

DEMOLITION LEGEND

_____ Demolition works denoted by red dashed line

NOTES

1. The contractor is to inspect the site, and become conversant with the limitations and constraints for access, noise, and general safety.

2. All demolitions are to be removed from site unless noted otherwise. Strictly no burning off on site.

- unless noted otherwise. Strictly no burning off on site.

 3. Contractor to ensure all services are appropriately capped and sealed to make way for new work.

 4. Leave all surfaces clear and free of any remnants/objects ready to make way for new works.

 5. Remove all carpet, underlay and associated fixings and make good floor surfaces for new floor finish, where applicable.

 6. Remove all visible unused service pipes and conduits etc.

 7. Existing ceilings to remain except where noted otherwise.

 8. Remove existing ceiling insulation and vacuum—clean all roof spaces to make way for new bulk insulation.

 9. Builder to make the building secure throughout the building works.

- the building works.

 10. Provide temporary support to existing structure as required.





Preston

The Builder/Contractor shall verify job dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.

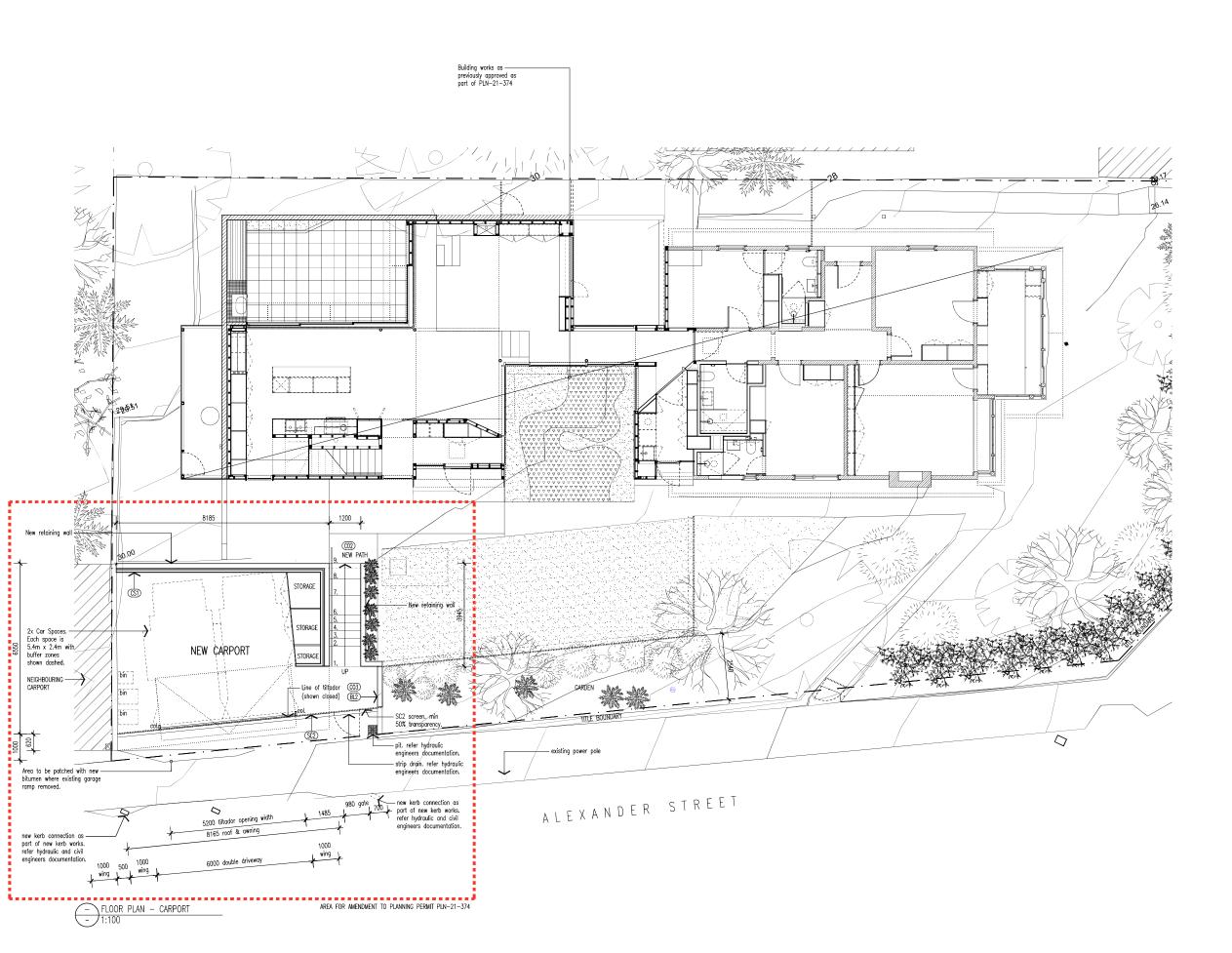


Proprietor MARK & ANGELA NEO Project 110 REGENT STREET

DEMOLITION PLAN CARPORT & CROSSOVER WORKS

Project No

20102 A01-00



EXTERNAL WALL FINISHES
All finishes and products to be strictly installed in occordance with Manufacturers specification.

Existing wall cladding (stucco and shingles). Repair and make good where required, new point finish to entire exterior. Colour to be white, refer external point schedule.

With the strict point schedule.

Bill 190 bagged blockwork woll with capping block. Natural grey finish, colour to be white, refer external point schedule.

Bill 190 bagged blockwork woll with capping block. Natural grey finish, colour to be winted grey finish, colour be provided and point schedule.

Bill 190 bagged blockwork woll with Dulux Acrafex 3-step coading system, roll on, installed by Dulux accrafted applicator. Jam granular profile. Point colour to be white, refer external point schedule.

Signal point schedule specification. Signal granular profile. Point colour to be white, refer external point schedule.

Signal point schedule specification. I may granular profile. Point colour to be white, refer external point schedule.

Signal point schedul

Grey. Complete system to Dulux recommendations.

EXTERNAL FLOOR FINISHES

CON20

Concrete steel trowel finish, clear satin polyurethane sealer.

CON30

Concrete exposed aggregate finish. 14mm bluestone aggregate, confirm colour with client.

90mm wide spotted gum timber decking, smooth side up. Finish to be Dulux Intergrain UltraClear Exterior Satin.

(PV)

Paving, mid-grey concrete pavers, confirm.

Paving, permeable grass povers. Moodie Outdoor Products (Grassibiamond Power in natural concrete colour, confirm prior to ordering. Fill permeable pavers with GRV1 gravel.

(GRY)

10mm aggregate decorative white pebbles.

Allow Aco Drain 100mm SlabDrain, or similar channel drain to full width of courtyard 3, locate under bench/seat.

LOCATION OF ALL NEIGHBOURING STRUCTURES ARE INDICATIVE ONLY





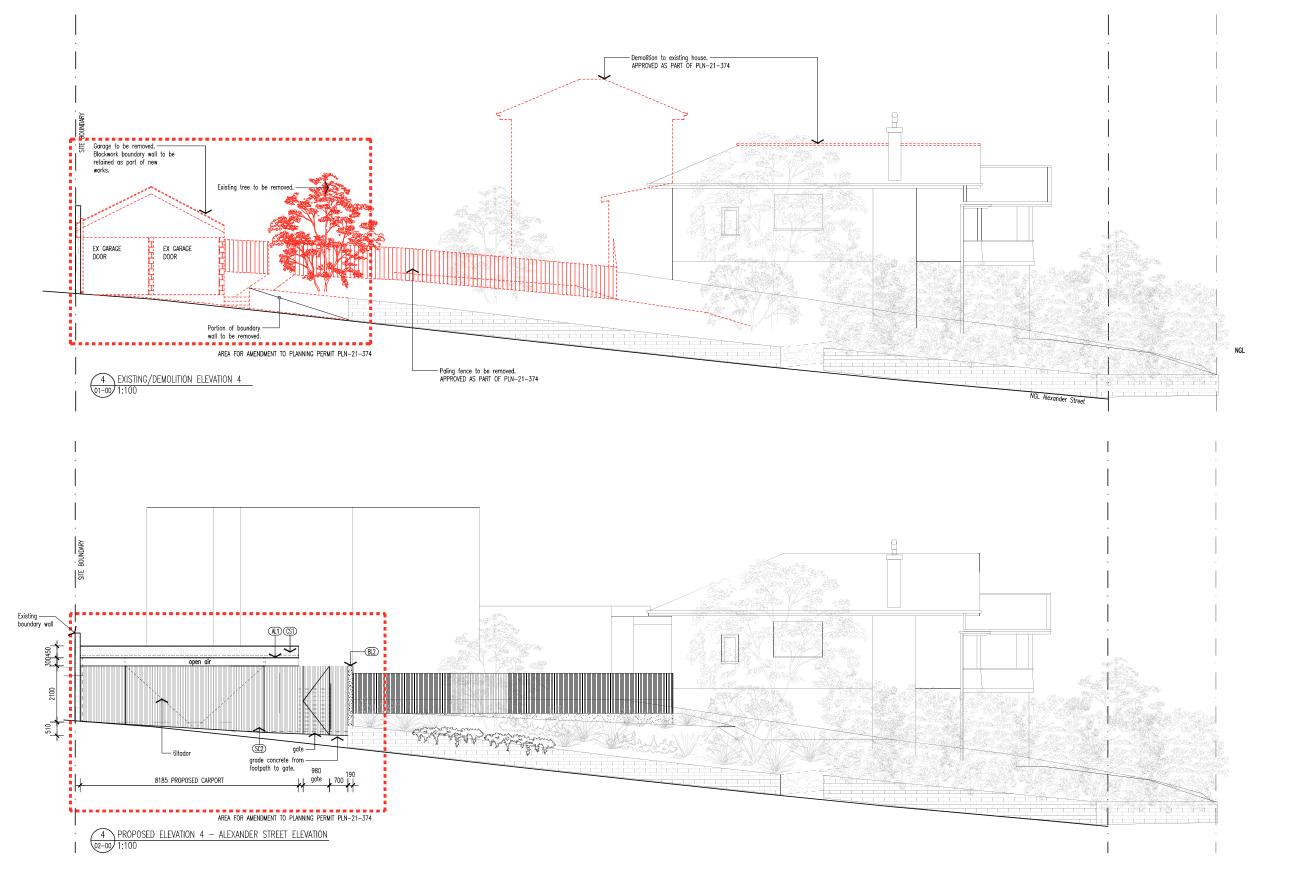
Proprietor Project 110 REGENT STREET

CARPORT & CROSSOVER WORKS

CARPORT Issued for HCC Review RL DL CARPORT Issued for GMC RL DL

20102

A02-00



EXTERM. WALL FINISHES
All finishes and products to be strictly installed in accordance with Manufacturers specification.

Existing wall cladding (stacco and shingles). Repair and make good where required, new point finish to entire exterior. Colour to be white, refer external point schedule.

WBD

WBD

Omm smooth narrow profile. External corners to be sealant. Paint finish, colour to be white, refer external paint schedule.

BLD

190 bagged blockwork wall with capping block. Natural grey finish. Selb.

190 bagged blockwork will with Dulux Acrafex 3-step cooting system, roll on, installed by Dulux accredited applicator. Jmm granular profile. Paint colour to be white, refer external paint schedule.

9mm cement sheet cladding. Butt joint silicone seal. Paint finish, colour to be white, refer external paint schedule.

9mm cement sheet cladding with Dulux Acrafex 3-step cooting system, roll on, installed by Dulux accredited applicator. Jmm granular profile. Paint colour to be white, refer external paint schedule.

9mm cement sheet cladding with Dulux Acrafex 3-step cooting system, roll on, installed by Dulux accredited applicator. Jmm granular profile. Paint colour to be white, refer external paint schedule.

97mm cement sheet cladding. Batters at nominal 70mm centres with the paint schedule.

97mm x 30mm design pine botten screen over cement sheet cladding. Batters at nominal 70mm centres (min 50% transparency in compliance with HPS). Paint finish, colour to be white, refer external paint schedule.

EXTERNAL PAINT COLOURS & FINSHES NOTES
White: to be Dulux Snowy Mountains Half'.

Block: to be

Grey. Complete system to Dulux recommendations.

EXTERNAL FLOOR FINISHES

(CON2)

Concrete steel trowel finish, clear satin polyurethane sealer.

Concrete exposed aggregate finish, 14mm bluestone aggregate, confirm colour with client.

90mm wide spotted gum timber decking, smooth side up. Finish to be Dulux Intergrain UltroClear Exterior Sottin.

(PV)

Paving, mid-grey concrete povers, confirm.

Paving, permeable grass povers. Moodie Outdoor Products GrassBiomand Pover in natural concrete colour, confirm prior to ordering, Fill permeable povers with GRV1 gravel.

(GW)

Allow Aco Drain 100mm SlabDrain, or similar channel drain to full width of courtyard 3, locate under bench/seat.

LOCATION OF ALL NEIGHBOURING STRUCTURES ARE INDICATIVE ONLY

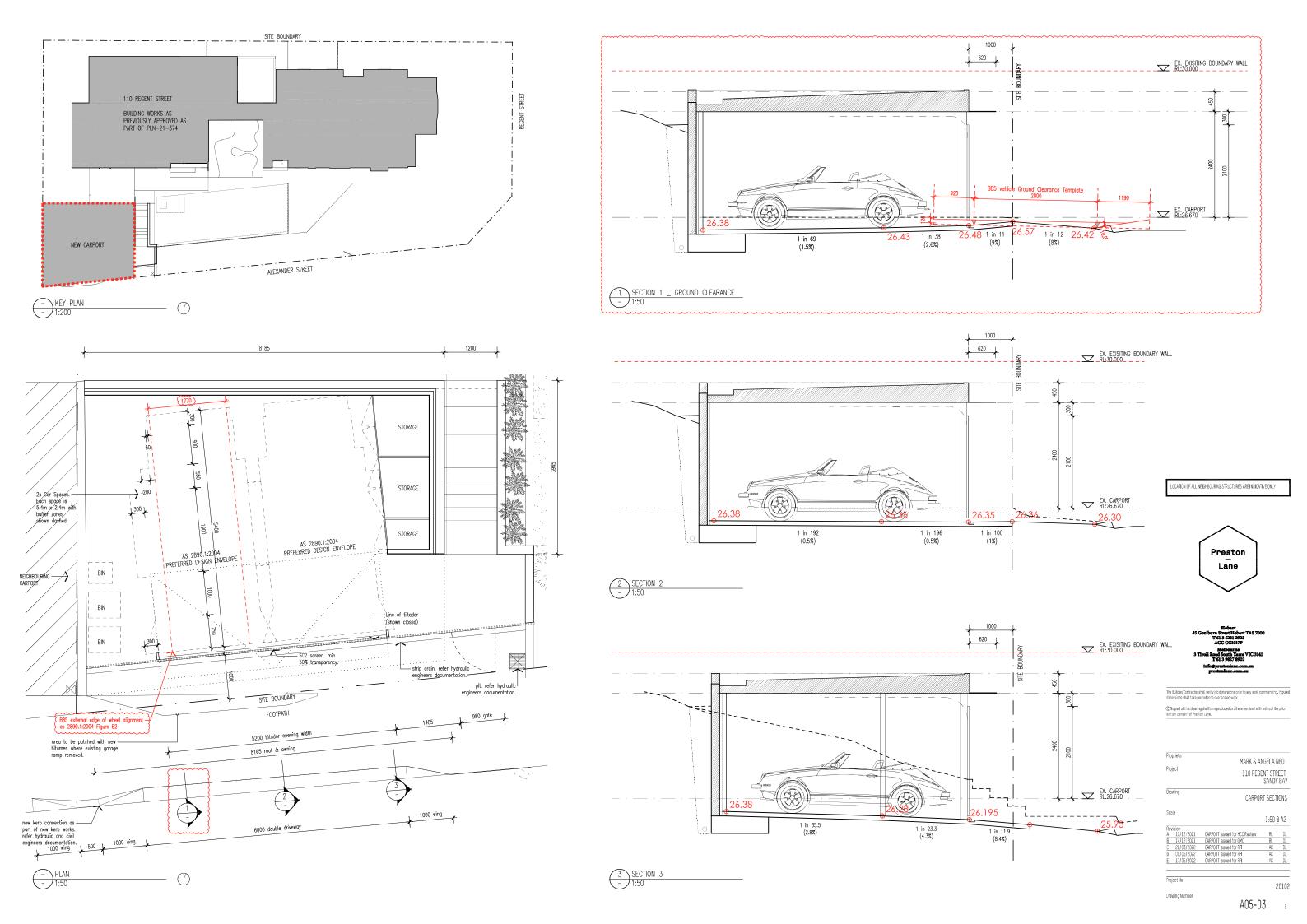


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PIU	prietor	MARK & A	ANGELA M	VE0
Pro	ject	110 REG	GENT STR SANDY	
Dra	wing		ELEVA	TION
Sca	ale		1:100 (a A2
Rev	vision			
А	10/12/2021	CARPORT Issued for HCC Review	RL	DI
R	14/12/2021	CARPORT Issued for GMC	RL	DI

A04-02

20102



HYDRAULIC SERVICES DRAWINGS MARK & ANGELA NEO 110 REGENT STREET SANDY BAY TAS 7005

H0.01	HYDRAULIC INDEX	1	04/03/2022
H0.02	HYDRAULIC NOTES & LEGEND	1	04/03/2022
H0.03	WORKPLACE HEALTH AND SAFETY NOTES	1	04/03/2022
H1.01	PRE DEVELOPMENT STORMWATER CATCHMENT	1	04/03/2022
H1.02	POST DEVELOPMENT STORMWATER CATCHMENT	1	04/03/2022
H2.01	DRAINAGE & WATER SERVICES PLAN - GROUND FLOOR	1	04/03/2022
H2.02	DRAINAGE SERVICES PLAN - FIRST FLOOR	1	04/03/2022
H3.01	ROOF DRAINAGE PLAN	1	04/03/2022
H4.01	DETAIL SHEET	1	04/03/2022

1	BUILDING APPROVAL	04/03/2022	
0	BUILDING APPROVAL	06/09/2021	
REV.	DESCRIPTION	DATE	



Lower Ground 199 Macquarie Street Hobart TAS 7000 03 6234 8666 mail@aldanmark.com.au www.aldanmark.com.au

CLIENT: MARK & ANGELA NEO	SHEET: HYDRAULIC INDEX	DRAWN: SL	DESIGNED: SL	VERIFIED:	DATE: 04/0	03/2022
ADDRESS:	ALTERATIONS AND ADDITIONS	SCALE:		SIZE: A2	TOTAL SHEETS:	9
110 REGENT STREET SANDY BAY TAS 7005		PROJECT No.		SHEET No.		REV No.
SAID I BAT WO TOO	DEVELOPMENT APPROVAL	21E	68-8	H0.01	1	1

HYDRAULIC NOTES

- GENERAL NOTES:

 1. THESE DRAWING ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS, PROJECT CONTRACT AND SPECIFICATIONS.
- STANDARDS REFERENCES ARE THE MOST RECENT VERSION.
 SEWER, STORMWATER AND WATER SERVICES SHALL BE IN ACCORDANCE WITH THE NCC VOL 3 (PCA), AS3500, WSAA CODES, TASWATER AND TO LOCAL AUTHORITY APPROVAL.

 IT IS ASSUMED THAT ADJACENT TO THE DEVELOPMENT SITE IS ADEQUATE INFRASTRUCTURE PROVIDED BY THE LOCAL AUTHORITY AND
- OTHER STATUTORY AUTHORITIES TO SUPPLY ROAD ACCESS, WATER AND POWER AS REQUIRED BY THIS DESIGN; AND THERE IS ADEQUATE INFRASTRUCTURE OR ENVIRONMENTAL CAPACITY TO RECEIVE STORMWATER AND SEWERAGE DRAINAGE. PARTICULAR ASSUMPTIONS ARE DESCRIBED IN THE FOLLOWING SECTIONS
- THE LOCATION OF EXISTING SERVICES AND CONNECTION POINTS WHERE SHOWN ON PLANS ARE APPROXIMATE ONLY AND SHALL BE CONFIRMED ON SITE
- FOLLOWING AGREEMENT WITH THE SUPERINTENDENT, TERMINATE AND ABANDON REDUNDANT EXISTING SERVICES DISCOVERED DURING CONSTRUCTION AND MAKE A NOTE ON AS-CONSTRUCTED DRAWING.
- LOCATE ALL EXISTING GAS, ELECTRICAL, TELECOMMUNICATIONS, WATER MAINS, SEWER MAINS AND STORMWATER MAINS ETC. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND ADVISE THE SUPERINTENDENT OF ANYTHING THAT APPEARS NOT BE HAVE BEEN
- CONSIDERED IN THE DESIGN.
 CONFIRM ALL LEVELS ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.
- HYDRAULIC LAYOUT TO BE COORDINATED WITH OTHER SERVICES. HYDRAULIC LAYOUT AS SHOWN IS NOTIONAL, LAYOUT TO BE
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT A VALID BUILDING AND PLUMBING PERMIT AND START WORKS NOTICE IS IN PLACE FOR THE WORK AND THAT THE BUILDING SURVEYOR IS NOTIFIED OF ALL SITE INSPECTION REQUESTS.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES CAUSED BY HIS SUB-CONTRACTORS, ANY SERVICE DAMAGED IS TO BE REINSTATED IMMEDIATELY.
- 11. ON COMPLETION OF WORKS PROVIDE THREE SETS OF AS-CONSTRUCTED DRAWINGS AND SERVICE MANUALS ALONG WITH ELECTRONIC DRAWING FILES IN PDF AND DWG FORMATS SUITABLE FOR READING WITH A RECENT VERSION OF ADOBE/AUTOCAD TO THE SUPERINTENDENT.
- THE CONTRACTOR IS RESPONSIBLE FOR ORGANIZING ALL SITE INSPECTIONS AND OBSERVING ALL HOLD POINTS NOMINATED WITHIN THE CONTRACT, BY THE BUILDING SURVEYOR OR PLUMBING SURVEYOR.
- CONTRACT, BY THE BUILDING SURVEY ON PEUMSING SORVEY ON.
 NOMINAL DIAMETERS FOR PIPES (DI) REFER TO THE INSIDE DIAMETER (ID BORE)
 CONCEAL ALL PIPEWORK IN CEILING SPACE, DUCTS, CAVITIES, WALL CHASES, CUPBOARDS ETC. UNLESS OTHERWISE APPROVED.
- THE CONTRACTOR SHALL ALLOW TO COORDINATE WITH MECHANICAL AND REFRIGERATION SERVICES AND PROVIDE TUNDISHES CONNECTED TO SEWER OR STORMWATER AS APPROPRIATE TO ALL CONDENSATE DRAINAGE AND RELIEF VALVES. ALLOW TO PROVIDE AND INSTALL MAG IN-WALL TUNDISHES WITH STAINLESS STEEL COVER WINDOW (SUPPLIED BY MA GRIFFITH) OR EQUAL APPROVED TYPE.
- TRENCHING FOR FLEXIBLE PIPEWORK SHALL BE IN ACCORDANCE WITH AS2566 AND AS3500.

 ALL PIPEWORK UNDER TRAFFICABLE AREAS, SLABS OR PAVEMENTS IS TO BE FULLY BACKFILLED WITH COMPACTED FCR.

- STORMWATER PIPE INFRASTRUCTURE HAS BEEN DESIGNED TO CONVEY A 20 YEAR ANNUAL EXCEEDANCE POSSIBILITY (5% AEP) AT A 5 MINUTE STORM DURATION, WITH OVERLAND FLOW PATHS PROVIDED FOR 1:100 YEAR ANNUAL EXCEEDANCE PROBABILITY (1% AEP). IT IS ASSUMED THAT THE DOWNSTREAM INFRASTRUCTURE AND/OR ENVIRONMENT CAN SAFELY RECEIVE THE 5% AEP EVENT WITH A 5 MINUTE STORM DURATION.
- ALL MATERIALS AND WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH AS3500, NCC VOL 3 (PCA), COUNCIL STANDARD DRAWINGS AND SPECIFICATION AND TO THE SATISFACTION OF COUNCIL'S DEVELOPMENT ENGINEER.
- ALL PIPEWORK SHALL BE MINIMUM DN100 DWV SN6 AT 1:100 GRADE (1.00%) UNLESS NOMINATED OTHERWISE ON PLANS MINIMUM GRADE OF PAVED AREAS AND PIPEWORK SHALL BE 1 IN 100 UNLESS NOTED OTHERWISE.

- INSTALL ALL AG DRAINS TO THE REQUIREMENTS OF AS3500 AND THE NCC
 PROVIDE INSPECTION OPENINGS TO ALL DRAINAGE PIPEWORK IN ACCORDANCE WITH AS3500 REQUIREMENTS EVEN IF NOT SHOWN IN DRAWINGS
- PIPE AND CHANNEL INFRASTRUCTURE HAS BEEN DESIGNED TO CONVEY 20 YEAR ANNUAL EXCEEDANCE POSSIBILITY (5% AEP) STORMS, WITH OVERLAND FLOW PATHS PROVIDED FOR 1% AEP STORMS, IT IS ASSUMED THAT WATER FLOWING ONTO THE DEVELOPMENT SITE IS CONTAINED WITHIN LOCAL AUTHORITY INFRASTRUCTURE FOR 5% AEP STORMS AND THE ROAD RESERVE FOR 1% AEP STORMS.
- ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LOCAL AUTHORITY'S BY-LAWS AND AS/NZS3500 STORMWATER TRENCHES, PIPE BEDDING AND BACK FILLING TO COMPLY WITH THE CONCRETE PIPE ASSOCIATION OF AUSTRALIA
- INSTALLATION REQUIREMENTS FOR TYPE HS2 SUPPORT.
 BELOW GROUND PIPEWORK AND FITTINGS TO BE DWV SN6, JOINTS SHALL BE OF SOLVENT CEMENT TYPE OR FLEXIBLE JOINTS
- MADE WITH APPROVED RUBBER RINGS.
 PIPEWORK SHALL BE LAID IN POSITION AND AT THE GRADES SHOWN.
- 12. MINIMUM GRADE OF PIPEWORK SHALL BE 1 IN 100 UNLESS NOTED OTHERWISE (U.N.O.).
 13. MINIMUM SIZE OF PIPEWORK SHALL BE DN100.
- SURFACE WATER DRAINS, CATCHPITS/GRATED PITS, AND JUNCTION BOXES SHALL BE CONSTRUCTED AS DETAILED OR AS SPECIFIED BY THE MANUFACTURER.
- 15 ALL MANHOLES TO BE LOCATED CLEAR OF FUTURE FENCELINES.

- SEWER NOTES:
 1. ALL MATERIALS AND WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH AS3500, NCC VOL 3 (PCA), TASMANIAN APPENDIX OF THE NCC VOL 3 (PCA), COUNCIL STANDARD DRAWINGS AND SPECIFICATION AND TO THE SATISFACTION OF COUNCIL'S DEVELOPMENT ENGINEER. CONFIRM THE LOCATION AND LEVEL OF THE NOMINATED OUTLET PRIOR TO TRENCH EXCAVATION OR LAYING OF ANY DRAINS.
- ASCERTAIN FROM TASWATER ALL NECESSARY CONNECTION REQUIREMENTS AND INSTALL ALL WORK FOR CONNECTION IN
- ACCORDANCE WITH THESE REQUIREMENTS.

 SEWER TRENCHES, PIPE BEDDING AND BACK FILLING TO COMPLY WITH AS2566 & AS3500.2
- ALL PIPEWORK SHALL BE ADEQUATELY SUPPORTED TO ASS500.

 PIPEWORK SHALL BE CONSTRUCTED OF DWV SN6, U.N.O. PIPEWORK RECEIVING HOT DISCHARGES SHALL BE CONSTRUCTED OF HIGH
- DENSITY POLYETHYLENE (HDPE) OR COPPER TYPE 'B'.
 PIPEWORK SHALL HAVE BE MINIMUM CLASS SN6 UNLESS NOMINATED OTHERWISE ON PLANS.
- PIPEWORK SHALL BE PRESSURE TESTED PROGRESSIVELY TO ENSURE NO LEAKS.
 ALL PIPEWORK SHALL BE CONCEALED IN WALLS, VOID SPACE OR DUCTS UNLESS NOTED OTHERWISE.
- MINIMUM GRADE OF PIPEWORK SHALL BE 1:40 FOR BRANCHES AND 1 IN 60 FOR DRAINS UNLESS NOTED OTHERWISE. MINIMUM SIZE OF BRANCH DN65 AND MINIMUM SIZE OF DRAINS SHALL BE DN100.
- WHERE FLOOR WASTE GULLIES ARE INDICATED, THE FLOORS SHALL BE GRADED TOWARDS THE OUTLET. FLOOR WASTE GULLIES CONNECTED TO LAUDRY FIXTURES SHALL BE ANTI-FOAM TYPE.

 ALL FITTINGS TO BE ISOLATED BY AN APPROVED TRAP PRIOR TO CONNECTION TO THE SEWER LINE.
- PROVIDE AIR ADMITTANCE VALVES AND ATMOSPHERIC VENTS IN ACCORDANCE WITH AS3500 REQUIREMENTS
- INSPECTION OPENINGS SHALL BE PROVIDED IN ACCORDANCE WITH AS3500.
- ONE OVERFLOW RELIEF GULLY SHALL BE PROVIDED FOR THE SITE WHICH SHALL BE PRIMED BY AN EXTERNAL WATER SOURCE.
 WHERE PIPEWORK PENETRATES FIRE RATED WALLS OR FLOORS, A FIRE STOP COLLAR SHALL BE INSTALLED. ALL WORK SHALL BE STRICTLY INSTALLED TO THE MANUFACTURER'S RECOMMENDATIONS.

 17. NO SEWER CONNECTIONS SHALL BE MADE WITHIN RESTRICTED ZONES OF STACKS AS PER AS3500. INSTALL LONG RADIUS BENDS AT
- THE BASE OF ALL STACKS AS PER AS3500 AND INCLUDE ALL BRACKETS AND SUPPORTS.

- TRADE WASTE:

 1. ALL TASWATER TRADE WASTE INSTALLATIONS FOR COMMERCIAL KITCHENS SHALL HAVE NON BYPASSABLE DRY BASKET ARRESTORS FITTED TO ALL SINKS & FLOOR WASTES.
- DEPARTMENT OF EDUCATION KIOSKS AND HOME ECONOMICS CLASSROOMS SHALL HAVE NON BYPASSABLE DRY BASKET ARRESTORS FITTED TO ALL SINKS & FLOOR WASTES. ALL SINKS IN GENERAL LEARNING CLASSROOMS SHALL BE FITTED WITH
- NON BYPASSABLE DRY BASKET ARRESTORS.
 ALL TRADE WASTE INSTALLATIONS SHALL BE INSTALLED TO ADHERE TO THE NCC VOL 3 (PCA) TASMANIAN APPENDIX AND TASWATER'S TRADE WASTE GUIDELINES

- BUILDING HYDRAULICS:
 1. ALL MATERIALS AND WORKMANSHIP TO BE DONE IN ACCORDANCE WITH AS3500, NCC VOL 3 (PCA), TASMANIAN APPENDIX OF THE NCC
- VOL 3 (PCA) AND LOCAL AUTHORITY REQUIREMENTS.
 ALL DRAINAGE PIPEWORK SHALL BE DWY CLASS SN6 U.N.O., ALL WASTE AND VENT SHALL BE DWY CLASS PIPE.
- DURING CONSTRUCTION TEMPORARILY SEAL ALL OPEN ENDS OF PIPES AND VALVES TO PREVENT ENTRY OF FOREIGN MATTER, DO NOT USE RAGS, PAPER OR WOODEN PLUGS.
- SUPPLY AND INSTALL ALL FIXTURES, VALVES, TAPWARE AND SUNDRY ITEMS AS SCHEDULED WITHIN THE SPECIFICATION.
- CONTRACT DRAWINGS ARE DIAGRAMMATIC AND AS SLICH SHOW THE INTENT OF DESIGN INSTALLATION TO BE AS PER AS/NZS3500 OTHER BUILDING SERVICES
- REFER TO ARCHITECTS DEMOLITION PLAN FOR REMOVAL OF EXISTING FIXTURES AND FITTINGS. THE REMOVAL OF EXISTING PLUMBING FIXTURES SHALL INCLUDE ALL ASSOCIATED WASTE AND VENT PIPES, FLOOR DRAINS, WATER SERVICE PIPEWORK BRACKETS,
- SUPPORTS, ETC AND SEAL OFF EXISTING SERVICES. SEAL OFF AND MAKE GOOD ALL FLOOR, WALL AND ROOF PENETRATIONS.

 THE LOCATION OF EXISTING SERVICES WHERE SHOWN ARE APPROXIMATE ONLY AND SHALL BE CONFIRMED ON SITE. WHERE POSSIBLE,
- DETERMINE LOCATION OF EXISTING POWER, TELSTRA, WATER AND DRAINAGE SERVICES PRIOR TO COMMENCING NEW WORK.
 ALL PENETRATIONS THROUGH EXISTING SUSPENDED FLOOR SLABS SHALL BE DRILLED TO LOCATIONS APPROVED BY THE STRUCTURAL ENGINEER DRILL PILOT HOLE PRIOR TO CORE DRILLING TO ENSURE CLEARANCE OF BEAMS AND OTHER SERVICES IN SLAB. ALL PENETRATIONS SHALL BE CORE DRILLED TO SUIT PIPE SIZE. ALLOWANCE FOR 10 MM CLEARANCES SHALL BE MADE FOR FIRE
- 10. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATION OF FIRE AND SMOKE STOP WALLS. ALL PIPE PENETRATIONS SHALL BE SEALED WITH TWO HOUR FIRE STOP SEALANT, INSTALL FIRE STOP COLLARS TO PVC-U OR DWV PIPEWORK PASSING THROUGH FLOORS AND FIRE WALLS IN ACCORDANCE WITH THE MANUFACTURERS WRITTEN INSTRUCTIONS.
- PROVIDE SERVICE IDENTIFICATION AND DIRECTION OF FLOW MARKERS TO PIPEWORK IN ACCORDANCE WITH AS1345.
- MAKE GOOD ALL DISTURBED SURFACES TO MATCH EXISTING.
 MAINTAIN SERVICES TO EXISTING FIXTURES AT ALL TIMES. WHERE CHANGEOVER IS REQUIRED, LIAISE WITH THE ARCHITECT PRIOR TO THE SHUTTING DOWN OF ANY SERVICE
- 14. CONTRACTOR TO PROVIDE ALL DOCUMENTS, APPROVALS, CERTIFICATES, WARRANTIES, LOG BOOKS, ETC. UPON COMPLETION OF
- WORKS TO THE ARCHITECT. ALL FEES AND INSPECTIONS TO BE INCLUDED AND ARRANGED BY THE CONTRACTOR.

 15. REFER TO THE ARCHITECTS DRAWINGS FOR SANITARY FIXTURE AND TAP SELECTIONS. SUPPLY AND FIX ACCESSORIES NECESSARY FOR THE CORRECT INSTALLATION OF THE FIXTURES AND EQUIPMENT

- WATER NOTES:

 1. WATER SERVICES TO BE CONSTRUCTED IN ACCORDANCE WITH AS3500 PARTS 1 AND 4 AND TO THE SATISFACTION OF COUNCILS
- (OR TAS WATER FOR EXTERNAL) DEVELOPMENT ENGINEER
 APPROVED PRESSURE LIMITING VALVES SHALL BE USED TO ENSURE PRESSURE DOES NOT EXCEED 500KPA TO ANY FIXTURE WITHIN A BUILDING. APPROVED PRESSURE LIMITING VALVES SHALL BE LOCATED AS CLOSE AS PRACTICAL TO A BUILDING TO ENSURE FRICTIONAL LOSSES WITHIN PIPEWORK ARE MINIMIZED.
- ALL CONNECTIONS TO EXISTING MAINS TO BE CARRIED OUT BY TASWATER AT CONTRACTORS COST UNLESS NOMINATED
- GENERAL MATERIALS INSTALLATION & TESTING SHALL COMPLY WITH AS3500 PARTS 1 AND 4
- AS AN ALTERNATIVE TO SILVER SOLDERED JOINTS, PRESS FITTED JOINTS MAY BE USED. ALLOW TO USE THE VIEGA PROPRESS
- SYSTEM WITH INSTALLATION IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS AND SPECIFICATIONS.
- ALL PIPEWORK SHALL BE CONCEALED WHERE POSSIBLE. WHERE PIPEWORK IS EXPOSED IT SHALL BE CHROME PLATED.
- WHERE PIPEWORK IS IN CONTACT WITH DISSIMILAR METALS, THE METALS SHALL BE INSULATED AGAINST BI-METAL CORROSION MINIMUM COVER TO BE 750mm UNDER TRAFFICABLE AREAS; 600mm ELSEWHERE UNLESS NOMINATED OTHERWISE ON PLANS.

- PROVIDE STOP VALVES AT ALL BRANCH OFFTAKES.
 ALL TRENCHES UNDER TRAFFICABLE AREAS, INCLUDING DRIVEWAYS, TO BE BACKFILLED WITH COMPACTED FCR.
- 12. ELECTROMAGNETIC TRACKING TAPE TO BE PLACED OVER ALL TRENCHES CONTAINING WATER PIPES 50 Ø OR GREATER ABOVE HAUNCHING.
- 13. ALL ISOLATION VALVES SHALL BE POSITIONED IN APPROVED ACCESSIBLE LOCATIONS. VALVES LOCATED IN DUCTS OR WALLS SHALL BE POSITIONED BEHIND APPROVED TYPE ACCESS COVERS.
- ALL SCREWED STOP VALVES SHALL HAVE UNION COUPLINGS AND BE ACCESSIBLE. GROUP VALVES WHEREVER POSSIBLE.
 ALL COPPER PIPEWORK SHALL BE HARD DRAWN TUBING TYPE 'B' CONFORMING TO AS 1432.
- ALL POLYETHYLENE PIPEWORK SHALL BE PN16 PE100 CONFORMING TO AS A432. THRUST BLOCKS SHALL BE INSTALLED AS REQUIRED BY WSAA AND AS3500.
- HOT WATER TO BE STORED AT MINIMUM 60°C WITH TEMPERING DEVICE INSTALLED TO LIMIT OUTLET TEMPERATURE TO: 50°C TO ABLUTION AREAS, 60°C TO KITCHEN SINK, CLEANERS SINK AND LAUNDRY TROUGH AND TEMPERED TO 45°C IN DISABLED, CHILD CARE AND AGED CARE FACILITIES
- 19. COLD WATER, TEMPERED AND HOT WATER PIPEWORK AND VALVES SHALL BE LAGGED AS PER AS/NZS 3500.4:2018 SECTION 8 FOR CLIMATE REGION C. HOT WATER CIRCUI ATING LINE TO BE LAGGED WITH SECTIONAL ROCKWOOL WITH FOIL OUTER COVER. EXTERNAL LAGGING TO BE UV PROTECTED, AND LAGGING EXPOSED TO MOISTURE NEEDS TO BE MOISTURE PROTECTED. SOLAR FLOW AND RETURN LAGGING SHOULD BE RATED FOR TEMPERATURES UP TO 150°C, OTHER LAGGING RATED TO 105°C. ALL LAGGING SHOULD BE FIRE RATED TO NCC REQUIREMENTS, PVC FREE, ZERO OZONE DEPLETING POTENTIAL, LOW VOLATILE ORGANIC COMPOUNDS.
- 20. ONE PRESSURE RELIEF VALVE SET TO 500 KPA SHALL BE PROVIDED TO ALL WATER PIPES AT THE POINT OF ENTRY INTO A
- HOSE BIS COCKS SHALL BE 600mm ABOVE FINISHED SURFACE LEVEL AND SHALL BE 20mm IN SIZE, U.N.O., AND FITTED WITH APPROVED VACUUM BREAKERS.THE PLUMBER SHALL ARRANGE FOR ALL INSPECTIONS AND TESTING OF SERVICES REQUIRED BY THE LOCAL AUTHORITY PRIOR TO CONCEALMENT, PRESSURE TEST HOT AND COLD WATER SERVICES TO 1.5 TIMES NORMAL WORKING PRESSURE AND FIRE SERVICES TO 1700 KPA MINIMUM PRESSURE PRIOR TO CONNECTION TO EXISTING SERVICES, PUMP EQUIPMENT SHALL BE REMOVED WHILST TESTING IS CARRIED OUT.
- ALL TEMPERING AND THERMOSTATIC MIXING VALVES SHALL BE EASILY LOCATED FOR SAFE OH&S ACCESS
- 23. FOLLOWING COMPLETION OF THE WORKS, FLUSH ALL PIPING SYSTEMS AND LEAVE FREE OF FOREIGN MATTER, CLEAN OUT AERATORS, STRAINERS, FILTERS, ETC., FLOW AND PRESSURE TEST ALL HYDRANTS AND HOSE REELS.

- INSTALLATION OF FIRE SERVICE WATER SUPPLY INCLUDING HYDRANTS, BOOSTER CONNECTIONS, FIRE HOSE REELS AND COMMISSIONING SHALL BE TO THE REQUIREMENTS AND APPROVAL OF THE BUILDING SURVEYOR, TASMANIAN FIRE SERVICE, NCC 2019, AS 2419 1 AS 1221 AS2441 AND TASWATER
- FIRE HOSE REELS SHALL BE INSTALLED AND PLACED IN WORKING ORDER AS SOON AS BUILDING WORKS PERMITS.
- ALL BELOW GROUND FIRE SERVICE PIPEWORK SHALL BE HARD DRAWN COPPER TUBE TYPE 'B' UNLESS NOTED OTHERWISE. ALL ABOVE GROUND FIRE SERVICE PIPEWORK SHALL BE MEDIUM-DUTY HOT-DIPPED GALVANIZED STEEL TUBE WITH 60 MINUTES FIRE RATE SUPPORTS UNLESS NOTED OTHERWISE
- ALL FIRE ISOLATION VALVES SHALL BE SECURED IN THE OPEN POSITION BY A PADLOCKED GALV. METAL STRAP OR CHAIN. PROVIDE AND INSTALL ENGRAVED NON-FERROUS METAL TAGS WITH 8MM UPPER CASE WORDING: "FIRE SERVICES ISOLATING VALVE TO BE
- PADLOCKED IN THE OPEN POSITION". LOCKING DEVICES SHALL BE 225 CONTRACT SERIES PADLOCKS SERIAL NUMBER 225/40/119/003. INSTALL ISOLATION VALVES TO ALL FIRE HOSE REEL PIPEWORK AT THE POINTS OF CONNECTION TO FIRE HYDRANT SYSTEM IN
- ACCORDANCE WITH THE NCC (NATIONAL CONSTRUCTION CODE)
 CONCRETE ANCHOR BLOCKS OR ENGINEERED MECHANICAL RESTRAINTS SHALL BE PROVIDED AT ALL SUDDEN CHANGES OF DIRECTION, BOTH VERTICALLY AND HORIZONTALLY AT TEES AND END OF LINES.
- UPON COMPLETION OF THE FIRE INSTALLATION, PROVIDE A COMPLIANCE REPORT AS REQUIRED BY THE CONTROLLING AUTHORITY THAT THE INSTALLATION COMPLIES WITH THE REGULATIONS AND SUBMIT COPIES OF THE REPORT TO THE SUPERINTENDENT. ALL FIRE SERVICES IN BASEMENT OR NOT LOCATED WITHIN FIRE ISOLATED STAIRS/DUCT SHALL BE PROVIDED WITH 120/120/120 FIRE
- RATED SUPPORTS LINEESS PROTECTED BY A FIRE SPRINKLER SYSTEM. FIRE COLLARS TO BE PROVIDED AT ALL SLAB PENETRATIONS

- TASWATER NOTES:

 1. ALL WORKS OUTSIDE OF THE PROPERTY BOUNDARY WILL BECOME TASWATER ASSETS.
- ENSURE ALL WORKS ARE INSTALLED IN ACCORDANCE WITH THE APPROVED DRAWINGS AND SPECIFICATIONS NOTED WITHIN THE DRAWINGS AND ISSUED PERMITS
- ALLOW TO ORGANISE ALL APPLICATIONS TO UNDERTAKE TASWATER WORKS AS NOTED IN THE APPROVAL DOCUMENTS AND UNDERTAKE ALL REQUIRED INSPECTIONS DURING CONSTRUCTION
- ALL WORKS ASSOCIATED WITH PUBLIC WATER IS TO BE CARRIED OUT IN ACCORDANCE WITH THE WATER SUPPLY CODE OF AUSTRALIA WSA 03-2011-3 1 VERSION 3 1 MRWA EDITION V2.0 AND TASWATER'S SUPPLEMENTS TO THESE CODES AND TO THE SATISFACTION OF TASWATER
- ALL WORKS ASSOCIATED WITH PUBLIC SEWER IS TO BE CARRIED OUT IN ACCORDANCE WITH THE SEWERAGE CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES CODE WSA 02-2014-3.1 MRWA VERSION 2 AND TASWATER'S SUPPLEMENTS TO THESE CODES AND TO THE SATISFACTION OF TASWATER
- ALL CONNECTIONS TO EXISTING MAINS TO BE CARRIED OUT BY THE REGULATING AUTHORITY AT COST TO BUILDER UNLESS APPROVED OTHERWISE.

- THESE DRAWING ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS, PROJECT CONTRACT AND SPECIFICATIONS. STANDARDS REFERENCES ARE THE MOST RECENT
- THE CONTRACTOR IS RESPONSIBLE FOR ORGANISING ALL SITE INSPECTIONS AND OBSERVING ALL HOLD POINTS NOMINATED WITHIN THE CONTRACT, BY THE BUILDING SURVEYOR OR PLUMBING SURVEYOR
- NOMINAL DIAMETERS FOR PIPES (DN) REFER TO THE INSIDE DIAMETER CONCEAL ALL PIPEWORK IN CEILING SPACE, DUCTS, CAVITIES, WALL
- CHASES, CUPBOARDS ETC. UNLESS OTHERWISE APPROVED. ALL PIPEWORK SHALL BE ADEQUATELY SUPPORTED TO AS3500
- PROVIDE AIR ADMITTANCE VALVES AND ATMOSPHERIC VENTS IN ACCORDANCE WITH AS3500 REQUIREMENTS. NO SEWER CONNECTIONS SHALL BE MADE WITHIN RESTRICTED ZONES. OF STACKS AS PER AS3500. INSTALL LONG RADIUS BENDS AT THE BASE OF ALL STACKS AS PER AS3500 AND INCLUDE ALL BRACKETS AND
- SUPPORTS.

 8. ALL COPPER PIPEWORK SHALL BE HARD DRAWN TUBING TYPE 'B'
- CONFORMING TO AS 1432.
 ALL TEMPERING AND THERMOSTATIC MIXING VALVES SHALL BE EASILY
- LOCATED FOR SAFE OH&S ACCESS.

 10. INSTALLATION OF FIRE SERVICE WATER SUPPLY INCLUDING HYDRANTS, BOOSTER CONNECTIONS, FIRE HOSE REELS AND COMMISSIONING SHALL BE TO THE REQUIREMENTS AND APPROVAL OF THE BUILDING SURVEYOR, TASMANIAN FIRE SERVICE, NCC2019, AS 2419.1, AS 1221 AS2441 AND TASWATER.
- 11 ALL BELOW GROUND FIRE SERVICE PIPEWORK SHALL BE HARD DRAWN COPPER TUBE TYPE 'B' UNLESS NOTED OTHERWISE. ALL ABOVE GROUND FIRE SERVICE PIPEWORK SHALL BE MEDIUM-DUTY HOT-DIPPED GALVANISED STEEL TUBE WITH 60 MINUTES FIRE RATED SUPPORTS UNLESS NOTED OTHERWISE
- 12. CONCRETE ANCHOR BLOCKS OR ENGINEERED MECHANICAL RESTRAINTS SHALL BE PROVIDED AT ALL SUDDEN CHANGES OF DIRECTION, BOTH VERTICALLY AND HORIZONTALLY AT TEES AND END OF LINES
- 13 FIRE COLLARS TO BE PROVIDED AT ALL SLAB PENETRATIONS 14. CONTRACT DRAWINGS ARE DIAGRAMMATIC AND AS SUCH SHOW THE INTENT OF DESIGN INSTALLATION TO BE AS PER AS/NZS3500, ALLOW FOR ALL BENDS, OFFSETS AND OTHER MEASURES AS NECESSARY TO AVOID INTERFERENCE WITH THE STRUCTURE AND/OR OTHER BUILDING
- SERVICES.
 15. ALL PENETRATIONS THROUGH EXISTING SUSPENDED FLOOR SLABS SHALL BE DRILLED TO LOCATIONS APPROVED BY THE STRUCTURAL ENGINEER. DRILL PILOT HOLE PRIOR TO CORE DRILLING TO ENSURE CLEARANCE OF BEAMS AND OTHER SERVICES IN SLAB. ALL PENETRATIONS SHALL BE CORE DRILLED TO SUIT PIPE SIZE. ALLOWANCE FOR 10 MM CLEARANCES SHALL BE MADE FOR FIRE
- PROOFING. 16 PROVIDE SERVICE IDENTIFICATION AND DIRECTION OF FLOW MARKERS
- TO PIPEWORK IN ACCORDANCE WITH AS1345. REFER TO THE ARCHITECTS DRAWINGS FOR SANITARY FIXTURE AND TAP SELECTIONS, SUPPLY AND FIX ACCESSORIES NECESSARY FOR THE CORRECT INSTALLATION OF THE FIXTURES AND EQUIPMENT.
- 18. SOUND INSULATION TO BE PROVIDED TO ACCORDANCE WITH NCC F5.6 TO MEET PERFORMANCE CRITERIA NOT LESS THAN 40 FOR HABITABLE ROOMS (OTHER THANK KITCHEN) OR 25 FOR NON-HABITABLE ROOMS (INC KITCHEN).
- (INC KITCHEN).

 19. FIRE COLLARS TO BE PROVIDED AT ALL SLAB AND FIRE RATED WALL PENETRATIONS (REFER ARCHITECTS PLANS) AND INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.



BEWARE OF UNDERGROUND SERVICES
THE LOCATION OF UNDER GROUND SERVICES ARE PPOXIMATE ONLY AND THEIR EXACT LOCATION SHOULD BE GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN.

SEWER LINE DN100 SN6 DWV AT MIN 1 65% LLN O EXS— SEWER LINE - EXISTING —SW— STORMWATER LINE DN100 SN6 DWV AT MIN. 1.0% U.N.O. -EXSW- STORMWATER LINE - EXISTING
-RWG- RAINWATER CHARGED LINE (DN100 DWV SN6) RAINWATER CHARGED LINE - EXISTING -TW- TRADE WASTE DN100 HDPE AT MIN 1.65% U.N.O EXTW- TRADE WASTE - EXISTING ->-> - AG DRAIN (DN90 SLOTTED PVC) U.N.O AG DRAIN - EXISTING AIR ADMITTANCE VALVE DN100 SEWER STACK/DROPPER SEWER FIXTURE (DN90) STORMWATER DOWNPIPE U.N.O VENT (DN50) U.N.O TUNDISH BATH (DN4 BASIN (DN40 FLOOR WASTE GULLY (DN50-DN100) INSPECTION OPENING OVERFLOW RELIEF GULLY (DN100) SHOWER (DN50) SINK (DN50) SLOP HOPPER (DN50 TROUGH (DN50) WATER CLOSET (DN100 WATER SERVICES SCHEDULE

DRAINAGE SCHEDULE

—-w —	COLD WATER DN25 (ID) PE-X SDR11 U.N.O
FS-	FIRE SERVICE DN100 GLAV ROLL GROOVE U.N.O
THW	TEMPERED HOT WATER (NOMINAL SIZE) PE-X SDR-11 U.N.O
HWF	HOT WATER FEED DN25 (ID) PE-X SDR 11 U.N.O
HWR	HOT WATER RETURN DN20 (ID) PE-X SDR 11 U.N.O
•	COLD WATER RISER (PE-X SDR11 U.N.O)
•	HOT WATER RISER (PE-X SDR11 U.N.O)
ф	TEMPERING VALVE RMC Heat Guard (MIX 20) (50 deg) or approved eq.
Ţ.	HW BALANCING VALVE - Aquastrom VT or approved eq.
100	STOP VALVE (NOMINAL SIZE BALL VALVE)
TMV	THERMOSTATIC MIXING VALVE Caleffi 5213 TM(45deg) or approved eq.
М	WATER METER
BTH	BATH
SHR	SHOWER
S	SINK
TR	TROUGH
UR	URINAL
WC	WATER CLOSET
T	DN15 (ID) HOSE BIBCOCK TO BE PROVIDED
INIOLII ATIO	NI GOLIEBULE

INSULATION SCHEDULE

HEATED WATER PIPES TYPE - SIZE RANGE - INSULATION
CIRCULATING LINE 25mm ROCKWOOL WITH FOIL WRAP BRANCH LINE 20-25 19mm FR BRADFLEX OFFTAKE 18 13mm FR BRADFLEX

COLD WATER PIPES EXPOSED TYPE - SIZE RANGE - INSULATION ALL >20 19mm ZERO-4 OTHER COLD WATER PIPES TYPE - SIZE RANGE - INSULATION ALL NOT REQUIRED

NOTE:WATER PIPES ASSOCIATED DIRECTLY WITH PLANT EQUIPMENT SHALL BE INSULATED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS FOR A TYPICAL INSTALLATION

HOT AND COLD WATER NOMINAL DIAMETERS

BRANCH OFF TAKES MIN. DN20 MAX OFF TAKE LENGTH 6m DN18 MAX OFF TAKE LENGTH 3m DN15 MAX OFF TAKE LENGTH 1m DN10

COPPER PIPES TO AS1432 (HOT AND COLD) PE-X PIPES TO AS2492 (HOT AND COLD)

DIAMETER UNLESS OTHERWISE SPECIFIED INSTALL INSPECTION OPENINGS AT ALL MAJOR BENDS FOR STORMWATER AND ALL LOW

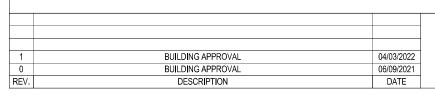
POINTS OF DOWNPIPES ALL PLUMBING AND DRAINAGE TO BE IN ACCORDANCE WITH COUNCIL REQUIREMENTS

ALL PIPEWORK SIZING SHOWN ON PLAN TO BE INTERNAL

ALL LOCATION OF EXISTING PIPES AND INVERTS TO BE DETERMINED. BEFORE PERFORMING WORKS ON SITE
PAVED AND CONCRETE AREAS TO FALL TOWARDS PITS AT MIN 1%

04/03/2022

NCC 2019 VOL 3 (PCA), AS/NZS 3500, BCA VOLUME 2 PARTS 3.1.2 AND 3.5.2 (DEEMED TO SATISFY PROVISIONS) SWIVEL AND EXPANSION JOINTS TO BE USED WHEN INSTALLING DRAINS IN HIGH REACTIVE SOLLS.





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MARK & ANGELA NEO

HYDRAULIC NOTES & LEGEND ALTERATIONS AND ADDITIONS

DEVELOPMENT APPROVAL

TW SI 1:100 A2 21E68-8 H0.02

DRAINAGE MUST COMPLY WITH:

WORKPLACE HEALTH AND SAFETY NOTES

- THE FOLLOWING RISK MITIGATION NOTES HAVE BEEN PREPARED TO ADVISE THE 'PERSON CONDUCTING A BUSINESS OR UNDERTAKING' (PCBU) ON THE HEALTH AND SAFETY ASPECTS OF THE DESIGN IN ACCORDANCE WITH THE WORK HEALTH AND SAFETY ACT 2011 AND ARE PERTINENT TO ANY TIME WHEN THE BUILDING OPERATES AS A WORKPLACE.
- THESE NOTES MAY NOT NECESSARILY ACCOUNT FOR ALL CONSTRUCTION OPERATION MAINTENANCE AND DEMOLITION PRACTICES AND SAFETY RISKS. INCLUSION OR EXCLUSION OF ANY ITEM DOES NOT ABSOLVE THE OWNER CONTRACTOR USER MAINTAINER OR DEMOLISHER OF THEIR OBLIGATIONS TO UNDERTAKE APPROPRIATE RISK MANAGEMENT ACTIVITIES AND IT IS NOT AN ADMISSION THAT ANY ITEM BELOW IS THE RESPONSIBILITY OF ALDANMARK.
- ADDITIONAL GUIDANCE ON WORKPLACE HEALTH AND SAFETY IS PROVIDED IN THE FOLLOWING CODES OF PRACTICE, WHICH THE CONTRACTOR IS TO COMPLY WITH AS APPLICABLE:
- "CONSTRUCTION WORK" (CP104); "HOW TO MANAGE WORK HEALTH AND SAFETY RISKS" (CP112);
- "MANAGING THE WORK ENVIRONMENT AND FACILITIES" (CP124); "SAFE DESIGN OF STRUCTURES" (CP127).
- FURTHER ADDITIONAL AND UPDATED CODES OF PRACTICE AND OTHER GUIDANCE MATERIALS FOR THE MINIMIZATION OF RISKS TO WORKPLACE HEALTH AND SAFETY ARE MADE AVAILABLE PERIODICALLY FROM WORKSAFE TASMANIA AT WWW WORKSAFE TAS GOV ALL AND SAFE WORK AUSTRALIA AT WWW.SAFEWORKAUSTRALIA.GOV.AU AND SHOULD BE CONSULTED PRIOR TO WORKS COMMENCING ONSITE.
- WHERE APPLICABLE. THE SPECIFIC RISKS ASSOCIATED WITH THIS PROJECT HAVE BEEN ASSESSED AND ARE UMMARISED IN THE ATTACHED RISK ASSESSMENT / HAZARD IDENTIFICATION REPORT
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY ALL ASSOCIATED RISKS OF THE CONSTRUCTION PROCESS AND TO PREPARE ADEQUATE SAFE WORK METHOD STATEMENTS AND JOB SAFETY ANALYSIS TEMPORARY STRUCTURES AND CONTRACTOR ERECTION PROCEDURES ARE ONLY INDICATED WHERE
- ESSENTIALTO THE EXECUTION OF THE DESIGN AS INTENDED IN THE DOCUMENTS PROVIDED. DETAILED PROCEDURES MUST BE SOUGHT PRIOR TO WORKS COMMENCING. FOR ALL ASSOCIATED TEMPORARY STRUCTURE OR ERECTION DESIGN AND CERTIFICATION THE CONTRACTOR IS TO ENGAGE A THIRD PARTY TO ASSIST, CERTIFY AND OVERSEE THE ERECTION OF THE WORKS

SITE

RUPTURE OF SERVICES DURING EXCAVATION FOR OTHER ACTIVITY CREATES A VARIETY OF RISKS INCLUDING RELEASE OF HAZARDOUS MATERIAL. EXISTING SERVICES MAY BE LOCATED ON OR AROUND THE BUILDING SITE WHERE KNOWN THESE ARE IDENTIFIED ON THE DRAWINGS: HOWEVER THE EXACT LOCATION AND EXTENT OF SERVICES MAY VARY FROM THAT INDICATED. SERVICES SHOULD BE LOCATED USING AN APPROPRIATE SERVICE, APPROPRIATE EXCAVATION PRACTICE SHOULD BE USED AND, WHERE NECESSARY SPECIALIST CONTRACTORS SHOULD BE ENGAGED.

- SITE ACCESS / TRAFFIC MANAGEMENT:

 1. THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODE OF PRACTICE: "TRAFFIC MANAGEMENT IN WORKPLACES" STANDARD CONTROL. ESPECIALLY FOR BUILDINGS ON A MAJOR, NARROW, OR STEEPLY INCLINED ROAD: PARKING OF VEHICLES OR
- LOADING / UNLOADING OF VEHICLES ON THE ROADWAY MAY CAUSE A TRAFFIC HAZARD, DURING CONSTRUCTION. MAINTENANCE OR DEMOLITION OF THE BUILDING, DESIGNATED PARKING FOR WORKERS AND LOADING AREAS SHOULD BE PROVIDED FOR ALL BUILDINGS: A TRAFFIC MANAGEMENT PLAN SUPERVISED BY TRAINED TRAFFIC MANAGEMENT PERSONNEL SHOULD BE IMPLEMENTED FOR THE WORK SITE.
- PUBLIC ACCESS TO CONSTRUCTION AND DEMOLITION SITES AND TO AREAS UNDER MAINTENANCE CAUSES RISK TO WORKERS AND THE PUBLIC. WARNING SIGNS AND SECURE BARRIERS TO UNAUTHORISED ACCESS SHOULD BE PROVIDED, WHERE ELECTRICAL INSTALLATIONS, EXCAVATIONS, PLANT OR LOOSE MATERIALS ARE PRESENT THEY SHOULD BE SECURED WHEN NOT FULLY SUPERVISED.
 BUILDING OWNERS AND OCCUPIERS SHOULD MONITOR THE PEDESTRIAN ACCESS WAYS AND, IN PARTICULAR
- ACCESS TO AREAS WHERE MAINTENANCE IS ROUTINELY CARRIED OUT, TO ENSURE THAT SURFACES HAVE NOT MOVED OR CRACKED SUCH THAT THEY BECOME UNEVEN AND PRESENT A TRIP HAZARD. SPILLS, LOOSE MATERIAL, STRAY OBJECTS OR ANY OTHER MATTER THAT MAY CAUSE A SLIP OR TRIP HAZARD SHOULD BE CLEANED OR REMOVED FROM ACCESS WAYS.
- CONTRACTORS SHOULD BE REQUIRED TO MAINTAIN A TIDY WORK SITE DURING CONSTRUCTION, MAINTENANCE OR DEMOLITION TO REDUCE RISK OF TRIPS AND FALLS IN THE WORKPLACE. MATERIALS FOR CONSTRUCTION OR MAINTENANCE SHOULD BE STORED IN DESIGNATED AREAS AWAY FROM ACCESS WAYS AND WORK AREAS.
- CONSTRUCTION OF BUILDING ELEMENTS THAT ARE NECESSARY TO CONTRIBUTE TO SAFE ACCESS TO THE BUILDING, SUCH AS HANDRAILS, SCAFFOLDING, ACCESS STAIRS, FALL ARREST SYSTEMS ETC., MUST TAKE PLACE PRIOR TO PROGRESSING WITH ANY OTHER WORKS FOR WHICH THOSE ELEMENTS WILL BE REQUIRED.

- IF THE BUILDING SITE IS ADJACENT TO ANY BODY OF WATER ADEQUATE PROTECTION AND ACCESS PREVENTION SHALL BE PROVIDED. THE CONTRACTOR IS TO PREPARE A SAFE WORK METHOD STATEMENT FOR ANY WORKS REQUIRED TO BE UNDERTAKEN OVER WATER. LIGHTING AND VENTILATION
- THE CONTRACTOR IS TO PROVIDE ADECUATE LIGHTING AND VENTUATION TO ALL AREAS REQUIRED TO BE OCCUPIED BY WORKERS DURING CONSTRUCTION. PRIOR TO THE COMMISSIONING OF THE BUILDING, FINAL LIGHTING AND VENTILATION MUST BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE N.C.A.

FIRE AND EMERGENCY:

ADEQUATE SITE SPECIFIC FIRE EQUIPMENT AND EMERGENCY EVACUATION PROCEDURES ARE TO BE PROVIDED AND MAINTAINED BY THE CONTRACTOR DURING WORKS ONSITE ACCORDING TO A SAFE WORK METHOD STATEMENT TO BE PREPARED BY THE CONTRACTOR PRIOR TO WORKS COMMENCING ONSITE. PRIOR TO THE COMMISSIONING OF THE BUILDING, FINAL FIRE PROTECTION EQUIPMENT SHALL BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE N.C.C.A

ELECTRICAL

- THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODES OF PRACTICE: "WORKING IN THE VICINITY OF OVERHEAD AND UNDERGROUND ELECTRIC LINES" AND "MANAGING ELECTRICAL RISKS IN THE WORKPLACE" (CP117) AND AS 3012 STANDARD CONTROLS.
- UNDERGROUND POWER LINES MAY BE LOCATED IN OR AROUND THE SITE, ALL UNDERGROUND POWER LINES MUST BE ACCURATELY LOCATED AND EITHER DISCONNECTED OR ADEQUATE EXCLUSION ZONES DELINEATED PRIOR TO ANY CONSTRUCTION, MAINTENANCE OR DEMOLITION WORK COMMENCING.
- OVERHEAD POWER LINES MAY BE LOCATED ON OR NEAR THE SITE. THESE POSE A SIGNIFICANT RISK IF STRUCK OR APPROACHED BY LIFTING DEVICES OR OTHER PLANT AND PERSONS WORKING ABOVE GROUND LEVEL. WHERE THERE IS A DANGER OF THIS OCCURRING, POWER LINES SHOULD BE, WHERE PRACTICAL, DISCONNECTED OR RELOCATED. WHERE THIS IS NOT PRACTICAL, CLEARLY IDENTIFIED EXCLUSION ZONES AND APPROACH DISTANCES SHALL BE ESTABLISHED AND MAINTAINED

HAZARDOUS MANUAL TASKS

- THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODE OF PRACTICE: "HAZARDOUS MANUAL TASKS" (CP110) STANDARD CONTROL.
- COMPONENTS WITHIN THIS DESIGN WITH A MASS IN EXCESS OF 25 KG SHOULD BE LIFTED BY TWO OR MORE WORKERS OR BY A MECHANICAL LIFTING DEVICE. ALL MATERIAL PACKAGING, BUILDING AND MAINTENANCE COMPONENTS SHOULD CLEARLY SHOW THE TOTAL MASS OF PACKAGES AND WHERE PRACTICAL ALL ITEMS SHOULD BE STORED ON SITE IN A WAY THAT MINIMISES BENDING BEFORE LIFTING. ADVICE SHOULD BE PROVIDED ON SAFE LIFTING METHODS IN ALL AREAS WHERE LIFTING MAY OCCUR.

- 1. THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODE OF PRACTICE:
- "EXCAVATION WORK" (CP107) STANDARD CONTROL.
 2. CONSTRUCTION OF THE BUILDING AND SOME MAINTENANCE ON THE BUILDING MAY REQUIRE EXCAVATION AND INSTALLATION OF ITEMS WITHIN THE EXCAVATION, WHERE PRACTICAL. INSTALLATION SHOULD BE CARRIED OUT USING METHODS THAT DO NOT REQUIRE WORKERS TO ENTER THE EXCAVATION, WHERE THIS IS NOT PRACTICAL, ADEQUATE SUPPORT FOR THE EXCAVATED AREA SHALL BE PROVIDED TO PREVENT COLLAPSE. WARNING SIGNS AND BARRIERS TO PREVENT ACCIDENTAL OR UNAUTHORISED ACCESS TO ALL EXCAVATIONS SHALL BE PROVIDED.
- ANY AUGURING PROCEDURES MAY CAUSE A RISK OF FALLING INTO OPEN BORES. ALL BORES THEREFORE ARE TO BE CONCRETE FILLED AS SOON AS POSSIBLE. IN THE MEANTIME, ADEQUATE PROTECTION AND ACCESS PREVENTION SHALL BE PROVIDED.
- THE CONTRACTOR IS TO CONSULT ANY SITE INVESTIGATION REPORTS ETC. BEFORE CONDUCTING ANY EXCAVATION WORKS. IN THE CASE OF ANY AREAS BEING IDENTIFIED AS HAVING GROUND CONTAMINATION PRESENT, A QUALIFIED SPECIALIST CONSULTANT SHALL BE ENGAGED TO PROVIDE REMEDIAL WORKS DESIGN AND RISK MITIGATION STRATEGIES.

CONSTRUCTION

- THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODE OF PRACTICE: "FORMWORK AND FALSEWORK" STANDARD CONTROL.
- ALL FORMWORK AND SUPPORTING SCAFFOLD STRUCTURES MUST BE DEIGNED TO CARRY THE CONSTRUCTION LOADING SPECIFIED WITH THIS SET OF DOCUMENTATION.
- INSITU FORMWORK EG. BONDEK / CONDECK MUST BE INSTALLED TO MANUFACTURES INSTRUCTIONS AND SUPPORTED DURING CONSTRUCTION AS RECOMMENDED. TEMPORARY SUPPORTS ARE NOT PROVIDED AS PART OF THIS DOCUMENTATION.
- SLABS THAT SUPPORT CONTINUED TEMPORARY STRUCTURE MUST BE BACK PROPPED. BACK PROPPING MUST BE CHECKED AND APPROVED PRIOR TO ANY ADDITIONAL CONSTRUCTION LOADING.
- WALLS, COLUMN AND OTHER VERTICAL FORMWORK MUST BE CHECKED AND DESIGNED FOR POTENTIAL HYDROSTATIC LOADING DURING CONCRETE PLACEMENT.

PRECAST PANEL ERECTION:

- THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODE OF PRACTICE "PRECAST TILT-UP AND CONCRETE ELEMENTS IN BUILDING CONSTRUCTION" AND AS 3580 STANDARD CONTROLS
- CONTRACTOR IS TO ENSURE THAT CRANE SIZE AND LOCATION IS ADEQUATELY ASSESSED FOR CAPACITY BEFORE PANELS ARE ERECTED. THIS IT TO INCLUDE BUT IS NOT LIMITED TO CRANE SUPPORT BEARING, LOCATION OF UNDERGROUND SERVICES, OVERTURNING, LIFTING CAPACITY OVERHEARD OBSTRUCTIONS AND TRAFFIC HAZARDS.
- CHAIN AND SLING SETUP FOR PANELS IS TO BE CHECKED AGAINST APPROVED PANEL LIFTING POINTS, WHERE APPROPRIATE AN APPROVED SPREADER BEAM IS TO BE USED.
- PATHWAYS OF OVERHEAD TRAVEL OF PANELS ARE TO BE CLEARLY MARKED AND ACCESS TO THESE RESTRICTED DURING LIFTING.
- PANEL BEARING AND LOCATING PLATES AND DOWELS ARE TO BE CHECKED FOR FINAL LOCATION PANEL PROPPING AND TEMPORARY SUPPORT MUST BE LOCATED WITH APPROVED ANCHORS AND
- APPROPRIATE CHECKS AND DESIGNS FOR CAPACITY NUMBER AND CONFIGURATION OF PROPS IS TO BE CONDUCTED PRIOR TO ERECTION. TEMPORARY SUPPORTING STRUCTURE DURING CONSTRUCTION IS NOT PROVIDED AS PART OF THESE DESIGN DOCUMENTS AND MUST BE OBTAINED

STRUCTURAL STEEL ERECTION:

- THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODES OF PRACTICE: "WELDING PROCESSES" (CP134), "ABRASIVE BLASTING" (CP101) AND "SPRAY PAINTING AND POWDER COATING" (CP131 STANDARD CONTROLS.
- CONTRACTOR IS TO ENSURE THAT CRANE SIZE AND LOCATION IS ADEQUATELY ASSESSED FOR CAPACITY BEFORE THE FRAME IS ERECTED. THIS IT TO INCLUDING BUT IS NOT LIMITED TO CRANE SUPPORT BEARING, LOCATION OF UNDERGROUND SERVICES, OVERTURNING, LIFTING CAPACITY, OVERHEARD OBSTRUCTIONS AND TRAFFIC HAZARDS
- CHAIN AND SLING SETUP FOR FRAMING MEMBERS IS TO BE CHECKED AGAINST APPROVED LIFTING POINTS, WHERE APPROPRIATE AN APPROVED SPREADER BEAM IS TO BE USED.
- PATHWAYS OF OVERHEAD TRAVEL OF FRAMING MEMBERS ARE TO BE CLEARLY MARKED AND ACCESS TO THESE RESTRICTED DURING LIFTING.
- TEMPORARY PROPPING WORK IS TO BE PROVIDED TO ENSURE STABILITY OF THE FRAMES DURING ERECTION.
- ALL STEEL FRAMES ARE TO BE TEMPORARY BRACED, UNTIL STRUCTURE IS FULLY ERECTED AND ALL CONNECTIONS BOLTED OR WELDED TOGETHER AS REQUIRED. TEMPORARY SUPPORTING STRUCTURE DURING CONSTRUCTION IS NOT PROVIDED AS PART OF THESE DESIGN DOCUMENTS AND MUST OBTAINED PRIOR TO ERECTION.
- SITE BASED TREATMENTS OF STEEL FRAMING MEMBERS (E.G. CUTTING, WELDING, GRIT BLASTING, SPRAY PAINTING, ETC.) IS TO BE MINIMISED WHEREVER POSSIBLE. IF SITE BASED TREATMENT IS UNAVOIDABLE, ADEQUATE PROTECTION, SCREENING AND VENTILATION TO MINIMISE HAZARDS TO
- AVOID SITE BASE HOT WORKS WHERE POSSIBLE IF UNAVOIDABLE. SITE SPECIFIC PROCEDURES FOR HOT WORKS PERMITS ETC. ARE TO BE FOLLOWED.

- 1. THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODES OF PRACTICE: "MANAGING THERISK OF FALLS AT WORKPLACES" (CP122), "PREVENTING FALLS IN HOUSING CONSTRUCTION" (CP127), "SCAFFOLDS AND SCAFFOLDING WORK" AND AS 1657 STANDARD CONTROLS.
- 2 SCAFFOLDING MUST BE SECURED AND BRACED TO RESIST OVERTURNING, SINGLE PROPS MUST NOT BE USED UNLESS A DESIGN CHECK ON STABILITY IS MADE AND THEY ARE FIXED TO A STABLE BASE AT
- 3. CONTRACTOR IS TO USE PASSIVE FALL PREVENTION DEVICE IF POSSIBLE (IE. FIXED PLATFORM, CHERRY PICKERS ETC.)

CONCRETE STRESSING

- CONTRACTOR IS TO ENSURE THAT CONCRETE STRENGTH MEETS REQUIRED CAPACITY AT TIME OF STRESSING.
- RESTRICTED STRESSING AREAS ARE TO BE PROVIDED TO ALL AREAS WHERE STRESSING IS TAKING PLACE BOTH AT LIVE AND DEAD ENDS OF STRESSING DUCTS.
- CONTRACTOR MUST ENSURE THAT AT ALL TIMES DURING STRESSING ONLY QUALIFIED AND APPROVED PERSONNEL HAVE ACCESS TO DESIGNATED STRESSING AREAS.
- SLABS THAT SUPPORT CONTINUED TEMPORARY STRUCTURE MUST BE BACK PROPPED BACK PROPPING MUS BE CHECKED AND APPROVED PRIOR TO ANY ADDITIONAL CONSTRUCTION LOADING.

CRANES AND OTHER MECHANICAL PLANT:

- THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODES OF PRACTICE: "CRANES", "MANAGING THE RISKS OF PLANT IN THE WORKPLACE" (CP123), "INDUSTRIAL LIFT TRUCKS" AND AS 2550 STANDARD CONTROLS
- MECHANICAL LIFTING OF MATERIALS AND COMPONENTS DURING CONSTRUCTION, MAINTENANCE OR DEMOLITION PRESENTS A RISK OF FALLING OBJECTS, CONTRACTORS SHOULD ENSURE THAT APPROPRIATE LIFTING DEVICES ARE USED, THAT LOADS ARE PROPERLY SECURED, AND THAT ACCESS TO AREAS BELOW THE LOAD IS PREVENTED OR RESTRICTED
- CONTRACTOR IS TO ENSURE THAT CRANE SIZE AND LOCATION IS ADEQUATELY ASSESSED FOR CAPACITY BEFORE ANY LIFT. THIS IT TO INCLUDE BUT IS NOT LIMITED TO CRANE SUPPORT BEARING, LOCATION OF UNDERGROUND SERVICES, OVERTURNING, LIFTING CAPACITY, OVERHEARD OBSTRUCTIONS AND TRAFFIC

STRUCTURAL STEEL ERECTION:

- THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODES OF PRACTICE: "WELDING PROCESSES" (CP134), "ABRASIVE BLASTING" (CP101) AND "SPRAY PAINTING AND POWDER COATING" (CP131 STANDARD CONTROLS
- CONTRACTOR IS TO ENSURE THAT CRANE SIZE AND LOCATION IS ADEQUATELY ASSESSED FOR CAPACITY BEFORE THE FRAME IS ERECTED. THIS IT TO INCLUDING BUT IS NOT LIMITED TO CRANE SUPPORT BEARING. LOCATION OF UNDERGROUND SERVICES, OVERTURNING, LIFTING CAPACITY, OVERHEARD OBSTRUCTIONS AND TRAFFIC HAZARDS.
- CHAIN AND SLING SETUP FOR FRAMING MEMBERS IS TO BE CHECKED AGAINST APPROVED LIFTING POINTS. WHERE APPROPRIATE AN APPROVED SPREADER BEAM IS TO BE USED.
- PATHWAYS OF OVERHEAD TRAVEL OF FRAMING MEMBERS ARE TO BE CLEARLY MARKED AND ACCESS TO THESE RESTRICTED DURING LIFTING.
- TEMPORARY PROPPING WORK IS TO BE PROVIDED TO ENSURE STABILITY OF THE FRAMES DURING ERECTION ALL STEEL FRAMES ARE TO BE TEMPORARY BRACED, UNTIL STRUCTURE IS FULLY ERECTED AND ALL CONNECTIONS BOLTED OR WELDED TOGETHER AS REQUIRED. TEMPORARY SUPPORTING STRUCTURE DURING CONSTRUCTION IS NOT PROVIDED AS PART OF THESE DESIGN DOCUMENTS AND MUST OBTAINED PRIOR TO
- SITE BASED TREATMENTS OF STEEL FRAMING MEMBERS (EG. CUTTING, WELDING, GRIT BLASTING, SPRAY PAINTING, ETC.) IS TO BE MINIMISED WHEREVER POSSIBLE. IF SITE BASED TREATMENT IS UNAVOIDABLE, ADEQUATE PROTECTION, SCREENING AND VENTILATION TO MINIMISE HAZARDS TO PERSONNEL IS TO BE PROVIDED
- AVOID SITE BASE HOT WORKS WHERE POSSIBLE. IF UNAVOIDABLE, SITE SPECIFIC PROCEDURES FOR HOT WORKS PERMITS ETC. ARE TO BE FOLLOWED.

WORKING AT HEIGHTS:

- THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODES OF PRACTICE: "MANAGING THERISK OF FALLS AT WORKPLACES" (CP122), "PREVENTING FALLS IN HOUSING CONSTRUCTION" (CP127), "SCAFFOLDS AND SCAFFOLDING WORK" AND AS 1657 STANDARD CONTROLS.
- SCAFFOLDING MUST BE SECURED AND BRACED TO RESIST OVERTURNING. SINGLE PROPS MUST NOT BE USED UNLESS A DESIGN CHECK ON STABILITY IS MADE AND THEY ARE FIXED TO A STABLE BASE AT MIDPOINTS.
- CONTRACTOR IS TO USE PASSIVE FALL PREVENTION DEVICE IF POSSIBLE (IE. FIXED PLATFORM, CHERRY PICKERS

CONCRETE STRESSING:

- CONTRACTOR IS TO ENSURE THAT CONCRETE STRENGTH MEETS REQUIRED CAPACITY AT TIME OF STRESSING. RESTRICTED STRESSING AREAS ARE TO BE PROVIDED TO ALL AREAS WHERE STRESSING IS TAKING PLACE BOTH AT LIVE AND DEAD ENDS OF STRESSING DUCTS
- CONTRACTOR MUST ENSURE THAT AT ALL TIMES DURING STRESSING ONLY QUALIFIED AND APPROVED
- PERSONNEL HAVE ACCESS TO DESIGNATED STRESSING AREAS.
 SLABS THAT SUPPORT CONTINUED TEMPORARY STRUCTURE MUST BE BACK PROPPED. BACK PROPPING MUS BE CHECKED AND APPROVED PRIOR TO ANY ADDITIONAL CONSTRUCTION LOADING.

CRANES AND OTHER MECHANICAL PLANT:

- THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODES OF PRACTICE: "CRANES", "MANAGING THE RISKS OF PLANT IN THE WORKPLACE" (CP123), "INDUSTRIAL LIFT TRUCKS" AND AS 2550 STANDARD CONTROLS.
- MECHANICAL LIFTING OF MATERIALS AND COMPONENTS DURING CONSTRUCTION, MAINTENANCE OR DEMOLITION PRESENTS A RISK OF FALLING OBJECTS. CONTRACTORS SHOULD ENSURE THAT APPROPRIATE LIFTING DEVICES ARE USED, THAT LOADS ARE PROPERLY SECURED, AND THAT ACCESS TO AREAS BELOW THE LOAD IS PREVENTED OR RESTRICTED.
- CONTRACTOR IS TO ENSURE THAT CRANE SIZE AND LOCATION IS ADEQUATELY ASSESSED FOR CAPACITY REFORE ANY LIFT. THIS IT TO INCLUDE BUT IS NOT LIMITED TO CRANE SUPPORT BEARING LOCATION OF UNDERGROUND SERVICES, OVERTURNING, LIFTING CAPACITY, OVERHEARD OBSTRUCTIONS AND TRAFFIC HAZARDS.

EXISTING BUILDINGS

- THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODE OF PRACTICE: "DEMOLITION WORK" (CP106) STANDARD CONTROL.
- LOCATIONS OF EXISTING EMBEDDED LIVE SERVICES ARE TO BE ACCURATELY ESTABLISHED PRIOR TO ANY DO NOT CUT OR REMOVE ANY STRUCTURAL MEMBER PRIOR TO INSPECTION BY A SUITABLY QUALIFIED
- STRUCTURAL ENGINEER. SEEK ADVICE FROM A SUITABLY QUALIFIED STRUCTURAL ENGINEER PRIOR TO CORING, CHASING, CUTTING OR
- REMOVAL OF EXISTING CONCRETE AND REINFORCEMENT. EXISTING STRUCTURAL ADEQUACY:
- WHERE EXISTING STRUCTURAL ELEMENTS ARE DAMAGED OR EXHIBIT SIGNIFICANT SECTION LOSS, A SUITABLY QUALIFIED STRUCTURAL ENGINEER SHALL BE ENGAGED TO DESIGN A SYSTEM FOR STABILISING / SUPPORTING THE EXISTING STRUCTURE, SUCH THAT ALL WORK AREAS WILL BE ADEQUATELY SAFE FOR BUILDING WORKS TO COMMENCE. ANY SIGNIFICANT SECTION LOSS OR CORROSION OF EXISTING STRUCTURAL ELEMENTS SHALL BE REPORTED TO THE ENGINEER PRIOR TO PROCEEDING WITH WORKS
- ANY EXISTING RETAINING STRUCTURES PRESENT ON THE SITE SHALL BE INSPECTED BY A SUITABLY QUALIFIED STRUCTURAL ENGINEER TO ASCERTAIN THE EXTENT OF ANY EXCLUSION ZONES REQUIRED. ESPECIALLY WITH REGARD TO ANY EXCAVATION, THE OPERATION OF HEAVY SURFACE PLANT AND EQUIPMENT, OR STOCKPILING MATERIAL ADJACENT TO EXISTING RETAINING STRUCTURES.
- NO EXCAVATION SHALL BE PERFORMED ADJACENT TO ANY EXISTING STRUCTURE, ESPECIALLY BELOW THE 45° LINE FROM THE UNDERSIDE OF AN EXISTING FOOTING WITHOUT THE EXPRESS PERMISSION OF THE STRUCTURAL

- THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODES OF PRACTICE: "HOW TO MANAGE AND CONTROL ASBESTOS IN THE WORKPLACE" (CP111) AND "HOW TO SAFELY REMOVE ASRESTOS" (CP115) STANDARD CONTROLS
- FOR ALTERATIONS TO OR DEMOLITION OF A BUILDING CONSTRUCTED PRIOR TO 1990, IF THE BUILDING WAS CONSTRUCTED PRIOR TO: - 1990 - IT MAY CONTAIN ASBESTOS;
 - 1986 IT IS LIKELY TO CONTAIN ASBESTOS: FITHER IN CLADDING MATERIAL OR IN FIRE-RETARDANT INSULATION MATERIAL. IN EITHER CASE, THE BUILDER SHOULD INSPECT AND, IF NECESSARY, HAVE ANY ASBESTOS REMOVED BY A SUITABLE QUALIFIED PERSON BEFORE DEMOLISHING, CUTTING. SANDING, DRILLING OR OTHERWISE DISTURBING THE EXISTING STRUCTURE

EXISTING COATINGS:

PRIOR TO ANY WORKS COMMENCING AN APPROPRIATE METHOD OF PAINT REMOVAL AND DISPOSAL IS TO BE DETERMINED, PARTICULARLY ON HISTORIC STRUCTURES. COATINGS CONTAINING COAL TAR EPOXIES, BITUMEN AND ASPHALTS, ZINC CHROMATE AND LEAD AMONG OTHERS PRESENT A HEALTH RISK, ADEOLIATE SCREENING IS TO BE PROVIDED TO THE PUBLIC AND THE SURROUNDING ENVIRONMENT DURING PAINT REMOVAL AND CLEANING OPERATIONS. ENVIRONMENTALLY APPROPRIATE METHODS ARE TO BE EMPLOYED DURING MAINTENANCE AND REPAIR WORK.

HAZARDOUS SUBSTANCES

THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODE OF PRACTICE: NAGING RISKS OF HAZARDOUS CHEMICALS IN THE WORKPLACE" (CP120) STANDARD CONTROL.

POWDERED MATERIALS:

MANY MATERIALS USED IN CONSTRUCTION CAN CAUSE HARM IF INHALED IN POWDERED FORM. PERSONS WORKING ON OR IN THE BUILDING DURING CONSTRUCTION. OPERATIONAL MAINTENANCE OR DEMOLITION SHOULD ENSURE GOOD VENTILATION AND WEAR PERSONAL PROTECTIVE EQUIPMENT, INCLUDING PROTECTION AGAINST INHALATION WHILE USING POWDERED MATERIAL OR

TREATED TIMBER:

THE DESIGN OF THE BUILDING MAY INCLUDE PROVISION FOR INCLUSION OF TREATED TIMBER WITHIN THE STRUCTURE. DUST OR FUMES FROM THIS MATERIAL CAN BE HARMFUL. PERSONS WORKING ON OR IN THE BUILDING DURING CONSTRUCTION, OPERATIONAL MAINTENANCE OR DEMOLITION SHOULD ENSURE GOOD VENTILATION AND WEAR PERSONAL PROTECTIVE EQUIPMENT INCLUDING PROTECTION AGAINST INHALATION OF HARMFUL MATERIAL WHEN SANDING, DRILLING, CUTTING OR USING TREATED TIMBER IN ANY WAY THAT MAY CAUSE HARMFUL MATERIAL TO BE RELEASED. DO NOT BURN TREATED TIMBER.

VOLATILE ORGANIC COMPOUNDS:

MANY TYPES OF GLUES, SOLVENTS, SPRAY PACKS, PAINTS, VARNISHES AND SOME CLEANING
MATERIALS AND DISINFECTANTS HAVE DANGEROUS EMISSIONS. AREAS WHERE THESE ARE USED SHOULD BE KEPT WELL VENTILATED WHILE THE MATERIAL IS BEING USED AND FOR A PERIOD AFTER INSTALLATION, PERSONAL PROTECTIVE EQUIPMENT MAY ALSO BE REQUIRED. THE MANUFACTURERS' RECOMMENDATIONS FOR USE MUST BE CAREFULLY FOLLOWED AT ALL TIMES.

SYNTHETIC MINERAL FIRRE-

GLASS FIBRE, ROCK WOOL, CERAMIC AND OTHER MATERIAL USED FOR THERMAL OR ACOUSTIC INSULATION MAY CONTAIN SYNTHETIC MINERAL FIRRE WHICH MAY BE HARMEUL IF INHALED, OR IF IT COMES INTO CONTACT WITH THE SKIN, EYES OR OTHER SENSITIVE PARTS OF THE BODY. PERSONAL PROTECTIVE EQUIPMENT. INCLUDING PROTECTION AGAINST INHALATION OF HARMFUL MATERIAL. SHOULD BE USED WHEN INSTALLING, REMOVING OR WORKING NEAR BULK INSULATION MATERIAL

CONFINED SPACES

- THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODE OF
- PRACTICE: "CONFINED SPACES" (CP103) AND AS 2865 STANDARD CONTROLS.
 ENCLOSED SPACES WITHIN THE BUILDING MAY PRESENT A RISK TO PERSONS ENTERING FOR CONSTRUCTION, MAINTENANCE OR ANY OTHER PURPOSE. WHERE WORKERS ARE REQUIRED TO ENTER ENCLOSED SPACES, AIR TESTING EQUIPMENT AND PERSONAL PROTECTIVE EQUIPMENT SHALL BE PROVIDED, ONLY TRAINED PERSONNEL ARE TO ENTER A CONFINED SPACE AND THE CONTRACTOR IS TO PREPARE A WORK METHOD STATEMENT ADDRESSING MITIGATION OF RISKS FOR ANY SUCH WORKS. ADEQUATE SIGNAGE IS TO BE PROVIDED TO ALL TEMPORARY AND PERMANENT CONFINED SPACES IN ACCORDANCE WITH AS 2865.

NOISE

THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODE OF PRACTICE: MANAGING NOISE AND PREVENTING HEARING LOSS AT WORK" (CP118) STANDARD CONTROL

OPERATIONAL USE OF BUILDING

RESIDENTIAL BUILDINGS

THIS BUILDING HAS BEEN DESIGNATED AS A RESIDENTIAL BUILDING, IF THE BUILDING, AT A LATER DATE, IS USED OR INTENDED FOR USE AS A WORKPLACE, THE PROVISIONS OF THE WORK HEALTH AND SAFETY ACT 2011 OR SUBSEQUENT REPLACEMENT LEGISLATION SHOULD BE APPLIED TO THE

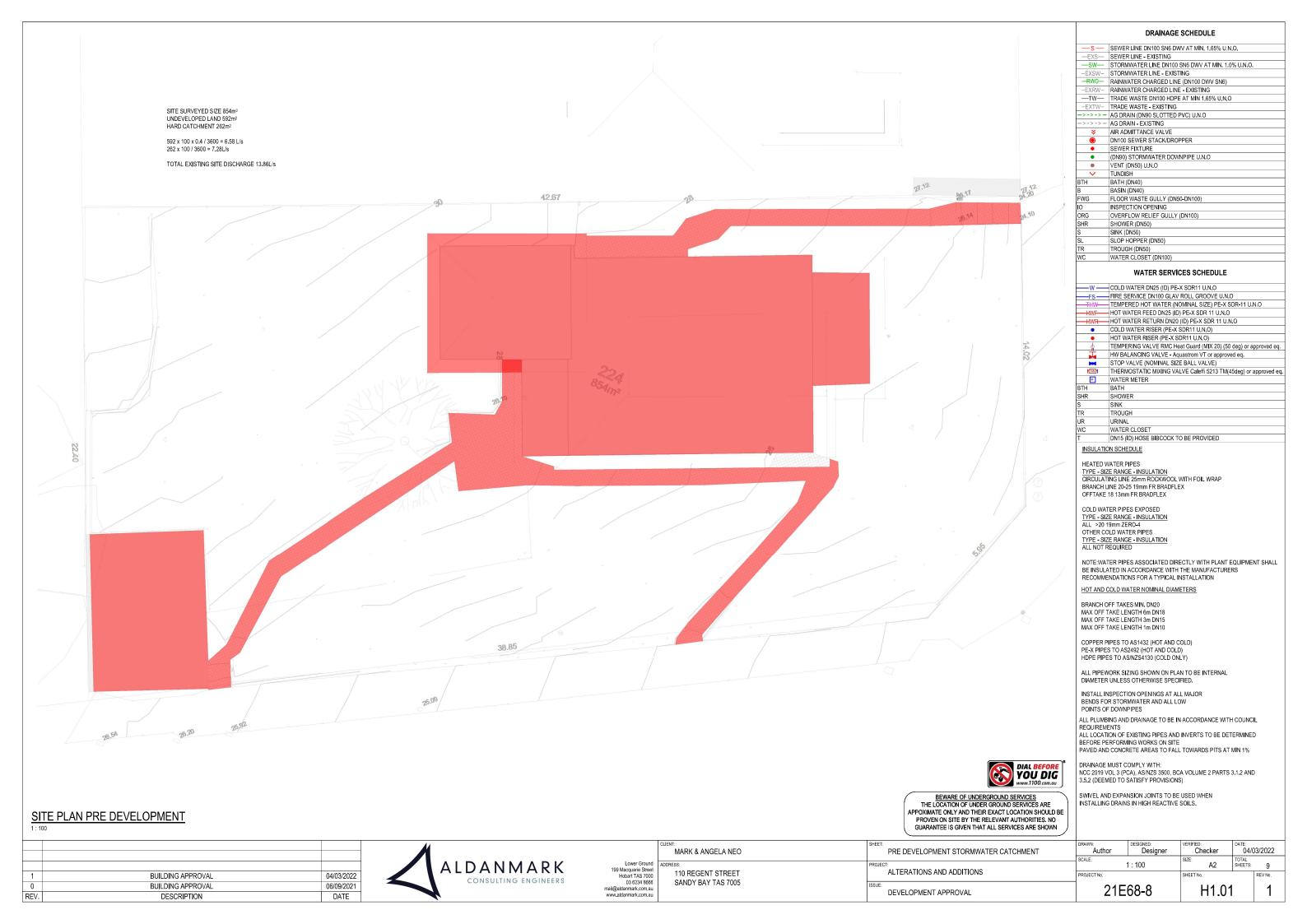
1	BUILDING APPROVAL	04/03/2022	
0	BUILDING APPROVAL	06/09/2021	
REV.	DESCRIPTION	DATE	

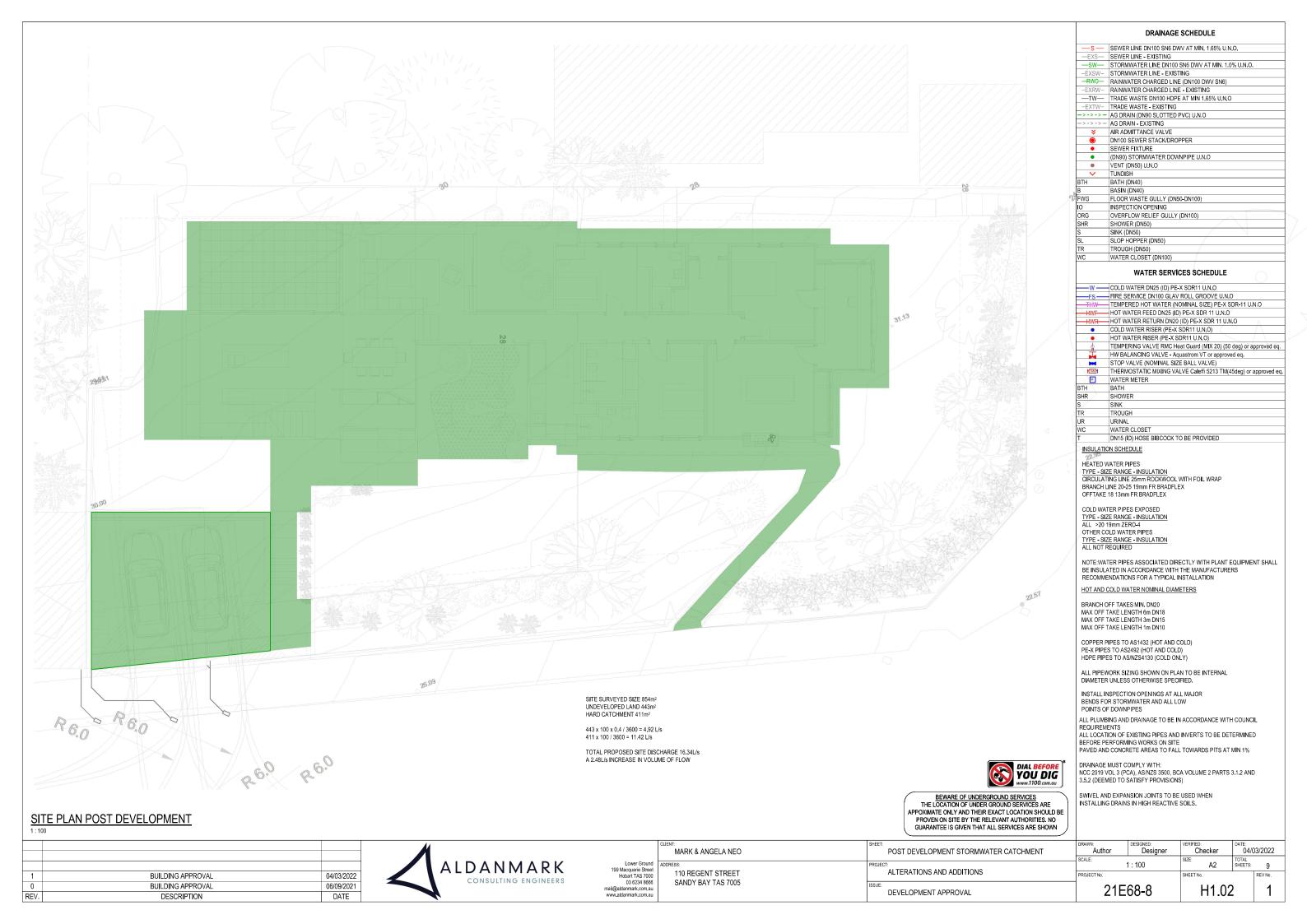


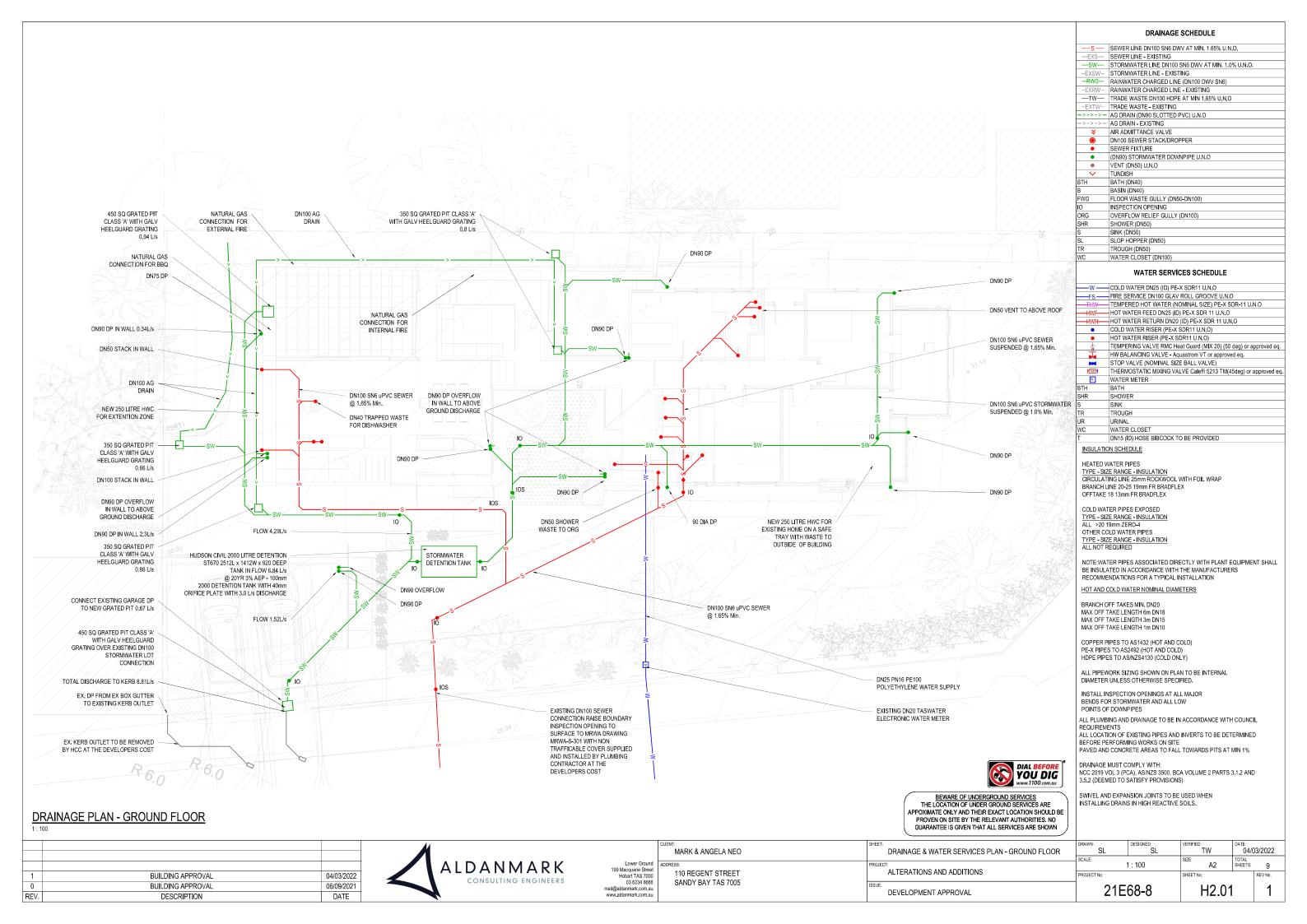
199 Macquarie Stree Hobart TAS 7000 03 6234 8666 mail@aldanmark.com.a

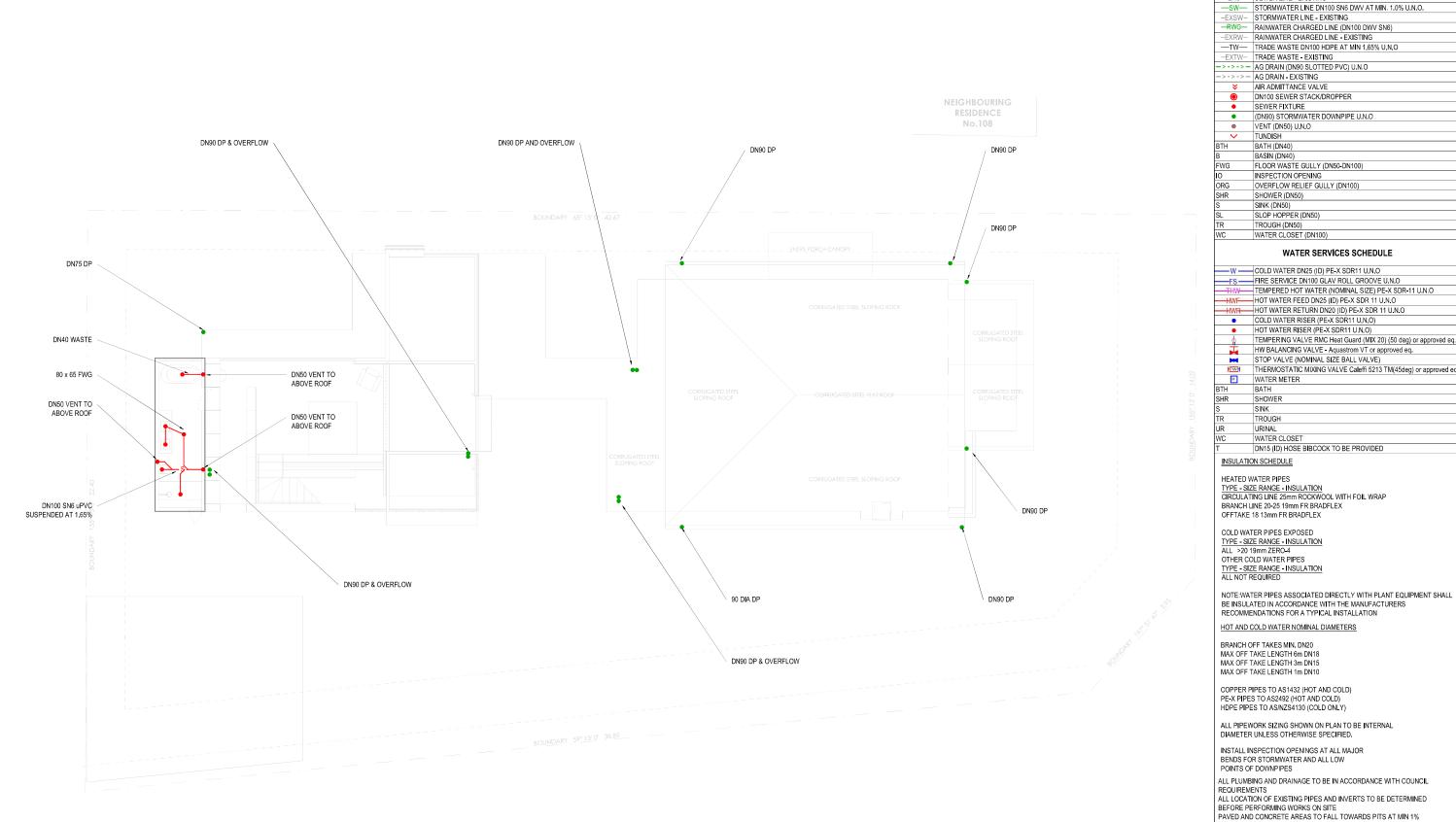
MARK & ANGELA NEO ALTERATIONS AND ADDITIONS 110 REGENT STREET SANDY BAY TAS 7005

WORKPLACE HEALTH AND SAFETY NOTES SI 04/03/2022 A2 21E68-8 H0.03 DEVELOPMENT APPROVAL











DRAINAGE PLAN - LEVEL 1

BEWARE OF UNDERGROUND SERVICES
THE LOCATION OF UNDER GROUND SERVICES ARE APPOXIMATE ONLY AND THEIR EXACT LOCATION SHOULD BE PROVEN ON SITE BY THE RELEVANT AUTHORITIES. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN

	NCC 2019 VOL 3 (PCA), AS/NZS 3500, BCA VOLUME 2 PARTS 3.1.2 AND 3.5.2 (DEEMED TO SATISFY PROVISIONS)
)	SWIVEL AND EXPANSION JOINTS TO BE USED WHEN INSTALLING DRAINS IN HIGH REACTIVE SOILS.

DRAINAGE MUST COMPLY WITH:

			l
			l
1	BUILDING APPROVAL	04/03/2022	l
0	BUILDING APPROVAL	06/09/2021	l
REV.	DESCRIPTION	DATE	l



Lower Ground	ADI
199 Macquarie Street	
Hobart TAS 7000	
03 6234 8666	
mail@aldanmark.com.au	
www.aldanmark.com.au	

it: MARK & ANGELA NEO	SHEET: DRAINAGE SERVICES PLAN - FIRST FLOOR	DRAWN: SL
ESS: 110 REGENT STREET	PROJECT: ALTERATIONS AND ADDITIONS	SCALE: PROJECT No.
SANDY BAY TAS 7005	ISSUE: DEVELOPMENT APPROVAL	21

DRAWN: [DESIGNED:	VERIFIED:		DATE:		
	SL SL		TW		04/03/2022		
SCALE: 1:100		1:100	SIZE:	A2	TOTAL SHEETS:	9	
	PROJECT No.		SHEET No			REV No.	
	21E68-8			H2.02) -	1	

DRAINAGE SCHEDULE

— S — SEWER LINE DN100 SN6 DWV AT MIN. 1.65% U.N.O.

-EXS- SEWER LINE - EXISTING

AIR ADMITTANCE VALVE

SEWER FIXTURE

VENT (DN50) U.N.O TUNDISH

FLOOR WASTE GULLY (DN50-DN100) INSPECTION OPENING OVERFLOW RELIEF GULLY (DN100)

WATER SERVICES SCHEDULE

TEMPERED HOT WATER (NOMINAL SIZE) PE-X SDR-11 U.N.O HOT WATER FEED DN25 (ID) PE-X SDR 11 U N O

HOT WATER RISER (PE-X SDR11 U.N.O)
TEMPERING VALVE RMC Heat Guard (MIX 20) (50 deg) or approved eq.

STOP VALVE (NOMINAL SIZE BALL VALVE)

THERMOSTATIC MIXING VALVE Caleffi 5213 TM(45deg) or approved eq.

DN15 (ID) HOSE BIBCOCK TO BE PROVIDED

BATH (DN40

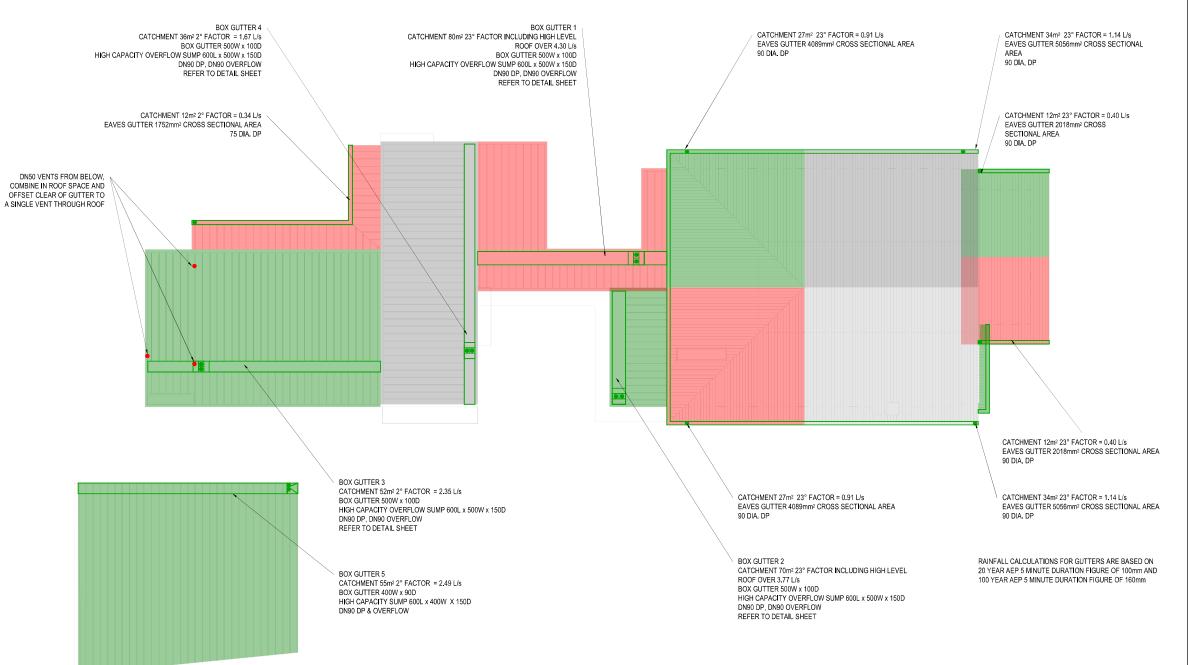
BASIN (DN40

SHOWER (DN50) SINK (DN50) SLOP HOPPER (DN50) TROUGH (DN50)

BATH SHOWER SINK

TROUGH URINAL WATER CLOSET

WATER CLOSET (DN100)



DRAINAGE SCHEDULE STORMWATER DOWNPIPE (DN90) U.N.O VENT (DN50) U.N.O EAVES GUTTER (MIN CROSS SECTIONAL AREA TO BE MIN 3000mm2 1:500 FALL BOX GUTTER (MIN 100D x 300W) 1:200 FALL

ROOF DRAINAGE:

450w x MIN. 110d BOX GUTTER 0.75BMT, 1:200 FALL TO SUMP BG1

450w x 450l x 100d FOLDED METAL SUMP, SMP1 OVERFLOW 350w x 75d, DN100 DP

450w x 450l x 300d FOLDED METAL SUMP, OVERFLOW 350w x 75d, DN100 DP

ROOF NOTES:

ALL PLUMBING SHALL BE IN ACCORDANCE WITH THE NCC 2019, AS3500

HYDRAULIC LAYOUT TO BE COORDINATED WITH OTHER SERVICES. HYDRAULIC LAYOUT AS SHOWN IS NOTIONAL, LAYOUT TO BE CONFIRMED ON SITE.

BOX GUTTERS SHALL BE GRADED AT NOT LESS THAN 1:200, EAVES GUTTERS SHALL BE GRADED AT NOT LESS THAN 1:500.

GUTTERS SHALL BE LAPPED IN ACCORDANCE WITH AS3500.3.

BOX GUTTERS SHALL FOLDED STEEL WITH BMT 0.75mm AND A SUITABLE CORROSION PROTECTION IN ACCORDANCE WITH AS2179 FOR RAINWATER PRODUCTS.

EXPANSION JOINTS SHALL BE PROVIDED AT 20m SPACING FOR FOLDED STEEL BOX GUTTERS. PROVIDE A MASTERFLASH 'AZTEC' FLEXIBLE FLASHING ACROSS JOINT OR EQUIVALENT PRODUCT.

IMPORTANT NOTE: WHERE DOWNPIPES ARE CONNECTING TO SUMPS INSIDE BUILDINGS AUSSIE CONNECTORS OR EQUIVALENT MUST BE USED TO PREVENT LEAKS OR EGRESS OF WATER TO INSIDE OF BUILDINGS.

INSTALL INSPECTION OPENINGS AT ALL MAJOR BENDS FOR STORMWATER AND ALL LOW POINTS OF DOWNPIPES

ALL PLUMBING AND DRAINAGE TO BE IN ACCORDANCE WITH COUNCIL REQUIREMENTS

ALL LOCATION OF EXISTING PIPES AND INVERTS TO BE DETERMINED BEFORE PERFORMING WORKS ON

PAVED AND CONCRETE AREAS TO FALL TOWARDS PITS AT MIN 1%

DRAINAGE MUST COMPLY WITH:
-PLUMBING CODE OF AUSTRALIA PART DI -AS/NZS 3500 -BCA VOLUME 2 PARTS 3.1.2 AND 3.5.2 (DEEMED TO SATISFY PROVISIONS)



04/03/2022

BEWARE OF UNDERGROUND SERVICES
THE LOCATION OF UNDER GROUND SERVICES ARE APPOXIMATE ONLY AND THEIR EXACT LOCATION SHOULD BE PROVEN ON SITE BY THE RELEVANT AUTHORITIES. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN

A2

DRAINAGE PLAN - ROOF

1	BUILDING APPROVAL	04/03/2022				
0	BUILDING APPROVAL	06/09/2021				
REV.	DESCRIPTION	DATE				



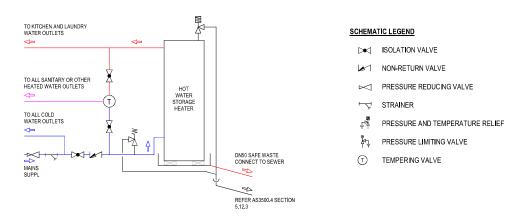
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Hobart TAS 700
03 6234 866
mail@aldanmark.com.a
www.aldanmark.com.a

	MARK & ANGELA NEO
d et 0 6 u	ADDRESS: 110 REGENT STREET SANDY BAY TAS 7005
ш 1	

ROOF DRAINAGE PLAN	DRAWN: SL
	SCALE:
PROJECT:	
ALTERATIONS AND ADDITIONS	PROJECT No.
ISSUE:	<u> </u>
DEVELOPMENT APPROVAL	

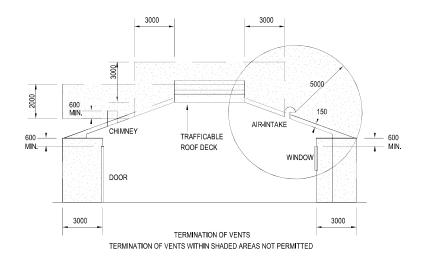
1E68-8 H3.01

1:100



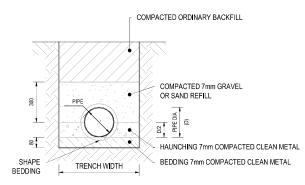
TYPICAL INSTALLATION OF MAINS PRESSURE STORAGE WATER HEATER

1:20

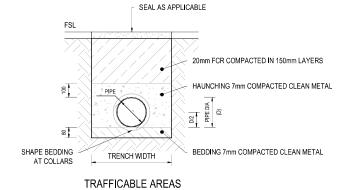


TERMINATION OF VENTS

1:100



TRENCH	WIDTHS
PIPE DIAMETER	MIN TRENCH WIDTH
LESS THAN 50mm	250
75 - 100mm	450
150 - 300mm	600
ABOVE 300mm	DIA. PLUS 300mm



Lower Ground 199 Macquarie Street Hobart TAS 7000 03 6234 8666

mail@aldanmark.com.au www.aldanmark.com.au

NON-TRAFFICABLE AREAS

BUILDING APPROVAL

BUILDING APPROVAL

DESCRIPTION

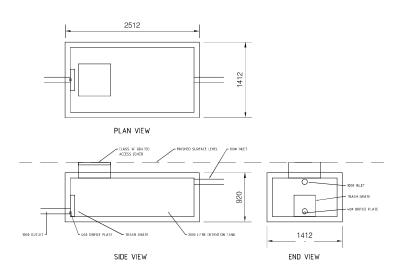
TYPICAL PIPE TRENCH DETAILS

1:20



A	
	ALDANMARK CONSULTING ENGINEERS
	,

CLIENT: MARK & ANGELA NEO	SHEET: DETAIL SHEET	DRAWN: SL	DESIGNED: SL	VERIFIED: TW	DATE: 04/0	3/2022
ADDRESS:	PROJECT:	SCALE:		SIZE: A2	TOTAL SHEETS:	9
110 REGENT STREET SANDY BAY TAS 7005	ALTERATIONS AND ADDITIONS	PROJECT No.		SHEET No.		REV No.
SAINDT BAT TAS 7005	DEVELOPMENT APPROVAL	21E	68-8	H4.01		1

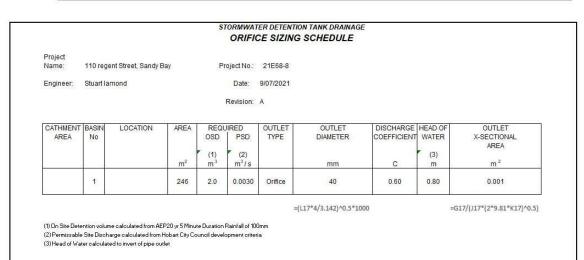


DETENTION TANK DETAIL

1:50

3	Bottom area of tank or container (m ²)
.8	H - height between surface and aperture (m)
0.001	A - aperture area (m²)
0.6	C_d - discharge coefficient
10	no. of "slices" or segments (for the iterative calculation)

Segment	Average Height between Segment and Aperture (m)	Average Flow (m ³ /s)	Volume in Segment (m³)	Time to Drain Segment (s)
0	0.76	0.00232	0.24	104
1	0.68	0.00219	0.24	110
2	0.6	0.00206	0.24	117
3	0.52	0.00192	0.24	125
4	0.44	0.00176	0.24	136
5	0.36	0.00159	0.24	151
6	0.28	0.00141	0.24	171
7	0.2	0.00119	0.24	202
8	0.12	0.000921	0.24	261
9	0.04	0.000532	0.24	452
		SUM	2.4	1826





Attn: Ben Ikin Acting senior statutory planner city planning

May 17st, 2022

Reference: PLN-21-881 Request of information

Dear Ben,

I am writing this letter in response to the City of Hobarts request for additional information dated 14^{th} April 2022 regarding the adjacent road reserve partial demolition, carport, front fencing and work in road reserve application at 110 Regent Street, Sandy Bay.

In response to the items raised within the request for additional information, please see below:

- 1. See attached drawing A05-03 Rev E for response to items PA5.1. Section 1 with B85 vehicle ground clearance template appendix C of AS/NZS 2890.1:2004 demonstrates it has sufficient ground clearance and will not scrape at any point when accessing the garage.
- 2. The information provided for items SW1 & SW6 has been confirmed by the council to be adequate
- 3. We note the footpath is existing hence no proposed cross fall is shown.

I trust that the information contained within this letter and the attached documents answer your queries however please do not hesitate to call me should you have any questions or concerns.

Yours Sincerely

Daniel Lane Director

prestonlane.com.au

Stormwater and On Site Detention Maintenance Schedule

110 Regent Street, Sandy Bay

Maintenance Action	Frequency	Responsibility	Procedure
Detention Tank			
Inspect and remove any blockage of orifice	Six Monthly	Property Owner	Remove grate and screen to inspect orifice. See attached Site Stormwater plan for location of Detention Tank.
Check attachment of orifice plate to wall of pit (ensure no gaps exist)	Annually	Maintenance Contractor	Remove grate and screen. Ensure orifice plate is mounted securely, tighten fixings if required and seal any gaps which are present.
Check orifice diameter correct and retains sharp edge.	Five Yearly	Maintenance Contractor	Compare orifice diameter to approved design (see Works as Executed Drawing) and ensure edge of orifice is not pitted or damaged.
Inspect trash screens and clean	Six Monthly	Property Owner	Remove grate and screen if required to clean it.
Check attachment of screen to wall of pit	Annually	Maintenance Contractor	Remove grate and screen. Ensure screen fixings secure. Repair as required.
Check trash screen for corrosion	Annua ll y	Maintenance Contractor	Remove grate and examine screen for rust or corrosion, especially at corners or welds.
Inspect overflow and remove any blockage	Six Monthly	Maintenance Contractor	Remove grate and open cover to ventilate underground storage if present. Ensure overflow is clear of blockages.
Inspect outlet pipe and remove any blockage	Six Monthly	Maintenance Contractor	Remove grate and screen. Ventilate underground storage. Check orifice and remove any blockages in outlet pipe. Flush outlet pipe to confirm it drains freely. Check for sludge/debris on upstream side of return line.
Inspect and remove any debris/litter/mulch etc blocking grates of return pit	Six Monthly	Owner	Remove blockages from grate and check if pit blocked.

Stormwater and On Site Detention Maintenance Schedule

110 Regent Street, Sandy Bay

Inspect storage areas and remove debris/litter/mulch etc likely to block screens/grates	Six Monthly	Owner	Remove debris and floatable material, ie pine bark mulch, likely to be carried to grates.
Compare storage volume to volume approved. (Rectify if loss of volume greater than 5%)	Five Yearly	Maintenance Contractor	Compare actual storage available with work as executed plans. If volume loss is greater than 5%, arrange for necessary works to be undertaken to replace lost storage volume. Contact Engineering consultant if necessary. Council to be notified of proposed works.
Inspect storages for subsidence near pits	Annually	Maintenance Contractor	Check along drainage lines and at pits for subsidence likely to indicate leakages
Inspect OSD Warning Signage	Annua ll y	Maintenance Contractor	Check OSD Warning signage and ensure that it is fixed securely to wall, not faded, deteriorated or missing and is clearly visible. Replace as necessary or reposition to a clearly visible location if vegetation growth has obscured.
General			
Inspect gutters of building and remove any debris/sludge	Annua ll y	Maintenance Contractor	Remove any leaves or debris and sludge from gutters of building and flush downpipes of building to remove any blockages. Pits downstream of downpipes to be cleaned of flushed debris.
Inspect pits and trench drains on site and remove debris/litter/sludge	Six Monthly	Maintenance Contractor	Remove grate. Remove any debris/litter/sludge from within pits.



Attn: Liz Wilson
Acting senior statutory planner city planning

April 1st, 2022

Reference: PLN-21-881

Dear Liz,

I am writing this letter in response to the City of Hobarts request for additional information dated 11^{th} January 2022 regarding the adjacent road reserve partial demolition, carport, front fencing and work in road reserve application at 110 Regent Street, Sandy Bay.

Please note the western elevation of the garage is not provided since no part of the carport exceeds the height of the existing boundary wall. On each section within drawing A05-03 the height of the existing boundary wall is marked to demonstrate that no part exceeds the height of the existing boundary wall.

In response to the items raised within the request for additional information, please see below:

- 1. See attached drawing A05-03 Rev C for response to items PA5.1
- See attached email from Glenn King (Operation manager at B&D door) dated 11th February 2022
 addressing item ENGr Fi 2, tiltadoor projection during the pivot operation will be within 1000mm of the
 boundary. This email confirms tiltadoor does not encroach over the Regent Street road reservation in any
 position.
- 3. See attached items listed below from Aldanmark Engineering -
 - Hydraulic services drawings dated 4th March 2022
 - Stormwater and on site detention maintenance schedule
 - Email from Stuart Lamond of Aldanmark Engineering addressing item Sw1 & Sw6 dated 25th
 March 2022
 - Form 35 dated 25th March 2022

I trust that the information contained within this letter and the attached documents answers your queries however please do not hesitate to call me should you have any questions or concerns.

Yours Sincerely

Daniel Lane Director

prestonlane.com.au

From: Glenn
To: Amber Kim

Subject: RE: (20102) Neo Extension _ Carport Tiltador **Date:** Friday, 11 February 2022 10:41:57 AM

Attachments: <u>image002.png</u>

image003.png image004.png

Amber

According to B&D the door will come out between 750-988mm during the pivot operations

Regards

Glenn King

Operations Manager



Phone: (03) 6229 1650

Email: sales@tommooretas.com.auWeb: www.tommooretas.com.au







Enquiries to: City Planning
Phone: (03) 6238 2711

Email: coh@hobartcity.com.au

mailto: mark.neo@interflour.com

22 December 2021

Mark Neo 110 Regent Street SANDY BAY TAS 7005

Dear Sir/Madam

110 REGENT STREET, SANDY BAY & ADJACENT ROAD RESERVE
WORKS IN ROAD RESERVE NOTICE OF LAND OWNER CONSENT TO LODGE A
PLANNING APPLICATION - GMC-21-88

Site Address:
110 Regent Street, Sandy Bay
Description of Proposal:
Works in Road Reserve
Applicant Name:
Mark Neo
PLN (if applicable):
n/a

I write to advise that pursuant to Section 52 of the *Land Use Planning and Approvals Act* 1993, I grant my consent on behalf of the Hobart City Council as the owner/administrator of the above land for you to make application to the City for a planning permit for the development described above and as per the attached documents. I granted consent pursuant to delegation, a copy of which is enclosed.

Please note that the granting of the consent is only for the making of the application and in no way should such consent be seen as prejudicing any decision the Council is required to make as the statutory planning authority.

This consent does not constitute an approval to undertake any works and does not authorise the owner, developer or their agents any right to enter or conduct works on any Council managed land whether subject to this consent or not.

If planning approval is granted by the planning authority, you will be required to seek approvals and permits from the City as both landlord, land manager, or under other statutory powers (such as other legislation or City By-Laws) that are not granted with the issue of a planning permit under a planning scheme. This includes the requirement for you to reapply for a permit to occupy a public space under the City's Public Spaces By-law if the proposal relates to such an area.

Accordingly, I encourage you to continue to engage with the City about these potential requirements.

Yours faithfully

(John Fisher)

ACTING DIRECTOR CITY AMENITY

Relevant documents/plans:

Plans by Preston Lane A01-00 Rev B, A02-00 Rev B and A04-02 Rev B

City of Hobart

INSTRUMENT OF DELEGATION

General Delegation

Director City Amenity

- I, Kelly Grigsby, Chief Executive Officer, being the General Manager of the Hobart City Council as appointed by Council pursuant to section 61 of the *Local Government Act* 1993 ("the Act") hereby delegate pursuant to Section 64 of the Act, the following powers and functions to the **Director City Amenity**, or to such persons who may be acting in that position:
 - 1. to sign an application; and
 - 2. to provide written permission to make an application;

pursuant to section 52(1B) of the *Land Use Planning and Approvals Act 1993*, EXCEPT where an application is recommended for refusal.

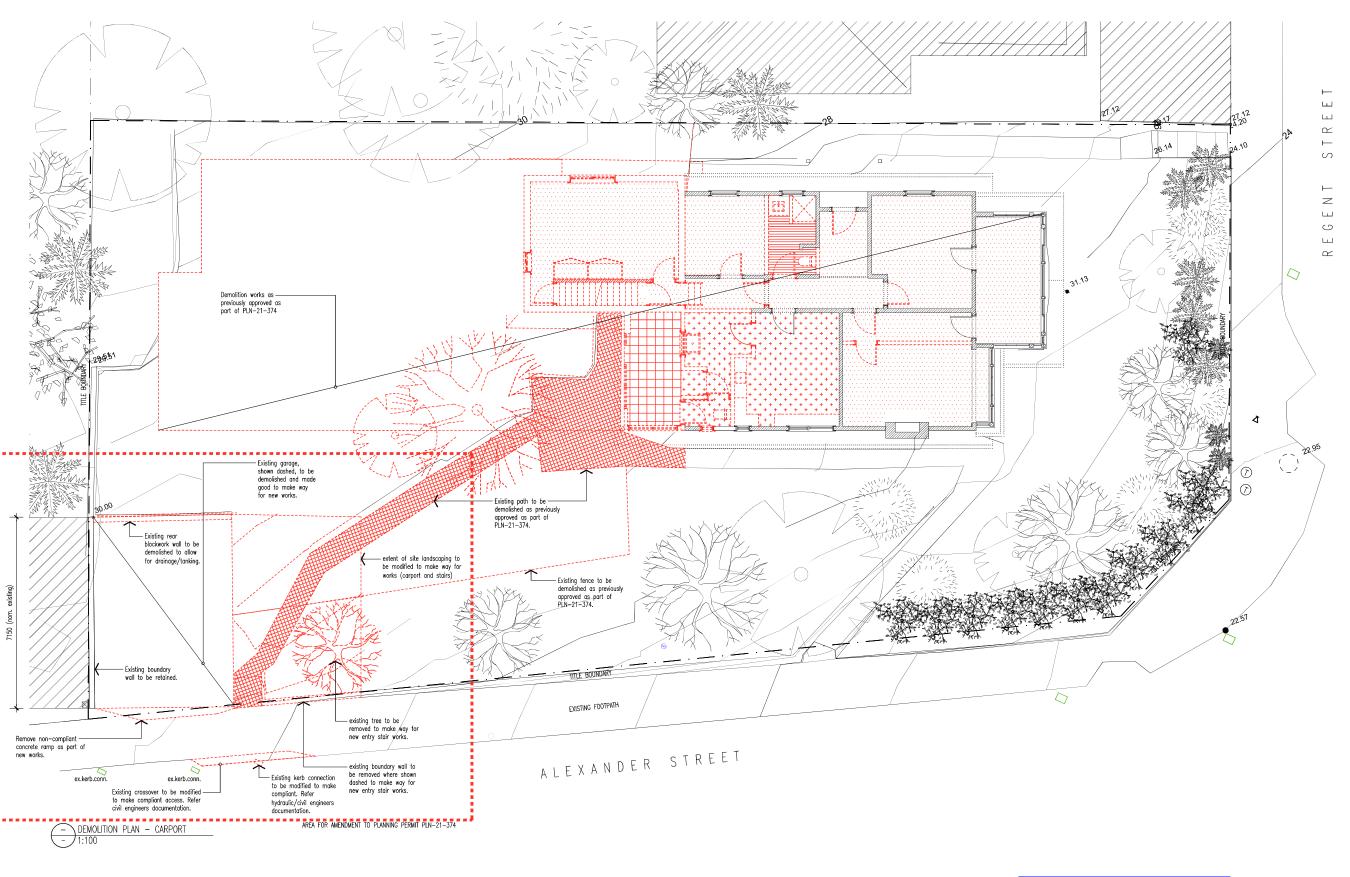
Dated this 20 day of August 2021

(Kelly Grigsby)

CHIEF EXECUTIVE OFFICER

Being the General Manager as appointed by the Council pursuant to Section 61 of the Local Government Act 1993 (tas)





DEMOLITION LEGEND

_____ Demolition works denoted by red dashed line

NOTES

1. The contractor is to inspect the site, and become conversant with the limitations and constraints for access, noise, and general safety.

2. All demolitions are to be removed from site unless noted otherwise. Strictly no burning off on site.

- site.

 3. Contractor to ensure all services are appropriately capped and sealed to make way for new work.

 4. Leave all surfaces clear and free of any remnants/objects ready to make way for new

- remnants/objects ready to make way for new works.

 S. Remove all carpet, underlay and associated fixings and make good floor surfaces for new floor finish, where applicable.

 Remove all visible unused service pipes and conduits etc.

 T. sixting ceilings to remain except where noted otherwise.

 Remove existing ceiling insulation and vacuum—clean all roof spaces to make way for new bulk insulation.

 B. uider to make the building secure throughout the building works.
- the building works.

 10. Provide temporary support to existing structure as required.



Preston Lane

The Builder/Contractor shall verify job dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.



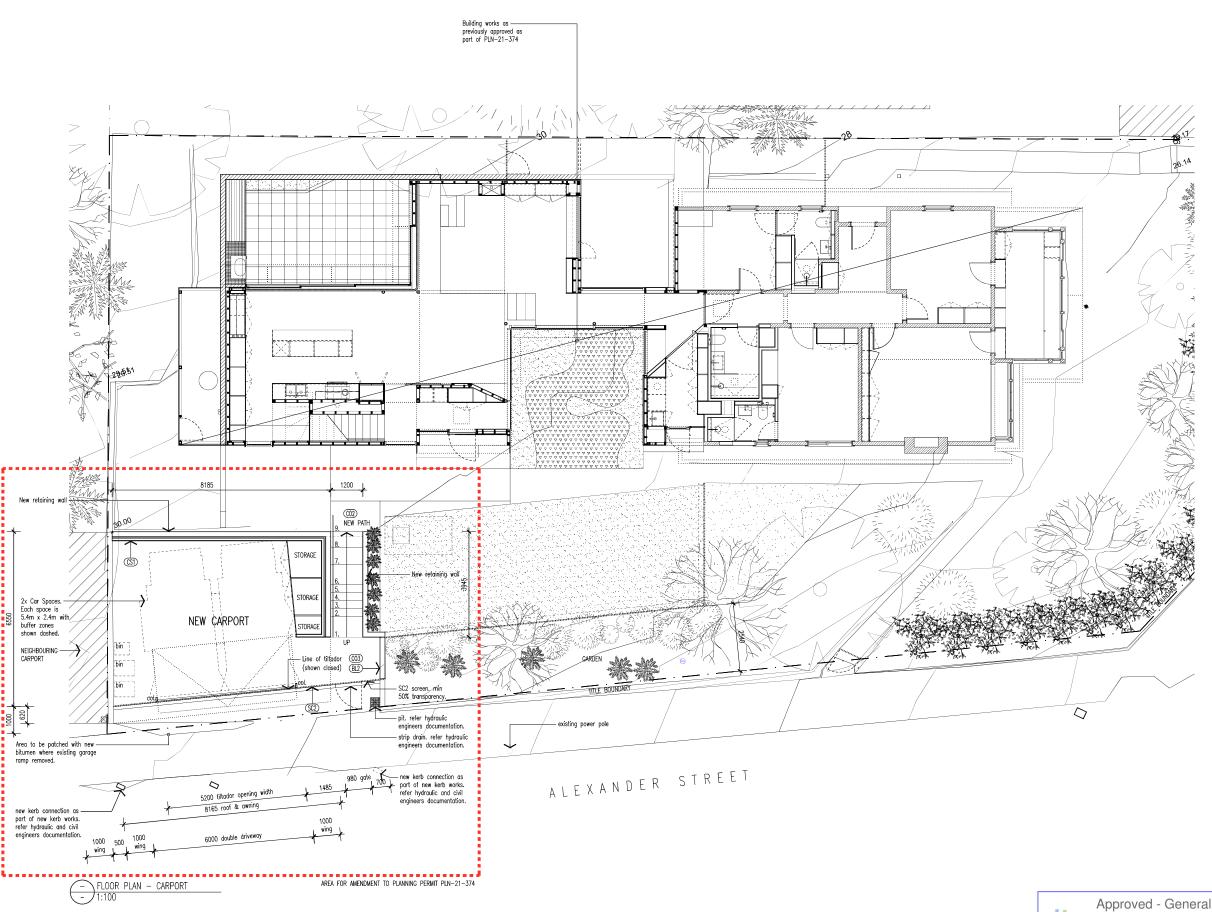
110 REGENT STREET

DEMOLITION PLAN CARPORT & CROSSOVER WORKS

CARPORT Issued for HCC Review RL DI CARPORT Issued for GMC RL DI

A01-00

20102



EXTERNAL WALL FINISHES
All finishes and products to be strictly installed in occordance with Manufacturers specification.

Existing wall cladding (stucco and shingles). Repair and make good where required, new point finish to entire exterior. Colour to be white, refer external point schedule.

With the strict point schedule.

Bill 190 bagged blockwork woll with capping block. Natural grey finish, colour to be white, refer external point schedule.

Bill 190 bagged blockwork woll with capping block. Natural grey finish, colour to be winted grey finish, colour be provided and point schedule.

Bill 190 bagged blockwork woll with Dulux Acrafex 3-step coading system, roll on, installed by Dulux accrafted applicator. Jam granular profile. Point colour to be white, refer external point schedule.

Signal point schedule specification. Signal granular profile. Point colour to be white, refer external point schedule.

Signal point schedule specification. I may granular profile. Point colour to be white, refer external point schedule.

Signal point schedul

COND Compete system to Dulux recommendations.

EXTERNAL FLOOR FINISHES
CONZO Concrete steel trowel finish. clear satin polyurethone sealer.
CONZO Concrete exposed aggregate finish. 14mm bluestone aggregate, confirm colour with client.
90mm wide spotted gum timber decking, smooth side up. Finish to be Dulux Intergrain UltroCere Exterior Satin.

(PV) Pwing, mid-grey concrete povers, confirm.
PVO Oving, permeable grass povers. Moodie Outdoor Products CrassDiamond Pover in natural concrete colour, confirm prior to ordering. Fill permeable povers with CRV1 grovel.

(GRV) 10mm aggregate decorative white pebbles.

LOCATION OF ALL NEIGHBOURING STRUCTURES ARE INDICATIVE ONLY



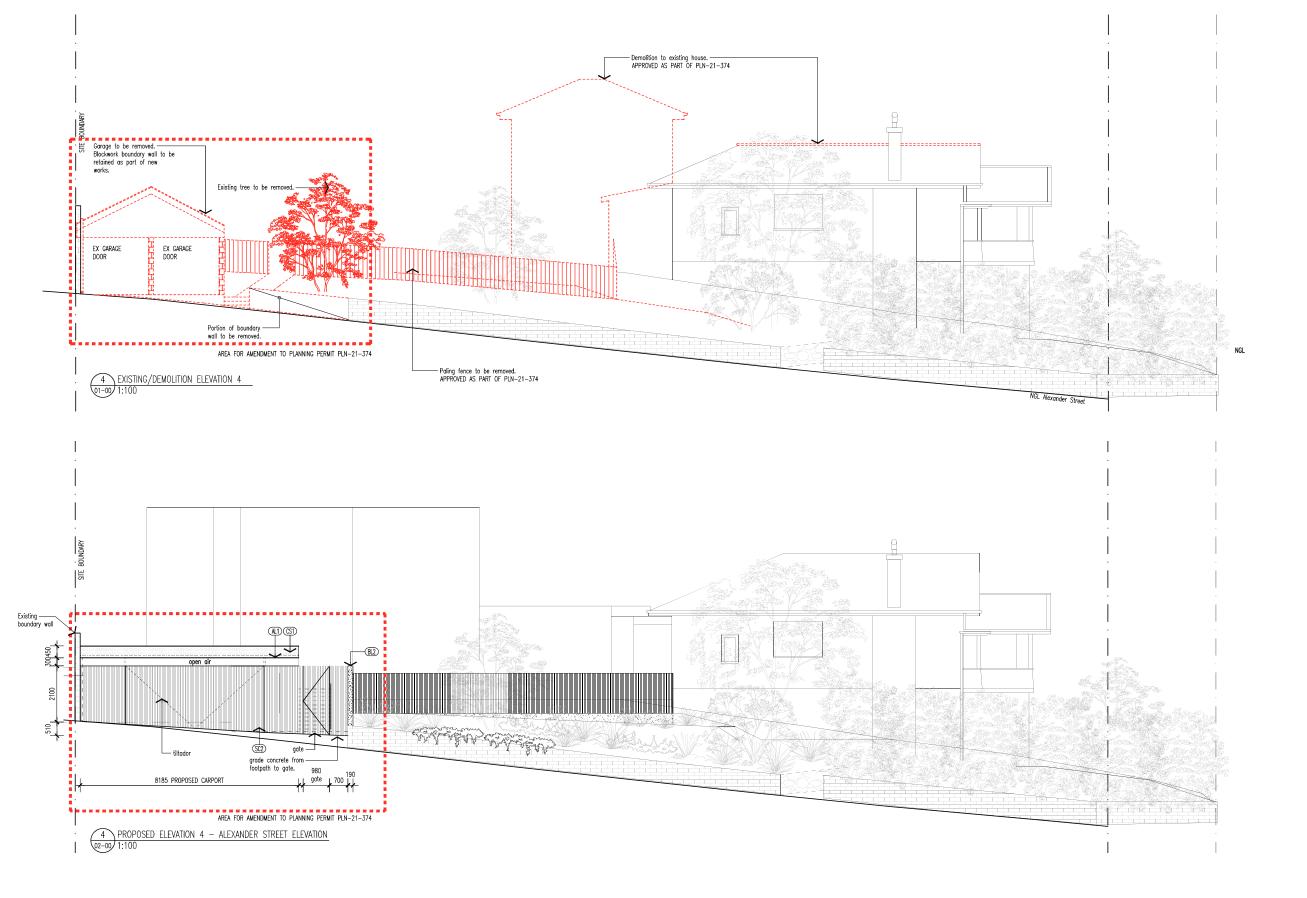


CARPORT & CROSSOVER WORKS

CARPORT Issued for HCC Review RL DL CARPORT Issued for GMC RL DL

A02-00

20102





- EXTERMAL WALL FINISHES
 All finishes and products to be strictly installed in accordance with Manufacturers specification.

 Existing wall cladding (stauco and shingles). Repoir and make good where required, new point finish to entire exterior. Colour to be white, refer external point schedule.

 WIBD

 WIBD

- Grey. Complete system to Dulux recommendations.

 EXTERNAL FLOOR FINISHES

 (CON2)

 Concrete steel trowel finish, clear satin polyurethane sealer.

 Concrete exposed aggregate finish, 14mm bluestone aggregate, confirm colour with client.

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 (PV)

 Paving, mid-grey concrete povers, confirm.

 Paving, permeable grass povers. Moodie Outdoor Products GrassBiomand Pover in natural concrete colour, confirm prior to ordering, Fill permeable povers with GRV1 gravel.

 (GW)

Allow Aco Drain 100mm SlabDrain, or similar channel drain to full width of courtyard 3, locate under bench/seat.

LOCATION OF ALL NEIGHBOURING STRUCTURES ARE INDICATIVE ONLY



Proprietar	MARK 8 A	ANGELA N	ΙΕC
Project	110 REG	SENT STR SANDY	
Drawing		ELEVAT	ſΙO
Scale		1:100 (A f
Revision A 10/12/2021	CARPORT Issued for HCC Review	RL	

20102

A04-02



Attn: Ben Ikin
Acting senior statutory planner city planning

May 17st, 2022

Reference: PLN-21-881 Request of information

Dear Ben,

I am writing this letter in response to the City of Hobarts request for additional information dated 14th April 2022 regarding the adjacent road reserve partial demolition, carport, front fencing and work in road reserve application at 110 Regent Street, Sandy Bay.

In response to the items raised within the request for additional information, please see below:

- 1. See attached drawing A05-03 Rev E for response to items PA5.1. Section 1 with B85 vehicle ground clearance template appendix C of AS/NZS 2890.1:2004 demonstrates it has sufficient ground clearance and will not scrape at any point when accessing the garage.
- 2. The information provided for items SW1 & SW6 has been confirmed by the council to be adequate
- 3. We note the footpath is existing hence no proposed cross fall is shown.

I trust that the information contained within this letter and the attached documents answer your queries however please do not hesitate to call me should you have any questions or concerns.

Yours Sincerely

Daniel Lane

Director

Stormwater and On Site Detention Maintenance Schedule

110 Regent Street, Sandy Bay

Maintenance Action	Frequency	Responsibility	Procedure	
Detention Tank				
Inspect and remove any blockage of orifice	Six Monthly	Property Owner	Remove grate and screen to inspect orifice. See attached Site Stormwater plan for location of Detention Tank.	
Check attachment of orifice plate to wall of pit (ensure no gaps exist)	Annually	Maintenance Contractor	Remove grate and screen. Ensure orifice plate is mounted securely, tighten fixings if required and seal any gaps which are present.	
Check orifice diameter correct and retains sharp edge.	Five Yearly	Maintenance Contractor	Compare orifice diameter to approved design (see Works as Executed Drawing) and ensure edge of orifice is not pitted or damaged.	
Inspect trash screens and clean	Six Monthly	Property Owner	Remove grate and screen if required to clean it.	
Check attachment of screen to wall of pit	Annually	Maintenance Contractor	Remove grate and screen. Ensure screen fixings secure. Repair as required.	
Check trash screen for corrosion	Annually	Maintenance Contractor	Remove grate and examine screen for rust or corrosion, especially at corners or welds.	
Inspect overflow and remove any blockage	Six Monthly	Maintenance Contractor	Remove grate and open cover to ventilate underground storage if present. Ensure overflow is clear of blockages.	
Inspect outlet pipe and remove any blockage	Six Monthly	Maintenance Contractor	Remove grate and screen. Ventilate underground storage. Check orifice and remove any blockages in outlet pipe. Flush outlet pipe to confirm it drains freely. Check for sludge/debris on upstream side of return line.	
Inspect and remove any debris/litter/mulch etc blocking grates of return pit	Six Monthly	Owner	Remove blockages from grate and check if pit blocked.	

Stormwater and On Site Detention Maintenance Schedule

110 Regent Street, Sandy Bay

Inspect storage areas and remove				
debris/litter/mulch etc likely to block screens/grates	Six Monthly	Owner	Remove debris and floatable material, ie pine bark mulch, likely to be carried to grates.	
Compare storage volume to volume approved. (Rectify if loss of volume greater than 5%)	Five Yearly	Maintenance Contractor	Compare actual storage available with work as executed plans. If volume loss is greater than 5%, arrange for necessary works to be undertaken to replace lost storage volume. Contact Engineering consultant if necessary. Council to be notified of proposed works.	
Inspect storages for subsidence near pits	Annually	Maintenance Contractor	Check along drainage lines and at pits for subsidence likely to indicate leakages	
Inspect OSD Warning Signage	Annually	Maintenance Contractor	Check OSD Warning signage and ensure that it is fixed securely to wall, not faded, deteriorated or missing and is clearly visible. Replace as necessary or reposition to a clearly visible location if vegetation growth has obscured.	
General				
Inspect gutters of building and remove any debris/sludge	Annually	Maintenance Contractor	Remove any leaves or debris and sludge from gutters of building and flush downpipes of building to remove any blockages. Pits downstream of downpipes to be cleaned of flushed debris.	
Inspect pits and trench drains on site and remove debris/litter/sludge	Six Monthly	Maintenance Contractor	Remove grate. Remove any debris/litter/sludge from within pits.	



Attn: Liz Wilson
Acting senior statutory planner city planning

April 1st, 2022

Reference: PLN-21-881

Dear Liz,

I am writing this letter in response to the City of Hobarts request for additional information dated 11^{th} January 2022 regarding the adjacent road reserve partial demolition, carport, front fencing and work in road reserve application at 110 Regent Street, Sandy Bay.

Please note the western elevation of the garage is not provided since no part of the carport exceeds the height of the existing boundary wall. On each section within drawing A05-03 the height of the existing boundary wall is marked to demonstrate that no part exceeds the height of the existing boundary wall.

In response to the items raised within the request for additional information, please see below:

- 1. See attached drawing A05-03 Rev C for response to items PA5.1
- 2. See attached email from Glenn King (Operation manager at B&D door) dated 11th February 2022 addressing item ENGr Fi 2, tiltadoor projection during the pivot operation will be within 1000mm of the boundary. This email confirms tiltadoor does not encroach over the Regent Street road reservation in any position.
- 3. See attached items listed below from Aldanmark Engineering -
 - Hydraulic services drawings dated 4th March 2022
 - Stormwater and on site detention maintenance schedule
 - Email from Stuart Lamond of Aldanmark Engineering addressing item Sw1 & Sw6 dated 25th
 March 2022
 - Form 35 dated 25th March 2022

I trust that the information contained within this letter and the attached documents answers your queries however please do not hesitate to call me should you have any questions or concerns.

Yours Sincerely

Daniel Lane

Director

From: Glenn
To: Amber Kim

Subject: RE: (20102) Neo Extension _ Carport Tiltador **Date:** Friday, 11 February 2022 10:41:57 AM

Attachments: <u>image002.png</u>

image003.png image004.png

Amber

According to B&D the door will come out between 750-988mm during the pivot operations

Regards

Glenn King

Operations Manager



Phone: (03) 6229 1650

Email: sales@tommooretas.com.au **Web:** www.tommooretas.com.au











Enquiries to: City Planning Phone: (03) 6238 2711

Email: coh@hobartcity.com.au

mailto: mark.neo@interflour.com

22 December 2021

Mark Neo 110 Regent Street SANDY BAY TAS 7005

Dear Sir/Madam

110 REGENT STREET, SANDY BAY & ADJACENT ROAD RESERVE

WORKS IN ROAD RESERVE NOTICE OF LAND OWNER CONSENT TO LODGE A PLANNING APPLICATION - GMC-21-88
Site Address:
110 Regent Street, Sandy Bay
Description of Proposal:
Works in Road Reserve
Applicant Name:
Mark Neo
PLN (if applicable):
n/a
I write to advise that pursuant to Section 52 of the Land Use Planning and Approvals Act

1993, I grant my consent on behalf of the Hobart City Council as the owner/administrator of the above land for you to make application to the City for a planning permit for the development described above and as per the attached documents. I granted consent pursuant to delegation, a copy of which is enclosed.

Please note that the granting of the consent is only for the making of the application and in no way should such consent be seen as prejudicing any decision the Council is required to make as the statutory planning authority.

This consent does not constitute an approval to undertake any works and does not authorise the owner, developer or their agents any right to enter or conduct works on any Council managed land whether subject to this consent or not.

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Accordingly, I encourage you to continue to engage with the City about these potential requirements.

Yours faithfully

(John Fisher)

ACTING DIRECTOR CITY AMENITY

Relevant documents/plans:

Plans by Preston Lane A01-00 Rev B, A02-00 Rev B and A04-02 Rev B

T 03 6238 2711

City of Hobart

INSTRUMENT OF DELEGATION

General Delegation

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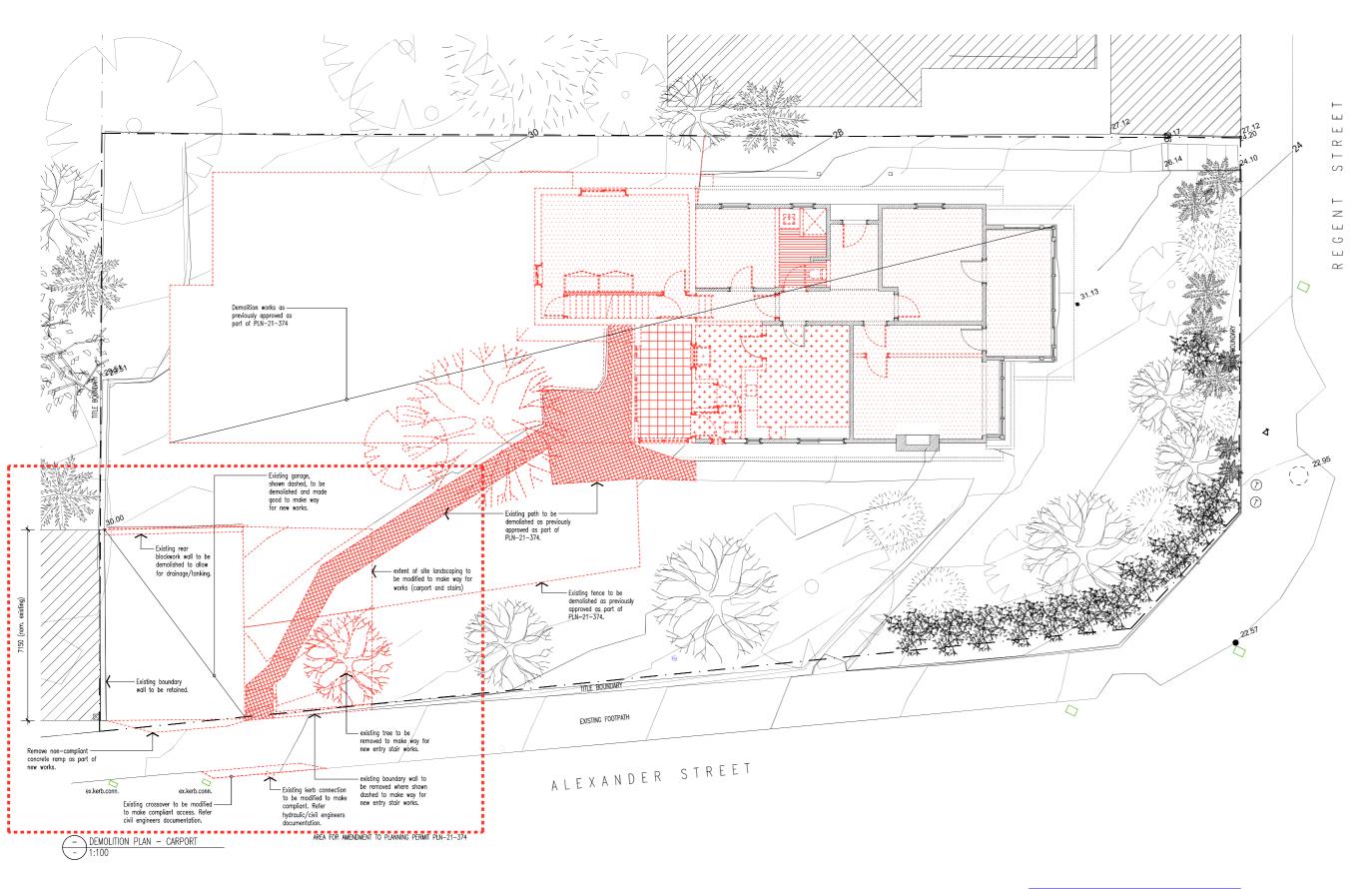
Dated this 20 day of August 2021

(Kelly Grigsby)

CHIEF EXECUTIVE OFFICER

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DEMOLITION LEGEND

_____ Demolition works denoted by red dashed line

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- the building works.

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Lane



110 REGENT STREET

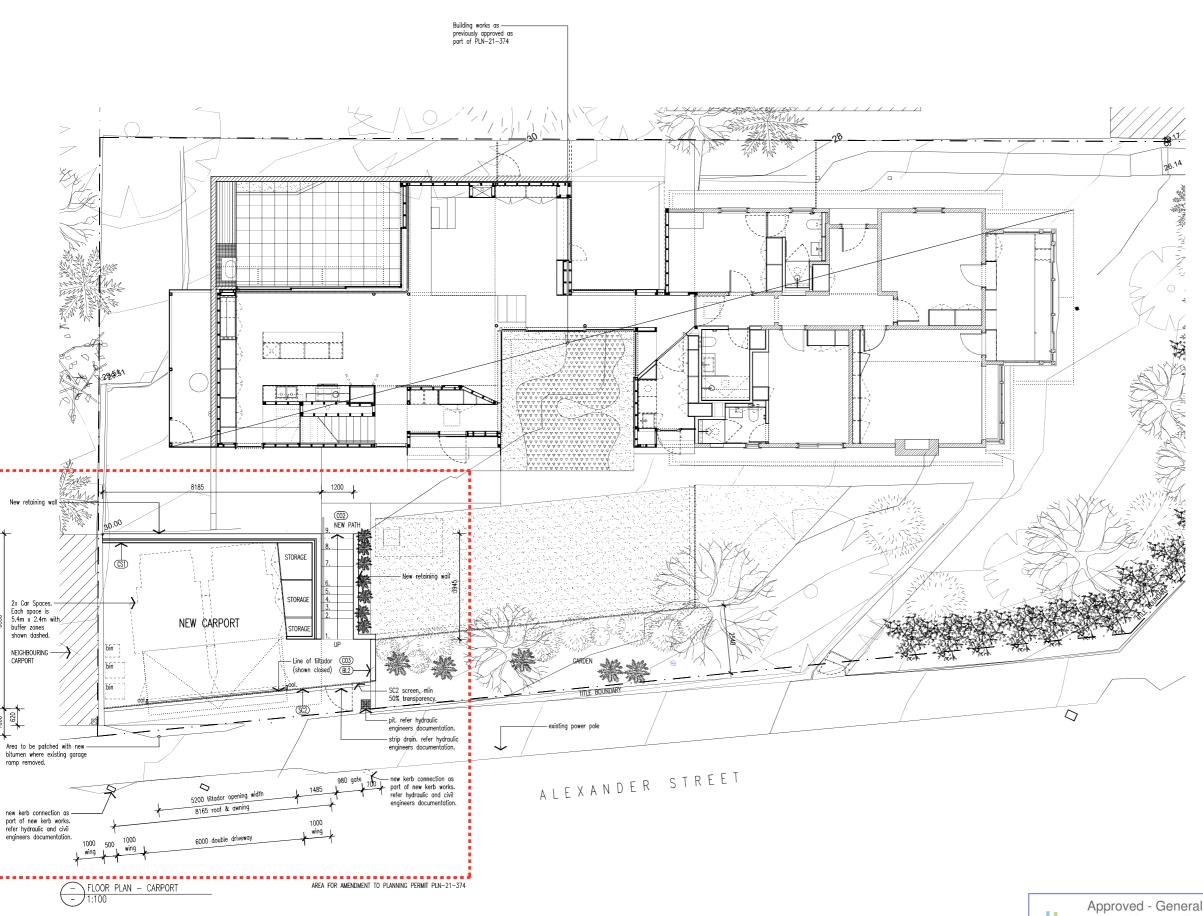
DEMOLITION PLAN CARPORT & CROSSOVER WORKS

CARPORT Issued for HCC Review RL DL CARPORT Issued for GMC RL DL

Project No

20102

A01-00



EXTERMAL WALL FINISHES
All finishes and products to be strictly installed in accordance with Manufacturers specification.

Existing wall cladding (stauco and shingles). Repoir and make good where required, new point finish to entire exterior. Colour to be white, refer external point schedule.

WIBD

COND Compete system to Dulux recommendations.

EXTERNAL FLOOR FINISHES

Concrete steel trowel finish. clear satin polyurethane sealer.

COND Concrete exposed aggregate finish. 14mm bluestone aggregate, confirm colour with client.

90mm wide spotted guit mimber decking, smooth side up. Finish to be Dulux Intergrain UltroClear Exterior Satin.

(PV)

Paving, mid-grey concrete povers, confirm.

Paving, permeable grass povers. Moodie Outdoor Products CrassBiomand Pover in natural concrete colour, confirm prior to ordering. Fill permeable povers with CRV1 grovel.

(GRY)

10mm aggregate decorative white pebbles.

LOCATION OF ALL NEIGHBOURING STRUCTURES ARE INDICATIVE ONLY





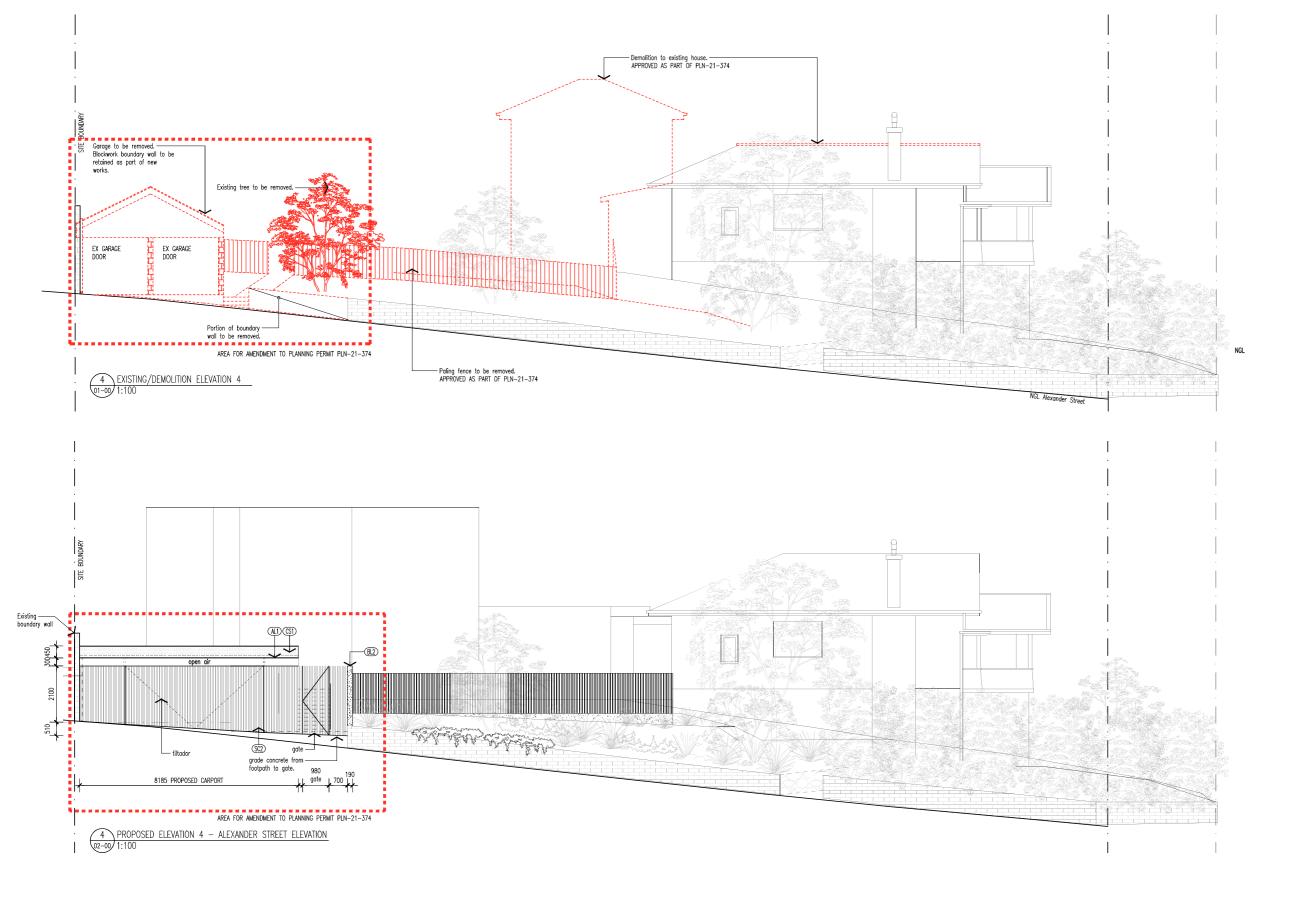
110 REGENT STREET

CARPORT & CROSSOVER WORKS

CARPORT Issued for HCC Review RL DL CARPORT Issued for GMC RL DL

A02-00

20102





- Grey. Complete system to Dulux recommendations.

 EXTERNAL FLOOR FINISHES

 (CON2)

 Concrete steel trowel finish, clear satin polyurethane sealer.

 Concrete exposed aggregate finish, 14mm bluestone aggregate, confirm colour with client.

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Proprietar	MARK 8	ANGELA N	JΕ
Project	110 REGENT STRE Sandy 6		
Drawing		ELEVA	TIC
Scale		1:100 (ð /
Revision A 10/12/2021	CARPORT Issued for HCC Review	RL	
B 14/12/2021	CARPORT Issued for GMC	RL	

A04-02

20102

CERTIFICATE OF TITLE

LAND TITLES ACT 1980



TORRENS TITLE				
\	VOLUME			
55178			224	
EDITION	DATE OF ISSUE			
4	16-Mar-2021			
Page 1		of 1		

I certify that the person described in Schedule 1 is the registered proprietor of an estate in fee simple (or such other estate or interest as is set forth in that Schedule) in the land within described subject to such exceptions, encumbrances, interests and entries specified in Schedule 2 and to any additional entries in the Folio of the Register.

December of Titles



Recorder of Titles

DESCRIPTION OF LAND

City of HOBART Lot 224 on Plan 55178 (formerly being P767) Derivation: Part of 65A-2R-0Ps. Gtd. to D. Lord. Prior CT 2874/69

SCHEDULE 1

M872646 TRANSFER to MARK ROLAND NEO and ANGELA MARIE NEO Registered 16-Mar-2021 at noon

SCHEDULE 2

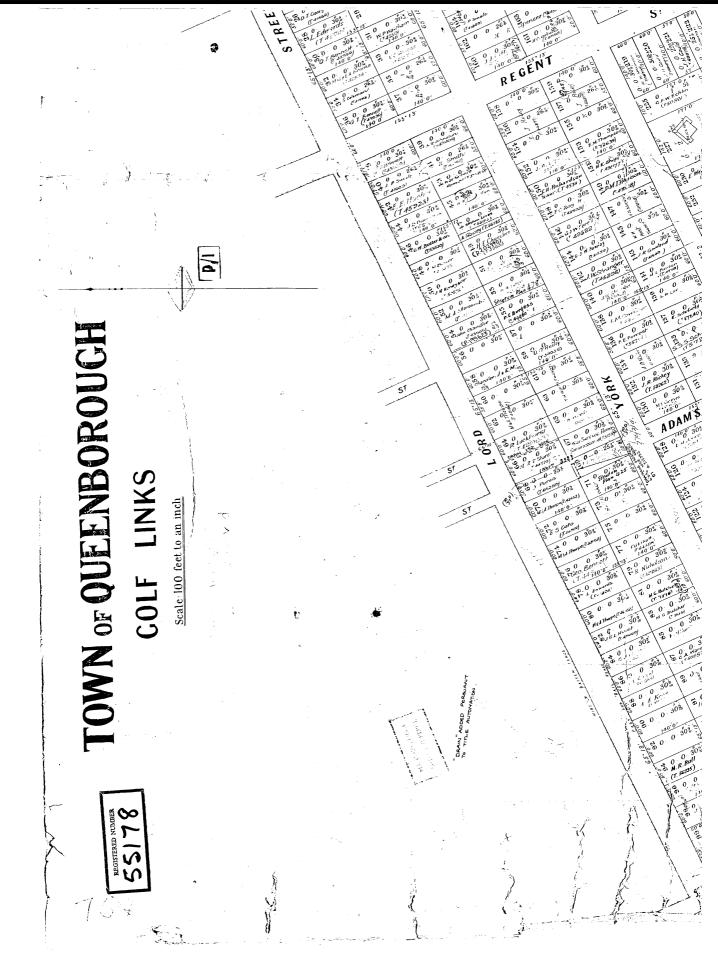
Reservations and conditions in the Crown Grant if any



RECORDER OF TITLES



Issued Pursuant to the Land Titles Act 1980



Search Date: 30 Apr 2021

Search Time: 12:38 PM

Volume Number: 55178

Revision Number: 13

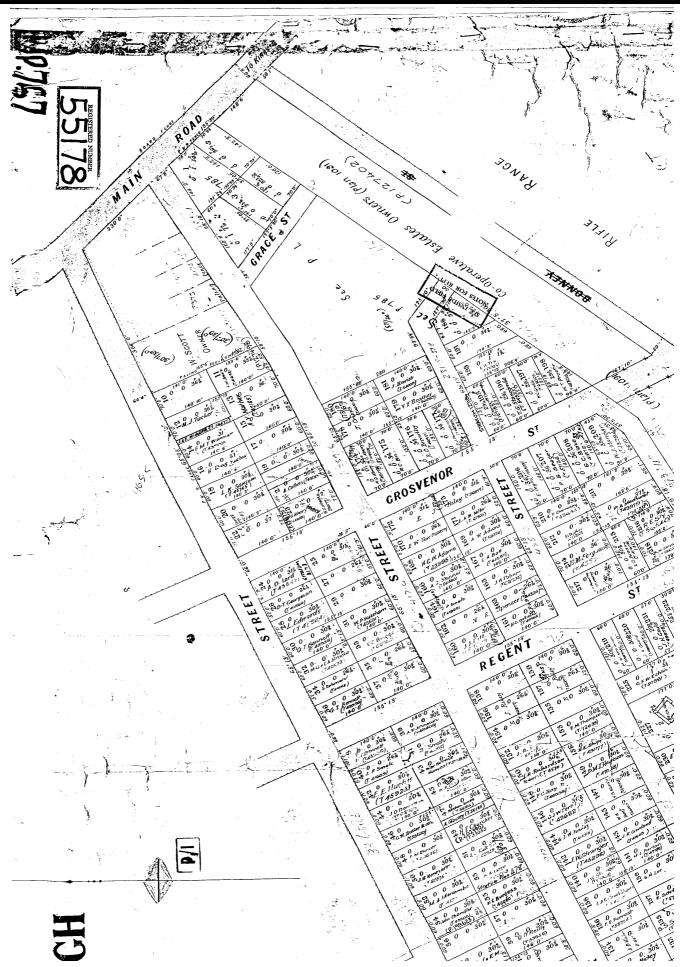
Page 1 of 4



RECORDER OF TITLES



Issued Pursuant to the Land Titles Act 1980



Search Date: 30 Apr 2021

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Page 2 of 4



RECORDER OF TITLES



Issued Pursuant to the Land Titles Act 1980



Search Date: 30 Apr 2021

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Volume Number: 55178

Revision Number: 13

Page 3 of 4



RECORDER OF TITLES

Tasmanian Government

Issued Pursuant to the Land Titles Act 1980



Search Date: 30 Apr 2021

Search Time: 12:38 PM

Volume Number: 55178

Revision Number: 13

Page 4 of 4

Planning: #248512
Property
110 REGENT STREET SANDY BAY TAS 7005
People
Applicant
*
Mark Neo
C/- 60 Barrack Street
60 Barrack Street
HOBART TAS 7000
0407 556 048 daniel@prestonlane.com.au
damen@prestoniane.com.au
Owner
*
Mark Neo
C/- 60 Barrack Street
HOBART TAS 7000
0407 556 048
mark.neo@interflour.com
Entered By
DANIEL LANE
45 GOULBURN STREET
HOBART TAS 7000
03 6231 2923
info@prestonlane.com.au
Jse
Single dwelling
Details
Have you obtained pre application advice?
• ¬No
f YES please provide the pre application advice number eg PAE-17-xx
Are you applying for permitted visitor accommodation as defined by the State Government Visitor Accommodation Standards? Click on help information button for definition. If you are not the owner of the
property you MUST include signed confirmation from the owner that they are aware of this application. *
• "No

is the application for SIGN number of signs under Ot *	NAGE ONLY? If yes, please en ther Details below.	nter \$U IN th	e cost of developm	ent, and you must enter the
• _□ No				
If this application is relate	d to an enforcement action ple	ease enter l	Enforcement Numb	per
Details				
What is the current appro	ved use of the land / building(s)?		
Residential				
Please provide a full desc swimming pool and garaç *	cription of the proposed use o ge)	r developm	ent (i.e. demolition	and new dwelling,
Demolition of Existing Ga	arage, New Carport and crosso	ver		
Estimated cost of develor	pment			
100000.00				
Existing floor area (m2)	Proposed floor are	ea (m2)	Site area (m	12)
39.00	56.00		853	
Carparking on Site				
. 5		N/A		
Total parking spaces	Existing parking spaces		(no selection	
2	2		chosen)	
Other Details				
No How many signs, please on this application				
0				
Tasmania Heritage R Is this property on the Tas Register? Documents)		
Required Document	ts			
Title (Folio text and Plan and *	d Schedule of Easements)			
Title.pdf Plans (proposed, existing) *				
	Crossover Works ISSUED FOR	R GMC.pdf		
GM or Crown consent GMC-21-88 - 110 REGEN Application (including docur	T STREET SANDY BAY TAS	7005 - Notic	e of Land Owner Cor	nsent to Lodge a Planning
engineering				