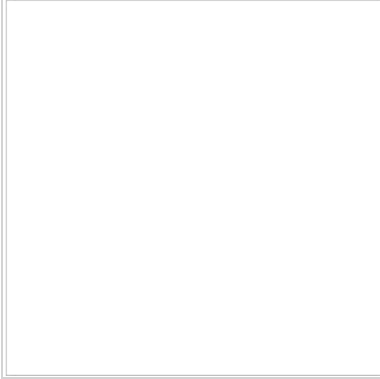


Property

2/816 SANDY BAY ROAD SANDY BAY TAS 7005



People

Applicant

*

Shane Farmer
2/816 Sandy Bay Road
SANDY BAY TAS 7005
0477 517 922
srfguru@gmail.com

Owner

*

Shane Farmer
2/816 Sandy Bay Road
SANDY BAY TAS 7005
0477517922
srfguru@gmail.com

Entered By

SHANE RONALD FARMER
0477 517 922
srfguru@gmail.com

Use

Visitor accomodation

Details

Have you obtained pre application advice?

No

If YES please provide the pre application advice number eg PAE-17-xx

Are you applying for permitted visitor accommodation as defined by the State Government Visitor Accommodation Standards? Click on help information button for definition. If you are not the owner of the property you MUST include signed confirmation from the owner that they are aware of this application.

*

Yes

Is the application for SIGNAGE ONLY? If yes, please enter \$0 in the cost of development, and you must enter the number of signs under Other Details below.

*

No

If this application is related to an enforcement action please enter Enforcement Number

Details

What is the current approved use of the land / building(s)?

*

Residential Dwelling

Please provide a full description of the proposed use or development (i.e. demolition and new dwelling, swimming pool and garage)

*

visitor accommodation

Estimated cost of development

*

0.00

Existing floor area (m2)

235.00

Proposed floor area (m2)

Site area (m2)

Carparking on Site

N/A

Total parking spaces

Existing parking spaces

4

4

Other (no selection chosen)

Other Details

Does the application include signage?

*

No

How many signs, please enter 0 if there are none involved in this application?

*

0

Tasmania Heritage Register

Is this property on the Tasmanian Heritage Register?

•

Documents

Required Documents

Title (Folio text and Plan and Schedule of Easements)

*

Folio Plan - 2 816 Sandy Bay Road.pdf

Plans (proposed, existing)

*

816 Sandy Bay Road.pdf

Title Search

2 816 Sandy Bay Road - Title Search.pdf

SEARCH OF TORRENS TITLE

VOLUME 104885	FOLIO 2
EDITION 8	DATE OF ISSUE 27-Sep-2017

SEARCH DATE : 17-Feb-2021

SEARCH TIME : 01.53 PM

DESCRIPTION OF LAND

City of HOBART

Lot 2 on Strata Plan 104885 and a general unit entitlement operating for all purposes of the Strata Scheme being a 1 undivided 1/2 interest

Derived from Strata Plan 104885

Derivation : Part of 72a 3r 34ps Gtd to Vernon William Hookey

SCHEDULE 1

M653687 TRANSFER to SHANE RONALD FARMER Registered
27-Sep-2017 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
The registered proprietor holds the lot and unit entitlement
subject to any interest noted on common property
Folio of the Register volume 104885 folio 0

B658785 BURDENING EASEMENT: Wayleave Easement for the Hydro
Electric Commission over the HEC Wayleave Easement on
Diagram No 104884 Registered 25-May-1993 at noon

E107361 MORTGAGE to First Mortgage Company Home Loans Pty Ltd
Registered 27-Sep-2017 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

SEARCH OF TORRENS TITLE

VOLUME 104885	FOLIO 0
EDITION 2	DATE OF ISSUE 13-Apr-2006

SEARCH DATE : 24-Jun-2021

SEARCH TIME : 09.37 AM

DESCRIPTION OF LAND

City of HOBART

The Common Property for Strata Scheme 104885

Derivation : Part of 72a 3r 34ps Gtd to Vernon William Hookey

Prior CT 4794/27

SCHEDULE 1

STRATA CORPORATION NUMBER 104885, 816 SANDY BAY ROAD, HOBART

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

B658785 BURDENING EASEMENT: Wayleave Easement for the Hydro

Electric Commission over the HEC Wayleave Easement on

Diagram No 104884 Registered 25-May-1993 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



104885

Conveyancing and Law of Property Act 1884

REGISTERED NUMBER

104885

STRATUM PLAN

Sheet 1 of 3 Sheets

City or Town HOBART

Locality SANDY BAY

Reference to Title C.T. 4794 - 27

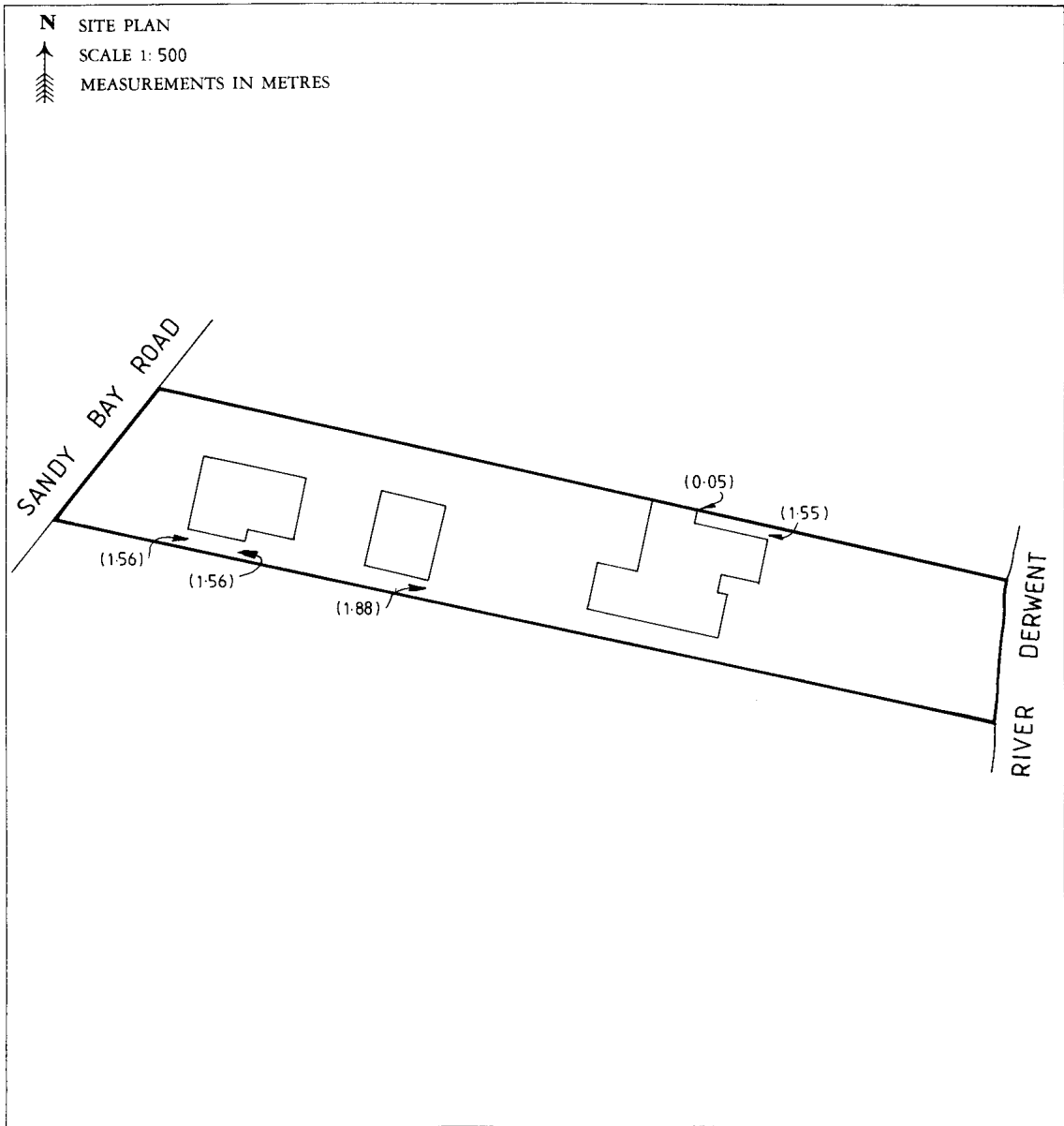
Site comprises the whole portion of Lot 1 on Plan Diagram No. D.104884 in the

29/03/93 5655 CASHIER.01
L.T.O OTHER FEES \$320.00

Lands Titles Office

The name of the building is 816 SANDY BAY ROAD, SANDY BAY HOBART

External surface boundaries of the site and the location of the building thereto to be delineated in this space



REGISTERED this 25TH day of MAY 1993, No. 104885

This plan is lodged for registration by GUNSON, PICKARD, & HANN.

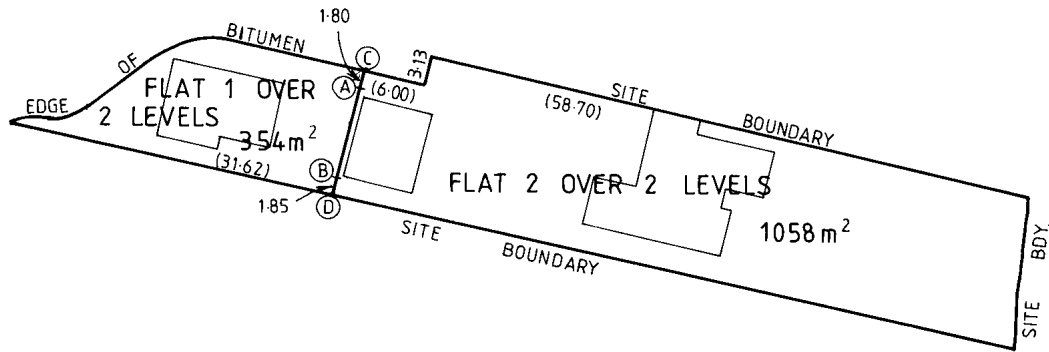
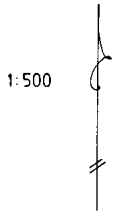
[Signature]
 Recorder of Titles

OS-D 754

Sheet 2 of 3 Sheets

[Signature]
Town Clerk/Council Clerk

No. 104885



THE HORIZONTAL BOUNDARIES ARE SHOWN BY HEAVY UNBROKEN LINES DEFINED BY:

- SITE BOUNDARIES
- THE EDGE OF BITUMEN
- THE EXTERNAL EDGE OF GUTTERING LABELLED (A)-(B)
- MEASUREMENT WHERE BOUNDARY IS OPEN
- (A) (C) & (B) (D) ARE THE PROLONGATION OF (A) (B)
- MEASUREMENTS IN BRACKETS ARE FOR BOUNDARY FIXATION ONLY

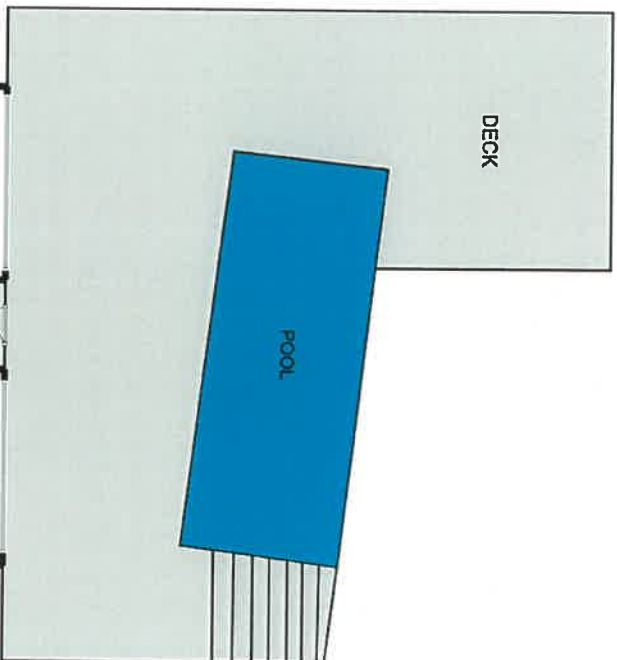
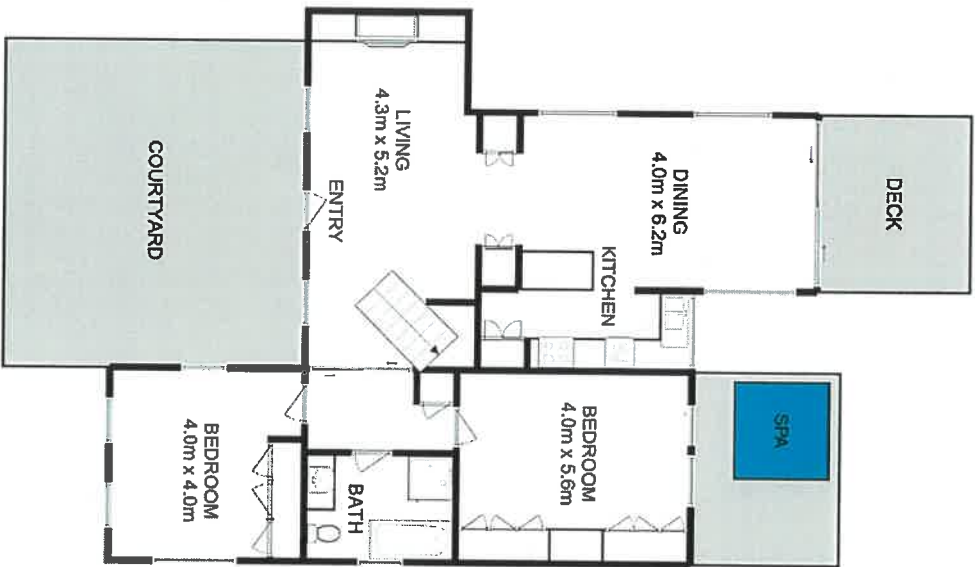
THE VERTICAL FLAT BOUNDARIES EXTEND FROM 2.00m BELOW GROUND LEVEL TO 10.00m ABOVE GROUND LEVEL

FLAT N°	FLOOR AREA	GARAGE & STORAGE AREA	OPEN SPACE AREA
1	77m ²	77m ²	200m ²
2	206m ²	52m ²	800m ²

816 Sandy Bay Road, Sandy Bay

Approx. house area: 235 sqm

Approx. outbuilding area: 44 sqm



All measurements are internal and approximate.
This plan is a sketch for illustration not valuation.
Produced by Open2view.com



05 May 2022

HOBART CITY COUNCIL
GPO Box 503
Hobart
Tasmania 7001

Att: **Mr C Sherriff**

Re: **Unit 2 – 816 Sandy Bay Road – Lower Sandy Bay
Visitor Accommodation
PLN-21-569**

Dear Cameron,

Please find attached a revised site plan for the present application for Visitor Accommodation at 2/816 Sandy Bay Road.


The site plan has been made specific to this application.

We have considered advice in your letter of the 26 April 2022 and have altered the car parking layout. Although 1 car space fulfils the planning scheme requirements set out in Table E.6.1 we are providing 2 spaces for the visitor accommodation use..

The attached site plan indicates the revised parking layout with dimensions and turning templates.

If you have any questions please call me on ☎ (03) 6223 6740

Yours Faithfully



Monty East
Director Design East Pty Ltd

PROPOSED VISITOR ACCOMMODATION

**at Unit 2 816 SANDY BAY ROAD
SANDY BAY TAS 7005
for Shane Farmer**

DE JOB #

5526

ISSUE: PLANNING APPROVAL 08 APR 2022

DWG. No.	DRAWING NAME	DATE	REVISION
A01	COVER PAGE	08/04/2022	
A02	SITE PLAN	08/04/2022	



153a Davey Street Hobart
Tasmania 7000
Phone (03)6223 6740

Email design@designeast.com.au
Web www.designeast.com.au
Accreditation No. CC1910

design ● **EAST**

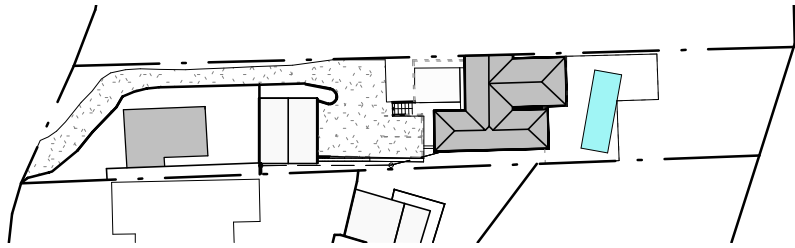
building design and interior architecture

SITE NOTES	
Property Address:	2/816 SANDY BAY ROAD SANDY BAY TAS 7005
Property ID:	7891424
Title Reference:	104885/2
Site Area:	1058 +/- m ²
Municipality:	Hobart City Council
Owner:	Shane Farmer

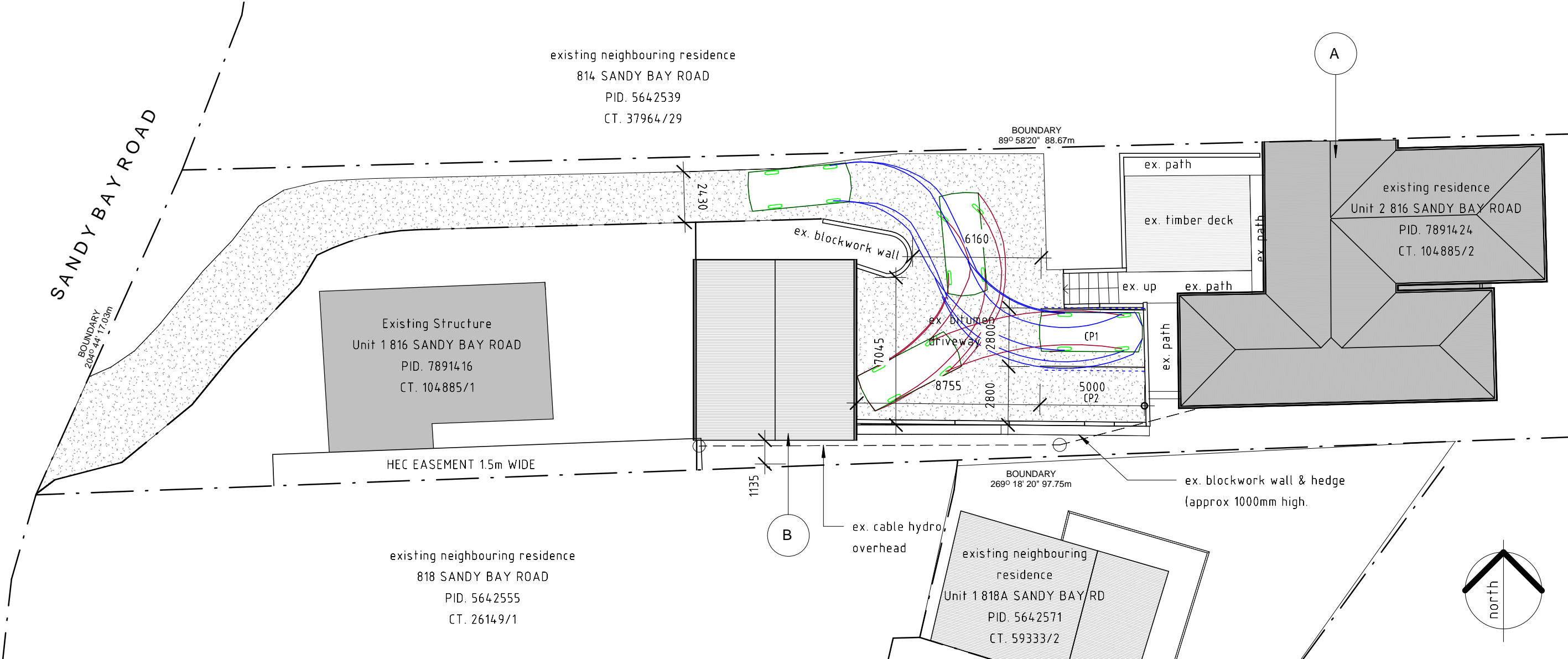
SITE KEY	
	EXISTING RESIDENCE. PROPOSED VISITOR ACCOMMODATION.
	ex. STRUCTURE (STORAGE)

FLOOR AREAS	
EXISTING RESIDENCE	= 140 +/- Sqm
EXISTING TIMBER DECK	= 28 +/- Sqm
EXISTING STRUCTURE (STORAGE)	= 56 +/- Sqm

CAR PARKING	
TOTAL CAR PARKING	= 2



2
A02
1 : 1000
SITE LOCATION PLAN



ISSUE	DESCRIPTION	DATE	ISSUED BY

Project: PROPOSED VISITOR ACCOMMODATION
Unit 2 816 SANDY BAY ROAD
SANDY BAY TAS 7005
Shane Farmer
Drawing: SITE PLAN
design: EAST registered trading name for design: EAST Pty. Ltd.

DRG. NO:	A02	CHK BY:	ME
SCALE:	As indicated @ A3	DRAWN:	EM

153a Davey Street Hobart
Tasmania 7000
Phone (03)6223 6740
Email design@designeast.com.au
Web www.designeast.com.au
Accreditation No. CC1910

