion (in bold)
<p>Clause(s) 6.6's are all to do with parking number assessment. These will be assessed by planner based on DE assessment of the following relevant clauses.</p> <p>PERFORMANCE CRITERIA</p>			<p>The parking number assessment must satisfy either Acceptable Solutions or Performance Criteria for each clause of the <i>Hobart Interim Planning Scheme 2015 (HIPS 2015)</i>.</p> <p><u>Development Engineering has concluded the documentation submitted to date does not comply with the Acceptable Solution; therefore assessment against the Performance Criterion is relied on for clause E6.6.1.</u></p> <p>Acceptable solution - A1: - NOT MET: The proposal includes two (2x) on-site car parking spaces, which is three (3x) less than required by Table E6.1.</p> <p>The number of on-site car parking spaces must be: (a) no less than and no greater than the number specified in Table E6.1;</p> <p>- Table E6.1 requires: Single dwelling containing 2 or more bedrooms (including all rooms capable of being used as a bedroom) = Two (2x) on-site car parking spaces.</p> <p>- A (dwellings) x B (From Table E6.1) = AB car parking spaces required</p> <p>- 2 (dwellings) x 2 (From Table E6.1) = 4 car parking spaces required for the dwellings</p> <p>- One (1x) dedicated visitor parking space per 4 dwellings (rounded up to the nearest whole number).</p> <p>Total = five (5x) car parking spaces required.</p> <p>- Residential car parking space layout may utilise 'Jockey Parking' configuration in which the one car parking space is behind another car parking space provided it serves it serves the same dwelling and is not designated for visitors.</p> <p>Performance Criteria - P1: - NOT MET: (a), (b), (c), (d) and (e). The applicant has decided to proceed as is and not seek a traffic impact statement prepared by a suitably qualified traffic engineer demonstrating the development will not adversely impact the road network and on-street parking (addressing Council's concerns); knowing it has to be recommended for refusal.</p> <p>The number of on-site car parking spaces must be sufficient to meet the reasonable needs of users, having regard to all of the following:</p>

(a) car parking demand;

- Based on Council's records, observations and experience the provision of 2x on-site car parking spaces (jockey configuration) being able to be allocated to only one (1x) dwelling will not sufficiently meet the likely demands associated with the development;
- One (1x) dwelling will solely rely on on-street parking; and
- Both dwellings will solely rely on on-street parking for any on-site visitor parking.

(b) the availability of on-street and public car parking in the locality;

- No public car parking exist in the vicinity (2km>) of the development site;
- "No Stopping / No parking" yellow linemarking on the road (Marlborough Street) directly across from the development site;
- Three (3x) internal lots across from the development site would already rely for on-street for visitor parking;
- Relatively narrow highway reservation is not suitable for long-term on-street car parking;
- Surrounding properties in the immediate area appear to have the ability to park at least two (2x) vehicles (per dwelling) wholly contained within the property boundary; and
- On-street parking appears already well utilised.

(c) the availability and frequency of public transport within a 400m walking distance of the site;

- Metro Tasmania currently operate only one (1x) bus service (401) along Churchill Avenue which is within 400 metres of the subject site;
- Weekdays and Saturday on an hourly basis 7am to 6pm and every 2 hours > 6pm to 12am;
- Sunday and public holiday every 2 hours 10am - 8pm;
- Marlborough Street is a steep traverse (presents challenges for walking); and
- <https://www.metrotas.com.au/timetables/hobart/sandy-bay-to-hobart/>

(d) the availability and likely use of other modes of transport;

- The site is not located a convenient walking distance from shops, schools and services; and
- Residents would likely rely highly on a car for transport as Marlborough Street is a steep traverse (presents challenges for walking / bicycle riding / scootering).

(e) the availability and suitability of alternative arrangements for car parking provision;

		<p>- No alternative parking provision is available.</p> <p>(f) any reduction in car parking demand due to the sharing of car parking spaces by multiple uses, either because of variation of car parking demand over time or because of efficiencies gained from the consolidation of shared car parking spaces; - Not applicable.</p> <p>(g) any car parking deficiency or surplus associated with the existing use of the land; - Not applicable.</p> <p>(h) any credit which should be allowed for a car parking demand deemed to have been provided in association with a use which existed before the change of parking requirement, except in the case of substantial redevelopment of a site; - Not applicable.</p> <p>(i) the appropriateness of a financial contribution in lieu of parking towards the cost of parking facilities or other transport facilities, where such facilities exist or are planned in the vicinity; - Not applicable.</p> <p>(j) any verified prior payment of a financial contribution in lieu of parking for the land; - The City's current position is not to support a financial contribution in lieu of parking for developments.</p> <p>(k) any relevant parking plan for the area adopted by Council; - Not applicable.</p> <p>(l) the impact on the historic cultural heritage significance of the site if subject to the Local Heritage Code; and - Not applicable.</p> <p>(m) whether the provision of the parking would result in the loss, directly or indirectly, of one or more significant trees listed in the Significant Trees Code. - No impact.</p> <p>Development Engineering has concluded based on the documentation submitted to date and given the above assessment, the parking provision is unable to meet the Acceptable Solution A1 or Performance Criteria P1:E6.6.1 of the Planning Scheme. This is particularly due to the actual parking demands that will be generated by the development and available parking</p>
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<p>Clause E6.7.1: Number of vehicle accesses</p> <p>NOT APPLICABLE</p>		<p>The design of the vehicle access must satisfy either Acceptable Solutions or Performance Criteria for each clause of the Hobart Interim Planning Scheme 2015 (HIPS 2015).</p> <p><u>Development Engineering has concluded the documentation submitted to date does not invoke clause E6.7.1.</u></p> <p>Development Engineering has concluded the documentation submitted to date does not indicate any changes proposed to the number of vehicle accesses.</p>
<p>Clause E6.7.2: Design of vehicle accesses</p> <p>NOT APPLICABLE</p>		<p>The design of the vehicle access must satisfy either Acceptable Solutions or Performance Criteria for each clause of the Hobart Interim Planning Scheme 2015 (HIPS 2015).</p> <p><u>Development Engineering has concluded the documentation submitted to date does not invoke clause E6.7.2.</u></p> <p>Development Engineering has concluded the documentation submitted to date does not indicate any changes proposed to the existing vehicle access.</p>
<p>Clause E6.7.3: Vehicle passing area along an access</p> <p>NOT APPLICABLE</p>		<p>Vehicle passing must satisfy either Acceptable Solutions or Performance Criteria for each clause of the Hobart Interim Planning Scheme 2015 (HIPS 2015).</p> <p><u>Development Engineering has concluded the documentation submitted to date does not invoke clause E6.7.3.</u></p> <p>Development Engineering has concluded the documentation submitted to date does not indicate any facility / requirement for vehicle passing.</p> <p><u>Acceptable solution - A1:</u> Vehicular passing areas must: (a) be provided if any of the following applies to an access: (i) it serves more than 5 car parking spaces; - No (ii) is more than 30 m long; - No (iii) it meets a road serving more than 6000 vehicles per day; - No (b) be 6 m long, 5.5 m wide, and taper to the width of the driveway; - N/A (c) have the first passing area constructed at the kerb; - N/A (d) be at intervals of no more than 30 m along the access. - N/A</p>

Clause E6.7.4: On-site turning NOT APPLICABLE			<p>On-site turning must satisfy either Acceptable Solutions or Performance Criteria for each clause of the Hobart Interim Planning Scheme 2015 (HIPS 2015). <u>Development Engineering has concluded the documentation submitted to date does not invoke clause E6.7.4.</u></p> <p>Acceptable solution - A1: On-site turning must be provided to enable vehicles to exit a site in a forward direction, except where the access complies with any of the following: (a) it serves no more than two dwelling units; - COMPLIES (b) it meets a road carrying less than 6000 vehicles per day. - COMPLIES</p> <p>Development Engineering has concluded the documentation submitted to date does not indicate any facility / requirement for on-site turning.</p>
Clause E6.7.5: Layout of parking areas NOT APPLICABLE			<p>The layout of the parking area must satisfy either Acceptable Solutions or Performance Criteria for each clause of the Hobart Interim Planning Scheme 2015 (HIPS 2015). <u>Development Engineering has concluded the documentation submitted to date does not invoke clause 6.7.5.</u></p> <p>Development Engineering has concluded the documentation submitted to date does not indicate any changes proposed to existing parking area(s).</p>
Clause E6.7.6: Surface treatment of parking areas NOT APPLICABLE			<p>The surface treatment must satisfy either Acceptable Solutions or Performance Criteria for each clause of the Hobart Interim Planning Scheme 2015 (HIPS 2015). <u>Development Engineering has concluded the documentation submitted to date does not invoke clause E6.7.6.</u></p> <p>Development Engineering has concluded the documentation submitted to date does not indicate any changes proposed to the existing surface treatment within a car parking area.</p>
Clause E6.7.7: Lighting of parking areas (Planner and health unit to assess)	—	—	Planner to assess
Clause E6.7.8: Landscaping of parking areas (Planner to assess)	—	—	Planner to assess

<p>Clause E6.7.9: Design of motorcycle parking areas</p> <p>NOT APPLICABLE</p>		<p>The motor bike parking must satisfy either Acceptable Solutions or Performance Criteria for each clause of the Hobart Interim Planning Scheme 2015 (HIPS 2015). <u>Development Engineering has concluded the documentation submitted to date does not invoke clause E6.7.9.</u></p> <p><u>Acceptable Solution A1 (E6.6.3):</u> The number of on-site motorcycle parking spaces provided must be at a rate of 1 space to each 20 car parking spaces after the first 19 car parking spaces except if bulky goods sales, (rounded to the nearest whole number). Where an existing use or development is extended or intensified, the additional number of motorcycle parking spaces provided must be calculated on the amount of extension or intensification, provided the existing number of motorcycle parking spaces is not reduced.</p> <p>NO REQUIREMENT (<19 car parking spaces).</p>
<p>Clause E6.7.10: Design of bicycle parking areas</p> <p>NOT APPLICABLE</p>		<p>The bicycle parking must satisfy either Acceptable Solutions or Performance Criteria for each clause of the Hobart Interim Planning Scheme 2015 (HIPS 2015). <u>Development Engineering has concluded the documentation submitted to date does not invoke clause E6.7.10.</u></p> <p><u>Acceptable Solution A1:</u> The number of on-site bicycle parking spaces provided must be no less than the number specified in Table E6.2.</p> <p><u>Acceptable Solution A2:</u> The design of bicycle parking spaces must be to the class specified in table 1.1 of AS2890.3-1993 Parking facilities Part 3: Bicycle parking facilities in compliance with section 2 "Design of Parking Facilities" and clauses 3.1 "Security" and 3.3 "Ease of Use" of the same Standard.</p> <p>User Class: Residential</p> <p>Table E6.2 sets out the number of bicycle parking spaces required. The requirement for spaces for a use or development listed in the first column of the table is set out in the second and forth columns of the table with the corresponding class set out in the third and fifth columns. If the result is not a whole number, the required number of (spaces) is the nearest whole number. If the fraction is one-half, the requirement is the next whole number.</p> <p>NO REQUIREMENT</p>
<p>Clause E6.7.11: Bicycle end trip facilities (Planner to assess)</p>	—	—
		Planner to assess

Clause 6.7.12: Siting of car parking (Planner to assess based on DE assessment of Clause 6.7.5 layout of parking area)	—	—	Planner to assess
Clause E6.7.13: Facilities for commercial vehicles NOT APPLICABLE			<p>The facilities for commercial vehicles must satisfy either Acceptable Solutions or Performance Criteria for each clause of the Hobart Interim Planning Scheme 2015 (HIPS 2015). <u>Development Engineering has concluded the documentation submitted to date does not invoke clause E6.7.13.</u></p> <p>Development Engineering has concluded the documentation submitted to date does not indicate any requirement for commercial vehicles loading, unloading or manoeuvring.</p>
Clause E6.7.14: Access to a road NOT APPLICABLE			<p>The access to a road must satisfy the Acceptable Solutions of the Hobart Interim Planning Scheme 2015 (HIPS 2015). <u>Development Engineering has concluded the documentation submitted to date does not to invoke clause E6.7.14.</u></p> <p>Development Engineering has concluded the documentation submitted to date does not indicate any changes proposed to the existing access to a road.</p>
Clause E6.7.15: Access to Niree Lane Sandy Bay NOT APPLICABLE			<p>The access to Niree Lane must satisfy either Acceptable Solutions or Performance Criteria for each clause of the Hobart Interim Planning Scheme 2015 (HIPS 2015). <u>Development Engineering has concluded the documentation submitted to date does not invoke clause E6.7.15.</u></p> <p>Development Engineering has concluded the documentation submitted to date does not indicate any proposed development within Niree Lane.</p>

E 7.0 Stormwater

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E7.1.1 Purpose			<p>E7.1.1</p> <p>The purpose of this provision is to ensure that stormwater disposal is managed in a way that furthers the objectives of the State Stormwater Strategy.</p>
E7.2 Application of this Code	YES	N/A	<p>This code applies to development requiring management of stormwater. This code does not apply to use.</p>
Clause for Assessment			Comments / Discussion (in bold)
<p>Clause E7.7.1: Stormwater drainage and disposal</p> <p>NOT APPLICABLE - A1</p>			<p>The stormwater drainage and disposal must satisfy either Acceptable Solutions or Performance Criteria for each clause of the Hobart Interim Planning Scheme 2015 (HIPS 2015).</p> <p><u>Development Engineering has concluded the documentation submitted to date does not invoke clause E7.7.1 (A1 / P1).</u></p> <p>Development Engineering has concluded the documentation submitted to date does not indicate any changes proposed to existing impervious surfaces.</p>
<p>Clause E7.7.1: Stormwater drainage and disposal</p> <p>NOT APPLICABLE - A2</p>			<p>The stormwater drainage and disposal must satisfy either Acceptable Solutions or Performance Criteria for each clause of the Hobart Interim Planning Scheme 2015 (HIPS 2015).</p> <p><u>Development Engineering has concluded the documentation submitted to date does not invoke clause E7.7.1 (A2 / P2).</u></p> <p>Acceptable Solution A2: A stormwater system for a new development must incorporate water sensitive urban design principles R1 for the treatment and disposal of stormwater if any of the following apply: (a) the size of new impervious area is more than 600 m²; - No (b) new car parking is provided for more than 6 cars; - No (c) a subdivision is for more than 5 lots - No</p> <p>Development Engineering has concluded the documentation submitted to date does not indicate any requirement for stormwater treatment.</p>

<p>Clause E7.7.1: Stormwater drainage and disposal</p> <p>NOT APPLICABLE - A3</p>		<p>The stormwater drainage and disposal must satisfy the Acceptable Solutions of the Hobart Interim Planning Scheme 2015 (HIPS 2015). <u>Development Engineering has concluded the documentation submitted to date does not invoke clause E7.7.1 (A3 / P3).</u></p> <p>Development Engineering has concluded the documentation submitted to date does not indicate any changes proposed to the existing minor stormwater system.</p>
<p>Clause E7.7.1: Stormwater drainage and disposal</p> <p>NOT APPLICABLE - A4</p>		<p>The stormwater drainage and disposal must satisfy the Acceptable Solution of the Hobart Interim Planning Scheme 2015 (HIPS 2015). <u>Development Engineering has concluded the documentation submitted to date does not invoke clause E7.7.1 (A4).</u></p> <p>Submitted documentation to date does not indicate any proposal for construction of major stormwater drainage.</p>

PROTECTION OF COUNCIL INFRASTRUCTURE

Council infrastructure at risk	Why?
Stormwater pipes	Not required
Council road network	Yes - During construction

OVERVIEW:

Planning approval is sought for Partial Demolition, Alterations, and Change of Use to Two Multiple Dwellings at 14 Marlborough Street, Sandy Bay.

More specifically the proposal includes:

- Partial demolition and internal alterations, converting three potentially self contained dwellings on the site into two multiple dwellings.
- External deck attached to upper floor level, providing additional private open space.
- Applicant stated no changes proposed to the existing car parking arrangement (jockey parking).

**5.1.2 48 LIVERPOOL STREET, HOBART - TEMPORARY HOSPITAL
ACCOMMODATION FACILITY
PLN-22-701 - FILE REF: F22/118782**

Address: 48 Liverpool Street, Hobart

Proposal: Temporary Hospital Accommodation Facility

Expiry Date: 5 December 2022

Extension of Time: Not applicable

Author: Richard Bacon

RECOMMENDATION

That pursuant to the *Hobart Interim Planning Scheme 2015*, the Planning Committee, in accordance with the delegations contained in its terms of reference, approve the application for temporary hospital accommodation facility at the Royal Hobart Hospital, 48 Liverpool Street Hobart TAS 7000 for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

GEN

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-22-701 - 48 LIVERPOOL STREET HOBART TAS 7000 - Final Planning Documents except where modified below.

Reason for condition

To clarify the scope of the permit.

THC

The use and/or development must comply with the requirements of the Tasmanian Heritage Council as detailed in the Notice of Heritage Decision, THC Works Ref: 8019 dated 21 November 2022, as attached to the permit.

Reason for condition

To clarify the scope of the permit.

ENG 1

Any damage to council infrastructure resulting from the implementation of this permit, must, at the discretion of the Council:

1. Be met by the owner by way of reimbursement (cost of repair and reinstatement to be paid by the owner to the Council); or
2. Be repaired and reinstated by the owner to the satisfaction of the Council.

A photographic record of the Council's infrastructure adjacent to the subject site must be provided to the Council prior to any commencement of works.

A photographic record of the Council's infrastructure (e.g. existing property service connection points, roads, buildings, stormwater, footpaths, driveway crossovers and nature strips, including if any, pre-existing damage) will be relied upon to establish the extent of damage caused to the Council's infrastructure during construction. In the event that the owner/developer fails to provide to the Council a photographic record of the Council's infrastructure, then any damage to the Council's infrastructure found on completion of works will be deemed to be the responsibility of the owner.

Reason for condition

To ensure that any of the Council's infrastructure and/or site-related service connections affected by the proposal will be altered and/or reinstated at the owner's full cost.

ENV 1

Sediment and erosion control measures sufficient to prevent sediment from leaving the site must be installed prior to any disturbance of the site, and maintained until all areas of disturbance have been stabilized or re-vegetated.

Advice:

For further guidance in preparing a Soil and Water Management Plan – in accordance with Fact sheet 3 Derwent Estuary Program click [here](#).

Reason for condition

To avoid the sedimentation of roads, drains, natural watercourses, Council land that could be caused by erosion and runoff from the development, and to comply with relevant State legislation.

HER s1

The proposed temporary removal and consequential reinstatement of the sandstone figure heads, balcony handrails and door openings to Building C must be undertaken in accordance with the recommendations contained within the memorandum dated 13 April 2015 addressed to Stuart Jones (Royal Hobart Hospital) from Peter Bartlett (Lyons Architects) – reference 150410 Liverpool Street Memorandum (2 pages). Reinstatement of building fabric detailed in that memorandum must occur within six months of the temporary hospital accommodation facility approved by this permit having been removed from the site.

Advice:

This replicates condition 5 on planning permit PLN-15-00460-01, and condition HER S1 on PLN-18-415

Reason for condition

To ensure the appropriate care and retention of heritage integrity at the site.

HER s3

The temporary hospital accommodation (J Block) facility is approved until 31 March 2036 and must be removed from the site within six months of that date.

Reason for condition

To clarify the scope of the permit.

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.




BUILDING PERMIT

You may need building approval in accordance with the *Building Act 2016*. Click [here](#) for more information.

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

PLUMBING PERMIT

You may need plumbing approval in accordance with the *Building Act 2016*, *Building Regulations 2016* and the National Construction Code. Click [here](#) for more information.

- | | |
|---------------|---|
| Attachment A: | PLN-22-701 - 48 LIVERPOOL STREET HOBART
TAS 7000 - Planning Committee or Delegated
Report ↓  |
| Attachment B: | PLN-22-701 - 48 LIVERPOOL STREET HOBART
TAS 7000 - PC Agenda Documents ↓  |
| Attachment C: | PLN-22-701 - 48 LIVERPOOL STREET HOBART
TAS 7000 - Planning Referral Officer Cultural
Heritage Report ↓  |

**APPLICATION UNDER HOBART INTERIM PLANNING SCHEME 2015**

Type of Report: Committee
Committee: 30 November 2022
Expiry Date: 5 December 2022
Application No: PLN-22-701
Address: 48 LIVERPOOL STREET , HOBART
Applicant: (Department of Health Infrastructure Services)
C/- All Urban Planning Pty Ltd
19 Mawhera Avenue
Proposal: Temporary Hospital Accommodation Facility
Representations: NIL
Performance criteria: DEVELOPMENT STANDARDS, HERITAGE

1. Executive Summary

- 1.1 Planning approval is sought for a temporary hospital accommodation facility at the Royal Hobart Hospital, 48 Liverpool Street Hobart TAS 7000.
- 1.2 More specifically the proposal includes:
 - an extension of the time (to 2035) that the temporary J Block on the Liverpool Street forecourt of the Royal Hobart Hospital, may be permitted to remain;
 - no additional building or works are proposed under this application.
- 1.3 The proposal relies on performance criteria to satisfy the following standards and codes:
 - 1.3.1 Particular Purpose Zone 10 Development standards - Building Envelope Part D 41.4.1 P1
 - 1.3.2 Historic Heritage Code - Heritage Place Part E 13.7.2 P1, P2, P3
- 1.4 No representations were received during the statutory advertising period between the 3rd and 17th November 2022.
- 1.5 The proposal is recommended for approval subject to conditions.

- 1.6 The final decision is delegated to the Planning Committee, because the floor area would be 3,000 square metres and the height would be the equivalent of four storeys.

2. Site Detail

- 2.1 The Royal Hobart Hospital is within the Particular Purpose Zone 10 under the Hobart Interim Planning Scheme 2015.
The proposal relates to J Block, a temporary building facing Liverpool Street on the hospital forecourt.
- 2.2 The site was visited dated the 25th October 2022.



Figure 1 above: location plan.

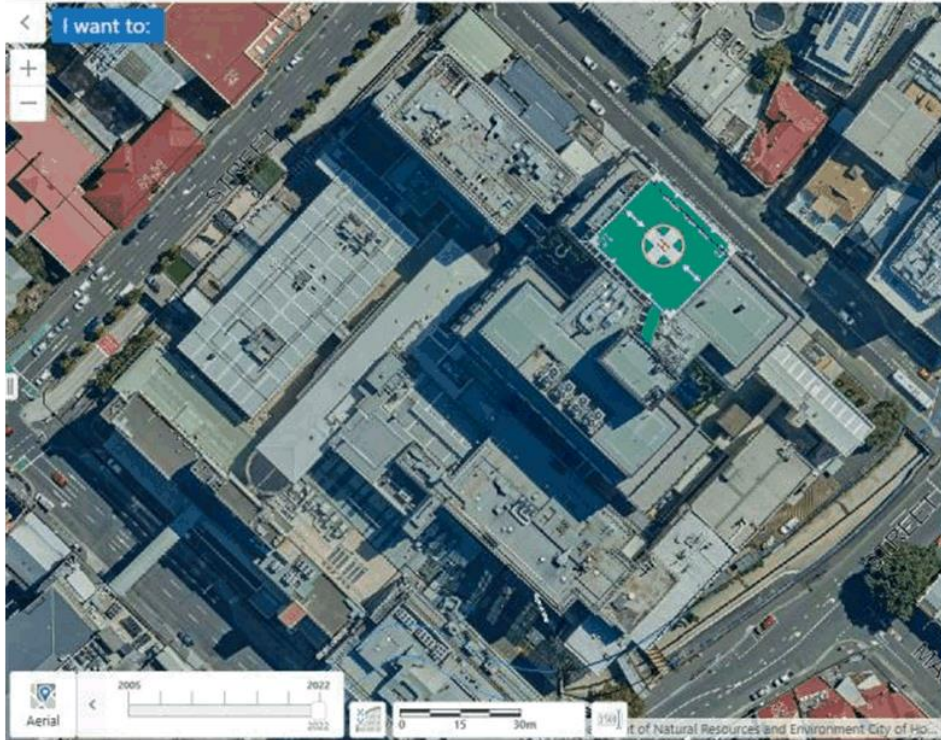


Figure 2 above: aerial photograph. J Block is to centre left of image.



Figure 3 above: Liverpool Street view with J Block in centre of image.

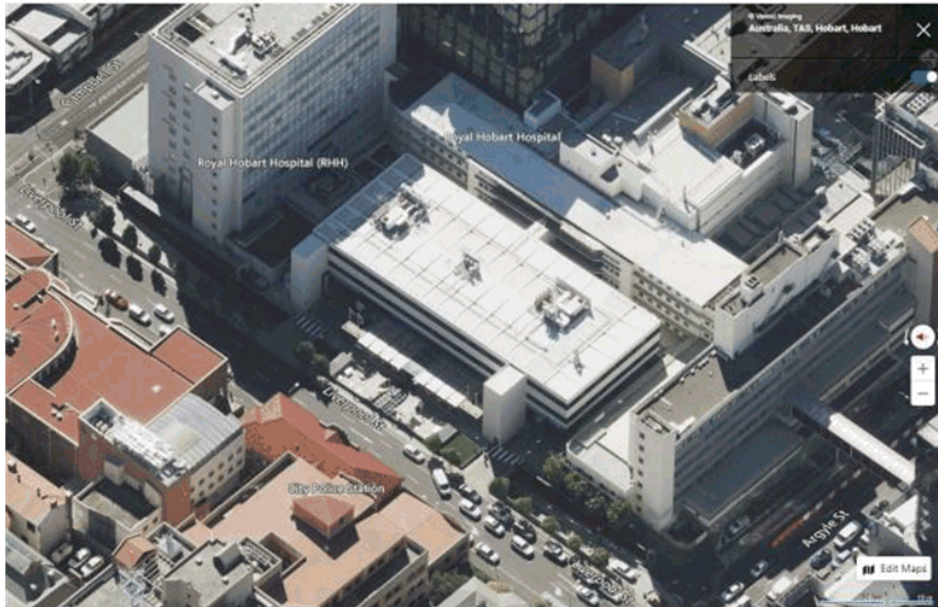


Figure 4 above: aerial photograph with J Block in centre of image fronting Liverpool Street (Bing).

3. Proposal

- 3.1 Planning approval is sought for a temporary hospital accommodation facility at the Royal Hobart Hospital, 48 Liverpool Street Hobart TAS 7000.
- 3.2 More specifically the proposal is for:
- an extension of the time (to 2035) that the temporary J Block on the Liverpool Street forecourt of the Royal Hobart Hospital, may be permitted to remain;
 - no additional building or works are proposed under this application.

4. Background

- 4.1 The original application for 'J Block' being a 'temporary alterations and temporary hospital accommodation facility' was approved by Council under PLN-15-00460 dated 9th June 2015. The approval was under the previous City of Hobart Planning Scheme 1982.

- 4.2 Condition 4 of the planning permit under PLN-15-00460 stated the facility must be removed no later than 4 years after its installation, or within 6 months of the completion of 'K' Block, whichever is earlier. K Block was subsequently completed.

'J Block' was erected in 2016. The 4 year limit gave a removal date of 2020.

- 4.3 Council approval for a further extension of time was issued under PLN-18-415 dated the 6th August 2018. Under the permit, Condition HER s3 requires as follows.

The temporary hospital accommodation (J Block) facility is approved until 31 March 2025 and must be removed from the site within six months of that date.

Reason for condition

To clarify the scope of the permit.

- 4.4 The approval under PLN-18-415 is also subject to the Tasmanian Heritage Council Notice of Decision, THC Works Ref.5640 dated the 18th July 2018, with conditions including as follows.

This approval is for a temporary facility and associated infrastructure to be in place until 31 March 2026.

Reason for Condition.

To clarify the scope of this approval. By 31 March 2026 the existing form of the C Block facade and forecourt is to be reinstated, or further approval sought for the retention of the temporary facility or other changes to the place.

5. Concerns raised by representors

- 5.1 No representations were received during the statutory advertising period between the 3rd and 17th November 2022.

6. Assessment

- 6.1 The *Hobart Interim Planning Scheme 2015* is a performance based planning scheme. To meet an applicable standard, a proposal must demonstrate compliance with either an acceptable solution or a performance criterion. Where a proposal complies with a standard by relying on one or more performance criteria, the Council may approve or refuse the proposal on that basis. The ability to approve or refuse the proposal relates only to the performance criteria relied on.

- 6.2 The site is located within the Particular Purpose Zone 10 (Royal Hobart Hospital) of the *Hobart Interim Planning Scheme 2015*.
- 6.3 The existing and proposed use is hospital. The existing use is a permitted use in the zone. The proposed use is a permitted use in the zone.
- 6.4 The proposal has been assessed against:
- 6.4.1 Part D - 41 Particular Purpose Zone 10
 - 6.4.2 E6.0 Parking and Access Code
 - 6.4.3 E7.0 Stormwater Management Code
 - 6.4.4 E13.0 Historic Heritage Code
 - 6.4.5 E2.0 Potentially Contaminated Land Code
- 6.5 The proposal relies on the following performance criteria to comply with the applicable standards:
- 6.5.1 Particular Purpose Zone 10:
Extent of Further Building and Works – Part D 41.4.1 P1
 - 6.5.2 Historic Heritage Code:
Building and Works on a Listed Place - E13.7.2 P1, P2, P3
- 6.6 Each performance criterion is assessed below.
- 6.7 Extent of Further Building or Works Part D 41.4.1 P1
- 6.7.1 The acceptable solution at clause 41.4.1 states works are to be within the building envelope shown in figure 4.1, which specifies a one (1) storey height at the Liverpool Street forecourt.
 - 6.7.2 The proposal is for the extension of a temporary planning permit comprising an existing temporary building exceeding the one (1) storey height limit at this part of the site.

6.7.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.

6.7.4 The performance criterion at Clause 41.4.1 P1 provides as follows:

The proposal demonstrates that:

- (a) the siting, bulk and design of the development is necessary to provide contemporary health care for the community;*
- (b) the development is an appropriate solution having regard to site constraints; and*
- (c) the building design will minimise unacceptable wind conditions in adjacent streets.*

The Zone Purpose Statements under Clause 41.1.1 provide as follows.

41.1.1.1

To recognise the important economic and social role played by the Royal Hobart Hospital and the critical health care benefits to the community in having a strong functioning hospital within easy reach a substantial population.

41.1.1.2

To recognise the central city context within which the hospital is situated and the reality that built form may not be consistent with the scale of development in the surrounding area due to site constraints and the need to ensure that the hospital provides the range of services required by the community.

41.1.1.3

To ensure the facility is primarily used as a hospital with ancillary hospital outpatient facilities and uses which provide services to users of the hospital.

6.7. Assessment of the performance criterion follows.

The proposed temporary hospital accommodation facility was erected in 2016 and so has existed for around 6 years. The originally approved removal date under PLN-15-00460 was 2020 giving a 4 year limit. Council subsequently granted a further approval under PLN-18-415 for an extension of time until the 31st March 2025, giving total approved duration of 9 years (see 'Background' to this report). The proposal is to extend the removal date for a further 10 years to 2035, resulting in a total proposed duration of 19 years.

The temporary facility has a total height of 14.5 metres. While of two floors, the building is elevated above the hospital forecourt and has an

equivalent height of approximately four storeys.

The applicant submission states as follows.

'The proposal is required to provide sufficient flexibility to upgrade the site for contemporary health care for the community within the site constraints. The proposal is existing and no unacceptable wind conditions can therefore result to Liverpool Street'.

The applicant submission provides further by way of background.

'Stage 1 of the RHH Redevelopment for construction of K Block reached practical completion in March 2020. The construction of K block required various decanting of hospital services out of the former B Block and involved refurbishment of areas within other existing hospital buildings, use of leased premises in proximity to the RHH for some administrative functions and the construction of a temporary inpatient facility (J Block, approximately 3 000 square metres) within the Liverpool Street Forecourt of the RHH.

It was originally intended that J Block would be removed within 6 months of this practical completion.

The 2018 approval for the extended occupation of J Block was required to facilitate further major investment to expand the capacity of the RHH both in terms of staffing of health services and continued redevelopment of the site, including updating the RHH Master Plan.

The redevelopment of existing wards at the RHH and other refurbishments necessary to increase the capacity of associated support services requires significant areas at various locations across the existing hospital to be closed temporarily at different times throughout.

As demonstrated by the more than \$50 million invested in RHH refurbishments and J Block inpatient facility construction necessary to vacate B Block, having adequate available space is critical for the redevelopment of any site that is as congested as the RHH.

Further compounding the space limitation issues that will be faced during refurbishments are the present condition and physical limitations of the existing buildings and supporting infrastructure. The building works completed in recent years have highlighted the challenges of reusing building stock that was not constructed to contemporary standards, was constructed using hazardous materials including asbestos, and has been repeatedly modified over several decades to accommodate different

uses.

It is apparent that the continued use of J Block for decant space will be required for a further 10 years until 2035 to allow continued redevelopment of the hospital with the least disruption. Retaining the J-Block Inpatient building will provide the RHH with an additional 3 000 square metres of building space that is in better condition and is more adaptable than most of the older areas of the RHH site.

The Royal Hobart Hospital Redevelopment (RHHR) Phase 2 was established in the 2019-20 budget with \$28 million, with additional funding totalling \$91 million committed in 2020-21 budget. A further \$110 million was committed in the 2021-22 budget with total funding for RHH stage 2 of \$201 million. Stage 2 includes refurbishment of A Block, expansion of the Emergency Department, refurbishment of the Pharmacy Department and a number of other upgrades.

The RHHR Phase 2 work will extend through to 2027 at which time the RHHR Phase 3 is expected to be occurring. To enable the effective refurbishment and expansion of services on the RHH site the extension of the J Block has become a critical space to enabling the completion of the RHHR program'.

The proposal is considered acceptable with regard to the performance Criteria.

6.7.6 The proposal complies with the performance criterion.

6.8 Heritage Part E 13.7.2 P1 P2 P3

6.8.1 There is no acceptable solution for Clauses E13.7.2 P1, P2 or P3.

6.8.2 The proposal is for the extension of a temporary planning permit involving an existing temporary building at a heritage place.

6.8.3 There is no acceptable solution; therefore assessment against the performance criterion is relied on.

6.8.4 The performance criteria at clauses E13.7.2 P1, P2 and P3 apply.

6.8.5 Assessment of the performance criterion by Council's Cultural Heritage Officer follows.

The proposal is for an extension of the time that the temporary J Block building on the Liverpool Street forecourt of the Royal Hobart Hospital remain in use until 2035.

Storage of Heritage Fabric

Conditions of the Existing Permit PLN-18-415 HER s1 and s2 - careful removal and storage of heritage fabric from C Block including the sandstone figureheads over the main entry, balcony handrails and door openings for reinstatement within six months of removal of the facility (this replicated conditions 5 and 6 of the original planning permit PLN-15-00460-01). The third condition was HER s3 – removal of the facility within 6 months of from the approved date until 31 March 2025.

The planning report dated 13th of October 2022 states that the RHH Facilities management team have confirmed that the sandstone figureheads, sections of balcony handrails and windows that were removed to facilitate the J Block connection are safely stored on site.

The applicant states that the continued use of J Block for decant space will be required for a further 10 years until 2035 to allow continued redevelopment of the hospital with the least disruption.

The relevant conditions of the Existing Permit PLN-18-415 have been edited accordingly to reflect the extension of time to 2035, and for the sandstone figure heads, balcony handrails, and windows to continue to be stored securely for reinstatement in 2036. Subject to these conditions the proposal is considered to satisfy the relevant provisions of the Historic Heritage Code E13.0 of HIPS 2015.

6.8.6 The proposal complies with the performance criterion.

7. Discussion

- 7.1 Planning approval is sought for a temporary hospital accommodation facility at the Royal Hobart Hospital, 48 Liverpool Street Hobart TAS 7000.
- 7.2 The application was advertised and no representations were received.
- 7.3 The proposal has been assessed against the relevant provisions of the planning scheme and is considered acceptable.

- 7.4 The proposal has been assessed by other Council officers, including the Council's Development Engineer, Cultural Heritage Officer, Technical Officer Stormwater and Environmental Health Officer. The officers have raised no objection to the proposal, subject to conditions.
- 7.5 A request for an extension of time was sent to the applicant dated the 17th November 2022.
- 7.6 The proposal is recommended for conditional approval.

8. Conclusion

- 8.1 The proposed temporary hospital accommodation facility at the Royal Hobart Hospital, 48 Liverpool Street Hobart TAS 7000 satisfies the relevant provisions of the *Hobart Interim Planning Scheme 2015*, and as such is recommended for approval.

9. Recommendations

That: Pursuant to the *Hobart Interim Planning Scheme 2015*, the Planning Committee, in accordance with the delegations contained in its terms of reference, approves the application for a temporary hospital accommodation facility at the Royal Hobart Hospital, 48 Liverpool Street Hobart TAS 7000 for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

GEN

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-22-701 - 48 LIVERPOOL STREET HOBART TAS 7000 - Final Planning Documents except where modified below.

Reason for condition

To clarify the scope of the permit.

THC

The use and/or development must comply with the requirements of the Tasmanian Heritage Council as detailed in the Notice of Heritage Decision, THC Works Ref: 8019 dated 21 November 2022, as attached to the permit.

Reason for condition

To clarify the scope of the permit.

ENG 1

Any damage to council infrastructure resulting from the implementation of this permit, must, at the discretion of the Council:

1. **Be met by the owner by way of reimbursement (cost of repair and reinstatement to be paid by the owner to the Council); or**
2. **Be repaired and reinstated by the owner to the satisfaction of the Council.**

A photographic record of the Council's infrastructure adjacent to the subject site must be provided to the Council prior to any commencement of works.

A photographic record of the Council's infrastructure (e.g. existing property

service connection points, roads, buildings, stormwater, footpaths, driveway crossovers and nature strips, including if any, pre-existing damage) will be relied upon to establish the extent of damage caused to the Council's infrastructure during construction. In the event that the owner/developer fails to provide to the Council a photographic record of the Council's infrastructure, then any damage to the Council's infrastructure found on completion of works will be deemed to be the responsibility of the owner.

Reason for condition

To ensure that any of the Council's infrastructure and/or site-related service connections affected by the proposal will be altered and/or reinstated at the owner's full cost.

ENV 1

Sediment and erosion control measures sufficient to prevent sediment from leaving the site must be installed prior to any disturbance of the site, and maintained until all areas of disturbance have been stabilized or re-vegetated.

Advice:

For further guidance in preparing a Soil and Water Management Plan – in accordance with Fact sheet 3 Derwent Estuary Program click [here](#).

Reason for condition

To avoid the sedimentation of roads, drains, natural watercourses, Council land that could be caused by erosion and runoff from the development, and to comply with relevant State legislation.

HER s1

The proposed temporary removal and consequential reinstatement of the sandstone figure heads, balcony handrails and door openings to Building C must be undertaken in accordance with the recommendations contained within the memorandum dated 13 April 2015 addressed to Stuart Jones (Royal Hobart Hospital) from Peter Bartlett (Lyons Architects) – reference 150410 Liverpool Street Memorandum (2 pages). Reinstatement of building fabric detailed in that memorandum must occur within six months of the temporary hospital accommodation facility approved by this permit having been removed from the site.

Advice: This replicates condition 5 on planning permit PLN-15-00460-01, and condition HER S1 on PLN-18-415

Reason for condition

To ensure the appropriate care and retention of heritage integrity at the site.

HER s3

The temporary hospital accommodation (J Block) facility is approved until 31 March 2036 and must be removed from the site within six months of that date.

Reason for condition

To clarify the scope of the permit.

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

BUILDING PERMIT

You may need building approval in accordance with the *Building Act 2016*. Click [here](#) for more information.

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

PLUMBING PERMIT

You may need plumbing approval in accordance with the *Building Act 2016*, *Building Regulations 2016* and the National Construction Code. Click [here](#) for more information.



(Richard Bacon)

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.



(Ben Ikin)

Senior Statutory Planner

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

Date of Report: 21 November 2022

Attachment(s):

Attachment B - CPC Agenda Documents

Attachment C - Planning Referral Officer Report



13 October 2022

Ben Ikin
Senior Statutory Planner
Hobart City Council
GPO Box 503
HOBART 7001

Dear Ben

48 Liverpool Street – Application for Planning Permit for Extended Occupation of Temporary J Block Facility – Royal Hobart Hospital Redevelopment.

The following is an application on behalf of the Department of Health and Human Services (the Department) for a planning permit to extend the duration of occupation of the temporary inpatient facility in the Liverpool Street forecourt of the Royal Hobart Hospital (RHH).

The existing facility (J Block) was approved under PLN-15-00460-01 to facilitate Stage 1 of the RHH Redevelopment. It was constructed in 2016 at a cost of \$22 million. A further planning permit PLN-18-415 was granted 6 August 2018 that formalised approval of the temporary facility until 31 March 2025 to allow for ongoing refurbishment of the hospital following relocation of services into K Block.

For the reasons set out below the Department now seeks approval for retention of the facility for a further 10 years until 2035 to support continued refurbishment works on this highly constrained site.

Background

Stage 1 of the RHH Redevelopment for construction of K Block reached practical completion in March 2020. The construction of K block required various decanting of hospital services out of the former B Block and involved refurbishment of areas within other existing hospital buildings, use of leased premises in proximity to the RHH for some administrative functions and the construction of a temporary inpatient facility (J Block, approximately 3 000 square metres) within the Liverpool Street Forecourt of the RHH.

It was originally intended that J Block would be removed within 6 months of this practical completion.

The 2018 approval for the extended occupation of J Block was required to facilitate further major investment to expand the capacity of the RHH both in terms of staffing of health services and continued redevelopment of the site, including updating the RHH Master Plan.



The redevelopment of existing wards at the RHH and other refurbishments necessary to increase the capacity of associated support services requires significant areas at various locations across the existing hospital to be closed temporarily at different times throughout.

As demonstrated by the more than \$50 million invested in RHH refurbishments and J Block inpatient facility construction necessary to vacate B Block, having adequate available space is critical for the redevelopment of any site that is as congested as the RHH.

Further compounding the space limitation issues that will be faced during refurbishments are the present condition and physical limitations of the existing buildings and supporting infrastructure. The building works completed in recent years have highlighted the challenges of reusing building stock that was not constructed to contemporary standards, was constructed using hazardous materials including asbestos, and has been repeatedly modified over several decades to accommodate different uses.

It is apparent that the continued use of J Block for decant space will be required for a further 10 years until 2035 to allow continued redevelopment of the hospital with the least disruption. Retaining the J-Block Inpatient building will provide the RHH with an additional 3 000 square metres of building space that is in better condition and is more adaptable than most of the older areas of the RHH site.

The Royal Hobart Hospital Redevelopment (RHHR) Phase 2 was established in the 2019-20 budget with \$28 million, with additional funding totalling \$91 million committed in 2020-21 budget. A further \$110 million was committed in the 2021-22 budget with total funding for RHH stage 2 of \$201 million. Stage 2 includes refurbishment of A Block, expansion of the Emergency Department, refurbishment of the Pharmacy Department and a number of other upgrades.

The RHHR Phase 2 work will extend through to 2027 at which time the RHHR Phase 3 is expected to be occurring. To enable the effective refurbishment and expansion of services on the RHH site the extension of the J Block has become a critical space to enabling the completion of the RHHR program.

Conditions of the Existing Permit PLN-18-415

The conditions of the planning permit for J Block PLN-18-415 included the following requirements:

Conditions HER s1 and s2 - careful removal and storage of heritage fabric from C Block including the sandstone figureheads over the main entry, balcony handrails and door openings for reinstatement within six months of removal of the facility (this replicated conditions 5 and 6 of the original planning permit PLN-15-00460-01).



Condition HER s3 – removal of the facility within 6 months of from the approved date until 31 March 2025.

The Tasmanian Heritage Council applied similar conditions to the permit:

Condition 1 approved the temporary facility and associated infrastructure until 31 March 2026 and included the following advice: *By 31 March 2026 the existing form of the C Block façade and forecourt is to be reinstated, or further approval sought for the retention of the temporary facility or other changes to the place.*

Condition 2 required reinstatement of C Block fabric in accordance with the Memorandum from Peter Bartlett of Lyons architects to Stuart Jones on the subject of “Temporary Decant Facility: Building C Heritage Issues”, dated 13/04/2015.

Storage of heritage fabric

Recent enquiries with the RHH Facilities management team have confirmed that the sandstone figureheads, sections of balcony handrails and windows that were removed to facilitate the J Block connection are safely stored on site.

Planning Scheme

The existing facility was originally approved under the former City of Hobart Planning Scheme 1982. The extended permit was approved under the existing Hobart Interim Planning Scheme 2015 (planning scheme).

The site is within the Particular Purpose Zone 10 for the RHH Campus.

The Purpose of the zone is:

41.1.1.1 To recognise the important economic and social role played by the Royal Hobart Hospital and the critical health care benefits to the community in having a strong functioning hospital within easy reach (of) a substantial population.

41.1.1.2 To recognise the central city context within which the hospital is situated and the reality that built form may not be consistent with the scale of development in the surrounding area due to site constraints and the need to ensure that the hospital provides the range of services required by the community.

41.1.1.3 To ensure the facility is primarily used as a hospital with ancillary hospital outpatient facilities and uses which provide services to users of the hospital.

The proposal for extended occupation of J Block is consistent with these statements which recognise the critical health care benefits of the RHH to the community and the complexity of development on the constrained site.



As expected the Use for Hospital Services is Permitted under the Use Table 41.2. The proposal complies with the Use Standards for Noise and External Lighting.

For the reasons set out above in relation to the background for this request the proposal satisfies the following Performance Criteria P1 and Objective for Extent of Further Building and Works on the site under Clause 41.4.1:

Objective:

To ensure that the hospital has sufficient flexibility to extend and adapt to provide the range of services required by the community.

P1

The proposal demonstrates that:

- (a) the siting, bulk and design of the development is necessary to provide contemporary health care for the community;*
- (b) the development is an appropriate solution having regard to site constraints;*
and
- (c) the building design will minimise unacceptable wind conditions in adjacent streets.*

The proposal is required to provide sufficient flexibility to upgrade the site for contemporary health care for the community within the site constraints.

The proposal is existing and no unacceptable wind conditions can therefore result to Liverpool Street.

Historic Heritage Code

The 1938 (C Block) building, sculptures and forecourt are described in the heritage listing of the Place under the Historic Heritage Code. The setting of the Liverpool Street forecourt and the front entry to the Hospital are clearly important and likely to be some of the most culturally significant aspects of the site.

Although retaining the J Block Inpatient Facility until up to 2035 will delay restoring the views and important fabric of the C Block heritage building, the proposal is not a new Development for the purposes of Clause E13.2.1 of the Code.

On the basis that the RHH Redevelopment has been through an exhaustive analysis of decanting and construction methods, there are considered overriding social and economic factors that justify extended occupation of the J Block facility.

The direct impacts to C Block fabric will be reversed and the building reinstated in 2035.

Conclusion

The redevelopment of existing wards at the RHH and other refurbishments will require significant areas at various locations across the existing hospital to be closed temporarily at different times as refurbishments continue.

Having adequate available space is critical for the redevelopment of any site that is as congested as the RHH.

Retaining the J-Block Inpatient building will provide the RHH with an additional 3 000 square metres of building space that is in better condition and is more adaptable than most of the older areas of the RHH site.

It is clear that as the RHH redevelopment progresses, the J Block inpatient facility is an essential asset at the RHH site. It must be retained to enable the continued redevelopment of the hospital with the least disruption.

The requested occupation until 2035 will delay restoring the views and fabric of the C Block heritage building. However, these impacts are considered justified by the public benefit that the J Block Inpatient Facility offers to the RHH to deliver safer and more efficient health services to Tasmanians during this period.

The impacts will be totally reversed at completion of the project and are therefore considered acceptable in the context of broader social and economic benefits of the RHH Redevelopment.

I trust Council has sufficient information to determine this application however please contact the undersigned as necessary for further information or clarification.

Yours sincerely



Frazer Read
Principal
All Urban Planning Pty Ltd

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lyons@lyonsarch.com.au
www.lyonsarch.com.au



Memorandum

Memorandum

Date 13/04/15
Total pages 2
Job no. RH01

To Stuart Jones
Company Royal Hobart Hospital
Project Redevelopment
Subject Temporary Decant Facility
Building C Heritage Issues
From Peter Bartlett
CC Frazer Read

Stuart,

To enable the Temporary Decanting Facility for Mental Health and General Medical patients to be constructed over the Liverpool Street forecourt and provide the appropriate functional connections to the associated medical departments within the hospital campus, a number of temporary alterations are required to be made to the Building C heritage listed facade. These include:

1. Sandstone Figure Heads

- Removal of the top section of the sandstone figure heads. These are to be carefully removed by a suitably qualified stone mason, packaged to protect against damage and securely stored prior to the construction of the temporary facility gantry frame and modules.
- A bespoke crate shall be constructed for the figure heads with ventilation to enable the accumulated moisture within the sandstone to dry during the storage period.
- The Hospital will provide an air conditioned storage space within the hospital for the crates
- The remaining sections of the sandstone figures shall be protected from damage for the duration of the construction period.



Following the removal of the Temporary Facility the sandstone figure heads shall be set in place by the stone mason.

During the removal of the Temporary facility the sandstone figures shall again be protected to prevent any accidental damage

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Memorandum

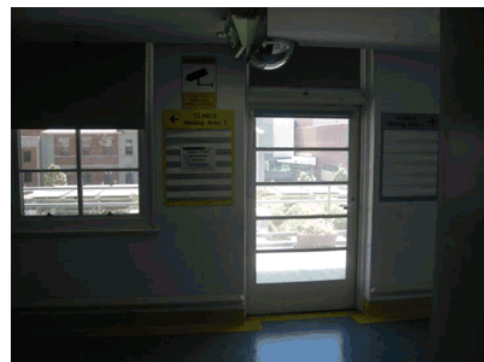
2. Balcony Handrails

- To the balconies on levels 2, 3 and 4 of Building C the existing ballustrading shall be temporarily cut and removed to allow the bridge connection between the Temporary Facility and Building C.
- The ballustrading shall be stored on site protected from the weather for re-use once the temporary facility has been relocated.
- Paint the cut ends of the ballustrading to prevent deterioration.
- Temporarily support the ends of the remaining ballustrading against the walls of the temporary link
- Following the removal of the links to the temporary facility the ballustrading shall be restored to their original condition and painted to match existing.



3. Door Openings

- To levels 2 and 3 of Building C the central door opening leading onto the balcony is have the door, frame and headlight removed and the opening enlarged to allow hospital bed traffic to be transferred across the temporary bridge link to the temporary Mental Health or General Medical Ward
- The doors and frames shall be carefully removed to prevent any damage and stored on site.
- The opening will then be increased to 1800 and finished to the satisfaction of the Hospitals Infection Control policy. Externally the exposed edges of the external render are to be protected from the elements
- Following the removal of the Temporary Facility the opening shall be reinstated and the door and frame reinstalled.
- All internal and external finishes shall be reinstated as existing complete with mouldings and skirting detailing



The above shall be detailed more fully in the contract documentation phase of the project.

Regards

Peter Bartlett

Department of Health
INFRASTRUCTURE SERVICES

GPO Box 125, HOBART TAS 7001, Australia
Ph: 1300 135 513
Web: www.health.tas.gov.au



Contact: Mark Leis
Phone: 0418 353 221
E-mail: mark.leis@health.tas.gov.au

General Manager
Hobart City Council
GPO Box 503
Hobart, Tasmania 7001

**Subject: Royal Hobart Hospital, J Block temporary decant facility extension –
48 Liverpool Street, Hobart**

Consent to making of Planning and Building Permit Applications pursuant to Section 52 (b) of the *Land Use Planning and Approvals Act 1993*.

Pursuant to the above Act, I consent to permit applications relating to land in the ownership of the Crown and I hereby authorise the applicant to lodge the required applications with Council of behalf of the Crown.

Applicant: AllUrbanPlanning Pty Ltd
Proposed Development: RHH ED Expansion, J Block temporary decant facility extension
Address: 48 Liverpool Street, Hobart
PID: 5666717

If you require further information regarding this application please contact Mark Leis, Project Manager on 0418 353 221.

Yours sincerely

Sharyn Cody
Director, Asset Management Services

17 October 2022

**RESULT OF SEARCH**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

SEARCH OF TORRENS TITLE

VOLUME 163050	FOLIO 1
EDITION 1	DATE OF ISSUE 09-Jan-2012

SEARCH DATE : 24-Oct-2022

SEARCH TIME : 06.55 AM

DESCRIPTION OF LAND

City of HOBART

Lot 1 on Diagram 163050 (Section 27A of the Land Titles Act.)

Derivation : Whole of Lot 1 on Diagram 163050 Gtd. to The Crown

SCHEDULE 1

D27235 APPLICATION: THE CROWN

SCHEDULE 2

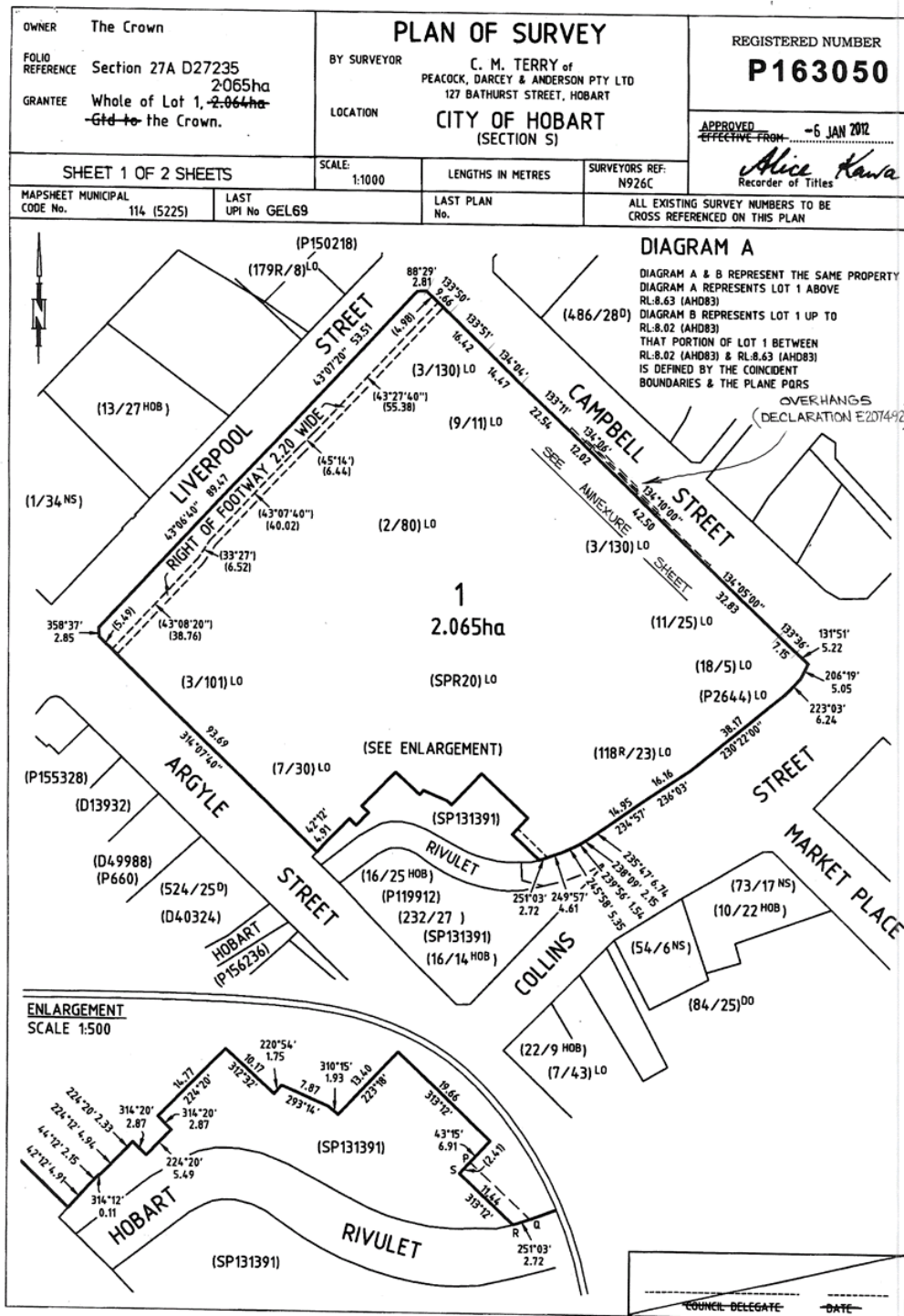
D27235 Land is limited in depth to 15 metres, excludes minerals and is subject to reservations relating to drains sewers and waterways in favour of the Crown

D27235 BURDENING EASEMENT: a right of footway in favour of Hobart City Council over the land marked Right of Footway 2.20 wide on Plan 163050

E207492 APPLICATION under section 75CA of the Conveyancing and Law of Property Act 1884 Registered 12-Jun-2020 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

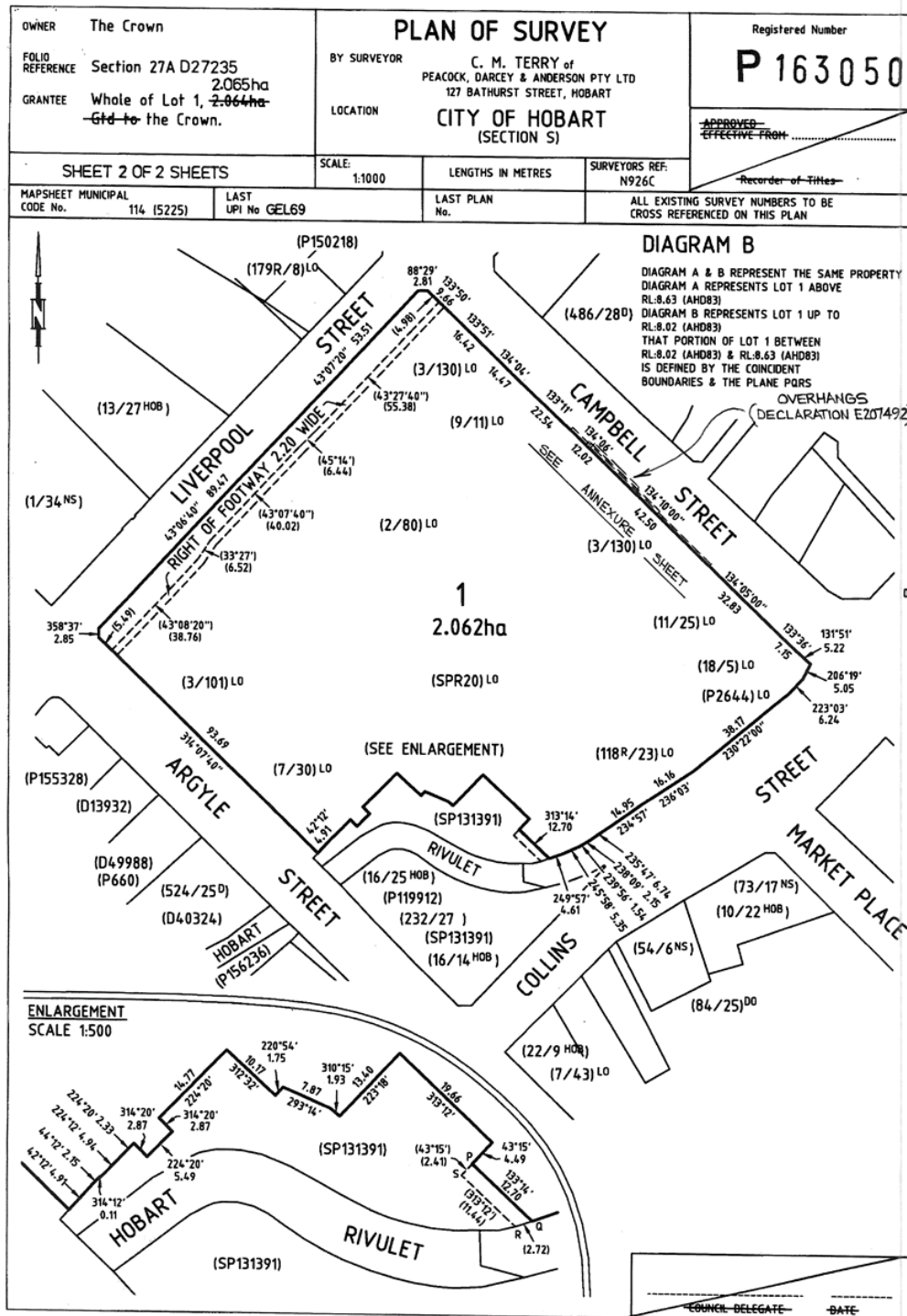




FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

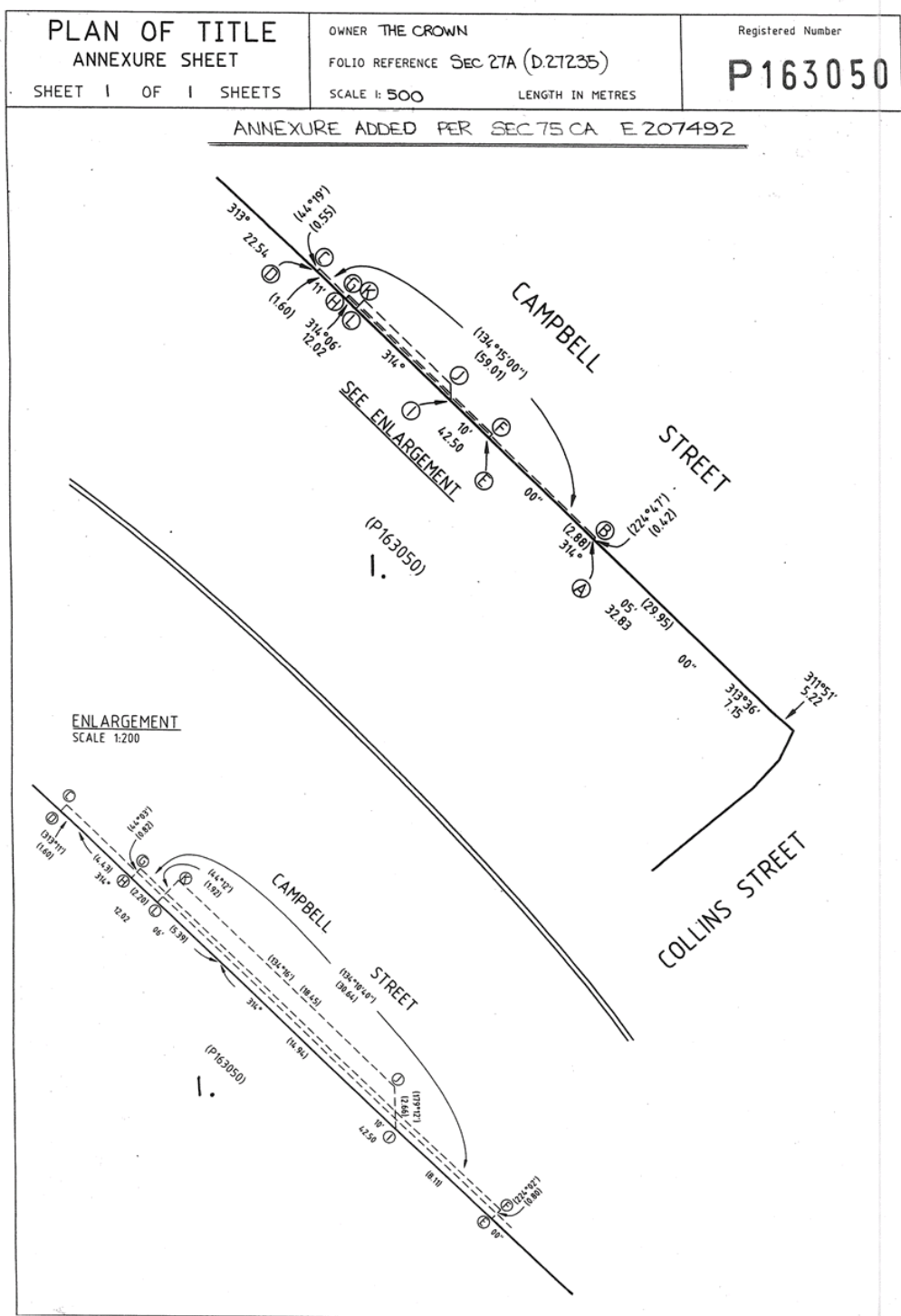




FOLIO PLAN

RECORD OF TITLES

Issued Pursuant to the Land Titles Act 1980



Planning #267314

Property

48 LIVERPOOL STREET HOBART TAS 7000

**People****Applicant ***

Department of Health Infrastructure Services

C/- All Urban Planning Pty Ltd
19 Mawhera Avenue
SANDY BAY TAS 7005
0400109582
frazer@allurbanplanning.com.au**Owner ***

Crown (Department of Health)

C/- Mark Leis, GPO Box 125
HOBART TAS 7001
0418353221
mark.leis@health.tas.gov.au**Entered By**FRAZER ERIC READ
0400 109 582
frazer@allurbanplanning.com.au**Use**

Other

Details

Have you obtained pre application advice?

☒ Yes

If YES please provide the pre application advice number eg PAE-17-xx

Are you applying for permitted visitor accommodation as defined by the State Government Visitor Accommodation Standards? Click on help information button for definition. *

☒ No

Is the application for SIGNAGE ONLY? If yes, please enter \$0 in the cost of development, and you must enter the number of signs under Other Details below. *

☒ No

If this application is related to an enforcement action please enter Enforcement Number

Details

What is the current approved use of the land / building(s)? *

Hospital services

Please provide a full description of the proposed use or development (i.e. demolition and new dwelling, swimming pool and garage) *

extended duration of temporary J Block decant building

Estimated cost of development *

0.00

Existing floor area (m2)

Proposed floor area (m2)

Site area (m2)

Carparking on Site

Total parking spaces

Existing parking spaces

N/A

☒ Other (no selection chosen)**Other Details**

Does the application include signage? *

☒ No

How many signs, please enter 0 if there are none involved in this application? *

0

Tasmania Heritage Register

Is this property on the Tasmanian Heritage Register?

☒ Yes**Documents****Required Documents**Title (Folio text and Plan and Certificate of title 48 Liverpool Street.pdf
Schedule of Easements) *Plans (proposed, existing) * PLN-18-415 - 48 LIVERPOOL STREET HOBART TAS 7000 - Planning Permit
Approved (including documents).pdf

GM or Crown consent Letter of Authority - RHH J Block extension permit.pdf

Covering Letter 48 Liverpool Street - Planning Assessment Extended approval J Block.pdf

Lyons Heritage Memorandum 48 Liverpool Street - RHH Temporary Facility - Heritage Memorandum.pdf
13-04-2015



Tasmanian Heritage Council
GPO Box 618 Hobart Tasmania 7000
Tel: 1300 850 332
enquiries@heritage.tas.gov.au
www.heritage.tas.gov.au

LANNING REF: PLN-22-701
THC WORKS REF: 8019
REGISTERED PLACE NO: 2409
APPLICANT: Department of Health Infrastructure Services
DATE: 21 November 2022

NOTICE OF HERITAGE DECISION

(Historic Cultural Heritage Act 1995)

The Place: Royal Hobart Hospital, 48 Liverpool St, Hobart.
Proposed Works: Extended duration of temporary J Block decant building.

Under section 39(6)(b) of the *Historic Cultural Heritage Act 1995*, the Heritage Council gives notice that it consents to the discretionary permit being granted in accordance with the documentation submitted with Development Application PLN-22-701, advertised on 03/11/2022, subject to the following conditions:

- 1. This approval is for the temporary facility and associated infrastructure to be in place until 31 March 2036.**

Reason for condition

To clarify the scope of this approval. By 31 March 2036 the existing form of the C-Block façade and forecourt is to be reinstated, or further approval sought for the retention of the temporary facility or other changes to the place.

- 2. Upon decommissioning and removal of the temporary facility, the heritage fabric of C-Block that was dismantled or altered is to be reinstated to its original (May 2015) form in accordance with the conservation commitments expressed in the Memorandum from Peter Bartlett of Lyons architects to Stuart Jones on the subject of "Temporary Decant Facility: Building C Heritage Issues", dated 13/04/2015, which was provided with application PLN-15-00460.**

Reason for condition

To clarify the scope of this approval, ensuring fulfilment of the commitments for the total reversal of impacts as per the application cover letter dated 13/10/2022.

Should you require clarification of any matters contained in this notice, please contact Russell Dobie on 0458 326828.

A handwritten signature in purple ink, appearing to read 'Ian Boersma'.

Ian Boersma
Works Manager – Heritage Tasmania
Under delegation of the Tasmanian Heritage Council

Application Referral Cultural Heritage - Response

From:	Allie Costin
Recommendation:	Proposal is acceptable subject to conditions.
Date Completed:	
Address:	48 LIVERPOOL STREET, HOBART
Proposal:	Temporary Hospital Accommodation Facility
Application No:	PLN-22-701
Assessment Officer:	Richard Bacon,

Referral Officer comments:

The proposal is for an extension of the time that the temporary J Block building on the Liverpool Street forecourt of the Royal Hobart Hospital remain in use until 2035.

Storage of Heritage Fabric

Conditions of the Existing Permit PLN-18-415 HER s1 and s2 - careful removal and storage of heritage fabric from C Block including the sandstone figureheads over the main entry, balcony handrails and door openings for reinstatement within six months of removal of the facility (this replicated conditions 5 and 6 of the original planning permit PLN-15-00460-01). The third condition was HER s3 – removal of the facility within 6 months of from the approved date until 31 March 2025.

The planning report dated 13th of October 2022 states that the RHH Facilities management team have confirmed that the sandstone figureheads, sections of balcony handrails and windows that were removed to facilitate the J Block connection are safely stored on site.

The applicant states that the continued use of J Block for decant space will be required for a further 10 years until 2035 to allow continued redevelopment of the hospital with the least disruption.

The relevant conditions of the Existing Permit PLN-18-415 have been edited accordingly to reflect the extension of time to 2035, and for the sandstone figure heads, balcony handrails, and windows to continue to be stored securely for reinstatement in 2036. Subject to these conditions the proposal is considered to satisfy the relevant provisions of the Historic Heritage Code E13.0 of HIPS 2015.

Allie Costin
Heritage Officer
21st November 2022

**5.1.3 287A LENA VALLEY ROAD, 269 LENA VALLEY ROAD, LENA VALLEY - PARTIAL DEMOLITION, ALTERATIONS, EXTENSION, AND ASSOCIATED WORKS
PLN-22-250 - FILE REF: F22/119429**

Address: 287A Lenah Valley Road, 269 Lenah Valley Road, Lenah Valley

Proposal: Partial Demolition, Alterations, Extension and Associated Works

Expiry Date: 15 December 2022

Extension of Time: Not applicable

Author: Adam Smee

RECOMMENDATION

That pursuant to the *Hobart Interim Planning Scheme 2015*, the Planning Committee, in accordance with the delegations contained in its terms of reference, approve the application for partial demolition, alterations, extension, and associated works at 287A Lenah Valley Road and 269 Lenah Valley Road, Lenah Valley, for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

GEN

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-22-250 - 287A LENA VALLEY ROAD LENA VALLEY TAS 7008 - Final Planning Documents except where modified below.

Reason for condition

To clarify the scope of the permit.

TW

The use and/or development must comply with the requirements of TasWater as detailed in the form Submission to Planning Authority Notice, Reference No. TWDA 2022/00611-HCC dated 3/10/2022 as attached to the permit.

Reason for condition

To clarify the scope of the permit.

ENG sw1

All stormwater from the proposed development (including but not limited to: roofed areas, ag drains, and impervious surfaces such as driveways and paved areas) must be drained to the Council's stormwater infrastructure prior to first occupation or commencement of use (whichever occurs first).

Advice:

Under section 23 of the Urban Drainage Act 2013 it is an offence for a property owner to direct stormwater onto a neighbouring property.

Reason for condition

To ensure that stormwater from the site will be discharged to a suitable Council approved outlet.

ENG sw6

All stormwater from the proposed development (including hardstand runoff) must be discharged to New Town Rivulet via infrastructure with sufficient receiving capacity prior to occupation or commencement of use (whichever occurs first). All costs associated with works required by this condition are to be met by the owner.

Design drawings and calculations of the proposed stormwater drainage and outfall to the Council's stormwater infrastructure must be submitted and approved as a Condition Endorsement prior to the commencement of work. The design drawings and calculations must:

1. be prepared by a suitably qualified engineer; and
2. include long section from the new pit SW1/2 to the Rivulet invert
3. Clearly distinguish between public and private, and existing and proposed and proposed by third-parties.
4. Any new public infrastructure must be to Council's satisfaction.

All work required by this condition must be undertaken in accordance with the approved design drawings and calculations.

Reason for condition

To ensure that stormwater from the site will be discharged to a suitable Council approved outlet.

SW 9

Prior to occupancy or the commencement of the approved use (whichever occurs first), detention for stormwater discharges from the development must be installed.

A stormwater management report and design must be submitted and approved as a Condition Endorsement, prior to the issue of any approval under the *Building Act 2016* or the commencement of work on the site (whichever occurs first). The stormwater management report and design must be prepared by a suitably qualified engineer and must:

1. include detailed design and supporting calculations of the detention tank showing:
 - detention tank sizing such that there is no increase in flows from the developed site into the DN100 connection up to 5% AEP event and flows are limited to the stated 3L/s as per the Gandy and Robert drawing 20.0402 C010 Rev A.
 - the layout, the inlet and outlet (including long section), outlet size, overflow mechanism and invert level;
 - the discharge rates and emptying times, and volume required for all 5% AEP events; and
 - all assumptions must be clearly stated;
2. include a supporting maintenance plan, which specifies the required maintenance measures to check and ensure the ongoing effective operation of all systems, such as: inspection frequency; cleanout procedures; descriptions and diagrams of how the installed systems operate; details of the life of assets and replacement requirements.

All work required by this condition must be undertaken and maintained in accordance with the approved stormwater management report and design.

Advice:

This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.

The access driveway and parking area must be constructed in accordance with the following documentation which forms part of this permit: PLN-22-250 - 287A Lenah Valley Road Lenah Valley TAS 7008 - Driveway Plans submitted 5th of July 2022 by Gandy and Roberts Consultant Engineers.

Any departure from that documentation and any works which are not detailed in the documentation must be either:

- a) approved by the Director City Life, via a condition endorsement application; or
- b) designed and constructed in accordance with Australian Standard AS/NZ 2890.1:2004.

The works required by this condition must be completed prior to first occupation.

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

ENG 3c

Prior to the first occupation, a suitably qualified engineer must certify that the access driveway and parking area has been constructed in accordance with design drawings approved by Condition ENG 3a.

Advice:

We strongly encourage you to speak to your engineer before works begin so that you can discuss the number and nature of the inspections they will need to do during the works in order to provide this certification. It may be necessary for a surveyor to also be engaged to ensure that the driveway will be constructed as approved.

The reason this condition has been imposed as part of your planning permit is that the driveway is outside the Australian Standard gradients or design parameters. If the driveway is not constructed as it has been approved then this may mean that the driveway will either be unsafe or will not function properly.

An example certificate is available on our [website](#).

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

ENG 11

Prior to the first occupation / commencement of the use, the proposed crossover to the Lenah Valley Road highway reservation must be designed and constructed in general accordance with LGAT Standard Drawing - Urban - TSD-R09-v3 – Urban Roads Driveways and TSD R14-v3 Type KC vehicular crossing; and Footpath - Urban Roads Footpaths TSD-R11-v3.

Advice:

Local Government Association (LGAT) Tasmanian Standard Drawings (TSD) can be viewed electronically via the LGAT Website.

It is advised that designers consider the detailed design of the crossover, access and parking module prior to finalising the Finished Floor Level (FFL) of the parking spaces (especially if located within a garage incorporated into the dwelling), as failure to do so may result in difficulty complying with this condition.

Please note that this approval does not include adjustment of footpath levels. Any adjustment to footpath levels necessary to suit the design of proposed floor, parking module or driveway levels will require separate agreement from Council's Program Leader Road Services and may require further approval. It is advised to place a note to this effect on construction drawings for the site and/or other relevant engineering drawings to ensure that contractors are made aware of this requirement.

Please contact the Council's City Infrastructure Unit to discuss approval of alternate designs. Based on a site specific assessment, Council may permit extending non- approved concrete slab crossover, and where non-standard kerb and channel exists a concrete plinth to Council standards may be permitted for construction at the gutter.

You are likely to require a Permit to Open Up and Temporarily Occupy a Highway (for work within the highway reservation). Click [here](#) for more information.

Reason for condition

In the interests of vehicle user safety and the amenity of the development.

ENG 1

Any damage to council infrastructure resulting from the implementation of this permit, must, at the discretion of the Council:

1. Be met by the owner by way of reimbursement (cost of repair and reinstatement to be paid by the owner to the Council); or
2. Be repaired and reinstated by the owner to the satisfaction of the Council.

A photographic record of the Council's infrastructure adjacent to the subject site must be provided to the Council prior to any commencement of works.

A photographic record of the Council's infrastructure (e.g. existing property service connection points, roads, buildings, stormwater, footpaths, driveway crossovers and nature strips, including if any, pre-existing damage) will be relied upon to establish the extent of damage caused to the Council's infrastructure during construction. In the event that the owner/developer fails to provide to the Council a photographic record of the Council's infrastructure, then any damage to the Council's infrastructure found on completion of works will be deemed to be the responsibility of the owner.

Reason for condition

To ensure that any of the Council's infrastructure and/or site-related service connections affected by the proposal will be altered and/or reinstated at the owner's full cost.

ENV 1

Sediment and erosion control measures sufficient to prevent sediment from leaving the site must be installed prior to any disturbance of the site, and maintained until all areas of disturbance have been stabilized or re-vegetated.

Advice:

For further guidance in preparing a Soil and Water Management Plan – in accordance with Fact sheet 3 Derwent Estuary Program click [here](#).

Reason for condition

To avoid the sedimentation of roads, drains, natural watercourses, Council land that could be caused by erosion and runoff from the development, and to comply with relevant State legislation.

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

CONDITION ENDORSEMENT

If any condition requires that further documents are submitted and approved, you will need to submit the relevant documentation to satisfy the condition via the Condition Endorsement Submission on Council's [online services e-planning portal](#). Detailed instructions can be found [here](#).

Once approved, the Council will respond to you via email that the condition has been endorsed (satisfied).

Where building approval is also required, it is recommended that documentation for condition endorsement be submitted well before submitting documentation for building approval. Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.

BUILDING PERMIT

You may need building approval in accordance with the *Building Act 2016*. Click [here](#) for more information.

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

PLUMBING PERMIT

You may need plumbing approval in accordance with the *Building Act 2016*, *Building Regulations 2016* and the National Construction Code. Click [here](#) for more information.

STORMWATER

Please note that in addition to a building and/or plumbing permit, development must be in accordance with the Hobart City Council's

Infrastructure By law. Click [here](#) for more information.

WORK WITHIN THE HIGHWAY RESERVATION

Please note development must be in accordance with the Hobart City Council's Infrastructure by law. Click [here](#) for more information.

DRIVEWAY SURFACING OVER HIGHWAY RESERVATION

If a coloured or textured surface is used for the driveway access within the Highway Reservation, the Council or other service provider will not match this on any reinstatement of the driveway access within the Highway Reservation required in the future.

FEES AND CHARGES

Click [here](#) for information on the Council's fees and charges.

DIAL BEFORE YOU DIG

Click [here](#) for dial before you dig information.

- | | |
|---------------|---|
| Attachment A: | PLN-22-250 - 287A LENA VALLEY ROAD
LENA VALLEY TAS 7008 - Planning Committee
or Delegated Report ↓  |
| Attachment B: | PLN-22-250 - 287A LENA VALLEY ROAD
LENA VALLEY TAS 7008 - PC Agenda
Documents ↓  |

**APPLICATION UNDER HOBART INTERIM PLANNING SCHEME 2015**

Type of Report:	Committee
Committee:	30 November 2022
Expiry Date:	15 December 2022
Application No:	PLN-22-250
Address:	287 A LENA VALLEY ROAD , LENA VALLEY 269 LENA VALLEY ROAD , LENA VALLEY
Applicant:	Drew Charlton 287A Lenah Valley Road
Proposal:	Partial Demolition, Alterations, Extension, and Associated Works
Representations:	No representations.
Performance criteria:	General Residential Zone - Setbacks and building envelope for all dwellings Parking and Access Code - Layout of Parking Areas

1. Executive Summary

- 1.1 Planning approval is sought for partial demolition, alterations, extension, and associated works at 287A Lenah Valley Road and 269 Lenah Valley Road, Lenah Valley.
- 1.2 More specifically the proposal includes:
 - Demolition within the dwelling on the property at 287A Lenah Valley Road, including removal of external doors and windows and internal walls and fixtures. The removal of a shed at the rear of the property is also proposed.
 - An extension at the rear of dwelling that would include an open plan living, dining, and kitchen as well as an office and shed.
 - Alterations to the dwelling including conversion of a kitchen and living area to bedrooms, conversion of a bedroom to a laundry, conversion of a bedroom to an ensuite, and alterations to a bathroom.
 - Associated works including construction of a car park and changes to the driveway between the dwelling and the site frontage. An upgrade to the existing stormwater connection within the Council land at 269 Lenah Valley Road is also proposed.
- 1.3 The proposal relies on performance criteria to satisfy the following standards and codes:

- 1.3.1 10.0 General Residential Zone - 10.4 Development Standards for Dwellings
- 1.3.2 E6.0 Parking and Access Code - E6.7 Development Standards
- 1.4 No representations were received during the statutory advertising period between 11 to 26 October 2022.
- 1.5 The proposal is recommended for approval subject to conditions.
- 1.6 The final decision is delegated to the Planning Committee because the application includes Council land, other than land within a road reserve.

2. Site Detail

- 2.1 The site is a residential lot and an adjacent Council reserve within the Lenah Valley area. The residential lot is rectangular shaped and has an area of 645m². The lot has frontage to Lenah Valley Road on its southern boundary. The dwelling on the property is setback from the frontage but there is still a relatively large area of private open space to the rear. The land slopes gradually downward from the frontage toward the rear of the property. The adjacent Council reserve is a linear shaped parcel of land associated with the New Town Rivulet. Further residential development occurs to the south-west and north-east of the site along Lenah Valley Road. The area of public open space known as Ancanthe Park is to the south of the site, on the opposite side of this road.



Figure 1: aerial view of site (outlined in blue) and surrounding area.

3. Proposal

- 3.1 Planning approval is sought for partial demolition, alterations, extension, and associated works at 287A Lenah Valley Road and 269 Lenah Valley Road, Lenah Valley.

3.2 More specifically the proposal includes:

- Demolition within the dwelling on the property at 287A Lenah Valley Road, including removal of external doors and windows and internal walls and fixtures. The removal of a shed at the rear of the property is also proposed.
- An extension at the rear of dwelling that would include an open plan living, dining, and kitchen as well as an office and shed.
- Alterations to the dwelling including conversion of a kitchen and living area to bedrooms, conversion of a bedroom to a laundry, conversion of a bedroom to an ensuite, and alterations to a bathroom.
- Associated works including construction of a car park and changes to the driveway between the dwelling and the site frontage. An upgrade to the existing stormwater connection within the Council land at 269 Lenah Valley Road is also proposed.

4. Background

- 4.1 Council received an application seeking approval for partial demolition, alterations, extension, and outbuilding on the 287A Lenah Valley Road site in June 2021 (PLN-20-369). This application did not proceed and was withdrawn in October 2021.
- 4.2 Council received an application for a Planning Permit for a proposal that included the partial demolition, alterations, and extension included in the current application in October 2021 (PLN-21-675). Council's Stormwater section provided advice that the property's stormwater connection to the New Town Rivulet required upgrading. As this work would include an additional property within the application, the applicant was advised to withdraw this application and submit the current application once the required consent of the General Manager had been obtained.

5. Concerns raised by representors

- 5.1 No representations were received during the statutory advertising period.

6. Assessment

- 6.1 The *Hobart Interim Planning Scheme 2015* is a performance based planning scheme. To meet an applicable standard, a proposal must demonstrate compliance with either an acceptable solution or a performance criterion. Where a proposal complies with a standard by relying on one or more performance criteria, the Council may approve or refuse the proposal on that basis. The ability to

approve or refuse the proposal relates only to the performance criteria relied on.

- 6.2 The site is located within the General Residential Zone (287A Lenah Valley Road) and the Open Space Zone (269 Lenah Valley Road) of the *Hobart Interim Planning Scheme 2015*.
- 6.3 The existing use is a single dwelling within the residential use class (287A Lenah Valley Road) and passive recreation (269 Lenah Valley Road). The proposed development is associated with the residential use of the 287A Lenah Valley Road. This use is permitted in the General Residential Zone that applies to this property but prohibited in the Open Space Zone that applies to the 269 Lenah Valley Road property. However, clause 9.7 *Access and Provision of Infrastructure Across Land in Another Zone* states as follows:

If an application for use or development includes access or provision of infrastructure across land that is in a different zone to that in which the main part of the use or development is located, and the access or infrastructure is prohibited by the provisions of the different zone, the planning authority may at its discretion approve an application for access or provision of infrastructure over the land in the other zone, having regard to:

- (a) whether there is no practical and reasonable alternative for providing the access or infrastructure to the site;*
- (b) the purpose and provisions of the zone and any applicable code for the land over which the access or provision of infrastructure is to occur; and*
- (c) the potential for land use conflict with the use or development permissible under the planning scheme for any adjoining properties and for the land over which the access or provision of infrastructure is to occur.*

There is considered to be no practical or reasonable alternative to the proposed provision of infrastructure across the 269 Lenah Valley Road property. The property at 287A Lenah Valley Road is below the level of Lenah Valley Road. While there is stormwater infrastructure within the adjacent road reservation, the difference in level means that it would not be practical or reasonable to provide a connection to this infrastructure for the proposed development. The proposal is therefore considered to be consistent with the above sub-clause (a).

The proposal is not considered to be in conflict with the Zone Purpose Statements for the Open Space Zone as it would not significantly affect the provision of land for open space purposes. The proposal is consistent with the purpose of the Stormwater Management Code as it allow for stormwater disposal to be managed in a way that further the relevant objectives. The proposal is therefore considered to be consistent with the above sub-clause (b).

The work proposed in order to provide the proposed stormwater connection is limited and there is unlikely to be any ongoing associated impact. The proposal is therefore considered to be consistent with the above sub-clause (c) as it is unlikely to lead to land use conflict with other use or development within the Open Space Zone.

6.4 The proposal has been assessed against:

6.4.1 10.0 General Residential Zone

6.4.2 E6.0 Parking and Access Code

6.4.3 E7.0 Stormwater Management Code

6.5 The proposal relies on the following performance criteria to comply with the applicable standards:

6.5.1 10.0 General Residential Zone:

10.4.2 Setbacks and building envelope for all dwellings P1, P2, and P3

6.5.2 E6.0 Parking and Access Code:

E6.7.5 Layout of Parking Areas

6.6 Each relevant performance criterion is assessed below.

6.7 *10.4.2 Setbacks and building envelope for all dwellings P1*

6.7.1 The acceptable solution A1 at clause 10.4.2 requires a dwelling, including an outbuilding such as the proposed carport, to have a setback from frontage that is not less than 4.5m.

6.7.2 The proposal includes an outbuilding that would have a setback from frontage that is less than 4.5m. The proposed carport would be setback less than 4.5m from the site frontage.

6.7.3 The proposal does not comply with the above acceptable solution and therefore relies upon assessment against the below performance criterion.

6.7.4 The performance criterion P1 at clause 10.4.2 provides as follows:

A dwelling must:

(a) have a setback from a frontage that is compatible with the streetscape, having regard to any topographical constraints.

- 6.7.5 The dwellings on the properties to the west of the site are generally setback from Lenah Valley Road a similar distance as the dwelling on the site. However, the dwelling on the adjoining property to the east is much closer to the road and the amenities building adjacent to the public carpark further to the east has been built up to the frontage. Therefore, while the proposal would reduce the setback between development on the site and Lenah Valley Road, this is not inconsistent with development found nearby. It is also noted that the carport would be a relatively minor, open sided structure that would have only limited impact upon the streetscape.
- 6.7.6 The proposal complies with the above performance criterion.
- 6.8 *10.4.2 Setbacks and building envelope for all dwellings P2*
- 6.8.1 The acceptable solution A2 at clause 10.4.2 requires a carport to have a setback from a primary frontage of not less than 5.5.
- 6.8.2 The proposal includes a carport that would have a setback from a primary frontage of less than 5.5m.
- 6.8.3 The proposal does not comply with the above acceptable solution and therefore relies upon assessment against the below performance criterion.
- 6.8.4 The performance criterion P2 at clause 10.4.2 provides as follows:
- A garage or carport for a dwelling must have a setback from a primary frontage that is compatible with the setbacks of existing garages or carports in the street, having regard to any topographical constraints.*
- 6.8.5 The existing nearby garages and carports are setback from Lenah Valley Road and are generally in line with the building line established by the dwelling on the respective lot. However, the frontage setback for the proposed carport is not considered to be incompatible with these existing setbacks. As noted above, the proposed carport would be a relatively minor, open sided structure that would not have a significant impact on the adjacent streetscape. It is also noted that the proposed carport would be

on the eastern side of the property, closer to where reduced frontage setbacks are found to the east of the site. The proposal would therefore not interrupt the regular pattern found in the frontage setbacks to the west of the site.

6.8.6 The proposal complies with the above performance criterion.

6.9 *10.4.2 Setbacks and building envelope for all dwellings P3*

6.9.1 The acceptable solution A3(a) at clause 10.4.2 requires a dwelling, including an outbuilding such as the proposed carport, to be contained within a building envelope. The acceptable solution A3(b) for this clause requires a dwelling to be setback 1.5m from a side boundary.

6.9.2 The proposal includes a dwelling that would not be contained within the prescribed building envelope or setback 1.5m from a side boundary. The envelope is partly defined by the required setback from frontage. As discussed above, the proposed carport would not meet the required setback from frontage. The proposed carport and the proposed extension would not be setback 1.5m from the site's eastern side boundary.

6.9.3 The proposal does not comply with the above acceptable solution and therefore relies upon assessment against the below performance criterion.

6.9.4 The performance criterion P3 at clause 10.4.2 provides as follows:

The siting and scale of a dwelling must:

(a) not cause an unreasonable loss of amenity to adjoining properties, having regard to:

(i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property;

(ii) overshadowing the private open space of a dwelling on an adjoining property;

(iii) overshadowing of an adjoining vacant property; and

(iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property;

(b) provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area; and

(c) not cause an unreasonable reduction in sunlight to an existing solar energy installation on:

- (i) an adjoining property; or*
- (ii) another dwelling on the same site.*

- 6.9.5 Given that there are no houses on the adjoining land to the north or south of the site, the proposal would potentially only affect the solar access of the dwellings to the east and west. Any potential impact would be limited to either early morning or late afternoon periods. The proposed carport would generally be further to the south than the dwelling on the adjoining property to the east. The carport would be separated from the dwelling on the adjoining property to the west, as it would be on the eastern side of the site. The proposed extension would be single storey and have a floor level below that of the dwellings on the adjoining properties to the east and west. Therefore, the proposal would not cause an unreasonable loss of amenity to adjoining properties as a result of a reduction in sunlight to a habitable room or overshadowing of the private open space of a dwelling on an adjoining property.
- 6.9.6 There is vacant to the north and south of the site. The proposal would obviously not cause an increase in overshadowing of the land to the north. The site is separated from the land to the south by Lenah Valley Road. The proposal is therefore unlikely to cause a significant increase in overshadowing of this vacant land.
- 6.9.7 As noted above, the proposed extension would be single storey and have a floor level that is below that of the dwellings on the adjoining properties. The proposed extension is therefore considered unlikely to have an unreasonable visual impact upon these properties. As also noted earlier, the proposed carport would be a relatively minor, open sided structure that is also not considered likely to have an unreasonable visual impact.
- 6.9.8 The nearby dwellings on the properties to the west of the site have reduced side boundary setbacks. Therefore, the proposed side boundary setbacks are considered to provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the surrounding area.
- 6.9.9 The proposal would not cause a reduction in sunlight to an existing solar energy installation as the site is well separated from any such installation.
- 6.9.10 The proposal complies with the above performance criterion.

6.10 E6.7.5 Layout of Parking Areas

- 6.10.1 The acceptable solution at clause E6.7.5 requires the layout of parking areas to comply with section 2 "Design of Parking Modules, Circulation Roadways and Ramps" of AS/NZS 2890.1:2004 *Parking Facilities Part 1: Off-street car parking*.
- 6.10.2 The proposal includes a layout of parking areas that does not comply with the above section of the Australian Standard.
- 6.10.3 The proposal does not comply with the above acceptable solution and therefore relies upon assessment against the below performance criterion.
- 6.10.4 The performance criterion at clause E6.7.5 provides as follows:

The layout of car parking spaces, access aisles, circulation roadways and ramps must be safe and must ensure ease of access, egress and manoeuvring on-site.

- 6.10.5 Council's Senior Development Engineer has assessed the proposed layout of parking areas against the above performance criterion and provided the following comments:

"Transitions do not meet the standard. Long sections provided show car below the minimum accepted scraping provisions accepted by Council. This is due to the nature of the site with the block quickly sloping downwards from the back of path dropping into the lower levels of the property. Both the owner Drew Charlton and the designer Gandy and Roberts Consulting Engineers have agreed to take on the risk of the low tolerances of the design and the risk of vehicles using the driveway. In general a large percentage of cars will be able to traverse the transitions without scraping, and given the owner and consultants acceptance of the design that does not comply with the standard, and the nature of the site, the design can be accepted. Submitted documentation appears to meet the other parameters and therefore may be accepted under Performance Criteria P1, E6.7.5 given the driveway configuration".

- 6.10.6 The proposal complies with the above performance criterion.

7. Discussion

- 7.1 Planning approval is sought for partial demolition, alterations, extension, and associated works at 287A Lenah Valley Road and 269 Lenah Valley Road, Lenah Valley.
- 7.2 The application was advertised and no representations were received.
- 7.3 The proposal has been assessed against the relevant provisions of the planning scheme and is considered to comply.
- 7.4 The proposal has been assessed by other Council officers, including the Council's Senior Development Engineer. The officers have raised no objection to the proposal, subject to conditions.
- 7.5 The proposal is recommended for approval.

8. Conclusion

- 8.1 The proposed partial demolition, alterations, extension, and associated works at 287A Lenah Valley Road and 269 Lenah Valley Road, Lenah Valley, satisfies the relevant provisions of the *Hobart Interim Planning Scheme 2015* and is recommended for approval.

9. Recommendations

That: Pursuant to the *Hobart Interim Planning Scheme 2015*, the Planning Committee, in accordance with the delegations contained in its terms of reference, approve the application for partial demolition, alterations, extension, and associated works at 287A Lenah Valley Road and 269 Lenah Valley Road, Lenah Valley, for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

GEN

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-22-250 - 287A LENA VALLEY ROAD LENA VALLEY TAS 7008 - Final Planning Documents except where modified below.

Reason for condition

To clarify the scope of the permit.

TW

The use and/or development must comply with the requirements of TasWater as detailed in the form Submission to Planning Authority Notice, Reference No. TWDA 2022/00611-HCC dated 3/10/2022 as attached to the permit.

Reason for condition

To clarify the scope of the permit.

ENG sw1

All stormwater from the proposed development (including but not limited to: roofed areas, ag drains, and impervious surfaces such as driveways and paved areas) must be drained to the Council's stormwater infrastructure prior to first occupation or commencement of use (whichever occurs first).

Advice:

Under section 23 of the Urban Drainage Act 2013 it is an offence for a property owner to direct stormwater onto a neighbouring property.

Reason for condition

To ensure that stormwater from the site will be discharged to a suitable Council approved outlet.

ENG sw6

All stormwater from the proposed development (including hardstand runoff) must be discharged to New Town Rivulet via infrastructure with sufficient receiving capacity prior to occupation or commencement of use (whichever occurs first). All costs associated with works required by this condition are to be met by the owner.

Design drawings and calculations of the proposed stormwater drainage and outfall to the Council's stormwater infrastructure must be submitted and approved as a Condition Endorsement prior to the commencement of work. The design drawings and calculations must:

- 1. be prepared by a suitably qualified engineer; and**
- 2. include long section from the new pit SW1/2 to the Rivulet invert**
- 3. Clearly distinguish between public & private, and existing & proposed & proposed by third-parties.**
- 4. Any new public infrastructure must be to Council's satisfaction.**

All work required by this condition must be undertaken in accordance with the approved design drawings and calculations.

Reason for condition

To ensure that stormwater from the site will be discharged to a suitable Council approved outlet.

SW 9

Prior to occupancy or the commencement of the approved use (whichever occurs first), detention for stormwater discharges from the development must be installed.

A stormwater management report and design must be submitted and approved as a Condition Endorsement, prior to the issue of any approval under the *Building Act 2016* or the commencement of work on the site (whichever occurs first). The stormwater management report and design must be prepared by a suitably qualified engineer and must:

1. include detailed design and supporting calculations of the detention tank showing:
 - detention tank sizing such that there is no increase in flows from the developed site into the DN100 connection up to 5% AEP event and flows are limited to the stated 3L/s as per the Gandy and Robert drawing 20.0402 C010 Rev A.
 - the layout, the inlet and outlet (including long section), outlet size, overflow mechanism and invert level;
 - the discharge rates and emptying times, and volume required for all 5% AEP events; and
 - all assumptions must be clearly stated;
2. include a supporting maintenance plan, which specifies the required maintenance measures to check and ensure the ongoing effective operation of all systems, such as: inspection frequency; cleanout procedures; descriptions and diagrams of how the installed systems operate; details of the life of assets and replacement requirements.

All work required by this condition must be undertaken and maintained in accordance with the approved stormwater management report and design.

Advice:

This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.

ENG 3a

The access driveway and parking area must be constructed in accordance with the following documentation which forms part of this permit: PLN-22-250 - 287A LENA VALLEY ROAD LENA VALLEY TAS 7008 - Driveway Plans submitted 5th of July 2022 by Gandy and Roberts Consultant Engineers.

Any departure from that documentation and any works which are not detailed in the documentation must be either:

- (a) approved by the Director City Life, via a condition endorsement application; or**
- (b) designed and constructed in accordance with Australian Standard AS/NZ 2890.1:2004.**

The works required by this condition must be completed prior to first occupation.

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

ENG 3c

Prior to the first occupation, a suitably qualified engineer must certify that the access driveway and parking area has been constructed in accordance with design drawings approved by Condition ENG 3a.

Advice:

We strongly encourage you to speak to your engineer before works begin so that you can discuss the number and nature of the inspections they will need to do during the works in order to provide this certification. It may be necessary for a surveyor to also be engaged to ensure that the driveway will be constructed as approved.

The reason this condition has been imposed as part of your planning permit is that the driveway is outside the Australian Standard gradients or design parameters. If the driveway is not constructed as it has been approved then this may mean that the driveway will either be unsafe or will not function properly.

An example certificate is available on our [website](#).

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

ENG 11

Prior to the first occupation / commencement of the use, the proposed crossover to the Lenah Valley Road highway reservation must be designed and constructed in general accordance with LGAT Standard Drawing - Urban - TSD-R09-v3 – Urban Roads Driveways and TSD R14-v3 Type KC vehicular crossing; and Footpath - Urban Roads Footpaths TSD-R11-v3.

Advice:

Local Government Association (LGAT) Tasmanian Standard Drawings (TSD) can be viewed electronically via the LGAT Website.

It is advised that designers consider the detailed design of the crossover, access and parking module prior to finalising the Finished Floor Level (FFL) of the parking spaces (especially if located within a garage incorporated into the dwelling), as failure to do so may result in difficulty complying with this condition.

Please note that this approval does not include adjustment of footpath levels. Any adjustment to footpath levels necessary to suit the design of proposed floor, parking module or driveway levels will require separate agreement from Council's Program Leader Road Services and may require further approval. It is advised to place a note to this effect on construction drawings for the site and/or other relevant engineering drawings to ensure that contractors are made aware of this requirement.

Please contact the Council's City Infrastructure Unit to discuss approval of alternate designs. Based on a site specific assessment, Council may permit extending non-approved concrete slab crossover, and where non-standard kerb and channel exists a concrete plinth to Council standards may be permitted for construction at the gutter.

You are likely to require a Permit to Open Up and Temporarily Occupy a Highway (for work within the highway reservation). Click [here](#) for more information.

Reason for condition

In the interests of vehicle user safety and the amenity of the development.

ENG 1

Any damage to council infrastructure resulting from the implementation of this permit, must, at the discretion of the Council:

1. **Be met by the owner by way of reimbursement (cost of repair and reinstatement to be paid by the owner to the Council); or**
2. **Be repaired and reinstated by the owner to the satisfaction of the Council.**

A photographic record of the Council's infrastructure adjacent to the subject site must be provided to the Council prior to any commencement of works.

A photographic record of the Council's infrastructure (e.g. existing property service connection points, roads, buildings, stormwater, footpaths, driveway crossovers and nature strips, including if any, pre-existing damage) will be relied upon to establish the extent of damage caused to the Council's infrastructure during construction. In the event that the owner/developer fails

to provide to the Council a photographic record of the Council's infrastructure, then any damage to the Council's infrastructure found on completion of works will be deemed to be the responsibility of the owner.

Reason for condition

To ensure that any of the Council's infrastructure and/or site-related service connections affected by the proposal will be altered and/or reinstated at the owner's full cost.

ENV 1

Sediment and erosion control measures sufficient to prevent sediment from leaving the site must be installed prior to any disturbance of the site, and maintained until all areas of disturbance have been stabilized or re-vegetated.

Advice:

For further guidance in preparing a Soil and Water Management Plan – in accordance with Fact sheet 3 Derwent Estuary Program click [here](#).

Reason for condition

To avoid the sedimentation of roads, drains, natural watercourses, Council land that could be caused by erosion and runoff from the development, and to comply with relevant State legislation.

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

CONDITION ENDORSEMENT

If any condition requires that further documents are submitted and approved, you will need to submit the relevant documentation to satisfy the condition via the Condition Endorsement Submission on Council's [online services e-planning portal](#). Detailed

instructions can be found [here](#).

Once approved, the Council will respond to you via email that the condition has been endorsed (satisfied).

Where building approval is also required, it is recommended that documentation for condition endorsement be submitted well before submitting documentation for building approval. Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.

BUILDING PERMIT

You may need building approval in accordance with the *Building Act 2016*. Click [here](#) for more information.

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

PLUMBING PERMIT

You may need plumbing approval in accordance with the *Building Act 2016*, *Building Regulations 2016* and the National Construction Code. Click [here](#) for more information.

STORMWATER

Please note that in addition to a building and/or plumbing permit, development must be in accordance with the Hobart City Council's Infrastructure By law. Click [here](#) for more information.

WORK WITHIN THE HIGHWAY RESERVATION

Please note development must be in accordance with the Hobart City Council's Infrastructure by law. Click [here](#) for more information.

DRIVEWAY SURFACING OVER HIGHWAY RESERVATION

If a coloured or textured surface is used for the driveway access within the Highway Reservation, the Council or other service provider will not match this on any reinstatement of the driveway access within the Highway Reservation required in the future.

FEES AND CHARGES

Click [here](#) for information on the Council's fees and charges.

DIAL BEFORE YOU DIG

Click [here](#) for dial before you dig information.



(Adam Smee)

Development Appraisal Planner

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.



(Ben Ikin)

Senior Statutory Planner

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

Date of Report: 24 November 2022

Attachment(s):

Attachment B - PC Agenda Documents

PLN-22-250 - 287 A LENA VALLEY ROAD PLN-22-250 - 269 LENA VALLEY ROAD

Application Information

▼ Application Details PLN-22-250 Partial Demolition, Alterations, Extension, and Associated Works 📄
Submitted on: 28/04/2022
Accepted as Valid on: 28/04/2022
Target Time Frame: 42 Days.
Elapsed Time: 162 Days (Stopped: 147 Days) = 15 Days Expiry date: 03/11/2022
Officer: Adam Smee

Have you obtained pre application advice?

☒ Yes

If YES please provide the pre application advice number eg PAE-17-xx

PLN-21-675

Are you applying for permitted visitor accommodation as defined by the State Government Visitor Accommodation Standards? Click on help information button for definition. *

☒ No

Is the application for SIGNAGE ONLY? If yes, please enter \$0 in the cost of development, and you must enter the number of signs under Other Details below. *

☒ No

If this application is related to an enforcement action please enter Enforcement Number

Details

What is the current approved use of the land / building(s)? *

Residential Single Dwelling

Please provide a full description of the proposed use or development (i.e. demolition and new dwelling, swimming pool and garage) *

Extension to the rear of the dwelling with renovations to the existing structure

Estimated cost of development *

300000.00

Existing floor area (m2)

75.00

Proposed floor area (m2)

94.00

Site area (m2)

645

Carparking on Site

Total parking spaces

2

Existing parking spaces

1

N/A

☒ Other (no selection chosen)

Other Details

Does the application include signage? *

No

How many signs, please enter 0 if there are none involved in this application? *

0

Tasmania Heritage Register

Is this property on the Tasmanian Heritage Register?

No

Edit

**RESULT OF SEARCH**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

SEARCH OF TORRENS TITLE

VOLUME 18187	FOLIO 7
EDITION 2	DATE OF ISSUE 26-Apr-2016

SEARCH DATE : 07-May-2020

SEARCH TIME : 01.31 PM

DESCRIPTION OF LAND

City of HOBART

Lot 7 on Plan 18187

Derivation : Part of 10 Acres Granted to E.S.P. Bedford

Prior CT 4861/31

SCHEDULE 1

M558886 TRANSFER to DREW THOMAS CHARLTON and KASSIA FRANCES
MICHAJLOW-HICKS Registered 26-Apr-2016 at 12.02 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

E38253 MORTGAGE to Commonwealth Bank of Australia

Registered 26-Apr-2016 at 12.03 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

**RESULT OF SEARCH**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

SEARCH OF TORRENS TITLE

VOLUME 18187	FOLIO 10
EDITION 2	DATE OF ISSUE 30-Jun-2015

SEARCH DATE : 07-Oct-2022

SEARCH TIME : 09.26 AM

DESCRIPTION OF LAND

City of HOBART

Lot 10 on Plan 18187

Derivation : Part of 10 Acres Gtd. to E.S.P. Bedford & Anor.

Prior CT 4652/78

SCHEDULE 1

HOBART CITY COUNCIL

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations





Enquiries to: City Life
Phone: (03) 6238 2711
Email: coh@hobartcity.com.au

29 March 2022

Jeremy Knight (Gandy & Roberts Consulting
Engineers)
159 Davey Street
HOBART TAS 7000

mailto: jknight@gandyandroberts.com.au

Dear Sir/Madam

**269 LENAH VALLEY ROAD & 287 A LENAH VALLEY ROAD, LENAH VALLEY
WORKS TO COUNCIL STORMWATER NOTICE OF LAND OWNER CONSENT TO
LODGE A PLANNING APPLICATION - GMC-22-18**

Site Address:

287A & 269 Lenah Valley Road, Lenah Valley

Description of Proposal:

Stormwater infrastructure

Applicant Name:

Jeremy Knight
Gandy & Roberts Consulting Engineer

PLN (if applicable):

N/A

I write to advise that pursuant to Section 52 of the *Land Use Planning and Approvals Act 1993*, I grant my consent on behalf of the Hobart City Council as the owner/administrator of the above land for you to make application to the City for a planning permit for the development described above and as per the attached documents. I granted consent pursuant to delegation, a copy of which is enclosed.


Please note that the granting of the consent is only for the making of the application and in no

Hobart Town Hall
50 Macquarie Street
Hobart TAS 7000

Hobart Council Centre
16 Elizabeth Street
Hobart TAS 7000

City of Hobart
GPO Box 503
Hobart TAS 7001

T 03 6238 2711
F 03 6234 7109
E coh@hobartcity.com.au
W hobartcity.com.au

 CityofHobartOfficial
ABN 39 055 343 428
Hobart City Council

way should such consent be seen as prejudicing any decision the Council is required to make as the statutory planning authority.

This consent does not constitute an approval to undertake any works and does not authorise the owner, developer or their agents any right to enter or conduct works on any Council managed land whether subject to this consent or not.

If planning approval is granted by the planning authority, you will be required to seek approvals and permits from the City as both landlord, land manager, or under other statutory powers (such as other legislation or City By-Laws) that are not granted with the issue of a planning permit under a planning scheme. This includes the requirement for you to reapply for a permit to occupy a public space under the City's Public Spaces By-law if the proposal relates to such an area.

Accordingly, I encourage you to continue to engage with the City about these potential requirements.

Yours faithfully



(Glenn Doyle)

HEAD OF CITY PROJECTS

Relevant documents/plans:

DA-22-12003 - Drawings C010 & C011 from Gandy and Roberts

DA-22-12004 - Drawings H001, H002, H010, H100, H101 & H300 from Gandy and Roberts



City of Hobart

INSTRUMENT OF DELEGATION

General Delegation

Head of Intergovernmental Relations and Partnerships

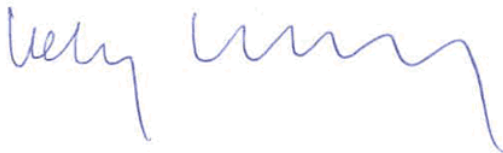
Section 64 of the Local Government Act 1993

I, Kelly Grigsby, Chief Executive Officer, being the General Manager as appointed by Council pursuant to Section 61 of the *Local Government Act 1993 (Tas)* ("the Act") hereby delegate pursuant to Section 64 of the Act, the following powers and functions to the Head of City Projects:

1. to sign an application; and
2. to provide written permission to make an application;

pursuant to section 52(1B) of the *Land Use Planning and Approvals Act 1993*, except where an application pursuant to that section is recommended for refusal by Council officers.

Dated this 24th day of February 2022



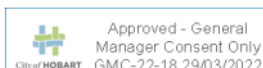
SIGNED

Kelly Grigsby
(Chief Executive Officer)

Being the General Manager as appointed by Council pursuant to section 61 of the *Local Government Act 1993 (Tas)*

CHARLTON RESIDENCE ALTERATIONS & ADDITIONS 287a LENA VALLEY ROAD LENA VALLEY, TASMANIA 7008

DWG	DRAWING TITLE	REV	ISSUE DATE
H001	DRAWING INDEX AND NOTES	4	11.03.2022
H002	NOTES 2	1	02.10.2020
H010	SITE PLAN	3	11.03.2022
H100	DRAINAGE PLAN	2	03.02.2022
H101	STORMWATER PLAN	3	08.03.2022
H300	DETAILS 1	1	03.02.2022



LEGEND

— EX W — EX W — EX W —	Existing water supply external to building	○ c ○	Riser / Dropper
— W — W — W —	Proposed water supply external to building	→	Water Outlet
— EX FS — EX FS — EX FS —	Existing fire supply	→ HBC	Hose Bib Cock
— FS — FS — FS —	Proposed fire supply	— X —	Stop Valve
— EX S — EX S — EX S —	Existing sewer drain	DD	Reduced Pressure Zone Device
— S — S — S —	Proposed sewer drain	DD	Double Check Valve (medium hazard)
— GW — GW — GW —	Proposed sewer drain (greasy waste)	DX	Dual Check Valve (low hazard)
— TW — TW — TW —	Proposed sewer drain (trade waste)	PRV	Pressure Reduction Valve
— EX SW — EX SW — EX SW —	Existing stormwater drain	WM	Water Meter
— SW — SW — SW —	Proposed stormwater drain	TMV	Thermostatic Mixing Valve (Enware Aquablend 1000 uno.)
— AG — AG — AG —	Proposed DN100 ag. drain and geofabric sock	AAV	Air Admittance Valve
— CW — CW — CW —	Proposed cold water supply internal to building	P	Pump
— HW — HW — HW —	Proposed hot water supply	FHB	Fire Hydrant Booster
— HWF — HWF — HWF —	Proposed hot water supply (flow)	DFH	Fire Hydrant Dual
— HWR — HWR — HWR —	Proposed hot water supply (return)	FH	Fire Hydrant Single
— TMW — TMW — TMW —	Proposed tempered water supply	H	Fire Plug
— V — V — V —	Proposed sediment fence	FHR	Fire Hose Reel
		HWU	Hot Water Unit
		PIT	Grated Stormwater Pit

ABBREVIATIONS

AAV.	AIR ADMITTANCE VALVE	IL.	INVERT LEVEL
CO.	CLEAR OUT	L/L.	LOW LEVEL
EXS.	EXISTING	L/P.	LOW POINT
F/A.	FROM ABOVE	ORG.	OVERFLOW RELIEF GULLY
F/B.	FROM BELOW	PAPA.	POSITIVE AIR PRESSURE ATTENUATOR
FFL	FINISHED FLOOR LEVEL	RWO.	RAIN WATER OUTLET
FSL	FINISHED SURFACE LEVEL	T/A.	TO ABOVE
GP.	GRADED PIT	T/B.	TO BELOW
H/L.	HIGH LEVEL	UNO.	UNLESS NOTED OTHERWISE
H/P.	HIGH POINT	WM.	WATER METER

REV	DESCRIPTION	APP'D	DATE
4	REISSUE FOR BUILDING APPROVAL	RL	11.03.2022
3	REISSUE FOR BUILDING APPROVAL	RL	08.03.2022
2	REISSUE FOR BUILDING APPROVAL	RL	03.02.2022
1	BUILDING APPROVAL	RL	02.10.2020

GANDY AND ROBERTS
CONSULTING ENGINEERS

159 DAVEY ST, HOBART
TASMANIA, AUSTRALIA 7000
www.gandyandroberts.com.au
mail@gandyandroberts.com.au
ph 03 6223 8877 fx 03 6223 7183

ALTERATIONS & ADDITIONS
287a LENA VALLEY ROAD
LENA VALLEY, TAS 7008

DRAWING TITLE
DRAWING INDEX AND NOTES

0	50mm	SCALE - @ A3
DESIGNED AK	DRAWN PH	CHECKED DH
PROJECT 20.0402	DRAWING H001	REVISION 4

WORK HEALTH AND SAFETY

H51.	The main contractor and all sub contractors shall comply with the State <i>Work Health and Safety Act, Regulations,</i> and all relevant codes of practice.
H52.	The Gandy and Roberts Design Safety Report 20.0402 revision A forms an integral part of this documentation. This report identifies safety risks and proposes control measures to be followed by the contractor and the building operator. Controls and hazards requiring more explanation than in the safety report are highlighted in our drawings with an exclamation mark in the triangle symbol shown:
H53.	Should the main contractor or sub contractors identify omissions or errors in the report related to the scope of Gandy and Robert's work on the project, or have safer ways of working, they should contact Gandy and Roberts prior to construction.
H54.	Should the main contractor propose an alternative design, they need to present these with appropriate safety risk planning to Gandy and Roberts for review.



- H1. All materials and workmanship shall be done in accordance with AS3500, the Tasmanian Plumbing Code and local council requirements.
- H2. All drainage pipework shall be uPVC class SWHD, all waste and vent shall be DWV class pipe unless noted otherwise.
- H3. Supply and install all fixtures, valves, tapware and sundry items as scheduled within the specification.
- H4. Contract drawings are diagrammatic and as such show the intent of design. Installation to be as per AS/NZS3500. Allow for all bends, offsets and other measures as necessary to avoid interference with the structure and/or other building services.
- H5. Hot water at high temperature (65°C) to kitchen and laundry. Hot water tempered to 50°C to bathroom fixtures. Hot water tempered to 45°C in disabled, child care and aged care facilities.
- H6. Tempered and hot water pipework shall be lagged with 13 mm Bradflex or equivalent, hot water circulating line to be lagged using 25 mm sectional rockwool with foil outer cover. Solar flow and return pipework (internal and external) shall be lagged with 13 mm Armaflex Solar or equivalent with weather and UV protection, R-value of 0.6, for pipe temperatures up to 150°C, and PVC free.
- H7. Conceal all pipework in ceiling spaces, ducts, wall cavities, wall chases, cupboards, etc unless otherwise approved.
- H8. Refer to architects demolition plan for removal of existing fixtures and fittings. The removal of existing plumbing fixtures shall include all associated waste and vent pipes, floor drains, water service pipework brackets, supports, etc and seal off existing services. seal off and make good all floor, wall and roof penetrations.
- H9. The location of existing services where shown are approximate only and shall be confirmed on site. where possible, determine location of existing power, Telstra, water and drainage services prior to commencing new work.
- H10. Co-ordinate all pipework with existing services on site.
- H11. Make good all disturbed surfaces to match existing.
- H12. Plumbing contractor to arrange for all new works by local authority and for sealing off and making good existing as required. Pay all fees associated with the works.
- H13. Maintain services to existing fixtures at all times. where changeover is required, liaise with the architect prior to the shutting down of any service.
- H14. Arrange work by local authority in accordance with the builders works program.
- H15. Contractor to provide all documents, approvals, certificates, warranties, log books, etc. upon completion of works to the architect. All fees and inspections to be included and arranged by the contractor.
- H16. Confirm all invert levels prior to trench excavation.
- H17. The plumber shall arrange for all inspections and testing of services required by the local authority prior to concealment.
- H18. Following completion of the works, flush all piping systems and leave free of foreign matter; clean out aerators, strainers, filters, etc.; flow test all hydrants and hose reels.
- H19. For class M and above soil types additional requirements for drainage installation shall be in accordance with AS2870.

- A1. The contractor is responsible for ensuring that a valid building and plumbing permit is in place for the work and that the Building Surveyor is notified of all site inspection requests. Where work is within a road reserve, a road opening permit must be obtained from local council prior to work. Workplace Standards approval must also be gained where appropriate.
- A2. The contractor is responsible for organising all site inspections and observing all hold points nominated within the contract, by the Building Surveyor or Plumbing Surveyor.
- A3. A minimum of one working day of notice is required for the Engineer to attend the site. Do not rely upon facsimile or email to communicate requests - make contact with our office to confirm attendance.
- A4. Photographic documentation is not an adequate basis to proceed beyond a hold point unless approved by the Engineer.


1	BUILDING APPROVAL	RL	02.10.2020
REV	DESCRIPTION	APP'D	DATE

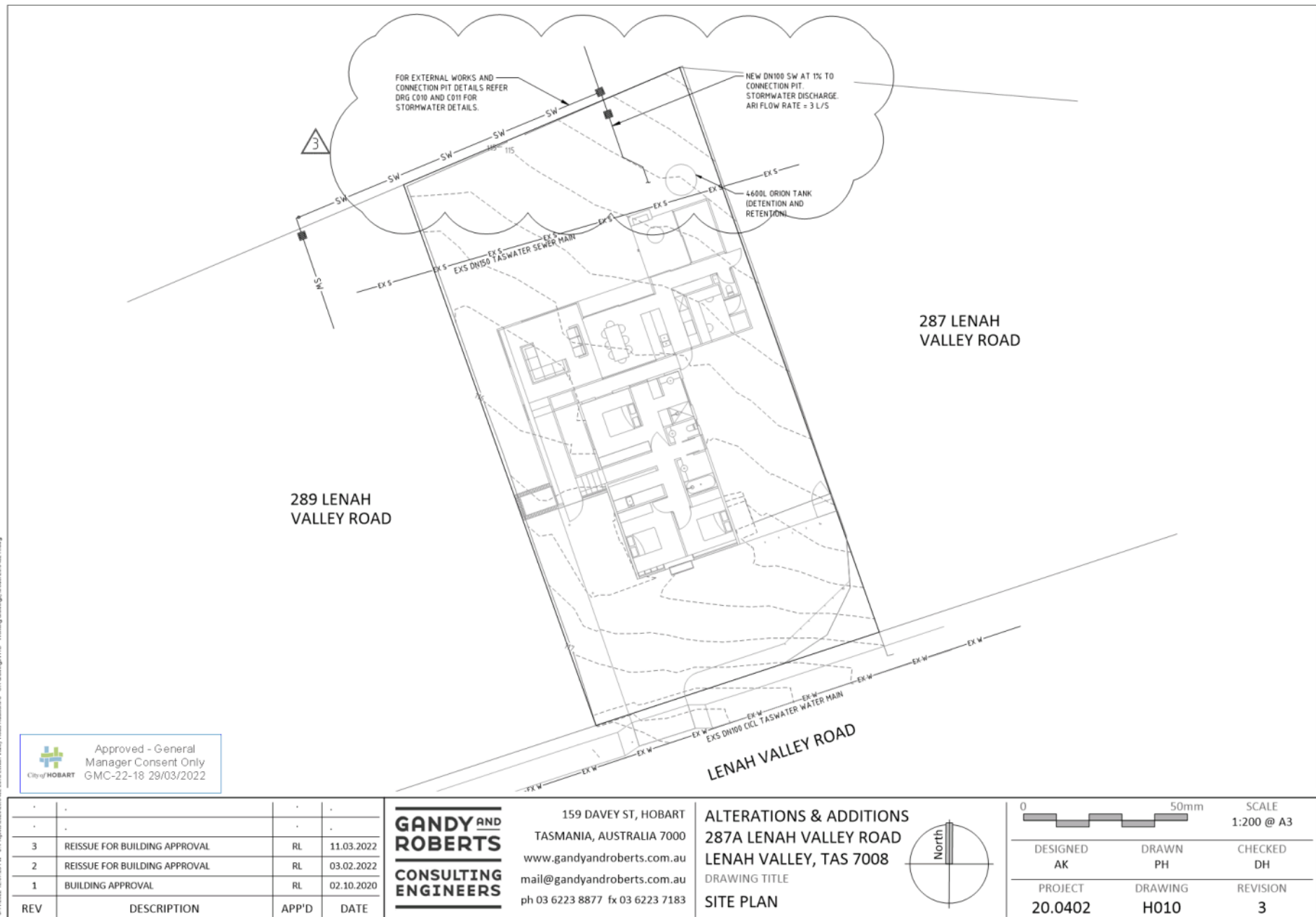
**GANDY AND
ROBERTS**
**CONSULTING
ENGINEERS**

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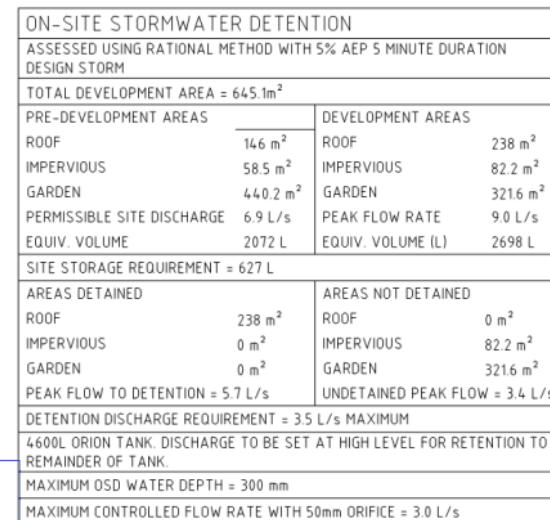
ALTERATIONS & ADDITIONS
287a LENA VALLEY
LENA VALLEY, TAS 7008
DRAWING TITLE
NOTES 2



		SCALE - @ A3
DESIGNED AK	DRAWN PH	CHECKED DH
PROJECT 20.0402	DRAWING H002	REVISION 1



GANDY AND ROBERTS Consulting Engineers

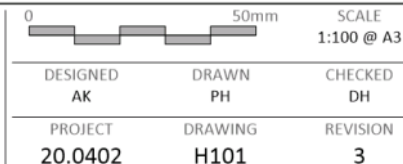


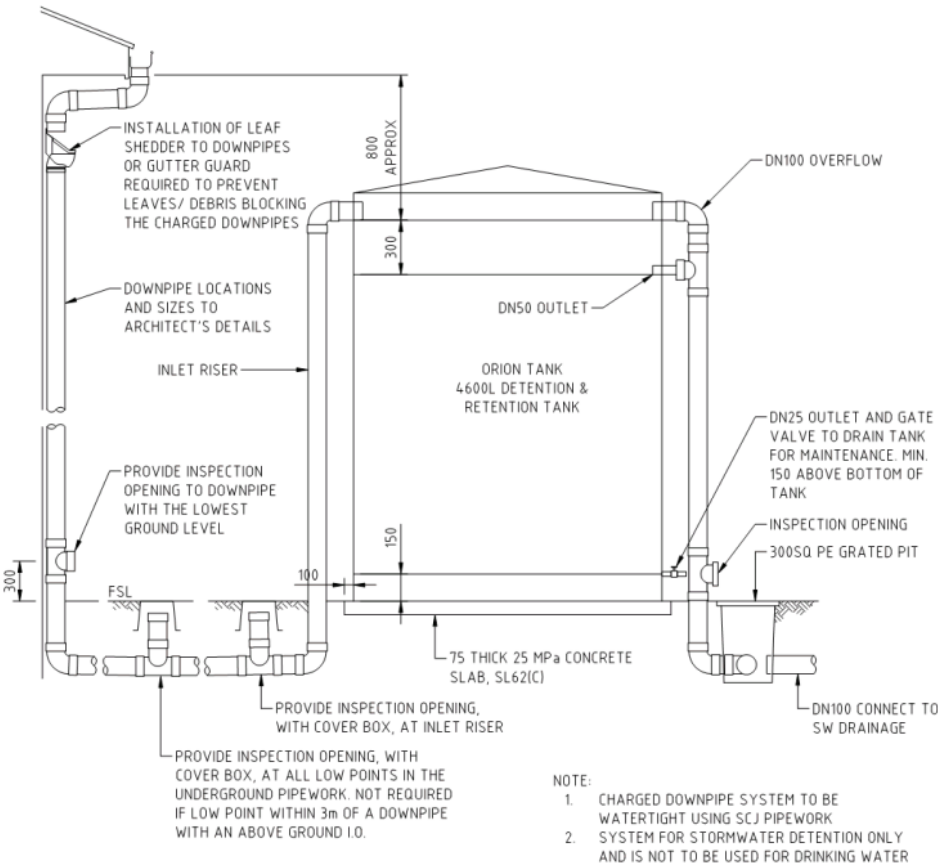
3	REISSUE FOR BUILDING APPROVAL	RL	08.03.2022
2	REISSUE FOR BUILDING APPROVAL	RL	03.02.2022
1	BUILDING APPROVAL	RL	02.10.2020
REV	DESCRIPTION	APP'D	DATE

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ALTERATIONS & ADDITIONS
287A LENA VALLEY ROAD
LENA VALLEY, TAS 7008
DRAWING TITLE
STORMWATER PLAN





CHARGED DOWNPIPE SYSTEM AND DETENTION
TANK GENERAL ARRANGEMENT

NOT TO SCALE

Approved - General
Manager Consent Only
GMC-22-18 29/03/2022

1	BUILDING APPROVAL	RL	03.02.2022
REV	DESCRIPTION	APP'D	DATE

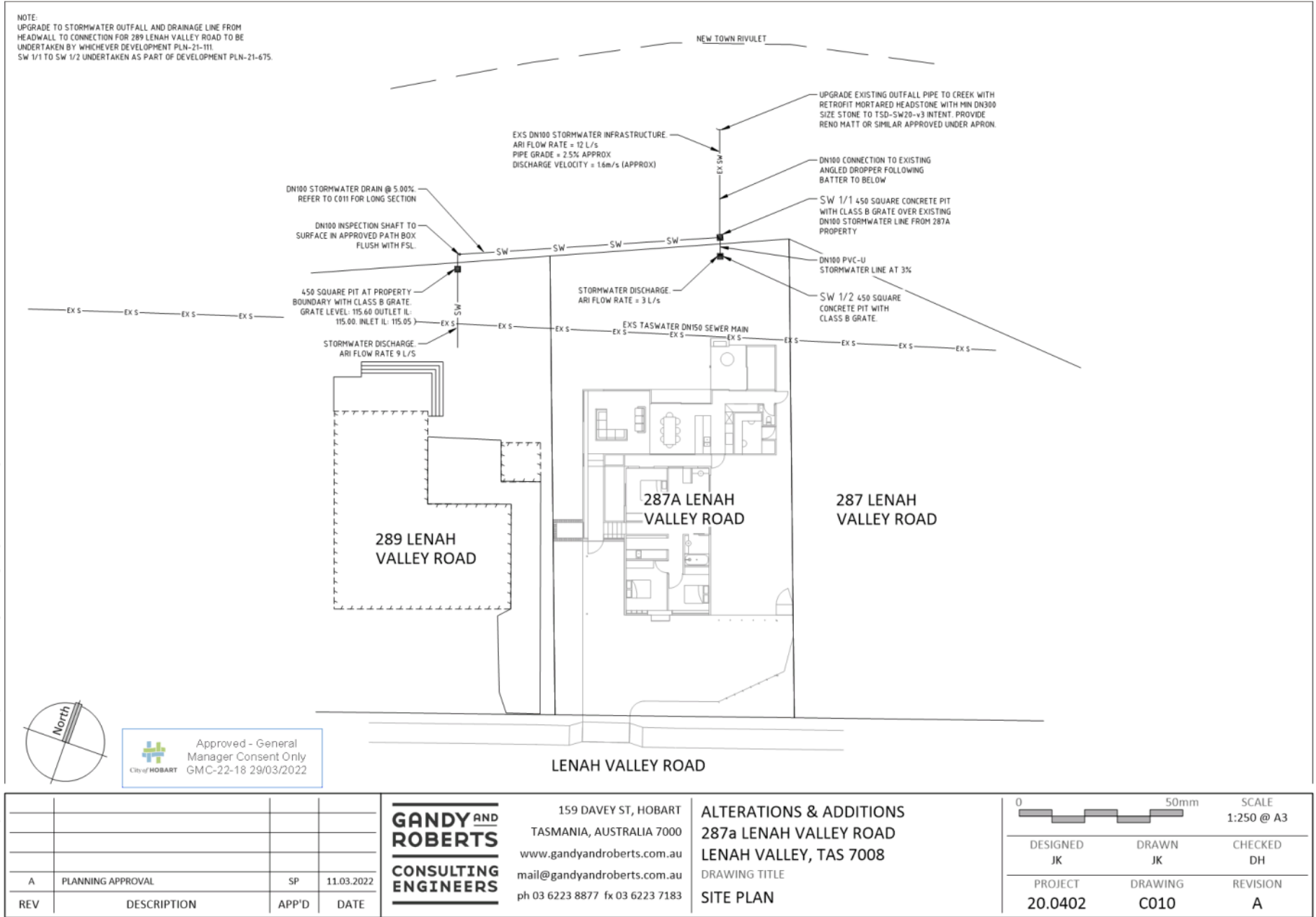
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ENGINEERS**

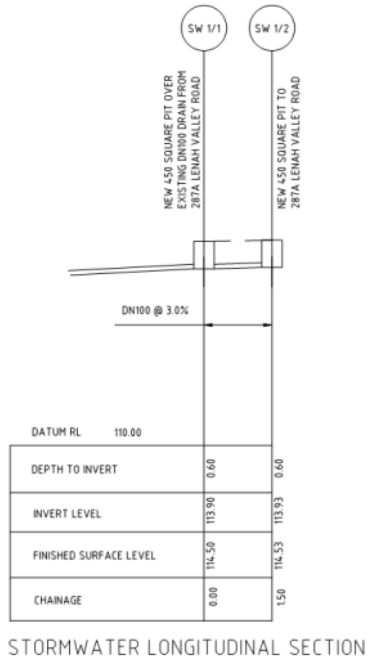
159 DAVEY ST, HOBART
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mail@gandyandroberts.com.au
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ALTERATIONS & ADDITIONS
287A LENAH VALLEY ROAD
LENAH VALLEY, TAS 7008
DRAWING TITLE
DETAILS 1

0 50mm SCALE 1:100 @ A3		
DESIGNED AK	DRAWN JK	CHECKED AK
PROJECT 20.0402	DRAWING H300	REVISION 1

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City of HOBART
Approved - General
Manager Consent Only
GMC-22-18 29/03/2022

A	PLANNING APPROVAL	SP	11.03.2022
REV	DESCRIPTION	APP'D	DATE

**GANDY AND
ROBERTS**
**CONSULTING
ENGINEERS**

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TASMANIA, AUSTRALIA 7000
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ALTERATIONS & ADDITIONS
287a LENA VALLEY ROAD
LENA VALLEY, TAS 7008
DRAWING TITLE
STORMWATER LONG SECTION

0 50mm		SCALE 1:100 @ A3
DESIGNED JK	DRAWN JK	CHECKED DH
PROJECT 20.0402	DRAWING C011	REVISION A



studio middle 01_287A Lenah Valley Road Alts + Adds

Development Application

22.04.22

*We acknowledge the traditional custodians of the land on which
we work, build and inhabit.
We extend our respects to their Elders past and present.*

Studio middle 01_ 287A Lenah Valley Road

Project background:

The charming weatherboard home c.1960 of 287A Lenah Valley Road has great potential. With a simple plan and north facing backyard, the site offers ample opportunity for generous views to the New Town Rivulet and kunanyi/ Mount Wellington whilst inviting excellent solar access and amenity.

The young couple, who have made the dwelling their home for more than 5 years, wish to give the place a new lease of life, flipping the southern facing living and dining spaces to the northern edge to maximise solar gain but also to make the most of the beautiful reserve backdrop.

The proposal comprises of a low lying skillion addition that extends from the line of the existing carport and maximises light and space. An addition steps down from the original home following the natural slope of the land gaining a physical connection to the backyard whilst reducing the scale of the addition. The design takes cues from the original home and surrounding suburb, continuing the theme of painted weatherboard cladding and feature brickwork for the new chimneys, porch and brick paved areas.

287A sits within Hobart City Council General Residential Zone 10 and has the following overlays, a bushfire prone area and place where the hobart E11 Waterways and coastal protection may apply.

A bushfire hazard report has been conducted by Rhys Menadue from Bushfire Prone Development Solutions. A BAL rating of 19 was assessed for the property (see attached report). Please note a Bushfire Hazard Management Plan which will be undertaken for the building and plumbing stage.

The single storey addition sits within the HCC planning envelope 10.4.2 on all boundaries. A small carport sits between the house and street frontage but is deliberately pushed to the side boundary so the front of the existing home remains the feature from the street. The carport is open with a timber batten screen which again allows the house to remain highly visible from all angles.

Included in this application to support the proposed works are the following documents:

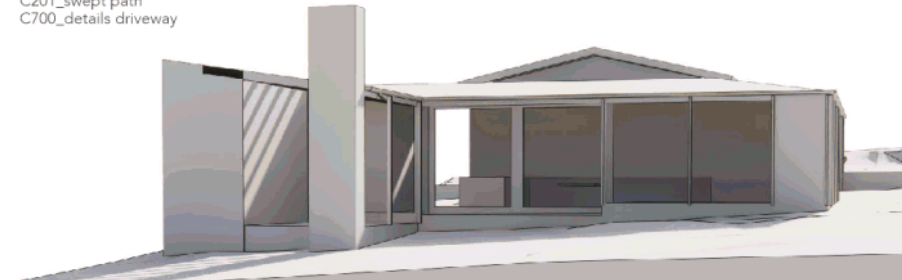
1. GMC-22-18 (works to council stormwater notice of land owner consent to lodge a planning application).

2. Hydraulic Drawing set from Gandy and Roberts Consulting Engineers

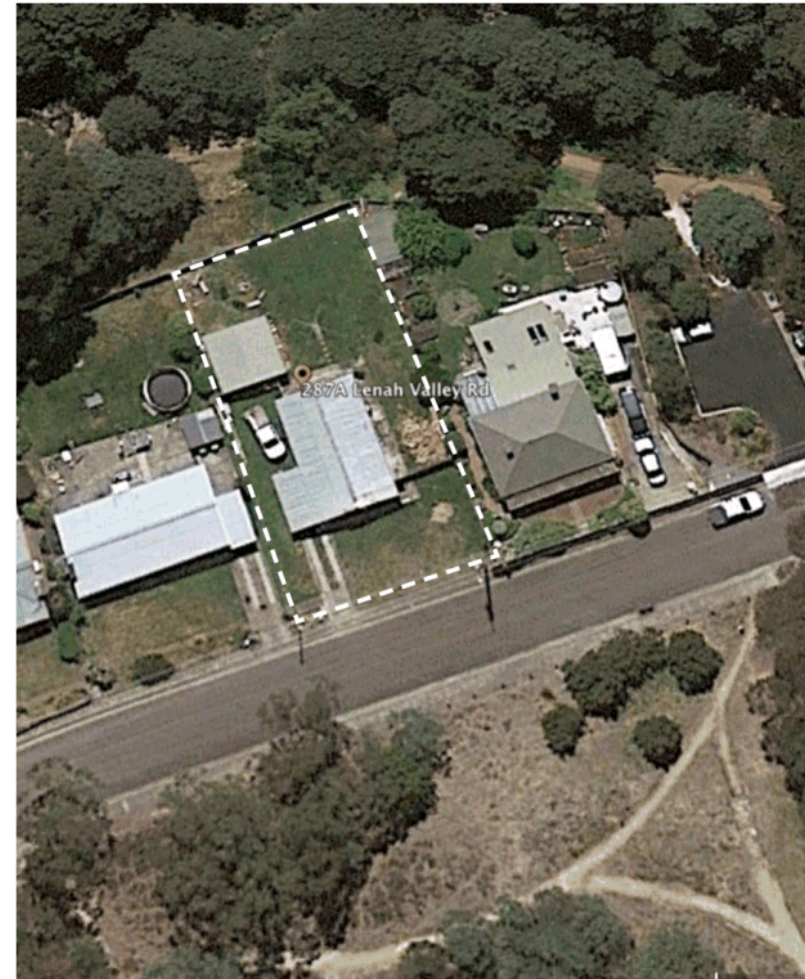
H001_drawing index and works
H002_hydraulic notes 1
H010_site plan
H100_drainage plan
H101_stormwater plan
H300_details 1
C010_site plan
C011_stormwater long section

3. Driveway/civil design from Gandy and Roberts Consulting Engineers

C200_sitework
C201_swept path
C700_details driveway



Preliminary modelling of addition



Studio middle 01_ 287A Lenah Valley Road



The home is a modest example of mid century modern architecture.

Typical features of this period are:

- Flat or single angled rooflines.
- Floor to ceiling windows.
- Clean lines and open plan spaces.
- Split-levels and sunken living areas.
- Uninterrupted Indoor/outdoor areas.
- Lack of decorative and ornate styling such as ceiling roses, iron laceworketc.
- The use of new materials for the era e.g.: laminate, stainless steel, large scale glass panes, plastics and also natural and textural surfaces of interest such as wood paneling, slate, shag carpets, woven curtains.
- Clarity in their planning.
- Views through one space into the next.
- Oneness with garden.

All of these qualities are elements that have been applied in the new works and are relevant to how you live today.



The existing utilitarian side to the house, with all wet areas on east side of the house and access to the garden from the kitchen.



The rear/northern facade is primarily solid with utilitarian openings and provides no access to the garden and rear backyard.

The existing house lacks both a physical and visual connections to the backyard and does not make the most of the northern orientation.



Simple roof form, low lying at its edges, practical, efficient and useful under cover areas extend out to the yard.



Views northwest up the valley to Kunanyi can also be seen over neighbouring backyards.



Large gum trees and dense bush are directly over the back fence. There is the opportunity to borrow landscape views beyond the line of your backyard.

It is also important to maximise the northern orientation of your yard.

Studio Middle 01_ 287A Lenah Valley Road
existing suburban street scape building patterns



Modest, single storey, weatherboard, native planting, light coloured, pastel, white window frames, generous windows, brick base, shallow roof pitch, welcoming, homey, domestic, small scale, no front fences.

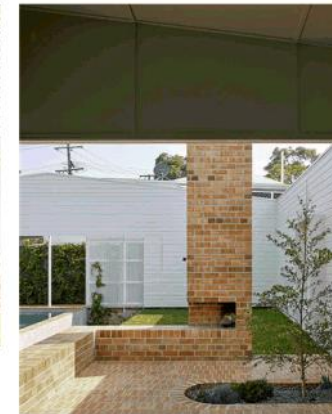
Studio Middle 01_ 287A Lenah Valley Road

exterior precedents



Some more observations about mid century modern architecture:

- simple forms
- expressed structure
- bold use of glass connecting to outdoor spaces
- rich internal spaces
- natural materials, brick, timber, stone
- large focus on the garden from the interior
- garden + house as one



Studio Middle 01_ 287A Lenah Valley Road
interior precedents

walls and ceilings are light weight/ light in colour + playful with light and shadow



flooring and landscape walls are solid, sturdy of the earth (natural materials- brick and sandstone)

Studio middle 01_ 287A Lenah Valley Road
Existing stormwater connection



An image of the existing stormwater discharge point into the rivulet.
Then a number of photos leading up towards the rear boundary of
the property.

Studio middle 01_ 287A Lenah Valley Road

bushfire assessment report

BUSHFIRE PRONE
DEVELOPMENT
SOLUTIONS

BUSHFIRE ATTACK LEVEL ASSESSMENT REPORT**THIS IS NOT A BUSHFIRE HAZARD MANAGEMENT PLAN**

Bushfire Attack Level (BAL) assessment conducted in accordance with Clause 2.2 Simplified Procedure (Method 1) of AS 3959 - 2009. Step 6 of this procedure has been omitted due to an unconfirmed construction specification being provided.

This BAL Assessment Report has been provided only to determine the BAL (in accordance with AS3959-2009) for the site and provide recommendations for BAL reduction methods. Water Supply for fire fighting and Vehicle access and egress for fire fighting have been excluded; and should be considered as part of the Building Surveyors Certificate of Likely Compliance assessment.

Limitations of the report are:

1. All reasonable steps to ensure that the information provided in this assessment is accurate and reflects the conditions on and around the site and allotment on the date of this assessment;
2. It should be noted that compliance with the recommendations contained in this assessment does not mean that there is no residual risk to life safety or property as a result of bushfire. A residual level of risk remains which recognises that removing the risk to life and property in absolute terms is not achievable while people continue to build in bushfire prone areas. This limitation is expressed in the following extract from AS 3959 (2009) which states (in the forward),
It should be borne in mind that the measures contained in this Standard cannot guarantee that a building will survive a bushfire event on every occasion. This is substantially due to the degree of vegetation management, the unpredictable nature and behaviour of fire, and extreme weather conditions. This level of residual risk is inherent in all bushfire standards and also applies to these assessments.

Property Details

Applicant's Name	Drew Charlton	Phone/email	0408 100 196
Municipality	Hobart Council		
Certificate of Title / Lot No.	18187/7		
Address	287 A Lenah Valley Road, Lenah Valley		

Type of building work

- New Class 1 building ☐
- New Class 10a building ☐
- Alteration/Additions to an existing building ☒
- Description of building work: e.g. single dwelling with attached garage

Addition to Dwelling

BUSHFIRE PRONE
DEVELOPMENT
SOLUTIONS

Bush Fire Attack Level (BAL)

Relevant fire danger index: (see clause 2.2.2)

FDI 50

Assess the vegetation within 100m in all directions (tick relevant group)

Note 1: Refer to Table 2.3 and Figures 2.3 & 2.4 for description and classification of vegetation.

Note 2: If there is no classified vegetation within 100 m of the site then the BAL is LOW for that part of the site.

Vegetation classification (see Table 2.3)	North <input checked="" type="checkbox"/>	South <input checked="" type="checkbox"/>	East <input checked="" type="checkbox"/>	West <input checked="" type="checkbox"/>
	North-East <input type="checkbox"/>	South-West <input type="checkbox"/>	South-East <input type="checkbox"/>	North-West <input type="checkbox"/>
Group A - Forest	YES	N/A	N/A	N/A

Exclusions (where applicable)	Highlight relevant paragraph descriptor from clause 2.2.3.2.
(b) (c) (d) (e) (f)	<input checked="" type="checkbox"/> (b) (c) (d) (e) (f) <input checked="" type="checkbox"/> (b) (c) (d) (e) (f) <input checked="" type="checkbox"/> (b) (c) (d) (e) (f)

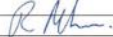
Distance (from existing building) to classified vegetation	North	South	East	West
	Show distances in metres			
	23m	N/A - >100m	N/A - >100m	N/A - >100m
Effective slope	Upslope			
	Upslope/0° <input checked="" type="checkbox"/>	Upslope/0° <input checked="" type="checkbox"/>	Upslope/0° <input type="checkbox"/>	Upslope/0° <input checked="" type="checkbox"/>
	Downslope			
Slope under the classified vegetation	>0 to 5 <input type="checkbox"/>	>0 to 5 <input type="checkbox"/>	>0 to 5 <input checked="" type="checkbox"/>	>0 to 5 <input type="checkbox"/>
	>5 to 10 <input type="checkbox"/>	>5 to 10 <input type="checkbox"/>	>5 to 10 <input type="checkbox"/>	>5 to 10 <input type="checkbox"/>
	>10 to 15 <input type="checkbox"/>	>10 to 15 <input type="checkbox"/>	>10 to 15 <input type="checkbox"/>	>10 to 15 <input type="checkbox"/>
	>15 to 20 <input type="checkbox"/>	>15 to 20 <input type="checkbox"/>	>15 to 20 <input type="checkbox"/>	>15 to 20 <input type="checkbox"/>
BAL value for each side of the site	BAL-19	BAL-LOW	BAL-LOW	BAL-LOW

Determination of Bushfire Attack Level (BAL)

The BAL for this site is	BAL-19
Comments / Limitations	<p>The BAL rating only applies to the attached Indicative Sketch Plan showing addition footprint as dashed red lines - <u>it is not a site generic BAL rating.</u></p> <p>The attached Sketch Plan indicates the BAL zones across the block - the proposed rear addition falls into the BAL-19 zone. The proposed front addition falls into the BAL-12.5 zone, however the construction measures for the proposed front addition may only be reduced to BAL-12.5 if they meet the shielding requirements set out in Section 3.5 of AS3959-2009.</p>

Studio middle 01_ 287A Lenah Valley Road
bushfire assessment report

BUSHFIRE PRONE
DEVELOPMENT
SOLUTIONS

Date of assessment	22 September 2018		
Assessors name:	Rhys Menadue	Phone:	0407 595 317
Statement/Determination:			
I have taken all reasonable steps to ensure that the information provided in this assessment is accurate and reflects the conditions on and around the site and allotment on the date of this assessment.			
Signed:		Date:	26 September 2018

Attachments: Development plans and documentation applicable to this assessment include: continued below;



General Site location - Not to Scale (blue circles represent ~100m radius)

BUSHFIRE PRONE
DEVELOPMENT
SOLUTIONS



Looking North



Looking North

Studio middle 01_ 287A Lenah Valley Road
bushfire assessment report

BUSHFIRE PRONE
DEVELOPMENT
SOLUTIONS



Looking North - rear of property



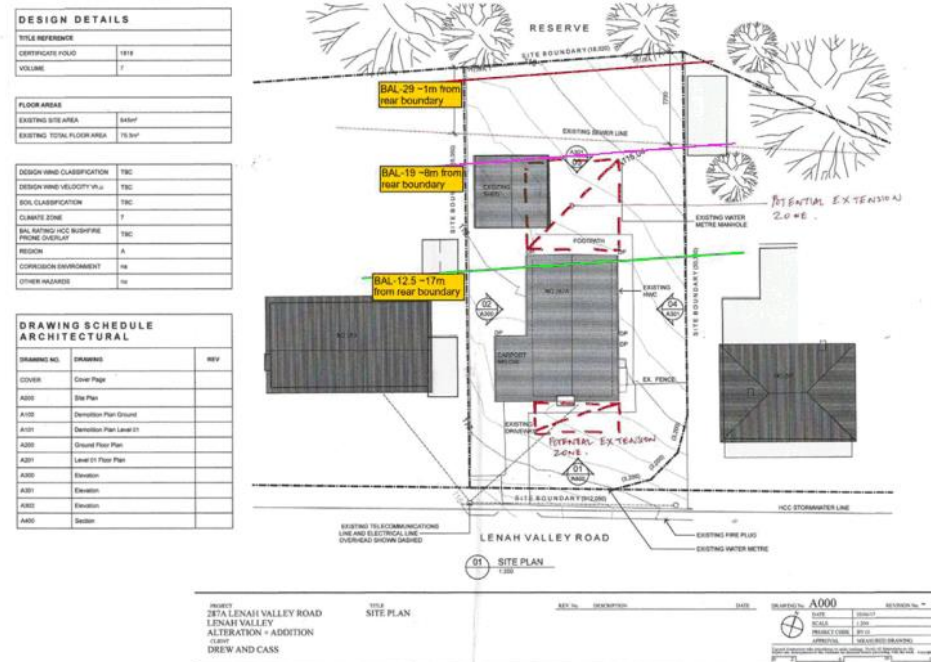
Looking West

BUSHFIRE PRONE
DEVELOPMENT
SOLUTIONS



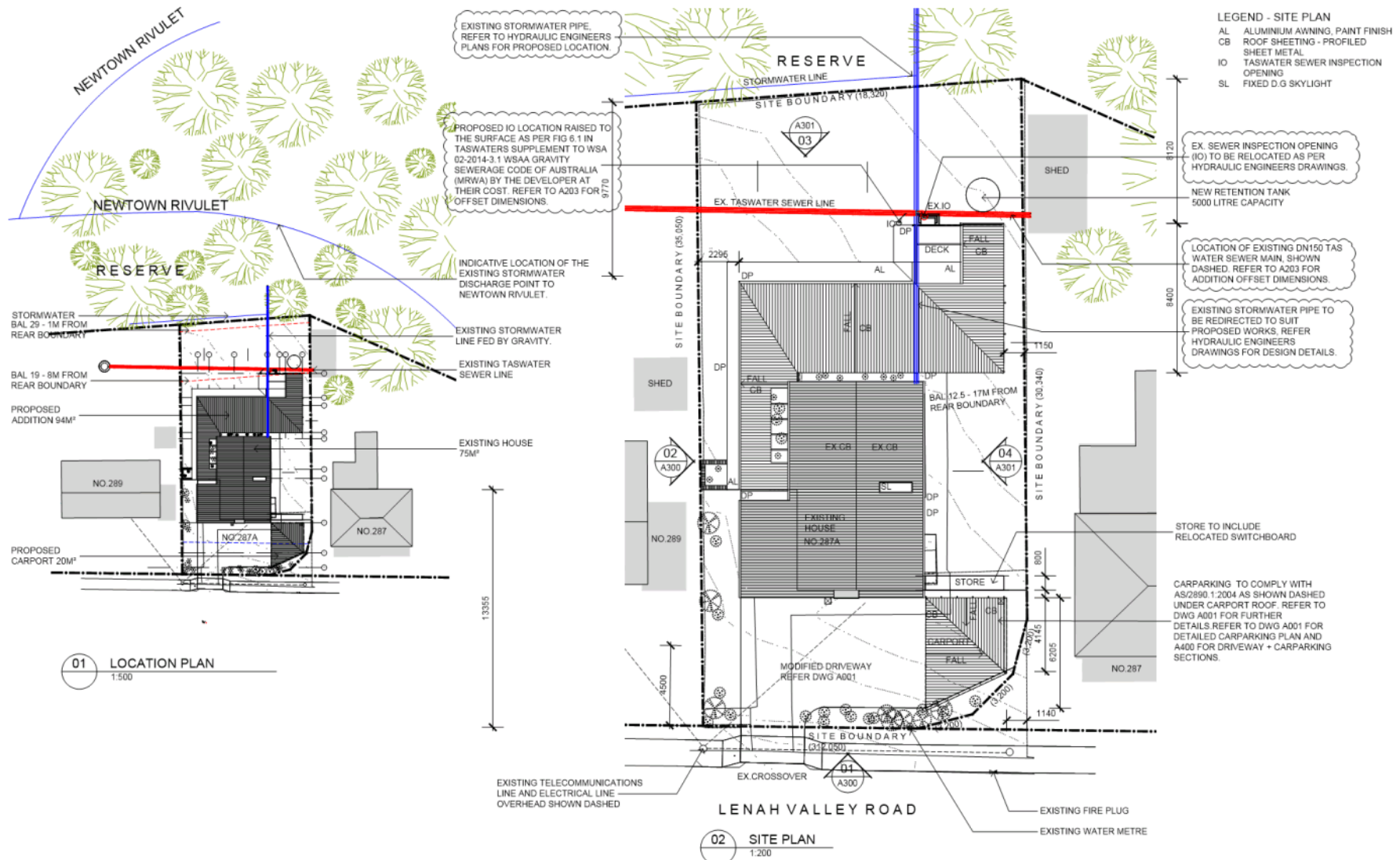
Looking South - Parkland

BUSHFIRE PRONE DEVELOPMENT SOLUTIONS



Site Plan - Not To Scale

Bushfire Prone Development Solutions
14 Reynolds Court . Dynnyrne . TAS 7005
M: 0407 595 317 . E: rhmenadue@gmail.com



PROJECT
287A LENAH VALLEY ROAD
LENAH VALLEY
ALTERATION + ADDITION
CLIENT
DREW AND KASS

TITLE
LOCATION + SITE PLAN

REV. No.	DESCRIPTION	DATE
01	HCC PLN-21-675 RFI 01 PARKING + ACCESS	16.10.21
02	HCC PLN-21-675 RFI 01 SEWER CLEARANCE	11.01.22
03	TWDA 2022/00611-HCC RFI 03 TAS WATER	26.08.22

DRAWING No.	REVISION No.
A000	03
DATE	11.01.2022
SCALE	1:500 + 1:200
PROJECT CODE	50.001
APPROVAL	PLANNING APPLICATION

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REFER TO STRUCTURAL ENGINEERS DRAWINGS
FOR STRUCTURAL INFORMATION.



GENERAL NOTES

BUILDING CLASS: 1A

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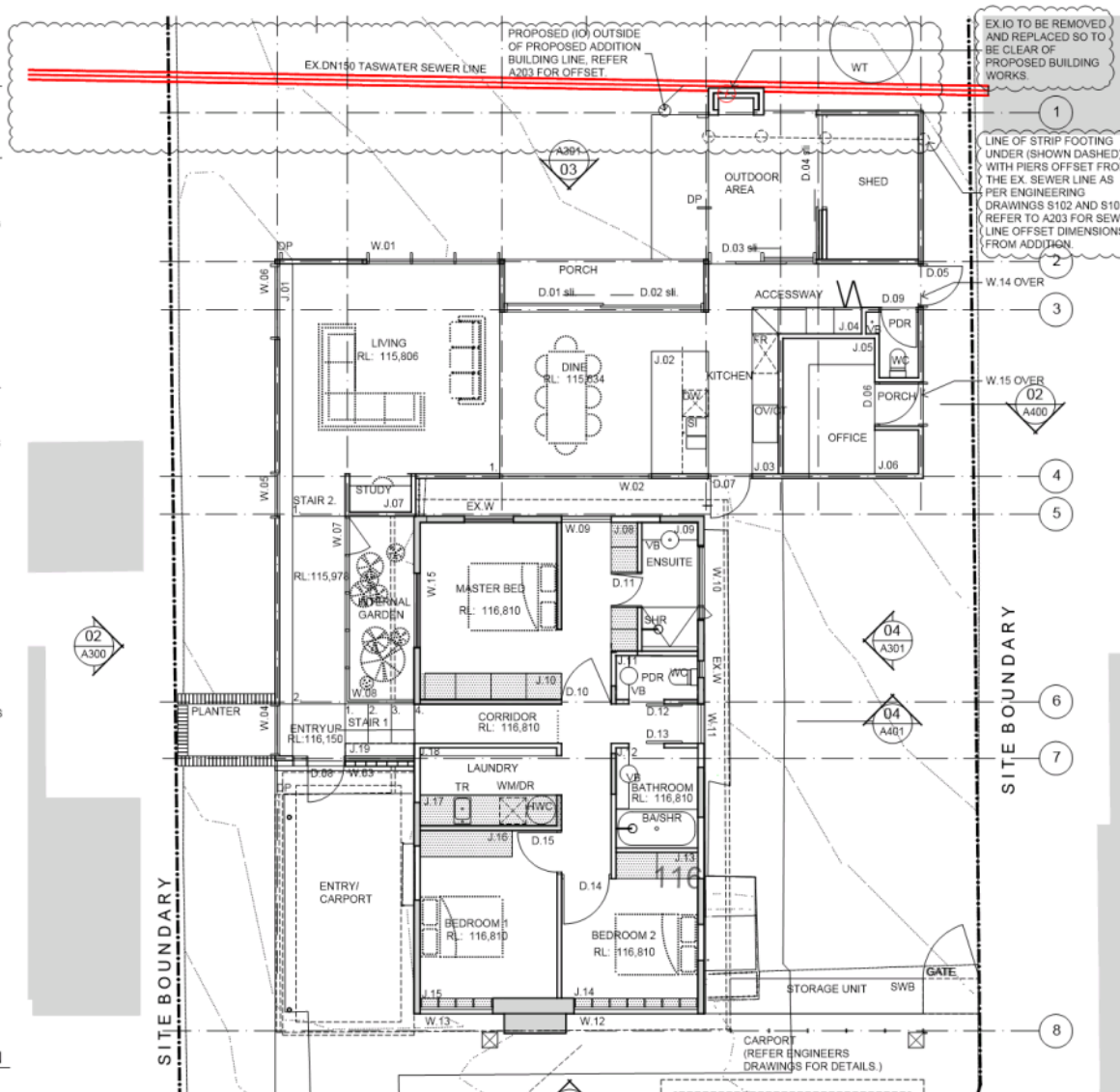
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REFER TO DOOR SCHEDULE FOR DOOR TYPES AND NOMINAL DIMENSIONS. TBC

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01 PROPOSED FLOOR PLAN
1:100



LEGEND - PLAN

- WALLS:
 EXISTING WALLS
 BRICK SCREEN
 TIMBER FRAME
 TIMBER FRAME & BULK INSULATION
- C1 COLUMN RHS REFER ENGINEERS DWGS
 C2 COLUMN CHS REFER ENGINEERS DWGS
 DS DOUBLE STUD REFER ENGINEERS DWGS
 DP DOWNPIPE REFER ENGINEERS DWGS
 DPICOL CHS IS DOWNPIPE

- FLOOR FINISH:
 BP BRICK PAVING
 CONC CONCRETE (COLOUR TO MATCH BP)
 CPT BROADLOOM CARPET
 CM COIR MATTING 17MM
 CT FLOOR TILE
 EX EXISTING
 EX.T EXISTING FLOOR BOARDS, NEW FINISH
 TM TIMBER FLOOR BOARDS
- STAIRS:
 STAIR 1 CT 525MM GOING X 165MM RISER
 STAIR 2 CT 170MM RISER
 STAIR 3 CT 170MM RISER
 STAIR 4 CT 170MM RISER

- FITTINGS & EQUIPMENT:
 BI HAFELE 4 PART BIN INSERT TBC*
 CM COFFEE MACHINE*
 CT INDUCTION COOKTOP*
 DC DUCTED HEATING* DEGREES C
 DR DRYER*
 DW DOUBLE DRAWER DISHWASHER*
 HR HAND RAIL 400 TIMBER DOWEL
 HWC HOT WATER CYLINDER, RELOCATE EXISTING
 P PANTRY
 FR FRIDGE/FREEZER
 MW EX. MICROWAVE*
 MX MIXER (SHOWER)*
 OV1 OVEN*
 RH RANGEHOOD
 T TOWEL RAIL*
 S DOUBLE KITCHEN SINK + MIXER*
 SHR SHOWER ROSE*
 TR LAUNDRY TROUGH + MIXER*
 TRH TOILET ROLL HOLDER*
 VB VANITY BASIN UNIT + MIXER*
 WC TOILET*
 WM WASHING MACHINE*
 WT WATER TANK* LOCATION TBC ON SITE.
 * SUPPLIED BY CLIENT. DELIVERY & INSTALLATION BY CONTRACTOR FOR ALL ITEMS.

- DOORS (REFER TO SCHEDULE FOR DETAILS):
 D.01 EXT. D.G. SLIDING DOOR
 D.02 EXT. D.G. SLIDING DOOR
 D.03 EXT. D.G. SLIDING DOOR
 D.04 EXT. SOLID SLIDING DOOR
 D.05 EXT. D.G. HINGED TIMBER DOOR
 D.06 EXT. D.G. HINGED TIMBER DOOR
 D.07 EXT. D.G. HINGED TIMBER DOOR
 D.08 EXT. SOLID HINGED DOOR
 D.09 EXT. D.G. HINGED TIMBER DOOR
 D.10 INT. SOLID CORE HINGED DOOR
 D.11 INT. SOLID CORE HINGED DOOR
 D.12 INT. SOLID CORE SLIDING DOOR
 D.13 INT. SOLID CORE SLIDING DOOR
 D.14 INT. SOLID CORE HINGED DOOR
 D.15 INT. SOLID CORE HINGED DOOR



studio
middle

PROJECT
287A LENAH VALLEY ROAD
LENAH VALLEY
ALTERATION + ADDITION
CLIENT
DREW AND KASS

TITLE
PROPOSED FLOOR PLAN

REV. No.	DESCRIPTION	DATE
01	HCC PLN-21-675 RFI 01 PARKING + ACCESS	16.10.21
02	HCC PLN-21-675 RFI 01 SEWER CLEARANCE	11.01.22
03	TWDA 2022/00611-HCC RFI 03 TAS WATER	26.08.22

DRAWING No.	REVISION No.
A200	03
DATE	11.01.2022
SCALE	1:100
PROJECT CODE	50.001
APPROVAL	PLANNING APPLICATION

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GENERAL NOTES

BUILDING CLASS: 1A

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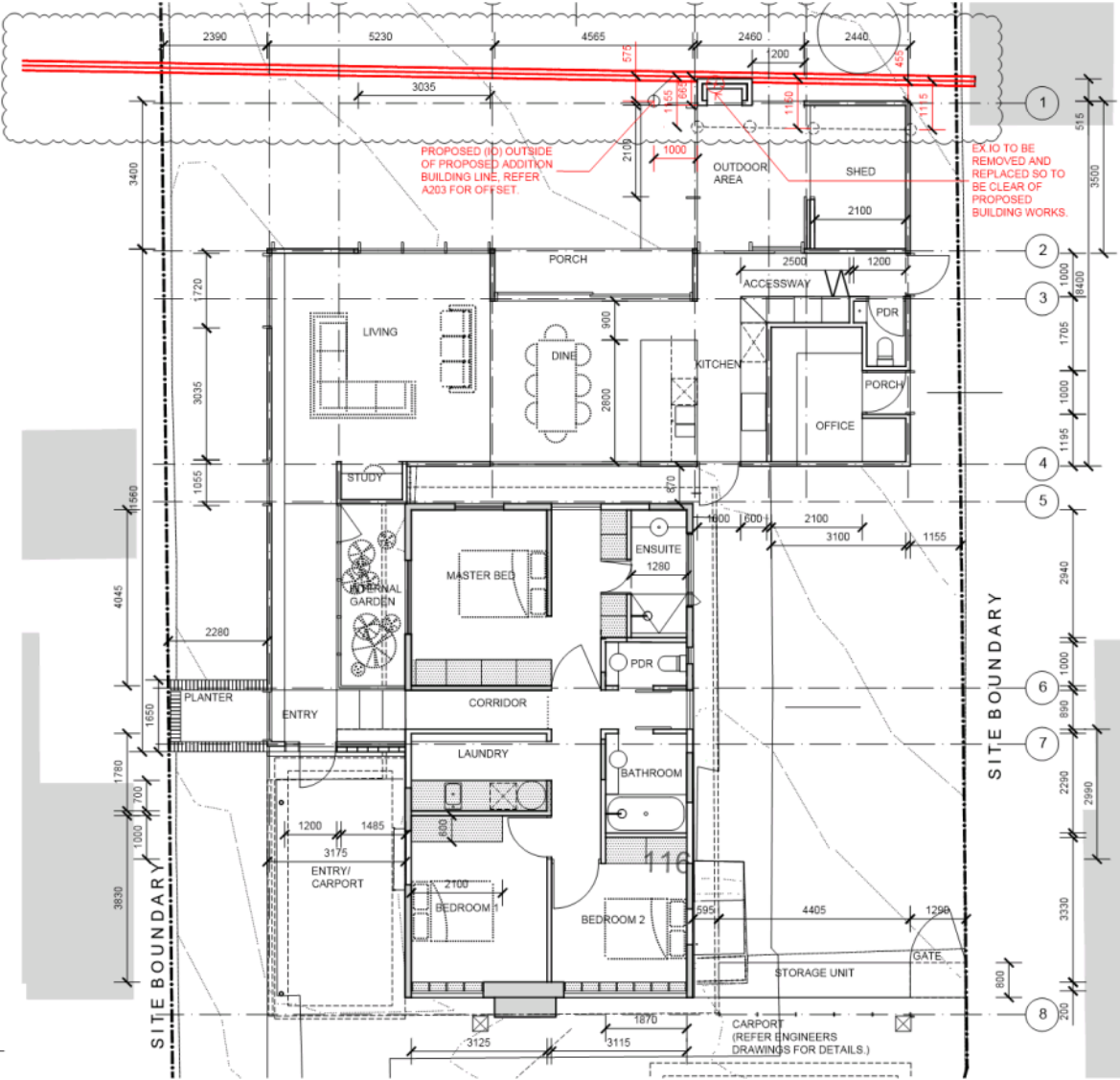
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01 LAYOUT PLAN
1:100



NOTE:

TWDA 2022/00611-HCC RFI 03 TAS WATER DIMENSION REQUIREMENTS NOTED IN RED. THE DRAWING SHOWS BOTH THE EXISTING LOCATION OF THE IO AND THE PROPOSED LOCATION.



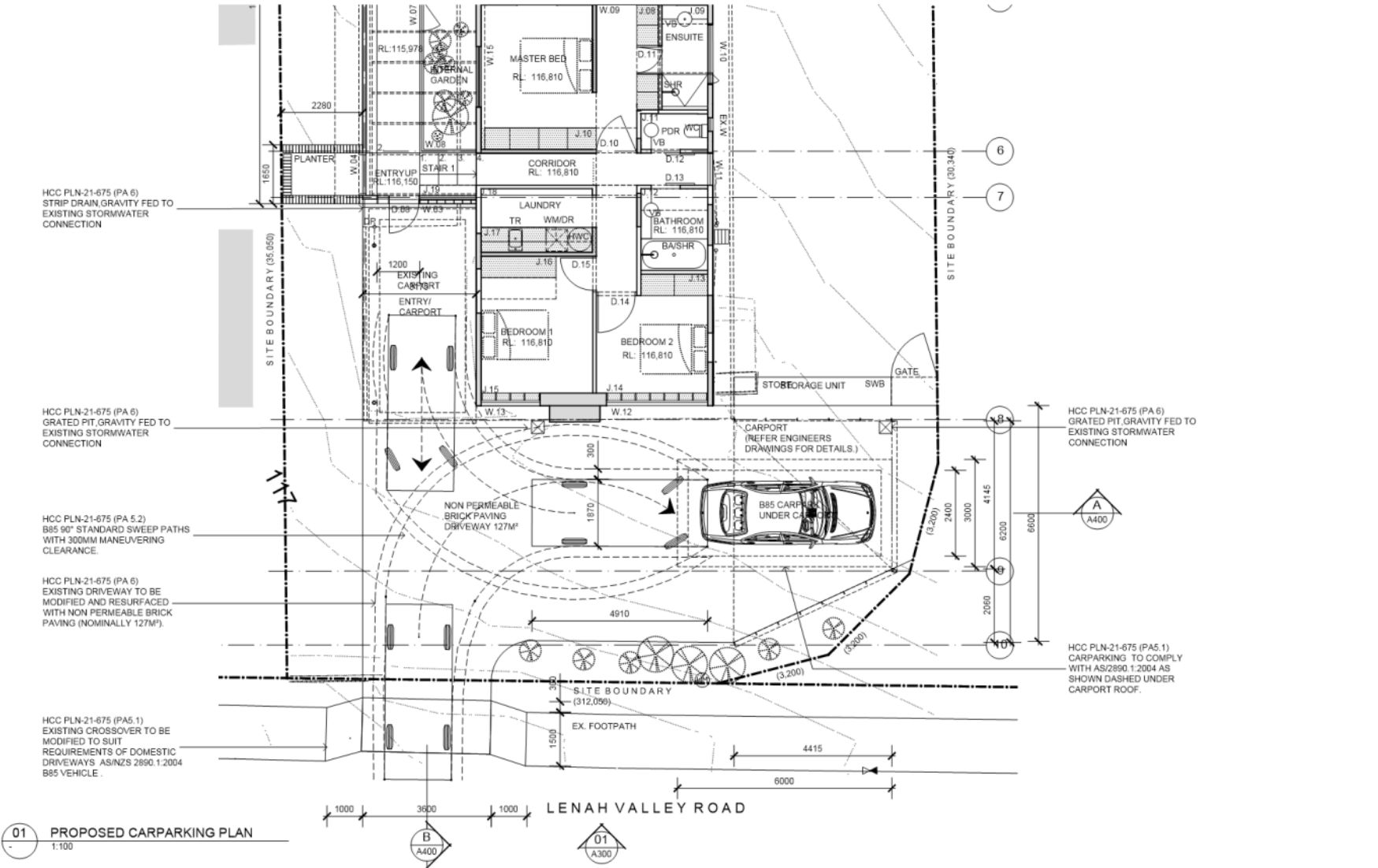
PROJECT
287A LENAH VALLEY ROAD
LENAH VALLEY
ALTERATION + ADDITION
CLIENT
DREW AND KASS

TITLE
LAYOUT PLAN

REV. No.	DESCRIPTION	DATE
01	HCC PLN-21-675 RFI 01 PARKING + ACCESS	16.10.21
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DRAWING No.	REVISION No.
A203	03
DATE	11.01.2022
SCALE	1:100
PROJECT CODE	50.001
APPROVAL	PLANNING APPLICATION

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PROJECT
287A LENAH VALLEY ROAD
LENAH VALLEY
ALTERATION + ADDITION
CLIENT
DREW AND KASS

TITLE
PROPOSED CARPARKING PLAN

REV. No. DESCRIPTION

DATE

DRAWING No. A001

REVISION No. -

DATE	11/01/2022
SCALE	1:100
PROJECT CODE	SO.01
APPROVAL	DEVELOPMENT APPLICATION

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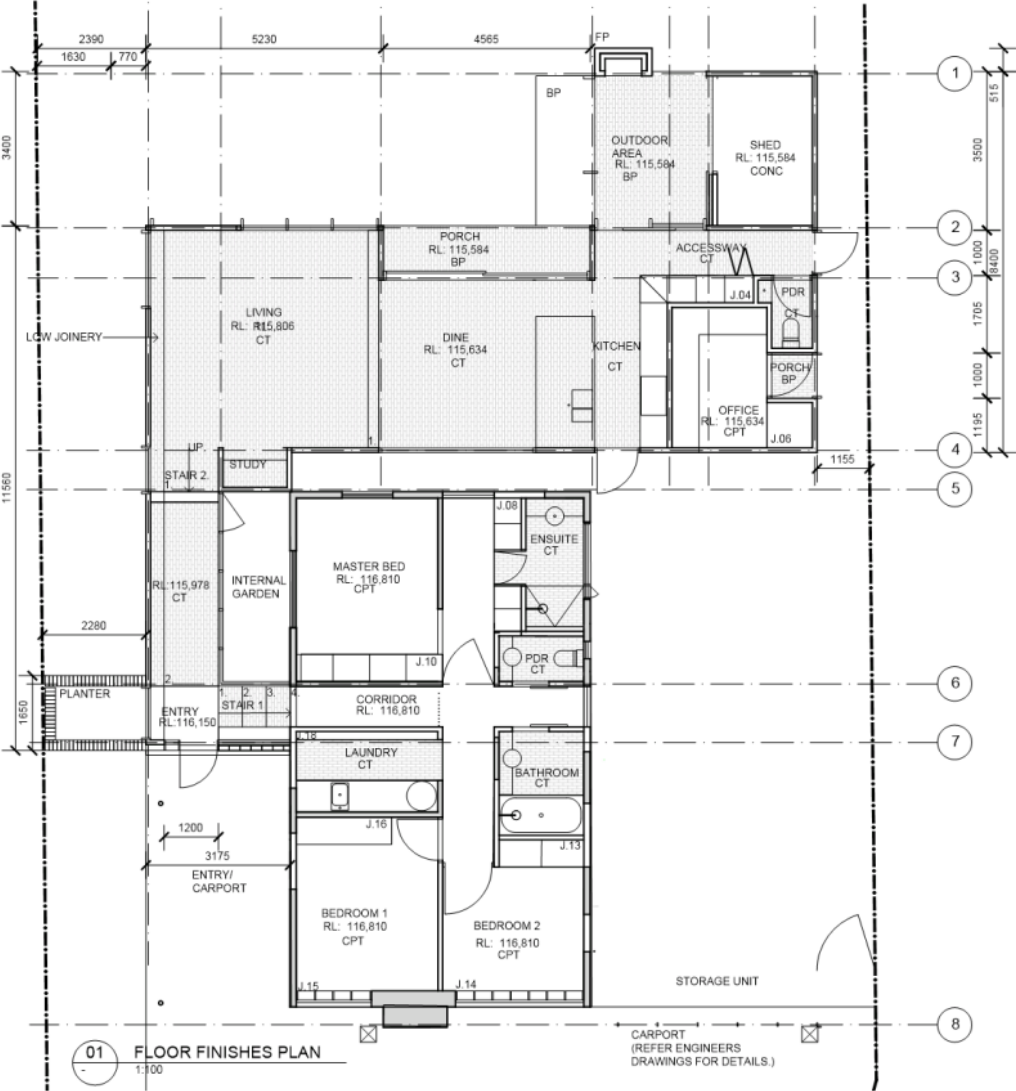
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FLOOR FINISH:

BP	BRICK PAVING
CONC	CONCRETE (COLOUR TO MATCH BP)
CPT	BROADLOOM CARPET
CM	COIR MATTING 17MM
CT	FLOOR TILE
EX	EXISTING
EXT	EXISTING FLOOR BOARDS, NEW FINISH
TM	TIMBER FLOOR BOARDS
STAIRS	
STAIR 1	CT525MM GOING X 165MM RISER
STAIR 2	CT 170MM RISER
STAIR 3	CT 170MM RISER
STAIR 4	CT 170MM RISER



PROJECT
287A LENA VALLEY ROAD
LENAH VALLEY
ALTERATION + ADDITION
CLIENT
DREW AND KASS

TITLE
FLOOR FINISHES PLAN

REV. No. DESCRIPTION

DATE

DRAWING No. A201

REVISION No.

DATE	11/01/2022
SCALE	1:100
PROJECT CODE	50.001
APPROVAL	DEVELOPMENT APPLICATION

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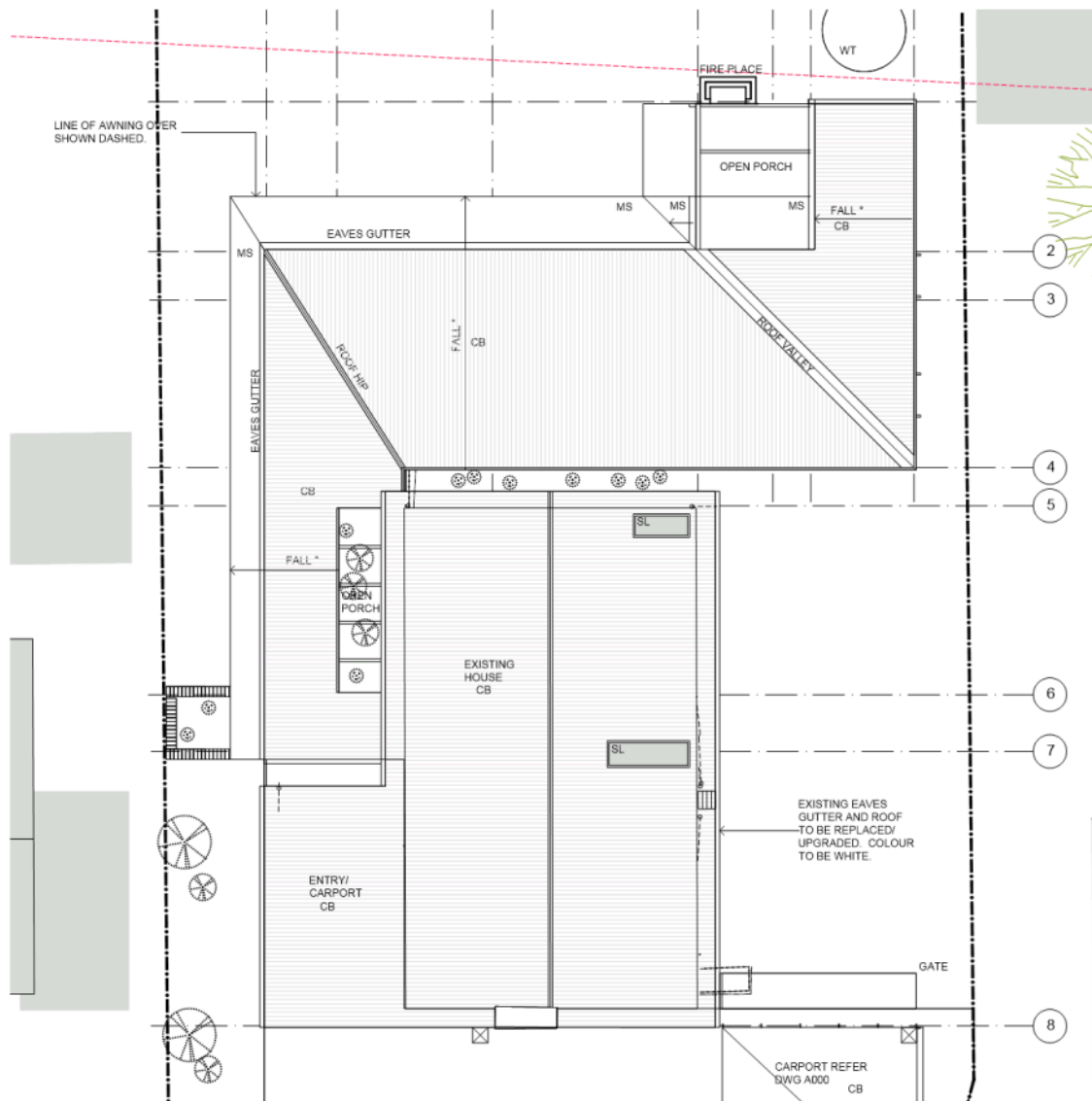
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01 PROPOSED ROOF PLAN
1:100



LEGEND - ROOF PLAN

DOWNPIPES GENERALLY TO BE PVC UNLESS OTHERWISE NOTED. REFER TO HYDRAULIC ENGINEERS DRAWINGS AND ARCHITECTURAL PLANS AND DETAIL DRAWINGS FOR LOCATIONS AND DETAILS. PAINT FINISH.

EAVES GUTTERS PROFILE TO MATCH EXISTING. NEW PAINT FINISH TO OLD AND NEW EAVES GUTTERS. COLOUR TO BE CONFIRMED.

ALL NEW STEEL ROOF SHEETING IS TO BE COLOURBOND LYSAGHT CUSTOM ORB 0.42 BMT. COLOUR TO MATCH EXISTING.

ALL FLASHINGS TRIMS AND SUMPS TO BE COLOURBOND. UNLESS OTHERWISE SPECIFIED COLOUR AND FINISH TO MATCH ROOFING GENERALLY.

CONTRACTOR IS TO ALLOW FOR ALL FLASHINGS, TRIMS, ACCESSORIES REQUIRED TO MEET PERFORMANCE REQUIREMENTS AND UNDERTAKE THE INTENT OF THE WORKS.

CONTRACTOR IS TO ALLOW FOR ALL TAPES, ADHESIVES, SOLVENTS, SEALANTS, FLASHINGS AND ACCESSORIES REQUIRED TO MEET PERFORMANCE REQUIREMENTS AND UNDERTAKE THE INTENT OF THE WORKS.

COL CHS COLUMN, PAINT FINISH
WHITE
CB ROOF SHEETING - PROFILED SHEET METAL, COLOUR AND TYPE TO MATCH EXISTING
DP DOWNPIPE, PAINT FINISH, WHITE
DPI/C2 CHS IS DOWNPIPE
EX EXISTING
MS MILD STEEL FLAT PLATE, PAINT FINISH, COLOUR TO BE WHITE
SF SOAKER FLASHING, COLOUR TO MATCH ROOF SHEETING
SP SOLAR PANEL
SL FIXED D.G SKYLIGHT
WT RAINWATER TANK (RETENTION TANK) FOR GARDEN ONLY, OVERFLOW CONNECTED TO EXISTING STORMWATER
GALVANISED COLORBOND CORRUGATED IRON FINISH



PROJECT
287A LENAH VALLEY ROAD
LENAH VALLEY
ALTERATION + ADDITION
CLIENT
DREW AND KASS

TITLE
PROPOSED ROOF PLAN

REV. No. DESCRIPTION DATE

DRAWING No. A204
REVISION No.
DATE 11/01/2022
SCALE 1:100
PROJECT CODE S0401
APPROVAL DEVELOPMENT APPLICATION

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GENERAL NOTES

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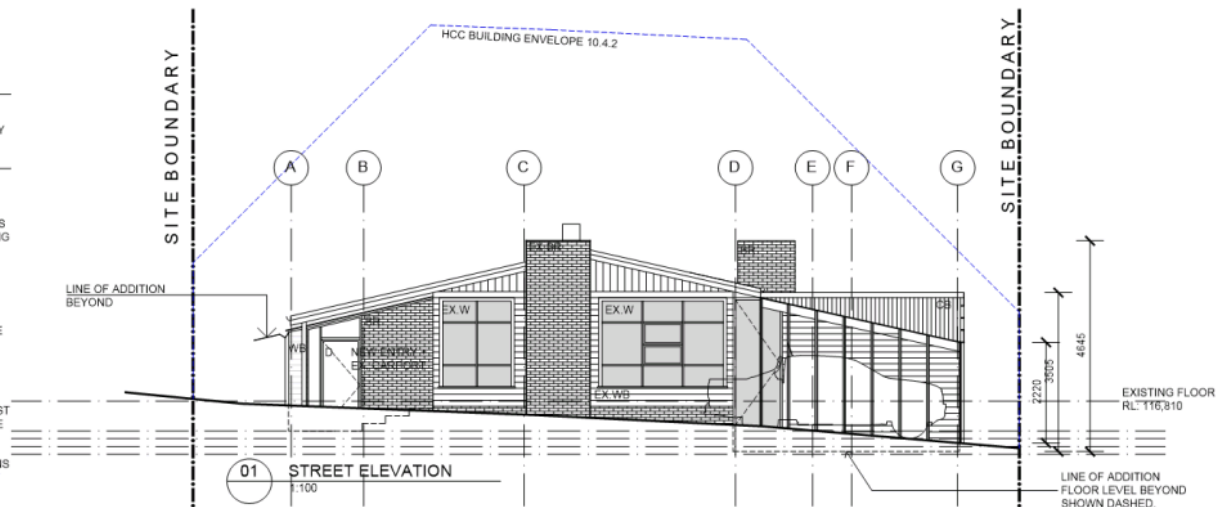
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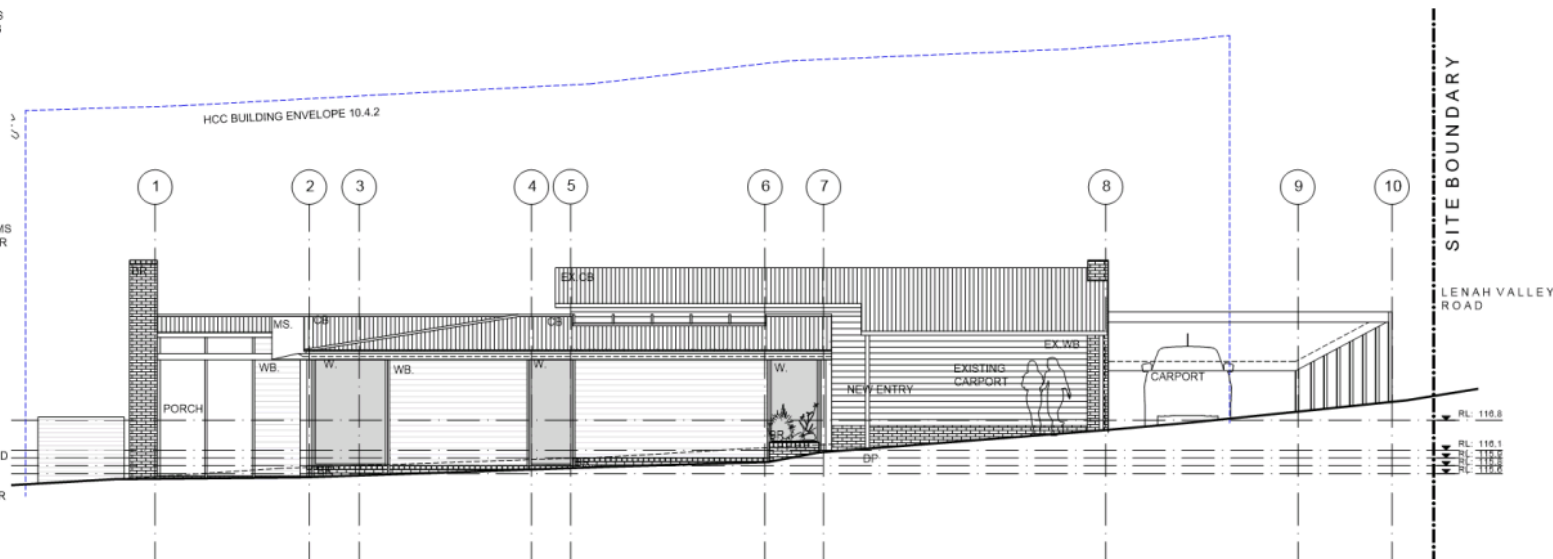
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LEGEND - ELEVATIONS

BR	BRICK, NEW + RECYCLED, NEW BRICK COURSE TO ALIGN WITH EXISTING BRICK COURSE.
CB	ROOF SHEETING/PROFILED SHEET METAL, TYPE AND COLOUR TO MATCH EXISTING.
C	CASEMENT WINDOW DOUBLE GLAZED WITH STAY, RESTRICTED OPENING 125MM. ALL OPERABLE WINDOWS TO HAVE FIXED WITH FLY SCREENS.
C2	CHS PAINT FINISH, WHITE TBC.
CS	CEMENT SHEET PAINT FINISH VJ.
D	DOUBLE GLAZED TIMBER DOOR, PAINT FINISH TO BE WHITE.
DP	DOWNPIPE PAINT FINISH.
DPIC2	DOWNPIPE IS 900 CHS, PAINT FINISH TO BE WHITE TBC.
EX	EXISTING.
F	FIXED GLASS.
SL	FIXED D G SKYLIGHT.
TM	VERTICAL TIMBER BOARD LINING.
W	DOUBLE GLAZED TIMBER WINDOW, PAINT FINISH, TO BE WHITE TBC.
WB	WEATHERBOARD LINING, PAINT FINISH, COLOUR TO BE WHITE, TBC.



02 ELEVATION
1:100



studio
middle

PROJECT
287A LENA VALLEY ROAD
LENAH VALLEY
ALTERATION + ADDITION
CLIENT
DREW AND KASS

TITLE
ELEVATIONS

REV. No. DESCRIPTION DATE

DRAWING No. A300

REVISION No. -

DATE 27/03/2020

SCALE 1:100

PROJECT CODE S0401

APPROVAL DEVELOPMENT APPLICATION

Figure dimensions and precedence to scale readings. Verify all dimensions on site. Do not use dimensions in the Architectural drawings for construction without the Architect's approval.

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GENERAL NOTES

BUILDING CLASS: 1A

ALL DRAWINGS TO BE PRINTED IN COLOUR. THIS DRAWING MUST ONLY BE DISTRIBUTED IN FULL COLOUR. BENICE MULCAHY ACCEPTS NO LIABILITY FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.

ALL WORK CARRIED OUT IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA (BCA/NCC), RELEVANT AUSTRALIAN STANDARDS, WRITTEN SPECIFICATIONS, AND LOCAL AUTHORITY BY-LAWS AND REGULATIONS. CONDITIONS OF THE PLANNING PERMIT FORM PART OF THE CONTRACT. THE CONTRACTOR IS RESPONSIBLE FOR SATISFYING CONDITIONS.

DO NOT SCALE DIMENSIONS ARE TO FINISHED SURFACES UNLESS OTHERWISE NOTED. DIMENSIONS IN MILLIMETRES UNLESS OTHERWISE NOTED. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORK WITH THE SUPERINTENDENT.

ALL DRAWINGS SHALL BE READ IN CONJUNCTION WITH SPECIFICATIONS AND ENGINEERS/SPECIALIST DOCUMENTATION. ANY DISCREPANCIES SHALL BE REFERRED TO THE ARCHITECT.

BUILDER TO CHECK AND CONFIRM ALL DIMENSIONS ON SITE BEFORE PROCEEDING WITH WORKS. ANY DISCREPANCIES ARE TO BE REPORTED TO AND CONFIRMED BY THE ARCHITECT.

NOTIFICATION OF NOISY WORKS STATING DETAILS OF WORKS START TIME & DURATION OF WORKS IS TO BE GIVEN IN WRITING IN SUFFICIENT TIME TO ALLOW 24 HOURS NOTICE TO BE GIVEN TO AFFECTED NEIGHBOURS.

FINISHES TO BE INSTALLED/APPLIED AS PER MANUFACTURER.

REFER TO ATTACHED SPECIFICATION FOR MATERIAL SPECIFICATION AND INSTALLATION REQUIREMENTS.

COMPLY WITH PROPRIETARY PRODUCT INFORMATION AND ALL RELEVANT STANDARDS.

ALTERNATIVE EQUIVALENTS TO PROPRIETARY ITEMS AND BRANDS SPECIFIED MAY BE USED WITH PRIOR APPROVAL. WHERE ITEMS SPECIFIED ARE NOT APPROPRIATE/FIT FOR APPLICATION/USE, CONTRACTOR IS TO ADVISE PRIOR TO USE.

BUILDER TO COORDINATE THE INSTALLATION OF ROCK WOOL WALL INSULATION (OR SIMILAR) THROUGHOUT THE CAVITIES OF THE EXISTING EXTERNAL BRICKWORK. CONFIRM WITH CLIENT PRIOR TO PROCEEDING.

BUILDER TO LIAISE WITH CLIENTS REGARDING 'DEGREES C' DUCTED HEATING SYSTEM THROUGHOUT EXISTING HOUSE AND NEW ADDITION.

REFER TO DOOR SCHEDULE FOR DOOR TYPES AND NOMINAL DIMENSIONS. TBC.

REFER TO HYDRAULIC ENGINEERS DRAWINGS FOR HYDRAULIC INFORMATION.

REFER TO STRUCTURAL ENGINEERS DRAWINGS FOR STRUCTURAL INFORMATION.



PROJECT
287A LENA VALLEY ROAD
LENA VALLEY
ALTERATION + ADDITION
CLIENT
DREW AND KASS

TITLE
ELEVATIONS

REV. No. DESCRIPTION DATE

DRAWING No. A301 REVISION No. -

DATE	27/02/2020
SCALE	1:100
PROJECT CODE	50.001
APPROVAL	DEVELOPMENT APPLICATION

Figured dimensions take precedence to scale readings. Verify all dimensions on site before any construction to the structure for accuracy before proceeding with the work. Copyright © 2020

NOTES:








This plan is prepared for Bek Verrier from a combination of field survey and existing records for the purpose of designing new constructions on the land and should not be used for any other purpose.







The title boundaries as shown on this plan were not marked at the time of the survey and have been determined by plan dimensions only and not by field survey.

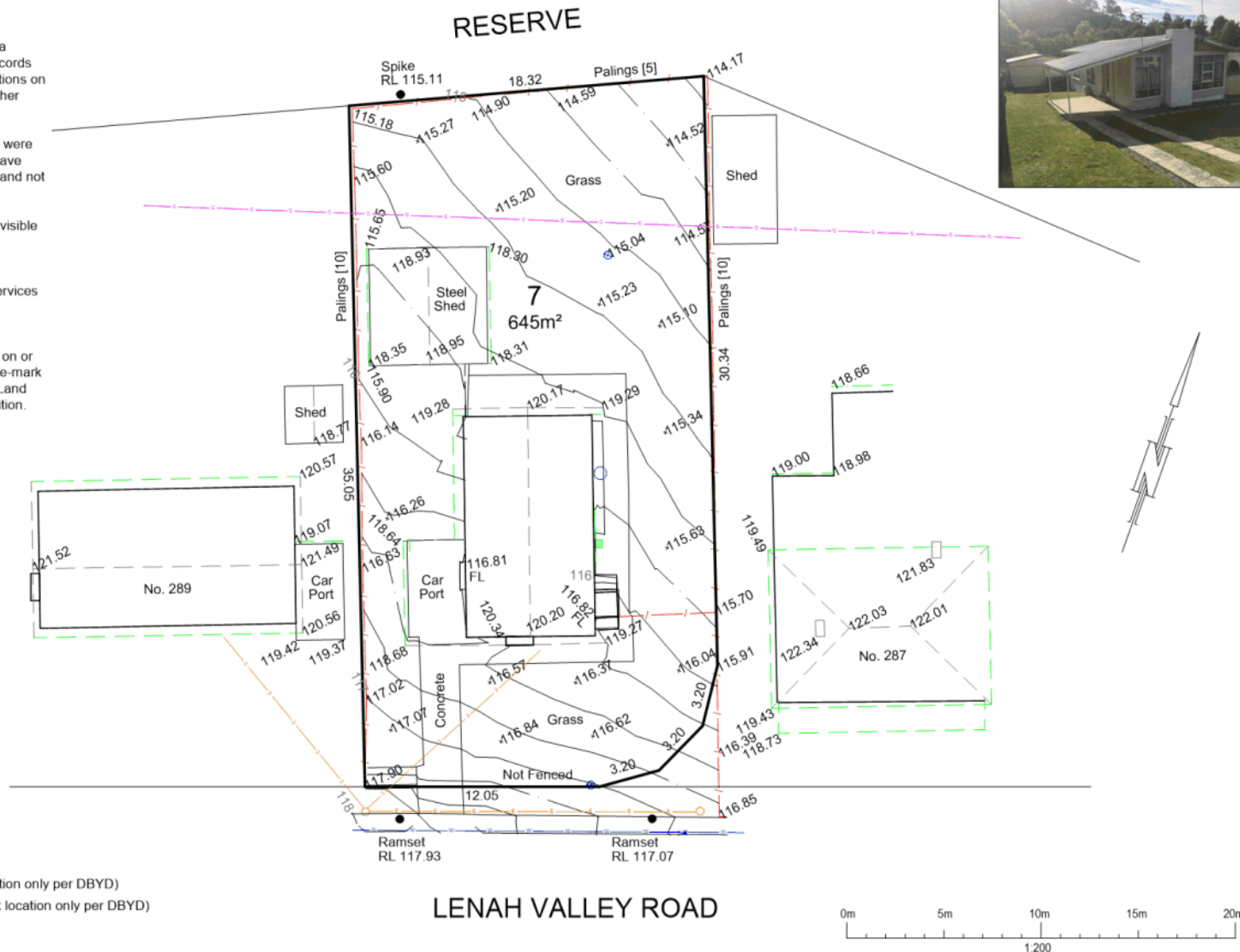
Services shown have been located where visible by field survey. Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services and detailed locations of all services.

Due to the nature of the title boundary information, if any structures are designed on or near a boundary we would recommend a re-mark survey be completed and lodged with the Land Titles Office to support the boundary definition.

LEGEND

-  Water meter
-  Water IO
-  Power Pole
-  Grated Pit
-  Fire Hydrant
-  Fire Plug
-  Survey Mark

- | | |
|---|---|
|  | Property Boundary |
|  | Fence |
|  | Downpipe |
|  | Electric Line Overhead |
|  | Sewer Main (Approx location only per DBYD) |
|  | Stormwater Main (Approx location only per DBYD) |



E				
D				
C				
B				
A				
REV	AMENDMENTS	DRAWN	DATE	APPR.

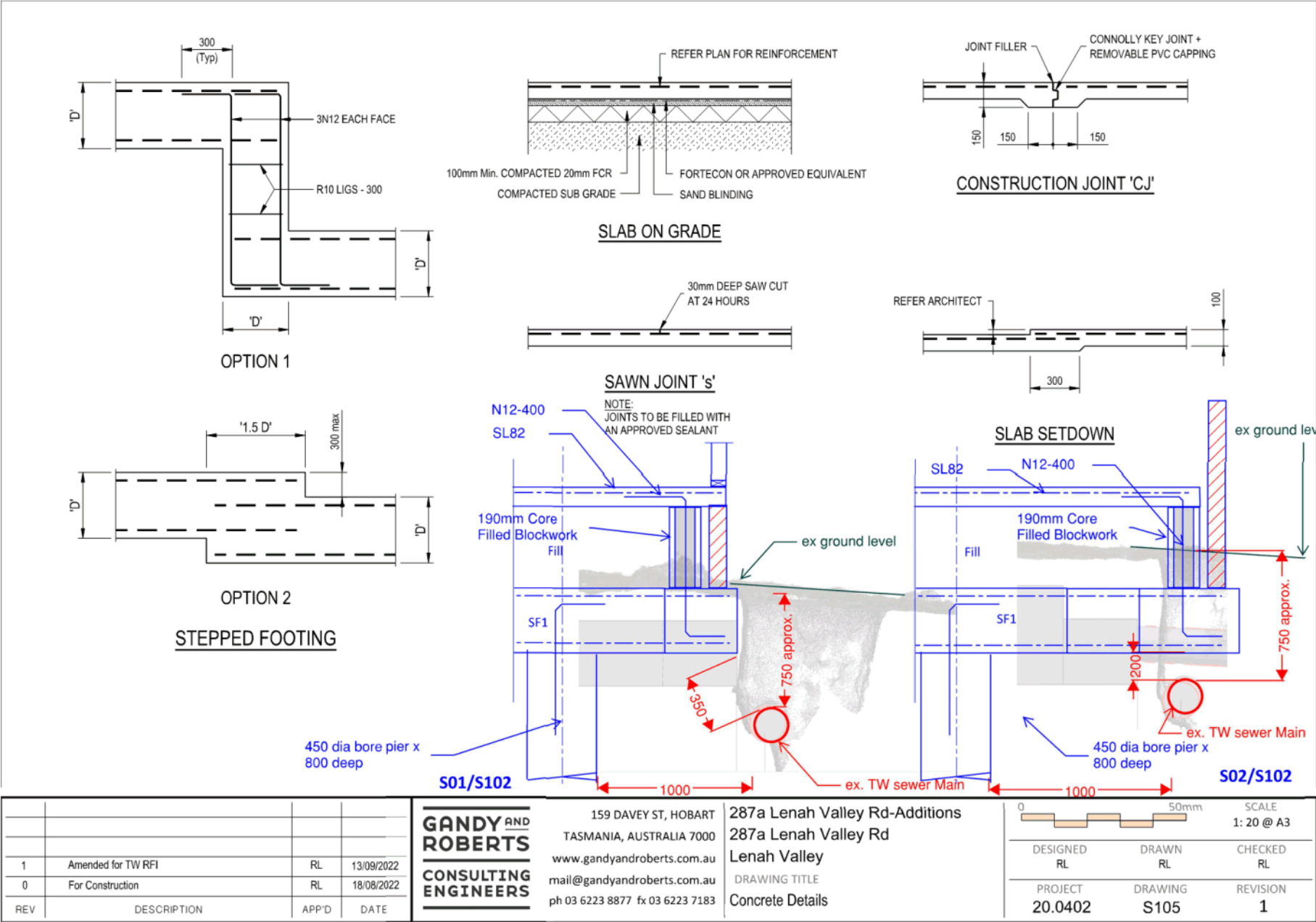


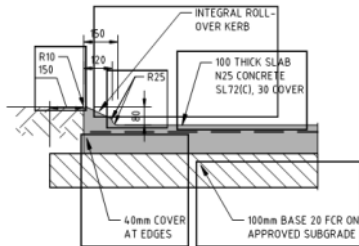
UNIT 1, 2 KENNEDY DRIVE
CAMBRIDGE 7170
PHONE: (03)6248 5898
EMAIL: admin@rbsurveyors.com
WEB: www.rbsurveyors.com

Contour & Detail Plan

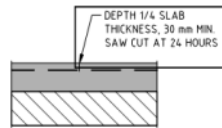
FOR: Bek Verrier
LOCATION: 287A Lenah Valley Road
Lenah Valley

Date: 20/08/2018	Contour interval: 0.25m	Reference: CHADR01 11088-01
Drawn: BF	Scale: 1:200 (A3)	Horizontal Datum: MGA
Approved: AB	C.T. Reference: 18187/7	Vertical Datum: AHD

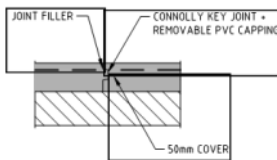




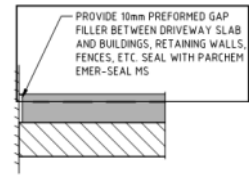
TYPICAL CONCRETE PAVEMENT AND ROLL-OVER KERB DETAIL
NTS
NOTE: CONCRETE PAVEMENT DETAIL NOT SUITABLE FOR EXPOSED AGGREGATE OR SIMILAR SURFACE FINISHES



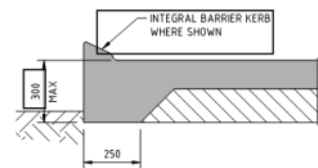
SAWN JOINT 'SJ'
NTS
4.5m MAX CENTRES



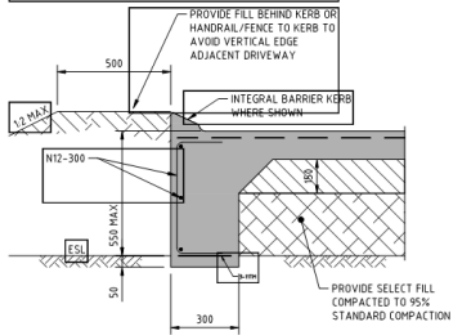
KEY JOINT 'K'
NTS
NOTE: 18m CENTRES



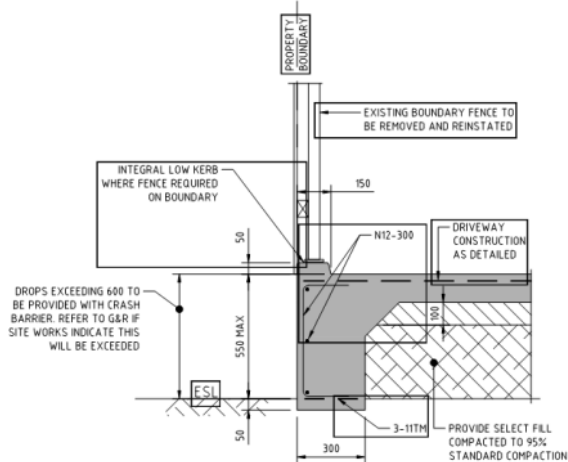
TYPICAL ISOLATION JOINT 'IJ'
NTS



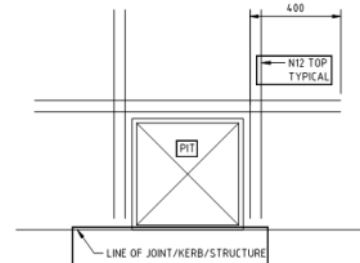
TYPICAL EDGE THICKENING DETAIL
NTS



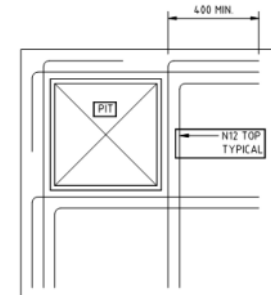
TYPICAL EDGE BEAM DETAIL
NTS



TYPICAL EDGE BEAM (ON BOUNDARY) DETAIL
NTS



TYPICAL REINFORCEMENT TO GRATED PITS ADJACENT TO STRUCTURES/JOINTS
NTS



TYPICAL REINFORCEMENT TO GRATED PITS
NTS

11/1/2022 3:38:55 PM: S:\Projects\2020\20.0402 287A Lenah Valley Road Additions\15 - GR drawings\1517 - Working drawings.mxd(13/11/2022 3:40:11 PM)

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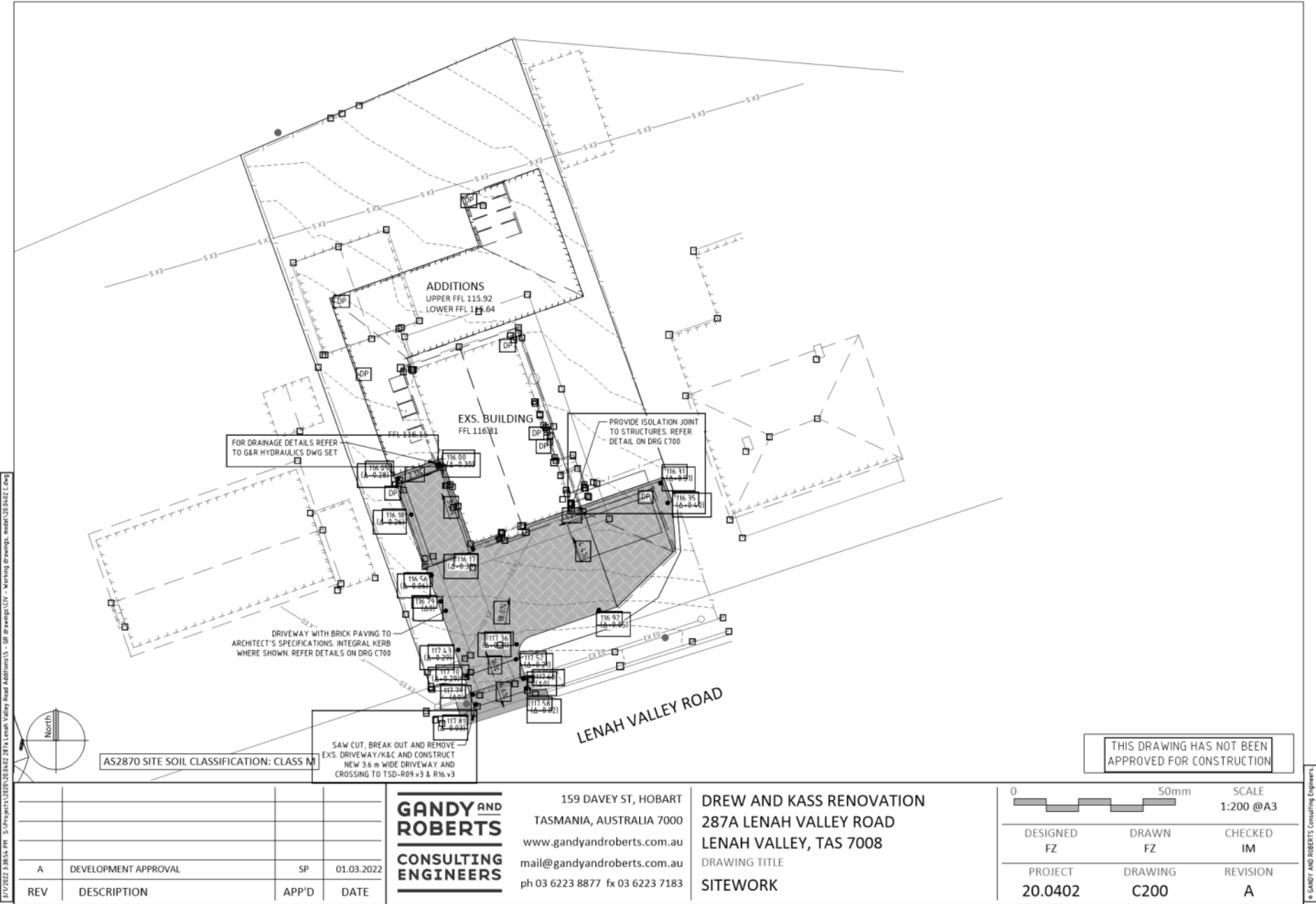
GANDY AND ROBERTS
CONSULTING ENGINEERS

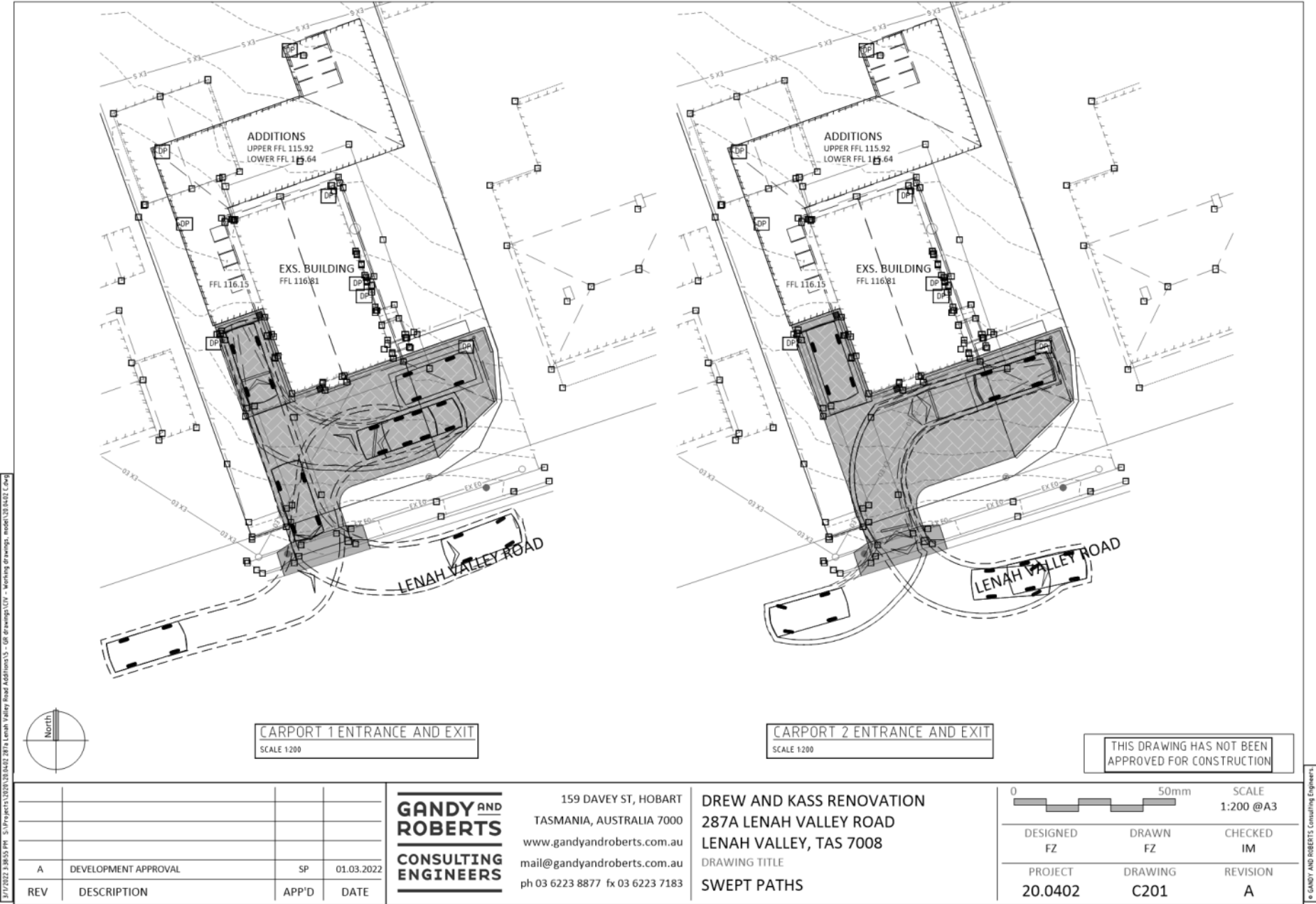
159 DAVEY ST, HOBART
TASMANIA, AUSTRALIA 7000
www.gandyandroberts.com.au
mail@gandyandroberts.com.au
ph 03 6223 8877 fx 03 6223 7183

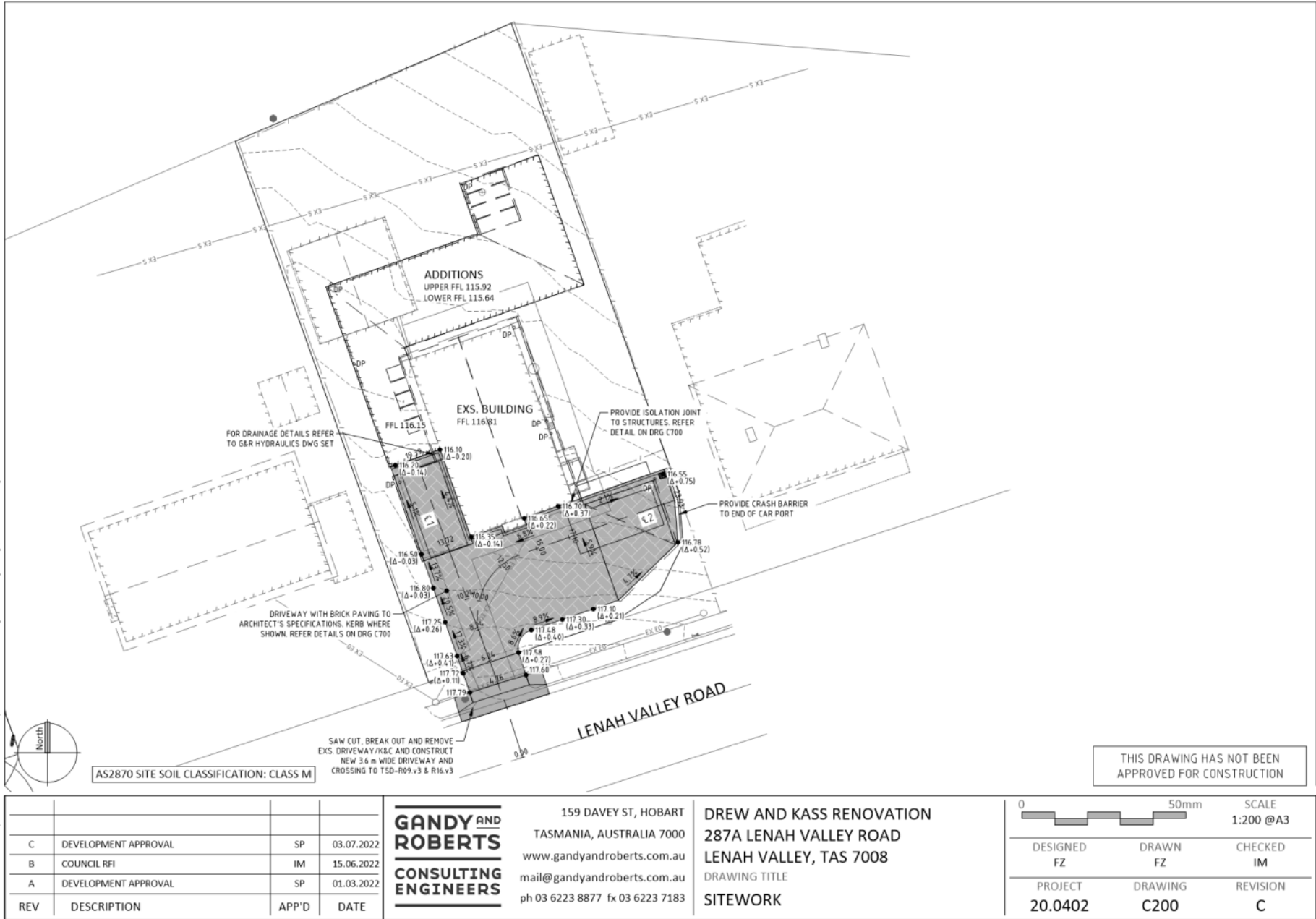
DREW AND KASS RENOVATION
287A LENAH VALLEY ROAD
LENAH VALLEY, TAS 7008
DRAWING TITLE
DETAILS - DRIVEWAY

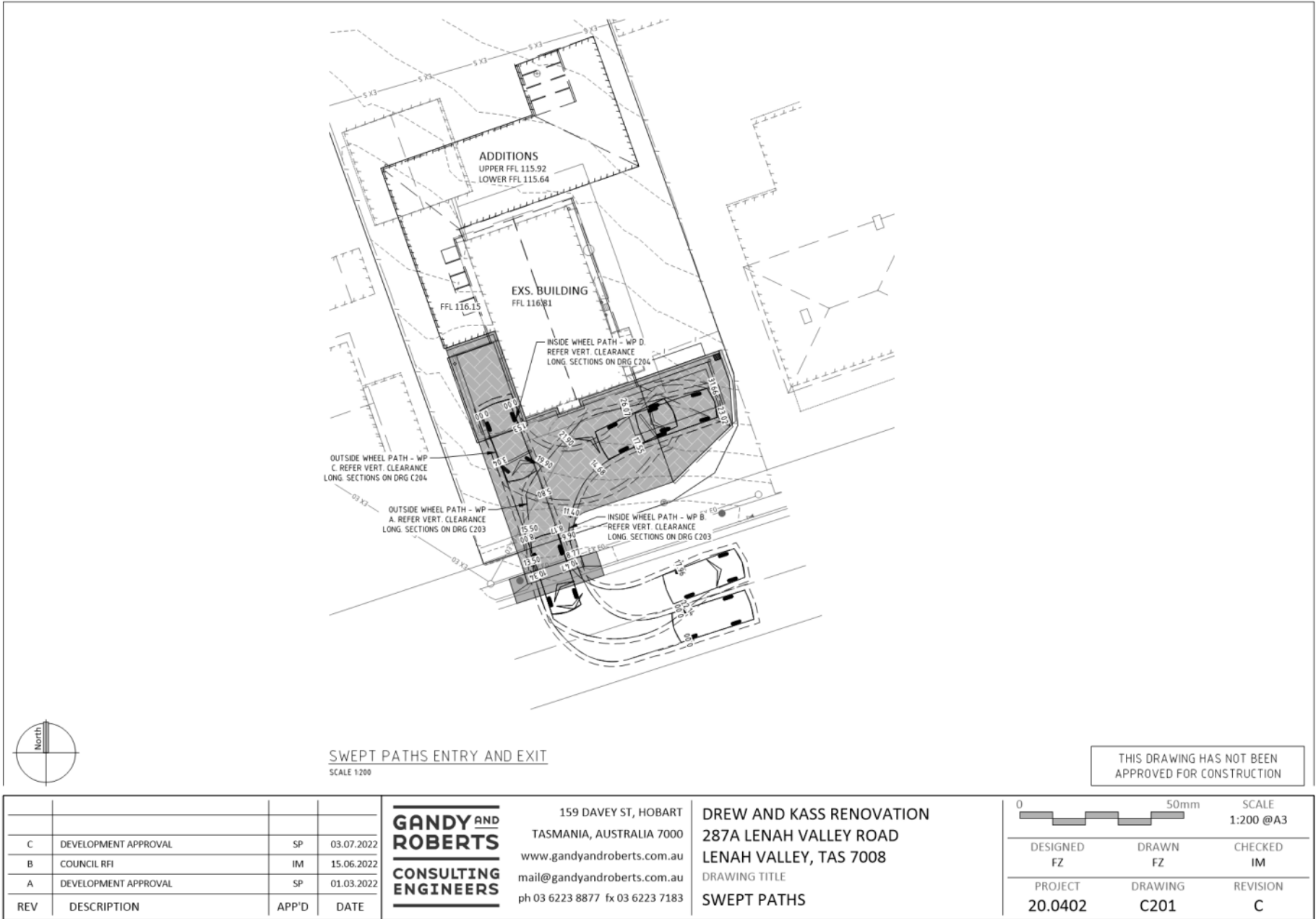
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PROJECT 20.0402	DRAWING C700	REVISION A

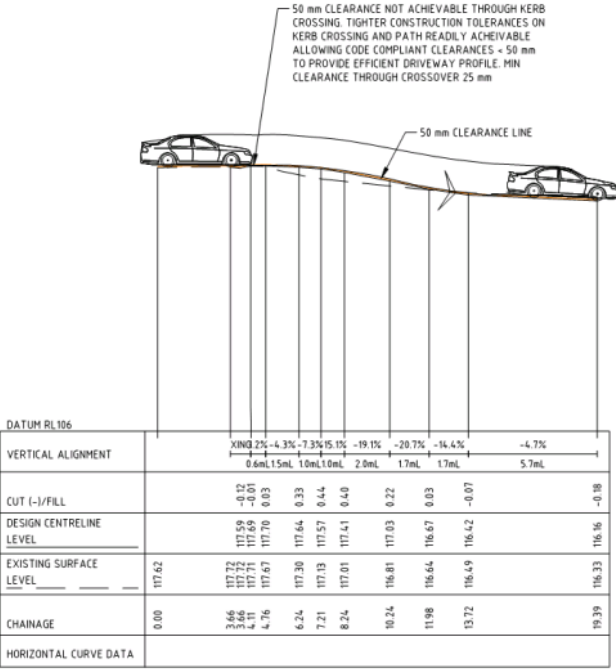
GANDY AND ROBERTS Consulting Engineers



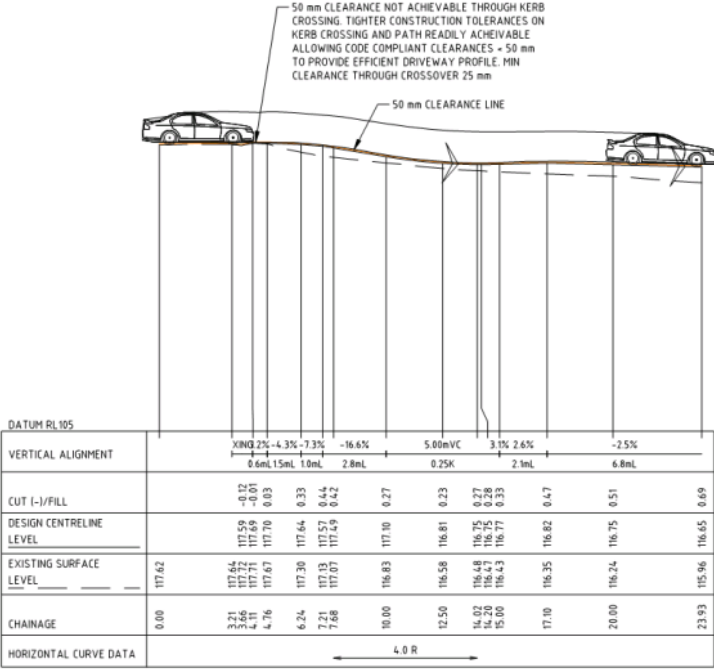








LONGITUDINAL SECTION: DRIVEWAY CL1
HORIZONTAL SCALE 1:200 VERTICAL SCALE 1:200



LONGITUDINAL SECTION: DRIVEWAY CL2
HORIZONTAL SCALE 1:200 VERTICAL SCALE 1:200

THIS DRAWING HAS NOT BEEN
APPROVED FOR CONSTRUCTION

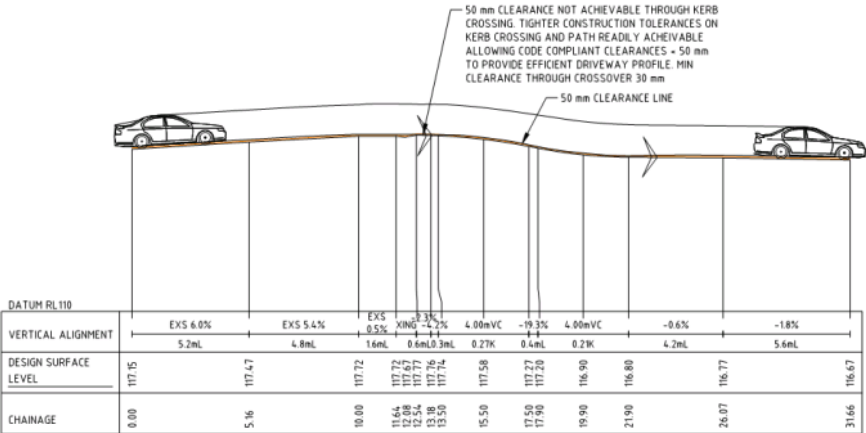
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C	DEVELOPMENT APPROVAL	SP	03.07.2022
B	COUNCIL RFI	IM	15.06.2022
A	DEVELOPMENT APPROVAL	SP	01.03.2022

**GANDY AND
ROBERTS**
**CONSULTING
ENGINEERS**

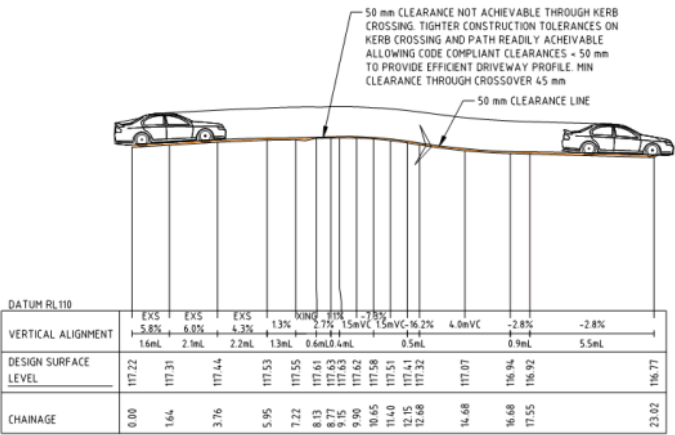
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www.gandyandroberts.com.au
mail@gandyandroberts.com.au
ph 03 6223 8877 fx 03 6223 7183

DREW AND KASS RENOVATION
287A LENAH VALLEY ROAD
LENAH VALLEY, TAS 7008
DRAWING TITLE
CENTRELINE LONG. SECTIONS

DESIGNED FZ	DRAWN FZ	CHECKED IM
PROJECT 20.0402	DRAWING C202	REVISION C



LONGITUDINAL SECTION: VERTICAL CLEARANCE
OUTSIDE WHEEL PATH - WP A
HORIZONTAL SCALE 1:200 VERTICAL SCALE 1:200



LONGITUDINAL SECTION: VERTICAL CLEARANCE
INSIDE WHEEL PATH - WP B
HORIZONTAL SCALE 1:200 VERTICAL SCALE 1:200

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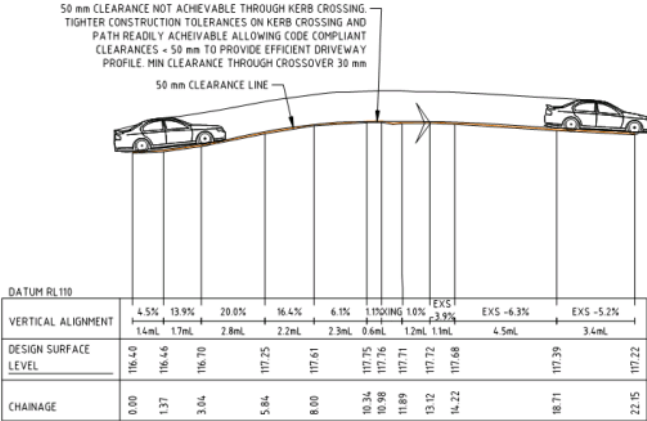
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C	DEVELOPMENT APPROVAL	SP	03.07.2022
B	COUNCIL RFI	IM	15.06.2022
A	DEVELOPMENT APPROVAL	SP	01.03.2022

**GANDY AND
ROBERTS**
**CONSULTING
ENGINEERS**

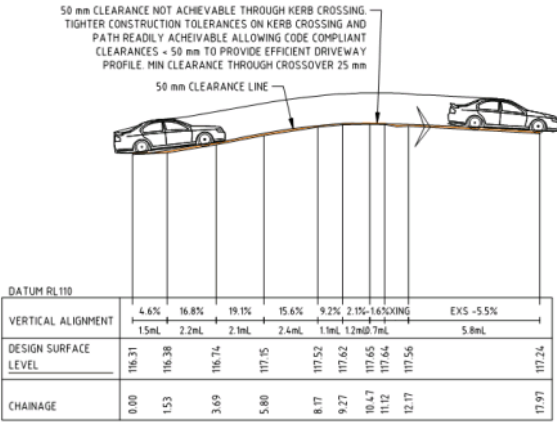
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mail@gandyandroberts.com.au
ph 03 6223 8877 fx 03 6223 7183

DREW AND KASS RENOVATION
287A LENAH VALLEY ROAD
LENAH VALLEY, TAS 7008
DRAWING TITLE
VERTICAL CLEARANCES 01

0	50mm	SCALE 1:200 @A3
DESIGNED FZ	DRAWN FZ	CHECKED IM
PROJECT 20.0402	DRAWING C203	REVISION C



LONGITUDINAL SECTION: VERTICAL CLEARANCE
OUTSIDE WHEEL PATH - WP C
HORIZONTAL SCALE 1:200 VERTICAL SCALE 1:200



LONGITUDINAL SECTION: VERTICAL CLEARANCE
INSIDE WHEEL PATH - WP D
HORIZONTAL SCALE 1:200 VERTICAL SCALE 1:200

THIS DRAWING HAS NOT BEEN
APPROVED FOR CONSTRUCTION

S:\Projects\2020\20402 287A Lenah Valley Road Additions\5 - Off drawings\LOV - Working drawings_model\20402 C.dwg 1/4/2022 12:22:15 PM

GANDY AND ROBERTS Consulting Engineers

C	DEVELOPMENT APPROVAL	SP	03.07.2022
B	COUNCIL RFI	IM	15.06.2022
A	DEVELOPMENT APPROVAL	SP	01.03.2022
REV	DESCRIPTION	APP'D	DATE

GANDY AND ROBERTS

CONSULTING ENGINEERS

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DREW AND KASS RENOVATION

287A LENAH VALLEY ROAD

LENAH VALLEY, TAS 7008

DRAWING TITLE

VERTICAL CLEARANCES 02

0	50mm	SCALE
		1:200 @A3
DESIGNED	DRAWN	CHECKED
FZ	FZ	IM
PROJECT	DRAWING	REVISION
20.0402	C204	C

CHARLTON RESIDENCE ALTERATIONS & ADDITIONS 287a LENA VALLEY ROAD LENA VALLEY, TASMANIA 7008

DWG	DRAWING TITLE	REV	ISSUE DATE
H001	DRAWING INDEX AND NOTES	5	16.09.2022
H002	NOTES 2	1	02.10.2020
H010	SITE PLAN	4	16.09.2022
H100	DRAINAGE PLAN	3	16.09.2022
H101	STORMWATER PLAN	3	08.03.2022
H300	DETAILS 1	2	16.09.2022



LOCALITY PLAN

1:2000

LEGEND

— EX W — EX W — EX W —	Existing water supply external to building	○ c ○	Riser / Dropper
— W — W — W —	Proposed water supply external to building	→	Water Outlet
— EX FS — EX FS — EX FS —	Existing fire supply	→ HBC	Hose Bib Cock
— FS — FS — FS —	Proposed fire supply	— X —	Stop Valve
— EX S — EX S — EX S —	Existing sewer drain	DD	Reduced Pressure Zone Device
— S — S — S —	Proposed sewer drain	DD	Double Check Valve (medium hazard)
— GW — GW — GW —	Proposed sewer drain (greasy waste)	DX	Dual Check Valve (low hazard)
— TW — TW — TW —	Proposed sewer drain (trade waste)	PRV	Pressure Reduction Valve
— EX SW — EX SW — EX SW —	Existing stormwater drain	WM	Water Meter
— SW — SW — SW —	Proposed stormwater drain	TMV	Thermostatic Mixing Valve (Enware Aquablend 1000 uno.)
— AG — AG — AG —	Proposed DN100 ag. drain and geofabric sock	AAV	Air Admittance Valve
— CW — CW — CW —	Proposed cold water supply internal to building	P	Pump
— HW — HW — HW —	Proposed hot water supply	FHB	Fire Hydrant Booster
— HWF — HWF — HWF —	Proposed hot water supply (flow)	DFH	Fire Hydrant Dual
— HWR — HWR — HWR —	Proposed hot water supply (return)	FH	Fire Hydrant Single
— TMW — TMW — TMW —	Proposed tempered water supply	H	Fire Plug
— V — V — V —	Proposed sediment fence	FHR	Fire Hose Reel
		HWU	Hot Water Unit
		PIT	Grated Stormwater Pit

ABBREVIATIONS

AAV.	AIR ADMITTANCE VALVE	IL.	INVERT LEVEL
CO.	CLEAR OUT	L/L.	LOW LEVEL
EXS.	EXISTING	L/P.	LOW POINT
F/A.	FROM ABOVE	ORG.	OVERFLOW RELIEF GULLY
F/B.	FROM BELOW	PAPA.	POSITIVE AIR PRESSURE ATTENUATOR
FFL	FINISHED FLOOR LEVEL	RWO.	RAIN WATER OUTLET
FSL.	FINISHED SURFACE LEVEL	T/A.	TO ABOVE
GP.	GRADED PIT	T/B.	TO BELOW
H/L.	HIGH LEVEL	UNO.	UNLESS NOTED OTHERWISE
H/P.	HIGH POINT	WM.	WATER METER

5	REISSUE FOR BUILDING APPROVAL	RL	16.09.2022
4	REISSUE FOR BUILDING APPROVAL	RL	11.03.2022
3	REISSUE FOR BUILDING APPROVAL	RL	08.03.2022
2	REISSUE FOR BUILDING APPROVAL	RL	03.02.2022
1	BUILDING APPROVAL	RL	02.10.2020
REV	DESCRIPTION	APP'D	DATE

**GANDY AND
ROBERTS**
**CONSULTING
ENGINEERS**

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ALTERATIONS & ADDITIONS
287a LENA VALLEY ROAD
LENA VALLEY, TAS 7008

DRAWING TITLE

DRAWING INDEX AND NOTES

0	50mm	SCALE
DESIGNED	DRAWN	CHECKED
AK	PH	DH
PROJECT	DRAWING	REVISION
20.0402	H001	5

BUILDING HYDRAULIC NOTES

GENERAL

- G1. These drawing are to be read in conjunction with Architectural and Landscape Architectural drawings, Project Contract and Project Specifications.
- G2. All works are to be done by the Contractor unless noted otherwise. Contractor must also make an allowance for works by others (eg. service connections).
- G3. Where there is a contract for this project that has a role for a Superintendent, in these notes the "Engineer" is this Superintendent.
- G4. The council for this project is Hobart City Council, and they should be contacted for required inspections of public roads, public stormwater, private car parks and drives with the Engineer, and also for private building/plumbing works. The sewer and water authority is TasWater Corporation, they should be contacted for required inspections of municipal sewer and water infrastructure during construction.
- G5. Locate all existing gas, electrical, telecommunications, water mains, sewer mains and stormwater mains etc. prior to the commencement of construction and advise the Engineer of anything that appears not to have been considered in the design.
- G6. Confirm all levels on site prior to the commencement of works.
- G7. Contractor is to allow for all set out requirements.
- G8. The Contractor shall be responsible for damages caused by them or their sub-contractors, any service damaged is to be reinstated immediately.
- G9. Remove all surplus materials from site.
- G10. Following agreement with the Engineer, terminate and abandon redundant existing services discovered during construction and make a note on as-constructed drawing.
- G11. On completion of works provide three sets of as-constructed drawings to AS1100.401 by a registered surveyor (measurement of building service hydraulics close to and within a permanent building can be undertaken by an experienced plumber) and full service manual along with electronic drawing files in DXF or DWG formats suitable for reading with a recent version of Autocad to the Engineer. Results of tests with associated commissioning reports and as constructed survey are required to allow the Engineer to confirm in writing to the Local Authority that construction has been substantially completed in accordance with the design drawings and are part of the works, and should form part of the service manual.
- G12. It is assumed that adjacent to the development site is adequate infrastructure provided by the Local Authority and other Statutory Authorities to supply road access, water, power, telecommunications and gas as required by this design; and there is adequate infrastructure or environmental capacity to receive stormwater and sewerage drainage.
- G13. Any departures from the design drawings are to be at the written approval of the Engineer, and approval from authority - except during emergencies when temporary changes can be made prior to seeking approval for a permanent change. Changes includes conflicts with existing services. Rework to make installed system comply the the design will be at the Contractor's expense.
- G14. Prior to the connection of new services to any part of an existing drainage system or water supply, the contractor shall confirm that the pipework being connected to in approved working order and fit for purpose.

APPROVALS

- A1. The contractor is responsible for ensuring that a valid building and plumbing permit is in place for the work and that the Building Surveyor is notified of all site inspection requests. Where work is within a road reserve, a road opening permit must be obtained from local council prior to work. Workplace Standards approval must also be gained where appropriate.
- A2. The contractor is responsible for organising all site inspections and observing all hold points nominated within the contract, by the Building Surveyor or Plumbing Surveyor.
- A3. A minimum of one working day of notice is required for the Engineer to attend the site. Do not rely upon facsimile or email to communicate requests - make contact with our office to confirm attendance.
- A4. Photographic documentation is not an adequate basis to proceed beyond a hold point unless approved by the Engineer.

WORK HEALTH AND SAFETY

- HS1. The main contractor and all sub contractors shall comply with the State *Work Health and Safety Act, Regulations*, and all relevant codes of practice.
- HS2. The Gandy and Roberts Design Safety Report 20.0402 revision A forms an integral part of this documentation. This report identifies safety risks and proposes control measures to be followed by the contractor and the building operator. Controls and hazards requiring more explanation than in the safety report are highlighted in our drawings with an exclamation mark in the triangle symbol shown:
- HS3. Should the main contractor or sub contractors identify omissions or errors in the report related to the scope of Gandy and Robert's work on the project, or have safer ways of working, they should contact Gandy and Roberts prior to construction.
- HS4. Should the main contractor propose an alternative design, they need to present these with appropriate safety risk planning to Gandy and Roberts for review.



BUILDING HYDRAULICS

- H1. All materials and workmanship shall be done in accordance with AS3500, the Tasmanian Plumbing Code and local council requirements.
- H2. All drainage pipework shall be uPVC class SWHD, all waste and vent shall be DWV class pipe unless noted otherwise.
- H3. Supply and install all fixtures, valves, tapware and sundry items as scheduled within the specification.
- H4. Contract drawings are diagrammatic and as such show the intent of design. Installation to be as per AS/NZS3500. Allow for all bends, offsets and other measures as necessary to avoid interference with the structure and/or other building services.
- H5. Hot water at high temperature (65°C) to kitchen and laundry. Hot water tempered to 50°C to bathroom fixtures. Hot water tempered to 45°C in disabled, child care and aged care facilities.
- H6. Tempered and hot water pipework shall be lagged with 13 mm Bradflex or equivalent, hot water circulating line to be lagged using 25 mm sectional rockwool with foil outer cover. Solar flow and return pipework (internal and external) shall be lagged with 13 mm Armaflex Solar or equivalent with weather and UV protection, R-value of 0.6, for pipe temperatures up to 150°C, and PVC free.
- H7. Conceal all pipework in ceiling spaces, ducts, wall cavities, wall chases, cupboards, etc unless otherwise approved.
- H8. Refer to architects demolition plan for removal of existing fixtures and fittings. The removal of existing plumbing fixtures shall include all associated waste and vent pipes, floor drains, water service pipework brackets, supports, etc and seal off existing services. Seal off and make good all floor, wall and roof penetrations.
- H9. The location of existing services where shown are approximate only and shall be confirmed on site. where possible, determine location of existing power, Telstra, water and drainage services prior to commencing new work.
- H10. Co-ordinate all pipework with existing services on site.
- H11. Make good all disturbed surfaces to match existing.
- H12. Plumbing contractor to arrange for all new works by local authority and for sealing off and making good existing as required. Pay all fees associated with the works.
- H13. Maintain services to existing fixtures at all times. where changeover is required, liaise with the architect prior to the shutting down of any service.
- H14. Arrange work by local authority in accordance with the builders works program.
- H15. Contractor to provide all documents, approvals, certificates, warranties, log books, etc. upon completion of works to the architect. All fees and inspections to be included and arranged by the contractor.
- H16. Confirm all invert levels prior to trench excavation.
- H17. The plumber shall arrange for all inspections and testing of services required by the local authority prior to concealment.
- H18. Following completion of the works, flush all piping systems and leave free of foreign matter; clean out aerators, strainers, filters, etc.; flow test all hydrants and hose reels.
- H19. For class M and above soil types additional requirements for drainage installation shall be in accordance with AS2870.

9/16/2022 12:08:02 PM 8 Projects/2020/20.0402 2071 Lenah Valley Road Additions - GFI drawings/1110 - Working drawings, model/20.0402 11.dwg

1	BUILDING APPROVAL	RL	02.10.2020
REV	DESCRIPTION	APP'D	DATE

**GANDY AND
ROBERTS**

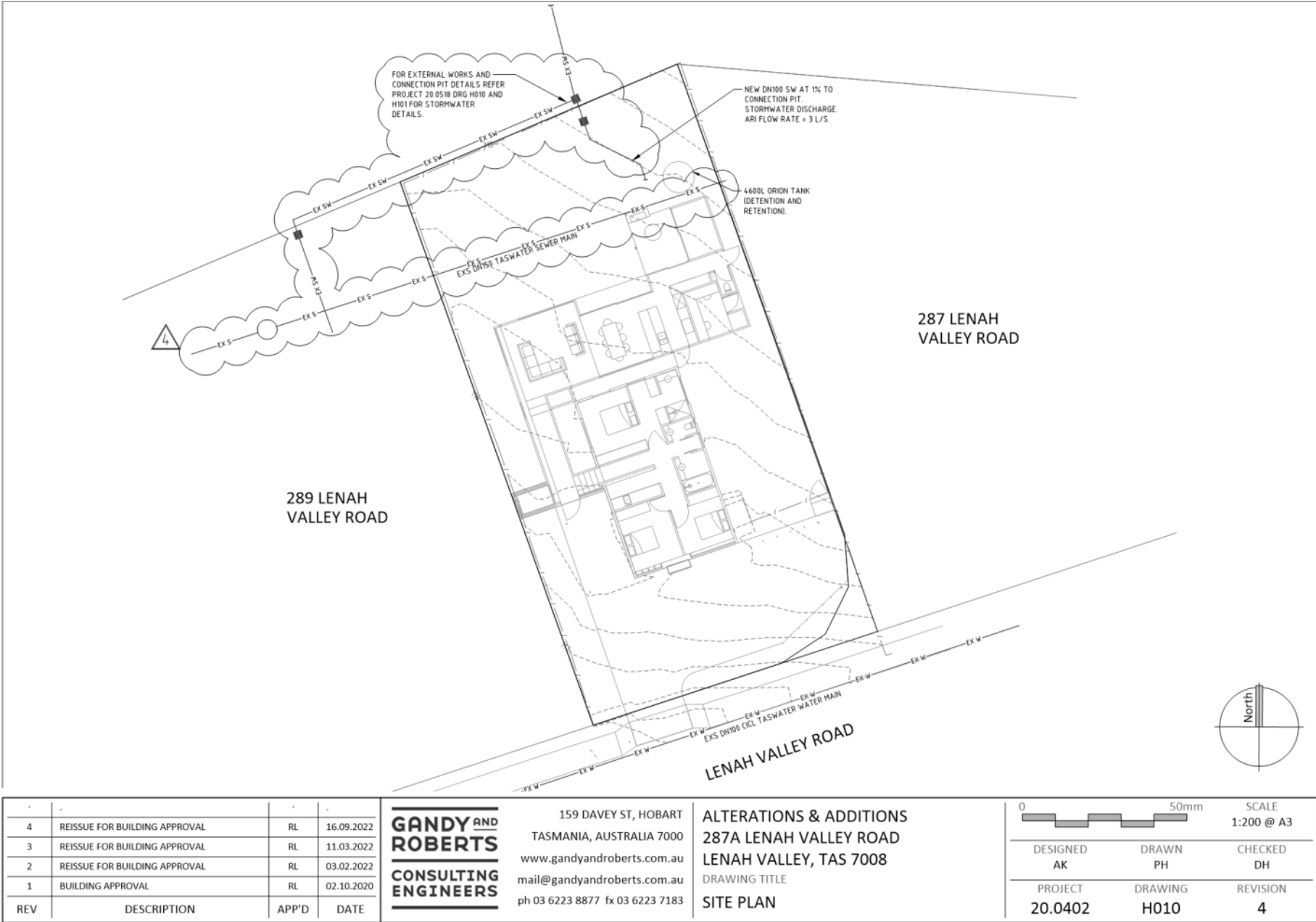
**CONSULTING
ENGINEERS**


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mail@gandyandroberts.com.au
ph 03 6223 8877 fx 03 6223 7183

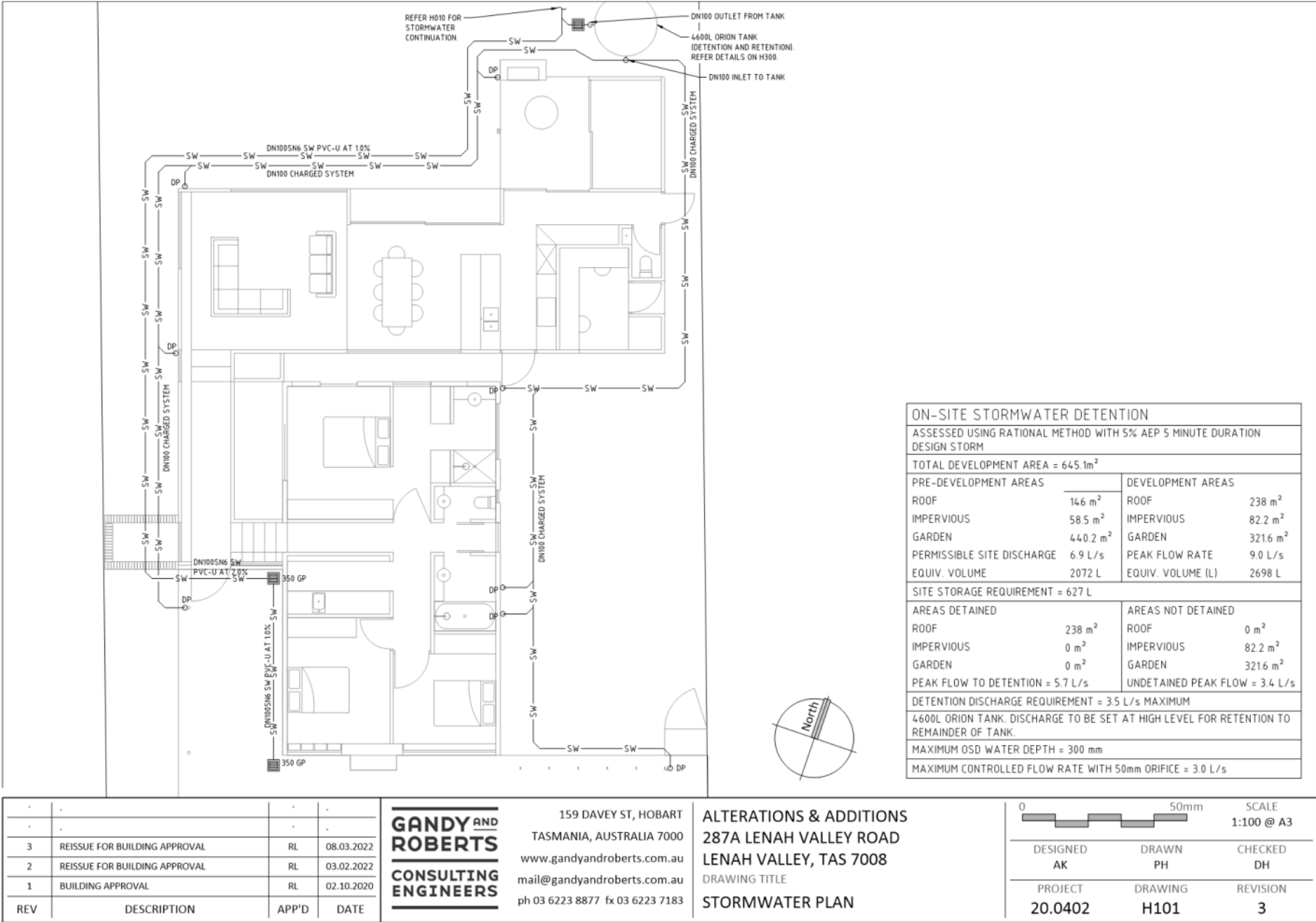
ALTERATIONS & ADDITIONS
287a LENAH VALLEY
LENAH VALLEY, TAS 7008
DRAWING TITLE
NOTES 2

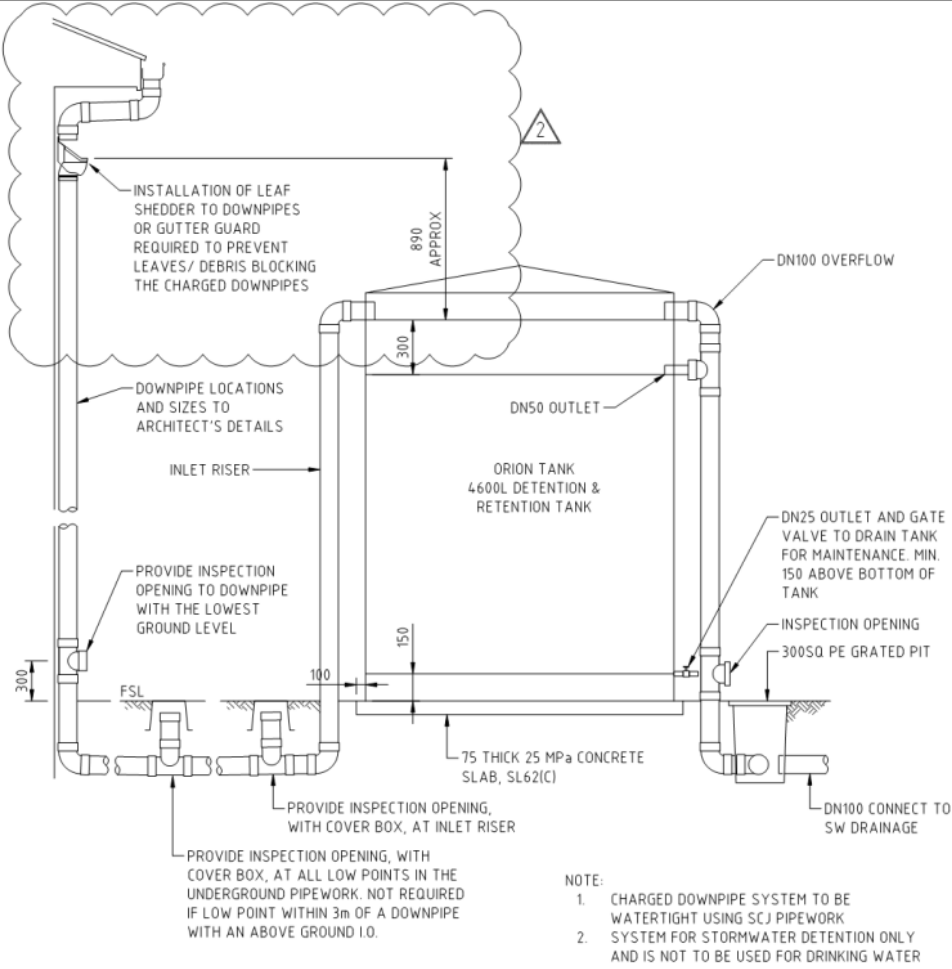
			SCALE - @ A3
DESIGNED AK	DRAWN PH	CHECKED DH	
PROJECT 20.0402	DRAWING H002	REVISION 1	

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		SCALE 1:100 @ A3
DESIGNED AK	DRAWN PH	CHECKED DH
PROJECT 20.0402	DRAWING H100	REVISION 3





CHARGED DOWNPIPE SYSTEM AND DETENTION
TANK GENERAL ARRANGEMENT

NOT TO SCALE

REV	DESCRIPTION	APP'D	DATE
2	REISSUE FOR BUILDING APPROVAL	RL	16.09.2022
1	BUILDING APPROVAL	RL	03.02.2022

**GANDY AND
ROBERTS**
**CONSULTING
ENGINEERS**

159 DAVEY ST, HOBART
TASMANIA, AUSTRALIA 7000
www.gandyandroberts.com.au
mail@gandyandroberts.com.au
ph 03 6223 8877 fx 03 6223 7183

ALTERATIONS & ADDITIONS
287A LENA VALLEY ROAD
LENA VALLEY, TAS 7008
DRAWING TITLE
DETAILS 1

0 50mm SCALE 1:100 @ A3		
DESIGNED AK	DRAWN JK	CHECKED AK
PROJECT 20.0402	DRAWING H300	REVISION 2

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Submission to Planning Authority Notice

Council Planning Permit No.	PLN-22-250	Council notice date	28/04/2022
TasWater details			
TasWater Reference No.	TWDA 2022/00611-HCC	Date of response	3/10/2022
TasWater Contact	Robert Stapleton	Phone No.	0417279866
Response issued to			
Council name	CITY OF HOBART		
Contact details	coh@hobartcity.com.au		
Development details			
Address	287A LENA VALLEY RD, LENA VALLEY	Property ID (PID)	5507054
Description of development	Partial Demolition, Alterations, Extension		
Schedule of drawings/documents			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
Studio Middle	"Location + Site Plan" / Dwg: A000	03	26/08/2022
Studio Middle	"Proposed Floor Plan" / Dwg: A200	03	26/08/2022
Studio Middle	"Layout Plan" / Dwg: A203	03	26/08/2022
Gandy and Roberts Consulting Engineers	"Drainage Plan" / Proj: 20.0402 – Dwg: H100	3	10/09/2022
Gandy and Roberts Consulting Engineers	"Concrete Details" / Proj: 20.0402 – Dwg: S102	1	13/09/2022
Gandy and Roberts Consulting Engineers	"Concrete Details" / Proj: 20.0402 – Dwg: S105	1	13/09/2022
Conditions			
SUBMISSION TO PLANNING AUTHORITY NOTICE OF PLANNING APPLICATION REFERRAL			
Pursuant to the <i>Water and Sewerage Industry Act</i> 2008 (TAS) Section 56P(1) TasWater imposes the following conditions on the permit for this application:			
CONNECTIONS, METERING & BACKFLOW			
<ol style="list-style-type: none"> 1. A suitably sized water supply with metered connection and sewerage system and connection to the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit. 2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost. Advice: Gandy & Roberts Dwg H100 & Studio Middle Dwg A000 has the sewer connection works by private contractor. This will need to be amended prior to submission for CCWs. 3. Prior to commencing construction of the development, any water connection utilised for the development must have a backflow prevention device and water meter installed, to the satisfaction of TasWater. 			
INFRASTRUCTURE PROTECTION			



4. On application for a Certificate for Certifiable Work (Building and/or Plumbing) the applicant, at their cost, must provide a sewer infrastructure CCTV inspection report for assets A638372 to asset A630879 per WSA 05 2008 Second Edition (Version 2.2) Conduit Inspection Reporting Code of Australia and TasWater's Requirements for Sewer CCTV Conduit Inspections Version 2.0 (as found on the following web-site <https://www.taswater.com.au/building-and-development/technical-standards>) noting that the WinCan software must be provided for review and the sewer must be cleaned before undertaking the CCTV work.

Advice: On completion of works and on application for Certificate of Compliance a follow-up inspection will be required to be undertaken and the report submitted to TasWater.

5. The developer must take all precautions to protect existing TasWater infrastructure. Any damage caused to existing TasWater infrastructure during the construction period must be promptly reported to TasWater and repaired by TasWater at the developer's cost.

56W CONSENT

6. Prior to the issue of the Certificate for Certifiable Work (Building) and/or (Plumbing) by TasWater the applicant or landowner as the case may be must make application to TasWater pursuant to section 56W of the Water and Sewerage Industry Act 2008 for its consent in respect of that part of the development which is built over or within two metres of TasWater infrastructure.

DEVELOPMENT ASSESSMENT FEES

7. The applicant or landowner as the case may be, must pay a development assessment fee of \$226.71, to TasWater, as approved by the Economic Regulator and the fee will be indexed, until the date paid to TasWater.

The payment is required within 30 days of the issue of an invoice by TasWater.

Advice

General

For information on TasWater development standards, please visit <https://www.taswater.com.au/building-and-development/technical-standards>

For application forms please visit <https://www.taswater.com.au/building-and-development/development-application-form>

Service Locations

Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure. A copy of the GIS is included in email with this notice and should aid in updating of the documentation. The location of this infrastructure as shown on the GIS is indicative only.

- (a) A permit is required to work within TasWater's easements or in the vicinity of its infrastructure.
Further information can be obtained from TasWater
- (b) TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit www.taswater.com.au/Development/Service-location for a list of companies
- (c) TasWater will locate residential water stop taps free of charge
- (d) Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.

56W Consent

The plans submitted with the application for the Certificate for Certifiable Work (Building) and/or



(Plumbing) will need to show footings of proposed buildings located over or within 2.0m from TasWater pipes and will need to be designed by a suitably qualified person to adequately protect the integrity of TasWater's infrastructure, and to TasWater's satisfaction, be in accordance with AS3500 Part 2.2 Section 3.8 to ensure that no loads are transferred to TasWater's pipes. These plans will need to also include a cross sectional view through the footings which clearly shows;

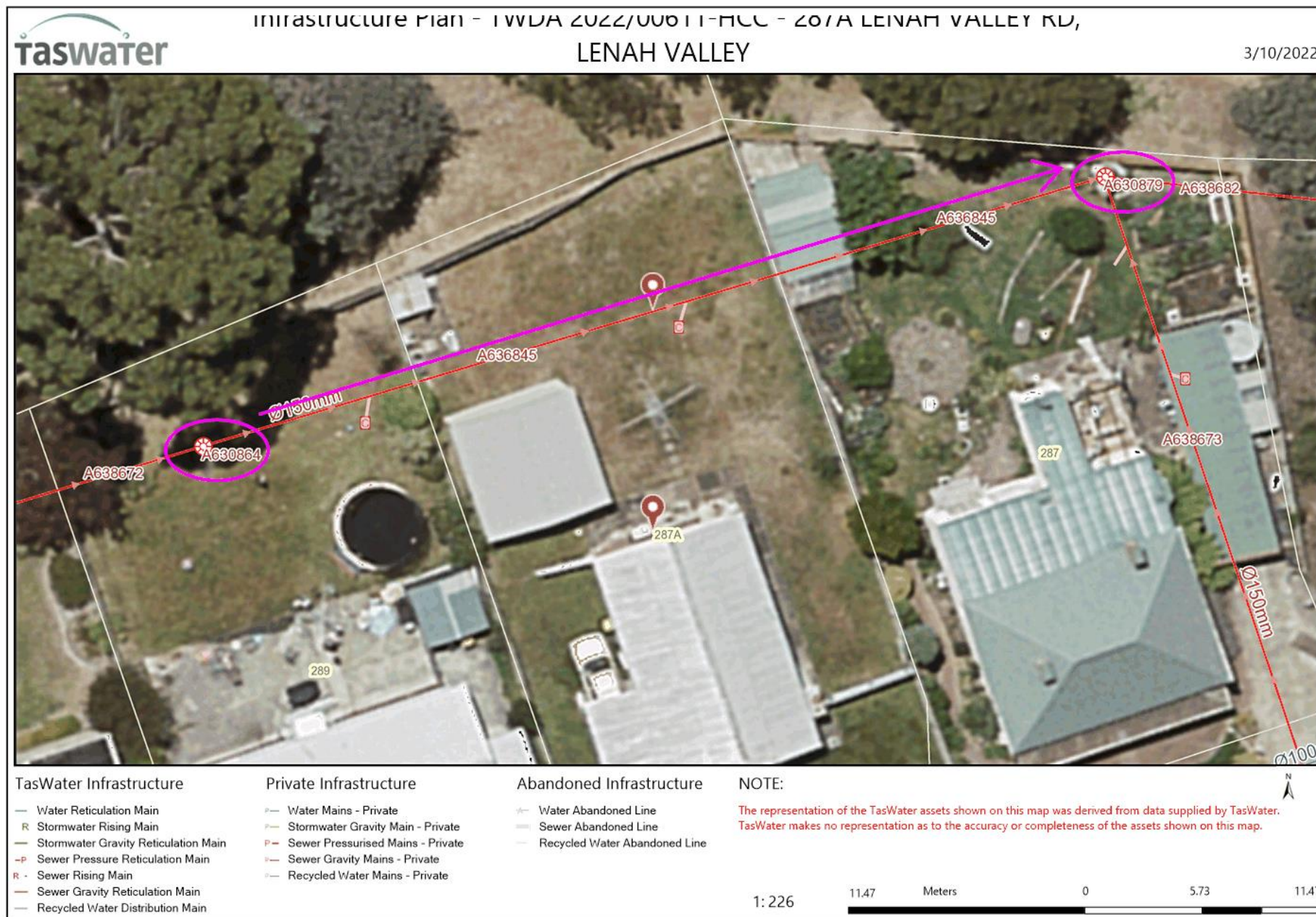
- (a) Existing pipe depth and proposed finished surface levels over the pipe;
- (b) The line of influence from the base of the footing must pass below the invert of the pipe and be clear of the pipe trench and;
- (c) A note on the plan indicating how the pipe location and depth were ascertained.
- (d) The location of the property service connection and sewer inspection opening (IO).

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au



6. REPORTS

6.1 Delegated Decision Report (Planning) File Ref: F22/118828

Memorandum of the Director City Life of 24 November 2022 and attachment.

Delegation: Committee



City of **HOBART**

MEMORANDUM: PLANNING COMMITTEE

Delegated Decision Report (Planning)

Attached is the delegated planning decisions report for the period 11 October 2022 to 22 November 2022.

RECOMMENDATION

That the information contained in the memorandum titled Delegated Decision Report (Planning) be received and noted.

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

Neil Noye
DIRECTOR CITY LIFE

Date: 24 November 2022
File Reference: F22/118828

Attachment A: Delegated Decision Report (Planning) ↓

23 November 2022

Delegated Decisions Report (Planning)

87 applications found.

					Approved	All
Planning Description	Address	Works Value	Decision	Authority		
PLN-20-189 Two Multiple Dwellings	79 WOODCUTTERS ROAD TOLMANS HILL TAS 7007	\$ 620,000	Approved	Delegated		
PLN-21-876 Partial Demolition, Alterations and Extension	19 WATERWORKS ROAD DYNMYRNE TAS 7005	\$ 150,000	Approved	Delegated		
PLN-21-885 Demolition and Three Multiple Dwellings	12 FRENCH STREET SANDY BAY TAS 7005	\$ 1,250,000	Approved	Delegated		
PLN-22-127 Signage	30 CASCADE ROAD SOUTH HOBART TAS 7004	\$ 1,000	Approved	Delegated		
PLN-22-128 Signage	49 AUGUSTA ROAD LENA VALLEY TAS 7008	\$ 1,000	Approved	Delegated		
PLN-22-144 Ancillary Dwelling	15 NILE AVENUE SANDY BAY TAS 7005	\$ 265,244	Approved	Delegated		
PLN-22-183 Change of Use to Visitor Accommodation	5 PAULINE AVENUE MOUNT NELSON TAS 7007	\$ 0	Approved	Delegated		
PLN-22-257 Partial Demolition, Alterations, and Extension	23 UNION STREET WEST HOBART TAS 7000	\$ 500,000	Approved	Delegated		
PLN-22-264 Partial Demolition, Alterations, and Extension	17 GLEBE STREET GLEBE TAS 7000	\$ 75,000	Approved	Delegated		
PLN-22-290 Dwelling	6 TABART STREET NEW TOWN TAS 7008	\$ 480,000	Approved	Delegated		
PLN-22-292 Partial Demolition, Alterations, and Extension	2/10 BECTIVE STREET SANDY BAY TAS 7005	\$ 300,000	Approved	Delegated		
PLN-22-333 Partial Demolition, Alterations, and Partial Change of Use to Visitor Accommodation	819 HUON ROAD FERN TREE TAS 7054	\$ 200,000	Approved	Delegated		
PLN-22-356 Signage	117 COLLINS STREET HOBART TAS 7000	\$ 0	Approved	Delegated		
PLN-22-374 Partial Demolition, Alterations, Driveway, Parking Area, and Front Fencing	16 TOORAK AVENUE MOUNT STUART TAS 7000	\$ 25,000	Approved	Delegated		
PLN-22-376 Alterations, Signage, and Partial Change of Use to Eating Establishment	65-79 SALAMANCA PLACE BATTERY POINT TAS 7004	\$ 5,000	Approved	Delegated		
PLN-22-378 Change of Use to Visitor Accommodation	1/26 DAVEY PLACE SOUTH HOBART TAS 7004	\$ 0	Approved	Delegated		
PLN-22-393 Partial Demolition, Alterations, and Extension	385 MACQUARIE STREET SOUTH HOBART TAS 7004	\$ 225,000	Approved	Delegated		
PLN-22-397 Partial Demolition, Alterations to Driveway, Front Fencing, and Landscaping	20A MANING AVENUE SANDY BAY TAS 7005	\$ 123,000	Approved	Delegated		
PLN-22-427 Partial Demolition and Alteration	7/22-24 CROMWELL STREET BATTERY POINT TAS 7004	\$ 30,000	Approved	Delegated		
PLN-22-455 Partial Demolition and Outbuilding (Garage)	26 OLDHAM AVENUE NEW TOWN TAS 7008	\$ 21,500	Approved	Delegated		
PLN-22-471 Partial Demolition, Alterations, and Extension	1 CRAIGSIDE AVENUE WEST HOBART TAS 7000	\$ 600,000	Approved	Delegated		
PLN-22-483 Change of Use to Visitor Accommodation	1/8 OBERON COURT DYNMYRNE TAS 7005	\$ 0	Approved	Delegated		
PLN-22-488 Dwelling	17 STEVENS FARM DRIVE WEST HOBART TAS 7000	\$ 990,000	Approved	Delegated		

CITY OF HOBART

Planning Description	Address	Works Value	Decision	Authority
PLN-22-504 Partial Demolition, Alterations and Front Fencing	69 GOULBURN STREET HOBART TAS 7000	\$ 15,000	Approved	Delegated
PLN-22-535 Dwelling	32 BEAUMONT ROAD LENA VALLEY TAS 7008	\$ 565,510	Approved	Delegated
PLN-22-538 Signage	199-201 CAMPBELL STREET NORTH HOBART TAS 7000	\$ 500	Approved	Delegated
PLN-22-543 Partial Demolition and Retaining Walls	405 ARGYLE STREET NEW TOWN TAS 7008	\$ 20,000	Approved	Delegated
PLN-22-545 Alterations (Solar Panels)	2/13-15 SERVICE STREET GLEBE TAS 7000	\$ 1,580	Approved	Delegated
PLN-22-552 Change of Use to Visitor Accommodation	20 BAYLEY STREET GLEBE TAS 7000	\$ 0	Approved	Delegated
PLN-22-553 Change of Use to Visitor Accommodation	4 THELMA DRIVE WEST HOBART TAS 7000	\$ 0	Approved	Delegated
PLN-22-554 Partial Demolition, Alterations, and Extension	13 SHELDON PLACE WEST HOBART TAS 7000	\$ 350,000	Approved	Delegated
PLN-22-556 Partial Demolition, Garage, Front Fencing, and Alterations to Access and Parking	56 PIRIE STREET NEW TOWN TAS 7008	\$ 50,000	Approved	Delegated
PLN-22-557 Partial Demolition, Retaining Walls and Tree Removal	5 TRUMAN AVENUE LENA VALLEY TAS 7008	\$ 15,000	Approved	Delegated
PLN-22-568 Partial Demolition, Alterations and Fencing	11 MARINE TERRACE BATTERY POINT TAS 7004	\$ 150,000	Approved	Delegated
PLN-22-572 Alterations, Partial Change of Use to Hotel Industry, and Extension to Operating Hours	279 ARGYLE STREET NORTH HOBART TAS 7000	\$ 350,000	Approved	Delegated
PLN-22-578 Partial Demolition and Alterations	58 LOCHNER STREET WEST HOBART TAS 7000	\$ 40,000	Approved	Delegated
PLN-22-580 Partial Demolition, Alterations, and Extension	28 SEYMOUR STREET NEW TOWN TAS 7008	\$ 400,000	Approved	Delegated
PLN-22-583 Partial Demolition, Alterations, Extension, and Change of Use to Dwelling and Community Meeting and Entertainment (Art and Craft Centre)	100-102 GOULBURN STREET HOBART TAS 7000	\$ 350,000	Approved	Delegated
PLN-22-584 Alterations to Previously Approved Development	6A WILLOWDENE AVENUE SANDY BAY TAS 7005	\$ 50	Approved	Delegated
PLN-22-587 Alterations and Extension	14 LIVINGSTON STREET SOUTH HOBART TAS 7004	\$ 75,000	Approved	Delegated
PLN-22-588 Alterations, Signage, and Partial Change of Use to Food Services	126 BATHURST STREET HOBART TAS 7000	\$ 100,000	Approved	Delegated
PLN-22-594 Alterations and Landscaping	8 MONA STREET BATTERY POINT TAS 7004	\$ 100,000	Approved	Delegated
PLN-22-595 Garage and Front Fencing	14 WILLOWDENE AVENUE SANDY BAY TAS 7005	\$ 40,000	Approved	Delegated
PLN-22-602 Partial Demolition, Alterations, Signage, Outdoor Dining, and Partial Change of Use to Eating Establishment and Hotel	25 SALAMANCA PLACE BATTERY POINT TAS 7004	\$ 200,000	Approved	Delegated
PLN-22-603 Partial Demolition and Alterations	10 GROSVENOR STREET SANDY BAY TAS 7005	\$ 100,000	Approved	Delegated
PLN-22-614 Alterations, Garage, Shed Relocation, and Front Fencing	33 CROSS STREET NEW TOWN TAS 7008	\$ 15,000	Approved	Delegated
PLN-22-616 Partial Demolition, Alterations, Signage, Front Fencing, and Partial Change of Use to General Retail and Hire	290A MURRAY STREET HOBART TAS 7000	\$ 80,000	Approved	Delegated

CITY OF HOBART

Planning Description	Address	Works Value	Decision	Authority
PLN-22-620 Extension to Operating Hours	41 FORSTER STREET NEW TOWN TAS 7008	\$ 0	Approved	Delegated
PLN-22-621 Partial Demolition, Alterations, Extension, Signage, and Change of Use to Food Services	319 ELIZABETH STREET NORTH HOBART TAS 7000	\$ 80	Approved	Delegated
PLN-22-622 Outbuilding	60 KING STREET SANDY BAY TAS 7005	\$ 10	Approved	Delegated
PLN-22-627 Change of Use to Visitor Accommodation	3/638-642 SANDY BAY ROAD SANDY BAY TAS 7005	\$ 200	Approved	Delegated
PLN-22-628 Partial Demolition and Alterations	11 SANDOWN AVENUE SANDY BAY TAS 7005	\$ 40,000	Approved	Delegated
PLN-22-630 Partial Demolition and Alterations	23 ENTERPRISE ROAD SANDY BAY TAS 7005	\$ 20,000	Approved	Delegated
PLN-22-632 Partial Demolition, Alterations, and Extension	6 MITAH CRESCENT SANDY BAY TAS 7005	\$ 200,000	Approved	Delegated
PLN-22-633 Change of Use to Visitor Accommodation	9 BEREAS STREET HOBART TAS 7000	\$ 0	Approved	Delegated
PLN-22-635 Partial Demolition, Alterations, and Extension	409 LIVERPOOL STREET WEST HOBART TAS 7000	\$ 300,000	Approved	Delegated
PLN-22-636 Extension to Operating Hours	217 SANDY BAY ROAD SANDY BAY TAS 7005	\$ 0	Approved	Delegated
PLN-22-637 Partial Demolition, Alterations, and Partial Change of Use to Visitor Accommodation	293 LIVERPOOL STREET HOBART TAS 7000	\$ 100,000	Approved	Delegated
PLN-22-639 Alterations to Previously Approved Development	5 ELAINE CRESCENT WEST HOBART TAS 7000	\$ 250,000	Approved	Delegated
PLN-22-643 Demolition	373 SANDY BAY ROAD SANDY BAY TAS 7005	\$ 20,000	Approved	Delegated
PLN-22-645 Swimming Pool	2 VIEW STREET SANDY BAY TAS 7005	\$ 10,000	Approved	Delegated
PLN-22-648 Alterations and Partial Change of Use to Business and Professional Services	121-127 NEW TOWN ROAD NEW TOWN TAS 7008	\$ 50,000	Approved	Delegated
PLN-22-654 Change of Use to Visitor Accommodation	4/40 MACFARLANE STREET SOUTH HOBART TAS 7004	\$ 0	Approved	Delegated
PLN-22-656 Partial Demolition, Alterations, and Extension	9 KENNERLEY STREET WEST HOBART TAS 7000	\$ 200,000	Approved	Delegated
PLN-22-657 Change of Use to Visitor Accommodation	207 MACQUARIE STREET HOBART TAS 7000	\$ 0	Approved	Delegated
PLN-22-659 Partial Demolition, Alterations, and Extension	9 BEDFORD STREET NEW TOWN TAS 7008	\$ 120,000	Approved	Delegated
PLN-22-66 Two Multiple Dwellings	17 THELMA DRIVE WEST HOBART TAS 7000	\$ 790,000	Approved	Delegated
PLN-22-663 Alterations	14/97 WOODCUTTERS ROAD TOLMANS HILL TAS 7007	\$ 5,000	Approved	Delegated
PLN-22-664 Alterations (Solar Panels)	40 KELLY STREET BATTERY POINT TAS 7004	\$ 1,659	Approved	Delegated
PLN-22-666 Partial Demolition, Alterations, and Extension	12 ELMA ROAD SANDY BAY TAS 7005	\$ 500,000	Approved	Delegated
PLN-22-667 Partial Demolition, Alterations, and Extension	142-146 DAVEY STREET HOBART TAS 7000	\$ 3,700,000	Approved	Delegated
PLN-22-668 Change of Use to Visitor Accommodation	1 LIVERPOOL CRESCENT WEST HOBART TAS 7000	\$ 0	Approved	Delegated

Planning Description	Address	Works Value	Decision	Authority
PLN-22-669 Change of Use to Visitor Accommodation	2 STRAHAN STREET NORTH HOBART TAS 7000	\$ 0	Approved	Delegated
PLN-22-671 Partial Demolition and Alterations to Entry Gateway	224 NEW TOWN ROAD NEW TOWN TAS 7008	\$ 50,000	Approved	Delegated
PLN-22-672 Change of Use to Visitor Accommodation	24 SHANNUK DRIVE WEST HOBART TAS 7000	\$ 0	Approved	Delegated
PLN-22-673 Dwelling	22 ANCANTHE AVENUE LENA VALLEY TAS 7008	\$ 650,000	Approved	Delegated
PLN-22-677 Partial Demolition, Alterations, and Extension	9 PICKARD STREET LENA VALLEY TAS 7008	\$ 300,000	Approved	Delegated
PLN-22-679 Signage	59-63 LIVERPOOL STREET HOBART TAS 7000	\$ 50,000	Approved	Delegated
PLN-22-680 Change of Use to Visitor Accommodation	10 WILMOT STREET HOBART TAS 7000	\$ 0	Approved	Delegated
PLN-22-690 Subdivision (Boundary Adjustment)	4 ST CANICE AVENUE SANDY BAY TAS 7005	\$ 0	Approved	Delegated
PLN-22-695 Front Fencing	271-275 SANDY BAY ROAD SANDY BAY TAS 7005	\$ 10,000	Approved	Delegated
PLN-22-706 Alterations	5/8-10 DE WITT STREET BATTERY POINT TAS 7004	\$ 15,000	Approved	Delegated
PLN-22-713 Partial Demolition and Alterations	23 COMMERCIAL ROAD NORTH HOBART TAS 7000	\$ 200,000	Approved	Delegated
PLN-22-715 Change of Use to Visitor Accommodation	751 SANDY BAY ROAD SANDY BAY TAS 7005	\$ 0	Approved	Delegated
PLN-22-755 Change of Use to Two Visitor Accommodation Units	6 BELLEVUE PARADE NEW TOWN TAS 7008	\$ 0	Approved	Delegated
PLN-22-758 Change of Use to Visitor Accommodation	5 HATTON GARDENS SANDY BAY TAS 7005	\$ 300	Approved	Delegated
PLN-22-760 Change of Use to Visitor Accommodation	12 RIBBON GUM COURT MOUNT NELSON TAS 7007	\$ 0	Approved	Delegated

6.2 Planning - Advertising Report
File Ref: F22/119265

Memorandum of the Director City Life of 24 November 2022 and attachment.

Delegation: Committee



City of **HOBART**

MEMORANDUM: PLANNING COMMITTEE

Planning - Advertising Report

Attached is the advertising list for the period 8 November 2022 to 22 November 2022.

RECOMMENDATION

That the information contained in the memorandum titled Planning – Advertising Report be received and noted.

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

Neil Noye
DIRECTOR CITY LIFE

Date: 24 November 2022

File Reference: F22/119265

Attachment A: Planning - Advertising Report ↓ 

No	Application	Street	Suburb	Development	Works Value	Expiry Date	Referral	Proposed Delegation	Advertising Period Start	Advertising Period End
1	PLN-22-707	2 - 4 GLADSTONE STREET	BATTERY POINT	Signage	\$1,206	11/12/2022	langd	Director	08/11/2022	22/11/2022
2	PLN-22-727	8 ELLERSLIE ROAD	BATTERY POINT	Partial Demolition and Alterations	\$250,000	30/12/2022	langd	Director	11/11/2022	25/11/2022
3	PLN-22-691	4 / 20 HAMPDEN ROAD	BATTERY POINT	Partial Demolition and Alterations	\$150,000	06/12/2022	burkedan	Director	21/11/2022	05/12/2022
4	PLN-22-665	220 WATERWORKS ROAD	DYNNYRNE	New Shared Track and Associated Works including Vegetation Rehabilitation	\$250,000	08/01/2023	smeea	Committee (Council Land)	17/11/2022	01/12/2022
5	PLN-22-649	193 CAMPBELL STREET	HOBART	Change of Use to Visitor Accommodation	\$0	21/12/2022	sherriffc	Director	15/11/2022	29/11/2022
6	PLN-22-296	6 - 8 MARKET PLACE	HOBART	Alterations and Partial Change of Use to Service Industry	\$60,000	27/12/2022	sherriffc	Director	15/11/2022	29/11/2022

No	Application	Street	Suburb	Development	Works Value	Expiry Date	Referral	Proposed Delegation	Advertising Period Start	Advertising Period End
7	PLN-22-408	251 LIVERPOOL STREET	HOBART	Change of Use to Residential (Hostel)	\$0	18/12/2022	sherriffc	Director	17/11/2022	01/12/2022
8	PLN-22-661	10 DOMAIN HIGHWAY	HOBART	Floating Pontoon and Associated Works	\$134,000	07/12/2022	smeea	Director	17/11/2022	01/12/2022
9	PLN-22-704	15 CHURCH STREET	HOBART	Retaining Wall	\$16,000	16/12/2022	burkedan	Director	17/11/2022	01/12/2022
10	PLN-22-709	246 MURRAY STREET	HOBART	Partial Demolition, Alterations, Signage and Change of Use to Business and Professional Services	\$400,000	21/12/2022	ikinb	Director	22/11/2022	06/12/2022
11	PLN-22-711	30 BRINSMEAD ROAD	MOUNT NELSON	Partial Change of Use to Home-Based Business	\$10,000	14/12/2022	langd	Director	08/11/2022	22/11/2022
12	PLN-22-577	8 FORDHAM STREET	MOUNT STUART	Partial Demolition, Alterations, Extension, and Carport	\$150,000	07/12/2022	mcclenahanm	Director	15/11/2022	29/11/2022

No	Application	Street	Suburb	Development	Works Value	Expiry Date	Referral	Proposed Delegation	Advertising Period Start	Advertising Period End
13	PLN-22-560	4 AUVERGNE AVENUE	MOUNT STUART	Partial Demolition and Subdivision (Boundary Adjustment)	\$0	05/12/2022	mcclenahanm	Director	19/11/2022	03/12/2022
14	PLN-22-353	6 CLIFT STREET	MOUNT STUART	Demolition and Two Multiple Dwellings	\$2,000,000	03/01/2023	baconr	Director	22/11/2022	06/12/2022
15	PLN-22-723	10 / 53 BAY ROAD AND COMMON LAND OF PARENT TITLE	NEW TOWN	Partial Demolition and Alterations	\$20,000	13/12/2022	ayersh	Director	08/11/2022	22/11/2022
16	PLN-22-608	14 RATTLE STREET	NEW TOWN	Partial Demolition, Alterations, and New Building for Visitor Accommodation	\$250,000	26/11/2022	ayersh	Committee (Called In)	10/11/2022	24/11/2022
17	PLN-22-717	163 NEW TOWN ROAD	NEW TOWN	Alterations	\$30,000	11/12/2022	burkedan	Director	11/11/2022	25/11/2022
18	PLN-22-424	20 DOUGLAS STREET	NEW TOWN	Alterations (Solar Panels)	\$17,086	16/12/2022	baconr	Director	17/11/2022	01/12/2022

No	Application	Street	Suburb	Development	Works Value	Expiry Date	Referral	Proposed Delegation	Advertising Period Start	Advertising Period End
19	PLN-22-739	2 A VALENTINE STREET	NEW TOWN	Partial Demolition, Alterations, and Extension	\$50,000	31/12/2022	burkedan	Director	22/11/2022	06/12/2022
20	PLN-22-624	13 BROADWATERS PARADE	SANDY BAY	Partial Demolition and Alterations	\$350,000	19/12/2022	langd	Director	10/11/2022	24/11/2022
21	PLN-22-696	236 - 244 SANDY BAY ROAD	SANDY BAY	Partial Change of Use to Hotel Industry	\$2,000	10/12/2022	smeea	Director	15/11/2022	29/11/2022
22	PLN-22-718	63 VIEW STREET	SANDY BAY	Partial Demolition, Alterations and Extension	\$250,000	15/12/2022	mcclenahanm	Director	15/11/2022	29/11/2022
23	PLN-22-674	15 MARIEVILLE ESPLANADE	SANDY BAY	Partial Demolition, Alterations, and Additional Floating Pontoons	\$500,000	21/12/2022	baconr	Committee (Council Land)	17/11/2022	01/12/2022
24	PLN-22-705	2 / 9 WAIMEA AVENUE	SANDY BAY	Partial Change of Use to Visitor Accommodation	\$0	22/12/2022	baconr	Committee (Called In)	18/11/2022	02/12/2022

No	Application	Street	Suburb	Development	Works Value	Expiry Date	Referral	Proposed Delegation	Advertising Period Start	Advertising Period End
25	PLN-22-675	5 / 1 - 5 PAULDON DRIVE	SANDY BAY	Change of Use to Visitor Accommodation	\$250	15/12/2022	langd	Committee (Called In)	18/11/2022	02/12/2022
26	PLN-22-653	14 BIRNGANA AVENUE	SANDY BAY	Partial Demolition and Alterations	\$45,000	27/12/2022	baconr	Director	21/11/2022	05/12/2022
27	PLN-22-662	17 BEACH ROAD	SANDY BAY	Lighting	\$260,000	14/12/2022	ikinb	Committee (Council Land)	22/11/2022	06/12/2022
28	PLN-22-720	3 WELD STREET	SOUTH HOBART	Partial Demolition, Alterations, and Extension	\$350,000	31/12/2022	burkedan	Director	11/11/2022	25/11/2022
29	PLN-22-245	20 BONNINGTON ROAD	WEST HOBART	Partial Demolition, Alterations, and Extension	\$200,000	04/12/2022	ayersh	Director	17/11/2022	01/12/2022

7. CLOSED PORTION OF THE MEETING

That the Committee resolve by majority that the meeting be closed to the public pursuant to regulation 15(1) of the *Local Government (Meeting Procedures) Regulations 2015* because the items included on the closed agenda contain the following matters:

- Confirm the minutes of the Closed portion of the meeting

The following items were discussed: -

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| Item No. 1 | Minutes of the last meeting of the Closed Portion of the Committee Meeting |
| Item No. 2 | Consideration of supplementary items to the agenda |
| Item No. 3 | Indications of pecuniary and conflicts of interest |
| Item No. 4 | Planning Authority Items – Consideration of Items with Deputations |