



CITY OF HOBART

# **SUPPORTING INFORMATION**

**CITY PLANNING COMMITTEE MEETING**

**OPEN PORTION OF THE MEETING**

**MONDAY, 19 SEPTEMBER 2022**

**AT 5:00 PM**

**VENUE: COUNCIL CHAMBER, TOWN HALL**

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## **TABLE OF CONTENTS**

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7.1.7 175, 177, 179, 169-173 Campbell Street and Adjacent Road Reserve - Partial Demolition, Alterations, New Building for 31 Multiple Dwellings, Food Services, Business and Professional Services, General Retail and Hire, Subdivision (Lot Consolidation), and Associated Works in the Road Reserve including Tree Removal

Attachment C      PLN-21-471 - 175 CAMPBELL STREET HOBART TAS  
7000 - Attachment C - CPC Supporting Documents.....2

**RESULT OF SEARCH**

RECORDER OF TITLES

*Issued Pursuant to the Land Titles Act 1980*

## SEARCH OF TORRENS TITLE

VOLUME 23364	FOLIO 1
EDITION 2	DATE OF ISSUE 27-Jul-1994

SEARCH DATE : 17-May-2021

SEARCH TIME : 11.29 AM

DESCRIPTION OF LAND

City of HOBART

Lot 1 on Diagram 23364

Derivation : Part of 4 Acres (Section B.2.) Gtd. to J. Bisdee.

Prior CT 4129/69

SCHEDULE 1

B785251 TRANSFER to BUILDING GROUP APPRENTICESHIP SCHEME LTD  
Registered 27-Jul-1994 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

BENEFITING EASEMENT: Right of Carriageway over the Right of  
Way 2.59 wide marked E.G.H.C. on Diagram No. 23364

BURDENING EASEMENT: Right of Carriageway [appurtenant to Lots  
1 and 2 on Sealed Plan No. 22529 and the land in  
Conveyance No. 44/8439) over the Right of Way 0.91  
wide marked D.C.E.F. on Diagram No. 23364

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



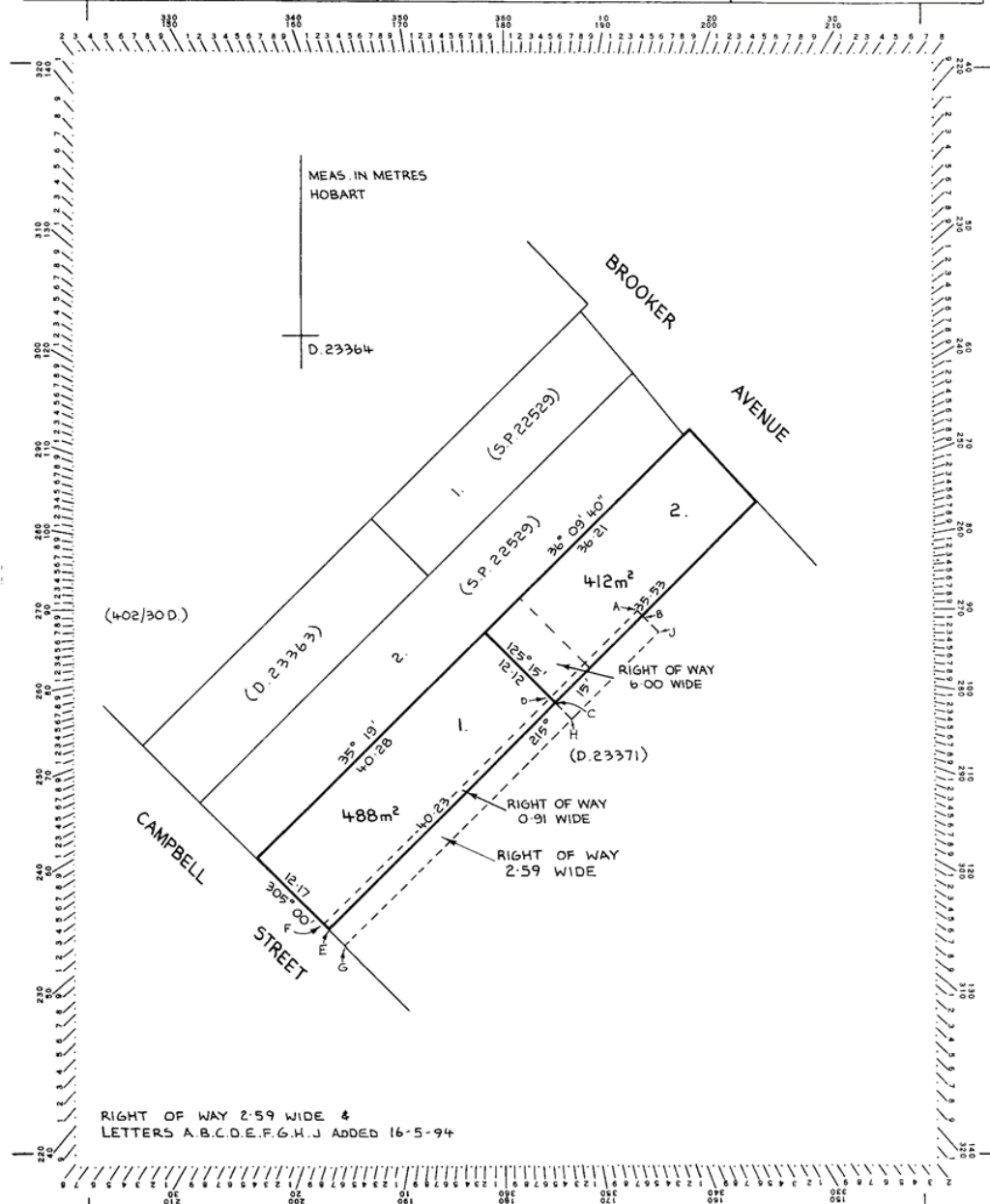
## FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



Owner: X. 4079	<b>PLAN OF SURVEY</b> by Surveyor..... of land situated in the  <b>CITY OF HOBART</b>  SCALE 1:500      MEASUREMENTS IN METRES	Registered Number: <b>D.23364</b>
Title Reference: CONV. 58-2120		Approved Effective from: 16 NOV 1994
Grantee: PART OF (4000) JOHN BISDEE.		ACTING DEPUTY Recorder of Titles



**RESULT OF SEARCH**

RECORDER OF TITLES

*Issued Pursuant to the Land Titles Act 1980*

## SEARCH OF TORRENS TITLE

VOLUME 23364	FOLIO 2
EDITION 2	DATE OF ISSUE 27-Jul-1994

SEARCH DATE : 17-May-2021

SEARCH TIME : 11.30 AM

DESCRIPTION OF LAND

City of HOBART

Lot 2 on Diagram 23364

Derivation : Part of 4 Acres (Section B.2.) Gtd. to J. Bisdsee.

Prior CT 4129/70

SCHEDULE 1

B785251 TRANSFER to BUILDING GROUP APPRENTICESHIP SCHEME LTD  
Registered 27-Jul-1994 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

BENEFITING EASEMENT: Right of Carriageway over the Right of  
Way 2.59 wide marked B.J.H.G.E.C.B. on Diagram No.  
23364

BURDENING EASEMENT: Right of Carriageway [appurtenant to the  
land comprised in Conveyance No. 44/8439) over the  
Right of Way 0.91 wide marked A.B.C.D. on Diagram No.  
23364

BURDENING EASEMENT: Right of Carriageway [appurtenant to Lots  
1 and 2 on Sealed Plan No. 22529) over the Right of  
Way 0.91 wide marked A.B.C.D. on Diagram No. 23364  
and the Right of way 6.00 wide shown on Diagram No.  
23364

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations





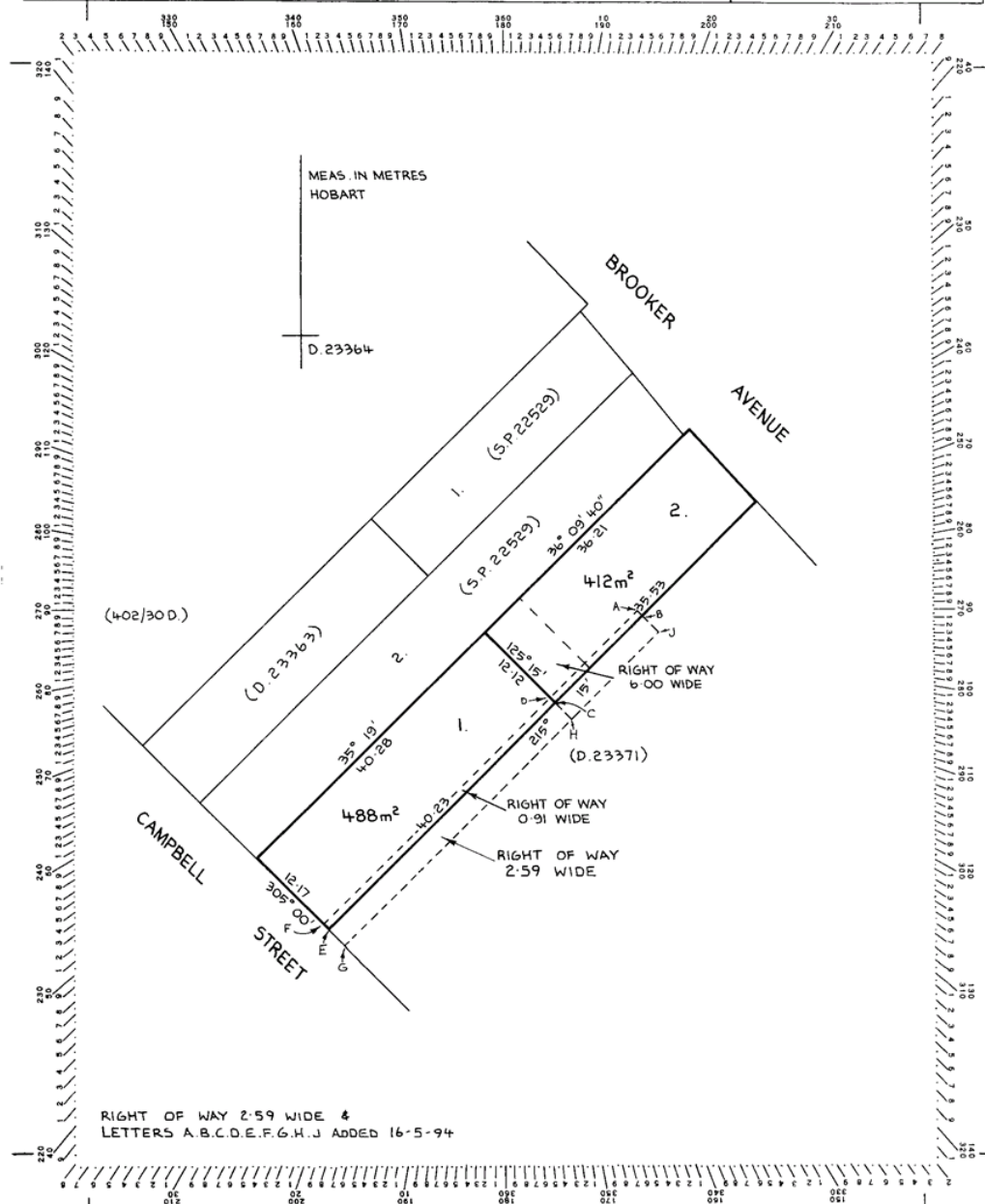
## FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



Owner: X. 4079	<b>PLAN OF SURVEY</b> by Surveyor..... of land situated in the  <b>CITY OF HOBART</b>  SCALE 1:500      MEASUREMENTS IN METRES	Registered Number: <b>D.23364</b>
Title Reference: CONV. 58-2120		Approved Effective from: 16 NOV 1994
Grantee: PART OF (4000) JOHN BISDEE.		ACTING DEPUTY Recorder of Titles



**RESULT OF SEARCH**

RECORDER OF TITLES

*Issued Pursuant to the Land Titles Act 1980*

## SEARCH OF TORRENS TITLE

VOLUME 22529	FOLIO 3
EDITION 1	DATE OF ISSUE 26-Apr-1995

SEARCH DATE : 17-May-2021

SEARCH TIME : 11.32 AM

DESCRIPTION OF LAND

City of HOBART

Lot 3 on Sealed Plan 22529

(Formerly Lots 1 &amp; 2 on Sealed Plan 22529)

Derivation : Part of 4 Acres (Section B.2.) Gtd. to J Bisdee

Prior CT 4129/67

SCHEDULE 1

B785252 TRANSFER to BUILDING GROUP APPRENTICESHIP SCHEME LTD

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP 22529 EASEMENTS in Schedule of Easements

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



**RESULT OF SEARCH**

RECORDER OF TITLES

*Issued Pursuant to the Land Titles Act 1980*

## SEARCH OF TORRENS TITLE

VOLUME 23363	FOLIO 1
EDITION 3	DATE OF ISSUE 14-Sep-2010

SEARCH DATE : 17-May-2021

SEARCH TIME : 11.35 AM

DESCRIPTION OF LAND

City of HOBART  
Lot 1 on Diagram 23363  
Being the land described in Conveyance No. 44/4984  
Excepting thereout Lot 1 on Sealed Plan No. 22529  
Derivation : Part of 4 Acres (Sec. B.2.) Gtd. to J. Bisdee  
Prior CT 4129/68

SCHEDULE 1

C948373 TRANSFER to BUILDING GROUP APPRENTICESHIP SCHEME LTD  
Registered 14-Sep-2010 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
BENEFITING EASEMENT: Right of Drainage over the drainage  
easement shown on Sealed Plan No. 22529

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



## FOLIO PLAN

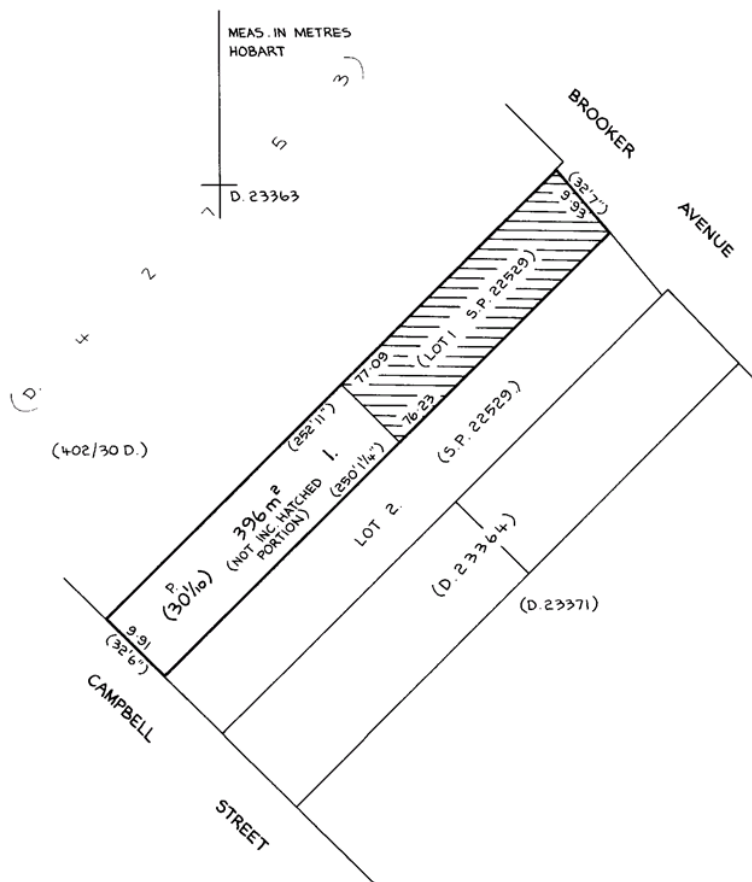
RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



APPROVED FROM... 16 NOV 1984 <i>J. Brown</i> ACTING DEPUTY RECORDER OF TITLES	CONVERSION PLAN	REGISTERED NUMBER D.23363
FILE NUMBER X 4079	GRANTEE: PART OF (4.0.0) JOHN BISDEE.	M. YOUNG 22.6.84

SKETCH BY WAY OF ILLUSTRATION ONLY

CITY/TOWN OF HOBART  
LAND DISTRICT OF  
PARISH OFLENGTHS ARE IN METRES. NOT TO SCALE.  
LENGTHS IN BRACKETS IN LINKS/FEET & INCHES.'EXCEPTED LAND'  
LOT 1 (S.P. 22529) 365m<sup>2</sup>

**RESULT OF SEARCH**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



## SEARCH OF TORRENS TITLE

VOLUME 140732	FOLIO 1
EDITION 3	DATE OF ISSUE 28-Jan-2011

SEARCH DATE : 03-Jul-2020

SEARCH TIME : 09.53 AM

DESCRIPTION OF LAND

City of HOBART  
 Lot 1 on Plan 140732  
 Being the land described in Conveyance 62/3280, Being the land described in Conveyance No. 44/8439  
 Derivation : Part of 4 Acres (Section B.2.) Gtd. to J. Bisdee.  
 Derived from A16172  
 Prior CTs 123139/1 and 23371/1

SCHEDULE 1

B577065, B810602 & C437756 TRANSFER to TASMANIAN MEAT  
 WHOLESALERS PTY LTD

SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
 BENEFITING EASEMENT: (appurtenant to the land marked HKLM on P. 140732) a Right of Carriageway over the Right of Way 0.91 wide shown on P.140732  
 BURDENING EASEMENT: Right of Carriageway [appurtenant to the land in Conveyance No. 44/5050 and Lots 1 and 2 on Sealed Plan No. 22529) over the Right of Way 2.59 Wide marked EFGH on P.140732  
 BURDENING EASEMENT: a right of carriage way for the owner or owners for the time being of the land described in Indenture of Conveyance 33/2120 over the Right of Way 2.59 Wide marked IJGH on P.140732  
 67/7169 Benefiting Easement (appurtenant to the land marked LQPONM on P.140732) Party Wall Easement over the wall marked "A" "B" "C" "D" on Plan 140732  
 67/7036 BURDENING EASEMENT: Right for Eaves and Spouting overhang (appurtenant to Lot 1 on Plan No.51812) over the land marked Easement 0.50 Wide shown on Plan No. 140732  
 C509575 ADHESION ORDER under Section 110 of the Local Government (Building and Miscellaneous Provisions) Act 1993 Registered 28-Apr-2004 at noon  
 C995946 MORTGAGE to Douglas Wayne Woulleman King and Susan



## RESULT OF SEARCH

RECORDER OF TITLES

*Issued Pursuant to the Land Titles Act 1980*



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Woulleman King Registered 28-Jan-2011 at 12.01 PM

### UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



## FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



OWNER 123139-1 CT. FOLIO REFERENCE 23371-1 CT. GRANTEE		PLAN OF TITLE LOCATION CITY OF HOBART SEC.B2 FIRST SURVEY PLAN No. COMPILED BY LDRB SCALE 1: 1500 LENGTHS IN METRES		Registered Number <b>P.140732</b> APPROVED 5 MAR 2004 <i>Alice Kawa</i> Recorder of Titles
MAPSHEET MUNICIPAL CODE No. 5225-42 (III4)	LAST UPJ No 2100524	LAST PLAN No. P.123139,D.23371	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	

(P.22529)  
 (D.23364)  
 0.91  
 74.32  
 2.59  
 13.87  
 28.54  
 67.76  
 13.72  
 32.31  
 0.50  
 11.25  
 WALL  
 DEED OF GRANT  
 67/7169  
 (P.51812)  
 EASEMENT 0.50 WIDE ADDED  
 TO PLAN PURSUANT TO  
 SEC. 139 LAND TITLES ACT 190  
*Alice Kawa* 21/05/2009  
 RECORDER OF TITLES DATE  
 CL





JMG Ref: 173021PH  
Council Ref: PLN-21-471

22<sup>nd</sup> January 2021

Mr Ben Ikin  
Hobart City Council  
Via Online Development Services Portal

Attention: City Planning

Dear Mr Ikin

APPLICATION NO. PLN-21-471 - 175 CAMPBELL STREET & 177 CAMPBELL STREET & 179 CAMPBELL STREET & 169-173 CAMPBELL STREET, HOBART - PARTIAL DEMOLITION, ALTERATIONS, NEW BUILDING FOR 26 MULTIPLE DWELLINGS, FOOD SERVICES, BUSINESS AND PROFESSIONAL SERVICES, GENERAL RETAIL AND HIRE, AND SUBDIVISION (LOT CONSOLIDATION)

Please refer to the following with regards to the 'request for additional information letter' received from Hobart City Council, dated 22<sup>nd</sup> December 2022.

An RFI response has been lodged on the 14<sup>th</sup> of January, the additional information for the RFI response is addressed below.

1. General Manager's Consent

- A revised General Manager Consent Application has been sent to [coh@hobartcity.com.au](mailto:coh@hobartcity.com.au) on the 18<sup>th</sup> of February.

2. A series of reports/plans have been updated including:

- Architectural Plans - Appendix C (removing the garden walls from the easement);
- Landscape Architectural Plans - Appendix M (removing the garden walls from the easement);
- Engineering Plans - Appendix H (removing the garden walls from the easement and including the sectional details/notes suggested at our meeting); and
- Flooding Report - Appendix I (including a direct reference to H5 scenarios).

3. Stormwater

These matters have been addressed in the revised Flood Report (Appendix I) and Concept Services Plans (Appendix H) in the attached planning report.

117 Harrington Street  
Hobart 7000  
Phone (03) 6231 2555  
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49-51 Elizabeth Street  
Launceston 7250  
Phone (03) 6334 5548  
Fax (03) 6331 2954  
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Johnstone McGee &  
Gandy Pty Ltd  
ABN 76 473 834 852  
ACN 009 547 139  
as trustee for Johnstone  
McGee & Gandy  
Unit Trust

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In response to E15.5.2 Flussigs advises:

*“Section 2.4 results of the Flooding report states that solid walls were replaced with cyclone fencing to prevent the increase in flooding on neighbouring properties. This is then demonstrated in the below sections (in red) for each of the performance criteria*

*E15.7.5 Landfill, or solid walls greater than 5 m in length and 0.5 m in height, must satisfy all the following:*

- (a) no adverse affect on flood flow over other property through the displacement of overland flows; Section 2.4.1 shows no change in depth and thus no change in extent/displacement of flows on the properties immediately downstream.*
- (b) the rate of stormwater discharge from the property must not increase; Section 2.4.2 shows the comparison between pre and post discharge from the property.*
- (c) stormwater quality must not be reduced from pre-development levels. This is not highlighted in the request however if there is no change in depth and velocity then the quality (erosion potential) stays the same.*

*E15.5.2 - Evidence a structure will withstand hydrostatic and hydrodynamic forces*

*Under 3.0 Hazards we provide the maximum depth and velocity experienced by the structures and advice that all structures need to be assessed for hydrostatic and hydrodynamic forces.*

*This is again addressed under 5.0 Recommendations*

*As stated in the meeting we do not provide structural certification and therefore cannot do any more than state the requirements”.*

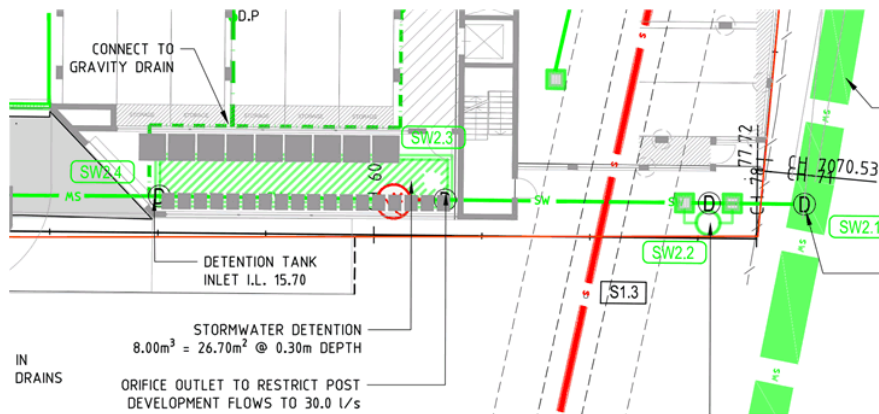
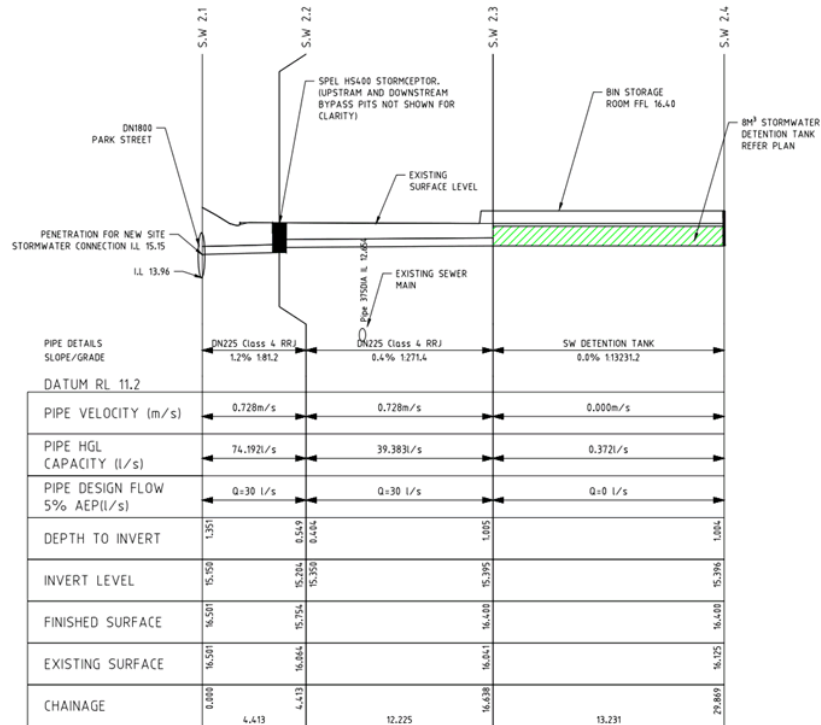
In response to the floor level query, JMG engineers advise:

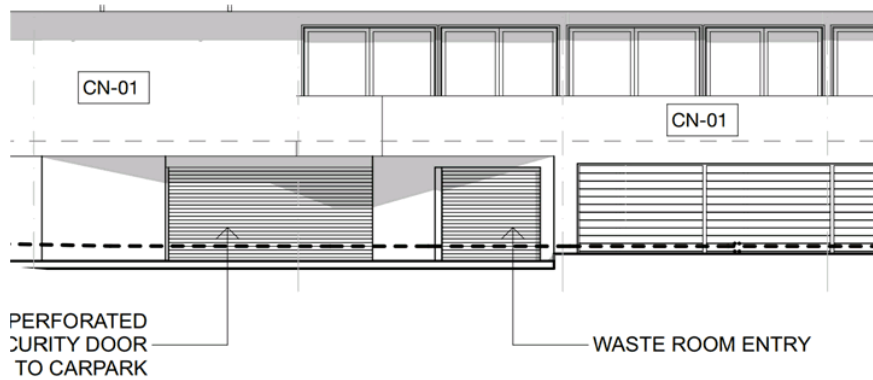
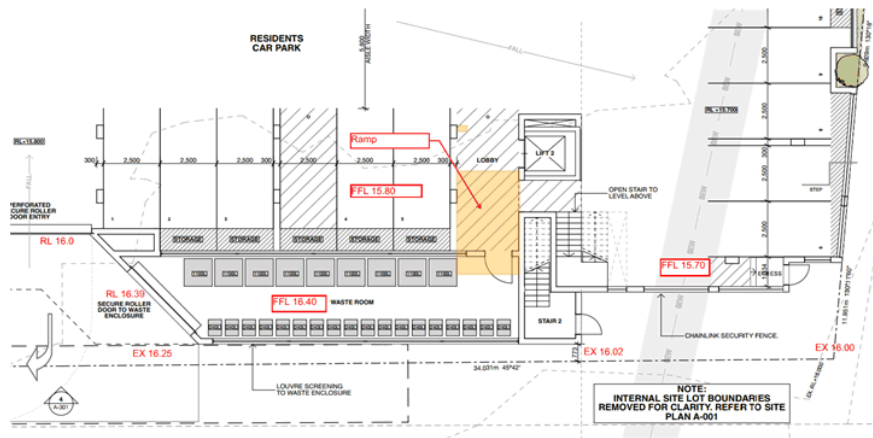
*“Summary of IND2 issue - The levels of bin store are not shown on Architects plan and elevations, the levels default to those on the engineering plans - as such there is no inconsistency”.*

<b>IND 2</b>	<p>Site Plan and Elevations / sections showing the extent and depth of both the critical 1% AEP as at 2100 and 5% AEP flood events.</p> <p><i>Advice: Council notes the JMG carpark plan, private stormwater long-section, and architectural elevations do not appear consistent re basement floor levels.</i></p>
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Notes under the Act to comply







We trust this satisfies Council's request and we can move swiftly to advertising the proposal, however, if further information or clarification is required with respect to this request, please contact me on 6231 2555 or at [planning@jmg.net.au](mailto:planning@jmg.net.au).

Yours faithfully

JOHNSTONE MCGEE & GANDY PTY LTD

A handwritten signature in blue ink, appearing to read 'Mat Clark', is positioned below the company name.

Mat Clark  
PRINCIPAL/SENIOR TOWN PLANNER



JMG Ref: 173021PH  
Council Ref: PLN-21-471

23<sup>rd</sup> June 2022

Mr Ben Ikin  
Hobart City Council  
Via Online Development Services Portal  
Cc John Fisher

Attention: City Planning

Dear Mr Ikin

**APPLICATION NO. PLN-21-471 - 175 CAMPBELL STREET & 177 CAMPBELL STREET & 179 CAMPBELL STREET & 169-173 CAMPBELL STREET, HOBART - PARTIAL DEMOLITION, ALTERATIONS, NEW BUILDING FOR 26 MULTIPLE DWELLINGS, FOOD SERVICES, BUSINESS AND PROFESSIONAL SERVICES, GENERAL RETAIL AND HIRE, AND SUBDIVISION (LOT CONSOLIDATION)**

Please refer to the following with regards to the 'request for additional information letter' received from Hobart City Council, dated 18<sup>th</sup> March 2022. We have updated the planning report and included updated Appendices which are referred to below.

#### Stormwater Code

##### 1. Sw 6 partially satisfied

*A stormwater drainage design, including supporting calculations and report which accommodates all storms with an ARI of 20 years*

These matters have been addressed in the revised Flood Modelling Report (Appendix I) and Concept Services Report (Appendix H) in the attached planning report.

Refer also to June 2022 revision of the Concept Services Report.

##### 2. INFsw1A

Scaled and dimensioned site plan and sections showing the vertical and horizontal clearances from the works to the outside of the Council mains.

Refer Figures 6 & 7 of the June 2022 revision of the Concept Services Report for the DN525 and DN1800 pipes respectively.

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Hobart 7000  
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infohbt@jmg.net.au

Johnstone McGee &  
Gandy Pty Ltd  
ABN 76 473 834 852  
ACN 009 547 139  
as trustee for Johnstone  
McGee & Gandy  
Unit Trust

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#### Inundation Prone Areas Code

##### 3. IND 1 A site specific flood hazard report

*A site specific flood hazard report including:*

*The risk of inundation to the site, proposed buildings and building floor levels (based on a predicted 1% Annual*

*Exceedance Probability flood event for the year 2100 including consideration of climate change (18% increase in*

*rainfall intensity and sea level rise)). Clearly state the vertical clearance between the proposed finished floor level of any habitable rooms and the flood level;*

*2. The impact of the proposed development upon the risk of inundation of other land, buildings and infrastructure (including frequency, extent, depth, velocity and hazard);*

*3. Any inundation control measures or design features proposed to be employed to reduce the risk, and the resultant level of risk;*

*4. Conclusions as to whether the use or development is likely to cause or contribute to the occurrence of flood on the site*

*or on adjacent land and; as to whether the use or development can achieve and maintain a tolerable risk for the intended life of the use or development;*

*5. Modelling/ discussion must also address higher probability flood events; and*

*6. Identification of which hazard bands the use of the development would be within - where on the ARR curves Safety*

*Design Criteria Chapter 7 7.2.7 (Figure 6.7.9) and what mitigation is proposed to reduce the risk as far as possible.*

These items have been addressed in the Flussig Engineers Revision 03 report (Appendix I) Stormwater Management Plan (Appendix M), as well as the June 2022 revision of the Concept Services Report (Appendix H).

The updated Flussig report shows a duration to maximum flow (hence depth) of around 13 minutes, slightly longer than previous modelling. The water depth in the car park rises from an initial noticeable depth of 50mm to maximum in a period of around 9.5 minutes (refer Fig. 8 of the Flussig report). The Concept Services Report recommends a Flood Emergency Management Plan which includes appointment of flood wardens, audio and visual alarms (with battery back-up) and a cable gate across the vehicle access to prevent vehicular access/egress but allow pedestrian egress. The trigger for the alarm/cable gate should be at 50mm water depth in the basement.

##### IND 2 Site Plan and Elevations / sections

Refer to June 2022 revision of the Concept Services Report and Appendices.



Potentially Contaminated land

*A 'Contamination Management Plan' as required by the 'Environmental Site Assessment'*

A full Environmental Site Assessment including borehole contamination data is included in Appendix F of the updated planning assessment.

We trust this satisfies Council's request and we can move swiftly to advertising the proposal, however, if further information or clarification is required with respect to this request, please contact me on 6231 2555 or at [planning@jmg.net.au](mailto:planning@jmg.net.au).

Yours faithfully

JOHNSTONE MCGEE & GANDY PTY LTD

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Mat Clark  
PRINCIPAL/SENIOR TOWN PLANNER





JMG Ref: 173021PH  
Council Ref: PLN-21-471

14<sup>th</sup> January 2021

Mr Ben Ikin  
Hobart City Council  
Via Online Development Services Portal

Attention: City Planning

Dear Mr Ikin

APPLICATION NO. PLN-21-471 - 175 CAMPBELL STREET & 177 CAMPBELL STREET & 179 CAMPBELL STREET & 169-173 CAMPBELL STREET, HOBART - PARTIAL DEMOLITION, ALTERATIONS, NEW BUILDING FOR 26 MULTIPLE DWELLINGS, FOOD SERVICES, BUSINESS AND PROFESSIONAL SERVICES, GENERAL RETAIL AND HIRE, AND SUBDIVISION (LOT CONSOLIDATION)

Please refer to the following with regards to the 'request for additional information letter' received from Hobart City Council, dated 22<sup>nd</sup> December 2022.

The required additional information is addressed in the sequence below.

**1. General Manager's Consent**

- A revised General Manager Consent Application has been sent to [coh@hobartcity.com.au](mailto:coh@hobartcity.com.au) on the 13<sup>th</sup> of January.

**2. Planning**

- The heights of the buildings are dimensioned on the updated plans;
- The planning report is updated to the current set of architectural plans and has been uploaded onto the planning portal;

**3. Open Space**

- There was an inconsistency between the survey and the tree survey used for the architectural plans. This has been corrected in favour of the tree survey which shows two trees to be removed in the Brooker Highway reserve;
- The tree survey has been included in the Planning Report;
- We understand there may be a charge for tree removal in the road reserve;

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#### 4. Parking and Access

The Concept Services Report (Appendix H) and Traffic Impact Assessment (Appendix G) within the planning report contains this information. There have been some updates to these documents, and they are located in the Updated Planning Report attached.

The DDA spaces are not required and thus will not be marked, however, they will remain for allocation to accessible capable apartments should that be required.

The tandem spaces have been increased in width to 2.6m.

Also, we confirm, there are 35 car parks for 31 apartments.

#### PA 9

Whilst there is no requirement to provide a Waste Management Plan under the planning scheme, we have updated the previously submitted Waste Management Plan, to include limitations on the delivery times to avoid conflicts on the accessway and the proposed turning arrangements.

#### 5. Roads - Driveway

Long sections of the driveways have been provided. Compliance with the IPWEA standards is typically achieved by the condition in the detailed design and thus is not required on the planning drawings. Notwithstanding this, we have added the notes as requested.

#### 6. Stormwater

These matters have been addressed in the revised Flood Modelling Report (Appendix I) and Concept Services Report (Appendix H) in the attached planning report. We understand this is still under assessment by Council engineers.

#### 7. Protection of Council Infrastructure - Stormwater

These matters have been addressed in the revised Flood Modelling Report (Appendix I) and Concept Services Report (Appendix H) in the attached planning report. We understand this is still under assessment by Council engineers.

#### 8. Inundation Prone Areas Code

These matters have been addressed in the revised Flood Modelling Report (Appendix I) and Concept Services Report (Appendix H) in the attached planning report. We understand this is still under assessment by Council engineers.



We trust this satisfies Council's request and we can move swiftly to advertising the proposal, however, if further information or clarification is required with respect to this request, please contact me on 6231 2555 or at [planning@jmg.net.au](mailto:planning@jmg.net.au).

Yours faithfully

JOHNSTONE McGEE & GANDY PTY LTD

A handwritten signature in blue ink, appearing to read 'Mat Clark', is positioned below the company name.

Mat Clark  
PRINCIPAL/SENIOR TOWN PLANNER



## ATTACHMENT A

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### General Manager Consent

# WASTE MANAGEMENT PLAN

BUILDING GROUP APPRENTICESHIP SCHEME LTD

175, 177 & 179 Campbell Street

NOVEMBER 2021

## Johnstone McGee & Gandy Pty Ltd

ABN 76 473 834 852 ACN 009 547 139

[www.jmg.net.au](http://www.jmg.net.au)

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Hobart TAS 7000  
Phone (03) 6231 2555  
[infohbt@jmg.net.au](mailto:infohbt@jmg.net.au)

LAUNCESTON OFFICE  
49-51 Elizabeth Street  
Launceston TAS 7250  
Phone (03) 6334 5548  
[infoLtn@jmg.net.au](mailto:infoLtn@jmg.net.au)



**Johnstone McGee & Gandy Pty Ltd**

ABN 76 473 834 852 ACN 009 547 139

**www.jmg.net.au**

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117 Harrington Street  
Hobart TAS 7000  
Phone (03) 6231 2555  
infohbt@jmg.net.au

LAUNCESTON OFFICE  
49-51 Elizabeth Street  
Launceston TAS 7250  
Phone (03) 6334 5548  
infoeln@jmg.net.au

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- Estimates have been prepared on the basis of information to hand at the time.
- Estimates are order of cost. They are not quoting, nor based on quotes and are not upper limit of cost.
- Estimates are not based on measured quantities or a defined scope of works.
- Unless stated otherwise estimates are exclusive of GST, engineering fees, market escalation, associated builder's works, builder's margins, design contingency, project contingency.
- As project scope becomes better defined it is strongly recommended that estimates are updated.

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## 1. Introduction

JMG Engineers and Planners have been engaged by SolutionsWon Group to prepare a Waste Management Plan for a mixed-use development at 175, 177 and 179 Campbell Street, Hobart.

The proposal involves the demolition of some existing buildings, changing the use of remaining existing buildings and new mix-use multiple dwelling development.

This report serves to provide details of waste management on site.

## 2. Site Location & Context



Figure 1. Location of Subject Site

The proposed development is located at 175, 177 and 179 Campbell Street, Hobart. The subject site is located just under 450m from north of the Hobart Central Business zone. The landowner is the Tasmanian Building Group Apprenticeship Scheme Ltd.

The proposed development will require works on multiple titles.

Existing buildings within 100m of the development site are generally single or double-storey displaying a mix of styles including:

- Commercial buildings adjoining the development site to the north-west and south-east, as well as on the southern side of Campbell Street; and
- Residential style buildings to the north-west of the development site and on the southern side of Campbell Street.



### 3. Proposed Use & Development

The proposed development is for:

- Demolition of the following:
  - the commercial building and concrete block office building to the rear at 175 Campbell Street;
  - the 'lean-to' additions, the timber shed and patio to the rear of the residential dwelling at 179 Campbell Street;
  - the existing front ramp and landscaping in the front of 177 and 179 Campbell Street;
- Adhesion of four lots to create a single development site area of 2420m<sup>2</sup>;
- Refurbishment of the existing residential dwellings at 177 and 179 Campbell Street;
- Development of a 6-storey mixed-use building with basement car parking below the natural ground level:
  - A basement level containing:
    - 35 car parking spaces;
  - Ground floor area centred around a pedestrian circulation spine (including a central courtyard) off which access is provided to:
    - 4 x commercial buildings, three of which front onto Campbell Street (two are existing heritage buildings);
    - 1 x amenity room;
    - 1 x two-bedroom apartment
    - 5 x two-storey townhouses;
    - 3 x one-bedroom apartments;
  - The Second floor contains:
    - 3 x one-bedroom apartments;
    - 5 x two-bedroom apartments;
  - The third floor contains:
    - 3 x two-bedroom apartments
    - 4 x three bedroom sky home apartments;
    - 4 x three bedroom apartments;
  - The fourth floor contains:
    - 3 x three bedroom apartments;
    - 1 x communal rooftop terrace
  - The fifth floor contains:
    - the second storey for sky home apartments and three-bedroom apartments.

The basement contains 35 car parking spaces with 22 storage areas and a 58m<sup>2</sup> waste room. The vehicle access will partially use the subject site at 175 Campbell Street and the right of way from 169-173 Campbell Street (Tasmanian Meat Wholesalers).

There are two commercial buildings, designated C01 and C02 on the Proposal Plans (drawing J20823-A-101), on the ground floor. An amenity room, a master switchboard room and fire three bathrooms (one for disability) are also provided with the development.

## 4. Waste Handling

There are two commercial buildings, designated C01 and C02 on the Proposal Plans (drawing J20823-A-101- Appendix A), on the ground floor. It assumes two of the commercial buildings to be a small supermarket and a hair salon.

The proposed development also involves 31 dwellings on site:

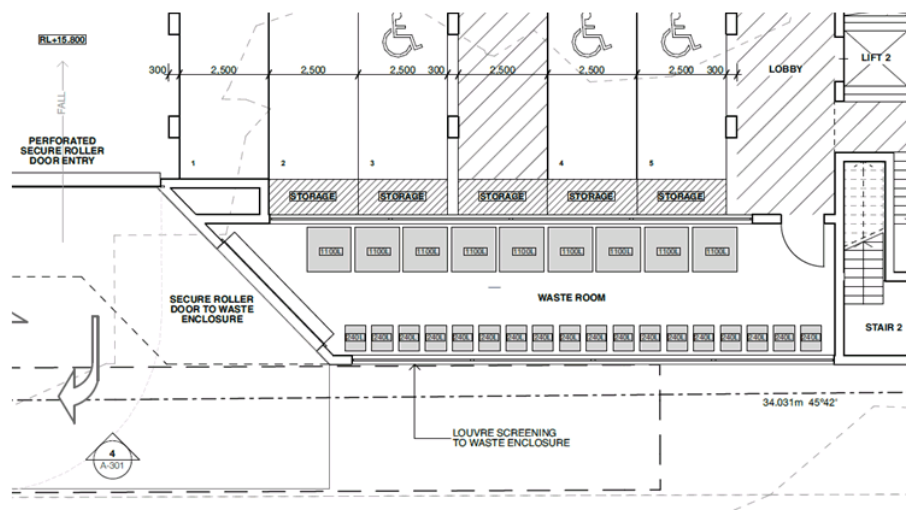
- 6 x one-bedroom apartments
- 9 x two-bedroom apartments
- 11 x three-bedroom apartments
- 5 x townhouses

The waste management services are to be provided by Hobart City Council and/or private contractors.

The basement contains 35 car parking spaces with 22 storage areas and a 58m<sup>2</sup> waste room (Figure 2). The waste room has a secured roller door for waste collection and another door connects the lobby. There are mainly four waste streams for the proposed development: general waste, recycle waste, garden organics waste and commercial waste.

The waste room comprises eighteen 240L general waste bins and nine 1100L recycle bins.

The waste bins associated with the residential and commercial Uses are held within the designated waste room and will be collected by the waste contractor each week on the designated waste collection day.







## 5. Waste Generation

Figure 3 demonstrates the approximate general volume of waste for each week.

Given the proposed and assumed Uses the total waste generation for the site produces approximately 9019L of general waste and 6242L of recycling waste.

The spare capacity will be allocated from the recycling bins to general waste bins and garden organic waste bins. As such, the proposed bins have sufficient capacity for the total waste volume of the proposed development.

Dwelling waste and recycling materials				
Number of individual dwellings?	5			
Number of 3 bedroom apartments	11			
Number of 2 bedroom apartments	9			
Number of 1 bedroom apartments	6			
<b>Weekly generation</b>				
 Organics 1155L	 Non-organics 2145L	=	 Garbage 3300L	 Recycling 3300L

Sustainability Victoria conducted the Victorian Statewide Garbage Bin Audit – Food Waste 2016, to analyse the number of items in a garbage bin, including food waste. The audit found that approximately 35% of the garbage bin is made up of food waste. Therefore, this has been factored into the above calculation rates.



Commercial food premises	
Type	Area in m2
Restaurants	0 m2
Supermarkets	68 m2
Convenience	0 m2
Cafe	111 m2
Takeaway	0 m2
Butcher	0 m2
Delicatessen	0 m2
Fish shop	0 m2
Greengrocer	0 m2
<b>Weekly generation</b>	
 Garbage 5473L	 Recycling 2696L

Figure 3. Waste and Recycle Waste Calculation of the Proposed Development, source from Sustainability Victoria (Victoria State Government).

## 6. Design Considerations

Ventilation will be provided in the waste room.

The private waste contractor is fully responsible for the hygiene of all bins to ensure a healthy and safe environment for occupants.

The specific number of each type of bin is to be discussed with the waste contractor. The volume of the waste generation for the proposed development is an assumption only as the use of the commercial buildings is to be confirmed post-construction.

The concept services plans show the dimensioned design of swept paths for waste trucks to circulate and manoeuvre between the waste room and entrance of the access. The proposed access complies with Section 4 under AS 2890.2-2002.

There is no impact on the road reserve as the waste contractor will avoid traffic peak times to collect waste.

The noise of the collection vehicles will be minimized to comply with provisions under AS2107 to make sure this activity does not adversely impact the amenity of the occupants of the proposed building and neighbouring land.

## 7. Conclusion & Recommendations

The proposed waste system is sufficient and suitable for the proposed development. However, the recommendations of this plan need to be confirmed with the waste contractor.



**Johnstone McGee & Gandy Pty Ltd**

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## Development and trees at / near 175 – 179 Campbell St, Hobart

### - Preliminary tree survey

Jerry Romanski

Arborist / Consultant  
*B.Sc (Hons),  
Ass. Dip. App. Sc.(Hort/Arb)*

29 Winston Avenue  
Seven Mile Beach TAS. 7170

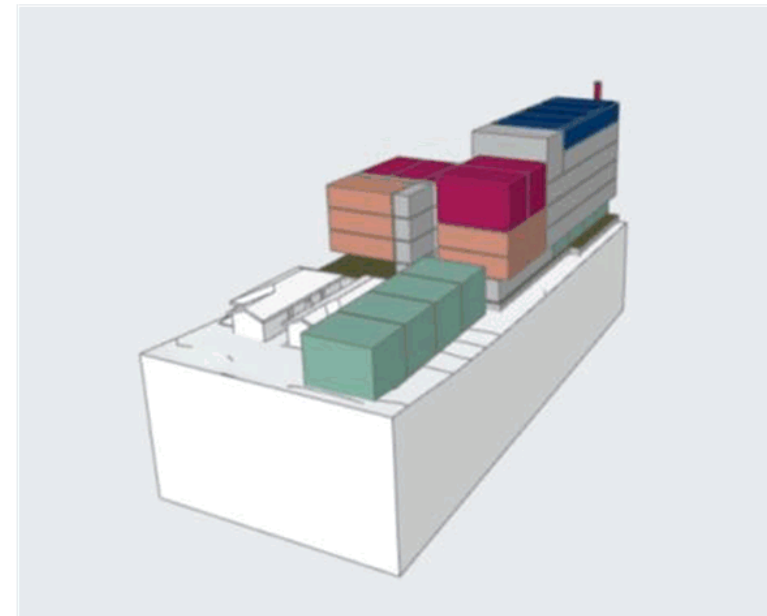
M: 0419 363 011  
jerry@treeinclined.com

23 March 2021

## 1. Terms of reference

- This preliminary survey was requested by Dean Coleman, managing Director of Solutionswon Group Pty Ltd.
- Solutionswon Group Pty Ltd proposes to redevelop 175 – 179 Campbell St as a multi-unit residential complex (Figure 1).
- The report provides an overview of the existing trees and significant shrubs at and near 175 -179 Campbell St, Hobart
  - The trees were inspected from the ground on 22/03/2021.

Figure 1. Extracted figure OPT03.2 from the Cumulus Studio 3D Massing Study for the project. The existing dwellings at 177 and 179 Campbell St are shown in white.





175 – 179 Campbell St trees | 2021

## 2. Tree survey data



Figure. 2 Aerial view of 175 – 179 Campbell St (ListMap), marked with approximate locations of the existing trees at and near these properties.



Table 1. Inspection data .

TREE	SPECIES	HGT	DAB	DBH	H/S	Comments	SRZ	TPZ
1	Populus nigra 'Italica'	22	0.83	0.83	G/G	In road reserve to north-east	3.1	10.0
2	Populus simonii	10	0.36	0.35	F/F	In road reserve to north-east. Shallow roots on bank to NE.	2.2	4.2
3	Populus alba 'Pyramidalis'	23	0.82	0.74	G/F	In road reserve to north-east. Minor leader resting/growing over fence. Shallow roots visible within car park.	3.0	8.9
4	Prunus sp.	7	0.25	0.18	G/G	In road reserve to north-east	1.8	2.2
5	Acer psedoplatanus	11	0.36	0.33	G/G	In road reserve to north-east	2.2	4.0
6	Fraxinus oxycarpa	9	0.67	0.63	F/F	In road reserve to north-east. Low branches extend over car park.	2.8	7.6
7	Eucalyptus nicholii	14	0.56	0.53	G/F	Historic scaffold branch tear out. Bark inclusions		
8	Populus alba 'Pyramidalis'	15	0.4	0.36	G/G			
9	Leptospermum petersonii	4	0.19	0.14	G/P	Poor tree form - crown biased heavily to south		
10	Acer psedoplatanus	8	0.24	0.19	G/G			
11	Populus alba 'Pyramidalis'	23	0.54	0.51	G/G	Shallow roots lifting bitumen car park surface. Many suckers nearby. Mature Callistemon sp. nearby		
12	Populus alba 'Pyramidalis'	24	0.75	0.6	G/G	Pyracantha sp shrub. nearby		
13	Cupressus sempervirens	8	0.23	0.21	G/G	Mature Callistemon sp. x2 nearby		
14	Pittosporum euginiodes 'Variegatum'	4				Multi-leader shrub		
15	Cupressus sempervirens	10	0.47	0.4	G/G	Multi-leader from ground level - broad crown.		
16	Cupressus sempervirens	8	0.55	0.4	G/F	Multi-leader from ground level - broad crown.		
17	Pittosporum tenuifolium	6	0.37	0.3	F/F	Multi-leader from ground level.		

Tree – tree number in Fig. 2  
 SPECIES - botanic name of tree.  
 HGT - approximate tree height (m)  
 DAB - trunk diameter above root flare  
 DBH. - DBH, at 1.4m  
 H/S - assessment of tree health / structure (G- good, F- fair, P- poor, D- dead)  
 Comments - key points affecting the tree's potential for maintenance within the scope of the proposed development  
 SRZ - structural root zone radius (m)\*  
 TPZ - standard tree protection zone radius (m)\*

- SRZ and TPZ dimensions were guided by AS 4970-2009, Protection of trees on development sites.

175 – 179 Campbell St trees | 2021

TREE	SPECIES	HGT	DAB	DBH	H/S	Comments	SRZ	TPZ
18	Alnus jorulensis	9	0.6	0.5	G/P	Tri-leader from ground, large scaffold has failed and is resting on shed roof. Branches sitting on shed roof.		
19	Laurus nobilis	9			G/P	Multi-leader from ground level with many more suckers nearby		
20	Sambucus nigra	4			F/F	Philadelphus microphyllus climbing over tree.		
21	Pyracantha coccinea	7	0.35	0.3	G/F	Overgrown with Jasminum polyanthum		
22	Fuchsia arborescens	3		0.12	F/G	Hydrangea shrubs on N and W boundaries, Yucca and succulents in front garden		
23	Camellia japonica	4		0.1	G/G			
24	Camellia japonica	3		0.9	F/G			
25	Prunus sp.	4		0.13	G/G	Young cherry tree		
26	Prunus sp.	4		0.14	G/G	Young cherry tree, multi-leader from ground, overgrown with rose.		

Tree – tree number in Fig. 2  
 SPECIES - botanic name of tree.  
 HGT - approximate tree height (m)  
 DAB - trunk diameter above root flare  
 DBH. - DBH, at 1.4m  
 H/S - assessment of tree health / structure (G- good, F- fair, P- poor, D- dead)  
 Comments - key points affecting the tree's potential for maintenance within the scope of the proposed development  
 SRZ - structural root zone radius (m)\*  
 TPZ - standard tree protection zone radius (m)\*

- SRZ and TPZ dimensions were guided by AS 4970-2009, Protection of trees on development sites.

### 3. Tree management considerations

- The deciduous trees growing within the Brooker Highway road reserve to the north-east of the site provide valuable screen from this busy thoroughfare.
  - The TPZ radii indicated in Table 1 suggest that development at 175 – 179 Campbell St could impact on the roots of these trees. Accurate location of the trees in relation to the proposed works and greater construction detail for the proposed development are needed for a more accurate assessment of the potential impact on these trees (Figure 3).
- The remaining trees and shrubs are not rare or especially old (Figure 4). Many, in fact are relatively recent plantings or trees that have established as suckers from nearby mature trees. Specimens like Sambucus and Pyrocantha growing at the rear of the houses at 177 and 179 Campbell St, as well as Camellia, Fuchsia and Hydrangea growing in the front were common residential plantings with the former group often spread to nearby properties by birds.
- The large Poplars 11 and 12 are mature trees that originated as suckers of the specimen growing within the Brooker Hwy reserve. The trees' roots are shallow and are damaging the existing car park surface (Figure 5).



Figure 3. Left - minor leader of Poplar 3 is growing over the boundary fence and may need to be removed; Above – low branches of Ash 6 encroach over the site – removal or reduction of the low branches may be necessary to provide clearance.



175 – 179 Campbell St trees | 2021



Figure 4. Common urban plantings: Left – Italian cypress and *Pittosporum* sp.; Centre – *Fuchsia*; Right – clipped *Camellia japonica*.



Figure 5. Large poplars 11 and 12 (far left) are damaging the car park surface – shallow roots of these trees are likely to impact / limit nearby structures.

**RESULT OF SEARCH**

RECORDER OF TITLES

*Issued Pursuant to the Land Titles Act 1980*

## SEARCH OF TORRENS TITLE

VOLUME 23364	FOLIO 1
EDITION 2	DATE OF ISSUE 27-Jul-1994

SEARCH DATE : 17-May-2021

SEARCH TIME : 11.29 AM

DESCRIPTION OF LAND

City of HOBART

Lot 1 on Diagram 23364

Derivation : Part of 4 Acres (Section B.2.) Gtd. to J. Bisdee.

Prior CT 4129/69

SCHEDULE 1

B785251 TRANSFER to BUILDING GROUP APPRENTICESHIP SCHEME LTD  
Registered 27-Jul-1994 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

BENEFITING EASEMENT: Right of Carriageway over the Right of  
Way 2.59 wide marked E.G.H.C. on Diagram No. 23364

BURDENING EASEMENT: Right of Carriageway [appurtenant to Lots  
1 and 2 on Sealed Plan No. 22529 and the land in  
Conveyance No. 44/8439) over the Right of Way 0.91  
wide marked D.C.E.F. on Diagram No. 23364

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



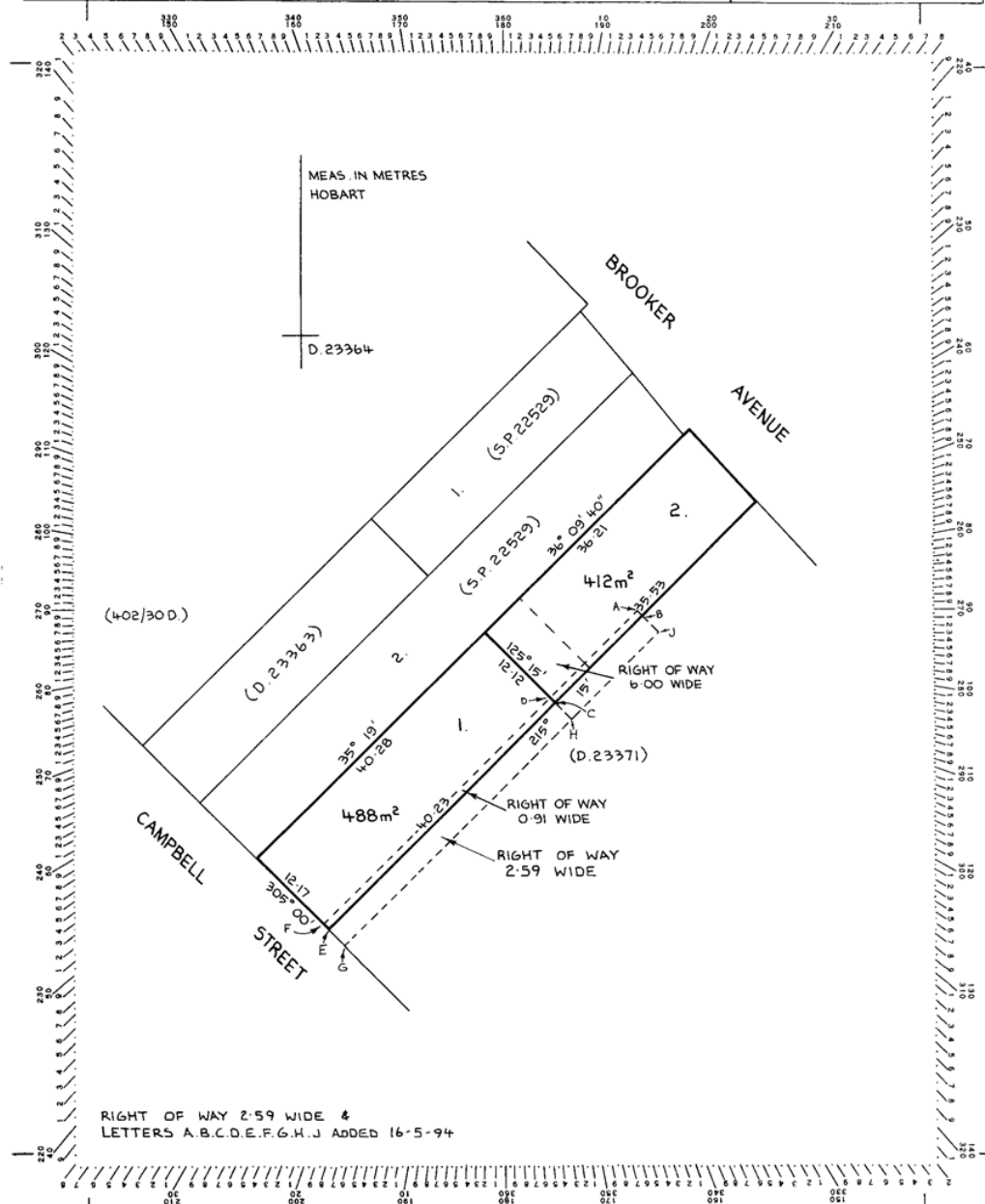
## FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



Owner: X. 4079	<b>PLAN OF SURVEY</b> by Surveyor..... of land situated in the  <b>CITY OF HOBART</b>  SCALE 1:500      MEASUREMENTS IN METRES	Registered Number: <b>D.23364</b>
Title Reference: CONV. 58-2120		Approved Effective from: 16 NOV 1994
Grantee: PART OF (4000) JOHN BISDEE.		ACTING DEPUTY Recorder of Titles



**RESULT OF SEARCH**

RECORDER OF TITLES

*Issued Pursuant to the Land Titles Act 1980*

## SEARCH OF TORRENS TITLE

VOLUME 23364	FOLIO 2
EDITION 2	DATE OF ISSUE 27-Jul-1994

SEARCH DATE : 17-May-2021

SEARCH TIME : 11.30 AM

DESCRIPTION OF LAND

City of HOBART

Lot 2 on Diagram 23364

Derivation : Part of 4 Acres (Section B.2.) Gtd. to J. Bisdsee.

Prior CT 4129/70

SCHEDULE 1

B785251 TRANSFER to BUILDING GROUP APPRENTICESHIP SCHEME LTD  
Registered 27-Jul-1994 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

BENEFITING EASEMENT: Right of Carriageway over the Right of  
Way 2.59 wide marked B.J.H.G.E.C.B. on Diagram No.  
23364

BURDENING EASEMENT: Right of Carriageway [appurtenant to the  
land comprised in Conveyance No. 44/8439) over the  
Right of Way 0.91 wide marked A.B.C.D. on Diagram No.  
23364

BURDENING EASEMENT: Right of Carriageway [appurtenant to Lots  
1 and 2 on Sealed Plan No. 22529) over the Right of  
Way 0.91 wide marked A.B.C.D. on Diagram No. 23364  
and the Right of way 6.00 wide shown on Diagram No.  
23364

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations





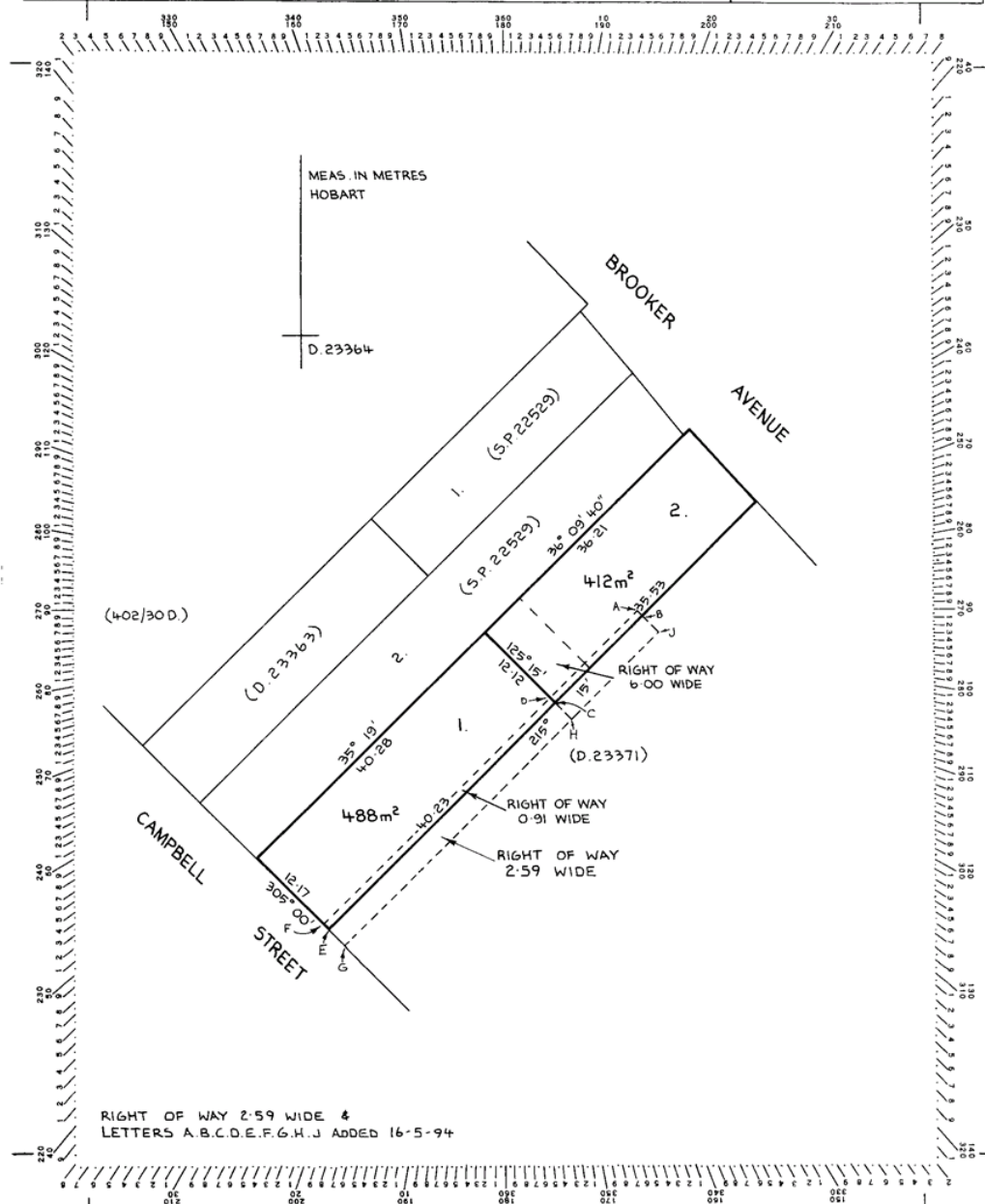
## FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



Owner: X. 4079	<b>PLAN OF SURVEY</b> by Surveyor..... of land situated in the  <b>CITY OF HOBART</b>  SCALE 1:500      MEASUREMENTS IN METRES	Registered Number: <b>D.23364</b>
Title Reference: CONV. 58-2120		Approved Effective from: 16 NOV 1994
Grantee: PART OF (4000) JOHN BISDEE.		ACTING DEPUTY Recorder of Titles





**RESULT OF SEARCH**

RECORDER OF TITLES

*Issued Pursuant to the Land Titles Act 1980*

## SEARCH OF TORRENS TITLE

VOLUME 22529	FOLIO 3
EDITION 1	DATE OF ISSUE 26-Apr-1995

SEARCH DATE : 17-May-2021

SEARCH TIME : 11.32 AM

DESCRIPTION OF LAND

City of HOBART

Lot 3 on Sealed Plan 22529

(Formerly Lots 1 &amp; 2 on Sealed Plan 22529)

Derivation : Part of 4 Acres (Section B.2.) Gtd. to J Bisdee

Prior CT 4129/67

SCHEDULE 1

B785252 TRANSFER to BUILDING GROUP APPRENTICESHIP SCHEME LTD

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP 22529 EASEMENTS in Schedule of Easements

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



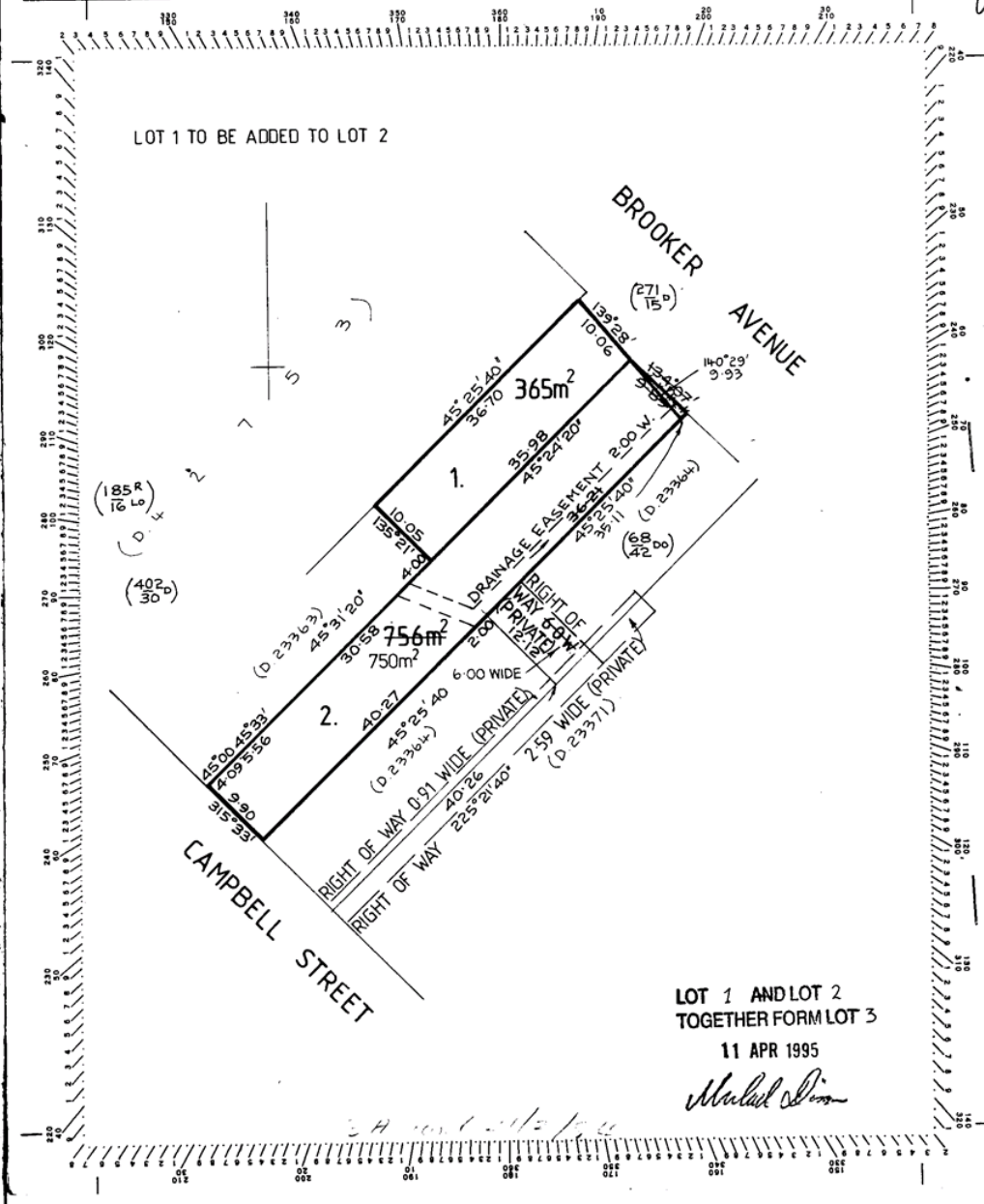
## FOLIO PLAN

RECORDED OF TITLES

*Issued Pursuant to the Land Titles Act 1980*



<p>Owner: T.G. &amp; M. Mahoney &amp; L.B.A. Investments Pty. Ltd. B.R.S.H. Investments Pty. Ltd.</p>	<p>PLAN OF SURVEY by Surveyor <u>N.D. Leary</u> of land situated in the</p>	<p>Registered Number: <b>S. P22529</b></p>
<p>Title Reference: Convs 44-4984 &amp; 58-2120 &amp; 44-8439.</p>	<p>CITY OF HOBART</p>	<p>Effective from: 16 NOV 1984</p>
<p>Grantee: Portion Of 4acres Gtd to John Bisdee</p>	<p>SECTION B2</p>	<p><i>J. Brown</i> ACTING DEPUTY Recorder of titles</p>
<p>SCALE 1: 1'500 MEASUREMENTS IN METRES</p>		



**RESULT OF SEARCH**

RECORDER OF TITLES

*Issued Pursuant to the Land Titles Act 1980*

## SEARCH OF TORRENS TITLE

VOLUME 23363	FOLIO 1
EDITION 3	DATE OF ISSUE 14-Sep-2010

SEARCH DATE : 17-May-2021

SEARCH TIME : 11.35 AM

DESCRIPTION OF LAND

City of HOBART  
Lot 1 on Diagram 23363  
Being the land described in Conveyance No. 44/4984  
Excepting thereout Lot 1 on Sealed Plan No. 22529  
Derivation : Part of 4 Acres (Sec. B.2.) Gtd. to J. Bisdee  
Prior CT 4129/68

SCHEDULE 1

C948373 TRANSFER to BUILDING GROUP APPRENTICESHIP SCHEME LTD  
Registered 14-Sep-2010 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
BENEFITING EASEMENT: Right of Drainage over the drainage  
easement shown on Sealed Plan No. 22529

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



## FOLIO PLAN

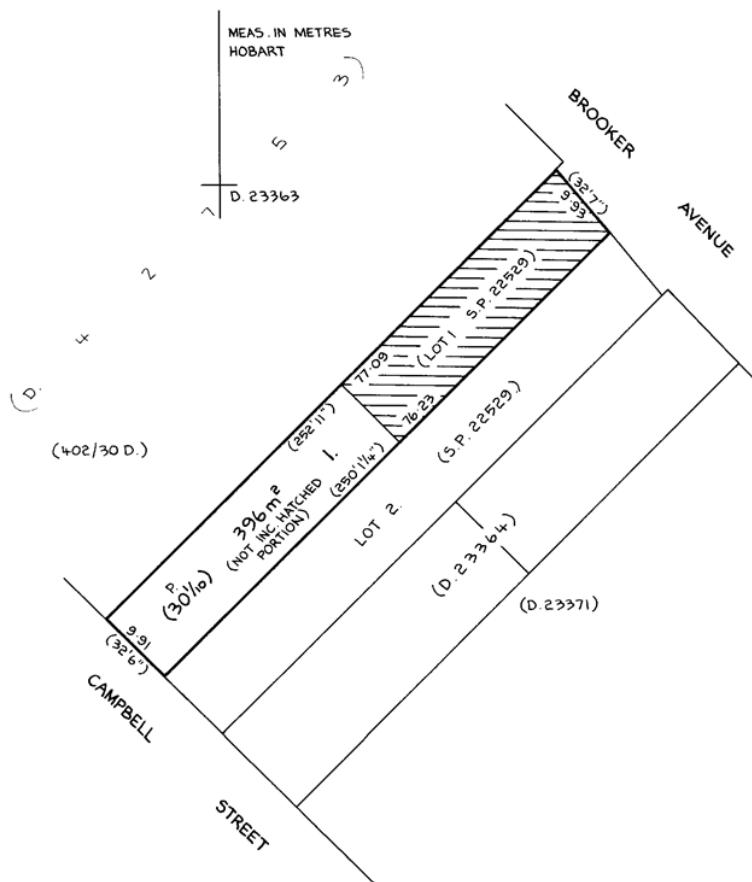
RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



APPROVED FROM... 16 NOV 1984 <i>J. Brown</i> ACTING DEPUTY RECORDER OF TITLES	CONVERSION PLAN	REGISTERED NUMBER <b>D.23363</b>
FILE NUMBER X 4079	GRANTEE: PART OF (4.0.0) JOHN BISDEE.	M. YOUNG 22.6.84

SKETCH BY WAY OF ILLUSTRATION ONLY

CITY/TOWN OF HOBART  
LAND DISTRICT OF  
PARISH OFLENGTHS ARE IN METRES. NOT TO SCALE.  
LENGTHS IN BRACKETS IN LINKS/FEET & INCHES.'EXCEPTED LAND'  
LOT 1 (S.P. 22529) 365m<sup>2</sup>

**RESULT OF SEARCH**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



## SEARCH OF TORRENS TITLE

VOLUME 140732	FOLIO 1
EDITION 3	DATE OF ISSUE 28-Jan-2011

SEARCH DATE : 03-Jul-2020

SEARCH TIME : 09.53 AM

DESCRIPTION OF LAND

City of HOBART  
 Lot 1 on Plan 140732  
 Being the land described in Conveyance 62/3280, Being the land described in Conveyance No. 44/8439  
 Derivation : Part of 4 Acres (Section B.2.) Gtd. to J. Bisdee.  
 Derived from A16172  
 Prior CTs 123139/1 and 23371/1

SCHEDULE 1

B577065, B810602 & C437756 TRANSFER to TASMANIAN MEAT  
 WHOLESALERS PTY LTD

SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
 BENEFITING EASEMENT: (appurtenant to the land marked HKLM on P. 140732) a Right of Carriageway over the Right of Way 0.91 wide shown on P.140732  
 BURDENING EASEMENT: Right of Carriageway [appurtenant to the land in Conveyance No. 44/5050 and Lots 1 and 2 on Sealed Plan No. 22529) over the Right of Way 2.59 Wide marked EFGH on P.140732  
 BURDENING EASEMENT: a right of carriage way for the owner or owners for the time being of the land described in Indenture of Conveyance 33/2120 over the Right of Way 2.59 Wide marked IJGH on P.140732  
 67/7169 Benefiting Easement (appurtenant to the land marked LQPONM on P.140732) Party Wall Easement over the wall marked "A" "B" "C" "D" on Plan 140732  
 67/7036 BURDENING EASEMENT: Right for Eaves and Spouting overhang (appurtenant to Lot 1 on Plan No.51812) over the land marked Easement 0.50 Wide shown on Plan No. 140732  
 C509575 ADHESION ORDER under Section 110 of the Local Government (Building and Miscellaneous Provisions) Act 1993 Registered 28-Apr-2004 at noon  
 C995946 MORTGAGE to Douglas Wayne Woulleman King and Susan



## RESULT OF SEARCH

RECORDER OF TITLES

*Issued Pursuant to the Land Titles Act 1980*



---

Woulleman King      Registered 28-Jan-2011 at 12.01 PM

### UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



## FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



OWNER 123139-1 CT. FOLIO REFERENCE 23371-1 CT. GRANTEE		PLAN OF TITLE LOCATION CITY OF HOBART SEC.B2 FIRST SURVEY PLAN No. COMPILED BY LDRB SCALE 1: 1500      LENGTHS IN METRES		Registered Number <b>P.140732</b> APPROVED 5 MAR 2004 <i>Alice Kawa</i> Recorder of Titles
MAPSHEET MUNICIPAL CODE No. 5225-42 (III4)	LAST UPJ No 2100524	LAST PLAN No. P.123139,D.23371	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	

(P.22529)  
 (D.23364)  
 0.91  
 74.32  
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 67.76 IN 3 BGS.  
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 DEED OF GRANT 67/7169  
 WALL  
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 (P.51812)  
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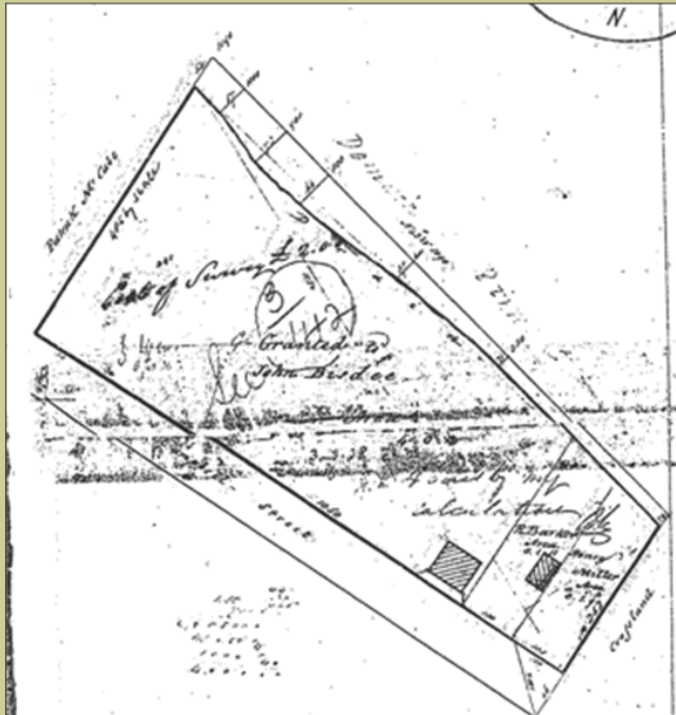
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## 175-179 CAMPBELL STREET

### STATEMENT OF HISTORICAL ARCHAEOLOGICAL POTENTIAL



A report to Preston Lane Architects  
Parry Kostoglou  
TASARC  
January 2013



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## EXECUTIVE SUMMARY

This desktop investigation has found no evidence of any historic structures pre dating the early 20<sup>th</sup> century. Therefore there are no foreseeable archaeological constraints to the proposed development and no additional archaeological works are recommended.

However if development related excavation work exposes substantive physical building fabric not apparently related to the 20<sup>th</sup> century federation structures, an archaeologist should be consulted immediately.

## 1.0 INTRODUCTION

### 1.1 Background

A mixed use development has recently been lodged with the Hobart City Council (HCC) for three allotments on Campbell Street in the Hobart CBD. These consecutive allotments (175, 177 and 179 respectively) currently contain a mixture of early 20<sup>th</sup> century housing and mid to late 20<sup>th</sup> century commercial structures. In its response to the relevant building permit application the Hobart City Council has requested information relating to these properties archaeological potential:

*11. As required under Schedule F, Clause F.5.1 of the Hobart Planning Scheme 1982, please provide a Statement of Historical Archaeological Potential or a Statement by a qualified archaeologist that either the site has been surveyed previously and not to be of historical archaeological significance or that the nature of the development will not result in the destruction of any aspects of items of historical archaeological significance.*

This report seeks to satisfy this requirement based on the properties past usage, occupancy and structural development.

### 1.2 Location and extent of subject allotment

The location of the subject allotments within the context of the Hobart CBD is indicated in the plan below.



Plan showing location of re-development area (solid blue)



Current view of three properties showing adjacent federation style housing and late 20<sup>th</sup> century street side extension.

### 1.3 Objectives

For the purposes of lodging the relevant development application the consultant was requested to prepare a statement of Archaeological Potential in accordance with HCC regulations and the Tasmanian Heritage Council's Practice Note Number 2. This document is expected to contain:

- An investigation of the documentary evidence relating to the site's history and physical development over time to the present day.
- A best fit location based interpretation of the location of all known structures and related features.
- A ranked sensitivity assessment of the contents of the property
- Recommendations regarding their future archaeological assessment and mitigation.

### 1.4 Methodology

This investigation essentially consisted of the following activities:

- A preliminary site inspection of the property
- Collation of historic plans and surveys from the Tasmanian Lands Department
- Authorship of this report.

## 2.0 PREVIOUS INVESTIGATIONS

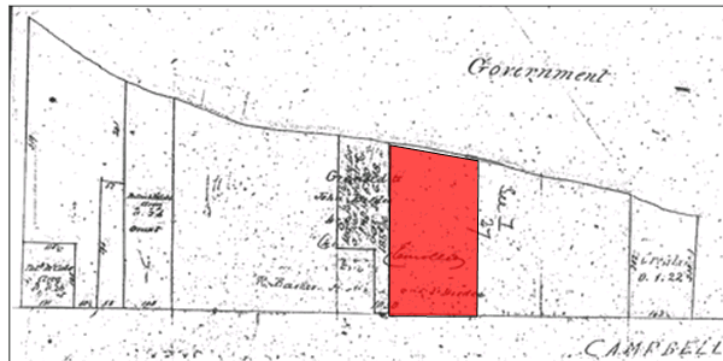
No previous historical or archaeological assessments of the subject properties are known to have been undertaken.

### 3.0 DOCUMENTARY ANALYSIS

This section summarises the known structural content of the allotment over time using various historic plans and surveys. The area containing the subject allotments on each survey is marked in solid red.

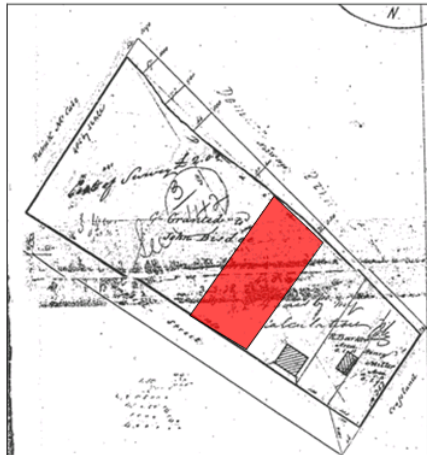
#### 3.1 Undated Crown survey (1830's?)

This Crown survey (Folio 3 page 142) shows some of the recently surveyed in allotments on the relevant Campbell Street frontage but does not indicate the presence of any buildings there.



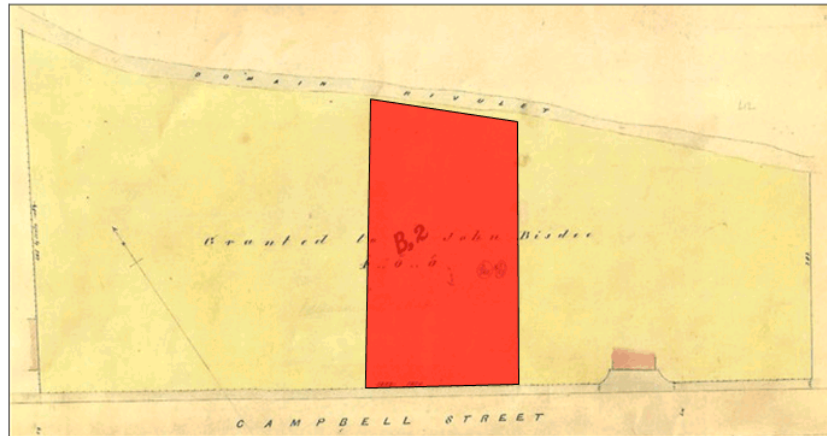
#### 3.2 Crown survey of 1839

This survey (Folio 7 Page 27) shows the presence of two structures at the intersection of Campbell Street and Patrick Street which is slightly east of the subject allotments. However the allotments themselves remain un-developed.



**3.3 Sprent's survey (1840's)**

Crown Surveyor Sprent's notable city survey undertaken during the 1840's shows one of these buildings at the Campbell/Patrick Street intersection but still no developments on the subject allotments.

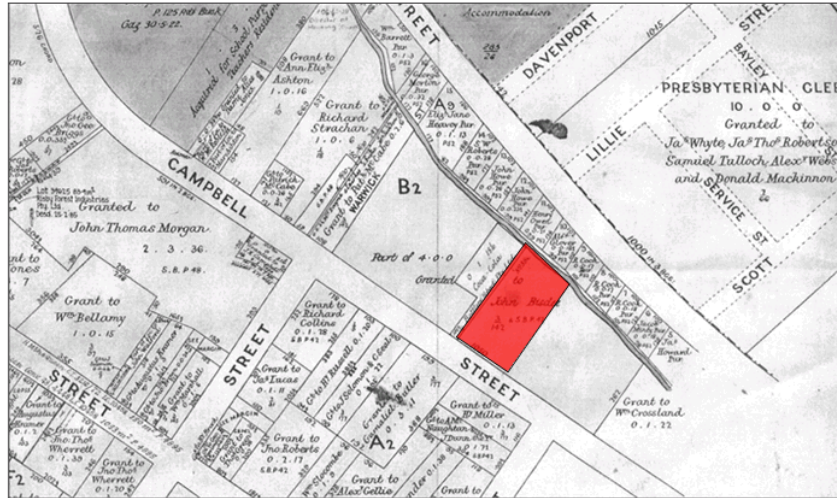
**3.4 Metropolitan Drainage Board Plan of c1903**

This section of a city wide drainage survey (AOT ref. HOBART No. 4) undertaken at the turn of the last century still fails to show any structural developments within the three subject allotments.

**3.5 County chart (c1910)**

This section of the county chart shows some additional sub division adjacent to the subject area but still no building development.





#### 4.0 ANALYSIS OF ARCHAEOLOGICAL POTENTIAL

This section summarises the probability of finding archaeological remains within the sub surface of the subject allotment.

##### 4.1 Documentary sources

There is no documentary evidence of any occupancy or structural development within the subject allotments prior to the 20<sup>th</sup> century.

##### 4.2 On site inspection

The presence of two Federation style houses indicates that the earliest buildings on the subject allotments date from the early 20<sup>th</sup> century (c1910-1918).

#### 5.0 STATEMENT OF ARCHAEOLOGICAL POTENTIAL

The complete absence of any apparent development on the subject allotments certainly minimises the possibility that they contain any substantive or significant historical archaeological vestiges related to buildings.

The undeveloped nature of the allotments until the 20<sup>th</sup> century possibly suggests that although subject to ownership they were used for agricultural or pastoral purposes. These activities would have left few physical remnants apart from fence lines or low stone walls.

**In summary it is therefore stated that the subject allotments have minimal historical archaeological potential.**

## 6.0 RECOMMENDATIONS

- Due to the minimal archaeological potential assigned to all three allotments no additional archaeological works or constraints are recommended.
- However if development related excavation work exposes substantive physical building fabric not apparently related to the 20<sup>th</sup> century federation structures, an archaeologist should be consulted immediately.



## **7.0 REFERENCES**

Assorted Crown Surveys from the Lands Titles Department

praxisenvironment

heritage

planning

archaeology

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## Historic Heritage Assessment

177-179 Campbell Street, Hobart

Brad Williams  
Heritage Consultant

For Johnstone. McGee and Gandy Pty. Ltd.

January 2018

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This document was written by Brad Williams (BA.Hons Archaeology, G.Dip Maritime Archaeology, MA Cultural Heritage Management)  
Historical Archaeologist, Heritage Consultant of Praxis Environment – a division of Praxis Synergy Pty. Ltd.

Unless otherwise stated, all photographs were taken by Brad Williams, January 2018.

Unless otherwise stated, the north point (or approximate) of maps and plans is to the top of the page – project north is designated as the rear of the buildings.

Cadastral information depicted in this document must not be relied upon without verification by a Surveyor. Rectified aerial imagery has not been used; therefore the actual location as depicted in aerial images may differ to that of actual survey.

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## 1. Introduction, rationale and brief

This report has been commissioned by Johnstone, McGee and Gandy Engineers and Planners Pty. Ltd. (Hobart) on behalf Solutionswon Pty. Ltd. to assess the possible historic heritage significance of the place known as 177-179 Campbell Street, Hobart.

The site is part of a larger site owned by the Building Group Apprenticeship Scheme Ltd. and options for possible site redevelopments are being explored. Accordingly, an independent assessment of the heritage values of this part of the site is desired to guide the future planning process.

Figures 1.1-1.3 depict the place as considered in the current project:



Figure 1.1 – The subject site (i.e. the *place* - shaded red) and cadastral parcels in the locality of the place. Adapted from [www.thelist.tas.gov.au](http://www.thelist.tas.gov.au).

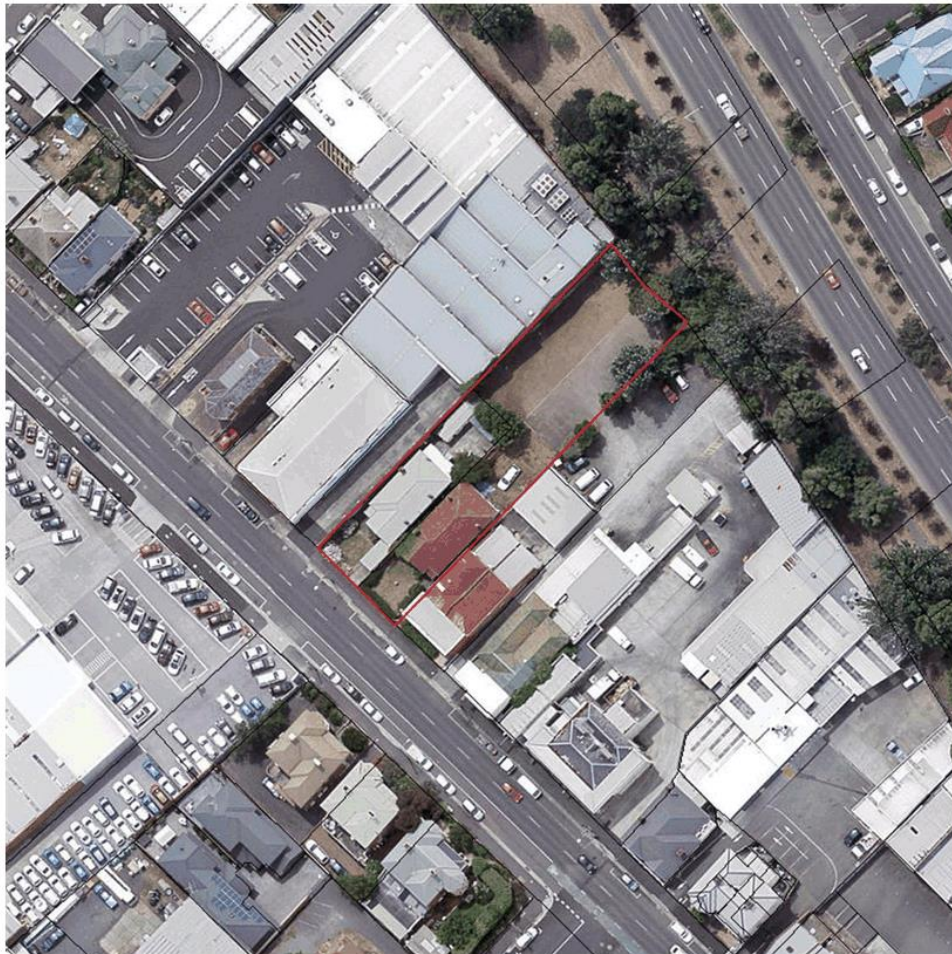


Figure 1.2 – Aerial photograph of the place (outlined in red) and wider locality. Adapted from [www.thelist.tas.gov.au](http://www.thelist.tas.gov.au)





Figure 1.3 – 177 Campbell Street front elevation.



Figure 1.4 – 179 Campbell Street front elevation.

## 2. Statutory heritage requirements

177-179 Campbell Street are listed as *Heritage Places* on Table E13 of the *Hobart Interim Planning Scheme 2015* (the *Scheme*). They were not listed on the previous City of Hobart Planning Scheme 1983.

The listing of the places derive from the City Fringe Heritage Survey, undertaken in 2010 – the datasheets as the basis for this listing are attached here.

Further to Clause E13.5.1 of the Scheme, the Planning Authority may require the following to accompany any application for use or development of a Heritage Place:

- (a) *a conservation plan;*
- (b) *photographs, drawings or photomontages necessary to demonstrate the impact of the proposed development on the heritage values of the place;*
- (c) *a statement of significance;*
- (d) *a heritage impact statement;*
- (e) *a statement of compliance;*
- (f) *a statement of archaeological potential;*
- (g) *an archaeological impact assessment;*
- (h) *an archaeological method statement;*

Any demolition, development or subdivision of the place must be in accordance with the provisions of Part E13.7 of the Scheme (Development Standards for Heritage Places):



	Acceptable Solution	Performance Criteria
<b>E.13.7.1 - Demolition</b>	A1. No Acceptable Solution.	Demolition must not result in the loss of significant fabric, form, items, outbuildings or landscape elements that contribute to the historic cultural heritage significance of the place unless all of the following are satisfied; <ul style="list-style-type: none"> <li>(a) there are, environmental, social, economic or safety reasons of greater value to the community than the historic cultural heritage values of the place;</li> <li>(b) there are no prudent and feasible alternatives;</li> <li>(c) important structural or façade elements that can feasibly be retained and reused in a new structure, are to be retained;</li> <li>(d) significant fabric is documented before demolition</li> </ul>
<b>E.13.7.2 – Building and Works other than Demolition</b>	A1. No Acceptable Solution.	P1. Development must not result in any of the following: <ul style="list-style-type: none"> <li>(a) loss of historic cultural heritage significance to the place through incompatible design, including in height, scale, bulk, form, fenestration, siting, materials, colours and finishes;</li> <li>(b) substantial diminution of the historic cultural heritage significance of the place through loss of significant streetscape elements including plants, trees, fences, walls, paths, outbuildings and other items that contribute to the significance of the place.</li> </ul>
	A2. No Acceptable Solution.	P2. Development must be designed to be subservient and complementary to the place through characteristics including: <ul style="list-style-type: none"> <li>(a) scale and bulk, materials, built form and fenestration;</li> <li>(b) setback from frontage;</li> <li>(c) siting with respect to buildings, structures and listed elements;</li> <li>(d) using less dominant materials and colours.</li> </ul>
	A3. No Acceptable Solution.	P3. Materials, built form and fenestration must respond to the dominant heritage characteristics of the place, but any new fabric should be readily identifiable as such.
	A4. No Acceptable Solution.	P4. Extensions to existing buildings must not detract from the historic cultural heritage significance of the place.
	A5. New front fences and gates must accord with original design, based on photographic, archaeological or other historical evidence.	P5. New front fences and gates must be sympathetic in design, (including height, form, scale and materials), to the style, period and characteristics of the building to which they belong.
	A6. Areas of landscaping between a dwelling and the street must be retained.	P6. The removal of areas of landscaping between a dwelling and the street must not result in the loss of elements of landscaping that contribute to the historic cultural significance of the place.

<b>E.13.7.3 - Subdivision</b>	A3. No Acceptable Solution.	<p>P1. A proposed plan of subdivision must show that historic cultural heritage significance is adequately protected by complying with all of the following:</p> <ul style="list-style-type: none"> <li>(a) ensuring that sufficient curtilage and contributory heritage items (such as outbuildings or significant plantings) are retained as part of any title containing heritage values;</li> <li>(b) ensuring a sympathetic pattern of subdivision;</li> <li>(c) providing a lot size, pattern and configuration with building areas or other development controls that will prevent unsympathetic development on lots adjoining any titles containing heritage values, if required.</li> </ul>
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The place is not within any heritage precinct under the scheme, or on any other statutory heritage register (e.g. the Tasmanian Heritage Register, National Heritage List, Register of the National Estate etc.).

### 3. Previous heritage studies

In 2013, a development proposal was submitted for the place (and subsequently conditionally approved) which included the following heritage input:

*175-179 Campbell Street Statement of Historical Archaeological Potential, A Report to Preston Lane Architects, Parry Kostoglou, TASARC, January 2013.*

*Heritage Assessment, 175-179 Campbell Street, Hobart. Graeme Corney, 31 January 2013.*

The statement of archaeological potential only looked at the pre-1910 history of the site from an archaeological perspective – i.e. it gave no consideration to the current buildings on the site, therefore is of little use to the current assessment beyond supporting the position that the site has no archaeological research potential.

The heritage assessment considered the history of the site post the 1914 construction of 177-179 Campbell Street. That assessment was done in response to the requirements of the City of Hobart Planning Scheme 1983 (i.e. the now superseded scheme) under which none of the places were directly subject to the historic heritage provisions of that scheme, however impact upon *adjacent* heritage places was a consideration of any development of the subject site under that scheme, therefore that document was commissioned to consider possible impact upon adjacent places and did not directly consider the possible historic heritage values of the place itself. Nonetheless, that document provides a useful assessment of the wider setting and streetscape context of the place (particularly in reference to heritage places and the general building forms, masses, materiality, setbacks etc.) which has been utilised here in considering the possibility of wider heritage values of the place, contributory/streetscape values etc.

#### 4. Background historical overview of the place

A brief history of the subject site was included in the statement of historical archaeological potential by Parry Kostoglou (Tasarc) in 2013,<sup>1</sup> which detailed the early history of the site (i.e. pre-1910) and concluded that the current buildings are the first development on that site (giving them a date of c1910-1918).

A brief post-1910 history was provided in the heritage assessment of 175-179 Campbell Street by Graeme Corney also in 2013,<sup>2</sup> which stated:

*3.1 Historic overview (information provided by historian Dr David Young). The land that is now 175-179 Campbell Street was part of Amalfi which still stands at 169. Following the death of Amalfi's owner John Golby Parker in 1911 his executors sold the land (now 175-179) to speculator Gilbert Macpherson who probably subdivided and on-sold 175 and 177 to Benjamin Gooding in 1912. A dramatic increase in value of the properties suggests that Gooding built the two cottages in c.1914 before on-selling one to Mabel Helen Darvell that year. Gooding lived in the other.*

Please note that at the time of preparation of this report, Land Tasmania, custodian of the principle records used to research land tenure, are in the process of digitising these records, rendering this resource unavailable until June 2018<sup>3</sup>. For that reason, it is not possible at this time to give a comprehensive historical overview of the place.

Given the lack of access to the records referred to above, the only way to trace ownership over the next few decades is through contemporary Valuation Rolls, which provide owner, occupier and assessed annual value (AAV). The data available from these rolls is as follows:

Year	House #	Owner	Occupier	AAV
1924 <sup>4</sup>	177	Mrs E.G.Hogan	Mrs E.G.Hogan	£50
	179	Benj Gooding	Benj Gooding	£50
1931 <sup>5</sup>	177	Mrs E.G.Hogan, Warwick St	M.M.Conway	£56
	179	Benj Gooding	Benj Gooding	£55
1941 <sup>6</sup>	177	Mrs E.G.Hogan, Warwick St	Helen Thomas	£62

<sup>1</sup> 175-179 Campbell Street Statement of Historical Archaeological Potential, A Report to Preston Lane Architects, Parry Kostoglou, TASARC, January 2013.

<sup>2</sup> Heritage Assessment, 175-179 Campbell Street, Hobart. Graeme Corney, 31 January 2013.

<sup>3</sup> See Land Tasmania Office Circular 6/2017- Digitisation of Records

<sup>4</sup> *Tasmanian Government Gazette*, 19 May 1924, p.1026

<sup>5</sup> *Tasmanian Government Gazette*, 18 May 1931, p.698

<sup>6</sup> *Tasmanian Government Gazette*, 9 June 1941, p.1381

	179	Mrs Mabel Darvell, 1 Bishop St	C.P.Felmingham	£57
1945 <sup>7</sup>	177	Mrs E.G.Hogan, Warwick St	Helen Thomas	£62
	179	Mrs Mabel Darvell, 7 Ratho St	D.J. White	£62



Figure 4.1 – Excerpt from a 1946 aerial photograph of Hobart. Note the pre-Brooker Highway configuration of (then) Park Street and the previous configuration of the 'pre-commercial' environs of the area. Hobart Run 1946, Run 1-10894.

<sup>7</sup> *Tasmanian Government Gazette* 14 August 1945, p.1606

## 5. Description of the current form of the place

The site known as 177-179 Campbell Street is part of the wider site of 175-179 Campbell Street and the buildings assessed here, whilst on their own titles, are somewhat ancillary to the main use of the wider site as the headquarters of a professional organisation. 179 has had its original title reduced to little more than the house itself, an outbuilding at rear (possibly contemporary with the house) and a carport and small garden at the front. The titles of 177 has subsumed the former rear portion of 179 and is part of a carpark which extends over 175 and is a large tract of land between the rear of the buildings at the Brooker Highway, which has dissected part of the rear portion of both original allotments. Figure 4.1 depicts the main site features as referred to in the current document:

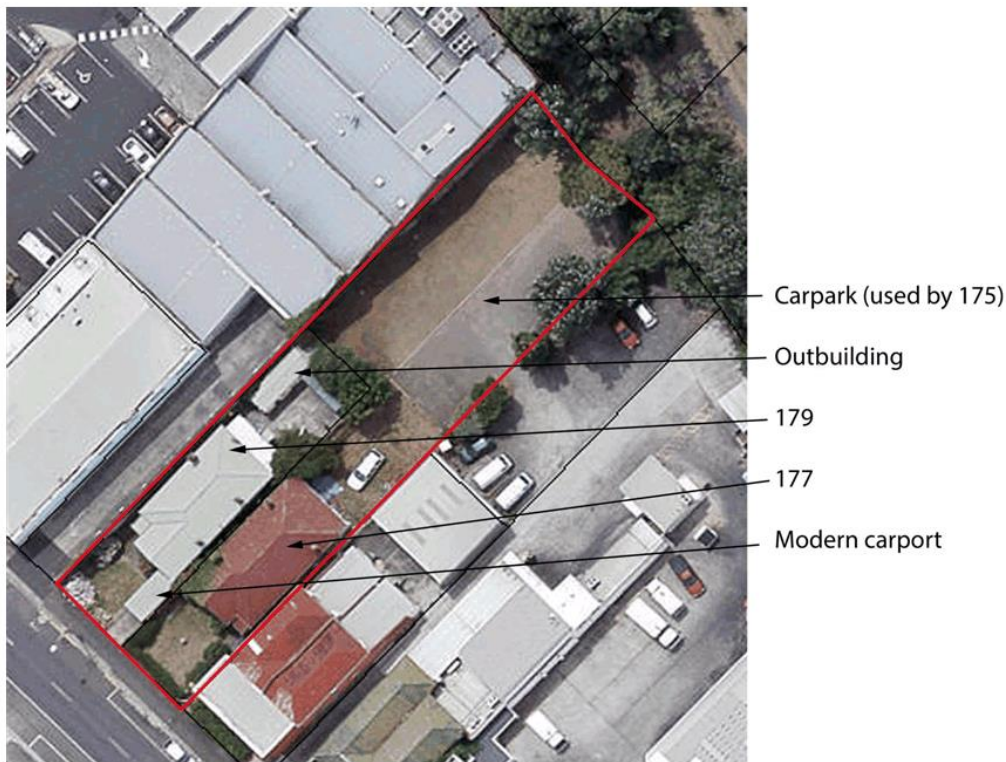


Figure 5.1 – Main site features, 177-179 Campbell Street, Hobart. Adapted from [www.thelist.tas.gov.au](http://www.thelist.tas.gov.au)



The streetscape and wider attributes of the place have been described and assessed in detail by Graeme Corney (as cited above) and the current document is to be read in conjunction with that document.

The two 'almost-paired' residences are contemporary with each other and appear to have been 'speculative houses' built c1914 by a Benjamin Gooding. It is likely that they were built by the same builder and by the same architect/designer although no names have been found to which they can be attributed.



Figure 5.2 – The Campbell Street frontage of the subject site (GoogleEarth).



Figure 5.3 – The rear elevations of the buildings, showing enclosed and modified rear verandas.



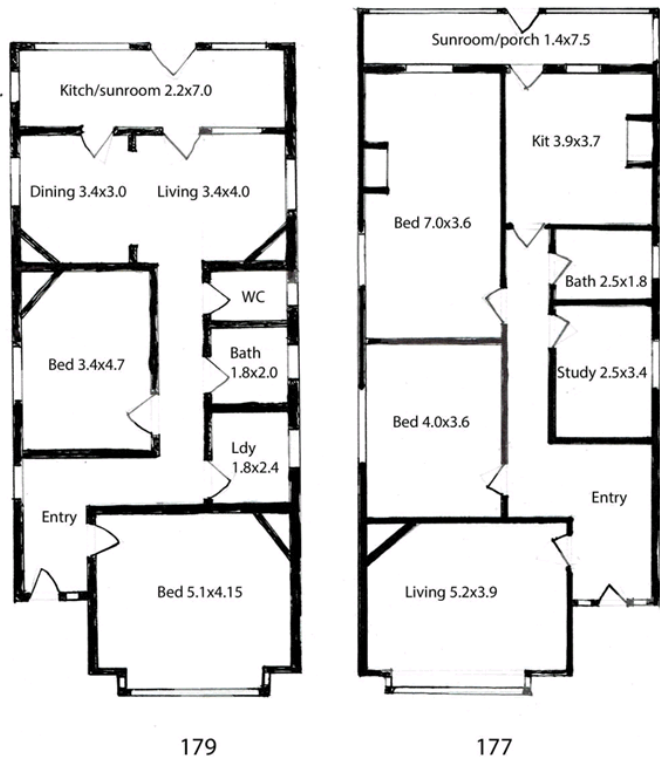


Figure 5.4 – Floor plans of 177-179 Campbell Street (street to bottom of plan, note doors and windows not necessarily to scale).

The following is a broad description of the interior<sup>8</sup> and exterior of the buildings:

Element	Sub-element	177	179
<b>Exterior</b>			
Roof	Form	The main portion of each roof is a hip, with a forward facing and pronounced gable.	
	Cladding	Painted corrugated galvanised iron. Rainwater goods are generally modern replacements.	
	Eaves, fascias, barges etc	The exposed forward-facing gable end has decorative timber fretwork and is clad in pressed tin to simulate roughcast render.	The exposed forward-facing gable end has decorative timber fretwork and is clad in geometric pressed tin.
		Each building has timber boxed eaves, fascias etc.	
	Chimneys	Three slender chimneys on each building with decorative corbelling.	
Walls	Masonry	The walls are hard fired brick with a concrete mortar which in places has been struck.	
	Foundations	Each building is constructed on concrete foundations.	
Windows	Forward projecting bay	The forward-facing bay is less pronounced than that of 179 and has timber framed casements with obscure glazed top-lights and a skillion hood above.	The pronounced forward-facing bay has timber casements with decorative leadlight casements as top-lights and a pressed tin clad bulkhead above.
	Windows in general	Windows are generally original timber framed casements with arched gauged brick lintels and round-edge moulded brick sills.	
	Enclosed rear veranda	The original rear veranda has been roughly infilled with windows to form a laundry and	The original rear veranda has been largely replaced within its original building envelope with

<sup>8</sup> Note that photographs were not taken of the interior of the buildings to respect the privacy of tenants.

		sunroom area.	modern fabric to form a kitchen and sitting room.
Doors		The front doors of each building have three panels (glazed top panel) and top and side lights. That of 179 is leadlight, 177 is obscure glass. Original back doors remain within each building to access the now enclosed rear verandas.	
Front porch		Each building has a small front porch with timber posts and some modest fretwork/decoration and an encaustic tile floor (presumably over concrete).	
Other site features		177 has no remaining outbuildings or other notable site features apart from the small front garden.	179 retains an early (if not original) 3-bay timber clad shed with a gable roof at the rear. A modern carport interrupts the view of the front of the building within the small front garden.
		All fencing associated with the buildings is modern.	
Interior			
General form		This building wholly retains its original internal layout, with two very large bedrooms, living room, kitchen and two smaller service rooms beside a central hallway which leads of a formal front foyer.	This building largely retains its original internal layout, with two bedrooms, an enlarged living area at rear (with much of an original wall removed between what would have bene a bedroom and living area) and three smaller service rooms beside a central hallway which leads off a formal front foyer. The kitchen is contained in the infilled rear skillion.
Structural	Walls	Internal walls are presumably timber framed with lathe and plaster. 177 has a decorative plaster archway between the entrance hall and main hallway.	
	Ceilings	Ceilings all appear to be original lathe and plaster	Some of the original lathe and plaster ceilings have been re-lined with plastersheet.

	Floors	All original Tasmanian Oak timber floors appear to be original and intact.
Joinery		Both buildings largely retain all their original joinery, including four-panel doors, architraves, skirting boards and typically 'Edwardian' fire surrounds/mantels.

In summary, the two buildings are in generally good condition and can be concluded to be in largely original condition with a high level of architectural integrity in that their original building envelope, internal form and detailing are almost wholly intact. The rear verandas although still readable in their overall form have a lower level of integrity having both been modified.

The setting of the buildings has been largely compromised due to adjacent development of a commercial nature and the severance of the original backyards by the Brooker Highway (i.e. widening of the former Park Street) and integration of the adjacent carpark into these sites.

The buildings are an example of Federation Queen Anne architecture as defined in the book *Identifying Australian Architecture* (Apperly, Irving *et. al.*)<sup>9</sup> although is considered to be a 'lower-end' example of that style, being small, modest and not highly adorned in that style compared to other examples (and as cited in that work). The following table makes commentary on the ability of the place to demonstrate those architectural and stylistic attributes as proposed in that work:

Style indicator (as per Apperly & Irving).	Comments on the place and ability to demonstrate that attribute.
Asymmetry	The facades of these examples are single-fronted, therefore are asymmetrical, however this is not uncommon in a wide variety of architectural styles/eras and is not a distinct asymmetry in typically narrow allotments.
Ensemble of various roof shapes	These examples have a main hipped roof with a projecting gable bay. Whilst this does represent two combined roof forms, is hardly an 'ensemble' and is not uncommon in a wide variety of architectural styles/eras.
Low tower	Not present in these examples.
Corner projecting diagonally	Not present in these examples.
Pyramidal roof forms	Not present in these examples.

<sup>9</sup> APPERLY, R. IRVING, R. REYNOLDS, P. (1989): *Identifying Australian Architecture, Styles and Terms from 1788 to the Present*. Angus and Robertson Publishing, North Ryde.

Marsailles pattern roof tiles	These examples are roofed in common corrugated galvanised iron.
Terracotta ridge or apex ornament	
Slate roof	
Prominent gable facing the street	Each building has a prominent gable facing the street which has been embellished by timbering and pressed metal to accentuate the architectural styling.
Half-timber effect in gable	Decorative timbering is present within the gable ends. Whilst not strictly 'half timbering' this is a hybrid between such and a screen (although not pronounced as a screen would be) – indicating a 'lower-end' attempt at this typical feature of the style.
Timber gable screen	
Bracketed projecting or 'flying' gable.	Not present in these examples – the gables are generally restrained in their overall form.
Dormer echoing main gable	Not present in these examples.
Tall chimney with terracotta pot or pots	These examples have chimneys as expected of practically any building of that era with only modest corbelling using standard bricks.
Tuck pointed brick walling	The walls of these examples, although brick, have no distinct tuck pointing (although evidence of striking as an attempt to simulate tuck pointing is present).
Roughcast walling	Apart from some imitation (i.e. tin) roughcast in the gable end and on the gable end of 177, roughcast has not been largely used in these examples.
Wall-hung shingles or tiles	Not present in these examples.
Wide veranda with timber posts and ornamental brackets	Whilst not having a wide veranda (likely constrained by the size of the frontage) these examples have modest timber porches without ornamental brackets.
Ornamental timber frieze or valance	These examples have a modest timber frieze beneath their porches.
Curvilinear Art-Nouveau ornament	Not present in these examples.
Projecting bay	These examples each have a single projecting bay on their front elevation.
Oriel	179 has a modest oriel arrangement of the front projecting bay window.
Casement sashes	These examples have casement sashes as expected of practically any building of that era.
Multi-paned top light	These examples each have multi-paned top lights above the windows of the projecting bay on their front elevation.
Round accent window	Not present in these examples.

As per the table above, of the 25 key stylistic features of a Federation Queen Anne residence, the place exhibits only 14 of those characteristics. Of those 14 characteristics, it is considered that the place exhibits around half of these in any

'extraordinary' way – which leads to the conclusion that whilst the places are certainly an example of Federation Queen Anne architecture, they represent the lower end of the spectrum as modest examples of such architecture.

## 6. Consideration of the historic heritage significance of the place

### 6.1. Assessment methodology

The following assessment of historic heritage significance is based on the national HERCON standard for statements of significance, based on the amount of information currently at-hand as detailed in this document. Note that natural history and indigenous heritage values have not been assessed here, as these are beyond the scope of this assessment.

The assessment methodology for each criterion follows the methodology details in the Tasmanian Government's *Assessing Historic Heritage Significance for Application with the Historic Cultural Heritage Act 1995* (October 2011) which is considered to represent a sound approach to assessing values (and from which the expanded definitions in the table below are drawn).

Although that document cites the *Historic Cultural Heritage Act 1995* in its title (to which the place is not subject), its wider applicability as a framework for considering the significance of local heritage places is summarised on page 2 of that document:

*The approach outlined in this document is intended to assist heritage practitioners, statutory bodies, local planning authorities and members of the community in understanding why places are entered in the Tasmanian Heritage Register or suggested for listing in a local planning scheme. Through the use of examples, the document suggests thresholds to assist in determining whether:*

- (i) A place is of historic heritage significance at a STATE level as being important to the whole of Tasmania, and therefore eligible for entry in the Tasmanian Heritage Register; or*
- (ii) A place is of historic heritage significance at a LOCAL level as being important to a region or local community and eligible for listing in a heritage schedule of a local planning scheme.*

This document follows Steps 1-3 of that document (as summarised on p.3) and in particular follows the methodology for determining whether the place meets any particular criteria (deriving from the HERCON standards) as detailed on p.5 of that document, which prescribes (beyond the basic significance test):

*a broader test providing an indicative list of factors (**inclusion factors**) that assist in determining whether the criterion is satisfied (**significance indicators**) and whether a place is considered as being of local or state historic heritage significance (**threshold indicators**); and*

*an indicative list of those factors (**exclusion factors**) which would generally disqualify a place from being considered to be of either state or local significance against that criterion.*

In order for this assessment to remain impartial and not prejudiced, the significance indicators for the place will be tested against **both the inclusion and exclusion factors** for all criteria as per the HERCON standard.

## 6.2. Assessment of historic heritage significance as per the Tasmanian Government standards

As per the methodology above, the following assessment of historic heritage significance will utilise the Tasmanian Government's assessment document (as cited above) and undertake a historical heritage assessment against the inclusion factors for each of the criteria (including those which are not included in the THR datasheet as a means of impartially considering those criteria nonetheless) and will also assess the place against the exclusion factors for each criterion.

### A. The place is of importance to the course, or pattern of our cultural or natural history.

Inclusion Factors		Response
A1	Association with an event, or series of events, of historical significance.	The historical background of the place indicates no historically significant events or series of events associated with the place beyond 'normal' domestic habitation.
A2	Demonstration of important periods or phases of settlement.	The period of use of the place as anything beyond a c1914-onwards residence is not considered to be an important period or phase of the settlement of Hobart.
A3	Association with important cultural phases or movements.	Domestic habitation of c1914-onwards buildings on the Hobart CBD fringe is not considered to be a 'beyond the ordinary' cultural phase, movement or historical process/activity.
A4	Demonstration of important historical processes or activities.	
A5	Symbolism and influence of a place for its association with an important event, period, phase or movement.	The place possesses no symbolic meaning associated with any historical event of importance to any community.
A6	Diversity of attributes – possessing multiple historical associations and physical qualities where the collective value is greater than the sum of the individual associations/qualities.	In the absence of any strong historical attributes of the site, even the 'sum of parts' consideration cannot demonstrate any important historical attribute about the site to any community.

Exclusion factors		Response
XA1	The association of the place to the historically important event, phase, period, process or movement is either incidental (minor, secondary) or cannot be substantiated. For example, every farm house is not of	Domestic habitation of a building from c1914-onwards on the fringe of the Hobart CBD can hardly be considered to be any form



	historical importance in demonstrating the spread of European settlement or pastoral land use across Tasmania; while a local legend of a link between a place and an event may make an interesting story it needs to be backed up by reasonable evidence if the place is to be registered on the basis of that link.	of 'beyond the ordinary' historical phase/period/movement etc.  Whilst part of the story of Hobart, it is not considered that this is historically important enough to individually warrant the listing of this particular place unless there are other substantial attributes of the place which support its importance in some other way – i.e. it is not considered to be feasible to list every building just because it may represent part of the story of Hobart, particularly if that part of the story is not important for other reasons (e.g. earliness, architectural merit, associations).
XA2	The place has an association with, or demonstrates evidence of, an historical event, phase, period, process or movement that is of dubious historical importance. For example, the historical event, etc, needs to possess an importance 'beyond the ordinary' in respect of its state or local significance.	
XA3	The significant fabric of the place has been so altered that it can no longer provide evidence of a particular association.	Whilst the place is generally intact, as per the assessment below and the discussion above, it is not considered to provide evidence of any important association in any case.

**This assessment concludes that the place is not of any historic cultural heritage significance against Criterion A as it has no strong historical associations with any important cultural movement/phase or any important historical process/activity beyond 'normal' c1914-onwards domestic habitation – which although part of the story of Hobart is not considered to be 'beyond the ordinary' in its local importance.**

**B. The place possesses uncommon, rare or endangered aspects of our cultural or natural history.**

Inclusion Factors		Response
B1	Rare surviving evidence of an event, phase, period, process, function, movement, custom or way of life in Tasmanian history that continues to be practised or is no longer practised.	The history of the place indicates that it has always been used (i.e. since c1914) as a pair of domestic residences on the fringe of the Hobart CBD. Whilst a comprehensive survey of such buildings has not been undertaken, there are clearly 100's if not 1000's of examples of such around Hobart therefore no rare attributes could possibly be assigned to the place.  Even within the narrower area (by observation and as detailed in the Corney report) there are a number of late-c19th and early c20th buildings of similar standard (i.e. small-medium brick paired/conjoined residences) scattered around the area which provide similar examples of such a place.
B2	Evidence of a rare historical activity that was considered distinctive, uncommon or unusual at the time it occurred.	
B3	Distinctiveness in demonstrating an unusual historical, architectural, archaeological, scientific, social or technical attribute(s) that is of special interest.	
B4	Demonstrates an unusual composition of historical, architectural, archaeological, scientific, social or technical attributes that are of greater importance or interest as a composition/collection.	

Exclusion Factors		Response
XB1	The place is not rare within the relevant state/local context.	As per above, the place could not be considered to demonstrate

XB2	The claim of rarity or uncommonness has too many descriptive qualifiers linked to it. For example, this is the only stone house . . with a slate roof . . and a bull-nosed verandah. . . within the former estate of . .	any rare attribute of relevance to Hobart's historical or cultural identity by any stretch of the imagination or by any number of credible descriptive qualifiers.
XB3	The place is the only one of its type and the event/custom/function is rare but its importance is questionable. For example, the only place to overlap the corrugated iron roofing four ridges instead of two; the only place to have a toilet suite in the kitchen; the only 2-storey potting shed; the only place having vinyl floor tiles on the ceiling, etc.	
XB4	The place is under threat of destruction, but its importance is questionable.	

**This assessment concludes that the place is not of any historic cultural heritage significance against Criterion B as it in no way demonstrates any rare aspects of Hobart's history.**

**C. The place has the potential to yield information that will contribute to an understanding of our cultural or natural history.**

Inclusion Factors		Response
C1	Potential to improve knowledge of a little recorded aspect of Tasmania's past.	As per the Tasarc report, the place is not considered to have the potential to yield information that would contribute to an understanding of our cultural history (i.e. no archaeological potential).
C2	Potential to fill gaps in our existing knowledge of Tasmania's past.	
C3	Potential to inform/confirm unproven historical concepts or research questions relevant to Tasmania's past.	Further analysis of the building fabric confirms that the built form, fabric etc. of the building also could not provide any information of any importance to an understanding of our cultural history beyond representing an example of a lower-end example of a Federation Queen Anne building which is unlikely to be of any outstanding use in any conceivable research agenda.
C4	Potential to provide information about single or multiple periods of occupation or use.	
C5	Potential to yield site specific information which would contribute to an understanding of significance against other criteria.	

Exclusion Factors		Response
XC1	There is no physical, documentary or other evidence that would allow an assessment of likely research potential.	As per points in <i>Inclusion Factors</i> above.
XC2	The potential information is trivial, not important or not significant.	
XC3	The context of the physical remains is so disturbed that they cannot yield meaningful or important information, or the significance of the remains has been compromised through being relocated to the current	

	location from somewhere else.	
XC4	The information that can be derived from the place is already reasonably known or readily available from other resources, including other heritage places.	
XC5	A place which has had its research potential fully exhausted, for example, an archaeological site that has been excavated so that there is negligible physical remains left in situ, or a building whose significant fabric has been substantially removed or replaced with new work.	

As further detailed in the Tasarc report, it is concluded that the place has no potential to yield information that would contribute to any important attribute of our cultural history therefore is not of any historic cultural heritage significance against Criterion C.

**D. The place is important in demonstrating the principal characteristics of a class of cultural or natural places or environments.**

Inclusion Factors		Response
D1	Representative of a class of place/s that demonstrate an aesthetic composition, design, architectural style, applied finish or decoration of historical importance.	Whilst the place represents a largely intact modest pair of c1914 Federation Queen Anne city-fringe brick residences, and the place does present the 'lower-end' attributes of such buildings (as detailed in Section 4 and as per Apperly/Irving <i>et. al.</i> ), a lower-end example of such a late period of architecture is not considered to represent any special aesthetic composition, design, technology etc. of any individual importance (whether technical, historical or architectural) and is merely an example of the lower end of a particular architectural style.  Whilst this is of some importance as representing the overall spectrum of Tasmanian architectural styles, this is considered here to be only of a low level of significance in the absence of the support of any other criteria.
D2	Representative of a class of places that demonstrate a construction method, engineering design, technology or use of materials, of historical importance.	
D3	Representative of a class of places that demonstrate an historical land use, function or process, of historical importance.	
D4	Representative of a class of places that demonstrates an ideology, custom or way of life of historical importance.	Solely twentieth century residential occupation of a place is not considered to be an important ideological, customary or way of life of any historical importance.

Exclusion Factors		Response
XD1	The place does not have a degree of distinctiveness within that class. For example, it is not a particularly, fine, intact or pivotal example. A place is not eligible simply because it is representative of a class of	The place is considered to be a lower-end example of a 'near-pair' of Federation Queen Anne city fringe residences. Whilst an example of an architectural type, they are not considered to be a particularly

	places as nearly every historic place in the state can be defined as representative of one class or another.	fine, or pivotal example – nonetheless they do represent that typology of building at a low level.
XD2	The place does not include a reasonable range of characteristics that define the class, either having never possessed them or having lost them through subsequent development, activity or disturbance.	Whilst there is documentary and physical characteristic evidence that links this place to a specific class of places, as per XD1, this is not at any extraordinary level.
XD3	Lack of reasonable evidence to indicate the place is linked to a specific class of place/s.	
XD4	The class itself is of dubious importance. For example, a place is claimed to be a fine example of a post-World War II road culvert or milepost. Whilst it is conceivable a culvert or milepost might be significant, this would be an exceptional circumstance and it would be unreasonable to consider culverts and milestones as such significant classes that every fine example of each warrants inclusion on the Heritage Register.	Whilst the place is an intact example of a c1914 pair of modest city-fringe brick residences, as per consideration of Criterion B, there are likely to be a large number of such buildings and no exceptional circumstances have been presented here which would warrant this place to be any 'stand-out' example of such and only represents the 'lower-end' of that type of place. Whilst a comprehensive survey of such examples of places has not been undertaken in Tasmania, it is conceivable to suggest that there is a huge array of such buildings across the state and that these may not be the best examples, nor might there be any special characteristics of these places which set them apart from others.

**This assessment concludes that the place does represent the lower-end of a near-pair of Federation Queen Anne small domestic residences on a city fringe, however it is not clear as to whether this demonstrates any important class of place in Tasmania's history and the places are merely representative of a particular class of place of low or local importance.**

**E. The place is important in demonstrating a high degree of creative or technical achievement.**

Inclusion Factors		Response
E1	Recognition of artistic or design excellence.	As an unextraordinary pair of small Federation Queen Anne residences, the place is not considered to represent any artistic or design excellence, any distinctiveness (being a lower-end example of such an architectural style) nor any innovation in any design or building methodology. The construction of the place has not used any adaptive or creative technology.
E2	Represents a breakthrough or innovation in design, fabrication or construction technique.	
E3	Distinctiveness as a design solution, treatment or use of technology.	
E4	Adapts technology in a creative manner or extends the limits of available technology.	

Exclusion Factors		Response
XE1	The place is not eligible simply because it is the work of an important designer or artist. It must be a substantial achievement that is demonstrated in the place itself and has been awarded or is otherwise worthy of recognition for its excellence.	The place is not known to be the work of any important designer or artist.
XE2	The place has substantially lost its design or technical integrity through subsequent changes to, or deterioration of, the significant element of the place.	The place is not considered to have ever had any special design or technical attributes which may have deteriorated.
XE3	The place has had its landmark or scenic qualities substantially and irreversibly degraded.	The place is not considered to have ever had any landmark or scenic qualities.
XE4	The place has only an indirect or loose association with creative or technical achievement.	The place is considered to have no (not even loose or indirect) association with creative or technical achievement.

**This assessment concludes that the place is not of any historic cultural heritage significance against Criterion E as it in no way demonstrates any degree of creative or technical achievement beyond the ordinary.**

**F. The place has a strong or special association with a particular community or cultural group for social, cultural or spiritual reasons.**

Inclusion Factors		Response
F1	Important to the community as a key landmark (built feature, landscape or streetscape) within the physical environment of Tasmania.	Further to the streetscape assessment in the Corney report, the place has no particular landmark qualities and is in fact considered to be a very recessive element in an also otherwise unremarkable streetscape.
F2	Important to the community as a landmark within the social and political history of Tasmania.	As merely a pair of modest Federation Queen Anne styled residences on the fringe of Hobart's CBD, the place has no possible connotations with the social or political history of Hobart.
F3	Important as a place of symbolic meaning and community identity.	As a pair of domestic residences that have had no association with any public activity nor have had any degree of public access in the past, the place is not considered to have any associations as a place of public meaning, socialisation or community service (etc.).
F4	Important as a place of public socialisation.	
F5	Important as a place of community service (including health, education, worship, pastoral care, communications, emergency services, museums, etc).	
F6	Important in linking the past affectionately to the present.	The place has no evocative ability to link the present with the past in any comprehensible way.

Exclusion Factors	Response
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XF1	The place is important to the community solely for amenity reasons. For example, most modern picnic and parkland areas, playgrounds and beaches, used for contemporary recreation.	The church and youth camp associations are likely to have (and still do) provide amenity to the community. This should not be confused with historic heritage significance.
XF2	The place is important to the community only as they seek to retain it in preference to a proposed alternative. For example, a place is occupied by an unremarkable development.	
XF3	The community group for which the place is claimed to have strong or special meaning does not have reasonable standing. That is, it is not recognised within the wider Tasmanian community, or the group is unable to demonstrate an important cultural association with the place. For example, a residential lobby group formed in response to a proposed development or activity at the place and unlikely to have the capacity to maintain an ongoing involvement with the place; a state-wide organisation whose functions and operational history has no direct link to the place or places of a similar nature.	

**This assessment concludes that the place is not of any historic cultural heritage significance against Criterion F as it could in no way demonstrate any degree of associative value to the community.**

**G. Special association with the life or works of a person, or group of persons, of importance in our history.**

Inclusion Factors		Response
G1	A key phase(s) in the establishment or subsequent development of the place were undertaken by, or directly influenced by, the important person(s) or organisation.	As per the title history and historical overview presented in Section 3, the place has no known associations with any persons of even local significance or popularly known identity or organisation.
G2	An event or series of events of historical importance occurring at the place were undertaken by, or directly influenced by, the important person(s) or organisation.	
G3	One or more achievements for which the person(s) or organisation are considered important are directly linked to the place.	
G4	Social or domestic events occurred at the place that are inseparable from the achievement(s) of the important person(s) or organisation, were a major influence upon an achievement(s) or are otherwise of public interest.	

Exclusion Factors		Response
XG1	The person(s) or organisation associated with the place lacks reasonable prominence or historical importance to the relevant state or local area.	As per G1-3. As there are no known nor demonstrable persons, organisations nor events associated with the place these exclusion factors can all be applied to the place.
XG2	The association of the person(s) or organisation with the place cannot be demonstrated or substantiated.	
XG3	The association of the person(s) or organisation with the place is not strong, unusual or extraordinary enough to warrant recognition in this way. For example, the person spent a brief, transitory or incidental time at the place without leaving evidence or achieving anything relevant to their importance; and the association of the person or organisation with the place is totally unconnected with their achievement and not of historical interest in interpreting the context of their life and achievement.	
XG4	The person or organisation is perceived to draw more importance from their connection with the place than vice versa. For example, a person who acquires a famous property cannot be considered important merely for being the one-time owner of the property.	

**This assessment concludes that the place is not of any historic cultural heritage significance against Criterion G, as there are no known nor demonstrable associations of any persons/organisations/events of any historic interest or significance associated with the place.**



## 7. Recommendations

Section 6 has provided a rigorous process of evaluating the possible historic cultural heritage values of the place against what is considered to be a sound industry standard for assessing such places.

This assessment has concluded that the place is merely demonstrative of a near-pair of small Federation Queen Anne domestic residences that represent the lower end of that type/style/period of architecture. There is no evidence or observation that would suggest that the place meets any other HERCON criteria for statutory heritage listing other than under Criterion D (representative of a class of place) at a low (i.e. local) level and that it may be dubious as to how important that class of place is in the scheme of the local (or wider) context. Nonetheless, it is recognised that the places are listed as a local heritage item on the heritage schedule of the HIPS15.

This assessment concurs with the findings of the Corney report that the place does not offer any substantial contribution to the wider streetscape, which has largely been modified from its earlier late-Victorian/Federation domestic roots, to what is now a more commercial city-fringe area and that the place merely represents the lower-end and later domestic occupation of that earlier townscape development pattern. Accordingly, apart from the small domestic front gardens, the buildings do not have any significant curtilage.

This assessment also concurs with the Tasarc report that the place has no research/archaeological potential.

**Accordingly, this assessment concludes that the place has a low level of local heritage significance limited to the architectural qualities of the buildings themselves.**

As a broad set of conservation policies, it is recommended that:

- In any future development of the wider site, that these buildings be retained.
- If desired, the buildings may be repurposed for non-residential purposes, provided that the general form of the buildings (in particular the street elevations) is retained.
- The rear veranda areas and outbuilding may be retained, modified or removed as desired.
- The rear yards of the buildings are not of significance and that area may be redeveloped as desired (subject to other planning requirements) – potentially as part of a larger site redevelopment.

*Data Collection Sheet*

F66

Name: **House**

**179 Campbell Street Hobart Hobart**

Type: *Habitation* Feature Type:

Use: *Habitation* Archit. Style: *Federation*

Walls: *Face Brick* Roof: *Corrugated Iron*

Floors: *1* Integrity: *Externally predominantly intact. Part of the front yard has been given over to parking, and there is a carport.*

Attic: ☐ Basement: ☐ Nominated By: *HCC*

Visual Relationships: *This house is located on the eastern side of Campbell Street, and is one of a pair of similarly styled houses. It is an important historic element within the urban streetscape of the area.*

Historical Relationship: *The house is located on land that was once part of a large 4 acre allotment granted to John Bisdee. This 4 acres was not substantially subdivided until the late nineteenth/early twentieth century. The house was built c1915, and was connected to the City's sewerage system by April 1915. It was owned and occupied by Mr Benjamin Gooding who owned several houses within the area at that time, including the house next door at 177 Campbell Street.*

Description: *A single storey face brick Federation residence. It has a hipped roof clad with corrugated iron, and three face brick chimneys with metal flues. The façade is asymmetrical, and is dominated by a large projecting gable. There are timber bargeboards to the gable ends and half-timbered infill (including pressed metal panels). Below the gable is a bay window composed of four casements with leadlit highlights. There is an elegantly decorated timber porch over the front entry, which has an original door, top and side lights.*

**STATEMENTS OF SIGNIFICANCE**

(a)-Historical:

*179 Campbell Street is of heritage significance because it has the ability to illustrate the process of urban infill and development that occurred within the early settled areas of inner Hobart during the early years of the twentieth century.*

(b)-Rarity:

(e)-Creative / Technical:

(f)-Community:

*This structure makes a significant contribution to the streetscape of the area, and therefore is important to the community's sense of place.*

(c)-Research Potential:

(g)-Association:

(d)-Representative of:

*179 Campbell Street is of historic heritage significance because of its ability to demonstrate the principal characteristics of a single storey face brick Federation residence.*

No Significance?:

Supported: ☐ Not Supported: ☐ Refer: ☐ Signed: \_\_\_\_\_ 03/09/2010

*Data Collection Sheet*

F67

Name: **House**

**177 Campbell Street Hobart Hobart**

Type: **Habitation** Feature Type:

Use: **Habitation** Archit. Style: **Federation**

Walls: **Face Brick** Roof: **Corrugated Iron**

Floors: **1** Integrity: **Externally predominantly intact.**

Attic: ☐ Basement: ☐ Nominated By: **HCC**

Visual Relationships: *This house is located on the eastern side of Campbell Street, and is one of a pair of similarly styled houses. It is an important historic element within the urban streetscape of the area.*

Historical Relationship: *The house is located on land that was once part of a large 4 acre parcel granted to John Bisdee. Bisdee's land was not substantially subdivided until the late nineteenth/early twentieth century. The house was constructed in c1913, and connected to the City's sewerage system in that same year. It was occupied by Percival Darvell in 1914, owned by Mr Benjamin Gooding. Gooding owned several houses within the area at the time, including the house next door at 179 Campbell Street.*

Description: *A single storey face brick Federation residence. It has a hipped roof clad with corrugated iron, and three face brick chimneys with metal flues. The façade is asymmetrical, and is dominated by a large projecting gable. There are timber bargeboards to the gable ends and half-timbered and roughcast infill. Below the gable is a bay window composed of four casements with leadlit highlights. There is an elegantly decorated timber porch over the front entry, which has an original door, top and side lights.*

**STATEMENTS OF SIGNIFICANCE**

(a)-Historical:

*177 Campbell Street is of heritage significance because it has the ability to demonstrate the process of urban infill that occurred within the early settled areas of inner Hobart during the early twentieth century.*

(b)-Rarity:

(d)-Representative of:

*177 Campbell Street is of historic heritage significance because of its ability to demonstrate the principal characteristics of a single storey face brick Federation residence.*

No Significance?:

(e)-Creative / Technical:

(f)-Community:

*This structure makes a significant contribution to the streetscape of the area, and therefore is important to the community's sense of place.*

(g)-Association:

Supported: ☐Not Supported: ☐Refer: ☐

Signed: \_\_\_\_\_

03/09/2010



JMG Ref: J173021PH

8<sup>th</sup> July 2021

The Building Group Apprenticeship Scheme Ltd  
175 Campbell Street  
Hobart Tas 7000

To whom it may concern,

**175, 177 AND 179 CAMPBELL STREET - DEVELOPMENT APPLICATION NOTIFICATION**

We advise that JMG Engineers and Planners seeks to make a development application on behalf of the Building Group Apprenticeship Scheme Ltd for development of land at 175, 177 and 179 Campbell Street (identified as CT 23364/1, CT 23364/2, CT 22529/3 and CT 23363/1 respectively). This is for a mixed use development comprising the following development on each of the Titles:

- Adhesion of three lots to create a single development;
- 175 Campbell Street (CT 23364/1, CT 23364/2) - demolition of the existing commercial building and other structures to its rear; development of mixed-use buildings; establishment of a new access;
- 177 Campbell Street (CT 22529/3) - refurbishment of existing residential dwellings; development of mixed-use buildings;
- 179 Campbell Street (CT 23363/1) - demolition of the outbuilding to the rear of the residential dwelling; development of residential buildings to the rear of the lot;
- Provisions of associated sewer, water, stormwater services, telecommunications, rubbish and mailbox for occupants of the development.

Accordingly, we write to notify you of the application, in accordance with our statutory obligations under section 52(1) of the *Land Use Planning and Approvals Act 1993*.

More information will be available from Hobart City Council when the application is formally advertised.

Yours faithfully

JOHNSTONE McGEE & GANDY PTY LTD

A handwritten signature in black ink, appearing to read 'Mingming Ma'.

Mingming Ma  
TOWN PLANNER

117 Harrington Street  
Hobart 7000  
Phone (03) 6231 2555  
Fax (03) 6231 1535  
infohbt@jmg.net.au

49-51 Elizabeth Street  
Launceston 7250  
Phone (03) 6334 5548  
Fax (03) 6331 2954  
infohbt@jmg.net.au

Johnstone McGee &  
Gandy Pty Ltd  
ABN 76 473 834 852  
ACN 009 547 139  
as trustee for Johnstone  
McGee & Gandy  
Unit Trust

[www.jmg.net.au](http://www.jmg.net.au)



JMG Ref: J173021PH

8<sup>th</sup> July 2021

Tasmanian Meat Wholesalers Pty Ltd  
PO BOX 43 North Hobart  
TAS 7002

To whom it may concern,

**175, 177 AND 179 CAMPBELL STREET - DEVELOPMENT APPLICATION NOTIFICATION**

We advise that JMG Engineers and Planners seeks to make a development application on behalf of the Building Group Apprenticeship Scheme Ltd for development of land at 175, 177 and 179 Campbell Street (identified as CT 23364/1, CT 23364/2, CT 22529/3 and CT 23363/1 respectively). This is for a mixed use development comprising the following development on each of the Titles:

- Adhesion of three lots to create a single development;
- 175 Campbell Street (CT 23364/1, CT 23364/2) - demolition of the existing commercial building and other structures to its rear; development of mixed-use buildings; establishment of a new access;
- 177 Campbell Street (CT 22529/3) - refurbishment of existing residential dwellings; development of mixed-use buildings;
- 179 Campbell Street (CT 23363/1) - demolition of the outbuilding to the rear of the residential dwelling; development of residential buildings to the rear of the lot;
- Provisions of associated sewer, water, stormwater services, telecommunications, rubbish and mailbox for occupants of the development.
- Use the existing access to the proposal development which is the right of way for both lots at 173 & 175 Campbell Street.

Accordingly, we write to notify you of the application, in accordance with our statutory obligations under section 52(1) of the *Land Use Planning and Approvals Act 1993*.

More information will be available from Hobart City Council when the application is formally advertised.

Yours faithfully

JOHNSTONE MCGEE & GANDY PTY LTD

A handwritten signature in black ink, appearing to read 'Mingming Ma'.

Mingming Ma

TOWN PLANNER

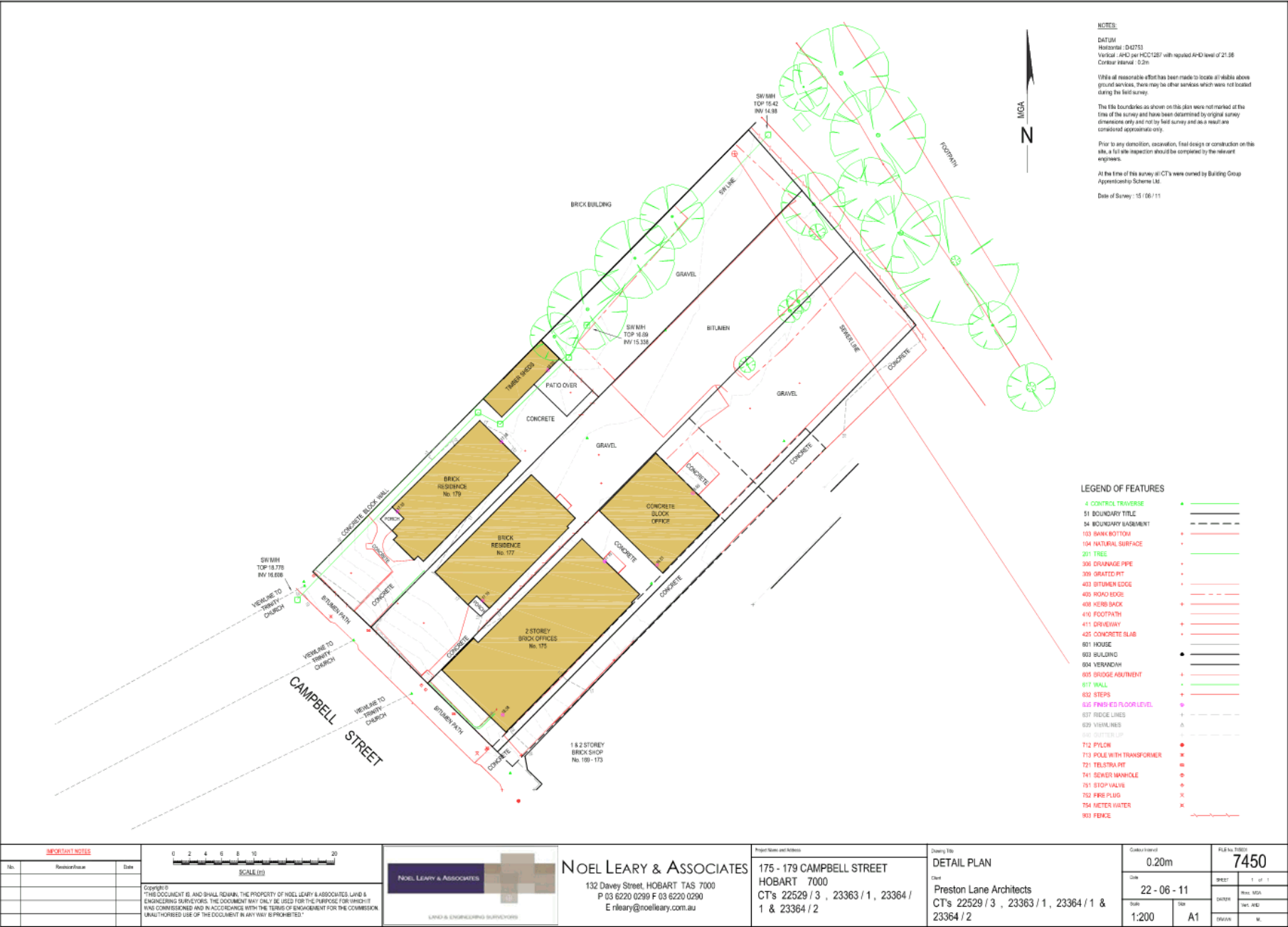
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**RESULT OF SEARCH**

RECORDER OF TITLES

*Issued Pursuant to the Land Titles Act 1980*

## SEARCH OF TORRENS TITLE

VOLUME 23364	FOLIO 1
EDITION 2	DATE OF ISSUE 27-Jul-1994

SEARCH DATE : 17-May-2021

SEARCH TIME : 11.29 AM

DESCRIPTION OF LAND

City of HOBART

Lot 1 on Diagram 23364

Derivation : Part of 4 Acres (Section B.2.) Gtd. to J. Bisdee.

Prior CT 4129/69

SCHEDULE 1

B785251 TRANSFER to BUILDING GROUP APPRENTICESHIP SCHEME LTD  
Registered 27-Jul-1994 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

BENEFITING EASEMENT: Right of Carriageway over the Right of  
Way 2.59 wide marked E.G.H.C. on Diagram No. 23364

BURDENING EASEMENT: Right of Carriageway [appurtenant to Lots  
1 and 2 on Sealed Plan No. 22529 and the land in  
Conveyance No. 44/8439) over the Right of Way 0.91  
wide marked D.C.E.F. on Diagram No. 23364

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations





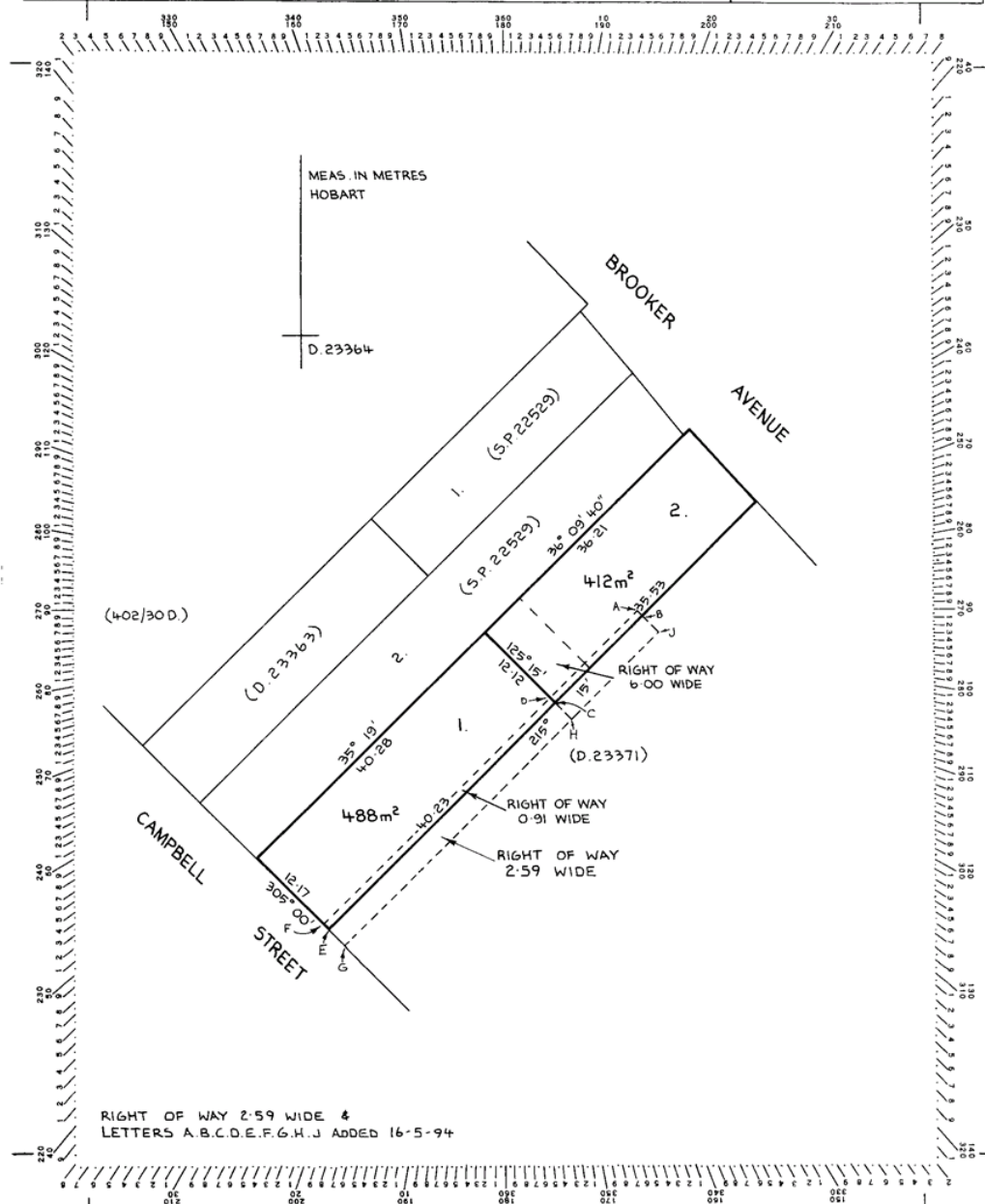
## FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



Owner: X. 4079	<b>PLAN OF SURVEY</b> by Surveyor..... of land situated in the  <b>CITY OF HOBART</b>  SCALE 1:500      MEASUREMENTS IN METRES	Registered Number: <b>D.23364</b>
Title Reference: CONV. 58-2120		Approved Effective from: 16 NOV 1994
Grantee: PART OF (4000) JOHN BISDEE.		ACTING DEPUTY Recorder of Titles



**RESULT OF SEARCH**

RECORDER OF TITLES

*Issued Pursuant to the Land Titles Act 1980*

## SEARCH OF TORRENS TITLE

VOLUME 23364	FOLIO 2
EDITION 2	DATE OF ISSUE 27-Jul-1994

SEARCH DATE : 17-May-2021

SEARCH TIME : 11.30 AM

DESCRIPTION OF LAND

City of HOBART

Lot 2 on Diagram 23364

Derivation : Part of 4 Acres (Section B.2.) Gtd. to J. Bisdsee.

Prior CT 4129/70

SCHEDULE 1

B785251 TRANSFER to BUILDING GROUP APPRENTICESHIP SCHEME LTD  
Registered 27-Jul-1994 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

BENEFITING EASEMENT: Right of Carriageway over the Right of  
Way 2.59 wide marked B.J.H.G.E.C.B. on Diagram No.  
23364

BURDENING EASEMENT: Right of Carriageway [appurtenant to the  
land comprised in Conveyance No. 44/8439) over the  
Right of Way 0.91 wide marked A.B.C.D. on Diagram No.  
23364

BURDENING EASEMENT: Right of Carriageway [appurtenant to Lots  
1 and 2 on Sealed Plan No. 22529) over the Right of  
Way 0.91 wide marked A.B.C.D. on Diagram No. 23364  
and the Right of way 6.00 wide shown on Diagram No.  
23364

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



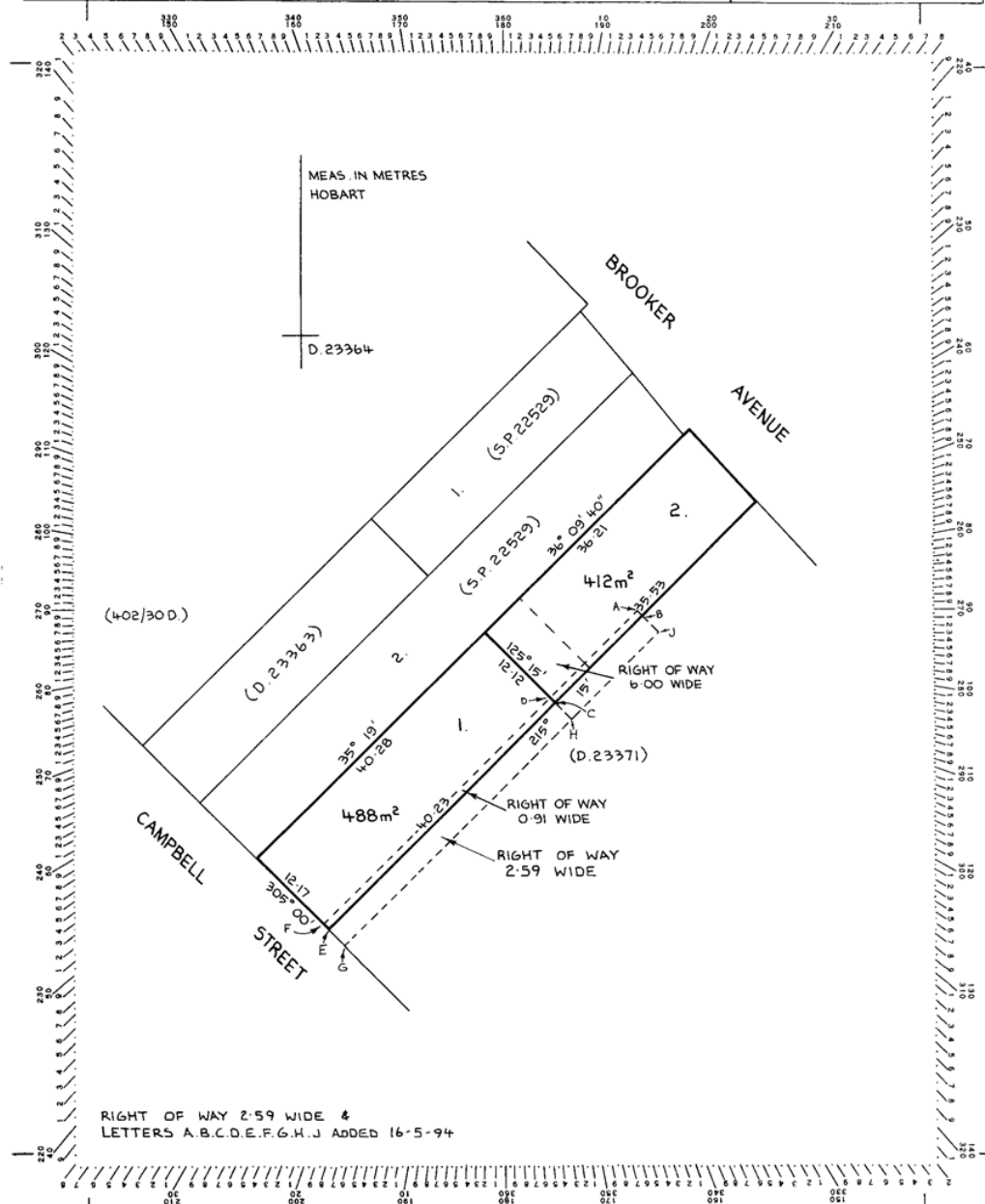
## FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



Owner: X. 4079	<b>PLAN OF SURVEY</b> by Surveyor..... of land situated in the  <b>CITY OF HOBART</b>  SCALE 1:500      MEASUREMENTS IN METRES	Registered Number: <b>D.23364</b>
Title Reference: CONV. 58-2120		Approved Effective from: 16 NOV 1994
Grantee: PART OF (4000) JOHN BISDEE.		ACTING DEPUTY Recorder of Titles



**RESULT OF SEARCH**

RECORDER OF TITLES

*Issued Pursuant to the Land Titles Act 1980*

## SEARCH OF TORRENS TITLE

VOLUME 22529	FOLIO 3
EDITION 1	DATE OF ISSUE 26-Apr-1995

SEARCH DATE : 17-May-2021

SEARCH TIME : 11.32 AM

DESCRIPTION OF LAND

City of HOBART

Lot 3 on Sealed Plan 22529

(Formerly Lots 1 &amp; 2 on Sealed Plan 22529)

Derivation : Part of 4 Acres (Section B.2.) Gtd. to J Bisdee

Prior CT 4129/67

SCHEDULE 1

B785252 TRANSFER to BUILDING GROUP APPRENTICESHIP SCHEME LTD

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP 22529 EASEMENTS in Schedule of Easements

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



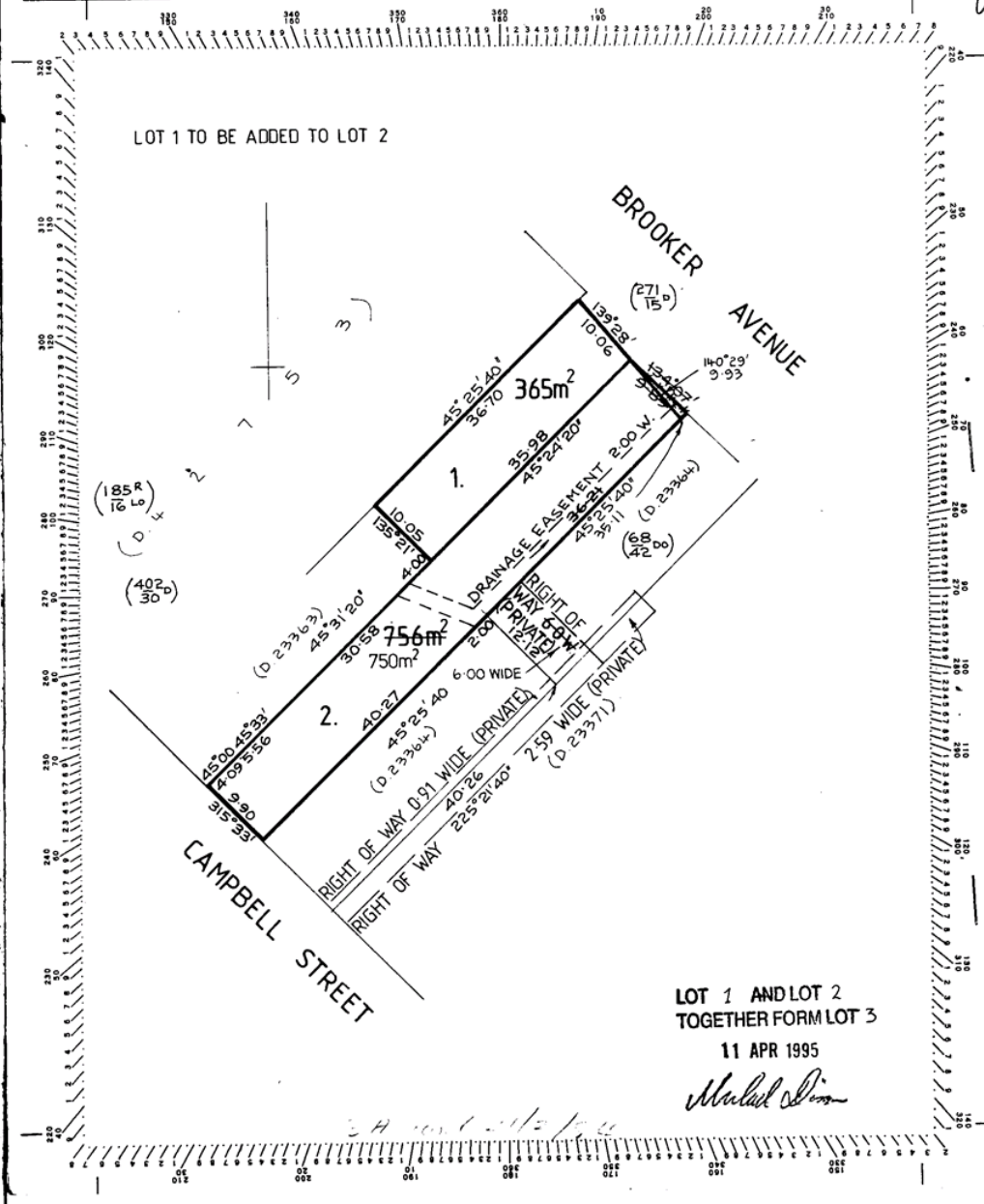
## FOLIO PLAN

RECORDED OF TITLES

*Issued Pursuant to the Land Titles Act 1980*



<p>Owner: T.G. &amp; M. Mahoney &amp; L.B.A. Investments Pty. Ltd. B.R.S.H. Investments Pty. Ltd.</p>	<p>PLAN OF SURVEY by Surveyor <u>N.D. Leary</u> of land situated in the</p>	<p>Registered Number: <b>S. P22529</b></p>
<p>Title Reference: Convs 44-4984 &amp; 58-2120 &amp; 44-8439.</p>	<p>CITY OF HOBART</p>	<p>Effective from: 16 NOV 1984</p>
<p>Grantee: Portion Of 4acres Gtd to John Bisdee</p>	<p>SECTION B2</p>	<p><i>J. Brown</i> ACTING DEPUTY Recorder of titles</p>
<p>SCALE 1: 1'500 MEASUREMENTS IN METRES</p>		



**RESULT OF SEARCH**

RECORDER OF TITLES

*Issued Pursuant to the Land Titles Act 1980*

## SEARCH OF TORRENS TITLE

VOLUME 23363	FOLIO 1
EDITION 3	DATE OF ISSUE 14-Sep-2010

SEARCH DATE : 17-May-2021

SEARCH TIME : 11.35 AM

DESCRIPTION OF LAND

City of HOBART  
Lot 1 on Diagram 23363  
Being the land described in Conveyance No. 44/4984  
Excepting thereout Lot 1 on Sealed Plan No. 22529  
Derivation : Part of 4 Acres (Sec. B.2.) Gtd. to J. Bisdee  
Prior CT 4129/68

SCHEDULE 1

C948373 TRANSFER to BUILDING GROUP APPRENTICESHIP SCHEME LTD  
Registered 14-Sep-2010 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
BENEFITING EASEMENT: Right of Drainage over the drainage  
easement shown on Sealed Plan No. 22529

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



## FOLIO PLAN

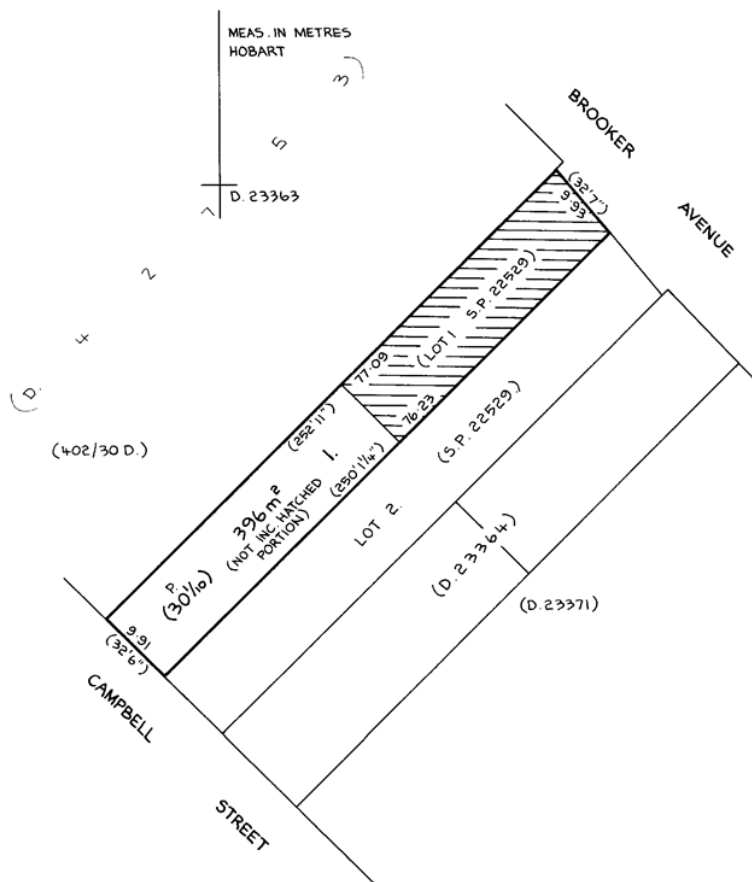
RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



APPROVED FROM... 16 NOV 1984 <i>J. Brown</i> ACTING DEPUTY RECORDER OF TITLES	CONVERSION PLAN	REGISTERED NUMBER <b>D.23363</b>
FILE NUMBER X 4079	GRANTEE: PART OF (4.0.0) JOHN BISDEE.	M. YOUNG 22.6.84

SKETCH BY WAY OF ILLUSTRATION ONLY

CITY/TOWN OF HOBART  
LAND DISTRICT OF  
PARISH OFLENGTHS ARE IN METRES. NOT TO SCALE.  
LENGTHS IN BRACKETS IN LINKS/FEET & INCHES.'EXCEPTED LAND'  
LOT 1 (S.P. 22529) 365m<sup>2</sup>



**RESULT OF SEARCH**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



## SEARCH OF TORRENS TITLE

VOLUME 140732	FOLIO 1
EDITION 3	DATE OF ISSUE 28-Jan-2011

SEARCH DATE : 03-Jul-2020

SEARCH TIME : 09.53 AM

DESCRIPTION OF LAND

City of HOBART  
 Lot 1 on Plan 140732  
 Being the land described in Conveyance 62/3280, Being the land described in Conveyance No. 44/8439  
 Derivation : Part of 4 Acres (Section B.2.) Gtd. to J. Bisdee.  
 Derived from A16172  
 Prior CTs 123139/1 and 23371/1

SCHEDULE 1

B577065, B810602 & C437756 TRANSFER to TASMANIAN MEAT  
 WHOLESALERS PTY LTD

SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
 BENEFITING EASEMENT: (appurtenant to the land marked HKLM on P. 140732) a Right of Carriageway over the Right of Way 0.91 wide shown on P.140732  
 BURDENING EASEMENT: Right of Carriageway [appurtenant to the land in Conveyance No. 44/5050 and Lots 1 and 2 on Sealed Plan No. 22529) over the Right of Way 2.59 Wide marked EFGH on P.140732  
 BURDENING EASEMENT: a right of carriage way for the owner or owners for the time being of the land described in Indenture of Conveyance 33/2120 over the Right of Way 2.59 Wide marked IJGH on P.140732  
 67/7169 Benefiting Easement (appurtenant to the land marked LQPONM on P.140732) Party Wall Easement over the wall marked "A" "B" "C" "D" on Plan 140732  
 67/7036 BURDENING EASEMENT: Right for Eaves and Spouting overhang (appurtenant to Lot 1 on Plan No.51812) over the land marked Easement 0.50 Wide shown on Plan No. 140732  
 C509575 ADHESION ORDER under Section 110 of the Local Government (Building and Miscellaneous Provisions) Act 1993 Registered 28-Apr-2004 at noon  
 C995946 MORTGAGE to Douglas Wayne Woulleman King and Susan



## RESULT OF SEARCH

RECORDER OF TITLES

*Issued Pursuant to the Land Titles Act 1980*



---

Woulleman King      Registered 28-Jan-2011 at 12.01 PM

### UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



## FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



OWNER 123139-1 CT. FOLIO REFERENCE 23371-1 CT. GRANTEE		PLAN OF TITLE LOCATION CITY OF HOBART SEC.B2 FIRST SURVEY PLAN No. COMPILED BY LDRB SCALE 1: 1500 LENGTHS IN METRES		Registered Number <b>P.140732</b> APPROVED 5 MAR 2004 <i>Alice Kawa</i> Recorder of Titles
MAPSHEET MUNICIPAL CODE No. 5225-42 (III4)	LAST UPJ No 2100524	LAST PLAN No. P.123139,D.23371	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	

Diagram details: LOT 1 is bounded by BROOKER AVENUE to the north and CAMPBELL STREET to the south. The plan shows two 'RIGHT OF WAY' strips, each 74.32m wide, separated by a 0.91m gap. A 'WALL' is shown on the eastern boundary. Survey points A through S are marked. Dimensions include 13.87m, 28.54m, 67.76m, 32.31m, 13.72m, and 2.59m. A note states: 'EASEMENT 0.50 WIDE ADDED TO PLAN PURSUANT TO SEC. 139 LAND TITLES ACT 190'. The plan is signed by Alice Kawa on 21/05/2009.

RECORDED OF TITLES DATE  
CL



JMG Ref: 173021PH  
Council Ref: PLN-21-471

22<sup>nd</sup> November 2021

Mr Ben Ikin  
Hobart City Council  
Via Online Development Services Portal

Attention: City Planning

Dear Mr Ikin

APPLICATION NO. PLN-21-471 - 175 CAMPBELL STREET & 177 CAMPBELL STREET & 179 CAMPBELL STREET & 169-173 CAMPBELL STREET, HOBART - PARTIAL DEMOLITION, ALTERATIONS, NEW BUILDING FOR 26 MULTIPLE DWELLINGS, FOOD SERVICES, BUSINESS AND PROFESSIONAL SERVICES, GENERAL RETAIL AND HIRE, AND SUBDIVISION (LOT CONSOLIDATION)

Please refer to the following with regards to the 'request for additional information letter' received from Hobart City Council, dated 6<sup>th</sup> August 2021.

The required additional information is addressed in the sequence below.

1. General Manager's Consent

- General Manager Consent Application (Attachment A) has been sent to [coh@hobartcity.com.au](mailto:coh@hobartcity.com.au) on 22<sup>nd</sup> November 2021.
- The proposed infrastructure and the widened kerb of road reserves are enclosed scaled concept services plans enclosed in Updated Planning Report (Attachment A).

2. Planning

- The use of the northern existing dwelling is Business and Professional Development (consulting rooms) and the southern dwelling is a Food Services (café) refer to drawing J20823-A-101 in the architectural set;
- There are 35 car parks (including 2x tandem spaces);
- There are 31 apartments;
- This has been reviewed, and there is a potential need for underpinning. As such, we have included this title in the application and notified the owners of 181-189 Campbell Street;
- The Landscape Architectural Report (Appendix M) is enclosed in the Updated Planning Report;

117 Harrington Street  
Hobart 7000  
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as trustee for Johnstone  
McGee & Gandy  
Unit Trust

[www.jmg.net.au](http://www.jmg.net.au)



- The proposed steel and brick fence is 20m long with a maximum of 2.3m in height for the existing heritage building and has more than 50% transparency above a height of 0.8m. Therefore, it complies with Acceptable Solution A1 under clause 15.4.7 Fencing. Details of the proposed fence are enclosed in Appendix C- Proposal Plans Drawing J20823-A-300 - South Western Elevation in Updated Proposal Plans.

### 3. Attenuation Code

#### AC1

- Tasmanian Meat Wholesalers are located at 169-173 Campbell Street and sell approximately 52 tonnes of sausages, red meat, poultry and smallgoods a month;
- The site currently operates a variety of small-scale equipment, including mincers, dicers, sausage fillers, bandsaws, and a smokehouse (which is used for a short period, mainly around Christmas);
- The retail shop is currently open:
  - 7:30 - 18:00, Monday - Friday
  - 7:30 - 14:00, Saturday
  - Closed Sunday and public holidays
- The commercial/wholesale currently operates:
  - 6:00 - 18:00, Monday - Friday
  - Closed Sunday and public holidays
- Deliveries currently comprise 4/5 LRV vehicles which enter and leave the site for deliveries multiple times a day, and approximately 3-5 third party deliveries per day, with suppliers operating a variety of HRV trucks that enter the site for loading/unloading (deliveries occurring from approximately 5:00 am - close of business, Monday - Saturday);
- The site operates an LPG forklift which operates within the service yard areas and buildings approximately 12 hours a day (6:00 - 18:00, Monday - Friday);
- All equipment is housed with the existing buildings, which minimises any potential noise impacts. The site has limited odour emissions due to the containment of operations within the existing buildings. In addition, the potential sources of odours are mainly smokehouse and grease traps. In relation to the smokehouse, the emissions are discharged above the roofline through a flue, and the smoker is used for a very short period during December. The grease traps are maintained and cleaned approximately every three months to manage odour emission.

### 4. Open Space

There are no trees proposed to be removed or planted in the road reserve thus no General Manager Consent is required on this issue. An arborist assessment (Appendix N) has been undertaken by Tree Inclined has been included in the revised planning report.



#### 5. Parking and Access

The Concept Services Report (Appendix H) and Traffic Impact Assessment (Appendix G) within the planning report contains this information. There have been some updates to these documents, and they are located in the Updated Planning Report attached.

#### PA 9

A Waste Management Plan (Appendix O) is now included in the revised planning report and demonstrates that the arrangements for collecting waste and will not compromise the safety, amenity and convenience of surrounding occupants, vehicular traffic, cyclists, pedestrians and other road and footpaths users.

#### 6. Potentially Contaminated Land

An Environmental Site Assessment (Appendix F) is underway and is awaiting laboratory results. This will be submitted separately.

#### 7. Roads - Driveway

These matters are addressed in the updated concept services plans in the attached Updated Planning Report.

#### 8. Stormwater

These matters are addressed in the revised Flood Modelling Report (Appendix I) and Concept Services Report (Appendix H) in the attached planning report.

#### 9. Protection of Council Infrastructure - Stormwater

These matters are addressed in the revised Flood Modelling Report (Appendix I) and Concept Services Report (Appendix H) in the attached planning report.

#### 10. Inundation Prone Areas Code

It proposed to increase the width of the right of way such that 169 to 173 Campbell Street has the benefit of so that it corresponds to the width of the driveway within 175 Campbell Street. It is expected this will be conditioned on any permit.

#### 11. Survey

No awning is proposed with this development.

It proposed to increase the width of the right of way such that 169 to 173 Campbell Street has the benefit of so that it corresponds to the width of the driveway within 175 Campbell Street. It is expected this will be conditioned on any permit.



All appendices are enclosed in the Attachment B - Updated Planning Report

We trust this satisfies Council's request however if further information or clarification is required with respect to this request, please contact me on 6231 2555 or at [planning@jmg.net.au](mailto:planning@jmg.net.au).

Yours faithfully

JOHNSTONE MCGEE & GANDY PTY LTD



MINGMING MA  
TOWN PLANNER





## **ATTACHMENT A**

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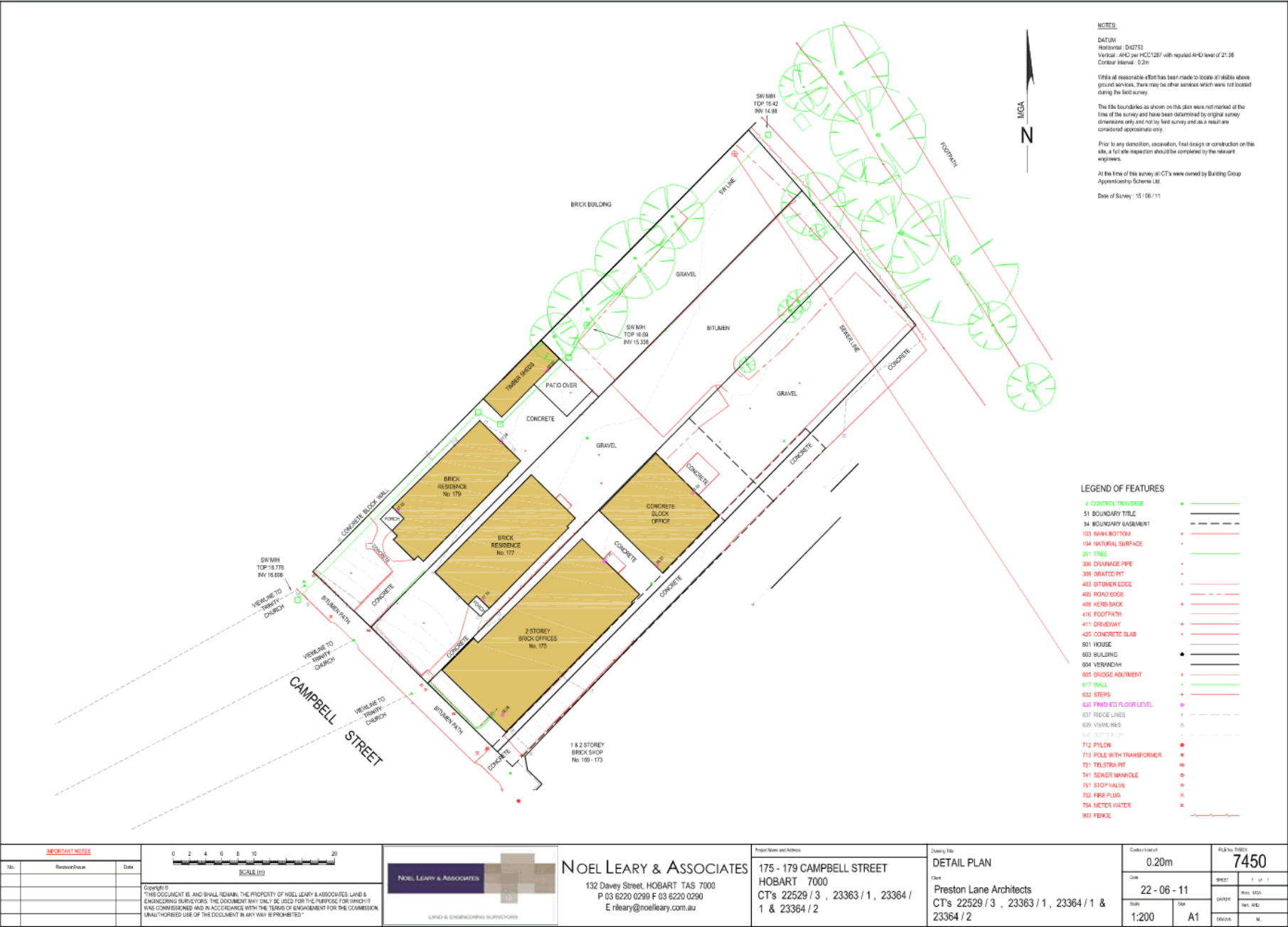
### **General Manager Consent**



## **ATTACHMENT B**

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### Updated Planning Report





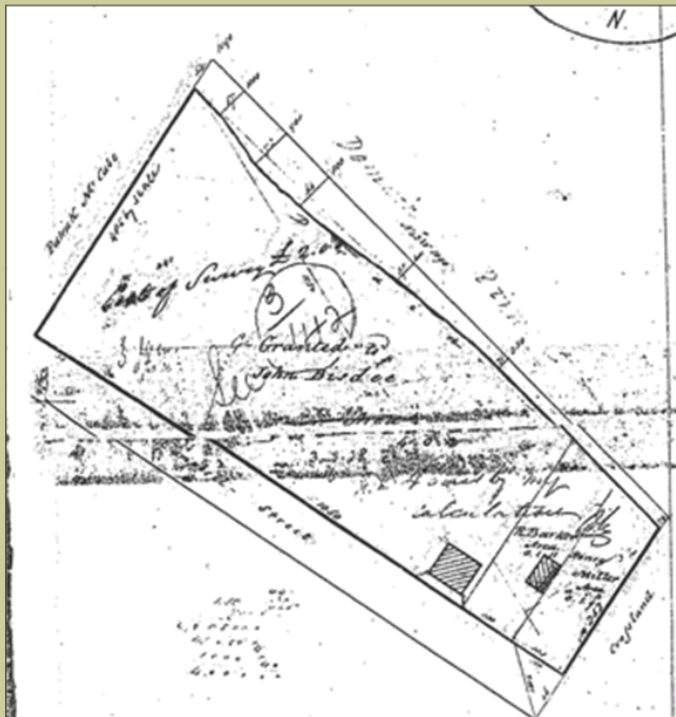
SENIOR CONSULTANT :  
**PARRY KOSTOGLU**

433 Dorans Road  
Sandford,  
Hobart  
Tas.  
7020

Phone: 03 62789598  
Mobile: 0408 561934  
Email: [parryk@netspace.net.au](mailto:parryk@netspace.net.au)

## 175-179 CAMPBELL STREET

## STATEMENT OF HISTORICAL ARCHAEOLOGICAL POTENTIAL



**A report to Preston Lane Architects  
Parry Kostoglou  
TASARC  
January 2013**

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## EXECUTIVE SUMMARY

This desktop investigation has found no evidence of any historic structures pre dating the early 20<sup>th</sup> century. Therefore there are no foreseeable archaeological constraints to the proposed development and no additional archaeological works are recommended.

However if development related excavation work exposes substantive physical building fabric not apparently related to the 20<sup>th</sup> century federation structures, an archaeologist should be consulted immediately.

## 1.0 INTRODUCTION

### 1.1 Background

A mixed use development has recently been lodged with the Hobart City Council (HCC) for three allotments on Campbell Street in the Hobart CBD. These consecutive allotments (175, 177 and 179 respectively) currently contain a mixture of early 20<sup>th</sup> century housing and mid to late 20<sup>th</sup> century commercial structures. In its response to the relevant building permit application the Hobart City Council has requested information relating to these properties archaeological potential:

*11. As required under Schedule F, Clause F.5.1 of the Hobart Planning Scheme 1982, please provide a Statement of Historical Archaeological Potential or a Statement by a qualified archaeologist that either the site has been surveyed previously and not to be of historical archaeological significance or that the nature of the development will not result in the destruction of any aspects of items of historical archaeological significance.*

This report seeks to satisfy this requirement based on the properties past usage, occupancy and structural development.

### 1.2 Location and extent of subject allotment

The location of the subject allotments within the context of the Hobart CBD is indicated in the plan below.



Plan showing location of re-development area (solid blue)





Current view of three properties showing adjacent federation style housing and late 20<sup>th</sup> century street side extension.

### 1.3 Objectives

For the purposes of lodging the relevant development application the consultant was requested to prepare a statement of Archaeological Potential in accordance with HCC regulations and the Tasmanian Heritage Council's Practice Note Number 2. This document is expected to contain:

- An investigation of the documentary evidence relating to the site's history and physical development over time to the present day.
- A best fit location based interpretation of the location of all known structures and related features.
- A ranked sensitivity assessment of the contents of the property
- Recommendations regarding their future archaeological assessment and mitigation.

### 1.4 Methodology

This investigation essentially consisted of the following activities:

- A preliminary site inspection of the property
- Collation of historic plans and surveys from the Tasmanian Lands Department
- Authorship of this report.

## 2.0 PREVIOUS INVESTIGATIONS

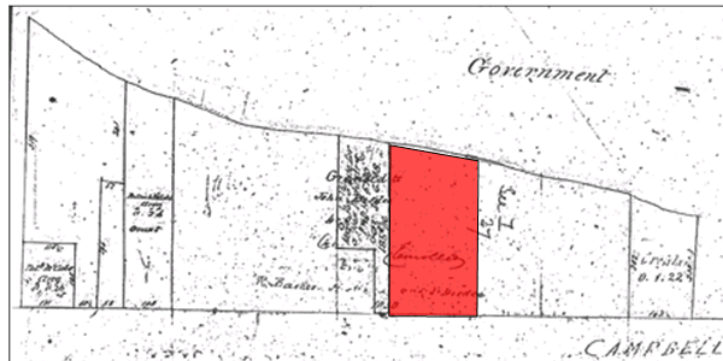
No previous historical or archaeological assessments of the subject properties are known to have been undertaken.

### 3.0 DOCUMENTARY ANALYSIS

This section summarises the known structural content of the allotment over time using various historic plans and surveys. The area containing the subject allotments on each survey is marked in solid red.

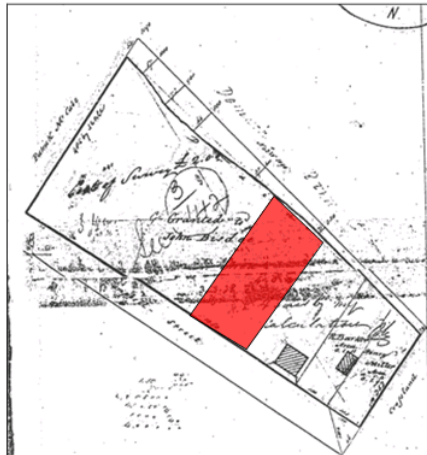
#### 3.1 Undated Crown survey (1830's?)

This Crown survey (Folio 3 page 142) shows some of the recently surveyed in allotments on the relevant Campbell Street frontage but does not indicate the presence of any buildings there.



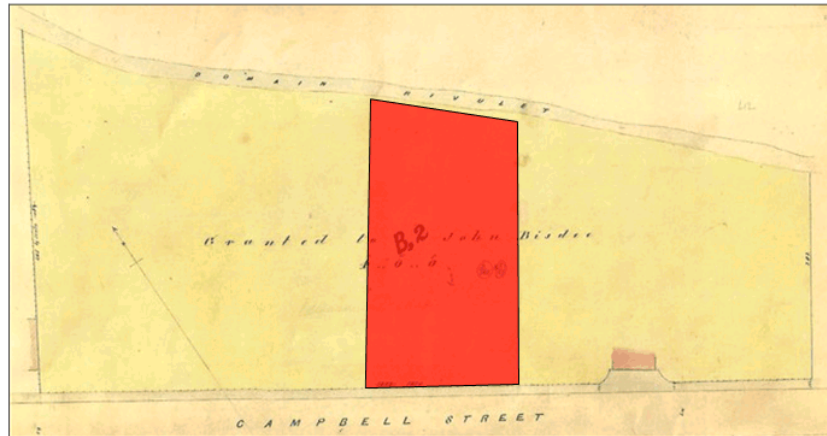
#### 3.2 Crown survey of 1839

This survey (Folio 7 Page 27) shows the presence of two structures at the intersection of Campbell Street and Patrick Street which is slightly east of the subject allotments. However the allotments themselves remain un-developed.



**3.3 Sprent's survey (1840's)**

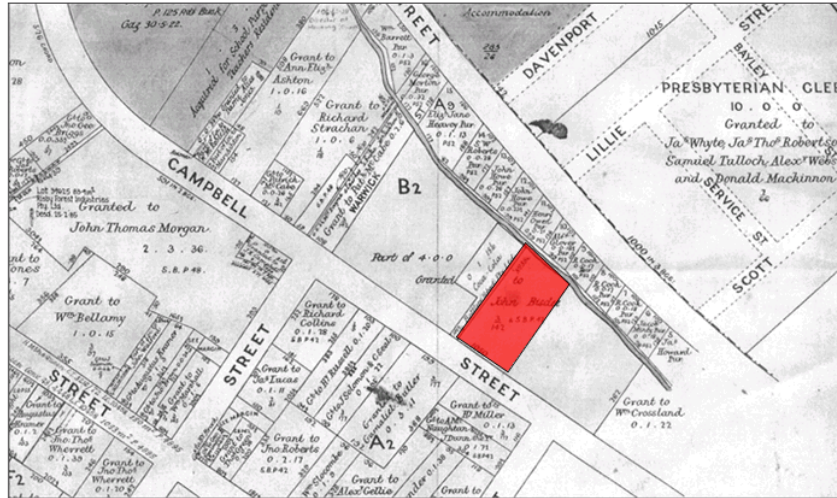
Crown Surveyor Sprent's notable city survey undertaken during the 1840's shows one of these buildings at the Campbell/Patrick Street intersection but still no developments on the subject allotments.

**3.4 Metropolitan Drainage Board Plan of c1903**

This section of a city wide drainage survey (AOT ref. HOBART No. 4) undertaken at the turn of the last century still fails to show any structural developments within the three subject allotments.

**3.5 County chart (c1910)**

This section of the county chart shows some additional sub division adjacent to the subject area but still no building development.



#### 4.0 ANALYSIS OF ARCHAEOLOGICAL POTENTIAL

This section summarises the probability of finding archaeological remains within the sub surface of the subject allotment.

##### 4.1 Documentary sources

There is no documentary evidence of any occupancy or structural development within the subject allotments prior to the 20<sup>th</sup> century.

##### 4.2 On site inspection

The presence of two Federation style houses indicates that the earliest buildings on the subject allotments date from the early 20<sup>th</sup> century (c1910-1918).

#### 5.0 STATEMENT OF ARCHAEOLOGICAL POTENTIAL

The complete absence of any apparent development on the subject allotments certainly minimises the possibility that they contain any substantive or significant historical archaeological vestiges related to buildings.

The undeveloped nature of the allotments until the 20<sup>th</sup> century possibly suggests that although subject to ownership they were used for agricultural or pastoral purposes. These activities would have left few physical remnants apart from fence lines or low stone walls.

**In summary it is therefore stated that the subject allotments have minimal historical archaeological potential.**

## 6.0 RECOMMENDATIONS

- Due to the minimal archaeological potential assigned to all three allotments no additional archaeological works or constraints are recommended.
- However if development related excavation work exposes substantive physical building fabric not apparently related to the 20<sup>th</sup> century federation structures, an archaeologist should be consulted immediately.

## **7.0 REFERENCES**

Assorted Crown Surveys from the Lands Titles Department

Planning: #236446

**Property**

175 CAMPBELL STREET HOBART TAS 7000

**People****Applicant \***JMG Engineers and Planners obo BUILDING GROUP  
APPRENTICESHIP SCHEME LTD117 Harrington Street  
HOBART TAS 7000  
6231 2555  
planning@jmg.net.au**Owner \***JMG Engineers and Planners obo BUILDING GROUP  
APPRENTICESHIP SCHEME LTD117 Harrington Street  
HOBART TAS 7000  
6231 2555  
planning@jmg.net.au**Entered By**FRANCES BEASLEY  
117 HARRINGTON STREET  
HOBART TAS 7000  
62312555  
iboss@jmg.net.au**Use**

Other

**Details**

Have you obtained pre application advice?

If YES please provide the pre application advice number eg PAE-17-xx

Are you applying for permitted visitor accommodation as defined by the State Government Visitor Accommodation Standards? Click on help information button for definition. \*

☒ No

Is the application for SIGNAGE ONLY? If yes, please enter \$0 in the cost of development, and you must enter the number of signs under Other Details below. \*

☒ No

If this application is related to an enforcement action please enter Enforcement Number



## Details

What is the current approved use of the land / building(s)? \*

residential and office

Please provide a full description of the proposed use or development (i.e. demolition and new dwelling, swimming pool and garage) \*

Demolition the existing buildings, construction multiple mixed use building

Estimated cost of development \*

16000000.00

Existing floor area (m2)

Proposed floor area (m2)

Site area (m2)

## Carparking on Site

Total parking spaces

Existing parking spaces

N/A

☒ Other (no selection chosen)

## Other Details

Does the application include signage? \*

☒ No

How many signs, please enter 0 if there are none involved in this application? \*

0

## Tasmania Heritage Register

Is this property on the Tasmanian Heritage Register?

## Documents

## Required Documents

Title (Folio text and Plan and Appendix A - Title Information.pdf  
Schedule of Easements) \*

Plans (proposed, existing) \* Appendix C - Proposal Plans (1).pdf

# 175-179 Campbell Street North Hobart

---

LANDSCAPE DEVELOPMENT APPLICATION

FEBRUARY 2022

ARCADIA





Issue c  
Date 10/02/2022  
Prepared By  
Michael Barnett, Principal  
Georgia Alexander, Senior Landscape Architect

Arcadia Sydney  
Jones Bay Wharf, Lower Deck, Suite 76  
26-32 Pirrama Road, Pyrmont NSW 2009  
P 02 8571 2900  
E [sydney@arcadiala.com.au](mailto:sydney@arcadiala.com.au)  
[arcadiala.com.au](http://arcadiala.com.au)  
[@arcadialandarch](https://www.instagram.com/arcadialandarch)  
Arcadia Landscape Architecture Pty Ltd  
ABN 83 148 994 870

*We respectfully acknowledge the Traditional Custodians of the lands where we live and work. We acknowledge their unique ability to care for Country and deep spiritual connection to it. We honour Elders past, present and emerging whose knowledge and wisdom has and will ensure the continuation of cultures and traditional practices.*

CONTENTS

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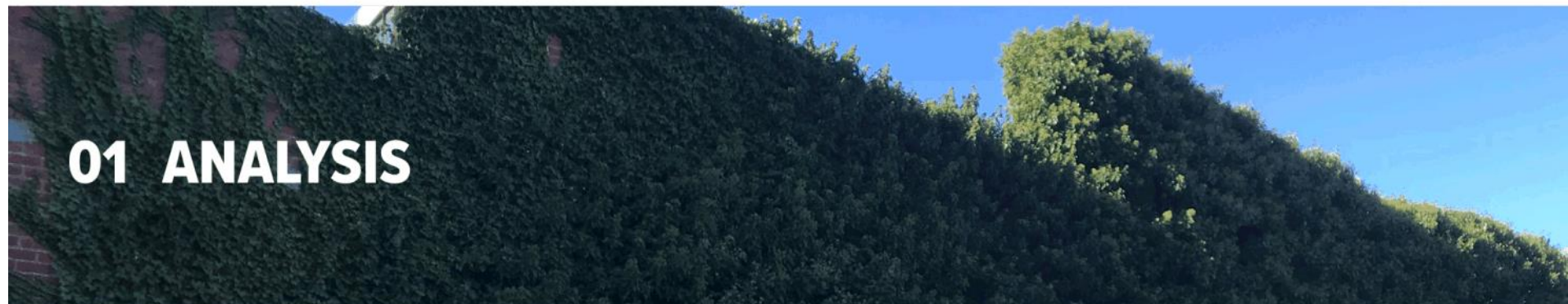
01 ANALYSIS

- / Local Character
- / Landscape + Approach

---

02 CONCEPT

- / Landscape Strategy
- / Landscape Masterplan
- / Sections
- / Precedent Imagery
- / Planting palette





ANALYSIS  
LOCAL CHARACTER

The Site sits on Campbell Street in North Hobart, adjoining the Brooker Highway to the north-east and only a short walk from the bustling food and beverage strip in Elizabeth Street, North Hobart.

The new development will lend itself to expansive views across town towards Mount Wellington and also into the canopy of the existing mature trees along the highway.

Adjoining buildings and their planted character have the opportunity to act as borrowed views to greenery for residents within our site.

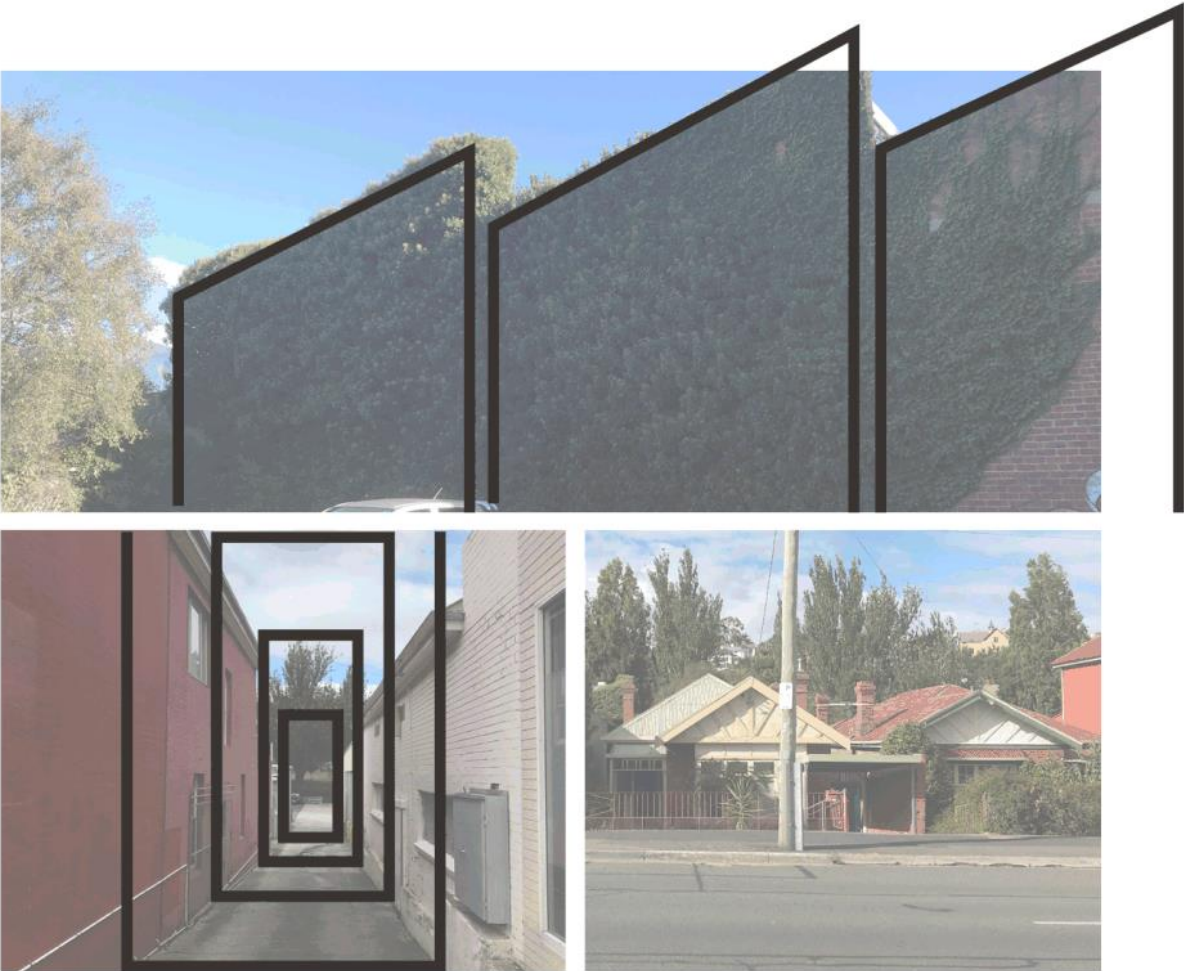
Similarly, the heritage value of the existing houses is something we wish to integrate into the landscape design in a seamless yet contemporary way.



ANALYSIS  
LANDSCAPE + APPROACH

The landscape approach aims to draw upon the existing heritage elements on site as well as the existing planted character and borrowed views into nearby greenery. We aim to connect the site with its surroundings through engaging the front courtyards to the street frontage.

The courtyard spaces are small in scale, so providing ample amenity is a challenge within the site. The aim is to create flexible spaces that can be actively used throughout the year. A variety in amenity in these spaces will enrich the precinct, providing multiple opportunities for gathering and occupying as well as individual use. The landscape 'platforms' designed throughout the site are an efficient way to enhance amenity whilst also playing on the formal lines of the surrounding building character







CONCEPT  
LANDSCAPE STRATEGY



CONNECT

Connect the site with it's surroundings through fully engaging the street frontage to the heritage courtyards below. Activate these street edges and bring people into and around the site to experience, stay and engage, whilst displaying an attractive street presence



ENGAGE

Engage the community through providing appropriate communal and individual space within the site. Integrate flexible programming of spaces to encourage communal use.



IDENTITY

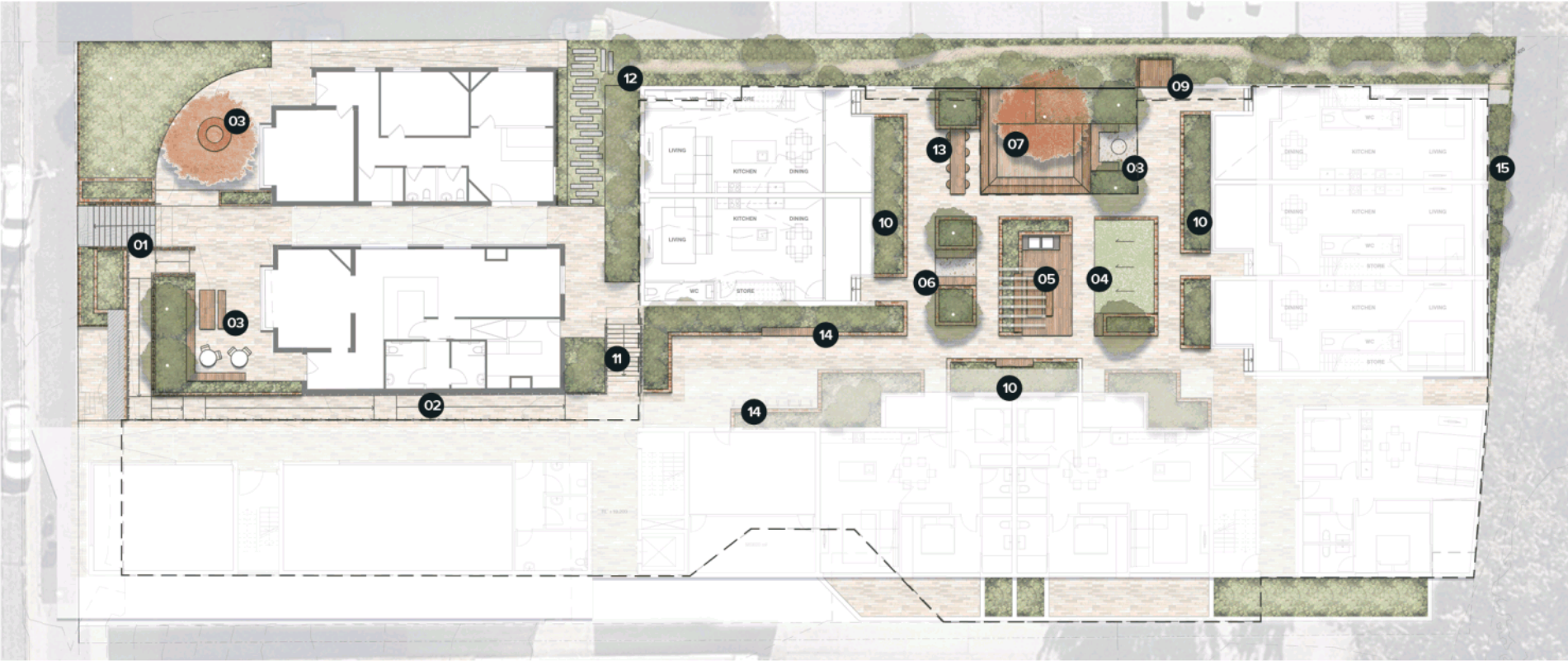
Provide various open space typologies to enable a rich precinct with multiple opportunities for gathering & occupying. Leverage these spaces off the site's unique qualities to create a range of interesting experiences that cater for all users.



SEASONAL

Create flexible zones that can be actively used throughout the year by taking advantage of the environmental conditions of sunlight and comfort in winter, and shade and breezes in summer

CONCEPT  
LANDSCAPE MASTERPLAN



Legend

- 01/ Central stair/access point

02/ Accessible path (1:14) down to lower courtyard level

03/ Courtyard with sloped planting

04/ Raised/sloping turf areas

05/ Central dining area. Table, chairs, BBQs + overhead structure with climbers
- 06/ Passive seating areas

07/ Sunken deck seating area with large tree

08/ Firepit + lounge

09/ Small viewing platform suspended off edge

10/ Generous raised planters to ensure privacy for residents

11/ Stairway to lower level and back of heritage building
- 12/ Informal access path within planting zone

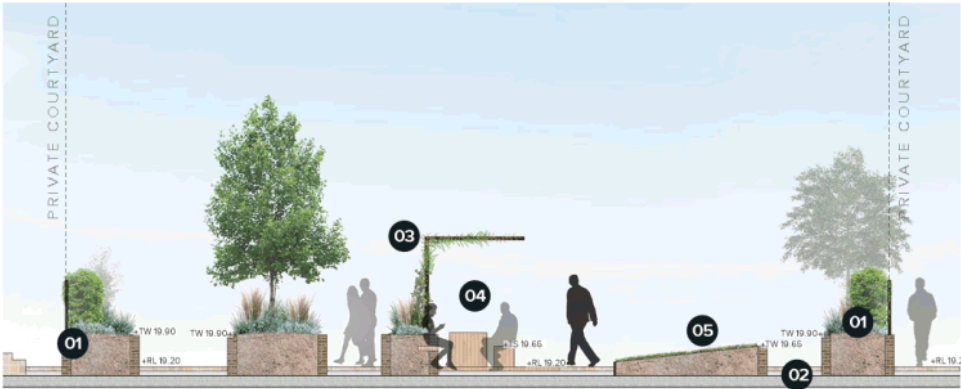
13/ Bar table with stools/powerpoints for outdoor laptop use

14/ Raised planters with integrated seating edge

15/ Deep soil planting

— Basement extent

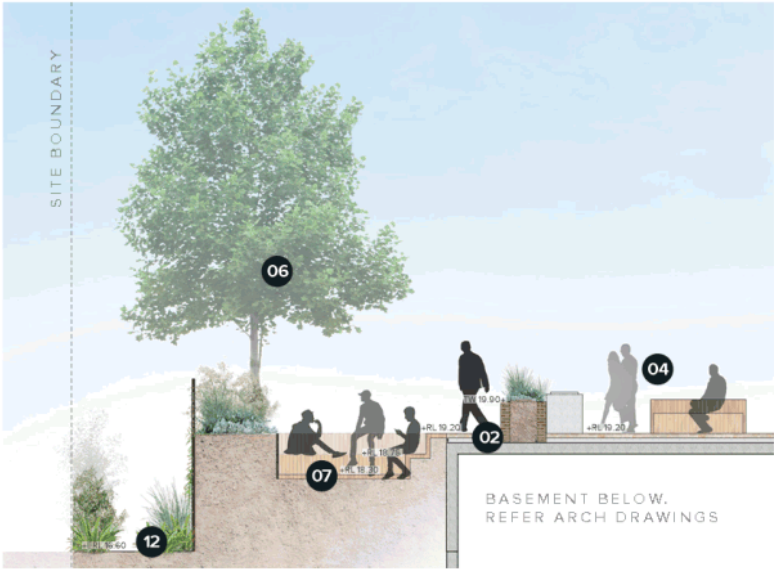
CONCEPT  
LANDSCAPE SECTIONS GROUND FLOOR



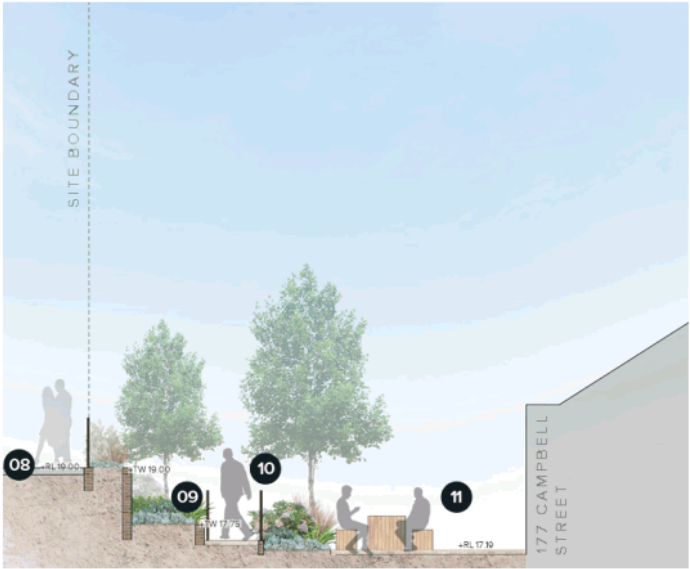
SECTION A

Legend

- 01/ Raised planters with privacy planting
- 02/ Paved circulation spaces
- 03/ Overhead arbor with climbers
- 04/ Outdoor dining setting + BBQ
- 05/ Sloping turf area
- 06/ Feature tree in deep soil zone
- 07/ Sunken deck seating terraces
- 08/ Campbell Street footpath
- 09/ Tiered planters with planting to help soften walls
- 10/ Handrails to 1:14 accessible ramp connection
- 11/ Flexible outdoor seating/dining area adjacent to Cafe tenancy
- 12/ Maintenance path to lower level

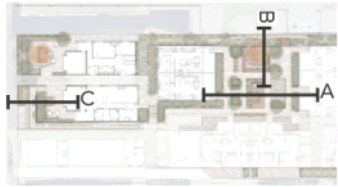


SECTION B



SECTION C

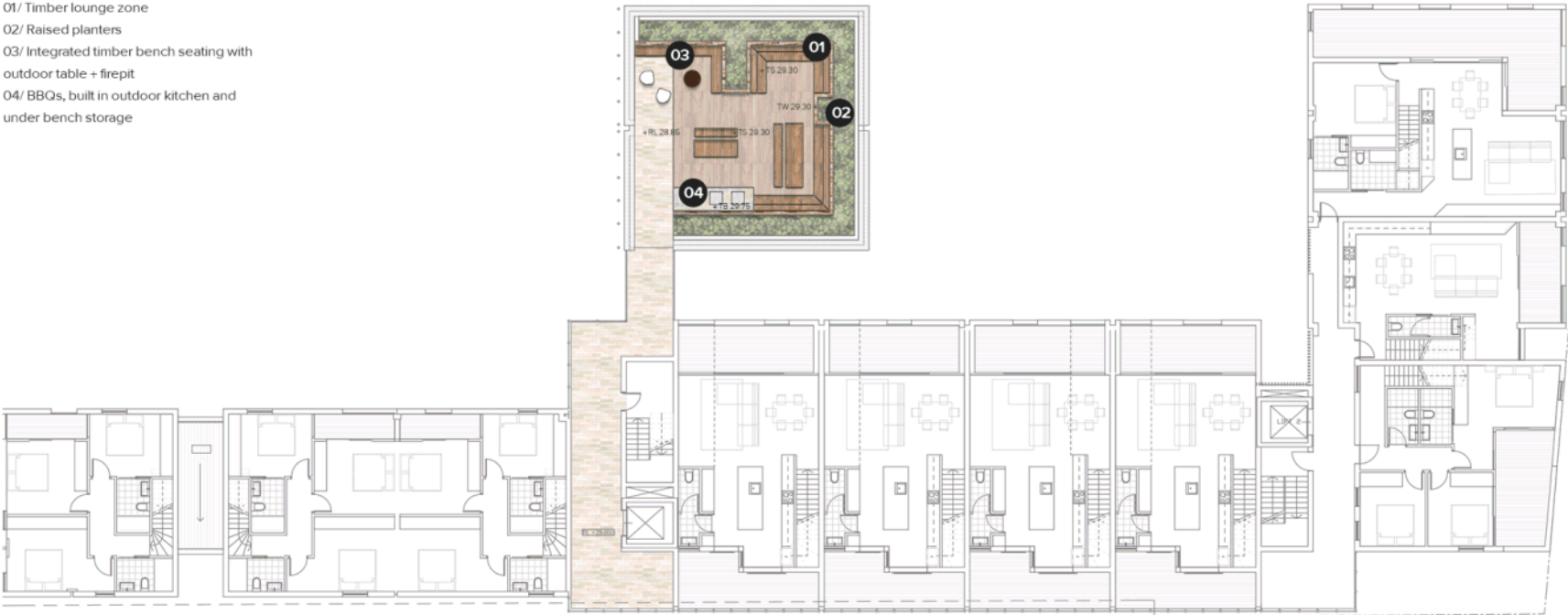
KEY PLAN





CONCEPT  
LEVEL 3 ROOF TERRACE

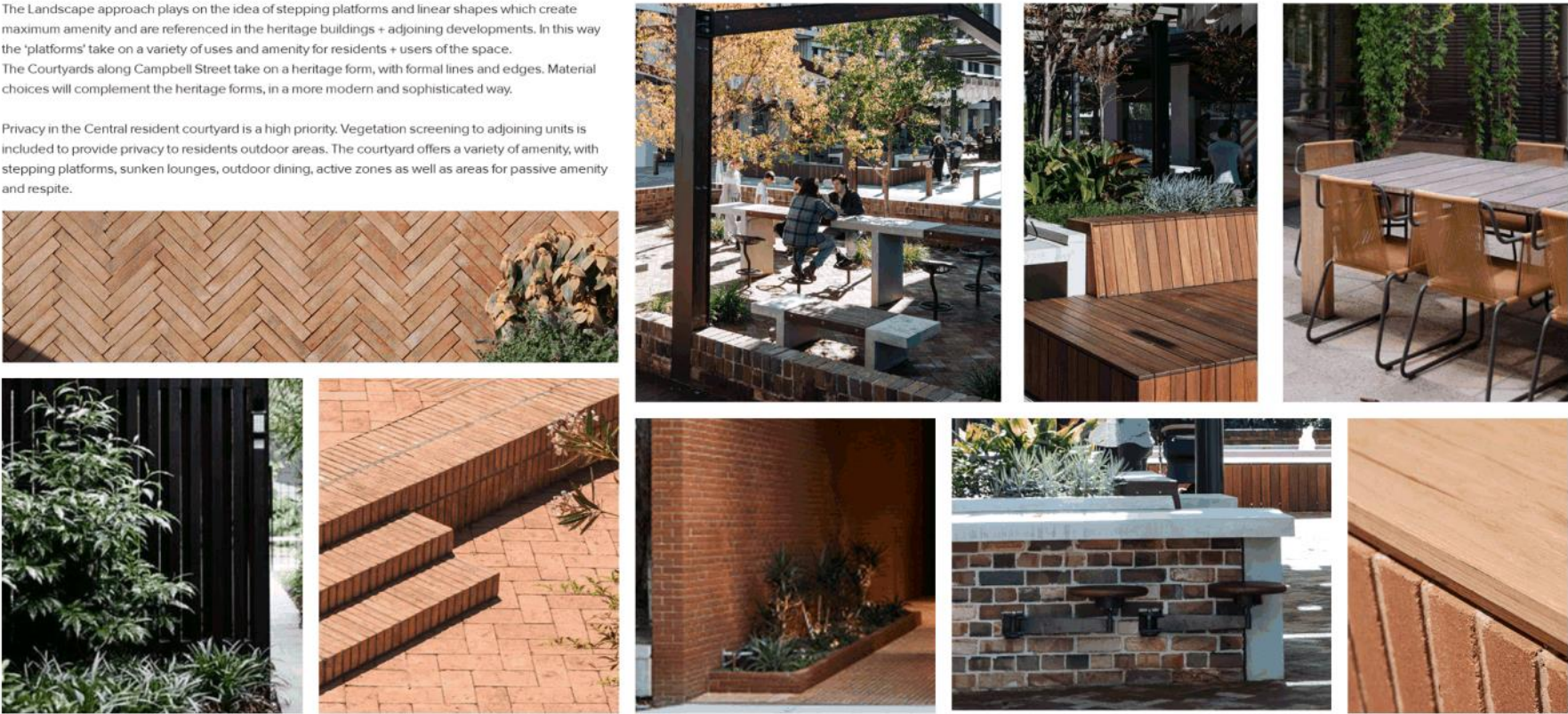
- Legend**
- 01/ Timber lounge zone
  - 02/ Raised planters
  - 03/ Integrated timber bench seating with outdoor table + firepit
  - 04/ BBQs, built in outdoor kitchen and under bench storage



CONCEPT  
PRECEDENT IMAGERY

The Landscape approach plays on the idea of stepping platforms and linear shapes which create maximum amenity and are referenced in the heritage buildings + adjoining developments. In this way the 'platforms' take on a variety of uses and amenity for residents + users of the space. The Courtyards along Campbell Street take on a heritage form, with formal lines and edges. Material choices will complement the heritage forms, in a more modern and sophisticated way.

Privacy in the Central resident courtyard is a high priority. Vegetation screening to adjoining units is included to provide privacy to residents outdoor areas. The courtyard offers a variety of amenity, with stepping platforms, sunken lounges, outdoor dining, active zones as well as areas for passive amenity and respite.





CONCEPT  
PLANTING PALETTE

1. Acer Palmatum (Japanese Maple)
2. Betula sp. (Silver Birch)
3. Lagerstroemia indica 'Natchez' (Crepe Myrtle)
4. Magnolia Grandiflora Greenback
5. Hydrangea macrophylla (Hydrangea)
6. Lomandra longifolia 'Tanika' (mat rush)
7. Buxus Sempervirens (English Box)
8. Poa labillardierei (Common Tussock)
9. Blechnum nudum (Fishbone Water Fern)
10. Asplenium nidus (Birds Nest Fern)
11. Myoporum parvifolium (Creeping boobialla)
12. Adiantum aethiopicum (Common maidenhair)
13. Viola hederacea (Native Violet)

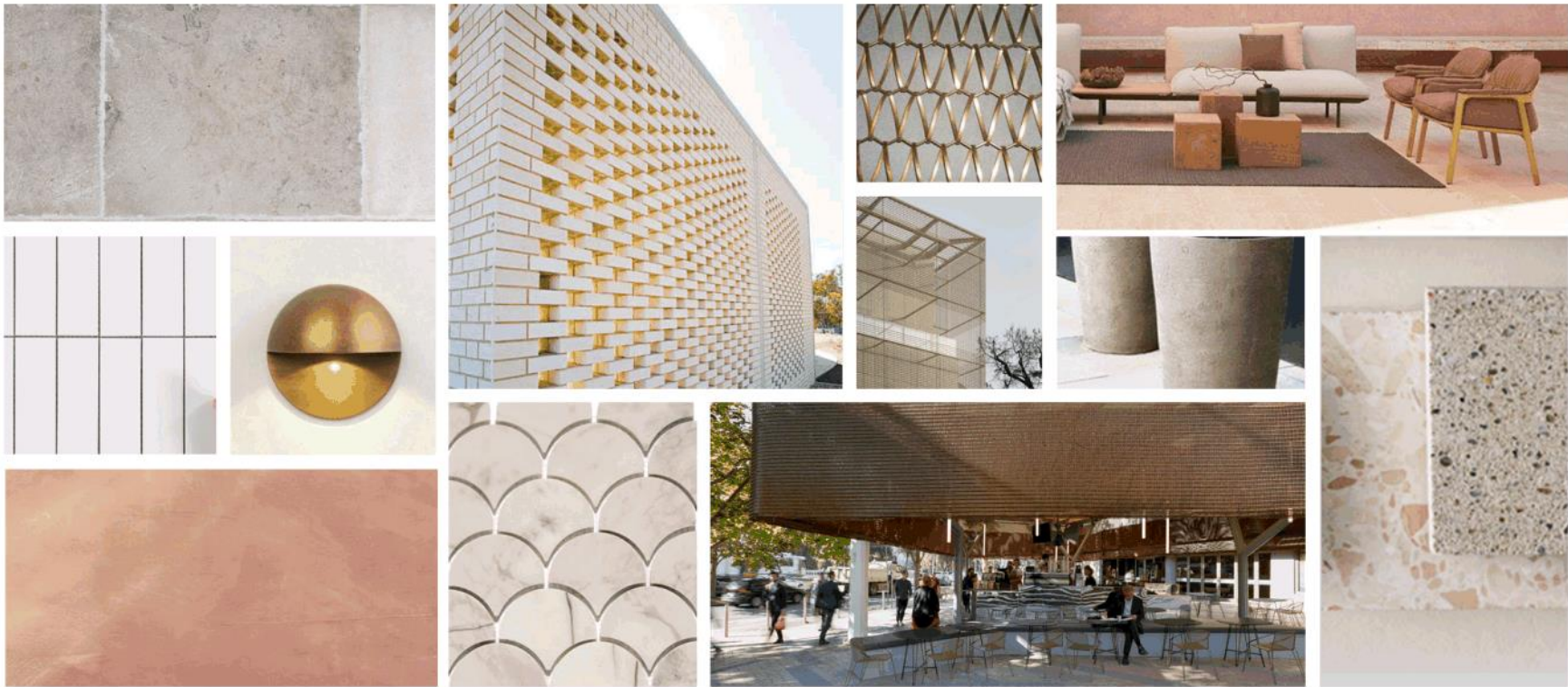




ARCADIA



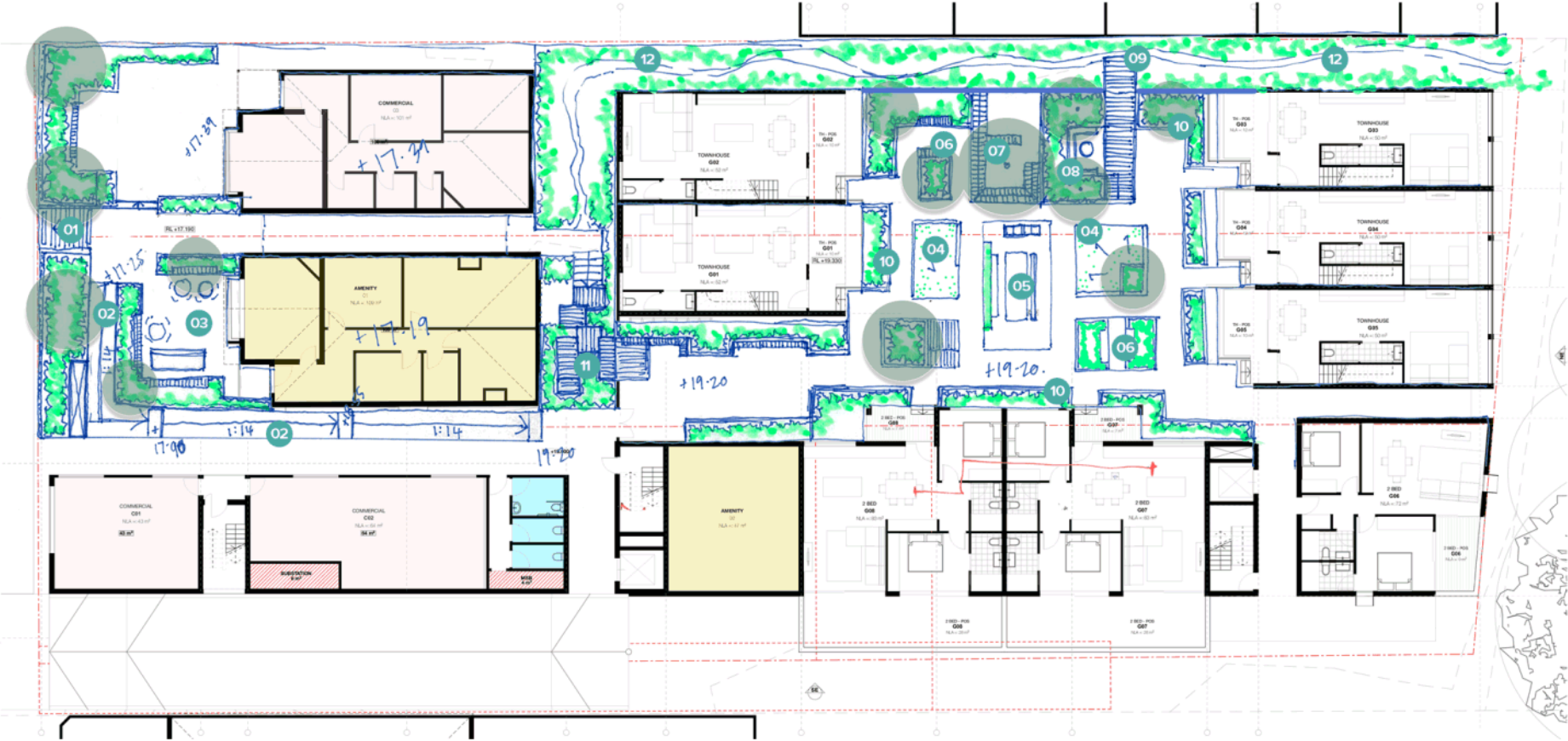
CONCEPT  
MATERIALS PALETTE





CONCEPT  
LANDSCAPE SKETCH PLAN

WIP



Legend

- |   |   |   |
|---|---|---|
| 01/ Central stair/access point                                    | 06/ Passive seating areas with climbers       | 10/ Generous raised planters to ensure privacy for residents                          |
| 02/ Accessible path (1:14) down to lower courtyard level          | 07/ Sunken deck seating area with large tree  | 11/ Stepping platforms/informal stairway to lower level and back of heritage building |
| 03/ Flexible courtyard + outdoor dining space to facilitate cafe  | 08/ Firepit + lounge                          | 12/ Informal access path within planting zone   |
| 04/ Raised/sloping turf areas                                     | 09/ Small viewing platform suspended off edge |   |
| 05/ Central dining area. Table, chairs, BBQs + overhead structure |   |   |

VISION  
LANDSCAPE VISION





Enquiries to: City Life  
Phone: (03) 6238 2711  
Email: coh@hobartcity.com.au

16 March 2022

(JMG Engineers & Planning OBO Building Group  
Apprenticeship Scheme Ltd)  
117 Harrington St  
HOBART TAS 7000

mailto: planning@jmg.net.au

Dear Sir/Madam

**179 CAMPBELL STREET & 177 CAMPBELL STREET & 175 CAMPBELL STREET &  
169 - 173 CAMPBELL STREET, HOBART & ADJACENT ROAD RESERVE  
WORKS IN ROAD RESERVE, RELOCATION OF STORMWATER MAIN, TREE  
REMOVAL & AWNING NOTICE OF LAND OWNER CONSENT TO LODGE A PLANNING  
APPLICATION - GMC-21-81**

**Site Address:**

175, 177, 179 Campbell Street and 169-173 Campbell Street and Adjacent Road Reservation

**Description of Proposal:**

Partial Demolition, Alterations, New Building for 26 Multiple Dwellings, Food Services,  
Business and Professional Services, General Retail and Hire, and Subdivision (Lot  
Consolidation)

**Applicant Name:**

JMG Engineers & Planning  
OBO Building Group Apprenticeship Scheme Pty Ltd

**PLN (if applicable):**

PLN-21-471

I write to advise that pursuant to Section 52 of the *Land Use Planning and Approvals Act*  
1993, I grant my consent on behalf of the Hobart City Council as the owner/administrator of the

Hobart Town Hall  
50 Macquarie Street  
Hobart TAS 7000

Hobart Council Centre  
16 Elizabeth Street  
Hobart TAS 7000

City of Hobart  
GPO Box 503  
Hobart TAS 7001

T 03 6238 2711  
F 03 6234 7109  
E coh@hobartcity.com.au  
W hobartcity.com.au

CityofHobartOfficial  
ABN 39 055 343 428  
Hobart City Council



above land for you to make application to the City for a planning permit for the development described above and as per the attached documents. I granted consent pursuant to delegation, a copy of which is enclosed.

Please note that the granting of the consent is only for the making of the application and in no way should such consent be seen as prejudicing any decision the Council is required to make as the statutory planning authority.

This consent does not constitute an approval to undertake any works and does not authorise the owner, developer or their agents any right to enter or conduct works on any Council managed land whether subject to this consent or not.

If planning approval is granted by the planning authority, you will be required to seek approvals and permits from the City as both landlord, land manager, or under other statutory powers (such as other legislation or City By-Laws) that are not granted with the issue of a planning permit under a planning scheme. This includes the requirement for you to reapply for a permit to occupy a public space under the City's Public Spaces By-law if the proposal relates to such an area.

Accordingly, I encourage you to continue to engage with the City about these potential requirements.

Yours faithfully



(Glenn Doyle)

**HEAD OF CITY PROJECTS**

Relevant documents/plans:


DA-22-9849 - Aborist Report by Jerry Romanski 11 February 2022  
DA-22-9838 - Landscape Architectural Plans by Arcadia February 2022  
DA-22-9837 - Stormwater Connection Profile by JMG Engineers and Planners  
DA-22-9836 - Concept Servicing Plan by JMG Engineers and Planners  
DA-22-9835 - Amended Architectural Plans by Cumulus

Hobart Town Hall  
50 Macquarie Street  
Hobart TAS 7000

Hobart Council Centre  
16 Elizabeth Street  
Hobart TAS 7000

City of Hobart  
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Hobart TAS 7001

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F 03 6234 7109  
E [coh@hobartcity.com.au](mailto:coh@hobartcity.com.au)  
W [hobartcity.com.au](http://hobartcity.com.au)

 CityofHobartOfficial  
ABN 39 055 343 428  
Hobart City Council



## City of Hobart

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### INSTRUMENT OF DELEGATION

---

#### General Delegation

#### Head of Intergovernmental Relations and Partnerships

---

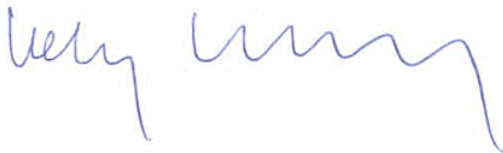
##### *Section 64 of the Local Government Act 1993*

I, Kelly Grigsby, Chief Executive Officer, being the General Manager as appointed by Council pursuant to Section 61 of the *Local Government Act 1993 (Tas)* ("the Act") hereby delegate pursuant to Section 64 of the Act, the following powers and functions to the Head of City Projects:

1. to sign an application; and
2. to provide written permission to make an application;

pursuant to section 52(1B) of the *Land Use Planning and Approvals Act 1993*, except where an application pursuant to that section is recommended for refusal by Council officers.

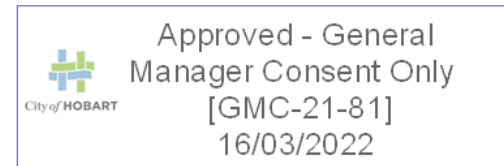
Dated this 24th day of February 2022



**SIGNED**

Kelly Grigsby  
(Chief Executive Officer)

Being the General Manager as appointed by Council pursuant to section 61 of the *Local Government Act 1993 (Tas)*



## Development and trees at / near 175 – 179 Campbell St, Hobart

### - Development impact assessment

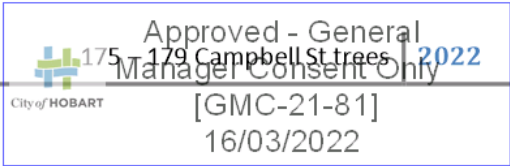
**Jerry Romanski**

**Arborist / Consultant**  
*B.Sc (Hons),  
Ass. Dip. App. Sc. (Hort/Arb)*

**29 Winston Avenue  
Seven Mile Beach TAS. 7170**

**M: 0419 363 011  
jerry@treeinclined.com**

**11 February 2022**



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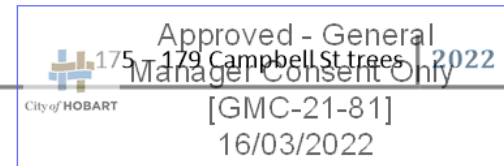
Figure 3. Basement and ground services plan by JMG. .... 5

2. Tree survey data ..... 6

3. Tree removal plan ..... 9

4. Trees within the Brooker Avenue reserve ..... 10

5. Tree protection measures ..... 11



## 1. Terms of reference

- This development impact assessment follows from the preliminary survey requested by Dean Coleman, managing Director of Solutionswon Group Pty Ltd and completed in March 2021.
- Solutionswon Group Pty Ltd proposes to redevelop 175 – 179 Campbell St as a multi-unit residential complex (Figure 1, 2 and 3).
  - Documents used in this evaluation are:  
Folio of drawings (25) by Cumulus titled “BGAS 175-179 Campbell Street Multi-Residential Development”, title page date 13/01/2022

Figure 1. Extracted figure from Cumulus drawing J20823-A-700 for the project, view from Campbell St.



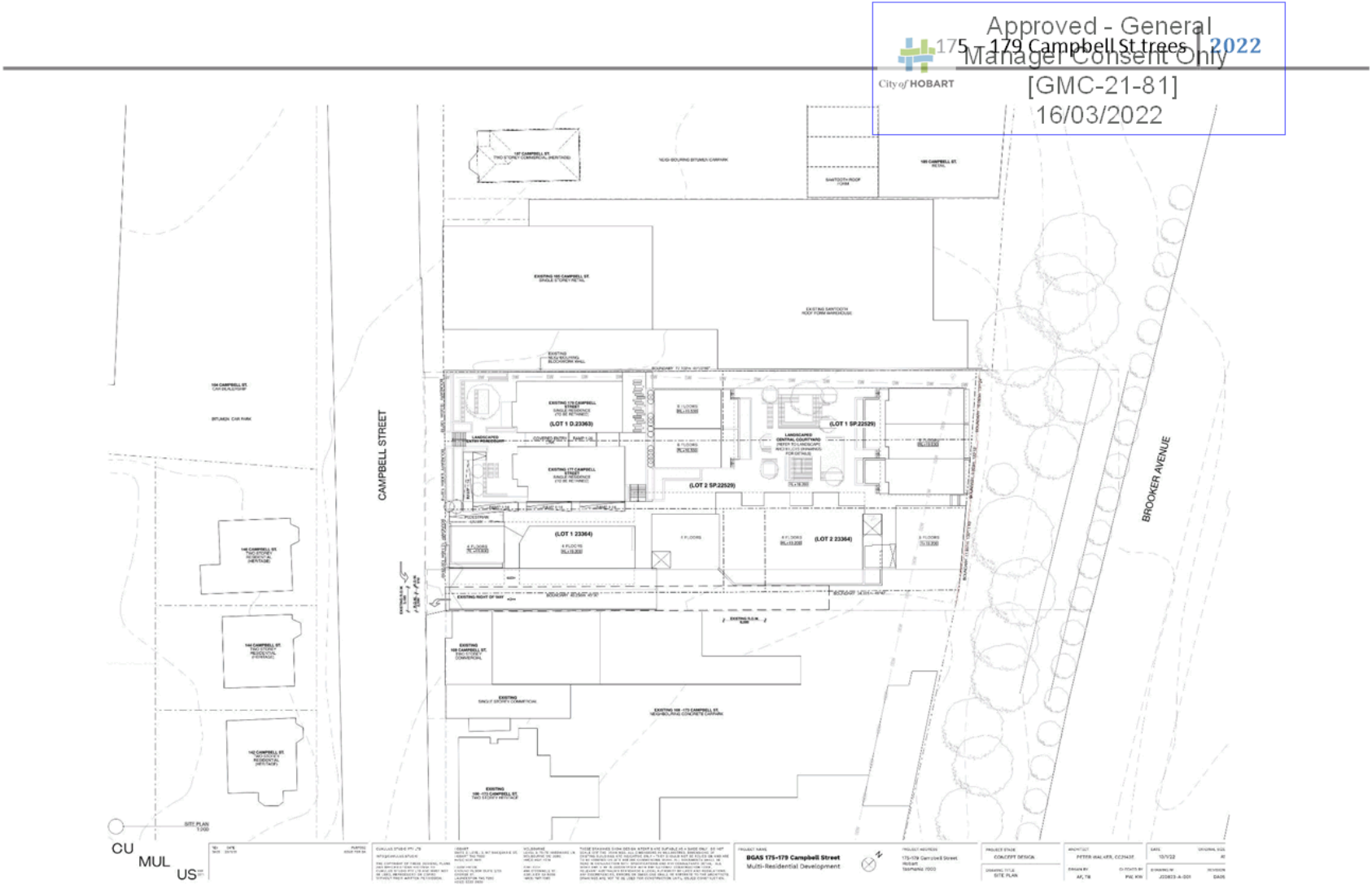


Figure 2. Site Plan by Cumulus.



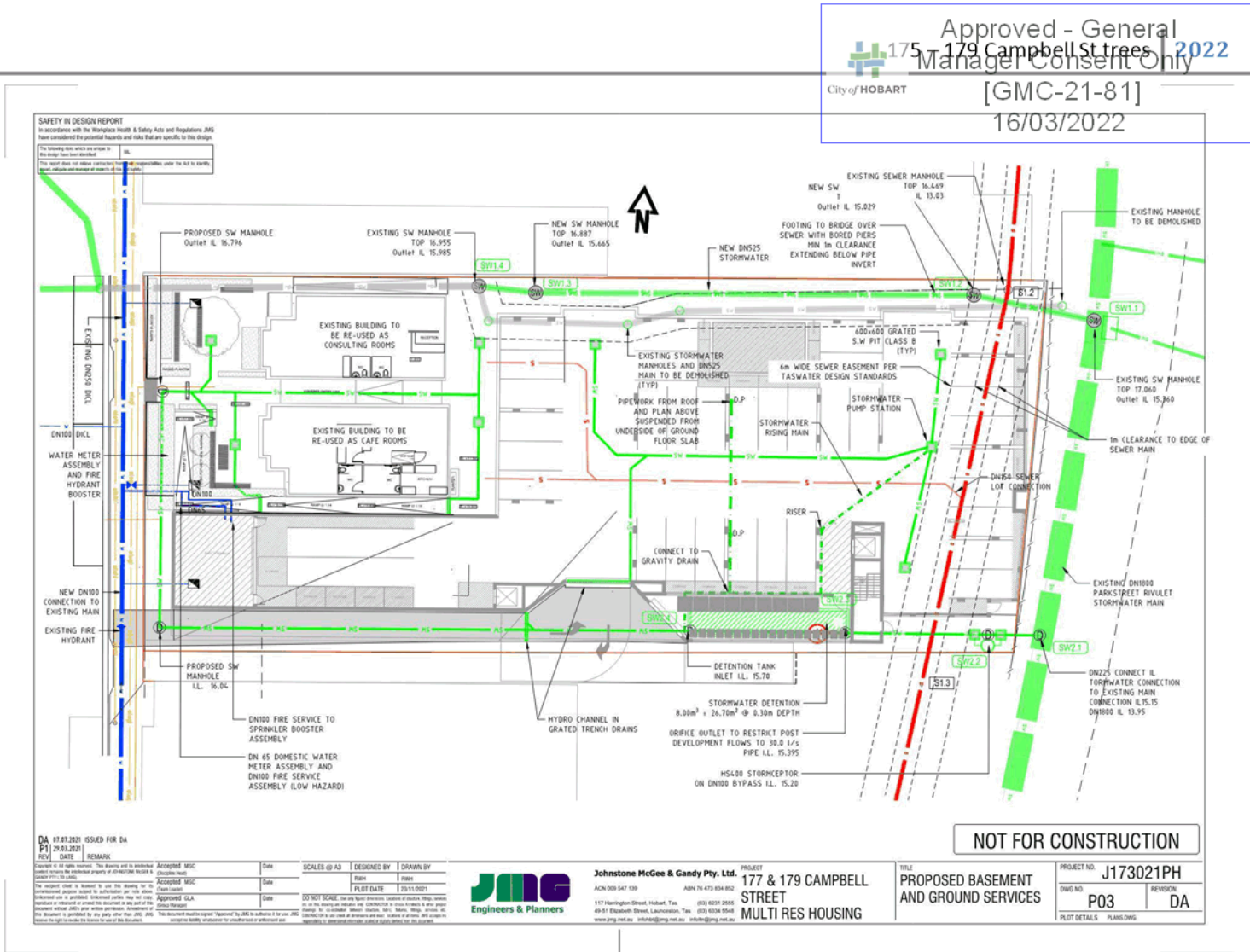


Figure 3. Basement and ground services plan by JMG.



## 2. Tree survey data

Tree	- tree number in Fig. 2
SPECIES	- botanic name of tree.
HGT	- approximate tree height (m)
DAB	- trunk diameter above root flare
DBH.	- DBH, at 1.4m
H/S	- assessment of tree health / structure (G- good, F- fair, P- poor, D- dead)
Comments	- key points affecting the tree's potential for maintenance within the scope of the proposed development
SRZ	- structural root zone radius (m)*
TPZ	- standard tree protection zone radius (m)*
Encroachment	- nature of encroachment into the TPZ
Enc %	- Proportion of the TPZ affected by the encroachment
Ret.	- proposed tree retention: Y – yes, to be retained; N – no, tree to be removed
Rem_Reas	- reason for proposed tree removal

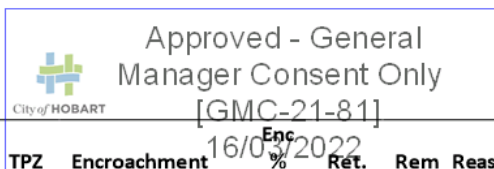
- SRZ and TPZ dimensions were guided by AS 4970-2009, Protection of trees on development sites.



Figure. 2 Aerial view of 175 – 179 Campbell St (ListMap), marked with approximate locations of the existing trees at and near these properties. Data was collected in March 2021.

Table 1. Inspection data .


TREE	SPECIES	HGT	DAB	DBH	H/S	Comments	SRZ	TPZ	Encroachment	Enc %	Ret.	Rem Reason
1	Populus nigra 'Italica'	22	0.83	0.83	G/G	In road reserve to north-east	3.1	10.0	New building, new stormwater connection to main	3	Y	
2	Populus simonii	10	0.36	0.35	F/F	In road reserve to north-east. Shallow roots on bank to NE.	2.2	4.2			Y	
3	Populus alba 'Pyramidalis'	23	0.82	0.74	G/F	In road reserve to north-east. Minor leader resting/growing over fence. Shallow roots visible within car park.	3.0	8.9	New building, new stormwater connection	29	N	Extensive damage to roots within SRZ expected
4	Prunus sp.	7	0.25	0.18	G/G	In road reserve to north-east	1.8	2.2	New building	39	N	Extensive damage to roots within SRZ expected
5	Acer psedoplatanus	11	0.36	0.33	G/G	In road reserve to north-east	2.2	4.0			Y	
6	Fraxinus oxycarpa	9	0.67	0.63	F/F	In road reserve to north-east. Low branches extend over car park.	2.8	7.6	New building	2.4	Y	
7	Eucalyptus nicholii	14	0.56	0.53	G/F	Historic scaffold branch tear out. Bark inclusions			New building		N	Within footprint of new building
8	Populus alba 'Pyramidalis'	15	0.4	0.36	G/G				New building		N	Within footprint of new building
9	Leptospermum petersonii	4	0.19	0.14	G/P	Poor tree form - crown biased heavily to south			New building		N	Within footprint of new building
10	Acer psedoplatanus	8	0.24	0.19	G/G				New building		N	Within footprint of new building
11	Populus alba 'Pyramidalis'	23	0.54	0.51	G/G	Shallow roots lifting bitumen car park surface. Many suckers nearby. Mature Callistemon sp. nearby			New building		N	Within footprint of new building
12	Populus alba 'Pyramidalis'	24	0.75	0.6	G/G	Pyracantha sp. shrub nearby			New building		N	Within footprint of new building
13	Cupressus sempervirens	8	0.23	0.21	G/G	Mature Callistemon sp. x2 nearby			New building		N	Within footprint of new building



Approved - General  
 175 - 179 Campbell St trees 2022  
 Manager Consent Only  
 City of HOBART [GMC-21-81]  
 16/03/2022

TREE	SPECIES	HGT	DAB	DBH	H/S	Comments	SRZ	TPZ	Encroachment	Enc %	Ret.	Rem Reason
14	Pittosporum eugenioides 'Variegatum'	4				Multi-leader shrub			New building		N	Within footprint of new building
15	Cupressus sempervirens	10	0.47	0.4	G/G	Multi-leader from ground level - broad crown.			New building		N	Within footprint of new building
16	Cupressus sempervirens	8	0.55	0.4	G/F	Multi-leader from ground level - broad crown.			New building		N	Within footprint of new building
17	Pittosporum tenuifolium	6	0.37	0.3	F/F	Multi-leader from ground level.			New building		N	Within footprint of new building
18	Alnus jorulensis	9	0.6	0.5	G/P	Tri-leader from ground, large scaffold has failed and is resting on shed roof. Branches sitting on shed roof.			New building		N	Within footprint of new building
19	Laurus nobilis	9			G/P	Multi-leader from ground level with many more suckers nearby			New building		N	Within footprint of new building
20	Sambucus nigra	4			F/F	Philadelphus microphyllus climbing over tree.			New storm water infrastructure		N	Extensive damage to roots within SRZ expected
21	Pyracantha coccinea	7	0.35	0.3	G/F	Overgrown with Jasminum polyanthum			New storm water infrastructure		N	Within footprint of new stormwater infrastructure
22	Fuchsia arborescens	3		0.12	F/G	Hydrangea shrubs on N and W boundaries, Yucca and succulents in front garden		1.4			Y	
23	Camellia japonica	4		0.1	G.G			1.2			Y	
24	Camellia japonica	3		0.1	F/G			1.2			Y	
25	Prunus sp.	4		0.13	G/G	Young cherry tree			Retaining wall construction		N	Within footprint of new retaining wall
26	Prunus sp.	4		0.14	G/G	Young cherry tree, multi-leader from ground, overgrown with rose.			Retaining wall construction		N	Within footprint of new retaining wall



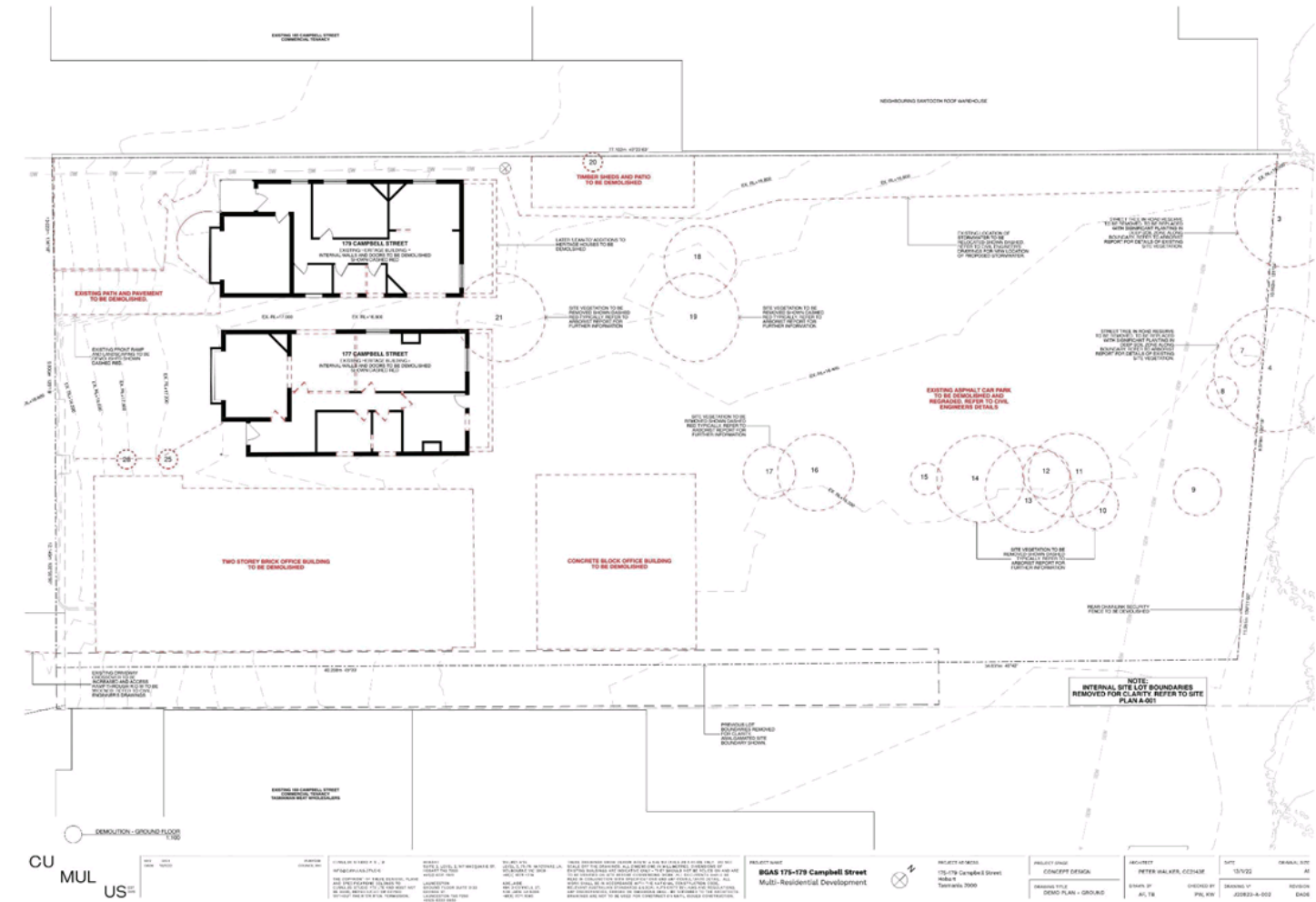


175-179 Campbell Street  
City of HOBART

Approved - General  
Manager Consent Only  
[GMC-21-81]  
16/03/2022

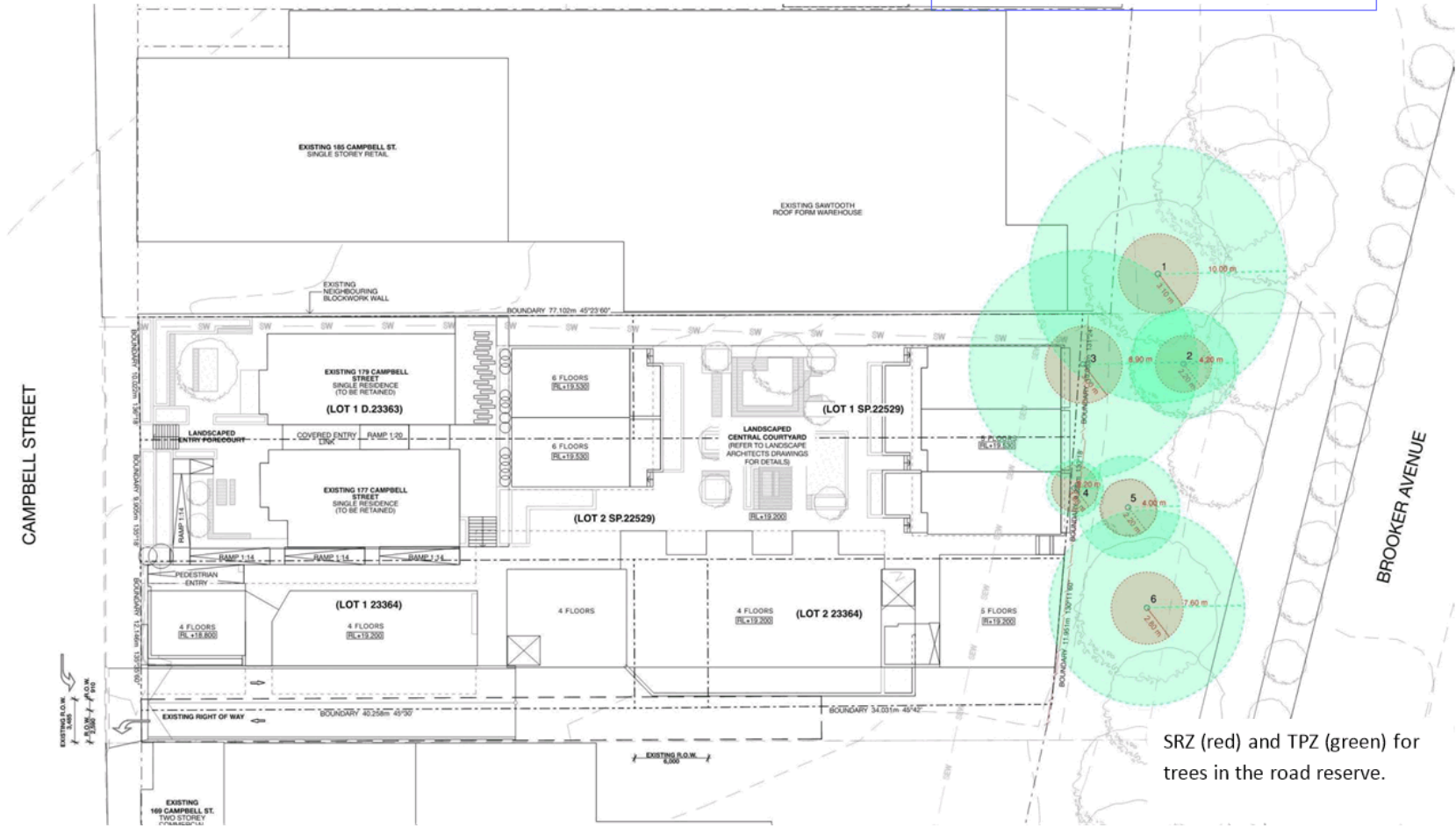
2022

3. Tree removal plan



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175 - 179 Campbell St trees 2022  
Manager Consent Only  
[GMC-21-81]  
16/03/2022

4. Trees within the Brooker Avenue reserve





175 – 179 Campbell St trees | 2022

- Trees 1, 2, 5 and 6 will not be impacted by the proposed works or the impact will be negligible (see Table 1 above and 5. Tree protection measures).
- Roots of trees 3 and 4 are likely to be extensively damaged by excavation within their SRZ for the building / car park footings – the car park is partly below the existing ground level. The car parking is an essential part of the current design. Tree 3 would be additionally impacted by the removal of the existing stormwater pit and installation of a new stormwater connection to the main that extends along the road reserve (see Figure 3 and the plan above)
  - Trees 3 and 4 would need to be removed.

## 5. Tree protection measures

### Trees 22, 23 and 24

- Personnel and potential plant movement during landscape and construction works near these trees may lead to excessive soil compaction and subsequent decline.
- TPZ of these trees should be marked out with stakes and barrier tape or webbing to exclude foot and machinery traffic, storage of materials and disposal of building waste.

### Trees within the Brooker Avenue reserve

- The removal of trees 3 and 4 should preferably occur with machinery located within the proposed works site to protect the soil and root zones of the nearby reserve trees.
- A barrier fence should be erected at or near the property boundary to exclude movement of machinery over the TPZ of trees within the road reserve following the tree removal.
- Excavation within the site will encounter many large roots near the north-eastern property boundary. Some of those will be poplar and plum roots (trees 3 and 4) but may also include large roots of the road reserve trees. It will be difficult to distinguish between roots of different tree species.
  - Excavation should commence at least 1 m away from the extent of the required cut and proceed toward the north-eastern property boundary to facilitate early detection of large roots.
  - Any exposed roots  $\geq 50$  mm should be carefully exposed and cleanly cut back with a saw rather than left torn by machinery.
  - I advise the engagement of an arborist to stand over and provide advice during excavation along the north-eastern property boundary and near the Brooker Avenue reserve trees.





# 175-179 Campbell Street North Hobart

LANDSCAPE DEVELOPMENT APPLICATION

FEBRUARY 2022

ARCADIA






**ARCADIA**

Issue c  
Date 10/02/2022  
Prepared By  
Michael Barnett, Principal  
Georgia Alexander, Senior Landscape Architect

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Arcadia Landscape Architecture Pty Ltd  
ABN 83 148 994 870

*We respectfully acknowledge the Traditional Custodians of the lands where we live and work. We acknowledge their unique ability to care for Country and deep spiritual connection to it. We honour Elders past, present and emerging whose knowledge and wisdom has and will ensure the continuation of cultures and traditional practices.*

CONTENTS

 Approved - General  
Manager Consent Only  
[GMC-21-81]  
16/03/2022

01 ANALYSIS

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- / Landscape + Approach

02 CONCEPT

- / Landscape Strategy
- / Landscape Masterplan
- / Sections
- / Precedent Imagery
- / Planting palette

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[GMC-21-81]  
16/03/2022





ANALYSIS  
LOCAL CHARACTER

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16/03/2022

The Site sits on Campbell Street in North Hobart, adjoining the Brooker Highway to the north-east and only a short walk from the bustling food and beverage strip in Elizabeth Street, North Hobart.

The new development will lend itself to expansive views across town towards Mount Wellington and also into the canopy of the existing mature trees along the highway.

Adjoining buildings and their planted character have the opportunity to act as borrowed views to greenery for residents within our site.

Similarly, the heritage value of the existing houses is something we wish to integrate into the landscape design in a seamless yet contemporary way.






ANALYSIS  
LANDSCAPE + APPROACH

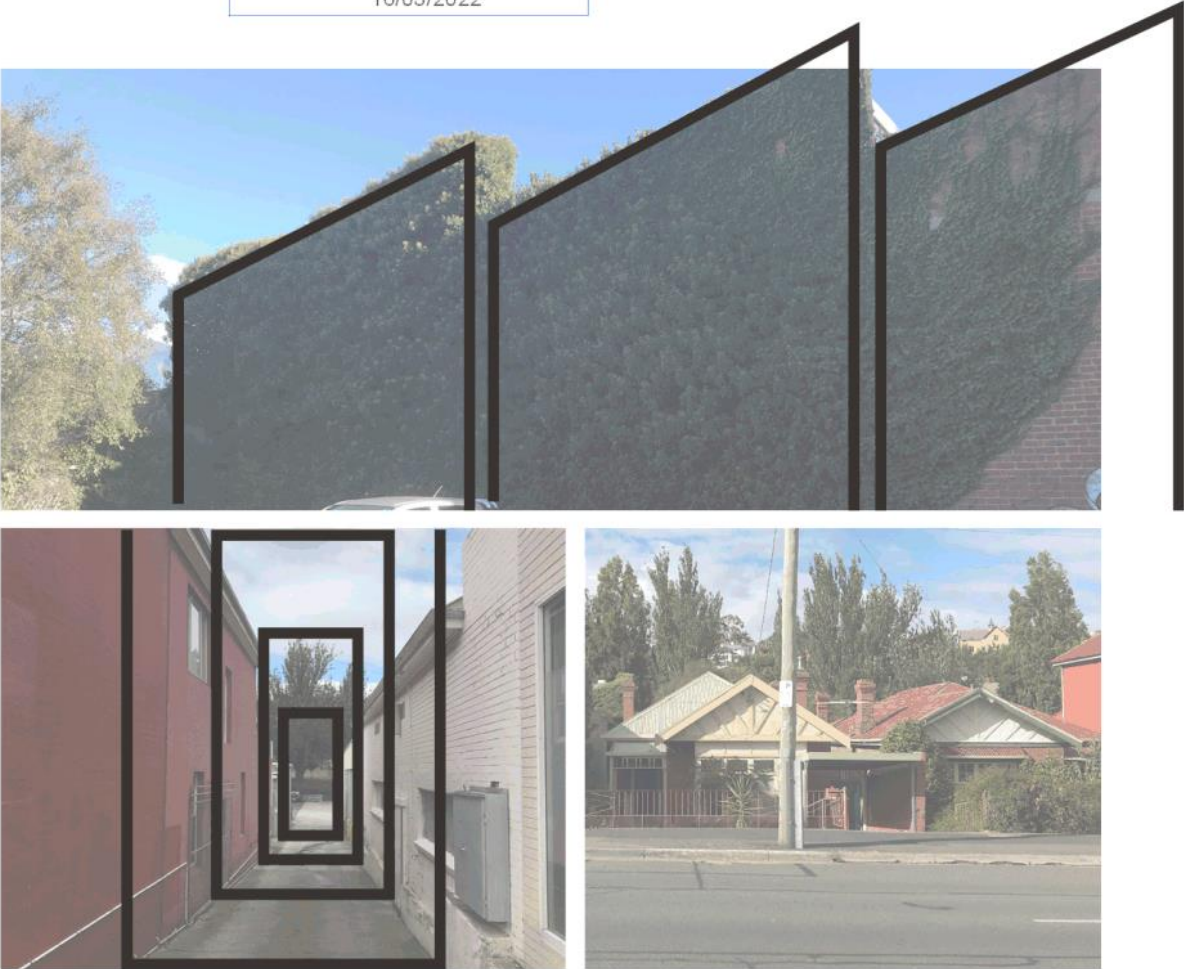
The landscape approach aims to draw upon the existing heritage elements on site as well as the existing planted character and borrowed views into nearby greenery. We aim to connect the site with its surroundings through engaging the front courtyards to the street frontage.


The courtyard spaces are small in scale, so providing ample amenity is a challenge within the site. The aim is to create flexible spaces that can be actively used throughout the year. A variety in amenity in these spaces will enrich the precinct, providing multiple opportunities for gathering and occupying as well as individual use. The landscape 'platforms' designed throughout the site are an efficient way to enhance amenity whilst also playing on the formal lines of the surrounding building character



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16/03/2022



CONCEPT  
LANDSCAPE STRATEGY

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CONNECT

Connect the site with it's surroundings through fully engaging the street frontage to the heritage courtyards below. Activate these street edges and bring people into and around the site to experience, stay and engage, whilst displaying an attractive street presence



ENGAGE

Engage the community through providing appropriate communal and individual space within the site. Integrate flexible programming of spaces to encourage communal use.



IDENTITY

Provide various open space typologies to enable a rich precinct with multiple opportunities for gathering & occupying. Leverage these spaces off the site's unique qualities to create a range of interesting experiences that cater for all users.



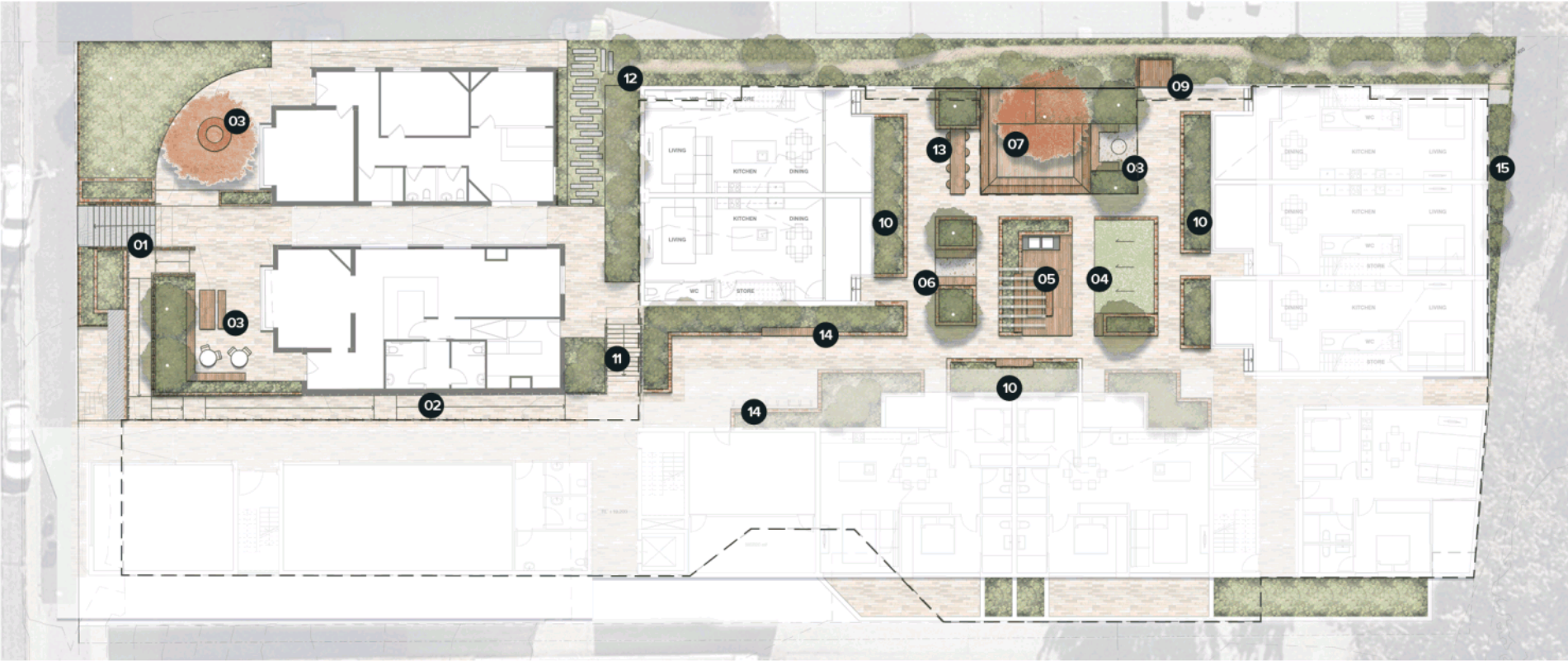
SEASONAL

Create flexible zones that can be actively used throughout the year by taking advantage of the environmental conditions of sunlight and comfort in winter, and shade and breezes in summer



CONCEPT  
LANDSCAPE MASTERPLAN

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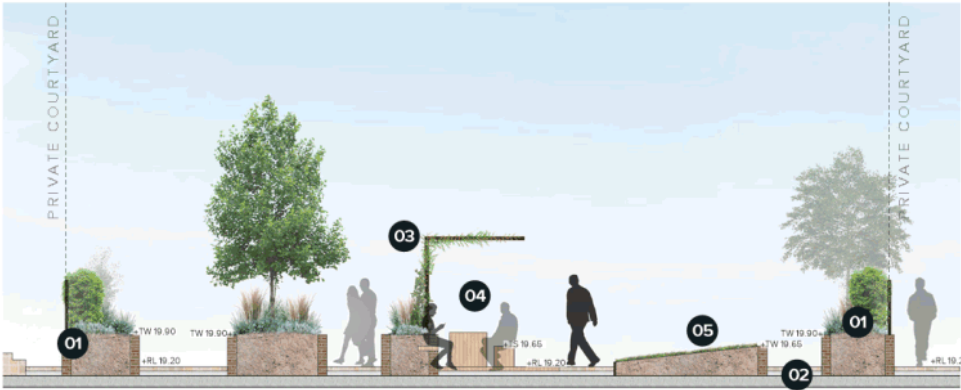


Legend

- 01/ Central stair/access point
- 02/ Accessible path (1:14) down to lower courtyard level
- 03/ Courtyard with sloped planting
- 04/ Raised/sloping turf areas
- 05/ Central dining area. Table, chairs, BBQs + overhead structure with climbers
- 06/ Passive seating areas
- 07/ Sunken deck seating area with large tree
- 08/ Firepit + lounge
- 09/ Small viewing platform suspended off edge
- 10/ Generous raised planters to ensure privacy for residents
- 11/ Stairway to lower level and back of heritage building
- 12/ Informal access path within planting zone
- 13/ Bar table with stools/powerpoints for outdoor laptop use
- 14/ Raised planters with integrated seating edge
- 15/ Deep soil planting
- Basement extent

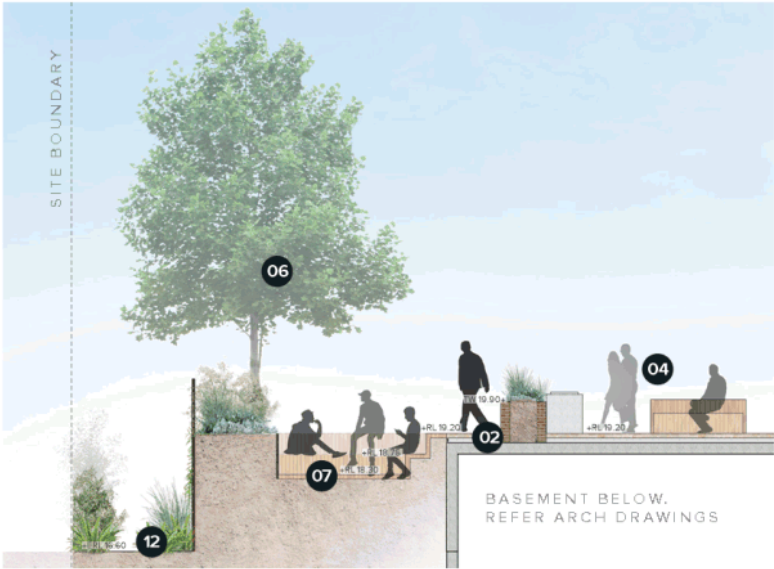
CONCEPT  
LANDSCAPE SECTIONS GROUND FLOOR

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[GMC-21-81]  
16/03/2022

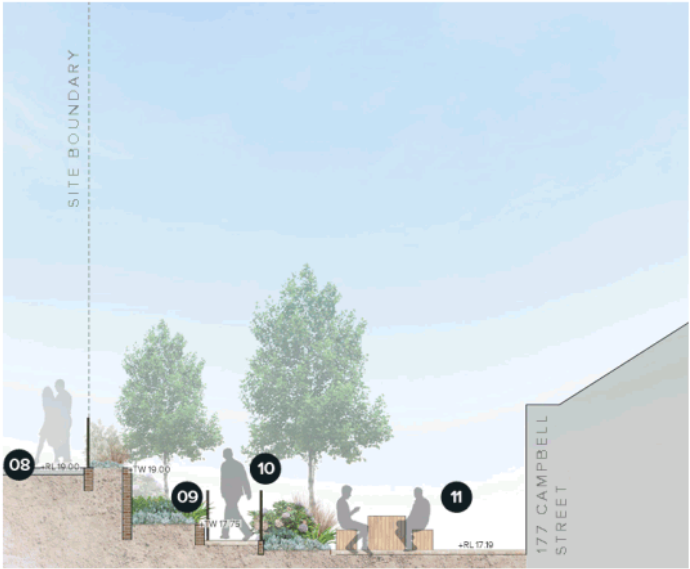


SECTION A

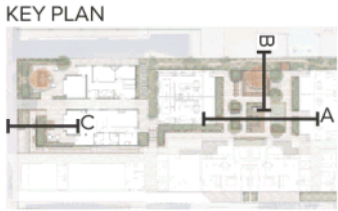
- Legend**
- 01/ Raised planters with privacy planting
  - 02/ Paved circulation spaces
  - 03/ Overhead arbor with climbers
  - 04/ Outdoor dining setting + BBQ
  - 05/ Sloping turf area
  - 06/ Feature tree in deep soil zone
  - 07/ Sunken deck seating terraces
  - 08/ Campbell Street footpath
  - 09/ Tiered planters with planting to help soften walls
  - 10/ Handrails to 1:14 accessible ramp connection
  - 11/ Flexible outdoor seating/dining area adjacent to Cafe tenancy
  - 12/ Maintenance path to lower level



SECTION B



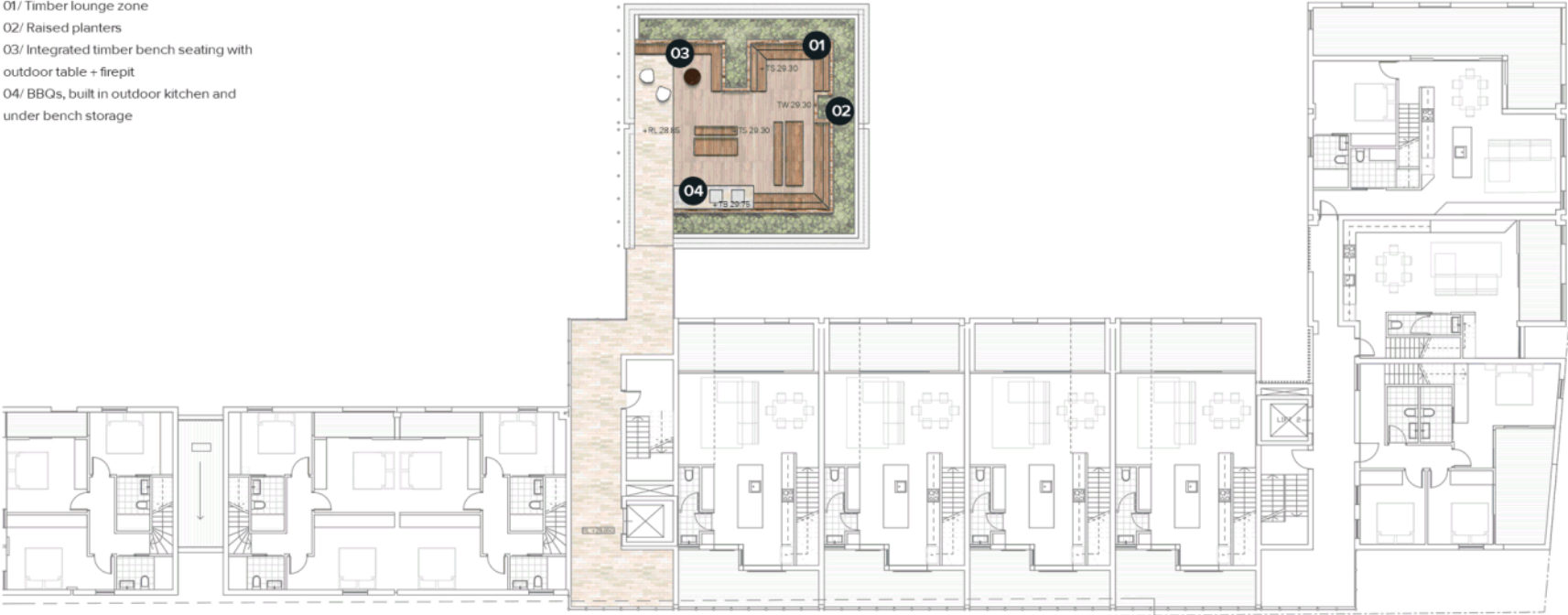
SECTION C



CONCEPT  
LEVEL 3 ROOF TERRACE

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[GMC-21-81]  
16/03/2022

- Legend**
- 01/ Timber lounge zone
  - 02/ Raised planters
  - 03/ Integrated timber bench seating with outdoor table + firepit
  - 04/ BBQs, built in outdoor kitchen and under bench storage



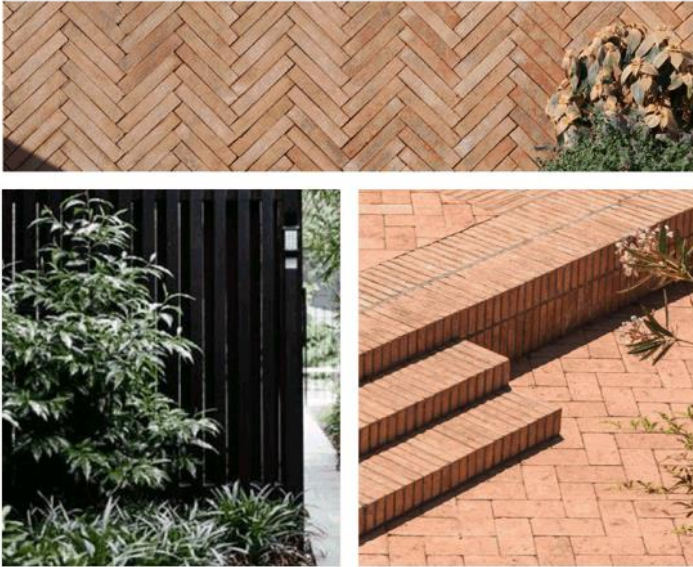


CONCEPT  
PRECEDENT IMAGERY

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The Landscape approach plays on the idea of stepping platforms and linear shapes which create maximum amenity and are referenced in the heritage buildings + adjoining developments. In this way the 'platforms' take on a variety of uses and amenity for residents + users of the space. The Courtyards along Campbell Street take on a heritage form, with formal lines and edges. Material choices will complement the heritage forms, in a more modern and sophisticated way.

Privacy in the Central resident courtyard is a high priority. Vegetation screening to adjoining units is included to provide privacy to residents outdoor areas. The courtyard offers a variety of amenity, with stepping platforms, sunken lounges, outdoor dining, active zones as well as areas for passive amenity and respite.



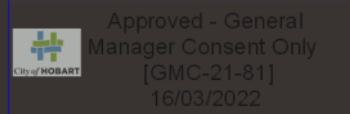


CONCEPT  
PLANTING PALETTE

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16/03/2022

- 1. Acer Palmatum (Japanese Maple)
- 2. Betula sp. (Silver Birch)
- 3. Lagerstroemia indica 'Natchez' (Crepe Myrtle)
- 4. Magnolia Grandiflora Greenback
- 5. Hydrangea macrophylla (Hydrangea)
- 6. Lomandra longifolia 'Tanika' (mat rush)
- 7. Buxus Sempervirens (English Box)
- 8. Poa labillardierei (Common Tussock)
- 9. Blechnum nudum (Fishbone Water Fern)
- 10. Asplenium nidus (Birds Nest Fern)
- 11. Myoporum parvifolium (Creeping boobialla)
- 12. Adiantum aethiopicum (Common maidenhair)
- 13. Viola hederacea (Native Violet)





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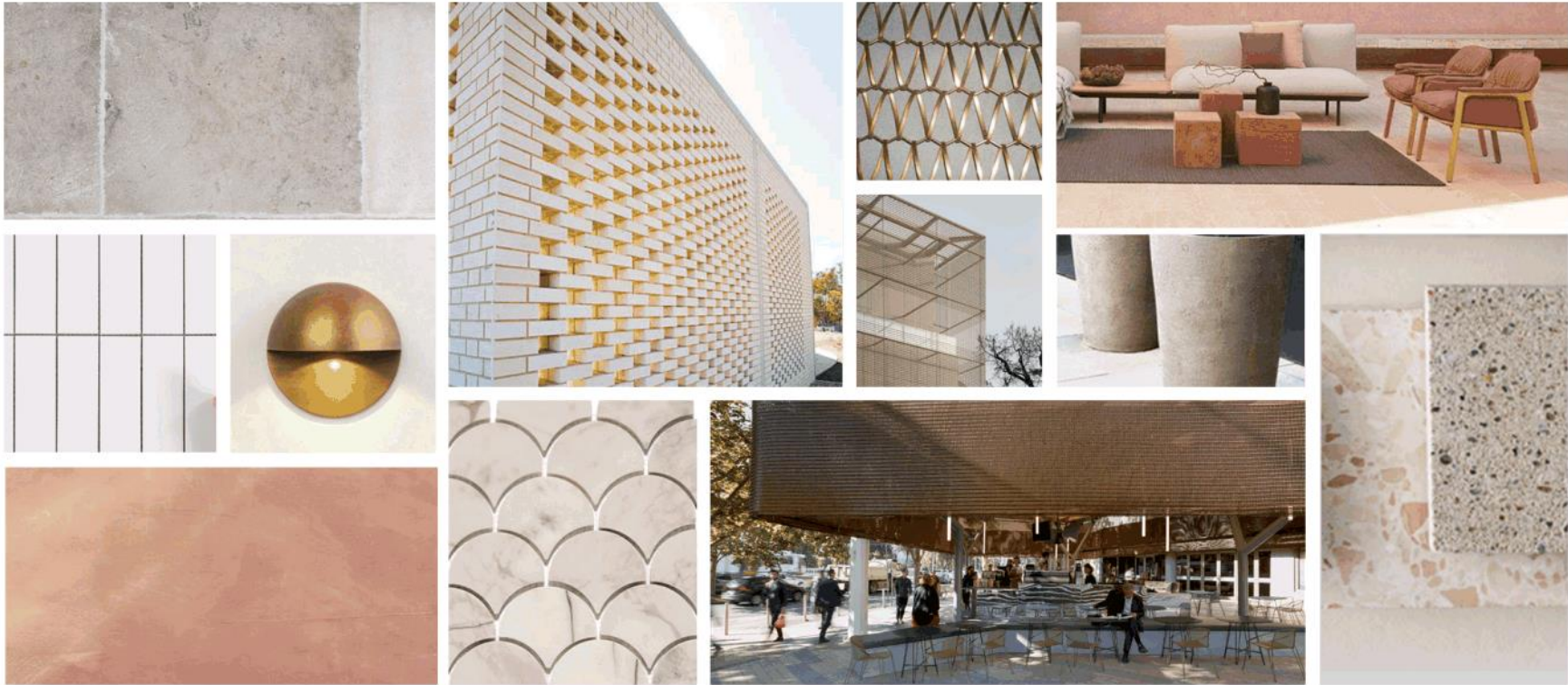
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CONCEPT  
MATERIALS PALETTE

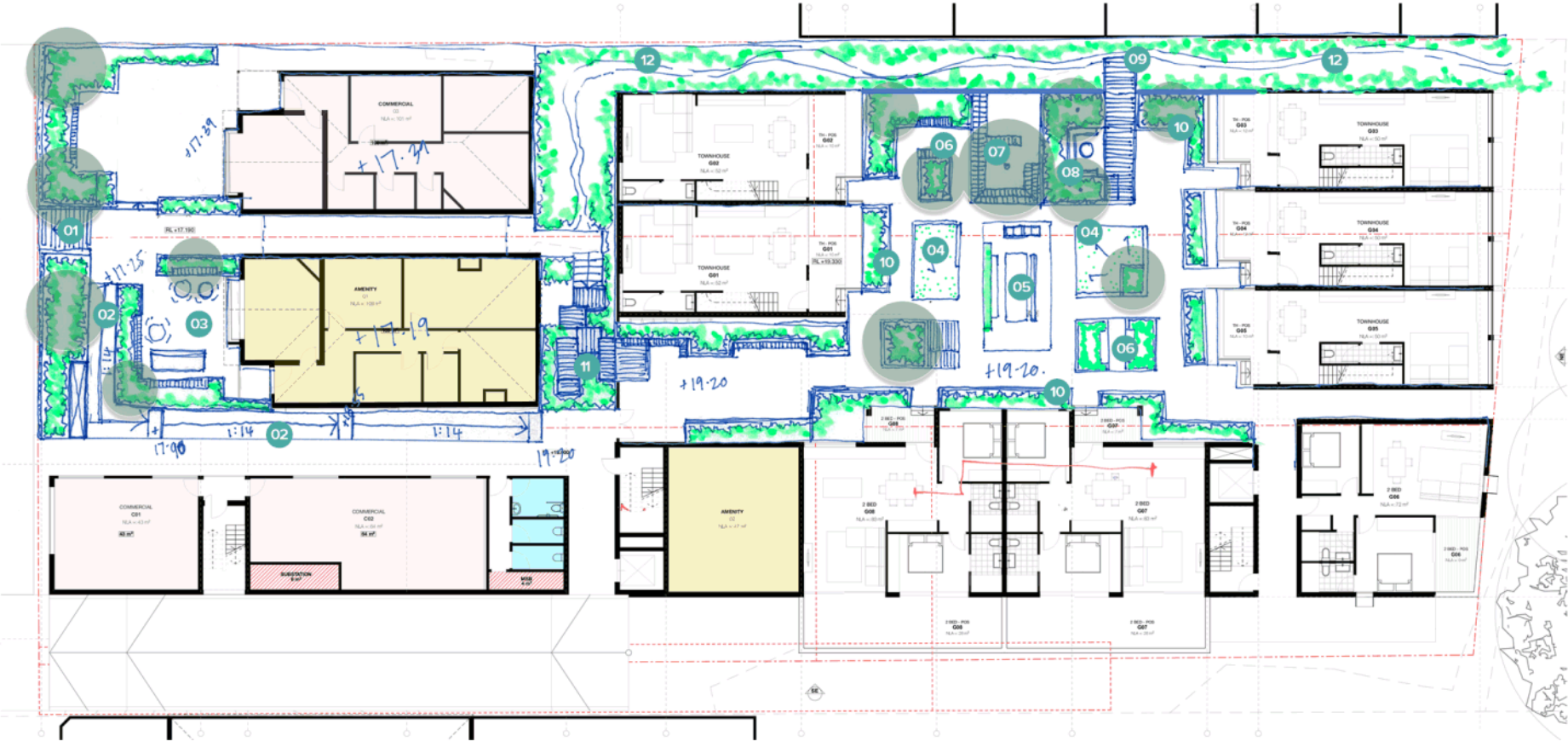
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16/03/2022



CONCEPT  
LANDSCAPE SKETCH PLAN

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16/03/2022

WIP



Legend

- 01/ Central stair/access point
- 02/ Accessible path (1:14) down to lower courtyard level
- 03/ Flexible courtyard + outdoor dining space to facilitate cafe
- 04/ Raised/sloping turf areas
- 05/ Central dining area. Table, chairs, BBQs + overhead structure
- 06/ Passive seating areas
- 07/ Sunken deck seating area with large tree
- 08/ Firepit + lounge
- 09/ Small viewing platform suspended off edge
- 10/ Generous raised planters to ensure privacy for residents
- 11/ Stepping platforms/informal stairway to lower level and back of heritage building
- 12/ Informal access path within planting zone



VISION  
LANDSCAPE VISION

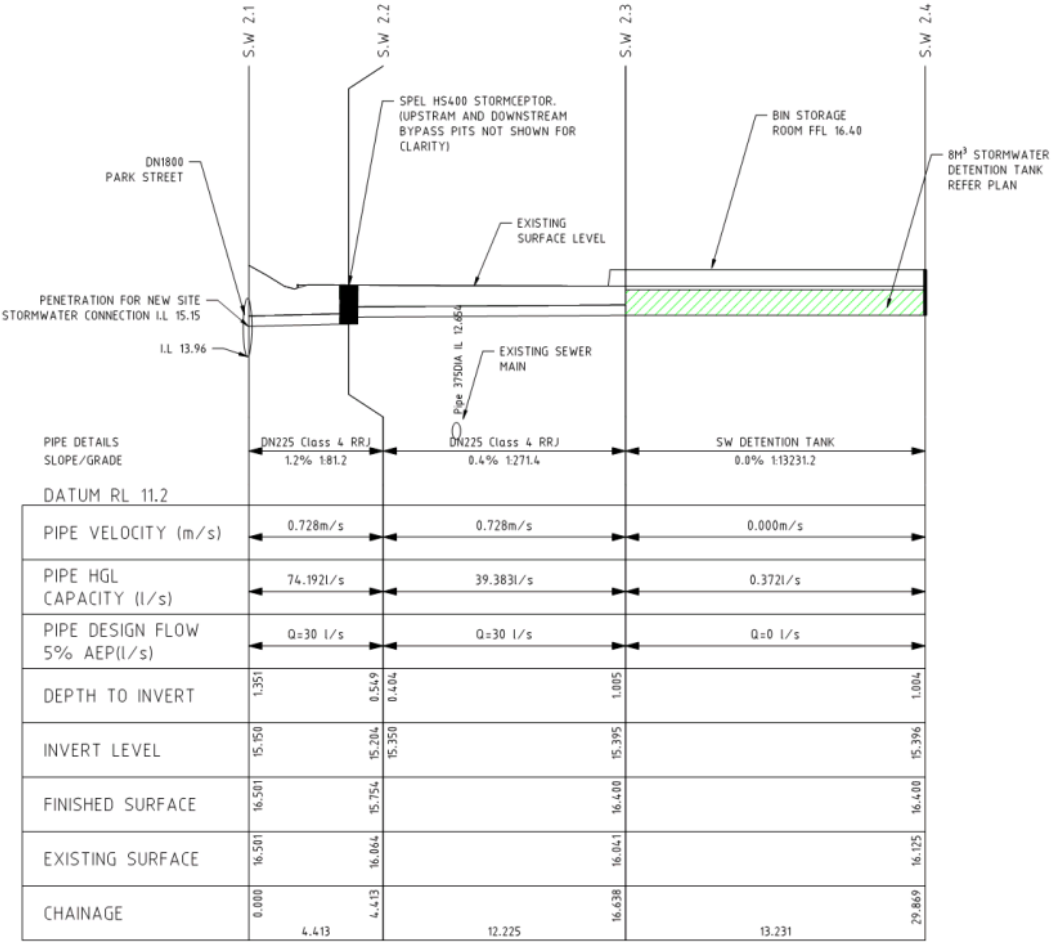
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STORMWATER PROFILE LINE 1  
SCALES: HORIZONTAL 1:200 VERTICAL 1:100

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DA1 19.11.2021 ISSUED FOR RFI RESPONSE  
DA 07.07.2021 ISSUED FOR DA  
P1 16.04.2021 ISSUED FOR INFORMATION

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Accepted MGC (Plan Layout)  
Approved GLA (Group Manager)

Date	DESIGNED BY	DRAWN BY
	CJM	RWH
Date	1:200(H) 1:100(V)	16/02/2022

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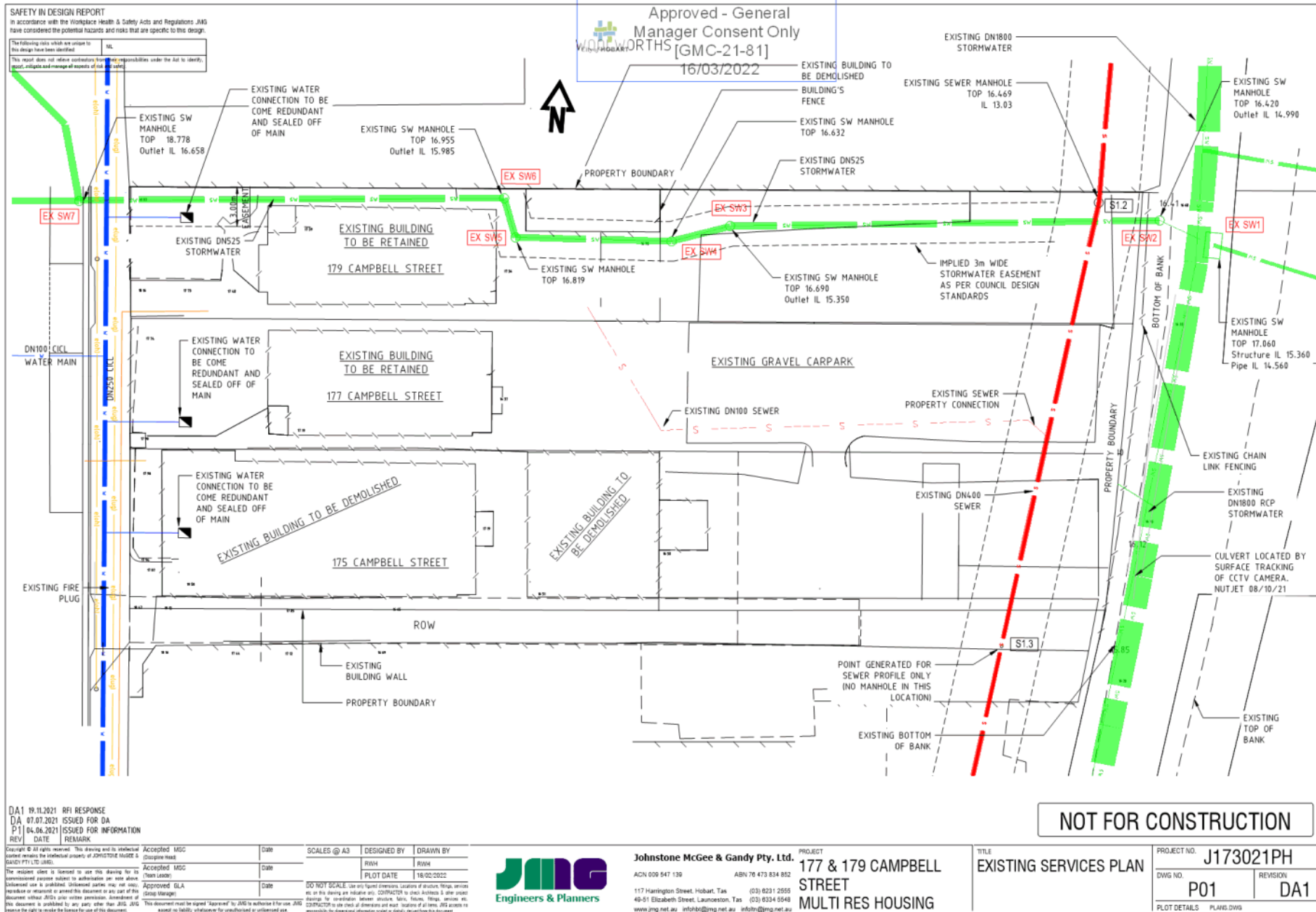


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PROJECT  
**177 & 179 CAMPBELL STREET  
MULTI RES HOUSING**

TITLE  
**PROPOSED SITE  
STORMWATER  
CONNECTION PROFILE**

PROJECT NO.	J173021PH
DWG NO.	P-SW6
REVISION	DA1
PLOT DETAILS	STORMWATER PROFILES & SECTIONS.DWG



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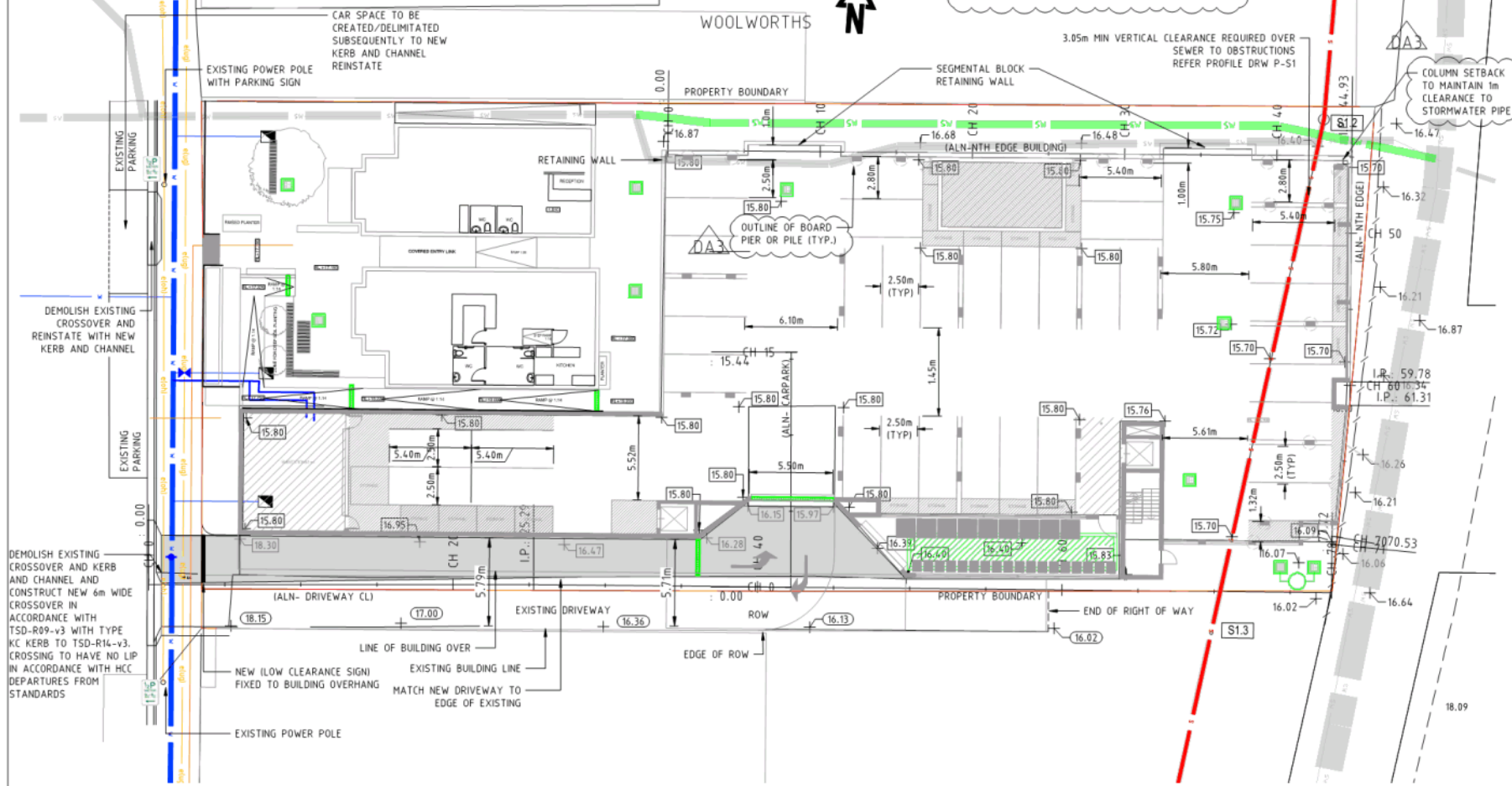
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ALL BASEMENT RETAINING WALLS AND BUILDING SUPPORTING COLUMNS TO BE DESIGNED TO WITHSTAND HYDROSTATIC AND HYDRODYNAMIC FORCES AS A RESULT OF INUNDATION. REFER FLUSSIG FLOOD HAZARD REPORT FOR EXPECTED FLOW VELOCITIES AND DEPTHS.



DA3 18.02.2022 RFI RESPONSE  
DA2 15.12.2021 CROSSOVER NOTE REVISED  
DA1 22.11.2021 ISSUED FOR RFI RESPONSE  
DA 07.07.2021 ISSUED FOR DA  
P1 29.03.2021

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Accepted MGC (Client/Lead)  
Accepted MGC (Group Manager)

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Scales: A3  
Designed by: RWH  
Drawn by: RWH  
Plot date: 18/02/2022  
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PROJECT  
177 & 179 CAMPBELL STREET  
MULTI RES HOUSING

TITLE  
BASEMENT CARPARK LAYOUT AND PROPOSED SURFACE LEVELS

PROJECT NO. J173021PH  
DWG NO. P02  
PLOT DETAILS PLANS.DWG  
REVISION DA3

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The following risks which are unique to this design have been identified:  
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ML

PROPOSED SW MANHOLE  
Outlet IL 16.796

EXISTING DN25 PIPE TO BE RETAINED

EXISTING SW MANHOLE  
TOP 16.955  
Outlet IL 15.985

NEW DN1200 SW MANHOLE

NEW DN25 STORMWATER

NEW DN1200 SW MANHOLE

EXISTING BUILDING TO BE RE-USED AS CONSULTING ROOMS

EXISTING BUILDING TO BE RE-USED AS CAFE ROOMS

EXISTING STORMWATER MANHOLES AND DN25 MAIN TO BE DEMOLISHED (TYP)

PIPEWORK FROM ROOF AND PLAN ABOVE SUSPENDED FROM UNDERSIDE OF GROUND FLOOR SLAB

6m WIDE SEWER EASEMENT PER TASWATER DESIGN STANDARDS

STORMWATER PUMP STATION

600x600 GRATED S.W. PIT CLASS B (TYP)

EXISTING SW MANHOLE  
TOP 17.060  
Outlet IL 15.360

1m CLEARANCE TO EDGE OF SEWER MAIN

EXISTING DN100 STORMWATER CONNECTION TO EXISTING DN1800 STORMWATER MAIN

EXISTING DN1800 RCP PARK STREET RIVULET STORMWATER MAIN

DN225 CONNECT IL TO EXISTING MAIN CONNECTION IL 15.15 DN1800 IL 13.95

NEW DN100 CONNECTION TO EXISTING MAIN

EXISTING FIRE HYDRANT

PROPOSED SW MANHOLE  
I.L. 16.04

DN100 FIRE SERVICE TO SPRINKLER BOOSTER ASSEMBLY

DN 65 DOMESTIC WATER METER ASSEMBLY AND DN100 FIRE SERVICE ASSEMBLY (LOW HAZARD)

HYDRO CHANNEL IN GRATED TRENCH DRAINS

STORMWATER DETENTION  
8.00m<sup>3</sup> = 26.70m<sup>2</sup> @ 0.30m DEPTH

ORIFICE OUTLET TO RESTRICT POST DEVELOPMENT FLOWS TO 30.0 l/s PIPE I.L. 15.395

HS400 STORMCEPTOR ON DN100 BYPASS I.L. 15.20

CONNECT TO GRAVITY DRAIN

RISE

DN150 SEWER LOT CONNECTION P.I.P. 61.31

CH 80

CH 2070.53

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16/03/2022



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Accepted MGC (Team Leader)

Accepted GLA (Group Manager)

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SCALES @ A3

DESIGNED BY

DRAWN BY

CJM CAG

PLOT DATE 18/02/2022

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PROJECT

177 & 179 CAMPBELL STREET

MULTI RES HOUSING

TITLE

PROPOSED BASEMENT AND GROUND SERVICES

PROJECT NO. J173021PH

DWG NO. P03

REVISION DA1

PLOT DETAILS PLANS.DWG

NOT FOR CONSTRUCTION



## SAFETY IN DESIGN REPORT

In accordance with the Workplace Health & Safety Acts and Regulations JMG have considered the potential hazards and risks that are specific to this design.

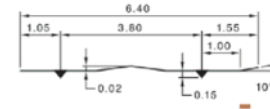
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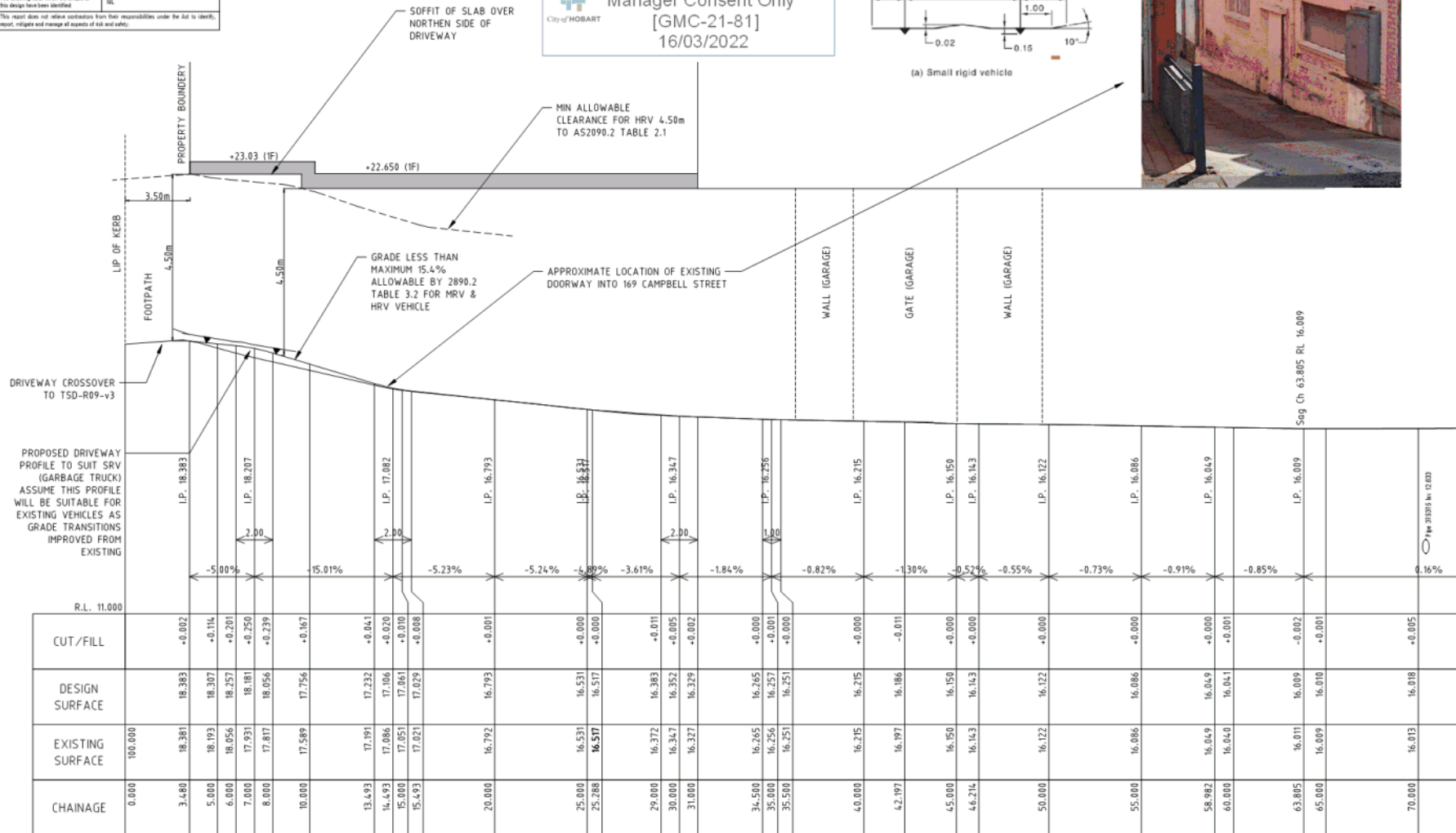
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16/03/2022



(a) Small rigid vehicle



DA1 19.11.2021 ISSUED FOR RFI RESPONSE

DA 07.07.2021 ISSUED FOR DA

P2 28.06.2021 GRADE SHOWN TO COMPLY AS2890.1

P1 19.03.2021 ISSUED FOR REVIEW

REV DATE REMARK

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Accepted MGC

Accepted MGC

Approved GLA

Date

Date

Date

Scales @ A3

1:200 (H), 1:100 (V)

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DESIGNED BY

CJM

PLOT DATE

18/02/2022

DRAWN BY

RWH



Johnstone McGee &amp; Gandy Pty. Ltd.

ACN 009 547 130

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117 Harrington Street, Hobart, Tas.

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PROJECT

177 & 179 CAMPBELL  
STREET  
MULTI RES HOUSING

TITLE

EXISTING DRIVEWAY  
PROFILE

PROJECT NO.

J173021PH

DWG NO.

P04

REVISION

DA1

PLOT DETAILS

DRIVEWAY RAMP PROFILES.DWG

NOT FOR CONSTRUCTION

Profile ALN-Driveway CL From 0.000 To 77.721

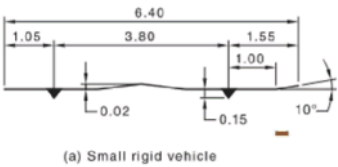
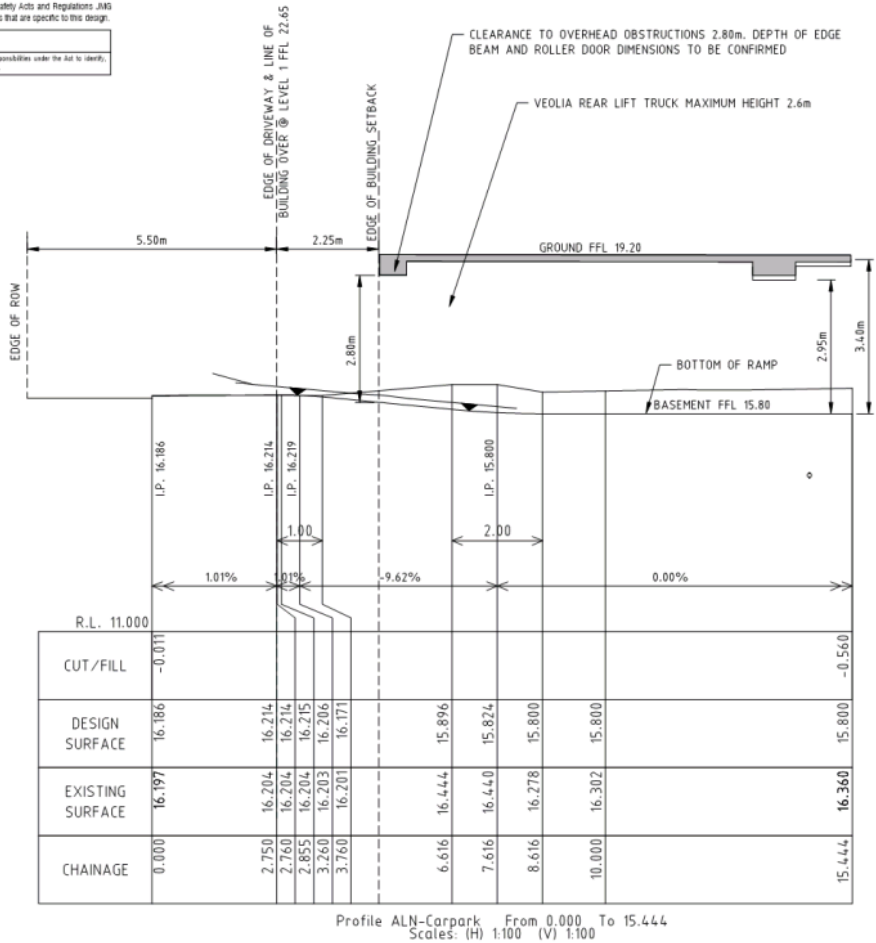
Scales: (H) 1:200 (V) 1:100



**SAFETY IN DESIGN REPORT**

In accordance with the Workplace Health & Safety Acts and Regulations JMG have considered the potential hazards and risks that are specific to this design.

The following risks which are unique to this design have been identified:	Nil
This report does not release practitioners from their responsibilities under the Act to identify, assess, mitigate and manage all aspects of risk and safety.	



**REAR LIFT TRUCK SPECIFICATIONS**



\*\* Includes TR49, TR52, TR57

**Specifications:**

- Overall Length: 7.54 metres
- Overall Width (excluding mirrors): 2.42 metres
- Overall Width (including mirrors): 2.84 metres
- Maximum Height: 2.80 metres
- Wheel Base (From centre of front and rear axle): 4.20 metres
- Turning Circle: 16.90 metres
- Gross Vehicle Mass: 14.00 tonne
- Tare Weight: 9.10 tonne
- Payload: 4.90 tonne

Approved - General  
Manager Consent Only  
[GMC-21-81]  
16/03/2022

NOT FOR CONSTRUCTION

DA1 19.11.2021 ISSUED FOR RFI RESPONSE  
DA 07.07.2021 ISSUED FOR DA  
P2 23.06.2021 FLOOR LEVELS UPDATED  
P1 19.03.2021 ISSUED FOR INFORMATION

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	Approved GLA (Group Manager)	Date	DO NOT SCALE. Use only figured dimensions. Locations of structure, fittings, services etc. on this drawing are indicative only. CONTRACTOR to check Architect's & other project drawings for modifications before structure. Make, Verify, Amend as CONTRACTOR to use check all dimensions and exact locations of all items. JMG accepts no responsibility for dimensional information copied in digital, scanned from this document.	PLT DATE	18/02/2022	



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PROJECT  
**177 & 179 CAMPBELL STREET  
MULTI RES HOUSING**

TITLE  
**NEW CARPARK ENTRY  
PROFILE & SERVICE  
VEHICLE CLEARANCES**

PROJECT NO.	J173021PH
DWG NO.	P05
REVISION	DA1
PLOT DETAILS	DRIVEWAY RAMP PROFILES DWG

**SAFETY IN DESIGN REPORT**  
In accordance with the Workplace Health & Safety Acts and Regulations JMG have considered the potential hazards and risks that are specific to this design.

The following risks which are unique to this design have been identified:	ML
The design does not provide protection from those regulatory codes in which compliance, design, installation and management aspects of risk exclusion.	

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Manager Consent Only  
[GMC-21-81]  
16/03/2022



DA 19.11.2021  
REV DATE REMARK

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Accepted MGC (Design Head)  
Accepted MGC (Plan Layout)  
Approved GLA (Group Manager)

Date	18/02/2022
DESIGNED BY	RWH
DRAWN BY	RWH
DATE	18/02/2022

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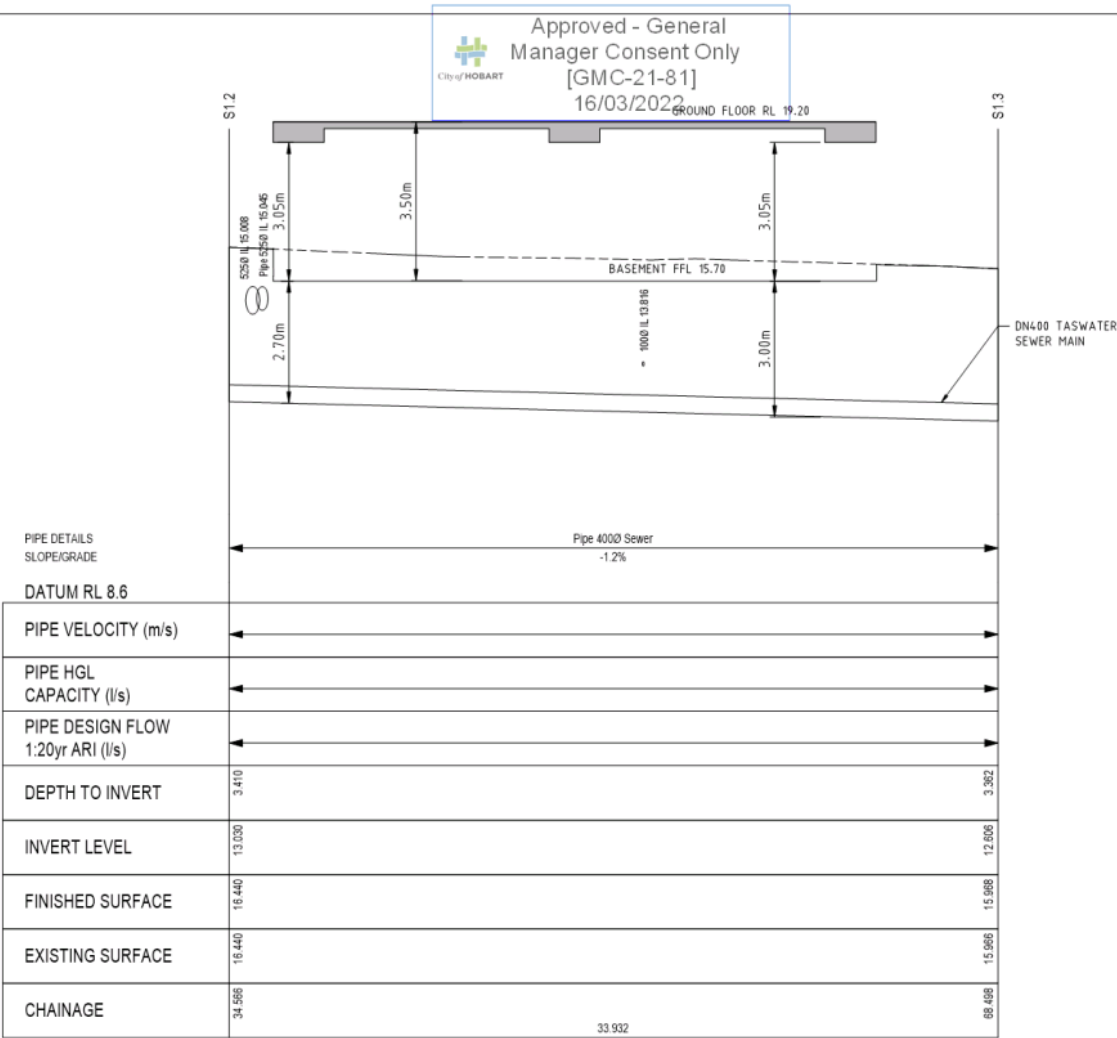
PROJECT  
177 & 179 CAMPBELL STREET  
MULTI RES HOUSING

TITLE  
GENERAL MANAGER  
CONSENT BROOKER  
HWY RESERVATION ACCESS

NOT FOR CONSTRUCTION

PROJECT NO.	J173021PH
DWG NO.	P06
REVISION	DA
PLOT DETAILS	PLANS.DWG

<b>SAFETY IN DESIGN REPORT</b> In accordance with the Workplace Health & Safety Acts and Regulations JMG have considered the potential hazards and risks that are specific to this design. <div><div>The following risks which are unique to this design have been identified:</div><div>ML</div></div> <div><div>This report does not release consultants from their responsibilities under the Act to identify, report, mitigate and manage all aspects of risk and safety.</div><div></div></div>	
---	--



EXISTING SEWER PROFILE  
SCALES: HORIZONTAL 1:200 VERTICAL 1:100

DA1 19.11.2021 ISSUED FOR RFI RESPONSE  
DA 07.07.2021 ISSUED FOR DA  
P1 16.06.2021 ISSUED FOR INFORMATION

REV	DATE	REMARK
1	19.11.2021	ISSUED FOR RFI RESPONSE
2	07.07.2021	ISSUED FOR DA
3	16.06.2021	ISSUED FOR INFORMATION

DATE	DESIGNED BY	DRAWN BY
16/02/2022	CJM	RWH
16/02/2022	PLT DATE	16/02/2022



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PROJECT  
**177 & 179 CAMPBELL STREET  
MULTI RES HOUSING**

TITLE  
**EXISTING SEWER  
CLEARANCE PROFILE**

NOT FOR CONSTRUCTION

PROJECT NO.	J173021PH
DWG NO.	P-S1
REVISION	DA1

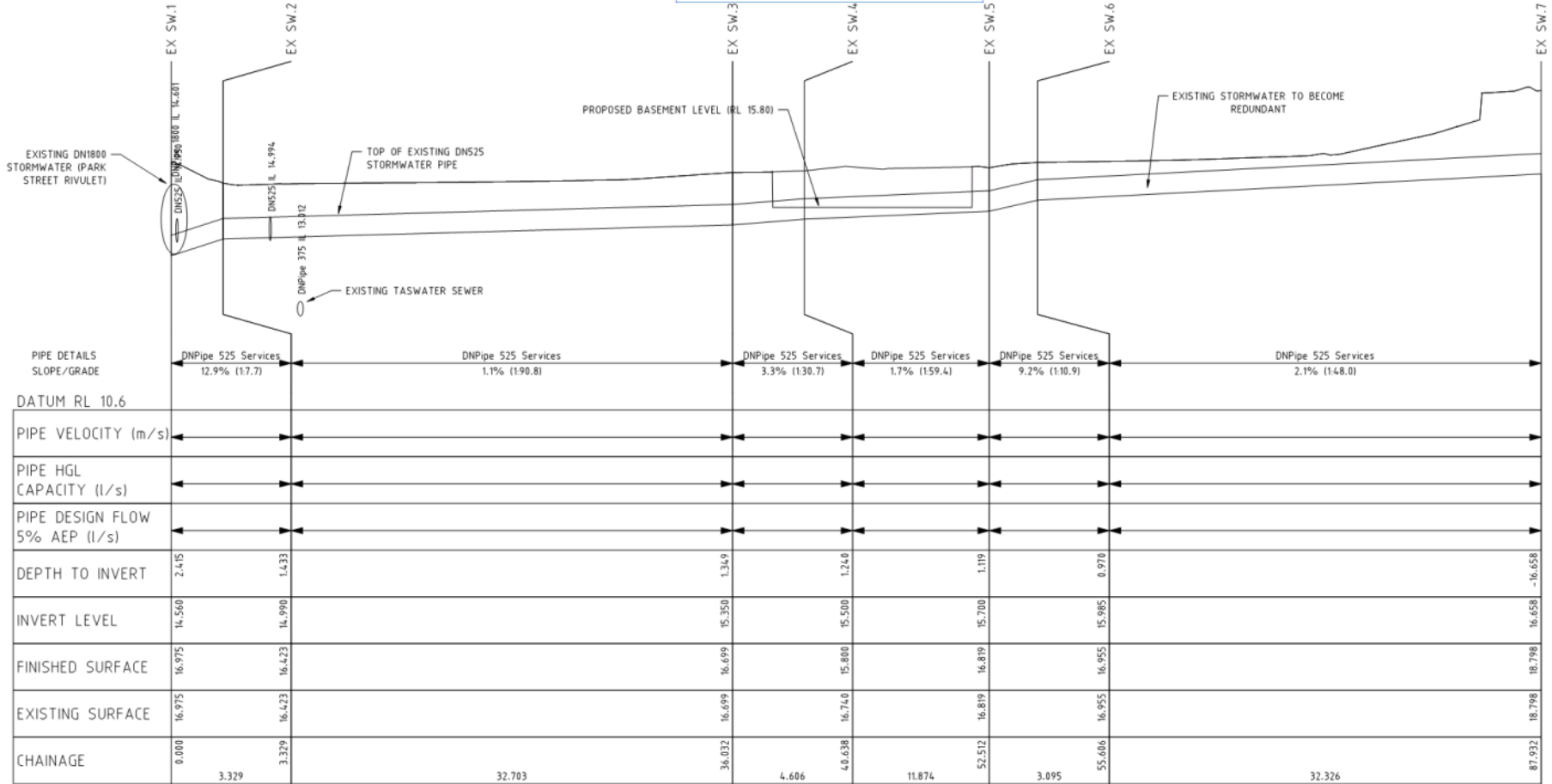
PLOT DETAILS STORMWATER PROFILES & SECTIONS DWG



**SAFETY IN DESIGN REPORT**  
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The following risks which are unique to this design have been identified:	Nil
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[GMC-21-81]  
16/03/2022



STORMWATER PROFILE LINE EX SW  
SCALES: HORIZONTAL 1:250 VERTICAL 1:100

DA1 19.11.2021 ISSUED FOR RFI RESPONSE  
DA 19.07.2021 ISSUED FOR DA  
P1 16.06.2021 ISSUED FOR INFORMATION

REV	DATE	REMARK
1	19.11.2021	ISSUED FOR RFI RESPONSE
2	19.07.2021	ISSUED FOR DA
3	16.06.2021	ISSUED FOR INFORMATION

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	Approved GLA (Group Manager)	Date		PLOT DATE	18/02/2022

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PROJECT  
**177 & 179 CAMPBELL STREET  
MULTI RES HOUSING**

TITLE  
**EXISTING STORMWATER  
PROFILE**

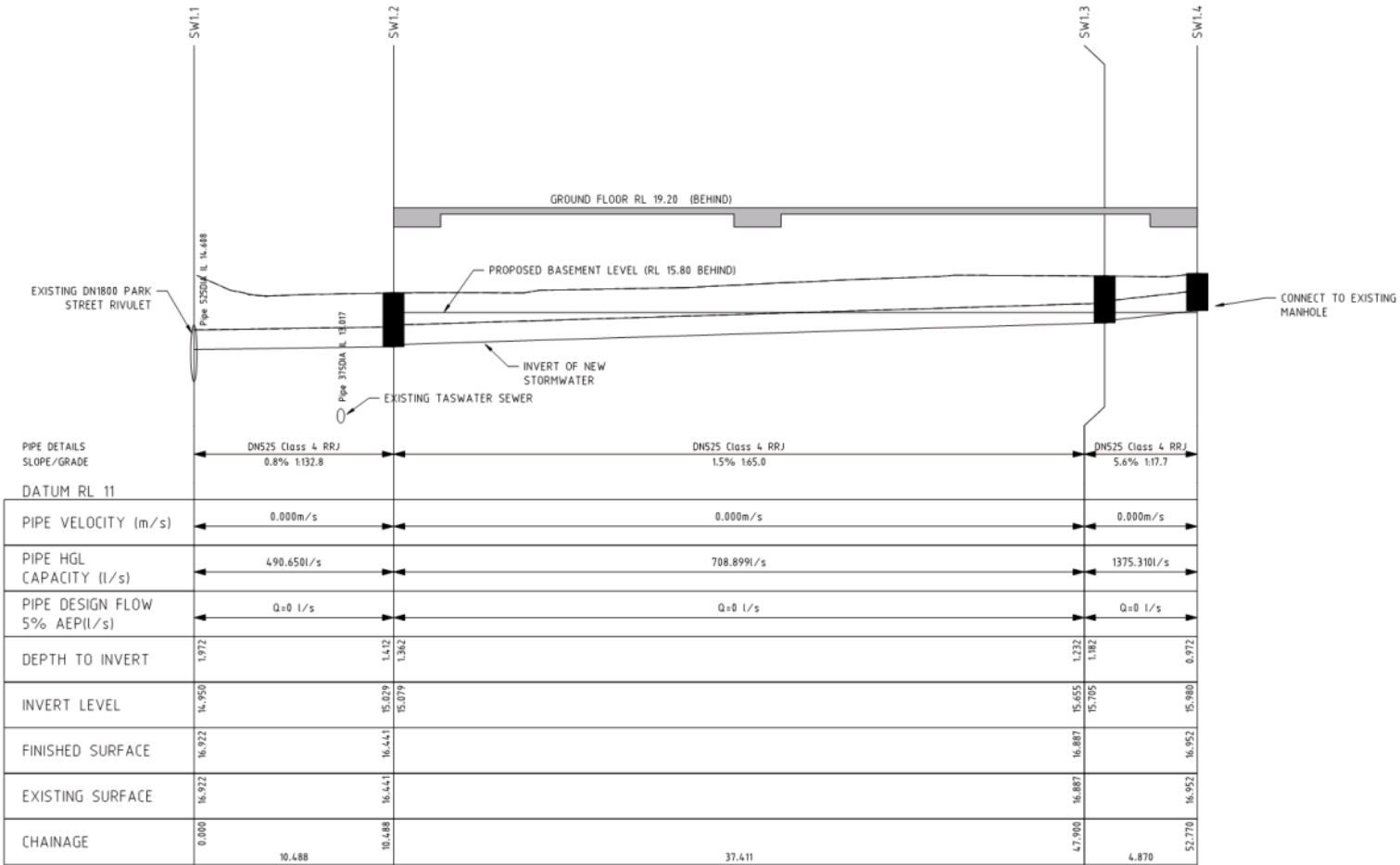
NOT FOR CONSTRUCTION

PROJECT NO.	J173021PH
DWG NO.	P-SW1
REVISION	DA1
PLOT DETAILS	STORMWATER PROFILES & SECTIONS.DWG

**SAFETY IN DESIGN REPORT**  
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Manager Consent Only  
[GMC-21-81]  
16/03/2022



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P1 16.06.2021 ISSUED FOR INFORMATION

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Accepted MGC (Plan Layout)	Date	1:200(H) 1:100(V)	CJM	RWH
Approved GLA (Design Manager)	Date		PLOT DATE	18/02/2022

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PROJECT  
**177 & 179 CAMPBELL STREET  
MULTI RES HOUSING**

TITLE  
**PROPOSED STORMWATER  
PROFILE DN525**

PROJECT NO.	J173021PH
DWG NO.	P-SW2
REVISION	DA1
PLOT DETAILS	STORMWATER PROFILES & SECTIONS.DWG

NOT FOR CONSTRUCTION



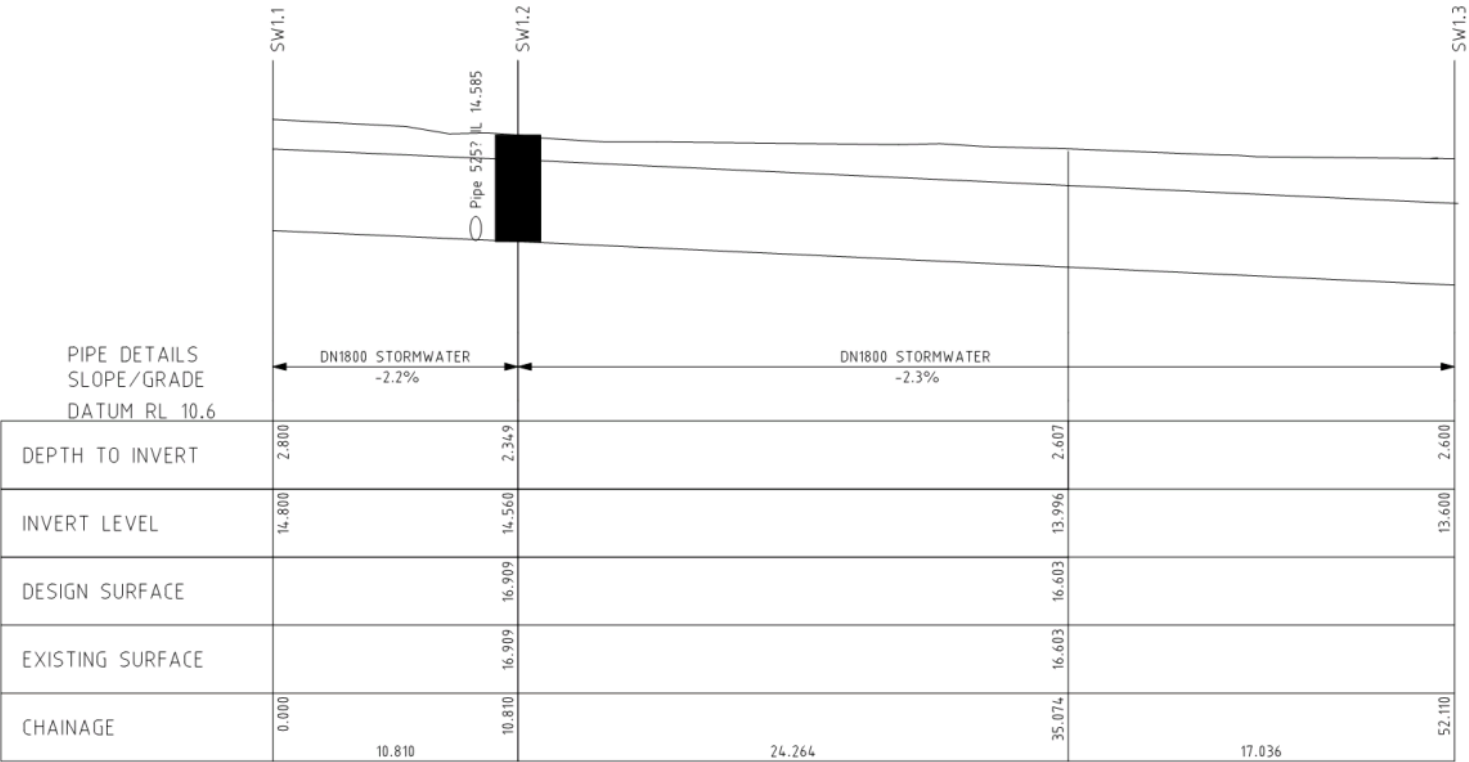




**SAFETY IN DESIGN REPORT**  
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[GMC-21-81]  
16/03/2022



DN1800 STORMWATER LONGITUDINAL SECTION FOR LINE 1  
SCALES: HORIZONTAL 1:200 VERTICAL 1:100

DA1 19.11.2021 ISSUED FOR RFI RESPONSE  
DA 07.07.2021 ISSUED FOR DA  
P11 4.06.2021 ISSUED FOR INFORMATION

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PROJECT  
**177 & 179 CAMPBELL STREET  
MULTI RES HOUSING**

TITLE  
**EXISTING DN1800  
PARK STREET RIVULET  
STORMWATER PROFILE**

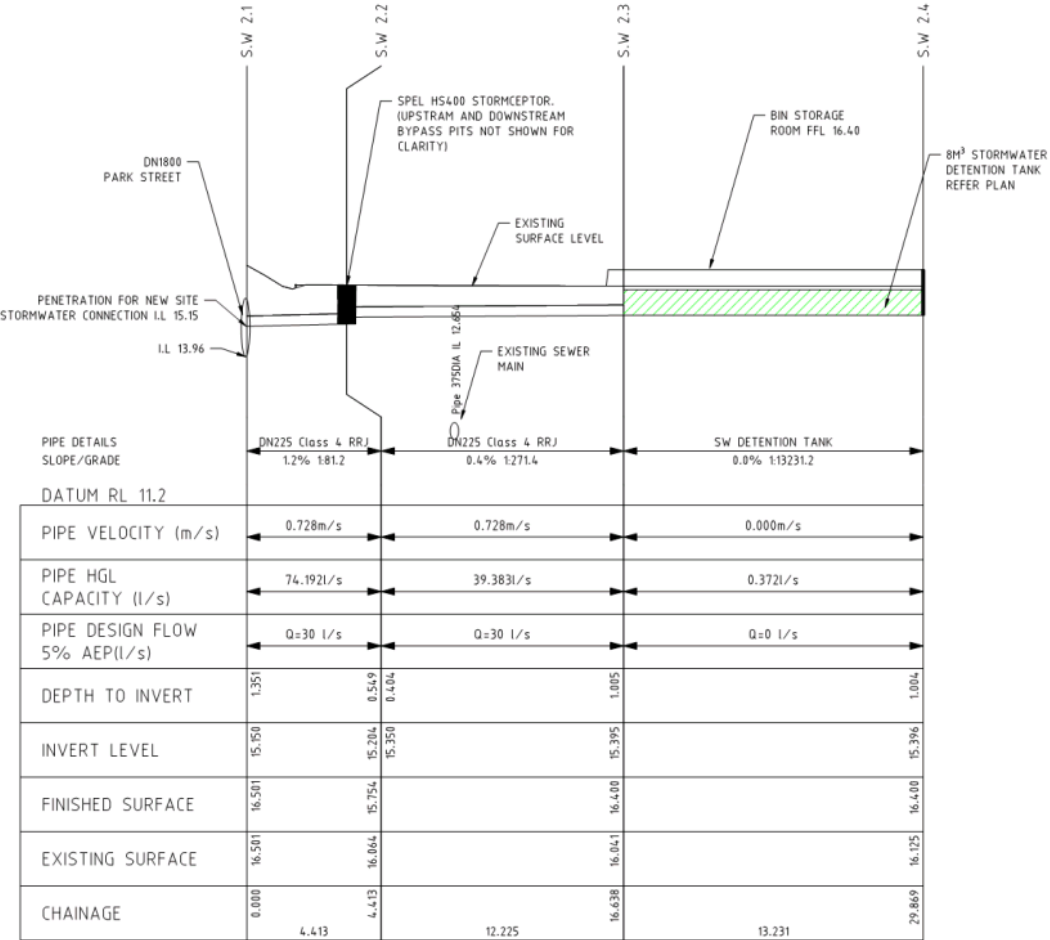
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PROJECT NO. **J173021PH**  
DWG NO. **P-SW5** REVISION **DA1**  
PLOT DETAILS STORMWATER PROFILES & SECTIONS.DWG

**SAFETY IN DESIGN REPORT**  
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The following risks which are unique to this design have been identified	ML
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[GMC-21-81]  
16/03/2022



STORMWATER PROFILE LINE 1  
SCALES: HORIZONTAL 1:200 VERTICAL 1:100

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P1 16.04.2021 ISSUED FOR INFORMATION

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Accepted MGC (Plan/Section)

Approved GLA (Design Manager)

Date

Date

Date

SCALES @ A3

DESIGNED BY

CJM

RVN

DATE

16/02/2022

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PROJECT  
177 & 179 CAMPBELL  
STREET  
MULTI RES HOUSING

TITLE  
PROPOSED SITE  
STORMWATER  
CONNECTION PROFILE

PROJECT NO. J173021PH

DWG NO. P-SW6

REVISION DA1

PLOT DETAILS STORMWATER PROFILES & SECTIONS.DWG



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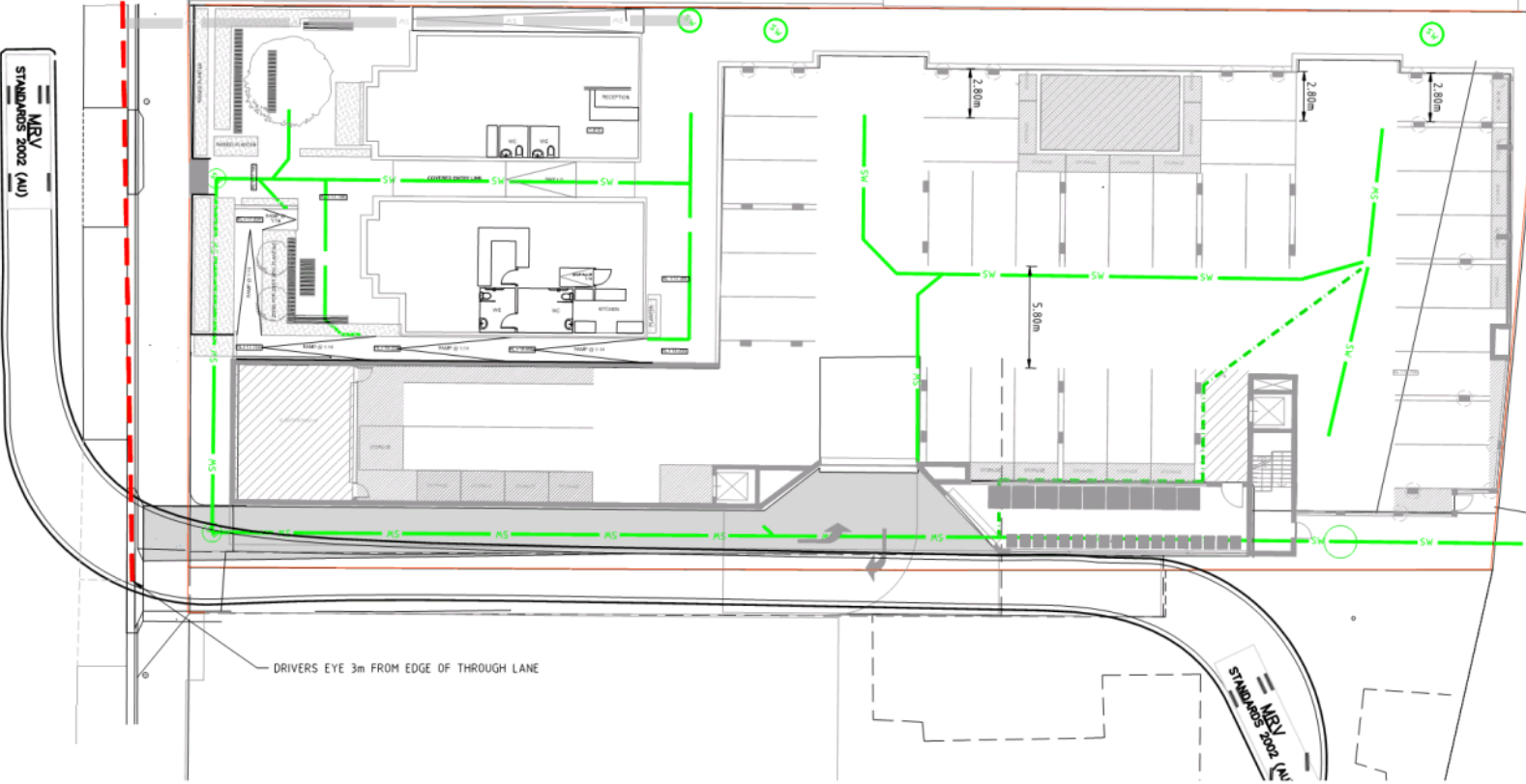
The following risks which are unique to this design have been identified	ML
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[GMC-21-81]  
16/03/2022

City of Hobart



AS2890.2 SIGHT LINE FOR EXITING COMMERCIAL  
VEHICLES FROM EXISTING AND PROPOSED DRIVEWAY  
FRONTAGE ROAD SPEED 50km/h, 5s GAP, 69m



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	Approved GLA (Group Manager)	Date		PLOT DATE	18/02/2022
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PROJECT  
**177 & 179 CAMPBELL  
STREET  
MULTI RES HOUSING**

TITLE  
**TURNING PATHS ALT  
BUILDING LAYOUT  
MEDIUM RIGID VEHICLE**

NOT FOR CONSTRUCTION

PROJECT NO.	J173021PH
DWG NO.	P-TP2
REVISION	DA
PLOT DETAILS	PLAYS TURNING PATHS.DWG





# BGAS 175-179 Campbell Street Multi-Residential Development

**ARCHITECT**

REGISTERED DESIGNER  
PETER WALKER

ACCREDITATION NO.  
022182

ARCHITECT ADDRESS  
PROJECT Suite 2, Level 2, 101 WINDHAM  
STREET HOBART TAS 7000 (WINDHAM)

**PROJECT INFORMATION**

PROJECT NO.  
21822

PROJECT NAME  
BGAS 175-179 Campbell Street  
Multi-Residential Development

PROJECT ADDRESS  
175-179 Campbell Street  
Hobart  
Tasmania 7000

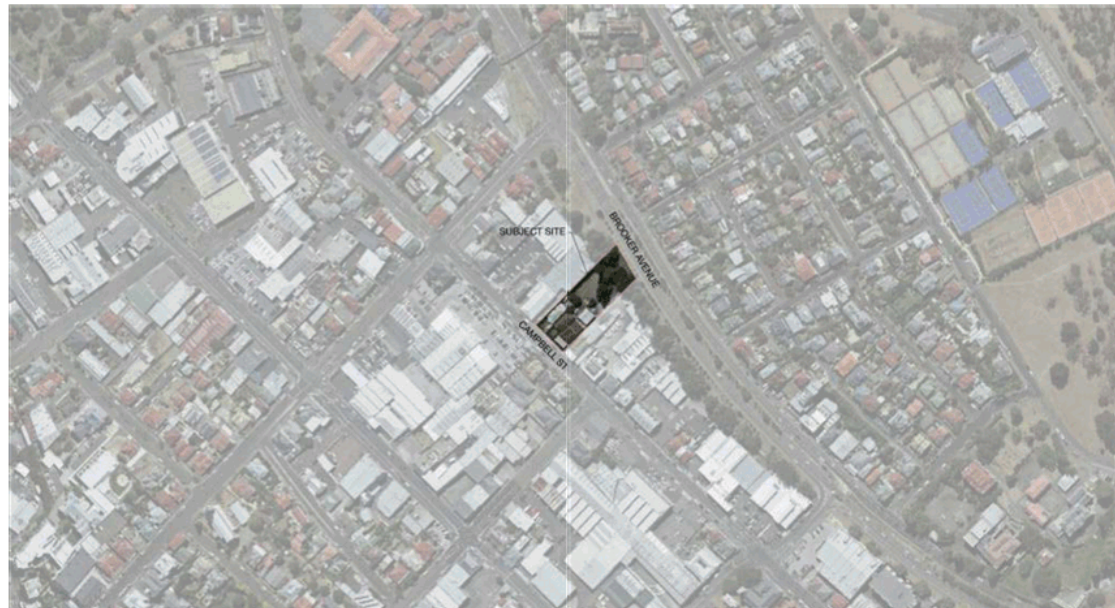
PLACE NAME  
HOBART

**DETAILS**

WIND CLASS DIVISION  
CONSTRUCT ON TYPE  
TITLE REFERENCE  
STANDARD OF CONSTRUCTION  
DESIGN WIND SPEED  
SOIL CLASS  
CLIMATE ZONE  
BAL. BATT.  
AS 1600.00  
CONSTRUCTION CLASS

**SK DRAWING LIST**

No	Drawing Name	Rev	Date
A-002	CONSTRUCTION	0001	10/10/21 13:30 AM
A-001	SITE PLAN	0001	20/10/21 13:30 AM
A-002	SECTION/PLAN - GROUND	0001	10/10/21 13:30 AM
A-003	PLAN - BASEMENT	0001	10/10/21 13:30 AM
A-004	PLAN - GROUND	0001	10/10/21 13:30 AM
A-005	PLAN - LEVEL 01	0001	20/10/21 13:30 AM
A-006	PLAN - LEVEL 02	0001	20/10/21 13:30 AM
A-007	PLAN - LEVEL 03	0001	20/10/21 13:30 AM
A-008	PLAN - LEVEL 04	0001	20/10/21 13:30 AM
A-009	PLAN - LEVEL 05	0001	20/10/21 13:30 AM
A-010	PLAN - LEVEL 06	0001	20/10/21 13:30 AM
A-011	SECTION - ELEVATIONS	0001	20/10/21 13:30 AM
A-012	ELEVATIONS	0001	20/10/21 13:30 AM
A-013	ELEVATIONS	0001	20/10/21 13:30 AM
A-014	SECTION	0001	20/10/21 13:30 AM
A-015	MATERIALS SCHEDULE	0001	20/10/21 13:30 AM
A-016	MANAGER - GND - GND	0001	20/10/21 13:30 AM
A-017	MANAGER - GND - GND	0001	20/10/21 13:30 AM
A-018	MANAGER - GND - GND	0001	20/10/21 13:30 AM
A-019	MANAGER - GND - GND	0001	20/10/21 13:30 AM
A-020	MANAGER - GND - GND	0001	20/10/21 13:30 AM
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A-027	MANAGER - GND - GND	0001	20/10/21 13:30 AM
A-028	MANAGER - GND - GND	0001	20/10/21 13:30 AM
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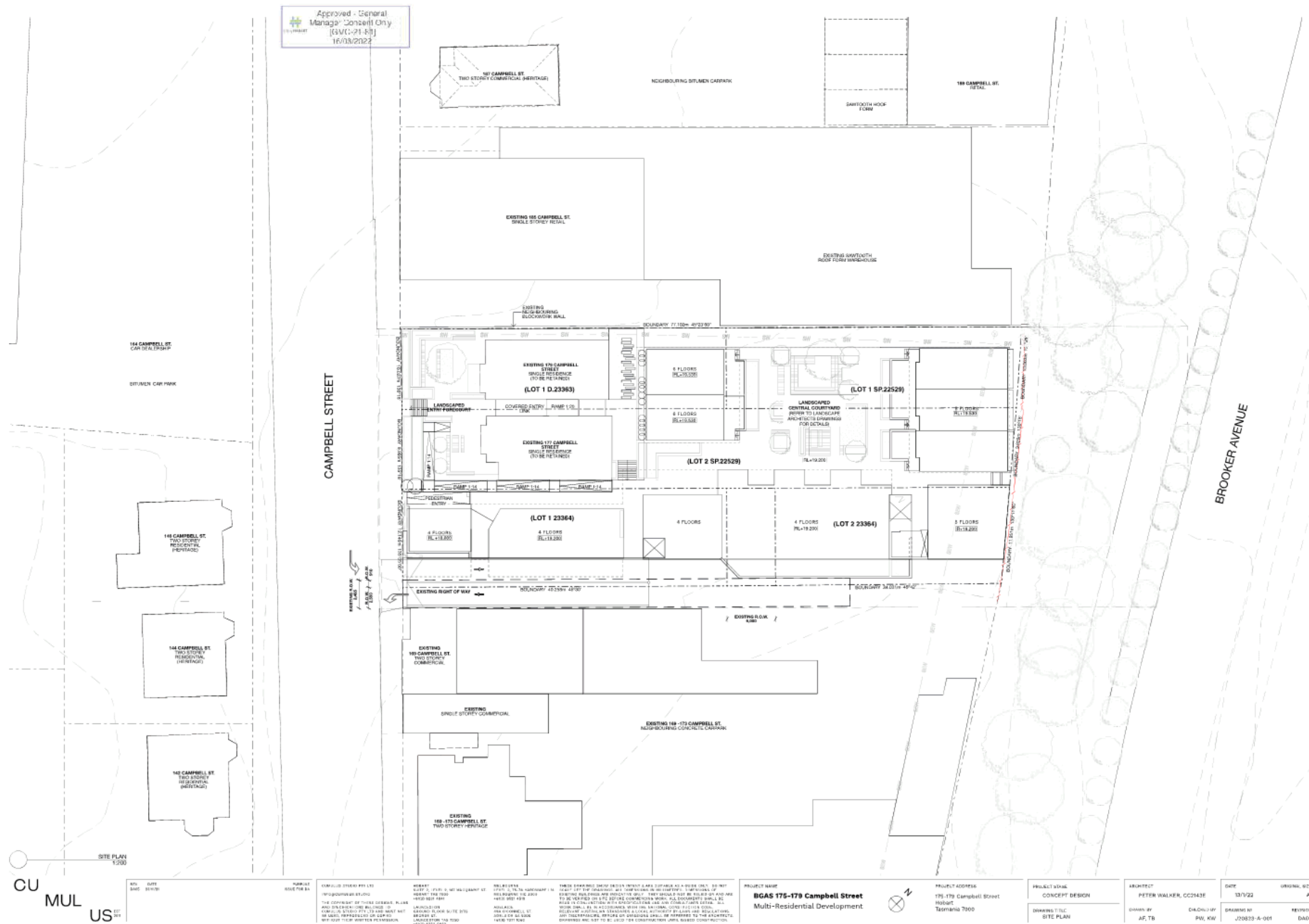
LOCATION PLAN - NTS

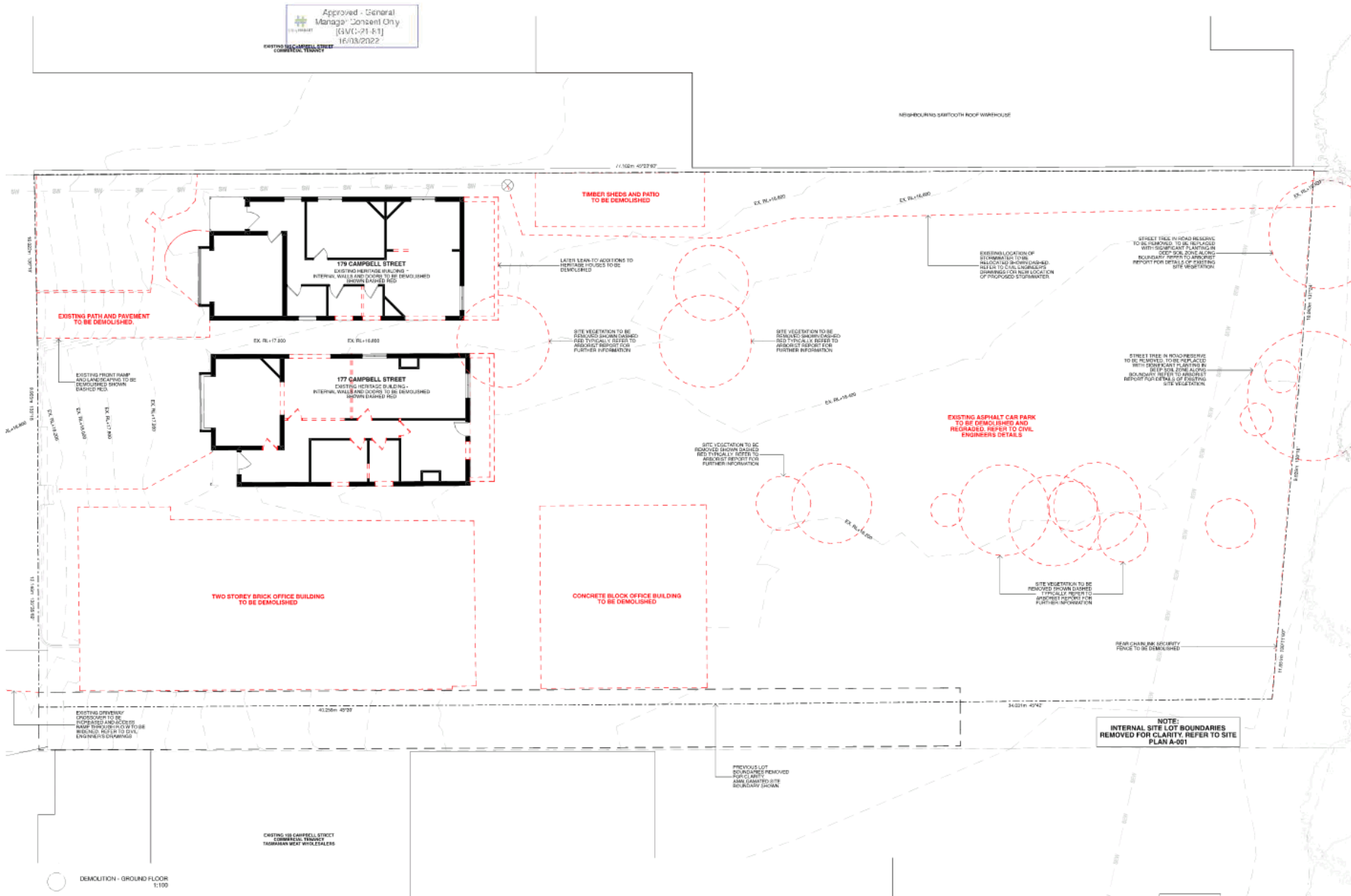
APARTMENT AREAS - NLA			
Level	Apartment Number	Area (m <sup>2</sup> )	Notes
GROUND FLOOR	001	28.48	LEVEL 1 of 2
	002	28.26	LEVEL 1 of 2
	003	28.11	LEVEL 1 of 2
	004	28.11	LEVEL 1 of 2
	005	28.11	LEVEL 1 of 2
	006	28.18	
	007	28.03	
	008	28.03	
	009	28.03	
	010	28.03	
LEVEL 01	101	27.27	
	102	27.27	
	103	27.27	
	104	27.27	
	105	27.27	
	106	27.27	
	107	27.27	
	108	27.27	
	109	27.27	
	110	27.27	
LEVEL 02	201	27.27	LEVEL 2 of 2
	202	27.27	LEVEL 2 of 2
	203	27.27	LEVEL 2 of 2
	204	27.27	LEVEL 2 of 2
	205	27.27	LEVEL 2 of 2
	206	27.27	LEVEL 2 of 2
	207	27.27	LEVEL 2 of 2
	208	27.27	LEVEL 2 of 2
	209	27.27	LEVEL 2 of 2
	210	27.27	LEVEL 2 of 2
LEVEL 03	301	27.27	LEVEL 3 of 2
	302	27.27	LEVEL 3 of 2
	303	27.27	LEVEL 3 of 2
	304	27.27	LEVEL 3 of 2
	305	27.27	LEVEL 3 of 2
	306	27.27	LEVEL 3 of 2
	307	27.27	LEVEL 3 of 2
	308	27.27	LEVEL 3 of 2
	309	27.27	LEVEL 3 of 2
	310	27.27	LEVEL 3 of 2
LEVEL 04	401	27.27	LEVEL 4 of 2
	402	27.27	LEVEL 4 of 2
	403	27.27	LEVEL 4 of 2
	404	27.27	LEVEL 4 of 2
	405	27.27	LEVEL 4 of 2
	406	27.27	LEVEL 4 of 2
	407	27.27	LEVEL 4 of 2
	408	27.27	LEVEL 4 of 2
	409	27.27	LEVEL 4 of 2
	410	27.27	LEVEL 4 of 2

APARTMENT SUMMARY	
APARTMENT TYPE	QTY
1 BED	5
1 BED (ADA)	2
2 BED	8
3 BED	7
4 BED	4
TOTAL	33

CARPARKING	
RESIDENTIAL CARPARKS	QTY
TOTAL CARPARKS	33





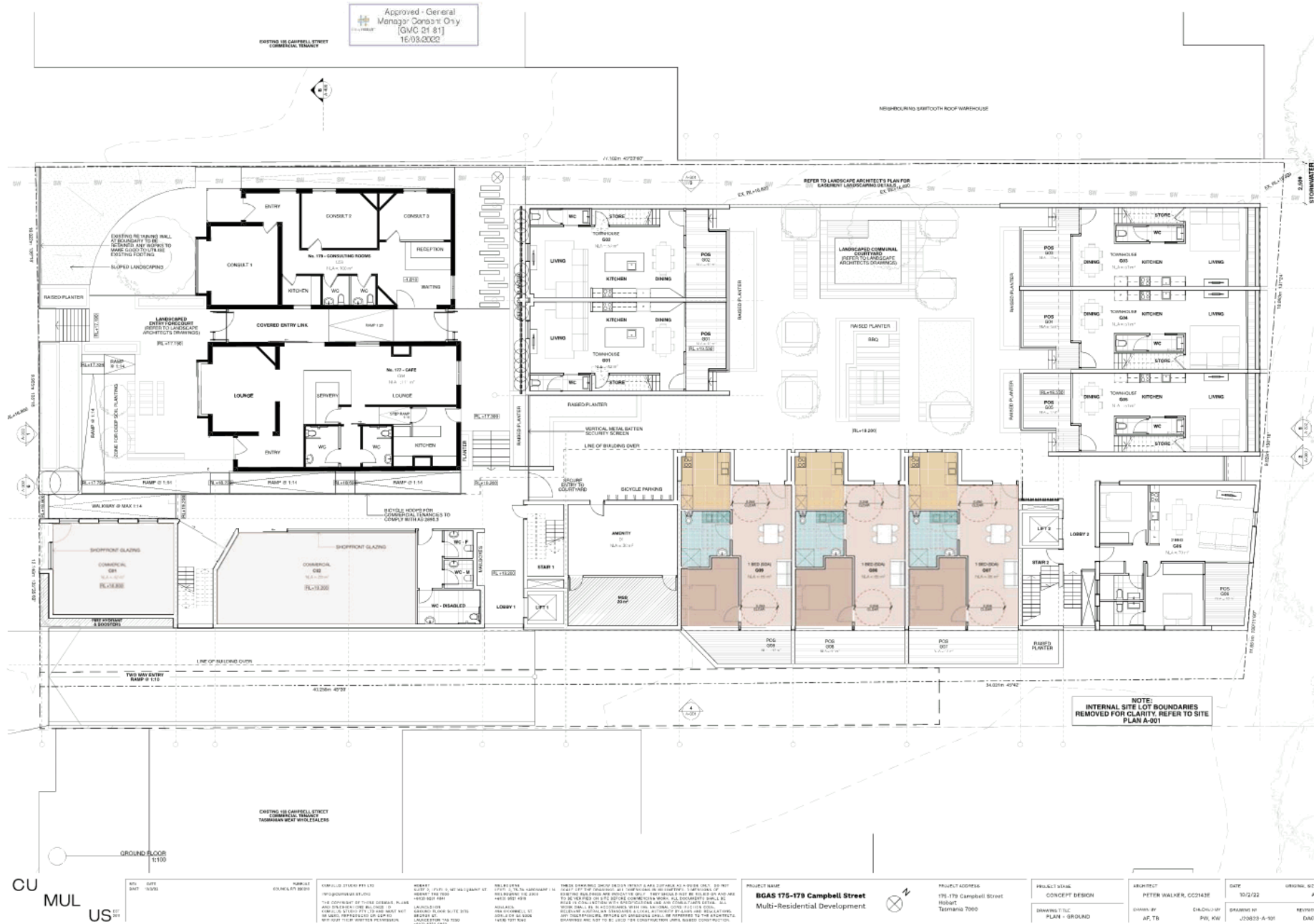


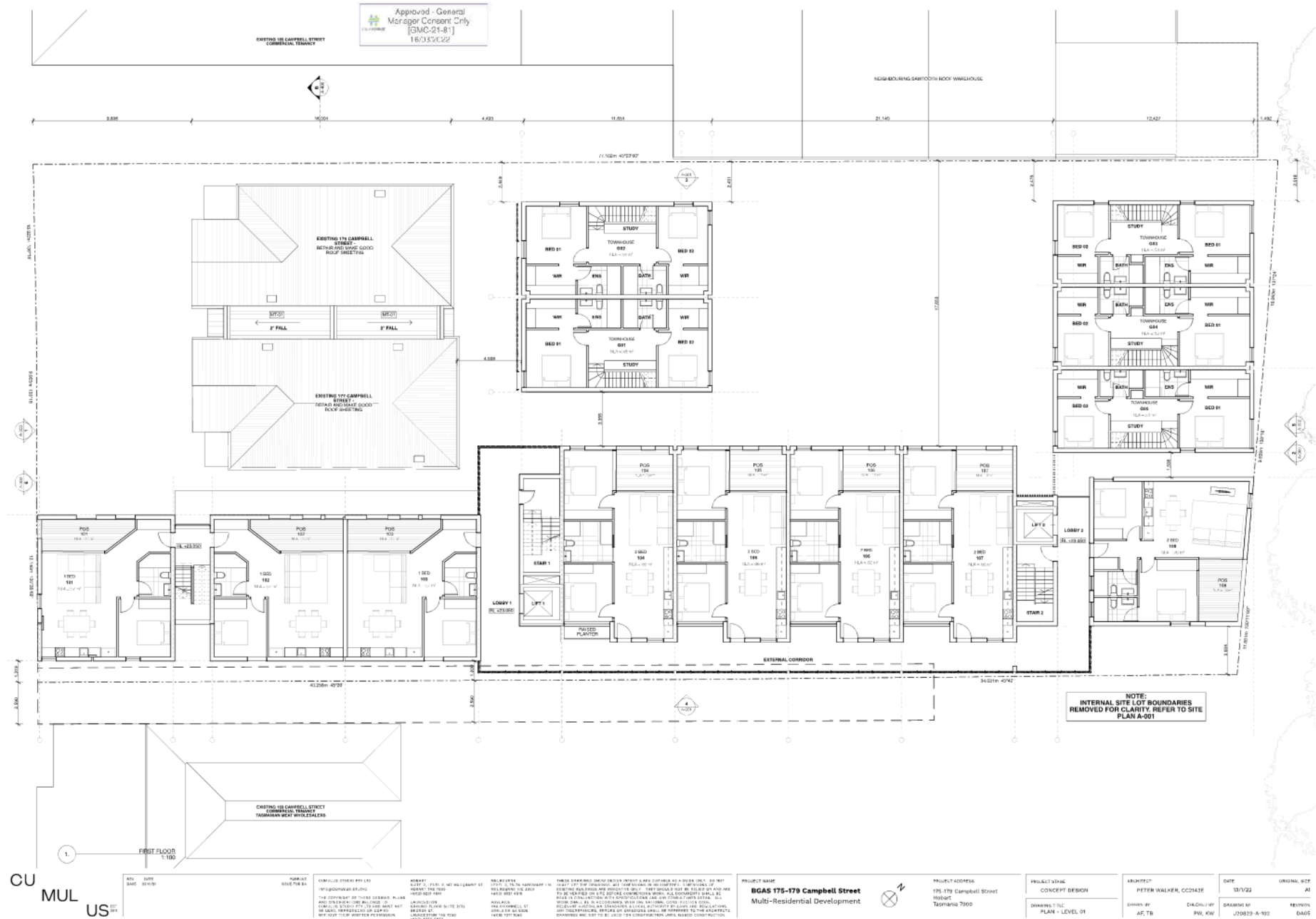
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NO. DATE 0000 10/02	NAME CUMULUS PT	COMPILERS CUMULUS PT LTD	PROJECT 175-179 Campbell Street Multi-Residential Development	CLIENT CUMULUS PT LTD	DATE 10/02/2022	PROJECT 175-179 Campbell Street Multi-Residential Development	CLIENT CUMULUS PT LTD	DATE 10/02/2022
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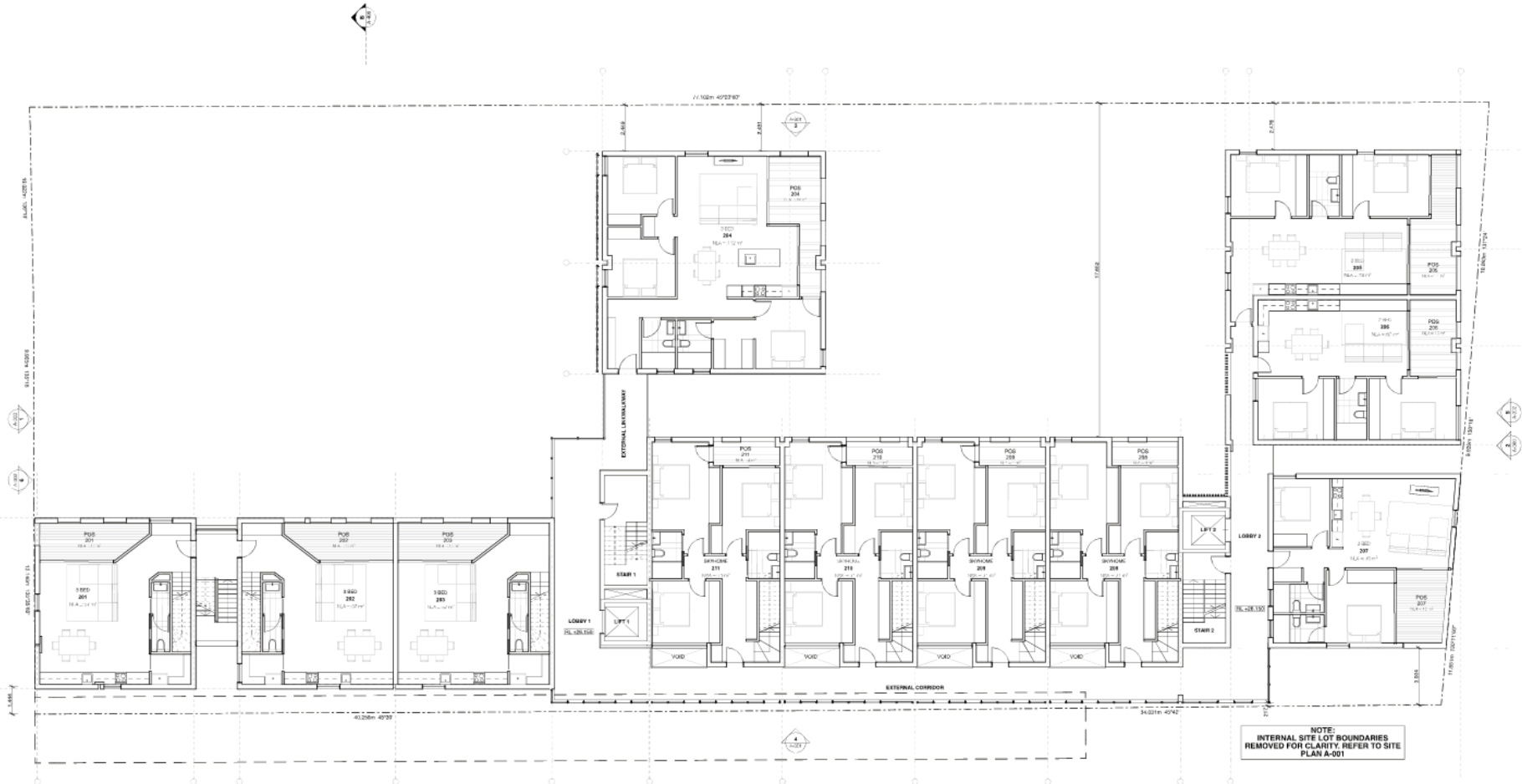
PROJECT NAME BGAS 175-179 Campbell Street Multi-Residential Development	PROJECT ADDRESS 175-179 Campbell Street Hawthorn Victoria 3122	PROJECT OWNER CONCEPT DESIGN	ARCHITECT PETER WALKER, CC2143E	DATE 13/1/22	ORIGINAL SIZE A1
DRAWING TITLE DEMOLITION - GROUND FLOOR	DRAWN BY AP, TB	CHECKED BY PW, KW	DRAWING NO. 200013-A-001	REVISION DATE	







Approved - General Manager's Consent Only  
16/03/2022



CUMULUS  
SECOND FLOOR  
1:100

KEY  
DATE: 13/1/22  
BY: PETER WALKER

PROJECT NAME  
BGAS 175-179 Campbell Street  
Multi-Residential Development

PROJECT ADDRESS  
175-179 Campbell Street  
HOBART  
Tasmania 7500

PROJECT NAME  
CONCEPT DESIGN  
DRAWING TITLE  
PLAN - LEVEL 02

ARCHITECT  
PETER WALKER, CC2143E  
DRAWN BY  
AF, TB

DATE  
13/1/22  
ORIGINAL SIZE  
A1

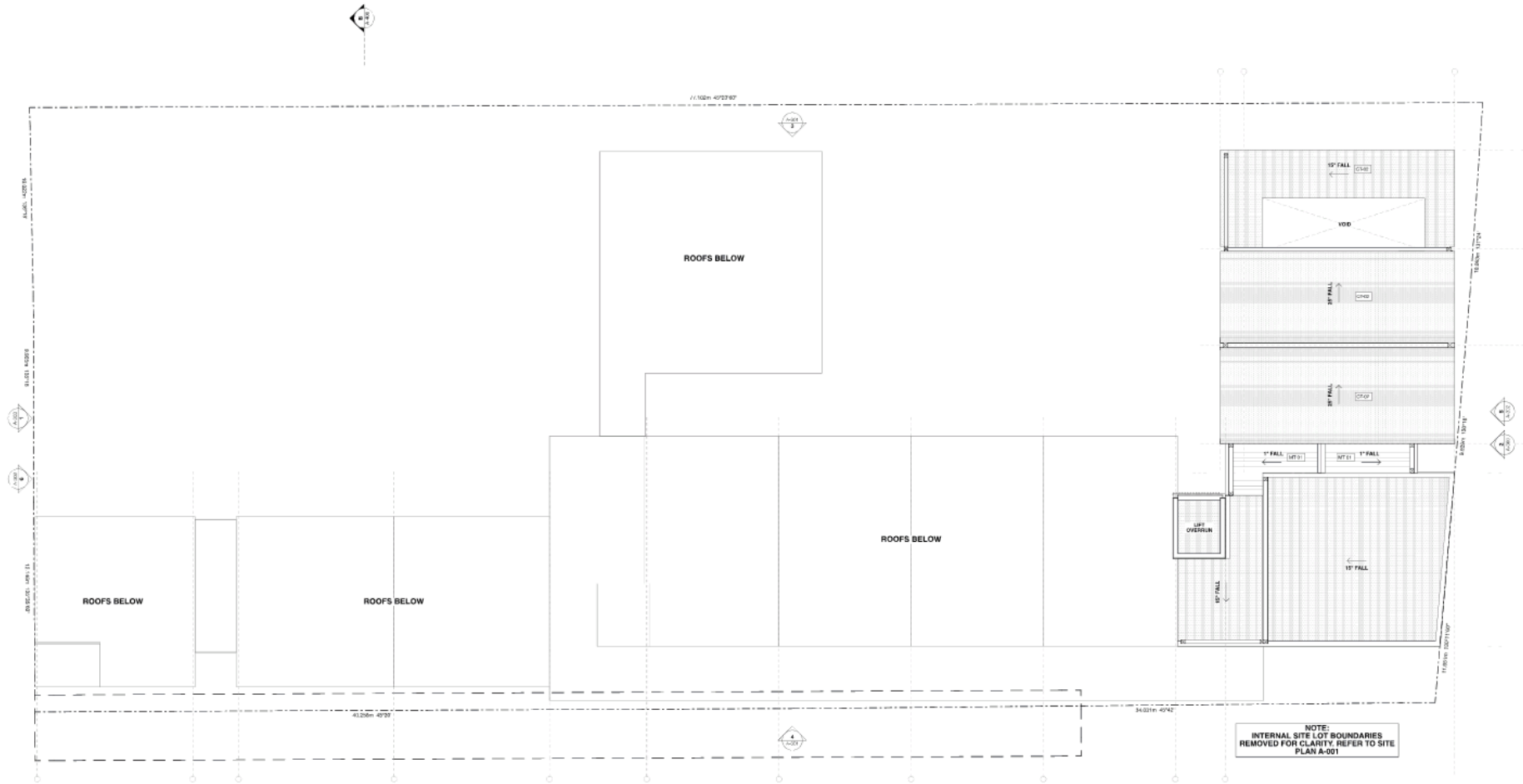
REVISION  
DATE







Approved - General Manager's Consent Only  
[61M/C-21-8-1]  
16/03/2022

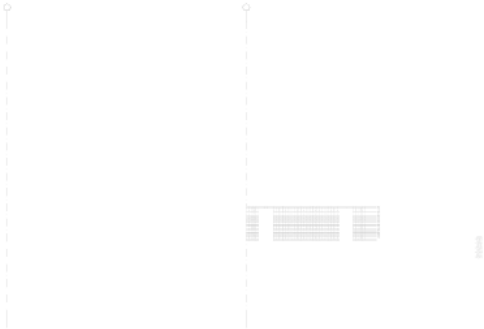


CU MUL US		FIFTH FLOOR 1:100		NORTH		PROJECT NAME		PROJECT ADDRESS		PROJECT NAME		ARCHITECT		DATE		ORIGINAL SIZE	
N/A		DATE		N/A		BGAS 175-179 Campbell Street		175-179 Campbell Street		CONCEPT DESIGN		PETER WALKER, CC2143E		13/1/22		A1	
BASE		15/1/22		N/A		Multi-Residential Development		HOSKOT		PLAN - LEVEL 05		DRAWN BY		DRAWING NO		REVISION	
N/A		N/A		N/A		N/A		N/A		N/A		AP, TB		200833-A-106		DA06	
N/A		N/A		N/A		N/A		N/A		N/A		PW, KW		N/A		N/A	



DATE APR 04/2019	TIME 07:19 AM	NAME Theresea Day (by Owner)	PROJECT ADDRESS 175-177 Campbell Street Hobart Tasmania 7000	PROJECT NAME BIGAS 175-177 Campbell Street Multi-Residential Development	PROJECT ADDRESS 175-177 Campbell Street Hobart Tasmania 7000	PROJECT NAME CONCEPT DESIGN	ARCHITECT PETER WALKER, CC21436	DATE 31/12/22	ORIGINAL SIZE A1
<p>THIS DOCUMENT IS THE PROPERTY OF THE ARCHITECT AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED. IT IS NOT TO BE REPRODUCED, COPIED, OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. ANY REUSE OR MODIFICATION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT IS STRICTLY PROHIBITED. THE ARCHITECT ACCEPTS NO LIABILITY FOR ANY LOSS OR DAMAGE, INCLUDING CONSEQUENTIAL DAMAGES, ARISING FROM THE USE OF THIS DOCUMENT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL FEES PAID TO THE ARCHITECT. THE ARCHITECT'S WORK IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.</p>			<p>THIS DOCUMENT IS THE PROPERTY OF THE ARCHITECT AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED. IT IS NOT TO BE REPRODUCED, COPIED, OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. ANY REUSE OR MODIFICATION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT IS STRICTLY PROHIBITED. THE ARCHITECT ACCEPTS NO LIABILITY FOR ANY LOSS OR DAMAGE, INCLUDING CONSEQUENTIAL DAMAGES, ARISING FROM THE USE OF THIS DOCUMENT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL FEES PAID TO THE ARCHITECT. THE ARCHITECT'S WORK IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.</p>						

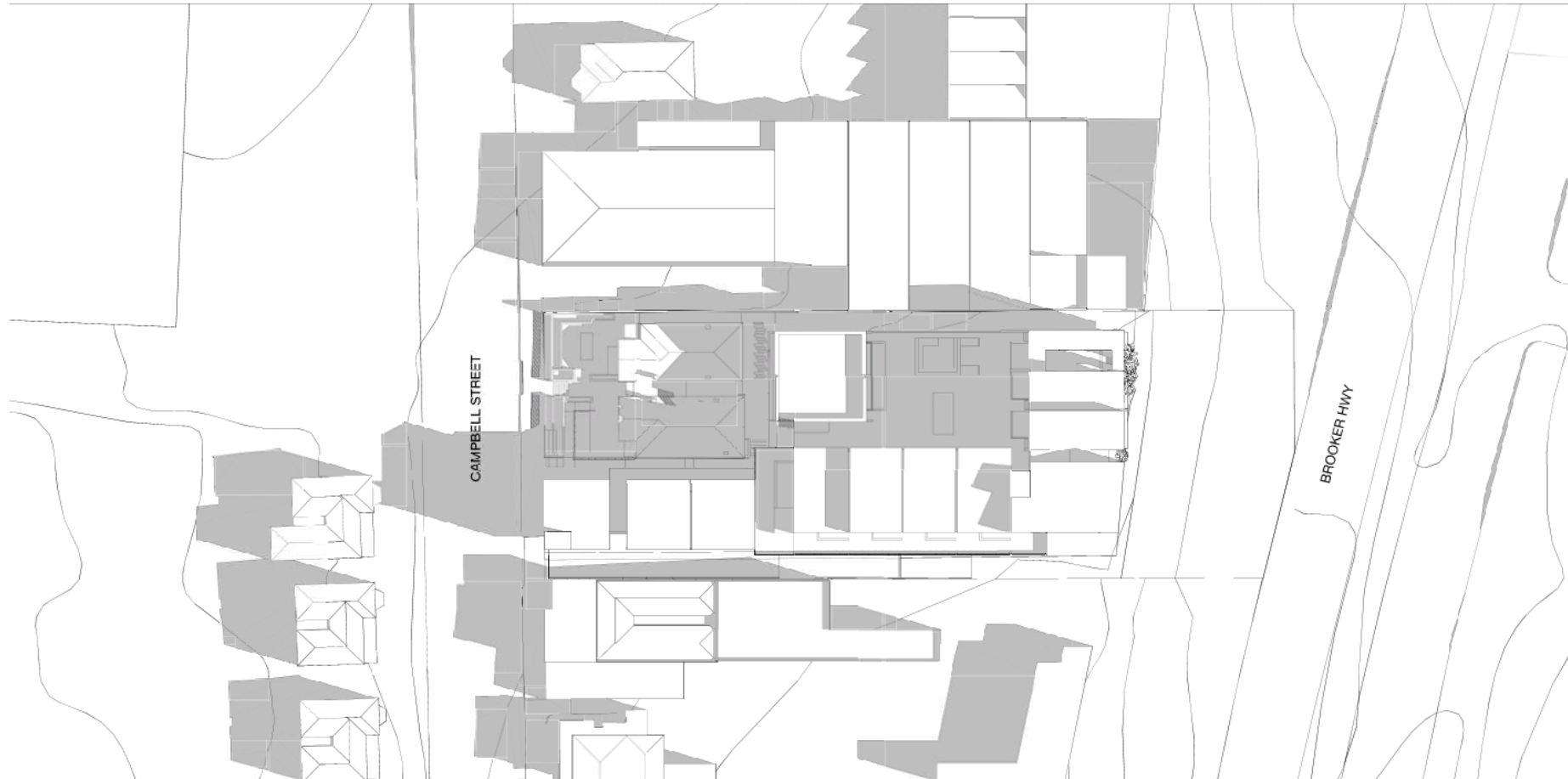










CU  
MUL  
US<sup>EST  
2019</sup>

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Approved - General  
Manager - Zircon Only  
[5VC-21-81]  
6/03/2022



June 22nd @9am  
Scale 1:250

CUMULATIVE  
US

REV. DATE DATE	REVISIONS REVISION 01 THE CONCEPT OF THIS DESIGN, PLAN AND SPECIFICATIONS ARE SUBJECT TO THE APPROVAL OF THE LOCAL AUTHORITY AND THE CLIENT. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.	PROJECT NAME BGAS 175-179 Campbell Street Multi-Residential Development	PROJECT ADDRESS 175-179 Campbell Street Hobart Tasmania 7500	PROJECT ID/NAME CONCEPT DESIGN	ARCHITECT PETER WALKER, CC2143E	DATE 12/12/22	ORIGINAL SIZE A1
DRAWING TITLE JUNE 22ND - 9AM	DESIGNED BY AP, TB	DRAWING NO. J20033-A-003	REVISION 000				



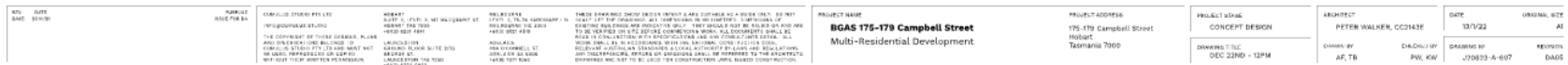
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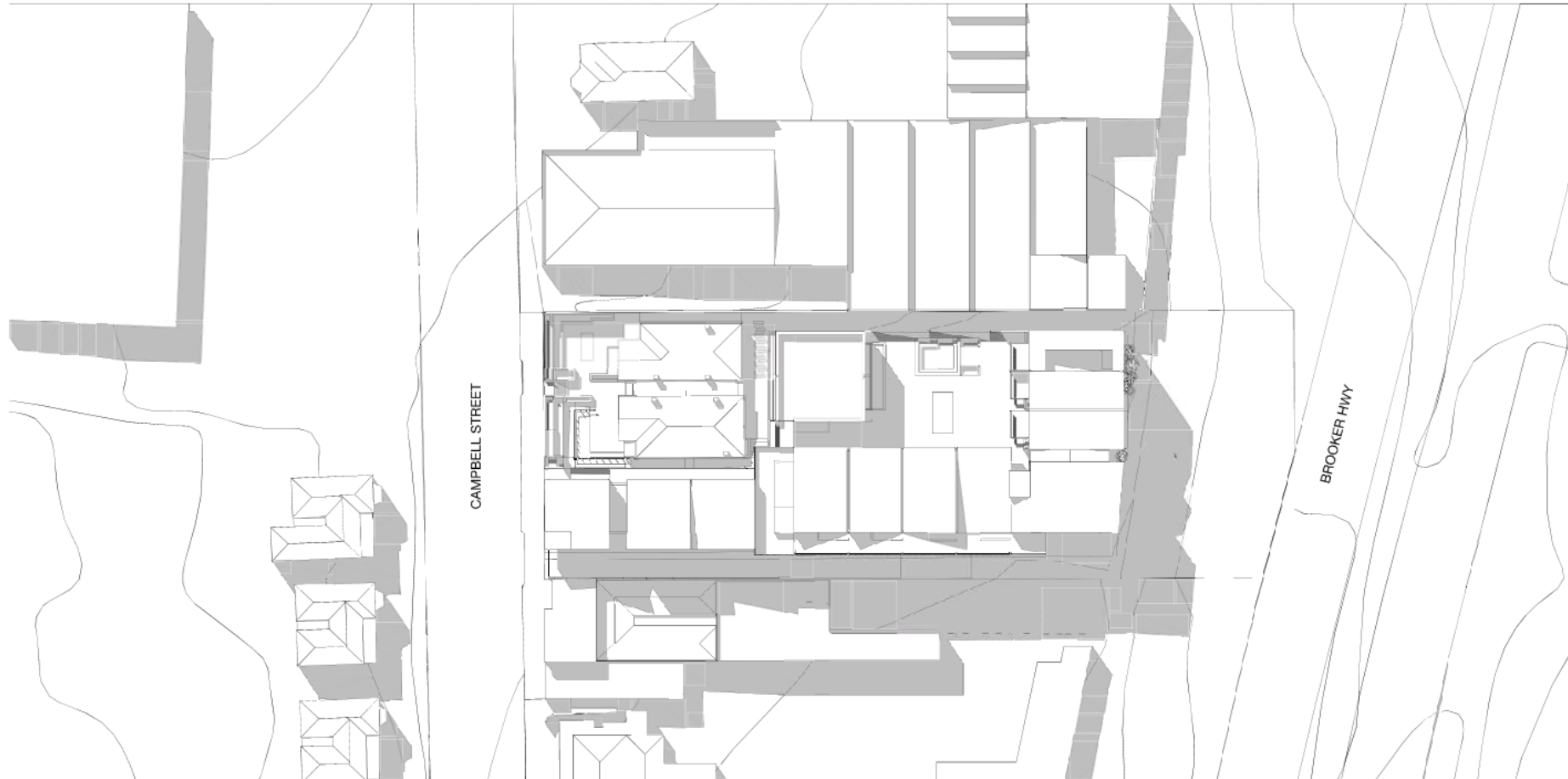
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2018</sup>[illegible]

June 22nd @3pm  
Scale 1:2000

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CU  
MUL  
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CU  
MUL  
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2018</sup>

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