

DEMOLITION PLAN - CARPORT
1:100

DEMOLITION LEGEND

----- Demolition works denoted by red dashed line

NOTES

1. The contractor is to inspect the site, and become conversant with the limitations and constraints for access, noise, and general safety.
2. All demolitions are to be removed from site unless noted otherwise. Strictly no burning off on site.
3. Contractor to ensure all services are appropriately capped and sealed to make way for new work.
4. Leave all surfaces clear and free of any remnants/objects ready to make way for new works.
5. Remove all carpet, underlay and associated fixings and make good floor surfaces for new floor finish, where applicable.
6. Remove all visible unused service pipes and conduits etc.
7. Existing ceilings to remain except where noted otherwise.
8. Remove existing ceiling insulation and vacuum-clean all roof spaces to make way for new bulk insulation.
9. Builder to make the building secure throughout the building works.
10. Provide temporary support to existing structure as required.

LOCATION OF ALL NEIGHBOURING STRUCTURES ARE INDICATIVE ONLY



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The Builder/Contractor shall verify job dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.

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Proprietor MARK & ANGELA NEO
Project 110 REGENT STREET SANDY BAY

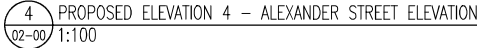
Drawing DEMOLITION PLAN
CARPORT & CROSSOVER WORKS

Scale 1:100 @ A2

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|----------|---|------------|-------------------------------|----|----|
| Revision | A | 10/12/2021 | CARPORT Issued for HCC Review | RL | DL |
| | B | 14/12/2021 | CARPORT Issued for GMC | RL | DL |

Project No 20102

Drawing Number A01-00



RETAINING WALL
Provide tanking and subsoil drainage to all retaining walls in accordance with NCC regulations. Typical U.N.O. Refer Hydraulic Engineers documentation for drainage plans.

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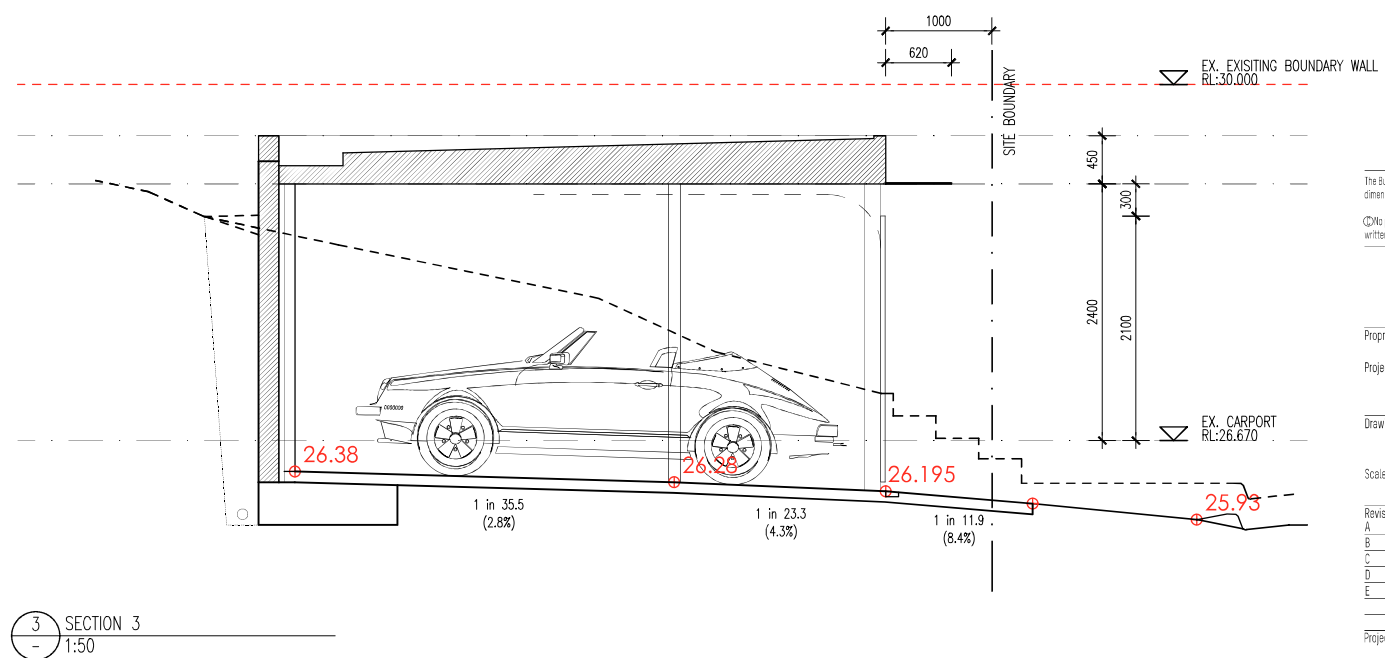
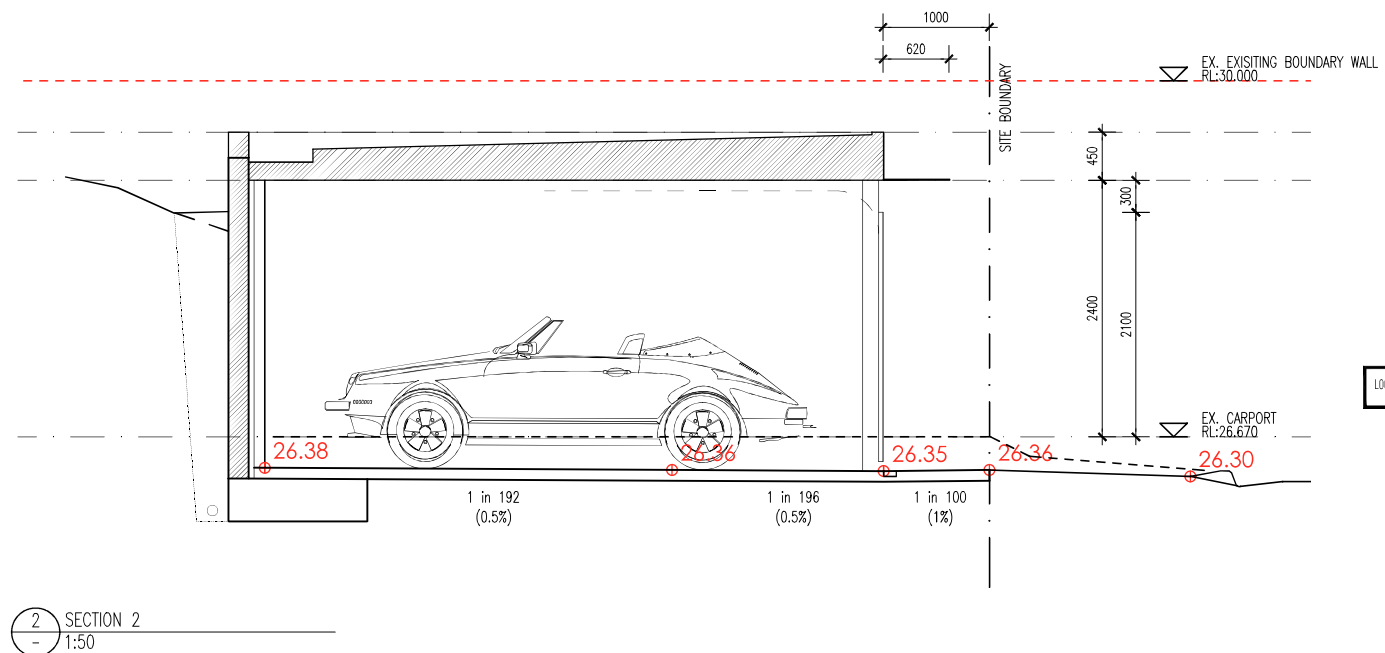
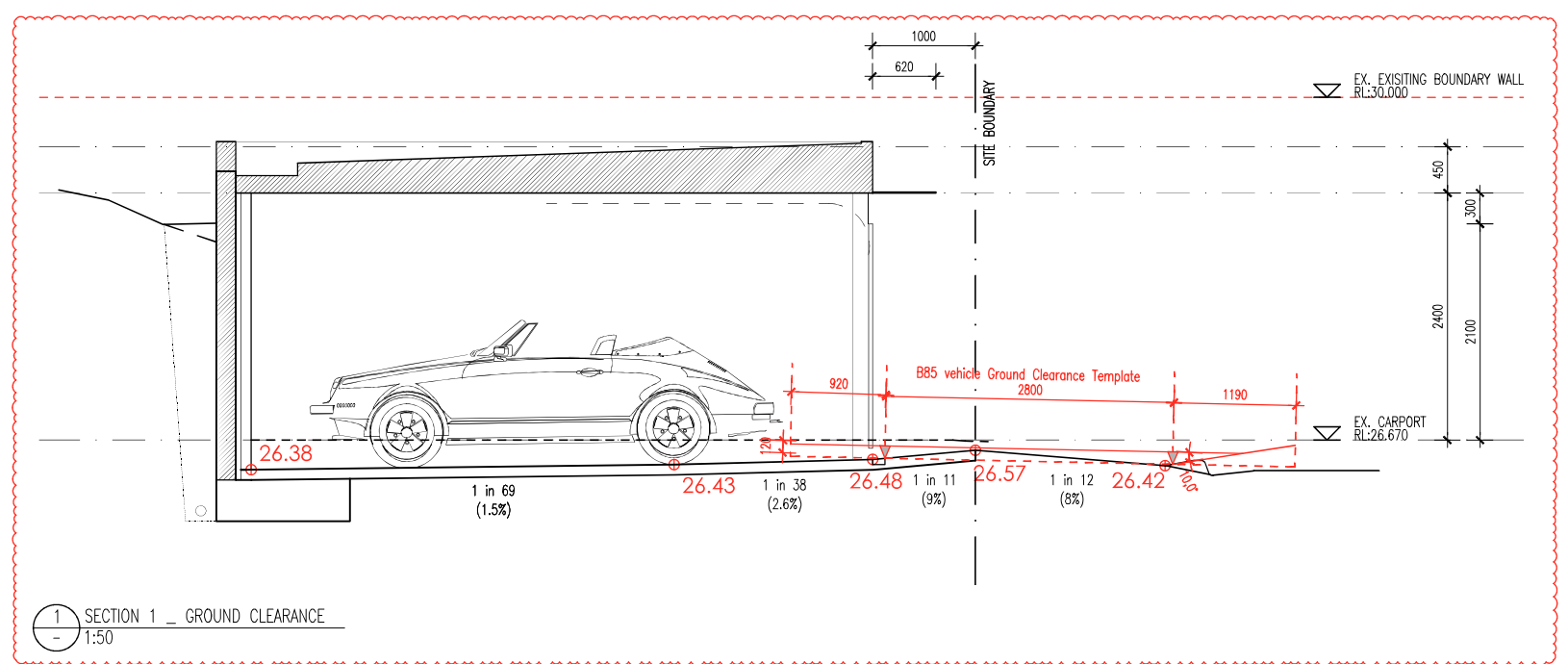
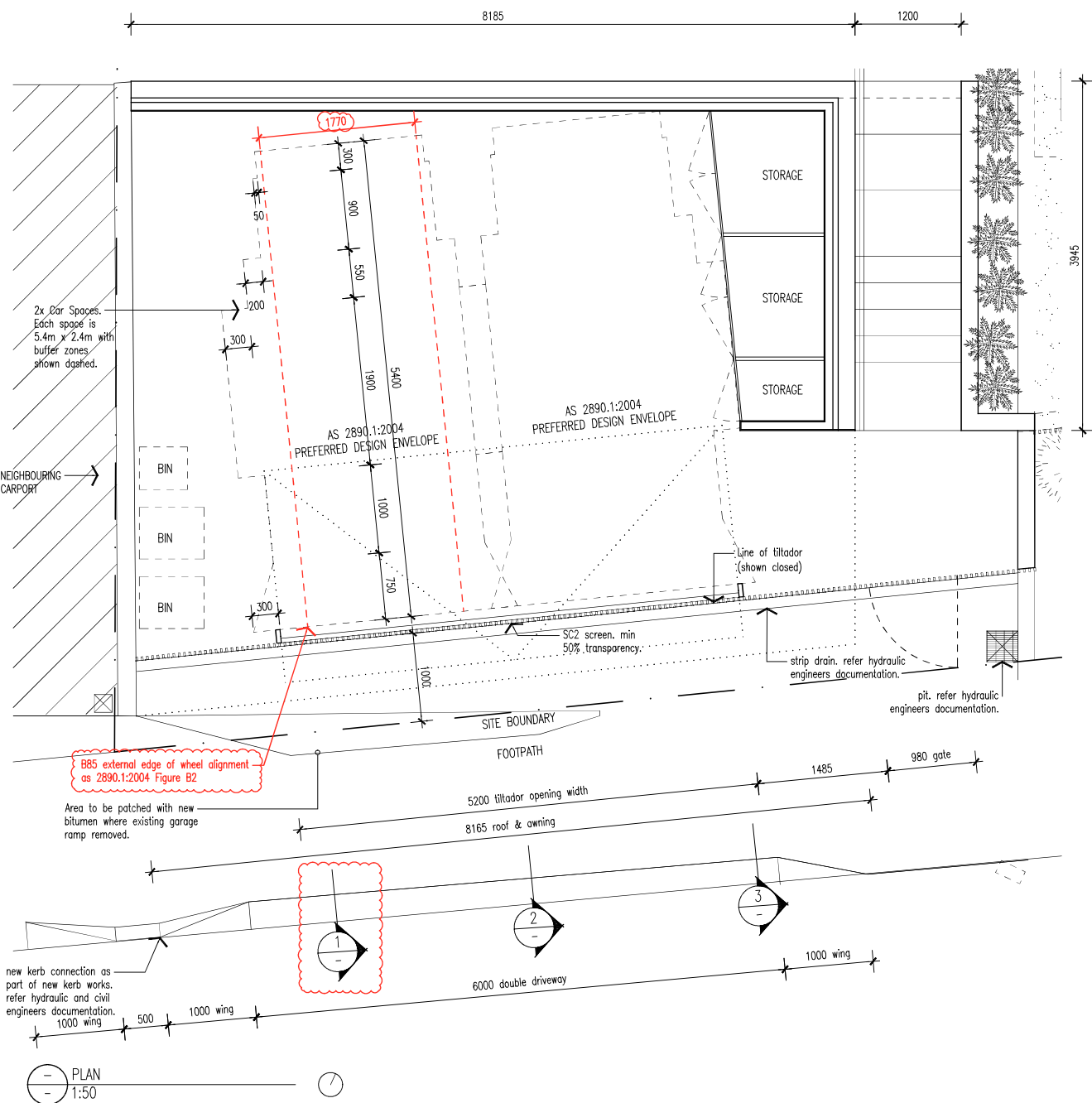
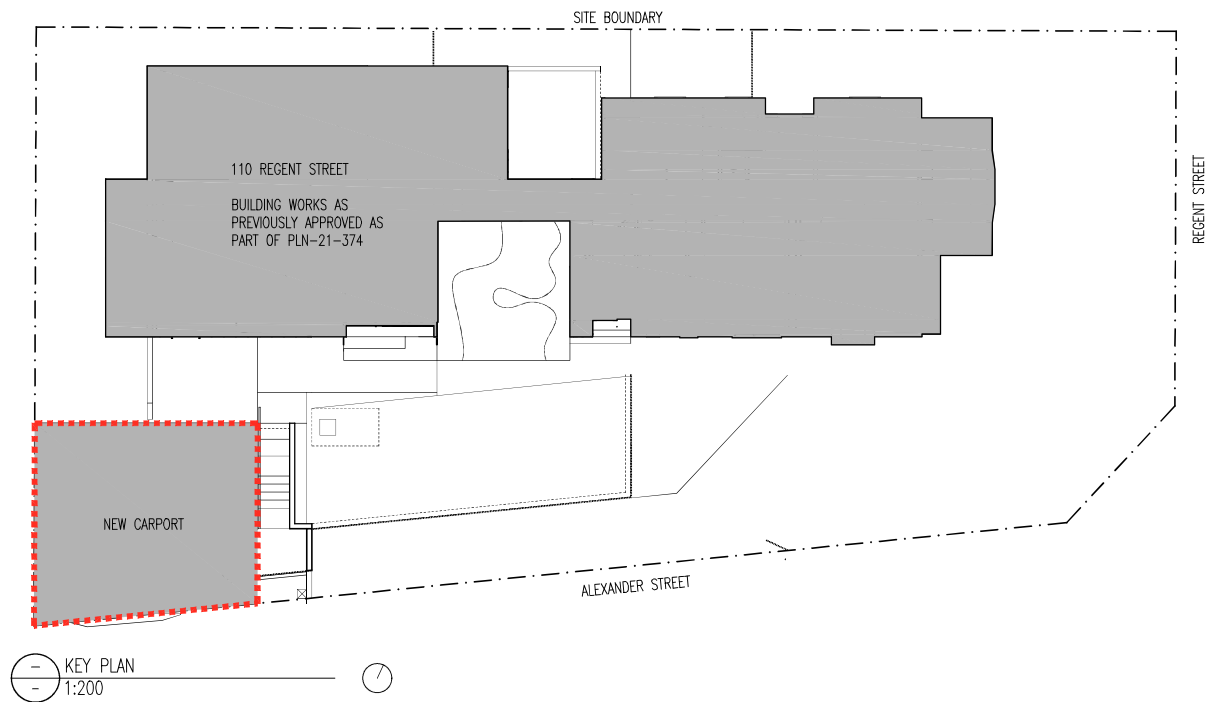
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Drawing Number



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|----------------|--|
| Proprietor: | MARK & ANGELA NEO |
| Project: | 110 REGENT STREET SANDY BAY |
| Drawing: | CARPORT SECTIONS |
| Scale: | 1:50 @ A2 |
| Revision | |
| A | 10/12/2021 CARPORT Issued for HCC Review RL DL |
| B | 14/12/2021 CARPORT Issued for GMC RL DL |
| C | 28/03/2022 CARPORT Issued for RH AK DL |
| D | 09/05/2022 CARPORT Issued for RH AK DL |
| E | 17/05/2022 CARPORT Issued for RH AK DL |
| Project No | 20102 |
| Drawing Number | A05-03 |

HYDRAULIC SERVICES DRAWINGS

MARK & ANGELA NEO

110 REGENT STREET

SANDY BAY TAS 7005

| | | | |
|-------|---|---|------------|
| H0.01 | HYDRAULIC INDEX | 1 | 04/03/2022 |
| H0.02 | HYDRAULIC NOTES & LEGEND | 1 | 04/03/2022 |
| H0.03 | WORKPLACE HEALTH AND SAFETY NOTES | 1 | 04/03/2022 |
| H1.01 | PRE DEVELOPMENT STORMWATER CATCHMENT | 1 | 04/03/2022 |
| H1.02 | POST DEVELOPMENT STORMWATER CATCHMENT | 1 | 04/03/2022 |
| H2.01 | DRAINAGE & WATER SERVICES PLAN - GROUND FLOOR | 1 | 04/03/2022 |
| H2.02 | DRAINAGE SERVICES PLAN - FIRST FLOOR | 1 | 04/03/2022 |
| H3.01 | ROOF DRAINAGE PLAN | 1 | 04/03/2022 |
| H4.01 | DETAIL SHEET | 1 | 04/03/2022 |

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| | | | <div></div> <div><div>Lower Ground 199 Macquarie Street Hobart TAS 7000 03 6234 8866 mail@aldanmark.com.au www.aldanmark.com.au</div></div> | CLIENT: MARK & ANGELA NEO | SHEET: HYDRAULIC INDEX | DRAWN: SL | DESIGNED: SL | VERIFIED: TW | DATE: 04/03/2022 |
| | | | | ADDRESS: 110 REGENT STREET SANDY BAY TAS 7005 | PROJECT: ALTERATIONS AND ADDITIONS | SCALE: | SIZE: A2 | TOTAL SHEETS: 9 | |
| 1 | BUILDING APPROVAL | 04/03/2022 | | | ISSUE: DEVELOPMENT APPROVAL | PROJECT No. 21E68-8 | | SHEET No. H0.01 | |
| 0 | BUILDING APPROVAL | 06/09/2021 | | | | | | | |
| REV. | DESCRIPTION | DATE | | | | | | REV No. 1 | |

HYDRAULIC NOTES

GENERAL NOTES:

1. THESE DRAWING ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS, PROJECT CONTRACT AND SPECIFICATIONS. STANDARDS REFERENCES ARE THE MOST RECENT VERSION.
2. SEWER, STORMWATER AND WATER SERVICES SHALL BE IN ACCORDANCE WITH THE NCC VOL 3 (PCA), AS3500, WSAA CODES, TASWATER AND TO LOCAL AUTHORITY APPROVAL.
3. IT IS ASSUMED THAT ADJACENT TO THE DEVELOPMENT SITE IS ADEQUATE INFRASTRUCTURE PROVIDED BY THE LOCAL AUTHORITY AND OTHER STATUTORY AUTHORITIES TO SUPPLY ROAD ACCESS, WATER AND POWER AS REQUIRED BY THIS DESIGN; AND THERE IS ADEQUATE INFRASTRUCTURE OR ENVIRONMENTAL CAPACITY TO RECEIVE STORMWATER AND SEWERAGE DRAINAGE. PARTICULAR ASSUMPTIONS ARE DESCRIBED IN THE FOLLOWING SECTIONS.
4. THE LOCATION OF EXISTING SERVICES AND CONNECTION POINTS WHERE SHOWN ON PLANS ARE APPROXIMATE ONLY AND SHALL BE CONFIRMED ON SITE.
5. FOLLOWING AGREEMENT WITH THE SUPERINTENDENT, TERMINATE AND ABANDON REDUNDANT EXISTING SERVICES DISCOVERED DURING CONSTRUCTION AND MAKE A NOTE ON AS-CONSTRUCTED DRAWING.
6. LOCATE ALL EXISTING GAS, ELECTRICAL, TELECOMMUNICATIONS, WATER MAINS, SEWER MAINS AND STORMWATER MAINS ETC. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND ADVISE THE SUPERINTENDENT OF ANYTHING THAT APPEARS NOT BE HAVE BEEN CONSIDERED IN THE DESIGN.
7. CONFIRM ALL LEVELS ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.
8. HYDRAULIC LAYOUT TO BE COORDINATED WITH OTHER SERVICES. HYDRAULIC LAYOUT AS SHOWN IS NOTIONAL, LAYOUT TO BE CONFIRMED ON SITE.
9. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT A VALID BUILDING AND PLUMBING PERMIT AND START WORKS NOTICE IS IN PLACE FOR THE WORK AND THAT THE BUILDING SURVEYOR IS NOTIFIED OF ALL SITE INSPECTION REQUESTS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES CAUSED BY HIS SUB-CONTRACTORS, ANY SERVICE DAMAGED IS TO BE REINSTATED IMMEDIATELY.
11. ON COMPLETION OF WORKS PROVIDE THREE SETS OF AS-CONSTRUCTED DRAWINGS AND SERVICE MANUALS ALONG WITH ELECTRONIC DRAWING FILES IN PDF AND DWG FORMATS SUITABLE FOR READING WITH A RECENT VERSION OF ADOBE/AUTOCAD TO THE SUPERINTENDENT.
12. THE CONTRACTOR IS RESPONSIBLE FOR ORGANIZING ALL SITE INSPECTIONS AND OBSERVING ALL HOLD POINTS NOMINATED WITHIN THE CONTRACT, BY THE BUILDING SURVEYOR OR PLUMBING SURVEYOR.
13. NOMINAL DIAMETERS FOR PIPES (DN) REFER TO THE INSIDE DIAMETER (ID BORE)
14. CONCEAL ALL PIPEWORK IN CEILING SPACE, DUCTS, CAVITIES, WALL CHASES, CUPBOARDS ETC. UNLESS OTHERWISE APPROVED.
15. THE CONTRACTOR SHALL ALLOW TO COORDINATE WITH MECHANICAL AND REFRIGERATION SERVICES AND PROVIDE TUNDISHES CONNECTED TO SEWER OR STORMWATER AS APPROPRIATE TO ALL CONDENSATE DRAINAGE AND RELIEF VALVES. ALLOW TO PROVIDE AND INSTALL MAG IN-WALL TUNDISHES WITH STAINLESS STEEL COVER WINDOW (SUPPLIED BY MA GRIFFITH) OR EQUAL APPROVED TYPE.
16. TRENCHING FOR FLEXIBLE PIPEWORK SHALL BE IN ACCORDANCE WITH AS2566 AND AS3500.
17. ALL PIPEWORK UNDER TRAFFICABLE AREAS, SLABS OR PAVEMENTS IS TO BE FULLY BACKFILLED WITH COMPACTED FCR.

STORMWATER NOTES:

1. STORMWATER PIPE INFRASTRUCTURE HAS BEEN DESIGNED TO CONVEY A 20 YEAR ANNUAL EXCEEDANCE POSSIBILITY (5% AEP) AT A 5 MINUTE STORM DURATION, WITH OVERLAND FLOW PATHS PROVIDED FOR 1:100 YEAR ANNUAL EXCEEDANCE PROBABILITY (1% AEP). IT IS ASSUMED THAT THE DOWNSTREAM INFRASTRUCTURE AND/OR ENVIRONMENT CAN SAFELY RECEIVE THE 5% AEP EVENT WITH A 5 MINUTE STORM DURATION.
2. ALL MATERIALS AND WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH AS3500, NCC VOL 3 (PCA), COUNCL STANDARD DRAWINGS AND SPECIFICATION AND TO THE SATISFACTION OF COUNCIL'S DEVELOPMENT ENGINEER.
3. ALL PIPEWORK SHALL BE MINIMUM DN100 DWV SN6 AT 1:100 GRADE (1.00%) UNLESS NOMINATED OTHERWISE ON PLANS
4. MINIMUM GRADE OF PAVED AREAS AND PIPEWORK SHALL BE 1 IN 100 UNLESS NOTED OTHERWISE.
5. INSTALL ALL AG DRAINS TO THE REQUIREMENTS OF AS3500 AND THE NCC
6. PROVIDE INSPECTION OPENINGS TO ALL DRAINAGE PIPEWORK IN ACCORDANCE WITH AS3500 REQUIREMENTS EVEN IF NOT SHOWN IN DRAWINGS.
7. PIPE AND CHANNEL INFRASTRUCTURE HAS BEEN DESIGNED TO CONVEY 20 YEAR ANNUAL EXCEEDANCE POSSIBILITY (5% AEP) STORMS, WITH OVERLAND FLOW PATHS PROVIDED FOR 1% AEP STORMS. IT IS ASSUMED THAT WATER FLOWING ONTO THE DEVELOPMENT SITE IS CONTAINED WITHIN LOCAL AUTHORITY INFRASTRUCTURE FOR 5% AEP STORMS AND THE ROAD RESERVE FOR 1% AEP STORMS.
8. ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LOCAL AUTHORITY'S BY-LAWS AND AS/NZS3500.
9. STORMWATER TRENCHES, PIPE BEDDING AND BACK FILLING TO COMPLY WITH THE CONCRETE PIPE ASSOCIATION OF AUSTRALIA INSTALLATION REQUIREMENTS FOR TYPE Hs2 SUPPORT.
10. BELOW GROUND PIPEWORK AND FITTINGS TO BE DWV SN6, JOINTS SHALL BE OF SOLVENT CEMENT TYPE OR FLEXIBLE JOINTS MADE WITH APPROVED RUBBER RINGS.
11. PIPEWORK SHALL BE LAID IN POSITION AND AT THE GRADES SHOWN.
12. MINIMUM GRADE OF PIPEWORK SHALL BE 1 IN 100 UNLESS NOTED OTHERWISE (U.N.O.).
13. MINIMUM SIZE OF PIPEWORK SHALL BE DN100.
14. SURFACE WATER DRAINS, CATCHPITS/GRATED PITS, AND JUNCTION BOXES SHALL BE CONSTRUCTED AS DETAILED OR AS SPECIFIED BY THE MANUFACTURER.
15. ALL MANHOLES TO BE LOCATED CLEAR OF FUTURE FENCELINES.

SEWER NOTES:

1. ALL MATERIALS AND WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH AS3500, NCC VOL 3 (PCA), TASMANIAN APPENDIX OF THE NCC VOL 3 (PCA), COUNCIL STANDARD DRAWINGS AND SPECIFICATION AND TO THE SATISFACTION OF COUNCIL'S DEVELOPMENT ENGINEER.
2. CONFIRM THE LOCATION AND LEVEL OF THE NOMINATED OUTLET PRIOR TO TRENCH EXCAVATION OR LAYING OF ANY DRAINS. ASCERTAIN FROM TASWATER ALL NECESSARY CONNECTION REQUIREMENTS AND INSTALL ALL WORK FOR CONNECTION IN ACCORDANCE WITH THESE REQUIREMENTS.
3. SEWER TRENCHES, PIPE BEDDING AND BACK FILLING TO COMPLY WITH AS2566 & AS3500.2
4. ALL PIPEWORK SHALL BE ADEQUATELY SUPPORTED TO AS3500.
5. PIPEWORK SHALL BE CONSTRUCTED OF DWV SN6, U.N.O. PIPEWORK RECEIVING HOT DISCHARGES SHALL BE CONSTRUCTED OF HIGH DENSITY POLYETHYLENE (HDPE) OR COPPER TYPE 'B'.
6. PIPEWORK SHALL HAVE BE MINIMUM CLASS SN6 UNLESS NOMINATED OTHERWISE ON PLANS.
7. PIPEWORK SHALL BE PRESSURE TESTED PROGRESSIVELY TO ENSURE NO LEAKS.
8. ALL PIPEWORK SHALL BE CONCEALED IN WALLS, VOID SPACE OR DUCTS UNLESS NOTED OTHERWISE.
9. MINIMUM GRADE OF PIPEWORK SHALL BE 1:40 FOR BRANCHES AND 1 IN 60 FOR DRAINS UNLESS NOTED OTHERWISE.
10. MINIMUM SIZE OF BRANCH DN65 AND MINIMUM SIZE OF DRAINS SHALL BE DN100.
11. WHERE FLOOR WASTE GULLIES ARE INDICATED, THE FLOORS SHALL BE GRADED TOWARDS THE OUTLET. FLOOR WASTE GULLIES CONNECTED TO LAUNDRY FIXTURES SHALL BE ANTI-FOAM TYPE.
12. ALL FITTINGS TO BE ISOLATED BY AN APPROVED TRAP PRIOR TO CONNECTION TO THE SEWER LINE.
13. PROVIDE AIR ADMITTANCE VALVES AND ATMOSPHERIC VENTS IN ACCORDANCE WITH AS3500 REQUIREMENTS.
14. INSPECTION OPENINGS SHALL BE PROVIDED IN ACCORDANCE WITH AS3500.
15. ONE OVERFLOW RELIEF GULLY SHALL BE PROVIDED FOR THE SITE WHICH SHALL BE PRIMED BY AN EXTERNAL WATER SOURCE.
16. WHERE PIPEWORK PENETRATES FIRE RATED WALLS OR FLOORS, A FIRE STOP COLLAR SHALL BE INSTALLED. ALL WORK SHALL BE STRICTLY INSTALLED TO THE MANUFACTURER'S RECOMMENDATIONS.
17. NO SEWER CONNECTIONS SHALL BE MADE WITHIN RESTRICTED ZONES OF STACKS AS PER AS3500. INSTALL LONG RADIUS BENDS AT THE BASE OF ALL STACKS AS PER AS3500 AND INCLUDE ALL BRACKETS AND SUPPORTS.

TRADE WASTE:

1. ALL TASWATER TRADE WASTE INSTALLATIONS FOR COMMERCIAL KITCHENS SHALL HAVE NON BYPASSABLE DRY BASKET ARRESTORS FITTED TO ALL SINKS & FLOOR WASTES.
2. DEPARTMENT OF EDUCATION KIOSKS AND HOME ECONOMICS CLASSROOMS SHALL HAVE NON BYPASSABLE DRY BASKET ARRESTORS FITTED TO ALL SINKS & FLOOR WASTES. ALL SINKS IN GENERAL LEARNING CLASSROOMS SHALL BE FITTED WITH NON BYPASSABLE DRY BASKET ARRESTORS.
3. ALL TRADE WASTE INSTALLATIONS SHALL BE INSTALLED TO ADHERE TO THE NCC VOL 3 (PCA) TASMANIAN APPENDIX AND TASWATER'S TRADE WASTE GUIDELINES

BUILDING HYDRAULICS:

1. ALL MATERIALS AND WORKMANSHIP TO BE DONE IN ACCORDANCE WITH AS3500, NCC VOL 3 (PCA), TASMANIAN APPENDIX OF THE NCC VOL 3 (PCA) AND LOCAL AUTHORITY REQUIREMENTS.
2. ALL DRAINAGE PIPEWORK SHALL BE DWV CLASS SN6 U.N.O., ALL WASTE AND VENT SHALL BE DWV CLASS PIPE.
3. DURING CONSTRUCTION TEMPORARILY SEAL ALL OPEN ENDS OF PIPES AND VALVES TO PREVENT ENTRY OF FOREIGN MATTER, DO NOT USE RAGS, PAPER OR WOODEN PLUGS.
4. SUPPLY AND INSTALL ALL FIXTURES, VALVES, TAPWARE AND SUNDRY ITEMS AS SCHEDULED WITHIN THE SPECIFICATION.
5. PROVIDE FIRE STOPS AS REQUIRED.
6. CONTRACT DRAWINGS ARE DIAGRAMMATIC AND AS SUCH SHOW THE INTENT OF DESIGN. INSTALLATION TO BE AS PER AS/NZS3500. ALLOW FOR ALL BENDS, OFFSETS AND OTHER MEASURES AS NECESSARY TO AVOID INTERFERENCE WITH THE STRUCTURE AND/OR OTHER BUILDING SERVICES.
7. REFER TO ARCHITECTS DEMOLITION PLAN FOR REMOVAL OF EXISTING FIXTURES AND FITTINGS. THE REMOVAL OF EXISTING PLUMBING FIXTURES SHALL INCLUDE ALL ASSOCIATED WASTE AND VENT PIPES, FLOOR DRAINS, WATER SERVICE PIPEWORK BRACKETS, SUPPORTS, ETC AND SEAL OFF EXISTING SERVICES. SEAL OFF AND MAKE GOOD ALL FLOOR, WALL AND ROOF PENETRATIONS.
8. THE LOCATION OF EXISTING SERVICES WHERE SHOWN ARE APPROXIMATE ONLY AND SHALL BE CONFIRMED ON SITE. WHERE POSSIBLE, DETERMINE LOCATION OF EXISTING POWER, TELSTRA, WATER AND DRAINAGE SERVICES PRIOR TO COMMENCING NEW WORK.
9. ALL PENETRATIONS THROUGH EXISTING SUSPENDED FLOOR SLABS SHALL BE DRILLED TO LOCATIONS APPROVED BY THE STRUCTURAL ENGINEER. DRILL PILOT HOLE PRIOR TO CORE DRILLING TO ENSURE CLEARANCE OF BEAMS AND OTHER SERVICES IN SLAB. ALL PENETRATIONS SHALL BE CORE DRILLED TO SUIT PIPE SIZE. ALLOWANCE FOR 10 MM CLEARANCES SHALL BE MADE FOR FIRE PROOFING.
10. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATION OF FIRE AND SMOKE STOP WALLS. ALL PIPE PENETRATIONS SHALL BE SEALED WITH TWO HOUR FIRE STOP SEALANT. INSTALL FIRE STOP COLLARS TO PVC-U OR DWV PIPEWORK PASSING THROUGH FLOORS AND FIRE WALLS IN ACCORDANCE WITH THE MANUFACTURERS WRITTEN INSTRUCTIONS.
11. PROVIDE SERVICE IDENTIFICATION AND DIRECTION OF FLOW MARKERS TO PIPEWORK IN ACCORDANCE WITH AS1345.
12. MAKE GOOD ALL DISTURBED SURFACES TO MATCH EXISTING.
13. MAINTAIN SERVICES TO EXISTING FIXTURES AT ALL TIMES. WHERE CHANGEOVER IS REQUIRED, LIAISE WITH THE ARCHITECT PRIOR TO THE SHUTTING DOWN OF ANY SERVICE.
14. CONTRACTOR TO PROVIDE ALL DOCUMENTS, APPROVALS, CERTIFICATES, WARRANTIES, LOG BOOKS, ETC. UPON COMPLETION OF WORKS TO THE ARCHITECT. ALL FEES AND INSPECTIONS TO BE INCLUDED AND ARRANGED BY THE CONTRACTOR.
15. REFER TO THE ARCHITECTS DRAWINGS FOR SANITARY FIXTURE AND TAP SELECTIONS. SUPPLY AND FIX ACCESSORIES NECESSARY FOR THE CORRECT INSTALLATION OF THE FIXTURES AND EQUIPMENT.

WATER NOTES:

1. WATER SERVICES TO BE CONSTRUCTED IN ACCORDANCE WITH AS3500 PARTS 1 AND 4 AND TO THE SATISFACTION OF COUNCILS (OR TAS WATER FOR EXTERNAL) DEVELOPMENT ENGINEER
2. APPROVED PRESSURE LIMITING VALVES SHALL BE USED TO ENSURE PRESSURE DOES NOT EXCEED 500KPA TO ANY FIXTURE WITHIN A BUILDING. APPROVED PRESSURE LIMITING VALVES SHALL BE LOCATED AS CLOSE AS PRACTICAL TO A BUILDING TO ENSURE FRICTIONAL LOSSES WITHIN PIPEWORK ARE MINIMIZED.
3. ALL CONNECTIONS TO EXISTING MAINS TO BE CARRIED OUT BY TASWATER AT CONTRACTORS COST UNLESS NOMINATED OTHERWISE ON PLANS.
4. GENERAL MATERIALS, INSTALLATION & TESTING SHALL COMPLY WITH AS3500 PARTS 1 AND 4.
5. ALL COPPER PIPEWORK SHALL BE HARD DRAWN TUBING TYPE 'B' CONFORMING TO AS 1432.
6. AS AN ALTERNATIVE TO SILVER SOLDERED JOINTS, PRESS FITTED JOINTS MAY BE USED. ALLOW TO USE THE VIEGA PROPRESS SYSTEM WITH INSTALLATION IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS AND SPECIFICATIONS.
7. ALL PIPEWORK SHALL BE CONCEALED WHERE POSSIBLE. WHERE PIPEWORK IS EXPOSED IT SHALL BE CHROME PLATED.
8. WHERE PIPEWORK IS IN CONTACT WITH DISSIMILAR METALS, THE METALS SHALL BE INSULATED AGAINST BIMETAL CORROSION
9. MINIMUM COVER TO BE 750mm UNDER TRAFFICABLE AREAS; 600mm ELSEWHERE UNLESS NOMINATED OTHERWISE ON PLANS.
10. PROVIDE STOP VALVES AT ALL BRANCH OFFTAKES.
11. ALL TRENCHES UNDER TRAFFICABLE AREAS, INCLUDING DRIVEWAYS, TO BE BACKFILLED WITH COMPACTED FCR.
12. ELECTROMAGNETIC TRACKING TAPE TO BE PLACED OVER ALL TRENCHES CONTAINING WATER PIPES 50Ø OR GREATER ABOVE HAUNCHING.
13. ALL ISOLATION VALVES SHALL BE POSITIONED IN APPROVED ACCESSIBLE LOCATIONS. VALVES LOCATED IN DUCTS OR WALLS SHALL BE POSITIONED BEHIND APPROVED TYPE ACCESS COVERS.
14. ALL SCREWED STOP VALVES SHALL HAVE UNION COUPLINGS AND BE ACCESSIBLE. GROUP VALVES WHEREVER POSSIBLE.
15. ALL COPPER PIPEWORK SHALL BE HARD DRAWN TUBING TYPE 'B' CONFORMING TO AS 1432.
16. ALL POLYETHYLENE PIPEWORK SHALL BE PN16 PE100 CONFORMING TO AS A432.
17. THRUST BLOCKS SHALL BE INSTALLED AS REQUIRED BY WSAA AND AS3500.
18. HOT WATER TO BE STORED AT MINIMUM 60°C WITH TEMPERING DEVICE INSTALLED TO LIMIT OUTLET TEMPERATURE TO; 50°C TO ABUTION AREAS, 60°C TO KITCHEN SINK, CLEANERS SINK AND LAUNDRY TROUGH AND TEMPERED TO 45°C IN DISABLED, CHILD CARE AND AGED CARE FACILITIES
19. COLD WATER, TEMPERED AND HOT WATER PIPEWORK AND VALVES SHALL BE LAGGED AS PER AS/NZS 3500.4:2018 SECTION 8 FOR CLIMATE REGION C. HOT WATER CIRCULATING LINE TO BE LAGGED WITH SECTIONAL ROCKWOOL WITH FOIL OUTER COVER. EXTERNAL LAGGING TO BE UV PROTECTED, AND LAGGING EXPOSED TO MOISTURE NEEDS TO BE MOISTURE PROTECTED. SOLAR FLOW AND RETURN LAGGING SHOULD BE RATED FOR TEMPERATURES UP TO 150°C, OTHER LAGGING RATED TO 105°C. ALL LAGGING SHOULD BE FIRE RATED TO NCC REQUIREMENTS, PVC FREE, ZERO OZONE DEPLETING POTENTIAL, LOW VOLATILE ORGANIC COMPOUNDS.
20. ONE PRESSURE RELIEF VALVE SET TO 500 KPA SHALL BE PROVIDED TO ALL WATER PIPES AT THE POINT OF ENTRY INTO A BUILDING
21. HOSE BIB COCKS SHALL BE 600mm ABOVE FINISHED SURFACE LEVEL AND SHALL BE 20mm IN SIZE, U.N.O., AND FITTED WITH APPROVED VACUUM BREAKERS.THE PLUMBER SHALL ARRANGE FOR ALL INSPECTIONS AND TESTING OF SERVICES REQUIRED BY THE LOCAL AUTHORITY PRIOR TO CONCEALMENT. PRESSURE TEST HOT AND COLD WATER SERVICES TO 1.5 TIMES NORMAL WORKING PRESSURE AND FIRE SERVICES TO 1700 KPA MINIMUM PRESSURE PRIOR TO CONNECTION TO EXISTING SERVICES. PUMP EQUIPMENT SHALL BE REMOVED WHILST TESTING IS CARRIED OUT.
22. ALL TEMPERING AND THERMOSTATIC MIXING VALVES SHALL BE EASILY LOCATED FOR SAFE OH&S ACCESS.
23. FOLLOWING COMPLETION OF THE WORKS, FLUSH ALL PIPING SYSTEMS AND LEAVE FREE OF FOREIGN MATTER, CLEAN OUT AERATORS, STRAINERS, FILTERS, ETC., FLOW AND PRESSURE TEST ALL HYDRANTS AND HOSE REELS.

FIRE NOTES:

1. INSTALLATION OF FIRE SERVICE WATER SUPPLY INCLUDING HYDRANTS, BOOSTER CONNECTIONS, FIRE HOSE REELS AND COMMISSIONING SHALL BE TO THE REQUIREMENTS AND APPROVAL OF THE BUILDING SURVEYOR, TASMANIAN FIRE SERVICE, NCC 2019, AS 2419.1, AS 1221, AS2441 AND TASWATER.
2. FIRE HOSE REELS SHALL BE INSTALLED AND PLACED IN WORKING ORDER AS SOON AS BUILDING WORKS PERMITS.
3. ALL BELOW GROUND FIRE SERVICE PIPEWORK SHALL BE HARD DRAWN COPPER TUBE TYPE 'B' UNLESS NOTED OTHERWISE. ALL ABOVE GROUND FIRE SERVICE PIPEWORK SHALL BE MEDIUM-DUTY HOT-DIPPED GALVANIZED STEEL TUBE WITH 60 MINUTES FIRE RATED SUPPORTS, UNLESS NOTED OTHERWISE.
4. ALL FIRE ISOLATION VALVES SHALL BE SECURED IN THE OPEN POSITION BY A PADLOCKED GALV. METAL STRAP OR CHAIN. PROVIDE AND INSTALL ENGRAVED NON-FERROUS METAL TAGS WITH 8MM UPPER CASE WORDING: 'FIRE SERVICES ISOLATING VALVE - TO BE PADLOCKED IN THE OPEN POSITION'. LOCKING DEVICES SHALL BE 225 CONTRACT SERIES PADLOCKS SERIAL NUMBER 22540/119/003.
5. INSTALL ISOLATION VALVES TO ALL FIRE HOSE REEL PIPEWORK AT THE POINTS OF CONNECTION TO FIRE HYDRANT SYSTEM IN ACCORDANCE WITH THE NCC (NATIONAL CONSTRUCTION CODE)
6. CONCRETE ANCHOR BLOCKS OR ENGINEERED MECHANICAL RESTRAINTS SHALL BE PROVIDED AT ALL SUDDEN CHANGES OF DIRECTION, BOTH VERTICALLY AND HORIZONTALLY AT TEES AND END OF LINES.
7. UPON COMPLETION OF THE FIRE INSTALLATION, PROVIDE A COMPLIANCE REPORT AS REQUIRED BY THE CONTROLLING AUTHORITY THAT THE INSTALLATION COMPLIES WITH THE REGULATIONS AND SUBMIT COPIES OF THE REPORT TO THE SUPERINTENDENT.
8. ALL FIRE SERVICES IN BASEMENT OR NOT LOCATED WITHIN FIRE ISOLATED STAIRS/DUCT SHALL BE PROVIDED WITH 120/120/120 FIRE RATED SUPPORTS UNLESS PROTECTED BY A FIRE SPRINKLER SYSTEM.
9. FIRE COLLARS TO BE PROVIDED AT ALL SLAB PENETRATIONS

TASWATER NOTES:

1. ALL WORKS OUTSIDE OF THE PROPERTY BOUNDARY WILL BECOME TASWATER ASSETS.
2. ENSURE ALL WORKS ARE INSTALLED IN ACCORDANCE WITH THE APPROVED DRAWINGS AND SPECIFICATIONS NOTED WITHIN THE DRAWINGS AND ISSUED PERMITS
3. ALLOW TO ORGANISE ALL APPLICATIONS TO UNDERTAKE TASWATER WORKS AS NOTED IN THE APPROVAL DOCUMENTS AND UNDERTAKE ALL REQUIRED INSPECTIONS DURING CONSTRUCTION.
4. ALL WORKS ASSOCIATED WITH PUBLIC WATER IS TO BE CARRIED OUT IN ACCORDANCE WITH THE WATER SUPPLY CODE OF AUSTRALIA WSA 03-2011-3.1 VERSION 3.1 MRWA EDITION V2.0 AND TASWATER'S SUPPLEMENTS TO THESE CODES AND TO THE SATISFACTION OF TASWATER.
5. ALL WORKS ASSOCIATED WITH PUBLIC SEWER IS TO BE CARRIED OUT IN ACCORDANCE WITH THE SEWERAGE CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES CODE WSA 02-2014-3.1 MRWA VERSION 2 AND TASWATER'S SUPPLEMENTS TO THESE CODES AND TO THE SATISFACTION OF TASWATER
6. ALL CONNECTIONS TO EXISTING MAINS TO BE CARRIED OUT BY THE REGULATING AUTHORITY AT COST TO BUILDER UNLESS APPROVED OTHERWISE.

GENERAL NOTES:

1. THESE DRAWING ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS, PROJECT CONTRACT AND SPECIFICATIONS. STANDARDS REFERENCES ARE THE MOST RECENT VERSION.
2. THE CONTRACTOR IS RESPONSIBLE FOR ORGANISING ALL SITE INSPECTIONS AND OBSERVING ALL HOLD POINTS NOMINATED WITHIN THE CONTRACT, BY THE BUILDING SURVEYOR OR PLUMBING SURVEYOR.
3. NOMINAL DIAMETERS FOR PIPES (DN) REFER TO THE INSIDE DIAMETER (ID BORE)
4. CONCEAL ALL PIPEWORK IN CEILING SPACE, DUCTS, CAVITIES, WALL CHASES, CUPBOARDS ETC. UNLESS OTHERWISE APPROVED.
5. ALL PIPEWORK SHALL BE ADEQUATELY SUPPORTED TO AS3500.
6. PROVIDE AIR ADMITTANCE VALVES AND ATMOSPHERIC VENTS IN ACCORDANCE WITH AS3500 REQUIREMENTS.
7. NO SEWER CONNECTIONS SHALL BE MADE WITHIN RESTRICTED ZONES OF STACKS AS PER AS3500. INSTALL LONG RADIUS BENDS AT THE BASE OF ALL STACKS AS PER AS3500 AND INCLUDE ALL BRACKETS AND SUPPORTS.
8. ALL COPPER PIPEWORK SHALL BE HARD DRAWN TUBING TYPE 'B' CONFORMING TO AS 1432.
9. ALL TEMPERING AND THERMOSTATIC MIXING VALVES SHALL BE EASILY LOCATED FOR SAFE OH&S ACCESS.
10. INSTALLATION OF FIRE SERVICE WATER SUPPLY INCLUDING HYDRANTS, BOOSTER CONNECTIONS, FIRE HOSE REELS AND COMMISSIONING SHALL BE TO THE REQUIREMENTS AND APPROVAL OF THE BUILDING SURVEYOR, TASMANIAN FIRE SERVICE, NCC2019, AS 2419.1, AS 1221, AS2441 AND TASWATER.
11. ALL BELOW GROUND FIRE SERVICE PIPEWORK SHALL BE HARD DRAWN COPPER TUBE TYPE 'B' UNLESS NOTED OTHERWISE. ALL ABOVE GROUND FIRE SERVICE PIPEWORK SHALL BE MEDIUM-DUTY HOT-DIPPED GALVANISED STEEL TUBE WITH 60 MINUTES FIRE RATED SUPPORTS, UNLESS NOTED OTHERWISE.
12. CONCRETE ANCHOR BLOCKS OR ENGINEERED MECHANICAL RESTRAINTS SHALL BE PROVIDED AT ALL SUDDEN CHANGES OF DIRECTION, BOTH VERTICALLY AND HORIZONTALLY AT TEES AND END OF LINES
13. FIRE COLLARS TO BE PROVIDED AT ALL SLAB PENETRATIONS
14. CONTRACT DRAWINGS ARE DIAGRAMMATIC AND AS SUCH SHOW THE INTENT OF DESIGN. INSTALLATION TO BE AS PER AS/NZS3500. ALLOW FOR ALL BENDS, OFFSETS AND OTHER MEASURES AS NECESSARY TO AVOID INTERFERENCE WITH THE STRUCTURE AND/OR OTHER BUILDING SERVICES.
15. ALL PENETRATIONS THROUGH EXISTING SUSPENDED FLOOR SLABS SHALL BE DRILLED TO LOCATIONS APPROVED BY THE STRUCTURAL ENGINEER. DRILL PILOT HOLE PRIOR TO CORE DRILLING TO ENSURE CLEARANCE OF BEAMS AND OTHER SERVICES IN SLAB. ALL PENETRATIONS SHALL BE CORE DRILLED TO SUIT PIPE SIZE. ALLOWANCE FOR 10 MM CLEARANCES SHALL BE MADE FOR FIRE PROOFING.
16. PROVIDE SERVICE IDENTIFICATION AND DIRECTION OF FLOW MARKERS TO PIPEWORK IN ACCORDANCE WITH AS1345.
17. REFER TO THE ARCHITECTS DRAWINGS FOR SANITARY FIXTURE AND TAP SELECTIONS. SUPPLY AND FIX ACCESSORIES NECESSARY FOR THE CORRECT INSTALLATION OF THE FIXTURES AND EQUIPMENT.
18. SOUND INSULATION TO BE PROVIDED TO ACCORDANCE WITH NCC F5.6 TO MEET PERFORMANCE CRITERIA NOT LESS THAN 40 FOR HABITABLE ROOMS (OTHER THAN KITCHEN) OR 25 FOR NON-HABITABLE ROOMS (INCK KITCHEN).
19. FIRE COLLARS TO BE PROVIDED AT ALL SLAB AND FIRE RATED WALL PENETRATIONS (REFER ARCHITECTS PLANS) AND INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS



BEWARE OF UNDERGROUND SERVICES
THE LOCATION OF UNDER GROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT LOCATION SHOULD BE PROVEN ON SITE BY THE RELEVANT AUTHORITIES. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN

DRAINAGE SCHEDULE

| | |
|-----|---|
| | SEWER LINE DN100 SN6 DWV AT MIN. 1.65% U.N.O. |
| | SEWER LINE - EXISTING |
| | STORMWATER LINE DN100 SN6 DWV AT MIN. 1.0% U.N.O. |
| | STORMWATER LINE - EXISTING |
| | RAINWATER CHARGED LINE (DN100 DWV SN6) |
| | RAINWATER CHARGED LINE - EXISTING |
| | TRADE WASTE DN100 HDPE AT MIN 1.65% U.N.O |
| | TRADE WASTE - EXISTING |
| | AG DRAIN (DN90 SLOTTED PVC) U.N.O |
| | AG DRAIN - EXISTING |
| | AIR ADMITTANCE VALVE |
| | DN100 SEWER STACK/DROPPER |
| | SEWER FIXTURE |
| | (DN90) STORMWATER DOWNPIPE U.N.O |
| | VENT (DN50) U.N.O |
| | TUNDISH |
| BTH | BATH (DN40) |
| B | BASIN (DN40) |
| FWG | FLOOR WASTE GULLY (DN50-DN100) |
| IO | INSPECTION OPENING |
| ORG | OVERFLOW RELIEF GULLY (DN100) |
| SHR | SHOWER (DN50) |
| S | SINK (DN50) |
| SL | SLOP HOPPER (DN50) |
| TR | TROUGH (DN50) |
| WC | WATER CLOSET (DN100) |

WATER SERVICES SCHEDULE

| | |
|-----|--|
| | COLD WATER DN25 (ID) PE-X SDR11 U.N.O |
| | FIRE SERVICE DN100 GLAV ROLL GROOVE U.N.O |
| | TEMPERED HOT WATER (NOMINAL SIZE) PE-X SDR-11 U.N.O |
| | HOT WATER FEED DN25 (ID) PE-X SDR 11 U.N.O |
| | HOT WATER RETURN DN20 (ID) PE-X SDR 11 U.N.O |
| | COLD WATER RISER (PE-X SDR11 U.N.O) |
| | HOT WATER RISER (PE-X SDR11 U.N.O) |
| | TEMPERING VALVE RMC Heat Guard (MX 20) (50 deg) or approved eq. |
| | HW BALANCING VALVE - Aquastrom VT or approved eq. |
| | STOP VALVE (NOMINAL SIZE BALL VALVE) |
| | THERMOSTATIC MIXING VALVE Caleffi 5213 TM(45deg) or approved eq. |
| | WATER METER |
| BTH | BATH |
| SHR | SHOWER |
| S | SINK |
| TR | TROUGH |
| UR | URINAL |
| WC | WATER CLOSET |
| T | DN15 (ID) HOSE BIBCOCK TO BE PROVIDED |

INSULATION SCHEDULE

HEATED WATER PIPES
TYPE - SIZE RANGE - INSULATION
CIRCULATING LINE 25mm ROCKWOOL WITH FOIL WRAP
BRANCH LINE 20-25 19mm FR BRADFLEX
OFFTAKE 18 13mm FR BRADFLEX

COLD WATER PIPES EXPOSED
TYPE - SIZE RANGE - INSULATION
ALL >20 19mm ZERO-4
OTHER COLD WATER PIPES
TYPE - SIZE RANGE - INSULATION
ALL NOT REQUIRED

NOTE:WATER PIPES ASSOCIATED DIRECTLY WITH PLANT EQUIPMENT SHALL BE INSULATED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS FOR A TYPICAL INSTALLATION

HOT AND COLD WATER NOMINAL DIAMETERS

BRANCH OFF TAKES MIN. DN20
MAX OFF TAKE LENGTH 6m DN18
MAX OFF TAKE LENGTH 3m DN15
MAX OFF TAKE LENGTH 1m DN10

COPPER PIPES TO AS1432 (HOT AND COLD)
PE-X PIPES TO AS2492 (HOT AND COLD)
HDPE PIPES TO AS/NZS4130 (COLD ONLY)

ALL PIPEWORK SIZING SHOWN ON PLAN TO BE INTERNAL DIAMETER UNLESS OTHERWISE SPECIFIED.

INSTALL INSPECTION OPENINGS AT ALL MAJOR BENDS FOR STORMWATER AND ALL LOW POINTS OF DOWNPIPES

ALL PLUMBING AND DRAINAGE TO BE IN ACCORDANCE WITH COUNCIL REQUIREMENTS
ALL LOCATION OF EXISTING PIPES AND INVERTS TO BE DETERMINED BEFORE PERFORMING WORKS ON SITE
PAVED AND CONCRETE AREAS TO FALL TOWARDS PITS AT MIN 1%

DRAINAGE MUST COMPLY WITH:
NCC 2019 VOL 3 (PCA), AS/NZS 3500, BCA VOLUME 2 PARTS 3.1.2 AND 3.5.2 (DEEMED TO SATISFY PROVISIONS)

SWIVEL AND EXPANSION JOINTS TO BE USED WHEN INSTALLING DRAINS IN HIGH REACTIVE SOILS.

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| 1 | BUILDING APPROVAL | 04/03/2022 | |
| 0 | BUILDING APPROVAL | 06/09/2021 | |
| REV. | DESCRIPTION | DATE | |



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| CLIENT: | MARK & ANGELA NEO |
| ADDRESS: | 110 REGENT STREET SANDY BAY TAS 7005 |

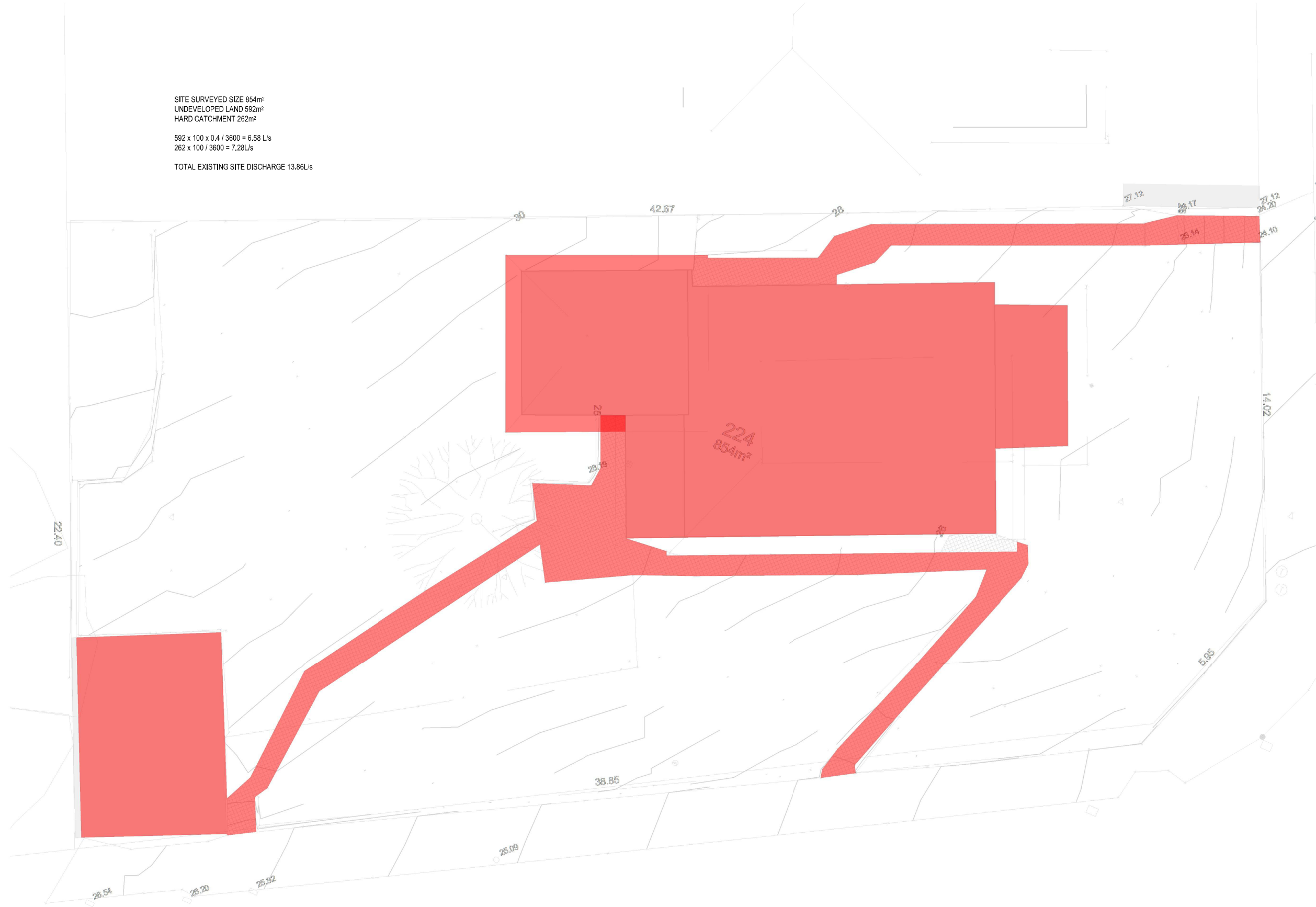
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|----------|---------------------------|
| SHEET: | HYDRAULIC NOTES & LEGEND |
| PROJECT: | ALTERATIONS AND ADDITIONS |
| ISSUE: | DEVELOPMENT APPROVAL |

| | | | | | | | |
|-------------|---------|-----------|----|-----------|----|---------------|------------|
| DRAWN: | SL | DESIGNED: | SL | VERIFIED: | TW | DATE: | 04/03/2022 |
| SCALE: | 1 : 100 | | | SIZE: | A2 | TOTAL SHEETS: | 9 |
| PROJECT No. | | | | SHEET No. | | REV No. | |
| 21E68-8 | | | | H0.02 | | 1 | |

SITE SURVEYED SIZE 854m²
UNDEVELOPED LAND 592m²
HARD CATCHMENT 262m²

592 x 100 x 0.4 / 3600 = 6.58 L/s
262 x 100 / 3600 = 7.28L/s

TOTAL EXISTING SITE DISCHARGE 13.86L/s



| DRAINAGE SCHEDULE | |
|-------------------|---|
| | SEWER LINE DN100 SN6 DWV AT MIN. 1.65% U.N.O. |
| | SEWER LINE - EXISTING |
| | STORMWATER LINE DN100 SN6 DWV AT MIN. 1.0% U.N.O. |
| | STORMWATER LINE - EXISTING |
| | RAINWATER CHARGED LINE (DN100 DWV SN6) |
| | RAINWATER CHARGED LINE - EXISTING |
| | TRADE WASTE DN100 HDPE AT MIN 1.65% U.N.O |
| | TRADE WASTE - EXISTING |
| | AG DRAIN (DN90 SLOTTED PVC) U.N.O |
| | AG DRAIN - EXISTING |
| | AIR ADMITTANCE VALVE |
| | DN100 SEWER STACK/DROPPER |
| | SEWER FIXTURE |
| | (DN90) STORMWATER DOWNPIPE U.N.O |
| | VENT (DN50) U.N.O |
| | TUNDISH |
| BTH | BATH (DN40) |
| B | BASIN (DN40) |
| FWG | FLOOR WASTE GULLY (DN50-DN100) |
| IO | INSPECTION OPENING |
| ORG | OVERFLOW RELIEF GULLY (DN100) |
| SHR | SHOWER (DN50) |
| S | SINK (DN50) |
| SL | SLOP HOPPER (DN50) |
| TR | TROUGH (DN50) |
| WC | WATER CLOSET (DN100) |

| WATER SERVICES SCHEDULE | |
|-------------------------|--|
| | COLD WATER DN25 (ID) PE-X SDR11 U.N.O |
| | FIRE SERVICE DN100 GLAV ROLL GROOVE U.N.O |
| | TEMPERED HOT WATER (NOMINAL SIZE) PE-X SDR-11 U.N.O |
| | HOT WATER FEED DN25 (ID) PE-X SDR 11 U.N.O |
| | HOT WATER RETURN DN20 (ID) PE-X SDR 11 U.N.O |
| | COLD WATER RISER (PE-X SDR11 U.N.O) |
| | HOT WATER RISER (PE-X SDR11 U.N.O) |
| | TEMPERING VALVE RMC Heat Guard (MX 20) (50 deg) or approved eq. |
| | HW BALANCING VALVE - Aquastrom VT or approved eq. |
| | STOP VALVE (NOMINAL SIZE BALL VALVE) |
| | THERMOSTATIC MIXING VALVE Caleffi 5213 TM(45deg) or approved eq. |
| | WATER METER |
| BTH | BATH |
| SHR | SHOWER |
| S | SINK |
| TR | TROUGH |
| UR | URINAL |
| WC | WATER CLOSET |
| T | DN15 (ID) HOSE BIBCOCK TO BE PROVIDED |

INSULATION SCHEDULE

HEATED WATER PIPES
TYPE - SIZE RANGE - INSULATION
CIRCULATING LINE 25mm ROCKWOOL WITH FOIL WRAP
BRANCH LINE 20-25 19mm FR BRADFLEX
OFFTAKE 18 13mm FR BRADFLEX

COLD WATER PIPES EXPOSED
TYPE - SIZE RANGE - INSULATION
ALL >20 19mm ZERO-4
OTHER COLD WATER PIPES
TYPE - SIZE RANGE - INSULATION
ALL NOT REQUIRED

NOTE:WATER PIPES ASSOCIATED DIRECTLY WITH PLANT EQUIPMENT SHALL BE INSULATED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS FOR A TYPICAL INSTALLATION

HOT AND COLD WATER NOMINAL DIAMETERS

BRANCH OFF TAKES MIN. DN20
MAX OFF TAKE LENGTH 6m DN18
MAX OFF TAKE LENGTH 3m DN15
MAX OFF TAKE LENGTH 1m DN10

COPPER PIPES TO AS1432 (HOT AND COLD)
PE-X PIPES TO AS2492 (HOT AND COLD)
HDPE PIPES TO AS/NZS4130 (COLD ONLY)

ALL PIPEWORK SIZING SHOWN ON PLAN TO BE INTERNAL DIAMETER UNLESS OTHERWISE SPECIFIED.

INSTALL INSPECTION OPENINGS AT ALL MAJOR BENDS FOR STORMWATER AND ALL LOW POINTS OF DOWNPIPES

ALL PLUMBING AND DRAINAGE TO BE IN ACCORDANCE WITH COUNCIL REQUIREMENTS
ALL LOCATION OF EXISTING PIPES AND INVERTS TO BE DETERMINED BEFORE PERFORMING WORKS ON SITE
PAVED AND CONCRETE AREAS TO FALL TOWARDS PITS AT MIN 1%

DRAINAGE MUST COMPLY WITH:
NCC 2019 VOL 3 (PCA), AS/NZS 3500, BCA VOLUME 2 PARTS 3.1.2 AND 3.5.2 (DEEMED TO SATISFY PROVISIONS)

SWIVEL AND EXPANSION JOINTS TO BE USED WHEN INSTALLING DRAINS IN HIGH REACTIVE SOILS.

SITE PLAN PRE DEVELOPMENT
1 : 100



BEWARE OF UNDERGROUND SERVICES
THE LOCATION OF UNDER GROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT LOCATION SHOULD BE PROVEN ON SITE BY THE RELEVANT AUTHORITIES. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN

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| 1 | BUILDING APPROVAL | 04/03/2022 |
| 0 | BUILDING APPROVAL | 06/09/2021 |
| REV. | DESCRIPTION | DATE |

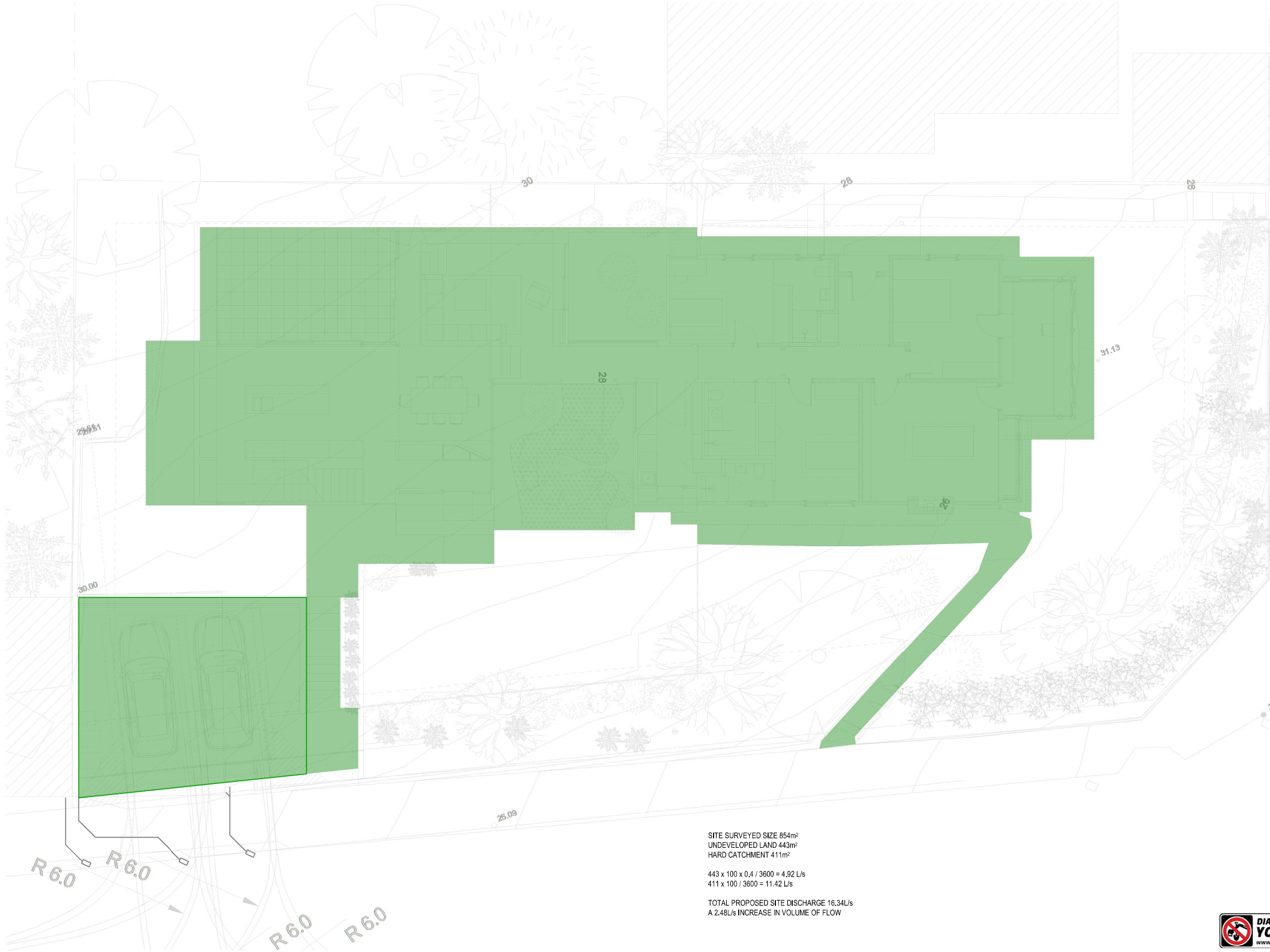


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www.aldanmark.com.au

| | |
|----------|---|
| CLIENT: | MARK & ANGELA NEO |
| ADDRESS: | 110 REGENT STREET SANDY BAY TAS 7005 |

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|----------|--------------------------------------|
| SHEET: | PRE DEVELOPMENT STORMWATER CATCHMENT |
| PROJECT: | ALTERATIONS AND ADDITIONS |
| ISSUE: | DEVELOPMENT APPROVAL |

| | | | | | | | |
|-------------|---------|-----------|----------|-----------|---------|---------------|------------|
| DRAWN: | Author | DESIGNED: | Designer | VERIFIED: | Checker | DATE: | 04/03/2022 |
| SCALE: | 1 : 100 | | | SIZE: | A2 | TOTAL SHEETS: | 9 |
| PROJECT No: | 21E68-8 | | | SHEET No. | H1.01 | REV No. | 1 |



SITE PLAN POST DEVELOPMENT

1 : 100

SITE SURVEYED SIZE 854m²
UNDEVELOPED LAND 443m²
HARD CATCHMENT 411m²

443 x 100 x 0.4 / 3600 = 4.92 L/s
411 x 100 / 3600 = 11.42 L/s

TOTAL PROPOSED SITE DISCHARGE 16.34L/s
A 2.48L/s INCREASE IN VOLUME OF FLOW



BEWARE OF UNDERGROUND SERVICES
THE LOCATION OF UNDER GROUND SERVICES ARE
APPROXIMATE ONLY AND THEIR EXACT LOCATION SHOULD BE
PROVEN ON SITE BY THE RELEVANT AUTHORITIES. NO
GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN

DRAINAGE SCHEDULE

| | |
|--------|---|
| —S— | SEWER LINE DN100 SN6 DWV AT MIN. 1.65% U.N.O. |
| —EXS— | SEWER LINE - EXISTING |
| —SW— | STORMWATER LINE DN100 SN6 DWV AT MIN. 1.0% U.N.O. |
| —EXSW— | STORMWATER LINE - EXISTING |
| —RW— | RAINWATER CHARGED LINE (DN100 DWV SN6) |
| —EXRW— | RAINWATER CHARGED LINE - EXISTING |
| —TW— | TRADE WASTE DN100 HDPE AT MIN 1.65% U.N.O |
| —EXTW— | TRADE WASTE - EXISTING |
| —>>>>— | AG DRAIN (DN90 SLOTTED PVC) U.N.O |
| —>>>>— | AG DRAIN - EXISTING |
| ⌵ | AIR ADMITTANCE VALVE |
| ● | DN100 SEWER STACK/DROPPER |
| ● | SEWER FIXTURE |
| ● | (DN90) STORMWATER DOWNPIPE U.N.O |
| ● | VENT (DN50) U.N.O |
| ⌵ | TUNDISH |
| BTH | BATH (DN40) |
| B | BASIN (DN40) |
| FWG | FLOOR WASTE GULLY (DN50-DN100) |
| IO | INSPECTION OPENING |
| ORG | OVERFLOW RELIEF GULLY (DN100) |
| SHR | SHOWER (DN50) |
| S | SINK (DN50) |
| SL | SLOP HOPPER (DN50) |
| TR | TROUGH (DN50) |
| WC | WATER CLOSET (DN100) |

WATER SERVICES SCHEDULE

| | |
|-------|--|
| —W— | COLD WATER DN25 (ID) PE-X SDR11 U.N.O |
| —FS— | FIRE SERVICE DN100 GLAV ROLL GROOVE U.N.O |
| —THW— | TEMPERED HOT WATER (NOMINAL SIZE) PE-X SDR-11 U.N.O |
| —HWF— | HOT WATER FEED DN25 (ID) PE-X SDR 11 U.N.O |
| —HWR— | HOT WATER RETURN DN20 (ID) PE-X SDR 11 U.N.O |
| ● | COLD WATER RISER (PE-X SDR11 U.N.O) |
| ● | HOT WATER RISER (PE-X SDR11 U.N.O) |
| ⌵ | TEMPERING VALVE RMC Heat Guard (MX 20) (50 deg) or approved eq. |
| ⌵ | HW BALANCING VALVE - Aquastrom VT or approved eq. |
| ⌵ | STOP VALVE (NOMINAL SIZE BALL VALVE) |
| ⌵ | THERMOSTATIC MIXING VALVE Caleffi 5213 TM(45deg) or approved eq. |
| ⌵ | WATER METER |

| | |
|-----|---------------------------------------|
| BTH | BATH |
| SHR | SHOWER |
| S | SINK |
| TR | TROUGH |
| UR | URINAL |
| WC | WATER CLOSET |
| T | DN15 (ID) HOSE BIBCOCK TO BE PROVIDED |

INSULATION SCHEDULE

HEATED WATER PIPES
TYPE - SIZE RANGE - INSULATION
CIRCULATING LINE 25mm ROCKWOOL WITH FOIL WRAP
BRANCH LINE 20-25 19mm FR BRADFLEX
OFFTAKE 18 13mm FR BRADFLEX

COLD WATER PIPES EXPOSED
TYPE - SIZE RANGE - INSULATION
ALL >20 19mm ZERO-4
OTHER COLD WATER PIPES
TYPE - SIZE RANGE - INSULATION
ALL NOT REQUIRED

NOTE:WATER PIPES ASSOCIATED DIRECTLY WITH PLANT EQUIPMENT SHALL
BE INSULATED IN ACCORDANCE WITH THE MANUFACTURERS
RECOMMENDATIONS FOR A TYPICAL INSTALLATION

HOT AND COLD WATER NOMINAL DIAMETERS

BRANCH OFF TAKES MIN. DN20
MAX OFF TAKE LENGTH 6m DN18
MAX OFF TAKE LENGTH 3m DN15
MAX OFF TAKE LENGTH 1m DN10

COPPER PIPES TO AS1432 (HOT AND COLD)
PE-X PIPES TO AS2492 (HOT AND COLD)
HDPE PIPES TO AS/NZS4130 (COLD ONLY)

ALL PIPEWORK SIZING SHOWN ON PLAN TO BE INTERNAL
DIAMETER UNLESS OTHERWISE SPECIFIED.

INSTALL INSPECTION OPENINGS AT ALL MAJOR
BENDS FOR STORMWATER AND ALL LOW
POINTS OF DOWNPIPES

ALL PLUMBING AND DRAINAGE TO BE IN ACCORDANCE WITH COUNCIL
REQUIREMENTS
ALL LOCATION OF EXISTING PIPES AND INVERTS TO BE DETERMINED
BEFORE PERFORMING WORKS ON SITE
PAVED AND CONCRETE AREAS TO FALL TOWARDS PITS AT MIN 1%

DRAINAGE MUST COMPLY WITH:
NCC 2019 VOL 3 (PCA), AS/NZS 3500, BCA VOLUME 2 PARTS 3.1.2 AND
3.5.2 (DEEMED TO SATISFY PROVISIONS)

SWIVEL AND EXPANSION JOINTS TO BE USED WHEN
INSTALLING DRAINS IN HIGH REACTIVE SOILS.

| | | | |
|-------------|-----------|-----------|------------|
| DRAWN: | DESIGNED: | VERIFIED: | DATE: |
| Author | Designer | Checker | 04/03/2022 |
| SCALE: | 1 : 100 | SIZE: | A2 |
| PROJECT No: | 21E68-8 | SHEET No: | H1.02 |
| | | REV No: | 1 |



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CLIENT:
MARK & ANGELA NEO

ADDRESS:
110 REGENT STREET
SANDY BAY TAS 7005

SHEET:
POST DEVELOPMENT STORMWATER CATCHMENT

PROJECT:
ALTERATIONS AND ADDITIONS

ISSUE:
DEVELOPMENT APPROVAL

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| 1 | BUILDING APPROVAL | 04/03/2022 |
| 0 | BUILDING APPROVAL | 06/09/2021 |
| REV. | DESCRIPTION | DATE |

DRAINAGE PLAN - GROUND FLOOR

1 : 100

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|------|-------------------|------------|
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| 1 | BUILDING APPROVAL | 04/03/2022 |
| 0 | BUILDING APPROVAL | 06/09/2021 |
| REV. | DESCRIPTION | DATE |



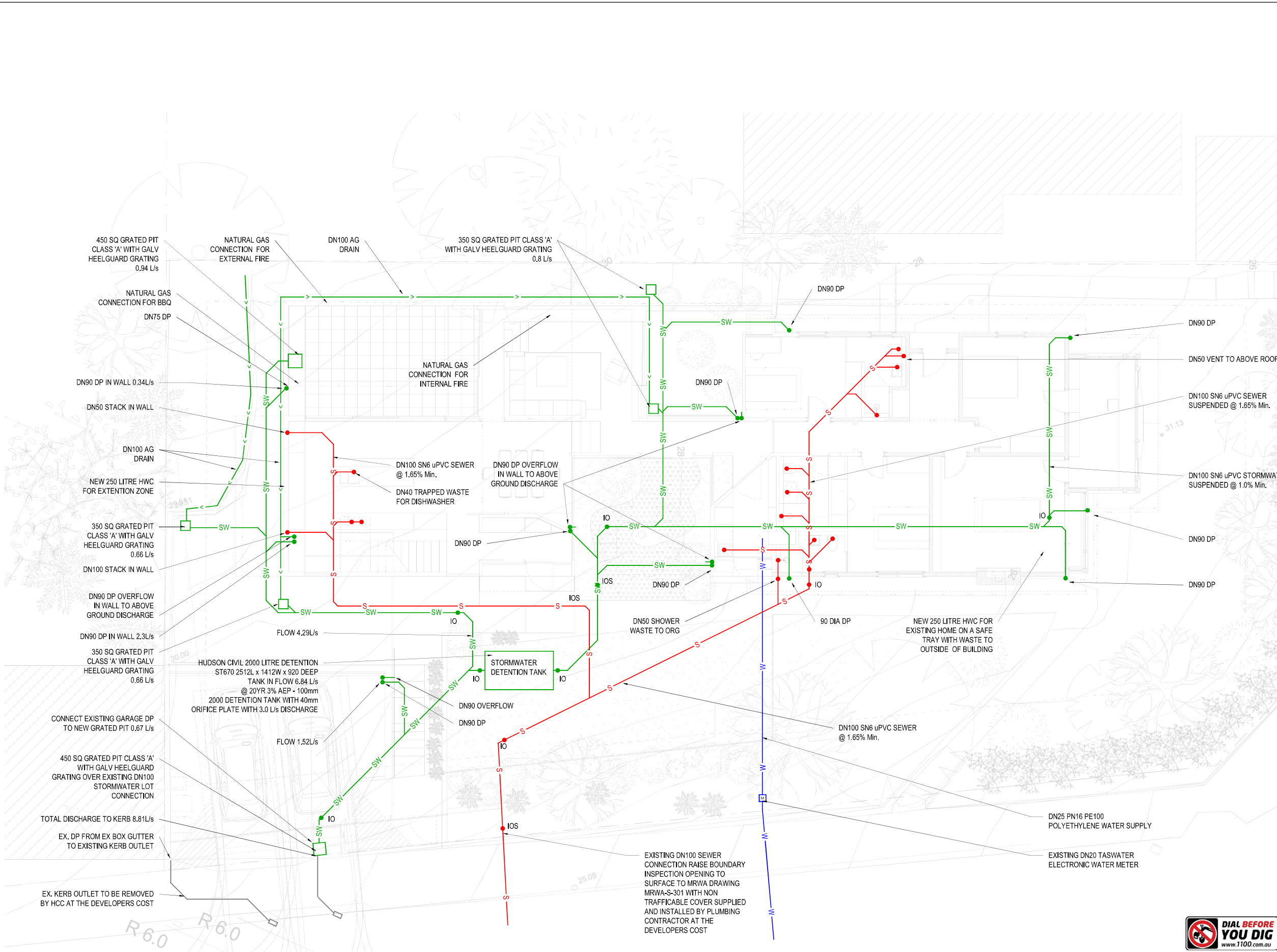
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|----------|---|
| CLIENT: | MARK & ANGELA NEO |
| ADDRESS: | 110 REGENT STREET SANDY BAY TAS 7005 |

| | |
|----------|---|
| SHEET: | DRAINAGE & WATER SERVICES PLAN - GROUND FLOOR |
| PROJECT: | ALTERATIONS AND ADDITIONS |
| ISSUE: | DEVELOPMENT APPROVAL |

| | | | | | | | |
|-------------|---------|-----------|----|-----------|-------|---------------|------------|
| DRAWN: | SL | DESIGNED: | SL | VERIFIED: | TW | DATE: | 04/03/2022 |
| SCALE: | 1 : 100 | | | SIZE: | A2 | TOTAL SHEETS: | 9 |
| PROJECT No: | 21E68-8 | | | SHEET No. | H2.01 | REV No. | 1 |



| DRAINAGE SCHEDULE | |
|---|--|
| —S— | SEWER LINE DN100 SN6 DWV AT MIN. 1.65% U.N.O. |
| —EXS— | SEWER LINE - EXISTING |
| —SW— | STORMWATER LINE DN100 SN6 DWV AT MIN. 1.0% U.N.O. |
| —EXSW— | STORMWATER LINE - EXISTING |
| —RW— | RAINWATER CHARGED LINE (DN100 DWV SN6) |
| —EXRW— | RAINWATER CHARGED LINE - EXISTING |
| —TW— | TRADE WASTE DN100 HDPE AT MIN 1.65% U.N.O |
| —EXTW— | TRADE WASTE - EXISTING |
| —>>>>— | AG DRAIN (DN90 SLOTTED PVC) U.N.O |
| —>>>>— | AG DRAIN - EXISTING |
| ⌵ | AIR ADMITTANCE VALVE |
| ● | DN100 SEWER STACK/DROPPER |
| ● | SEWER FIXTURE |
| ● | (DN90) STORMWATER DOWNPIPE U.N.O |
| ● | VENT (DN50) U.N.O |
| ⌵ | TUNDISH |
| BTH | BATH (DN40) |
| B | BASIN (DN40) |
| FWG | FLOOR WASTE GULLY (DN50-DN100) |
| IO | INSPECTION OPENING |
| ORG | OVERFLOW RELIEF GULLY (DN100) |
| SHR | SHOWER (DN50) |
| S | SINK (DN50) |
| SL | SLOP HOPPER (DN50) |
| TR | TROUGH (DN50) |
| WC | WATER CLOSET (DN100) |
| WATER SERVICES SCHEDULE | |
| —W— | COLD WATER DN25 (ID) PE-X SDR11 U.N.O |
| —FS— | FIRE SERVICE DN100 GLAV ROLL GROOVE U.N.O |
| —THW— | TEMPERED HOT WATER (NOMINAL SIZE) PE-X SDR-11 U.N.O |
| —HWF— | HOT WATER FEED DN25 (ID) PE-X SDR 11 U.N.O |
| —HWR— | HOT WATER RETURN DN20 (ID) PE-X SDR 11 U.N.O |
| ● | COLD WATER RISER (PE-X SDR11 U.N.O) |
| ● | HOT WATER RISER (PE-X SDR11 U.N.O) |
| ⌵ | TEMPERING VALVE RMC Heat Guard (MX 20) (50 deg) or approved eq. |
| ⌵ | HW BALANCING VALVE - Aquastrom VT or approved eq. |
| ⌵ | STOP VALVE (NOMINAL SIZE BALL VALVE) |
| ⌵ | THERMOSTATIC MIXING VALVE Caleffi 5213 TM(45deg) or approved eq. |
| ⌵ | WATER METER |
| BTH | BATH |
| SHR | SHOWER |
| S | SINK |
| TR | TROUGH |
| UR | URINAL |
| WC | WATER CLOSET |
| T | DN15 (ID) HOSE BIBCOCK TO BE PROVIDED |
| INSULATION SCHEDULE | |
| HEATED WATER PIPES | |
| TYPE - SIZE RANGE - INSULATION | |
| CIRCULATING LINE 25mm ROCKWOOL WITH FOIL WRAP | |
| BRANCH LINE 20-25 19mm FR BRADFLEX | |
| OFFTAKE 18 13mm FR BRADFLEX | |
| COLD WATER PIPES EXPOSED | |
| TYPE - SIZE RANGE - INSULATION | |
| ALL >20 19mm ZERO-4 | |
| OTHER COLD WATER PIPES | |
| TYPE - SIZE RANGE - INSULATION | |
| ALL NOT REQUIRED | |
| NOTE: WATER PIPES ASSOCIATED DIRECTLY WITH PLANT EQUIPMENT SHALL BE INSULATED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS FOR A TYPICAL INSTALLATION | |
| HOT AND COLD WATER NOMINAL DIAMETERS | |
| BRANCH OFF TAKES MIN. DN20 | |
| MAX OFF TAKE LENGTH 6m DN18 | |
| MAX OFF TAKE LENGTH 3m DN15 | |
| MAX OFF TAKE LENGTH 1m DN10 | |
| COPPER PIPES TO AS1432 (HOT AND COLD) | |
| PE-X PIPES TO AS2492 (HOT AND COLD) | |
| HDPE PIPES TO AS/NZS4130 (COLD ONLY) | |
| ALL PIPEWORK SIZING SHOWN ON PLAN TO BE INTERNAL DIAMETER UNLESS OTHERWISE SPECIFIED. | |
| INSTALL INSPECTION OPENINGS AT ALL MAJOR BENDS FOR STORMWATER AND ALL LOW POINTS OF DOWNPIPES | |
| ALL PLUMBING AND DRAINAGE TO BE IN ACCORDANCE WITH COUNCIL REQUIREMENTS | |
| ALL LOCATION OF EXISTING PIPES AND INVERTS TO BE DETERMINED BEFORE PERFORMING WORKS ON SITE | |
| PAVED AND CONCRETE AREAS TO FALL TOWARDS PITS AT MIN 1% | |
| DRAINAGE MUST COMPLY WITH: NCC 2019 VOL 3 (PCA), AS/NZS 3500, BCA VOLUME 2 PARTS 3.1.2 AND 3.5.2 (DEEMED TO SATISFY PROVISIONS) | |
| SWIVEL AND EXPANSION JOINTS TO BE USED WHEN INSTALLING DRAINS IN HIGH REACTIVE SOILS. | |

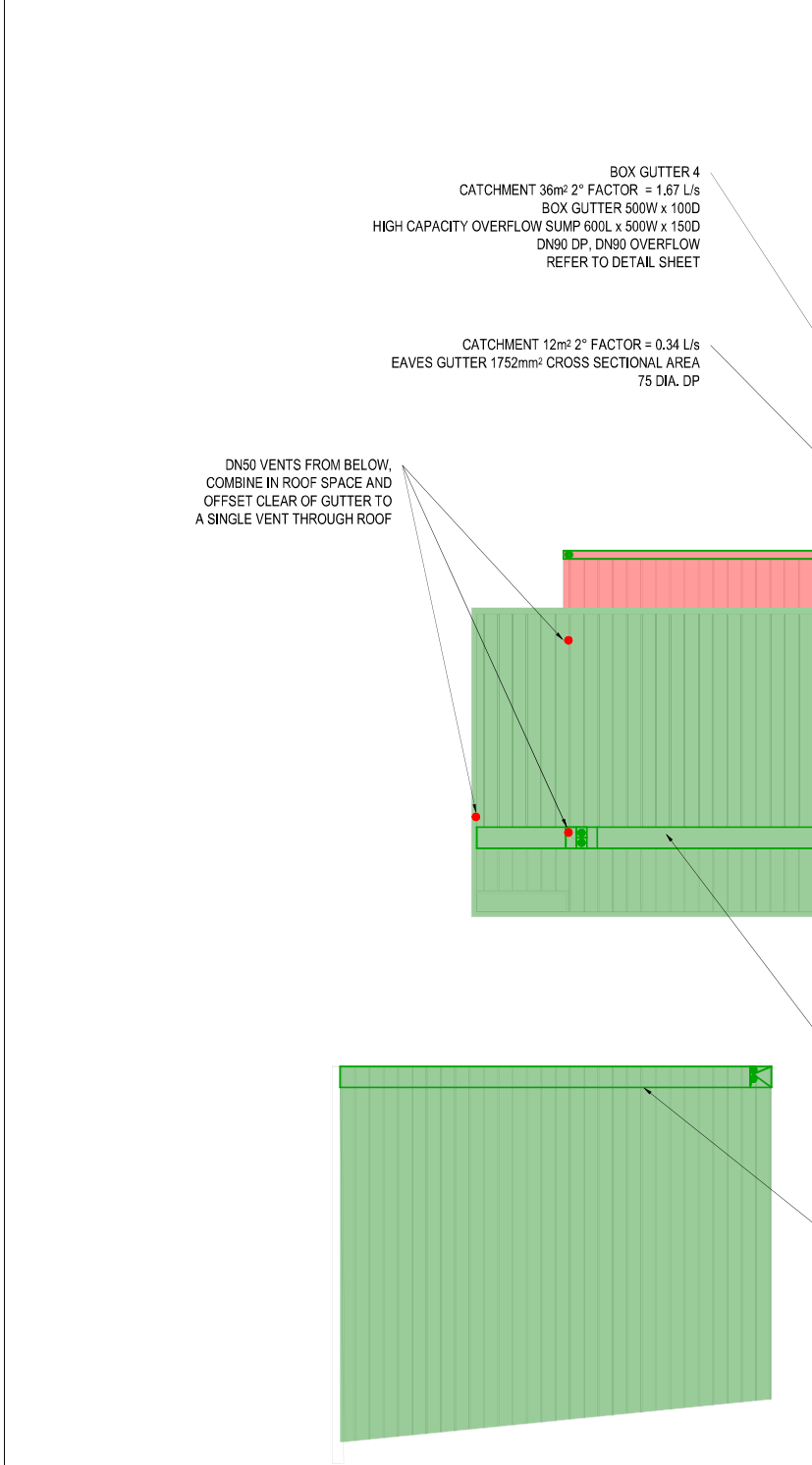


BEWARE OF UNDERGROUND SERVICES
THE LOCATION OF UNDER GROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT LOCATION SHOULD BE PROVEN ON SITE BY THE RELEVANT AUTHORITIES. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN



ALDANMARK
CONSULTING ENGINEERS

| | | | |
|------------------------|-----------------|--------------------|---------------------|
| DRAWN: SL | DESIGNED: SL | VERIFIED: TW | DATE: 04/03/2022 |
| SCALE: 1 : 100 | | SIZE: A2 | TOTAL SHEETS: 9 |
| PROJECT No. 21E68-8 | | SHEET No. H2.02 | REV No. 1 |



DRAINAGE PLAN - ROOF

1 : 100

| | | |
|------|-------------------|------------|
| | | |
| | | |
| 1 | BUILDING APPROVAL | 04/03/2022 |
| 0 | BUILDING APPROVAL | 06/09/2021 |
| REV. | DESCRIPTION | DATE |



Lower Ground
199 Macquarie Street
Hobart TAS 7000
03 6234 8666
mail@aldanmark.com.au
www.aldanmark.com.au

| | |
|----------|---|
| CLIENT: | MARK & ANGELA NEO |
| ADDRESS: | 110 REGENT STREET SANDY BAY TAS 7005 |

| | |
|----------|---------------------------|
| SHEET: | ROOF DRAINAGE PLAN |
| PROJECT: | ALTERATIONS AND ADDITIONS |
| ISSUE: | DEVELOPMENT APPROVAL |

| | | | | | | | |
|-------------|---------|-----------|----|-----------|-------|---------------|------------|
| DRAWN: | SL | DESIGNED: | SL | VERIFIED: | TW | DATE: | 04/03/2022 |
| SCALE: | 1 : 100 | | | SIZE: | A2 | TOTAL SHEETS: | 9 |
| PROJECT No. | 21E68-8 | | | SHEET No. | H3.01 | REV No. | 1 |

DRAINAGE SCHEDULE

| | |
|----|---|
| ● | STORMWATER DOWNPIPE (DN90) U.N.O |
| ● | VENT (DN50) U.N.O |
| EG | EAVES GUTTER (MIN CROSS SECTIONAL AREA TO BE MIN 3000mm2 1:500 FALL |
| BG | BOX GUTTER (MIN 100D x 300W) 1:200 FALL |

ROOF DRAINAGE:

| | |
|------|---|
| BG1 | 450w x MIN. 110d BOX GUTTER 0.75BMT, 1:200 FALL TO SUMP |
| SMP1 | 450w x 450l x 100d FOLDED METAL SUMP, OVERFLOW 350w x 75d, DN100 DP |
| SMP2 | 450w x 450l x 300d FOLDED METAL SUMP, OVERFLOW 350w x 75d, DN100 DP |

ROOF NOTES:

ALL PLUMBING SHALL BE IN ACCORDANCE WITH THE NCC 2019, AS3500 AND TO LOCAL AUTHORITY APPROVAL.

HYDRAULIC LAYOUT TO BE COORDINATED WITH OTHER SERVICES. HYDRAULIC LAYOUT AS SHOWN IS NOTIONAL, LAYOUT TO BE CONFIRMED ON SITE.

BOX GUTTERS SHALL BE GRADED AT NOT LESS THAN 1:200, EAVES GUTTERS SHALL BE GRADED AT NOT LESS THAN 1:500.

GUTTERS SHALL BE LAPPED IN ACCORDANCE WITH AS3500.3.

BOX GUTTERS SHALL FOLDED STEEL WITH BMT 0.75mm AND A SUITABLE CORROSION PROTECTION IN ACCORDANCE WITH AS2179 FOR RAINWATER PRODUCTS.

EXPANSION JOINTS SHALL BE PROVIDED AT 20m SPACING FOR FOLDED STEEL BOX GUTTERS. PROVIDE A MASTERFLASH 'AZTEC' FLEXIBLE FLASHING ACROSS JOINT OR EQUIVALENT PRODUCT.

IMPORTANT NOTE: WHERE DOWNPIPES ARE CONNECTING TO SUMPS INSIDE BUILDINGS AUSSIE CONNECTORS OR EQUIVALENT MUST BE USED TO PREVENT LEAKS OR EGRESS OF WATER TO INSIDE OF BUILDINGS.

INSTALL INSPECTION OPENINGS AT ALL MAJOR BENDS FOR STORMWATER AND ALL LOW POINTS OF DOWNPIPES

ALL PLUMBING AND DRAINAGE TO BE IN ACCORDANCE WITH COUNCIL REQUIREMENTS

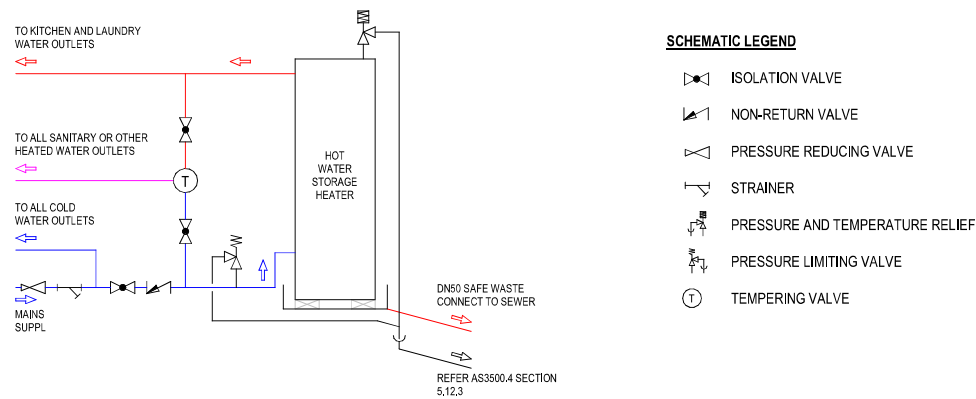
ALL LOCATION OF EXISTING PIPES AND INVERTS TO BE DETERMINED BEFORE PERFORMING WORKS ON SITE

PAVED AND CONCRETE AREAS TO FALL TOWARDS PITS AT MIN 1%

DRAINAGE MUST COMPLY WITH:
-PLUMBING CODE OF AUSTRALIA PART D1
-AS/NZS 3500
-BCA VOLUME 2 PARTS 3.1,2 AND 3.5.2 (DEEMED TO SATISFY PROVISIONS)

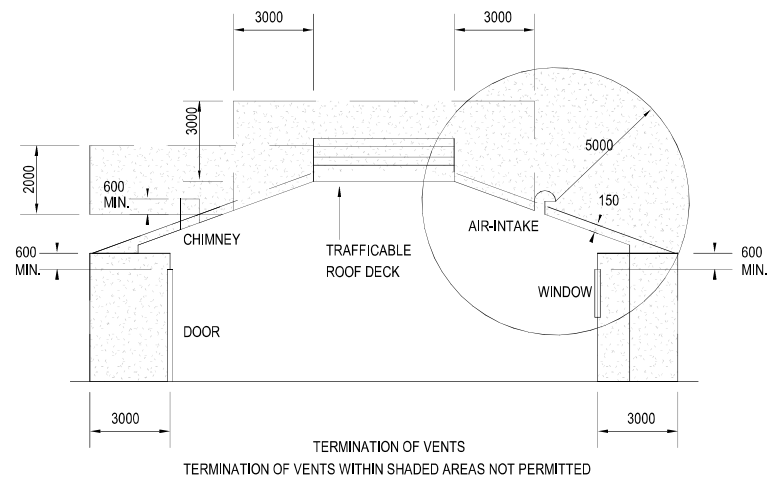


BEWARE OF UNDERGROUND SERVICES
THE LOCATION OF UNDER GROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT LOCATION SHOULD BE PROVEN ON SITE BY THE RELEVANT AUTHORITIES. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN



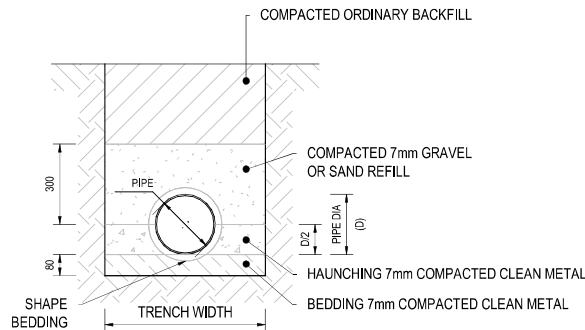
TYPICAL INSTALLATION OF MAINS PRESSURE STORAGE WATER HEATER

1 : 20



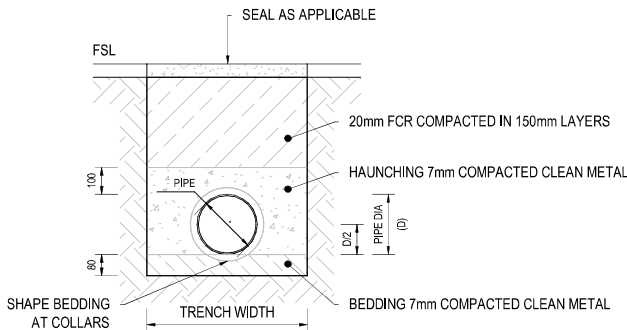
TERMINATION OF VENTS

1 : 100



NON-TRAFFICABLE AREAS

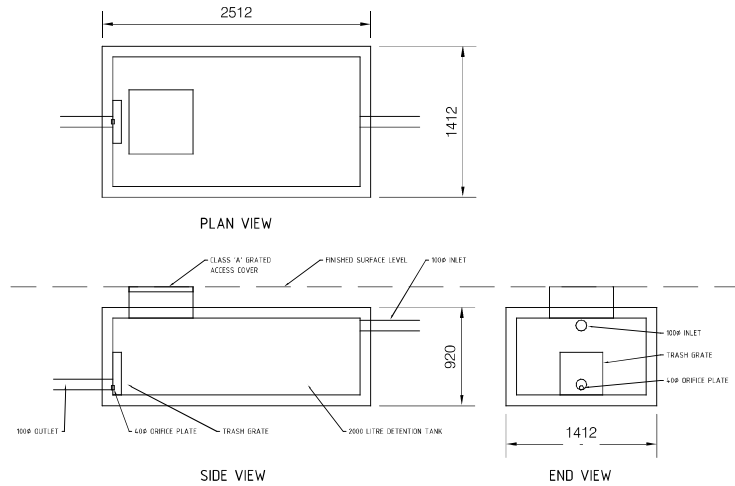
| TRENCH WIDTHS | |
|----------------|------------------|
| PIPE DIAMETER | MIN TRENCH WIDTH |
| LESS THAN 50mm | 250 |
| 75 - 100mm | 450 |
| 150 - 300mm | 600 |
| ABOVE 300mm | DIA. PLUS 300mm |



TRAFFICABLE AREAS

TYPICAL PIPE TRENCH DETAILS

1 : 20



DETENTION TANK DETAIL

1 : 50

| | |
|-------|---|
| 3 | Bottom area of tank or container (m^2) |
| .8 | H - height between surface and aperture (m) |
| 0.001 | A - aperture area (m^2) |
| 0.6 | C_d - discharge coefficient |
| 10 | no. of "slices" or segments (for the iterative calculation) |

| Segment | Average Height between Segment and Aperture (m) | Average Flow (m^3/s) | Volume in Segment (m^3) | Time to Drain Segment (s) |
|---------|---|--------------------------|-----------------------------|---------------------------|
| 0 | 0.76 | 0.00232 | 0.24 | 104 |
| 1 | 0.68 | 0.00219 | 0.24 | 110 |
| 2 | 0.6 | 0.00206 | 0.24 | 117 |
| 3 | 0.52 | 0.00192 | 0.24 | 125 |
| 4 | 0.44 | 0.00176 | 0.24 | 136 |
| 5 | 0.36 | 0.00159 | 0.24 | 151 |
| 6 | 0.28 | 0.00141 | 0.24 | 171 |
| 7 | 0.2 | 0.00119 | 0.24 | 202 |
| 8 | 0.12 | 0.000921 | 0.24 | 261 |
| 9 | 0.04 | 0.000532 | 0.24 | 452 |
| SUM | | | 2.4 | 1826 |

STORMWATER DETENTION TANK DRAINAGE

ORIFICE SIZING SCHEDULE

Project Name: 110 regent Street, Sandy Bay

Project No.: 21E68-8

Engineer: Stuart Iamond

Date: 9/07/2021

Revision: A

| CATHMENT AREA | BASIN No | LOCATION | AREA | REQUIRED OSD | PSD | OUTLET TYPE | OUTLET DIAMETER | DISCHARGE COEFFICIENT | HEAD OF WATER | OUTLET X-SECTIONAL AREA |
|---------------|----------|----------|----------------|--------------------|------------------------|-------------|-----------------|-----------------------|---------------|-------------------------|
| | | | m ² | (1) m ³ | (2) m ³ / s | | mm | C | (3) m | m ² |
| | 1 | | 246 | 2.0 | 0.0030 | Orifice | 40 | 0.60 | 0.80 | 0.001 |

=(L17^4/3.142)^0.5*1000

=G17/(J17*(2*9.81*K17)^0.5)

(1) On Site Detention volume calculated from AEP20 yr 5 Minute Duration Rainfall of 100mm

(2) Permissible Site Discharge calculated from Hobart City Council development criteria

(3) Head of Water calculated to invert of pipe outlet

| REV. | DESCRIPTION | DATE |
|------|-------------------|------------|
| 1 | BUILDING APPROVAL | 04/03/2022 |
| 0 | BUILDING APPROVAL | 06/09/2021 |



Lower Ground
199 Macquarie Street
Hobart TAS 7000
03 5234 8666
mail@aldanmark.com.au
www.aldanmark.com.au

CLIENT:
MARK & ANGELA NEO

ADDRESS:
110 REGENT STREET
SANDY BAY TAS 7005

SHEET:
DETAIL SHEET

PROJECT:
ALTERATIONS AND ADDITIONS

ISSUE:
DEVELOPMENT APPROVAL

DRAWN: SL
DESIGNED: SL
VERIFIED: TW
DATE: 04/03/2022

SCALE: As indicated
SIZE: A2
TOTAL SHEETS: 9

PROJECT No: 21E68-8
SHEET No: H4.01
REV No: 1



Attn: Ben Ikin
Acting senior statutory planner city planning

May 17st, 2022

Reference: PLN-21-881 Request of information

Dear Ben,

I am writing this letter in response to the City of Hobarts request for additional information dated 14th April 2022 regarding the adjacent road reserve partial demolition, carport, front fencing and work in road reserve application at 110 Regent Street, Sandy Bay.

In response to the items raised within the request for additional information, please see below:

1. See attached drawing A05-03 Rev E for response to items PA5.1. Section 1 with B85 vehicle ground clearance template appendix C of AS/NZS 2890.1:2004 demonstrates it has sufficient ground clearance and will not scrape at any point when accessing the garage.
2. The information provided for items SW1 & SW6 has been confirmed by the council to be adequate
3. We note the footpath is existing hence no proposed cross fall is shown.

I trust that the information contained within this letter and the attached documents answer your queries however please do not hesitate to call me should you have any questions or concerns.

Yours Sincerely

Daniel Lane
Director

| Stormwater and On Site Detention Maintenance Schedule | | | |
|--|-------------|------------------------|--|
| 110 Regent Street, Sandy Bay | | | |
| Maintenance Action | Frequency | Responsibility | Procedure |
| Detention Tank | | | |
| Inspect and remove any blockage of orifice | Six Monthly | Property Owner | Remove grate and screen to inspect orifice. See attached Site Stormwater plan for location of Detention Tank. |
| Check attachment of orifice plate to wall of pit (ensure no gaps exist) | Annually | Maintenance Contractor | Remove grate and screen. Ensure orifice plate is mounted securely, tighten fixings if required and seal any gaps which are present. |
| Check orifice diameter correct and retains sharp edge. | Five Yearly | Maintenance Contractor | Compare orifice diameter to approved design (see Works as Executed Drawing) and ensure edge of orifice is not pitted or damaged. |
| Inspect trash screens and clean | Six Monthly | Property Owner | Remove grate and screen if required to clean it. |
| Check attachment of screen to wall of pit | Annually | Maintenance Contractor | Remove grate and screen. Ensure screen fixings secure. Repair as required. |
| Check trash screen for corrosion | Annually | Maintenance Contractor | Remove grate and examine screen for rust or corrosion, especially at corners or welds. |
| Inspect overflow and remove any blockage | Six Monthly | Maintenance Contractor | Remove grate and open cover to ventilate underground storage if present. Ensure overflow is clear of blockages. |
| Inspect outlet pipe and remove any blockage | Six Monthly | Maintenance Contractor | Remove grate and screen. Ventilate underground storage. Check orifice and remove any blockages in outlet pipe. Flush outlet pipe to confirm it drains freely. Check for sludge/debris on upstream side of return line. |
| Inspect and remove any debris/litter/mulch etc blocking grates of return pit | Six Monthly | Owner | Remove blockages from grate and check if pit blocked. |

| Stormwater and On Site Detention Maintenance Schedule 110 Regent Street, Sandy Bay | | | |
|---|-------------|------------------------|--|
| Inspect storage areas and remove debris/litter/mulch etc likely to block screens/grates | Six Monthly | Owner | Remove debris and floatable material, ie pine bark mulch, likely to be carried to grates. |
| Compare storage volume to volume approved. (Rectify if loss of volume greater than 5%) | Five Yearly | Maintenance Contractor | Compare actual storage available with work as executed plans. If volume loss is greater than 5%, arrange for necessary works to be undertaken to replace lost storage volume. Contact Engineering consultant if necessary. Council to be notified of proposed works. |
| Inspect storages for subsidence near pits | Annually | Maintenance Contractor | Check along drainage lines and at pits for subsidence likely to indicate leakages |
| Inspect OSD Warning Signage | Annually | Maintenance Contractor | Check OSD Warning signage and ensure that it is fixed securely to wall, not faded, deteriorated or missing and is clearly visible. Replace as necessary or reposition to a clearly visible location if vegetation growth has obscured. |
| General | | | |
| Inspect gutters of building and remove any debris/sludge | Annually | Maintenance Contractor | Remove any leaves or debris and sludge from gutters of building and flush downpipes of building to remove any blockages. Pits downstream of downpipes to be cleaned of flushed debris. |
| Inspect pits and trench drains on site and remove debris/litter/sludge | Six Monthly | Maintenance Contractor | Remove grate. Remove any debris/litter/sludge from within pits. |



Attn: Liz Wilson
Acting senior statutory planner city planning

April 1st, 2022

Reference: PLN-21-881

Dear Liz,

I am writing this letter in response to the City of Hobarts request for additional information dated 11th January 2022 regarding the adjacent road reserve partial demolition, carport, front fencing and work in road reserve application at 110 Regent Street, Sandy Bay.

Please note the western elevation of the garage is not provided since no part of the carport exceeds the height of the existing boundary wall. On each section within drawing A05-03 the height of the existing boundary wall is marked to demonstrate that no part exceeds the height of the existing boundary wall.

In response to the items raised within the request for additional information, please see below:

1. See attached drawing A05-03 Rev C for response to items PA5.1
2. See attached email from Glenn King (Operation manager at B&D door) dated 11th February 2022 addressing item ENGr Fi 2, tiltadoor projection during the pivot operation will be within 1000mm of the boundary. This email confirms tiltadoor does not encroach over the Regent Street road reservation in any position.
3. See attached items listed below from Aldanmark Engineering -
 - Hydraulic services drawings dated 4th March 2022
 - Stormwater and on site detention maintenance schedule
 - Email from Stuart Lamond of Aldanmark Engineering addressing item Sw1 & Sw6 dated 25th March 2022
 - Form 35 dated 25th March 2022

I trust that the information contained within this letter and the attached documents answers your queries however please do not hesitate to call me should you have any questions or concerns.

Yours Sincerely

Daniel Lane
Director

From: [Glenn](#)
To: [Amber Kim](#)
Subject: RE: (20102) Neo Extension _ Carport Tiltador
Date: Friday, 11 February 2022 10:41:57 AM
Attachments: [image002.png](#)
[image003.png](#)
[image004.png](#)

Amber

According to B&D the door will come out between 750-988mm during the pivot operations

Regards

Glenn King

Operations Manager



Phone: (03) 6229 1650

Email: sales@tommooretas.com.au

Web: www.tommooretas.com.au





Enquiries to: City Planning
Phone: (03) 6238 2711
Email: coh@hobartcity.com.au

22 December 2021

Mark Neo
110 Regent Street
SANDY BAY TAS 7005

mailto: mark.neo@interflour.com

Dear Sir/Madam

**110 REGENT STREET, SANDY BAY & ADJACENT ROAD RESERVE
WORKS IN ROAD RESERVE NOTICE OF LAND OWNER CONSENT TO LODGE A
PLANNING APPLICATION - GMC-21-88**

Site Address:

110 Regent Street, Sandy Bay

Description of Proposal:

Works in Road Reserve

Applicant Name:

Mark Neo

PLN (if applicable):

n/a

I write to advise that pursuant to Section 52 of the *Land Use Planning and Approvals Act 1993*, I grant my consent on behalf of the Hobart City Council as the owner/administrator of the above land for you to make application to the City for a planning permit for the development described above and as per the attached documents. I granted consent pursuant to delegation, a copy of which is enclosed.


Please note that the granting of the consent is only for the making of the application and in no way should such consent be seen as prejudicing any decision the Council is required to make as the statutory planning authority.

Hobart Town Hall
50 Macquarie Street
Hobart TAS 7000

Hobart Council Centre
16 Elizabeth Street
Hobart TAS 7000

City of Hobart
GPO Box 503
Hobart TAS 7001

T 03 6238 2711
F 03 6234 7109
E coh@hobartcity.com.au
W hobartcity.com.au

 CityofHobartOfficial
ABN 39 055 343 428
Hobart City Council

This consent does not constitute an approval to undertake any works and does not authorise the owner, developer or their agents any right to enter or conduct works on any Council managed land whether subject to this consent or not.

If planning approval is granted by the planning authority, you will be required to seek approvals and permits from the City as both landlord, land manager, or under other statutory powers (such as other legislation or City By-Laws) that are not granted with the issue of a planning permit under a planning scheme. This includes the requirement for you to reapply for a permit to occupy a public space under the City's Public Spaces By-law if the proposal relates to such an area.

Accordingly, I encourage you to continue to engage with the City about these potential requirements.

Yours faithfully



(John Fisher)

ACTING DIRECTOR CITY AMENITY

Relevant documents/plans:

Plans by Preston Lane A01-00 Rev B, A02-00 Rev B
and A04-02 Rev B

Hobart Town Hall
50 Macquarie Street
Hobart TAS 7000

Hobart Council Centre
16 Elizabeth Street
Hobart TAS 7000

City of Hobart
GPO Box 503
Hobart TAS 7001

T 03 6238 2711
F 03 6234 7109
E coh@hobartcity.com.au
W hobartcity.com.au

 CityofHobartOfficial
ABN 39 055 343 428
Hobart City Council



City of Hobart

INSTRUMENT OF DELEGATION

General Delegation

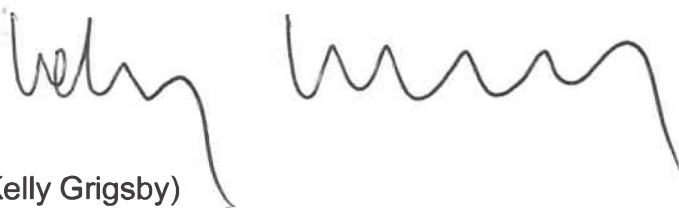
Director City Amenity

I, Kelly Grigsby, Chief Executive Officer, being the General Manager of the Hobart City Council as appointed by Council pursuant to section 61 of the *Local Government Act 1993* ("the Act") hereby delegate pursuant to Section 64 of the Act, the following powers and functions to the **Director City Amenity**, or to such persons who may be acting in that position:

1. to sign an application; and
2. to provide written permission to make an application;

pursuant to section 52(1B) of the *Land Use Planning and Approvals Act 1993*,
EXCEPT where an application is recommended for refusal.

Dated this 20 day of August 2021



(Kelly Grigsby)
CHIEF EXECUTIVE OFFICER

*Being the General Manager as appointed by the Council pursuant to Section 61 of the
Local Government Act 1993 (tas)*

1. The contractor is to inspect the site, and become conversant with the limitations and constraints for access, noise, and general safety.
2. All demolitions are to be removed from site unless noted otherwise. Strictly no burning off on site.
3. Contractor to ensure all services are appropriately capped and sealed to make way for new work.
4. Leave all surfaces clear and free of any remnants/objects ready to make way for new works.
5. Remove all carpet, underlay and associated fixings and make good floor surfaces for new floor finish, where applicable.
6. Remove all visible unused service pipes and conduits etc.
7. Existing ceilings to remain except where noted otherwise.
8. Remove existing ceiling insulation and vacuum-clean all roof spaces to make way for new bulk insulation.
9. Builder to make the building secure throughout the building works.
10. Provide temporary support to existing structure as required.



Preston
—
Lane

Hobart
5 Goulburn Street Hobart TAS 7000
T 61 3 6231 2923
ACC CC1017F

Melbourne
3 Tivoli Road South Yarra VIC 3141
T 61 3 9827 8902
info@prestonlane.com.au
prestonlane.com.au

Builder/Contractor shall verify job dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.

No part of this drawing shall be reproduced or otherwise dealt with without the prior written consent of Preston Lane.

MARK & ANGELA NEO
110 REGENT STREET
SANDY BAY

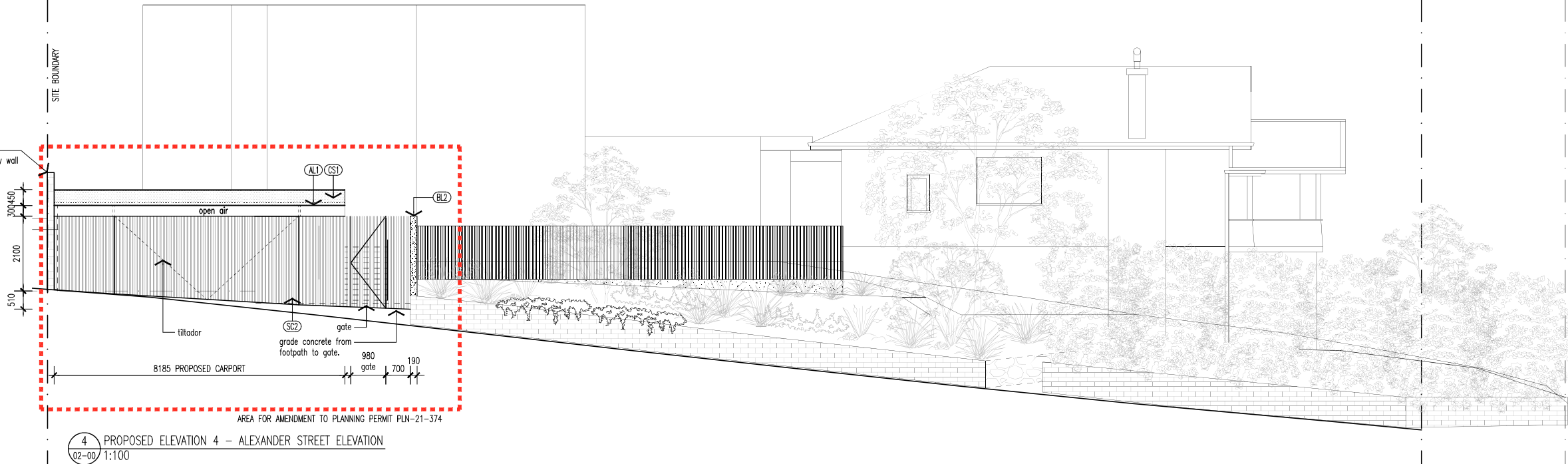
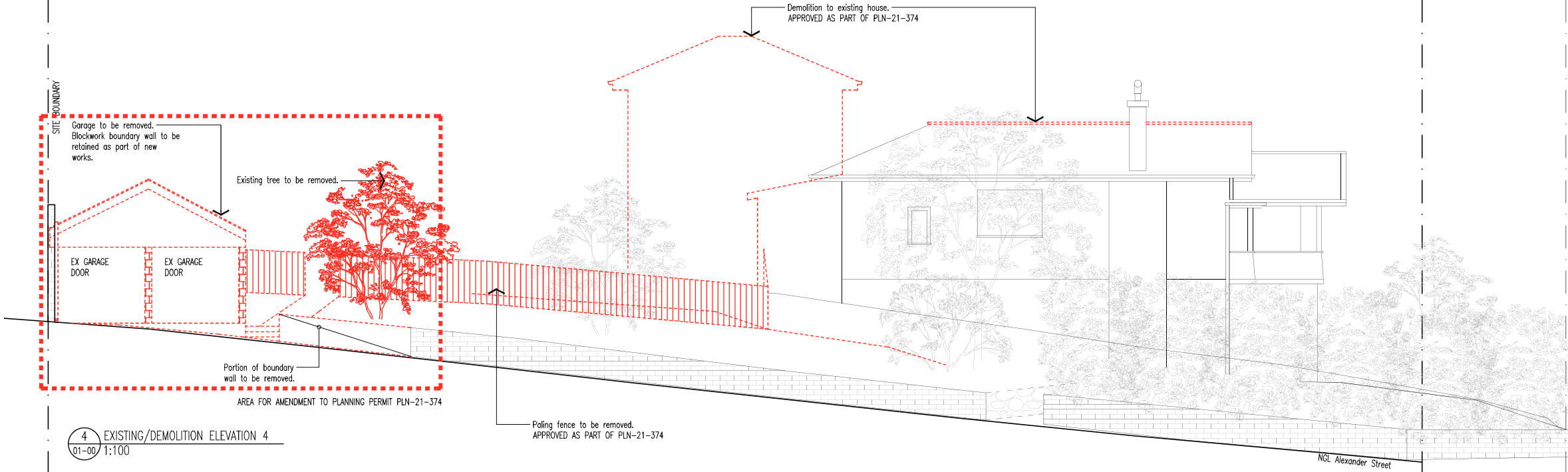
DEMOLITION PLAN
CARPORT & CROSSOVER WORKS

| | | | |
|------------|-------------------------------|----|----|
| 10/12/2021 | CARPORT Issued for HCC Review | RL | DL |
| 14/12/2021 | CARPORT Issued for GMC | RL | DL |

Subject No _____

Drawing Number _____


 Approved - General
 Manager Consent Only
 [GMC-21-88]
 22/12/2021



- EXTERNAL WALL FINISHES**
All finishes and products to be strictly installed in accordance with Manufacturers specification.
- (EXT) Existing wall cladding (stucco and shingles). Repair and make good where required. New point finish to entire exterior. Colour to be white, refer external point schedule.
- (WB) 9mm cement sheet cladding. BCG Duragroove 100mm smooth narrow profile. External corners to be sealed. Point finish, colour to be white, refer external point schedule.
- (BL) 190 bagged blockwork wall with capping block. Natural grey finish.
- (BL2) 190 bagged blockwork wall with Dulux AcraTex 3-step coating system, roll on, installed by Dulux accredited applicator. 3mm granular profile. Point colour to be white, refer external point schedule.
- (BR) Bagged brickwork wall: deleted
- (CS) 9mm cement sheet cladding. Butt joint silicone seal. Point finish, colour to be white, refer external point schedule.
- (CS2) 9mm cement sheet cladding with Dulux AcraTex 3-step coating system, roll on, installed by Dulux accredited applicator. 3mm granular profile. Point colour to be white, refer external point schedule.
- (SC1) 57mm x 30mm design pine batten screen over cement sheet cladding. Battens at nominal 70mm centres. Point finish to battens and sheeting, colour to be white, refer external point schedule.
- (SC2) 57mm x 30mm design pine batten screen/fence on timber frame as fencing. Battens at nominal 70mm centres (min 50% transparency in compliance with HPS). Point finish, colour to be white, refer external point schedule.
- EXTERNAL PAINT COLOURS & FINISHES NOTES**
White: to be Dulux 'Snowy Mountains Hall'.
Black: to be Dulux 'Black'.
All exposed steel - Dulux Ferreko No3 MIO Epoxy in Natural Grey. Complete system to Dulux recommendations.
- EXTERNAL FLOOR FINISHES**
- (CON) Concrete steel trowel finish, clear satin polyurethane sealer.
- (CON3) Concrete. exposed aggregate finish. 14mm bluestone aggregate, confirm colour with client.
- (TD) 90mm wide spotted gum timber decking, smooth side up. Finish to be Dulux Intergrain UltraClear Exterior Satin.
- (PV1) Paving, mid-grey concrete pavers, confirm.
- (PV2) Paving, permeable grass pavers. Moodie Outdoor Products 'GrassDiamond' Paver in natural concrete colour, confirm prior to ordering. Fill permeable pavers with GRV1 gravel.
- (GRV) 10mm aggregate decorative white pebbles.
- Allow Aco Drain 100mm SlabDrain, or similar channel drain to full width of courtyard 3, locate under bench/seal.
- RETAINING WALL**
Provide tanking and subsoil drainage to all retaining walls in accordance with NCC regulations. Typical U.N.O. Refer Hydraulic Engineers documentation for drainage plans.

LOCATION OF ALL NEIGHBOURING STRUCTURES ARE INDICATIVE ONLY

Preston Lane

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45 Goulburn Street Hobart TAS 7000
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ACCC CC001079
Melbourne
3 Tivoli Road South Yarra VIC 3141
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info@prestonlane.com.au
prestonlane.com.au

The Builder/Contractor shall verify job dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.
No part of this drawing shall be reproduced or otherwise used without the prior written consent of Preston Lane.

Approved - General
Manager Consent Only
[GMC-21-88]
22/12/2021

| | |
|----------------|--|
| Proprietor | MARK & ANGELA NEO |
| Project | 110 REGENT STREET SANDY BAY |
| Drawing | ELEVATIONS |
| Scale | 1:100 @ A2 |
| Revision | |
| A | 10/12/2021 CARPORT Issued for HCC Review RL DL |
| B | 14/12/2021 CARPORT Issued for GMC RL DL |
| Project No | 20102 |
| Drawing Number | A04-02 |



Attn: Ben Ikin
Acting senior statutory planner city planning

May 17th, 2022

Reference: PLN-21-881 Request of information

Dear Ben,

I am writing this letter in response to the City of Hobarts request for additional information dated 14th April 2022 regarding the adjacent road reserve partial demolition, carport, front fencing and work in road reserve application at 110 Regent Street, Sandy Bay.

In response to the items raised within the request for additional information, please see below:

1. See attached drawing A05-03 Rev E for response to items PA5.1. Section 1 with B85 vehicle ground clearance template appendix C of AS/NZS 2890.1:2004 demonstrates it has sufficient ground clearance and will not scrape at any point when accessing the garage.
2. The information provided for items SW1 & SW6 has been confirmed by the council to be adequate
3. We note the footpath is existing hence no proposed cross fall is shown.

I trust that the information contained within this letter and the attached documents answer your queries however please do not hesitate to call me should you have any questions or concerns.

Yours Sincerely

Daniel Lane
Director

Stormwater and On Site Detention Maintenance Schedule

110 Regent Street, Sandy Bay

| Maintenance Action | Frequency | Responsibility | Procedure |
|--|-------------|------------------------|--|
| Detention Tank | | | |
| Inspect and remove any blockage of orifice | Six Monthly | Property Owner | Remove grate and screen to inspect orifice. See attached Site Stormwater plan for location of Detention Tank. |
| Check attachment of orifice plate to wall of pit (ensure no gaps exist) | Annually | Maintenance Contractor | Remove grate and screen. Ensure orifice plate is mounted securely, tighten fixings if required and seal any gaps which are present. |
| Check orifice diameter correct and retains sharp edge. | Five Yearly | Maintenance Contractor | Compare orifice diameter to approved design (see Works as Executed Drawing) and ensure edge of orifice is not pitted or damaged. |
| Inspect trash screens and clean | Six Monthly | Property Owner | Remove grate and screen if required to clean it. |
| Check attachment of screen to wall of pit | Annually | Maintenance Contractor | Remove grate and screen. Ensure screen fixings secure. Repair as required. |
| Check trash screen for corrosion | Annually | Maintenance Contractor | Remove grate and examine screen for rust or corrosion, especially at corners or welds. |
| Inspect overflow and remove any blockage | Six Monthly | Maintenance Contractor | Remove grate and open cover to ventilate underground storage if present. Ensure overflow is clear of blockages. |
| Inspect outlet pipe and remove any blockage | Six Monthly | Maintenance Contractor | Remove grate and screen. Ventilate underground storage. Check orifice and remove any blockages in outlet pipe. Flush outlet pipe to confirm it drains freely. Check for sludge/debris on upstream side of return line. |
| Inspect and remove any debris/litter/mulch etc blocking grates of return pit | Six Monthly | Owner | Remove blockages from grate and check if pit blocked. |

Stormwater and On Site Detention Maintenance Schedule

110 Regent Street, Sandy Bay

| | | | |
|---|-------------|------------------------|--|
| Inspect storage areas and remove debris/litter/mulch etc likely to block screens/grates | Six Monthly | Owner | Remove debris and floatable material, ie pine bark mulch, likely to be carried to grates. |
| Compare storage volume to volume approved. (Rectify if loss of volume greater than 5%) | Five Yearly | Maintenance Contractor | Compare actual storage available with work as executed plans. If volume loss is greater than 5%, arrange for necessary works to be undertaken to replace lost storage volume. Contact Engineering consultant if necessary. Council to be notified of proposed works. |
| Inspect storages for subsidence near pits | Annually | Maintenance Contractor | Check along drainage lines and at pits for subsidence likely to indicate leakages |
| Inspect OSD Warning Signage | Annually | Maintenance Contractor | Check OSD Warning signage and ensure that it is fixed securely to wall, not faded, deteriorated or missing and is clearly visible. Replace as necessary or reposition to a clearly visible location if vegetation growth has obscured. |
| General | | | |
| Inspect gutters of building and remove any debris/sludge | Annually | Maintenance Contractor | Remove any leaves or debris and sludge from gutters of building and flush downpipes of building to remove any blockages. Pits downstream of downpipes to be cleaned of flushed debris. |
| Inspect pits and trench drains on site and remove debris/litter/sludge | Six Monthly | Maintenance Contractor | Remove grate. Remove any debris/litter/sludge from within pits. |



Attn: Liz Wilson
Acting senior statutory planner city planning

April 1st, 2022

Reference: PLN-21-881

Dear Liz,

I am writing this letter in response to the City of Hobarts request for additional information dated 11th January 2022 regarding the adjacent road reserve partial demolition, carport, front fencing and work in road reserve application at 110 Regent Street, Sandy Bay.

Please note the western elevation of the garage is not provided since no part of the carport exceeds the height of the existing boundary wall. On each section within drawing A05-03 the height of the existing boundary wall is marked to demonstrate that no part exceeds the height of the existing boundary wall.

In response to the items raised within the request for additional information, please see below:

1. See attached drawing A05-03 Rev C for response to items PA5.1
2. See attached email from Glenn King (Operation manager at B&D door) dated 11th February 2022 addressing item ENGr Fi 2, tiltadoor projection during the pivot operation will be within 1000mm of the boundary. This email confirms tiltadoor does not encroach over the Regent Street road reservation in any position.
3. See attached items listed below from Aldanmark Engineering -
 - Hydraulic services drawings dated 4th March 2022
 - Stormwater and on site detention maintenance schedule
 - Email from Stuart Lamond of Aldanmark Engineering addressing item Sw1 & Sw6 dated 25th March 2022
 - Form 35 dated 25th March 2022

I trust that the information contained within this letter and the attached documents answers your queries however please do not hesitate to call me should you have any questions or concerns.

Yours Sincerely

Daniel Lane
Director

From: [Glenn](#)
To: [Amber Kim](#)
Subject: RE: (20102) Neo Extension _ Carport Tiltador
Date: Friday, 11 February 2022 10:41:57 AM
Attachments: [image002.png](#)
[image003.png](#)
[image004.png](#)

Amber

According to B&D the door will come out between 750-988mm during the pivot operations

Regards

Glenn King

Operations Manager



Phone: (03) 6229 1650

Email: sales@tommooretas.com.au

Web: www.tommooretas.com.au





City of **HOBART**

Enquiries to: City Planning
Phone: (03) 6238 2711
Email: coh@hobartcity.com.au

22 December 2021

Mark Neo
110 Regent Street
SANDY BAY TAS 7005

mailto: mark.neo@interflour.com

Dear Sir/Madam

**110 REGENT STREET, SANDY BAY & ADJACENT ROAD RESERVE
WORKS IN ROAD RESERVE NOTICE OF LAND OWNER CONSENT TO LODGE A
PLANNING APPLICATION - GMC-21-88**

Site Address:

110 Regent Street, Sandy Bay

Description of Proposal:

Works in Road Reserve

Applicant Name:

Mark Neo

PLN (if applicable):

n/a

I write to advise that pursuant to Section 52 of the *Land Use Planning and Approvals Act 1993*, I grant my consent on behalf of the Hobart City Council as the owner/administrator of the above land for you to make application to the City for a planning permit for the development described above and as per the attached documents. I granted consent pursuant to delegation, a copy of which is enclosed.

Please note that the granting of the consent is only for the making of the application and in no way should such consent be seen as prejudicing any decision the Council is required to make as the statutory planning authority.

This consent does not constitute an approval to undertake any works and does not authorise the owner, developer or their agents any right to enter or conduct works on any Council managed land whether subject to this consent or not.

If planning approval is granted by the planning authority, you will be required to seek approvals and permits from the City as both landlord, land manager, or under other statutory powers (such as other legislation or City By-Laws) that are not granted with the issue of a planning permit under a planning scheme. This includes the requirement for you to reapply for a permit to occupy a public space under the City's Public Spaces By-law if the proposal relates to such an area.

Accordingly, I encourage you to continue to engage with the City about these potential requirements.

Yours faithfully



(John Fisher)

ACTING DIRECTOR CITY AMENITY

Relevant documents/plans:

Plans by Preston Lane A01-00 Rev B, A02-00 Rev B
and A04-02 Rev B

City of Hobart

INSTRUMENT OF DELEGATION

General Delegation


Director City Amenity

I, Kelly Grigsby, Chief Executive Officer, being the General Manager of the Hobart City Council as appointed by Council pursuant to section 61 of the *Local Government Act 1993* ("the Act") hereby delegate pursuant to Section 64 of the Act, the following powers and functions to the **Director City Amenity**, or to such persons who may be acting in that position:

1. to sign an application; and
2. to provide written permission to make an application;

pursuant to section 52(1B) of the *Land Use Planning and Approvals Act 1993*,
EXCEPT where an application is recommended for refusal.

Dated this 20 day of August 2021



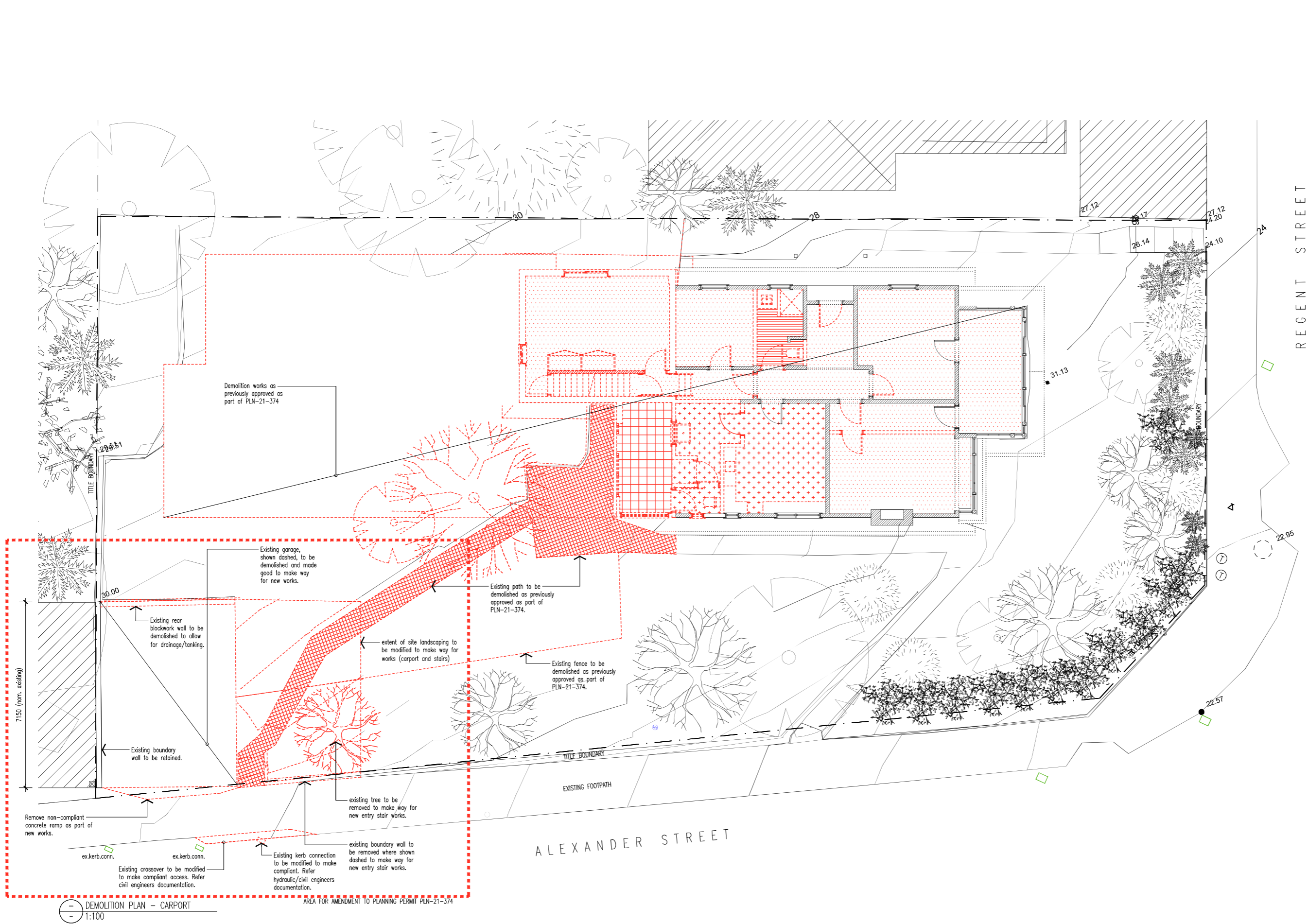
(Kelly Grigsby)

CHIEF EXECUTIVE OFFICER

Being the General Manager as appointed by the Council pursuant to Section 61 of the Local Government Act 1993 (tas)



City of **HOBART**



DEMOLITION LEGEND

----- Demolition works denoted by red dashed line

NOTES

1. The contractor is to inspect the site, and become conversant with the limitations and constraints for access, noise, and general safety.
2. All demolitions are to be removed from site unless noted otherwise. Strictly no burning off on site.
3. Contractor to ensure all services are appropriately capped and sealed to make way for new work.
4. Leave all surfaces clear and free of any remnants/objects ready to make way for new works.
5. Remove all carpet, underlay and associated fixings and make good floor surfaces for new floor finish, where applicable.
6. Remove all visible unused service pipes and conduits etc.
7. Existing ceilings to remain except where noted otherwise.
8. Remove existing ceiling insulation and vacuum-clean all roof spaces to make way for new bulk insulation.
9. Builder to make the building secure throughout the building works.
10. Provide temporary support to existing structure as required.

LOCATION OF ALL NEIGHBOURING STRUCTURES ARE INDICATIVE ONLY

Preston Lane

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45 Goulburn Street Hobart TAS 7000
T 61 3 6231 2923
ACC CC01077
Melbourne
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info@prestonlane.com.au
prestonlane.com.au

The Builder/Contractor shall verify job dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.

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Proprietor MARK & ANGELA NEO

Project 110 REGENT STREET
SANDY BAY

Drawing DEMOLITION PLAN
CARPORT & CROSSOVER WORKS

Scale 1:100 @ A2

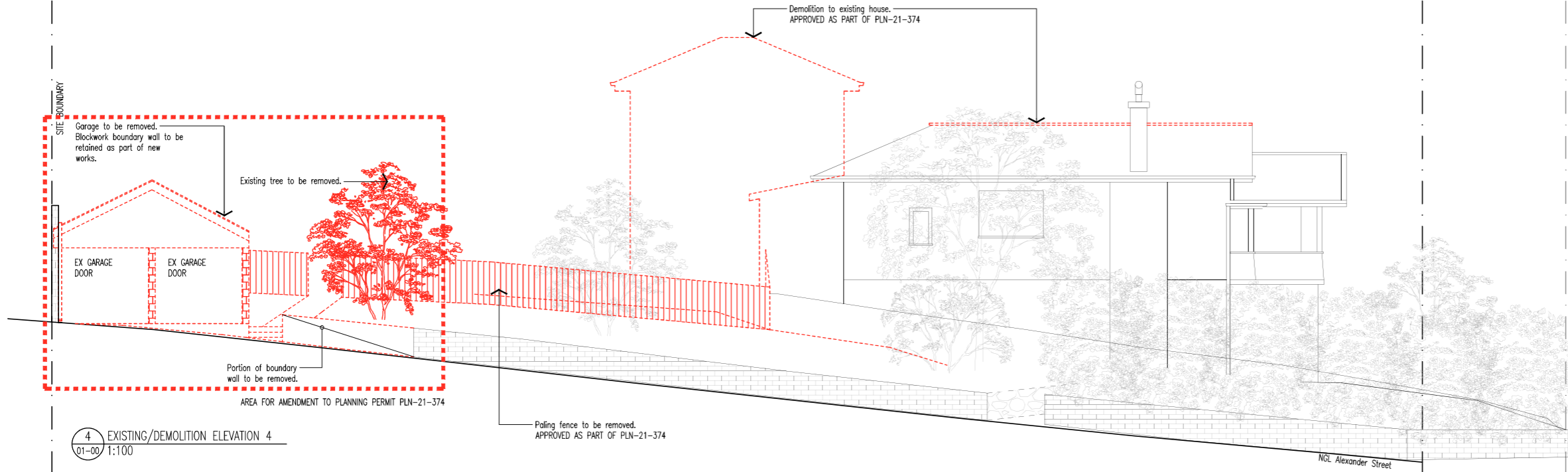
| | | | | | |
|----------|---|------------|-------------------------------|----|----|
| Revision | A | 10/12/2021 | CARPORT Issued for HCC Review | RL | DL |
| | B | 14/12/2021 | CARPORT Issued for GMC | RL | DL |

Project No 20102

Drawing Number A01-00



Approved - General
Manager Consent Only
[GMC-21-88]
22/12/2021



EXTERNAL WALL FINISHES
All finishes and products to be strictly installed in accordance with Manufacturers specification.

(EXT) Existing wall cladding (sluice and shingles). Repair and make good where required. New point finish to entire exterior. Colour to be white, refer external point schedule.

(WB1) 9mm cement sheet cladding. BCG Duragroove 100mm smooth narrow profile. External corners to be sealant. Point finish, colour to be white, refer external point schedule.

(BL1) 190 bagged blockwork wall with capping block. Natural grey finish.

(BL2) 190 bagged blockwork wall with Dulux AcraTex 3-step coating system, roll on, installed by Dulux accredited applicator. 3mm granular profile. Point colour to be white, refer external point schedule.

(BR1) Bagged brickwork wall: deleted

(CS1) 9mm cement sheet cladding. Butt joint silicone seal. Point finish, colour to be white, refer external point schedule.

(CS2) 9mm cement sheet cladding with Dulux AcraTex 3-step coating system, roll on, installed by Dulux accredited applicator. 3mm granular profile. Point colour to be white, refer external point schedule.

(SC1) 57mm x 30mm design pine batten screen over cement sheet cladding. Battens at nominal 70mm centres. Point finish to battens and sheeting, colour to be white, refer external point schedule.

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White: to be Dulux 'Snowy Mountains Hall'.
Black: to be Dulux 'Black'.
All exposed steel - Dulux Ferreko No3 MIO Epoxy in Natural Grey. Complete system to Dulux recommendations.

EXTERNAL FLOOR FINISHES

(CON2) Concrete steel trowel finish, clear satin polyurethane sealer.

(CON3) Concrete. exposed aggregate finish. 14mm bluestone aggregate, confirm colour with client.

(TD1) 90mm wide spotted gum timber decking. smooth side up. Finish to be Dulux Intergrain UltraClear Exterior Satin.

(PV1) Paving. mid-grey concrete pavers, confirm.

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Allow Aco Drain 100mm SlabDrain, or similar channel drain to full width of courtyard 3, locate under bench/seal.

RETAINING WALL
Provide tanking and subsoil drainage to all retaining walls in accordance with NCC regulations. Typical U.N.O. Refer Hydraulic Engineers documentation for drainage plans.

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Proprietor MARK & ANGELA NEO
Project 110 REGENT STREET SANDY BAY
Drawing ELEVATIONS
Scale 1:100 @ A2

Revision
A 10/12/2021 CARPORT Issued for HCC Review RL DL
B 14/12/2021 CARPORT Issued for GMC RL DL

Project No 20102
Drawing Number A04-02

Approved - General
Manager Consent Only
[GMC-21-88]
22/12/2021

CERTIFICATE OF TITLE

LAND TITLES ACT 1980



TASMANIA

TORRENS TITLE

| VOLUME | | FOLIO |
|---------|---------------|-------|
| 55178 | | 224 |
| EDITION | DATE OF ISSUE | |
| 4 | 16-Mar-2021 | |
| Page 1 | | of 1 |

I certify that the person described in Schedule 1 is the registered proprietor of an estate in fee simple (or such other estate or interest as is set forth in that Schedule) in the land within described subject to such exceptions, encumbrances, interests and entries specified in Schedule 2 and to any additional entries in the Folio of the Register.

Recorder of Titles



DESCRIPTION OF LAND

City of HOBART
Lot 224 on Plan 55178 (formerly being P767)
Derivation : Part of 65A-2R-0Ps. Gtd. to D. Lord.
Prior CT 2874/69

SCHEDULE 1

M872646 TRANSFER to MARK ROLAND NEO and ANGELA MARIE NEO
Registered 16-Mar-2021 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

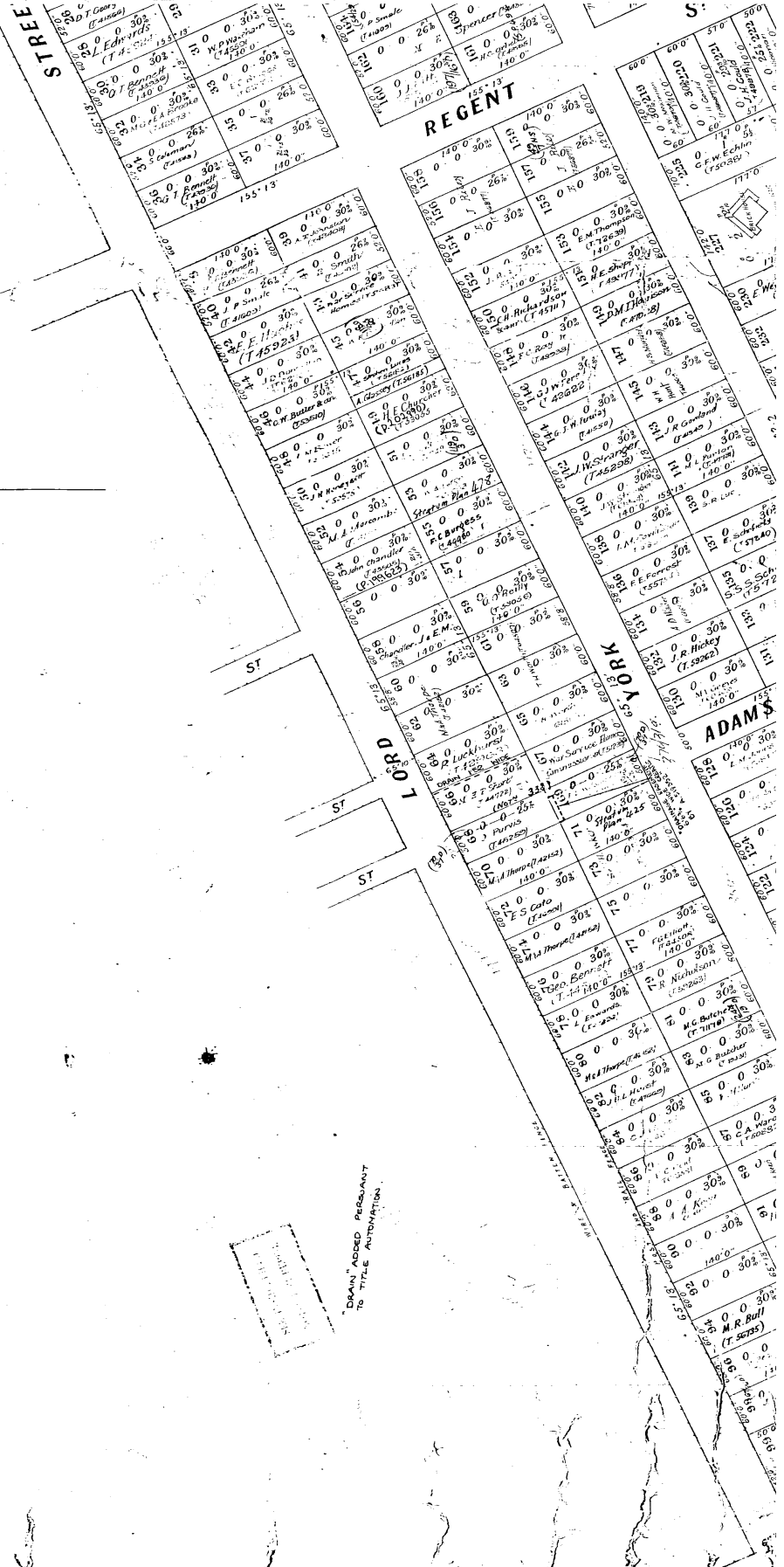
TOWN OF QUEENBOROUGH

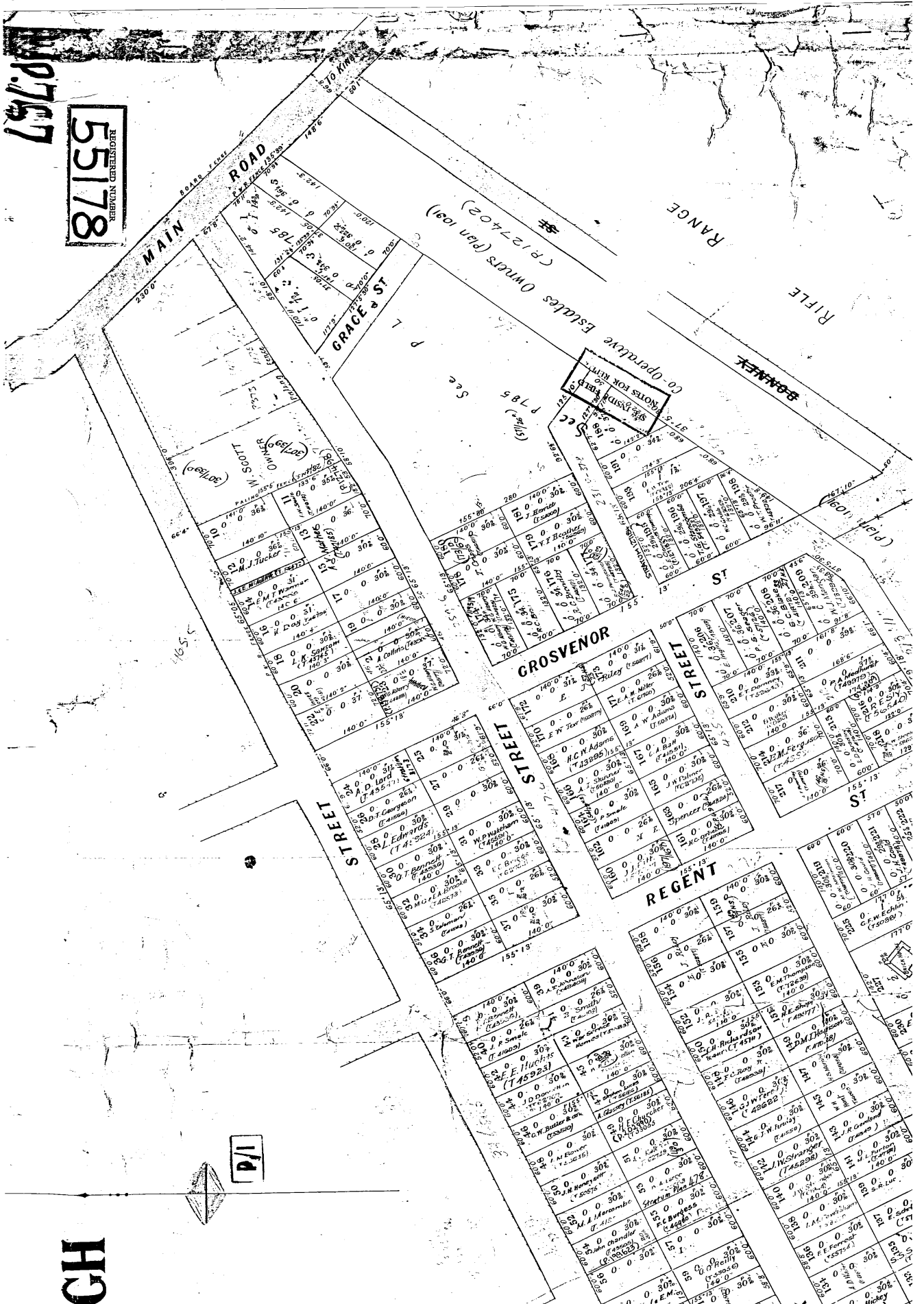
GOLF LINKS

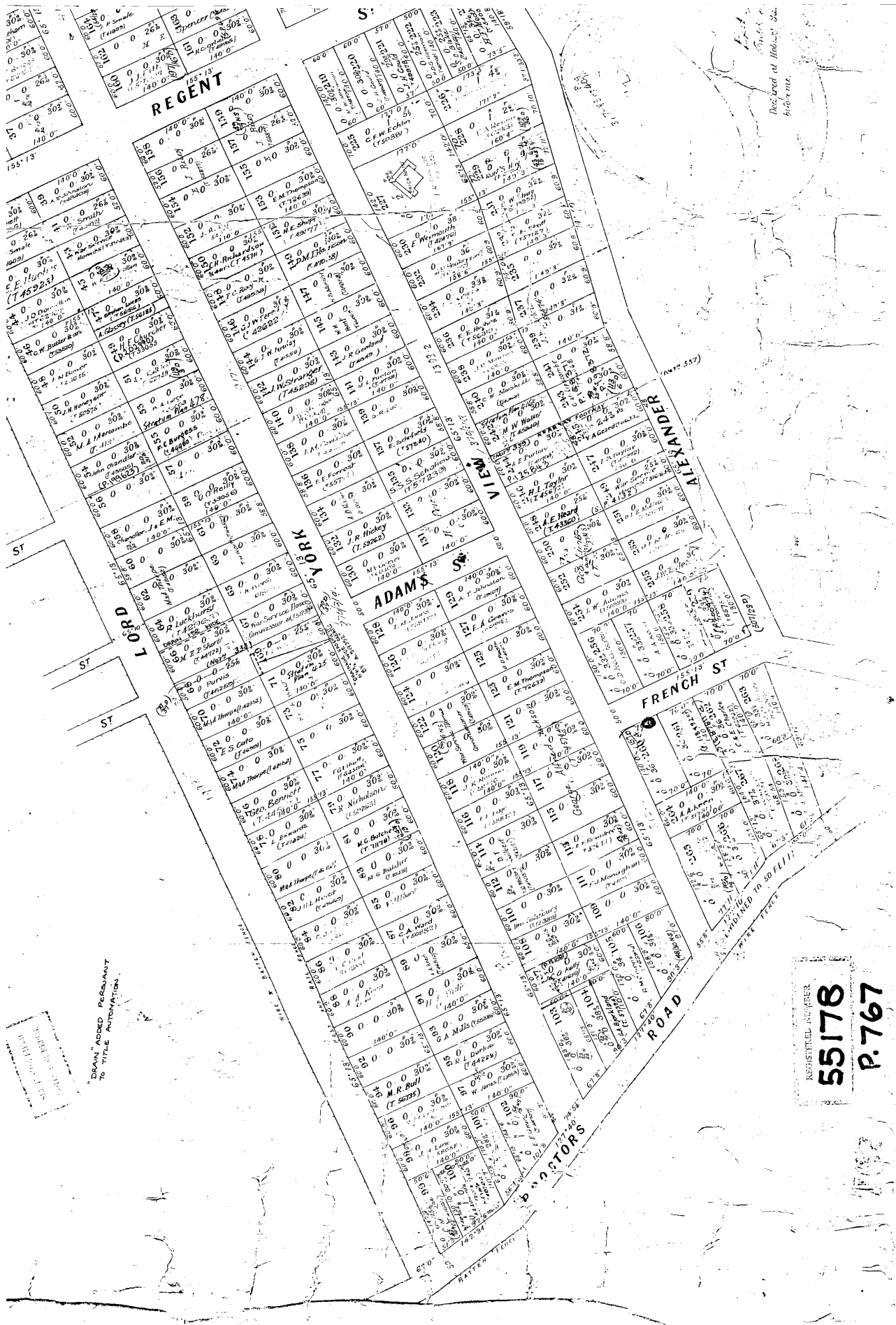
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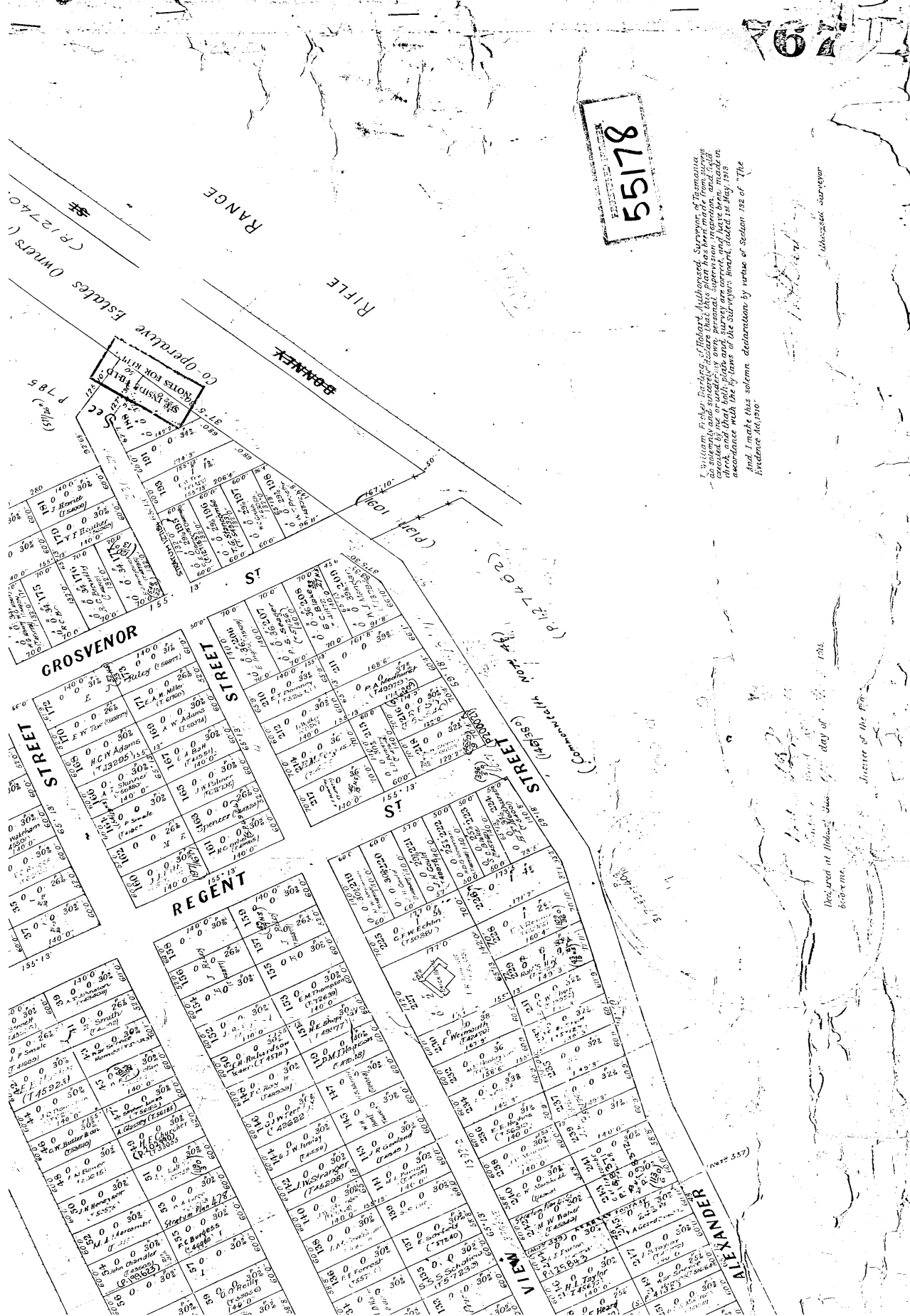
REGISTERED NUMBER
55178

P/I



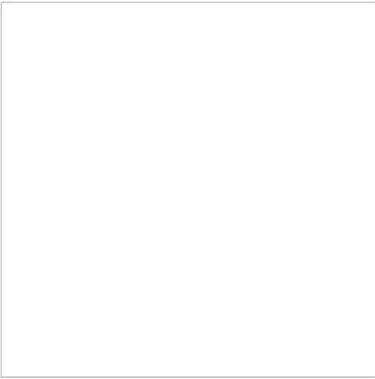






Property

110 REGENT STREET SANDY BAY TAS 7005



People

Applicant
*

Mark Neo
C/- 60 Barrack Street
60 Barrack Street
HOBART TAS 7000
0407 556 048
daniel@prestonlane.com.au

Owner
*

Mark Neo
C/- 60 Barrack Street
HOBART TAS 7000
0407 556 048
mark.neo@interflour.com

Entered By
DANIEL LANE
45 GOULBURN STREET
HOBART TAS 7000
03 6231 2923
info@prestonlane.com.au

Use

Single dwelling

Details

Have you obtained pre application advice?

☒ No

If YES please provide the pre application advice number eg PAE-17-xx

Are you applying for permitted visitor accommodation as defined by the State Government Visitor Accommodation Standards? Click on help information button for definition. If you are not the owner of the property you MUST include signed confirmation from the owner that they are aware of this application.

*

☒ No

Is the application for SIGNAGE ONLY? If yes, please enter \$0 in the cost of development, and you must enter the number of signs under Other Details below.

*

No

If this application is related to an enforcement action please enter Enforcement Number

Details

What is the current approved use of the land / building(s)?

*

Residential

Please provide a full description of the proposed use or development (i.e. demolition and new dwelling, swimming pool and garage)

*

Demolition of Existing Garage, New Carport and crossover

Estimated cost of development

*

100000.00

| | | |
|--------------------------|--------------------------|----------------|
| Existing floor area (m2) | Proposed floor area (m2) | Site area (m2) |
| 39.00 | 56.00 | 853 |

Carparking on Site

| | | |
|----------------------|-------------------------|---|
| | | N/A |
| Total parking spaces | Existing parking spaces | <div><div></div>Other (no selection chosen)</div> |
| 2 | 2 | |

Other Details

Does the application include signage?

*

No

How many signs, please enter 0 if there are none involved in this application?

*

0

Tasmania Heritage Register

Is this property on the Tasmanian Heritage Register?

No

Documents

Required Documents

Title (Folio text and Plan and Schedule of Easements)
*

Title.pdf

Plans (proposed, existing)
*

20102 211214 Carport and Crossover Works ISSUED FOR GMC.pdf

GM or Crown consent

GMC-21-88 - 110 REGENT STREET SANDY BAY TAS 7005 - Notice of Land Owner Consent to Lodge a Planning Application (including documentation).pdf

engineering

211214 MU 21E68-8 (Double Crossover GMC).pdf