



CITY OF HOBART

AGENDA

City Planning Committee Meeting

Open Portion

Monday, 23 May 2022

at 5:00 pm

Council Chamber, Town Hall

THE MISSION

Working together to make Hobart a better place for the community.

THE VALUES

The Council is:

People	We care about people – our community, our customers and colleagues.
Teamwork	We collaborate both within the organisation and with external stakeholders drawing on skills and expertise for the benefit of our community.
Focus and Direction	We have clear goals and plans to achieve sustainable social, environmental and economic outcomes for the Hobart community.
Creativity and Innovation	We embrace new approaches and continuously improve to achieve better outcomes for our community.
Accountability	We are transparent, work to high ethical and professional standards and are accountable for delivering outcomes for our community.

ORDER OF BUSINESS

Business listed on the agenda is to be conducted in the order in which it is set out, unless the committee by simple majority determines otherwise.

APOLOGIES AND LEAVE OF ABSENCE

1. CO-OPTION OF A COMMITTEE MEMBER IN THE EVENT OF A VACANCY	5
2. CONFIRMATION OF MINUTES.....	5
3. CONSIDERATION OF SUPPLEMENTARY ITEMS	5
4. INDICATIONS OF PECUNIARY AND CONFLICTS OF INTEREST	6
5. TRANSFER OF AGENDA ITEMS.....	6
6. PLANNING AUTHORITY ITEMS - CONSIDERATION OF ITEMS WITH DEPUTATIONS.....	6
7. COMMITTEE ACTING AS PLANNING AUTHORITY	7
7.1 APPLICATIONS UNDER THE HOBART INTERIM PLANNING SCHEME 2015	8
7.1.1 4 Mitah Crescent, Sandy Bay - Change of Use to Visitor Accommodation	8
7.1.2 5 Claredon Street, New Town - Dwelling and Front Fencing	46
7.1.3 26 Rosehill Crescent Lenah Valley - Partial Demolition, Alterations, Extension, Swimming Pool, Garage and Alterations to Driveway	110
7.1.4 590 Nelson Road, Mount Nelson and Adjacent Road Reserve - Partial Demolition, Alterations, Extension, Front Fencing, Alterations to Driveways and Works in the Road Reserve.....	179
7.1.5 78 Alexander Street, 12 French Street, Sandy Bay and Adjacent Road Reserve - Partial Demolition, Alterations, Two Multiple Dwellings (One Existing, One New) and Associated Hydraulic Infrastructure.....	239
7.1.6 424 Strickland Avenue, South Hobart and Adjacent Road Reserve - Dwelling	376
7.1.7 368 Macquarie Street, South Hobart - Change of Use to Visitor Accommodation	487
7.1.8 370 Macquarie Street. South Hobart - Change of Use to Visitor Accommodation	607

8. REPORTS	637
8.1 Proposal to amend the Southern Tasmania Regional Land Use Strategy by extending the Urban Growth Boundary at Droughty Point ('Skylands')	637
8.2 City Planning - Advertising Report	698
8.3 Delegated Decision Report (Planning)	705
9. COMMITTEE ACTION STATUS REPORT	709
9.1 Committee Actions - Status Report.....	709
10. QUESTIONS WITHOUT NOTICE	714
11. CLOSED PORTION OF THE MEETING.....	715

City Planning Committee Meeting (Open Portion) held Monday, 23 May 2022 at 5:00 pm in the Council Chamber, Town Hall.

This meeting of the City Planning Committee is held in accordance with a Notice issued by the Premier on 3 April 2020 under section 18 of the *COVID-19 Disease Emergency (Miscellaneous Provisions) Act 2020*.

The title Chief Executive Officer is a term of reference for the General Manager as appointed by Council pursuant s.61 of the *Local Government Act 1993* (Tas).

COMMITTEE MEMBERS

Deputy Lord Mayor Councillor H Burnet
(Chairman)
Alderman J R Briscoe
Councillor W F Harvey
Alderman S Behrakis
Councillor M Dutta
Councillor W Coats

Apologies:

Leave of Absence: Nil.

NON-MEMBERS

Lord Mayor Councillor A M Reynolds
Alderman M Zucco
Alderman Dr P T Sexton
Alderman D C Thomas
Councillor J Fox
Councillor Dr Z Sherlock

1. CO-OPTION OF A COMMITTEE MEMBER IN THE EVENT OF A VACANCY

2. CONFIRMATION OF MINUTES

The minutes of the Open Portion of the City Planning Committee meeting held on [Monday, 9 May 2022](#), are submitted for confirming as an accurate record.

3. CONSIDERATION OF SUPPLEMENTARY ITEMS

Ref: Part 2, Regulation 8(6) of the *Local Government (Meeting Procedures) Regulations 2015*.

Recommendation

That the Committee resolve to deal with any supplementary items not appearing on the agenda, as reported by the Chief Executive Officer.

4. INDICATIONS OF PECUNIARY AND CONFLICTS OF INTEREST

Ref: Part 2, Regulation 8(7) of the *Local Government (Meeting Procedures) Regulations 2015*.

Members of the Committee are requested to indicate where they may have any pecuniary or conflict of interest in respect to any matter appearing on the agenda, or any supplementary item to the agenda, which the Committee has resolved to deal with.

5. TRANSFER OF AGENDA ITEMS

Regulation 15 of the *Local Government (Meeting Procedures) Regulations 2015*.

A Committee may close a part of a meeting to the public where a matter to be discussed falls within 15(2) of the above regulations.

In the event that the Committee transfer an item to the closed portion, the reasons for doing so should be stated.

Are there any items which should be transferred from this agenda to the closed portion of the agenda, or from the closed to the open portion of the agenda?

6. PLANNING AUTHORITY ITEMS - CONSIDERATION OF ITEMS WITH DEPUTATIONS

In accordance with the requirements of Part 2 Regulation 8(3) of the *Local Government (Meeting Procedures) Regulations 2015*, the Chief Executive Officer is to arrange the agenda so that the planning authority items are sequential.

In accordance with Part 2 Regulation 8(4) of the *Local Government (Meeting Procedures) Regulations 2015*, the Committee by simple majority may change the order of any of the items listed on the agenda, but in the case of planning items they must still be considered sequentially – in other words they still have to be dealt with as a single group on the agenda.

Where deputations are to be received in respect to planning items, past practice has been to move consideration of these items to the beginning of the meeting.

RECOMMENDATION

That in accordance with Regulation 8(4) of the *Local Government (Meeting Procedures) Regulations 2015*, the Committee resolve to deal with any items which have deputations by members of the public regarding any planning matter listed on the agenda, to be taken out of sequence in order to deal with deputations at the beginning of the meeting.

7. COMMITTEE ACTING AS PLANNING AUTHORITY

In accordance with the provisions of Part 2 Regulation 25 of the *Local Government (Meeting Procedures) Regulations 2015*, the intention of the Committee to act as a planning authority pursuant to the *Land Use Planning and Approvals Act 1993* is to be noted.

In accordance with Regulation 25, the Committee will act as a planning authority in respect to those matters appearing under this heading on the agenda, inclusive of any supplementary items.

The Committee is reminded that in order to comply with Regulation 25(2), the Chief Executive Officer is to ensure that the reasons for a decision by a Council or Council Committee acting as a planning authority are recorded in the minutes.

7.1 APPLICATIONS UNDER THE HOBART INTERIM PLANNING SCHEME 2015

7.1.1 4 MITAH CRESCENT, SANDY BAY - CHANGE OF USE TO VISITOR ACCOMMODATION PLN-22-200

PLN-22-200 - FILE REF: F22/44596

Address:	4 Mitah Crescent, Sandy Bay
Proposal:	Change of Use to Visitor Accommodation
Expiry Date:	30 May 2022
Extension of Time:	Not applicable
Author:	Ben Ikin

RECOMMENDATION

That pursuant to the *Hobart Interim Planning Scheme 2015*, the Council approve the application for change of use to visitor accommodation at 4 Mitah Crescent, Sandy Bay 7005, for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

GEN

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-22-200 4 MITAH CRESCENT SANDY BAY TAS 7005 - Final Planning Documents except where modified below.

Reason for condition

To clarify the scope of the permit.

PLN 18

Prior to the commencement of the approved use, a management plan for the operation of the visitor accommodation must be submitted and approved as a Condition Endorsement, to the satisfaction of the Council's Director City Life. The management plan must include measures to limit, manage and mitigate unreasonable impacts upon the amenity of long term residents. These measures must include, but are not limited to, the following requirements:

1. To limit, manage, and mitigate noise generated as a result of the visitor accommodation.
2. To limit, manage, and mitigate behaviour issues caused as a result of the visitor accommodation.
3. To maintain the security of the building where the visitor accommodation would be located, including managing and/or limiting access to shared areas and facilities.
4. To specify the maximum permitted occupancy of the visitor accommodation.
5. To provide a name and contact phone number of a person who will respond to any complaints regarding behaviour of guests. If the property is sold the Visitor Accommodation Management Plan (VAMP) must be updated with new contact details.

Once approved, the management plan must be implemented prior to the commencement of the approved use and must be maintained for as long as the visitor accommodation is in operation. The VAMP must be provided to adjacent property owners and occupiers within 14 days of being approved. If the property is sold, the updated VAMP (in accordance with 5. above) must be provided to adjacent property owners and occupiers within 10 business days of settlement.

Advice:

This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.

Reason for condition

To ensure that visitor accommodation does not cause an unreasonable loss of residential amenity.

PLN s1

The approved visitor accommodation use must not have multiple bookings at the one time.

This stipulation must also be set out in the visitor management plan as required by condition PLN 18 above.

Advice:

The intent of this condition is to ensure that only one person or group of persons, under a single booking, can utilise the property at any one time. It is the intent of this condition to prevent the property from being rented out to multiple different people or groups of people at the same time.

Reason for condition

In accordance with the stated intent of the applicant, in the interests of the amenity of neighbouring properties, and to clarify the scope of the permit.

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

CONDITION ENDORSEMENT

If any condition requires that further documents are submitted and approved, you will need to submit the relevant documentation to satisfy the condition via the Condition Endorsement Submission on Council's [online services e-planning portal](#). Detailed instructions can be found [here](#).

A fee of 2% of the value of the works for new public assets (stormwater infrastructure, roads and related assets) will apply for the condition endorsement application.

Once approved, the Council will respond to you via email that the condition has been endorsed (satisfied).

Where building approval is also required, it is recommended that documentation for condition endorsement be submitted well before submitting documentation for building approval. Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.

VISITOR ACCOMMODATION

More information on visitor accommodation, including when building approval is required, can be found [here](#).




In all cases, check with your insurance company that you have adequate cover.

If you are in a bushfire prone area there may be a need to create/review the Bushfire Management Hazard Plan for your property.

If you have a spa or a pool at your property then you are required to test for microbiological quality and chemical parameters on a monthly basis, under the *Public Health Act 1997*. If you have any questions about this then please call our Environmental Health team on 6238 2711.

If you are providing food for consumption on the property, you may require a food business registration in accordance with the *Food Act 2003*. Click [here](#) for more information, or call our Environmental Health team on 6238 2711.

Visitor accommodation is also considered to be a commercial use and also not eligible to residential parking permits. Under the current policy for the issuing of residential parking permits, the proposed change of use to visitor accommodation would not entitle the property to a residential parking permit, or a transferable “bed and breakfast” parking permit.

- | | |
|---------------|--|
| Attachment A: | PLN-22-200 - 4 MITAH CRESCENT SANDY BAY
TAS 7005 - Planning Committee or Delegated
Report ↓  |
| Attachment B: | PLN-22-200 - 4 MITAH CRESCENT SANDY BAY
TAS 7005 - CPC Agenda Documents ↓  |
| Attachment C: | PLN-22-200 - 4 MITAH CRESCENT SANDY BAY
TAS 7005 - Draft Visitor Accommodation
Management Plan ↓  |

**APPLICATION UNDER HOBART INTERIM PLANNING SCHEME 2015**

Type of Report:	Committee
Council:	23 May 2022
Expiry Date:	30 May 2022
Application No:	PLN-22-200
Address:	4 MITAH CRESCENT , SANDY BAY
Applicant:	Tik Chan (SSCP HOLDINGS PTY LTD) 14 Walker Avenue
Proposal:	Change of Use to Visitor Accommodation
Representations:	Seven (7)
Performance criteria:	Planning Directive No. 6 – Exemption and Standards for Visitor Accommodation in Planning Schemes, Landslide Hazard Code, Parking and Access Code

1. Executive Summary

- 1.1 Planning approval is sought for Change of Use to Visitor Accommodation at 4 MITAH CRESCENT SANDY BAY TAS 7005.
- 1.2 More specifically the proposal includes:
 - change of use from permanent residential dwelling to visitor accommodation
 - two on-site parking spaces provided
 - no proposed signage
 - no internal works are proposed.
- 1.3 The proposal relies on performance criteria to satisfy the following standards and codes:
 - 1.3.1 Planning Directive No. 6 – Exemption and Standards for Visitor Accommodation in Planning Schemes - Floor Area
 - 1.3.2 Landslide Code - Vulnerable Use
 - 1.3.3 Parking and Access Code - Number of Parking Spaces
- 1.4 Seven representations objecting to the proposal were received within the statutory advertising period between 26 April 2022 - 9 May 2022.

- 1.5 The proposal is recommended for approval subject to conditions.
- 1.6 The final decision is delegated to the Council, because it is of a category of planning applications that has been called in by an Elected Member.

2. Site Detail

- 2.1 The subject site is located on the eastern side of Mitah Crescent, Sandy Bay. The site contains a single dwelling situated on a large urban lot, with rear access to the Derwent River foreshore.

The surrounding land uses are primarily residential, containing mostly single detached dwellings with some multiple dwellings on medium to large urban lots.



Figure 1: Aerial view of subject site and surrounds (source Geocortex, 2022)



Figure 2: Subject site viewed from Mitah Crescent (source: Google street view)

3. Proposal

- 3.1 Planning approval is sought for Change of Use to Visitor Accommodation at 4 MITAH CRESCENT SANDY BAY TAS 7005.

3.2 More specifically the proposal is for:

- change of use from permanent residential dwelling to visitor accommodation
- two on-site parking spaces provided
- no proposed signage
- no internal works are proposed.



Figure 3: Floor plan (source: applicant)

4. Background

4.1 The following planning applications have previously been considered for the site:

- PLN-03-01315-01 - Demolition and New House

5. Concerns raised by representors

5.1 Seven representations objecting to the proposal were received within the statutory advertising period between 26 April 2022 - 10 May 2022.

- 5.2 The following table outlines the concerns raised in the representations received. Those concerns which relate to a discretion invoked by the proposal are addressed in Section 6 of this report.

Dear Hobart City Council, we object to 4 Mitah Crescent being used for short or medium stay accommodations for two primary reasons: i) lack of parking space available on the one-way street of Mitah Crescent and ii) potential use of the premises for multiple, separate guest bookings. On the first point, there is already a lack of parking on the steep street of Mitah Crescent and the driveway of number 4 does not allow the double garage to be used for two wheeled vehicles due to the incline of the driveway. Additional cars from short or mid-term guests will make Mitah Crescent an overly congested street. On point 2, if the premises is to be rented to more than one group at a time, this will exacerbate the parking problem. Secondary concerns include noise from short term guests in general, especially if multiple parties are booked. I would also like to check whether the maximum size of 200 sqm for airbnb / short term accommodation is being abided by as this property is much larger than 200sqm.

We do not want to see Mitah Crescent rezoned to allow short and mid-stay accommodation - it is a quiet, pleasant residential street with close neighbours and no desire to see additional traffic and noise.

I wish to submit my presentation in opposition to the planning application for a change of use to visitor accommodation at number 4 Mitah Crescent Sandy Bay (Application No. PLN -22-200.) I have lived with my family at this residence since 1981.

This is a quiet residential area and Mitah Crescent is effectively a one way street. There is parking on only one side of the street. Mitah Crescent has also a steep gradient off the main Sandy Bay Road at the front entrance to my property at number 3. This means that any visitors to my home who are unsteady on their feet (i.e. infirm, unwell or elderly visitors must park outside number 4 to safely get in and out of their car. Number 4 has an extremely steep driveway that only a high clearance 4WD can straddle the curb and drive, Most cars will bottom out and not gain access to the garage. Meaning that those residing there must use the street outside their property where there are only 2 parking spaces.

Should this property be used as visitor accommodation there will be a significant increase in street traffic and congestion, particularly if there are multiple visitors staying at the accommodation that is often the case with high end luxury accommodation as this would be.

Visitor accommodation is incongruent to the residential family profile of the street's residents.

The rental market in Hobart is such that rents have increased by 27% in the last five years, and the vacancy rate is currently 0.3%. This has an impact on where people live, and indeed people's ability access to (affordable) housing.

There has been a rise in the number of residences being approved/used for visitor accommodation. COVID resulted in some visitor accommodation uses being returned to residential, which resulted in the average rents being reduced.

This application should be refused because the proposal is not compatible with the character and use of the area, and it would cause an unreasonable loss of residential amenity.

There are already 129 whole investment properties being used as visitor accommodation in Sandy Bay.

Sandy Bay should remain a suburb which prioritises long term residents.

I strongly request, that the application for change of visitor use accommodation of premises number 4 Mitah Crescent Sandy Bay, is refused- on the basis that it doesn't comply with clause (3.1 a) of planning directive number (6) of the Hobart interim planning scheme (2015) (Tasmania). It is not compatible with the character and use of the area, and it would cause unreasonable loss of residential housing.

Over the last 5 years rents in Hobart LGA have increased by 27%.

Core logic reports the median rents in Hobart are more expensive than Adelaide, Brisbane Perth, and Melbourne, whilst Tasmanians have the lowest median income, and the 2nd highest rate of dependence on welfare payments in the country.

The 2022 Anglicare report found that on one weekend in March, that of the 323 rental listings, not a single house was deemed affordable for a welfare or pension dependant Tasmanian to rent in the States south.

The Council cannot in good conscience allow further leeching of residential property into the Short Stay market at this time, when locals are sleeping rough due to housing unaffordability and availability access.

Hobart is now one of the least affordable capital cities relative to income in the world the RII found that tenants in greater Hobart spend an average of 34% of their income on rent, and this is a modest estimate from the cohorts that I represent who are spending well above this on average, some even up to 80%, if on a low income.

Skyrocketing rents are likely to have played a role in Hobartians becoming homeless, moving further away from their vital family and community supports, and essential services such as schools and hospitals.

There are 481 investment properties being used as visitor accommodation ahead off the changes proposed by the Hobart city council to short stay rules limiting or stopping whole houses in the Hobart LGA.

We were predicted to see a glut of applications, termed by one real estate investor and short stay operator as golden tickets, with one operator encouraging members of their residential owners property group to get one soon.

We will see a glut of golden ticket applications at this time, in the lead up to the HCC amendments to whole house short stay listings, and it would be considered duty of care for those approving or denying planning representations for new short- stay listings to mitigate this in the wake of the HCC changes, and for such applications to be scrutinized considering the impending short stay regulatory changes in the Hobart LGA.

On behalf of myself and the Hobartians facing Homelessness group, which represents over 2000 Tasmanians in the Hobart LGA and greater Hobart area experiencing homelessness or housing rental stress, I formally request that this representation for short stay conversion to 4 Mitah Crescent, Sandy Bay, be refused for the reasons referred to above.

We would like to lodge an objection to the proposed change of use of 4 Mitah Crescent from residential to visitor accommodation on the following grounds:

* Potential increase in nuisance noise and loss of amenity. Short term visitor accommodation properties historically have been problematic in established residential areas.

* There is not a lot of on street parking in Mitah Crescent with residents and people from surrounding areas competing for the space available. It is not unusual to see vehicles parked in the "No Parking" zone running from 10 Mitah Crescent to 4 Mitah Crescent. The driveway of 4 Mitah Crescent is steep and the garage hold two vehicles, that is assuming short term accommodation visitors use the garage parking.

* There is a statewide shortage of long term rental properties in Tasmania. Allowing 4 Mitah Crescent to be changed to short term visitor accommodation removes another potential long term rental property from the market.

* The Hobart City Council voted 8 to 3 in March to stop any new permits for whole house short stay accommodation.

We are greatly concerned and object to 4 Mitah Crescent being granted permission to Change of Use to Visitor Accommodation. Mitah Crescent has always been a quiet residential crescent. Change of use will threaten the ambience and character of the crescent. The house was never designed to be a multiple dwelling and the resulting increased traffic will be both a nuisance and dangerous, especially as it is so close to a sharp corner.

The application for an airbnb on 4 Mitah Crescent should be rejected. Allowing this property to be short term accommodation decreases the housing stock for residents of hobart and exacerbates the housing crisis which the council claims to be working to solve. Please do not take this backwards step.

6. Assessment

- 6.1 The *Hobart Interim Planning Scheme 2015* is a performance based planning scheme. To meet an applicable standard, a proposal must demonstrate

compliance with either an acceptable solution or a performance criterion. Where a proposal complies with a standard by relying on one or more performance criteria, the Council may approve or refuse the proposal on that basis. The ability to approve or refuse the proposal relates only to the performance criteria relied on.

- 6.2 The site is located within the Low Residential Zone of the *Hobart Interim Planning Scheme 2015*.
- 6.3 The existing use is residential - single dwelling. The proposed use is visitor accommodation. The existing use is a NPR use in the zone. The proposed use is permitted pursuant to Planning Directive No 6 - Exemptions and Standards for Visitor Accommodation in Planning Schemes.
- 6.4 The proposal has been assessed against:
- 6.4.1 Planning Directive No. 6 – Exemption and Standards for Visitor Accommodation in Planning Schemes
 - 6.4.2 E3.0 Landslide Code
 - 6.4.4 E6.0 Parking and Access Code
- 6.5 The proposal relies on the following performance criteria to comply with the applicable standards:
- 6.5.1 Planning Directive No. 6 – Exemption and Standards for Visitor Accommodation in Planning Schemes
Floor Area - 3.1 (e) P1
 - 6.5.2 Parking and Access Code:
Number of Parking Spaces - E6.6.1 P1
 - 6.5.3 Landslide Hazard Code:
Vulnerable Use - E3.6.2 P2
- 6.6 Each performance criterion is assessed below.
- 6.7 Planning Directive No. 6 – Exemption and Standards for Visitor Accommodation in Planning Schemes - 3.1 (e) P1

- 6.7.1 The acceptable solution at clause 3.1 (e) A1 requires visitor accommodation to have a gross floor area of not more than 200m² per lot.
- 6.7.2 The proposal includes a gross floor area that is greater than 200m².
- 6.7.3 The proposal does not comply with the acceptable solution; therefore, assessment against the performance criterion is relied on.
- 6.7.4 The performance criterion at clause 3.1 (e) P1 provides as follows:

Visitor Accommodation must be compatible with the character and use of the area and not cause an unreasonable loss of residential amenity, having regard to:

- (a) the privacy of adjoining properties;*
- (b) any likely increase in noise to adjoining properties;*
- (c) the scale of the use and its compatibility with the surrounding character and uses within the area;*
- (d) retaining the primary residential function of an area;*
- (e) the impact on the safety and efficiency of the local road network; and*
- (f) any impact on the owners and users rights of way.*

- 6.7.5 In terms of the impact on amenity of adjoining properties that this property may have if converted to visitor accommodation, it is noted that on the one hand this property is a relatively large three to four bedroom dwelling, and as such it does have the potential to accommodate larger numbers of people - in the order of at least six to eight people based on two people per bedroom. It is also noted that there is an outdoor pool on the northern side of the subject dwelling, as well as various other outdoor spaces that have a high degree of amenity and so are likely to be well used.

On the other hand the building stands alone from its neighbours, that is, it is not physically connected to any other dwellings, and there is reasonable separation between neighbouring dwellings, although it is noted that the neighbouring dwelling to the south is built quite close to its northern boundary, shared with the subject site. It is also considered that if well managed, there is no reason that a dwelling such as this should have any greater impact on neighbours if in residential use or as a visitor accommodation use.

As such, it is considered that with an appropriate condition requiring the implementation of a visitor management plan, the proposal will not

unreasonably impact on the amenity of adjoining properties. Refer to Attachment C for a draft visitor management plan.

In terms of the impact of this proposal on the character and residential functioning of the area, Council records indicate that there have been no recent approvals for visitor accommodation elsewhere in Mitah Crescent, or in the immediate vicinity on Sandy Bay Road. It is not considered that allowing this dwelling to be utilised for visitor accommodation would compromise the primarily residential character or functioning of the area.

The proposal provides more car parking than the scheme requires for this use, and provides the same amount of car parking as required for a residential dwelling of this size. The proposal is not considered to unreasonably impact on the safety and efficiency of the local road network, and no rights of way will be impinged upon. It is also noted that car parking is a matter to be dealt with/provided for in the visitor management plan.

6.7.6 The proposal complies with the performance criterion.

6.8 Parking and Access Code E 6.6 - Number of Vehicle Spaces

6.8.1 The acceptable solution at clause E6.6.1 requires the number of car parking spaces for visitor accommodation to be no less than and no greater than the 1 car parking space for each unit.

6.8.2 The proposal includes two car parking spaces.

6.8.3 The proposal does not comply with the acceptable solution; therefore, assessment against the performance criterion is relied on.

6.8.4 The performance criterion at clause E6.6.1 provides as follows:

The number of on-site car parking spaces must be sufficient to meet the reasonable needs of users, having regard to all of the following:

- (a) car parking demand;*
- (b) the availability of on-street and public car parking in the locality;*
- (c) the availability and frequency of public transport within a 400m walking distance of the site;*
- (d) the availability and likely use of other modes of transport;*
- (e) the availability and suitability of alternative arrangements for car parking provision;*

(f) any reduction in car parking demand due to the sharing of car parking spaces by multiple uses, either because of variation of car parking demand over time or because of efficiencies gained from the consolidation of shared car parking spaces;

(g) any car parking deficiency or surplus associated with the existing use of the land;

(h) any credit which should be allowed for a car parking demand deemed to have been provided in association with a use which existed before the change of parking requirement, except in the case of substantial redevelopment of a site;

(i) the appropriateness of a financial contribution in lieu of parking towards the cost of parking facilities or other transport facilities, where such facilities exist or are planned in the vicinity;

(j) any verified prior payment of a financial contribution in lieu of parking for the land;

(k) any relevant parking plan for the area adopted by Council;

(l) the impact on the historic cultural heritage significance of the site if subject to the Local Heritage Code;

(m) whether the provision of the parking would result in the loss, directly or indirectly, of one or more significant trees listed in the Significant Trees Code.

6.8.5 The proposal provides two car parking spaces, which is one more than required, and is discretionary on that basis. The surplus of car parking is considered to be appropriate given the scale of the visitor accommodation proposed. It is noted that two car parking spaces meets the planning scheme car parking requirement for a three or four bedroom dwelling.

6.8.6 The proposal complies with the performance criterion.

6.9 *Vulnerable Use - E3.6.2 P2*

6.9.1 There is no acceptable solution for clause E3.6.2 A2.

6.9.2 The proposal includes a 'vulnerable use' within a Landslide Hazard Area.

6.9.3 There is no acceptable solution; therefore assessment against the performance criterion is relied on.

6.9.4 The performance criterion at clause E3.6.2 P2 provides as follows:

Vulnerable use must satisfy all of the following:

(a) No part of the vulnerable use is in a High Landslide Hazard Area;

(b) Landslide risk to occupants, staff, visitors and emergency personnel associated with the vulnerable use is either:

(i) acceptable risk; or

(ii) capable of feasible and effective treatment through hazard management measures, so as to be tolerable risk.

(c) Landslide risk to occupants, staff and visitors takes into consideration their specific circumstances including their ability to:

(i) protect themselves and defend property from landslide;

(ii) evacuate in an emergency;

(iii) understand and respond to instructions in the event of a landslide;

whilst minimising risk to emergency personnel.

6.9.5 The Council's Environmental Development Planner has assessed the proposal against the performance criteria as follows:

There are no High Landslide Hazard Areas on the site in conformity with P2(a).

With regard to P2(b) and (c), 'acceptable risk' is defined as 'a risk society is prepared to accept as it is. That is; without management or treatment'.

In my opinion, a reasonable person would accept the landslide risk associated with the proposed use because:
the accommodation building is outside the Landslide Hazard Area;
while there is a deck partially within the LHA, it is at the top of the slope, so persons using the deck would not be at risk from any rockfall that occurred;
the geotechnical risk assessment for the sewer main that passes through the land (Cromer, 2000) found the landslide risk to be low and acceptable for this land; and
the likelihood of a rockfall occurring when guests are using the embankment land is so small that the risk is acceptable.

The exercise of discretion is recommended with regard to E3.6.2 P2.

6.9.6 The proposal complies with the performance criterion.

7. Discussion

- 7.1 Planning approval is sought for change of use to visitor accommodation at 4 Mitah Crescent Sandy Bay.
- 7.2 The application was advertised and received seven objections. The objections raised concerns broadly that:
- Visitor accommodation use is not consistent with the character of the street or area.
 - Dwellings should not be converted to visitor accommodation, but should be used for long term residential use instead.
 - The visitor accommodation use will have a negative impact on neighbours' amenity, particularly noise.
 - The proposal will lead to more traffic on Mitah Crescent, and problems with car parking.
 - The visitor accommodation use will be used for multiple bookings at the one time.

In response it is noted that:

- While sympathetic to the issue of housing availability and affordability, this is not a matter that is dealt with by the planning scheme, and the Council has no ability to refuse an application for visitor accommodation because on this basis.
- This proposal is for a single visitor accommodation use in Mitah Crescent, where Council records indicate there are no other approvals for visitor accommodation in the immediate area on Mitah Crescent or on Sandy Bay Road. As such, it is not considered that this proposal will compromise the residential character of the immediate area. More broadly, the suggestion in one representation that the character of Sandy Bay as a residential suburb is already being undermined by the existing 129 visitor accommodation uses, is hard to support given there are in excess of 5000 dwellings in this suburb ([according to 2016 ABS data](#)). A use that occupies in the order of 3% of the available dwelling stock cannot be said to be undermining the residential character of the suburb. (It should be noted that this is a separate issue to housing availability, where the return of 129 dwellings to the rental market would clearly make a difference to the current vacancy rate, albeit that this is not an issue that is dealt with by the planning scheme.)
- Concerns regarding traffic, parking and amenity impacts, are considered to be adequately addressed by the imposition of a condition requiring a visitor accommodation management plan. A draft management plan is provided at Attachment C. This plan requires information to be set out providing:
 - That a manager will be appointed, including detailing name and phone number, and that they are contactable 24hrs.
 - What the maximum number of guests to be on site at any one time.
 - What the maximum number of vehicles that can be accommodated on site at any one time, and that guests are requested to use on-site parking.
 - That the property is to be used in a way that is respectful of the surrounding long term residents. This includes keeping noise to a minimum and not having parties.
 - A waste management protocol.
 - That the management plan will be circulated to all neighbouring properties at a minimum.
- In relation to the concern that there will be more than one booking at a time, the applicant has stated that 'it will only be rented out as a single entity'. A condition of approval to ensure this is the case and provide clarity on the issue is recommended.

- 7.3 The proposal has been assessed against the relevant provisions of the planning scheme and is considered to be supportable.

- 7.4 The proposal has been assessed by other Council officers, including the Council's Environmental Development Planner. The officer raised no objection to the proposal.
- 7.5 The proposal is recommended for approval.

8. Conclusion

- 8.1 The proposed Change of Use to Visitor Accommodation at 4 Mitah Crescent, Sandy Bay, satisfies the relevant provisions of the *Hobart Interim Planning Scheme 2015*, and as such is recommended for approval.

9. Recommendations

That: Pursuant to the *Hobart Interim Planning Scheme 2015*, the Council approve the application for Change of Use to Visitor Accommodation at 4 Mitah Crescent, Sandy Bay, for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

GEN

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-22-200 4 MITAH CRESCENT SANDY BAY TAS 7005 - Final Planning Documents except where modified below.

Reason for condition

To clarify the scope of the permit.

PLN 18

Prior to the commencement of the approved use, a management plan for the operation of the visitor accommodation must be submitted and approved as a Condition Endorsement, to the satisfaction of the Council's Director City Life. The management plan must include measures to limit, manage and mitigate unreasonable impacts upon the amenity of long term residents. These measures must include, but are not limited to, the following requirements:

1. **To limit, manage, and mitigate noise generated as a result of the visitor accommodation.**
2. **To limit, manage, and mitigate behaviour issues caused as a result of the visitor accommodation.**
3. **To maintain the security of the building where the visitor accommodation would be located, including managing and/or limiting access to shared areas and facilities.**
4. **To specify the maximum permitted occupancy of the visitor accommodation.**
5. **To provide a name and contact phone number of a person who will respond to any complaints regarding behaviour of guests. If the property is sold the Visitor Accommodation Management Plan (VAMP) must be updated with new contact details.**

Once approved, the management plan must be implemented prior to the

commencement of the approved use and must be maintained for as long as the visitor accommodation is in operation. The VAMP must be provided to adjacent property owners and occupiers within 14 days of being approved. If the property is sold, the updated VAMP (in accordance with 5. above) must be provided to adjacent property owners and occupiers within 10 business days of settlement.

Advice:

This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.

Reason for condition

To ensure that visitor accommodation does not cause an unreasonable loss of residential amenity.

PLN s1

The approved visitor accommodation use must not have multiple bookings at the one time.

This stipulation must also be set out in the visitor management plan as required by condition PLN 18 above.

Advice: The intent of this condition is to ensure that only one person or group of persons, under a single booking, can utilise the property at any one time. It is the intent of this condition to prevent the property from being rented out to multiple different people or groups of people at the same time.

Reason for condition

In accordance with the stated intent of the applicant, in the interests of the amenity of neighbouring properties, and to clarify the scope of the permit.

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

CONDITION ENDORSEMENT

If any condition requires that further documents are submitted and approved, you will need to submit the relevant documentation to satisfy the condition via the Condition Endorsement Submission on Council's [online services e-planning portal](#). Detailed instructions can be found [here](#).

A fee of 2% of the value of the works for new public assets (stormwater infrastructure, roads and related assets) will apply for the condition endorsement application.

Once approved, the Council will respond to you via email that the condition has been endorsed (satisfied).

Where building approval is also required, it is recommended that documentation for condition endorsement be submitted well before submitting documentation for building approval. Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.

VISITOR ACCOMMODATION

More information on visitor accommodation, including when building approval is required, can be found [here](#).

In all cases, check with your insurance company that you have adequate cover.

If you are in a bushfire prone area there may be a need to create/review the Bushfire Management Hazard Plan for your property.

If you have a spa or a pool at your property then you are required to test for microbiological quality and chemical parameters on a monthly basis, under the *Public Health Act 1997*. If you have any questions about this then please call our Environmental Health team on 6238 2711.

If you are providing food for consumption on the property, you may require a food business registration in accordance with the *Food Act 2003*. Click [here](#) for more information, or call our Environmental Health team on 6238 2711.

Visitor accommodation is also considered to be a commercial use and also not eligible to residential parking permits. Under the current policy for the issuing of residential parking permits, the proposed change of use to visitor accommodation

would not entitle the property to a residential parking permit, or a transferable "bed and breakfast" parking permit.



(Ben Ikin)

Senior Statutory Planner

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.



(Karen Abey)

Manager Development Appraisal

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

Date of Report: 11 May 2022

Attachment(s):

Attachment B - CPC Agenda Documents

Attachment C -Draft Visitor Accommodation Management Plan

Planning: #254212

Property

4 MITAH CRESCENT SANDY BAY TAS 7005

**People****Applicant ***

SSCP HOLDINGS PTY LTD
Tik Chan
14 Walker Avenue
Newstead QLD 4006
449758612
tikshunchan@hotmail.com

Owner *

Justine Gillingham
4 Mitah Crescent
SANDY BAY TAS 7005
62312355
mel@goodconvey.com

Entered By

TIK CHAN
0449 758 612
tikshunchan@hotmail.com

Use

Tourism

Details

Have you obtained pre application advice?

☐ No

If YES please provide the pre application advice number eg PAE-17-xx

Are you applying for permitted visitor accommodation as defined by the State Government Visitor Accommodation Standards? Click on help information button for definition. If you are not the owner of the property you MUST include signed confirmation from the owner that they are aware of this application. *

☐ Yes

Is the application for SIGNAGE ONLY? If yes, please enter \$0 in the cost of development, and you must enter the number of signs under Other Details below. *

☐ No

If this application is related to an enforcement action please enter Enforcement Number

Details

What is the current approved use of the land / building(s)? *

residential

Please provide a full description of the proposed use or development (i.e. demolition and new dwelling, swimming pool and garage) *

Short stay rentals such as AirBnB

Estimated cost of development *

1000.00

Existing floor area (m2)

Proposed floor area (m2)

Site area (m2)

Carparking on Site

Total parking spaces

Existing parking spaces

N/A

☒ Other (no selection chosen)

Other Details

Does the application include signage? *

☒ No

How many signs, please enter 0 if there are none involved in this application? *

0

Tasmania Heritage Register

Is this property on the Tasmanian Heritage Register?

☒ No

Documents

Required Documents

Title (Folio text and Plan and chant_5-04-2022_15-59-15.pdf
Schedule of Easements) *

Plans (proposed, existing) * chant_5-04-2022_15-59-03.pdf

Building self assessment Form permitted visitor accommodation
chant_5-04-2022_15-58-50.pdf

6th April 2022

Attention to:

Mr Ben Ikin

Senior Statutory Planner

City Life

Email: coh@hobartcity.com.au

Dear Mr Ikin

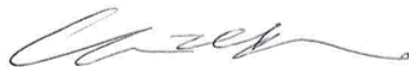
RE: 4 Mitah Crescent Sandy Bay – Change of Use To Visitor Accommodation Application No.
PLN-22-200

I am writing to reply your 3 questions:

- 1) Renting it out as a single entity only;
- 2) The entire double garage is for a single entity use only;
- 3) No work needs to be done to the current building and land for the change of use.

Thank you for your attention.

Kind Regards



Tik Chan (SSCP HOLDINGS PTY LTD)

Mobile: 0449758612



RESULT OF SEARCH

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



SEARCH OF TORRENS TITLE

VOLUME	FOLIO
48625	1
EDITION	DATE OF ISSUE
11	12-Oct-2021

SEARCH DATE : 13-Dec-2021

SEARCH TIME : 10.22 AM

DESCRIPTION OF LAND

City of HOBART

Lot 1 on Diagram 48625

Being the land described in Conveyance No. 57/5590

Derivation : Part of 56A-2R-0Ps. Gtd. to A. Crombie

Prior CT 4754/45

SCHEDULE 1

M895099 TRANSFER to JUSTINE ELIZABETH GILLINGHAM Registered
26-Jun-2021 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
23/1173 CONVEYANCE - Burdening Easement: Right to lay
maintain and use (For The Hobart City Council) over
the Pipeline Easement shown passing through the said
land within described on Diagram No. 48625
E275993 MORTGAGE to Perpetual Trustee Company Limited
Registered 12-Oct-2021 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

theList

FOLIO PLAN

RECORDER OF TITLES

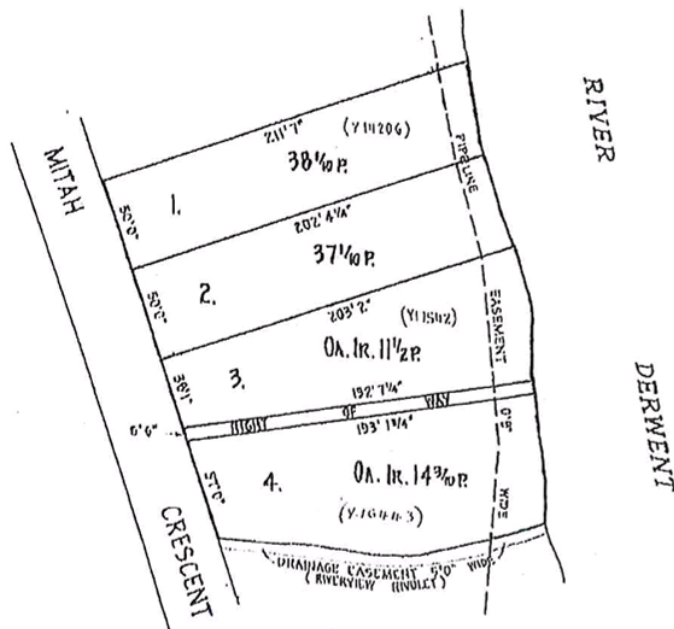
Issued Pursuant to the Land Titles Act 1980



APPROVED 12 MAR 1991. <i>[Signature]</i> RECORDED IN DTLS FOR HOBART 9.14206	CONVERSION PLAN DERIVED FROM 57/5590 (11/40) 26 PART OF 56.2.0 GTO TO ANDREW CROMBIE	REGISTERED NUMBER D.48625 DRAWN M.J.S. 28.2.01
--	---	--

SKETCH BY WAY OF ILLUSTRATION ONLY

CITY/TOWN OF HOBART
LAND DISTRICT OF
PARISH OF
TERMINUS AND DISTRICTS, NOT TO SCALE
DIMENSIONS IN BRACKETS IN LUKS/FEET & INCHES



(SP. 522404)

Search Date: 20 Jul 2018

Search Time: 09:45 PM

Volume Number: 48625

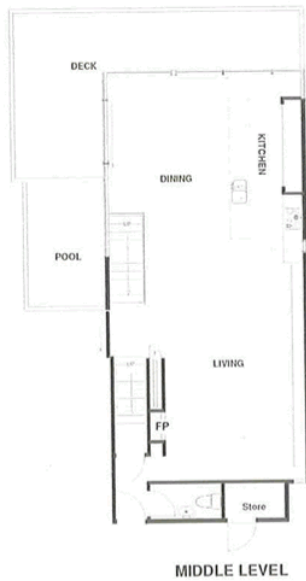
Revision Number: 01

Page 1 of 1

Department of Primary Industries, Parks, Water and Environment

*including plant room, which is for
the swimming pool, and it is not
accessible for all guests.*

Approx Internal Space 306 sqm



Disclaimer: All measurements and floor plan details are for informational purposes only. We make no warranty or representation, expressed or implied, as to the accuracy of this drawing. Independent property survey is recommended. The approximate internal area measurement does not include the ground and outdoor area of the property.

BUILDING SELF-ASSESSMENT FORM**Director's Determination – Short or Medium Term Visitor Accommodation****Section 20(1)(e) of Building Act 2016**

This form must be completed where an existing dwelling or residential premises is used or intended to be used for short or medium term visitor accommodation, and a fee is being charged for such use, where:

- the dwelling or residential premises is used by the owner or occupier as their main place of residence and it has more than four bookable rooms, or
- the dwelling or residential premises is not used by the owner or occupier and it less than 300m².

The completed form must be lodged with the relevant Permit Authority.

To: Hobart City Council Permit Authority
 _____ Address
 _____ Suburb/postcode

Owner / Occupier details:

(Only an owner or occupier may complete this form)

Owner / Occupier:
(Delete one not applicable)

Justine Gillingham

Postal Address:

4 Mitah Crescent
Sandy Bay 7005

Phone
No:

Email address:

Address of Existing Dwelling or Residential Premises to be used or intended to be used for Short or Medium Term Visitor Accommodation:

Street Address:

4 Mitah Crescent
Sandy Bay 7005

Certificate of Title
Reference No:

48625

Owner / Occupier Declaration:

I/we, as the ~~owner~~ occupier of the property, declare that the property meets the minimum building requirements as set out below:

applicant
 Owner/Occupier:
(Delete one not applicable)

Name: [print]

Tik Chan

Signed

[Signature]

Date

5/5/22

(will be the owner of property by 2/6/22)

Occupancy Permit:

(Must tick one)



(a) an Occupancy Permit is not required;

OR



(b) an Occupancy Permit has been issued, and the number of occupants stated on the permit is not exceeded.

Plumbing:

(Must tick one)

☒

- (a) the building is connected to a reticulated sewerage system;

OR

☐

- (b) the building has an Accredited On-site wastewater management system (Oswms) that:
- (i) is in good working order and will be maintained to perform to the same standard as it was designed;
 - (ii) has a land application distribution area designed, installed and in good serviceable condition;
 - (iii) the maximum number of occupants of the premises the system is designed for is not exceeded;
 - (iv) there is a maintenance contract in place for the servicing of the system; and
 - (v) the premises:
 - a. is connected to a reticulated drinking water supply system; or
 - b. is provided with a private drinking water supply (including from a tank, well, dam, etc.) that meets Australian Drinking Water Guidelines.

Essential Building Services:

(Must tick one)

☐

- (a) the building has an approved essential maintenance schedule, and fire safety features are maintained in accordance with Part 7 (regulations 72 to 78) of the
- Building Regulations 2016*
- ;

OR

☒

- (b) the building is not required to have an approved essential maintenance schedule, but the following fire safety features are maintained in accordance with manufacturer's instructions:
- (i) hardwired smoke alarms, that are interconnected where there is more than one alarm; or a smoke alarm with a sealed 10-year battery;
 - (ii) smoke alarms fitted as per the National Construction Code, in any hallways outside bedrooms, at least one smoke alarm on each storey and on the lowest point of the ceiling; and
 - (iii) properties within multistorey buildings have exits that are clearly marked and mapped for the visitor.

VISITOR MANAGEMENT PLAN

PROPERTY ADDRESS:

PLANNING PERMIT REF.:

CONDITION NO.:

CURRENT MANAGER'S NAME:

CURRENT MANAGER'S NO.:

This visitor management plan sets out the requirements which must be met while the visitor accommodation use operates at this property in order to limit, manage and mitigate unreasonable impacts upon the amenity of surrounding properties.

It is a mandatory requirement that this visitor management plan is complied with and if it is breached then this will constitute a breach of the planning permit, which may give rise to enforcement action by the Hobart City Council.

The operators of the visitor accommodation at the property must comply with the following requirements:

1. Appoint a Manager who will actively manage the property.

The Manager who is specified above is the initial Manager. If the Manager and/or their phone number changes, the new name and/or phone number must be provided within 24 hours to:

- (a) the City Planning Division of the City of Hobart by emailing planning@hobartcity.com.au; and
- (b) each neighbouring property, including those properties which are next to the property, over the road and behind the property.

The Manager must take steps to ensure that all bookings and use of the property comply with this visitor management plan.

2. The maximum number of guests allowed to use the property is [x]

All online booking platforms listing the visitor accommodation and all guest check in notices will state the following:

- (a) The maximum number of guests who are permitted to use the property is [x].
- (b) If you are planning to have more than [x] visitors at the property during your stay, please discuss your plans with us right now.

The guest numbers of all bookings must be monitored by the Manager of the visitor accommodation.

- 3. The maximum number of vehicles to be associated with guests is [x] standard vehicles that are all capable of being driven onto the site.**

All online booking platforms listing the visitor accommodation and all guest check in notices will state the following:

- (a) The maximum number of vehicles which may be associated with any booking is [x] standard vehicles that are all capable of being driven onto the site.
- (b) Guests are requested to use on-site parking.

- 4. The property must be used in a way which is respectful of the residential setting of the property.**

All online booking platforms listing the visitor accommodation and all guest check in notices will state the following:

- (a) We expect all guests treat our house with respect.
- (b) Guests are advised to be respectful of the residential setting of the visitor accommodation at all times, and to keep noise to a minimum, especially when using any outdoor areas of the property including the property's decks and balconies.
- (c) The property is not to be used for parties or functions.
- (d) The Manager of the visitor accommodation will monitor the behaviour of all guests. If any neighbours make any complaint to the Manager of the visitor accommodation, the Manager of the visitor accommodation will immediately visit the site to address that complaint.
- (e) If the Manager's directions are not complied with then the booking may be terminated immediately and/or your security deposit may be retained.

A security deposit of [x] must be obtained for each booking and must only be returned to guests if there are no complaints from neighbours to the Manager regarding noise or inappropriate behaviour.

- 5. An appropriate waste management protocol must be implemented.**

The Manager must ensure that bins, including recycling, are placed for Council collection each week, unless the property has not been used

3

during that week, and return the bins to the property within 24 hours of Council collection.

6. Circulation of this visitor management plan

This visitor management plan must be provided to each neighbouring property, including those properties which are next to the property, over the road and behind the property prior to the commencement of the visitor accommodation use.

Approved by the Hobart City Council

7.1.2 5 CLAREDON STREET, NEW TOWN - DWELLING AND FRONT FENCING
PLN-21-793 - FILE REF: F22/46455

Address: 5 Clarendon Street, New Town
Proposal: Dwelling and Front Fencing
Expiry Date: 21 June 2022
Extension of Time: Not applicable
Author: Michael McClenahan

RECOMMENDATION

That pursuant to the *Hobart Interim Planning Scheme 2015*, the City Planning Committee, in accordance with the delegations contained in its terms of reference, approve the application for a dwelling and front fencing, at 5 Clarendon Street, New Town 7008 for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

GEN

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-21-793 - 5 CLARENDON STREET NEW TOWN TAS 7008 - Final Planning Documents except where modified below.

Reason for condition

To clarify the scope of the permit.

ENG sw1

All stormwater from the proposed development (including but not limited to: roofed areas, ag drains, retaining wall ag drains and impervious surfaces such as driveways and paved areas) must be drained to the Council's stormwater infrastructure prior to first occupation or commencement of use (whichever occurs first).

Advice:

Under section 23 of the Urban Drainage Act 2013 it is an offence for a property owner to direct stormwater onto a neighbouring property.

Reason for condition

To ensure that stormwater from the site will be discharged to a suitable Council approved outlet.

SW 9

Prior to occupancy or the commencement of the approved use (whichever occurs first), stormwater detention for stormwater discharges from the development must be installed.

A stormwater management report and design must be submitted and approved as a Condition Endorsement prior to the issue of any approval under the *Building Act 2016* or the commencement of work on the site (whichever occurs first). The stormwater management report and design must be prepared by a suitably qualified engineer and must:

1. include detailed design and supporting calculations of the detention tank showing:
 1. detention tank sizing such that there is no increase in flows from the developed site up to 5% AEP event and no worsening of flooding;
 2. the layout, the inlet and outlet (including long section), outlet size, overflow mechanism and invert level;
 3. the discharge rates and emptying times; and
 4. all assumptions must be clearly stated;
2. include a supporting maintenance plan, which specifies the required maintenance measures to check and ensure the ongoing effective operation of all systems, such as: inspection frequency; cleanout procedures; descriptions and diagrams of how the installed systems operate; details of the life of assets and replacement requirements.

All work required by this condition must be undertaken and maintained in accordance with the approved stormwater management report and design.

Advice:

This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.

ENG 3a

The access driveway and parking area must be constructed in accordance with the following documentation which forms part of this permit: Engineering Plus drawing number 27621 A01 revision B received by the Council on 6 April 2022).

Any departure from that documentation and any works which are not detailed in the documentation must be either:

- (a) approved by the Director City Life, via a condition endorsement application; or
- (b) designed and constructed in accordance with Australian Standard AS/NZ 2890.1:2004.

The works required by this condition must be completed prior to first occupation.

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

ENG 4

The access driveway and parking module (car parking spaces, aisles and manoeuvring area) approved by this permit must be constructed to a sealed standard (spray seal, asphalt, concrete, pavers or equivalent Council approved) and surface drained to the Council's stormwater infrastructure prior to the commencement of use.

Reason for condition

To ensure the safety of users of the access driveway and parking module, and that it does not detract from the amenity of users, adjoining occupiers or the environment by preventing dust, mud and sediment transport.

ENG 1

Any damage to council infrastructure resulting from the implementation of this permit, must, at the discretion of the Council:

1. Be met by the owner by way of reimbursement (cost of repair and reinstatement to be paid by the owner to the Council); or
2. Be repaired and reinstated by the owner to the satisfaction of the Council.

A photographic record of the Council's infrastructure adjacent to the subject site must be provided to the Council prior to any commencement of works.

A photographic record of the Council's infrastructure (e.g. existing property service connection points, roads, buildings, stormwater, footpaths, driveway crossovers and nature strips, including if any, pre-existing damage) will be relied upon to establish the extent of damage caused to the Council's infrastructure during construction. In the event that the owner/developer fails to provide to the Council a photographic record of the Council's infrastructure, then any damage to the Council's infrastructure found on completion of works will be deemed to be the responsibility of the owner.

Reason for condition

To ensure that any of the Council's infrastructure and/or site-related service connections affected by the proposal will be altered and/or reinstated at the owner's full cost.

ENG r4

All gates must not encroach (open or closed) onto the road reservation as per section 52 of the *Local Government (Highways) Act 1982*. The entire gate (open or closed) and all mechanisms associated with any gates must be fully contained within the boundaries of the subject property.

Reason for condition

To ensure the development meets statutory requirements and does not present a hazard to pedestrians on the public footpath.

ENV 1

Sediment and erosion control measures sufficient to prevent sediment from leaving the site must be installed prior to any disturbance of the site, and maintained until all areas of disturbance have been stabilized or re-vegetated.

Advice:

For further guidance in preparing a Soil and Water Management Plan – in accordance with Fact sheet 3 Derwent Estuary Program click [here](#).

Reason for condition

To avoid the sedimentation of roads, drains, natural watercourses, Council land that could be caused by erosion and runoff from the development, and to comply with relevant State legislation.

HER 15

The front fence along the Clarendon Street boundary must be no more than 1.5 meters in height above natural ground level and have a uniform transparency of no less than 30%.

Reason for condition

To ensure that development at a heritage precinct is undertaken in a sympathetic manner which does not cause loss of historic cultural heritage significance.

HER 17a

The palette of exterior colours, must reflect the palette of colours within the local streetscape and precinct.

Prior to the issue of any approval under the *Building Act 2016*, revised plans must be submitted and approved as a Condition Endorsement showing exterior colours in accordance with the above requirement.

All work required by this condition must be undertaken in accordance with the approved plans.

Advice:

This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.

Reason for condition

To ensure that development at a heritage precinct is undertaken in a sympathetic manner which does not cause loss of historic cultural heritage significance.

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

CONDITION ENDORSEMENT

If any condition requires that further documents are submitted and approved, you will need to submit the relevant documentation to satisfy the condition via the Condition Endorsement Submission on Council's [online services e-planning portal](#). Detailed instructions can be found [here](#).

A fee of 2% of the value of the works for new public assets (stormwater infrastructure, roads and related assets) will apply for the condition endorsement application.

Once approved, the Council will respond to you via email that the condition has been endorsed (satisfied).

Where building approval is also required, it is recommended that documentation for condition endorsement be submitted well before submitting documentation for building approval. Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.

BUILDING PERMIT

You may need building approval in accordance with the *Building Act 2016*. Click [here](#) for more information.

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

PLUMBING PERMIT

You may need plumbing approval in accordance with the *Building Act 2016*, *Building Regulations 2016* and the National Construction Code. Click [here](#) for more information.

GENERAL EXEMPTION (TEMPORARY) PARKING PERMITS

You may qualify for a General Exemption permit for construction vehicles i.e. residential or meter parking/loading zones. Click [here](#) for more information.

STORMWATER

Please note that in addition to a building and/or plumbing permit, development must be in accordance with the Hobart City Council's Infrastructure By law. Click [here](#) for more information.

WEED CONTROL

Effective measures are detailed in the Tasmanian Washdown Guidelines for Weed and Disease Control: Machinery, Vehicles and Equipment (Edition 1, 2004). The guidelines can be obtained from the Department of Primary Industries, Parks, Water and Environment [website](#).

WORK PLACE HEALTH AND SAFETY

Appropriate occupational health and safety measures must be employed during the works to minimise direct human exposure to potentially-contaminated soil, water, dust and vapours. Click [here](#) for more information.

NOISE REGULATIONS

Click [here](#) for information with respect to noise nuisances in residential areas.

WASTE DISPOSAL

It is recommended that the developer liaise with the Council's Cleansing and Solid Waste Unit regarding reducing, reusing and recycling materials associated with demolition on the site to minimise solid waste being directed to landfill.




Further information regarding waste disposal can also be found on the Council's [website](#).

FEES AND CHARGES

Click [here](#) for information on the Council's fees and charges.

DIAL BEFORE YOU DIG

Click [here](#) for dial before you dig information.

- | | |
|---------------|--|
| Attachment A: | PLN-21-793 - 5 CLARENDON STREET NEW TOWN TAS 7008 - Planning Committee or Delegated Report ↓  |
| Attachment B: | PLN-21-793 - 5 CLARENDON STREET NEW TOWN TAS 7008 - CPC Agenda Documents ↓  |
| Attachment C: | PLN-21-793 - 5 CLARENDON STREET NEW TOWN TAS 7008 - Planning Referral Officer Cultural Heritage Report ↓  |

**APPLICATION UNDER HOBART INTERIM PLANNING SCHEME 2015**

Type of Report: Committee
Committee: 23 May 2022
Expiry Date: 21 June 2022
Application No: PLN-21-793
Address: 5 CLARENDON STREET , NEW TOWN
Applicant: Narelle Lobdale (Engineering Plus)
81 Elizabeth Street
Proposal: Dwelling and Front Fencing
Representations: Four
Performance criteria: Inner Residential Zone Development Standards
Parking and Access Code
Historic Heritage Code

1. Executive Summary

- 1.1 Planning approval is sought for a Dwelling and Frontage Fence, at 5 Clarendon Street, New Town.
- 1.2 More specifically the proposal includes:
 - Construction of new single storey dwelling including three bedroom, one bathroom, kitchen ,dining, covered deck, and attached garage and store room.
 - 1.8 m timber paling fence on the primary frontage
- 1.3 The proposal relies on performance criteria to satisfy the following standards and codes:
 - 1.3.1 Inner Residential Zone - Setbacks and Building Envelope, Frontage Fence
 - 1.3.2 Parking and Access Code -Design of Vehicular Accesses
 - 1.3.3 Historic Heritage Code - Building and Works other than Demolition in a Heritage Precinct
- 1.4 Four (4) representations objecting to the proposal were received within the statutory advertising period between 20/05/22 - 05/05/22.

- 1.5 The proposal is recommended for approval subject to conditions.
- 1.6 The final decision is delegated to the City Planning Committee, because four objections to the proposal were received during the statutory advertising period.

2. Site Detail

- 2.1 The subject site is located at 5 Clarendon Street, New Town and comprises a single residential lot approximately 506m² in size. The site is presently vacant after a structural fire in 2020, the single dwelling on the site was subsequently demolished. The surrounding area is characterised by residential uses to the immediate east, north and west and the Intercity Cycle Way directly to the south.



Figure 1: Aerial image of the subject site (bordered in blue) and surrounding area. Note aerial image is dated 2019 and illustrates previous structure on the site.

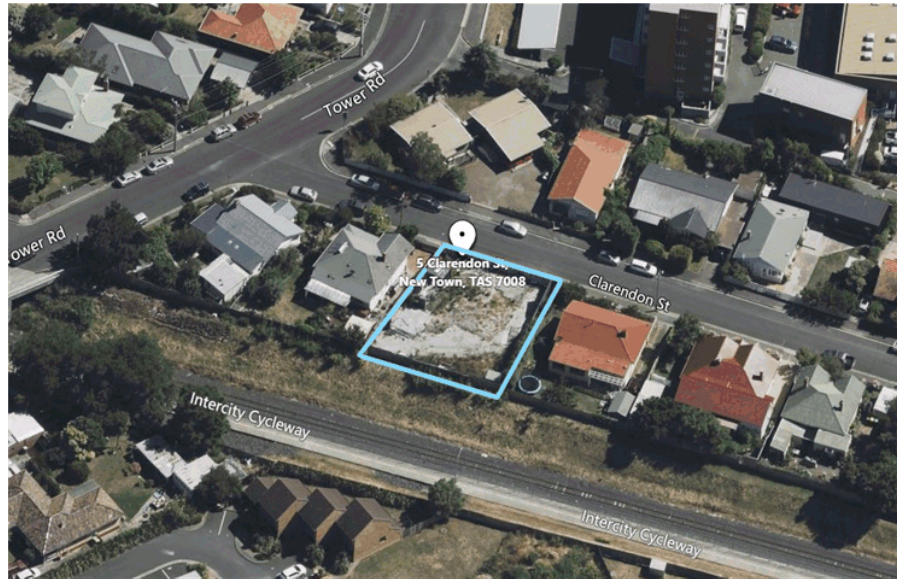
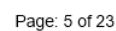
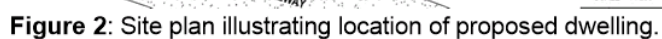


Figure 2: Aerial image of the subject site (bordered in blue) illustrating vacant state.

3. Proposal

- 3.1 Planning approval is sought for a Dwelling and Frontage Fence, at 5 Clarendon Street, New Town.
- 3.2 More specifically the proposal is for:
 - Construction of new single storey dwelling including three bedroom, one bathroom, kitchen ,dining, covered deck, and attached garage and store room
 - Installation of new driveway
 - 1.8 m timber fence on primary frontage



4. Background

- 4.1 The site previously contained a single dwelling which suffered a structural fire in 2020 and was subsequently demolished leaving the site vacant.

5. Concerns raised by representors

- 5.1 Four (4) representations objecting to the proposal were received within the statutory advertising period between 20/04/22 - 5/05/22.
- 5.2 The following table outlines the concerns raised in the representations received. Those concerns which relate to a discretion invoked by the proposal are addressed in Section 6 of this report.

Fencing height is not consistent with the characteristics of other homes in the street which are predominately low in height and do not have any long sections above 1.5m in height
Concern that fencing will return to corrugated iron topped with barbed wire
Concern that the height of the the fence will obstruct the facade of the dwelling

6. Assessment

- 6.1 The *Hobart Interim Planning Scheme 2015* is a performance based planning scheme. To meet an applicable standard, a proposal must demonstrate compliance with either an acceptable solution or a performance criterion. Where a proposal complies with a standard by relying on one or more performance criteria, the Council may approve or refuse the proposal on that basis. The ability to approve or refuse the proposal relates only to the performance criteria relied on.
- 6.2 The site is located within the Inner Residential Zone of the *Hobart Interim Planning Scheme 2015*.
- 6.3 The existing use is Residential (single dwelling). There is no proposed change of use. The existing use is a no permit required use in the zone.
- 6.4 The proposal has been assessed against:

- 6.4.1 D11.0 Inner Residential Zone
 - 6.4.2 E6.0 Parking and Access Code
 - 6.4.3 E7.0 Stormwater Management Code
 - 6.4.4 E13.0 Historic Heritage Code
- 6.5 The proposal relies on the following performance criteria to comply with the applicable standards:
- 6.5.1 Inner Residential Zone:
 - Setbacks and Building Envelope - D11.4.2 P1; P3*
 - Frontage Fence - D11.4.7 P1*
 - 6.5.2 Parking and Access Code:
 - Design of Vehicular Accesses - E6.7.2 P1*
 - 6.5.3 Historic Heritage Code:
 - Building and Works other than Demolition in a Heritage Precinct- E13.8.2 P1; P4*
- 6.6 Each performance criterion is assessed below.
- 6.7 Setbacks and Building Envelope - D11.4.2 P1
- 6.7.1 The acceptable solution at clause 11.4.2 A1 requires that for a vacant site and there are existing dwellings on adjoining properties on the same street, not more than the greater, or less than the lesser, setback.
 - 6.7.2 The proposal includes a setback of 2.06m from the primary frontage which is less than the setback of either adjoining property.
 - 6.7.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.
 - 6.7.4 The performance criterion at clause 11.4.2 P1 provides as follows:
 - A dwelling must have a setback from a frontage that is compatible with*

the streetscape having regard to any topographical constraints.

6.7.5 The properties at 2-4, 8, and 13 Clarendon Street all have similar reduced setbacks from the primary frontage. The proposed setback of 2.06m will be compatible with the streetscape immediately surrounding the subject site with the siting to match the position of the original dwelling.

6.7.6 The proposal complies with the performance criterion.

6.8 Setbacks and Building Envelope - D11.4.2 P3

6.8.1 The acceptable solution at clause 11.4.2 A4 requires that a dwelling must be contained within a building envelope, including a front and rear setback, and that walls do not exceed 9m if within 1.5m of a side boundary.

6.8.2 The proposal includes a setback of 2.06m from the primary frontage and 0m from the rear boundary, and there is more than 9m of wall within 1.5m of the western side boundary.

6.8.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.

6.8.4 The performance criterion at clause 11.4.2 P3 provides as follows:

The siting and scale of a dwelling must:

(a) not cause an unreasonable loss of amenity to adjoining properties, having regard to:

(i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property;

(ii) overshadowing the private open space of a dwelling on an adjoining property;

(iii) overshadowing of an adjoining vacant property; or

(iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property; and

(b) provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area.

- 6.8.5 The proposal will include the reconstruction of a single storey single dwelling which was previously located on the site. The dwelling will be sited within the frontage setback and also will include a garage and covered area at the rear of the site which will be within the rear setback. Shadow diagrams provided by the applicant illustrate that the proposed dwelling will see overshadowing primarily concentrated to the south, across the Intercity Cycle Way from 9:00am until 1:30pm on June 21st. Between 1:30pm and 3:00pm this shadow will begin to fall on the adjoining property to the east, 7 Clarendon Street. The supplied diagrams do not indicate that due to the distance between dwellings there will be no reduction in sunlight to the dwelling on the adjoining property. Any shadows which do reach a window to a habitable room will not be for a sustained period of time, likely in the late afternoon, which is not assessed as not being to an extent that would cause an unreasonable loss of amenity.

As above, the shadows falling on 7 Clarendon Street in the afternoon will only impact the western side of this property and will otherwise leave the remaining private open space free of overshadowing. This limited area of impact is assessed as not causing an unreasonable loss of amenity.

With respect to visual impacts, the proposed dwelling will be only a single storey building and reconstructed in the same design as the original dwelling on the site, which is in keeping with the style of properties in the surrounding area. The scale will remain consistent with that in the surrounding area and will not create any instances of unreasonable bulk or proportions that could create visual impacts when viewed from an adjoining property.

The separation between dwellings will remain consistent with that existing on established properties in the area.

- 6.8.6 The proposal complies with the performance criterion.

6.9 Frontage Fence - D11.4.7 P1

- 6.9.1 There is no acceptable solution for clause 11.4.7 A1.

- 6.9.2 The proposal includes a 1.8m high paling fence.

6.9.3 There is no acceptable solution; therefore assessment against the performance criterion is relied on.

6.9.4 The performance criterion at clause 11.4.7 P1 provides as follows

A fence (including a free-standing wall) for a dwelling within 4.5m of a frontage must:

(a) provide for security and privacy while allowing for passive surveillance of the road; and

(b) be compatible with the height and transparency of fences in the street, having regard to:

(i) the topography of the site; and

(ii) traffic volumes on the adjoining road.

6.9.5 The proposed fence will be approximately 1.8m high and extend for the length of the site frontage, except for driveway entrance. The height of the fence will provide for security and privacy on the subject site whilst still allowing for passive surveillance of the road.

With respect to compatibility, several representations received during the statutory advertising period raised issue with the proposed height and its compatibility with the street. No details of the transparency of the fence has been provided. With respect to compatibility in the street, other examples range between 1.8m, for a small length of the primary frontage at 7 Clarendon Street, 1.5m at 8 and 12 Clarendon Street, and 1.2m or lower at 2-4, 3, 6, 7, 9, and 11 Clarendon Street. The subject site has no irregular topography with the area around the frontage remaining flat and level with the street and Clarendon street is a no through road and as such would have no significant traffic volumes. The assessment is that the proposed fence of a height of 1.8m is not in compliance with the performance criterion, a condition requiring that the fence height be lowered to 1.5m with a transparency of 30% is recommended as an acceptable height and design. This conditional approval is also recommended by Council's Cultural Heritage Officer.

6.9.6 The proposal complies with the performance criterion.

6.10 Design of Vehicular Accesses - E6.7.2 P1

- 6.10.1 The acceptable solution at clause 6.7.2 A1 requires that in the case of non-commercial vehicle access; the location, sight distance, width and gradient of an access must be designed and constructed to comply with section 3 – “Access Facilities to Off-street Parking Areas and Queuing Areas” of AS/NZS 2890.1:2004 Parking Facilities Part 1: Off-street car parking.
- 6.10.2 Submitted plans indicate a sight triangle abutting the driveway entrance which is not kept clear of obstructions to visibility due to the proposed 1.8m high front fence and therefore will not be in compliance with the Australian Standards.
- 6.10.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.
- 6.10.4 The performance criterion at clause 6.7.2 P1 provides as follows:
- Design of vehicle access points must be safe, efficient and convenient, having regard to all of the following:*
- (a) avoidance of conflicts between users including vehicles, cyclists and pedestrians;*
- (b) avoidance of unreasonable interference with the flow of traffic on adjoining roads;*
- (c) suitability for the type and volume of traffic likely to be generated by the use or development;*
- (d) ease of accessibility and recognition for users.*
- 6.10.5 Referral was made to Council's Development Engineer who has provided the following assessment:
- Design of vehicle access points must be safe, efficient and convenient, having regard to all of the following:
- (a) avoidance of conflicts between users including vehicles, cyclists and pedestrians; - **Feasible**
- (b) avoidance of unreasonable interference with the flow of traffic on adjoining roads; - **Feasible**
- (c) suitability for the type and volume of traffic likely to be generated by the use or development; - **Feasible**

(d) ease of accessibility and recognition for users. - **Feasible**

Based on the above assessment and given the submitted documentation, sight lines to pedestrians will not be worsened and therefore may be accepted under Performance Criteria P1:E6.7.2 of the Planning Scheme.

6.10.6 The proposal complies with the performance criterion

6.11 Historic Heritage Code - E13.0

6.11.1 The subject site is located within a Historic Heritage Precinct and as such was referred to Council's Cultural Heritage Officer who has provided the following assessment:

This application seeks approval for the construction of a single storey weatherboard dwelling with garage and 1.8m high front boundary to a vacant plot at 5 Clarendon Street, New Town. The circumstances of the application are unusual in that the site was previously occupied by a three bedroom single storey, weather board residential property with rear garage. The property in question was the subject to a substantial house fire and was so significantly damaged as a result that the removal of what remnants remained was deemed a necessity. As such, whilst the site has a well- established history of occupation and built form, it is considered that the site is vacant.

The site fronts onto Clarendon Street and the rear boundary overlooks the Inter City Rail Line/Cycle Path. It forms part of the Tower Road Heritage Precinct (NT1)) as set out in the Hobart Interim Planning Scheme 2015.

This precinct is significant for reasons including:

1. It contains a largely intact collection of residential houses of Federation, Californian Bungalow, Interwar and Postwar character on original lots sizes with a consistent character, substantially single storey form, domestic scale, original external detailing, finishes and materials.
2. The housing stock demonstrates an historical pattern of housing development through the orientation of houses facing the street and carports and garages located to the rear and behind the front building line with one house per lot.
3. It demonstrates the development and expansion of a cohesive

residential suburban area located close to rail and tram routes and in close proximity to schools, churches and other major social and service infrastructure.

The proposal seeks permission for the erection of a single-storey weather board property. Although not an exact replica of the previous building on the site, the proposed new development would be substantially the same as the previous property in both form, massing, position and orientation on the plot. It's architectural form, whilst modest, would effectively read as a building from the late interwar period.

With regard to the visual impact, as with any development within a Heritage Precinct, the starting position must be whether the proposal would harm or detract from the distinctive character and historical/cultural significance of the townscape. In this instance, it is clear that the proposed property would adopt the same general form, design, materiality, scale and organization on the plot as those both in the immediate street scape and to the wider Precinct. The final colouration of the intended materials have not be provided, and it is considered that the ability of the new development to sit comfortably within the wider streetscape will in part be determined by how its pallet of colours reflects that of the residential streetscape. As such, it is considered that final approval of coloration should be subject to condition should approval be granted.

Based on the above therefore, it is considered that the proposed house would not appear overly jarring and would continue the sense of coherency within the Heritage precinct.

With regard to other elements of the proposal it is noted that the accompanying Heritage Impact Assessment Report submitted in support of the application states that the intended front boundary treatment is intended to be a 1.8m high timber picket fence. Whilst the height and design of front fencing is not specifically mentioned as one of the Precincts defining and significant features of its character, it is noted that consistency of character is identified as a factor, including external detailing that speaks of a cohesive residential suburb.

With this in mind, it is noted that when a visual survey is conducted within the 5 streetscapes that make up the Precinct, it is noted that no one style or height dominates, ranging from no front boundaries to sections of high solid fencing. However, it is considered that overwhelmingly the pattern of front boundary treatments are of low to mid-height fences, with high levels of transparency. Whilst it is noted that the previous building on the site

was enclosed by a solid metal fence of 1.8m in height, it is clear that this very much represented an unfortunate exception and had a detrimental impact upon the appearance of the street. Given that this fence has been removed along with the previous building, it is considered that this has provides little to no weight in formulating an argument that this should allow for an equally high fence to be established to the new dwelling.

It is noted that 4 representations have been received, all of which raise concerns as to the height of the proposed front fence with one specifically requesting that the front fence be limited to 1.2 metres in height, in order that it be "in keeping with the heritage and amenity of the street"

With regards to the above, it is considered reasonable in this instance to condition a reduction in height of the proposed new front boundary treatment. However, given the range of front boundary treatments, both within Clarendon Street and the wider Precinct, it is considered that a height of 1.5m would be an acceptable height. Whilst this would place it as one of the higher front boundary treatments within the Precinct, it would still sit within the range of existing fences and that when also conditioned to having a 30% transparency, it is considered that such a structure would not appear out of keeping with the local streetscapes and would not represent a detrimental feature within the Precinct.

Conclusion

It is therefore considered that subject to conditions relating to final approval of colouration of materials and reduction in height and provision of 30% transparency to the front fence, the proposal would not detract from the characteristics and wider townscape qualities of this Heritage Precinct and would thus comply with Clauses E.13.8.2 P1 and P4 of the HIPS.

Nick Booth
Heritage Officer
13 May 2022

- 6.11.2 The proposal complies with the performance criterion.

7. Discussion

- 7.1 Planning approval is sought for a Dwelling and Front Fencing, at 5 Clarendon Street, New Town.
- 7.2 The application was advertised and received four(4) representations. The representations raised concerns about the height of the proposed fence and that the fence would not be appropriate in the heritage precinct streetscape. Whilst there was a fence on the site, prior to demolition post-fire, of at least 1.8m this fence was never approved by Council and assessment of the proposal is not based on what previously existed on the site. Concerns were also raised about the gate opening outward on to the street, plans clearly illustrate the proposed gate opening inward to the site.
- Some representations raised concern the previous fence was to return, the proposed fence will not be constructed from corrugated iron or have any barbed wire.
- 7.3 The proposal has been assessed against the relevant provisions of the planning scheme and is considered to perform well.
- 7.4 The proposal has been assessed by other Council officers, including the Council's Development Engineer, Stormwater Engineer, and Cultural Heritage Officer. The officers have raised no objection to the proposal, subject to conditions.
- 7.5 The proposal is recommended for approval.

8. Conclusion

- 8.1 The proposed a Dwelling and Front Fencing, at 5 Clarendon Street, New Town satisfies the relevant provisions of the *Hobart Interim Planning Scheme 2015*, and as such is recommended for approval.

9. Recommendations

That: Pursuant to the *Hobart Interim Planning Scheme 2015*, the City Planning Committee, in accordance with the delegations contained in its terms of reference, approve the application for Dwelling and Front Fencing, at 5 Clarendon Street, New Town for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

GEN

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-21-793 - 5 CLARENDON STREET NEW TOWN TAS 7008 - Final Planning Documents except where modified below.

Reason for condition

To clarify the scope of the permit.

ENG sw1

All stormwater from the proposed development (including but not limited to: roofed areas, ag drains, retaining wall ag drains and impervious surfaces such as driveways and paved areas) must be drained to the Council's stormwater infrastructure prior to first occupation or commencement of use (whichever occurs first).

Advice:

Under section 23 of the Urban Drainage Act 2013 it is an offence for a property owner to direct stormwater onto a neighbouring property.

Reason for condition

To ensure that stormwater from the site will be discharged to a suitable Council approved outlet.

SW 9

Prior to occupancy or the commencement of the approved use (whichever occurs first), stormwater detention for stormwater discharges from the development must be installed.

A stormwater management report and design must be submitted and approved as a Condition Endorsement prior to the issue of any approval under the *Building Act 2016* or the commencement of work on the site (whichever occurs first). The stormwater management report and design must be prepared by a suitably qualified engineer and must:

1. include detailed design and supporting calculations of the detention tank showing:
 1. detention tank sizing such that there is no increase in flows from the developed site up to 5% AEP event and no worsening of flooding;
 2. the layout, the inlet and outlet (including long section), outlet size, overflow mechanism and invert level;
 3. the discharge rates and emptying times; and
 4. all assumptions must be clearly stated;
2. include a supporting maintenance plan, which specifies the required maintenance measures to check and ensure the ongoing effective operation of all systems, such as: inspection frequency; cleanout procedures; descriptions and diagrams of how the installed systems operate; details of the life of assets and replacement requirements.

All work required by this condition must be undertaken and maintained in accordance with the approved stormwater management report and design.

Advice:

This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.

ENG 3a

The access driveway and parking area must be constructed in accordance with the following documentation which forms part of this permit: Engineering Plus drawing number 27621 A01 revision B received by the Council on 6 April 2022).

Any departure from that documentation and any works which are not detailed in the documentation must be either:

(a) approved by the Director City Life, via a condition endorsement application; or

(b) designed and constructed in accordance with Australian Standard AS/NZ 2890.1:2004.

The works required by this condition must be completed prior to first occupation.

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

ENG 4

The access driveway and parking module (car parking spaces, aisles and manoeuvring area) approved by this permit must be constructed to a sealed standard (spray seal, asphalt, concrete, pavers or equivalent Council approved) and surface drained to the Council's stormwater infrastructure prior to the commencement of use.

Reason for condition

To ensure the safety of users of the access driveway and parking module, and that it does not detract from the amenity of users, adjoining occupiers or the environment by preventing dust, mud and sediment transport.

ENG 1

Any damage to council infrastructure resulting from the implementation of this permit, must, at the discretion of the Council:

1. **Be met by the owner by way of reimbursement (cost of repair and reinstatement to be paid by the owner to the Council); or**
2. **Be repaired and reinstated by the owner to the satisfaction of the Council.**

A photographic record of the Council's infrastructure adjacent to the subject site must be provided to the Council prior to any commencement of works.

A photographic record of the Council's infrastructure (e.g. existing property service connection points, roads, buildings, stormwater, footpaths, driveway crossovers and nature strips, including if any, pre-existing damage) will be relied upon to establish the extent of damage caused to the Council's infrastructure during construction. In the event that the owner/developer fails

to provide to the Council a photographic record of the Council's infrastructure, then any damage to the Council's infrastructure found on completion of works will be deemed to be the responsibility of the owner.

Reason for condition

To ensure that any of the Council's infrastructure and/or site-related service connections affected by the proposal will be altered and/or reinstated at the owner's full cost.

ENG r4

All gates must not encroach (open or closed) onto the road reservation as per section 52 of the *Local Government (Highways) Act 1982*. The entire gate (open or closed) and all mechanisms associated with any gates must be fully contained within the boundaries of the subject property.

Reason for condition

To ensure the development meets statutory requirements and does not present a hazard to pedestrians on the public footpath.

ENV 1

Sediment and erosion control measures sufficient to prevent sediment from leaving the site must be installed prior to any disturbance of the site, and maintained until all areas of disturbance have been stabilized or re-vegetated.

Advice:

For further guidance in preparing a Soil and Water Management Plan – in accordance with Fact sheet 3 Derwent Estuary Program click [here](#).

Reason for condition

To avoid the sedimentation of roads, drains, natural watercourses, Council land that could be caused by erosion and runoff from the development, and to comply with relevant State legislation.

HER 15

The front fence along the Clarendon Street boundary must be no more than 1.5 metres in height above natural ground level and have a uniform

transparency of no less than 30%.

Reason for condition

To ensure that development at a heritage precinct is undertaken in a sympathetic manner which does not cause loss of historic cultural heritage significance.

HER 17a

The palette of exterior colours, must reflect the palette of colours within the local streetscape and precinct.

Prior to the issue of any approval under the *Building Act 2016*, revised plans must be submitted and approved as a Condition Endorsement showing exterior colours in accordance with the above requirement.

All work required by this condition must be undertaken in accordance with the approved plans.

Advice:

This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.

Reason for condition

To ensure that development at a heritage precinct is undertaken in a sympathetic manner which does not cause loss of historic cultural heritage significance.

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

CONDITION ENDORSEMENT

If any condition requires that further documents are submitted and approved, you will

need to submit the relevant documentation to satisfy the condition via the Condition Endorsement Submission on Council's [online services e-planning portal](#). Detailed instructions can be found [here](#).

A fee of 2% of the value of the works for new public assets (stormwater infrastructure, roads and related assets) will apply for the condition endorsement application.

Once approved, the Council will respond to you via email that the condition has been endorsed (satisfied).

Where building approval is also required, it is recommended that documentation for condition endorsement be submitted well before submitting documentation for building approval. Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.

BUILDING PERMIT

You may need building approval in accordance with the *Building Act 2016*. Click [here](#) for more information.

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

PLUMBING PERMIT

You may need plumbing approval in accordance with the *Building Act 2016*, *Building Regulations 2016* and the National Construction Code. Click [here](#) for more information.

GENERAL EXEMPTION (TEMPORARY) PARKING PERMITS

You may qualify for a General Exemption permit for construction vehicles i.e. residential or meter parking/loading zones. Click [here](#) for more information.

STORM WATER

Please note that in addition to a building and/or plumbing permit, development must be in accordance with the Hobart City Council's Infrastructure By law. Click [here](#) for more information.

WEED CONTROL

Effective measures are detailed in the Tasmanian Washdown Guidelines for Weed

and Disease Control: Machinery, Vehicles and Equipment (Edition 1, 2004). The guidelines can be obtained from the Department of Primary Industries, Parks, Water and Environment [website](#).

WORK PLACE HEALTH AND SAFETY

Appropriate occupational health and safety measures must be employed during the works to minimise direct human exposure to potentially-contaminated soil, water, dust and vapours. Click [here](#) for more information.

NOISE REGULATIONS

Click [here](#) for information with respect to noise nuisances in residential areas.

WASTE DISPOSAL

It is recommended that the developer liaise with the Council's Cleansing and Solid Waste Unit regarding reducing, reusing and recycling materials associated with demolition on the site to minimise solid waste being directed to landfill.

Further information regarding waste disposal can also be found on the Council's [website](#).

FEES AND CHARGES

Click [here](#) for information on the Council's fees and charges.

DIAL BEFORE YOU DIG

Click [here](#) for dial before you dig information.



(Michael McClenahan)

Development Appraisal Planner

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.



(Ben Ikin)

Senior Statutory Planner

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

Date of Report: 16 May 2022

Attachment(s):

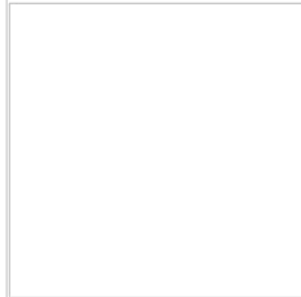
Attachment B - CPC Agenda Documents

Attachment C - Planning Referral Officer Report

Planning: #244712

Property

5 CLARENDON STREET NEW TOWN TAS 7008

**People**

Applicant

*

Engineering Plus
Narelle Lobdale
81 Elizabeth Street
LAUNCESTON TAS 7250
6331 7021
narelle@engineeringplus.com.au

Owner

*

Judith Maree Kemp
5 Clarendon Street
NEW TOWN TAS 7008
6331 7021
narelle@engineeringplus.com.au

Entered By

NARELLE LOBDALÉ
6331 7021
narelle@engineeringplus.com.au

Use

Single dwelling

Details

Have you obtained pre application advice?

☒ No

If YES please provide the pre application advice number eg PAE-17-xx

Are you applying for permitted visitor accommodation as defined by the State Government Visitor Accommodation Standards? Click on help information button for definition. If you are not the owner of the property you MUST include signed confirmation from the owner that they are aware of this application.

*

☐ No

Is the application for SIGNAGE ONLY? If yes, please enter \$0 in the cost of development, and you must enter the number of signs under Other Details below.

*

<ul style="list-style-type: none"> <input type="radio"/> No 		
If this application is related to an enforcement action please enter Enforcement Number		
Details What is the current approved use of the land / building(s)? *		
Exiting dwelling was burnt down - owners are building like for like Please provide a full description of the proposed use or development (i.e. demolition and new dwelling, swimming pool and garage) *		
Proposed residential dwelling, built exactly like how it was before it was burnt down.		
Estimated cost of development		
* 345000.00		
Existing floor area (m2)	Proposed floor area (m2)	Site area (m2)
228.59	228.59	506
Carparking on Site Total parking spaces Existing parking spaces N/A 2 2 <input type="checkbox"/> Other (no selection chosen)		
Other Details Does the application include signage? * <input type="radio"/> No How many signs, please enter 0 if there are none involved in this application? * 0		
Tasmania Heritage Register Is this property on the Tasmanian Heritage Register? * <input checked="" type="radio"/> Yes		
Documents Required Documents Title (Folio text and Plan and Schedule of Easements) * Titles.pdf Plans (proposed, existing) * 5 Clarendon St - New Town - Kemp.pdf Supporting Documents Heritage Report Heritage Report - Kemp.pdf		

**RESULT OF SEARCH**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

SEARCH OF TORRENS TITLE

VOLUME	FOLIO
144342	1
EDITION	DATE OF ISSUE
3	19-Apr-2018

SEARCH DATE : 11-Oct-2021

SEARCH TIME : 11.25 AM

DESCRIPTION OF LAND

City of HOBART
Lot 1 on Plan 144342
Being the land described in Conveyance No.42/3509
Derivation : Part of 157A-1R-20P Gtd to Charles Swanston
Derived from Y20424

SCHEDULE 1

M671237 TRANSFER to JUDITH MAREE KEMP Registered
19-Apr-2018 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
15/3958 BENEFITING EASEMENT: Right of Carriageway over
Clarendon Street shown on Plan No.144342
15/3958 BENEFITING EASEMENT: Right of Footway over the
Footways 4.57 Wide & 1.83 Wide shown on Plan No.144342
M920039 CAVEAT by JONATHON CHARLES ROOT, COMMISSIONER OF
STATE REVENUE Registered 09-Sep-2021 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

**FOLIO PLAN**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



FILE NUMBER Y20424 GRANTEE PART OF 157A-IR-20P GTD TO CHARLES SWANSTON		CONVERSION PLAN LOCATION CITY OF HOBART CONVERTED FROM 42/3509 NOT TO SCALE LENGTHS IN METRES		Registered Number P.144342 APPROVED 08 JULY 2005 <i>Alice Kansa</i> Recorder of Titles
MAPSHEET MUNICIPAL CODE No. 114 (5225-32)	LAST UP1 No. 2106588	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN		DRAWN NJD

SKETCH BY WAY OF ILLUSTRATION ONLY
"EXCEPTED LANDS"

SEE SKETCH BELOW FOR CONTINUATION

SKETCH



DRAWING SCHEDULE

A00	COVER PAGE
A01	SITE PLAN
A02	CONSTRUCTION PLAN
A03	FLOOR PLAN
A04	ROOF PLAN
A05	ELEVATIONS #1
A06	ELEVATIONS #2
A07	3D PERSPECTIVE #1
A08	3D PERSPECTIVE #2
A09	3D PERSPECTIVE #3
A10	3D PERSPECTIVE #4
A11	3D PERSPECTIVES #5
A12	3D PERSPECTIVES #6
A13	SHADOW PLANS

PROJECT INFORMATION

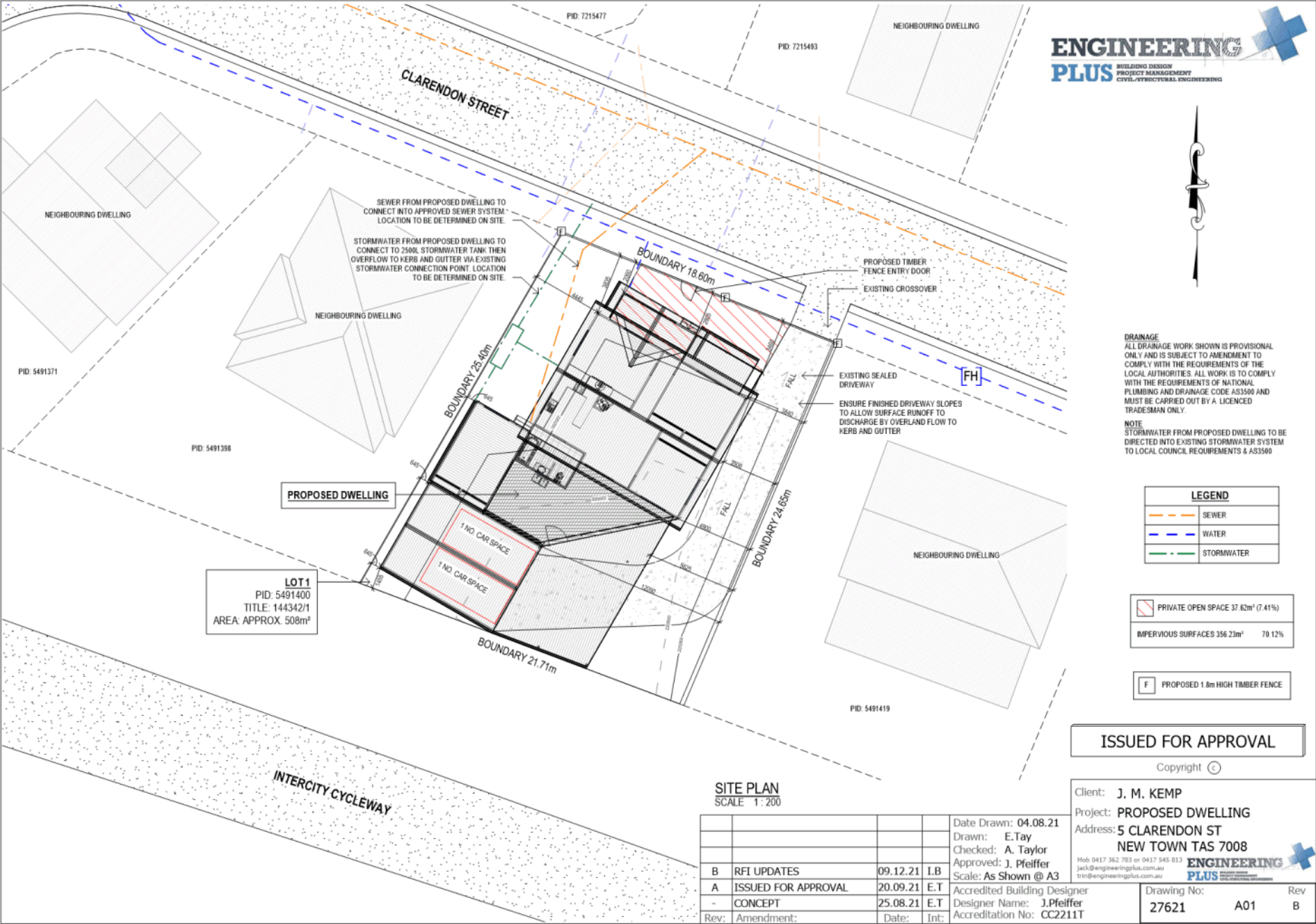
BUILDING DESIGNER:	GRANT JAMES PFEIFFER
ACCREDITATION No:	CC2211T
LAND TITLE REFERENCE NUMBER:	144342/1
PROPOSED DWELLING AREA:	134.18m ²
PROPOSED PATIO AREA:	8.95m ²
PROPOSED DECK AREA:	39.05m ²
PROPOSED SHED AREA:	49.35m ²
DESIGN WIND SPEED:	N2
SOIL CLASSIFICATION:	T.B.C
CLIMATE ZONE:	7
BUSHFIRE-PRONE BAL RATING:	N/A
ALPINE AREA:	N/A
CORROSION ENVIRONMENT:	NO
FLOODING:	NO
LANDSLIP:	N/A
DISPERSIVE SOILS:	UNKNOWN
SALINE SOILS:	UNKNOWN
SAND DUNES:	NO
MINE SUBSIDENCE:	NO
LANDFILL:	NO
GROUND LEVELS:	REFER PLAN
ORG LEVEL:	75mm ABOVE GROUND LEVEL

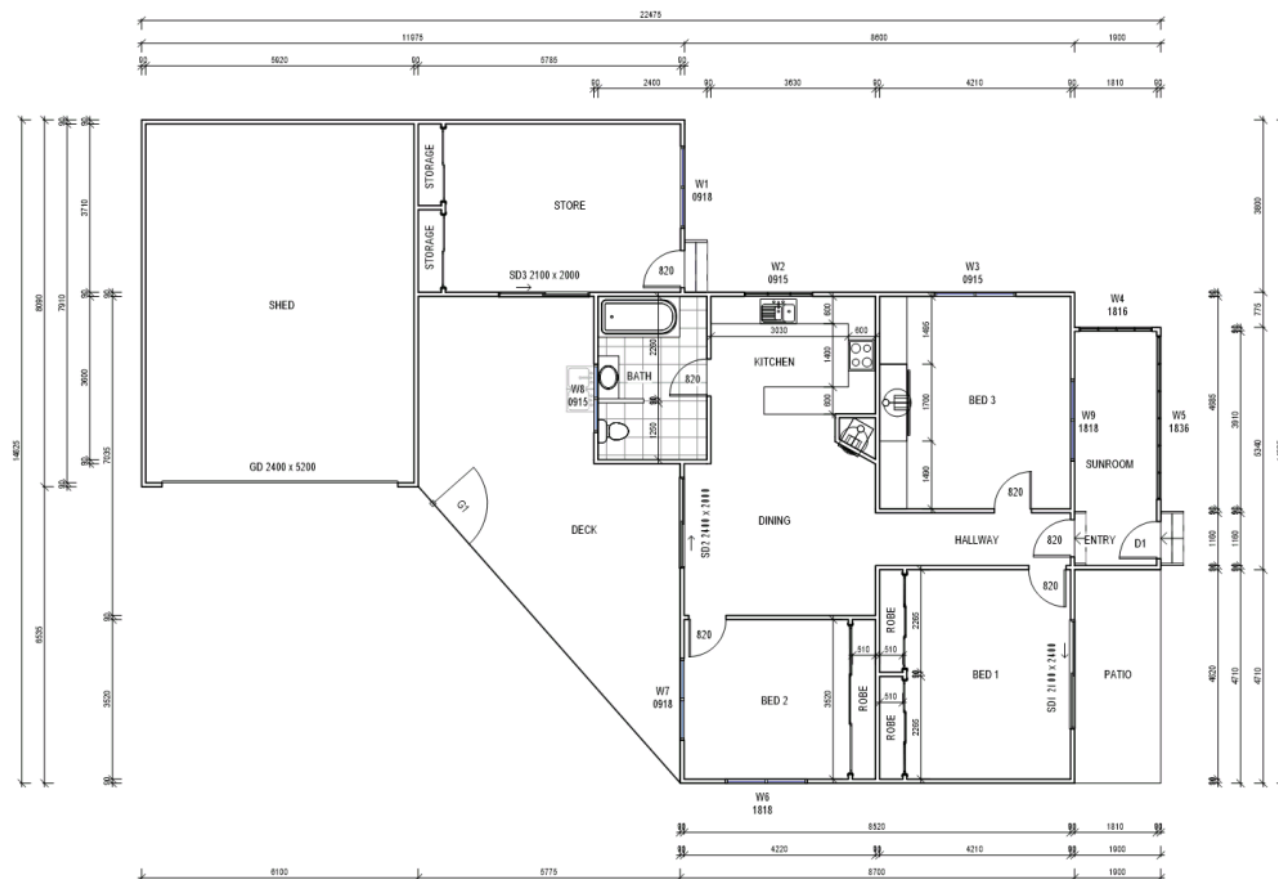
PROPOSED DWELLING

J. M. KEMP
5 CLARENDON STREET
NEW TOWN TAS 7008

HOBART CITY COUNCIL

ISSUED FOR APPROVAL



**WINDOWS SCHEDULE**

MARK	HEIGHT	WIDTH	TYPE	U-VALUE	SHGC
W1	900	1800	DG	4.3	0.55
W2	900	1500	DG	4.3	0.55
W3	900	1500	DG	4.3	0.55
W4	1800	1800	DG	4.3	0.55
W5	1800	3600	DG	4.3	0.55
W6	1800	1800	DG	4.3	0.55
W7	900	1800	DG	4.3	0.55
W8	900	1500	DG	4.3	0.55
W9	1800	1800	DG	4.3	0.55
D1	2100	820	DG	4.0	0.61
SD1	2100	2400	DG	4.0	0.61
SD2	2400	2000	DG	4.0	0.61
SD3	2100	2000	DG	4.0	0.61
G1	1800	1200	-	-	-

DISCLAIMER:

ALL WINDOWS SHOWN ON PLAN ARE APPROX. BASED OFF STANDARD MANUFACTURING SIZES. ALL WINDOW DIMENSIONS TO BE CONFIRMED ON SITE BY BUILDER PRIOR TO ORDERING AND MANUFACTURING.

Area Schedule (Gross Building)

Name	Area	Area (sq)
PROPOSED DECK	36.11 m²	3.89
PROPOSED DWELLING	134.18 m²	14.44
PROPOSED PATIO	8.95 m²	0.96
PROPOSED SHED	49.35 m²	5.31
	228.59 m²	24.61

ISSUED FOR APPROVAL

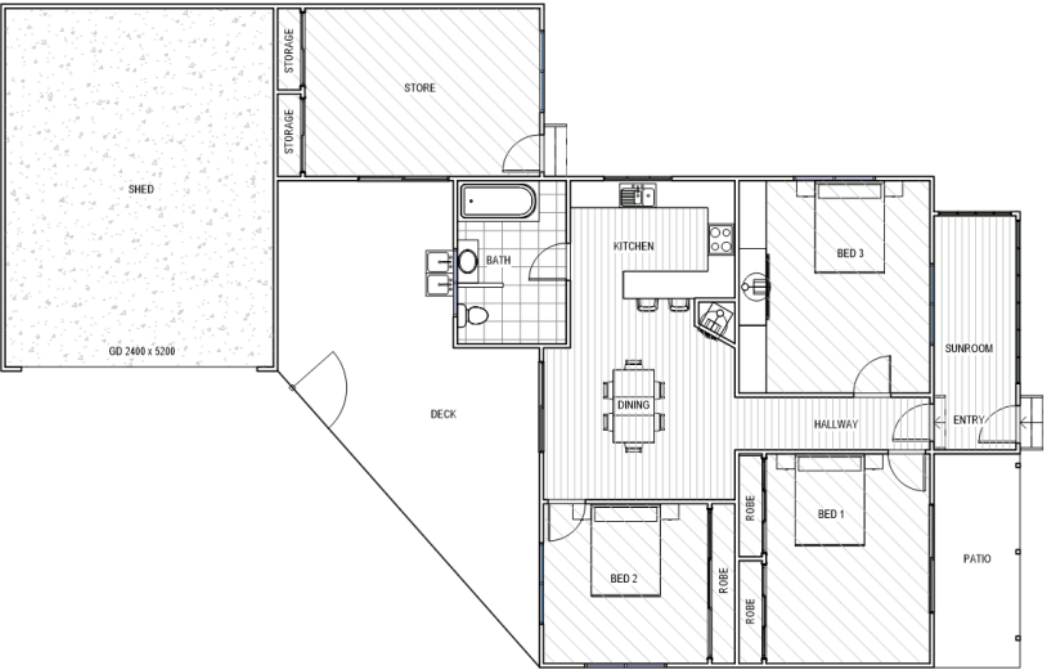
Copyright ©

Client: **J. M. KEMP**Project: **PROPOSED DWELLING**Address: **5 CLARENDON ST
NEW TOWN TAS 7008**Mob 0417 362 783 or 0417 545 813
jack@engineeringplus.com.au
trn@engineeringplus.com.au

				Date Drawn: 04.08.21
				Drawn: E.Tay
				Checked: A. Taylor
				Approved: J. Pfeiffer
				Scale: As Shown @ A3
B	RFI UPDATES	09.12.21	I.B	
A	ISSUED FOR APPROVAL	20.09.21	E.T	
-	CONCEPT	25.08.21	E.T	
Rev:	Amendment:	Date:	Int:	Accredited Building Designer Designer Name: J.Pfeiffer Accreditation No: CC2211T

Drawing No:	Rev
27621	A02 B

CONSTRUCTION PLAN
SCALE 1:100



FLOOR COVERINGS	
	CARPET
	CONCRETE
	TIMBER DECKING
	TILE
	TAS OAK FLOORBOARDS

SMOKE ALARMS
PROVIDE AND INSTALL SMOKE ALARMS & HARD WIRE
TO BUILDING POWER SUPPLY TO AS 3786.
CEILING MOUNTED WITH 9VDC
ALKALINE BATTERY BACKUP
TO LOCATIONS INDICATED ON PLAN AND IN ACCORDANCE
WITH BCA PART 3.7.5.2

(S) - DENOTES INTERCONNECTED SMOKE DETECTORS

Area Schedule (Gross Building)		
Name	Area	Area (sq)
PROPOSED DECK	36.11 m²	3.89
PROPOSED DWELLING	134.18 m²	14.44
PROPOSED PATIO	8.95 m²	0.96
PROPOSED SHED	49.35 m²	5.31
	228.59 m²	24.61

FLOOR PLAN
SCALE 1 : 100

ISSUED FOR APPROVAL

Copyright ©

Client: J. M. KEMP
Project: PROPOSED DWELLING
Address: 5 CLARENDON ST
NEW TOWN TAS 7008

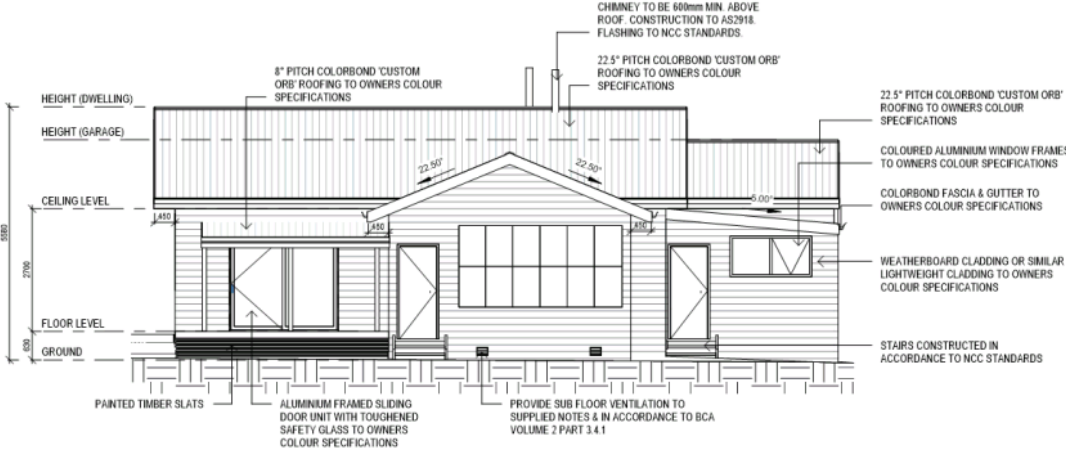
Mob 0417 362 783 or 0417 545 013
jack@engineeringplus.com.au
trn@engineeringplus.com.au



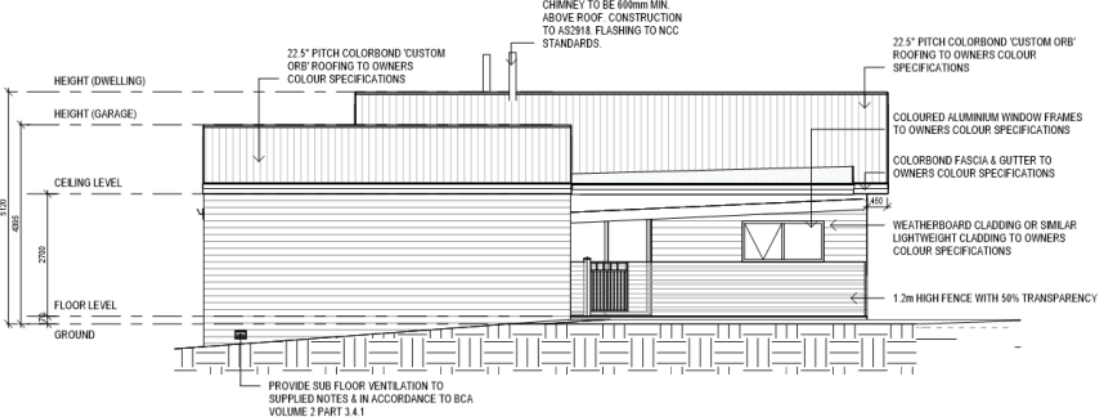
				Date Drawn: 04.08.21
				Drawn: E.Tay
				Checked: A. Taylor
				Approved: J. Pfeiffer
				Scale: As Shown @ A3
B	RFI UPDATES	09.12.21	I.B	
A	ISSUED FOR APPROVAL	20.09.21	E.T	
-	CONCEPT	25.08.21	E.T	
Rev:	Amendment:	Date:	Int:	
		Accredited Building Designer		
		Designer Name: J.Pfeiffer		
		Accreditation No: CC2211T		

Drawing No:	Rev
27621	B
A03	





NORTH ELEVATION
SCALE 1:100



SOUTH ELEVATION
SCALE 1:100

EAVE & SOFFIT CONSTRUCTION BCA VOLUME 2 PART 3.5.3.5
EAVE WIDTH - REFER ELEVATIONS DESIGN WIND SPEED N2

SOFFIT / EAVE LINED WITH 'HARDIFLEX' CEMENT SHEETING

- TRIMMERS LOCATED WITHIN 1200 MM OF EXTERNAL CORNERS TO BE SPACED @ 500 MM CENTERS, REMAINDER OF SHEET - 700 MM CENTERS
- FASTENER / FIXINGS WITHIN 1200 MM OF EXTERNAL CORNERS @ 200 MM CENTERS, REMAINDER OF SHEET - 300 MM CENTERS

ISSUED FOR APPROVAL

Copyright ©

Client: J. M. KEMP
Project: PROPOSED DWELLING
Address: 5 CLARENDON ST
NEW TOWN TAS 7008

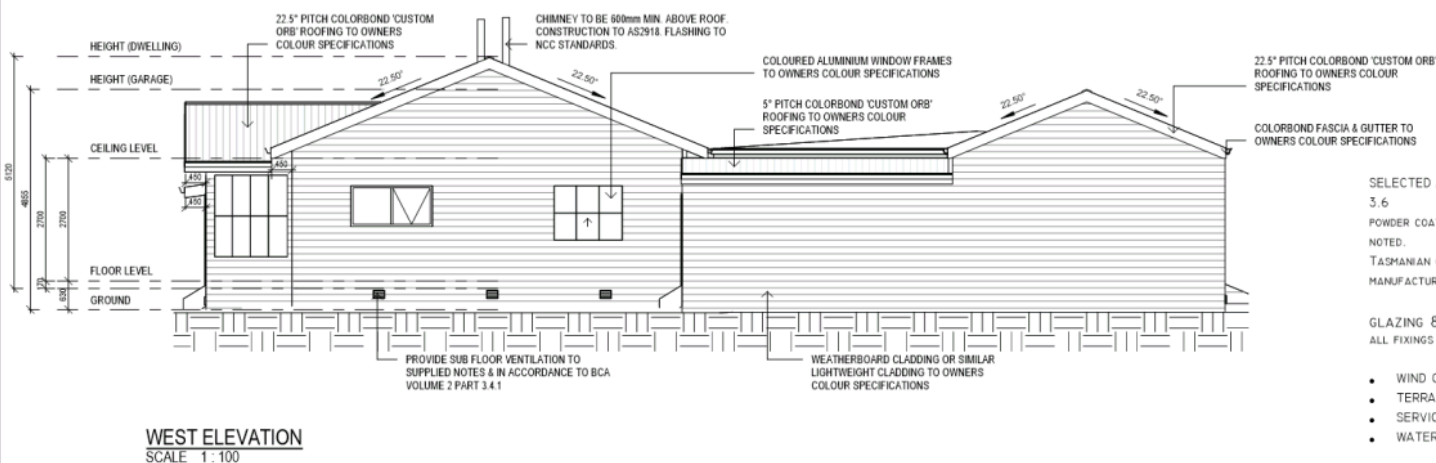
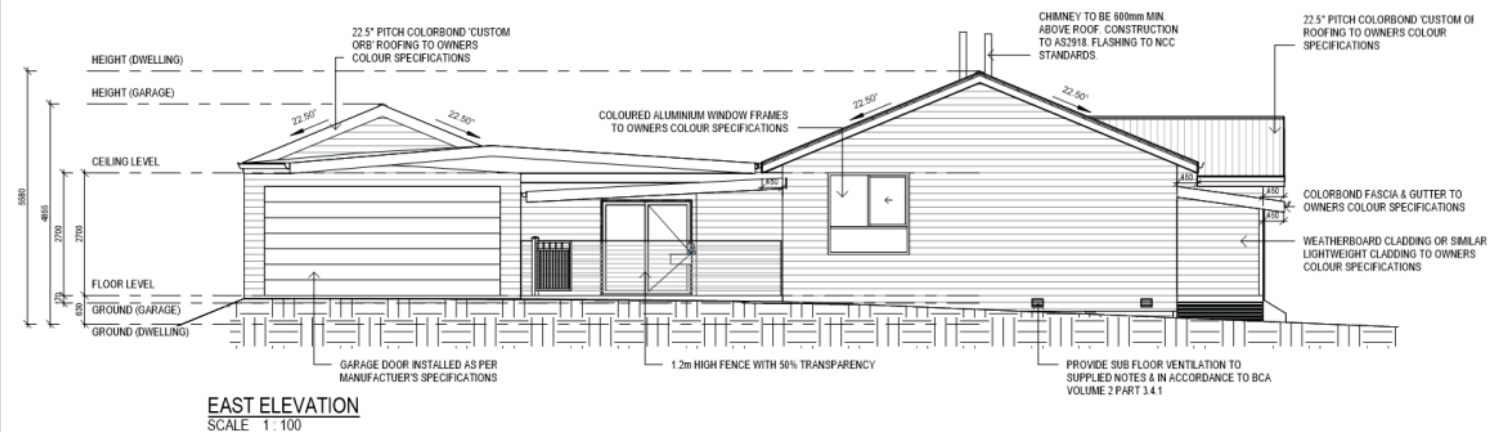
Mob 0417 362 783 or 0417 545 813
jack@engineeringplus.com.au
trn@engineeringplus.com.au



				Date Drawn: 04.08.21
				Drawn: E.Tay
				Checked: A. Taylor
				Approved: J. Pfeiffer
				Scale: As Shown @ A3
B	RFI UPDATES	09.12.21	I.B	
A	ISSUED FOR APPROVAL	20.09.21	E.T	
-	CONCEPT	25.08.21	E.T	
Rev:	Amendment:	Date:	Int:	
				Accredited Building Designer Designer Name: J.Pfeiffer Accreditation No: CC2211T

Drawing No: 27621
A05
Rev B

ENGINEERING PLUS
BUILDING DESIGN
PROJECT MANAGEMENT
CIVIL/STRUCTURAL ENGINEERING



SELECTED ALUMINIUM FRAMED WINDOWS - BCA VOLUME 2 PART 3.6
POWDER COATED ALUMINIUM WINDOW & DOOR FRAMES, UNLESS OTHERWISE NOTED.
TASMANIAN OAK REVEALS AND TRIMS. ALL FLASHING AND FIXINGS TO MANUFACTURERS SPECIFICATIONS.

GLAZING & FRAME CONSTRUCTION TO AS 2047 & AS 1288
ALL FIXINGS AND FLASHINGS TO MANUFACTURERS REQUIREMENTS

- WIND CLASSIFICATION AS4055 Wind Design: N2 33m/s
- TERRAIN CATEGORY: T2.5 (PS)
- SERVICEABILITY DESIGN & WIND PRESSURE: 1000
- WATER RESISTANCE: 150

ISSUED FOR APPROVAL

Copyright ©

Client: **J. M. KEMP**
Project: **PROPOSED DWELLING**
Address: **5 CLARENDON ST
NEW TOWN TAS 7008**

Mob 0417 362 783 or 0417 545 013
jack@engineeringplus.com.au
trn@engineeringplus.com.au

ENGINEERING PLUS



SUB FLOOR VENTILATION. BCA VOLUME 2 PART 3.4.1.

- A MINIMUM OF 150 MM OF SUB FLOOR CLEARANCE IS TO BE PROVIDED BETWEEN FINISHED SURFACE LEVEL & THE UNDERSIDE OF THE FLOOR BEARER.
- A MINIMUM OF 6000 MM² PER METRE OF SUB FLOOR VENTILATION IS TO BE UNIFORMLY DISTRIBUTED AROUND THE EXTERNAL AND INTERNAL WALLS OF THE BUILDING.
- VENTS TO BE LOCATED NO GREATER THAN 600 MM FROM AN INTERNAL OR EXTERNAL CORNER.

PRYDA 230x75 - 52 HOLE VENT MAXIMUM SPACING 1050 MM ALONG WALL OR
PRYDA 230x165 - 117 HOLE VENT MAXIMUM SPACING 2350 MM ALONG WALL

ADDITIONAL VENTILATION PROVISIONS TO BE INSTALLED WHERE OBSTRUCTIONS SUCH AS
CONCRETE VERANDAH'S, DECKS, PATIOS AND PAVING ARE INSTALLED & OBSTRUCT VENTILATION.

				Date Drawn: 04.08.21	
				Drawn: E.Tay	
				Checked: A. Taylor	
				Approved: J. Pfeiffer	
				Scale: As Shown @ A3	
B	RFI UPDATES	09.12.21	I.B	Accredited Building Designer	
A	ISSUED FOR APPROVAL	20.09.21	E.T	Designer Name: J.Pfeiffer	
-	CONCEPT	25.08.21	E.T	Accreditation No: CC2211T	
Rev:	Amendment:	Date:	Int:		

Drawing No: 27621
A06
Rev B



ISSUED FOR APPROVAL

Copyright ©

Client: J. M. KEMP
Project: PROPOSED DWELLING
Address: 5 CLARENDON ST
NEW TOWN TAS 7008

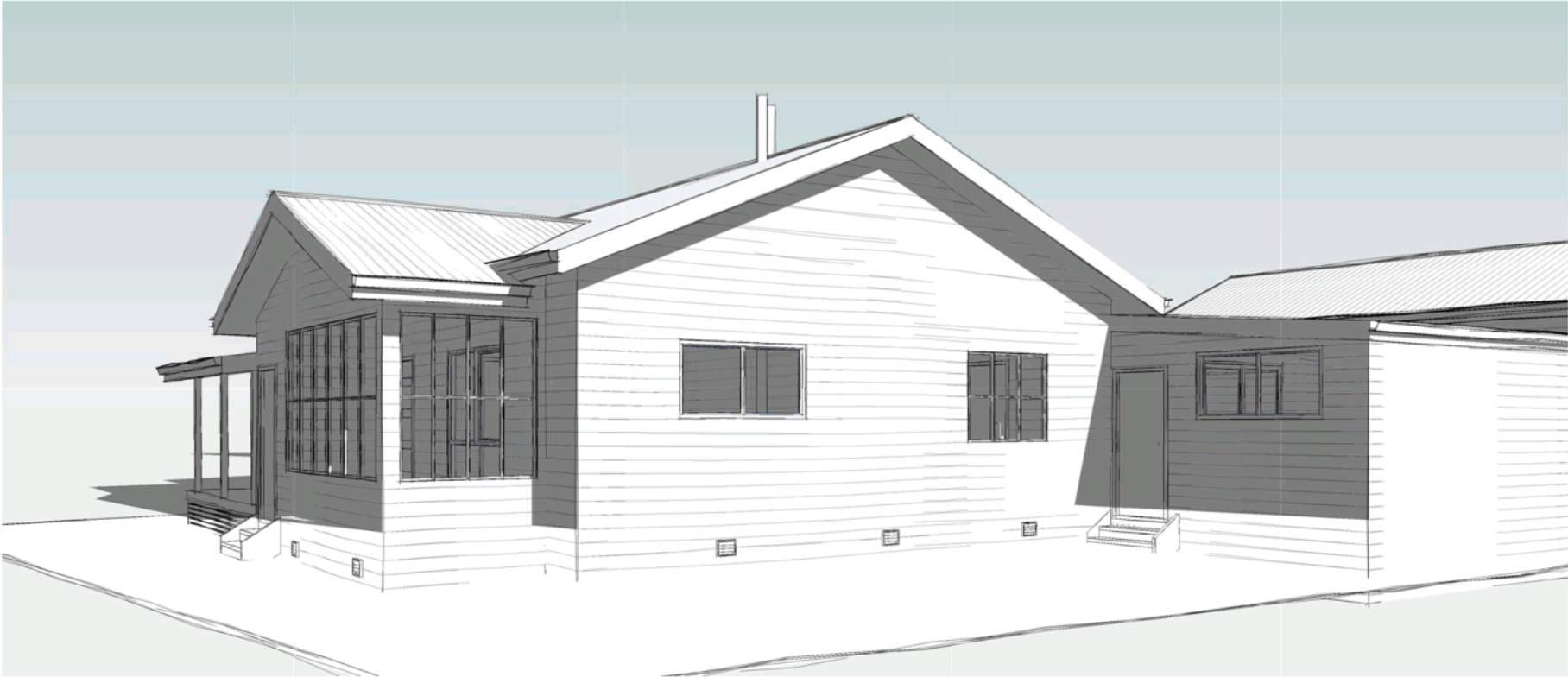
Mob 0417 362 783 or 0417 545 813
jack@engineeringplus.com.au
trn@engineeringplus.com.au



				Date Drawn: 04.08.21
				Drawn: E.Tay
				Checked: A. Taylor
				Approved: J. Pfeiffer
				Scale: As Shown @ A3
B	RFI UPDATES	09.12.21	I.B	
A	ISSUED FOR APPROVAL	20.09.21	E.T	
-	CONCEPT	25.08.21	E.T	
Rev:	Amendment:	Date:	Int:	

Accredited Building Designer
Designer Name: J.Pfeiffer
Accreditation No: CC2211T

Drawing No: 27621
A07
Rev B



ISSUED FOR APPROVAL

Copyright ©

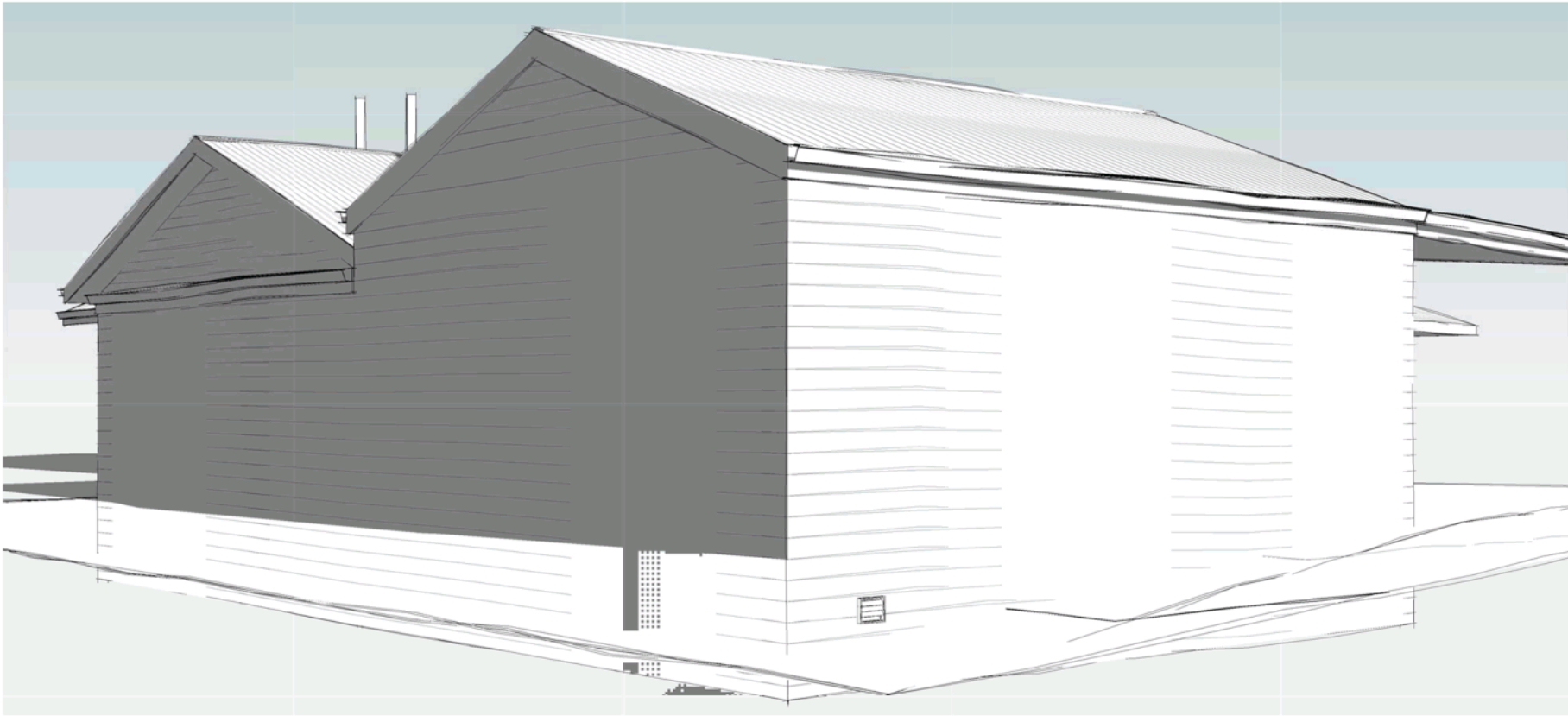
Client: J. M. KEMP
Project: PROPOSED DWELLING
Address: 5 CLARENDON ST
NEW TOWN TAS 7008

Mob 0417 362 783 or 0417 545 813
jack@engineeringplus.com.au
trn@engineeringplus.com.au



				Date Drawn: 04.08.21
				Drawn: E.Tay
				Checked: A. Taylor
				Approved: J. Pfeiffer
				Scale: As Shown @ A3
B	RFI UPDATES	09.12.21	I.B	
A	ISSUED FOR APPROVAL	20.09.21	E.T	
-	CONCEPT	25.08.21	E.T	
Rev:	Amendment:	Date:	Int:	
				Accredited Building Designer Designer Name: J.Pfeiffer Accreditation No: CC2211T

Drawing No: 27621 A08 Rev B



ISSUED FOR APPROVAL

Copyright ©

Client: J. M. KEMP
Project: PROPOSED DWELLING
Address: 5 CLARENDON ST
NEW TOWN TAS 7008

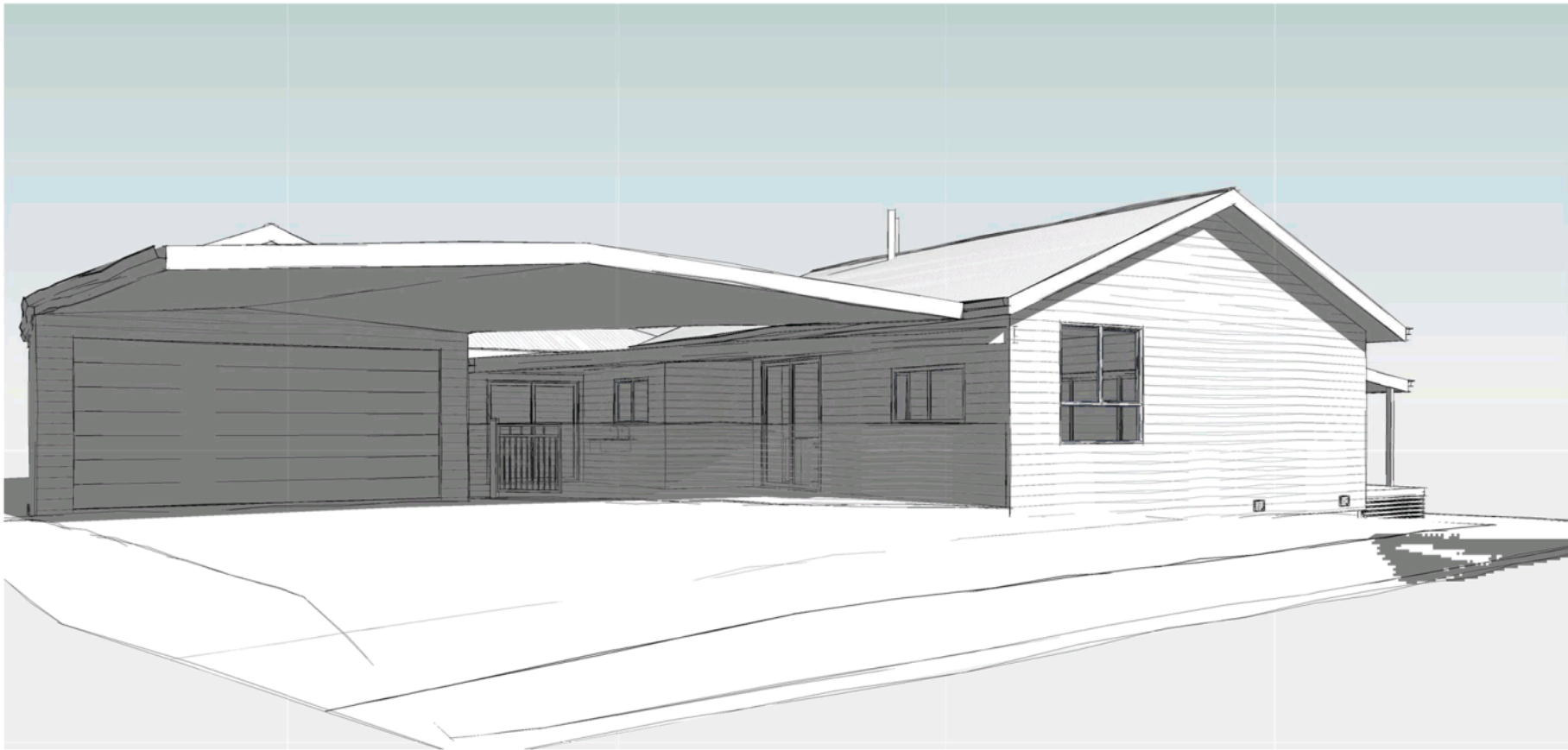
Mob 0417 362 783 or 0417 545 813
jack@engineeringplus.com.au
trn@engineeringplus.com.au



				Date Drawn: 04.08.21
				Drawn: E.Tay
				Checked: A. Taylor
				Approved: J. Pfeiffer
				Scale: As Shown @ A3
B	RFI UPDATES	09.12.21	I.B	
A	ISSUED FOR APPROVAL	20.09.21	E.T	
-	CONCEPT	25.08.21	E.T	
Rev:	Amendment:	Date:	Int:	

Accredited Building Designer
Designer Name: J.Pfeiffer
Accreditation No: CC2211T

Drawing No: 27621
A09
Rev B



ISSUED FOR APPROVAL

Copyright ©

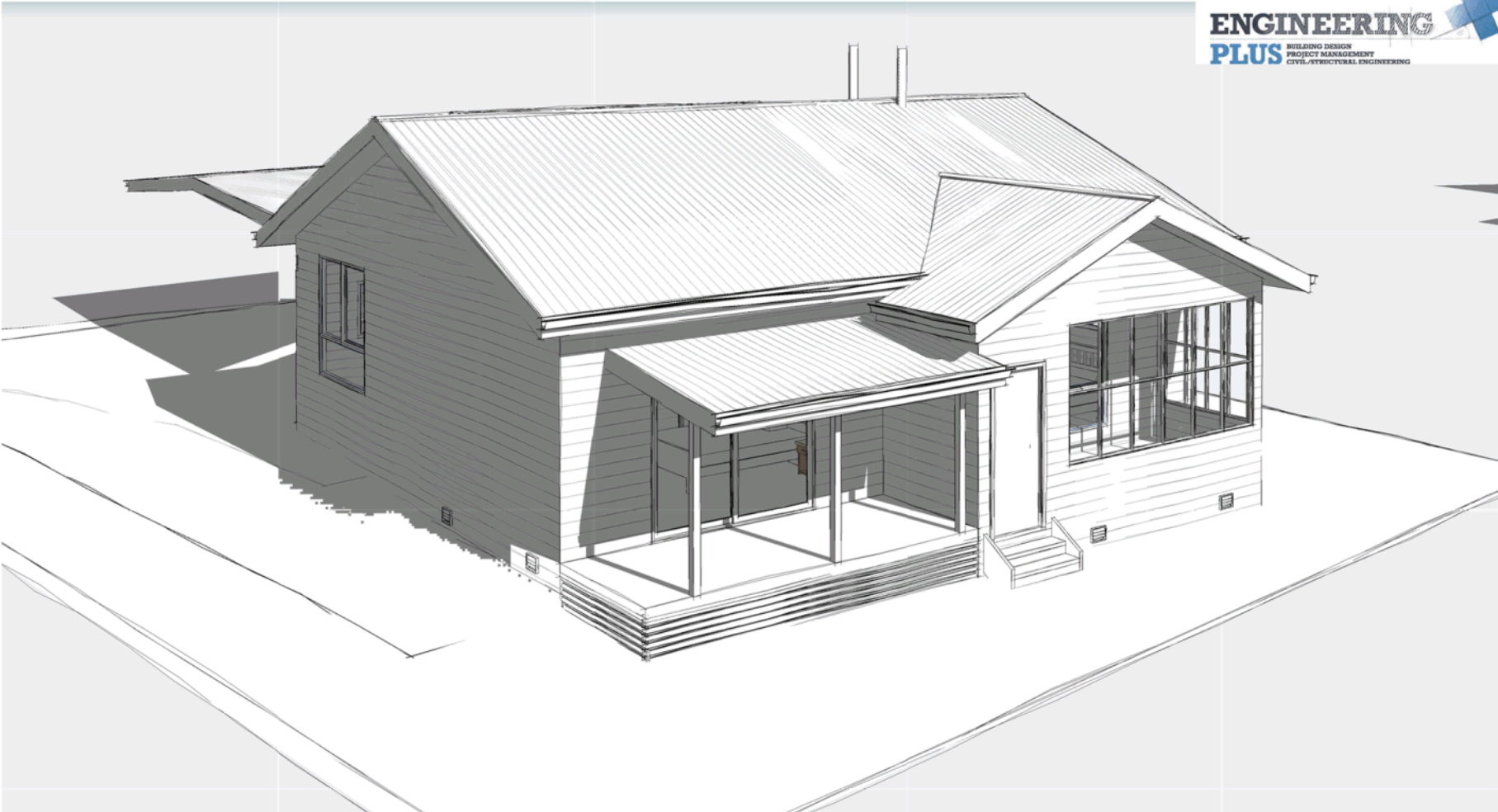
Client: J. M. KEMP
Project: PROPOSED DWELLING
Address: 5 CLARENDON ST
NEW TOWN TAS 7008

Mob 0417 362 783 or 0417 545 813
jack@engineeringplus.com.au
trn@engineeringplus.com.au



				Date Drawn: 04.08.21
				Drawn: E.Tay
				Checked: A. Taylor
				Approved: J. Pfeiffer
				Scale: As Shown @ A3
B	RFI UPDATES	09.12.21	I.B	
A	ISSUED FOR APPROVAL	20.09.21	E.T	
-	CONCEPT	25.08.21	E.T	
Rev:	Amendment:	Date:	Int:	
				Accredited Building Designer Designer Name: J.Pfeiffer Accreditation No: CC2211T

Drawing No: 27621
A10
Rev B



ENGINEERING PLUS
BUILDING DESIGN
PROJECT MANAGEMENT
CIVIL/STRUCTURAL ENGINEERING

ISSUED FOR APPROVAL

Copyright ©

				Date Drawn: 04.08.21
				Drawn: E.Tay
				Checked: A. Taylor
				Approved: J. Pfeiffer
				Scale: As Shown @ A3
B	RFI UPDATES	09.12.21	I.B	
A	ISSUED FOR APPROVAL	20.09.21	E.T	
-	CONCEPT	25.08.21	E.T	
Rev:	Amendment:	Date:	Int:	

Client: J. M. KEMP

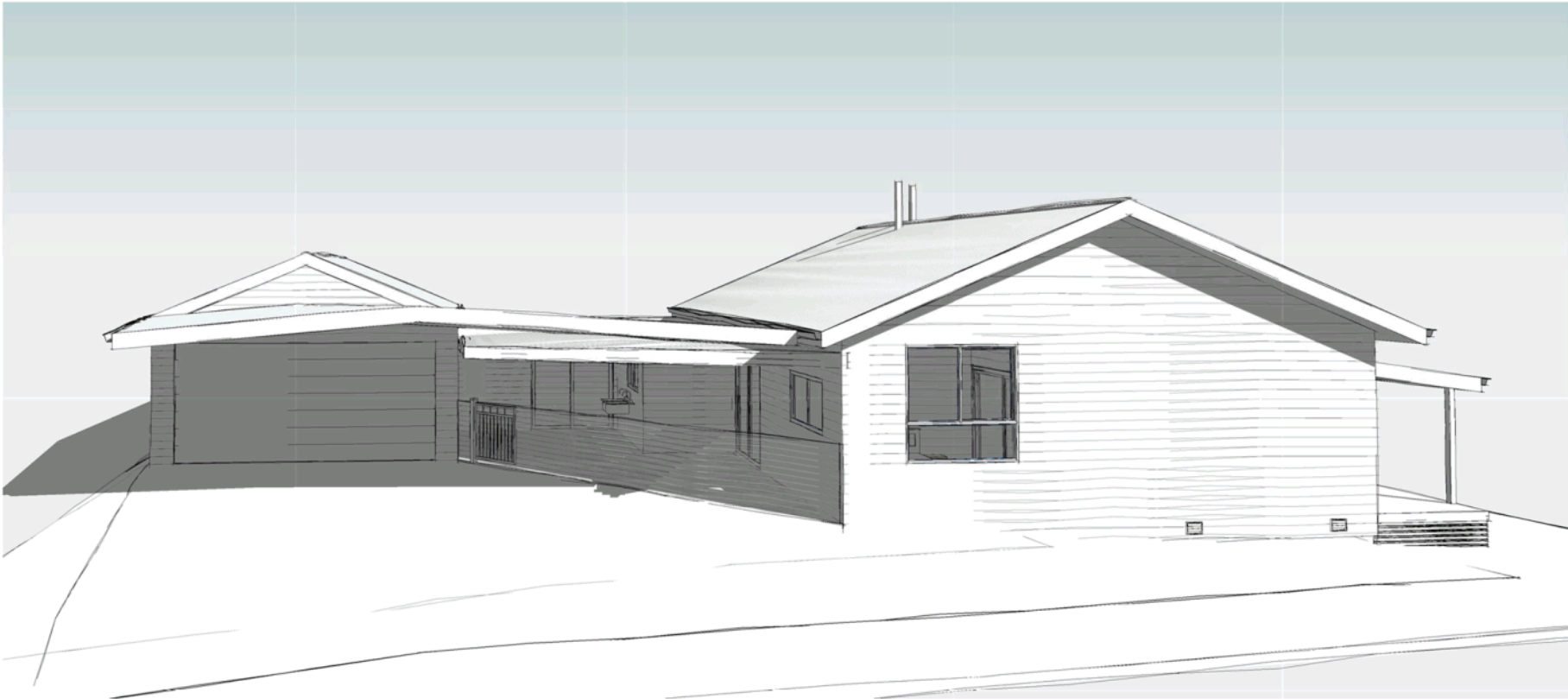
Project: PROPOSED DWELLING

Address: 5 CLARENDON ST
NEW TOWN TAS 7008

Mob 0417 362 783 or 0417 545 813
jack@engineeringplus.com.au
trn@engineeringplus.com.au

ENGINEERING PLUS
BUILDING DESIGN
PROJECT MANAGEMENT
CIVIL/STRUCTURAL ENGINEERING

Accredited Building Designer Designer Name: J.Pfeiffer Accreditation No: CC2211T	Drawing No: 27621	A11	Rev B
--	----------------------	-----	----------



ISSUED FOR APPROVAL

Copyright ©

Client: J. M. KEMP
Project: PROPOSED DWELLING
Address: 5 CLARENDON ST
NEW TOWN TAS 7008

Mob 0417 362 783 or 0417 545 813
jack@engineeringplus.com.au
trn@engineeringplus.com.au

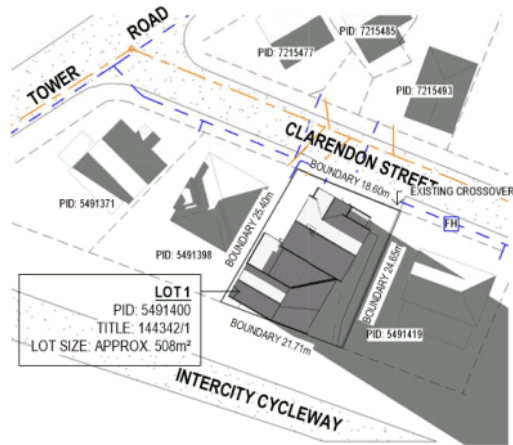
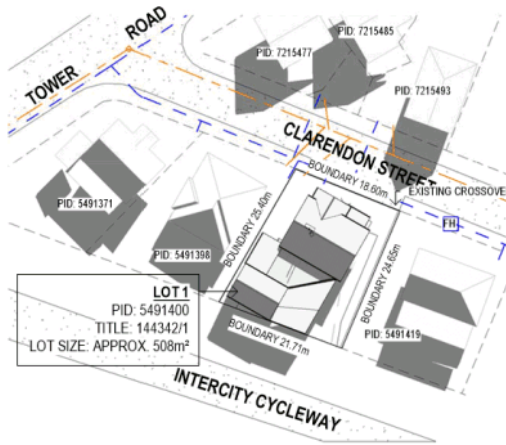
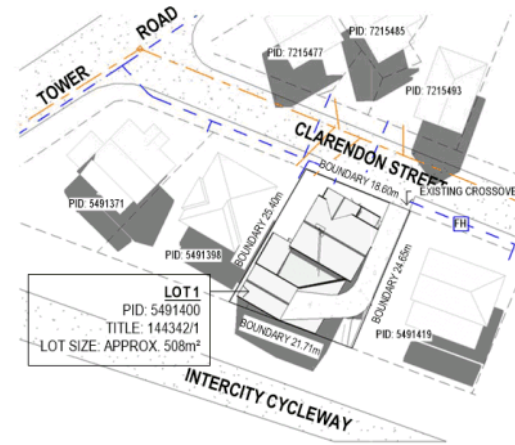
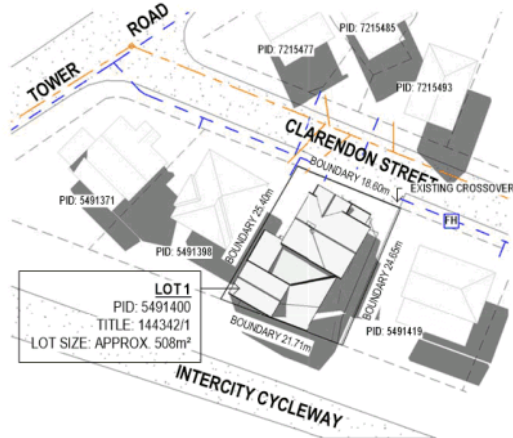
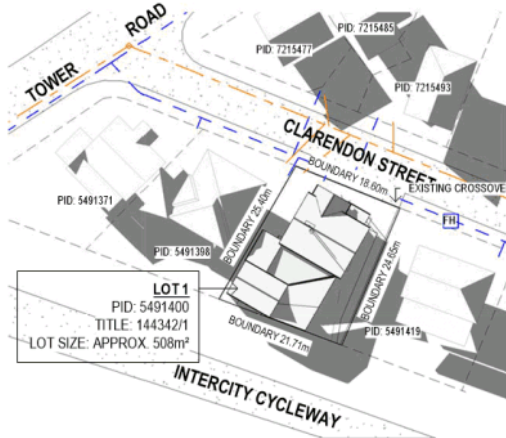


B	RFI UPDATES	09.12.21	I.B
A	ISSUED FOR APPROVAL	20.09.21	E.T
-	CONCEPT	25.08.21	E.T
Rev:	Amendment:	Date:	Int:

Date Drawn: 04.08.21
Drawn: E.Tay
Checked: A. Taylor
Approved: J. Pfeiffer
Scale: As Shown @ A3

Accredited Building Designer
Designer Name: J. Pfeiffer
Accreditation No: CC2211T

Drawing No: 27621
A12
Rev B

WINTER SOLSTICE - 21.06.19**ENGINEERING PLUS**
BUILDING DESIGN
PROJECT MANAGEMENT
CIVIL/STRUCTURAL ENGINEERINGSHADOW PLAN - 9.00am
SCALE 1:750SHADOW PLAN - 10.30am
SCALE 1:750SHADOW PLAN - 12.00pm
SCALE 1:750SHADOW PLAN - 1.30pm
SCALE 1:750SHADOW PLAN - 3.00pm
SCALE 1:750**ISSUED FOR APPROVAL**

Copyright ©

Client: J. M. KEMP

Project: PROPOSED DWELLING

Address: 5 CLARENDON ST
NEW TOWN TAS 7008Mob 0417 362 783 or 0417 545 013
jack@engineeringplus.com.au
trn@engineeringplus.com.au**ENGINEERING PLUS**

				Date Drawn: 04.08.21
				Drawn: E.Tay
				Checked: A. Taylor
				Approved: J. Pfeiffer
				Scale: As Shown @ A3
B	RFI UPDATES	09.12.21	I.B	
A	ISSUED FOR APPROVAL	20.09.21	E.T	
-	CONCEPT	25.08.21	E.T	
Rev:	Amendment:	Date:	Int:	
				Accredited Building Designer
				Designer Name: J.Pfeiffer
				Accreditation No: CC2211T

Drawing No:
27621

A13

Rev
B



Proposed Dwelling

J. M. Kemp
5 Clarendon Street
New Town
7008

Heritage Impact Assessment Report

prepared for
Hobart Council

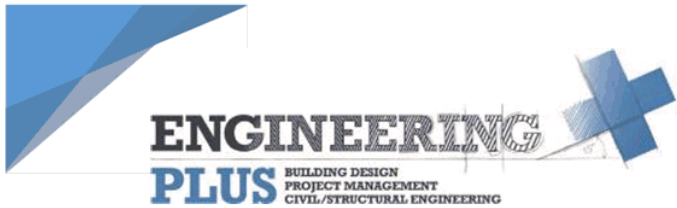
prepared by

Imran Basir
Engineering Plus Pty. Ltd.
House Plans Plus Pty. Ltd.

81 Elizabeth Street - Launceston
Mobile: 0438 717 048
Website: www.engineeringplus.com.au
Email: alex@engineeringplus.com.au

10/5/2021

1



Description

Property Details

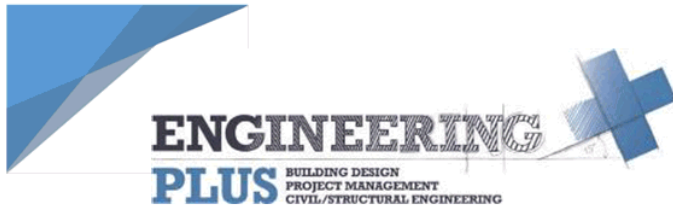
Lot: 144342/1
PID: 5491400
Lot Size: 508m²
Zoning: Inner Residential
Vegetation: Planted garden with lawn – No major natural vegetation on property.

Type: Class 1 Residential Dwelling
Stories: Single
Bedrooms: Three (3)
Foundation: Concrete
Walls: Weatherboard
Roof: Colorbond

Area:

Patio 8.95m²
Dwelling 134.18m²
Deck 36.11m²
Shed 49.35m²





E7.0 Stormwater Management Code

E7.7.1 Stormwater Drainage and Disposal

Objective:

To ensure that stormwater quality and quantity is managed appropriately.

A1

Stormwater from new impervious surfaces must be disposed of by gravity to public stormwater infrastructure.

Stormwater from the proposed dwelling and driveway will be disposed of by gravity via existing public stormwater infrastructure (kerb and gutter).

A2

A stormwater system for a new development must incorporate water sensitive urban design

N/A – Proposed development has a total impervious surface area of 356m² and only 2 car parking lots have been provided. No subdivision has been proposed.

A3

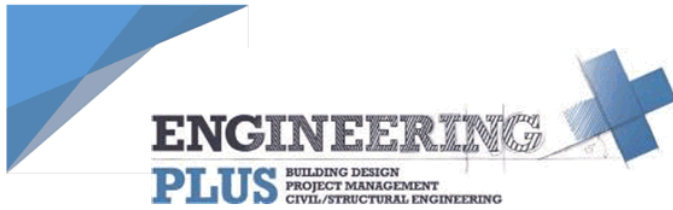
A minor stormwater drainage system must be designed to comply with all of the following:

a) be able to accommodate a storm with an ARI of 20 years in the case of non-industrial zoned land and an ARI of 50 years in the case of industrial zoned land, when the land serviced by the system is fully developed.

The proposed development is assumed to be able to accommodate a storm with an ARI of 20 years as there have been no issues with stormwater management on and immediately around the subject site in the years prior to the original dwelling burning down. Stormwater from the proposed development will be disposed of by gravity via existing public stormwater infrastructure (kerb and gutter).

b) stormwater runoff will be no greater than pre-existing runoff of any increase can be accommodated within existing or upgraded stormwater infrastructure.

The proposed dwelling is an identical replacement for a dwelling that had burnt down on the subject site. The proposed development will have the same total impervious surface area as the original dwelling. Therefore, the stormwater runoff will be no greater than pre-existing runoff. The existing stormwater infrastructure is assumed to be able to accommodate the stormwater runoff from the proposed development as there have been no issues with stormwater management in the years prior to the original dwelling burning down.

**A4**

A major stormwater drainage system must be designed to accommodate a storm with an ARI of 100 years.

N/A

E13.0 Historic Heritage Code**E13.8.2 Buildings and Works other than Demolition****Objective:**

To ensure that development undertaken within a heritage precinct is sympathetic to the character of the precinct.

P1

Design and siting of buildings and works must not result in detriment to the historic cultural heritage significance of the precinct, as listed in Table E13.2.

The design of the proposed dwelling is of a Post-war style. Dwellings on lot PID: 5491398, PID: 5491427, and PID: 5491435, are of a similar architectural style.

The predominant front setback of the proposed dwelling is 2.06m and is also similar to the front setback of dwellings (PID: 5491398, PID: 5491427, and PID: 5491435) on the same street. Therefore, the styling and siting of the proposal is sympathetic to and will not result in the detriment to the historic cultural heritage significance of the precinct.

P2

Design and siting of buildings and works must comply with any relevant design criteria / conservation policy listed in Table E13.2, except if a heritage place of an architectural style different from that characterising the precinct.

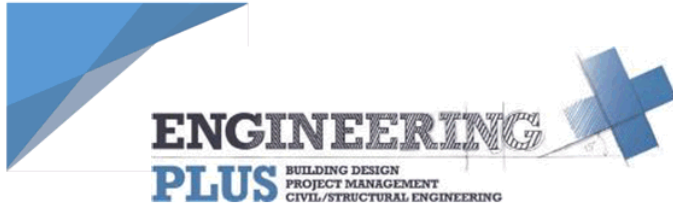
The proposed development is compliant with the design criteria listed in Table E13.2 as it is of a Post-war style, domestic scale, oriented to face the street with car parking located to the rear of the dwelling, with one house per lot. The external materials are weatherboard and lightweight roof cladding, and the house is set back 2.06m from the front boundary. This is consistent with dwellings on lot (PID: 5491398, PID: 5491427, and PID: 5491435) and the historical pattern of housing development in the precinct.

P3

Extensions to existing buildings must not detract from the historic cultural heritage significance of the precinct.

N/A – The proposed development is an identical replacement for the dwelling that had burnt down on the subject site, as part of an insurance settlement.

10/5/2021

**P4**

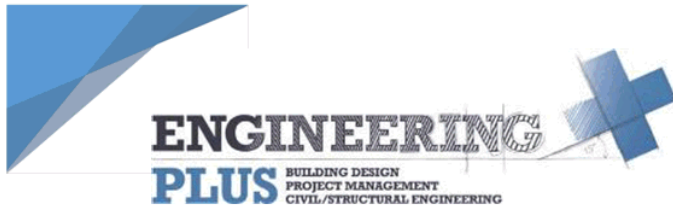
New front fences and gates must be sympathetic in design, (including height, form, scale, and materials) and setback to the style, period and characteristics of the precinct.

Proposed front fence and gate is a 1.8m tall timber picket fence that is similar in appearance and styling to that of lot (PID: 5491419, PID: 5491486, and PID: 5491371), and therefore is sympathetic to the style, period, and characteristics of the precinct.

P5

The removal of areas of landscaping between a dwelling and the street must not result in the loss of elements of landscaping that contribute to the historic cultural significance or the streetscape values and character of the precinct.

N/A - There will be no removal of landscaping as part of the proposed development.

Conclusion

The proposed development relies on the performance criterias as set out in the Hobart planning scheme for **E7.0 – Stormwater Management Code** and **E13.0 – Historic Heritage Code**.

The proposed dwelling is an identical replacement for a dwelling that had burnt down on the subject site. It will be used as a main residence for the owners of the lot. As the proposed dwelling will be identical in site coverage, overall height, building materials and siting to the one that had burnt down, there will be no impact on the streetscape or the historic heritage of the precinct.

Additionally, there will be no increase in the stormwater load from the proposed dwelling imposed on the public stormwater infrastructure that is beyond what it is capable of handling as there have been no issues relating to the matter prior to the original dwelling burning down.

We thank you for taking the time to assess this application. If you require any further information, please do not hesitate to get in contact with us.

Best regards,

Jack & Trin Pfeiffer

Directors

EngineeringPlus Pty. Ltd.

House Plans Plus Pty. Ltd

81 Elizabeth Street - Launceston

Jack: 0417 362 783 Email: jack@engineeringplus.com.au

Trin: 0417 545 813 Email: trin@engineeringplus.com.au

Accreditation No. CC2211T

10/5/2021



6th April 2022

Narelle Lobdale
81 Elizabeth Street
Launceston TAS 7250

Our ref: 2081

Your ref:

Attn: Narelle Lobdale

Dear Narelle,

Re: 5 Clarendon Street, New Town – Stormwater Detention Calculations

Please see below a hydraulic summary of the stormwater detention design for the proposed development at 5 Clarendon Street, New Town.

1 Project Background / Proposed Development

IPD Consulting Pty Ltd (IPD) has been engaged to provide a preliminary stormwater design for the stormwater detention at 5 Clarendon Street, New Town, as part of the development application stage.

2 Stormwater Design Criteria

As indicated by Council, in accordance with the Stormwater Management Code of Hobart Interim Planning Scheme 2015, the proposed development is required to:

- a) accommodate a storm with an ARI of 20 years (non-industrial zoned land) when the land serviced by the system is fully developed.
- b) Stormwater runoff will be no greater than pre-existing runoff or any increase can be accommodated within existing or upgraded public stormwater infrastructure.

3 Stormwater Modelling

3.1 Modelling Overview

IPD undertook an assessment of the catchment using a 1D InfoWorks ICM model, cross-checked with the Rational Method to estimate the peak flows during the 5% AEP Event. The models were prepared based on Engineering Plus's site plan, provided to IPD Consulting at the time of engagement, as well as LiDAR and aerial imagery.

Our ref: 2033

3.2 Pre-developed Site Discharge

The pre-developed model was created in Infoworks ICM, routing all the flow to a single outlet. The entire site was modelled as pervious grassland, Manning's n 0.03, and a ground slope of 2.3%.

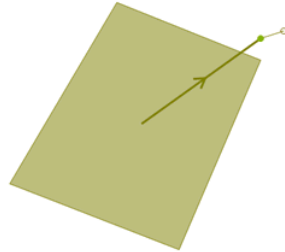


Figure 1: Pre-development site model

Initial and continuing losses were sourced from ARR Data Hub and for the subject site, an initial loss (IL) of 28mm and a continuing loss (CL) of 3.7mm/h was listed. These losses were applied to the Infoworks ICM model for the range of 5% events, and no runoff was recorded for any of the ensemble events.

It is noted that the initial loss value suggested by the Data Hub is excessive, preventing the site from creating any runoff, despite this being a significant event. In order to detain the site to pre-development flows, the site must be generating some runoff in the design event.

The rational method was used to estimate a peak, pre-development site runoff, with a coefficient of discharge based broadly around the Turner Method (Turner AK 1961). This method results in a coefficient of runoff of approximately 0.5 and a site peak discharge of 4.5L/s. To route a flow through the site and allow for controlled and un controlled areas, a revised model was "calibrated" to this peak flow and a resultant initial loss of 10mm was chosen.

3.3 Post Development Site Discharge

The post development model was created based on the Engineering Plus site plan. Due to the site being flat and with the site serviced by a kerb connection only, it was not considered feasible to detain any ground surfaces. The resulting model routes roofed areas to a detention basin, with all ground surfaces bypassing the detention and leaving the site undetained. The range of 5% rainfall events were applied to the model, and the peak discharge from the entire site was then limited to pre-development levels by limiting the outlet of the detention storage.

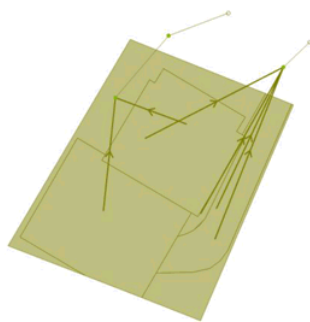


Figure 2: Post-Development site model

Our ref: 2033

Pervious areas were modelled using the same IL/CL values as the pre-development model, and impervious areas were modelled as 100% runoff. Manning's n 0.011, a ground slope of 2.3% and roof slope 22.5%.

The critical storm duration was determined to be the 20 minute event, and site discharge during the median temporal pattern was limited to 4.5L/s. Refer Appendix B and C for total site discharge graph for the developed site and peak storage graph.

4 Proposed Infrastructure

A 2,500L slimline water tank is proposed to act as the detention storage for all roofed areas during the 5% AEP event. The post development detention storage has been modelled as 2.1m high tank with a 30mm orifice plate.

The orifice plate sizing will be confirmed during detailed design based on updated design drawings, and the client's selected tank.

5 Key Assumptions

- All roofed areas will be plumbed into the above ground detention tank.

6 Discussion and Conclusion

Using the above-mentioned stormwater detention arrangement, it is estimated based on the preliminary assessment the proposed development is able to fully detain the increase in runoff during the 5% AEP event on-site, as per the requirements of the Stormwater Management Code

On this basis, IPD considers the proposed stormwater detention adequate to achieve the conditions required by Council under the Stormwater Management Code and kindly request a planning permit be issued to the applicant.

We trust that the above letter provides the information you require. If you require any further information or clarification on any aspect of the above, please don't hesitate to contact me on Mob: 0467 246 156 or Email: dmayne@ipdconsulting.com.au

Yours faithfully

IPD Consulting Pty Ltd



Duncan Mayne

Civil Engineer

Our ref: 2033

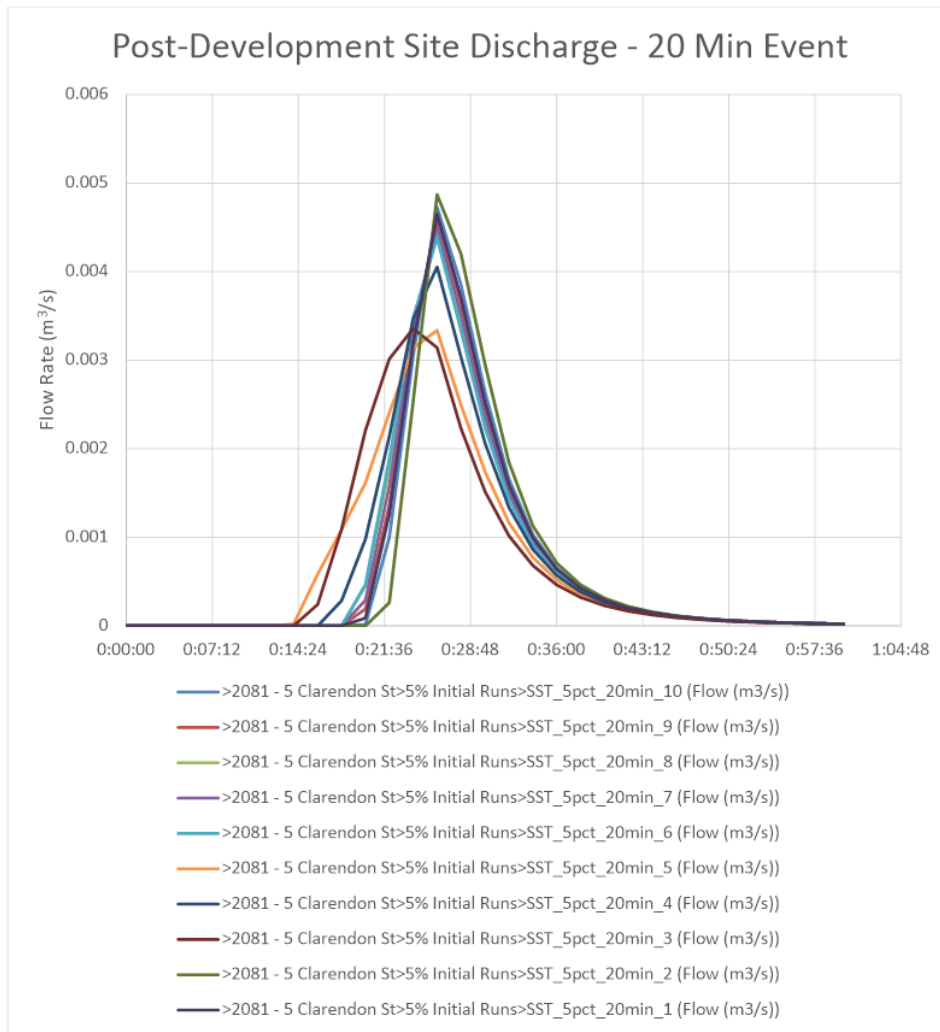
References

Ball J, Babister M, Nathan R, Weeks W, Weinmann E, Retallick M, Testoni I, (Editors) Australian Rainfall and Runoff: A Guide to Flood Estimation, © Commonwealth of Australia (Geoscience Australia), 2019.

Turner, A.K. (1961) The estimation of flood runoffs from small catchments. Jour. Inst. Engrs Aus., Vol. 33, pp. 383-388.

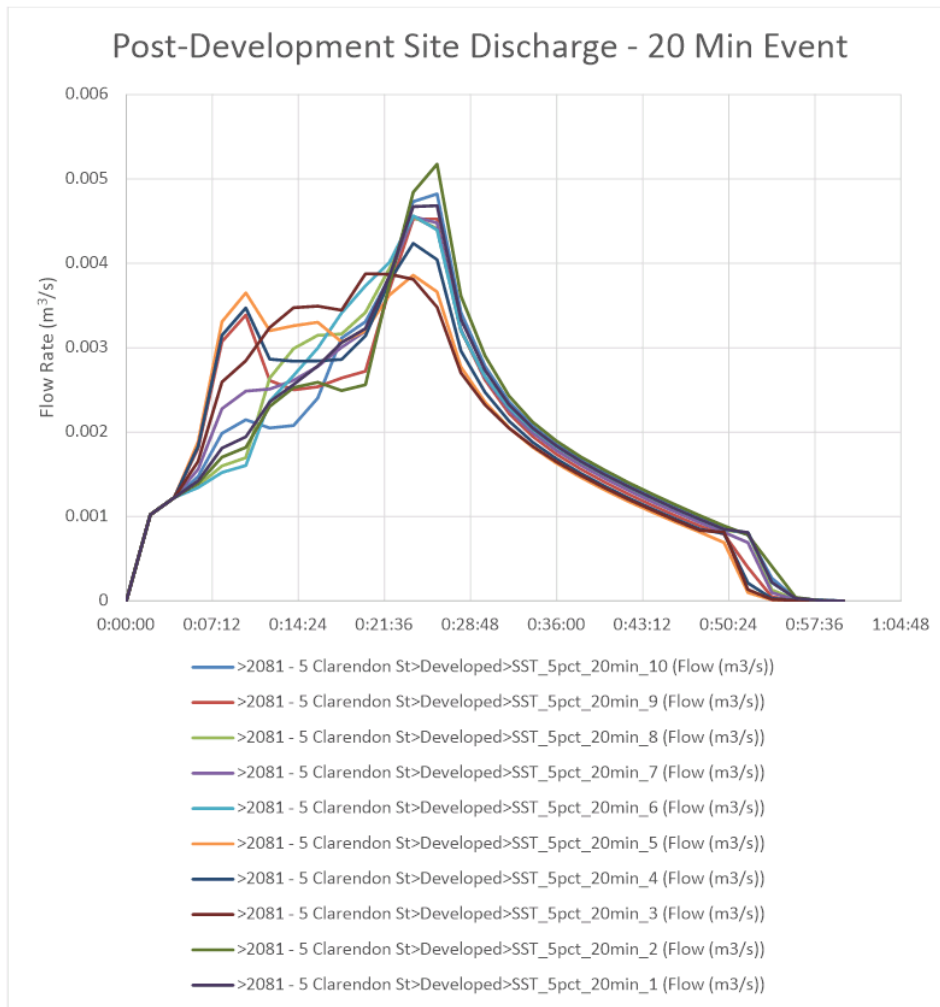
Our ref: 2033

Appendix A – Pre-Development Site Discharge



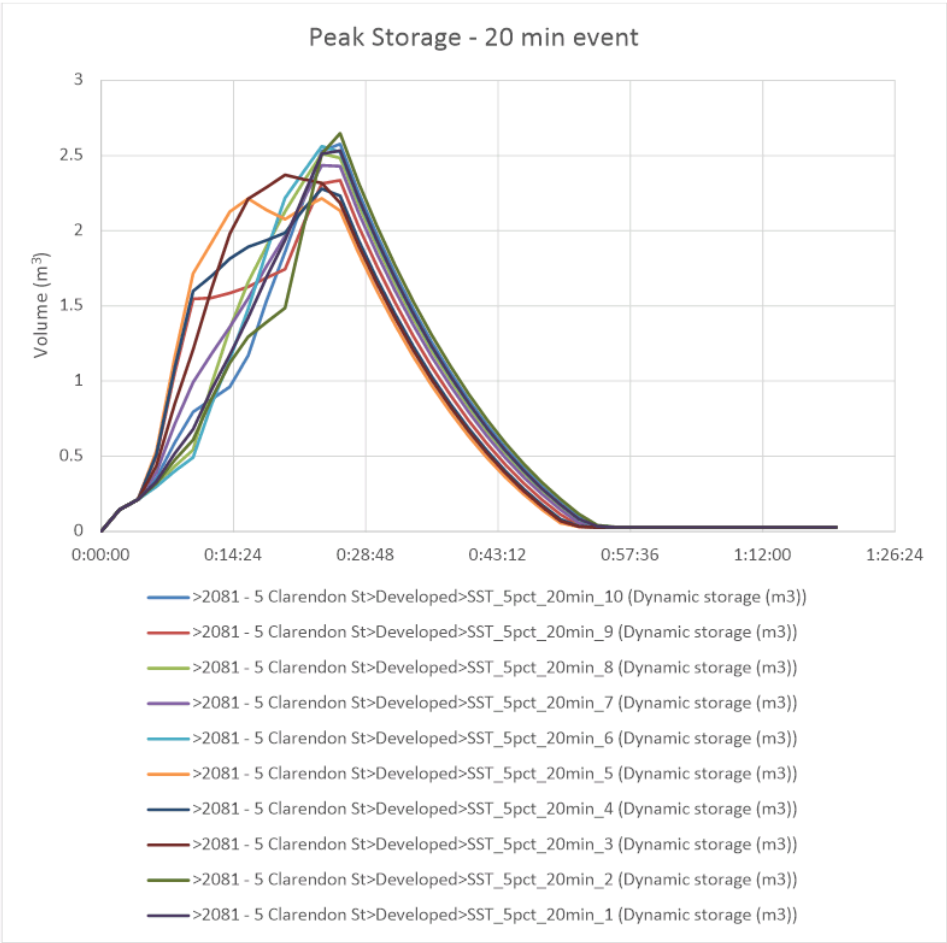
Our ref: 2033

Appendix B – Post-Development Site Discharge



Our ref: 2033

Appendix C – Post-Development Peak Storage



Application Referral Cultural Heritage - Response

From:	Nick Booth
Recommendation:	Proposal is acceptable subject to conditions.
Date Completed:	
Address:	5 CLARENDON STREET, NEW TOWN
Proposal:	Dwelling and Front Fencing
Application No:	PLN-21-793
Assessment Officer:	Michael McClenahan,

Referral Officer comments:

This application seeks approval for the construction of a single storey weatherboard dwelling with garage and 1.8m high front boundary to a vacant plot at 5 Clarendon Street, New Town. The circumstances of the application are unusual in that the site was previously occupied by a three bedroom single storey, weather board residential property with rear garage. The property in question was the subject to a substantial house fire and was so significantly damaged as a result that the removal of what remnants remained was deemed a necessity. As such, whilst the site has a well- established history of occupation and built form, it is considered that the site is vacant.

The site fronts onto Clarendon Street and the rear boundary overlooks the Inter City Rail Line/Cycle Path. It forms part of the Tower Road Heritage Precinct (NT1)) as set out in the Hobart Interim Planning Scheme 2015.

This precinct is significant for reasons including:

1. It contains a largely intact collection of residential houses of Federation, Californian Bungalow, Interwar and Postwar character on original lots sizes with a consistent character, substantially single storey form, domestic scale, original external detailing, finishes and materials.
2. The housing stock demonstrates an historical pattern of housing development through the orientation of houses facing the street and carports and garages located to the rear and behind the front building line with one house per lot.
3. It demonstrates the development and expansion of a cohesive residential suburban area located close to rail and tram routes and in close proximity to schools, churches and other major social and service infrastructure.

The proposal seeks permission for the erection of a single-storey weather board property. Although not an exact replica of the previous building on the site, the proposed new development would be substantially the same as the previous property in both form, massing, position and orientation on the plot. It's architectural form, whilst modest, would effectively read as a building from the late interwar period.

With regard to the visual impact, as with any development within a Heritage Precinct, the starting position must be whether the proposal would harm or detract from the distinctive character and historical/cultural significance of the townscape. In this instance, it is clear that the proposed property would adopt the same general form, design, materiality, scale and

organization on the plot as those both in the immediate street scape and to the wider Precinct. The final colouration of the intended materials have not been provided, and it is considered that the ability of the new development to sit comfortably within the wider streetscape will in part be determined by how its palette of colours reflects that of the residential streetscape. As such, it is considered that final approval of coloration should be subject to condition should approval be granted.

Based on the above therefore, it is considered that the proposed house would not appear overly jarring and would continue the sense of coherency within the Heritage precinct.

With regard to other elements of the proposal it is noted that the accompanying Heritage Impact Assessment Report submitted in support of the application states that the intended front boundary treatment is intended to be a 1.8m high timber picket fence. Whilst the height and design of front fencing is not specifically mentioned as one of the Precincts defining and significant features of its character, it is noted that consistency of character is identified as a factor, including external detailing that speaks of a cohesive residential suburb.

With this in mind, it is noted that when a visual survey is conducted within the 5 streetscapes that make up the Precinct, it is noted that no one style or height dominates, ranging from no front boundaries to sections of high solid fencing. However, it is considered that overwhelmingly the pattern of front boundary treatments are of low to mid-height fences, with high levels of transparency. Whilst it is noted that the previous building on the site was enclosed by a solid metal fence of 1.8m in height, it is clear that this very much represented an unfortunate exception and had a detrimental impact upon the appearance of the street. Given that this fence has been removed along with the previous building, it is considered that this provides little to no weight in formulating an argument that this should allow for an equally high fence to be established to the new dwelling.

It is noted that 4 representations have been received, all of which raise concerns as to the height of the proposed front fence with one specifically requesting that the front fence be limited to 1.2 metres in height, in order that it be "in keeping with the heritage and amenity of the street"

With regards to the above, it is considered reasonable in this instance to condition a reduction in height of the proposed new front boundary treatment. However, given the range of front boundary treatments, both within Clarendon Street and the wider Precinct, it is considered that a height of 1.5m would be an acceptable height. Whilst this would place it as one of the higher front boundary treatments within the Precinct, it would still sit within the range of existing fences and that when also conditioned to having a 30% transparency, it is considered that such a structure would not appear out of keeping with the local streetscapes and would not represent a detrimental feature within the Precinct.

Conclusion

It is therefore considered that subject to conditions relating to final approval of colouration of materials and reduction in height and provision of 30% transparency to the front fence, the proposal would not detract from the characteristics and wider townscape qualities of this Heritage Precinct and would thus comply with Clauses E.13.8.2 P1 and P4 of the HIPS.

Nick Booth
Heritage Officer
13 May 2022

**7.1.3 26 ROSEHILL CRESCENT LENAH VALLEY - PARTIAL
DEMOLITION, ALTERATIONS, EXTENSION, SWIMMING POOL,
GARAGE AND ALTERATIONS TO DRIVEWAY
PLN-21-771 - FILE REF: F22/45017**

Address: 26 Rosehill Crescent, Lenah Valley

Proposal: Partial Demolition, Alterations, Extension,
Swimming Pool, Garage and Alterations to
Driveway

Expiry Date: 18 June 2022

Extension of Time: Not applicable

Author: Michael McClenahan

RECOMMENDATION

That pursuant to the *Hobart Interim Planning Scheme 2015*, the City Planning Committee, in accordance with the delegations contained in its terms of reference, approve the application for partial demolition, alterations, extension, swimming pool, garage and alterations to driveway, at 26 Rosehill Crescent, Lenah Valley 7008 for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

GEN

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-21-771 - 26 ROSEHILL CRESCENT LENAH VALLEY TAS 7008 - Final Planning Documents except where modified below.

Reason for condition

To clarify the scope of the permit.

ENG sw1

All stormwater from the proposed development (including but not limited to: roofed areas, ag drains, retaining wall ag drains and impervious surfaces such as driveways and paved areas) must be drained to the Council's stormwater infrastructure prior to first occupation or commencement of use (whichever occurs first).

Any private or private shared stormwater system passing through third-party land must have sufficient receiving capacity.

Advice:

Under section 23 of the Urban Drainage Act 2013 it is an offence for a property owner to direct stormwater onto a neighbouring property.

Reason for condition

To ensure that stormwater from the site will be discharged to a suitable Council approved outlet.

ENG sw4

The new stormwater connection must be constructed and any existing abandoned connections sealed by the Council at the owner's expense, prior to the first occupation.

Detailed engineering drawings must be submitted and approved as part of an application for a new stormwater connection, prior to the issuing of any approval under the *Building Act 2016* or commencement of works (whichever occurs first). The detailed engineering drawings must include:

1. the location of the proposed connection;
2. the size of the connection appropriate to satisfy the needs of the development; and
3. the long section of the proposed connection into the public SW infrastructure

All work required by this condition must be undertaken in accordance with the approved detailed engineering drawings.

Advice:

The applicant is advised to submit detailed design drawings via a Council City Life Division [application for a new stormwater connection](#). If detailed design to satisfy this condition is submitted via the planning condition endorsement process there may be fees

associated with the assessment, and once approved the applicant will still need to submit an application for a new stormwater connection with Council City Life Division.

Where building / plumbing approval is also required, it is recommended that documentation to satisfy this condition is submitted well before submitting documentation for building/plumbing approval. Failure to address planning condition requirements prior to submitting for building/plumbing approval may result in unexpected delays.

Reason for condition

To ensure the site is drained adequately.

ENG 2a

Prior to first occupation or commencement of use (whichever occurs first), vehicular barriers compliant with the Australian Standard AS/NZS1170.1:2002 must be installed to prevent vehicles running off the edge of an access driveway or parking module (parking spaces, aisles and manoeuvring area) where the drop from the edge of the trafficable area to a lower level is 600mm or greater, and wheel stops (kerb) must be installed for drops between 150mm and 600mm. Barriers must not limit the width of the driveway access or parking and turning areas approved under the permit.

Advice:

The Council does not consider a slope greater than 1 in 4 to constitute a lower level as described in AS/NZS 2890.1:2004 Section 2.4.5.3. Slopes greater than 1 in 4 will require a vehicular barrier or wheel stop.

Designers are advised to consult the [National Construction Code 2016](#) to determine if pedestrian handrails or safety barriers compliant with the NCC2016 are also required in the parking module this area may be considered as a path of access to a building.

Reason for condition

To ensure the safety of users of the access driveway and parking module and compliance with the standard.

ENG 2b

Further detailed designs are required for vehicle barriers in the following locations:

1. Driveway.

This documentation must be submitted and approved as a condition endorsement, prior to the issuing of any approval under the *Building Act 2016*.

The detailed designs must:

1. be prepared and certified by a suitably qualified engineer;
2. be in accordance with the Australian Standard AS/NZS 1170.1:2002, if possible; and
3. show dimensions, levels, and other details as Council deem necessary to satisfy the above requirement.
4. show the extent of proposed vehicle safety barriers, where required to satisfy AS/NZS 2890.1:2004 Section 2.4.5.3, clearly specifying heights of drops from the driveway / parking area to lower levels where vehicle safety barriers and/or wheelstops are not required.

The vehicle barriers must be installed in accordance with the approved detailed designs prior to the commencement of use.

Advice:

This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.

Reason for condition

To ensure the safety of users of the access driveway and parking module and compliance with the standard.

ENG 2c

Prior to the commencement of use, vehicular barriers must be inspected by a qualified engineer and certification submitted to the Council confirming that the installed vehicular barriers comply with the certified design and Australian Standard AS/NZS1170.1:2002.

Advice:

Certification may be submitted to the Council as part of the Building Act 2016 approval process or via condition endorsement (see general advice on how to obtain condition endorsement).

Reason for condition

To ensure the safety of users of the access driveway and parking module and compliance with the relevant standards.

ENG 3a

The access driveway and parking module must be constructed in accordance with the following documentation which forms part of this permit: JSA Consulting Engineers documentation received by the Council on the 31 March 2022.

Any departure from that documentation and any works which are not detailed in the documentation must be either:

- (a) approved by the Director City Planning, via a condition endorsement application; or
- (b) (b) designed and constructed in accordance with Australian Standard AS/NZ 2890.1:2004.

The works required by this condition must be completed prior to first occupation.

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

ENG 3c

The access driveway and parking module (parking spaces and manoeuvring area) must be constructed in accordance with the design drawings approved by Condition ENG 3a.

Prior to the first occupation / commencement of use, documentation by a suitably qualified engineer certifying that the access driveway and parking module has been constructed in accordance with the above drawings must be lodged with Council.

Advice:

Certification may be submitted to Council as part of the Building Act 2016 approval process or via condition endorsement (see general advice on how to obtain condition endorsement)

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

ENG 4

The access driveway and parking module (car parking spaces, aisles and manoeuvring area) approved by this permit must be constructed to a sealed standard (spray seal, asphalt, concrete, pavers or equivalent Council approved) and surface drained to the Council's stormwater infrastructure prior to the first occupation / commencement of use.

Reason for condition

To ensure the safety of users of the access driveway and parking module, and that it does not detract from the amenity of users, adjoining occupiers or the environment by preventing dust, mud and sediment transport.

ENG 1

Any damage to council infrastructure resulting from the implementation of this permit, must, at the discretion of the Council:

1. Be met by the owner by way of reimbursement (cost of repair and reinstatement to be paid by the owner to the Council); or
2. Be repaired and reinstated by the owner to the satisfaction of the Council.

A photographic record of the Council's infrastructure adjacent to the subject site must be provided to the Council prior to any commencement of works.

A photographic record of the Council's infrastructure (e.g. existing property service connection points, roads, buildings, stormwater, footpaths, driveway crossovers and nature strips, including if any, pre-existing damage) will be relied upon to establish the extent of damage caused to the Council's infrastructure during construction. In the event that the owner/developer fails to provide to the Council a photographic record of the Council's infrastructure, then any damage to the Council's infrastructure found on completion of works will be deemed to be the responsibility of the owner.

Reason for condition

To ensure that any of the Council's infrastructure and/or site-related service connections affected by the proposal will be altered and/or reinstated at the owner's full cost.

ENV 1

Sediment and erosion control measures sufficient to prevent sediment from leaving the site must be installed prior to any disturbance of the site, and maintained until all areas of disturbance have been stabilized or re-vegetated.

Advice:

For further guidance in preparing a Soil and Water Management Plan – in accordance with Fact sheet 3 Derwent Estuary Program click [here](#).

Reason for condition

To avoid the sedimentation of roads, drains, natural watercourses, Council land that could be caused by erosion and runoff from the development, and to comply with relevant State legislation.

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

CONDITION ENDORSEMENT

If any condition requires that further documents are submitted and approved, you will need to submit the relevant documentation to satisfy the condition via the Condition Endorsement Submission on Council's [online services e-planning portal](#). Detailed instructions can be found [here](#).

A fee of 2% of the value of the works for new public assets (stormwater infrastructure, roads and related assets) will apply for the condition endorsement application.

Once approved, the Council will respond to you via email that the condition has been endorsed (satisfied).

Where building approval is also required, it is recommended that documentation for condition endorsement be submitted well before submitting documentation for building approval. Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.

BUILDING PERMIT

You may need building approval in accordance with the *Building Act 2016*. Click [here](#) for more information.

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

PLUMBING PERMIT

You may need plumbing approval in accordance with the *Building Act 2016*, *Building Regulations 2016* and the National Construction Code. Click [here](#) for more information.

OCCUPATION OF THE PUBLIC HIGHWAY

You may require a permit for the occupation of the public highway for construction (e.g. placement of skip bin, crane, scissor lift etc). Click [here](#) for more information.

NEW SERVICE CONNECTION

Please contact the Hobart City Council's City Life Division to initiate the application process for your [new stormwater connection](#).

STORMWATER

Please note that in addition to a building and/or plumbing permit, development must be in accordance with the Hobart City Council's Infrastructure By law. Click [here](#) for more information.

WORK WITHIN THE HIGHWAY RESERVATION

Please note development must be in accordance with the Hobart City Council's Infrastructure by law. Click [here](#) for more information.

DRIVEWAY SURFACING OVER HIGHWAY RESERVATION

If a coloured or textured surface is used for the driveway access within the Highway Reservation, the Council or other service provider will not match this on any reinstatement of the driveway access within the Highway Reservation required in the future.

STORMWATER / ROADS / ACCESS

Services to be designed and constructed in accordance with the (IPWEA) LGAT – standard drawings. Click [here](#) for more information.

RIGHT OF WAY

The private right of way must not be reduced, restricted or impeded in any way, and all beneficiaries must have complete and unrestricted access at all times.

You should inform yourself as to your rights and responsibilities in respect to the private right of way particularly reducing, restricting or impeding the right during and after construction.

WORK PLACE HEALTH AND SAFETY

Appropriate occupational health and safety measures must be employed during the works to minimise direct human exposure to potentially-contaminated soil, water, dust and vapours. Click [here](#) for more information.

NOISE REGULATIONS

Click [here](#) for information with respect to noise nuisances in residential areas.

WASTE DISPOSAL

It is recommended that the developer liaise with the Council's Cleansing and Solid Waste Unit regarding reducing, reusing and recycling materials associated with demolition on the site to minimise solid waste being directed to landfill.


Further information regarding waste disposal can also be found on the Council's [website](#).


FEES AND CHARGES

Click [here](#) for information on the Council's fees and charges.

DIAL BEFORE YOU DIG

Click [here](#) for dial before you dig information.

Attachment A: PLN-21-771 - 26 ROSEHILL CRESCENT LENA VALLEY TAS 7008 - Planning Committee or Delegated Report ↓ 

Attachment B: PLN-21-771 - 26 ROSEHILL CRESCENT LENA VALLEY TAS 7008 - CPC Agenda Documents ↓ 

**APPLICATION UNDER HOBART INTERIM PLANNING SCHEME 2015**

Type of Report:	Committee
Committee:	23 May 2022
Expiry Date:	18 June 2022
Application No:	PLN-21-771
Address:	26 ROSEHILL CRESCENT , LENA VALLEY
Applicant:	Xavier Carthew-Wakefield (DW+A) 122 Murray Street Hobart
Proposal:	Partial Demolition, Alterations, Extension, Swimming Pool, Garage and Alterations to Driveway
Representations:	Four
Performance criteria:	General Residential Zone Development Standards

1. Executive Summary

- 1.1 Planning approval is sought for Partial Demolition, Alterations, Extension, Swimming Pool, Garage and Alterations to Driveway, at 26 Rosehill Crescent, Lenah Valley.
- 1.2 More specifically the proposal includes:
 - Alterations and extensions including new garage and sun room, swimming pool, bedroom and deck extension on north elevation
 - Extension to include bedroom, bathroom and kitchen on southern elevation
 - New driveway and modification of existing driveway
 - Landscaping and planting to rear of dwelling
- 1.3 The proposal relies on performance criteria to satisfy the following standards and codes:
 - 1.3.1 General Residential Zone - Setbacks and Building Envelope
- 1.4 Four (4) representations objecting to the proposal were received within the statutory advertising period between 20/04/22 - 05/05/22.
- 1.5 The proposal is recommended for approval subject to conditions.

- 1.6 The final decision is delegated to the City Planning Committee, because four objections were received during the statutory advertising period.

2. Site Detail

- 2.1 The subject site is located at 26 Rosehill Crescent, Lenah Valley and comprises a single title residential lot approximately 842m² in size. The site presently contains a two storey single dwelling and detached garage. The lot rises steeply to the south, away from the Rosehill Crescent frontage. Access to the lot is via a parallel access road that is connected to Rosehill Crescent and the driveway on the subject site is shared with the adjoining property to the west. The surrounding area is characterised by similar residential uses.



Figure 1: Aerial image of the subject site (bordered in blue) and surrounding area.

3. Proposal

- 3.1 Planning approval is sought for Partial Demolition, Alterations, Extension, Swimming Pool, Garage and Alterations to Driveway, at 26 Rosehill Crescent, Lenah Valley.

3.2 More specifically the proposal is for:

- Alterations and extensions including new garage and sun room, swimming pool, bedroom and deck extension on north elevation
- Extension to include bedroom, bathroom and kitchen on southern elevation
- New driveway and modification of existing driveway
- Landscaping and planting to rear of dwelling

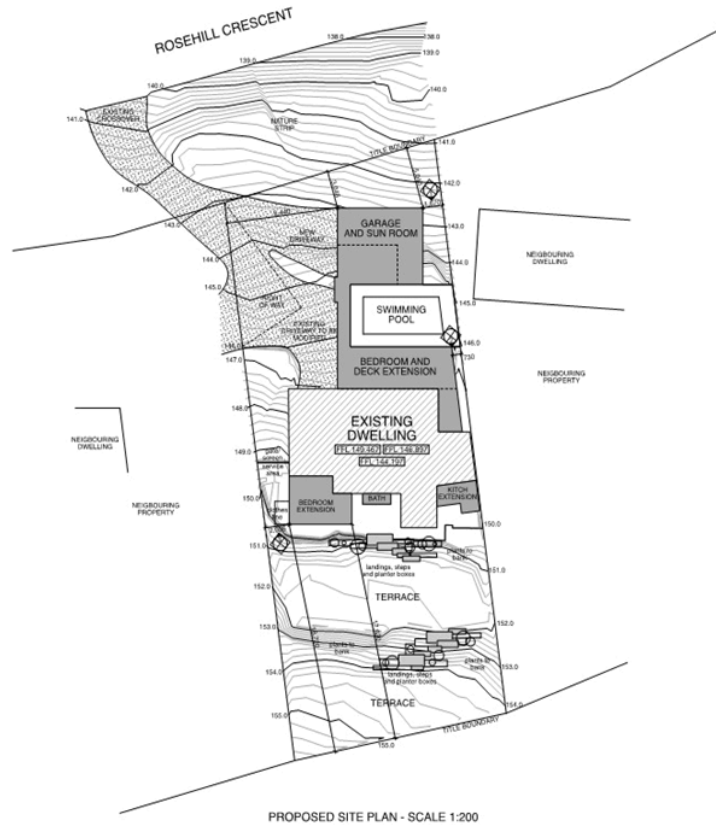


Figure 2: Proposed site plan.

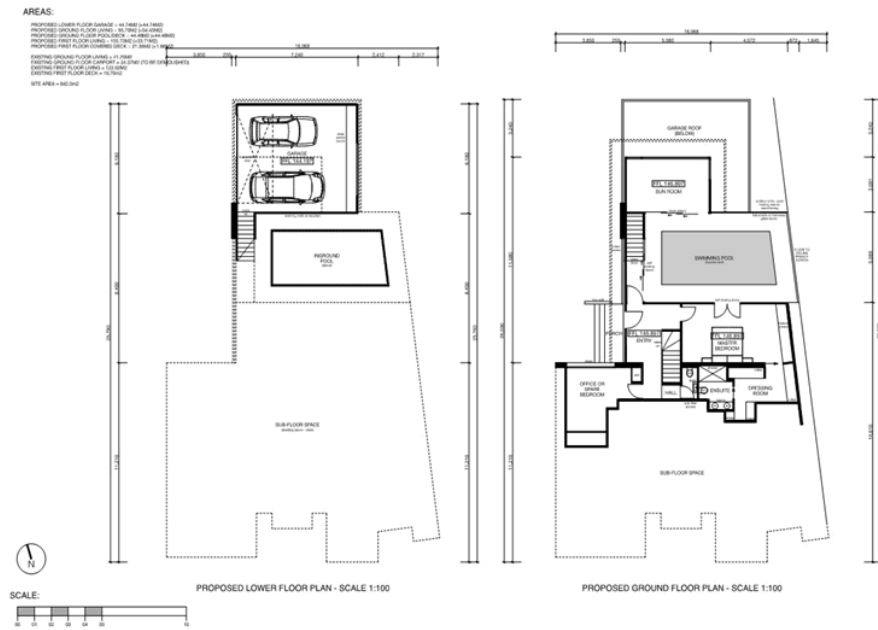


Figure 3: Proposed lower floor and ground floor plans.

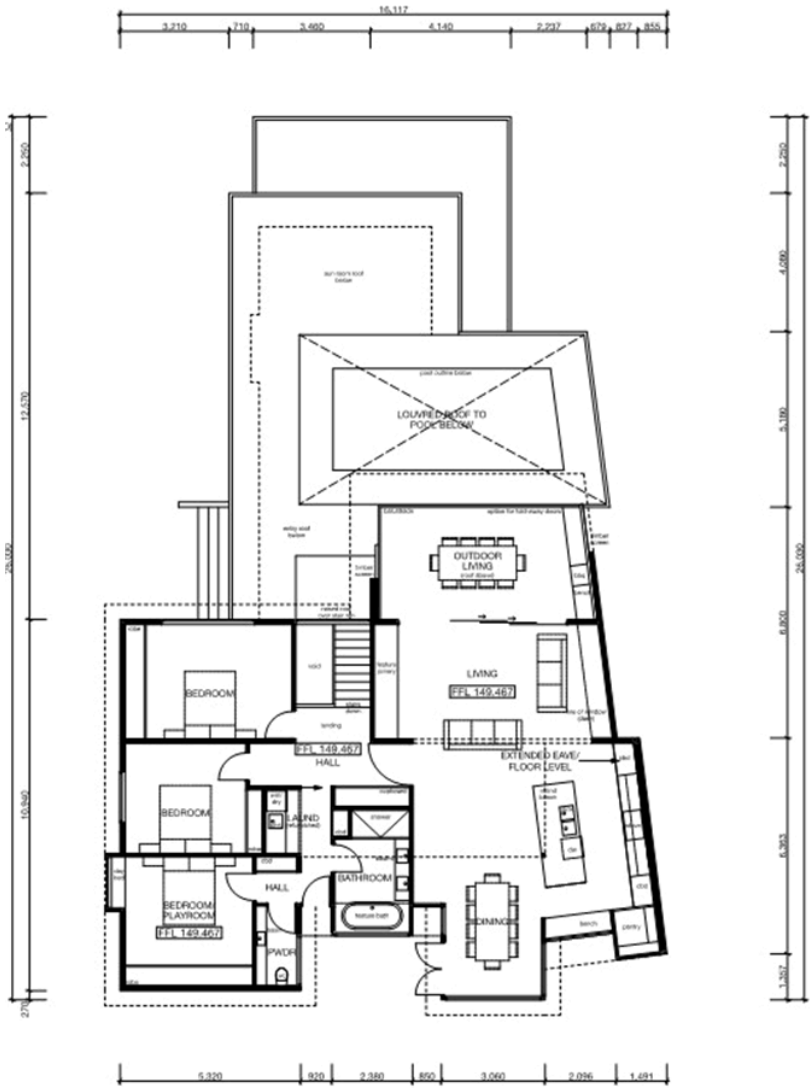


Figure 4: Proposed first floor plan.



Figure 5: External perspectives of proposed development.

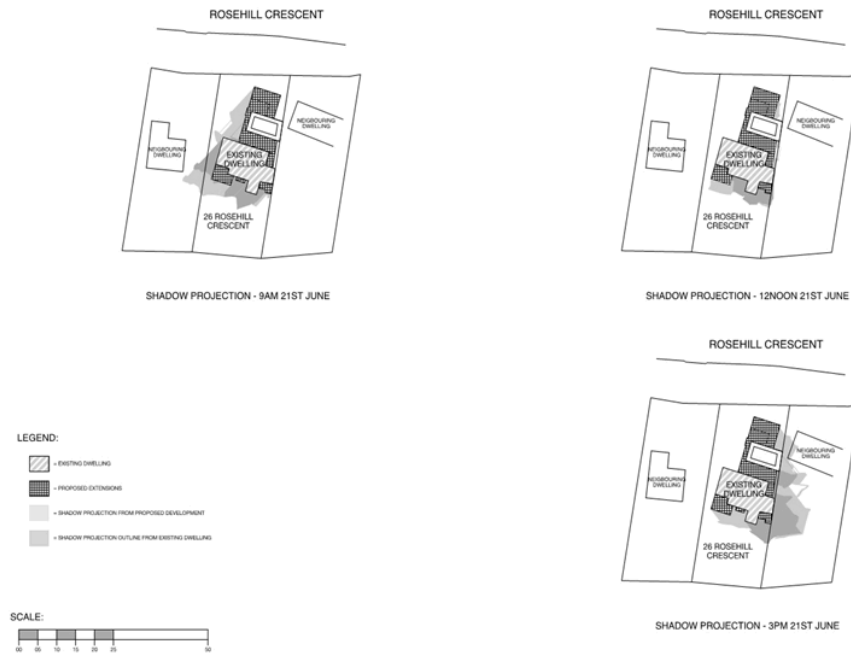


Figure 6: Shadow diagrams of proposed development.

4. Background

4.1 There is no relevant background for this application.

5. Concerns raised by representors

- 5.1 Four (4) representations objecting to the proposal were received within the statutory advertising period between 20/04/22 - 05/05/22.
- 5.2 The following table outlines the concerns raised in the representations received. Those concerns which relate to a discretion invoked by the proposal are addressed in Section 6 of this report.

Storm water from 26 Rosehill Crescent and the additional 6 properties uphill (28-38 Rosehill Crescent) of this is currently serviced by a concrete drain covered by a metal plate at the private/service road junction between 26 and 28 Rosehill Crescent. I have asked council to investigate the efficacy of this drain in the last 6 months as even during smaller rain events it fills and overflows water down the driveway and on to Rosehill Crescent
I suspect there is an issue with either the adequacy of the existing drain and the catchment it services or that it is either blocked or broken (a common occurrence with TasWater infrastructure in this street due to it's age and ground movement).
Every significant rain event brings with it an overflowing drain at the bottom juncture of this road, which in turn spills down the slope of this service road to the lower section of Rosehill. This, coupled with the aforementioned blocked kerbside gutters, causes a number of aquaplaning sections on the lower part of the hill; I feel we are close to having a car through someone's house.
We are concerned the additional roof area will exacerbate an existing stormwater management issue. This issue has led to flood damage to 7 and 9 Rosehill Crescent in the past and regularly causes a traffic hazard. We would like Council to rectify this stormwater issue prior to the new development being completed. Apart from this issue, we have no objections to the proposed development.
The issue I would like Council to take into consideration is that the handling of stormwater on the southern (uphill or even numbered lots) side of the street is woefully inadequate as it stands. Both myself and my neighbour...have had our properties damaged due to water ingress. This flood damage was, at least in part, due to water flowing freely across Rosehill Crescent from the shared service road for numbers 26-38 in sufficient quantity to breach the gutters and flow over the rise in our driveways. Should this stormwater handling issue be addressed, I would have no further cause to make representation regarding the proposed developments at number 26 Rosehill Crescent.

6. Assessment

- 6.1 The *Hobart Interim Planning Scheme 2015* is a performance based planning scheme. To meet an applicable standard, a proposal must demonstrate compliance with either an acceptable solution or a performance criterion. Where a proposal complies with a standard by relying on one or more performance criteria,

the Council may approve or refuse the proposal on that basis. The ability to approve or refuse the proposal relates only to the performance criteria relied on.

6.2 The site is located within the General Residential Zone of the *Hobart Interim Planning Scheme 2015*.

6.3 The existing use is Residential (single dwelling). There is no proposed change of use. The existing use is a no permit required use in the zone.

6.4 The proposal has been assessed against:

6.4.1 D10.0 General Residential Zone

6.4.2 E6.0 Parking and Access Code

6.4.3 E7.0 Stormwater Management Code

6.5 The proposal relies on the following performance criteria to comply with the applicable standards:

6.5.1 General Residential Zone:

Setbacks and Building Envelope - D10.4.2 P3

6.6 Each performance criterion is assessed below.

6.7 Setback and Building Envelope D10.4.2 P

6.7.1 The acceptable solution at clause 10.4.2 A3 requires a dwelling must be contained within a building envelope determined by projecting a line at an angle of 45 degrees from the horizontal at a height of 3m above existing ground level at the side and rear boundaries to a building height of not more than 9.5m above existing ground level, as well as not having a wall within 1.5m of a side boundary that exceeds 9m in length.

6.7.2 The proposal includes extension to an existing dwelling which project beyond the building envelope, as well as having walls within 1.5m of the eastern boundary that exceed 9m.

6.7.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.

6.7.4 The performance criterion at clause 10.4.2 P3 provides as follows:

The siting and scale of a dwelling must:

(a) not cause an unreasonable loss of amenity to adjoining properties, having regard to:

(i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property;

(ii) overshadowing the private open space of a dwelling on an adjoining property;

(iii) overshadowing of an adjoining vacant property; or

(iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property;

(b) provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area; and

(c) not cause an unreasonable reduction in sunlight to an existing solar energy installation on:

(i) an adjoining property; or

(ii) another dwelling on the same site.

6.7.5 The proposed development will include minor extensions to the rear of the existing dwelling and a more substantial extension which includes new garage and swimming pool to the front of the existing dwelling. Shadow diagrams have been provided by the applicant to assess the overshadowing and sunlight reduction on adjoining property. The documentation provided illustrates that the only overshadowing to an adjoining property will occur at 9:00am on June 21st to a thin sliver of land to the property to the west and the minor overshadowing of the rear yard of the adjoining property to the east at 3:00pm. The provided diagrams do not illustrate any reduction in sunlight to a habitable room. Whilst there will be some overshadowing of private open space, the extent of area impacted will not be a significant increase and as such is assessed as not causing an unreasonable loss of amenity.

With respect to visual impacts, the greatest change will occur when viewing the site from the adjoining property to the east with a greater extension of the ground floor level. This extension will be primarily for the open pool deck and as such will not create any substantial solid bulk, with an open air area extending along the shared side boundary. The extensions will remain proportionate to the existing dwelling and will not be out of scale with existing structures on the site, or existing buildings in the immediate area. The proposed development is assessed as not presenting an unreasonable visual impact.

The proposal will maintain the existing separation distance between dwellings on properties in the surrounding area.

The shadow diagrams illustrated will not impact upon or cause a reduction in sunlight to existing solar energy installations on adjoining properties.

6.7.6 The proposal complies with the performance criterion.

7. Discussion

- 7.1 Planning approval is sought for Partial Demolition, Alterations, Extension, Swimming Pool, Garage and Alterations to Driveway, at 26 Rosehill Crescent, Lenah Valley.

- 7.2 The application was advertised and received four (4) representations. The representations raised concerns primarily focused on the potential additional stormwater load the proposed development may generate, and the impact any overflow would have on existing public infrastructure in the Rosehill Crescent Road Reserve. All representations raised historical issues with the capacity of this infrastructure to handle increased water, particularly during sustained rain events.

Referral was made to Council's Stormwater Engineer who has considered the proposal in compliance with all acceptable solutions under the Stormwater Management Code. The assessing engineer has provided the following comments:

To make it clear, the proposed development does not significantly increase the impervious area and most of the existing areas are replaced by the proposed development. So, I do not support this idea that preventing the implementation of this development is the solution of the concerns raised under these representations.

There remains valid concerns with the infrastructure and drainage in the Rosehill Crescent Road Reserve but these matters are not considered relevant under the planning assessment for the proposed development.

- 7.3 The proposal has been assessed against the relevant provisions of the planning scheme and is considered to perform well.
- 7.4 The proposal has been assessed by other Council officers, including the Council's Development Engineer, and Stormwater Engineer. The officers have raised no objection to the proposal, subject to conditions.
- 7.5 The proposal is recommended for approval.

8. Conclusion

- 8.1 The proposed Partial Demolition, Alterations, Extension, Swimming Pool, Garage and Alterations to Driveway, at 26 Rosehill Crescent, Lenah Valley satisfies the relevant provisions of the *Hobart Interim Planning Scheme 2015*, and as such is recommended for approval.

9. Recommendations

That: Pursuant to the *Hobart Interim Planning Scheme 2015*, the City Planning Committee, in accordance with the delegations contained in its terms of reference, approve the application for Partial Demolition, Alterations, Extension, Swimming Pool, Garage and Alterations to Driveway, at 26 Rosehill Crescent, Lenah Valley for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

GEN

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-21-771 - 26 ROSEHILL CRESCENT LENA VALLEY TAS 7008 - Final Planning Documents except where modified below.

Reason for condition

To clarify the scope of the permit.

ENG sw1

All stormwater from the proposed development (including but not limited to: roofed areas, ag drains, retaining wall ag drains and impervious surfaces such as driveways and paved areas) must be drained to the Council's stormwater infrastructure prior to first occupation or commencement of use (whichever occurs first).

Any private or private shared stormwater system passing through third-party land must have sufficient receiving capacity.

Advice:

Under section 23 of the Urban Drainage Act 2013 it is an offence for a property owner to direct stormwater onto a neighbouring property.

Reason for condition

To ensure that stormwater from the site will be discharged to a suitable Council approved outlet.

ENG sw4

The new stormwater connection must be constructed and any existing abandoned connections sealed by the Council at the owner's expense, prior to the first occupation.

Detailed engineering drawings must be submitted and approved as part of an application for a new stormwater connection, prior to the issuing of any approval under the *Building Act 2016* or commencement of works (whichever occurs first). The detailed engineering drawings must include:

1. the location of the proposed connection;
2. the size of the connection appropriate to satisfy the needs of the development; and
3. the long section of the proposed connection into the public SW infrastructure

All work required by this condition must be undertaken in accordance with the approved detailed engineering drawings.

Advice:

The applicant is advised to submit detailed design drawings via a Council City Life Division [application for a new stormwater connection](#). If detailed design to satisfy this condition is submitted via the planning condition endorsement process there may be fees associated with the assessment, and once approved the applicant will still need to submit an application for a new stormwater connection with Council City Life Division.

Where building / plumbing approval is also required, it is recommended that documentation to satisfy this condition is submitted well before submitting documentation for building/plumbing approval. Failure to address planning condition requirements prior to submitting for building/plumbing approval may result in unexpected delays.

Reason for condition

To ensure the site is drained adequately.

ENG 2a

Prior to first occupation or commencement of use (whichever occurs first), vehicular barriers compliant with the Australian Standard AS/NZS1170.1:2002 must be installed to prevent vehicles running off the edge of an access driveway or parking module (parking spaces, aisles and manoeuvring area)

where the drop from the edge of the trafficable area to a lower level is 600mm or greater, and wheel stops (kerb) must be installed for drops between 150mm and 600mm. Barriers must not limit the width of the driveway access or parking and turning areas approved under the permit.

Advice:

- *The Council does not consider a slope greater than 1 in 4 to constitute a lower level as described in AS/NZS 2890.1:2004 Section 2.4.5.3. Slopes greater than 1 in 4 will require a vehicular barrier or wheel stop.*
- *Designers are advised to consult the [National Construction Code 2016](#) to determine if pedestrian handrails or safety barriers compliant with the NCC2016 are also required in the parking module this area may be considered as a path of access to a building.*

Reason for condition

To ensure the safety of users of the access driveway and parking module and compliance with the standard.

ENG 2b

Further detailed designs are required for vehicle barriers in the following locations:

1. Driveway.

This documentation must be submitted and approved as a condition endorsement, prior to the issuing of any approval under the Building Act 2016.

The detailed designs must:

1. be prepared and certified by a suitably qualified engineer;
2. be in accordance with the Australian Standard AS/NZS1170.1:2002, if possible; and
3. show dimensions, levels, and other details as Council deem necessary to satisfy the above requirement.
4. show the extent of proposed vehicle safety barriers, where required to satisfy AS/NZS 2890.1:2004 Section 2.4.5.3, clearly specifying heights of drops from the driveway / parking area to lower levels where vehicle safety barriers and/or wheelstops are not required.

The vehicle barriers must be installed in accordance with the approved detailed designs prior to the commencement of use.

Advice: This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.

Reason for condition

To ensure the safety of users of the access driveway and parking module and compliance with the standard.

ENG 2c

Prior to the commencement of use, vehicular barriers must be inspected by a qualified engineer and certification submitted to the Council confirming that the installed vehicular barriers comply with the certified design and Australian Standard AS/NZS1170.1:2002.

Advice:

- *Certification may be submitted to the Council as part of the Building Act 2016 approval process or via condition endorsement (see general advice on how to obtain condition endorsement).*

Reason for condition

To ensure the safety of users of the access driveway and parking module and compliance with the relevant standards.

ENG 3a

The access driveway and parking module must be constructed in accordance with the following documentation which forms part of this permit: JSA Consulting Engineers documentation received by the Council on the 31st March 2022.

Any departure from that documentation and any works which are not detailed in the documentation must be either:

- (a) approved by the Director City Planning, via a condition endorsement application; or
- (b) designed and constructed in accordance with Australian Standard AS/NZ2890.1:2004.

The works required by this condition must be completed prior to first occupation.

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

ENG 3c

The access driveway and parking module (parking spaces and manoeuvring area) must be constructed in accordance with the design drawings approved by Condition ENG 3a.

Prior to the first occupation / commencement of use, documentation by a suitably qualified engineer certifying that the access driveway and parking module has been constructed in accordance with the above drawings must be lodged with Council.

Advice:

- *Certification may be submitted to Council as part of the Building Act 2016 approval process or via condition endorsement (see general advice on how to obtain condition endorsement)*

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

ENG 4

The access driveway and parking module (car parking spaces, aisles and manoeuvring area) approved by this permit must be constructed to a sealed standard (spray seal, asphalt, concrete, pavers or equivalent Council approved) and surface drained to the Council's stormwater infrastructure prior to the first occupation / commencement of use.

Reason for condition

To ensure the safety of users of the access driveway and parking module, and that it does not detract from the amenity of users, adjoining occupiers or the environment by preventing dust, mud and sediment transport.

ENG 1

Any damage to council infrastructure resulting from the implementation of this permit, must, at the discretion of the Council:

1. **Be met by the owner by way of reimbursement (cost of repair and reinstatement to be paid by the owner to the Council); or**
2. **Be repaired and reinstated by the owner to the satisfaction of the Council.**

A photographic record of the Council's infrastructure adjacent to the subject site must be provided to the Council prior to any commencement of works.

A photographic record of the Council's infrastructure (e.g. existing property service connection points, roads, buildings, stormwater, footpaths, driveway crossovers and nature strips, including if any, pre-existing damage) will be relied upon to establish the extent of damage caused to the Council's infrastructure during construction. In the event that the owner/developer fails to provide to the Council a photographic record of the Council's infrastructure, then any damage to the Council's infrastructure found on completion of works will be deemed to be the responsibility of the owner.

Reason for condition

To ensure that any of the Council's infrastructure and/or site-related service connections affected by the proposal will be altered and/or reinstated at the owner's full cost.

ENV 1

Sediment and erosion control measures sufficient to prevent sediment from leaving the site must be installed prior to any disturbance of the site, and maintained until all areas of disturbance have been stabilized or re-vegetated.

Advice:

For further guidance in preparing a Soil and Water Management Plan – in accordance with Fact sheet 3 Derwent Estuary Program click [here](#).

Reason for condition

To avoid the sedimentation of roads, drains, natural watercourses, Council land that could be caused by erosion and runoff from the development, and to comply with relevant State legislation.

ADVICE

The following advice is provided to you to assist in the implementation of the planning

permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

CONDITION ENDORSEMENT

If any condition requires that further documents are submitted and approved, you will need to submit the relevant documentation to satisfy the condition via the Condition Endorsement Submission on Council's [online services e-planning portal](#). Detailed instructions can be found [here](#).

A fee of 2% of the value of the works for new public assets (stormwater infrastructure, roads and related assets) will apply for the condition endorsement application.

Once approved, the Council will respond to you via email that the condition has been endorsed (satisfied).

Where building approval is also required, it is recommended that documentation for condition endorsement be submitted well before submitting documentation for building approval. Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.

BUILDING PERMIT

You may need building approval in accordance with the *Building Act 2016*. Click [here](#) for more information.

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

PLUMBING PERMIT

You may need plumbing approval in accordance with the *Building Act 2016*, *Building Regulations 2016* and the National Construction Code. Click [here](#) for more information.

OCCUPATION OF THE PUBLIC HIGHWAY

You may require a permit for the occupation of the public highway for construction (e.g.

placement of skip bin, crane, scissor lift etc). Click [here](#) for more information.

NEW SERVICE CONNECTION

Please contact the Hobart City Council's City Life Division to initiate the application process for your [new stormwater connection](#).

STORMWATER

Please note that in addition to a building and/or plumbing permit, development must be in accordance with the Hobart City Council's Infrastructure By law. Click [here](#) for more information.

WORK WITHIN THE HIGHWAY RESERVATION

Please note development must be in accordance with the Hobart City Council's Infrastructure by law. Click [here](#) for more information.

DRIVEWAY SURFACING OVER HIGHWAY RESERVATION

If a coloured or textured surface is used for the driveway access within the Highway Reservation, the Council or other service provider will not match this on any reinstatement of the driveway access within the Highway Reservation required in the future.

STORM WATER / ROADS / ACCESS

Services to be designed and constructed in accordance with the (IPWEA) LGAT – standard drawings. Click [here](#) for more information.

RIGHT OF WAY

The private right of way must not be reduced, restricted or impeded in any way, and all beneficiaries must have complete and unrestricted access at all times.

You should inform yourself as to your rights and responsibilities in respect to the private right of way particularly reducing, restricting or impeding the right during and after construction.

WORK PLACE HEALTH AND SAFETY

Appropriate occupational health and safety measures must be employed during the works to minimise direct human exposure to potentially-contaminated soil, water, dust and vapours. Click [here](#) for more information.

NOISE REGULATIONS

Click [here](#) for information with respect to noise nuisances in residential areas.

WASTE DISPOSAL

It is recommended that the developer liaise with the Council's Cleansing and Solid Waste Unit regarding reducing, reusing and recycling materials associated with demolition on the site to minimise solid waste being directed to landfill.

Further information regarding waste disposal can also be found on the Council's [website](#).

FEES AND CHARGES

Click [here](#) for information on the Council's fees and charges.

DIAL BEFORE YOU DIG

Click [here](#) for dial before you dig information.



(Michael McClenahan)

Development Appraisal Planner

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.



(Ben Ikin)

Senior Statutory Planner

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

Date of Report: 11 May 2022

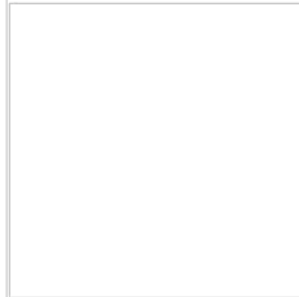
Attachment(s):

Attachment B - CPC Agenda Documents

Planning: #245232

Property

26 ROSEHILL CRESCENT LENA VALLEY TAS 7008

**People**

Applicant

*

DW+A

Xavier Carthew-Wakefield

122 Murray Street Hobart

HOBART TAS 7000

0438313833

xavier@dwadesign.com.au

Owner

*

Charlotte Gundasa

26 Rosehill Crescent

LENAH VALLEY TAS 7008

0438203550

nirmala@tempusis.com.au

Owner

*

Charlotte Gundasa

26 Rosehill Crescent

LENAH VALLEY TAS 7008

0438203550

nirmala@tempusis.com.au

Entered By

XAVIER CARTHEW-WAKEFIELD

0362348777

xavier@dwadesign.com.au

Use

Single dwelling

Details

Have you obtained pre application advice?

☒ No

If YES please provide the pre application advice number eg PAE-17-xx

Are you applying for permitted visitor accommodation as defined by the State Government Visitor Accommodation Standards? Click on help information button for definition. If you are not the owner of the property you MUST include signed confirmation from the owner that they are aware of this application.

☒ No

Is the application for SIGNAGE ONLY? If yes, please enter \$0 in the cost of development, and you must enter the number of signs under Other Details below.

☒ No

If this application is related to an enforcement action please enter Enforcement Number

Details

What is the current approved use of the land / building(s)?

Domestic Single Dwelling

Please provide a full description of the proposed use or development (i.e. demolition and new dwelling, swimming pool and garage)

Extensions and Renovations, Swimming Pool and Garage

Estimated cost of development

500000.00

Existing floor area (m2)	Proposed floor area (m2)	Site area (m2)
163.27	317.53	842

Carparking on Site

Total parking spaces	Existing parking spaces	N/A <input type="checkbox"/> Other (no selection chosen)
2	2	

Other Details

Does the application include signage?

☒ No

How many signs, please enter 0 if there are none involved in this application?

0

Tasmania Heritage Register

Is this property on the Tasmanian Heritage Register?

☒ No

Documents

Required Documents

Title (Folio text and Plan and Schedule of Easements)

*

Title - 26 Rosehill Crescent, Lenah Valley.pdf

Plans (proposed, existing)

*

Documentation - 26 Rosehill Crescent, Lenah Valley.pdf

**RESULT OF SEARCH**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



SEARCH OF TORRENS TITLE

VOLUME 22638	FOLIO 23
EDITION 4	DATE OF ISSUE 05-Jun-2008

SEARCH DATE : 26-Nov-2020

SEARCH TIME : 08.42 AM

DESCRIPTION OF LAND

City of HOBART

Lot 23 on Plan 22638

Being the land described in Conveyance No. 60/8782

Derivation : Part of 242 Acres Gtd. to E.S.P. Bedford & Anor.

Prior CT 4163/1

SCHEDULE 1

C859738 TRANSFER to CHARLOTTE LAURA ROSE CLEMENTS and NIRMALA GINNELIYA GUNADASA as tenants in common in equal shares Registered 05-Jun-2008 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

BURDENING EASEMENT: Full and free and liberty for The Board of Management of the Agricultural Bank of Tasmanian and Gregory John Bell and their tenants servants visitors and licensees at all times hereafter on foot or on horseback or in vehicles to pass and repass along the strip of land marked Right of Access on the Plan drawn on Plan No. 22638 the same being the portion of the said land within described for all lawful purposes connected with the use and enjoyment of Lot 24 on Deeds Office Plan No. 32/96

BENEFITING EASEMENT: Full and free right and liberty for Brian Lord Butler and Patricia Jane Butler their tenants servants visitors and licencees at all times hereafter on foot or on horseback or in vehicles to pass and repass along the strip of land marked "Right of Access" and shown passing through Lot 24 on Plan No. 22638 for all lawful purposes connected with the use and enjoyment of the said land within described

C859739 MORTGAGE to Commonwealth Bank of Australia Registered 05-Jun-2008 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS



RESULT OF SEARCH

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



No unregistered dealings or other notations

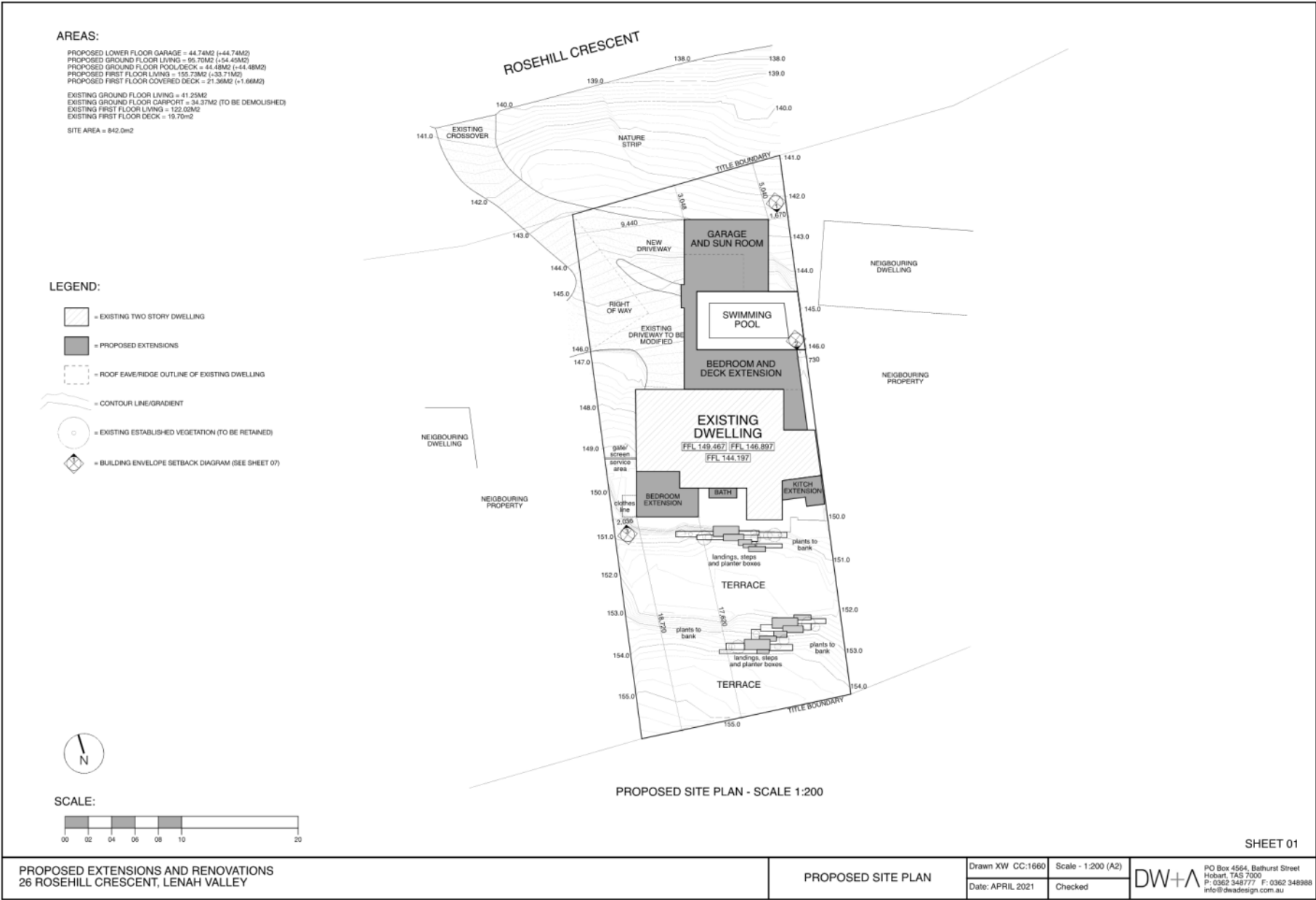


FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980







AREAS:

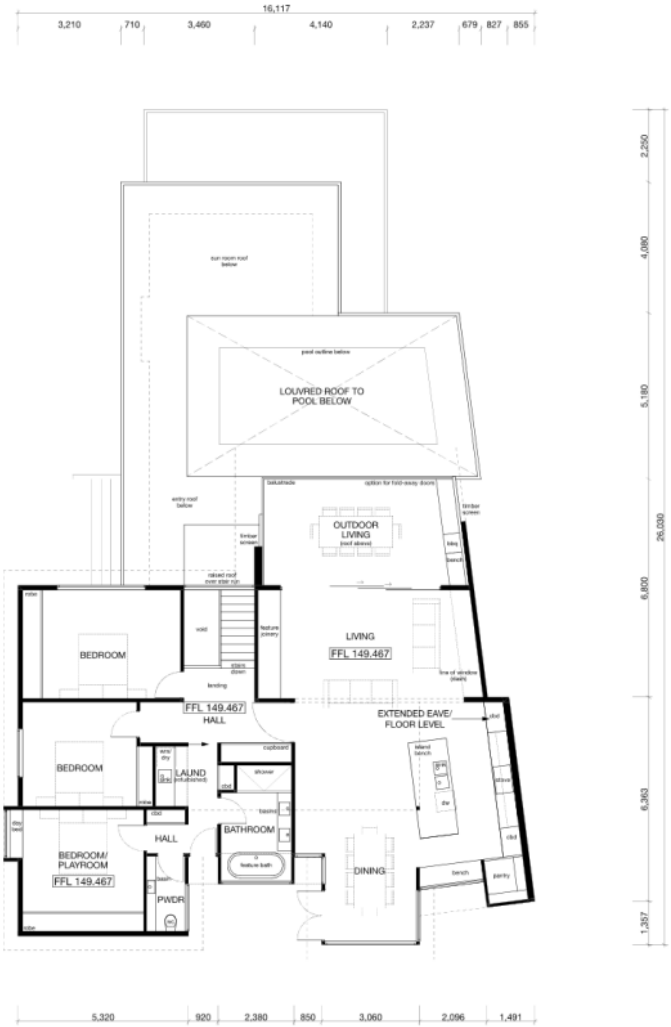
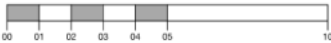
PROPOSED LOWER FLOOR GARAGE = 44.74M2 (+44.74M2)
PROPOSED GROUND FLOOR LIVING = 95.70M2 (+54.43M2)
PROPOSED GROUND FLOOR POOL/DECK = 44.48M2 (+44.48M2)
PROPOSED FIRST FLOOR LIVING = 155.73M2 (+33.71M2)
PROPOSED FIRST FLOOR COVERED DECK = 21.36M2 (+1.66M2)

EXISTING GROUND FLOOR LIVING = 41.25M2
EXISTING GROUND FLOOR CARPORT = 34.37M2 (TO BE DEMOLISHED)
EXISTING FIRST FLOOR LIVING = 122.02M2
EXISTING FIRST FLOOR DECK = 19.70M2

SITE AREA = 842.9m2



SCALE:



PROPOSED FIRST FLOOR PLAN - SCALE 1:100

SHEET 03

PROPOSED EXTENSIONS AND RENOVATIONS
26 ROSEHILL CRESCENT, LENAH VALLEY

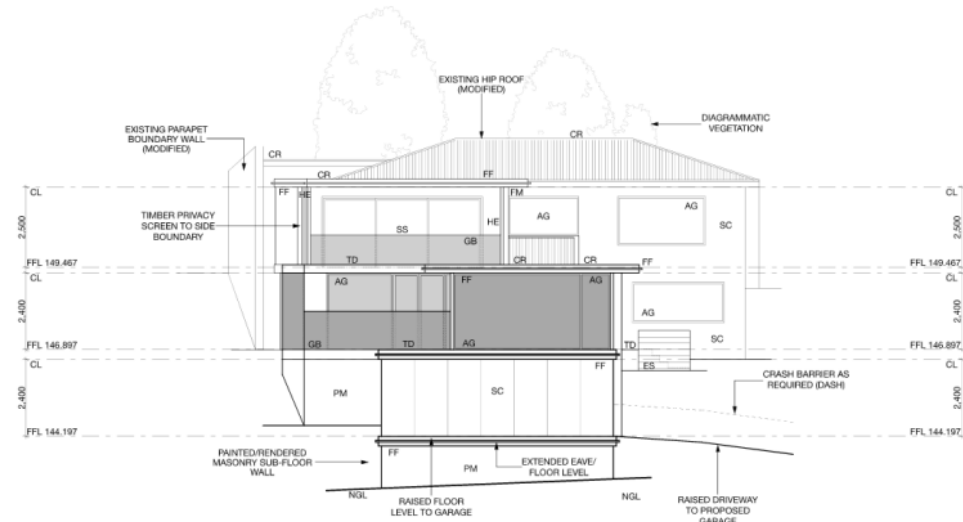
PROPOSED FLOOR PLANS

Drawn XW CC:1660 Scale - 1:100 (A2)
Date: APRIL 2021 Checked

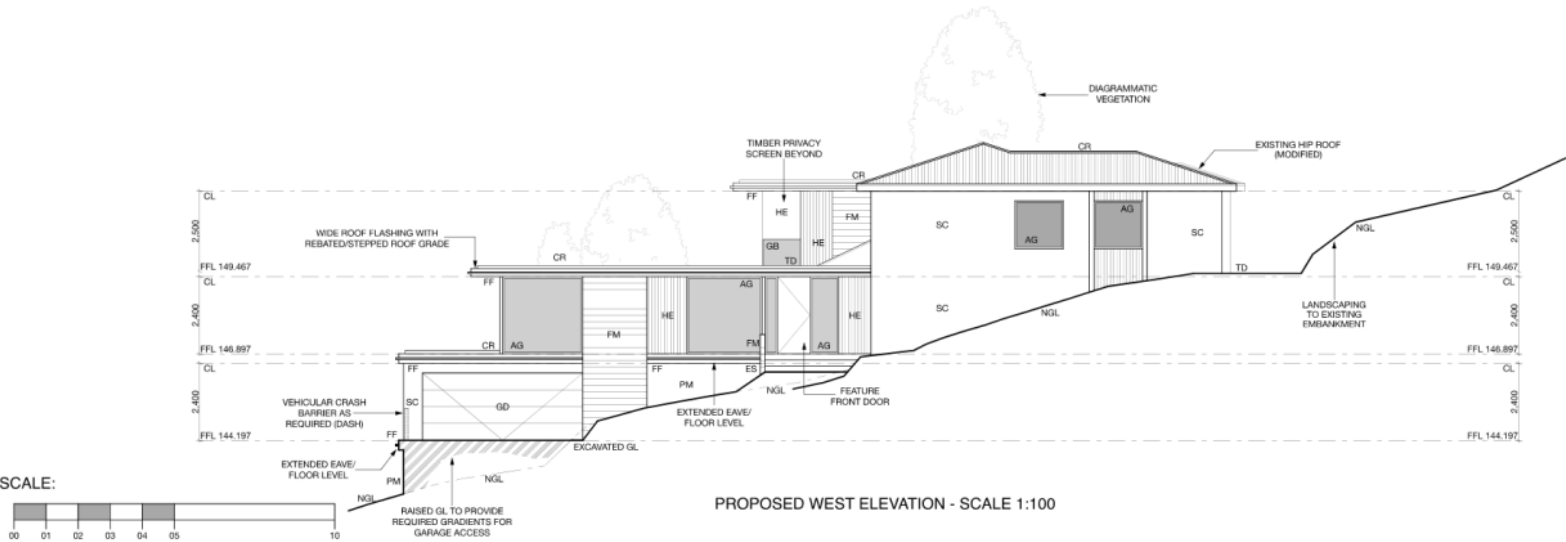
DW+A
PO Box 4564, Bathurst Street
Hobart, TAS 7000
P: 0362 348777 F: 0362 348988
info@dwadesign.com.au

LEGEND:

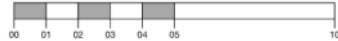
- HE: HARDWOOD TIMBER CLADDING/SCREEN
- AG: ALUMINUM FRAMED DOUBLE GLAZING
- SS: STACK SLIDER GLASS DOORS
- CR: COLORBOND ROOF SHEETING
- GB: SEMI-FRAMELESS GLASS BALUSTRADE
- ES: EXTERNAL FEATURE STEPS
- FM: FEATURE MASONRY OR TILE COLUMN/CLADDING
- SC: SELECTED CLADDING WITH PAINT FINISH
- TD: DECK/PATIO WITH TILE FINISH
- PM: PAINTED/RENDERED MASONRY SUB-FLOOR WALL
- FF: FEATURE COLORBOND ANGLE FASCIA
- NGL: NATURAL GROUND LEVEL
- PFL: FINISHED FLOOR LEVEL
- CL: CEILING LEVEL
- GD: PANEL-LIFT GARAGE DOOR



PROPOSED NORTH ELEVATION - SCALE 1:100



SCALE:



PROPOSED WEST ELEVATION - SCALE 1:100

SHEET 04

PROPOSED EXTENSIONS AND RENOVATIONS
26 ROSEHILL CRESCENT, LENA VALLEY

PROPOSED FLOOR PLANS

Drawn XW CC:1660

Scale - 1:100 (A2)

Date: APRIL 2021

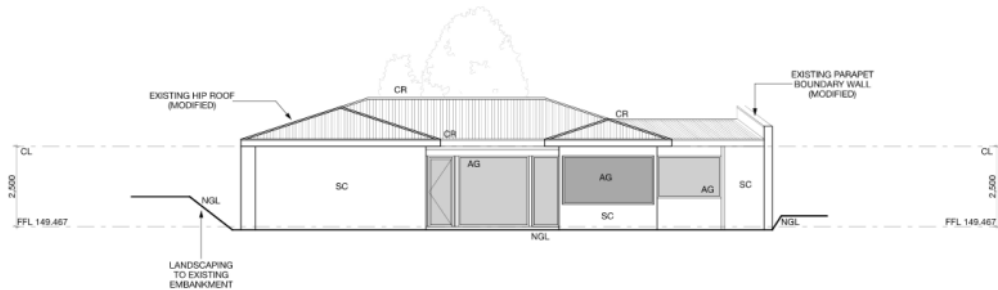
Checked

DW+A

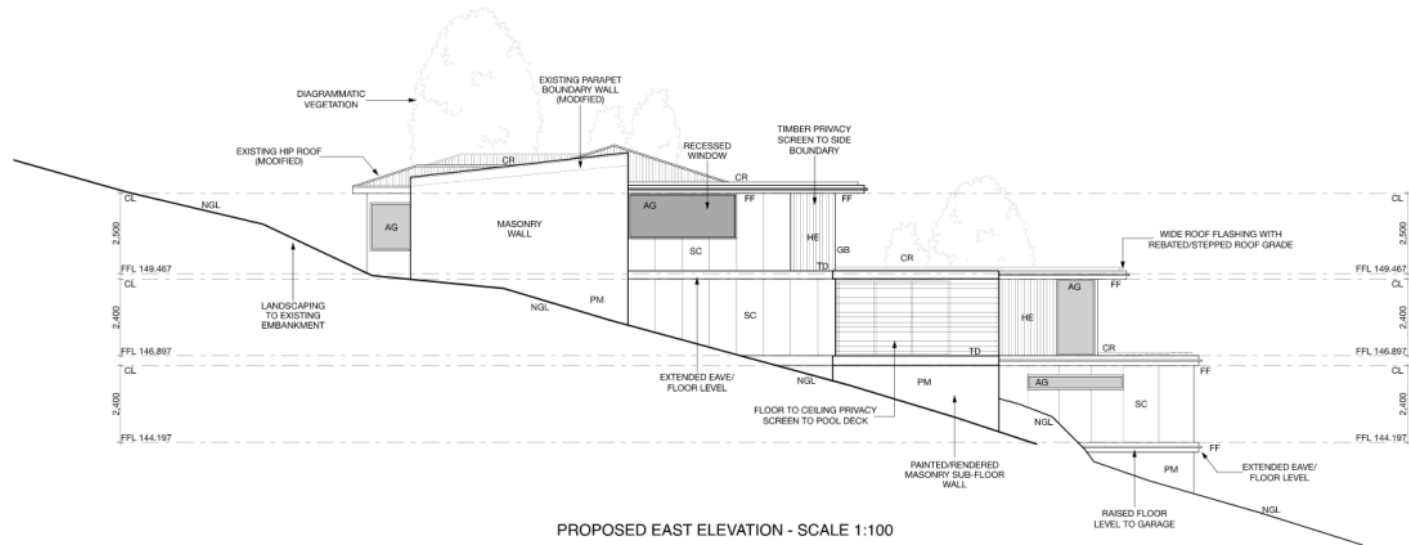
PO Box 4564, Bathurst Street
Hobart, TAS 7000
P: 0362 348777 F: 0362 348988
info@dwadesign.com.au

LEGEND:

- HE: HARDWOOD TIMBER CLADDING/SCREEN
- AG: ALUMINUM FRAMED DOUBLE GLAZING
- SS: STACK SLIDER GLASS DOORS
- CR: COLORBOND ROOF SHEETING
- GB: SEMI-FRAMELESS GLASS BALUSTRADE
- ES: EXTERNAL FEATURE STEPS
- FM: FEATURE MASONRY OR TILE COLUMN/CLADDING
- SC: SELECTED CLADDING WITH PAINT FINISH
- TD: DECK/PATIO WITH TILE FINISH
- PM: PAINTED/RENDERED MASONRY SUB-FLOOR WALL
- FF: FEATURE COLORBOND ANGLE FASCIA
- NGL: NATURAL GROUND LEVEL
- PFL: FINISHED FLOOR LEVEL
- CL: CEILING LEVEL
- GD: PANEL-LIFT GARAGE DOOR

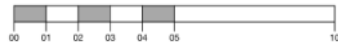


PROPOSED SOUTH ELEVATION - SCALE 1:100



PROPOSED EAST ELEVATION - SCALE 1:100

SCALE:



SHEET 05

PROPOSED EXTENSIONS AND RENOVATIONS
26 ROSEHILL CRESCENT, LENA VALLEY

PROPOSED FLOOR PLANS

Drawn XW CC:1660

Scale - 1:100 (A2)

Date: APRIL 2021

Checked

DW+A

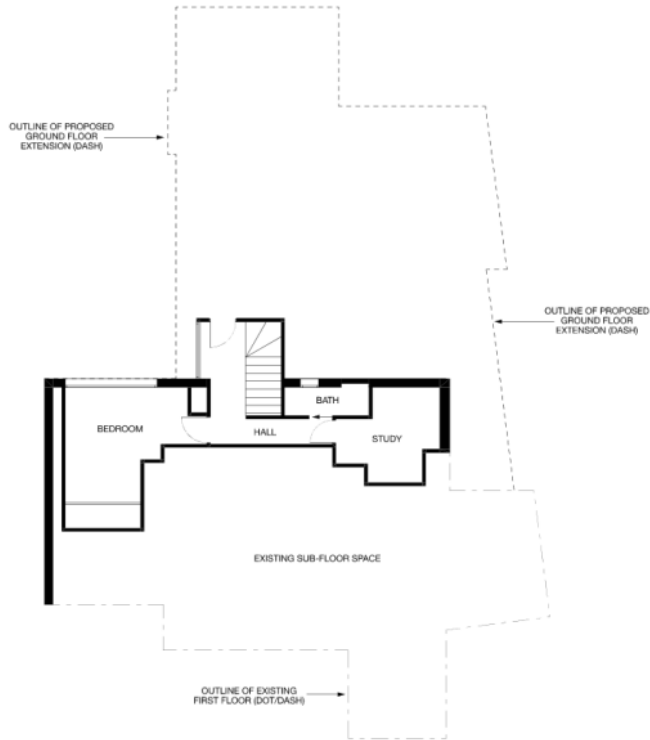
PO Box 4564, Bathurst Street
Hobart, TAS 7000
P: 0362 348777 F: 0362 348988
info@dwadesign.com.au

AREAS:

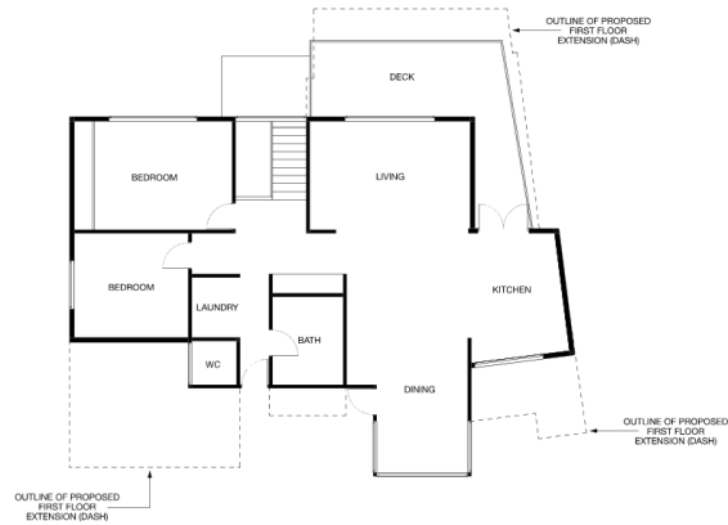
PROPOSED LOWER FLOOR GARAGE = 44.74M2 (+44.74M2)
PROPOSED GROUND FLOOR LIVING = 95.70M2 (+54.43M2)
PROPOSED GROUND FLOOR POOL/DECK = 44.48M2 (+44.48M2)
PROPOSED FIRST FLOOR LIVING = 155.73M2 (+33.71M2)
PROPOSED FIRST FLOOR COVERED DECK = 21.36M2 (+1.66M2)

EXISTING GROUND FLOOR LIVING = 41.23M2
EXISTING GROUND FLOOR CARPORT = 34.37M2 (TO BE DEMOLISHED)
EXISTING FIRST FLOOR LIVING = 122.02M2
EXISTING FIRST FLOOR DECK = 19.70M2

SITE AREA = 842.9m2



EXISTING GROUND FLOOR PLAN - SCALE 1:100



EXISTING FIRST FLOOR PLAN - SCALE 1:100

SHEET 06

PROPOSED EXTENSIONS AND RENOVATIONS
26 ROSEHILL CRESCENT, LENAH VALLEY

EXISTING FLOOR PLANS

Drawn XW CC:1660 Scale - 1:100 (A2)
Date: APRIL 2021 Checked

DW+A
PO Box 4564, Bathurst Street
Hobart, TAS 7000
P: 0362 348777 F: 0362 348988
info@dwadesign.com.au



EXTERNAL PERSPECTIVE #1
VIEW FROM NORTH LOOKING TOWARDS OVERALL EXTENSION AND EXISTING DWELLING



EXTERNAL PERSPECTIVE #2
VIEW FROM WEST LOOKING TOWARDS NEW EXTENSION



EXTERNAL PERSPECTIVE #3
VIEW FROM EAST LOOKING TOWARDS NEW EXTENSION (INCLUDING POOL DECK)



EXTERNAL PERSPECTIVE #4
VIEW FROM NORTH-WEST LOOKING TOWARDS OVERALL EXTENSION AND EXISTING DWELLING

NOTE:
EXTERNAL PERSPECTIVES ARE DIAGRAMMATIC, FOR ILLUSTRATION PURPOSES ONLY AND
INDICATIVE OF EVENTUAL PROJECT OUTCOME. REFER TO FUTURE STRUCTURAL
DOCUMENTATION FOR SPECIFIC MEASUREMENTS, MATERIALS, FORMS AND DETAILS

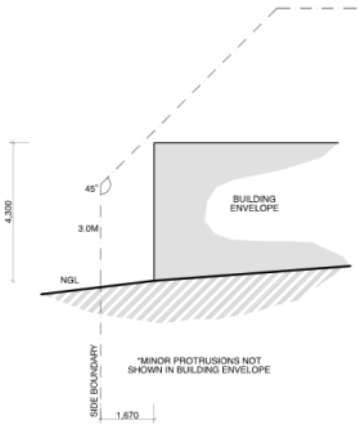
SHEET 07

PROPOSED EXTENSIONS AND RENOVATIONS
26 ROSEHILL CRESCENT, LENA VALLEY

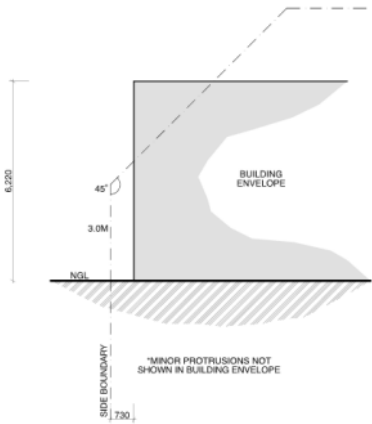
PROPOSED PERSPECTIVE
IMAGES

Drawn XW CC:1660	Scale - 1:100 (A2)
Date: APRIL 2021	Checked

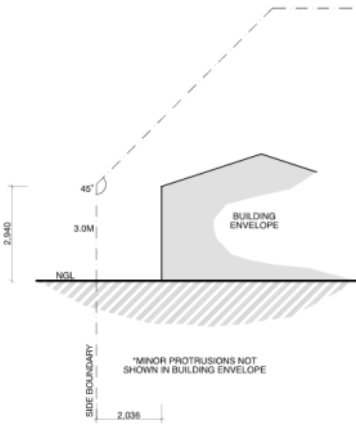
DW+A
PO Box 4564, Bathurst Street
Hobart, TAS 7000
P: 0362 348777 F: 0362 348988
info@dwadesign.com.au



SETBACK DIAGRAM 1 - 1,670MM



SETBACK DIAGRAM 2 - 730MM



SETBACK DIAGRAM 3 - 2,036MM

SHEET 08

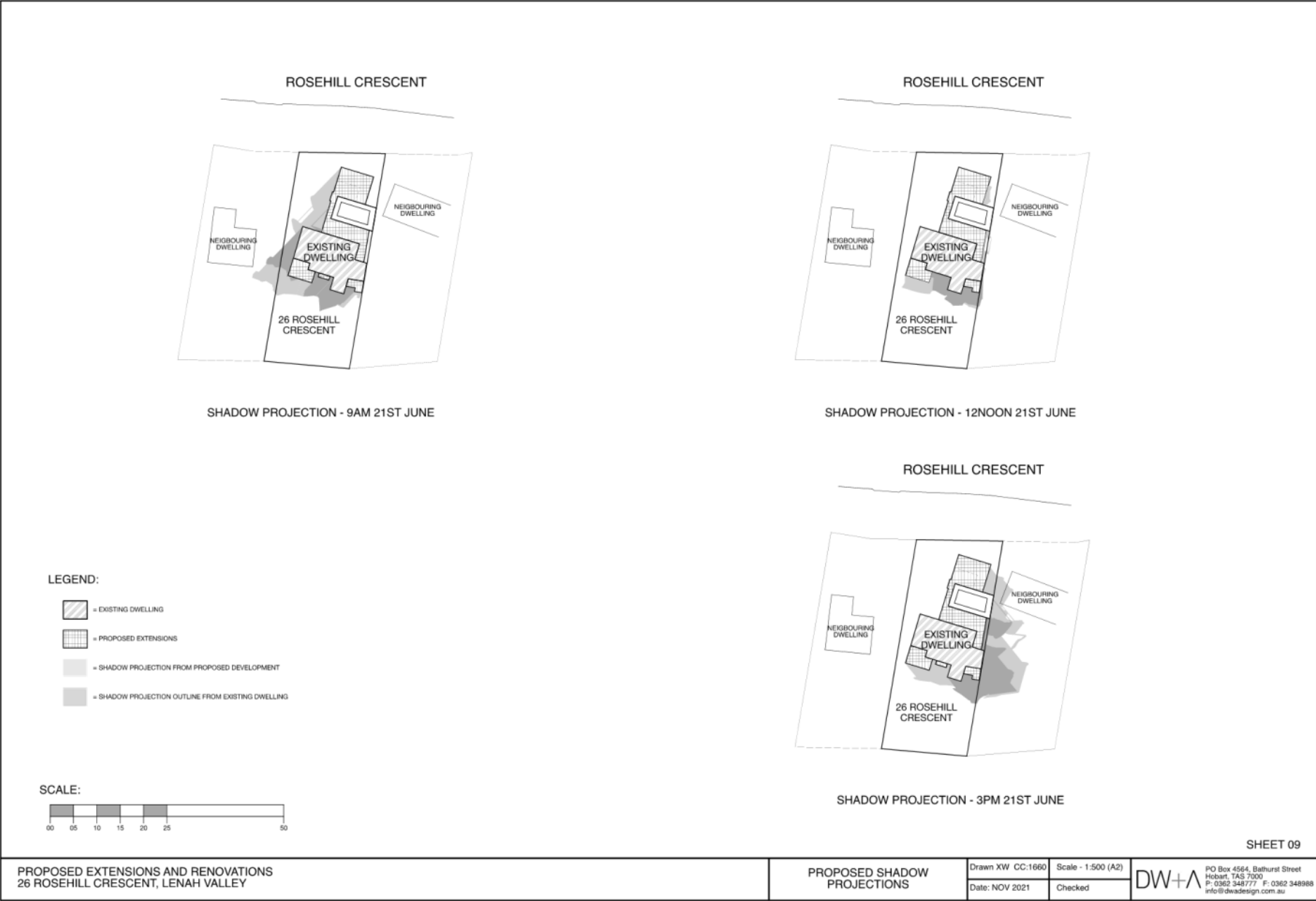
PROPOSED EXTENSIONS AND RENOVATIONS
26 ROSEHILL CRESCENT, LENA VALLEY

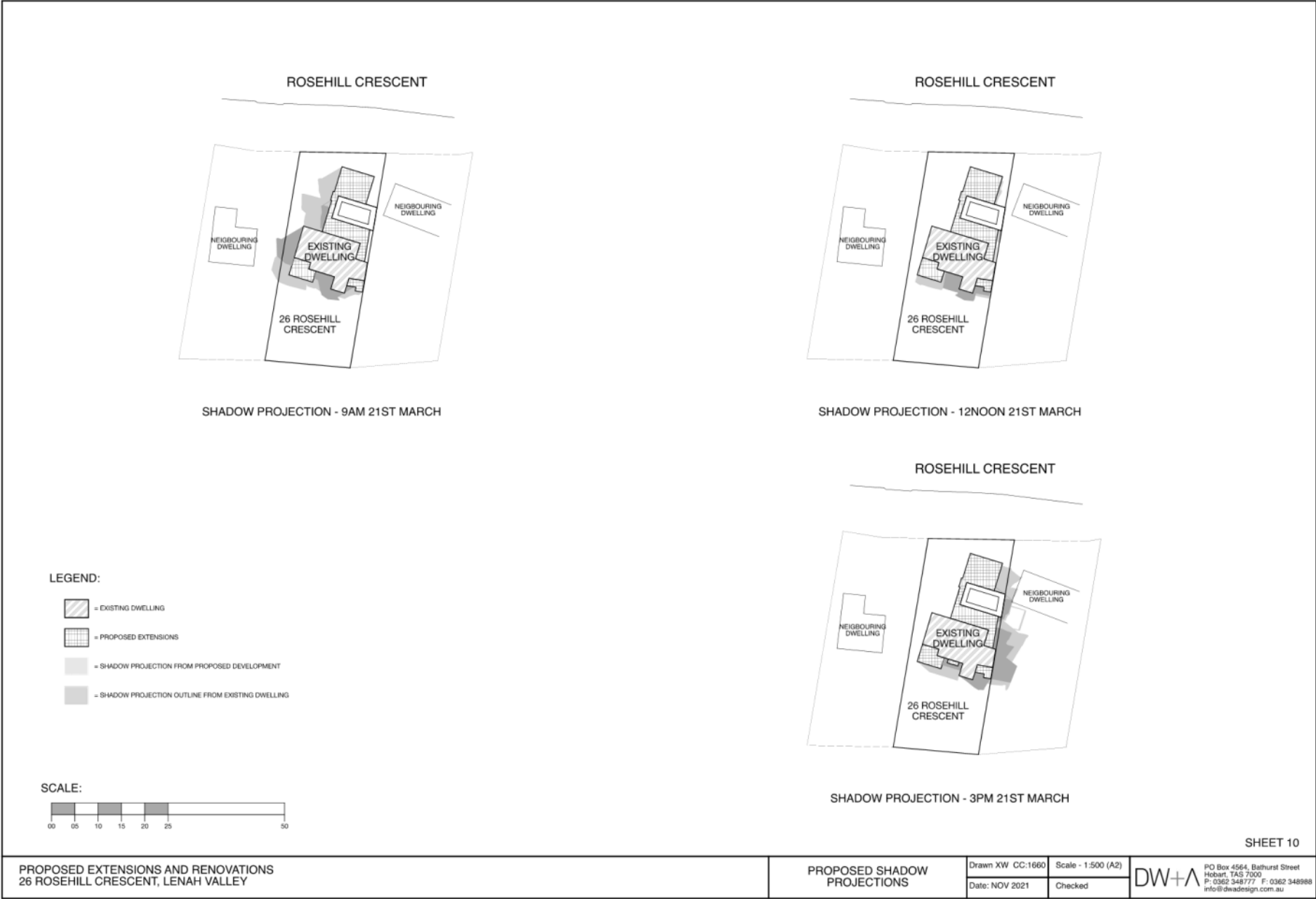
BUILDING ENVELOPE
SETBACK DIAGRAMS

Drawn XW CC:1660	Scale - 1:100 (A2)
Date: APRIL 2021	Checked

DW+A

PO Box 4564, Bathurst Street
Hobart, TAS 7000
P: 0362 348777 F: 0362 348988
info@dwadesign.com.au





CIVIL AND HYDRAULIC NOTES

GENERAL NOTES

2. THE MAIN CONTRACTOR AND ALL SUB CONTRACTORS SHALL COMPLY WITH THE STATE WORK HEALTH AND SAFETY ACT AND ALL RELEVANT CODES OF PRACTICE.
3. ALL HYDRAULICS WORKS TO BE CARRIED OUT IN ACCORDANCE WITH IPWSA STANDARD DRAWINGS AND SPECIFICATIONS. (VWSA SEWERAGE CODE OF AUSTRALIA & WATER SUPPLY CODE OF AUSTRALIA) AND TO THE SATISFACTION OF COUNCIL'S DEVELOPMENT ENGINEER.
4. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR CONTACTING TSANETWORKS TO APPLY FOR NEW CONNECTIONS AND/OR ADDITIONAL SUPPLY. SUFFICIENT TIME FOR TSANETWORKS DESIGN AND REVIEW PROCESSES SHOULD BE ALLOWED FOR.
5. NO TOP SOIL SHALL BE REMOVED FROM THE SITE WITHOUT THE CONSENT OF COUNCIL. TOP SOIL DISTURBED OR REMOVED AS A RESULT OF WORKS SHALL BE STOCK-PILED ON SITE AND LATER USED FOR REDRESSING ANY DISTURBED SURFACES.
6. ALL DISTURBED SURFACES ON SITE, EXCEPT THOSE SET ASIDE FOR ROADWAYS AND FOOTPATHS SHALL BE DRESSED WITH IMPORTED FILL AND REVEGETATED TO THE SATISFACTION OF THE COUNCIL'S DEVELOPMENT ENGINEER.
7. ALL EXISTING SERVICES TO BE LOCATED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.
8. ALL LEVELS TO BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF WORKS.
9. ALL CONNECTIONS TO EXISTING STORMWATER MAINS TO BE CARRIED OUT BY COUNCIL AT DEVELOPERS COST UNLESS APPROVED OTHERWISE. ALL CONNECTIONS TO SEWERWATER MAINS TO BE CARRIED OUT BY TSANETWORKS AT DEVELOPERS COST UNLESS APPROVED OTHERWISE.
10. GENERAL MATERIALS, INSTALLATION AND TESTING SHALL COMPLY WITH TASMANIAN MATERIAL STANDARDS PART 4.
11. EXCAVATED AND IMPORTED MATERIAL USED AS FILL TO BE APPROVED BY ENGINEER PRIOR TO INSTALLATION.
12. ANY DEPARTURES FROM THE DESIGN DRAWINGS ARE TO BE AT THE WRITTEN APPROVAL OF THE ENGINEER AND APPROVAL FROM THE AUTHORITY. CHANGES INCLUDES CONFLICTS WITH EXISTING SERVICES.
13. UNLESS NOTED OTHERWISE, THESE NOTES SHALL APPLY TO ALL DRAWINGS IN THE SET
14. BATTERS:
- | | |
|----------------------|-----------------------------------|
| MAX EMBANKMENT SLOPE | 1:3.0 |
| MAX CUTTING SLOPE | 1:2.0 (LOOSE ROCK)
1:3.0 (SOL) |
15. FOR EMBANKMENTS HEIGHTS IN EXCESS OF 2.0m, THE DESIGN MUST BE APPROVED BY JSA DURING CONSTRUCTION.

APPROVALS:

1. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT A VALID BUILDING AND PLUMBING PERMIT IS IN PLACE FOR THE WORK AND THAT THE BUILDING SURVEYOR IS NOTIFIED OF ALL SITE INSPECTION REQUESTS.
2. THE APPLICANT SHALL NOT COMMENCE CIVIL CONSTRUCTION WORKS WITHIN A ROAD RESERVE UNTIL THE FOLLOWING REQUIREMENTS ARE MET:
3. A PERMIT TO CARRY OUT WORKS WITHIN A COUNCIL ROAD RESERVATION HAS BEEN ISSUED BY THE COUNCIL AND THE ASSOCIATED FEE PAYMENT MADE
4. TRAFFIC MANAGEMENT AND PEDESTRIAN PLAN HAS BEEN PRODUCED AND FOLLOWED IN ACCORDANCE WITH DEPARTMENT OF INFRASTRUCTURE, ENERGY AND RESOURCES 'TRAFFIC CONTROL AT WORK SITES' CODE OF PRACTICE.

GENERAL HYDRAULICS NOTES:

1. DURING CONSTRUCTION ANY OPEN PIPES BE SEALED TEMPORARILY DURING WORKS TO PREVENT ENTRY OF FOREIGN MATTER
2. CONCEAL ALL PIPEWORK IN DUCTS, CEILING SPACES, WALL CAVITIES UNLESS OTHERWISE NOTED
3. CONFIRM ALL INVERT LEVELS PRIOR TO EXCAVATION.
4. THE LOCATION OF EXISTING SERVICES SHOULD BE CONFIRMED ONSITE INCLUDING: MAINS WATER, GAS, TELECOMMUNICATIONS, POWER, SEWER STORMWATER.
5. ALL PIPEWORK UNDER TRAFFICABLE AREAS TO BE BACKFILLED TO FULL DEPTH WITH DIER CLASS A 19MM FRACTION COMPACTED TO A53789.
6. FOR C/O H AND E SITES, JOINTS IN PLUMBING SHALL BE ARTICULATED WITHIN 3M OF THE BUILDING UNDER CONSTRUCTION TO ACCOMMODATE GROUND MOVEMENT WITHOUT LEAKAGE
7. ALL PIPEWORK SHALL BE ADEQUATELY SUPPORTED. SUPPORT SHALL ALLOW FOR EXPANSION AND BE FITTED AT THE TIME OF PIPE INSTALLATION
8. WHERE PIPEWORK PENETRATES FIRE RATED WALL OR FLOORS A FIRE STOP COLLAR SHALL BE INSTALLED

SEWER NOTES:

1. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH HWSA SEWAGE CODE OF AUSTRALIA WS-02/14-3.1 MRWA EDITION V2.0, TASPWATERS SUPPLEMENT TO THIS CODE, ASS500.2.2018 AND TO THE SATISFACTION OF TASPWATERS DEVELOPMENT ENGINEER.
2. ALL EXISTING SERVICES LOCATED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.
3. ALL CONNECTIONS TO EXISTING MAINS TO BE CARRIED OUT BY TASPWATERS APPROVED CONTRACTOR AT DEVELOPERS COST UNLESS APPROVED OTHERWISE.
4. GENERAL MATERIALS, INSTALLATION & TESTING SHALL COMPLY WITH HWSA SEWAGE CODE OF AUSTRALIA WS-02/14-3.1 MRWA EDITION V2.0, TASPWATERS SUPPLEMENT TO THIS CODE, ASS500.2.2018 AND TO THE SATISFACTION OF TASPWATERS DEVELOPMENT ENGINEER.
5. ALL DROPS MUST BE INTERNAL AND IN ACCORDANCE WITH MRWA 5.311.
6. ALL PIPE WORK UNDER TRAFFICABLE AREAS, INCLUDING DRIVEWAYS, IS TO BE BACKFILLED WITH FCR.
7. CONNECTIONS TO ALL TYPIC U.N.O. AS PER MRWA 5.305 AND BRING INSPECTION OPENING TO SURFACE INSIDE LOT BOUNDARY.
8. ALL SEWER MAINS TO BE PIPE CLASS SN.
9. PIPEWORK SHALL BE PROGRESSIVELY TESTED DURING INSTALLATION TO ENSURE ABSENCE OF LEAKS.
10. ALL PIPEWORK SHALL BE INSTALLED AS CLOSE AS PRACTICABLE TO THE UNDERSIDE OF FLOORS.

STORMWATER NOTES:

1. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH COUNCIL MUNICIPAL STANDARDS, AS3500 AND IPWEA (TAS) MUNICIPAL STANDARD DRAWINGS AND SPECIFICATIONS WHERE APPLICABLE AND TO THE SATISFACTION OF COUNCIL'S MUNICIPAL ENGINEER
2. ALL EXISTING SERVICES TO BE LOCATED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS. ALL CONNECTIONS TO EXISTING MAINS TO BE CARRIED OUT BY COUNCIL AT DEVELOPERS COST UNLESS APPROVED OTHERWISE.
3. GENERAL MATERIALS, INSTALLATION & TESTING SHALL COMPLY WITH TASMANIAN MUNICIPAL STANDARDS PART 4. PROVIDE 600mm MIN COVER TO ALL SERVICES.
4. ALL PIPE WORK UNDER TRAFFICABLE AREAS INCLUDING DRIVEWAYS IS TO BE FILLED WITH FCR.
5. LOT CONNECTIONS TO MAINS TO BE CLASS 500 PIPE UNDER ROADS TO BE CLASS 500 PIPE UNDER ROADS TO BE CLASS 500 PIPE.
6. ALL MAINTENANCE HOLES DEEPER THAN 1m FROM FINISHED SURFACE LEVEL TO MAINTENANCE HOLE BASE TO BE FITTED WITH APPROVED STEP IRONS.
7. IPWEA STANDARD DRAWINGS REFERENCED ARE THE MOST RECENT DRAWING SET USED.

INSPECTION OPENINGS

- FOR OTHER THAN SINGLE DWELLINGS, INSPECTION OPENINGS FOR MAINTENANCE OF SITE STORMWATER DRAINS SHALL BE EXTENDED TO AND CAPPED AT THE FINISH SURFACE LEVEL AND INSTALLED AT:-
- 8.1. EACH POINT OF CONNECTION;
 - 8.2. EVEN SPACING NOT MORE THAN 30m APART;
 - 8.3. EACH END OF INCLINED JUMP-UP THAT EXCEED 6m IN LENGTH;
 - 8.4. EACH CONNECTION TO AN EXISTING SITE STORMWATER DRAIN; AND
 - 8.5. AT ANY CHANGE OF DIRECTION GREATER THAN 45°.
9. INSPECTION OPENINGS MAY BE REPLACED BY AN INLET OR STORMWATER PIT.
- 9.1. THE NOMINAL SIZE OF INSPECTION OPENINGS FOR SITE STORMWATER DRAINS SHALL BE -
 - 9.2. FOR NOMINAL PIPE SIZE LESS THAN OR EQUAL TO DN150, THE SAME SIZE AS THE SITE STORMWATER DRAIN; AND
 - 9.3. FOR NOMINAL PIPE SIZES GREATER THAN DN150, NOT LESS THAN DN150.
10. ACCESS A BELOW-GROUND INSPECTION OPENINGS SHALL BE EITHER BY:-
- 10.1. A STORMWATER PIT; OR
 - 10.2. A SEALED RISER TERMINATED AT GROUND LEVEL OR FLOOR LEVEL IN AN ACCESSIBLE POSITION.
11. INSPECTION OPENINGS AND UNUSED SOCKETS SHALL BE SEALED WITH AIRTIGHT REMOVAL PLUGS OR CAPS FITTED WITH AN ELASTOMERIC SEAL AND SECURELY HELD IN POSITION BY A CUP, STRAP OR THREADED CONNECTION. EACH PLUG OR CAP SHALL BE LEGIBLY MARKED TO IDENTIFY THE DRAIN.

WATER NOTES:

1. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH HWSA WATER SUPPLY CODE OF AUSTRALIA WSA 03-2011-3.1 MRWA EDITION V2.0, TASWATERS SUPPLEMENT TO THIS CODE AND TO THE SATISFACTION OF TASWATERS DEVELOPMENT ENGINEER.
2. ALL TRENCH SERVICES TO BE LOCATED ON SITE PRIOR TO THE COMMENCEMENT OF WORK.
3. ALL CONNECTIONS TO EXISTING MAINS TO BE CARRIED OUT BY TASWATER AT DEVELOPERS COST UNLESS APPROVED OTHERWISE.
4. GENERAL MATERIALS INSTALLATION AND TESTING SHALL COMPLY WITH WSA 03-2011-3.1 AND TASWATER APPROVED PRODUCTS CATALOGUE.
5. ALL TRENCHES TO BE 1.2m DEEP MINIMUM. 300mm DIA. RODS AND CONNECTIONS TO BE 1.2m DEEP MINIMUM.
6. THRUST BLOCKS SHALL BE INSTALLED AT ALL TEES, BLANK ENDS, VALVES, FIRE HYDRANTS, REDUCERS AND BENDS GREATER THAN 5°.
7. INDIVIDUAL LOT CONNECTIONS TO BE MIN DN25, 100mm PE100 P16 LINO.
8. DEVELOPER TO MAKE APPLICATION TO TASWATER FOR THE SUPPLY OF 20mm water meter and BOX, PRIOR TO COMMENCEMENT OF WORKS ONSITE. METER TO BE INSTALLED BY TASWATER CONTRACTOR.
9. ALL ISOLATION VALVES SHALL BE INSTALLED IN ACCESSIBLE LOCATIONS. VALVES LOCATED IN WALLS OR DUCTS SHALL BE FITTED WITH APPROVED ACCESS COVERS.
10. INTERNAL PLUMBING SHALL BE CONSTRUCTED IN ACCORDANCE WITH AS3500 PARTS 1, 2 & 3 AND THE TASMANIAN PLUMBING CODE.
11. ALL PLUMBING SHALL BE SUBJECT FOR ALL INSPECTIONS AND PRESSURE TESTING REQUIRED BY TASWATER OR THE LOCAL AUTHORITY PRIOR TO CONCEALMENT.
12. ALL STOP VALVES TO BE CLOCKWISE CLOSING.
13. PROVIDE C1 VALVE BOX COVERS TO ALL VALVES AND FIRE PLUGS.
14. TOP VALVES AND FIRE PLUGS SHALL BE MARKED IN ACCORDANCE WITH THE IPWFA FIRE HYDRANT GUIDELINES, TASMANIA DIVISION.
15. FIRE PLUGS AND VALVE POSITIONS TO BE MARKED ON KERB BACKS WITH HIMARK CONCRETE PAINT.
16. PROVIDE ELECTROMAGNETIC, METAL IMPREGNATED TAPE IN ALL NON METALLIC PIPE TRENCHES. ENSURE TAPE TERMINATIONS ARE ACCESSIBLE.
17. PROPERTY COORDINATES SHALL BE OBTAINED AND CONDUCTED IN ACCORDANCE WITH MRWA-W-110 AND MRWA-W-111 AND TASWATER STANDARD DRAWING TW-SO-W-20 SERIES. THEY SHALL BE DN25 (1020) HDPE 1100 SDR11 PN16 PIPE.
18. ALL FITTINGS TO BE F.B.E.
19. FIRE PLUGS TO HAVE 100mm RISERS WITH SPRING TYPE PLUGS.
20. TASWATER TO WITNESS PRESSURE TEST TO 1200KPA PRIOR TO BACKFILL AT JOINTS.
21. MAIN TO BE DISINFECTED PRIOR TO CONNECTION TO THE RETICULATION NETWORK. REFER TO WSA CODE FOR DETAILS.
22. ALL ACCESSORIES OF WATER MAINS TO BE IN ACCORDANCE WITH THE CONTRACTOR'S PROVIDING DOCUMENTARY EVIDENCE INCLUDING THE COMPOSITION OF FILL MATERIAL, VERIFYING THAT IT CONTAINS NO ORGANIC OR OTHER MATERIALS THAT DECOMPOSE OR OTHERWISE LEAD TO LONG TERM SETTLEMENT.

ROAD NOTES:

1. MINIMUM SUB BASE THICKNESS TO BE 200mm.
2. PRIOR TO PLACEMENT OF SUB BASE COURSE, PAVEMENT CUT IS TO BE ROLLED AND TESTED FOR CBR VALUES BY METHOD APPROVED BY THE SUPERINTENDENT. WHERE THE CBR VALUES ARE LESS THAN 5 WITHIN THE FIRST 200mm THEN ADDITIONAL TESTS WILL BE REQUIRED TO ALLOW SUFFICIENT DESIGN ALTERATIONS TO THE SUB BASE.
3. PAVEMENT DESIGN BASED ON A CBR VALUE OF 3-4%.
4. ROAD MARKINGS AND SIGNS AS PER AS 1742.
5. IF THE CBR VALUE IS LESS THAN 2 AT ANY DEPTH GREATER THAN 200mm THEN THE SUB BASE IS TO BE INCREASED GENERALLY ACCORDING TO THE FOLLOWING TABLE & CONSULT ENGINEER.

CBR VALUES	DESIGN
3-4	AS PER PAVEMENT DETAIL
-2	ADVISE & CONSULT ENGINEER, TYPICALLY INCREASE SUB BASE TO 400mm THICK (SUBGRADE REPLACEMENT)
<1	ADVISE & CONSULT ENGINEER, SPECIAL PAVEMENT DESIGN TO BE SPECIFIED.

DRIVEWAY NOTES:

1. EXCAVATED AND IMPORTED MATERIAL USED AS FILL IS TO BE APPROVED BY ENGINEER PRIOR TO INSTALLATION.
2. FILL MATERIAL SHALL BE WELL GRADED AND FREE OF BOULDERS OR COBBLES EXCEEDING 150mm in DIAMETER UNLESS APPROVED OTHERWISE.
3. FILL REQUIRED TO SUPPORT DRIVEWAYS INCLUDING FILL IN EMBANKMENTS THAT SUPPORT DRIVEWAYS SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
4. TOP SOIL AND ORGANIC MATTER SHALL BE STRIPPED TO A MINIMUM OF 100mm.
5. THE SUB GRADE SHALL BE CHECKED FOR A MINIMUM BEARING CAPACITY OF 50 kPa.
6. FILL IN EMBANKMENTS SHALL BE KEPT 150mm INTO NATURAL GROUND.
7. THE FILL SHALL BE COMPACTED IN HORIZONTAL LAYERS OF NOT MORE THAN 200mm.
8. EACH LAYER SHALL BE COMPACTED TO A MINIMUM DENSITY RATIO OF 85%. IT IS THE BUILDERS RESPONSIBILITY TO ENSURE THAT THIS IS ACHIEVED.
9. WHERE THE ABOVE REQUIREMENTS CANNOT BE ACHIEVED THE ENGINEER SHALL BE CONSULTED AND THE FORMATION SHALL BE PROOF ROLLED (UNDER SUPERVISION OF THE ENGINEER) TO DENSIFY THE FILL TO THE REQUIREMENT OF BASE OR SUB BASE.
10. UNREINFORCED CONCRETE KERBS AND CHANNELS SHALL HAVE TROWELLED JOINTS AT NOT MORE THAN 3.0m CRS.

CONTROLLED FILL:

1. CONTROLLED FILL SHALL BE LAID IN STRICT ACCORDANCE WITH A52870 AND A53798 REQUIREMENTS. THE FOLLOWING METHOD IS APPROVED:
2. FILL MATERIAL SHALL BE WELL GRADED FCR OR SITE ROCK REVIEWED DURING EXCAVATION.
3. THE SUB GRADE SHALL BE CHECKED FOR BEARING CAPACITY WHICH IS A MINIMUM OF 50KPa FOR SLABS AND A MINIMUM OF 100KPa FOR FOOTINGS.
4. THE FILL SHALL BE COMPACTED IN HORIZONTAL LAYERS OF NOT MORE THAN 150mm
5. THE FILL SHALL BE COMPACTED TO A MINIMUM DENSITY RATIO OF 95% FOR RESIDENTIAL APPLICATIONS. IT IS THE BUILDERS RESPONSIBILITY TO ENSURE THAT THIS LEVEL OF COMPACTION IS ACHIEVED. IMPORTED MATERIAL, CONTRARY TO THE ABOVE SPECIFICATION, INTENDED FOR USE AS STRUCTURAL FILL SHALL BE APPROVED IN WRITING BY THE ENGINEER PRIOR TO USE.

CONCRETE:

1. CONCRETE SHALL BE NOT LESS THAN NO. GRADE, WITH 20mm NOMINAL MAXIMUM AGGREGATE SIZE. SLUMP SHALL BE SELECTED TO SUIT THE CONSTRUCTION CONDITIONS. UNLESS NOTED OTHERWISE THE MINIMUM APPROPRIATE SPECIFICATIONS FROM A536300 AND A52670 SHALL BE ADOPTED.
2. SAWN JOINTS SHALL BE CONSTRUCTED AS SOON AS POSSIBLE WITHOUT RAVELING THE JOINT. GENERALLY THIS SHALL BE WITHIN 24 HOURS.
3. CONCRETE SHALL BE CURED FOR A MINIMUM OF 7 DAYS USING CURRENT BEST PRACTICE METHODS. SPRAY APPLIED CURING COMPOUNDS ARE GENERALLY NOT DEEMED SATISFACTORY AS SOLE CURING METHOD.
4. CONCRETE SHALL BE MECHANICALLY VIBRATED U.N.O.
5. ADDITIONAL WATER SHALL NOT BE ADDED TO THE CONCRETE ON SITE UNLESS SIGNED BY THE DRIVER AND APPROVED BY THE SUPPLIER.

DISCLAIMER

ENGINEERING NOTES ARE INTENDED FOR USE AS A GUIDE TO RELEVANT CODES, REGULATIONS AND STANDARDS FOR THE BUILDER OR CONTRACTOR DURING THE CONSTRUCTION PROCESS. THEY SHALL NOT REPLACE THEM IN ANY WAY. THESE NOTES ARE NOT SITE SPECIFIC AND SHALL NOT BE USED TO CONTRAVENE APPROVED PLANS OR TO SPECIFY ANY UNAPPROVED WORKS.

[illegible]

JSA CONSULTING
ENGINEERS

121 Sandy Bay Road, Sandy Bay TAS 7005
Phone (03) 6240 9911 www.isaengineers.com.au

CHECKED M. HORSHAM CC5865 I	SCALE AS SHOWN	SIZE A3	PROJECT PROPOSED EXTENSIONS AND RENOVATIONS
CIVIL ENGINEER D. GRANNETIA	HYDRAULIC ENGINEER R. HORNER	26 ROSEHILL CRESCENT	
STATUS PLANNING APPROVAL			LENAH VALLEY

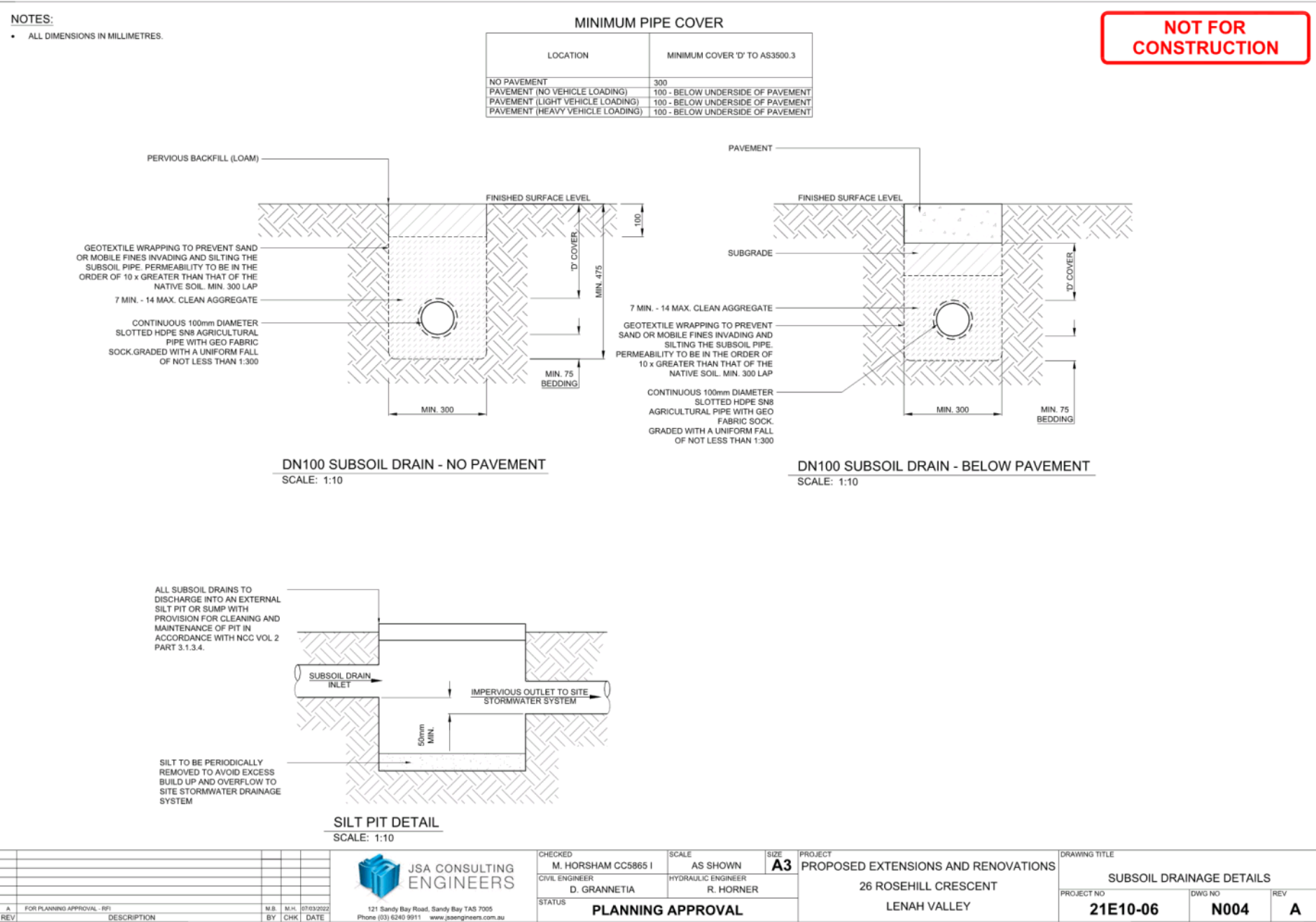
DRAWING TITLE		
CIVIL & HYDRAULIC NOTES		
PROJECT NO	DWG NO	REV
21E10-06	N001	A

20/07/2018 9:45:03 AM

**NOT FOR
CONSTRUCTION**

**IMPORTANT
DRAWING MUST BE
PRINTED & READ IN COLOUR**

DRAWING TITLE		
SYMBOL & LINE LEGENDS		
PROJECT NO	DWG NO	REV
21E10-06	N002	A

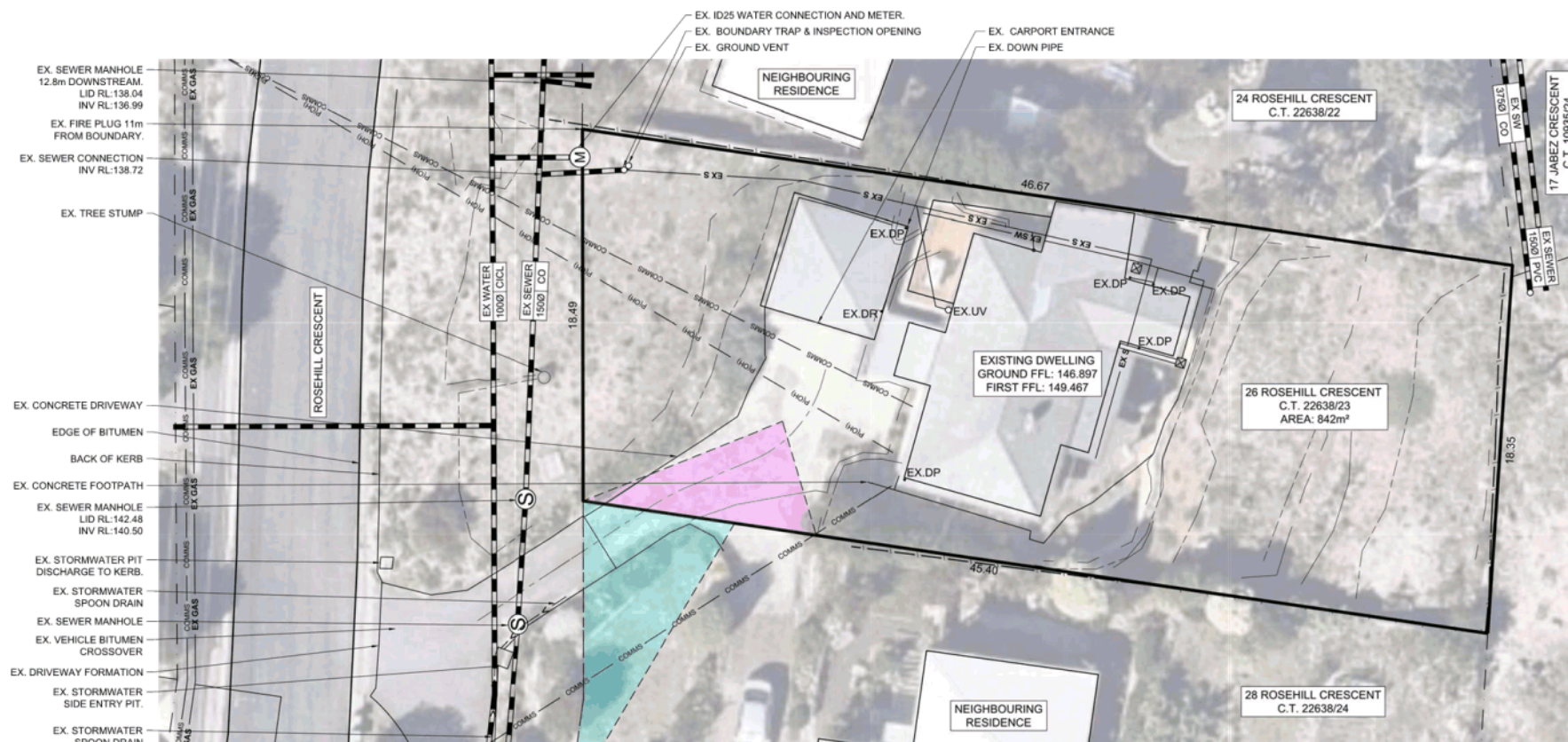


1. SURVEY DATA COMPLETED AND PROVIDED BY LEARY, COX & CRIPPS. DATED 16/02/2021, REFERENCE NO. 11985.
2. HORIZONTAL DATUM: MGA94, VERTICAL DATUM: AHD-SPM1960, CONTOUR INTERVAL: 0.2m.
3. LOCATION OF EXISTING SERVICES CONFIRMED BY ENGINEERS ON-SITE, DATED 17/12/2021.
4. TITLE BOUNDARY AS PER SURVEYOR'S PLANS.
5. SEWER & WATER ASSET LOCATION AND DEPTH AS PER UDM GROUP DATED: 23/02/2022

MARK	DESCRIPTION
	RIGHT OF ACCESS. OVER 28 ROSEHILL CRESCENT BENEFITING 26 ROSEHILL CRESCENT.
	RIGHT OF ACCESS. OVER 26 ROSEHILL CRESCENT BENEFITING 28 ROSEHILL CRESCENT.

**IMPORTANT
DRAWING MUST BE
PRINTED & READ IN COLOUR**

**NOT FOR
CONSTRUCTION**



EXISTING SITE PLAN
SCALE: 1:200



A	FOR PLANNING APPROVAL - RFI			M.B.	M.H. 07/03/2022
REV	DESCRIPTION			BY	CHK DATE



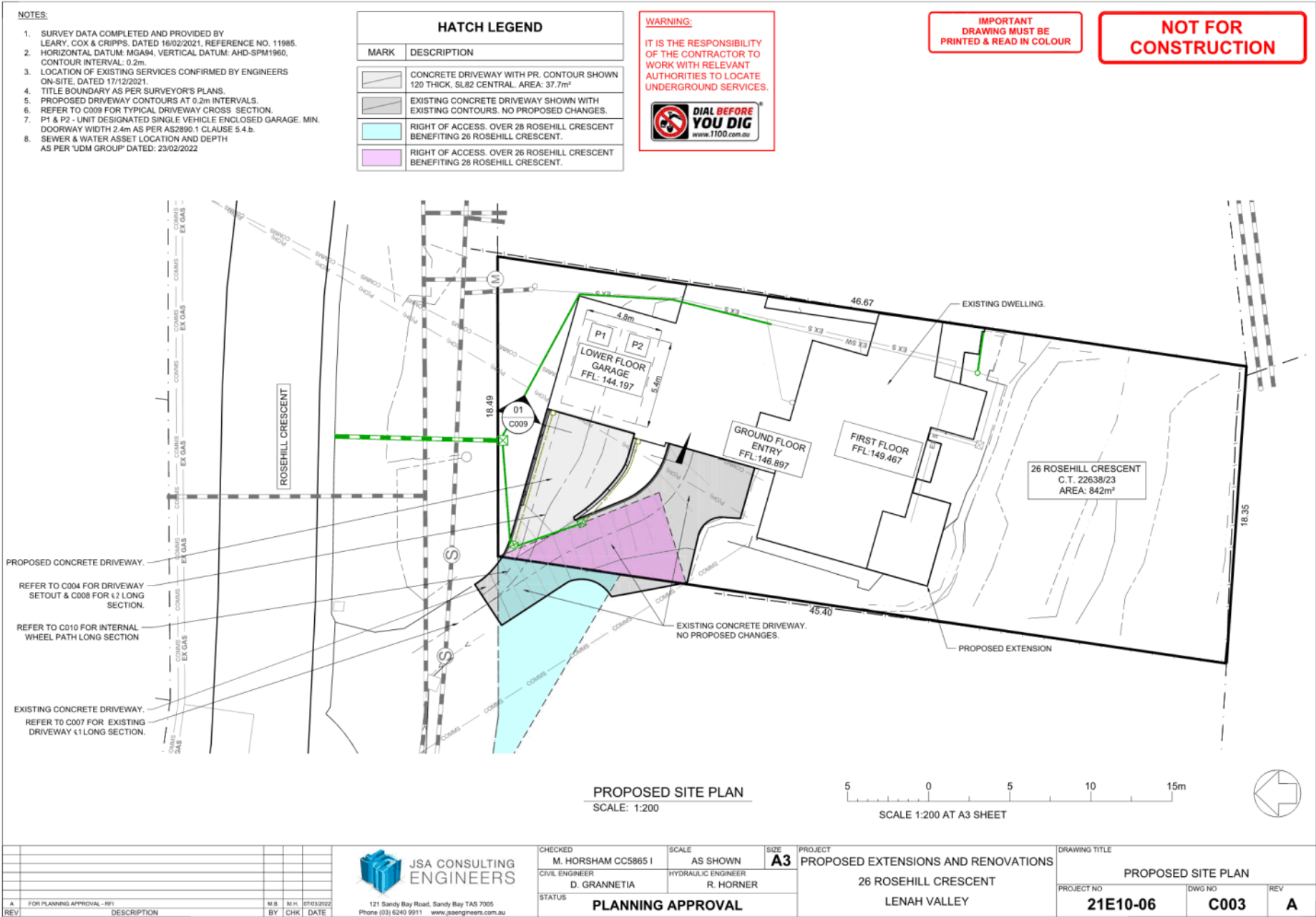
CHECKED M. HORSHAM CC5865 I	SCALE AS SHOWN	SIZE A3
CIVIL ENGINEER D. GRANNETIA	HYDRAULIC ENGINEER R. HORNER	
STATUS PLANNING APPROVAL		

PROJECT	PROPOSED EXTENSIONS AND RENOVATIONS
	26 ROSEHILL CRESCENT
	LENAH VALLEY

NS	DRAWING TITLE		
	EXISTING SITE PLAN		
	PROJECT NO	DWG NO	REV
	21E10-06	C001	A

20/07/2018 9:45:13 AM

20/07/2018 9:45:13 AM



NOTES:

1. SURVEY DATA COMPLETED AND PROVIDED BY LEARY, COX & CRIPPS, DATED 16/02/2021, REFERENCE NO. 11985.
2. HORIZONTAL DATUM: MGA94, VERTICAL DATUM: AHD-SPM1960, CONTOUR INTERVAL: 0.2m.
3. LOCATION OF EXISTING SERVICES CONFIRMED BY ENGINEERS ON-SITE, DATED 17/12/2021.
4. TITLE BOUNDARY AS PER SURVEYOR'S PLANS.
5. PROPOSED DRIVEWAY CONTOURS AT 0.2m INTERVALS.
6. REFER TO C009 FOR TYPICAL DRIVEWAY CROSS SECTION.
7. P1 & P2 - UNIT DESIGNATED SINGLE VEHICLE ENCLOSED GARAGE. MIN. DOORWAY WIDTH 2.4m AS PER AS2890.1 CLAUSE 5.4.b.
8. SEWER & WATER ASSET LOCATION AND DEPTH AS PER 'UDM GROUP' DATED: 23/02/2022

HATCH LEGEND

MARK	DESCRIPTION
	CONCRETE DRIVEWAY WITH PR. CONTOUR SHOWN 120 THICK, SL82 CENTRAL. AREA: 37.7m²
	EXISTING CONCRETE DRIVEWAY SHOWN WITH EXISTING CONTOURS. NO PROPOSED CHANGES.
	RIGHT OF ACCESS. OVER 28 ROSEHILL CRESCENT BENEFITING 26 ROSEHILL CRESCENT.
	RIGHT OF ACCESS. OVER 26 ROSEHILL CRESCENT BENEFITING 28 ROSEHILL CRESCENT.

SYMBOLS AND ABBREVIATIONS

MARK	DESCRIPTION
	FORM 100mm HIGH KERB TO LOW EDGE OF DRIVEWAY. REFER TO C009 FOR DETAIL.
	GRAVITY RETAINING WALL. CONTRACTOR TO CONFIRM ON SITE. TO FUTURE DETAIL.
	BLOCKWORK RETAINING WALL (BELOW DRIVEWAY) WITH CRASH BARRIER. CONTRACTOR TO CONFIRM ON SITE. TO FUTURE DETAIL.

WARNING:

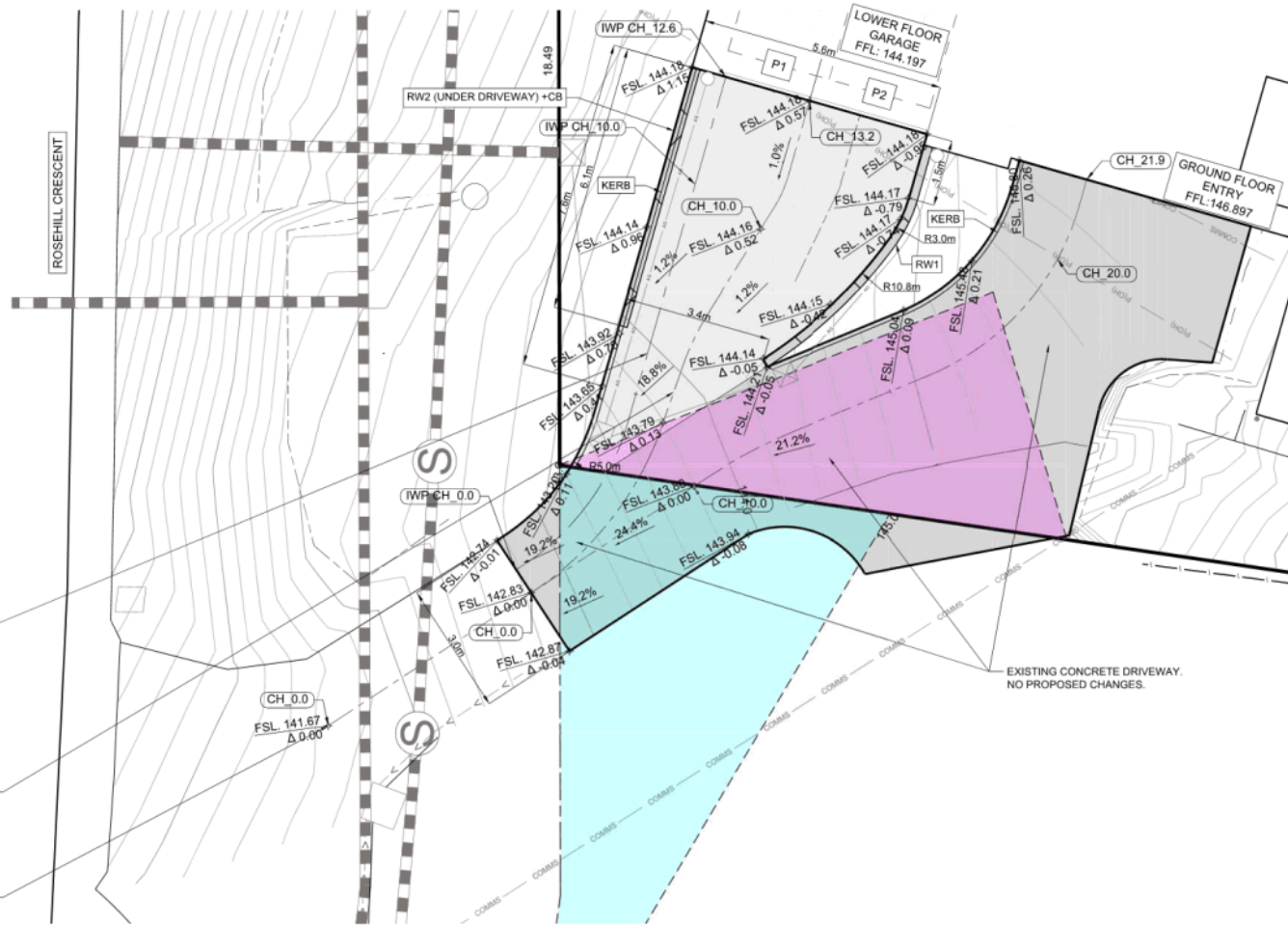
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO WORK WITH RELEVANT AUTHORITIES TO LOCATE UNDERGROUND SERVICES.



REFER TO C010 FOR INTERNAL WHEEL PATH LONG SECTION

REFER TO C008 FOR 1:2 LONG SECTION & C009 FOR CROSS SECTION.

REFER TO C007 FOR EXISTING DRIVEWAY 1:1 LONG SECTION.





IS	DRAWING TITLE		
	VEHICLE MOVEMENT PLAN - SHEET 1		
	PROJECT NO	DWG NO	REV
	21E10-06	C005	A



IS	DRAWING TITLE		
	VEHICLE MOVEMENT PLAN - SHEET 2		
	PROJECT NO	DWG NO	REV
	21E10-06	C006	A



CHECKED M. HORSHAM CC5865 I	SCALE AS SHOWN	SIZE A3
CIVIL ENGINEER D. GRANNETIA	HYDRAULIC ENGINEER R. HORNER	
STATUS PLANNING APPROVAL		

A	FOR PLANNING APPROVAL - RPT			M.B.	M.H.
REV	DESCRIPTION			BY	CHK DATE



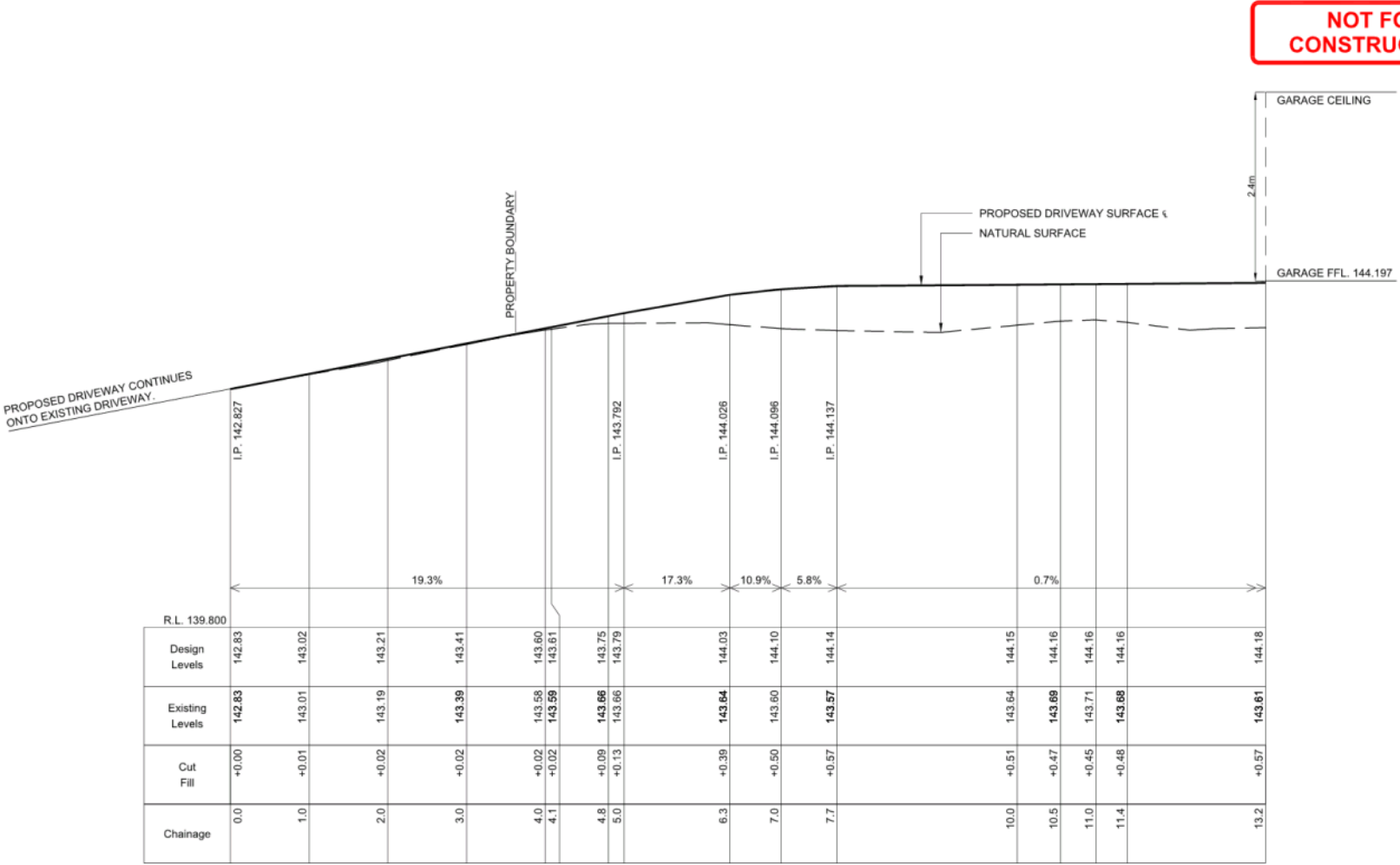
 **JSA CONSULTING
ENGINEERS**
121 Sandy Bay Road, Sandy Bay TAS 7005
Phone (03) 6240 9911 www.jsaengineers.com.au


CHECKED M. HORSHAM CC5865 I	SCALE AS SHOWN	SIZE A3
CIVIL ENGINEER D. GRANNETIA	HYDRAULIC ENGINEER R. HORNER	
STATUS PLANNING APPROVAL		

PROJECT
PROPOSED EXTENSIONS AND RENOVATIONS
26 ROSEHILL CRESCENT
LENAH VALLEY

S	DRAWING TITLE		
	EXISTING DRIVEWAY LONG SECTION (CL1)		
	PROJECT NO	DWG NO	REV
	21E10-06	C007	A

20/07/2018 9:45:26 AM



				 <div>JSA CONSULTING ENGINEERS</div> <div>121 Sandy Bay Road, Sandy Bay TAS 7005 Phone (03) 6240 9911 www.jsaengineers.com.au</div>	CHECKED M. HORSHAM CC5865 I		SCALE AS SHOWN	SIZE A3	PROJECT PROPOSED EXTENSIONS AND RENOVATIONS	DRAWING TITLE PROPOSED DRIVEWAY LONG SECTION (CL2)		
					CIVIL ENGINEER D. GRANNETIA	HYDRAULIC ENGINEER R. HORNER	26 ROSEHILL CRESCENT LENAH VALLEY			PROJECT NO 21E10-06		
					STATUS PLANNING APPROVAL		LENAH VALLEY			DWG NO C008		
										REV A		
A	FOR PLANNING APPROVAL - RPT			M.B.	M.H.	07/03/2022						
REV	DESCRIPTION			BY	CHK	DATE						



01
C003

CONCRETE QUALITY					
ELEMENT	SLUMP	AGGREGATE (MAX. SIZE)	CEMENT TYPE	ADMIXTURE	F _c (MPa)
DRIVEWAY	100	20	SL	NIL	25

ELEMENT	SLUMP	AGGREGATE (MAX. SIZE)	CEMENT TYPE	ADMIXTURE	F'c (MPa)
DRIVEWAY	100	20	SL	NIL	25

A	FOR PLANNING APPROVAL - RFI	M.B.	M.H.	07/03/2022
REV	DESCRIPTION	BY	CHK	DATE



JSA CONSULTING
ENGINEERS

121 Sandy Bay Road, Sandy Bay TAS 7005
Phone (03) 6240 9911 www.jsengineers.com.au

CHECKED M. HORSHAM CC5865 I	SCALE AS SHOWN	SIZE A3
CIVIL ENGINEER D. GRANNETIA	HYDRAULIC ENGINEER R. HORNER	
STATUS PLANNING APPROVAL		

APPROVAL

5. APPROVAL

—

1

LENA

LENA

HVA

IN VIVO

LEY

LET

From

1

245

21E

10 0

10-0

1

©

C

000

009

1

4

07/

100

20/07/2018 9:45:41 AM



NS	DRAWING TITLE		
	PROPOSED DRIVEWAY LONG SECTION INSIDE WHEEL PATH		
	PROJECT NO	DWG NO	REV
	21E10-06	C010	A

20/07/2018 9:45:26 AM

NOTES:

- ALL WORKS SHALL BE IN ACCORDANCE WITH A.S. 3500 THE TASMANIAN PLUMBING CODE, THE LOCAL COUNCIL REQUIREMENTS & ALL RELEVANT WHS REQUIREMENTS.
- LOCATE EXISTING SERVICES AND CONFIRM INVERT PRIOR TO TRENCHING FOR STORMWATER AND SEWER.
- MINIMUM DIAMETERS FOR ALL STORMWATER PIPES FOR SINGLE DWELLINGS IN RURAL AREAS AND RESIDENTIAL BUILDINGS ON URBAN ALLOTMENTS WITH AREAS LESS THAN 1000m² - DN90 IN ACCORDANCE WITH AS3500.3 SECTION 6.3.3.
- STORMWATER MINIMUM GRADE 1:100
- EXISTING PRIVATE SEWER & STORMWATER FROM COUNCIL PLANS (INDICATIVE)
- SEWER & WATER ASSET LOCATION AND DEPTH AS PER UDM GROUP DATED: 23/02/2022
- EXISTING & PROPOSED ROOF DRAINAGE TO FUTURE DETAIL, TO BE CONNECTED TO PROPOSED SITE STORMWATER SYSTEM & DISCHARGED TO PROPOSED PROPERTY LOT CONNECTION.

STORMWATER SYMBOL LEGEND

MARK	DESCRIPTION
XGD	EXISTING CHANNEL DRAIN & INCLINE PIT WITH CLASS 'B' TRAFFICABLE GRATE
XDP	EXISTING DOWNPIPES
AG	INSPECTION OPENING TO SURFACE FOR AG DRAINS TO BE LOCATED AT: 1. THEIR TOPMOST ENDS (OR HEADS) 2. EACH CHANGE OF DIRECTION GREATER THAN 70 DEGREES. 3. 15M SPACINGS REQUIREMENT FOR OTHER THAN SINGLE DWELLINGS ONLY IN ACCORDANCE WITH AS3500.3 SECTIONS 6.4 & 7.4.1. 250mm TRAFFICABLE CAST IRON METER BOX (REECE PRODUCT CODE 307101) AT SURFACE IN TRAFFICABLE AREAS.
DP	DOWNPIPES AS SPECIFIED BY DESIGNER TO BE CONNECTED INTO SITE STORMWATER DRAINAGE SYSTEM. TO FUTURE DETAIL.
GP1	450x450x600 DEEP STORMWATER PIT WITH GRATED CLASS 'B' LID, 'ACO' TYPE 45 OR SIMILAR, WITH SUMP.
GP2	600x600x600 DEEP STORMWATER DISCONNECTOR PIT WITH GRATED CLASS 'B' LID, 'ACO' TYPE 66 OR SIMILAR.
I.O.	INSPECTION OPENING TO SURFACE LOCATED AS DETAILED ON SHEET N01. REQUIREMENT FOR INSPECTION OPENINGS FOR OTHER THAN SINGLE DWELLINGS ONLY IN ACCORDANCE WITH AS3500.3 SECTION 7.4.1. 250mm TRAFFICABLE CAST IRON METER BOX (REECE PRODUCT CODE 307101) AT SURFACE IN TRAFFICABLE AREAS.

STORMWATER LINE LEGEND

MARK	DESCRIPTION
SW	PROPOSED STORMWATER PIPE
EX SW	EXISTING STORMWATER PIPE
AG	CONTINUOUS 100mm DIAMETER SLOTTED HDPE SN8 AGRICULTURAL PIPE WITH GEO FABRIC SOCK OF WEEPHOLES TO DRAIN REAR OF RETAINING WALLS
	EXISTING PUBLIC STORMWATER PIPE

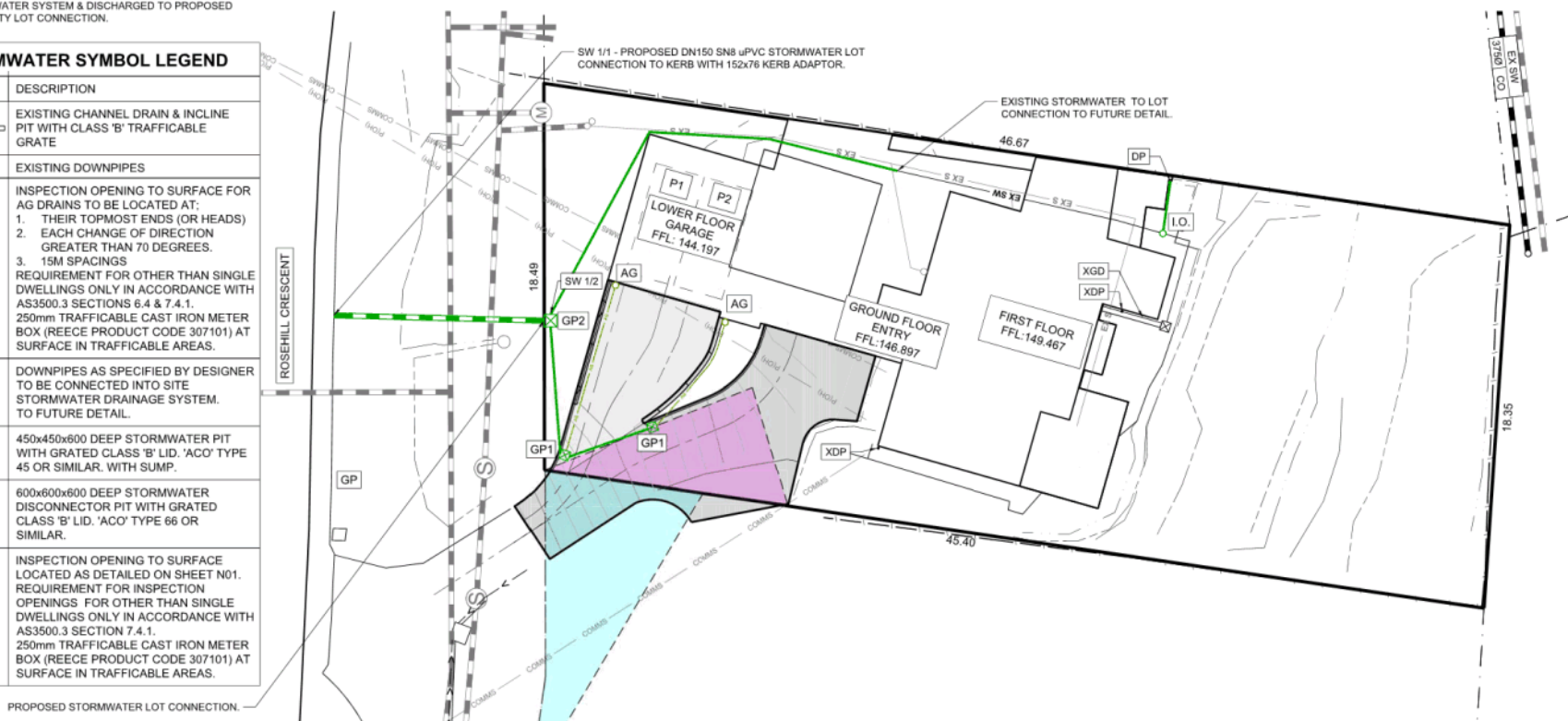
WARNING:

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO WORK WITH RELEVANT AUTHORITIES TO LOCATE UNDERGROUND SERVICES.



IMPORTANT
DRAWING MUST BE
PRINTED & READ IN COLOUR

NOT FOR
CONSTRUCTION



STORMWATER HYDRAULIC PLAN

SCALE: 1:200

5 0 5 10 15m

SCALE 1:200 AT A3 SHEET



REV	DESCRIPTION	BY	CHK	DATE
A	FOR PLANNING APPROVAL - RFI	M.B.	M.H.	07/03/2022



JSA CONSULTING
ENGINEERS

121 Sandy Bay Road, Sandy Bay TAS 7005
Phone (03) 6240 9911 www.jsaengineers.com.au

CHECKED M. HORSHAM CC5865 I	SCALE AS SHOWN	SIZE A3
CIVIL ENGINEER D. GRANNETIA	HYDRAULIC ENGINEER R. HORNER	
STATUS PLANNING APPROVAL		

PROJECT PROPOSED EXTENSIONS AND RENOVATIONS	DRAWING TITLE STORMWATER HYDRAULIC PLAN
26 ROSEHILL CRESCENT LENAH VALLEY	
PROJECT NO 21E10-06	DWG NO H001
REV A	

20/07/2018 9:45:13 AM



S	DRAWING TITLE		
	STORMWATER LONG SECTION		
	PROJECT NO	DWG NO	REV
	21E10-06	H002	A

20/07/2018 9:45:37 AM



19 November 2021

Liz Wilson
Planner, Hobart City Council
16 Elizabeth Street
HOBART TAS 7000

Dear Liz,

**26 Rosehill Crescent, Lenah Valley - Response to Request for Further Information
relating to Application PLN-21-771**

Thank you for your recent RFI dated 12 November 2021.

As requested, we have prepared Shadow Projection Diagrams for the proposed and existing development for this project. As the shadows from the proposed extensions are so minimal, we have not detailed 3D Solar Access Diagrams to neighbouring properties, as the minimal impact negates the need for this added detail. However, if you do feel that this is still necessary, or require further clarification, please do not hesitate to contact us.

Yours Faithfully,
David Wakefield & Associates Pty Ltd

Per: 

Xavier Carthew-Wakefield.

EOA

62 348 777
122 Murray Street Hobart 7000
PO Box 4564 Bathurst Street
Hobart 7000
info@dwadesign.com.au

David Wakefield and Associates
Pty Ltd
ACN 108 015 612
ABN 86 108 015 612



Michael McClenahan
City Planning
City of Hobart
GPO Box 503
Hobart TAS 7001

3 March 2022
Your reference: PLN-21-771
JSA reference: 21L10-06-1

Dear Michael,

**RE: 26 ROSEHILL CRESCENT, LENA VALLEY - PARTIAL DEMOLITION, ALTERATIONS, EXTENSION,
SWIMMING POOL, GARAGE AND ALTERATIONS TO DRIVEWAY**

JSA Consulting Engineers have prepared a response to the request for information from Council dated 24 November 2021 regarding the proposed development at 26 Rosehill Crescent, Lenah Valley.

The following points have been addressed:

Parking and Access:

To enable the Council to assess the application against the relevant provisions of the Parking and Access Code of Hobart Interim Planning Scheme 2015 please provide:

PA5.1 Scaled and dimensioned plan(s) showing the layout of car parking spaces, turning areas, driveway and access designed to comply with AS/NZS 2890.1:2004 or a design which ensures that parking areas enable safe, easy and efficient use.

To satisfy Hobart Interim Planning Scheme 2015 clauses E6.7.5 Acceptable Solution A1 the scaled and dimensioned design drawings must include:

- *A layout of car parking spaces, access aisles, circulation roadways and ramps, turning areas and driveway that is designed to comply with Section 2 of AS/NZS 2890.1:2004 and must have sufficient headroom to comply with Section 5.3 of AS/NZS 2890.1:2004.*

Where the design drawing(s) do not comply with the above clauses, provide a certification by a suitably qualified engineer that the design is safe and ensures ease of access, egress and manoeuvring on site. This will then be assessed under performance criteria of the Hobart Interim Planning Scheme 2015.

To satisfy clauses E6.7.5 Acceptable Solution A1, AS/NZS 2890.1:2004 Section 2 and AS/NZS 2890.1:2004 Section 5.3, scaled and dimensioned design drawings must include:

- *Plan view showing the extent of driveway to be modified;*
- *Plan view showing the minimum width of the modified driveway;*
- *Plan view and long section along the modified driveway centreline and inside wheel paths, showing the gradient and elevation of the full driveway's finished surface level and existing natural surface level; including transitions at change of grades, where required to comply with AS/NZS 2890.1:2004 Section 2.5.3(d);*
- *Plan view showing gradient of the turning area;*
- *Plan view showing gradient of the parking area;*
- *Plan view and long section showing gradient of the parking area;*

- Plan view showing the extent of proposed vehicle safety barriers, where required to satisfy AS/NZS 2890.1:2004 Section 2.4.5.3, clearly specifying heights of drops from the driveway / parking area to lower levels where vehicle safety barriers and/or wheelstops are not required;
- Construction details in a typical driveway cross-section, including vehicle safety barriers if required; and
- Elevation or section view showing sufficient headroom to satisfy Section 5.3 of AS/NZS 2890.1:2004.

Where the design drawing(s) do not comply with the above clause and/or AS/NZS 2890.1:2004 provide a certification by a suitably qualified engineer that the design provides for a safe and efficient access, this will then be assessed under Performance Criteria of the Hobart Interim Planning Scheme 2015.

Response:

Refer to driveway setout plan C004, vehicle movement plans C005 & C006, driveway long sections C007 & C008 and typical driveway section C009. Car parking, turning areas and driveway are designed to comply with Section 2 of AS/NZS 2890.1:2004 and entry to the garage has sufficient headroom to comply with Section 5.3 of AS/NZS 2890.1:2004.

- Plan view showing the extent of driveway to be modified is shown on proposed site plan C003.
- Plan view showing the minimum width of the modified driveway is shown on driveway setout plan C004,
- Long section along the existing and modified driveway centreline, showing the gradient and elevation of the full driveway's finished surface level and existing natural surface level, are shown on existing driveway long section C007 and proposed driveway long section C008. Long section along the proposed inside wheel path is shown on C010.
- Plan view showing gradient of the turning area is shown on driveway setout plan C004,
- Plan view showing gradient of the parking area is not relevant because the parking area is in a garage,
- Plan view and long section showing gradient of the parking area not relevant because the parking area is in a garage,
- Plan view showing the extent of proposed vehicle safety barriers, clearly specifying heights of drops from the driveway / parking area to lower levels are shown on driveway setout plan C004,
- Construction details in a typical driveway cross-section, including vehicle safety barriers is shown on typical driveway section C009,
- Long section of proposed driveway on C008 shows the garage FFL, ceiling height and headroom

Stormwater Code:

To enable the Council to assess the application against the relevant provisions of the Stormwater Management Code of Hobart Interim Planning Scheme 2015, please provide:

Sw 1 A site plan to demonstrate how stormwater from the existing and proposed development (including roofed areas and impervious surfaces - driveways etc) will be disposed of via gravity to public stormwater infrastructure or to a Council approved system

Response:

An existing stormwater lot connection for the property could not be located on site. There is no stormwater infrastructure adjacent to the property. Neighbouring properties have stormwater outlets which discharge to kerb.

Refer to JSA stormwater hydraulic plan H001. A new stormwater lot connection outlet to kerb is proposed to service the property. Sewer and water mains within the road reserve have been located in order to ensure that required clearances to the proposed stormwater connection can be achieved. Refer to stormwater long section H002.

Stormwater runoff from the existing and proposed driveway within the property boundary is collected by kerbs on the low end of the driveway, and directed to grated pits, as shown on H001.

All existing and proposed downpipes will be directed to the proposed lot connection. This is noted on H001 (refer to Note #7), and details of downpipe locations and connections will be provided with the application for building and plumbing approval.

Please contact Rachel Horner on 6240 9911 or rachel@jsa.com.au if you require any further information.

Yours sincerely,



Rachel Horner

Civil / Environmental Engineer

**7.1.4 590 NELSON ROAD, MOUNT NELSON AND ADJACENT ROAD
RESERVE - PARTIAL DEMOLITION, ALTERATIONS, EXTENSION,
FRONT FENCING, ALTERATIONS TO DRIVEWAYS AND WORKS IN
THE ROAD RESERVE
PLN-21-598 - FILE REF: F22/46500**

Address: 590 Nelson Road, Mount Nelson and Adjacent
Road Reserve

Proposal: Partial Demolition, Alterations, Extension, Front
Fencing, Alterations to Driveways and Works in
the Road Reserve

Expiry Date: 25 May 2022

Extension of Time: Not applicable

Author: Adam Smee

RECOMMENDATION

That pursuant to the *Hobart Interim Planning Scheme 2015*, the City Planning Committee, in accordance with the delegations contained in its terms of reference, approve the application for partial demolition, alterations, extension, front fencing, alterations to driveways, and works in the road reserve at 590 Nelson Road, Mount Nelson and adjacent road reserve, for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

GEN

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-21-598 - 590 NELSON ROAD MOUNT NELSON TAS 7007 - Final Planning Documents.

Reason for condition

To clarify the scope of the permit.

ENG sw1

Prior to first occupation or commencement of use (whichever occurs first), all stormwater from the proposed development (including but not limited to, roofed areas, ag drains, retaining wall ag drains, and impervious surfaces, such as driveways and paved areas) must be drained to the Council's stormwater infrastructure.

Any private or private shared stormwater system passing through third-party land must have sufficient receiving capacity.

Advice:

Under section 23 of the Urban Drainage Act 2013 it is an offence for a property owner to direct stormwater onto a neighbouring property.

Reason for condition

To ensure that stormwater from the site will be discharged to a suitable Council approved outlet.

ENG 2a

Prior to first occupation or commencement of use (whichever occurs first), vehicular barriers compliant with the Australian Standard AS/NZS 1170.1:2002 must be installed to prevent vehicles running off the edge of a parking area where the drop from the edge of the trafficable area to a lower level is 600mm or greater, wheel stops must be installed for drops between 150mm and 600mm, and kerbs for drops less than 150mm. Physical controls installed must;

1. not limit the parking area approved by this permit, and
2. be in accordance with the Australian Standard AS/NZS 2890.1:2004.

Reason for condition

To ensure the safety of users of the access driveway and parking module and compliance with the standard.

ENG 3a

Prior to first occupation or commencement of use (whichever occurs first), the access driveway and parking area (domestic driveway and garage) must be constructed in accordance with the plans approved by this permit.

Any departure from the approved design, and any works which are not detailed in the plans, must either be:

- (a) approved by the Director City Life, via a Condition Endorsement application, or
- (b) designed and constructed in accordance with the Australian Standard AS/NZ 2890.1:2004.

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

ENG 4

Prior to first occupation or commencement of use (whichever occurs first), the access driveway and parking area (domestic driveway and garage) approved by this permit must be constructed to a sealed standard (spray seal, asphalt, concrete, pavers, or equivalent Council approved) and surface drained to the Council's stormwater.

Reason for condition

To ensure the safety of users of the access driveway and parking module, and that it does not detract from the amenity of users, adjoining occupiers or the environment by preventing dust, mud and sediment transport.

ENG 5

The number of off-street car parking spaces approved for use on site, approved by this permit, is Two (2).

Reason for condition

To ensure the provision of parking for the use is safe and efficient.

ENG 1

Any damage to council infrastructure resulting from the implementation of this permit, must, at the discretion of the Council:

1. Be met by the owner by way of reimbursement (cost of repair and reinstatement to be paid by the owner to the Council); or
2. Be repaired and reinstated by the owner to the satisfaction of the Council.

A photographic record of the Council's infrastructure adjacent to the subject site must be provided to the Council prior to any commencement of works.

A photographic record of the Council's infrastructure (e.g. existing property service connection points, roads, buildings, stormwater, footpaths, driveway crossovers and nature strips, including if any, pre-existing damage) will be relied upon to establish the extent of damage caused to the Council's infrastructure during construction. In the event that the owner/developer fails to provide to the Council a photographic record of the Council's infrastructure, then any damage to the Council's infrastructure found on completion of works will be deemed to be the responsibility of the owner.

Reason for condition

To ensure that any of the Council's infrastructure and/or site-related service connections affected by the proposal will be altered and/or reinstated at the owner's full cost.

ENG r1

The excavation within or supporting the highway reservation must not undermine the stability and integrity of the highway reservation and its infrastructure.

Detailed design drawings and associated geotechnical assessments of the embankment excavation within the Broughton Avenue highway reservation must be submitted and approved as a Condition Endorsement, prior to the commencement of work and must:

1. Be prepared and certified by a suitable qualified person and experienced engineer;
2. Not undermine the stability of the highway reservation;
3. Take into account and reference accordingly any Geotechnical findings;
4. Detail any mitigation measures required;
5. Geotechnical report is required to demonstrate if the proposed nature batter will be sufficient to hold up the embankment, any extra works to stabilize the bank recommended in geotechnical report will need to be reflected in the Condition Endorsement drawings.

All work required by this condition must be undertaken in accordance with the approved select design drawing.

Advice:

This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.

Reason for condition

To ensure that the stability and integrity of the Council's highway reservation is not compromised by the development.

ENV 9

The Tree Management Plan 21E10-11 C01 Revision B dated 7 March 2022 must be implemented and complied with.

Reason for condition

To ensure the use/development does not result in unnecessary or unacceptable loss of priority biodiversity values

ENV 1

Sediment and erosion control measures sufficient to prevent sediment from leaving the site must be installed prior to any disturbance of the site, and maintained until all areas of disturbance have been stabilized or re-vegetated.

Advice:

For further guidance in preparing a Soil and Water Management Plan – in accordance with Fact sheet 3 Derwent Estuary Program click [here](#).

Reason for condition

To avoid the sedimentation of roads, drains, natural watercourses, Council land that could be caused by erosion and runoff from the development, and to comply with relevant State legislation.

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

CONDITION ENDORSEMENT

If any condition requires that further documents are submitted and approved, you will need to submit the relevant documentation to satisfy the condition via the Condition Endorsement Submission on Council's [online services e-planning portal](#). Detailed instructions can be found [here](#).

A fee of 2% of the value of the works for new public assets (stormwater infrastructure, roads and related assets) will apply for the condition endorsement application.

Once approved, the Council will respond to you via email that the condition has been endorsed (satisfied).

Where building approval is also required, it is recommended that documentation for condition endorsement be submitted well before submitting documentation for building approval. Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.

BUILDING PERMIT

You may need building approval in accordance with the *Building Act 2016*. Click [here](#) for more information.

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

PLUMBING PERMIT

You may need plumbing approval in accordance with the *Building Act 2016*, *Building Regulations 2016* and the National Construction Code. Click [here](#) for more information.

OCCUPATION OF THE PUBLIC HIGHWAY

You may require a Permit to Open Up and Temporarily Occupy a Highway (for work in the road reserve). Click [here](#) for more information.

STORMWATER

Please note that in addition to a building and/or plumbing permit, development must be in accordance with the Hobart City Council's Infrastructure By law. Click [here](#) for more information.

WORK WITHIN THE HIGHWAY RESERVATION

Please note development must be in accordance with the Hobart City Council's Infrastructure by law. Click [here](#) for more information.

DRIVEWAY SURFACING OVER HIGHWAY RESERVATION

If a coloured or textured surface is used for the driveway access within the Highway Reservation, the Council or other service provider will not match this on any reinstatement of the driveway access within the Highway Reservation required in the future.

WORK PLACE HEALTH AND SAFETY

Appropriate occupational health and safety measures must be employed during the works to minimise direct human exposure to potentially-contaminated soil, water, dust and vapours. Click [here](#) for more information.

PROTECTING THE ENVIRONMENT

In accordance with the *Environmental Management and Pollution Control Act 1994*, local government has an obligation to "use its best endeavours to prevent or control acts or omissions which cause or are capable of causing pollution." Click [here](#) for more information.

LEVEL 1 ACTIVITIES

The activity conducted at the property is an environmentally relevant activity and a Level 1 Activity as defined under s.3 of the *Environmental Management and Pollution Control Act 1994*. For further information on what your responsibilities are, click [here](#).

NOISE REGULATIONS

Click [here](#) for information with respect to noise nuisances in residential areas.

WASTE DISPOSAL

It is recommended that the developer liaise with the Council's Cleansing and Solid Waste Unit regarding reducing, reusing and recycling materials associated with demolition on the site to minimise solid waste being directed to landfill.


Further information regarding waste disposal can also be found on the Council's [website](#).


FEES AND CHARGES

Click [here](#) for information on the Council's fees and charges.

DIAL BEFORE YOU DIG

Click [here](#) for dial before you dig information.

Attachment A: PLN-21-598 - 590 NELSON ROAD MOUNT
NELSON TAS 7007 - Planning Committee or
Delegated Report ↓ 

Attachment B: PLN-21-598 - 590 NELSON ROAD MOUNT
NELSON TAS 7007 - CPC Agenda Documents ↓


**APPLICATION UNDER HOBART INTERIM PLANNING SCHEME 2015**

Type of Report:	Committee
Committee:	23 May 2022
Expiry Date:	25 May 2022
Application No:	PLN-21-598
Address:	590 NELSON ROAD , MOUNT NELSON ADJACENT ROAD RESERVE
Applicant:	Xavier Carthew-Wakefield (DW+A) 122 Murray Street Hobart 122 Murray Street Hobart
Proposal:	Partial Demolition, Alterations, Extension, Front Fencing, Alterations to Driveways and Works in Road Reserve
Representations:	No representations.
Performance criteria:	Low Density Residential Zone Development Standards; Parking and Access Code.

1. Executive Summary

- 1.1 Planning approval is sought for partial demolition, alterations, extension, front fencing, alterations to driveways, and works in the road reserve at 590 Nelson Road, Mount Nelson and adjacent road reserve.
- 1.2 More specifically the proposal includes:
 - demolition of a carport and deck attached to the dwelling on the above property and the removal of the existing roof and windows,
 - internal alterations including the removal of internal walls and the provision of stairs,
 - construction of an extension that would add a second storey to the dwelling and include additional bedrooms and living areas,
 - construction of a garage on the south-western side of the dwelling, and,
 - alterations to the driveway that would provide access to the proposed garage, which would include work within the Broughton Avenue road reserve.
- 1.3 The proposal relies on performance criteria to satisfy the following standards and codes:

- 1.3.1 12.0 Low Density Residential Zone - Setbacks and building envelope, Site coverage and private open space, Sunlight and overshadowing, Privacy
 - 1.3.2 E6.0 Parking and Access Code -Layout of parking areas
- 1.4 No representations were received during the statutory advertising period between 29 April and 13 May 2022.
- 1.5 The proposal is recommended for approval subject to conditions.
- 1.6 The final decision is delegated to the City Planning Committee because the application includes the Broughton Avenue highway reservation.

2. Site Detail

- 2.1 The proposed development site is a larger residential lot within the Mount Nelson area. The lot is roughly triangular in shape and has an area of 861m². The property is on the corner of Nelson Road and Broughton Avenue. The property has two crossovers which provide access to the latter road via a connected driveway. The dwelling and surrounding garden occupy the remainder of the property. The property is surrounded by similar low density residential use and development.



Figure 1: aerial view of proposed development site (outlined in blue) and surrounding area.

3. Proposal

- 3.1 Planning approval is sought for partial demolition, alterations, extension, front fencing, alterations to driveways, and works in the road reserve at 590 Nelson Road, Mount Nelson and adjacent road reserve.

3.2 More specifically the proposal is for:

- demolition of a carport and deck attached to the dwelling on the above property and the removal of the existing roof and windows,
- internal alterations including the removal of internal walls and the provision of stairs,
- construction of an extension that would add a second storey to the dwelling and include additional bedrooms and living areas,
- construction of a garage on the south-western side of the dwelling, and,
- alterations to the driveway that would provide access to the proposed garage, which would include work within the Broughton Avenue road reserve.

4. Background

4.1 The consent of the Chief Executive Officer for the application to be made was granted via delegation on 29 March 2022. This consent was required because the application includes the Broughton Avenue highway reservation.

5. Concerns raised by representors

5.1 No representations were received during the statutory advertising period.

6. Assessment

6.1 The *Hobart Interim Planning Scheme 2015* is a performance based planning scheme. To meet an applicable standard, a proposal must demonstrate compliance with either an acceptable solution or a performance criterion. Where a proposal complies with a standard by relying on one or more performance criteria, the Council may approve or refuse the proposal on that basis. The ability to approve or refuse the proposal relates only to the performance criteria relied on.

6.2 The site is located within the Low Density Residential Zone of the *Hobart Interim Planning Scheme 2015*.

6.3 The existing use is a single dwelling within the planning scheme's Residential use class. The existing use is a permitted use in the above zone. The proposed development would be associated with the existing use.

6.4 The proposal has been assessed against:

- 6.4.1 12.0 Low Density Residential Zone
- 6.4.2 E6.0 Parking and Access Code
- 6.4.3 E7.0 Stormwater Management Code
- 6.5 The proposal relies on the following performance criteria to comply with the applicable standards:
 - 6.5.1 12.0 Low Density Residential Zone
 - 12.4.2 Setbacks and building envelope* P1, P2, and P3;
 - 12.4.3 Site coverage and private open space* P1 and P2;
 - 12.4.4 Sunlight and overshadowing* P1,
 - 12.4.6 Privacy* P1.
 - 6.5.2 E6.0 Parking and Access Code:
 - E6.7.5 Layout of Parking Areas.*
- 6.6 Each relevant performance criterion is assessed below.
- 6.7 *12.4.2 Setbacks and building envelope* P1
 - 6.7.1 The acceptable solution A1 at clause 12.4.2 requires a dwelling to be setback at least 4.5m from a primary frontage and at least 3m from a non-primary frontage.
 - 6.7.2 The proposal includes a dwelling that would not be setback at least 4.5m from the site's primary frontage and at least 3m from its non-primary frontage. The site's frontage with Nelson Road on its north-eastern boundary is its primary frontage while its frontage with Broughton Avenue, on its western boundary, is a non-primary frontage. The proposed dwelling would be setback less than 3m from the Nelson Road frontage and less than 1.5m from the Broughton Avenue frontage.
 - 6.7.3 As the proposal does not comply with the above acceptable solution it therefore relies upon assessment against the below performance criterion.
 - 6.7.4 The performance criterion P1 at clause 12.4.2 provides as follows:
 - A dwelling must:*

(a) be compatible with the relationship of existing buildings to the road in terms of setback or in response to slope or other physical constraints of the site; and

(b) have regard to streetscape qualities or assist the integration of new development into the streetscape.

6.7.5 The proposal would not significantly alter the relationship of the dwelling on the site to either Nelson Road or Broughton Avenue. An existing deck on the north-eastern side of the dwelling is already relatively close to the site frontage with Nelson Road. Similarly, the carport on the south-western side of the dwelling is relatively close to the site frontage with Broughton Avenue. Therefore, the proposal is considered to be compatible with the relationship of buildings to the road in terms of setback. Given that the proposal would not significantly alter the relationship between development on the site and the adjacent roads, it is considered to have sufficient regard for streetscape qualities.

6.7.6 The proposal complies with the above performance criterion.

6.8 *12.4.2 Setbacks and building envelope P2*

6.8.1 The acceptable solution A2 at clause 12.4.2 requires a garage to be setback at least 5.5 from a frontage.

6.8.2 The proposal includes a garage that would not be setback 5.5m from a frontage. The proposed garage would be setback approximately 1.4m from the site's frontage with Broughton Avenue.

6.8.3 The proposal does not comply with the above acceptable solution and therefore relies upon assessment against the below performance criterion.

6.8.4 The performance criterion P2 at clause 12.4.2 provides as follows:

The setback of a garage or carport from a frontage must:

(a) provide separation from the frontage that complements or enhances the existing streetscape, taking into account the specific constraints and topography of the site; and

(b) allow for passive surveillance between the dwelling and the street.

6.8.5 The proposed garage would occupy a similar position on the site to the existing carport it would replace. The garage would be below the level of

the adjacent road and at an angle to it. Therefore, the proposal is unlikely to have a significant impact upon the streetscape. The proposal would not affect the opportunity for passive surveillance between the dwelling on the site and Broughton Avenue as it would not obstruct the windows within the north-western elevation of the dwelling.

6.8.6 The proposal complies with the performance criterion.

6.9 12.4.2 Setbacks and building envelope P3

6.9.1 The acceptable solution A3 at clause 12.4.2 requires a dwelling to be contained within a building envelope.

6.9.2 The proposal includes a dwelling that would not be contained within the prescribed building envelope. The proposed dwelling would not be contained within the building envelope determined relative to the site's south-eastern boundary.

6.9.3 The proposal does not comply with the above acceptable solution and therefore relies upon assessment against the below performance criterion is relied on.

6.9.4 The performance criterion P3 at clause 12.4.2 provides as follows:

The siting and scale of a dwelling must:

(a) not cause unreasonable loss of amenity by:

(i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining lot; or

(ii) overshadowing the private open space of a dwelling on an adjoining lot; or

(iii) overshadowing of an adjoining vacant lot; or

(iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining lot; and

(b) provide separation between dwellings on adjoining lots that is compatible with that prevailing in the surrounding area.

6.9.5 The shadow diagrams provided with the application demonstrate that the proposed development would overshadow the adjoining property to the south-east (592 Nelson Road) at midday and 3pm upon 21 June. The development would not overshadow any other adjoining property. While

the shadow diagrams suggest that the proposal may result in some limited additional overshadowing of the property at 594 Nelson Road, further to the south-east, this property is not considered to be an adjoining property for the purpose of assessing the proposal against the above performance criterion.

- 6.9.6 The submitted shadow diagrams suggest that the proposal would result in some limited additional overshadowing of 592 Nelson Road at midday upon 21 June. The diagrams indicate that this additional overshadowing is unlikely to extend to the habitable room windows within either the north-eastern or north-western elevations of the dwelling on this property. The diagrams also indicate that only a small part of the private open space to north-west of the dwelling would be overshadowed by the development at this time.
- 6.9.7 The shadow diagrams provided for 3pm upon 21 June show that while overshadowing from the proposed development would extend to the area of private open space to the north-east of the dwelling at 592 Nelson Road (i.e. between it and Nelson Road), this area is already significantly overshadowed by the existing dwelling on the site at this time. The proposed additional overshadowing would be comparatively limited in extent. Therefore, the proposal is not considered likely to cause an unreasonable loss of amenity by causing a reduction in sunlight to a habitable room or overshadowing the private open space of a dwelling on an adjoining lot. The site is not adjacent to a vacant lot.
- 6.9.8 Similarly to above, the visual impact of the proposal is considered to potentially only affect the adjoining property at 592 Nelson Road. The other properties that may be considered to be adjoining lots are separated from the site by either Nelson Road or Broughton Avenue. This separation is considered likely to ensure that the proposal does not have a significant visual impact upon these properties.
- 6.9.9 It is noted that the windows within the dwelling at 592 Nelson Road are orientated toward either the north-east or the north-west, rather than toward the dwelling on the site, which is to the north. It is also noted that the existing separation between these dwellings would be largely maintained. While a second storey extension is proposed, the proposal would generally present as a single storey building when viewed from the south and south-east given the topography of the site. Therefore, the proposal is not considered likely to cause an unreasonable loss of amenity on an adjoining lot as a result of its visual impact.

- 6.9.10 As noted above, the proposal would generally maintain the existing separation between the dwelling on the site and the dwellings on adjoining lots. Therefore, the proposal is considered to provide separation between dwellings on adjoining lots that is compatible with that prevailing in the surrounding area.
- 6.9.11 The proposal complies with the above performance criterion.
- 6.10 12.4.3 *Site coverage and private open space* P1
- 6.10.1 The acceptable solution A1(a) at clause 12.4.3 requires a dwelling to have a site coverage of not more than 25%.
- 6.10.2 The proposal includes a dwelling that would have a site coverage of more than 25%. The proposed dwelling would have a site coverage of 28%.
- 6.10.3 The proposal does not comply with the above acceptable solution and therefore relies upon assessment against the below performance criterion.
- 6.10.4 The performance criterion P1 at clause 12.4.3 provides as follows:
- Dwellings must have:*
- (a) private open space that is of a size and dimensions that are appropriate for the size of the dwelling and is able to accommodate:*
- (i) outdoor recreational space consistent with the projected requirements of the occupants; and*
- (ii) operational needs, such as clothes drying and storage; and*
- (b) have reasonable space for the planting of gardens and landscaping.*
- (c) not be out of character with the pattern of development in the surrounding area; and*
- (d) not result in an unreasonable loss of natural or landscape values.*
- 6.10.5 The proposal would provide additional private open space on the site. An attached deck on the ground floor of the dwelling would be modified while a new deck would be provided on the proposed upper level. The remaining existing private open space on the site would remain largely unchanged, ensuring that the projected requirements of the occupants and

operational needs are met. There would also be reasonable space for planting of gardens and landscaping as existing garden and landscaped areas would not be significantly altered.

- 6.10.6 Given that there would be little change in the site coverage found on the site, the proposal is not considered likely to have a significant impact upon character. There are several two storey dwellings in the surrounding area, including one upon the adjoining property at 592 Nelson Road, so the proposed additional level is not considered to be inconsistent with the character of the surrounding area. The proposal would not result in the loss of natural or landscape values as the removal of native vegetation is not proposed and the proposed development would be not be visible in the wider landscape.
- 6.10.7 The proposal complies with the above performance criterion.
- 6.11 12.4.3 *Site coverage and private open space P2*
- 6.11.1 The acceptable solution A2 at clause 12.4.3 requires a dwelling to have an area of private open space that is directly accessible from, and adjacent to, a habitable room; and is not located between the dwelling and the frontage.
- 6.11.2 The proposal includes private open space that is either not directly accessible from a habitable room or is between the dwelling and the frontage.
- 6.11.3 The proposal does not comply with the above acceptable solution and therefore relies upon assessment against the below performance criterion.
- 6.11.4 The performance criterion P2 at clause 12.4.3 provides as follows:
- A dwelling must have private open space that:*
- (a) includes an area that is capable of serving as an extension of the dwelling for outdoor relaxation, dining, entertaining and children's play and that is:*
- (i) conveniently located in relation to a living area of the dwelling; and*
(ii) orientated to take advantage of sunlight.
- 6.11.5 As discussed earlier, the proposed dwelling would have areas of private

open space provided by attached decks on both levels. These areas would be conveniently located in relation to the living areas of the dwelling and would be on its north-eastern side, which is the side likely to receive the most sunlight given the topography of the site.

6.11.6 The proposal complies with the above performance criterion.

6.12 12.4.4 Sunlight and overshadowing P1

6.12.1 The acceptable solution A1 at clause 12.4.4 requires a dwelling to have at least one habitable room window that faces within 30 degrees of north.

6.12.2 The proposal includes a dwelling that would not have a habitable room window that faces within 30 degrees of north.

6.12.3 The proposal does not comply with the above acceptable solution and therefore relies upon assessment against the below performance criterion.

6.12.4 The performance criterion at clause 12.4.4 provides as follows:

A dwelling must be sited and designed so as to allow sunlight to enter at least one habitable room (other than a bedroom).

6.12.5 The proposal would provide the dwelling on the site with large windows within its north-eastern elevation. As noted above, this is the elevation considered most likely to receive direct sunlight given the topography of the site. Therefore, the proposal is considered to allow opportunity for sunlight to enter habitable rooms.

6.12.6 The proposal complies with the above performance criterion.

6.13 12.4.6 Privacy P1

6.13.1 The acceptable solution A1 at clause 12.4.6 requires a deck that has a finished surface more than 1m above natural ground level to have a permanently fixed screen along the side facing a side boundary, unless it is setback at least 3m from the boundary.

6.13.2 The proposal includes a deck that would have a finished surface more than 1m above natural ground level that would not have a permanently fixed screen along the side facing a side boundary and would not be setback 3m from the boundary. The modifications proposed to the deck

on the ground floor level of the dwelling would result in a deck that would be less than 3m from the site's south-eastern side boundary. This deck is not proposed to have a screen along the side facing this boundary.

- 6.13.3 The proposal does not comply with the acceptable solution and therefore relies upon assessment against the below performance criterion.

- 6.13.4 The performance criterion P1 at clause 12.4.6 provides as follows:

A balcony, deck, roof terrace, parking space or carport (whether freestanding or part of the dwelling) that has a finished surface or floor level more than 1 m above natural ground level, must be screened, or otherwise designed, to minimise overlooking of:

- (a) a dwelling on an adjoining lot or its private open space; or*
- (b) another dwelling on the same site or its private open space; or*
- (c) an adjoining vacant residential lot.*

- 6.13.5 The modified deck proposed on the ground floor of the dwelling on the site would be adjacent to an area of private open space on the adjoining property at 592 Nelson Road. This area is close to this property's frontage with Nelson Road and is therefore some distance from the dwelling on the property, as the dwelling is well setback from this frontage. The area is also adjacent to the existing deck on the site so is already overlooked to some extent. As a result, this area is not considered to currently enjoy a high level of privacy. Therefore, the proposal is considered to minimise potential overlooking of a dwelling on an adjoining lot or its private open space by locating the proposed deck adjacent to an area on the adjoining lot that would not be significantly affected by potential overlooking.

- 6.13.6 The proposal complies with the above performance criterion.

6.14 *E6.7.5 Layout of Parking Areas*

- 6.14.1 The acceptable solution at clause E6.7.5 requires the layout of car parking spaces to comply with section 2 "Design of Parking Modules, Circulation Roadways and Ramps" of AS/NZS 2890.1:2004 *Parking Facilities Part 1: Off-street car parking*.

- 6.14.2 The proposal includes a layout of car parking spaces that would not comply with the above section of the Australian Standard.

6.14.3 The proposal does not comply with the above acceptable solution and therefore relies assessment against the below performance criterion.

6.14.4 The performance criterion at clause E6.7.5 provides as follows:

The layout of car parking spaces, access aisles, circulation roadways and ramps must be safe and must ensure ease of access, egress and manoeuvring on-site.

6.14.5 Council's Development Engineer has assessed the proposed layout of car parking spaces against the above performance criterion and provided the following comment:

"Submitted design documentation appears to satisfy the relevant criteria for a performance based solution and therefore may be accepted, primarily due to the parking area layout being virtually retained with the exception of the improvements proposed".

6.14.6 The proposal complies with the above performance criterion.

7. Discussion

7.1 Planning approval is sought for partial demolition, alterations, extension, front fencing, alterations to driveways, and works in the road reserve at 590 Nelson Road, Mount Nelson and adjacent road reserve.

7.2 The application was advertised and no representations were received.

7.3 The proposal has been assessed against the relevant provisions of the planning scheme and is considered to comply.

7.4 The proposal has been assessed by other Council officers, including the Council's Development Engineer. The officers have raised no objection to the proposal, subject to conditions.

7.5 The proposal is recommended for approval.

8. Conclusion

- 8.1 The proposed partial demolition, alterations, extension, front fencing, alterations to driveways, and works in the road reserve at 590 Nelson Road, Mount Nelson and adjacent road reserve, satisfies the relevant provisions of the *Hobart Interim Planning Scheme 2015* and is recommended for approval.

9. Recommendations

That: Pursuant to the *Hobart Interim Planning Scheme 2015*, the City Planning Committee, in accordance with the delegations contained in its terms of reference, approve the application for partial demolition, alterations, extension, front fencing, alterations to driveways, and works in the road reserve at 590 Nelson Road, Mount Nelson and adjacent road reserve, for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

GEN

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-21-598 - 590 NELSON ROAD MOUNT NELSON TAS 7007 - Final Planning Documents.

Reason for condition

To clarify the scope of the permit.

ENG sw1

Prior to first occupation or commencement of use (whichever occurs first), all stormwater from the proposed development (including but not limited to, roofed areas, ag drains, retaining wall ag drains, and impervious surfaces, such as driveways and paved areas) must be drained to the Council's stormwater infrastructure.

Any private or private shared stormwater system passing through third-party land must have sufficient receiving capacity.

Advice:

Under section 23 of the Urban Drainage Act 2013 it is an offence for a property owner to direct stormwater onto a neighbouring property.

Reason for condition

To ensure that stormwater from the site will be discharged to a suitable Council approved outlet.

ENG 2a

Prior to first occupation or commencement of use (whichever occurs first), vehicular barriers compliant with the Australian Standard AS/NZS 1170.1:2002 must be installed to prevent vehicles running off the edge of a parking area where the drop from the edge of the trafficable area to a lower level is 600mm or greater, wheel stops must be installed for drops between 150mm and 600mm, and kerbs for drops less than 150mm. Physical controls installed must;

1. not limit the parking area approved by this permit, and
2. be in accordance with the Australian Standard AS/NZS 2890.1:2004.

Reason for condition

To ensure the safety of users of the access driveway and parking module and compliance with the standard.

ENG 3a

Prior to first occupation or commencement of use (whichever occurs first), the access driveway and parking area (domestic driveway & garage) must be constructed in accordance with the plans approved by this permit.

Any departure from the approved design, and any works which are not detailed in the plans, must either be:

- (a) approved by the Director City Life, via a Condition Endorsement application, or
- (b) designed and constructed in accordance with the Australian Standard AS/NZ 2890.1:2004.

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

ENG 4

Prior to first occupation or commencement of use (whichever occurs first), the access driveway and parking area (domestic driveway & garage) approved by this permit must be constructed to a sealed standard (spray seal, asphalt, concrete, pavers, or equivalent Council approved) and surface drained to the Council's stormwater.

Reason for condition

To ensure the safety of users of the access driveway and parking module, and that it does not detract from the amenity of users, adjoining occupiers or the environment by preventing dust, mud and sediment transport.

ENG 5

The number of off-street car parking spaces approved for use on site, approved by this permit, is Two (2).

Reason for condition

To ensure the provision of parking for the use is safe and efficient.

ENG 1

Any damage to council infrastructure resulting from the implementation of this permit, must, at the discretion of the Council:

1. **Be met by the owner by way of reimbursement (cost of repair and reinstatement to be paid by the owner to the Council); or**
2. **Be repaired and reinstated by the owner to the satisfaction of the Council.**

A photographic record of the Council's infrastructure adjacent to the subject site must be provided to the Council prior to any commencement of works.

A photographic record of the Council's infrastructure (e.g. existing property service connection points, roads, buildings, stormwater, footpaths, driveway crossovers and nature strips, including if any, pre-existing damage) will be relied upon to establish the extent of damage caused to the Council's infrastructure during construction. In the event that the owner/developer fails to provide to the Council a photographic record of the Council's infrastructure, then any damage to the Council's infrastructure found on completion of works will be deemed to be the responsibility of the owner.

Reason for condition

To ensure that any of the Council's infrastructure and/or site-related service connections affected by the proposal will be altered and/or reinstated at the owner's full cost.

ENG r1

The excavation within or supporting the highway reservation must not undermine the stability and integrity of the highway reservation and its infrastructure.

Detailed design drawings and associated geotechnical assessments of the embankment excavation within the Broughton Avenue highway reservation must be submitted and approved as a Condition Endorsement, prior to the commencement of work and must:

1. Be prepared and certified by a suitable qualified person and experienced engineer;
2. Not undermine the stability of the highway reservation;
3. Take into account and reference accordingly any Geotechnical findings;
4. Detail any mitigation measures required;
5. Geotechnical report is required to demonstrate if the proposed nature batter will be sufficient to hold up the embankment, any extra works to stabilize the bank recommended in geotechnical report will need to be reflected in the Condition Endorsement drawings.

All work required by this condition must be undertaken in accordance with the approved select design drawing.

Advice:

This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.

Reason for condition

To ensure that the stability and integrity of the Council's highway reservation is not compromised by the development.

ENV 9

The Tree Management Plan 21E10-11 C01 Revision B dated 7 March 2022 must be implemented and complied with.

Reason for condition

To ensure the use/development does not result in unnecessary or unacceptable loss of priority biodiversity values

ENV 1

Sediment and erosion control measures sufficient to prevent sediment from leaving the site must be installed prior to any disturbance of the site, and maintained until all areas of disturbance have been stabilized or re-vegetated.

Advice:

For further guidance in preparing a Soil and Water Management Plan – in accordance with Fact sheet 3 Derwent Estuary Program click [here](#).

Reason for condition

To avoid the sedimentation of roads, drains, natural watercourses, Council land that could be caused by erosion and runoff from the development, and to comply with relevant State legislation.

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

CONDITION ENDORSEMENT

If any condition requires that further documents are submitted and approved, you will need to submit the relevant documentation to satisfy the condition via the Condition Endorsement Submission on Council's [online services e-planning portal](#). Detailed instructions can be found [here](#).

A fee of 2% of the value of the works for new public assets (stormwater infrastructure, roads and related assets) will apply for the condition endorsement application.

Once approved, the Council will respond to you via email that the condition has been endorsed (satisfied).

Where building approval is also required, it is recommended that documentation for condition endorsement be submitted well before submitting documentation for building

approval. Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.

BUILDING PERMIT

You may need building approval in accordance with the *Building Act 2016*. Click [here](#) for more information.

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

PLUMBING PERMIT

You may need plumbing approval in accordance with the *Building Act 2016*, *Building Regulations 2016* and the National Construction Code. Click [here](#) for more information.

OCCUPATION OF THE PUBLIC HIGHWAY

You may require a Permit to Open Up and Temporarily Occupy a Highway (for work in the road reserve). Click [here](#) for more information.

STORMWATER

Please note that in addition to a building and/or plumbing permit, development must be in accordance with the Hobart City Council's Infrastructure By law. Click [here](#) for more information.

WORK WITHIN THE HIGHWAY RESERVATION

Please note development must be in accordance with the Hobart City Council's Infrastructure by law. Click [here](#) for more information.

DRIVEWAY SURFACING OVER HIGHWAY RESERVATION

If a coloured or textured surface is used for the driveway access within the Highway Reservation, the Council or other service provider will not match this on any reinstatement of the driveway access within the Highway Reservation required in the future.

WORK PLACE HEALTH AND SAFETY

Appropriate occupational health and safety measures must be employed during the

works to minimise direct human exposure to potentially-contaminated soil, water, dust and vapours. Click [here](#) for more information.

PROTECTING THE ENVIRONMENT

In accordance with the *Environmental Management and Pollution Control Act 1994*, local government has an obligation to "use its best endeavours to prevent or control acts or omissions which cause or are capable of causing pollution." Click [here](#) for more information.

LEVEL 1 ACTIVITIES

The activity conducted at the property is an environmentally relevant activity and a Level 1 Activity as defined under s.3 of the *Environmental Management and Pollution Control Act 1994*. For further information on what your responsibilities are, click [here](#).

NOISE REGULATIONS

Click [here](#) for information with respect to noise nuisances in residential areas.

WASTE DISPOSAL

It is recommended that the developer liaise with the Council's Cleansing and Solid Waste Unit regarding reducing, reusing and recycling materials associated with demolition on the site to minimise solid waste being directed to landfill.

Further information regarding waste disposal can also be found on the Council's [website](#).

FEES AND CHARGES

Click [here](#) for information on the Council's fees and charges.

DIAL BEFORE YOU DIG

Click [here](#) for dial before you dig information.



(Adam Smee)

Development Appraisal Planner

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.



(Ben Ikin)

Senior Statutory Planner

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

Date of Report: 16 May 2022

Attachment(s):

Attachment B - CPC Agenda Documents

 PLN-21-598 - 590 NELSON ROAD  PLN-21-598 - ADJACENT ROAD RESERVE

Application Information

▼ Application Details PLN-21-598 Partial Demolition, Alterations, Extension, Front Fencing, Alterations to Driveways and Works in Road Reserve 
 Submitted on: 03/09/2021
 Accepted as Valid on: 06/09/2021
 Target Time Frame: 42 Days.
 Elapsed Time: 232 Days (*Stopped: 206 Days*) = 26 Days Expiry date: 12/05/2022
 Officer: Adam Smee

Have you obtained pre application advice?

☒ No

If YES please provide the pre application advice number eg PAE-17-xx

Are you applying for permitted visitor accommodation as defined by the State Government Visitor Accommodation information button for definition. If you are not the owner of the property you MUST include signed confirmation f aware of this application. *

☒ No

Is the application for SIGNAGE ONLY? If yes, please enter \$0 in the cost of development, and you must enter the Other Details below. *

☒ No

If this application is related to an enforcement action please enter Enforcement Number

Details

What is the current approved use of the land / building(s)? *

Domestic Dwelling - Class 1A

Please provide a full description of the proposed use or development (i.e. demolition and new dwelling, swimming and garage) *

Renovation and Extensions, Fencing, Occupation License.

Estimated cost of development *

600000.00

Existing floor area (m2)

209.86

Proposed floor area (m2)

393.17

Site area (m2)

861

Carparking on Site

Total parking spaces	Existing parking spaces	N/A
<input type="text" value="6"/>	<input type="text" value="3"/>	<input checked="" type="checkbox"/> Other (no selection chosen)

Other Details

Does the application include signage? * ☒ No

How many signs, please enter 0 if there are none involved in this application? *

Tasmania Heritage Register

Is this property on the Tasmanian Heritage Register? ☒ No



26 August 2021

Planning Department
Hobart City Council
16 Elizabeth Street
HOBART TAS 7000

Dear Officers,

Development Application - 590 Nelson Road, Mount Nelson

Please find following Documentation, Titles and Application for proposed Extensions at 590 Nelson Road, Mount Nelson.

Within the documentation, you will note a reference on the Site Plan to the proposed Occupation Licence of the nature strip bordering the property. As per the following correspondence from Council, the request for the occupation license was approved "in-principle" subject to Planning Approval for a fence. Our clients would now like to pursue this as part of the application which now includes a design for a proposed fence.

Of course, please do not hesitate to contact me with any questions or concerns relating to the proposal in general, or the detail of the occupation license.

Yours Faithfully,
David Wakefield & Associates Pty Ltd

Per: 

Xavier Carthew-Wakefield.

EOA

62 348 777
122 Murray Street Hobart 7000
PO Box 4564 Bathurst Street
Hobart 7000
info@dwadesign.com.au

David Wakefield and Associates
Pty Ltd
ACN 108 015 612
ABN 86 108 015 612

CTS-F-0801/7
1/1/2010

Enquiries to: Jason McLeod
☎: 6238 2985
✉: mcleodj@hobartcity.com.au
Our Ref: 5626002; P/590/707
AW:MF (5017)
(c:\infrastructure services\letters\licences\590 nelson rd_occ lic_coyne hobson.doc)
Your Ref:

13 August 2010

Mr Lee Coyne & Ms Clare Hobson
590 Nelson Road
MT NELSON TAS 7007

Dear Mr Coyne & Ms Hobson

OCCUPATION LICENCE - 590 NELSON ROAD, MT NELSON

Council received a letter from you dated 14 April 2010 applying for an occupation licence on Council's road reservation at 590 Nelson Road. Your proposal is for a fence and leaving space for pedestrians to walk along the nature strip.

A site inspection shows that the fence will not impede sight vision for vehicles exiting Broughton Avenue or impact pedestrians walking along the nature strip. Some of the vegetation on the nature strip will need to be cut back when the fence is built.

The request for the occupation licence has "in-principle" approval subject to planning approval of the fence.

Attached is an Application and Indemnity form. Once you have planning approval please fill these forms in and return to Council.

Your faithfully

(Owen Gervasoni)
MANAGER TRAFFIC ENGINEERING

Attachments: Occupation Licence Application, Indemnity Form

14 April, 2010

5626002
P/590/707
590 Nelson Road
MT NELSON 7007

The Manager Road Engineering
Hobart City Council
GPO Box 503
HOBART 7001



Dear Sir

OCCUPATION LICENCE – 590 NELSON ROAD

We wish to apply for an occupation licence at our property at 590 Nelson Road, Mt Nelson. We have attached a plan and photos showing the proposed occupation.

We intend to fence this area and would maintain the occupied land. The proposal includes leaving space for pedestrians to walk on the nature strip of Broughton Avenue.

I appreciate we need to submit a planning application for a fence. I also appreciate that the fence could be removed if Council requires this area for roadworks in the future.

I am aware that occupation licences have been granted in the past for similar purposes. I would appreciate your advice if an occupation licence can be approved at this location.

Yours Faithfully

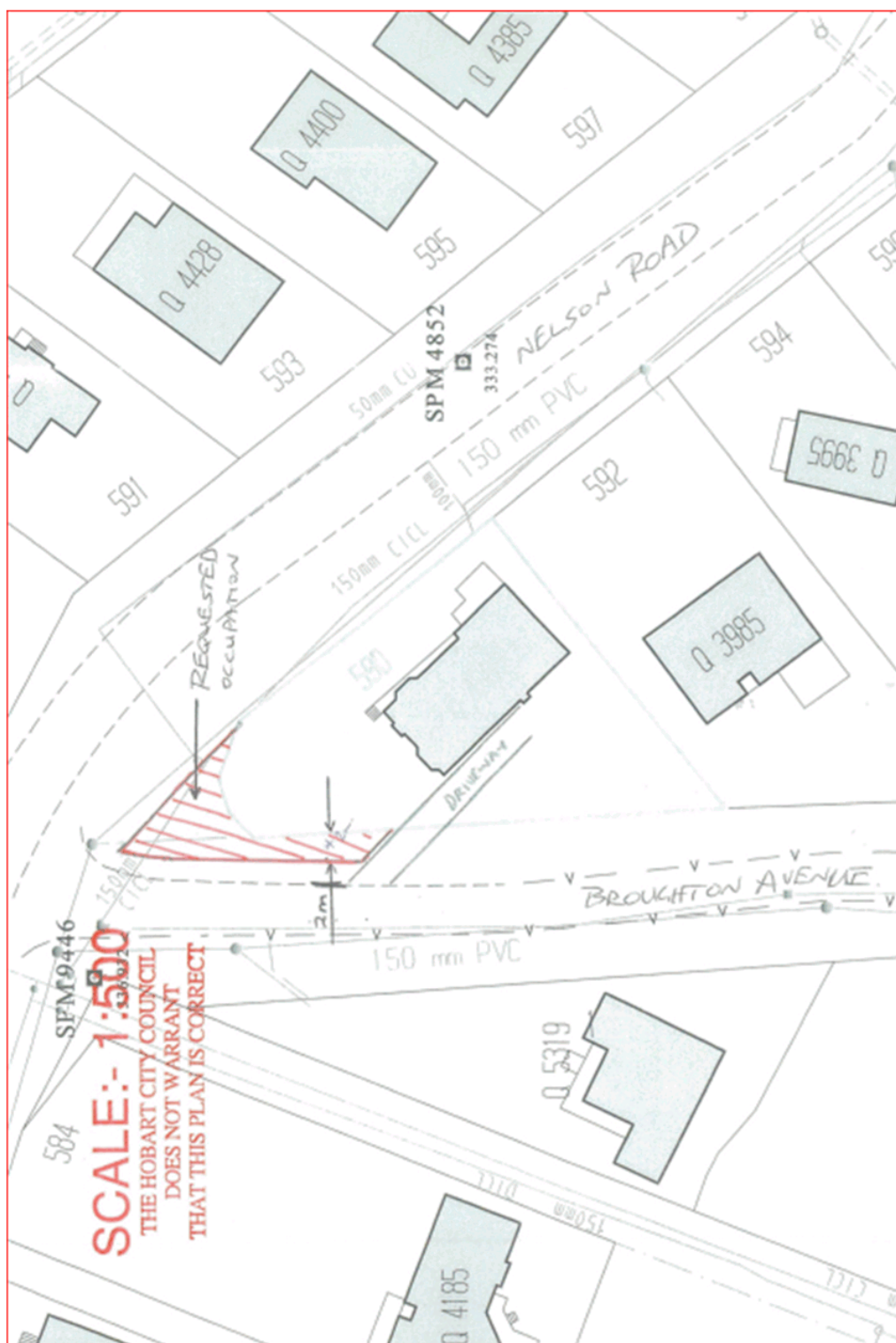
A handwritten signature in black ink, appearing to read "Lee Coyne".

(Lee Coyne)

A handwritten signature in black ink, appearing to read "Clare Hobson".

(Clare Hobson)

0428 991 900





**RESULT OF SEARCH**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

SEARCH OF TORRENS TITLE

VOLUME 59989	FOLIO 1
EDITION 8	DATE OF ISSUE 22-Dec-2011

SEARCH DATE : 29-Mar-2021

SEARCH TIME : 09.56 AM

DESCRIPTION OF LAND

City of HOBART

Lot 1 on Diagram 59989 (formerly being 198-26D)

Derivation : Part of 507 Acres. Gtd. to R.L. Murray.

Prior CT 3075/86

SCHEDULE 1C275563 TRANSFER to LEE RAYMOND COYNE and CLARE MARGARET
COYNE Registered 30-Jan-2001 at 12.01 PMSCHEDULE 2

Reservations and conditions in the Crown Grant if any

C958369 MORTGAGE to Australia and New Zealand Banking Group
Limited Registered 11-Mar-2010 at noonUNREGISTERED DEALINGS AND NOTATIONS

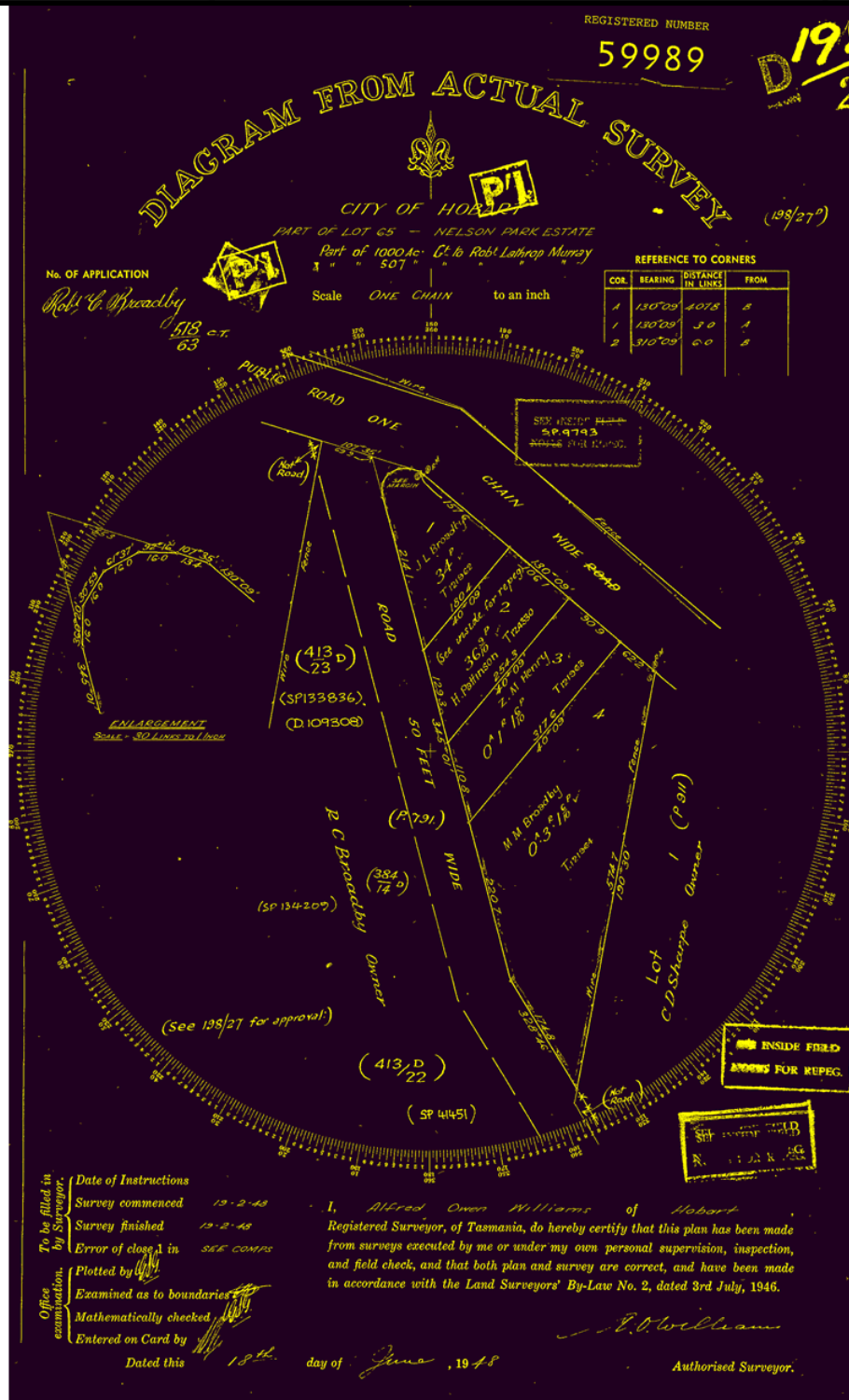
No unregistered dealings or other notations



FOLIO PLAN

RECORDED OF TITLES

Issued Pursuant to the Land Titles Act 1980





Ben Ikin
Senior Statutory Planner | City Planning
City of Hobart
coh@hobartcity.com.au

15 February 2022
Your reference: PLN21598
JSA reference: 21L10-11-1

Dear Ben,

**RE: 590 NELSON ROAD, MOUNT NELSON & ADJACENT ROAD RESERVE PARTIAL DEMOLITION,
ALTERATIONS, EXTENSION, FRONT FENCING AND ALTERATIONS TO DRIVEWAYS
APPLICATION NO. PLN21598**

JSA Consulting Engineers have prepared a response to the request for additional information from Council dated 16 September 2021 regarding the proposed partial demolition, alterations, extension, front fencing, and alterations to driveways at 590 Nelson Road & adjacent road reserve, Mt Nelson.

The following points have been addressed, all other points to be addressed by others:

BC1. *An assessment from a suitably qualified person in accordance with Australian Standard AS 4970-2009: Protection of trees on development sites of:*

- *the likely impact of the proposed fencing on native trees within the Biodiversity Protection Area where the proposed fencing does not follow the lot boundaries;*
- *the impact of the proposed garage (including associated earthworks) on native trees; and*
- *the impact of proposed driveway modifications (including associated earthworks) on native trees within the Biodiversity Protection Area.*

The assessment must indicate the size (DBH) and species of any trees where works will encroach into the tree protection zones by more than 10%. If the report includes recommendations to minimise impacts to trees, a statement indicating whether the implementation of those recommendations is proposed must also be submitted.

Response:

Refer to the following drawings by JSA Engineers.

- Tree Management Notes on sheet N01 (Revision A)
- Tree Management Plan on sheet C01 (Revision A)
- Site Photographs on sheet C02 (Revision A)

There is no impact on native trees within the Biodiversity protection area where the proposed fencing does not follow the lot boundaries.

IncurSION in to all tree protection zones of native trees within the biodiversity protection zone resulting from driveway modifications, the proposed garage extension and all associated earthworks is less than 10%. Works are therefore considered minor in accordance with AS4970-2009 section 3.3.2.

It is recommended that light weight exclusion fences are installed to protect all trees during construction and that no major excavation or compaction is carried out within tree protection zones.

Please contact Ben Aaltonen on 6240 9927 or ben@jsa.com.au if you require any further information.

Yours sincerely,



Ben Aaltonen

Graduate Civil / Structural Engineer

Structural | Civil | Mechanical | Research | Energy | Environmental

Directors: Dr Jane Sargison BE DPhil CPEng FIEAust NER CC6193N

Mr Matthew Horsham BE CPEng MIEAust NER RPEQ CC5865I

121 Sandy Bay Road, Sandy Bay 7005 Phone (03) 6240 9911 Email mail@jsa.com.au

JSA Consulting Engineers Pty Ltd | ABN 45 165 277 681



17 February 2022

Ben Ikin
Senior Statutory Planner
Hobart City Council
16 Elizabeth Street
HOBART TAS 7000

Dear Ben,

Re: 590 Nelson Road, Mount Nelson - Application No. PLN-21-598

Thank you for your requests for further information on September the 8th and 16th, relating to this project. As General Manager Consent was not granted to construct a fence within the road reserve, we no longer wish to pursue occupying extended areas of the nature strip for this purpose.

Accordingly, please find attached modified documentation which includes our responses to both RFI's.

Please do not hesitate to contact us with anything further.

Yours Faithfully,
David Wakefield & Associates Pty Ltd

Per: 

Xavier Carthew-Wakefield.

EOA

62 348 777
Level 1, 119 Sandy Bay Road
Sandy Bay 7005
PO Box 4564 Bathurst Street
Hobart 7000
info@dwadesign.com.au

David Wakefield and Associates
Pty Ltd
ACN 108 015 612
ABN 86 108 015 612



Enquiries to: City Life
Phone: (03) 6238 2711
Email: coh@hobartcity.com.au

29 March 2022

XAVIER CARTHEW-WAKEFIELD
PO BOX 4564
HOBART 7000

mailto: xavier@dwadesign.com.au

Dear Sir/Madam

**590 NELSON ROAD, MOUNT NELSON - FENCING AND ALTERATIONS TO DRIVEWAY
IN ROAD RESERVE NOTICE OF LAND OWNER CONSENT TO LODGE A PLANNING
APPLICATION - GMC-22-22**

Site Address:

590 Nelson Road, Mount Nelson

Description of Proposal:

Fencing and alterations to driveway in road reserve

Applicant Name:

Xavier Carthew-Wakefield

PLN (if applicable):

PLN-21-598

I write to advise that pursuant to Section 52 of the *Land Use Planning and Approvals Act 1993*, I grant my consent on behalf of the Hobart City Council as the owner/administrator of the above land for you to make application to the City for a planning permit for the development described above and as per the attached documents. I granted consent pursuant to delegation, a copy of which is enclosed.

Please note that the granting of the consent is only for the making of the application and in no way should such consent be seen as prejudicing any decision the Council is required to make as the statutory planning authority.

Hobart Town Hall
50 Macquarie Street
Hobart TAS 7000

Hobart Council Centre
16 Elizabeth Street
Hobart TAS 7000

City of Hobart
GPO Box 503
Hobart TAS 7001

T 03 6238 2711
F 03 6234 7109
E coh@hobartcity.com.au
W hobartcity.com.au

CityofHobartOfficial
ABN 39 055 343 428
Hobart City Council

This consent does not constitute an approval to undertake any works and does not authorise the owner, developer or their agents any right to enter or conduct works on any Council managed land whether subject to this consent or not.

If planning approval is granted by the planning authority, you will be required to seek approvals and permits from the City as both landlord, land manager, or under other statutory powers (such as other legislation or City By-Laws) that are not granted with the issue of a planning permit under a planning scheme. This includes the requirement for you to reapply for a permit to occupy a public space under the City's Public Spaces By-law if the proposal relates to such an area.

Accordingly, I encourage you to continue to engage with the City about these potential requirements.

Yours faithfully



(Glenn Doyle)

HEAD OF CITY PROJECTS

Relevant documents/plans:

DA-22-11043 - Drawing sheets 01 to 08 from DW+A

DA-22-11045 - Drawings C00, N01, C01 & C02 dated 7 March 2022 from JSA Consulting Engineers

DA-22-12317 - Drawings 1 to 3 dated 16 March 2022 from DW+A



City of Hobart

INSTRUMENT OF DELEGATION

General Delegation

Head of Intergovernmental Relations and Partnerships

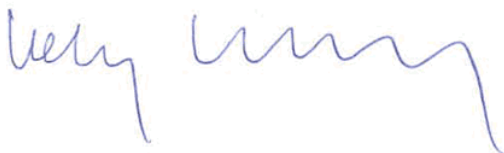
Section 64 of the Local Government Act 1993

I, Kelly Grigsby, Chief Executive Officer, being the General Manager as appointed by Council pursuant to Section 61 of the *Local Government Act 1993 (Tas)* ("the Act") hereby delegate pursuant to Section 64 of the Act, the following powers and functions to the Head of City Projects:

1. to sign an application; and
2. to provide written permission to make an application;

pursuant to section 52(1B) of the *Land Use Planning and Approvals Act 1993*, except where an application pursuant to that section is recommended for refusal by Council officers.

Dated this 24th day of February 2022

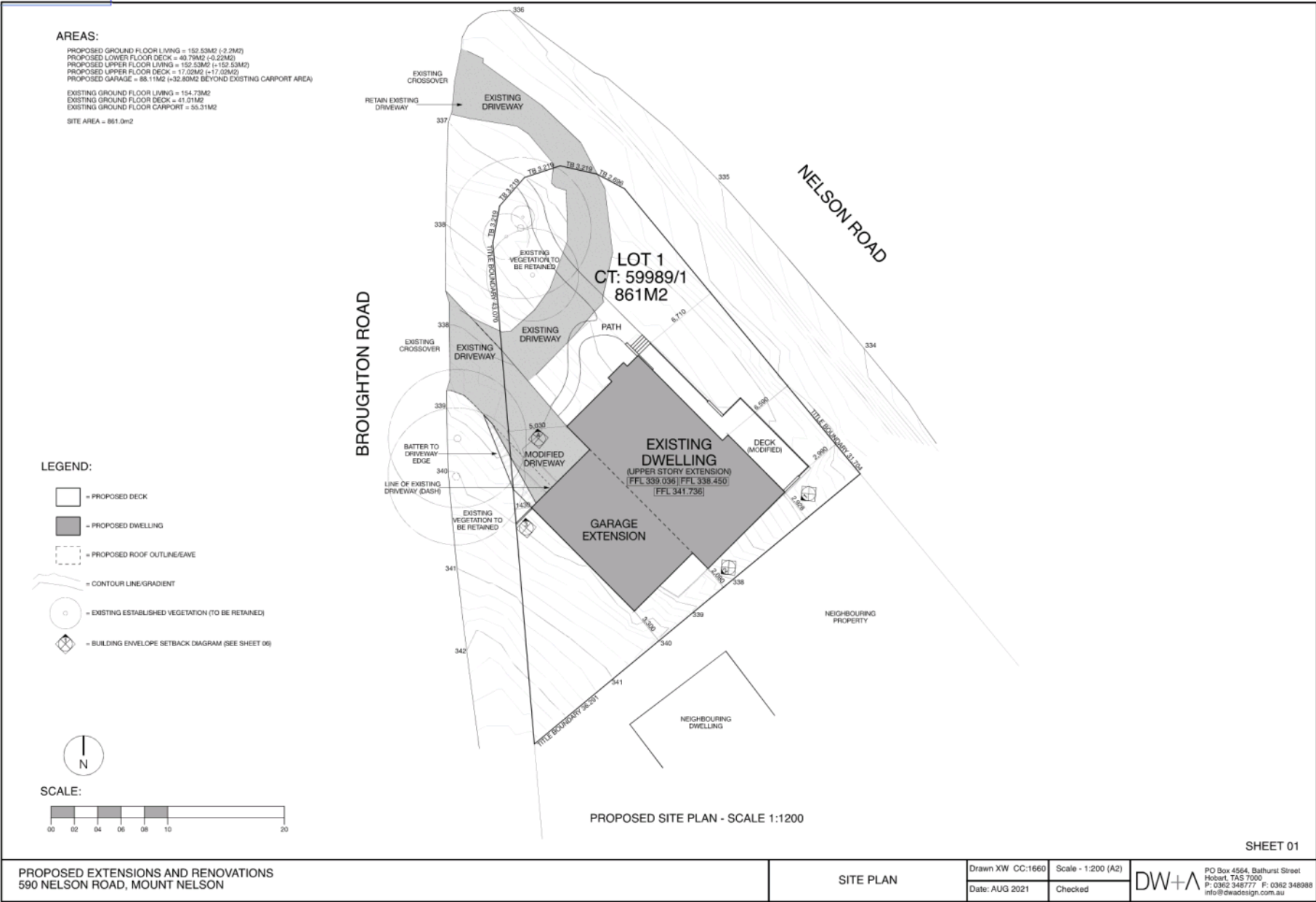


SIGNED

Kelly Grigsby
(Chief Executive Officer)

Being the General Manager as appointed by Council pursuant to section 61 of the *Local Government Act 1993 (Tas)*

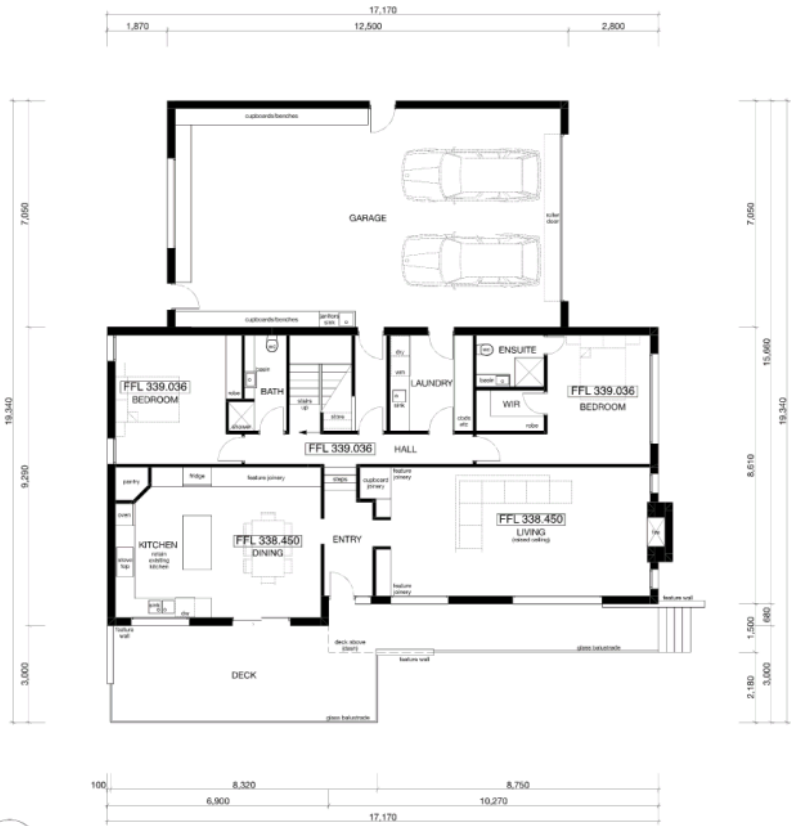
Approved - General
Manager Consent Only
GMC-22-22 29/03/2022





AREAS:

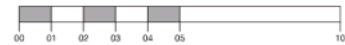
PROPOSED GROUND FLOOR LIVING = 152.53M² (+2.2M²)
PROPOSED LOWER FLOOR DECK = 40.79M² (+0.22M²)
PROPOSED UPPER FLOOR LIVING = 152.53M² (+152.53M²)
PROPOSED UPPER FLOOR DECK = 17.03M² (+17.03M²)
PROPOSED GARAGE = 88.11M² (+32.80M² BEYOND EXISTING CARPORT AREA)
EXISTING GROUND FLOOR LIVING = 154.73M²
EXISTING GROUND FLOOR DECK = 41.01M²
EXISTING GROUND FLOOR CARPORT = 55.31M²
SITE AREA = 861.0m²



GROUND FLOOR PLAN - SCALE 1:100



SCALE:



FIRST FLOOR PLAN - SCALE 1:100

SHEET 02

PROPOSED EXTENSIONS AND RENOVATIONS
590 NELSON ROAD, MOUNT NELSON

PROPOSED FLOOR PLANS

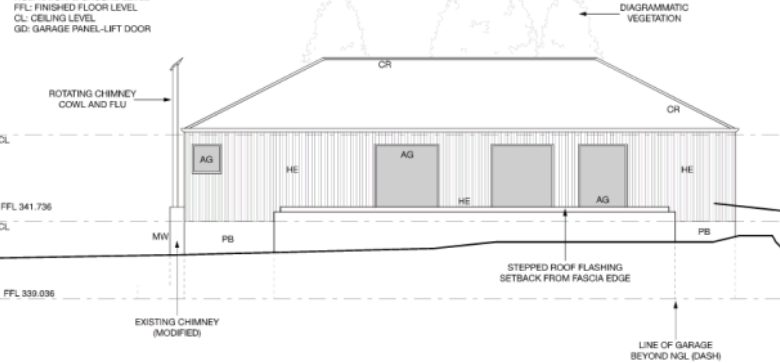
Drawn XW CC:1660 Scale - 1:100 (A2)
Date: AUG 2021 Checked

DW+A PO Box 4564, Bathurst Street
Hobart, TAS 7000
P: 0362 348777 F: 0362 348988
info@dwadesign.com.au

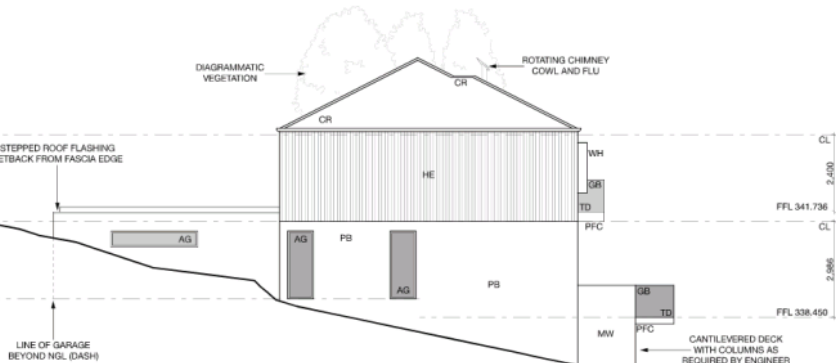


LEGEND:

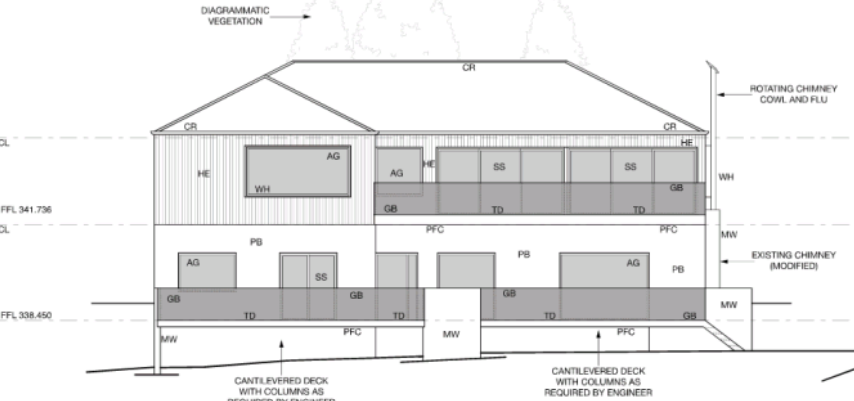
- HE: HARDWOOD TIMBER CLADDING/SCREEN
- AG: ALUMINUM FRAMED DOUBLE GLAZING
- SS: STACK-SLIDING GLAZED ALUMINUM DOORS
- CR: COLORBOND ROOF SHEETING
- GB: SEMI-FRAMELESS GLASS BALUSTRADE
- MW: SELECTED MASONRY OR CONCRETE FEATURE WALL
- TD: DECK/PATIO WITH HARDWOOD TIMBER DECKING
- PFC: STEEL PFC DECK EDGE WITH PAINTED FINISH
- PB: EXISTING BRICK WITH PAINT FINISH
- WH: FEATURE WINDOW HOOD WITH STEEL/COLORBOND FINISH
- NGL: NATURAL GROUND LEVEL
- FFL: FINISHED FLOOR LEVEL
- CL: CEILING LEVEL
- GD: GARAGE PANEL-LIFT DOOR



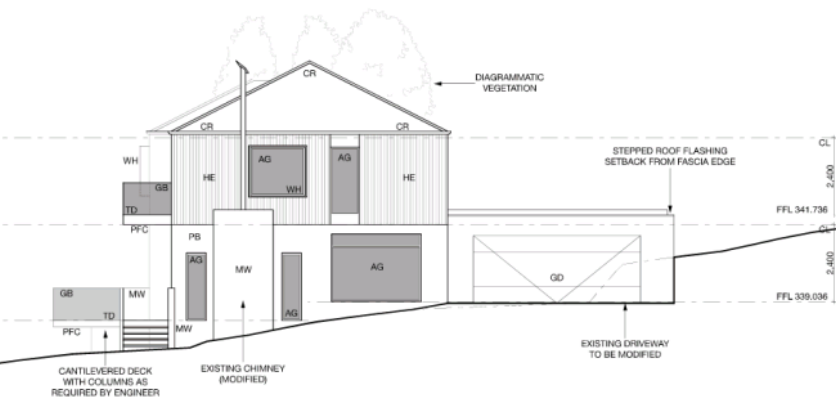
SOUTH WEST ELEVATION - SCALE 1:100



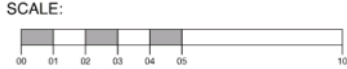
SOUTH EAST ELEVATION - SCALE 1:100



NORTH EAST ELEVATION - SCALE 1:100



NORTH WEST ELEVATION - SCALE 1:100



SHEET 03

PROPOSED EXTENSIONS AND RENOVATIONS
590 NELSON ROAD, MOUNT NELSON

PROPOSED ELEVATIONS

Drawn XW CC:1660 Scale - 1:100 (A2)
Date: AUG 2021 Checked

DW+A PO Box 4564, Bathurst Street
Hobart, TAS 7000
P: 0362 348777 F: 0362 348988
info@dwadesign.com.au

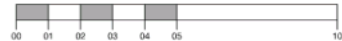
Approved - General
Manager Consent Only
GMC-22-22 29/03/2022

AREAS:

PROPOSED GROUND FLOOR LIVING = 152.53M2 (+2.2M2)
PROPOSED LOWER FLOOR DECK = 40.79M2 (+0.22M2)
PROPOSED UPPER FLOOR LIVING = 152.53M2 (+152.53M2)
PROPOSED UPPER FLOOR DECK = 17.02M2 (+17.02M2)
PROPOSED GARAGE = 88.11M2 (+32.80M2 BEYOND EXISTING CARPORT AREA)
EXISTING GROUND FLOOR LIVING = 154.73M2
EXISTING GROUND FLOOR DECK = 41.01M2
EXISTING GROUND FLOOR CARPORT = 55.31M2
SITE AREA = 861.0m2



SCALE:



SHEET 04

PROPOSED EXTENSIONS AND RENOVATIONS
590 NELSON ROAD, MOUNT NELSON

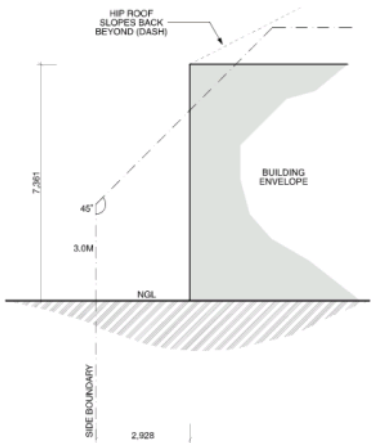
EXISTING PLANS

Drawn XW CC:1660 Scale - 1:100 (A2)
Date: AUG 2021 Checked

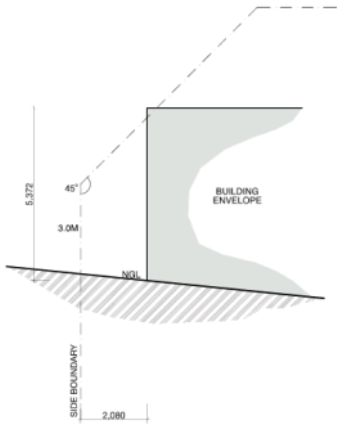


PO Box 4564, Bathurst Street
Hobart, TAS 7000
P: 0362 348777 F: 0362 348988
info@dwadesign.com.au

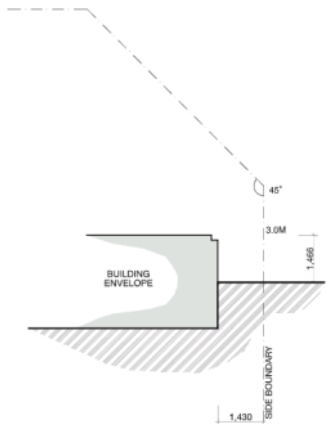
Approved - General
Manager Consent Only
GMC-22-22 28/03/2022



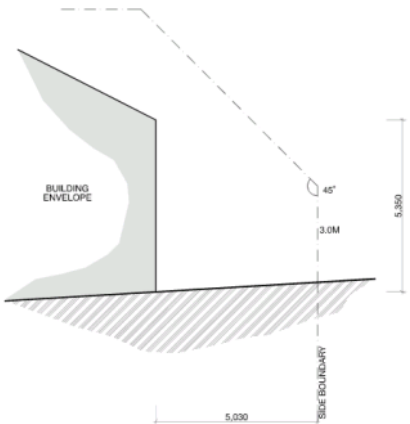
SETBACK DIAGRAM 1 - 2,928MM



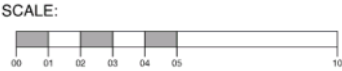
SETBACK DIAGRAM 2 - 2,080MM



SETBACK DIAGRAM 3 - 1,430MM



SETBACK DIAGRAM 4 - 5,030MM



SHEET 05

PROPOSED EXTENSIONS AND RENOVATIONS
590 NELSON ROAD, MOUNT NELSON

BUILDING ENVELOPE
SETBACK DIAGRAMS

Drawn XW CC:1660
Date: AUG 2021

Scale - 1:100 (A2)
Checked

DW+A

PO Box 4564, Bathurst Street
Hobart, TAS 7000
P: 0362 348777 F: 0362 348988
info@dwadesign.com.au

Approved - General
Manager Consent Only
GMC-22-22 29/03/2022



EXTERNAL PERSPECTIVE #1
VIEW FROM NORTH TO EXTENDED DWELLING



EXTERNAL PERSPECTIVE #2
VIEW FROM NORTH-WEST TO SIDE ELEVATION



EXTERNAL PERSPECTIVE #3
VIEW FROM NELSON ROAD TOWARDS TWO-STORY NORTH-EAST FACING FACADE



EXTERNAL PERSPECTIVE #4
MATERIAL STUDY ILLUSTRATING VERTICAL HARDWOOD CLADDING, NATURAL CONCRETE, PAINTED EXISTING MASONRY, DARK GREY COLORBOND AND STEEL

NOTE:
EXTERNAL PERSPECTIVES ARE DIAGRAMMATIC, FOR ILLUSTRATION PURPOSES ONLY AND INDICATIVE OF EVENTUAL PROJECT OUTCOME - REFER TO FUTURE STRUCTURAL DOCUMENTATION FOR SPECIFIC MEASUREMENTS, MATERIALS, FORMS AND DETAILS

SHEET 06

PROPOSED EXTENSIONS AND RENOVATIONS
590 NELSON ROAD, MOUNT NELSON

PROPOSED PERSPECTIVE
IMAGES

Drawn XW CC:1660 Scale - 1:100 (A2)
Date: AUG 2021 Checked

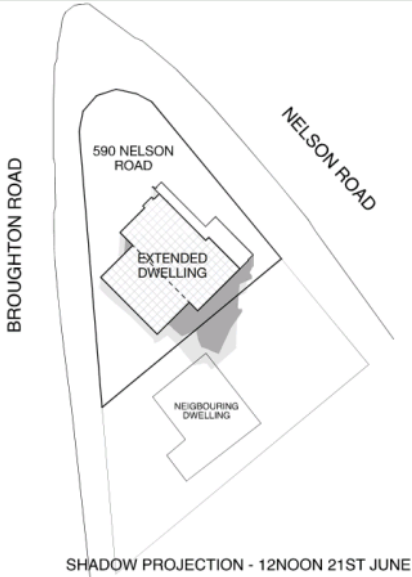
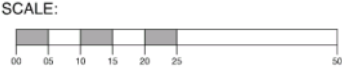
DW+A
PO Box 4564, Bathurst Street
Hobart, TAS 7000
P: 0362 348777 F: 0362 348988
info@dwadesign.com.au

Approved - General
Manager Consent Only
GMC-22-22 28/03/2022



LEGEND:

- = EXISTING DWELLING AND EXTENSIONS
- = SHADOW PROJECTION FROM PROPOSED DEVELOPMENT
- = SHADOW PROJECTION OUTLINE FROM EXISTING DWELLING



SHEET 07

PROPOSED EXTENSIONS AND RENOVATIONS
590 NELSON ROAD, MOUNT NELSON

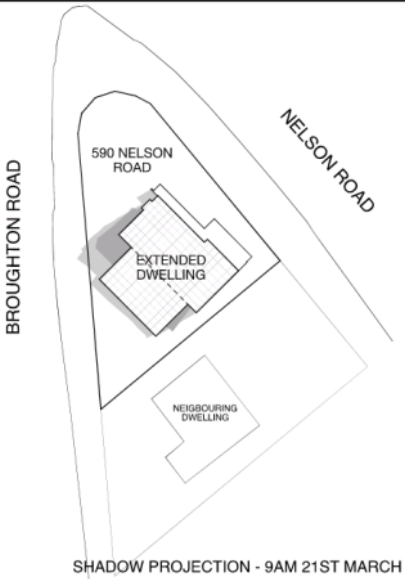
PROPOSED SHADOW
PROJECTIONS

Drawn XW CC:1660 Scale - 1:500 (A2)
Date: DEC 2021 Checked

DW+A

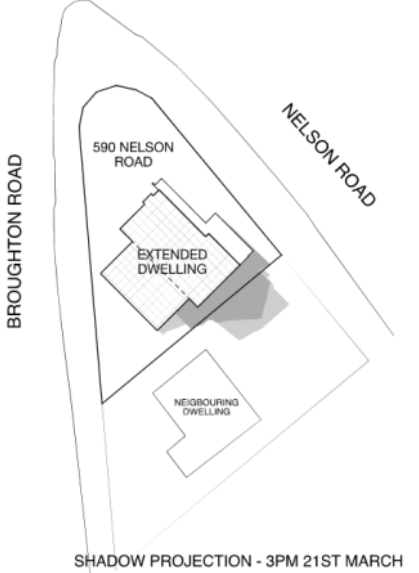
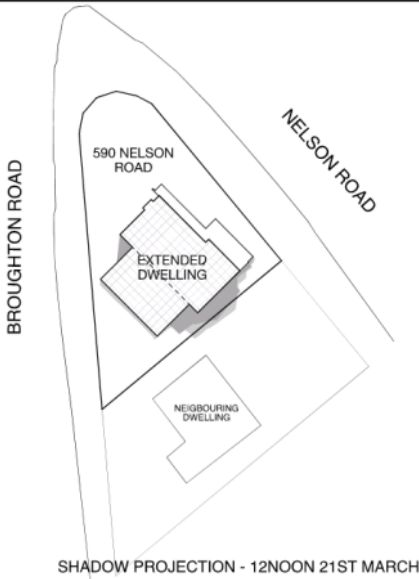
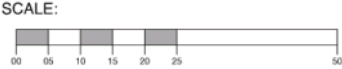
PO Box 4564, Bathurst Street
Hobart, TAS 7000
P: 0362 348777 F: 0362 348988
info@dwadesign.com.au

Approved - General
Manager Consent Only
GMC-22-22 29/03/2022



LEGEND:

- = EXISTING DWELLING AND EXTENSIONS
- = SHADOW PROJECTION FROM PROPOSED DEVELOPMENT
- = SHADOW PROJECTION OUTLINE FROM EXISTING DWELLING



SHEET 08

PROPOSED EXTENSIONS AND RENOVATIONS
590 NELSON ROAD, MOUNT NELSON

PROPOSED SHADOW
PROJECTIONS

Drawn XW CC:1660 Scale - 1:500 (A2)
Date: DEC 2021 Checked

DW+A PO Box 4564, Bathurst Street
Hobart, TAS 7000
P: 0362 348777 F: 0362 348988
info@dwadesign.com.au



Approved - General
Manager Consent Only
CITY OF HOBART Planning Services 001 222 0000

PROPOSED EXTENSIONS AND RENOVATIONS

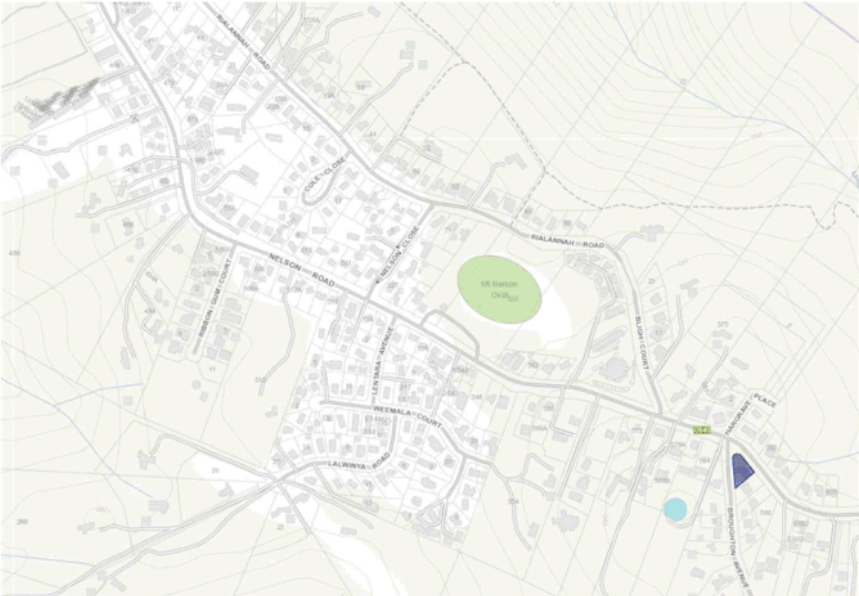
590 NELSON ROAD,
MOUNT NELSON, 7007
TASMANIA

INDEX

C00	INDEX & COVER SHEET
N01	TREE MANAGEMENT NOTES
C01	TREE MANAGEMENT PLAN
C02	SITE PHOTOGRAPHS

IMPORTANT
DRAWING MUST BE
PRINTED & READ IN COLOUR

NOT FOR
CONSTRUCTION



LOCALITY PLAN
SCALE: NTS



B	FOR PLANNING APPROVAL - REMOVAL OF FENCE & NATURE STRIP PARKING	BA	MM	7/5/22	
A	FOR PLANNING APPROVAL	BA	MM	15/3/23	
REV	DESCRIPTION	BY	CHK	DATE	



JSA CONSULTING
ENGINEERS

121 Sandy Bay Road, Sandy Bay TAS 7005
Phone (03) 6240 9911 www.jsaengineers.com.au

CHECKED M. HORSHAM CC5865 I	SCALE AS SHOWN	SIZE A3	PROJECT PROPOSED EXTENSIONS AND RENOVATIONS
CIVIL ENGINEER B. AALTONEN	HYDRAULIC ENGINEER -		
STATUS FOR PLANNING APPROVAL			

590 NELSON ROAD, MOUNT NELSON, 7007		
--	--	--

DRAWING TITLE INDEX & COVER SHEET		
PROJECT NO 21E10-11	DWG NO C00	REV B

17/07/2018 2:16:33 PM

DEFINITIONS AS PER AS4970

1. TRUNK DIAMETER AT CHEST HEIGHT (DBH) AT 1.4m ABOVE GROUND LEVEL.
2. TREE PROTECTION ZONE (TPZ) RADIUS = 12 x DBH. RADIUS IS MEASURED FROM CENTRE OF STEM AT GROUND LEVEL. TPZ RADIUS SHOULD BE NO LESS THAN 2m OR GREATER THAN 15m (EXCEPT WHERE CROWN PROTECTION IS REQUIRED).
3. MINOR ENCROACHMENT OUTLINED AS LESS THAN 10% OF TPZ.
4. MAJOR ENCROACHMENT IS GREATER THAN 10% WOULD REQUIRE ARBORIST ASSESSMENT TO DETERMINE VIABILITY OF TREE.
5. STRUCTURAL ROOT ZONE (SRZ) TO BE DETERMINED BY ARBORIST.

BUILDING DESIGN

6. SENSITIVE CONSTRUCTION MEASURES INCLUDE PIER AND BEAM, CANTILEVERED BUILDING SECTIONS, SCREW PILES OR CONTIGUOUS PILING

PRE-CONSTRUCTION

7. PROTECT BRANCHES FROM DAMAGE BY BUILDING WORKS. ENGAGE A QUALIFIED ARBORIST IF REMOVAL OF BRANCHES IS REQUIRED, BUT ONLY REMOVE BRANCHES WHERE ABSOLUTELY NECESSARY.
8. ESTABLISH PROTECTIVE FENCING AROUND THE TREE PROTECTION ZONE TO AVOID COMPACTION OF SOILS. FENCING TO BE LIGHT WEIGHT EXCLUSION FENCE IN ACCORDANCE WITH AS4687 OR HOARDING.
9. NO STORAGE OF MATERIALS OR DISPOSAL OF WASTE WITHIN THE FENCED ARFA.

SERVICES (TO AVOID EXCAVATION)

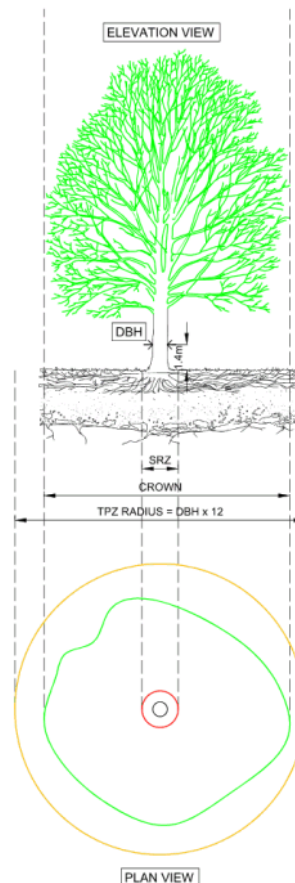
10. SERVICES WITHIN THE TPZ SHOULD BE DIRECTIONALLY DRILLED AT A DEPTH OF GREATER THAN 600mm.

SERVICES (IF EXCAVATION IS ABSOLUTELY NECESSARY)

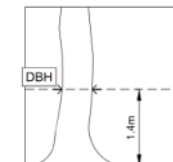
11. REMOVE SAND AND SOIL FROM THE ROOT ZONE TO BE AFFECTED WITH A 'SUCKER TRUCK' OR CAREFUL HAND EXCAVATION.
12. CUT ONLY THOSE ROOTS THAT ARE ABSOLUTELY NECESSARY FOR THE WORKS, AVOIDING MAJOR ROOTS OVER 20mm DIAMETER AS FAR AS POSSIBLE.
13. MAKE SHARP CUTS WITH MINIMUM SURFACE AREA WITH A CLEAN TOOL (WIPE DOWN WITH METHYLATED SPIRITS).
14. IF ROOTS ARE TO BE EXPOSED FOR LONGER THAN 24 HOURS, DRAPE WITH A WET FABRIC (JUTE MESH, HESSIAN OR THE LIKE) AND MAINTAIN IN A MOIST CONDITION. AFTER 48 HOURS, BACK FILL EXPOSED ROOTS WITH SOIL OR PEAT AND MAINTAIN WET UNTIL THE WORKS ARE COMPLETE. (PREFERABLY, EXPOSE THE ROOTS AND BACKFILL ON THE SAME DAY)
15. PRIOR TO BACKFILLING, TREAT ROOTS WITH 'SEASOL' (A ROOT STIMULANT)
16. BACK FILL ON COMPLETION USING A SANDY LOAM/PEAT MIXTURE (70:30 RATIO) TO ACCOMMODATE NEW ROOT GROWTH.
17. AFFECTED AREA TO BE MULCHED AND WATER REGULARLY. 'SEASOL' TO BE APPLIED ANNUALLY FOR 3 YEARS.

FILL

18. IF FILLING IS REQUIRED OVER THE TPZ, MATERIAL USED SHOULD BE POROUS. AMOUNT OF DEPTH AND COMPACTION TO BE MINIMISED, WHERE POSSIBLE.



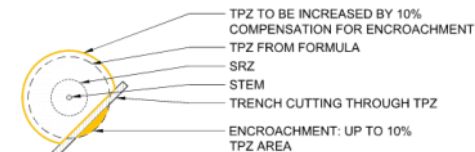
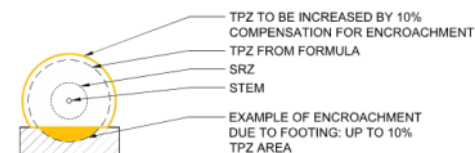
INDICATIVE TREE PROTECTION ZONE
SCALE: N.T.S.



TREE ON LEVEL GROUND



MEASUREMENT OF DBH OF A TREE

SCALE: N.T.S.



ALLOWABLE MINOR ENCROACHMENT INTO TPZ

SCALE: N.T.S.

LINE LEGEND	
MARK	DESCRIPTION
	SRZ
	CROWN
	TPZ

[illegible]

**JSA CONSULTING
ENGINEERS**

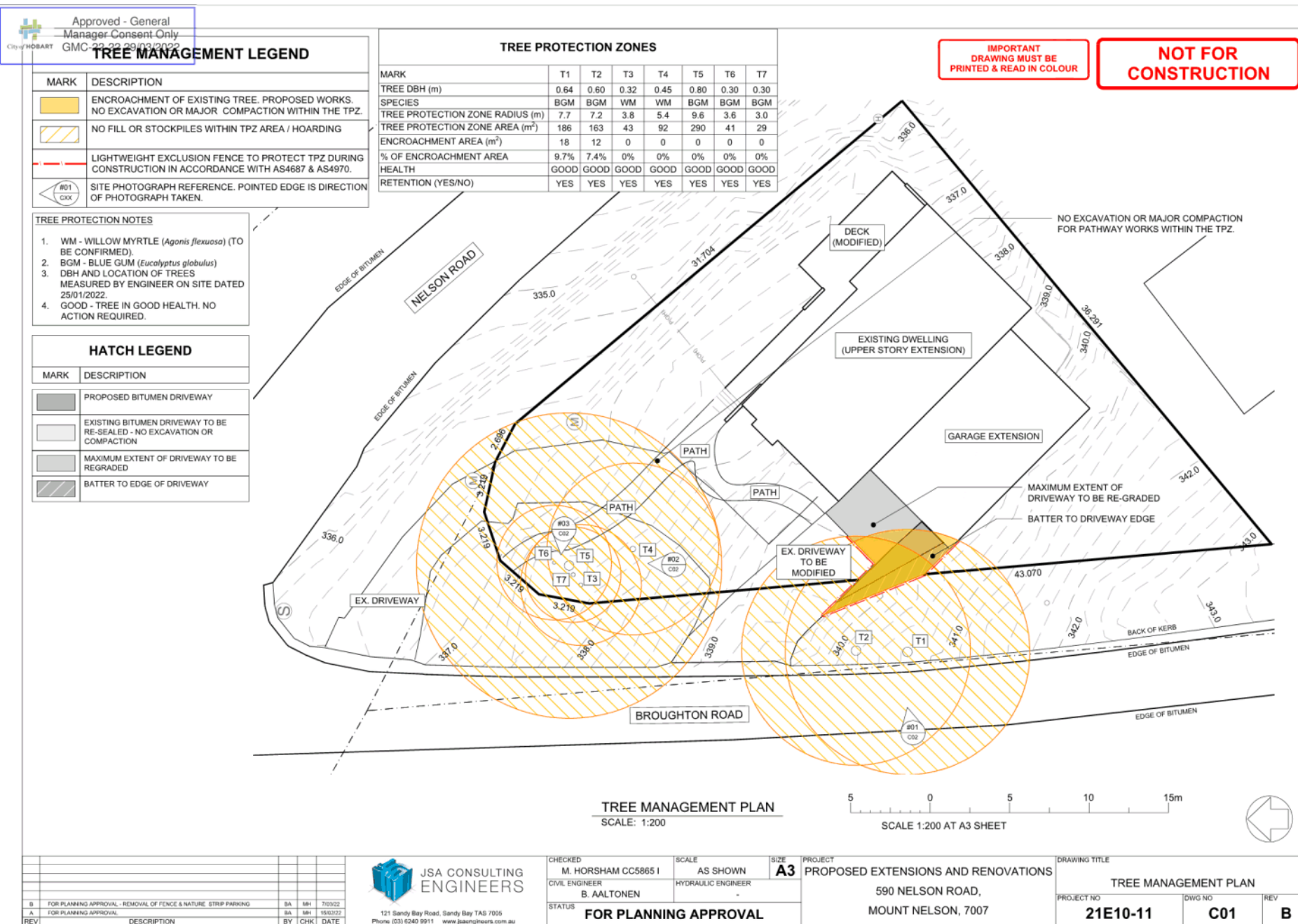
121 Sandy Bay Road, Sandy Bay TAS 7005
Phone (03) 6240 9911 www.jsaengineers.com.au

CHECKED M. HORSHAM CC5865 I	SCALE AS SHOWN	SIZE A3
CIVIL ENGINEER B. AALTONEN	HYDRAULIC ENGINEER -	
STATUS FOR PLANNING APPROVAL		

PROJECT
PROPOSED EXTENSIONS AND RENOVATIONS
590 NELSON ROAD,
MOUNT NELSON, 7007

S	DRAWING TITLE		
	TREE MANAGEMENT NOTES		
	PROJECT NO	DWG NO	REV
	21E10-11	N01	B

17/07/2018 2:16:33 PM

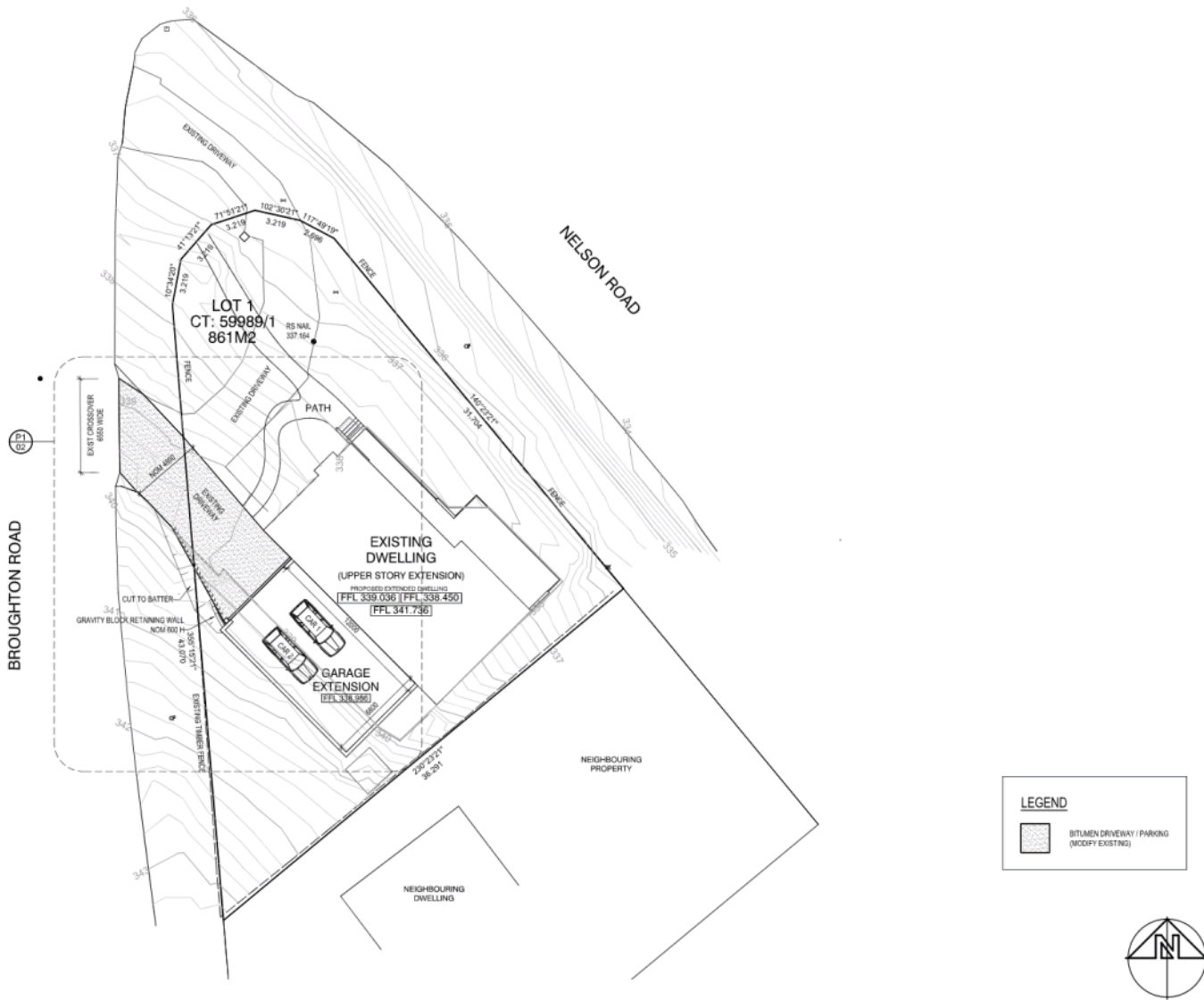




NS	DRAWING TITLE		
	SITE PHOTOGRAPHS		
	PROJECT NO	DWG NO	REV
	21E10-11	C02	B

20/07/2018 9:45:13 AM

Approved - General
Manager Consent Only
GMC-22-22 28/03/2022



AMENDMENT SCHEDULE		
DATE	REV No	DETAILS
17.12.21	06	Consolidate 16/08/21
18.01.22	01	Remove fence from Road Reserve
01.03.22	02	Remove fence and nature strip parking
16.03.22	03	Embankment detail

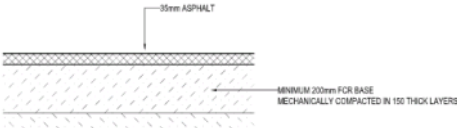
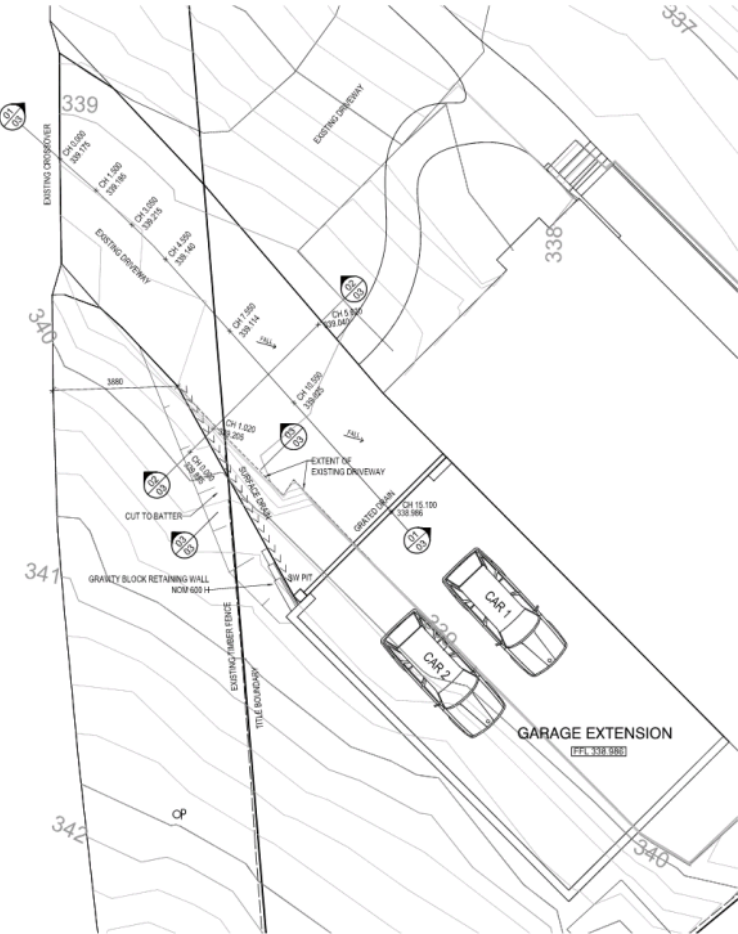
DW+A Pty Ltd
Level 1, 119 Sandy Bay Road
Sandy Bay, Tas 7505
info@dwadesign.com.au

PROPOSED EXTENSIONS AND RENOVATIONS
590 NELSON ROAD
MOUNT NELSON

Drawing Title:
SITE PLAN

Revision No.: 03	Designer:	Scale:	Drawing No.: 01
Date: 16.03.22	X. Wakefield CC1660	1:200 (A2)	Dwgs in Set: 03

Approved - General
Manager Consent Only
GMC-22-22 28/03/2022



AMENDMENT SCHEDULE		
DATE	REV No	DETAILS
17.12.21	06	Consolidate 16/08/21
18.01.22	01	Remove fence from Road Reserve
01.03.22	02	Remove fence and nature strip parking
16.03.22	03	Embankment detail

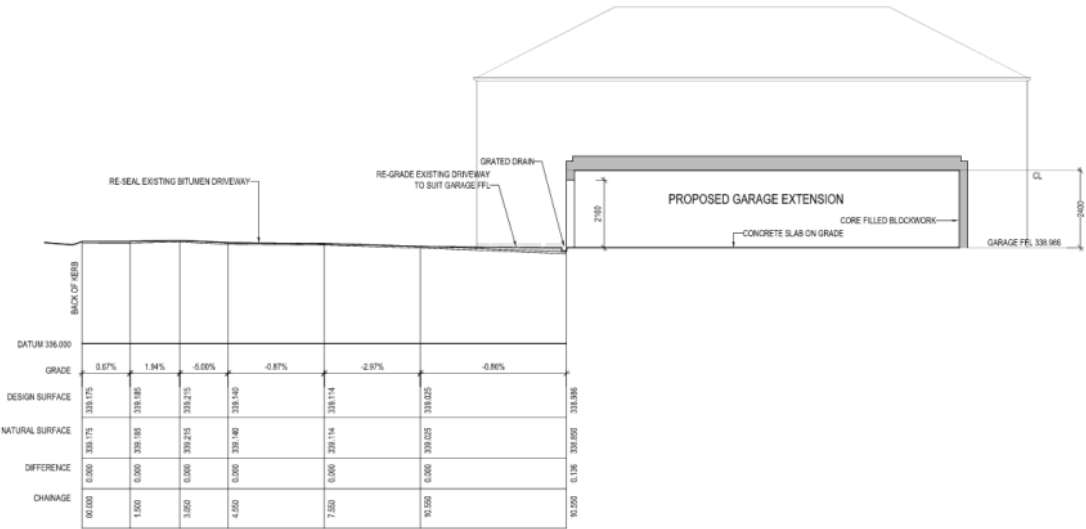
DW+A DW+A Pty Ltd
Level 1, 119 Sandy Bay Road
Sandy Bay, Tas 7505
info@dwadesigns.com.au

PROPOSED EXTENSIONS AND RENOVATIONS
590 NELSON ROAD
MOUNT NELSON

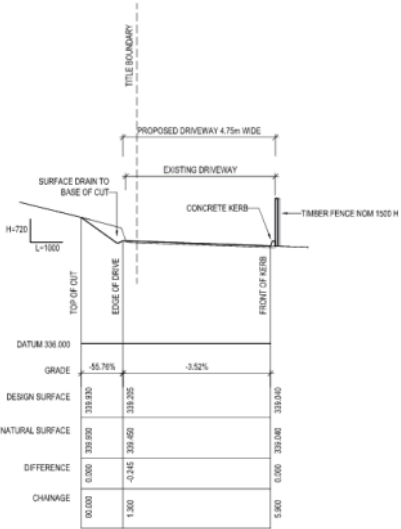
Drawing Title:
DRIVEWAY PLANS

Revision No.: 03	Designer:	Scale:	Drawing No.: 02
Date: 16.03.22	X. Wakefield CC1660	1:100, 1:10 (A2)	Dwgs in Set: 03

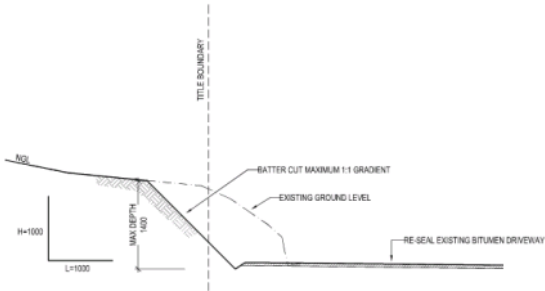
Approved - General
Manager Consent Only
GMC-22-22 28/03/2022



01/02 LONG SECTION SCALE 1:100



02/02 CROSS SECTION SCALE 1:100



03/02 CROSS SECTION SCALE 1:50

AMENDMENT SCHEDULE		
DATE	REV No	DETAILS
17.12.21	01	Consolidate 16/08/21
18.01.22	01	Remove fence from Road Reserve
01.03.22	02	Remove fence and nature strip parking
16.03.22	03	Embankment detail

DW+A
Level 1, 119 Sandy Bay Road
Sandy Bay, Tas 7505
info@dwadesigns.com.au

PROPOSED EXTENSIONS AND RENOVATIONS
590 NELSON ROAD
MOUNT NELSON

Drawing Title:
DRIVEWAY SECTIONS

Revision No.: 03
Date: 16.03.22

Designer:
X. Wakefield CC1660

Scale:
1:100, 1:50 (A2)

Drawing No.: 03
Dwgs in Set: 03

**7.1.5 78 ALEXANDER STREET, 12 FRENCH STREET, SANDY BAY AND
ADJACENT ROAD RESERVE - PARTIAL DEMOLITION,
ALTERATIONS, TWO MULTIPLE DWELLINGS (ONE EXISTING,
ONE NEW) AND ASSOCIATED HYDRAULIC INFRASTRUCTURE
PLN-21-763 - FILE REF: F22/44948**

Address: 78 Alexander Street, 12 French Street, Sandy Bay and Adjacent Road Reserve

Proposal: Partial Demolition, Alterations, Two Multiple Dwellings (One Existing, One New), and Associated Hydraulic Infrastructure

Expiry Date: 11 June 2022

Extension of Time: Not applicable

Author: Deanne Lang

RECOMMENDATION

That pursuant to the *Hobart Interim Planning Scheme 2015*, the Council approve the application for partial demolition, alterations, extension, two multiple dwellings (one existing, one new), associated hydraulic infrastructure in Council Reserve, at 78 Alexander Street, 12 French Street, Sandy Bay 7005 and adjacent road reserve, for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

GEN

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-21-763 78 ALEXANDER STREET SANDY BAY TAS 7005 - Final Planning Documents except where modified below.

Reason for condition

To clarify the scope of the permit.

TW

The use and/or development must comply with the requirements of TasWater as detailed in the form Amended Submission to Planning Authority Notice, Reference No. TWDA 2022/00114-HCC dated 18/2/2022 as attached to the permit.

Reason for condition

To clarify the scope of the permit.

ENG sw1

All stormwater from the proposed development (including but not limited to: roofed areas, ag drains, retaining wall ag drains and impervious surfaces such as driveways and paved areas) must be drained to the Council's stormwater infrastructure prior to first occupation or commencement of use (whichever occurs first).

Advice:

Under section 23 of the Urban Drainage Act 2013 it is an offence for a property owner to direct stormwater onto a neighbouring property.

Reason for condition

To ensure that stormwater from the site will be discharged to a suitable Council approved outlet.

SW 6

The new stormwater infrastructure must be designed and constructed prior to occupancy or the commencement of the approved use (whichever occurs first).

The new stormwater connection within the French St Reserve / Proctors Rivulet riparian zone must be extended to a new headwall with adequate erosion control. These works must be designed and constructed prior to the commencement of the approved use or issue of any completion (whichever occurs first).

Prior to the issuing of any approval under the *Building Act 2016* or commencement of works (whichever occurs first), detailed engineering drawings of the infrastructure must be submitted and approved as a Condition Endorsement. The detailed engineering drawings must be certified by a suitably qualified and experienced civil engineer and must:

1. be substantially in accordance with the Local Government Association of Tasmania: Tasmanian Municipal Standard Drawings (December 2020), as varied by the City of Hobart's published departures from those Drawings;

2. the size and design of the connection such that it is appropriate to safely service the development:
3. long-sections of the proposed connection clearly showing clearances from any nearby services, cover, size, material and delineation of public and private infrastructure (Plan C05 shows infrastructure on public land as private);
4. include a long section of the pipe and headwall
5. detail adequate erosion and scour protection at the drainage outfall point, including measures to ensure the outfall complements the natural values of the rivulet.

All work required by this condition must be undertaken in accordance with the approved detailed engineering drawings.

Advice:

This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.

The construction of the stormwater connection from the rear boundary to the headwall will require a permit from the open space planning team. Please contact them for details via 6238 2711.

ENG 2a

Prior to first occupation or commencement of use (whichever occurs first), vehicular barriers compliant with the Australian Standard AS/NZS 1170.1:2002 must be installed to prevent vehicles running off the edge of an access driveway or parking module (parking spaces, aisles and manoeuvring area) where the drop from the edge of the trafficable area to a lower level is 600mm or greater, and wheel stops (kerb) must be installed for drops between 150mm and 600mm. Barriers must not limit the width of the driveway access or parking and turning areas approved under the permit.

Advice:

The Council does not consider a slope greater than 1 in 4 to constitute a lower level as described in AS/NZS 2890.1:2004 Section 2.4.5.3. Slopes greater than 1 in 4 will require a vehicular barrier or wheel stop.

Designers are advised to consult the [National Construction Code 2016](#) to determine if pedestrian handrails or safety barriers compliant with the Code are also required in the parking module this area may be considered as a path of access to a building.

Reason for condition

To ensure the safety of users of the access driveway and parking module and compliance with the standard.

ENG 2b

Further detailed designs are required for vehicle barriers in the following locations:

1. Driveway
2. Parking areas (where required)

This documentation must be submitted and approved as a condition endorsement, prior to the issuing of any approval under the *Building Act 2016*.

The detailed designs must:

1. be prepared and certified by a suitably qualified engineer;
2. be in accordance with the Australian Standard AS/NZS 1170.1:2002, if possible;
3. show [dimensions, levels, gradients and transitions], and other details as Council deem necessary to satisfy the above requirement; and
4. show the extent of proposed vehicle safety barriers, where required to satisfy AS/NZS 2890.1:2004 Section 2.4.5.3, clearly specifying heights of drops from the driveway / parking area to lower levels where vehicle safety barriers and/or wheelstops are not required.

The vehicle barriers must be installed in accordance with the approved detailed designs prior to first occupation / commencement of use.

Advice:

This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.

Reason for condition

To ensure the safety of users of the access driveway and parking module and compliance with the standard.

ENG 2c

Prior to the first occupation, a suitably qualified engineer must certify that the vehicle barriers have been installed in accordance design drawings approved by Condition ENG 2b.

Advice:

An example certificate is available on our [website](#).

Reason for condition

To ensure the safety of users of the access driveway and parking module and compliance with the relevant standards.

ENG 3b

The following aspects of the access driveway and parking areas require further detailed designs:

1. Plan view and long section along the proposed driveway centreline and inside wheel paths from the highway reservation to each parking space, showing the gradient and elevation finished surface level and existing natural surface level; including transitions at change of grades, where required to comply with AS/NZS 2890.1:2004 Section 2.5.3(d);
2. Plan view showing standard single turn B85 swept paths (including 300mm manoeuvring clearance) into and out of all the proposed car parking space(s), ensuring swept paths do not conflict with adjacent parking spaces, structures or fixed objects (e.g. retaining walls / vehicular barriers);

3. Plan view showing the extent of proposed vehicle safety barriers, where required to satisfy AS/NZS 2890.1:2004 Section 2.4.5.3, clearly specifying heights of drops from the driveway / parking area to lower levels where vehicle safety barriers and/or wheelstops are not required; and
4. Plan view showing car parking space widths abutting walls or obstructions indicating a further 300 mm clearance for door opening.

This documentation must be submitted and approved as a condition endorsement, prior to the issuing of any approval under the *Building Act 2016*.

The detailed designs must:

1. be prepared and certified by a suitably qualified engineer;
2. be in accordance with the Australian Standard AS/NZS 2890.1:2004, if possible;
3. where the design deviates from AS/NZS 2890.1:2004 the designer must demonstrate that the design will provide a safe and efficient access, and enable safe, easy and efficient use; and
4. show [dimensions, levels, gradients and transitions], and other details as Council deem necessary to satisfy the above requirement.

The access driveway and parking area must be constructed in accordance with the approved detailed designs prior to first occupation.

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

ENG 3c

Prior to the first occupation / commencement of use, a suitably qualified engineer must certify that the access driveway and parking areas have been constructed in accordance with design drawings approved by Condition ENG 3b.

Advice:

We strongly encourage you to speak to your engineer before works begin so that you can discuss the number and nature of the inspections they will need to do during the works in order to provide this certification. It may be necessary for a surveyor to also be engaged to ensure that the driveway will be constructed as approved.

The reason this condition has been imposed as part of your planning permit is that the driveway is outside the Australian Standard gradients or design parameters. If the driveway is not constructed as it has been approved then this may mean that the driveway will either be unsafe or will not function properly.

An example certificate is available on our [website](#).

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

ENG 4

The access driveway and parking module (car parking spaces, aisle and manoeuvring areas) approved by this permit must be constructed to a sealed standard (spray seal, asphalt, concrete, pavers or equivalent Council approved) and surface drained to the Council's stormwater infrastructure prior to the first occupation / commencement of use.

Reason for condition

To ensure the safety of users of the access driveway and parking module, and that it does not detract from the amenity of users, adjoining occupiers or the environment by preventing dust, mud and sediment transport.

ENG 5

The number of car parking spaces approved to be used on the site is four (4).

Reason for condition

To ensure the provision of parking for the use is safe and efficient.

ENG 1

Any damage to council infrastructure resulting from the implementation of this permit, must, at the discretion of the Council:

1. Be met by the owner by way of reimbursement (cost of repair and reinstatement to be paid by the owner to the Council); or
2. Be repaired and reinstated by the owner to the satisfaction of the Council.

A photographic record of the Council's infrastructure adjacent to the subject site must be provided to the Council prior to any commencement of works.

A photographic record of the Council's infrastructure (e.g. existing property service connection points, roads, buildings, stormwater, footpaths, driveway crossovers and nature strips, including if any, pre-existing damage) will be relied upon to establish the extent of damage caused to the Council's infrastructure during construction. In the event that the owner/developer fails to provide to the Council a photographic record of the Council's infrastructure, then any damage to the Council's infrastructure found on completion of works will be deemed to be the responsibility of the owner.

Reason for condition

To ensure that any of the Council's infrastructure and/or site-related service connections affected by the proposal will be altered and/or reinstated at the owner's full cost.

ENV 8

All recommended risk mitigation measures in the landslide risk assessment by Geo-Environmental Solutions dated March 2022 must be implemented including:

- All cuts must be retained with suitably engineered and drained retaining walls with topography and neighbouring properties taken into consideration. Foundations of retaining walls should

extend into the underlying natural materials with bearing capacities in exceedance of 100kPa. This must be checked by a geotechnical engineer, engineering geologist or the site engineer at the time of construction.

- All retaining walls must account for upslope drainage above the walls and a grate drain immediately below the walls must be constructed to avoid saturation of site soils below the wall foundations.
- Use of fill must be limited at the site.
- All earthworks on site must comply with *AS3798-2007 Guidelines on earthworks for commercial and residential developments* and a sediment and erosion control plan must be implemented on site during and after construction.
- The proposed development must be constructed generally in accordance with the Australian Geomechanics Society (2007) *Guidelines for Good Hillside Construction Practices* and must be founded within/adequately anchored to the underlying weathered dolerite rock. Stormwater from both the existing and proposed new dwellings must be connected to reticulated systems, and connected as soon as possible during construction.

Reason for condition

To reduce the risk to life and property, and the cost to the community, caused by landslides.

ENV 2

Sediment and erosion control measures, in accordance with an approved soil and water management plan (SWMP), must be installed prior to the commencement of work and maintained until such time as all disturbed areas have been stabilised and/or restored or sealed to the Council's satisfaction.

A SWMP must be submitted as a Condition Endorsement prior to the issue of any approval under the *Building Act 2016* or the commencement of work, whichever occurs first. The SWMP must be prepared in accordance with the Soil and Water Management on Building and Construction Sites fact sheets (Derwent Estuary Program, 2008), available [here](#).

All work required by this condition must be undertaken in accordance with the approved SWMP.

Advice:

This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.

Reason for condition

To avoid the pollution and sedimentation of roads, drains and natural watercourses that could be caused by erosion and runoff from the development.

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

CONDITION ENDORSEMENT

If any condition requires that further documents are submitted and approved, you will need to submit the relevant documentation to satisfy the condition via the Condition Endorsement Submission on Council's [online services e-planning portal](#). Detailed instructions can be found [here](#).

A fee of 2% of the value of the works for new public assets (stormwater infrastructure, roads and related assets) will apply for the condition endorsement application.

Once approved, the Council will respond to you via email that the condition has been endorsed (satisfied).

Where building approval is also required, it is recommended that documentation for condition endorsement be submitted well before submitting documentation for building approval. Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.

BUILDING PERMIT

You may need building approval in accordance with the *Building Act 2016*. Click [here](#) for more information.

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

PLUMBING PERMIT

You may need plumbing approval in accordance with the *Building Act 2016*, *Building Regulations 2016* and the National Construction Code. Click [here](#) for more information.

OCCUPATION OF THE PUBLIC HIGHWAY

You may require a permit for the occupation of the public highway for construction (e.g. placement of skip bin, crane, scissor lift etc). Click [here](#) for more information.

GENERAL EXEMPTION (TEMPORARY) PARKING PERMITS

You may qualify for a General Exemption permit for construction vehicles i.e. residential or meter parking/loading zones. Click [here](#) for more information.

DRIVEWAY SURFACING OVER HIGHWAY RESERVATION

If a coloured or textured surface is used for the driveway access within the Highway Reservation, the Council or other service provider will not match this on any reinstatement of the driveway access within the Highway Reservation required in the future.

COUNCIL RESERVES

A Public Spaces By-law permit will be required for installation of the new stormwater outfall into French Street Reserve. Information about these permits, and the application form to undertake works in a public space, can be found [here](#).

FEES AND CHARGES




Click [here](#) for information on the Council's fees and charges.

DIAL BEFORE YOU DIG

Click [here](#) for dial before you dig information.

RESIDENTIAL PARKING PERMITS

Multiple dwelling use is not eligible to residential parking permits. Under the current policy for the issuing of residential parking permits, the proposed use would not entitle the property to a residential parking permit.

- | | |
|---------------|--|
| Attachment A: | PLN-21-763 - 78 ALEXANDER STREET SANDY BAY TAS 7005 - Planning Committee or Delegated Report ↓  |
| Attachment B: | PLN-21-763 - 78 ALEXANDER STREET SANDY BAY TAS 7005 - CPC Agenda Documents ↓  |
| Attachment C: | PLN-21-763 - 78 ALEXANDER STREET SANDY BAY TAS 7005 - Planning Referral Officer Development Engineering Report ↓  |

**APPLICATION UNDER HOBART INTERIM PLANNING SCHEME 2015**

Type of Report:	Committee
Council:	30 May 2022
Expiry Date:	11 June 2022
Application No:	PLN-21-763
Address:	78 ALEXANDER STREET , SANDY BAY 12 FRENCH STREET , SANDY BAY ADJACENT ROAD RESERVE
Applicant:	Melanie Roff 78 Alexander Street
Proposal:	Partial Demolition, Alterations, Extension, Two Multiple Dwellings (One Existing, One New), and Associated Hydraulic Infrastructure
Representations:	Nil
Performance criteria:	Inner Residential Zone Development Standards - Building Envelope, Private Open Space, Privacy , E.3.0 Landslide Code, E6.0 Parking and Access Code

1. Executive Summary

- 1.1 Planning approval is sought for Partial Demolition, Alterations, Extension, Two Multiple Dwellings (One Existing, One New), Associated Hydraulic Infrastructure in Council Reserve, at 78 Alexander Street and 12 French Street, Sandy Bay., and the adjacent road reserve.

- 1.2 More specifically the proposal includes:
- partial demolition, alterations and extension to an existing double storey weatherboard dwelling. The double storey rear extension will be constructed in a combination of matching weatherboards and 'hebel power panel" wall cladding with an applied texture finish, with a colorbond roof;
 - the ground floor rear extension will consist of a 53sqm living/dining area, with direct access to a 10.5m x 3m (31.5sqm) deck
 - the lower ground floor which currently consists of a bathroom/laundry and storage room, will be excavated to create two bedrooms, home office, bathroom/laundry and store room, resulting in a lower ground floor area of 94sqm;
 - a new double storey three bedroom dwelling behind the existing dwelling. The dwelling will be constructed from a combination of reinforced concrete walls, irregular stone walls over fibre cement sheeting and a colorbond roof;
 - extension to the existing driveway, new parking and turning area;
 - four onsite car parking spaces, with two (2) designated to each dwelling
 - landscaping adjacent to the proposed onsite parking area;
 - individual 1.5sqm waste storage areas for each dwelling;
 - retaining walls on the eastern elevation of the driveway, with a maximum height of 960mm; and
 - a new headwall in the rivulet for stormwater discharge is proposed on 12 French Street.
- 1.3 The proposal relies on performance criteria to satisfy the following standards and codes:
- 1.3.1 Inner Residential Zone - Building Envelope, Private Open Space, Privacy
 - 1.3.2 Landslide Code - Buildings and Works in a Landslide Hazard Area
 - 1.3.3 Parking and Access Code - Design of Vehicle Access, Vehicle Passing Area Along an Access, Layout of Parking Areas
- 1.4 No representations were received during the statutory advertising period between 11 April - 2 May 2022.
- 1.5 The proposal is recommended for approval subject to conditions.
- 1.6 The final decision is delegated to the Council, because the proposal involves Council land that is not a road.

2. Site Detail

- 2.1 The subject site is 794sqm in area and is located on the corner of Alexander and French Streets, Sandy Bay. The site contains a single dwelling which is located to the north of the lot, with a large area of private open space behind, which adjoins Council's reserve and open space. The surrounding area is surrounded by residential uses, including boarding houses and long term accommodation. The University of Tasmania's Sandy Bay Campus is located to the south and east of the site.



Fig. 1 - 78 Alexander Street is bordered in blue. The area highlighted in yellow is Council owned land as is known as 12 French Street



Fig. 2 - existing dwelling



Fig. 3 - the subject site showing the existing dwelling and the rear yard - taken from French Street

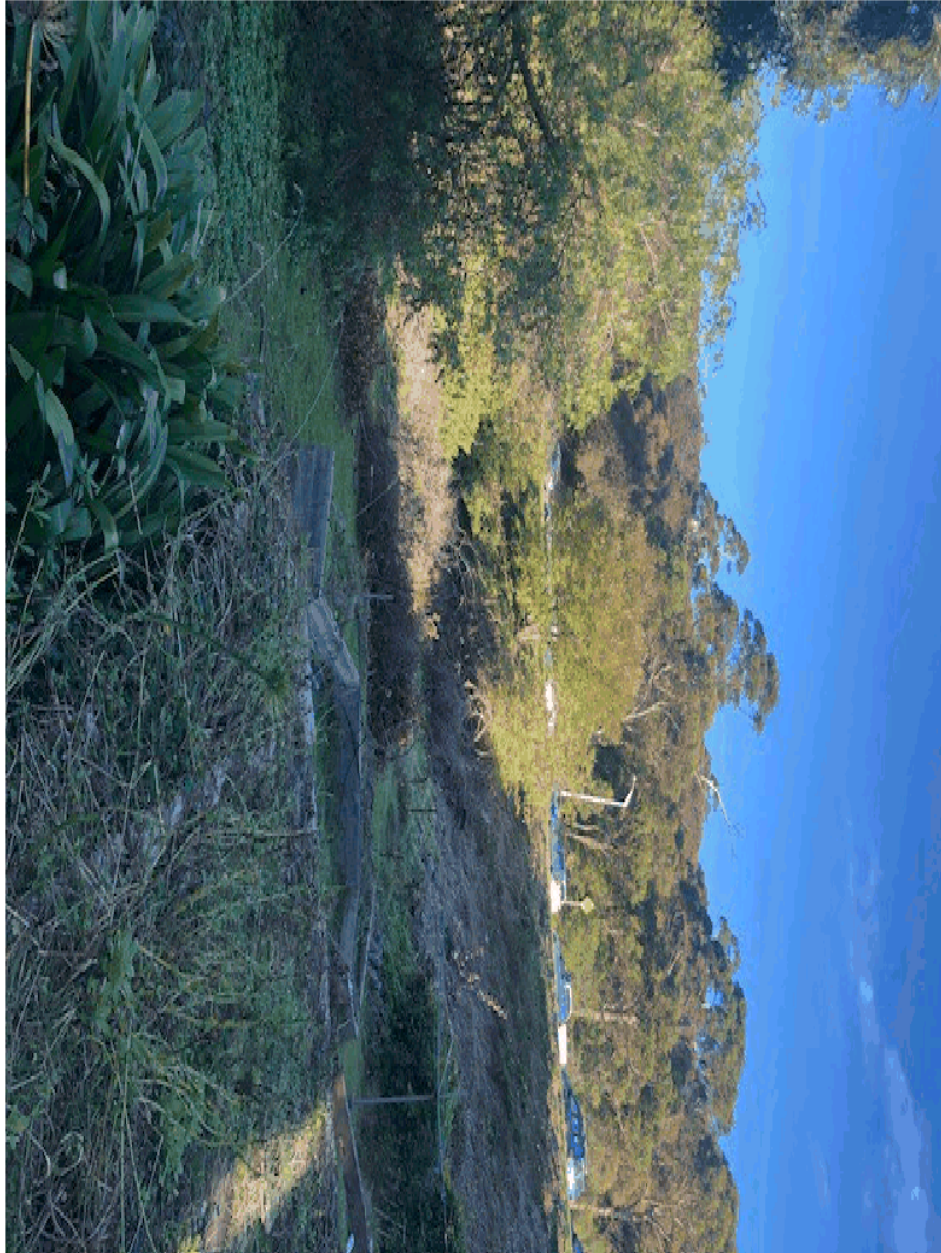


Fig. 4 - the approximate location of the proposed dwelling and associated car parking

3. Proposal

3.1 Planning approval is sought for Partial Demolition, Alterations, Extension, Two Multiple Dwellings (One Existing, One New), Associated Hydraulic Infrastructure in Council Reserve, at 78 Alexander Street and 12 French Street, Sandy Bay, and the adjacent road reserve.

3.2 More specifically the proposal is for:

- partial demolition, alterations and extension to an existing double storey weatherboard dwelling. The double storey rear extension will be constructed in a combination of matching weatherboards and 'hebel power panel' wall cladding with an applied texture finish, with a colorbond roof;
- the ground floor rear extension will consist of a 53sqm living/dining area, with direct access to a 10.5m x 3m (31.5sqm) deck
- the lower ground floor which currently consists of a bathroom/laundry and storage room, will be excavated to create two bedrooms, home office, bathroom/laundry and store room, resulting in a lower ground floor area of 94sqm;
- a new double storey three bedroom dwelling behind the existing dwelling. The dwelling will be constructed from a combination of reinforced concrete walls, irregular stone walls over fibre cement sheeting and a colorbond roof;
- extension to the existing driveway, new parking and turning area;
- four onsite car parking spaces, with two (2) designated to each dwelling
- landscaping adjacent to the proposed onsite parking area;
- individual 1.5sqm waste storage areas for each dwelling;
- retaining walls on the eastern elevation of the driveway, with a maximum height of 960mm; and
- a new headwall in the rivulet for stormwater discharge on 12 French Street.

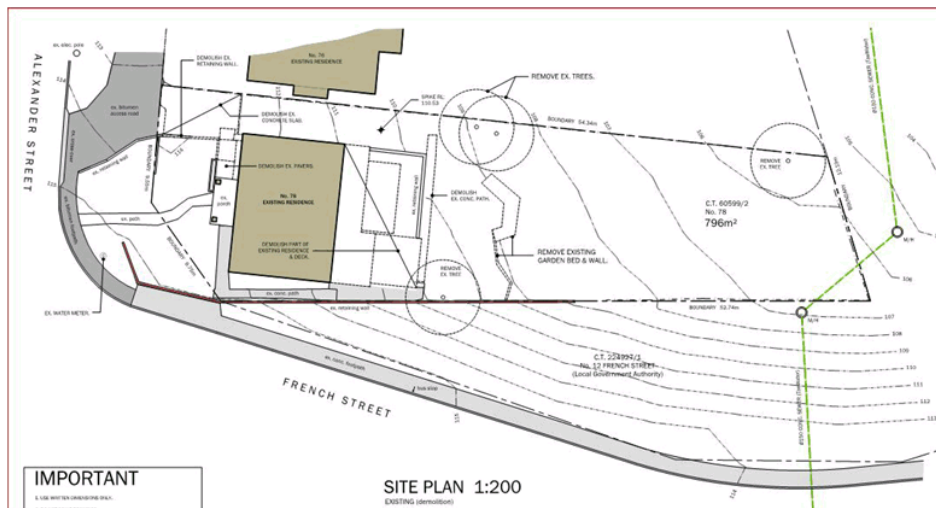


Fig. 5- the existing site plan

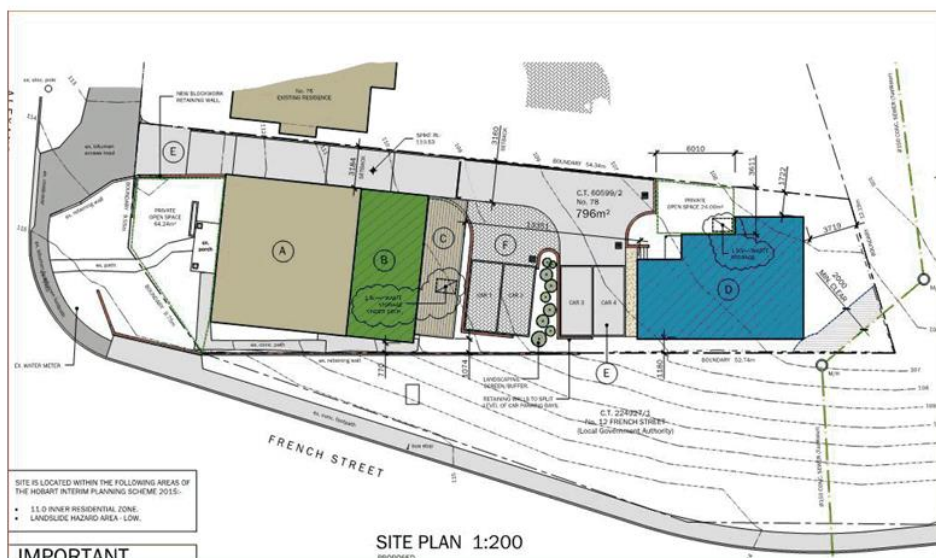
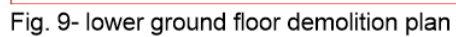
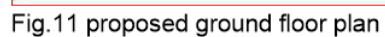


Fig. 6- proposed site plan



Fig. 7 - the rear elevation of the existing dwelling





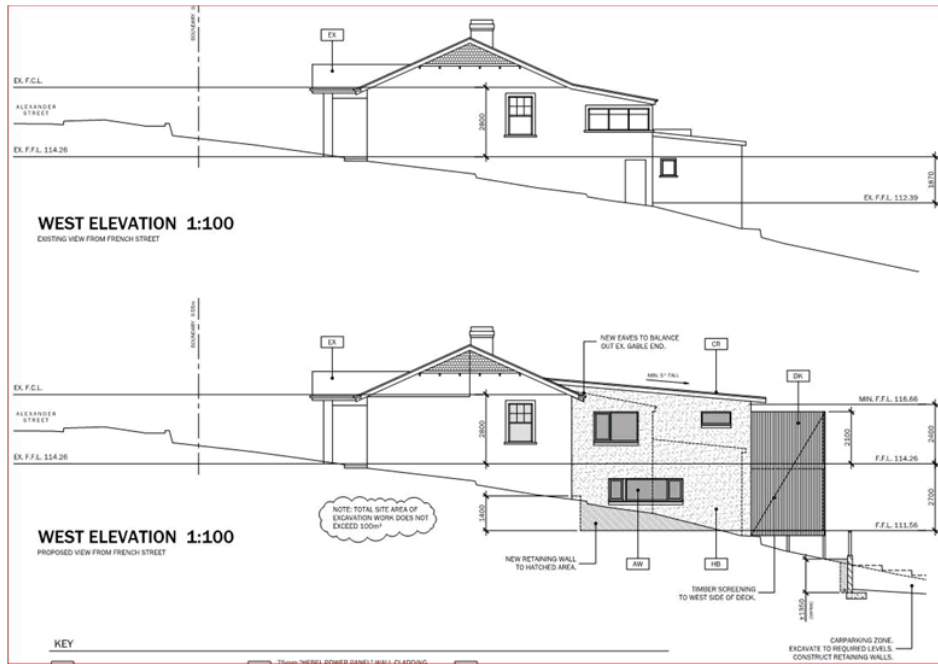


Fig. 12- existing and proposed western elevations (existing dwelling)

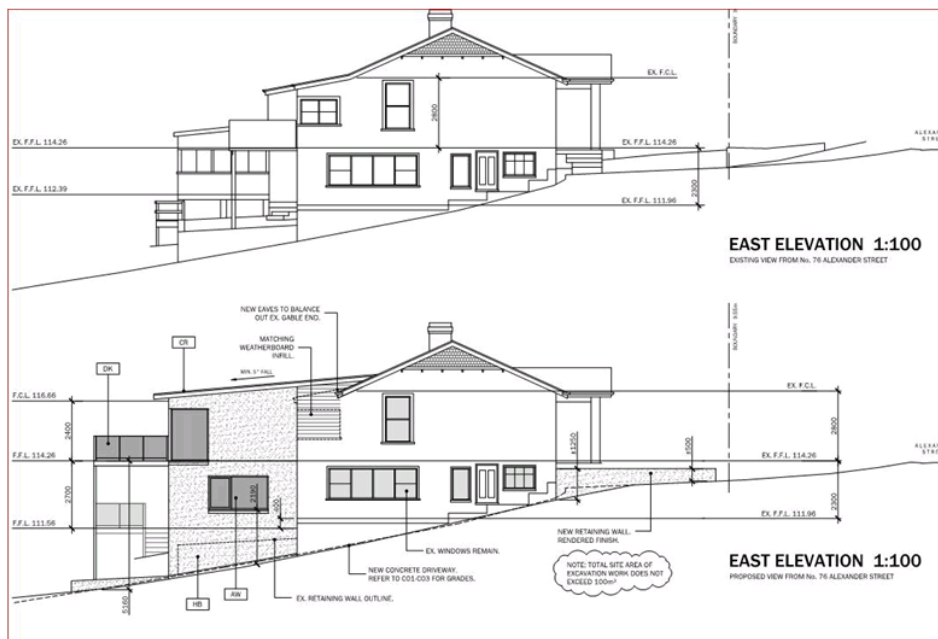


Fig 13 existing and proposed eastern elevations (existing dwelling)

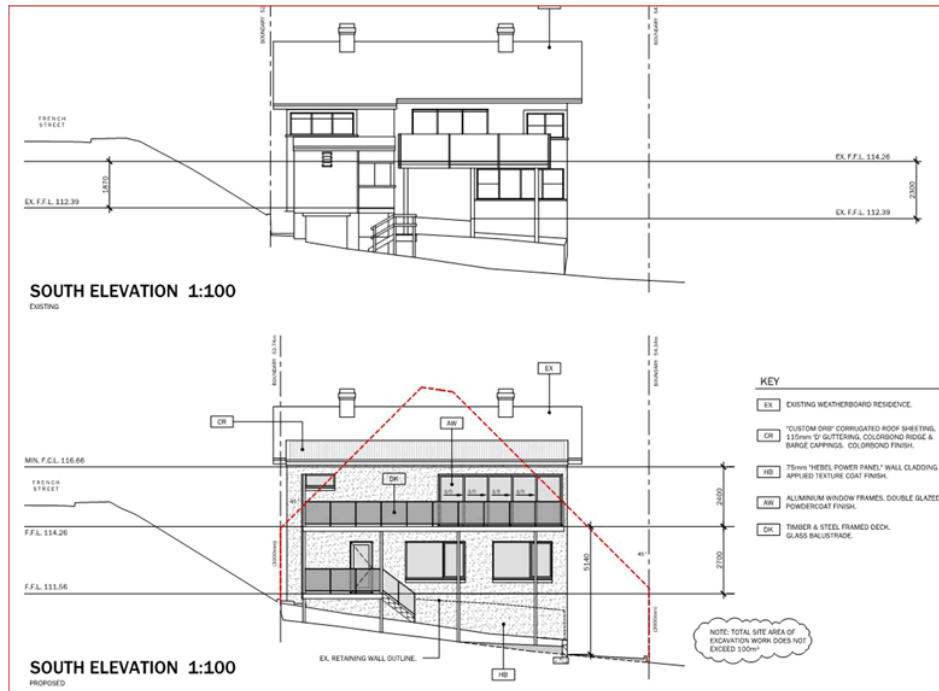


Fig 14 existing and proposed southern elevations (existing dwelling)

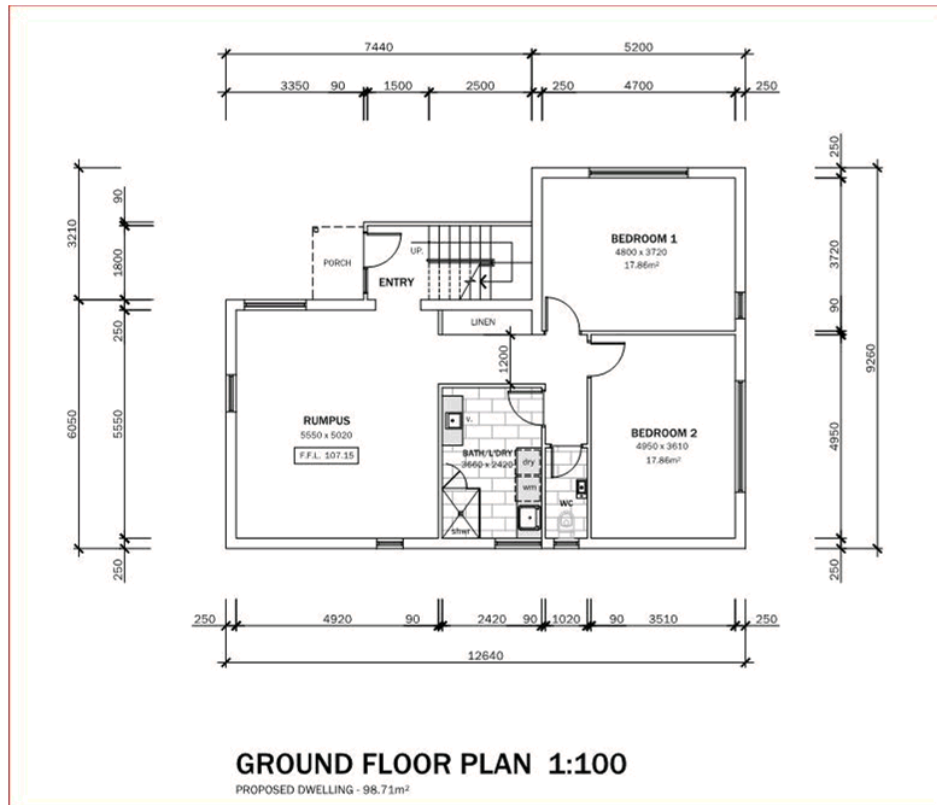


Fig. 15 proposed dwelling - ground floor plan

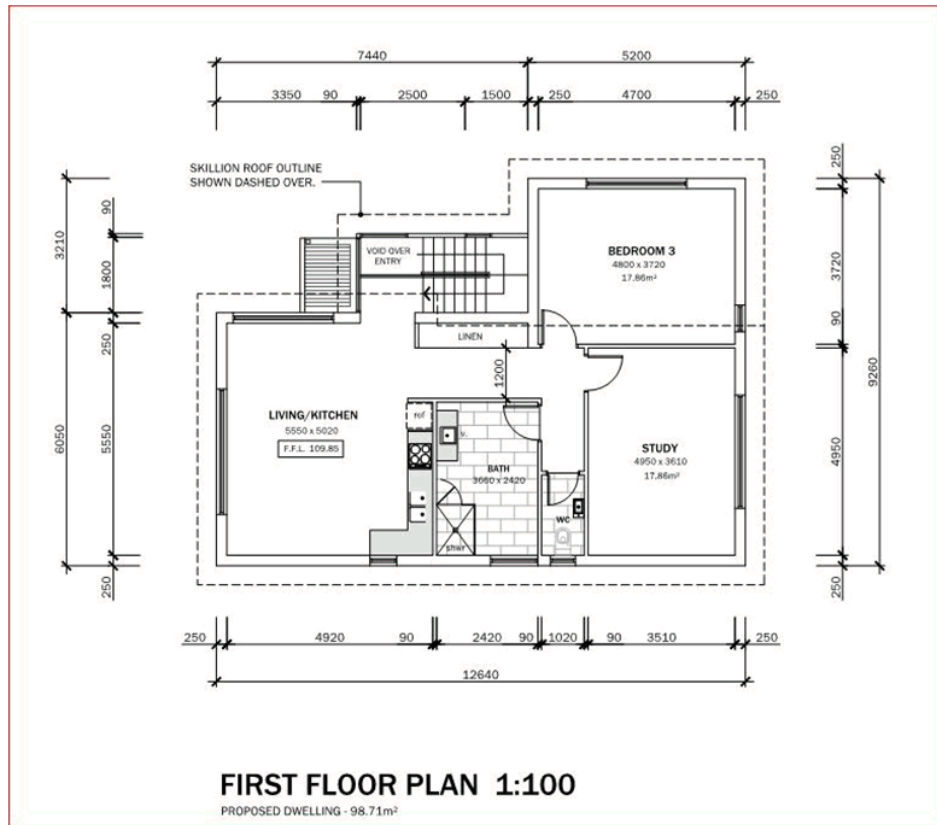


Fig. 16 - proposed dwelling - first floor plan

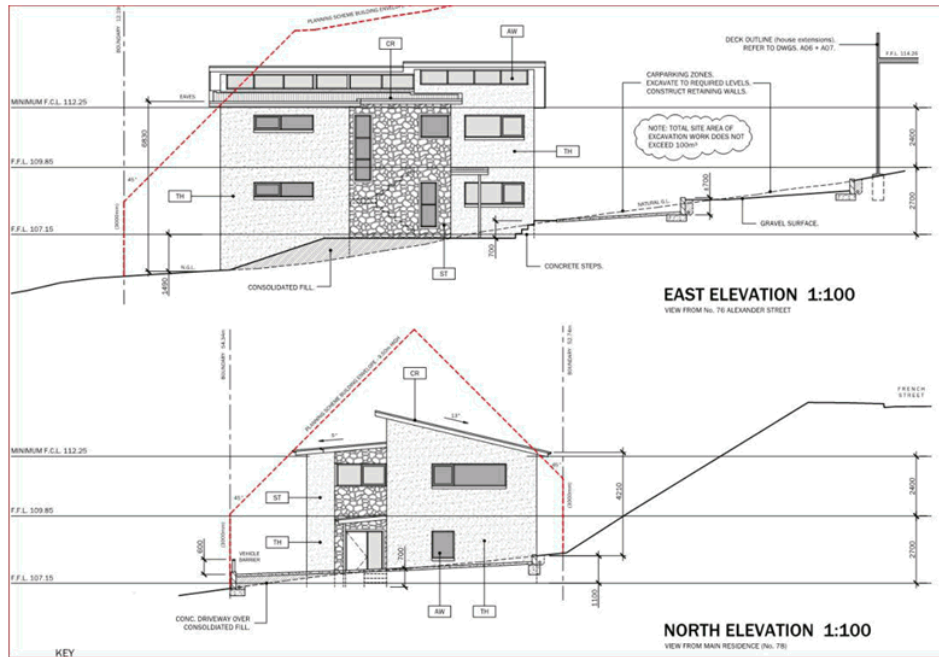


Fig. 17 proposed dwelling - eastern and northern elevations

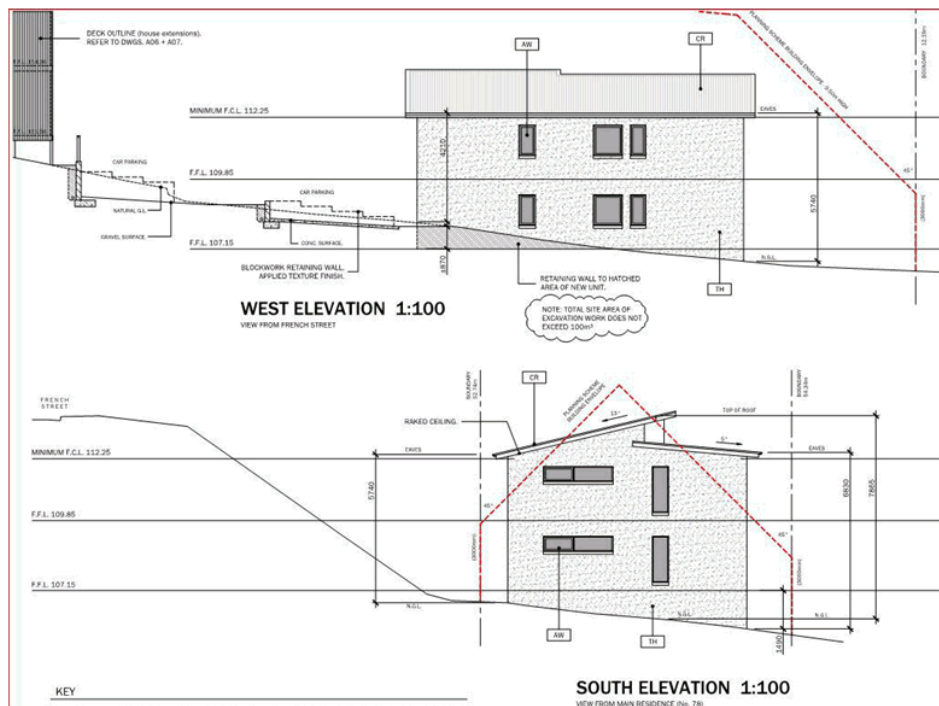


Fig. 18 - proposed dwelling - western and southern elevations

4. Background

- 4.1 The proposal required General Manager's consent (GMC-21-72) as the proposal required included works within the road reserve and hydraulic infrastructure to the Rivulet and within Council land at 12 French Street Sandy Bay. General Manager's consent was granted on 20 August 2021.

5. Concerns raised by representors

- 5.1 No representations were received during the statutory advertising period between 11 April - 2 May 2022.

6. Assessment

- 6.1 The *Hobart Interim Planning Scheme 2015* is a performance based planning scheme. To meet an applicable standard, a proposal must demonstrate compliance with either an acceptable solution or a performance criterion. Where a proposal complies with a standard by relying on one or more performance criteria, the Council may approve or refuse the proposal on that basis. The ability to approve or refuse the proposal relates only to the performance criteria relied on.
- 6.2 The site is located within the Inner Residential Zone of the *Hobart Interim Planning Scheme 2015*.
- 6.3 The existing use is Residential (single dwelling). The proposed use is Residential (multiple dwellings). The existing use is a no permit required use in the zone. The proposed use is a permitted use in the zone.
- 6.4 The proposal has been assessed against:
- 6.4.1 Part D - 11 Inner Residential Zone
 - 6.4.2 E3.0 Landslide Area Code
 - 6.4.3 E6.0 Parking and Access Code
 - 6.4.4 E7.0 Stormwater Management Code
 - 6.4.5 E10.0 Biodiversity Protection Overlay

- 6.4.6 E11. Waterway and Coastal Protection Zone
- 6.5 The proposal relies on the following performance criteria to comply with the applicable standards:
- 6.5.1 Inner Residential Zone:
- Setbacks and Building Envelope – Part D 11.4.2P3*
Private Open Space - Part D 11.4.3P2
Privacy - Part D 11.4.6P3
- 6.5.2 Landslide Code:
- Building and Works other than Minor Extensions - E3.7.1P1*
- 6.5.3 Parking and Access Code:
- Design of Vehicle Access E.6.7.2P1*
Vehicle Passing Area Along An Access - E6.7.3P1
Layout of Parking Areas - E6.7.5P1
- 6.6 Each performance criterion is assessed below.
- 6.7 Setback and Building Envelope Part D 11.4.2 P3
- 6.7.1 The acceptable solution at clause 11.4.2A3 requires a dwelling to be contained within the building envelope prescribed under Part D:11.4.2A3.
- 6.7.2 The proposal includes an extension to an existing dwelling and one new dwelling, both of which are outside the building envelope.
- 6.7.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.
- 6.7.4 The performance criterion at clause 11.4.2P3 provides as follows:
- The siting and scale of a dwelling must:*
- (a) not cause an unreasonable loss of amenity to adjoining properties, having regard to:*
- (i) reduction in sunlight to a habitable room (other than a bedroom) of a*

dwelling on an adjoining property;

(ii) overshadowing the private open space of a dwelling on an adjoining property;

(iii) overshadowing of an adjoining vacant property; or

(iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property; and

(b) provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area.

- 6.7.5 The objectives of the setback and building envelope provisions, in this instance, are to control the siting and scale of dwellings and provide reasonably consistent separation between dwellings on adjacent sites and a dwelling and its frontage. The objectives also aim to provide consistency in the scale, bulk and massing and proportion of dwellings and provide reasonable opportunity for daylight and sunlight to enter habitable rooms of dwellings and private open space on adjacent lots.

As previously mentioned, the subject site is located on the corner of Alexander and French Streets. The western and southern boundaries are shared with Council land, which is zoned Open Space and forms part of the French Street Road Reservation. The sole residential zoned physically abutting property which contains a dwelling, is 76 Alexander Street.

Both the existing dwelling and that within the adjoining property at 76 Alexander Street have similar setbacks to all boundaries. Both houses are somewhat similar in design, with the rear elevations of both dwellings terminating along a similar building line.

The applicant has submitted sunshadow diagrams for the 21 June to support their proposal. The sunshadow diagrams confirm that any additional overshadowing is largely confined to the subject site or to the south, within Council's road reservation and open space. It is noted that there is a small increase in the overshadowing to the rear yard of the dwelling at 76 Alexander Street at 3pm 21 June. However, the rear deck remains in full sun during 3m and the entire property is in full sun at 9am and 12pm.

While there is existing lounge windows within the eastern elevation of the dwelling at 76 Alexander Street which face the existing dwelling within 78 Alexander Street, the sunshadow diagrams confirm that these habitable

windows remain in full sun on 21 June.

The site slopes to the south of the site. The architect has designed the extension to follow the topography of the site, so that it steps down the slope to reduce the visual impact and bulk of the extension when viewed from the adjoining property at 76 Alexander Street. The architect has also used a variety of materials in the construction of the dwelling extension and new dwelling, including irregular stone walling to give visual interest.

The siting and design of the extension and new dwelling also mean that the proposal will not have an unreasonable visual impact on other properties that might be considered as adjoining, such as those on the opposite side of French and Alexander Streets.

Based on the sun shadow diagrams and discussion above, it is considered that the loss of amenity to the dwelling at 76 Alexander Street and the surrounding properties is not unreasonable.

In terms of setbacks, the site is unique as it sits below the road reservation and borders Council land, sharing only the eastern (side) boundary with one residential zoned property containing a single dwelling. However, in terms of eastern (side) boundary shared with 76 Alexander Street, this is considered to be consistent with the established properties within the area.

It is noted that no representations were received within statutory advertising timeframe which can be taken as being a level of support for the proposal from the wider community.

- 6.7.6 The proposal complies with the performance criterion.



Fig. 19 - the subject dwelling at 76 Alexander Street as taken from the subject site



Fig. 20- the lounge room windows within the dwelling at 76 Alexander Street which are directly opposite the existing dwelling

6.8 Private Open Space Part D 11.4.3 P2

- 6.8.1 The acceptable solution at clause 11.4.3A2 requires a dwelling to have at least 24sqm of private open space in one location, with a dimension not

less than 24sqm and a minimum dimension of 4m.

6.8.2 The proposal includes a new dwelling which has an area of private open space in one location. however, this does not have a minimum horizontal dimension of 4m.

6.8.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.

6.8.4 The performance criterion at clause 11.4.3P2 provides as follows:

A dwelling must have private open space that includes an area capable of serving as an extension of the dwelling for outdoor relaxation, dining, entertaining and children's play and is:

(a) conveniently located in relation to a living area of the dwelling; and

(b) orientated to take advantage of sunlight.

6.8.5 The proposed dwelling includes an area of 24sqm of private open space between the dwelling and the eastern boundary shared with 76 Alexander Street. Access to this area is via the entrance to the dwelling, which adjoins the proposed rumpus room. As such it is conveniently located to a living area within the dwelling and able to be used for outdoor relaxation, children's play and is sufficient too serve as an entertaining area.

There is also a large area between the rear elevation of the dwelling and rear boundary that although not proposed to be paved or levelled, is of a size conducive to children's play and relaxation.

In terms of sunlight this area is in full sun at 9am and 12noon 21 June before being overshadowed at 3pm 21 June.

6.8.6 The proposal complies with the performance criterion.

6.9 Privacy Part D 11.4.7 P3

6.9.1 The acceptable solution at clause D11.4.7P3 requires a shared driveway to be separated from a habitable room window by either 2.5m or 1m if it is separated by a screen not less than 1.7m in height or the window has a minimum sill height of 1.7m above the shared driveway or fixed obscured glazing extending to a height for not less than 1.7m above the floor level.

6.9.2 The proposal includes an extension to an existing driveway. There is no separation between the driveway and the bedroom window within the extension to the existing house.

6.9.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.

6.9.4 The performance criterion at clause 11.4.7P3 provides as follows:

A shared driveway or parking space (excluding a parking space allocated to that dwelling), must be screened, or otherwise located or designed, to minimise unreasonable impact of vehicle noise or vehicle light intrusion to a habitable room of a multiple dwelling.

6.9.5 The objective of the privacy provisions are to ensure that there is a reasonable opportunity for privacy to dwellings.

The extension to the existing driveway is proposed to be dropped below that of the existing driveway/car parking pad, so that sits 1.8m below the window sill of the proposed double glazed bedroom fixed window located within the ground floor extension to the existing dwelling. This reflects the intent of the designer, who has strived to separate the window and driveway so the latter does not affect the amenity of the occupants of the bedroom. This is achieved by dropping the level of the driveway, ensuring that the fixed bedroom window is double glazed and the sill sits 1.8m above the driveway, thus reducing the amount of light spill and noise generated from vehicles driving past the habitable window.

6.9.6 The proposal complies with the performance criterion.

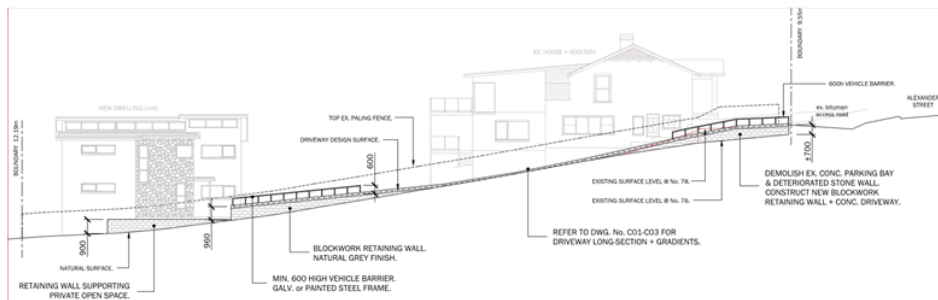


Fig. 20 - proposed driveway elevation

6.10 E3.0 Landslide Code PartE3.7.1P1

6.10.1 There is no acceptable solution for building and works, other than minor

extensions within a Landslide Hazard Area.

- 6.10.2 The proposal includes works, including extension to a driveway, an extension to an existing dwelling and a new dwelling on the subject site.
- 6.10.3 There is no acceptable solution; therefore assessment against the performance criterion is relied on.
- 6.10.4 The performance criterion at clause (E3.7.1P1 provides as follows:

Buildings and works must satisfy all of the following:

- (a) no part of the buildings and works is in a High Landslide Hazard Area;*
- (b) the landslide risk associated with the buildings and works is either:*
 - (i) acceptable risk; or*
 - (ii) capable of feasible and effective treatment through hazard management measures, so as to be tolerable risk.*

- 6.10.5 The objective of the provisions relating to works and major development on a site within the Landslide Hazard Area is to ensure that the landslide risk associated with these works are either acceptable or have a tolerable risk, having regard to the feasibility and effectiveness of measures required to manage the landslide hazard.

The proposal was referred to Council's Environmental Development Planner who provided the following assessment:

The Code applies because development is proposed within a Landslide Hazard Area. Most of the lot is within a Landslide Hazard Area (Low LHA). This is due to a modelled susceptibility to deep-seated landsliding (source area).



The proposed buildings are exempt from the Code standards pursuant to exemption clause E3.4 (c), however associated works are not specifically exempt.

According to the application, 98m³ of excavation is proposed, falling short of the threshold volume for 'major works', so the relevant standards are those under clause E3.7.1.

There is no acceptable solution for E3.7.1 A1.

Performance criterion P1 states the following:

Buildings and works must satisfy all of the following:

- (a) no part of the buildings and works is in a High Landslide Hazard Area;*
- (b) the landslide risk associated with the buildings and works is either:*
 - (i) acceptable risk; or*
 - (ii) capable of feasible and effective treatment through hazard management measures, so as to be tolerable risk.*

No works are proposed within a High LHA in conformity with P1(a).

With regard to P1(b), a Landslide Risk Management Report was submitted with the application. The findings of the report include:

- Potential slope failure mechanisms at the site are shallow slide/flow and deep-seated sliding.
- Treated risk to life is assessed as lower than the suggested tolerable risk for loss of life in the AGS guidelines (10-4).
- Untreated risk to property is assessed as 'moderate' for shallow slide/flow and 'very low' for deep-seated landslide.
- treated risk to property is assessed as 'low' for shallow slide/flow and 'very low' for deep-seated landslide ('low' risk is 'usually acceptable to regulators' under the AGS guidelines).

The assessed landslide risk is therefore 'tolerable' subject to the risk treatment measures being implemented.

The report makes the following recommendations:

- Unretained cuts are not recommended at the site.
- All cuts should be retained with suitably engineered and drained retaining walls with topography and neighbouring properties taken into consideration. Foundations of retaining walls should extend into the underlying natural materials with bearing capacities in exceedance of 100kPa. This must be checked by GES or the site engineer at time of construction.
- All retaining walls should account for upslope drainage above the walls and a grate drain immediately below the walls to avoid saturation of site soils below the wall foundations.
- Use of fill should be limited at the site.
- All earthworks on site must comply with AS3798-2007 Guidelines on earthworks for commercial and residential developments and a sediment and erosion control plan should be implemented on site during and after construction.
- The proposed development should be constructed in accordance with the Australian Geomechanics Society (2007) Guidelines for Good Hillside Construction Practices and must be founded within/adequately anchored to the underlying weathered dolerite rock.
- Stormwater of both existing and proposed new dwellings must be connected to reticulated systems, and connected as soon as possible during construction.

A condition is recommended requiring the recommendations of the landslide report to be implemented. Subject to this condition, the exercise of discretion is recommended.

6.10.6 The proposal complies with the performance criterion.

6.11 Parking and Access Code Part E 6.7.2 P1, E6.7.3P1, E.6.7.5P1

- 6.11.1 The acceptable solution at clause E6.7.2A1 requires 2.5m x 2.5m sight triangles abutting the driveway to be kept clear of obstructions to visibility.

The acceptable solution at clause E6.7.3A1 requires a vehicle passing area must be provided if an access is greater than 30m in length.

The acceptable solution at clause E6.7.5P1 requires layout of parking areas to satisfy the standards specified within AS/NZS AS/NZS 2890.1:2004 Parking Facilities Part 1: Off-street car parking.

- 6.11.2 The proposal includes:

- 2.5m x 2.5m sight triangle which is not kept clear of obstructions to visibility due to the proposed vehicle barrier and blockwork retaining walls;
- a vehicle access greater than 30m in length. No passing bay is proposed
- the plans submitted do not provide sufficient information in relation to parking space dimensions, design envelope, transitions and gradients in order for the application to be assessed against the acceptable solution.

- 6.11.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.

- 6.11.4 The performance criterion at clause E6.7.2P1, E 6.7.3P1 and E6.7.5P1 provides as follows:

6.7.2P1 (Design of Vehicular Accesses)

Design of vehicle access points must be safe, efficient and convenient, having regard to all of the following:

- (a) avoidance of conflicts between users including vehicles, cyclists and pedestrians;*
- (b) avoidance of unreasonable interference with the flow of traffic on adjoining roads;*
- (c) suitability for the type and volume of traffic likely to be generated by the use or development;*
- (d) ease of accessibility and recognition for users.*

6.7.3P1 (Vehicular Passing Areas Along an Access)

Vehicular passing areas must be provided in sufficient number, dimension and siting so that the access is safe, efficient and convenient, having regard to all of the following:

- (a) avoidance of conflicts between users including vehicles, cyclists and pedestrians;*
- (b) avoidance of unreasonable interference with the flow of traffic on adjoining roads;*
- (c) suitability for the type and volume of traffic likely to be generated by the use or development;*
- (d) ease of accessibility and recognition for users.*

6.7.5P1 (Layout of Parking Areas)

The layout of car parking spaces, access aisles, circulation roadways and ramps must be safe and must ensure ease of access, egress and manoeuvring on-site.

- 611.5 The objective of the layout of the design of vehicular access provisions under the scheme seeks to ensure safe and efficient access for all users, including drivers, passengers, pedestrians and cyclists by locating, designing and constructing vehicle access points safely relative to the road network..

The objective of the vehicular passing areas along an access greater than 30m in length under the scheme seeks to ensure, firstly that the design and location of access and parking areas creates a safe environment for users by minimising the potential for conflicts involving vehicles, pedestrians and cyclists. The second objective is that the use or development does not adversely impact on the safety or efficiency of the road network as a result of delayed turning movements into a site.

The objective of the layout of parking area provisions under the scheme seeks to ensure that parking areas for cars (including assessable parking spaces), motorcycles and bicycles are located, designed and constructed to enable safe, easy and efficient use.

The proposal was referred to Council's Development Engineer, who provided a comprehensive assessment and concluded that based on the submitted documentation and given the low location of the access and driveway, and the low volume of traffic on the road from which the property

gains access the sight lines may be accepted under performance criteria 6.7.2P1.

Secondly, the Development Engineer is satisfied that the lack of a passing bay along the access can be supported under P6.7.3P1 in this instance due to the driveway configuration and the low volume of traffic.

Finally, in terms of the provisions relating to the layout of parking areas, including the car parking space design envelope may be supported under P6.7.5P1, given the driveway configuration. The parking space dimensions and design envelope, transitions and gradient of the driveway to be confirmed by condition, requiring detailed design drawings which will be submitted and assessed via the condition endorsement process.

6.11.6 The proposal complies with the performance criterion.

7. Discussion

- 7.1 Planning approval is sought for Partial Demolition, Alterations, Extension, Two Multiple Dwellings (One Existing, One New), Associated Hydraulic Infrastructure in Council Reserve, at 78 Alexander Street, and 12 French Street, Sandy Bay, and adjacent road reserve.
- 7.2 The application was advertised and no representations were received.
- 7.3 The proposal has been assessed against the relevant provisions of the planning scheme and is considered to perform well.
- 7.4 The proposal has been assessed by other Council officers, including the Council's Development Engineer, Stormwater Services Engineer, Environmental Development Planner, Open Space Planner and Roads Engineer and TasWater. The officers and entity have raised no objection to the proposal, subject to conditions.
- 7.5 The proposal is recommended for approval.

8. Conclusion

- 8.1 The proposed Partial Demolition, Alterations, Extension, Two Multiple Dwellings (One Existing, One New), Associated Hydraulic Infrastructure in Council Reserve, at 78 Alexander Street, 12 French Street, Sandy Bay, and adjacent road reserve satisfies the relevant provisions of the *Hobart Interim Planning Scheme 2015*, and as such is recommended for approval.

9. Recommendations

That: Pursuant to the *Hobart Interim Planning Scheme 2015*, the Council approve the application for Partial Demolition, Alterations, Extension, Two Multiple Dwellings (One Existing, One New), Associated Hydraulic Infrastructure in Council Reserve, at 78 Alexander Street, 12 French Street, Sandy Bay and adjacent road reserve, for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

GEN

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-21-763 78 ALEXANDER STREET SANDY BAY TAS 7005 - Final Planning Documents except where modified below.

Reason for condition

To clarify the scope of the permit.

TW

The use and/or development must comply with the requirements of TasWater as detailed in the form Amended Submission to Planning Authority Notice, Reference No. TWDA 2022/00114-HCC dated 18/2/2022 as attached to the permit.

Reason for condition

To clarify the scope of the permit.

ENG sw1

All stormwater from the proposed development (including but not limited to: roofed areas, ag drains, retaining wall ag drains and impervious surfaces such as driveways and paved areas) must be drained to the Council's stormwater infrastructure prior to first occupation or commencement of use (whichever occurs first).

Advice: Under section 23 of the Urban Drainage Act 2013 it is an offence for a property owner to direct stormwater onto a neighbouring property.

Reason for condition

To ensure that stormwater from the site will be discharged to a suitable Council approved outlet.

SW 6

The new stormwater infrastructure must be designed and constructed prior to occupancy or the commencement of the approved use (whichever occurs first).

The new stormwater connection within the French St Reserve / Proctors Rivulet riparian zone must be extended to a new headwall with adequate erosion control. These works must be designed and constructed prior to the commencement of the approved use or issue of any completion (whichever occurs first).

Prior to the issuing of any approval under the Building Act 2016 or commencement of works (whichever occurs first), detailed engineering drawings of the infrastructure must be submitted and approved as a Condition Endorsement. The detailed engineering drawings must be certified by a suitably qualified and experienced civil engineer and must:

- 1. be substantially in accordance with the Local Government Association of Tasmania: Tasmanian Municipal Standard Drawings (December 2020), as varied by the City of Hobart's published departures from those Drawings;**
- 2. the size and design of the connection such that it is appropriate to safely service the development;**
- 3. long-sections of the proposed connection clearly showing clearances from any nearby services, cover, size, material and delineation of public and private infrastructure (Plan C05 shows infrastructure on public land as private);**
- 4. include a long section of the pipe and headwall**
- 5. detail adequate erosion and scour protection at the drainage outfall point, including measures to ensure the outfall complements the natural values of the rivulet.**

All work required by this condition must be undertaken in accordance with the approved detailed engineering drawings.

Advice:

This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.

The construction of the stormwater connection from the rear boundary to the headwall will require a permit from the open space planning team. Please contact them for details via 6238 2711.

ENG 2a

Prior to first occupation or commencement of use (whichever occurs first), vehicular barriers compliant with the Australian Standard AS/NZS 1170.1:2002 must be installed to prevent vehicles running off the edge of an access driveway or parking module (parking spaces, aisles and manoeuvring area) where the drop from the edge of the trafficable area to a lower level is 600mm or greater, and wheel stops (kerb) must be installed for drops between 150mm and 600mm. Barriers must not limit the width of the driveway access or parking and turning areas approved under the permit.

Advice:

The Council does not consider a slope greater than 1 in 4 to constitute a lower level as described in AS/NZS 2890.1:2004 Section 2.4.5.3. Slopes greater than 1 in 4 will require a vehicular barrier or wheel stop.

Designers are advised to consult the [National Construction Code 2016](#) to determine if pedestrian handrails or safety barriers compliant with the Code are also required in the parking module this area may be considered as a path of access to a building.

Reason for condition

To ensure the safety of users of the access driveway and parking module and compliance with the standard.

ENG 2b

Further detailed designs are required for vehicle barriers in the following locations:

- 1. Driveway**
- 2. Parking areas (where required)**

This documentation must be submitted and approved as a condition endorsement, prior to the issuing of any approval under the *Building Act 2016*.

The detailed designs must:

- 1. be prepared and certified by a suitably qualified engineer;**

2. be in accordance with the Australian Standard AS/NZS 1170.1:2002, if possible;
3. show [dimensions, levels, gradients & transitions], and other details as Council deem necessary to satisfy the above requirement; and
4. show the extent of proposed vehicle safety barriers, where required to satisfy AS/NZS 2890.1:2004 Section 2.4.5.3, clearly specifying heights of drops from the driveway / parking area to lower levels where vehicle safety barriers and/or wheelstops are not required.

The vehicle barriers must be installed in accordance with the approved detailed designs prior to first occupation / commencement of use.

Advice:

This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.

Reason for condition

To ensure the safety of users of the access driveway and parking module and compliance with the standard.

ENG 2c

Prior to the first occupation, a suitably qualified engineer must certify that the vehicle barriers have been installed in accordance design drawings approved by Condition ENG 2b.

Advice:

An example certificate is available on our [website](#).

Reason for condition

To ensure the safety of users of the access driveway and parking module and compliance with the relevant standards.

ENG 3b

The following aspects of the access driveway and parking areas require further detailed designs:

1. Plan view and long section along the proposed driveway centreline and inside wheel paths from the highway reservation to each parking space, showing the gradient and elevation finished surface level and existing natural surface level; including transitions at change of grades, where required to comply with AS/NZS 2890.1:2004 Section 2.5.3(d);
2. Plan view showing standard single turn B85 swept paths (including 300mm manoeuvring clearance) into and out of all the proposed car parking space(s), ensuring swept paths do not conflict with adjacent parking spaces, structures or fixed objects (e.g. retaining walls / vehicular barriers);
3. Plan view showing the extent of proposed vehicle safety barriers, where required to satisfy AS/NZS 2890.1:2004 Section 2.4.5.3, clearly specifying heights of drops from the driveway / parking area to lower levels where vehicle safety barriers and/or wheelstops are not required; and
4. Plan view showing car parking space widths abutting walls or obstructions indicating a further 300 mm clearance for door opening.

This documentation must be submitted and approved as a condition endorsement, prior to the issuing of any approval under the *Building Act 2016*.

The detailed designs must:

1. be prepared and certified by a suitably qualified engineer;
2. be in accordance with the Australian Standard AS/NZS 2890.1:2004, if possible;
3. where the design deviates from AS/NZS 2890.1:2004 the designer must demonstrate that the design will provide a safe and efficient access, and enable safe, easy and efficient use; and
4. show [dimensions, levels, gradients and transitions], and other details as Council deem necessary to satisfy the above requirement.

The access driveway and parking area must be constructed in accordance with the approved detailed designs prior to first occupation.

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

ENG 3c

Prior to the first occupation / commencement of use, a suitably qualified engineer must certify that the access driveway and parking areas have been constructed in accordance with design drawings approved by Condition ENG 3b.

Advice:

We strongly encourage you to speak to your engineer before works begin so that you can discuss the number and nature of the inspections they will need to do during the works in order to provide this certification. It may be necessary for a surveyor to also be engaged to ensure that the driveway will be constructed as approved.

The reason this condition has been imposed as part of your planning permit is that the driveway is outside the Australian Standard gradients or design parameters. If the driveway is not constructed as it has been approved then this may mean that the driveway will either be unsafe or will not function properly.

An example certificate is available on our [website](#).

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

ENG 4

The access driveway and parking module (car parking spaces, aisle and manoeuvring areas) approved by this permit must be constructed to a sealed standard (spray seal, asphalt, concrete, pavers or equivalent Council approved) and surface drained to the Council's stormwater infrastructure prior to the first occupation / commencement of use.

Reason for condition

To ensure the safety of users of the access driveway and parking module, and that it does not detract from the amenity of users, adjoining occupiers or the environment by preventing dust, mud and sediment transport.

ENG 5

The number of car parking spaces approved to be used on the site is four (4).

Reason for condition

To ensure the provision of parking for the use is safe and efficient.

ENG 1

Any damage to council infrastructure resulting from the implementation of this permit, must, at the discretion of the Council:

- 1. Be met by the owner by way of reimbursement (cost of repair and reinstatement to be paid by the owner to the Council); or**
- 2. Be repaired and reinstated by the owner to the satisfaction of the Council.**

A photographic record of the Council's infrastructure adjacent to the subject site must be provided to the Council prior to any commencement of works.

A photographic record of the Council's infrastructure (e.g. existing property service connection points, roads, buildings, stormwater, footpaths, driveway crossovers and nature strips, including if any, pre-existing damage) will be relied upon to establish the extent of damage caused to the Council's infrastructure during construction. In the event that the owner/developer fails to provide to the Council a photographic record of the Council's infrastructure, then any damage to the Council's infrastructure found on completion of works will be deemed to be the responsibility of the owner.

Reason for condition

To ensure that any of the Council's infrastructure and/or site-related service connections affected by the proposal will be altered and/or reinstated at the owner's full cost.

ENV 8

All recommended risk mitigation measures in the landslide risk assessment by Geo-Environmental Solutions dated March 2022 must be implemented including:

- All cuts must be retained with suitably engineered and drained retaining walls with topography and neighbouring properties taken into consideration. Foundations of retaining walls should extend into the underlying natural materials with bearing capacities in exceedance of 100kPa. This must be checked by a geotechnical engineer, engineering geologist or the site engineer at the time of construction.**
- All retaining walls must account for upslope drainage above the walls and a grate drain immediately below the walls must be constructed to avoid saturation of site soils below the wall foundations.**
- Use of fill must be limited at the site.**
- All earthworks on site must comply with *AS3798-2007 Guidelines on***

earthworks for commercial and residential developments and a sediment and erosion control plan must be implemented on site during and after construction.

- The proposed development must be constructed generally in accordance with the Australian Geomechanics Society (2007) *Guidelines for Good Hillside Construction Practices* and must be founded within/adequately anchored to the underlying weathered dolerite rock.
- Stormwater from both the existing and proposed new dwellings must be connected to reticulated systems, and connected as soon as possible during construction.

Reason for condition

To reduce the risk to life and property, and the cost to the community, caused by landslides.

ENV 2

Sediment and erosion control measures, in accordance with an approved soil and water management plan (SWMP), must be installed prior to the commencement of work and maintained until such time as all disturbed areas have been stabilised and/or restored or sealed to the Council's satisfaction.

A SWMP must be submitted as a Condition Endorsement prior to the issue of any approval under the *Building Act 2016* or the commencement of work, whichever occurs first. The SWMP must be prepared in accordance with the Soil and Water Management on Building and Construction Sites fact sheets (Derwent Estuary Program, 2008), available [here](#).

All work required by this condition must be undertaken in accordance with the approved SWMP.

Advice: This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.

Reason for Condition

To avoid the pollution and sedimentation of roads, drains and natural watercourses that could be caused by erosion and runoff from the development.

ADVICE

The following advice is provided to you to assist in the implementation of the planning

permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

CONDITION ENDORSEMENT

If any condition requires that further documents are submitted and approved, you will need to submit the relevant documentation to satisfy the condition via the Condition Endorsement Submission on Council's [online services e-planning portal](#). Detailed instructions can be found [here](#).

A fee of 2% of the value of the works for new public assets (stormwater infrastructure, roads and related assets) will apply for the condition endorsement application.

Once approved, the Council will respond to you via email that the condition has been endorsed (satisfied).

Where building approval is also required, it is recommended that documentation for condition endorsement be submitted well before submitting documentation for building approval. Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.

BUILDING PERMIT

You may need building approval in accordance with the *Building Act 2016*. Click [here](#) for more information.

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

PLUMBING PERMIT

You may need plumbing approval in accordance with the *Building Act 2016*, *Building Regulations 2016* and the National Construction Code. Click [here](#) for more information.

OCCUPATION OF THE PUBLIC HIGHWAY

You may require a permit for the occupation of the public highway for construction (e.g. placement of skip bin, crane, scissor lift etc). Click [here](#) for more information.

GENERAL EXEMPTION (TEMPORARY) PARKING PERMITS

You may qualify for a General Exemption permit for construction vehicles i.e. residential or meter parking/loading zones. Click [here](#) for more information.

DRIVEWAY SURFACING OVER HIGHWAY RESERVATION

If a coloured or textured surface is used for the driveway access within the Highway Reservation, the Council or other service provider will not match this on any reinstatement of the driveway access within the Highway Reservation required in the future.

COUNCIL RESERVES

A Public Spaces By-law permit will be required for installation of the new stormwater outfall into French Street Reserve. Information about these permits, and the application form to undertake works in a public space, can be found [here](#).

FEES AND CHARGES

Click [here](#) for information on the Council's fees and charges.

DIAL BEFORE YOU DIG

Click [here](#) for dial before you dig information.

RESIDENTIAL PARKING PERMITS

Multiple dwelling use is not eligible to residential parking permits. Under the current policy for the issuing of residential parking permits, the proposed use would not entitle the property to a residential parking permit.



(Deanne Lang)

Development Appraisal Planner

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.



(Karen Abey)

Manager Development Appraisal

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

Date of Report: 11 May 2022

Attachment(s):

Attachment B - CPC Agenda Documents

Attachment C - Planning Referral Officer Development Engineering Report

Planning: #244992

Property

78 ALEXANDER STREET SANDY BAY TAS 7005

People

Applicant

Melanie Roff
78 Alexander Street
SANDY BAY TAS 7005
0459 112 899
melfinancialcoach@gmail.com

Owner

Melanie Roff
78 Alexander Street
SANDY BAY TAS 7005
0459 112 899
melfinancialcoach@gmail.com

Entered By

MATT GILLEY
0437499238
matt.gilley@bigpond.com

Use

Multiple dwellings

Details

Have you obtained pre application advice?

• Yes

If YES please provide the pre application advice number eg PAE-17-xx

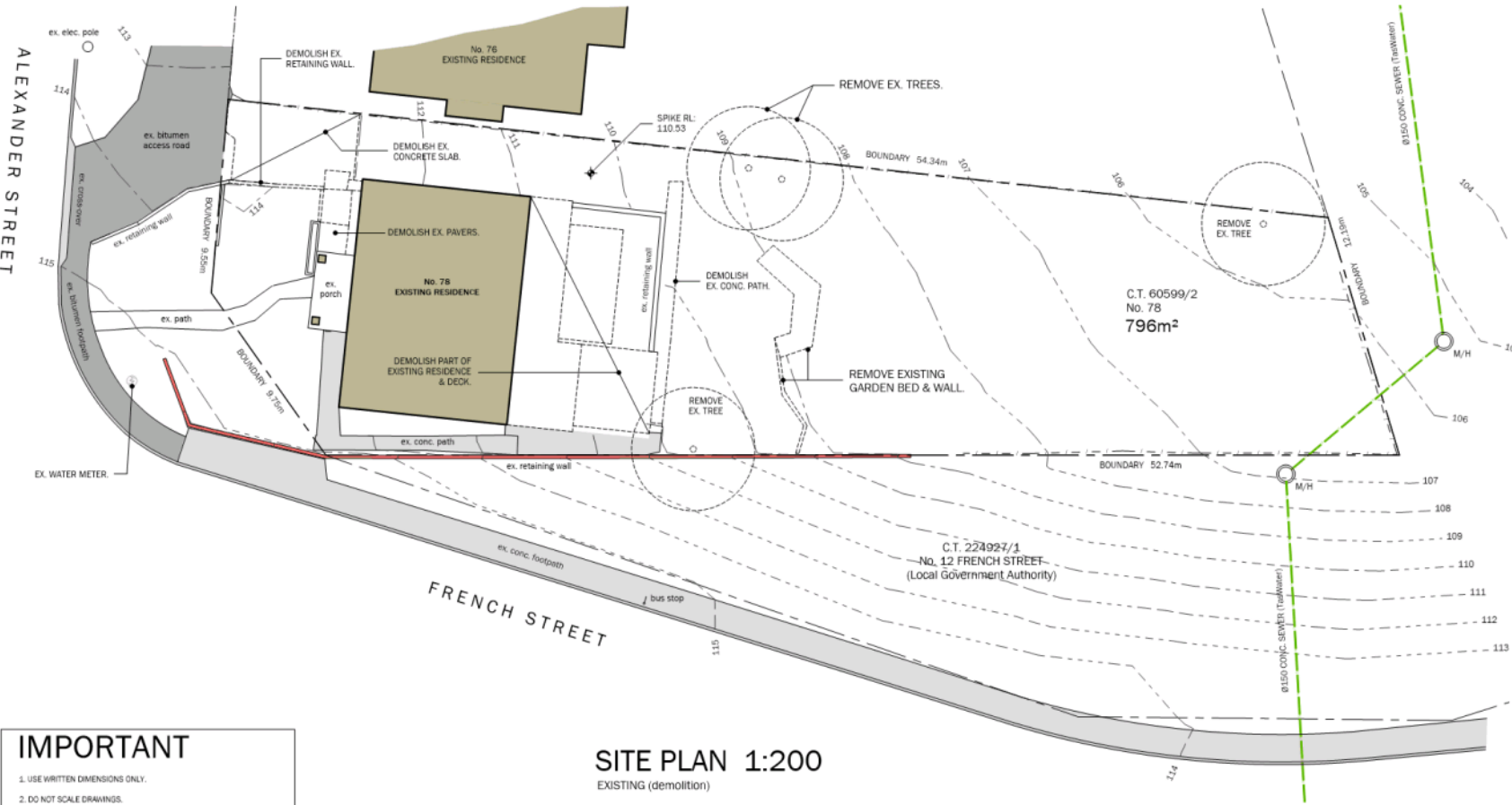
PAE-21-28

Are you applying for permitted visitor accommodation as defined by the State Government Visitor Accommodation Standards? Click on help information button for definition. If you are not the owner of the property you MUST include signed confirmation from the owner that they are aware of this application.

• NO

Is the application for SIGNAGE ONLY? If yes, please enter \$0 in the cost of development, and you must enter the number of signs under Other Details below.

<input checked="" type="radio"/> No		
If this application is related to an enforcement action please enter Enforcement Number		
Details		
What is the current approved use of the land / building(s)?		
Single dwelling		
Please provide a full description of the proposed use or development (i.e. demolition and new dwelling, swimming pool and garage)		
Partial demolition & addition to existing residence + new additional two-storey dwelling		
Estimated cost of development		
75000.00		
Existing floor area (m2)	Proposed floor area (m2)	Site area (m2)
127.97	148.48	794
Carparking on Site		
Total parking spaces		Existing parking spaces
8		1
N/A		<input type="checkbox"/> Other (to select class)
Other Details		
Does the application include signage?		
<input checked="" type="radio"/> No		
How many signs, please enter 0 if there are none involved in this application?		
0		
Tasmania Heritage Register		
Is this property on the Tasmanian Heritage Register?		
<input checked="" type="radio"/> No		
Documents		
Required Documents		
Title (Folio text and Plan and Schedule of Easements)		
CT-60599-2.pdf		
Plans (proposed, existing)		
Drawings - 7R Alexander St, Sandy Bay 041121.pdf		
Covering Letter		
Covering Letter.pdf		



IMPORTANT

1. USE WRITTEN DIMENSIONS ONLY.
2. DO NOT SCALE DRAWINGS.
3. THE CONTRACTOR IS TO CHECK ALL LEVELS, DATUMS, AND DIMENSIONS IN RELATION TO THE DRAWINGS AND THE SITE BEFORE PROCEEDING WITH THE WORK OR SHOP DRAWINGS.
4. ENSURE THAT THIS DRAWING AND ANY ACCOMPANYING DETAILS AND/OR SPECIFICATIONS HAVE BEEN STAMPED AS 'APPROVED' BY THE RELEVANT LOCAL AUTHORITY.
5. THE PROPRIETOR IS TO ENSURE THAT ANY 'CONDITIONS OF APPROVAL' ISSUED BY THE BUILDING SURVEYOR, RELEVANT COUNCIL AND OTHER STATUTORY AUTHORITIES ARE PASSED ON TO THE CONTRACTOR BEFORE CONSTRUCTION BEGINS.
6. MATERIALS AND WORKMANSHIP SHALL CONFORM WITH RELEVANT STANDARDS, BUILDING CODE OF AUSTRALIA AND PRODUCT MANUFACTURERS WRITTEN INSTRUCTIONS.
7. ANY ALTERATION TO THE CONSTRUCTION AND/OR MATERIALS INDICATED IN THESE DRAWINGS IS TO BE APPROVED BY THE DESIGNER, THE ENGINEER, THE BUILDING SURVEYOR, AND THE PROPRIETOR BEFORE PROCEEDING WITH THE WORK.
8. IF IN DOUBT - ASK!! CONTACT THE BUILDING DESIGNER AND/OR RELEVANT CONSULTANT.

SITE PLAN 1:200
EXISTING (demolition)

MATT GILLEY
BUILDING DESIGNER

PO BOX 324 LINDISFARNE
TASMANIA 7015
matt.gilley@bigpond.com
0437 400 238
LICENCE NO. CC5886C

PROJECT:
ADDITIONS & DWELLING
No. 78 ALEXANDER STREET
SANDY BAY
M. ROFF
DATE: **FEB 2022**
PROJECT NO: **1730**

ISSUE/REV:
A. PRELIMINARY ISSUE 30.08.21
B. PRELIMINARY ISSUE 09.09.21
C. PRELIMINARY ISSUE 12.10.21
D. DA ISSUE 04.11.21
E. DA REVISIONS 30.11.21
F. COUNCIL RPL 14.02.22



TITLE:
**SITE PLAN
EXISTING**

SCALE: **1:200 (A3)**
DRAWING NO:

A01
SHEET: **1 OF 22**

MATT GILLEY
BUILDING DESIGNERPO BOX 224 LINDSFARNE
TASMANIA 7015
matt.gilley@bigpond.com
0437 489 238
LICENCE No. 0236860

PROJECT:

**ADDITIONS &
DWELLING**No. 78 ALEXANDER STREET
SANDY BAY

M. ROFF

DATE: FEB 2022
PROJECT No: 1730

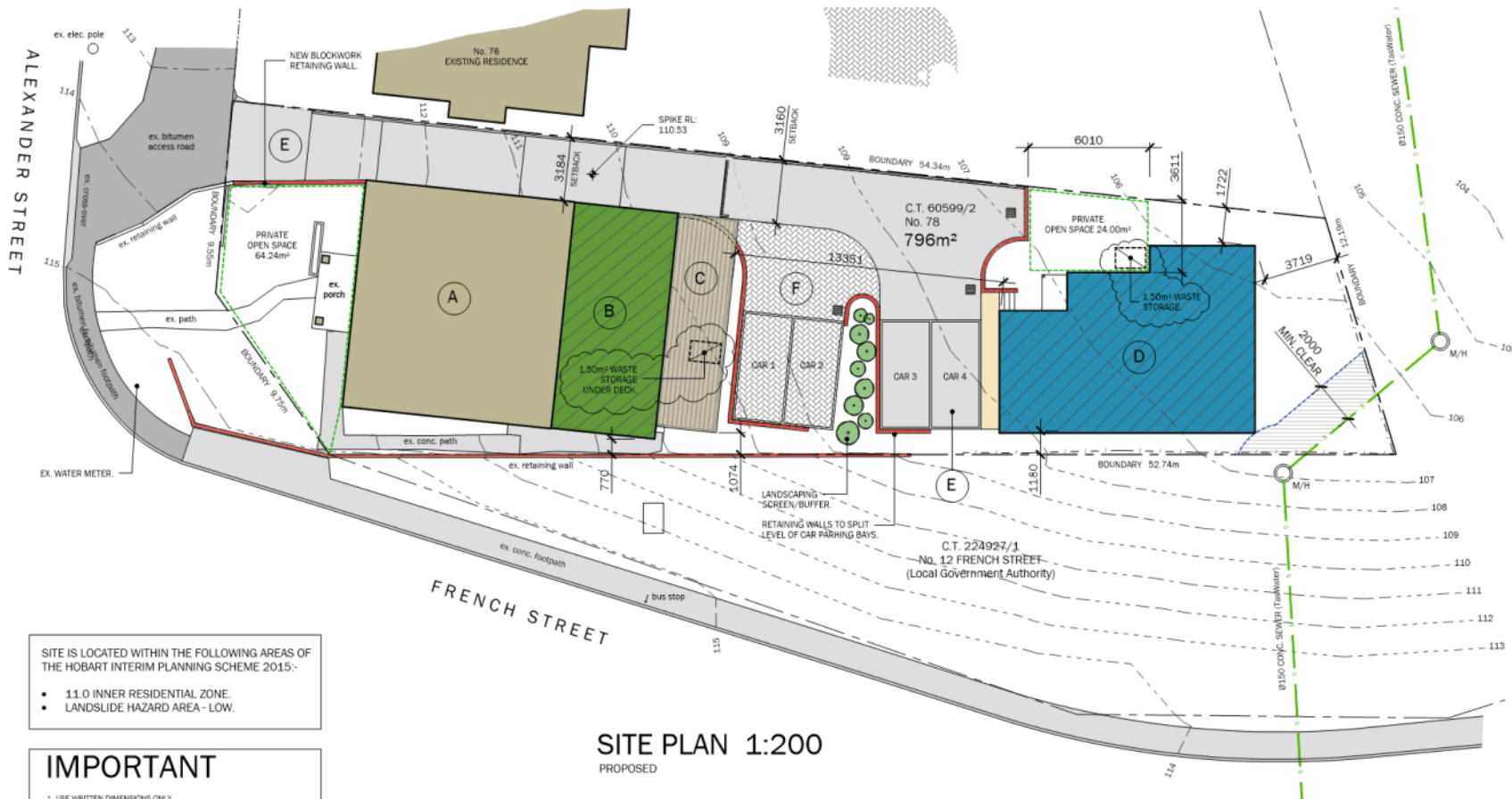
ISSUE/REV:

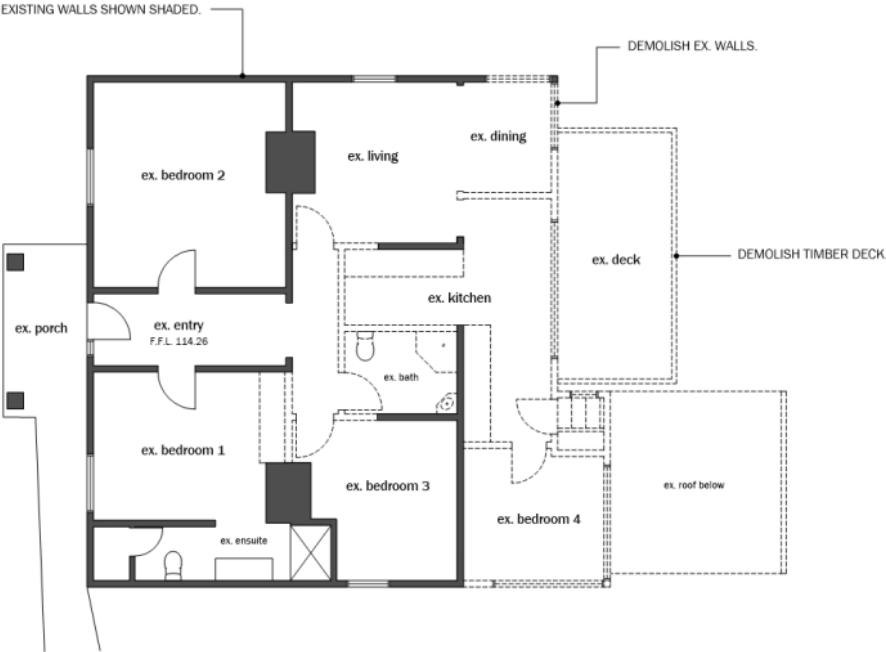
A. PRELIMINARY ISSUE: 30.08.21
B. PRELIMINARY ISSUE: 09.09.21
C. PRELIMINARY ISSUE: 12.10.21
D. DA ISSUE: 04.11.21
E. DA REVISIONS: 30.11.21
F. COUNCIL RFI: 14.02.22
G. COUNCIL RFI: 23.02.22

TITLE:

SITE PLANSCALE: 1:200 (A3)
DRAWING NO:**A01**

SHEET: 1 OF 22





DEMOLITION PLAN 1:100
EXISTING GROUND FLOOR

MATT GILLEY
BUILDING DESIGNER

PO BOX 224 LINDSFARNE
TASMANIA 7015
matt.gilley@bigpond.com
0437 489 258
LICENCE No. GC36860

PROJECT:
ADDITIONS & DWELLING
No. 78 ALEXANDER STREET
SANDY BAY
M. ROFF
DATE: **FEB 2022**
PROJECT No: **1720**

ISSUE/REV:
A. PRELIMINARY ISSUE 30.08.21
B. PRELIMINARY ISSUE 09.09.21
C. PRELIMINARY ISSUE 12.10.21
D. DA ISSUE 04.11.21
E. COUNCIL REF. 14.02.22



TITLE:
DEMOLITION PLAN

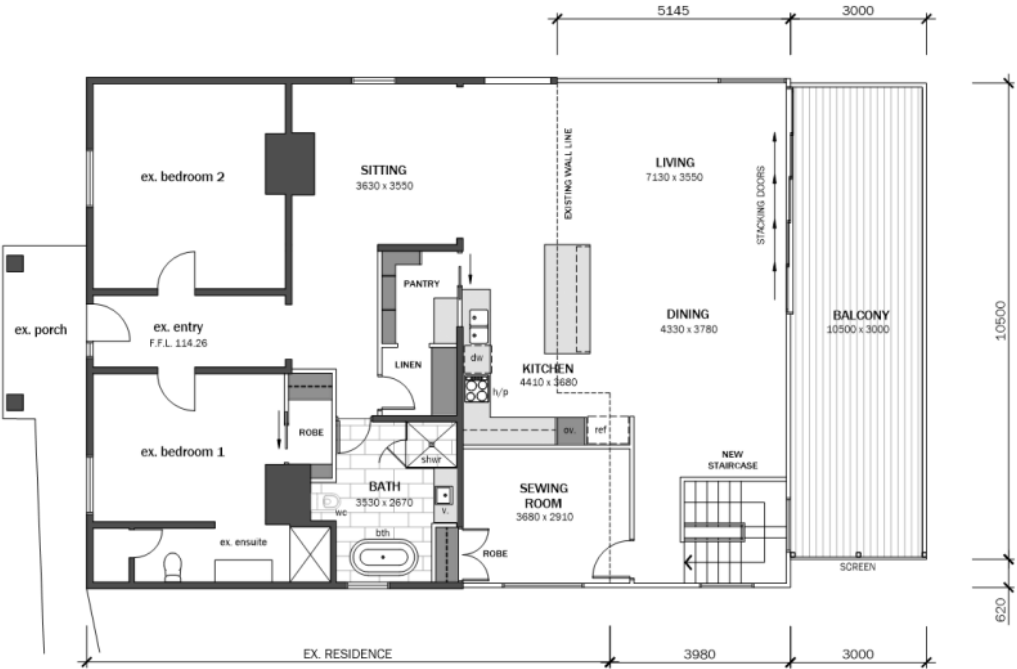
SCALE: **1:100 (A3)**
DRAWING NO:

A03

SHEET: **3 OF 22**



SHEET: **4** OF 22



GROUND FLOOR PLAN 1:100
PROPOSED

MATT GILLEY
BUILDING DESIGNER

PO BOX 524 LINDISFARNE
TASMANIA 7015
matt.gilley@bigpond.com
0437 489 238
LICENCE NO. CC5989C

PROJECT:
ADDITIONS & DWELLING
No. 78 ALEXANDER STREET
SANDY BAY
M. ROFF
DATE: FEB 2022
PROJECT NO. 1739

ISSUE/REV:
A. PRELIMINARY ISSUE 30.08.21
B. PRELIMINARY ISSUE 08.09.21
C. PRELIMINARY ISSUE 09.09.21
D. PRELIMINARY ISSUE 12.10.21
E. PRELIMINARY ISSUE 23.10.21
F. DA ISSUE 04.11.21
G. COUNCIL REF. 14.02.22

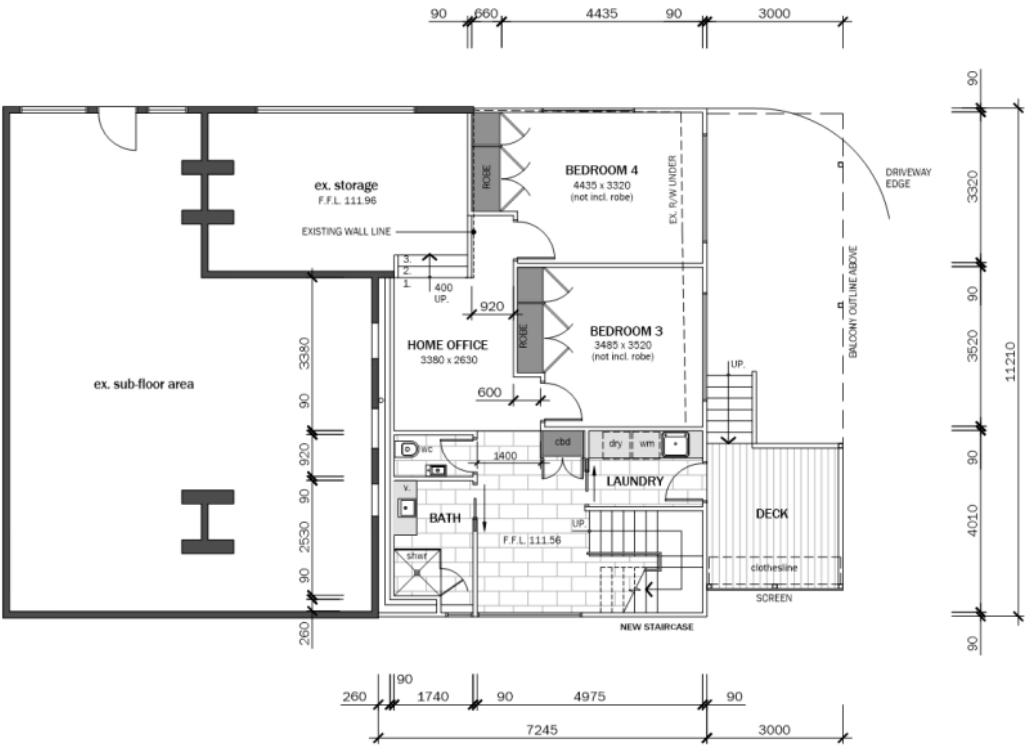


TITLE:
GROUND FLOOR PLAN

SCALE: 1:100 (A3)
DRAWING NO.

A05

SHEET: 5 OF 22



LOWER GROUND FLOOR PLAN 1:100
PROPOSED

MATT GILLEY
BUILDING DESIGNER

PO BOX 234 LINDISFARNE
TASMANIA 7015
matt.gilley@bigpond.com
0437 499 238
LICENCE No. CC30080

PROJECT:
**ADDITIONS &
DWELLING**
No. 78 ALEXANDER STREET
SANDY BAY
M. ROFF
DATE: **FEB 2022**
PROJECT No. **1739**

ISSUE-REV:
A. PRELIMINARY ISSUE 30.08.21
B. PRELIMINARY ISSUE 08.09.21
C. PRELIMINARY ISSUE 09.09.21
D. PRELIMINARY ISSUE 12.10.21
E. PRELIMINARY ISSUE 25.10.21
F. DA ISSUE 04.11.21
G. COUNCIL RPL 14.02.22



TITLE
**LOWER GROUND
FLOOR PLAN**

SCALE: **1:100 (A3)**
DRAWING No.

A06

SHEET: **6 OF 22**

MATT GILLEY
BUILDING DESIGNER

PO BOX 224 LINDSFARNE
TAMAMBA 7015
matt.gilley@bigpond.com
0437 499 238
LICENCE NO. CCS00862

PROJECT:
ADDITIONS & DWELLING

No. 78 ALEXANDER STREET
SANDY BAY

M. ROFF

DATE: FEB 2022
PROJECT NO: 1730

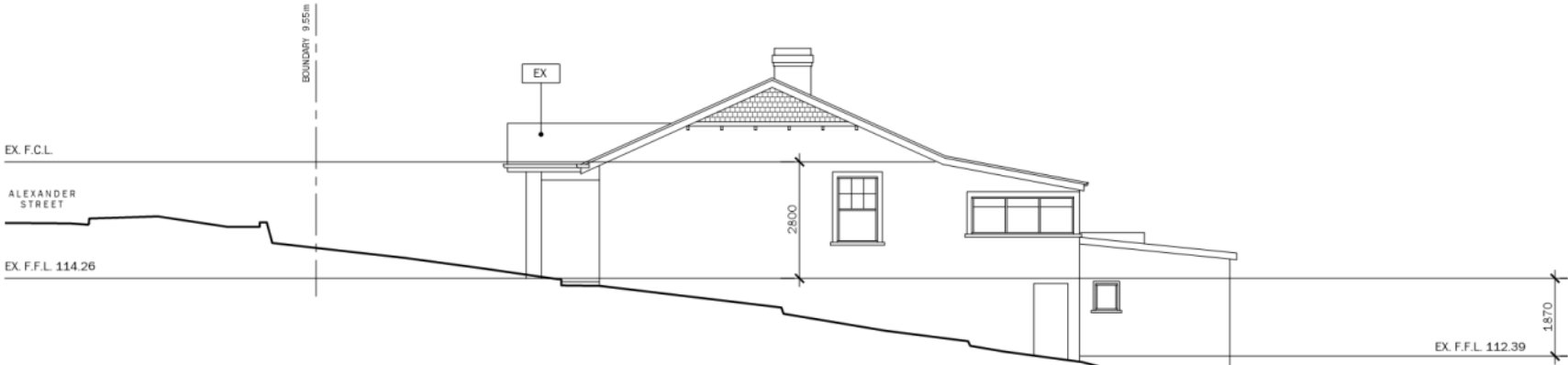
ISSUE/REV:
A. PRELIMINARY ISSUE: 12.10.21
B. PRELIMINARY ISSUE: 25.10.21
C. DA ISSUE: 04.11.21
D. COUNCIL RFR: 14.02.22

TITLE:
EXTERIOR ELEVATIONS

SCALE: 1:100 (A3)
DRAWING NO:

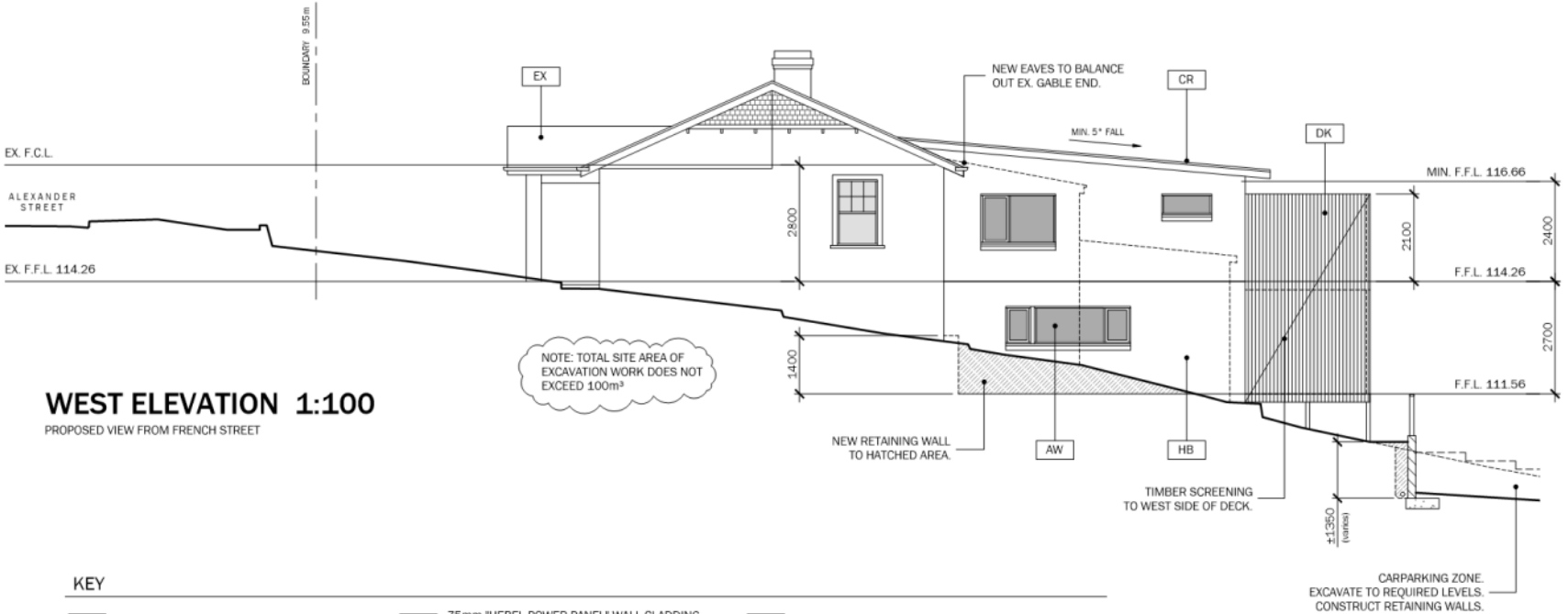
A07

SHEET: 7 OF 22



WEST ELEVATION 1:100

EXISTING VIEW FROM FRENCH STREET



WEST ELEVATION 1:100

PROPOSED VIEW FROM FRENCH STREET

KEY

- | | | |
|--|--|---|
| EX EXISTING WEATHERBOARD RESIDENCE. | HB 75mm "HEBEL POWER PANEL" WALL CLADDING. APPLIED TEXTURE COAT FINISH. | DK TIMBER & STEEL FRAMED DECK. GLASS BALUSTRADE. |
| CR "CUSTOM ORB" CORRUGATED ROOF SHEETING. 1.15mm "D" GUTTERING, COLORBOND RIDGE & BARGE CAPPINGS. COLORBOND FINISH. | AW ALUMINIUM WINDOW FRAMES. DOUBLE GLAZED. POWDERCOAT FINISH. | |



SOUTH ELEVATION 1:100
EXISTING



SOUTH ELEVATION 1:100
PROPOSED

KEY

- EX EXISTING WEATHERBOARD RESIDENCE.
- CR "CUSTOM ORB" CORRUGATED ROOF SHEETING, 115mm "D" GUTTERING, COLORBOND RIDGE & BARGE CAPPINGS. COLORBOND FINISH.
- HB 75mm "HEBEL POWER PANEL" WALL CLADDING. APPLIED TEXTURE COAT FINISH.
- AW ALUMINIUM WINDOW FRAMES. DOUBLE GLAZED. POWDERCOAT FINISH.
- DK TIMBER & STEEL FRAMED DECK. GLASS BALUSTRADE.

NOTE: TOTAL SITE AREA OF
EXCAVATION WORK DOES NOT
EXCEED 100m³

MATT GILLEY
BUILDING DESIGNER

PO BOX 224 LINDSFARNE
TASMANIA 7015
matt.gilley@bigpond.com
0437 499 238
LICENCE NO. CC58886C

PROJECT:
ADDITIONS & DWELLING
No 78 ALEXANDER STREET
SANDY BAY
M. ROFF
DATE: **FEB 2022**
PROJECT NO: **1730**

ISSUE/REV:
A. PRELIMINARY ISSUE 12.10.21
B. PRELIMINARY ISSUE 23.10.21
C. DA ISSUE 04.11.21
D. COUNCIL RPL 14.02.22

TITLE:
**EXTERIOR
ELEVATIONS**

SCALE: **1:100 (A3)**
DRAWING NO:

A08

SHEET: **8 OF 22**

MATT GILLEY
BUILDING DESIGNER

PO BOX 524 LINDISFARNE
TASMANIA 7015
matt.gilley@bigpond.com
0437 460 036
LICENCE No. CC50890C

PROJECT:
ADDITIONS &
DWELLING

No. 78 ALEXANDER STREET
SANDY BAY

M. ROFF

DATE: FEB 2022
PROJECT NO: 1780

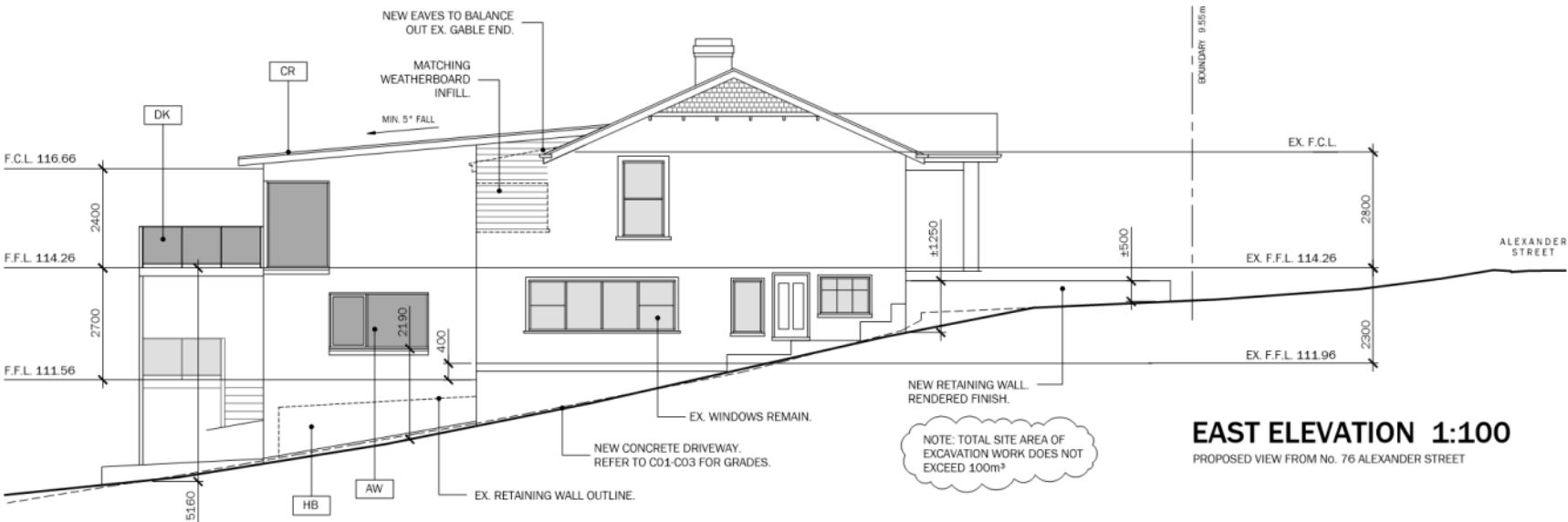
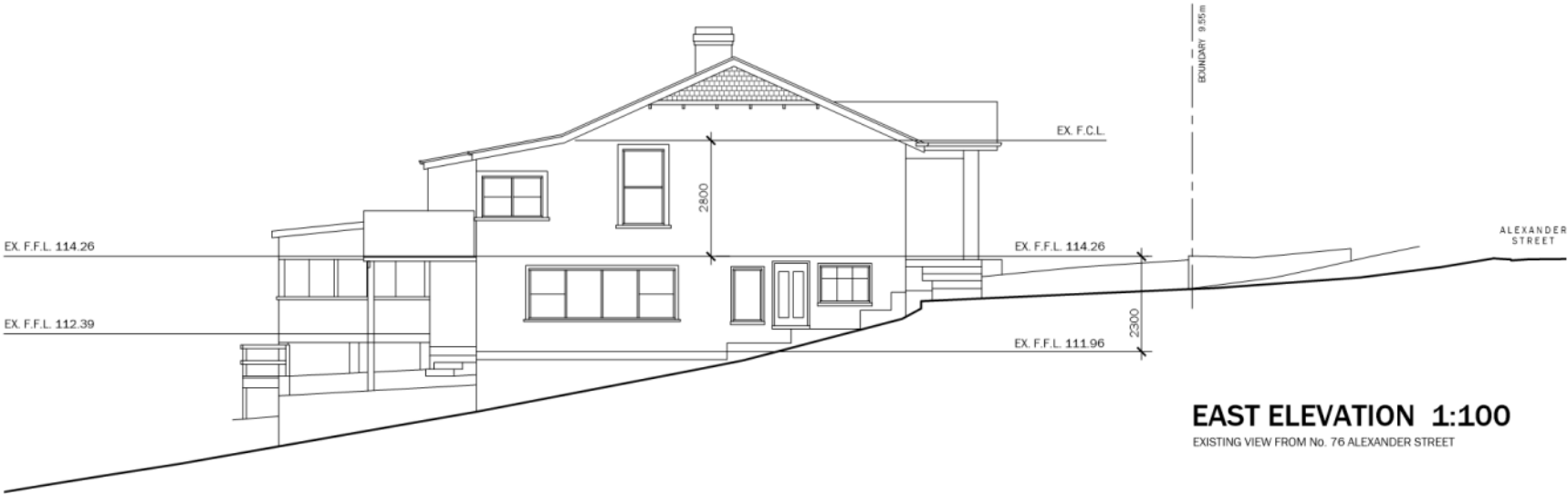
ISSUE/REV:
A. PRELIMINARY ISSUE 12.10.21
B. PRELIMINARY ISSUE 25.10.21
C. DA ISSUE 04.11.21
D. COUNCIL RFL 14.02.22

TITLE:
EXTERIOR
ELEVATIONS

SCALE: 1:100 (A3)
DRAWING NO:

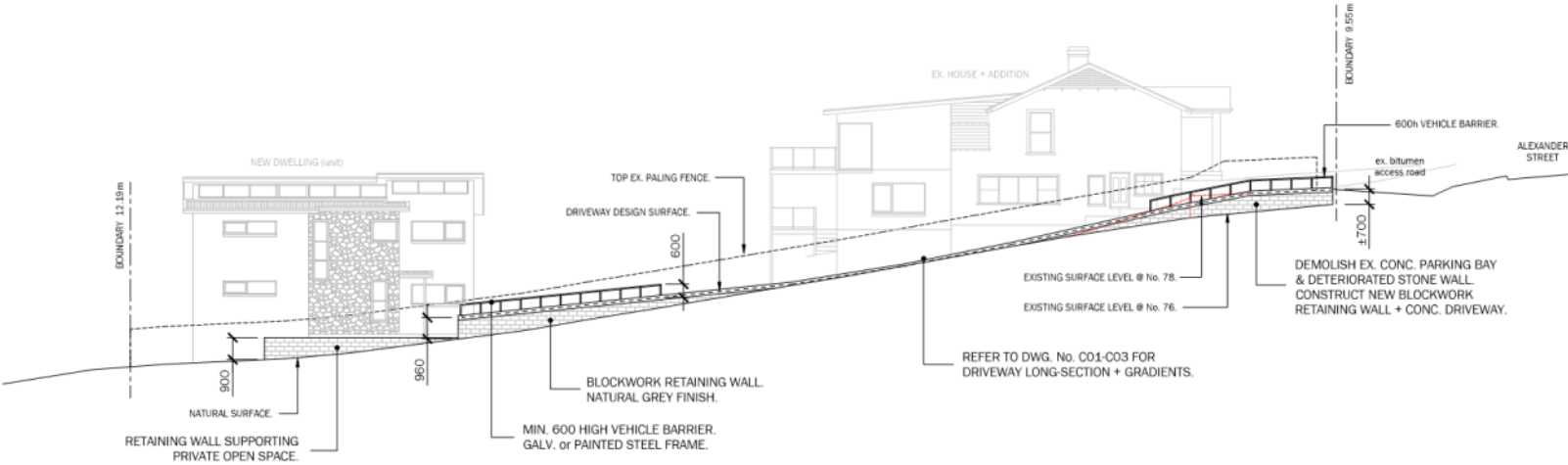
A09

SHEET: 9 OF 22



KEY

- | | | | | | |
|----|---|----|--|----|---|
| EX | EXISTING WEATHERBOARD RESIDENCE. | HB | 75mm "HEBEL POWER PANEL" WALL CLADDING. APPLIED TEXTURE COAT FINISH. | DK | TIMBER & STEEL FRAMED DECK. GLASS BALUSTRADE. |
| CR | "CUSTOM ORB" CORRUGATED ROOF SHEETING. 115mm 'D' GUTTERING. COLORBOND RIDGE & BARGE CAPPINGS. COLORBOND FINISH. | AW | ALUMINIUM WINDOW FRAMES. DOUBLE GLAZED. POWDERCOAT FINISH. | | |



DRIVEWAY ELEVATION 1:200
EAST BOUNDARY - VIEW FROM No. 76 ALEXANDER STREET

MATT GILLEY
BUILDING DESIGNER

PO BOX 224 LINDSFARNE
TASMANIA 7015
matt.gilley@bigpond.com
0437 469 238
LICENCE No. CC5669G

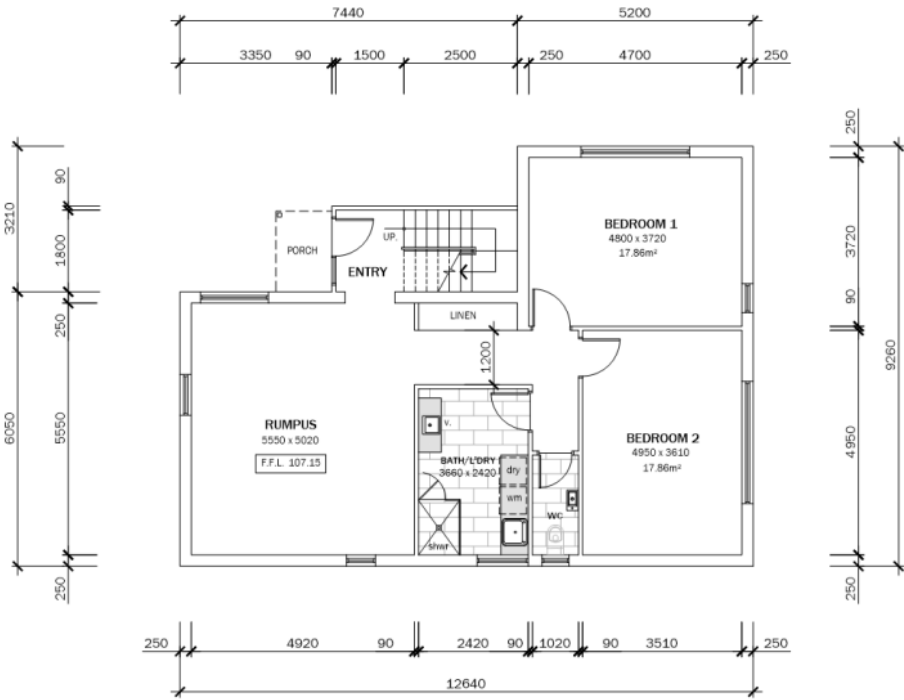
PROJECT:
ADDITIONS & DWELLING
No. 76 ALEXANDER STREET
SANDY BAY
M. ROFF
DATE: **FEB 2022**
PROJECT No. **1720**

ISSUE/REV.
A. DA ISSUE. 04.11.21
B. DA REVISIONS. 30.11.21
C. COUNCIL RL. 14.02.22

TITLE:
DRIVEWAY ELEVATION

SCALE: **1:200 (A3)**
DRAWING No:

A10
SHEET: **10** OF 22



GROUND FLOOR PLAN 1:100
PROPOSED DWELLING - 98.71m²

MATT GILLEY
BUILDING DESIGNER

PO BOX 224 LINDSAY/ARNE
TASMANIA 7015
matt.gilley@bigpond.com
0437 469 238
LICENCE No. CC5888C

PROJECT:
ADDITIONS & DWELLING
No. 78 ALEXANDER STREET
SANDY BAY
M. ROFF
DATE: FEB 2022
PROJECT No. 1730

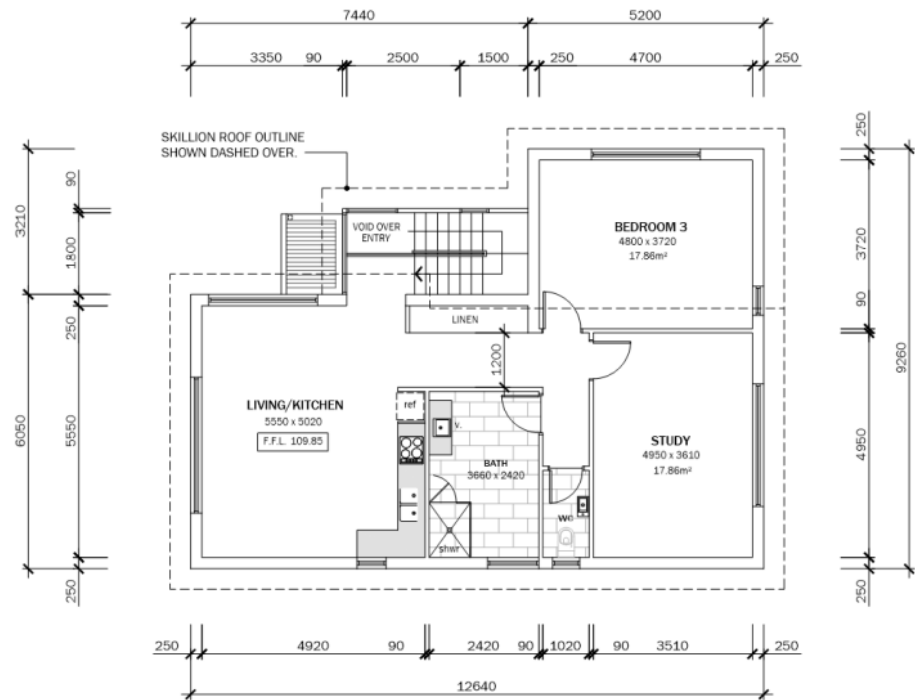
ISSUE/REV:
A. PRELIMINARY ISSUE: 30.08.21
B. PRELIMINARY ISSUE: 09.09.21
C. PRELIMINARY ISSUE: 12.10.21
D. PRELIMINARY ISSUE: 25.10.21
E. DA ISSUE: 04.11.21
F. COUNCIL RL: 14.02.22



TITLE:
**GROUND FLOOR
PLAN - UNIT**

SCALE: 1:100 (A3)
DRAWING No:

A11
SHEET: 11 OF 22



FIRST FLOOR PLAN 1:100
PROPOSED DWELLING - 98.71m²

MATT GILLEY
BUILDING DESIGNER

PO BOX 224 LINDSAYFARNE
TASMANIA 7015
matt.gilley@bigpond.com
0437 490 238
LICENCE No. GC5889C

PROJECT:
ADDITIONS & DWELLING
No. 78 ALEXANDER STREET
SANDY BAY
M. ROFF
DATE: FEB 2022
PROJECT No. 1790

ISSUE/REV:
A. PRELIMINARY ISSUE 30.08.21
B. PRELIMINARY ISSUE 09.09.21
C. PRELIMINARY ISSUE 12.10.21
D. PRELIMINARY ISSUE 25.10.21
E. DA ISSUE 04.11.21
F. COUNCIL RFI 14.02.22



TITLE:
**FIRST FLOOR
PLAN - UNIT**

SCALE: 1:100 (A2)
DRAWING No.

A12

SHEET 12 OF 22

MATT GILLEY
BUILDING DESIGNER

PO BOX 224 LINDSAY PARK
TASMANIA 7015
matt.gilley@bigpond.com
0437 490 258
LICENCE No. CC3888C

PROJECT:
ADDITIONS & DWELLING
No. 78 ALEXANDER STREET
SANDY BAY
M. ROFF
DATE: FEB 2022
PROJECT No. 1790

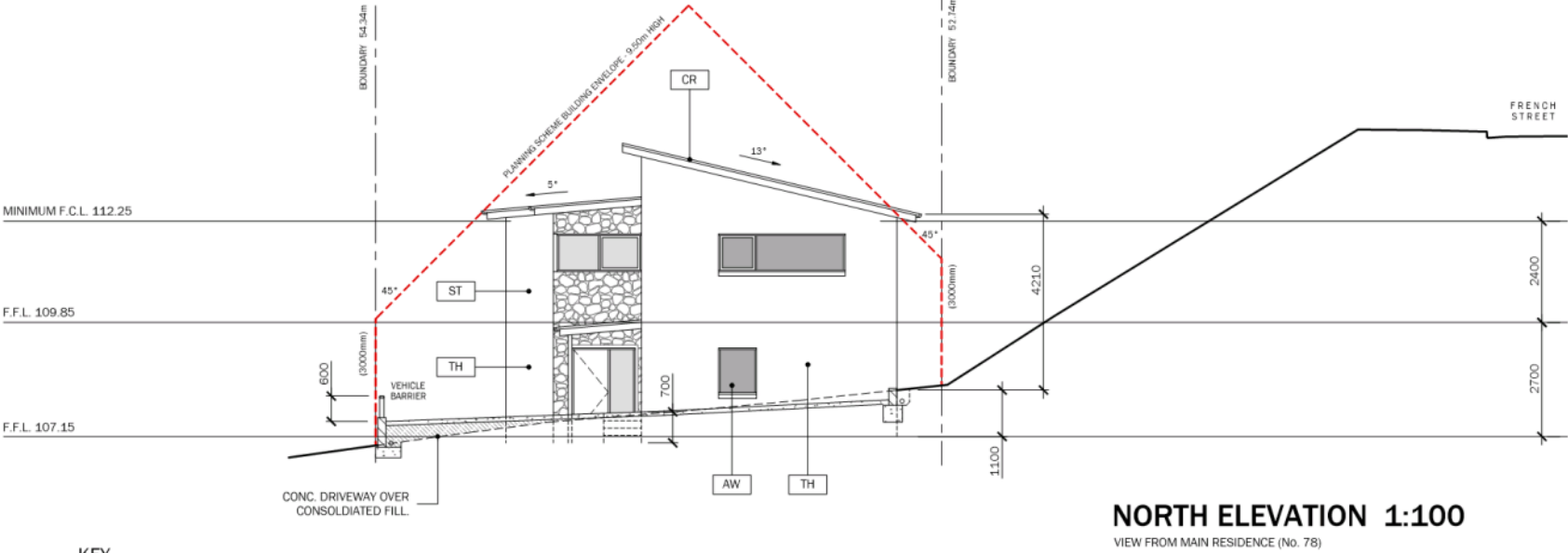
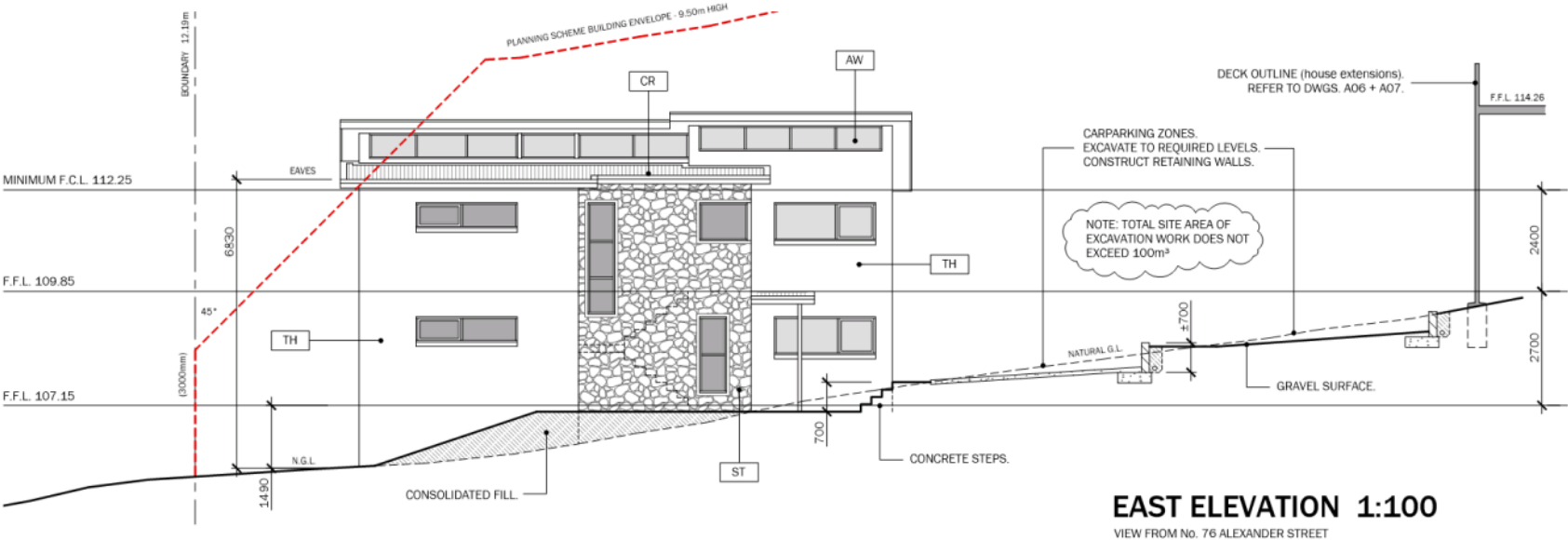
ISSUE/REV:
A. PRELIMINARY ISSUE: 12.10.21
B. PRELIMINARY ISSUE: 25.10.21
C. DA ISSUE: 04.11.21
D. COUNCIL R/R: 14.02.22

TITLE:
**EXTERIOR
ELEVATIONS**

SCALE: 1:100 (A3)
DRAWING NO:

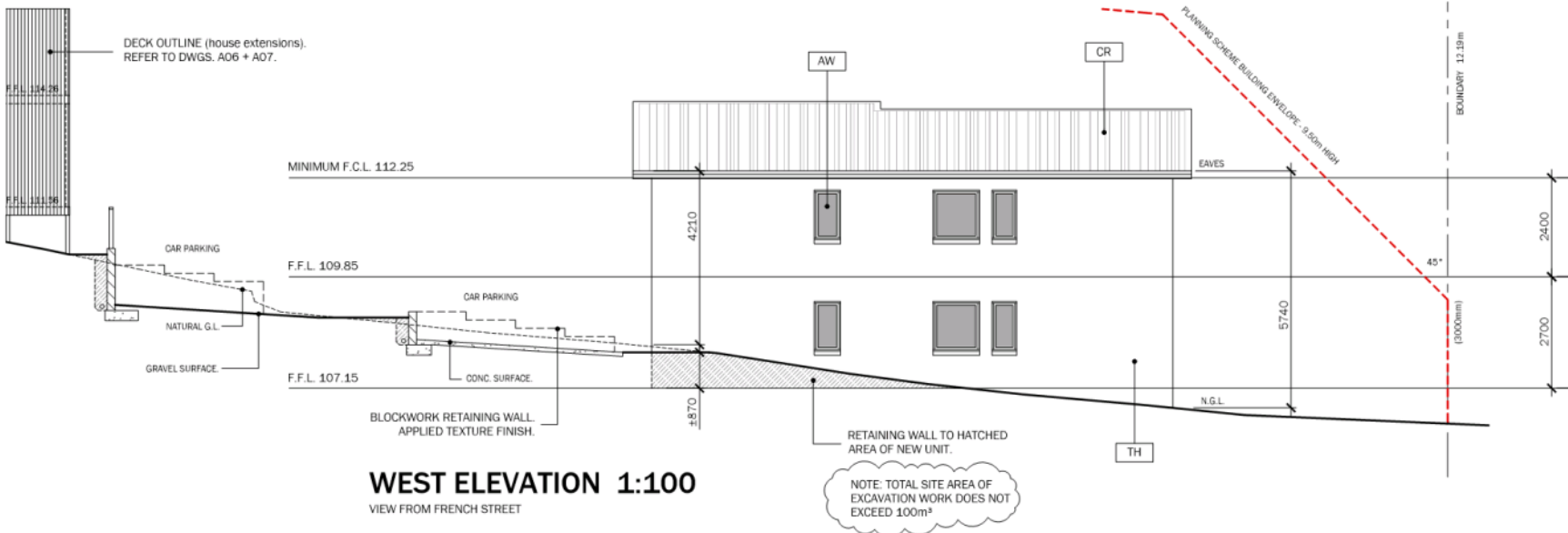
A13

SHEET: 13 OF 22



KEY

TH	250mm POLYSTYRENE 'THERMACELL' REINFORCED CONCRETE WALL. APPLIED RENDER FINISH.	ST	IRREGULAR STONE WALLING OVER FIBRE CEMENT SHEET or 'THERMACELL'.
CR	'CUSTOM ORB' CORRUGATED ROOF SHEETING, 115mm 'D' GUTTERING, COLORBOND RIDGE & BARGE CAPPINGS. COLORBOND FINISH.	AW	ALUMINIUM WINDOW FRAMES. DOUBLE GLAZED. POWDERCOAT FINISH.



WEST ELEVATION 1:100
VIEW FROM FRENCH STREET

MATT GILLEY
BUILDING DESIGNER

PO BOX 224 LINDSFARNE
TASMANIA 7015
matt.gilley@bigpond.com
0437 499 036
LICENCE No. CC5888C

PROJECT:
ADDITIONS & DWELLING
No 78 ALEXANDER STREET
SANDY BAY
M. ROFF
DATE: **FEB 2022**
PROJECT No: **1730**

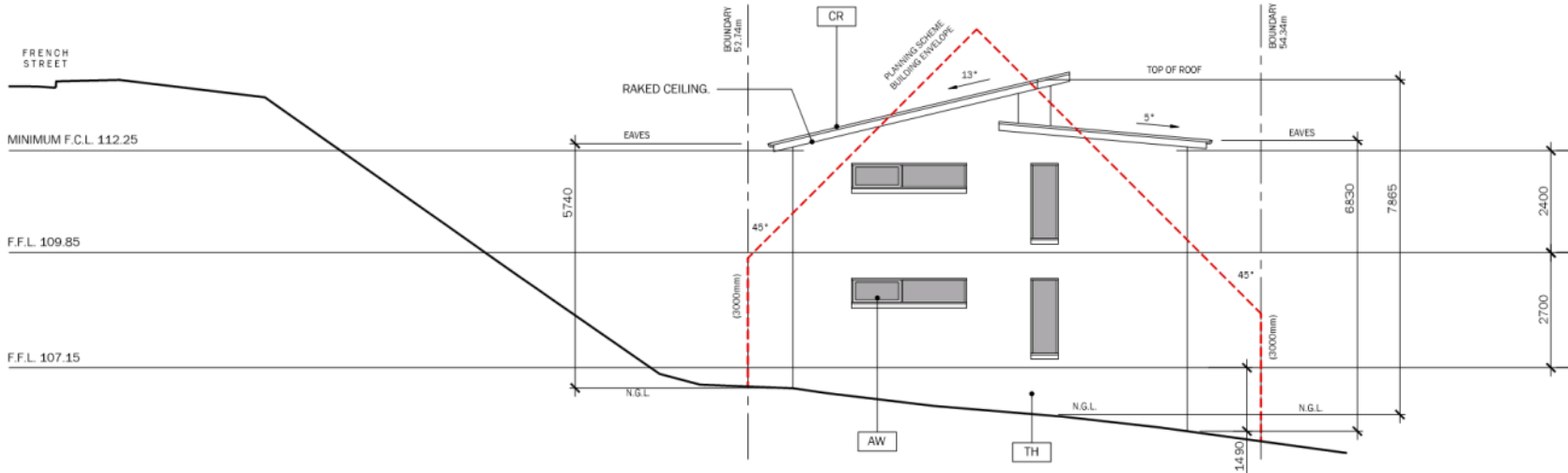
ISSUE REV:
A. PRELIMINARY ISSUE: 12.10.21
B. PRELIMINARY ISSUE: 25.10.21
C. DA ISSUE: 04.11.21
D. COUNCIL RPL: 14.02.22

TITLE:
EXTERIOR ELEVATIONS

SCALE: **1:100 (A3)**
DRAWING No:

A14

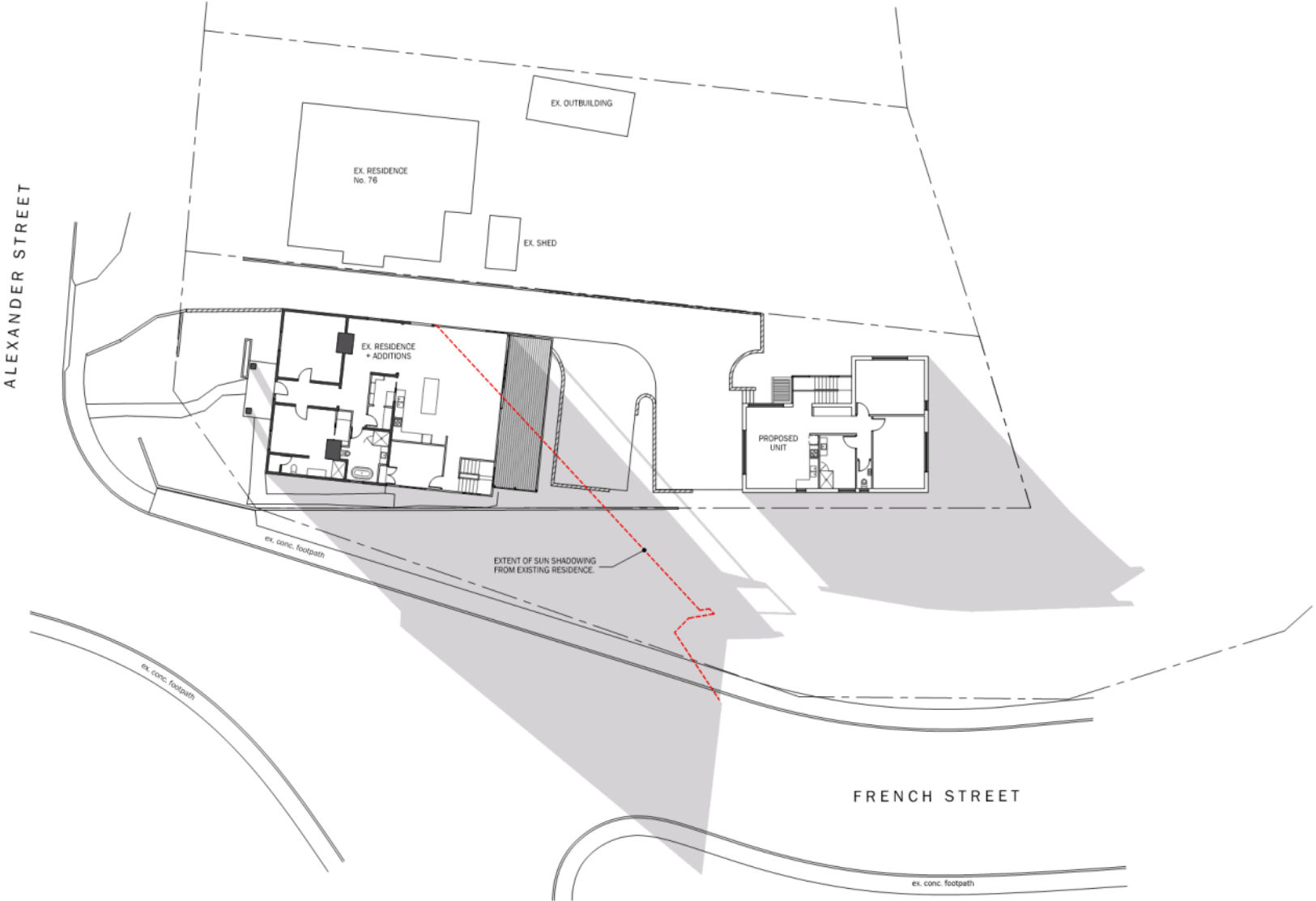
SHEET: **14 OF 22**



SOUTH ELEVATION 1:100
VIEW FROM MAIN RESIDENCE (No. 78)

KEY

TH 250mm POLYSTYRENE 'THERMACELL' REINFORCED CONCRETE WALL. APPLIED RENDER FINISH.	ST IRREGULAR STONE WALLING OVER FIBRE CEMENT SHEET or 'THERMACELL'.
CR *CUSTOM ORB* CORRUGATED ROOF SHEETING, 115mm 'D' GUTTERING, COLORBOND RIDGE & BARGE CAPPINGS. COLORBOND FINISH.	AW ALUMINIUM WINDOW FRAMES. DOUBLE GLAZED. POWDERCOAT FINISH.



SUN SHADOW PLAN 1:200
CAST BY No. 78 - 9am, JUNE 21st

MATT GILLEY
BUILDING DESIGNER

PO BOX 224 LINDISFARNE
TASMANIA 7015
matt.gilley@bigpond.com
0437 489 238
LICENCE No. GC5888C

PROJECT:
ADDITIONS & DWELLING
No. 78 ALEXANDER STREET
SANDY BAY
M. ROFF
DATE: FEB 2022
PROJECT No. 1730

ISSUE/REV:
A. DA ISSUE 04.11.21
B. DA REVISIONS 30.11.21
C. COUNCIL RFL 14.02.22

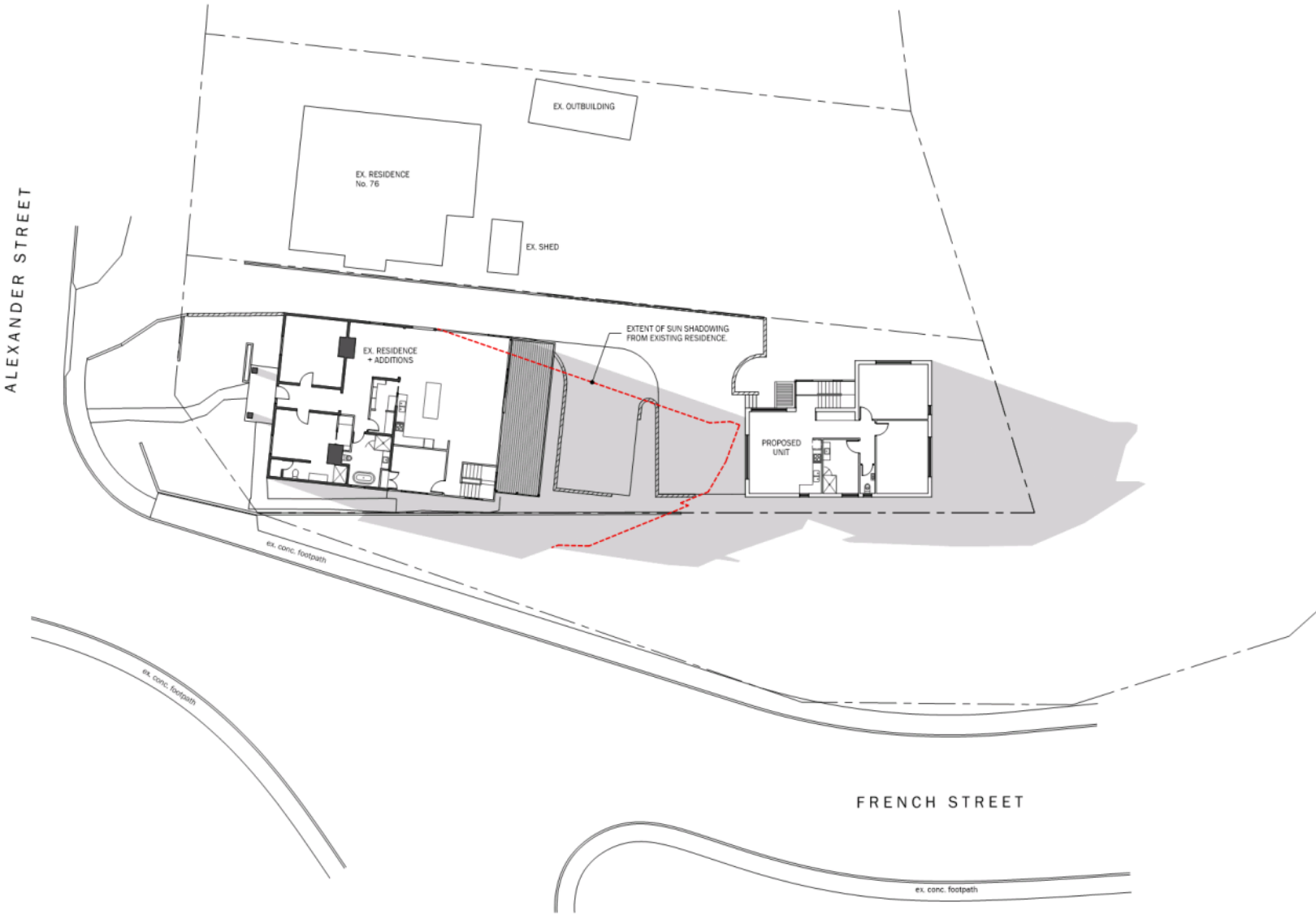


TITLE:
SUN SHADOW PLAN

SCALE: 1:200 (A3)
DRAWING No:

SS01

SHEET: 15 OF 22



SUN SHADOW PLAN 1:200

CAST BY No. 76 - 12pm, JUNE 21st

MATT GILLEY
BUILDING DESIGNER

PO BOX 224 LINDISFAIRIE
TASMANIA 7015
matt.gilley@bigpond.com
0437 489 038
LICENCE No. CC5989C

PROJECT:
ADDITIONS & DWELLING

No. 76 ALEXANDER STREET
SANDY BAY

M. ROFF

DATE: FEB 2022
PROJECT NO: 1720

ISSUE/REV:
A. DA ISSUE 04.11.21
B. DA REVISIONS 30.11.21
C. COUNCIL RFI 14.02.22

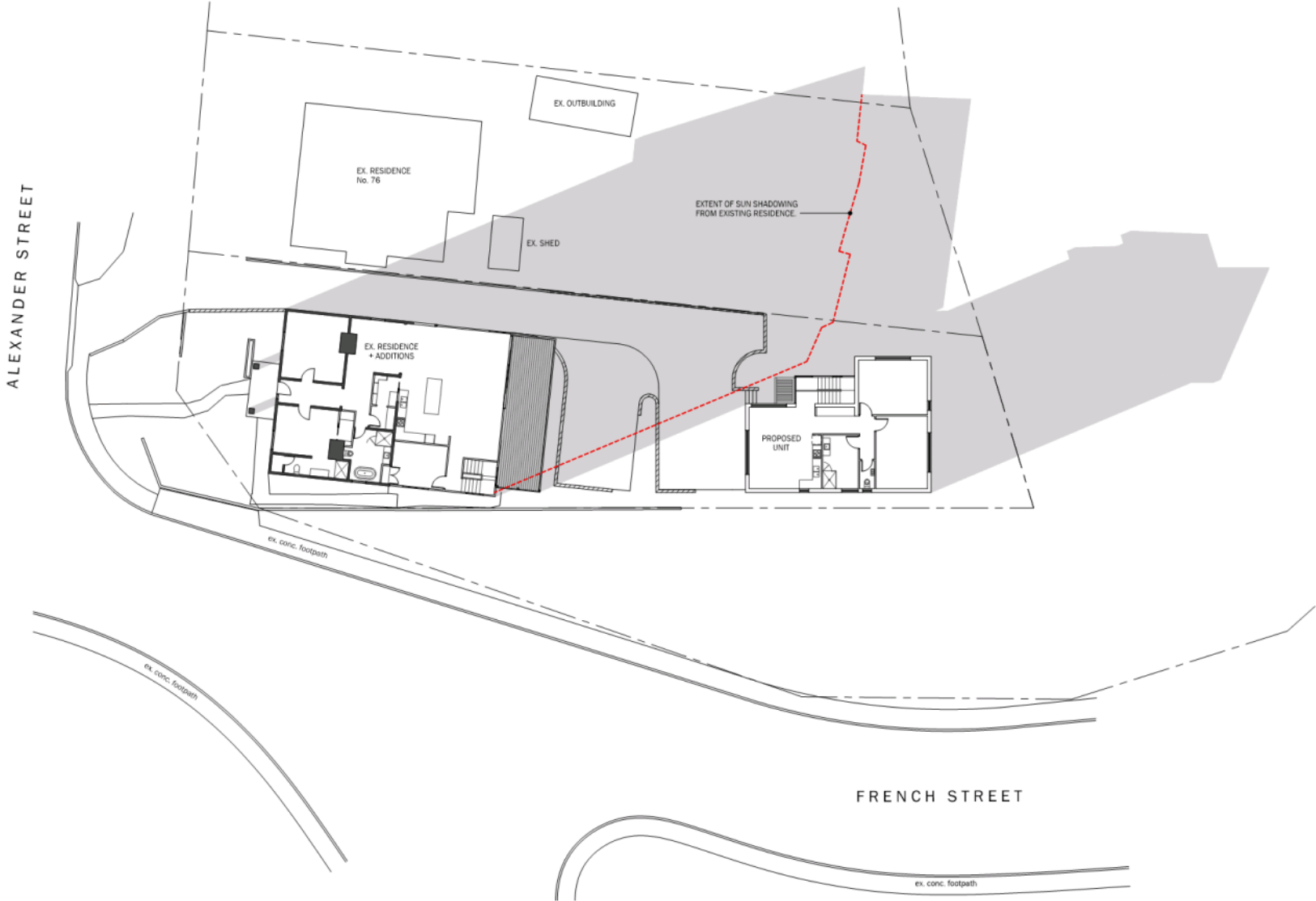


TITLE:
SUN SHADOW PLAN

SCALE: 1:200 (A3)
DRAWING NO:

SS02

SHEET: 16 OF 22



SUN SHADOW PLAN 1:200
CAST BY No. 78 - 3pm, JUNE 21st

MATT GILLEY
BUILDING DESIGNER

PO BOX 224 LINDISFARNE
TASMANIA 7213
matt.gilley@bigpond.com
0437 499 238
LICENCE No. CC55985

PROJECT:
ADDITIONS & DWELLING
No. 78 ALEXANDER STREET
SANDY BAY

M. ROFF
DATE: FEB 2022
PROJECT No: 1730

ISSUE/REV:
A. DA ISSUE: 04.11.21
B. DA REVISIONS: 30.11.21
C. COUNCIL RFL: 14.02.22



TITLE:
**SUN SHADOW
PLAN**

SCALE: 1:200 (A3)
DRAWING No:

SS03

SHEET: 17 OF 22

MATT GILLEY
BUILDING DESIGNER

PO BOX 104 LINDGARDINE
TASMANIA 7015
matt.gilley@bigpond.com
0437 499 236
LICENCE NO. CC0898C

PROJECT:
ADDITIONS & DWELLING

No. 78 ALEXANDER STREET
SANDY BAY

M. ROFF

DATE: FEB 2022
PROJECT NO: 1730

ISSUE/REV:

A. DA ISSUE	04.11.21
B. DA REVISIONS	30.11.21
C. COUNCIL RR	14.02.22
D. COUNCIL RR	23.02.22



TITLE:
DRIVEWAY PLAN

SCALE: 1:100 (A3)
DRAWING NO:

C01

SHEET: 18 OF 22



DRIVEWAY PLAN 1:100

MATT GILLEY
BUILDING DESIGNER

PO BOX 224 LINDFARNE
TAMMARA 7215
matt.gilley@bigpond.com
0437 498 238
LICENCE No. CC5889C

PROJECT:
ADDITIONS & DWELLING

No. 78 ALEXANDER STREET
SANDY BAY

M. ROFF
DATE: FEB 2022
PROJECT NO: 1730

ISSUE REV:
A. DA ISSUE: 04.11.21
B. COUNCIL RFI: 14.02.22
C. COUNCIL RFI: 23.02.22

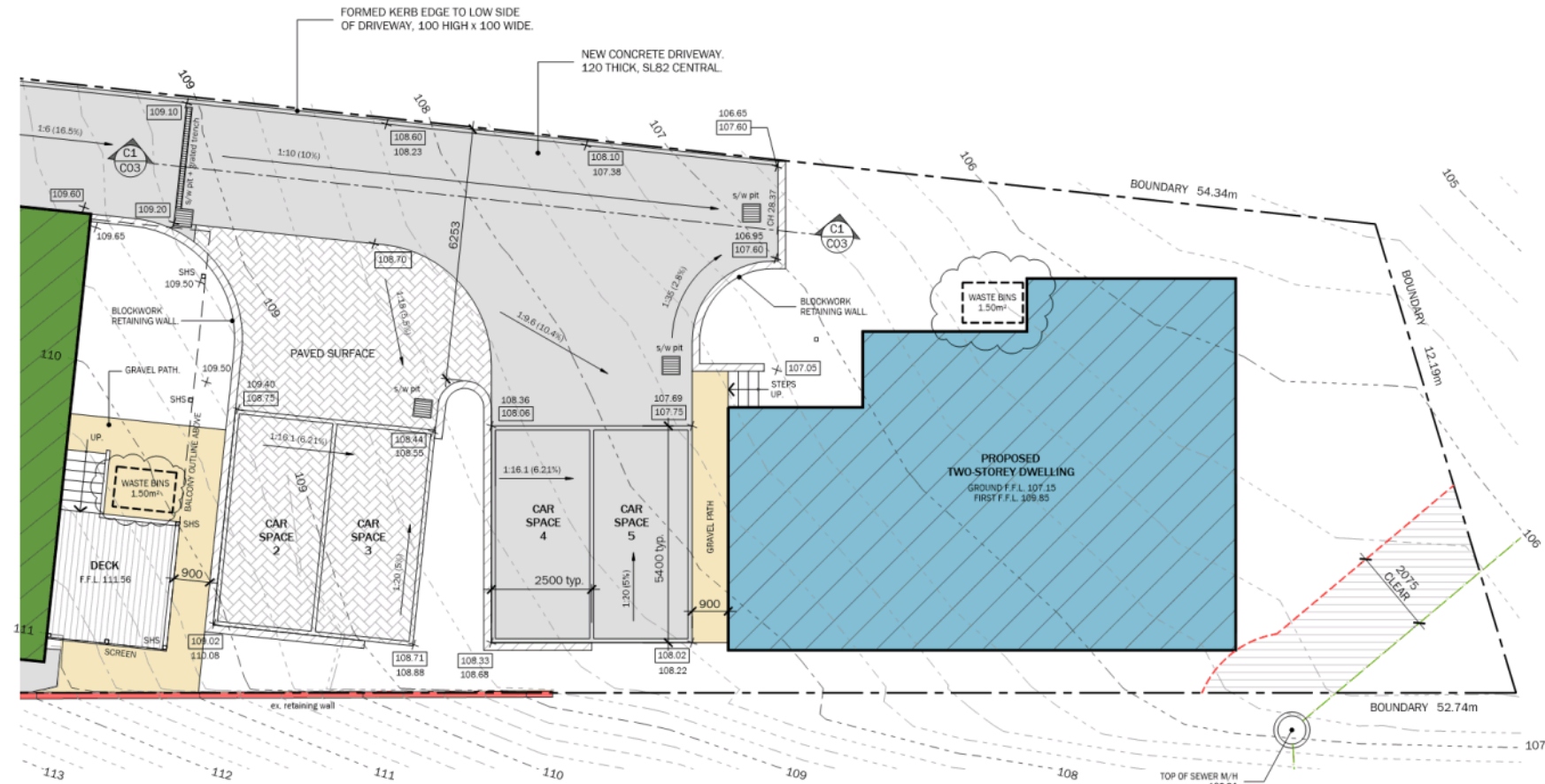


TITLE:
DRIVEWAY PLAN

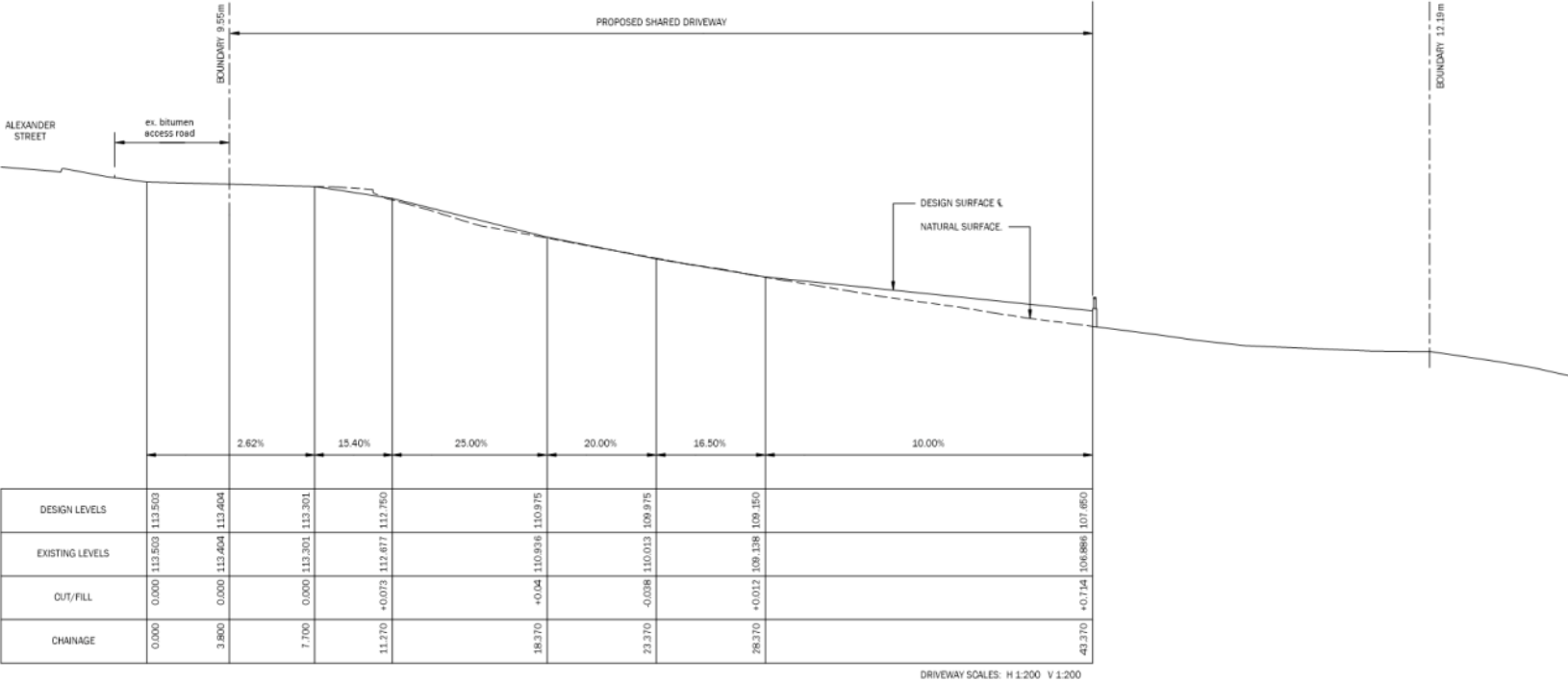
SCALE: 1:100 (A3)
DRAWING NO:

C02

SHEET: 19 OF 22



DRIVEWAY PLAN 1:100
SURFACE LEVELS & GRADES



C1 DRIVEWAY LONG-SECTION
001/002 CENTRE LINE OF DRIVEWAY

MATT GILLEY
BUILDING DESIGNER

PO BOX 1214 LINDSAY
TASMANIA 7015
matt.gilley@bigpond.com
0437 499 238
LICENCE No. CC5888C

PROJECT:
ADDITIONS & DWELLING
No. 78 ALEXANDER STREET
SANDY BAY
M. ROFF
DATE: FEB 2022
PROJECT NO. 1730

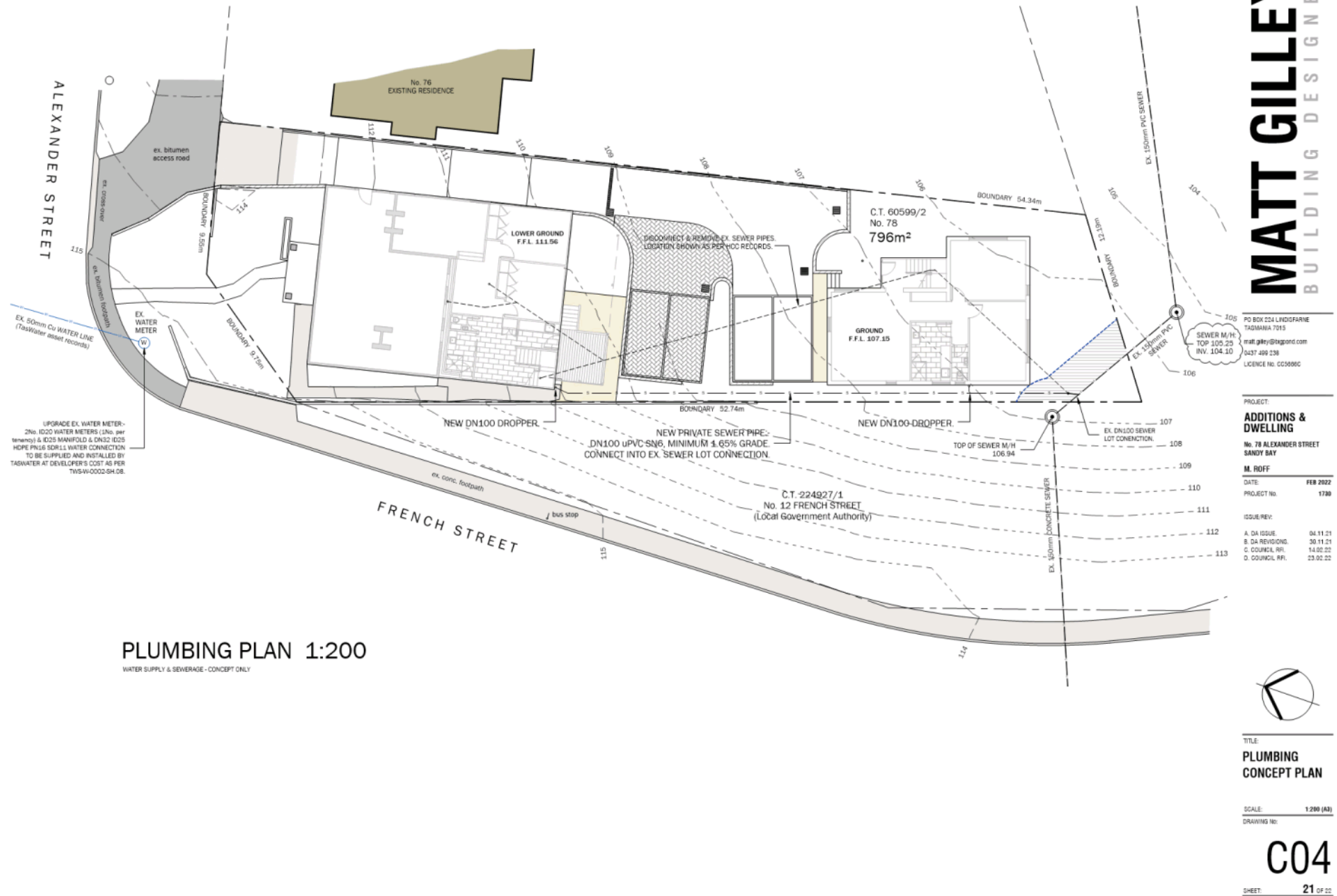
ISSUE REV:
A. DA ISSUE 03.11.21
B. COUNCIL REF. 14.02.22

TITLE:
**DRIVEWAY
LONG SECTIONS**

SCALE: 1:200 (A3)
DRAWING NO:

C03

SHEET: 20 OF 22



MATT GILLEY
BUILDING DESIGNER

PO BOX 234 LINDSEYFARNE
TASMANIA 7015
matt.gilley@bigpond.com
0437 496 236
LICENCE No. CC5886C

PROJECT:
ADDITIONS & DWELLING

No. 78 ALEXANDER STREET
SANDY BAY

M. HOFF

DATE: FEB 2022
PROJECT NO: 1789

ISSUE/REV:
A. COUNCIL RFI, 14.02.22
B. COUNCIL RFI, 23.02.22

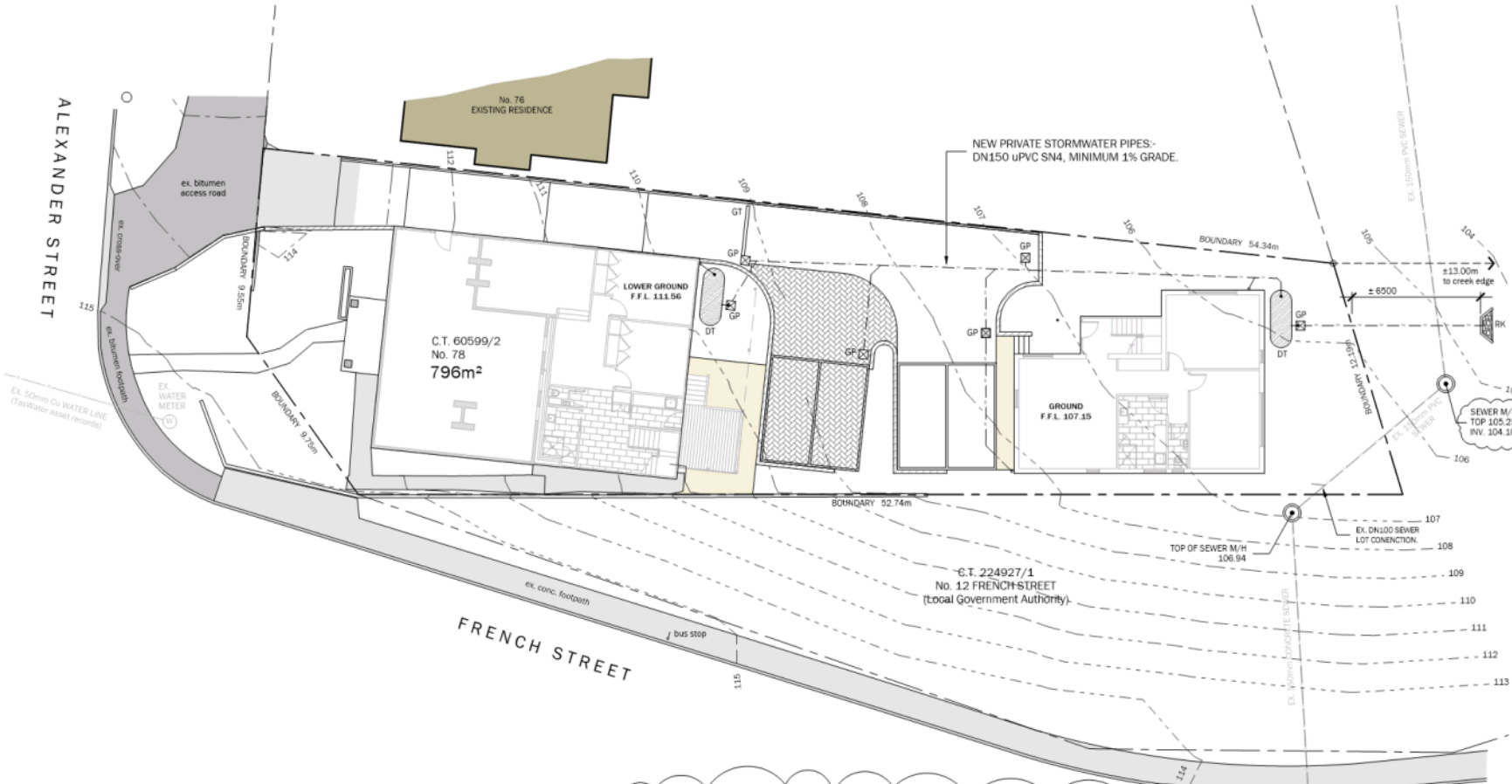


TITLE:
**PLUMBING
CONCEPT PLAN**

SCALE: 1:200 (A3)
DRAWING NO:

C05

SHEET: 22 OF 22

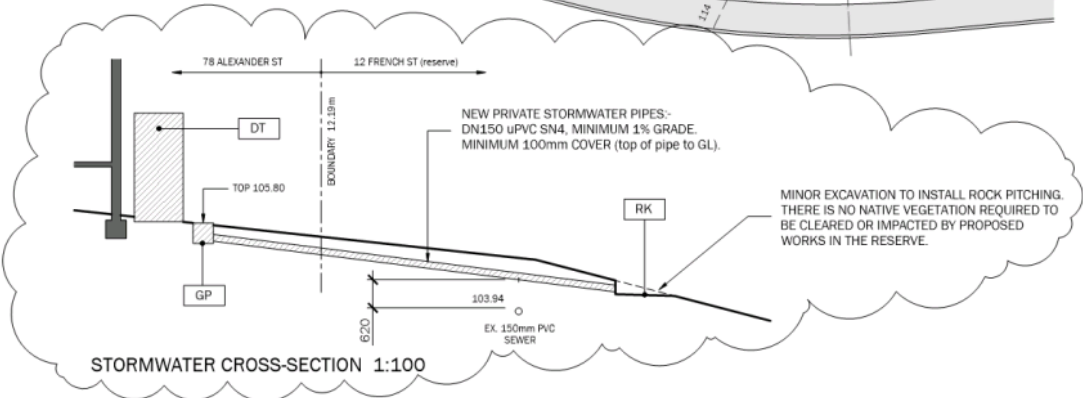


STORMWATER PLAN 1:200

CONCEPT ONLY

KEY

- GP 'ACO' TYPE 45 450sq x 600 DEEP STORMWATER PIT WITH CLASS 'C' TRAFFICABLE LID.
- GT 'ACO' K100 CHANNEL DRAIN WITH CLASS 'C' TRAFFICABLE GRATE.
- DT ON-SITE STORMWATER DETENTION TANK FITTED WITH DN100 OVERFLOW, Ø25 ORIFICE + Ø10 DRIPPER PIPE TO LINE UP WITH GRATED PIT BELOW.
- RK ROCK PITCHING AT NEW STORMWATER DRAIN OUTLET TO PREVENT SOIL EROSION. CONSTRUCT TO LOCAL COUNCIL SATISFACTION.



**RESULT OF SEARCH**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

SEARCH OF TORRENS TITLE

VOLUME 60599	FOLIO 2
EDITION 5	DATE OF ISSUE 14-May-2020

SEARCH DATE : 04-Nov-2021

SEARCH TIME : 04.50 PM

DESCRIPTION OF LAND

City of HOBART

Lot 2 on Diagram 60599 (formerly being 17-33NS)

Derivation : Part of 167A-2R-0Ps. - Gtd. to D. Lord.

Prior CT 3095/43

SCHEDULE 1M813208 TRANSFER to MELANIE SUE ROFF Registered 31-Mar-2020
at noonSCHEDULE 2

Reservations and conditions in the Crown Grant if any

E220433 MORTGAGE to Westpac Banking Corporation Registered
14-May-2020 at noonUNREGISTERED DEALINGS AND NOTATIONS

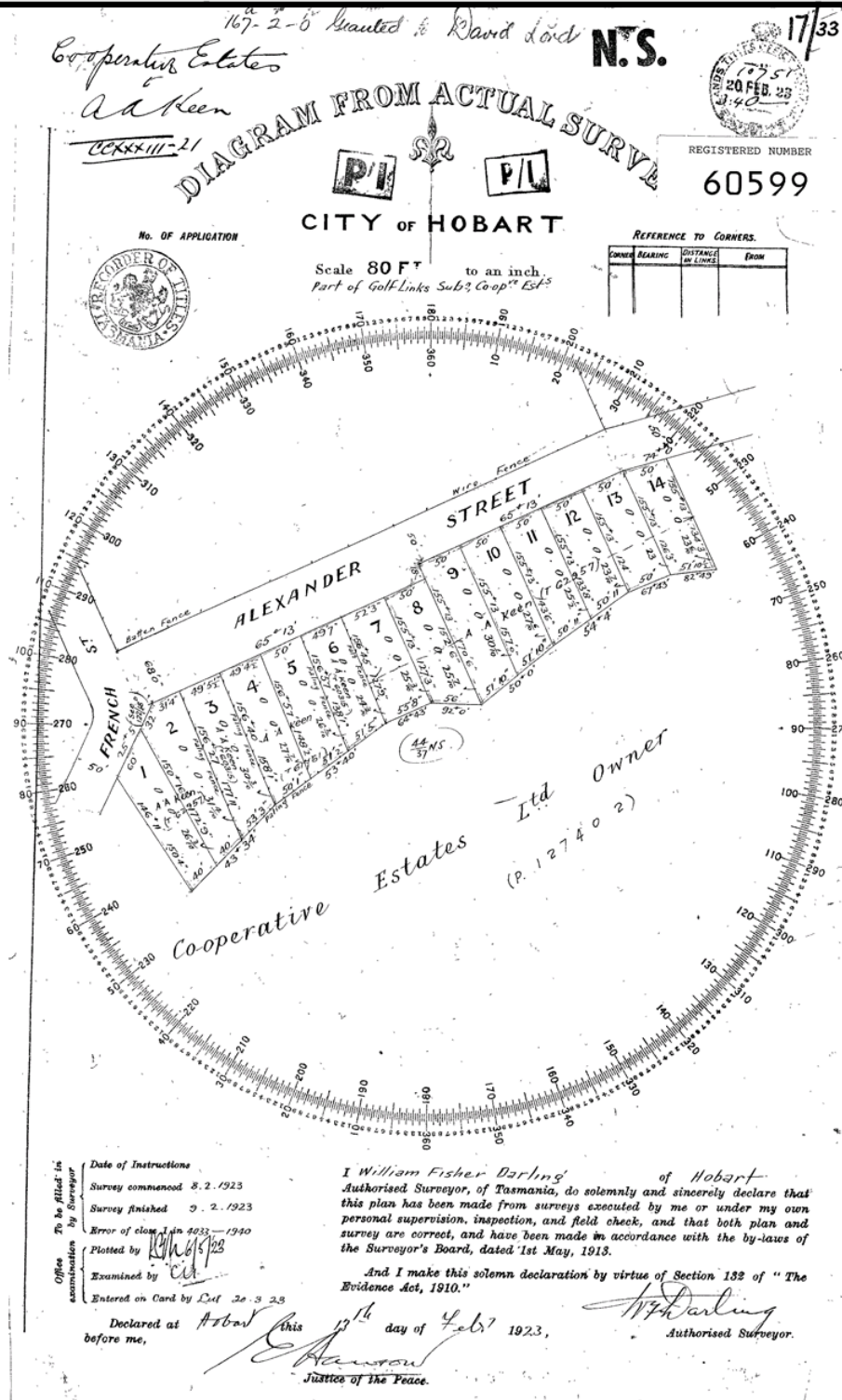
No unregistered dealings or other notations



FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



**RESULT OF SEARCH**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

SEARCH OF TORRENS TITLE

VOLUME 224927	FOLIO 1
EDITION 1	DATE OF ISSUE 10-Feb-1995

SEARCH DATE : 30-Nov-2021

SEARCH TIME : 02.59 PM

DESCRIPTION OF LAND

City of HOBART

Lot 1 on Plan 224927

Derivation : Parts of 65A-2R-0Ps. and 167A-2R-0Ps. - Gtd. to D.

Lord

Prior CT 2857/82

SCHEDULE 1

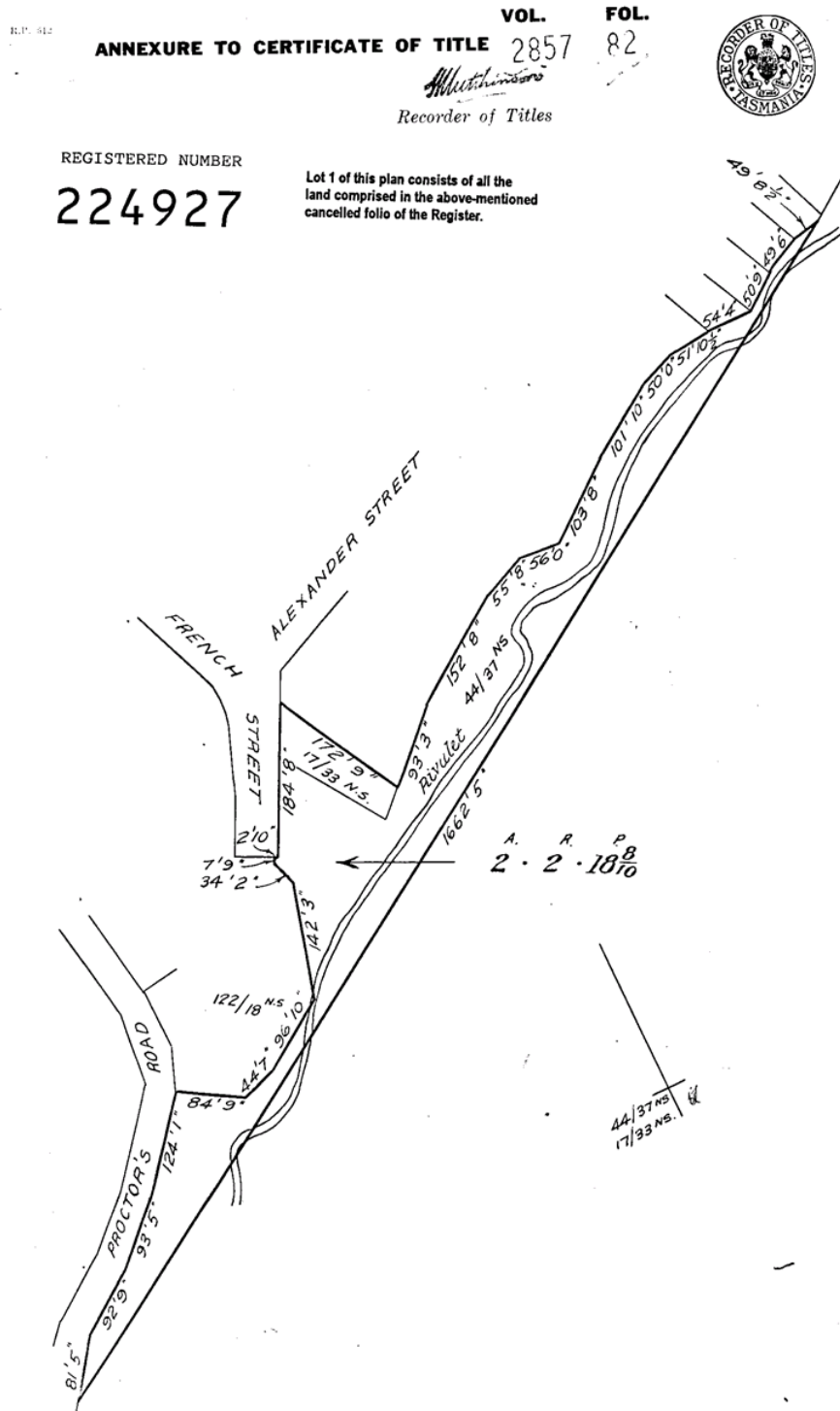
90378 HOBART CITY COUNCIL

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



MATT GILLEY | building designerPO BOX 224 LINDISFARNE
TASMANIA 70150437 499 238
matt.gilley@bigpond.comABN: 95 445 885 428
Licence No. CC5666C4th November, 2021Hobart City Council
Planning Department
16 Elizabeth Street
Hobart 7000**DEVELOPMENT APPLICATION – 78 ALEXANDER STREET, SANDY BAY**

Dear Planning Officer,

Please find documents accompanying this letter for a new development application proposing the following:-

- Partial demolition to the upper & lower levels to rear of the existing weatherboard residence, and construction of new additions consisting of an upper-level open plan living/kitchen/dining area, sewing room, deck; and two new bedrooms, home office, laundry and bathroom at the lower-level.
- A new two-storey unit consisting of three bedrooms, home office/study, rumpus, living, kitchen, and two bathrooms.
- A new concrete driveway and four parking areas to serve the two dwellings. It is proposed to have a new additional car space directly in front of the existing residence.

Feel free to email me or call to discuss any issues or queries. Thank you.

Kind regards,

Matthew Gilley
Building Designer

MATT GILLEY | building designer

PO BOX 224 LINDISFARNE
TASMANIA 70150437 499 238
matt.gilley@bigpond.comABN: 95 445 885 428
Licence No. CC5666C14th February, 2022Mark O'Brien
Hobart City Council
Planning Department
16 Elizabeth Street
Hobart 7000**PLN-21-763**
No. 78 ALEXANDER STREET & 12 FRENCH STREET, SANDY BAY

Dear Mark,

Thank you for your request for additional information. Please find amended documents accompanying this letter for the above Development Application.

I have addressed each of the requests outlined in Council's letter (08/02/22) as follows: -

- **Planning PLN Fi1** – Each dwelling will have their own dedicated space to store waste/recycling bins. These have been noted on the drawing set (A02, C01, C02).
- **Stormwater Code Sw 1** – The manhole lid was lifted and depth of the 150dia TasWater sewer was measured. A cross section showing the clearance of the new stormwater drain above the sewer main has been added to the drawings set (C05). Rock or stone pitching placed at the end of the new s/w drain will minimise erosion and impact on the waterway (C05).
- **Biodiversity Code BC1** – There is no native vegetation that would be proposed to be cleared or impacted by the new stormwater infrastructure. In general, the reserve is currently overgrown with weeds (see photos provided with this letter).
- **Landslide Code LC1** – The proposed volume of site excavation (into natural ground) is 98m³. A landslide risk management report is being arranged and will be provided once it becomes available. This is projected to take several weeks due to the heavier than normal demands throughout the industry.

If you wish to discuss further or require any additional information, please contact me on 0437 499 238. Thank you.

Kind regards,

Matthew Gilley
Building Designer

MATT GILLEY | building designer

PO BOX 224 LINDISFARNE
TASMANIA 70150437 499 238
matt.gilley@bigpond.comABN: 95 445 885 428
Licence No. CC5666C23rd February, 2022Mark O'Brien
Hobart City Council
Planning Department
16 Elizabeth Street
Hobart 7000PLN-21-763
No. 78 ALEXANDER STREET & 12 FRENCH STREET, SANDY BAY

Dear Mark,


Thank you for your request for additional information. Please find amended documents accompanying this letter for the above Development Application.

I have addressed each of the requests outlined in Council's letter (17/02/22) as follows: -

- **Planning PLN Fi2** – The existing parking bay between the existing dwelling and Alexander Street originally shown on drawing C05 does not form part of this planning application and has been deleted from the plan.
- **Parking and Access ENG Fi1** – The proposed 16% crossfall to the parking bays was a typing error (drawing C02) and should have read 1:16.1 (6.21%). The drawings have been amended to reflect this. The surface levels shown are correct. A long section of the driveway has already been provided on drawing C03. Generally the proposed surface levels demonstrate maximum 25% grade, and grade changes not greater than 12.5%.
- **ENG Fi2** – The proposed "consolidated gravel surface" has now been amended to a paved surface.
- **Landslide Code LC2** – A landslide risk management report has been arranged, with the nominated consultant indicating site investigation carried out this week. The report is expected to be ready by the end of next week.

If you wish to discuss further or require any additional information, please contact me on 0437 499 238. Thank you.

Kind regards,

Matthew Gilley
Building Designer



Enquiries to: City Planning
Phone: (03) 6238 2711
Email: coh@hobartcity.com.au

14 December 2021

Melanie Roff
78 Alexander Street
SANDY BAY TAS 7005

mailto:melfinancialcoach@gmail.com

Dear Sir/Madam

**12 FRENCH STREET & 78 ALEXANDER STREET, SANDY BAY & ADJACENT ROAD
RESERVE
WORKS IN ROAD RESERVE AND STORMWATER INFRASTRUCTURE TO RIVULET
NOTICE OF LAND OWNER CONSENT TO LODGE A PLANNING APPLICATION - GMC-
21-72**

Site Address:

78 Alexander Street, Sandy Bay

Description of Proposal:

Works in Road Reserve and Stormwater Infrastructure to Rivulet

Applicant Name:

Melanie Roff

PLN (if applicable):

PLN-21-763

I write to advise that pursuant to Section 52 of the *Land Use Planning and Approvals Act 1993*, I grant my consent on behalf of the Hobart City Council as the owner/administrator of the above land for you to make application to the City for a planning permit for the development described above and as per the attached documents. I granted consent pursuant to delegation, a copy of which is enclosed.

Please note that the granting of the consent is only for the making of the application and in no

Hobart Town Hall
50 Macquarie Street
Hobart TAS 7000

Hobart Council Centre
16 Elizabeth Street
Hobart TAS 7000

City of Hobart
GPO Box 503
Hobart TAS 7001

T 03 6238 2711
F 03 6234 7109
E coh@hobartcity.com.au
W hobartcity.com.au

CityofHobartOfficial
ABN 39 055 343 428
Hobart City Council

way should such consent be seen as prejudicing any decision the Council is required to make as the statutory planning authority.

This consent does not constitute an approval to undertake any works and does not authorise the owner, developer or their agents any right to enter or conduct works on any Council managed land whether subject to this consent or not.

If planning approval is granted by the planning authority, you will be required to seek approvals and permits from the City as both landlord, land manager, or under other statutory powers (such as other legislation or City By-Laws) that are not granted with the issue of a planning permit under a planning scheme. This includes the requirement for you to reapply for a permit to occupy a public space under the City's Public Spaces By-law if the proposal relates to such an area.

Accordingly, I encourage you to continue to engage with the City about these potential requirements.

Yours faithfully



(John Fisher)
ACTING DIRECTOR CITY AMENITY

Relevant documents/plans:

Plans by Matt Gilley - Site Plan Existing A01, Site Plan A01



City of Hobart

INSTRUMENT OF DELEGATION

General Delegation

Director City Amenity

I, Kelly Grigsby, Chief Executive Officer, being the General Manager of the Hobart City Council as appointed by Council pursuant to section 61 of the *Local Government Act 1993* ("the Act") hereby delegate pursuant to Section 64 of the Act, the following powers and functions to the **Director City Amenity**, or to such persons who may be acting in that position:

1. to sign an application; and
2. to provide written permission to make an application;

pursuant to section 52(1B) of the *Land Use Planning and Approvals Act 1993*,
EXCEPT where an application is recommended for refusal.

Dated this 20 day of August 2021

(Kelly Grigsby)
CHIEF EXECUTIVE OFFICER

Being the General Manager as appointed by the Council pursuant to Section 61 of the Local Government Act 1993 (tas)



MATT GILLEY
BUILDING DESIGNERPO BOX 324 LINDISFARNE
TASMANIA 7015
matt.gilley@bigpond.com
0437 400 238
LICENCE NO. CC5886C

PROJECT:

ADDITIONS & DWELLINGNo. 78 ALEXANDER STREET
SANDY BAY**M. ROFF**DATE: NOV 2021
PROJECT NO: 1730

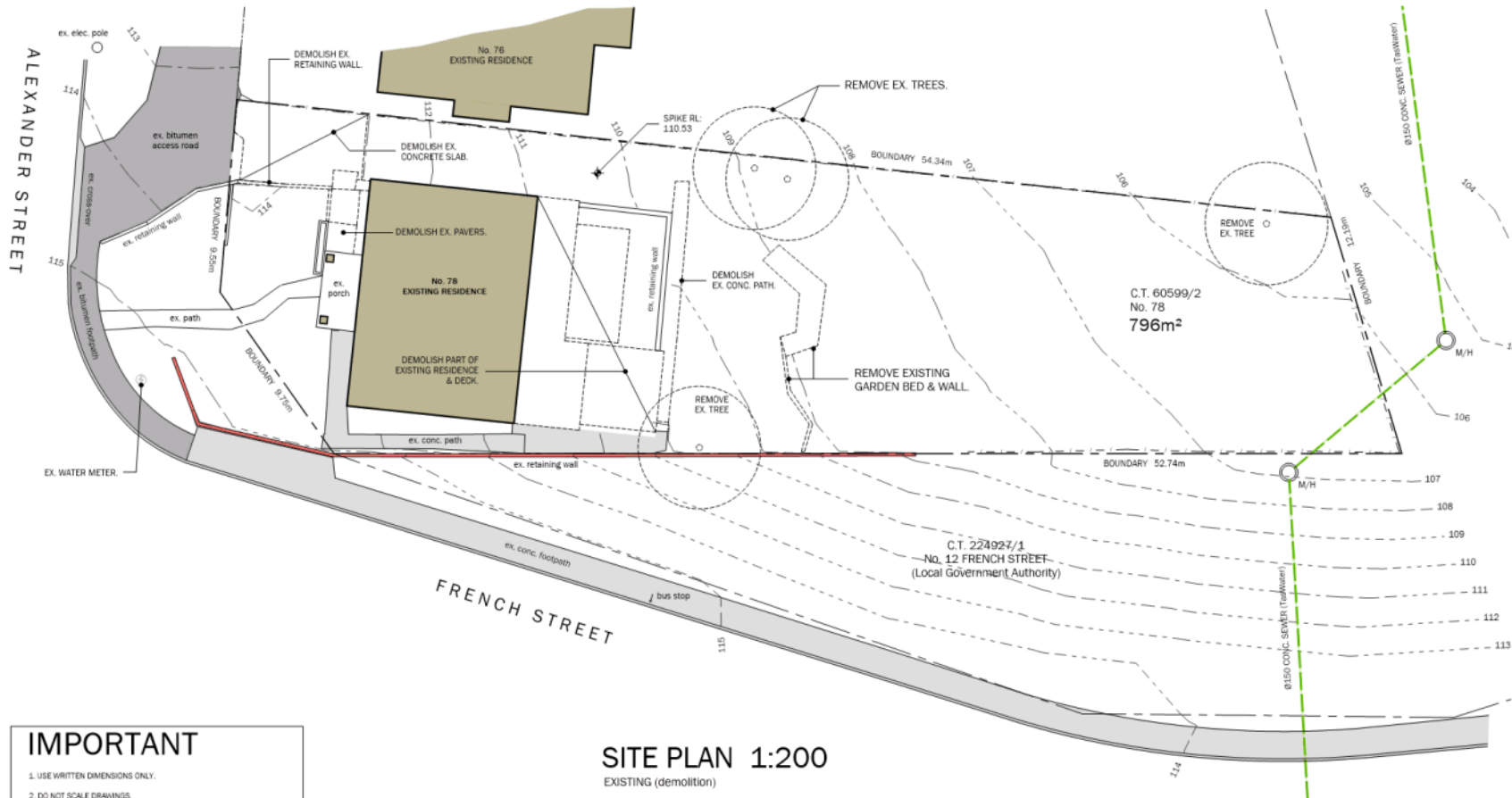
ISSUE/REV:

A. PRELIMINARY ISSUE 30.08.21
B. PRELIMINARY ISSUE 09.09.21
C. PRELIMINARY ISSUE 12.10.21
D. DA ISSUE 04.11.21
E. DA REVISIONS 30.11.21

TITLE:

**SITE PLAN
EXISTING**SCALE: 1:200 (A3)
DRAWING NO:**A01**

SHEET: 1 OF 22

**IMPORTANT**

1. USE WRITTEN DIMENSIONS ONLY.
2. DO NOT SCALE DRAWINGS.
3. THE CONTRACTOR IS TO CHECK ALL LEVELS, DATUMS, AND DIMENSIONS IN RELATION TO THE DRAWINGS AND THE SITE BEFORE PROCEEDING WITH THE WORK OR SHOP DRAWINGS.
4. ENSURE THAT THIS DRAWING AND ANY ACCOMPANYING DETAILS AND/OR SPECIFICATIONS HAVE BEEN STAMPED AS 'APPROVED' BY THE RELEVANT LOCAL AUTHORITY.
5. THE PROPRIETOR IS TO ENSURE THAT ANY 'CONDITIONS OF APPROVAL' ISSUED BY THE BUILDING SURVEYOR, RELEVANT COUNCIL AND OTHER STATUTORY AUTHORITIES ARE PASSED ON TO THE CONTRACTOR BEFORE CONSTRUCTION BEGINS.
6. MATERIALS AND WORKMANSHIP SHALL CONFORM WITH RELEVANT STANDARDS, BUILDING CODE OF AUSTRALIA AND PRODUCT MANUFACTURERS WRITTEN INSTRUCTIONS.
7. ANY ALTERATION TO THE CONSTRUCTION AND/OR MATERIALS INDICATED IN THESE DRAWINGS IS TO BE APPROVED BY THE DESIGNER, THE ENGINEER, THE BUILDING SURVEYOR, AND THE PROPRIETOR BEFORE PROCEEDING WITH THE WORK.
8. IF IN DOUBT - ASK! CONTACT THE BUILDING DESIGNER AND/OR RELEVANT CONSULTANT.

SITE PLAN 1:200

EXISTING (demolition)

Approved - General
Manager Consent Only
[GMC-21-72]
14/12/2021

MATT GILLEY
BUILDING DESIGNER

PO BOX 224 LINDSFARNE
TASMANIA 7015
matt.gilley@bigpond.com
0437 489 238
LICENCE No. 0236866

PROJECT:

**ADDITIONS &
DWELLING**

No. 78 ALEXANDER STREET
SANDY BAY

M. ROFF

DATE: NOV 2021
PROJECT No: 1720

ISSUE/REV:

A. PRELIMINARY ISSUE: 30.08.21
B. PRELIMINARY ISSUE: 09.09.21
C. PRELIMINARY ISSUE: 12.10.21
D. DA ISSUE: 04.11.21
E. DA REVISIONS: 30.11.21

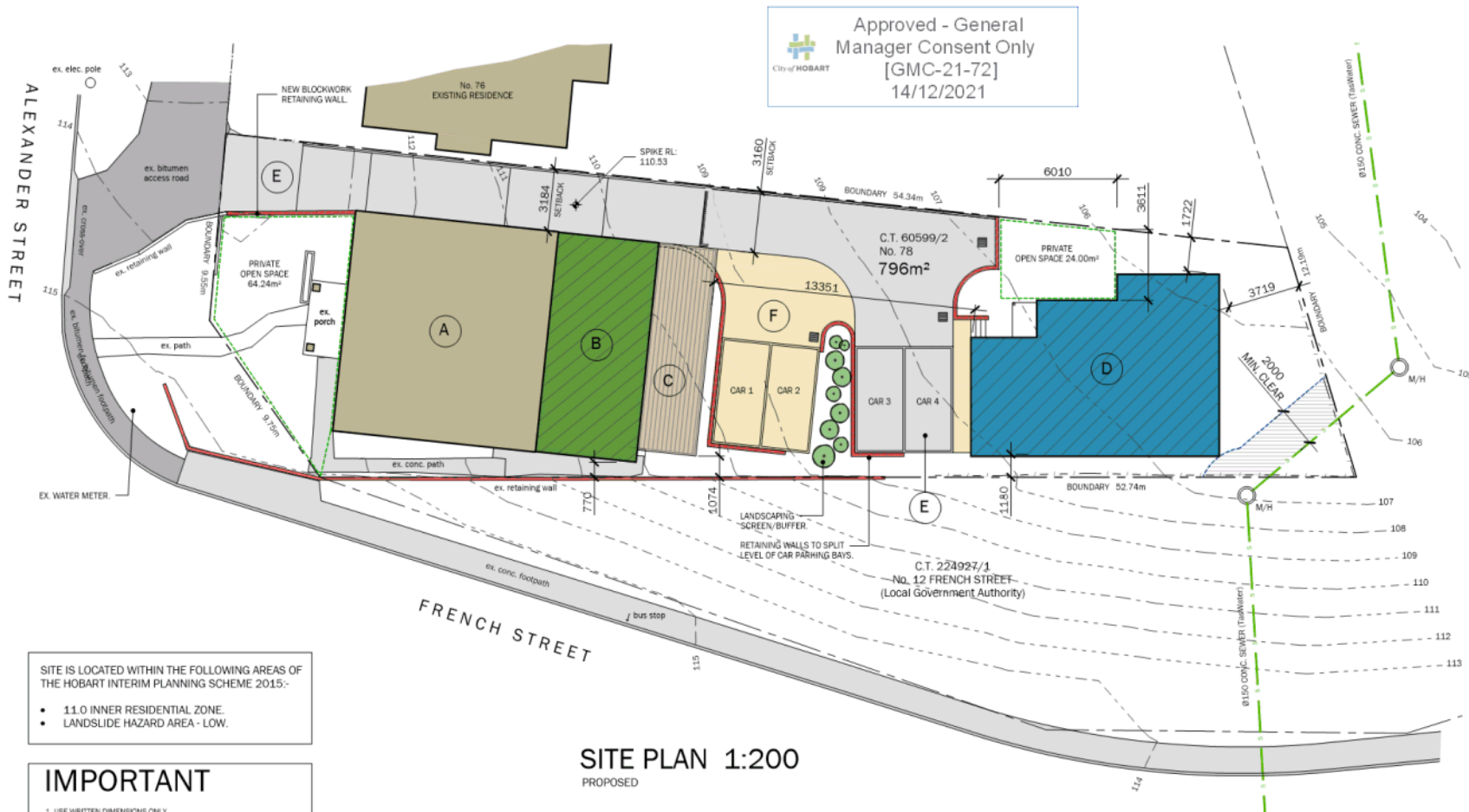
TITLE:

SITE PLAN

SCALE: 1:200 (A3)
DRAWING No:

A01

SHEET: 1 OF 22





LANDSLIDE RISK ASSESSMENT

78 Alexander Street, Sandy Bay
Matt Gilley Building Designer

March 2022



Geo-Environmental Solutions P/L 29 Kirksway Place Battery Point, 7004. Ph 6223 1839 Fax 6223 4539

Document Control

Title	Version	Date	Author	Reviewed By
<i>Landslide Risk Assessment: 28 Alexander St., Sandy Bay</i>	Version 1	March 2022	V.Seikyte	J Traynor

1	Introduction	5
2	Objectives.....	5
3	Site Details	5
3.1	Project Area Land Title	5
4	Planning	7
4.1	Australian Building Code Board.....	7
4.2	Interim Planning Scheme Overlays	7
4.2.1	Landslide Overlay	7
4.3	Proposed Works.....	8
4.4	Development & Works Acceptable Solutions	8
4.4.1	Landslide Hazard Code (LHC)	8
4.4.2	Performance Criteria.....	8
5	Site Mapping	8
5.1	Site Geology.....	8
5.2	Site Investigations	9
5.3	Site Geomorphology	9
5.4	MRT Landslide Hazard Mapping	11
5.4.1	Landslide Inventory and Geomorphology	11
5.4.2	Shallow Slide and Flow Susceptibility	11
5.4.3	Deep Seated Landslide Susceptibility	12
5.4.4	Rockfall Susceptibility	12
5.5	Hazard Analysis	13
5.5.1	Landslide Characteristics.....	13
5.5.2	Risk to Life	13
5.6	Risk Analysis	14
5.6.1	Risk to Property.....	14
6	Conclusions and Recommendations	15
7	References.....	16
	Appendix 1 Acceptable Solutions – Planning Scheme	17
	Appendix 2 Qualitative Risk Assessment Tables (AGS)	18
	Appendix 3 AGS Hillside Construction Practice	20
	Appendix 4 Site Photos	22
	Appendix 5 Site Plan	24
	Appendix 6 Quantitative Risk Assessment	28

Tables

Table 1 Soil profile summary.....	9
Table 2 Quantitative consequence analysis for landslide hazards – Life – Treated Risk – Scenarios 1 and 2.....	13
Table 3 Consequence analysis for landslide hazards.....	14

Figures

Figure 1 Regional Location of Project Area (The LIST)	6
Figure 2 Local Project Area Setting (The LIST).....	6
Figure 3 Landslide Overlay near the Site (The LIST)	7
Figure 4. Site Geology (Extract from 1:25,000 Mineral Resources Tasmania (MRT) mapping of Taroona (Map Sheet: 5224).....	8
Figure 5 Slope features near the site	10
Figure 6. Hobart Geomorphology and Landslide Inventory Map (Mazengarb 2004)	11
Figure 7. Hobart Shallow Slide and Flow Susceptibility Map (Mazengarb 2004).....	11
Figure 8. Hobart Deep Seated Landslide Susceptibility Map (Mazengarb 2004)	12
Figure 9. Hobart Rockfall Susceptibility Map (Mazengarb 2004)	12

1 Introduction

Geo-Environmental Solutions Pty Ltd (GES) were contracted by Matt Gilley Building Designer (The "Client") to provide a landslide risk assessment for planning purposes for a proposed extension for existing dwelling and a new unit below at 78 Alexander Street, Sandy Bay. The proposed development is within the Low Landslide Hazard Area (LHA) overlay (MRT 2013). The site has been modelled as potential deep-seated LHA (A & B) (Taroona Scenario and all rock units and Rosetta scenario for Tertiary sedimentary units). Where the proposed development is located is mapped as both LHA (A & B) (Mazengarb 2004). The potential deep-seated failure hazard is associated with the Tertiary sediments mapped as underlying the site. The site is defined by the cadastral title (CT 60599/3).

GES are to undertake this assessment relating to the proposed development in conjunction with the requirements of the Landslide Hazard Code, part of the Tasmanian Interim Planning Scheme. GES have written this report in accordance with the Australian Geomechanics Guidelines (AGS 2007).

GES have undertaken this assessment through excavation of a number of auger boreholes, site observations and investigation, photographs and publicly available datasets. Estimations are determined by approximation with regional information applied where appropriate to site specific information. Data collection and site-specific modelling was undertaken in assessment of the site.

2 Objectives

The objective of the site investigation is to:

- Identify the requirements of the Landslide Hazard Code;
- Conduct a landslide risk assessment of the proposed development excavations with reference to the Australian Geomechanics Society (AGS) *Landslide Risk Management (2007) guidelines*;
- Identify which planning scheme codes need to be addressed in terms of landslip and identify the relevant performance criteria relevant to the project which need addressing;
- Conduct a site risk assessment for the proposed development ensuring relevant performance criteria are addressed; and
- Where applicable, provide preliminary recommendations on remediation of the earthworks to ensure safe slope management.

3 Site Details

3.1 Project Area Land Title

The land studied in this report is defined by the following title reference:

- CT 60599/3

This parcel of land is referred to as the 'Site' and/or the 'Project Area' in this report.

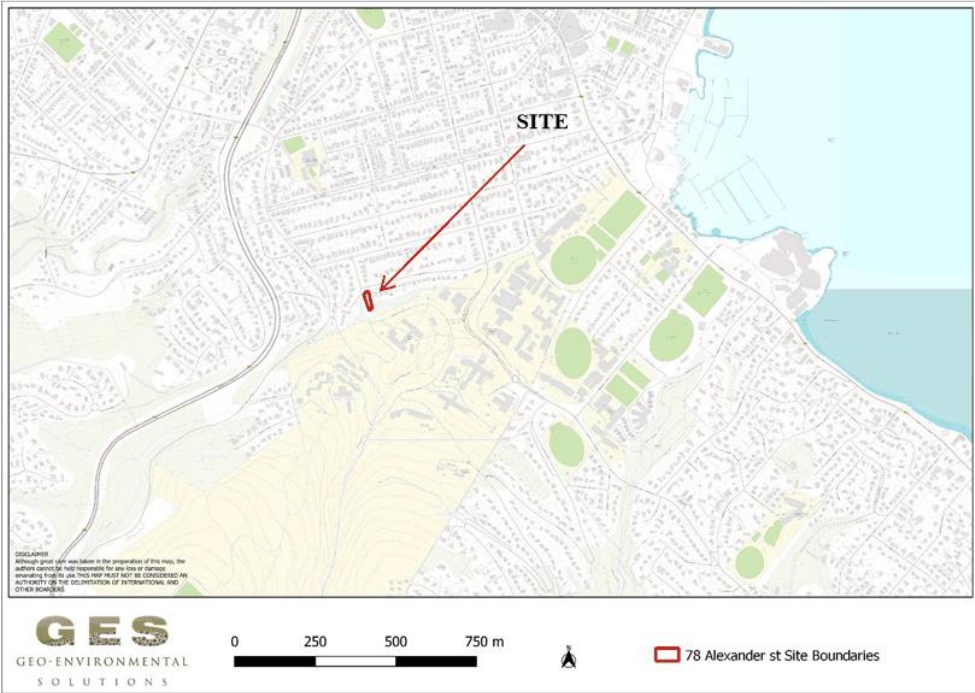


Figure 1 Regional Location of Project Area (The LIST)



Figure 2 Local Project Area Setting (The LIST)

4 Planning

4.1 Australian Building Code Board

This report presents a summary of the overall site risk to landslide hazards. This assessment has been conducted for the year 2071 which is representative of a 'normal' 50-year building design life category.

Per the Australian Building Code Board (ABCB 2015), when addressing building minimum design life:

'The design life of buildings should be taken as 'Normal' for all building importance categories unless otherwise stated.'

The building design life is 50 years for a normal building.

4.2 Interim Planning Scheme Overlays

4.2.1 Landslide Overlay

The proposed developments are within the Low Landslide Hazard Area overlay (Figure 3).



Figure 3 Landslide Overlay near the Site (The LIST)

4.3 Proposed Works

The proposed developments are:

- Two - storey additions for the existing residence in the western part of the site;
- Two - storeys new unit development in the eastern part of the site;

Both proposed properties will have access from Alexander Street via a concrete driveway which is going to be situated on the north side of the site boundary.

4.4 Development & Works Acceptable Solutions

Where applicable, the need for further performance criteria compliance is outlined in Appendix 1.

4.4.1 Landslide Hazard Code (LHC)

Given that the proposed development resides in the low Landslip Hazard Area, and there are no acceptable solutions for Buildings and Works other than Minor Extensions in a low Landslip Hazard Area, the E3.7.1 P1 performance criteria will need to be addressed.

4.4.2 Performance Criteria

5 Site Mapping

5.1 Site Geology

Based on the MRT 1:25,000 Mineral Resources Tasmania (MRT) mapping of Hobart (Map Sheet : 5224) , the site geology comprises of the following geological units:

Cenozoic Cover Sequences (Map Unit: Tcbd) – Large boulder – to cobble – grade, semi – consolidated gravel with clasts of dolerite and Parmeener Supergroup rocks; sandy clay matrix.

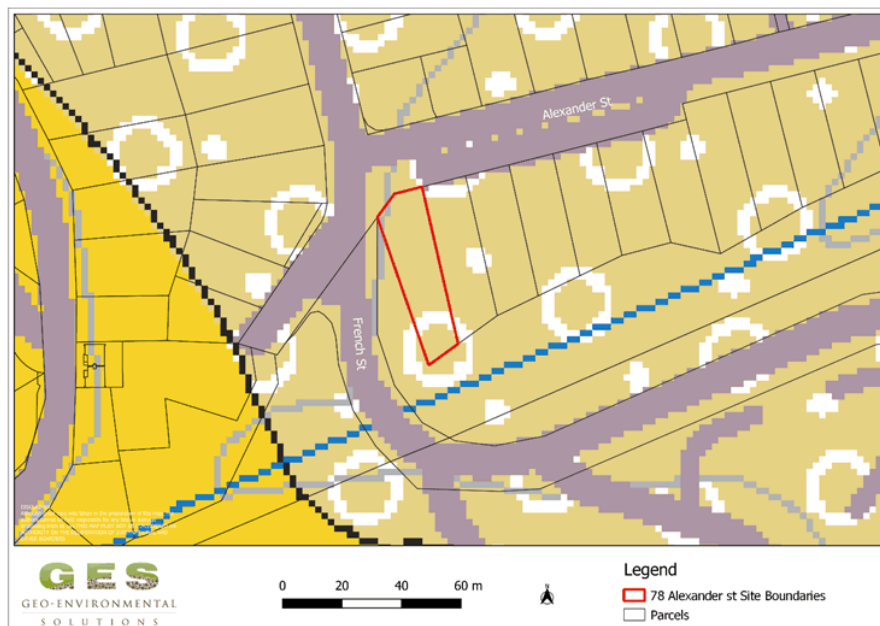


Figure 4. Site Geology (Extract from 1:25,000 Mineral Resources Tasmania (MRT) mapping of Taroona (Map Sheet: 5224))

5.2 Site Investigations

A number of bore holes were completed to identify the distribution and variation of the soil materials at the site. A soil profile summary from borehole testing is shown below in Table 1. Tests were conducted across the site to obtain bearing capacities of the material at the time of this investigation. The soils on site consist of sandy silt topsoil overlying quaternary sediments including large dolerite boulders. The site has been classified as **Class M** - Moderately reactive clay or silt site, which may experience moderate ground movement from moisture changes

Table 1 Soil profile summary.

BH1 Depth (m)	BH2 Depth (m)	USCS	Description
0.0 – 0.2	0.0 – 0.2	SM	Silty SAND: low plasticity, grey, dry, loose,
0.2 – 0.80	0.2-0.70	CI	Silty CLAY: medium plasticity, brown, slightly moist, stiff, trace of stones
0.80 – 1.10+	0.70 – 1.20+	GC	Gravelly CLAY: low plasticity, olive yellow, slightly moist, dense, Refusal on weathered dolerite gravels

5.3 Site Geomorphology

The site is located on gentle sloping south east facing slopes in Sandy Bay, Tasmania. The site is located in a heavily developed and altered inner residential area approx. 30 m upslope to the north from Proctors Creek. The surrounding sites are currently utilised for residential living (inner residential) purposes. The east boundary of the site shares with the French Street and has a steep slope edge up to 40° just below the road. Rest of the site at slopes typically ranges between approx. 7 and 20° on site investigations and review of Mount Wellington River Derwent 2010 LiDAR data. An existing dwelling is located in the northern portion of the site. The site ranges in elevation from approx. 60 m AHD in the western portion of the site approx. 52 m AHD in the east (Figure 5).

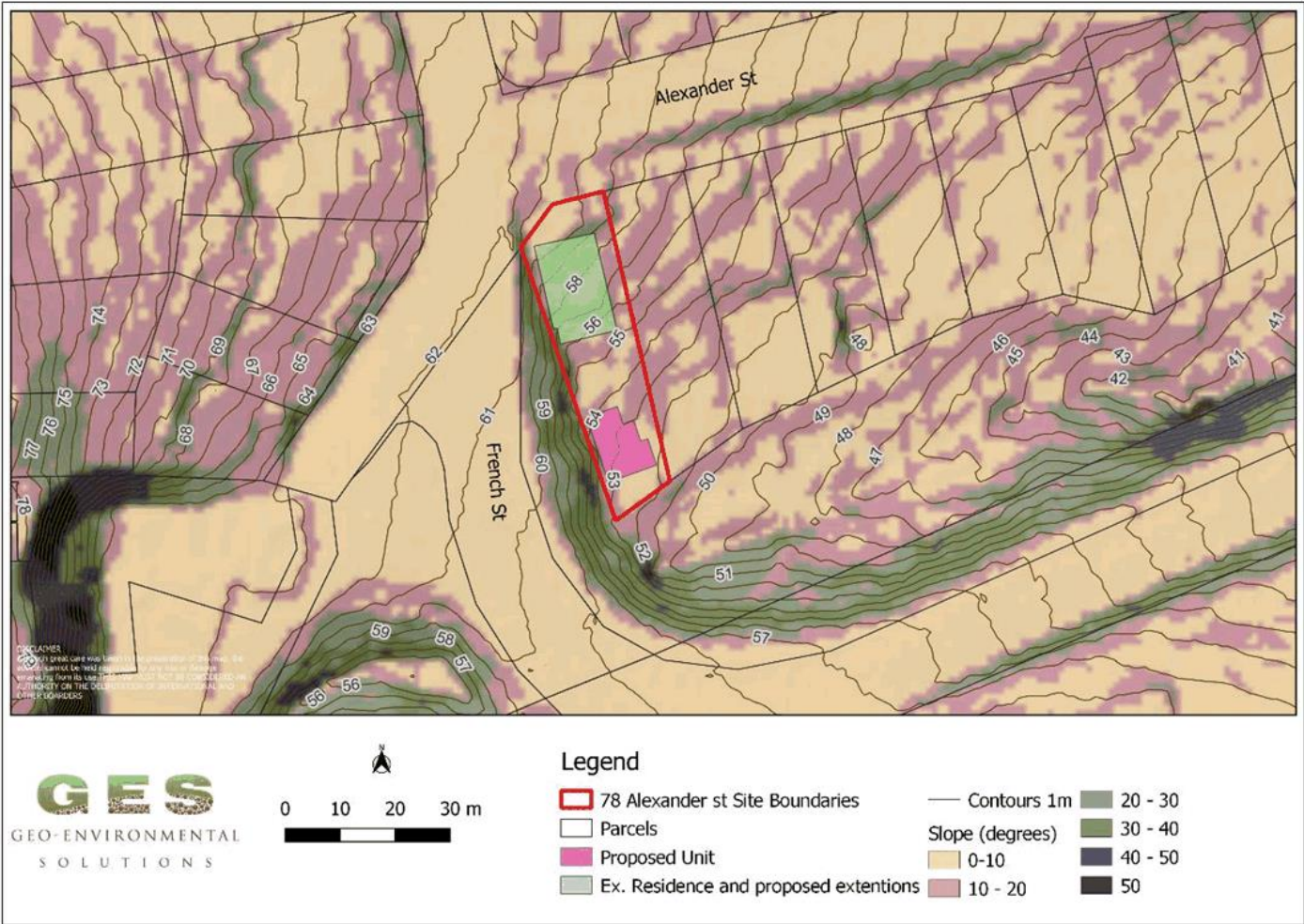


Figure 5 Slope features near the site

5.4 MRT Landslide Hazard Mapping

5.4.1 Landslide Inventory and Geomorphology

The MRT mapping has not identified any landslides near the site (Figure 6).

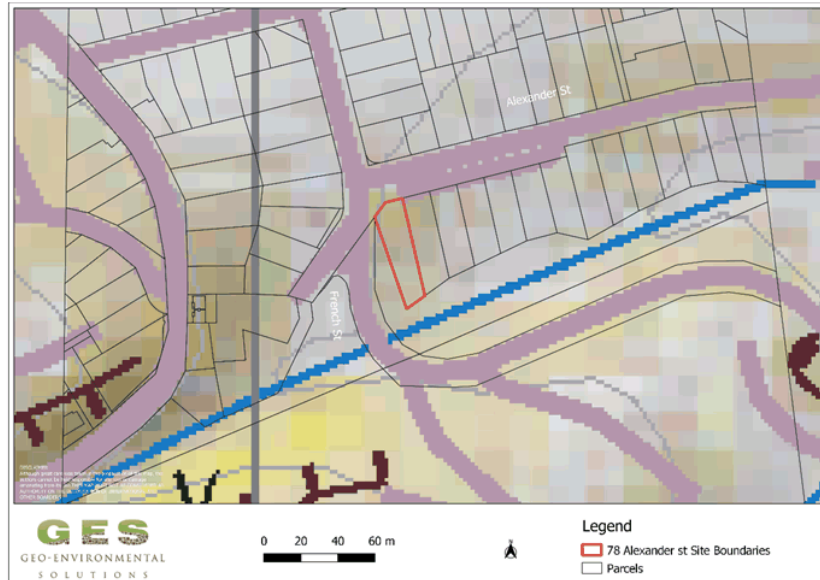


Figure 6. Hobart Geomorphology and Landslide Inventory Map (Mazengarb 2004)

5.4.2 Shallow Slide and Flow Susceptibility

Shallow slide and flow run-out hazard has not been identified at the site (Figure 7).

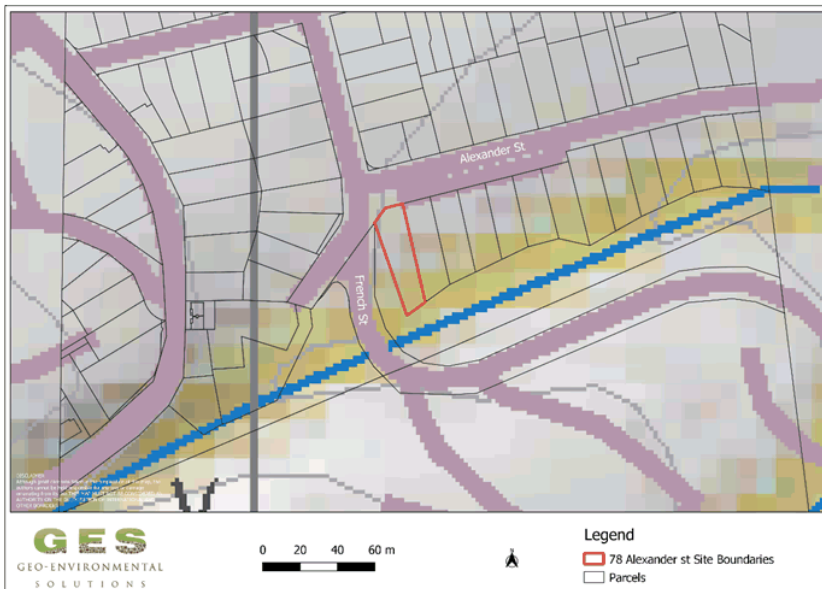


Figure 7. Hobart Shallow Slide and Flow Susceptibility Map (Mazengarb 2004)

5.4.3 Deep Seated Landslide Susceptibility

Both proposed developments are mapped as potential deep-seated landslide hazard area (A & B) (Taroona scenario for Tertiary sedimentary units & all rock units and Rosetta scenario for Tertiary sedimentary units) Figure 8.

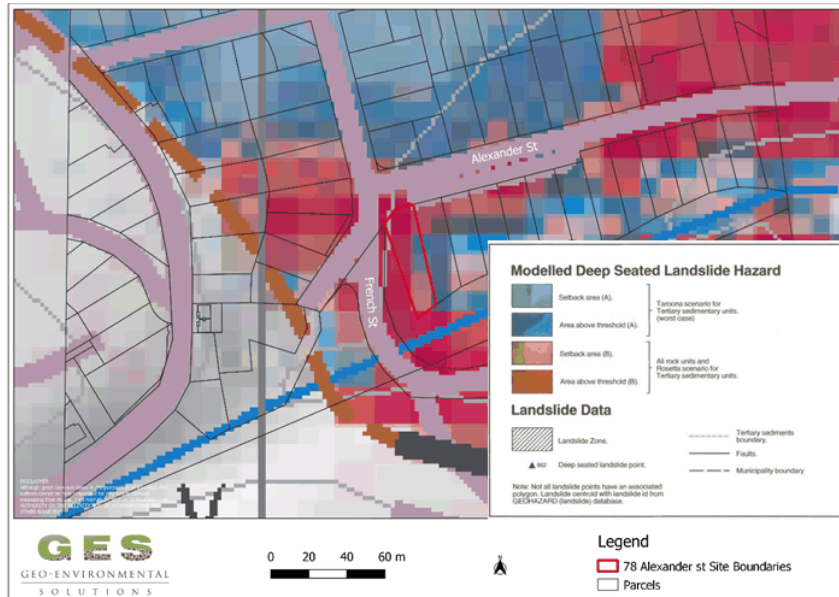


Figure 8. Hobart Deep Seated Landslide Susceptibility Map (Mazengarb 2004)

5.4.4 Rockfall Susceptibility

The site has not been mapped as a potential rock fall hazard area (Figure 9).



Figure 9. Hobart Rockfall Susceptibility Map (Mazengarb 2004)

5.5 Hazard Analysis

5.5.1 Landslide Characteristics

Based on the slope characteristics including site geology, slope geometry and slope angles, MRT landslide mapping/inventory and site observations, the following scenario has been identified as an existing and potential slope failure mechanism for the site:

- **Scenario 1** – Shallow slide or flow failure
- **Scenario 2** – Deep-seated slide failure beneath the site.

5.5.2 Risk to Life

The risk to life has been assessed for scenarios 1 – 4 during and post treatment (Table 2).

Table 2 Quantitative consequence analysis for landslide hazards – Life – Treated Risk – Scenarios 1 and 2

Hazard	Scenario 2	Scenario 4
Factor	Shallow slide or flow failure	Deep-seated slide failure beneath the site.
Likelihood	Unlikely	Barely Credible
Indicative Annual Probability	0.001	0.0001
Affected Structure/Site	Site soils immediately above building platforms, access drives and roads	Residential dwellings
Probability of Spatial Impact	Upslope portion of house = 0.3	Entire site = 1.0
Proportion of Time	Estimated 12 hours a day. = 0.5	Estimated 12 hours a day. = 0.5
Probability of Not Evacuating	Slow to rapid. = 0.5	Extremely slow moving. = 0.001
Vulnerability	Moderate portion of building may be damaged. = 0.4	Entire landmass to become raft. Houses unlikely to collapse. = 0.02
Risk for Person Most at Risk	3.0×10^{-5}	1.0×10^{-9}

Note: It has been assumed that each person has an equal probability of death for each of the hazards. Societal risk has not been assessed.

5.6 Risk Analysis

5.6.1 Risk to Property

Risk has been considered for the proposed development pre and post construction. The residual (treated) risk can be reduced to 'Low' to 'Very Low' (Table 3).

Table 3 Consequence analysis for landslide hazards

Scenario	Issue	Current Risks (No Treatment)			Recommended risk treatment	Residual Risks following implementation of risk treatment		
		Likelihood of occurrence	Consequence to property	Level of risk to property		Likelihood of occurrence	Consequence to property	Level of risk to property
Scenario 1	Shallow slide or flow failure	Possible	Medium	Moderate	<p>Due to the sizing constraints, unretained cuts are not recommended at the site.</p> <p>All cuts should be retained with suitably engineered and drained retaining walls with topography and neighbouring properties taken into consideration. Foundations of retaining walls should extend into the underlying natural materials with bearing capacities in exceedance of 100kPa. This must be checked by GES or the site engineer at time of construction.</p> <p>All retaining walls should account for upslope drainage above the walls and a grate drain immediately below the walls to avoid saturation of site soils below the wall foundations.</p> <p>Use of fill should be limited at the site.</p> <p>The proposed development should be constructed in accordance with the Australian Geomechanics Society (2007) guidelines for Good Hillside Construction Practices.</p>	Unlikely	Medium	Low
Scenario 2	Deep-seated slide failure	Barely Credible	Major	Very Low	<p>All earthworks on site must comply with AS3798-2007 and a sediment and erosion control plan should be implemented on site during and after construction.</p> <p>The proposed development should be constructed in accordance with the Australian Geomechanics Society (2007) guidelines for Good Hillside Construction Practices and must be founded within/adequately anchored to the underlying weathered dolerite rock.</p> <p>Stormwater of both existing and proposed new dwellings should be connected to reticulated systems as soon as possible.</p>	Barely Credible	Major	Very Low

6 Conclusions and Recommendations

Based on the observations made during the site visit and the outcome of the hazard analysis and risk assessment, the following conclusions are made:

- The proposed new dwelling extensions and a new unit are underlain by Tertiary sedimentary geology derives from Jurassic dolerite source rock and deposited through colluvial processes.
- A scenario for deep-seated failure has been presented, however, the likelihood is barely credible and resultant risk is very low.
- Foundations of the proposed dwelling extensions should be seated within the competent underlying sandy CLAY materials identified **below 1.4mbgs**.
- Due to the sizing constraints, **unretained cuts are not recommended at the site.**
- All cuts should be retained with suitably engineered and drained retaining walls with topography and neighbouring properties taken into consideration. Foundations of retaining walls should extend into the underlying **natural materials**. This must be checked by GES or the site engineer at time of construction.
- All retaining walls should account for upslope drainage above the walls and a grate drain immediately below the walls to avoid saturation of site soils below the wall foundations.
- Use of fill should be limited at the site.
- All earthworks on site must comply with AS3798-2007 and a sediment and erosion control plan should be implemented on site during and after construction.
- The proposed development should be constructed in accordance with the Australian Geomechanics Society (2007) guidelines for Good Hillside Construction Practices.
- Stormwater of both existing and proposed new dwelling extensions **must** be connected to reticulated systems.
- Based upon the assessment completed the risk associated with potential land instability at the site is low and acceptable and the proposal is compliant with code E3 of the Hobart Interim Planning scheme

GES should be contacted immediately should ground conditions be different from what is stated in this report.

Finalised plans should be provided to GES to confirm observance to the conditions described in this report.

J Traynor BSc.

Engineering Geologist

7 References

- AGS (2007a). Guideline for Landslide Susceptibility, Hazard and Risk Zoning. Australian Geomechanics, Vol 42 No 1 March 2007
- AGS (2007b). Commentary on Guideline for Landslide Susceptibility, Hazard and Risk Zoning. Australian Geomechanics, Vol 42 No 1 March 2007
- AGS (2007c). Practice Notes Guidelines for Landslide Risk Management. Australian Geomechanics Vol 42 No 1 March 2007
- AGS (2007d). Commentary on Practice Notes Guidelines for Landslide Risk Management. Australian Geomechanics Vol 42 No 1 March 2007
- AGS (2007e). The Australian Geoguides for Slope Management and Maintenance. Australian Geomechanics Vol 42 No 1 March 2007
- AS1170 (2007). Australian Standard. Structural design actions. Part 4: Earthquake actions in Australia. prepared by Committee BD-006, General Design Requirements and Loading on Structures. It was approved on behalf of the Council of Standards Australia on 22 May 2007. This Standard was published on 9 October 2007.
- AS1289 (2000). Australian Standard. Various methods as Prepared by Committee CE/9, Testing of Soils for Engineering Purposes. Approved on behalf of the Council of Standards Australia on 3 December 1999 and published on 28 February 2000.
- AS1726 (2017). Australian Standard. Geotechnical Site Investigations. Approved on behalf of the Council of Standards Australia on 7 April 2017 and published on 2nd May 2017.
- AS2870 (2011). Australian Standard. Residential slabs and footings. prepared by Committee BD-025, Residential Slabs and Footings. Approved on behalf of the Council of Standards Australia on 20 December 2010. This Standard was published on 17 January 2011.
- AS4133 (2000). Australian Standard. Prepared by Committee CE/9, Testing of Soils for Engineering Purposes. Approved on behalf of the Council of Standards Australia on 3 December 1999 and published on 28 February 2000.
- Forsyth, S.M. and Clarke, M.J. (compilers) 1999. Digital Geological Atlas 1:25 000 Scale Series. Sheet 5225 Hobart. Mineral Resources Tasmania.
- Mazengarb, C. 2004: Map 1, Hobart – Landslide Inventory and Geomorphology. \n Tasmanian Landslide Hazard Series. Mineral Resources Tasmania, \n Department of Infrastructure Energy and Resources, Hobart.
- Mazengarb, C. 2004: Map 3, Glenorchy – Potential Debris– Flow Hazard. \n Tasmanian Landslide Hazard Series. Mineral Resources Tasmania, \n Department of Infrastructure Energy and Resources, Hobart.
- Mazengarb, C. 2004: Map 4, Hobart – Potential Rockfall Hazard. \n Tasmanian Landslide Hazard Series. Mineral Resources Tasmania, \n Department of Infrastructure Energy and Resources, Hobart.
- Mazengarb, C. 2004: Map 5, Hobart – Potential Deep Seated Landslide Hazard. Tasmanian Landslide Hazard Series. Mineral Resources Tasmania, Department of Infrastructure Energy and Resources, Hobart.
- Weldon, B.D. 1991: Stability assessment 14 Livingstone Street, South Hobart – Tasmania Department of Resources and Energy, Division of Mines and Mineral Resources 1991/24.

Appendix 1 Acceptable Solutions – Planning Scheme*Landslide Code Areas*

Standard	Code	Acceptable Solution		Performance Criteria
Use	E3.6.1	A1	Hazardous use relates to an alteration or intensification of an approved use.	P1
	Hazardous Use	A2	No acceptable solution.	P2
	E3.6.2	A1	Vulnerable use is for visitor accommodation.	A1
	Vulnerable Use	A2	No acceptable solution.	A2
Development	E3.7.1 Buildings and Works, other than Minor Extensions	A1	No Acceptable solution	P1
	E3.7.2 Minor Extensions	A1	Buildings and works for minor extensions must comply with the following: (a) be in a Medium Landslide Hazard Area.	P1
	E3.7.3 Major Works	A1	No acceptable solution.	P1
Subdivision	E3.8.1	A1	No Acceptable solution	P1
	Subdivision	A2	Subdivision is not prohibited by the relevant zone standards.	P2

Appendix 2 Qualitative Risk Assessment Tables (AGS)

QUALITATIVE MEASURES OF LIKELIHOOD

Approximate Annual Probability		Implied Indicative Landslide Recurrence Interval		Description	Descriptor	Level
Indicative Value	Notional Boundary					
10^{-1}	5×10^{-2}	10 years	20 years	The event is expected to occur over the design life.	ALMOST CERTAIN	A
10^{-2}		100 years		The event will probably occur under adverse conditions over the design life.	LIKELY	B
10^{-3}	5×10^{-3}	1000 years	200 years	The event could occur under adverse conditions over the design life.	POSSIBLE	C
10^{-4}	5×10^{-4}	10,000 years	2000 years	The event might occur under very adverse circumstances over the design life.	UNLIKELY	D
10^{-5}	5×10^{-5}	100,000 years	20,000 years	The event is conceivable but only under exceptional circumstances over the design life.	RARE	E
10^{-6}	5×10^{-6}	1,000,000 years	200,000 years	The event is inconceivable or fanciful over the design life.	BARELY CREDIBLE	F

Note: (1) The table should be used from left to right; use Approximate Annual Probability or Description to assign Descriptor, not *vice versa*.

QUALITATIVE MEASURES OF CONSEQUENCES TO PROPERTY

Approximate Cost of Damage		Description	Descriptor	Level
Indicative Value	Notional Boundary			
200%	100%	Structure(s) completely destroyed and/or large scale damage requiring major engineering works for stabilisation. Could cause at least one adjacent property major consequence damage.	CATASTROPHIC	1
60%		Extensive damage to most of structure, and/or extending beyond site boundaries requiring significant stabilisation works. Could cause at least one adjacent property medium consequence damage.	MAJOR	2
20%	40%	Moderate damage to some of structure, and/or significant part of site requiring large stabilisation works. Could cause at least one adjacent property minor consequence damage.	MEDIUM	3
5%	10%	Limited damage to part of structure, and/or part of site requiring some reinstatement stabilisation works.	MINOR	4
0.5%	1%	Little damage. (Note for high probability event (Almost Certain), this category may be subdivided at a notional boundary of 0.1%. See Risk Matrix.)	INSIGNIFICANT	5

Notes: (2) The Approximate Cost of Damage is expressed as a percentage of market value, being the cost of the improved value of the unaffected property which includes the land plus the unaffected structures.

(3) The Approximate Cost is to be an estimate of the direct cost of the damage, such as the cost of reinstatement of the damaged portion of the property (land plus structures), stabilisation works required to render the site to tolerable risk level for the landslide which has occurred and professional design fees, and consequential costs such as legal fees, temporary accommodation. It does not include additional stabilisation works to address other landslides which may affect the property.

(4) The table should be used from left to right; use Approximate Cost of Damage or Description to assign Descriptor, not *vice versa*.

QUALITATIVE RISK ANALYSIS MATRIX – LEVEL OF RISK TO PROPERTY

LIKELIHOOD		CONSEQUENCES TO PROPERTY (With Indicative Approximate Cost of Damage)				
	Indicative Value of Approximate Annual Probability	1: CATASTROPHIC 200%	2: MAJOR 60%	3: MEDIUM 20%	4: MINOR 5%	5: INSIGNIFICANT 0.5%
A – ALMOST CERTAIN	10 ⁻¹	VH	VH	VH	H	M or L (5)
B – LIKELY	10 ⁻²	VH	VH	H	M	L
C – POSSIBLE	10 ⁻³	VH	H	M	M	VL
D – UNLIKELY	10 ⁻⁴	H	M	L	L	VL
E – RARE	10 ⁻⁵	M	L	L	VL	VL
F – BARELY CREDIBLE	10 ⁻⁶	L	VL	VL	VL	VL

Notes: (5) For Cell A5, may be subdivided such that a consequence of less than 0.1% is Low Risk.

(6) When considering a risk assessment it must be clearly stated whether it is for existing conditions or with risk control measures which may not be implemented at the current time.

RISK LEVEL IMPLICATIONS

Risk Level		Example Implications (7)
VH	VERY HIGH RISK	Unacceptable without treatment. Extensive detailed investigation and research, planning and implementation of treatment options essential to reduce risk to Low; may be too expensive and not practical. Work likely to cost more than value of the property.
H	HIGH RISK	Unacceptable without treatment. Detailed investigation, planning and implementation of treatment options required to reduce risk to Low. Work would cost a substantial sum in relation to the value of the property.
M	MODERATE RISK	May be tolerated in certain circumstances (subject to regulator's approval) but requires investigation, planning and implementation of treatment options to reduce the risk to Low. Treatment options to reduce to Low risk should be implemented as soon as practicable.
L	LOW RISK	Usually acceptable to regulators. Where treatment has been required to reduce the risk to this level, ongoing maintenance is required.
VL	VERY LOW RISK	Acceptable. Manage by normal slope maintenance procedures.

Note: (7) The implications for a particular situation are to be determined by all parties to the risk assessment and may depend on the nature of the property at risk; these are only given as a general guide.

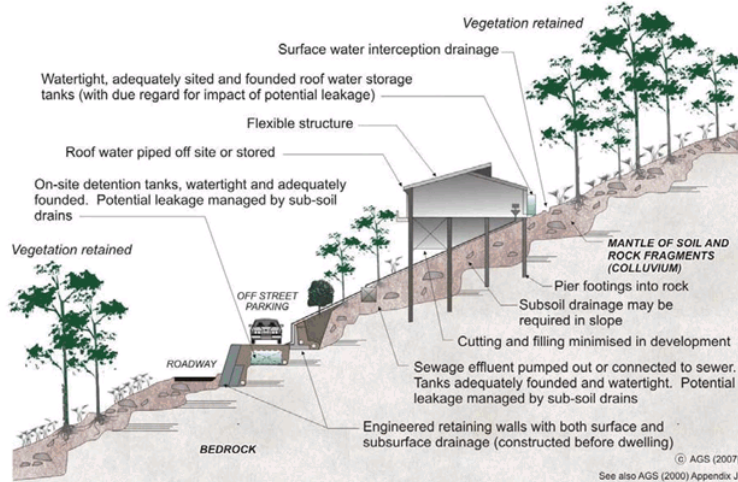
Appendix 3 AGS Hillside Construction Practice

AUSTRALIAN GEOGUIDE LR8 (CONSTRUCTION PRACTICE)

HILLSIDE CONSTRUCTION PRACTICE

Sensible development practices are required when building on hillsides, particularly if the hillside has more than a low risk of instability (GeoGuide LR7). Only building techniques intended to maintain, or reduce, the overall level of landslide risk should be considered. Examples of good hillside construction practice are illustrated below.

EXAMPLES OF GOOD HILLSIDE CONSTRUCTION PRACTICE



WHY ARE THESE PRACTICES GOOD?

Roadways and parking areas - are paved and incorporate kerbs which prevent water discharging straight into the hillside (GeoGuide LR5).

Cuttings - are supported by retaining walls (GeoGuide LR6).

Retaining walls - are engineer designed to withstand the lateral earth pressures and surcharges expected, and include drains to prevent water pressures developing in the backfill. Where the ground slopes steeply down towards the high side of a retaining wall, the disturbing force (see GeoGuide LR6) can be two or more times that in level ground. Retaining walls must be designed taking these forces into account.

Sewage - whether treated or not is either taken away in pipes or contained in properly founded tanks so it cannot soak into the ground.

Surface water - from roofs and other hard surfaces is piped away to a suitable discharge point rather than being allowed to infiltrate into the ground. Preferably, the discharge point will be in a natural creek where ground water exits, rather than enters, the ground. Shallow, lined, drains on the surface can fulfil the same purpose (GeoGuide LR5).

Surface loads - are minimised. No fill embankments have been built. The house is a lightweight structure. Foundation loads have been taken down below the level at which a landslide is likely to occur and, preferably, to rock. This sort of construction is probably not applicable to soil slopes (GeoGuide LR3). If you are uncertain whether your site has rock near the surface, or is essentially a soil slope, you should engage a geotechnical practitioner to find out.

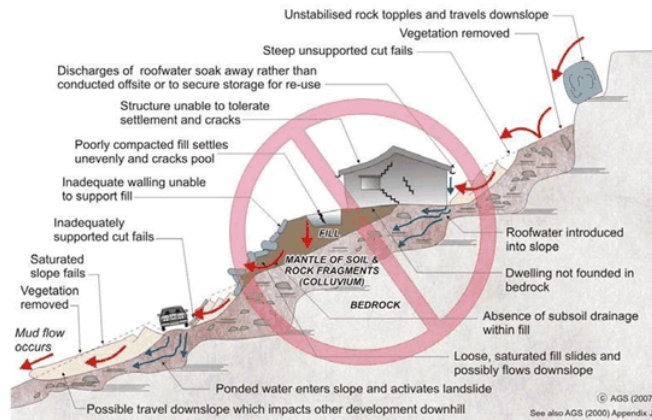
Flexible structures - have been used because they can tolerate a certain amount of movement with minimal signs of distress and maintain their functionality.

Vegetation clearance - on soil slopes has been kept to a reasonable minimum. Trees, and to a lesser extent smaller vegetation, take large quantities of water out of the ground every day. This lowers the ground water table, which in turn helps to maintain the stability of the slope. Large scale clearing can result in a rise in water table with a consequent increase in the likelihood of a landslide (GeoGuide LR5). An exception may have to be made to this rule on steep rock slopes where trees have little effect on the water table, but their roots pose a landslide hazard by dislodging boulders.

Possible effects of ignoring good construction practices are illustrated on page 2. Unfortunately, these poor construction practices are not as unusual as you might think and are often chosen because, on the face of it, they will save the developer, or owner, money. You should not lose sight of the fact that the cost and anguish associated with any one of the disasters illustrated, is likely to more than wipe out any apparent savings at the outset.

ADOPT GOOD PRACTICE ON HILLSIDE SITES

AUSTRALIAN GEOGUIDE LR8 (CONSTRUCTION PRACTICE) EXAMPLES OF **POOR** HILLSIDE CONSTRUCTION PRACTICE



WHY ARE THESE PRACTICES POOR?

Roadways and parking areas - are unsurfaced and lack proper table drains (gutters) causing surface water to pond and soak into the ground.

Cut and fill - has been used to balance earthworks quantities and level the site leaving unstable cut faces and added large surface loads to the ground. Failure to compact the fill properly has led to settlement, which will probably continue for several years after completion. The house and pool have been built on the fill and have settled with it and cracked. Leakage from the cracked pool and the applied surface loads from the fill have combined to cause landslides.

Retaining walls - have been avoided, to minimise cost, and hand placed rock walls used instead. Without applying engineering design principles, the walls have failed to provide the required support to the ground and have failed, creating a very dangerous situation.

A heavy, rigid, house - has been built on shallow, conventional, footings. Not only has the brickwork cracked because of the resulting ground movements, but it has also become involved in a man-made landslide.

Soak-away drainage - has been used for sewage and surface water run-off from roofs and pavements. This water soaks into the ground and raises the water table (GeoGuide LR5). Subsoil drains that run along the contours should be avoided for the same reason. If felt necessary, subsoil drains should run steeply downhill in a chevron, or herring bone, pattern. This may conflict with the requirements for effluent and surface water disposal (GeoGuide LR9) and if so, you will need to seek professional advice.

Rock debris - from landslides higher up on the slope seems likely to pass through the site. Such locations are often referred to by geotechnical practitioners as "debris flow paths". Rock is normally even denser than ordinary fill, so even quite modest boulders are likely to weigh many tonnes and do a lot of damage once they start to roll. Boulders have been known to travel hundreds of metres downhill leaving behind a trail of destruction.

Vegetation - has been completely cleared, leading to a possible rise in the water table and increased landslide risk (GeoGuide LR5).

DON'T CUT CORNERS ON HILLSIDE SITES - OBTAIN ADVICE FROM A GEOTECHNICAL PRACTITIONER

More information relevant to your particular situation may be found in other Australian GeoGuides:

- GeoGuide LR1 - Introduction
- GeoGuide LR2 - Landslides
- GeoGuide LR3 - Landslides in Soil
- GeoGuide LR4 - Landslides in Rock
- GeoGuide LR5 - Water & Drainage
- GeoGuide LR6 - Retaining Walls
- GeoGuide LR7 - Landslide Risk
- GeoGuide LR9 - Effluent & Surface Water Disposal
- GeoGuide LR10 - Coastal Landslides
- GeoGuide LR11 - Record Keeping

The Australian GeoGuides (LR series) are a set of publications intended for property owners; local councils; planning authorities; developers; insurers; lawyers and, in fact, anyone who lives with, or has an interest in, a natural or engineered slope, a cutting, or an excavation. They are intended to help you understand why slopes and retaining structures can be a hazard and what can be done with appropriate professional advice and local council approval (if required) to remove, reduce, or minimise the risk they represent. The GeoGuides have been prepared by the Australian Geomechanics Society, a specialist technical society within Engineers Australia, the national peak body for all engineering disciplines in Australia, whose members are professional geotechnical engineers and engineering geologists with a particular interest in ground engineering. The GeoGuides have been funded under the Australian governments' National Disaster Mitigation Program.

Appendix 4 Site Photos



Photo 1 Looking NW across the development site to neighbouring property at 76 Alexander Street.



Photo 2 Looking towards French Street

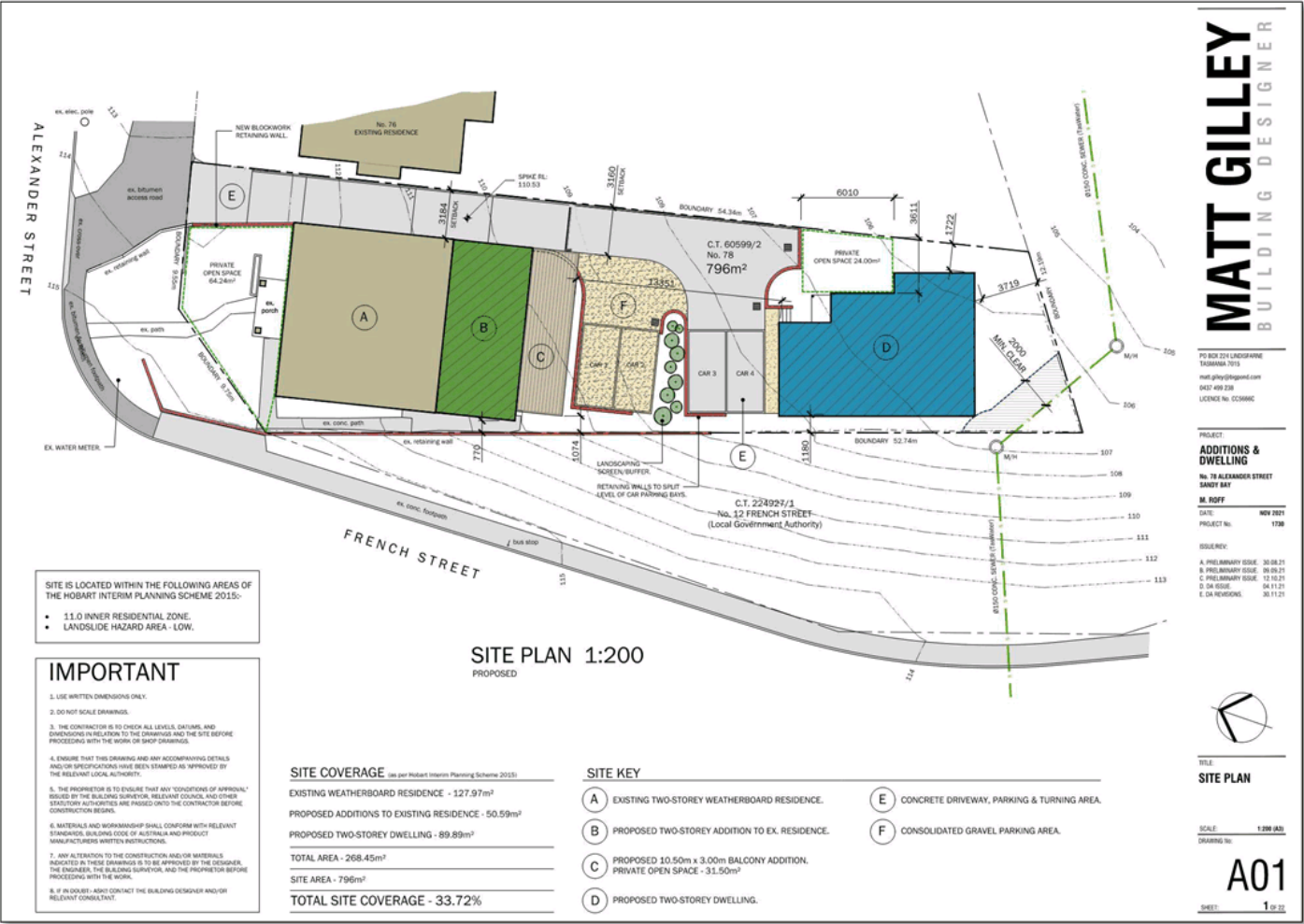


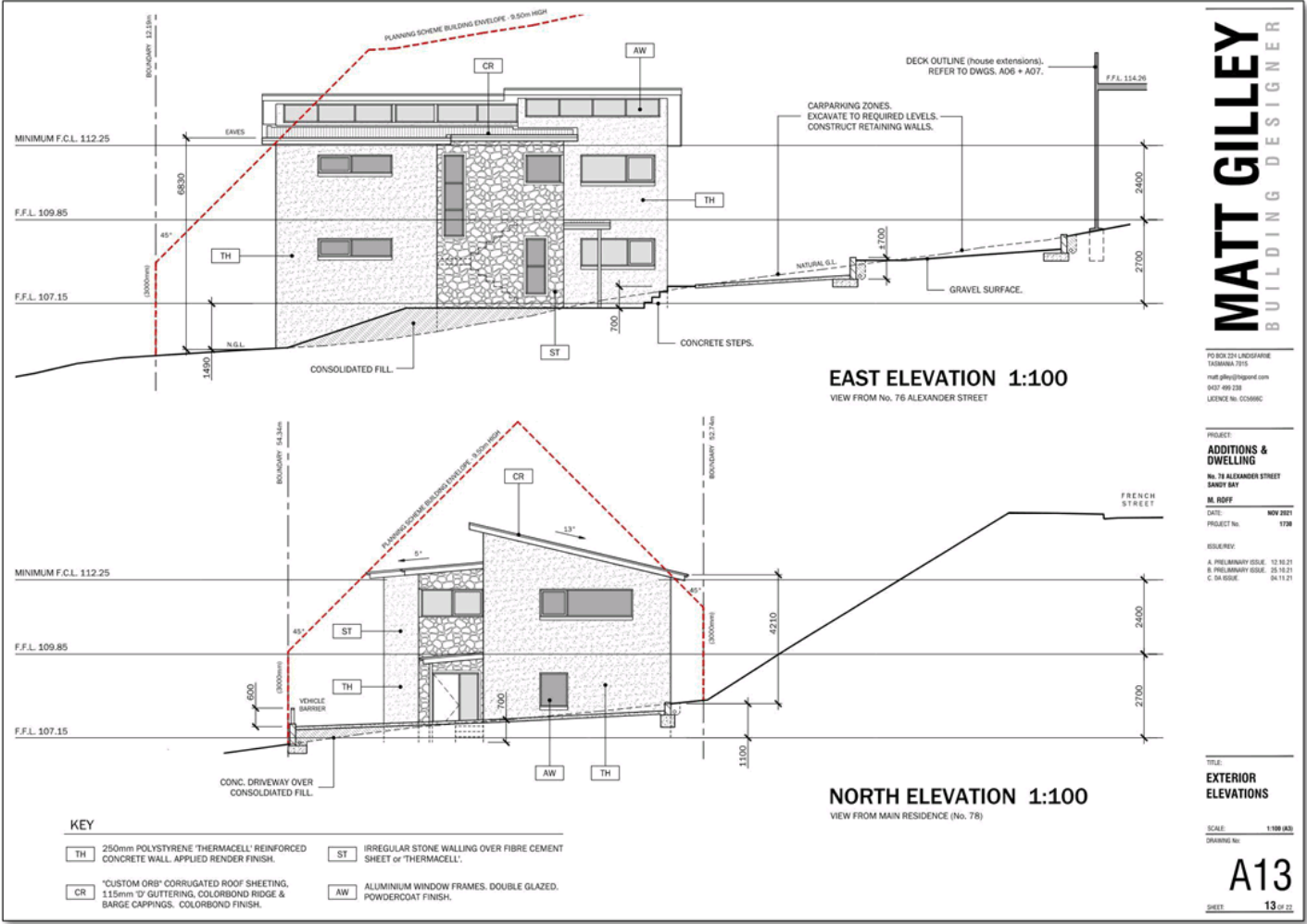
Photo 3 Looking NE toward the proposed unit development area

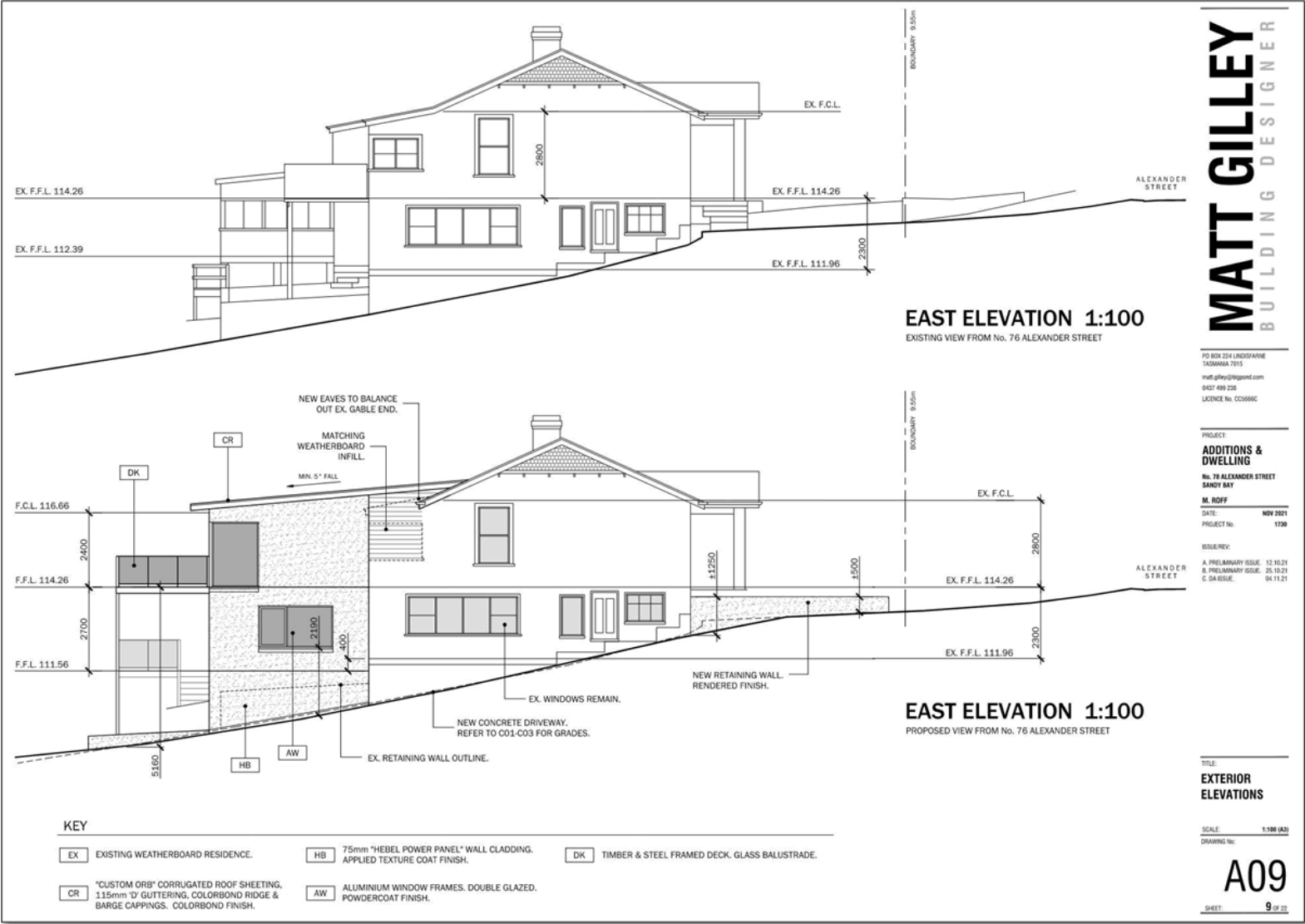


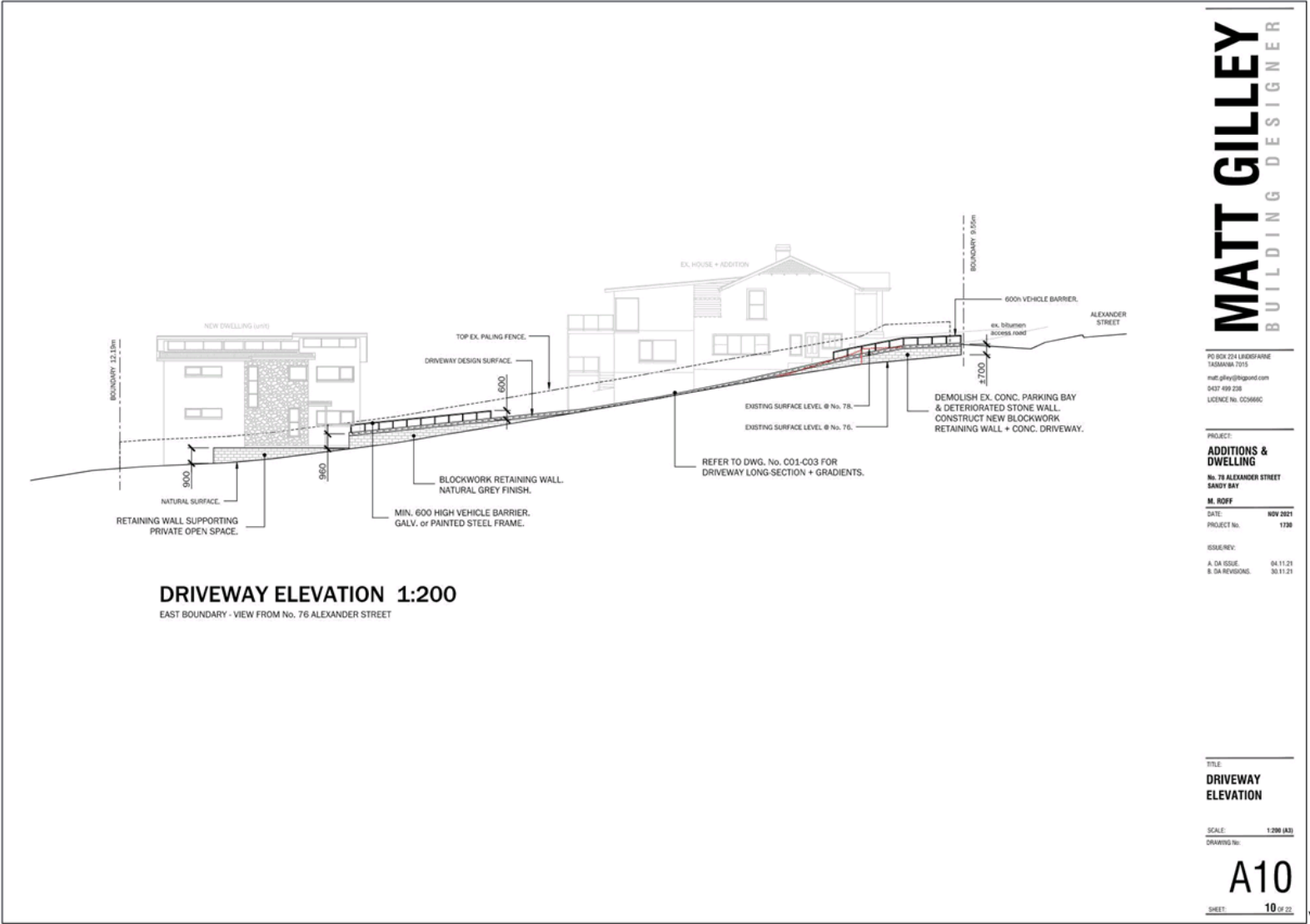
Photo 4 Soils of the site

Appendix 5 Site Plan









Appendix 6 Quantitative Risk Assessment

Performance Criteria E3.7.1 P1	Relevance	Management Options	Managed (treated) Risk Assessment			Further Assessment Required
			Consequence	Likelihood	Risk	
<p>To ensure that landslide risk associated with buildings and works for buildings and works, other than minor extensions, in Landslide Hazard Areas, is:</p> <p>(a) acceptable risk; or</p> <p>(b) tolerable risk, having regard to the feasibility and effectiveness of measures required to manage the landslide hazard.</p>						
<p>P1</p> <p>Buildings and works must satisfy all of the following:</p> <p>(a) no part of the buildings and works is in a High Landslide Hazard Area;</p> <p>(b) the landslide risk associated with the buildings and works is either:</p> <p>(i) acceptable risk; or</p> <p>(ii) capable of feasible and effective treatment through hazard management measures, so as to be tolerable risk.</p>	Capable of feasible and effective treatment through hazard management measures	<ul style="list-style-type: none"> A scenario for deep-seated failure has been presented, however, the likelihood is barely credible and resultant risk is very low. Foundations of the proposed dwelling extensions should be seated within the competent underlying sandy CLAY materials identified below 1.4mbgs; Due to the sizing constraints, unretained cuts are not recommended at the site. All cuts should be retained with suitably engineered and drained retaining walls with topography and neighbouring properties taken into consideration. Foundations of retaining walls should extend into the underlying natural materials. This must be checked by GES or the site engineer at time of construction. All retaining walls should account for upslope drainage above the walls and a grate drain immediately below the walls to avoid saturation of site soils below the wall foundations. Use of fill should be limited at the site. All earthworks on site must comply with AS3798-2007 and a sediment and erosion control plan should be implemented on site during and after construction. The proposed development should be constructed in accordance with the Australian Geomechanics Society (2007) guidelines for Good Hillside Construction Practices. Stormwater of both existing and proposed new dwelling extensions must be connected to reticulated systems. 	Medium	Unlikely	Low	No
			Major	Rare	Low	



Amended Submission to Planning Authority Notice

Council Planning Permit No.	PLN-21-763	Council notice date	27/01/2022
TasWater details			
TasWater Reference No.	TWDA 2022/00114-HCC	Date of response	18/02/2022
TasWater Contact	Timothy Carr	Phone No.	0419 306 130
Response issued to			
Council name	CITY OF HOBART		
Contact details	coh@hobartcity.com.au		
Development details			
Address	78 ALEXANDER ST, SANDY BAY	Property ID (PID)	5599622
Description of development	Multiple Dwellings x 2 (1 new + 1 ex) + Associated Hydraulic Infrastructure in Council reserve - CT224927/1		
Schedule of drawings/documents			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
Matt Gilley Building Designer	Plumbing Plan – C04	C	14/02/2022
Matt Gilley Building Designer	Stormwater Plan – C05	A	14/02/2022
Conditions			
Pursuant to the <i>Water and Sewerage Industry Act 2008</i> (TAS) Section 56P(1) TasWater imposes the following conditions on the permit for this application:			
CONNECTIONS, METERING & BACKFLOW			
1. A suitably sized water supply with metered connections and sewerage system and connections to the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit.			
Advice: <i>The new DN32 (ID25mm) water connection will be required to be located adjacent to the driveway, inside the front property boundary.</i>			
2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost.			
3. Prior to commencing construction of the subdivision/use of the development, any water connection utilised for construction/the development must have a backflow prevention device and water meter installed, to the satisfaction of TasWater.			
TASWATER ASSETS			
4. The developer must take all precautions to protect existing TasWater infrastructure. Any damage caused to existing TasWater infrastructure during the construction period must be promptly reported to TasWater and repaired by TasWater at the developer's cost.			
DEVELOPMENT ASSESSMENT FEES			
5. The applicant or landowner as the case may be, must pay a development assessment fee of \$219.04 to TasWater, as approved by the Economic Regulator and the fee will be indexed, until the date paid to TasWater.			
The payment is required within 30 days of the issue of an invoice by TasWater.			



Advice

General

For information on TasWater development standards, please visit <https://www.taswater.com.au/building-and-development/technical-standards>

For application forms please visit <https://www.taswater.com.au/building-and-development/development-application-form>

Service Locations

Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.

The location of this infrastructure as shown on the GIS is indicative only.

- (a) A permit is required to work within TasWater's easements or in the vicinity of its infrastructure.
Further information can be obtained from TasWater
- (b) TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit www.taswater.com.au/Development/Service-location for a list of companies
- (c) TasWater will locate residential water stop taps free of charge
- (d) Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

Authorised by

Jason Taylor
Development Assessment Manager

TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au

Application Referral Development Engineering - Response

From:	Stefan Gebka - Development Engineering
Recommendation:	Proposal is acceptable subject to conditions.
Date Completed:	
Address:	78 ALEXANDER STREET, SANDY BAY 12 FRENCH STREET, SANDY BAY
Proposal:	Partial Demolition, Alterations, Extension, Two Multiple Dwellings (One Existing, One New), and Associated Hydraulic Infrastructure
Application No:	PLN-21-763
Assessment Officer:	Deanne Lang,

Referral Officer comments:

OVERVIEW:

Planning approval is sought for Partial Demolition, Alterations, Extension, Two Multiple Dwellings (One Existing, One New), Associated Hydraulic Infrastructure in Council Reserve, at 78 Alexander Street, Sandy Bay.

More specifically the proposal includes:

- partial demolition, alterations and extension to an existing double storey weatherboard dwelling. The double storey rear extension will be constructed in a combination of matching weatherboards and "hebel power panel" wall cladding with an applied texture finish, with a colorbond roof;
- the ground floor rear extension will consist of a 53sqm living/dining area, with direct access to a 10.5m x 3m (31.5sqm) deck
- the lower ground floor which currently consists of a bathroom/laundry and storage room, will be excavated to create two bedrooms, home office, bathroom/laundry and store room, resulting in a lower ground floor area of 94sqm;
- a new double storey three bedroom dwelling behind the existing dwelling. The dwelling will be constructed from a combination of reinforced concrete walls, irregular stone walls over fibre cement sheeting and a colorbond roof;
- extension to the existing driveway, new parking and turning areas;
- four onsite car parking spaces, with two (2) designated to each dwelling
- landscaping adjacent to the proposed onsite parking area;
- individual 1.5sqm waste storage areas for each dwelling;
- retaining walls on the eastern elevation of the driveway, with a maximum height of 960mm; and
- a new headwall in the rivulet for stormwater discharge.

ASSESSMENT SUMMARY:

- E5.0 Road and railway access code - DOES APPLY

- Clause E5.5.1 Existing road accesses and junctions - **Acceptable Solution**
- Clause E5.5.2: Existing level crossings - **Not Applicable**
- Clause E5.6.1: Development adjacent to roads and railways - **Not Applicable**
- Clause E5.6.2: Road accesses and junctions - **Not Applicable**
- Clause E5.6.3: New level crossings - **Not Applicable**
- Clause E5.6.4: Sight distance at accesses, junctions and level crossings - **Not Applicable**

• **E6.0 Parking and Access Code - DOES APPLY**

- Clause(s) E6.6's: Are all to do with parking number assessment - **Acceptable Solution**
- Clause E6.7.1: Number of vehicle accesses - **Acceptable Solution**

- Clause E6.7.2: Design of vehicle accesses - **Performance Criteria**

*The design of the vehicle access must satisfy either Acceptable Solutions or Performance Criteria for each clause of the Hobart Interim Planning Scheme 2015 (HIPS 2015).
Documentation submitted to date does not satisfy the Acceptable Solution for clause E6.7.2 (a) and as such, shall be assessed under Performance Criteria.*

Acceptable Solution - A1: - **NON COMPLIANT**

Design of vehicle access points must comply with all of the following:

(a) in the case of non-commercial vehicle access; the location, sight distance, width and gradient of an access must be designed and constructed to comply with section 3 – “Access Facilities to Off-street Parking Areas and Queuing Areas” of AS/NZS 2890.1:2004 Parking Facilities Part 1: Off-street car parking.

Submitted plans indicate 2m x 2.5m sight triangle areas abutting the driveway are not kept clear of obstructions to visibility due to the proposed vehicular barrier and blockwork retaining walls, but assessed under Performance Criteria

- Clause E6.7.3: Vehicle passing area along an access - **Performance Criteria**

Vehicle passing must satisfy either Acceptable Solutions or Performance Criteria for each clause of the Hobart Interim Planning Scheme 2015 (HIPS 2015).

Documentation submitted to date does not satisfy the Acceptable Solution for clause E6.7.3 and as such, shall be assessed under Performance Criteria.

Acceptable solution - A1: - **NON COMPLIANT**

Vehicular passing areas must:

(a) be provided if any of the following applies to an access:

*(ii) is more than 30 m long; - **YES but assessed under Performance Criteria***

- Clause E6.7.4: On-site turning - **Not Applicable**

- Clause E6.7.5: Layout of parking areas - **Performance Criteria**

Acceptable Solution A1: - **NON COMPLIANT**

The layout of car parking spaces, access aisles, circulation roadways and ramps must be designed and constructed to comply with section 2 “Design of Parking Modules, Circulation Roadways and Ramps” of AS/NZS 2890.1:2004 Parking Facilities Part 1: Off-street car parking and must have sufficient headroom to comply with clause 5.3 “Headroom” of the same Standard.

Car Parking Space Design Envelope (AS2890.1 Fig 5.2 300mm clearance on side):

- Submitted documentation appears able to satisfy this requirement but assessed under Performance Criteria

- Clause E6.7.6: Surface treatment of parking areas - **Acceptable Solution**
- Clause E6.7.7: Lighting of parking areas - **Not Applicable**

- Clause E6.7.8: Landscaping of parking areas - Not Applicable
- Clause E6.7.9: Design of motorcycle parking areas - Not Applicable
- Clause E6.7.10: Design of bicycle parking areas - Not Applicable
- Clause E6.7.11: Bicycle end trip facilities (Planner assessment) - Not Applicable
- Clause E6.7.12: Siting of car parking (Planner assessment based on DE no.'s) - Not Applicable
- Clause E6.7.13: Facilities for commercial vehicles - Not Applicable
- Clause E6.7.14: Access to a road - Acceptable Solution
- Clause E6.7.15: Access to Niree Lane Sandy Bay - Not Applicable

• **E7.0 Stormwater - DOES APPLY**

- Clause E7.7.1 - 1: Stormwater drainage and disposal - Acceptable Solution
- Clause E7.7.1 - 2: Stormwater drainage and disposal - Not Applicable
- Clause E7.7.1 - 3: Stormwater drainage and disposal - Acceptable Solution
- Clause E7.7.1 - 4: Stormwater drainage and disposal - Not Applicable

COMMENTS:

In a council related engineering context, the proposal can be supported in principal subject to the following conditions and advice. however, due to the scope of the proposal, the application has been referred to the Council's Manager Bushland, Biodiversity & Waterways. The delegated officers' responses, including recommendations are inserted in the respective referral reports.

GENERAL CONDITIONS:

ENG1: Pay Costs

ENG 2a: Vehicular barriers compliant with the Australian Standard AS/NZS 1170.1:2002 must be installed

ENG 2b: The vehicle barriers must be installed in accordance with the approved detailed designs approved as a condition endorsement

ENG 2c: A suitably qualified engineer must certify that the vehicle barriers have been installed in accordance design drawings approved by Condition ENG 2b

ENG 3b: The access driveway and parking areas must be constructed in accordance with the approved detailed designs approved as a condition endorsement

ENG 3c: A suitably qualified engineer must certify that the access driveway and parking area has been constructed in accordance with design drawings approved by Condition ENG 3b

ENG 4: Surface treatment

ENG 5: The number of car parking spaces approved on the site, for use is four (4)

ENG sw1: Stormwater

SW6: The new stormwater infrastructure must be designed and constructed. Detailed engineering drawings of the infrastructure must be submitted and approved (Waterways Report)

ENV 2: SWMP design (Waterways / EDP Report)

ADVICE:

- Dial before you dig
- Fees and charges
- Building Permit
- Plumbing Permit
- Occupation of the Public Highway

- Driveway surfacing over highway reservation
- Condition endorsement engineering
- General Exemption (Temporary) Parking Permits
- New Service Connection
- Multiple dwelling use is not eligible to residential parking permits. Under the current policy for the issuing of residential parking permits, the proposed use would not entitle the property to a residential parking permit

REPRESENTATIONS:

Nil

DETAILED ASSESSMENT:**E5.0 Road and railway access code**

E5.1 Purpose			E5.1.1 The purpose of this provision is to: (a) protect the safety and efficiency of the road and railway networks; and (b) reduce conflicts between sensitive uses and major roads and the rail network.
E5.2 Application of this Code	YES	NO	
			This Code applies to use or development of land:
	Yes	No	(a) that will require a new vehicle crossing, junction or level crossing; or
	Yes	No	(b) that intensifies the use of an existing access; or
	Yes	No	(c) that involves a sensitive use, a building, works or subdivision within 50m metres of a Utilities zone that is part of:
	Yes	No	(i) a rail network;
	Yes	No	(ii) a category 1 - Trunk Road or a category 2 - Regional Freight Road, that is subject to a speed limit of more than 60km/h kilometres per hour.
Clause for Assessment			Comments / Discussion (in bold)

<p>Clause E5.5.1: Existing road accesses and junctions</p> <p>ACCEPTABLE SOLUTION</p>	<p>The existing road access must satisfy either Acceptable Solutions or Performance Criteria for each clause of the <i>Hobart Interim Planning Scheme 2015 (HIPS 2015)</i>. <u>Documentation submitted to date does appear to satisfy the Acceptable Solution for clause E5.5.1 (A3)</u></p> <p><u>Acceptable Solution A3: - COMPLIANT</u></p> <p>The annual average daily traffic (AADT) of vehicle movements, to and from a site, using an existing access or junction, in an area subject to a speed limit of 60km/h or less, must not increase by more than 20% or 40 vehicle movements per day, whichever is the greater.</p> <p>RTA Guide to Traffic Generating Developments state 9-10 vehicle movements per dwelling per day with 1 vehicle movement during peak times for residential dwellings.</p> <p>2 (dwellings) x 10 (movements) = 2 x 10 daily vehicle trips therefore, 20 Daily vehicle trips.</p> <p><i>3.3 Residential.</i> <i>3.3.1 Dwelling houses.</i> <u>Rates.</u> <i>Daily vehicle trips = 9.0 per dwelling</i> <i>Weekday peak hour vehicle trips = 0.85 per dwelling.</i> <u>Factors.</u> <i>The above rates are based on surveys conducted in areas where new residential subdivisions are being built. Public transport accessibility in such areas is often limited. Traffic generation rates in inner metropolitan areas where public transport is more accessible could be lower. However in inner metropolitan areas that are more affluent, higher car ownership rates often counter-balance better public transport accessibility. With new subdivisions, where standard lots are given, some additional allowance may be made for dual occupancy and group homes, where there are sufficient numbers of these types of residences.</i></p> <p><i>The Australian Model Code for Residential Development (AMCORD) assumes a daily vehicle generation rate of 10.0 per dwelling, with 10% of that taking place in the commuter peak period. The use of these figures provides some allowance for later dual occupancy development.</i> <i>Note that not all trips are external trips. As a guide, about 25% of trips are internal to the subdivision, involving local shopping, schools and local social visits. When reviewing the impact of the traffic generated on sub-regional and regional roads, some adjustment is necessary, depending on the location of shops, schools and recreational facilities.</i></p>
--	--

Clause E5.5.2: Existing level crossings			<u>Documentation submitted to date appears not to invoke clause E5.5.2.</u>
NOT APPLICABLE			No intensification of an existing level crossings proposed.
Clause E5.6.1: Development adjacent to roads and railways			<u>Documentation submitted to date appears not to invoke clause E5.6.1.</u>
NOT APPLICABLE			No development adjacent to category 1 or category 2 road proposed.
Clause E5.6.2: Road accesses and junctions			<u>Documentation submitted to date appears not to invoke clause E5.6.2.</u>
NOT APPLICABLE			No new accesses or access junctions proposed.
Clause E5.6.3: New level crossings			<u>Documentation submitted to date appears not to invoke clause E5.6.3.</u>
NOT APPLICABLE			No new level crossings proposed.
Clause E5.6.4: Sight distance at accesses, junctions and level crossings			<u>Documentation submitted to date appears not to invoke clause E5.6.4.</u>
NOT APPLICABLE			No new accesses (road) and/or junctions proposed.

E 6.0 Parking and Access Code

E6.1 Purpose			E6.1.1
			The purpose of this provision is to:
	Yes	N/A	(a) ensure safe and efficient access to the road network for all users, including drivers, passengers, pedestrians and cyclists;
	Yes	N/A	(b) ensure enough parking is provided for a use or development to meet the reasonable requirements of users, including people with disabilities;
	Yes	N/A	(c) ensure sufficient parking is provided on site to minimise on-street parking and maximise the efficiency of the road network;
	Yes	N/A	(d) ensure parking areas are designed and located in conformity with recognised standards to enable safe, easy and efficient use and contribute to the creation of vibrant and liveable places;

	Yes	N/A	(e) ensure access and parking areas are designed and located to be safe for users by minimising the potential for conflicts involving pedestrians, cyclists and vehicles; and by reducing opportunities for crime or anti-social behaviour;
	Yes	N/A	(f) ensure that vehicle access and parking areas do not adversely impact on amenity, site characteristics or hazards;
	Yes	N/A	(g) recognise the complementary use and benefit of public transport and non-motorised modes of transport such as bicycles and walking;
	Yes	N/A	(h) provide for safe servicing of use or development by commercial vehicles.
E6.2 Application of this Code	YES	—	This code applies to all use and development.
Clause for Assessment			Comments / Discussion (in bold)

<p>Clause(s) 6.6's are all to do with parking number assessment. These will be assessed by planner based on DE assessment of the following relevant clauses.</p> <p>ACCEPTABLE SOLUTION</p>		<p>The parking number assessment must satisfy either Acceptable Solutions or Performance Criteria for each clause of the <i>Hobart Interim Planning Scheme 2015 (HIPS 2015)</i>.</p> <p><u>Documentation submitted to date appears to satisfy the Acceptable Solution for clause E6.6.1.1 and E6.6.1.2</u></p> <p>Acceptable solution - A1: - COMPLIANT</p> <p>The number of on-site car parking spaces must be:</p> <p>(a) no less than and no greater than the number specified in Table E6.1;</p> <p>Single dwelling containing 2 or more bedrooms (including all rooms capable of being used as a bedroom) = Two (2x)</p> <p>Two (2x) car parking spaces shown on site as shown on the submitted plans for each dwelling.</p> <p>SDE and SSP position is that visitor carparking on-site is not required in this instance.</p> <p>- The empirical parking assessment indicates that the provision of four (4x) on-site car parking spaces will sufficiently meet the likely demands associated with the development.</p> <p>- There is a relatively large supply of on-street parking in the surrounding road network. Much of the available parking is in the form of time-restricted parking, with authorised residents excepted. It is acknowledged on-street car parking capacity may become significantly reduced during peak periods however, should still offer an adequate level of service. Observations indicate that there is a large pool of parking that would be available to meet the potential demands of visitor and overflow parking, particularly after normal working / school hours.</p> <p>- Metro Tasmania operate regular bus services along Alexander Street (457 / 458), French Street (457 / 458) and Churchill Avenue (401 / 402 / 501 / 601) which is within 400 metres of the subject site.</p>
--	--	--

<p>Clause E6.7.1: Number of vehicle accesses</p> <p>ACCEPTABLE SOLUTION</p>		<p>The number of vehicle accesses must satisfy either Acceptable Solutions or Performance Criteria for each clause of the <i>Hobart Interim Planning Scheme 2015 (HIPS 2015)</i>.</p> <p><u>Documentation submitted to date appears to be able to satisfy the Acceptable Solution for clause E6.7.1.</u></p> <p>Acceptable solution: - COMPLIANT</p> <p>The number of vehicle access points provided for each road frontage must be no more than 1 or the existing number of vehicle access points, whichever is the greater.</p> <p>One (1x) crossover (Alexander Street frontage) - Existing, no additional crossover(s) proposed.</p>
<p>Clause E6.7.2: Design of vehicle accesses</p> <p>PERFORMANCE CRITERIA</p>		<p>The design of the vehicle access must satisfy either Acceptable Solutions or Performance Criteria for each clause of the <i>Hobart Interim Planning Scheme 2015 (HIPS 2015)</i>.</p> <p><u>Documentation submitted to date does not satisfy the Acceptable Solution for clause E6.7.2 (a) [sight distance: 2m x 2.5m sight triangles - These areas to be kept clear of obstructions to visibility] and as such, shall be assessed under Performance Criteria.</u></p> <p>Submitted plans indicate 2m x 2.5m sight triangle areas abutting the driveway are <u>not</u> kept clear of obstructions to visibility due to the proposed vehicular barrier and blockwork retaining walls.</p> <p>Acceptable Solution - A1: - NON COMPLIANT</p> <p>Design of vehicle access points must comply with all of the following:</p> <p>(a) in the case of non-commercial vehicle access; the location, sight distance, width and gradient of an access must be designed and constructed to comply with section 3 – “Access Facilities to Off-street Parking Areas and Queuing Areas” of AS/NZS 2890.1:2004 Parking Facilities Part 1: Off-street car parking.</p> <p>Performance Criteria - P1:</p> <p>Design of vehicle access points must be safe, efficient and convenient, having regard to all of the following:</p> <p>(a) avoidance of conflicts between users including vehicles, cyclists and pedestrians;</p> <p>- Acceptable, submitted documentation appears to satisfy this requirement as on-site turning is possible (forward exit) and the straight driveway will allow vehicles to see approaching vehicle</p> <p>(b) avoidance of unreasonable interference with the flow</p>

		<p>of traffic on adjoining roads;</p> <p>- Acceptable, submitted documentation appears to satisfy this requirement as the subject site is serviced by a "service road" and does not exit directly onto Alexander Street</p> <p>(c) suitability for the type and volume of traffic likely to be generated by the use or development; and</p> <p>- Acceptable, submitted documentation appears to satisfy this requirement as this is a residential development (one additional dwelling)</p> <p>(d) ease of accessibility and recognition for users.</p> <p>- Acceptable, submitted documentation appears to satisfy this requirement as this is a residential development and the users will be familiar with the access provisions</p> <p>Based on the above assessment and given the submitted documentation, sight lines that may be accepted under <i>Performance Criteria P1:E6.7.2</i> of the Planning Scheme. Given the location of the access and driveway, and the low volume of traffic on the road from which the property gains access.</p> <p>Surrounding properties exhibit similar access provisions.</p>

<p>Clause E6.7.3: Vehicle passing area along an access</p> <p>PERFORMANCE CRITERIA</p>		<p>Vehicle passing must satisfy either Acceptable Solutions or Performance Criteria for each clause of the <i>Hobart Interim Planning Scheme 2015 (HIPS 2015)</i>. <u>Documentation submitted to date does not satisfy the Acceptable Solution for clause E6.7.3 and as such, shall be assessed under Performance Criteria.</u></p> <p>Acceptable solution - A1: - NON COMPLIANT</p> <p>Vehicular passing areas must:</p> <p>(a) be provided if any of the following applies to an access:</p> <p>(i) it serves more than 5 car parking spaces; - NO</p> <p>(ii) is more than 30 m long; - YES</p> <p>(iii) it meets a road serving more than 6000 vehicles per day; - No</p> <p>(b) be 6 m long, 5.5 m wide, and taper to the width of the driveway; - N/A</p> <p>(c) have the first passing area constructed at the kerb; - N/A</p> <p>(d) be at intervals of no more than 30 m along the access. - N/A</p> <p>Performance Criteria - P1:</p> <p>Vehicular passing areas must be provided in sufficient number, dimension and siting so that the access is safe, efficient and convenient, having regard to all of the following:</p> <p>(a) avoidance of conflicts between users including vehicles, cyclists and pedestrians; - Acceptable, submitted documentation appears to satisfy this requirement</p> <p>(b) avoidance of unreasonable interference with the flow of traffic on adjoining roads; - Acceptable, submitted documentation appears to satisfy this requirement</p> <p>(c) suitability for the type and volume of traffic likely to be generated by the use or development; - Acceptable, submitted documentation appears to satisfy this requirement</p> <p>(d) ease of accessibility and recognition for users; - Acceptable, submitted documentation appears to satisfy this requirement</p> <p>Based on the above assessment and given the submitted documentation, vehicle passing areas may be accepted under <i>Performance Criteria P1:E6.7.3</i> of the Planning Scheme. Given the driveway configuration, and the low volume of traffic.</p>

<p>Clause E6.7.4: On-site turning</p> <p>NOT APPLICABLE</p>		<p>On-site turning must satisfy either Acceptable Solutions or Performance Criteria for each clause of the Hobart Interim Planning Scheme 2015 (HIPS 2015). <u>Documentation submitted to date appears not to invoke clause E6.7.4.</u></p> <p><u>Acceptable solution - A1:</u> On-site turning must be provided to enable vehicles to exit a site in a forward direction, except where the access complies with any of the following: (a) it serves no more than two dwelling units; - COMPLIES (b) it meets a road carrying less than 6000 vehicles per day. - COMPLIES</p> <p>Submitted documentation appears to indicate no facility / requirement for on-site turning.</p> <p>Although not a requirement, on-site turning is feasible given the manoeuvring provisions.</p>
<p>Clause E6.7.5: Layout of parking areas</p> <p>PERFORMANCE CRITERIA</p>		<p>The layout of the parking area must satisfy either Acceptable Solutions or Performance Criteria for each clause of the Hobart Interim Planning Scheme 2015 (HIPS 2015). <u>Documentation submitted to date does not satisfy the Acceptable Solution for clause E6.7.5 and as such, shall be assessed under Performance Criteria.</u></p> <p><u>Acceptable Solution A1: - NON COMPLIANT</u> The layout of car parking spaces, access aisles, circulation roadways and ramps must be designed and constructed to comply with section 2 "Design of Parking Modules, Circulation Roadways and Ramps" of AS/NZS 2890.1:2004 Parking Facilities Part 1: Off-street car parking and must have sufficient headroom to comply with clause 5.3 "Headroom" of the same Standard.</p> <ul style="list-style-type: none"> • Car Parking Space Dimensions (AS2890.1 Fig 2.2 = 2.4x5.4m Class 1A): - Submitted documentation appears able to satisfy this requirement but assessed under Performance Criteria, to be confirmed (condition) by detailed design drawings via the CEP process • Car Parking Space Design Envelope (AS2890.1 Fig 5.2 300mm clearance on side): - Submitted documentation appears able to satisfy this requirement but assessed under Performance Criteria, to be confirmed (condition) by detailed design drawings via the CEP process • Headroom: (AS2890.1 Fig 5.3 = 2.2m clearance): - Submitted documentation appears able to satisfy

this requirement

- Parking Space Gradient (5%):
- **Submitted documentation appears unable to satisfy this requirement**
- Aisle Width (AS2890.1 Fig 2.2 = 5.8m Class 1A):
- **Submitted documentation appears able to satisfy this requirement**
- Garage Door Width & Apron (AS2890.1 Fig 5.4 = 2.4m wide => 7m wide apron):
- **N/A**
- Parking Module Gradient (manoeuvring area 5% Acceptable Soln, 10% Performance):
- **Submitted documentation appears able to satisfy this requirement but assessed under Performance Criteria, to be confirmed (condition) by detailed design drawings via the CEP process**
- Driveway Gradient & Width (AS2890.1 Section 2.6 = 25% and 3m):
- **Submitted documentation appears able to satisfy this requirement**
- Transitions (AS2890.1 Section 2.5.3 = 12.5% summit, 15% sag => 2m transition):
- **Submitted documentation appears able to satisfy this requirement but assessed under Performance Criteria, to be confirmed (condition) by detailed design drawings via the CEP process**
- Vehicular Barriers (AS2890.1 Section 2.4.5.3 = 600mm drop, 1:4 slope):
- **Submitted documentation appears able to satisfy this requirement**
- Blind Aisle End Widening (AS2890.1 Fig 2.3 = 1m extra):
- **N/A**
- "Jockey Parking" (Performance Assessment):
- **N/A**

Performance Criteria - P1:

The layout of car parking spaces, access aisles, circulation roadways and ramps must be safe and must ensure ease of access, egress and manoeuvring on-site.

- **Acceptable, submitted documentation appears to satisfy this requirement**

Submitted documentation appears to meet these parameters and therefore may be accepted under Performance Criteria P1:E6.7.5 given the driveway

			configuration.
<p>Clause E6.7.6: Surface treatment of parking areas</p> <p>ACCEPTABLE SOLUTION</p>			<p>The surface treatment must satisfy either Acceptable Solutions or Performance Criteria for each clause of the Hobart Interim Planning Scheme 2015 (HIPS 2015). <u>Documentation submitted to date does satisfy the Acceptable Solution for clause E6.7.6.</u></p> <p>Acceptable Solution - A1: - COMPLIANT Parking spaces and vehicle circulation roadways must be in accordance with all of the following; (a) paved or treated with a durable all-weather pavement where within 75m of a property boundary or a sealed roadway; and (b) drained to an approved stormwater system, unless the road from which access is provided to the property is unsealed.</p> <p>Submitted plans indicate a concrete and paved surface treatment and able to be drained to an approved stormwater system. Condition on Planning Permit to ratify timing.</p>
<p>Clause E6.7.7: Lighting of parking areas (Planner and health unit to assess)</p>	—	—	Planner to assess
<p>Clause E6.7.8: Landscaping of parking areas (Planner to assess)</p>	—	—	Planner to assess
<p>Clause E6.7.9: Design of motorcycle parking areas</p> <p>NOT APPLICABLE</p>			<p>The motor bike parking must satisfy either Acceptable Solutions or Performance Criteria for each clause of the Hobart Interim Planning Scheme 2015 (HIPS 2015). <u>Documentation submitted to date appears not to invoke clause E6.7.9.</u></p> <p>Acceptable Solution A1 (E6.6.3): The number of on-site motorcycle parking spaces provided must be at a rate of 1 space to each 20 car parking spaces after the first 19 car parking spaces except if bulky goods sales, (rounded to the nearest whole number). Where an existing use or development is extended or intensified, the additional number of motorcycle parking spaces provided must be calculated on the amount of extension or intensification, provided the existing number of motorcycle parking spaces is not reduced.</p> <p>NO REQUIREMENT (<19 car parking spaces).</p>

<p>Clause E6.7.10: Design of bicycle parking areas</p> <p>NOT APPLICABLE</p>			<p>The bicycle parking must satisfy either Acceptable Solutions or Performance Criteria for each clause of the Hobart Interim Planning Scheme 2015 (HIPS 2015). <u>Documentation submitted to date appears not to invoke clause E6.7.10.</u></p> <p><u>Acceptable Solution A1:</u> The number of on-site bicycle parking spaces provided must be no less than the number specified in Table E6.2.</p> <p><u>Acceptable Solution A2:</u> The design of bicycle parking spaces must be to the class specified in table 1.1 of AS2890.3-1993 Parking facilities Part 3: Bicycle parking facilities in compliance with section 2 "Design of Parking Facilities" and clauses 3.1 "Security" and 3.3 "Ease of Use" of the same Standard.</p> <p>User Class: Residential</p> <p>Table E6.2 sets out the number of bicycle parking spaces required. The requirement for spaces for a use or development listed in the first column of the table is set out in the second and forth columns of the table with the corresponding class set out in the third and fifth columns. If the result is not a whole number, the required number of (spaces) is the nearest whole number. If the fraction is one-half, the requirement is the next whole number.</p> <p>NO REQUIREMENT</p>
<p>Clause E6.7.11: Bicycle end trip facilities (Planner to assess)</p>	—	—	Planner to assess
<p>Clause 6.7.12: Siting of car parking (Planner to assess based on DE assessment of Clause 6.7.5 layout of parking area)</p>	—	—	Planner to assess
<p>Clause E6.7.13: Facilities for commercial vehicles</p> <p>NOT APPLICABLE</p>			<p>The facilities for commercial vehicles must satisfy either Acceptable Solutions or Performance Criteria for each clause of the Hobart Interim Planning Scheme 2015 (HIPS 2015). <u>Documentation submitted to date appears not to invoke clause E6.7.13.</u></p> <p>Submitted documentation appears to indicate no commercial vehicles loading, unloading or manoeuvring.</p>

Clause E6.7.14: Access to a road			<p>The access to a road must satisfy the Acceptable Solutions of the Hobart Interim Planning Scheme 2015 (HIPS 2015).</p> <p>Documentation submitted to date does appear to satisfy the Acceptable Solution for clause E6.7.14.</p> <p>Acceptable Solution A1: - COMPLIANT</p> <p>Access to a road must be in accordance with the requirements of the road authority.</p> <p>Performance Criteria - P1: No Performance Criteria</p> <p>Submitted plans indicate existing access to a road with no changes proposed.</p>
Clause E6.7.15: Access to Niree Lane Sandy Bay			<p>The access to Niree Lane must satisfy either Acceptable Solutions or Performance Criteria for each clause of the Hobart Interim Planning Scheme 2015 (HIPS 2015).</p> <p>Documentation submitted to date appears not to invoke clause E6.7.15.</p> <p>No development proposed within Niree Lane.</p>

E 7.0 Stormwater

E7.1.1 Purpose			<p>E7.1.1</p> <p>The purpose of this provision is to ensure that stormwater disposal is managed in a way that furthers the objectives of the State Stormwater Strategy.</p>
E7.2 Application of this Code	YES	N/A	This code applies to development requiring management of stormwater. This code does not apply to use.
Clause for Assessment			Comments / Discussion (in bold)

<p>Clause E7.7.1: Stormwater drainage and disposal</p> <p>ACCEPTABLE SOLUTION - A1</p>		<p>The stormwater drainage and disposal must satisfy either Acceptable Solutions or Performance Criteria for each clause of the Hobart Interim Planning Scheme 2015 (HIPS 2015).</p> <p><u>Documentation submitted to date does appear to satisfy the Acceptable Solution for clause E7.7.1 (A1).</u></p> <p>Acceptable Solution A1: - COMPLIANT Stormwater from new impervious surfaces must be disposed of by gravity to public stormwater infrastructure.</p> <p>Submitted plans appear to indicate stormwater from new impervious surfaces being able to be disposed of by gravity to public stormwater infrastructure.</p> <p>To be verified at Plumbing Permit stage.</p>
<p>Clause E7.7.1: Stormwater drainage and disposal</p> <p>NOT APPLICABLE - A2</p>		<p>The stormwater drainage and disposal must satisfy either Acceptable Solutions or Performance Criteria for each clause of the Hobart Interim Planning Scheme 2015 (HIPS 2015).</p> <p><u>Documentation submitted to date appears not to invoke clause E7.7.1 (A2).</u></p> <p>Acceptable Solution A2: A stormwater system for a new development must incorporate water sensitive urban design principles R1 for the treatment and disposal of stormwater if any of the following apply: (a) the size of new impervious area is more than 600 m²; - No (b) new car parking is provided for more than 6 cars; - No (c) a subdivision is for more than 5 lots - No</p> <p>Submitted documentation appears to indicate no requirement for stormwater treatment.</p>

<p>Clause E7.7.1: Stormwater drainage and disposal</p> <p>ACCEPTABLE SOLUTION - A3</p>		<p>The stormwater drainage and disposal must satisfy the Acceptable Solutions of the Hobart Interim Planning Scheme 2015 (HIPS 2015). <u>Documentation submitted to date does appear to satisfy the Acceptable Solution for clause E7.7.1 (A3).</u></p> <p>Acceptable Solution A3: - COMPLIANT A minor stormwater drainage system must be designed to comply with all of the following:</p> <p>(a) be able to accommodate a storm with an ARI of 20 years in the case of non-industrial zoned land and an ARI of 50 years in the case of industrial zoned land, when the land serviced by the system is fully developed; and - Acceptable, submitted documentation appears to satisfy this requirement</p> <p>(b) stormwater runoff will be no greater than pre-existing runoff or any increase can be accommodated within existing or upgraded public stormwater infrastructure. - Acceptable, submitted documentation appears to satisfy this requirement</p> <p>Performance Criteria – P3: No Performance Criteria.</p> <p>Submitted plans indicate proposed detention.</p> <p>Referred to the Waterways Unit for determination and conditioning.</p>
<p>Clause E7.7.1: Stormwater drainage and disposal</p> <p>NOT APPLICABLE - A4</p>		<p>The stormwater drainage and disposal must satisfy the Acceptable Solution of the Hobart Interim Planning Scheme 2015 (HIPS 2015). <u>Documentation submitted to date appears not to invoke clause E7.7.1 (A4).</u></p> <p>Submitted documentation does not appear to show any proposal for construction of major stormwater drainage.</p>

PROTECTION OF COUNCIL INFRASTRUCTURE

Council infrastructure at risk	Why?
Stormwater pipes	Not required
Council road network	Yes - During construction

**7.1.6 424 STRICKLAND AVENUE, SOUTH HOBART AND ADJACENT
ROAD RESERVE - DWELLING
PLN-22-65 - FILE REF: F22/45088**

Address: 424 Strickland Avenue, South Hobart and
Adjacent Road Reserve

Proposal: Dwelling

Expiry Date: 4 June 2022

Extension of Time: Not applicable

Author: Deanne Lang

RECOMMENDATION

That pursuant to the *Hobart Interim Planning Scheme 2015*, the City Planning Committee approve the application for a dwelling at 424 Strickland Avenue South Hobart 7004 and Adjacent Road Reserve for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

GEN

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-22-65 - 424 STRICKLAND AVENUE SOUTH HOBART TAS 7004 - Final Planning Documents except where modified below.

Reason for condition

To clarify the scope of the permit.

ENG sw6

All stormwater from the proposed development (including hardstand runoff) must be discharged to the Council's stormwater infrastructure with sufficient receiving capacity prior to first occupation. All costs associated with works required by this condition are to be met by the owner.

Design drawings and calculations of the proposed stormwater drainage and connections to the Council's stormwater infrastructure must be submitted and approved prior to the commencement of work. The design drawings and calculations must:

1. prepared by a suitably qualified person;
2. include long section(s)/levels and grades to the point of discharge;
3. The proposed headwall must be located within the property boundary and outside of 1%AEP flood level. The headwall maintenance is undertaken by the owner; and
4. The outfall must minimize any hydraulic intrusion at the discharge point into the creek with acceptable erosion and full scour control downstream the headwall using standard outlet headwalls (TSD and City of Hobart Departures).

All work required by this condition must be undertaken in accordance with the approved design drawings and calculations.

Advice:

The applicant is advised to submit detailed design drawings and calculations as part of their Plumbing Permit Application. If detailed design to satisfy this condition is submitted via the planning condition endorsement process there may be fees associated with the assessment, and once approved the applicant will still need to obtain a plumbing permit for the works.

Reason for condition

To ensure that stormwater from the site will be discharged to a suitable Council approved outlet.

ENG 2a

Prior to first occupation or commencement of use (whichever occurs first), vehicular barriers compliant with the Australian Standard AS/NZS 1170.1:2002 must be installed to prevent vehicles running off the edge of an access driveway or parking module (parking spaces, aisles and manoeuvring area) where the drop from the edge of the trafficable area to a lower level is 600mm or greater, and wheel stops (kerb) must be installed for drops between 150mm and 600mm. Barriers must not limit the width of the driveway access or parking and turning areas approved under the permit.

Advice:

The Council does not consider a slope greater than 1 in 4 to constitute a lower level as described in AS/NZS 2890.1:2004 Section 2.4.5.3. Slopes greater than 1 in 4 will require a vehicular barrier or wheel stop.

Designers are advised to consult the [National Construction Code 2016](#) to determine if pedestrian handrails or safety barriers compliant with the Code are also required in the parking module this area may be considered as a path of access to a building.

Reason for condition

To ensure the safety of users of the access driveway and parking module and compliance with the standard.

ENG 2c

Prior to the first occupation, a suitably qualified engineer must certify that the vehicle barriers have been installed in accordance design drawings submitted by KAY Consulting on the 8th of April 2022.

Advice:

An example certificate is available on our [website](#).

Reason for condition

To ensure the safety of users of the access driveway and parking module and compliance with the relevant standards.

ENG 3b

The following aspects of the access driveway and parking area require further detailed designs:

1. Transitions and change of grades for all wheel paths, with a minimum clearance of 50mm for a B85 vehicle template from the garage to Strickland Avenue.
2. Safe and efficient access.

This documentation must be submitted and approved as a condition endorsement, prior to the issuing of any approval under the *Building Act 2016*.

The detailed designs must:

1. be prepared and certified by a suitably qualified engineer;
2. be in accordance with the Australian Standard AS/NZS 2890.1:2004, if possible;
3. where the design deviates from AS/NZS 2890.1:2004 the designer must demonstrate that the design will provide a safe and efficient access, and enable safe, easy and efficient use; and
4. show dimensions, levels, gradients and transitions, and other details as Council deem necessary to satisfy the above requirement.

The access driveway and parking area must be constructed in accordance with the approved detailed designs prior to first occupation.

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

ENG 3c

Prior to the first occupation, a suitably qualified engineer must certify that the access driveway and parking area has been constructed in accordance with design drawings approved by Condition ENG 3b.

Advice:

We strongly encourage you to speak to your engineer before works begin so that you can discuss the number and nature of the inspections they will need to do during the works in order to provide this certification. It may be necessary for a surveyor to also be engaged to ensure that the driveway will be constructed as approved.

The reason this condition has been imposed as part of your planning permit is that the driveway is outside the Australian Standard gradients or design parameters. If the driveway is not constructed as it has been approved then this may mean that the driveway will either be unsafe or will not function properly.

An example certificate is available on our [website](#).

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

ENG 1

Any damage to council infrastructure resulting from the implementation of this permit, must, at the discretion of the Council:

1. Be met by the owner by way of reimbursement (cost of repair and reinstatement to be paid by the owner to the Council); or
2. Be repaired and reinstated by the owner to the satisfaction of the Council.

A photographic record of the Council's infrastructure adjacent to the subject site must be provided to the Council prior to any commencement of works.

A photographic record of the Council's infrastructure (e.g. existing property service connection points, roads, buildings, stormwater, footpaths, driveway crossovers and nature strips, including if any, pre-existing damage) will be relied upon to establish the extent of damage caused to the Council's infrastructure during construction. In the event that the owner/developer fails to provide to the Council a photographic record of the Council's infrastructure, then any damage to the Council's infrastructure found on completion of works will be deemed to be the responsibility of the owner.

Reason for condition

To ensure that any of the Council's infrastructure and/or site-related service connections affected by the proposal will be altered and/or reinstated at the owner's full cost.

ENG r3

Prior to the commencement of use, the proposed driveway crossover on the Strickland Avenue highway reservation must be designed and constructed in general accordance with:

- Rural – TSD-R04-v3 – Rural Roads Typical Driveway Profile and TSD R03-v3 Rural Roads Typical Property Access;

Design drawings must be submitted and approved as a Condition Endorsement prior to any approval under the *Building Act 2016*. The design drawings must:

1. Show the cross and long section of the driveway crossover within the highway reservation and onto the property;
2. Detail any services or infrastructure (ie light poles, pits, awnings) at or near the proposed driveway crossover;
3. Show swept path templates in accordance with AS/NZS 2890.1 2004(B85 or B99 depending on use, design template);
4. If the design deviates from the requirements of the TSD, then demonstrate that a B85 vehicle or a B99 depending on use (AS/NZS 2890.1 2004, section 2.6.2), can access the driveway from the road pavement into the property without scraping the vehicle's underside;
5. Show that vehicular and pedestrian sight lines are met as per AS/NZS 2890.1 2004.
6. Be prepared and certified by a suitable qualified person, to satisfy the above requirements.

All work required by this condition must be undertaken in accordance with the approved drawings.

Advice:

This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.

Please note that your proposal does not include adjustment of footpath levels. Any adjustment to footpath levels necessary to suit the design of proposed floor, parking module or driveway levels will

require separate agreement from Council's Program Leader Road Services and may require further planning approvals. It is advised to place a note to this effect on construction drawings for the site and/or other relevant engineering drawings to ensure that contractors are made aware of this requirement.

Reason for condition

To ensure that works will comply with the Council's standard requirements.

ENG r4

Vehicle crash barriers within the Strickland Avenue highway reservation compliant with the Australian/New Zealand Standard AS / NZS 1170.1 and/or the (IPWEA) LGAT –Tasmanian Standard Drawings must be installed or modified as per the plans prior to the first occupation.

A certified design/report prepared by a suitably qualified engineer, to satisfy the above requirements, must be provided to the Council prior to the commencement of work.

All works, required by this condition must be undertaken in accordance with certified design/report. Upon completion the barriers must be inspected by a qualified engineer and a certification submitted to the Council, confirming that the installed barriers comply with the above requirement.

Reason for condition

To ensure that the safety of users of the driveway/parking and compliance with the standard.

ENV 2

Sediment and erosion control measures, in accordance with an approved soil and water management plan (SWMP), must be installed prior to the commencement of work and maintained until such time as all disturbed areas have been stabilised and/or restored or sealed to the Council's satisfaction.

A SWMP must be submitted as a Condition Endorsement prior to the issue of any approval under the *Building Act 2016* or the commencement of work, whichever occurs first. The SWMP must be prepared in accordance with the

Soil and Water Management on Building and Construction Sites fact sheets

(Derwent Estuary Program, 2008), available [here](#).

All work required by this condition must be undertaken in accordance with the approved SWMP.

Advice:

This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.

Reason for condition

To avoid the pollution and sedimentation of roads, drains and natural watercourses that could be caused by erosion and runoff from the development.

OPS s1

Prior to any works commencing and any machinery being brought on to the subject lot, the amenity value is to be paid for the eucalypts within the adjacent road reserve that are to be removed for construction of the driveway.

In reference to the Arboricultural Impact Assessment and Tree Protection Specification plan tree numbers, the amenity value of tree 10 has been calculated at \$2,639. No amenity value will be charged for trees 7, 8 or 9 due to their poor health and structural condition. Two additional smaller trees will require removal that are not shown on the arborist assessment plan. These two trees have a combined amenity value of \$1,031. This will result in a combined amenity fee of \$3,670 that is required to be paid prior to any tree removal.

To arrange payment of this fee, please contact Council's Open Space Planning Team on 6238 2488 and quote the development application number PLN-22-65.

The developer will bear the cost of the tree removals in the road reservation.

Reason for condition

To maintain the amenity value of street trees as per the City of Hobart Street Tree Strategy and the amenity value calculation method endorsed by a meeting of the full Council on the 18th February 2019.

OPS s2

In reference to the Arboricultural Impact Assessment and Tree Protection Specification plan tree numbers, T6 is the most significant tree on the road reserve (a *Eucalyptus obliqua*, stringbark). This tree will have >10% encroachment into the Tree Protection Zone from the proposed driveway. This impact must be avoided by:

- The driveway being constructed above grade, on posts or piles, as detailed in the arborist specification; and
- Digging for the posts/piles is to be undertaken by hand; and
- The works being overseen by a project arborist; and
- Any roots encountered greater than 50mm in diameter being avoided, and the pile/post location moved.

Advice:

This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.

Reason for condition

Conservation of areas of significant vegetation or individual trees that have important aesthetic, heritage and environmental values.

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

CONDITION ENDORSEMENT

If any condition requires that further documents are submitted and approved, you will need to submit the relevant documentation to satisfy the condition via the Condition Endorsement Submission on Council's [online services e-planning portal](#). Detailed instructions can be found [here](#).

A fee of 2% of the value of the works for new public assets (stormwater infrastructure, roads and related assets) will apply for the condition endorsement application.

Once approved, the Council will respond to you via email that the condition has been endorsed (satisfied).

Where building approval is also required, it is recommended that documentation for condition endorsement be submitted well before submitting documentation for building approval. Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.

BUILDING PERMIT

You may need building approval in accordance with the *Building Act 2016*. Click [here](#) for more information.

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

PLUMBING PERMIT

You may need plumbing approval in accordance with the *Building Act 2016*, *Building Regulations 2016* and the National Construction Code. Click [here](#) for more information.

OCCUPATION OF THE PUBLIC HIGHWAY

You may require a Permit to Open Up and Temporarily Occupy a Highway (for work in the road reserve). Click [here](#) for more information.

WORK WITHIN THE HIGHWAY RESERVATION

Please note development must be in accordance with the Hobart City Council's Infrastructure by law. Click [here](#) for more information.

DRIVEWAY SURFACING OVER HIGHWAY RESERVATION

If a coloured or textured surface is used for the driveway access within the Highway Reservation, the Council or other service provider will not match this on any reinstatement of the driveway access within the Highway Reservation required in the future.

ACCESS

Designed in accordance with LGAT- IPWEA – Tasmanian standard drawings. Click [here](#) for more information.

CROSS OVER CONSTRUCTION


The construction of the crossover can be undertaken subject to Council approval of the design. Click [here](#) for more information.


FEES AND CHARGES

Click [here](#) for information on the Council's fees and charges.

DIAL BEFORE YOU DIG

Click [here](#) for dial before you dig information.

Attachment A: PLN-22-65 - 424 STRICKLAND AVENUE SOUTH
HOBART TAS 7004 - Planning Committee or
Delegated Report ↓ 

Attachment B: PLN-22-65 - 424 STRICKLAND AVENUE SOUTH
HOBART TAS 7004 & ADJACENT ROAD
RESERVE - CPC Agenda Documents ↓ 

**APPLICATION UNDER HOBART INTERIM PLANNING SCHEME 2015**

Type of Report: Committee
Committee: 23 May 2022
Expiry Date: 4 June 2022
Application No: PLN-22-65
Address: 424 STRICKLAND AVENUE , SOUTH HOBART
ADJACENT ROAD RESERVE
Applicant: Sophie Gandar
378 Acton Road
Proposal: Dwelling
Representations: Nil
Performance criteria: Part 10.0 General Residential Zone Development Standards, E3.0
Landslide Code, E.6.0 Parking and Access Code, E.11.0 Waterway and
Coastal Protection Code

1. Executive Summary

- 1.1 Planning approval is sought for a dwelling at 424 Strickland Avenue South Hobart and Adjacent Road Reserve.

- 1.2 More specifically the proposal includes:
- double storey 310sqm house and 53sqm free standing garage
 - the dwelling will be a maximum of 8100mm above natural ground level, with a minor protrusion (flue) protruding 1m above the building envelope
 - the dwelling will be constructed in Woca Exterior Wood Oil Black cladding, FC cladding, with a colorbond roof, with extensive glazing on the north, south and western elevations
 - the garage will be constructed in FC cladding and battons with a colorbond roof
 - the lower ground floor will consists of an ensuite to the master bedroom which is located at ground floor level. The ensuite has direct access to the 5.2m x 2.5m deck
 - the ground floor contains four bedrooms, laundry, bathroom and open plan living/dining/kitchen;
 - a 25 sqm deck is accessed via the kitchen, with grass beyond leading to a pool and further area of decking
 - a 58m long x 2.8m high timber fence which runs from the courtyard entry to the dwelling to the end of the pool;
 - six trees will be removed from Council's Road Reservation to enable the construction of the driveway
- 1.3 The proposal relies on performance criteria to satisfy the following standards and codes:
- 1.3.1 General Residential Zone -Setbacks and Building Envelope
 - 1.3.2 E3.0 Landslide Code
 - 1.3.3 E6.0 Access and Parking Code
 - 1.3.4 E.11.0 - Waterway and Coastal Protection Code
- 1.4 No representations were received during the statutory advertising period between 14 April - 2 May 2022.
- 1.5 The proposal is recommended for approval subject to conditions.
- 1.6 The final decision is delegated to the City Planning Committee because the proposal includes works within the Council's Road Reserve.

2. Site Detail

- 2.1 The subject site consists of a 4219sqm vacant lot which constitutes the final property on the eastern side of Strickland Avenue which is contained within the General Residential zone. The surrounding area is characterised by single dwellings on large residential lots, however there is dense bushland directly to the rear and opposite the subject site.

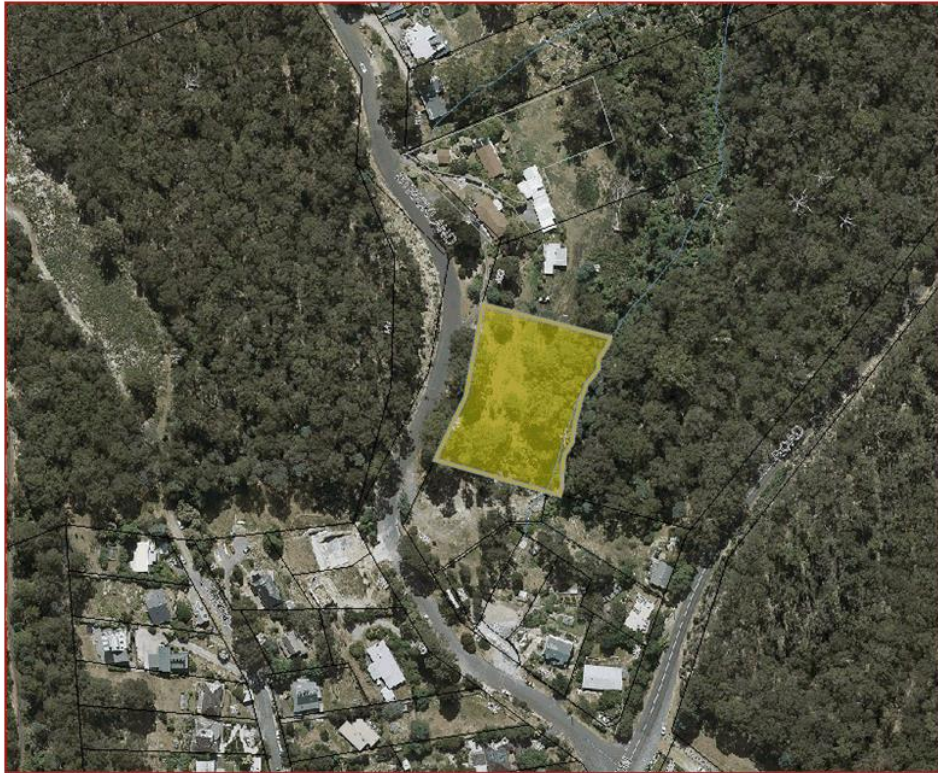


Fig. 1 - the subject site is highlighted in yellow

3. Proposal

- 3.1 Planning approval is sought for a dwelling at 424 Strickland Avenue South Hobart and Adjacent Road Reserve.

3.2 More specifically the proposal is for:

- double storey 310sqm house and 53sqm free standing garage
- the dwelling will be a maximum of 8100mm above natural ground level, with a minor protrusion (flue) protruding 1m above the building envelope
- the dwelling will be constructed in Woca Exterior Wood Oil Black cladding, FC cladding, with a colorbond roof, with extensive glazing on the north, south and western elevations
- the garage will be constructed in FC cladding and battons with a colorbond roof
- the lower ground floor will consists of an ensuite to the master bedroom which is located at ground floor level. The ensuite has direct access to the 5.2 m x 2.5m deck
- the ground floor contains four bedrooms, laundry, bathroom and open plan living/dining/kitchen;
- a 25 sqm deck is accessed via the kitchen, with grass beyond leading to a pool and further area of decking
- a 58m long x 2.8m high timber fence which runs from the courtyard entry to the dwelling to the end of the pool; and
- six trees will be removed from Council's Road Reservation to enable the construction of the driveway



Fig. 2 The subject site - the development requires six trees to be removed within Council's

[illegible]

Steel balustrade 9,800mm long.
Min 1,000mm high AFFL.
Refer A6.102 for details.

Pavane Fragmenta Greco 600mm
15 mm Tiles Floor
4 mm Tile Adhesive
1 mm Waterproofing
18 mm FC Sheet Compressed

Pavane Fragmenta Greco 600mm
15 mm Tiles Floor
4 mm Tile Adhesive
1 mm Waterproofing
33 mm Concrete Scream
37 mm Hydronic R1.0 Insulator

EA 25x3 Brass watertop angle.
Refer typical detail drawings.

24.42m²
Ensuite

FFL RL -2,600

1.80 m to waste.

18 mm FC Sheet Compressed

Services

FFL RL -2,600

Pavane Fragmenta Greco 600mm
15 mm Tiles Floor
4 mm Tile Adhesive
1 mm Waterproofing
70 mm Concrete Scream

Fig. 4 proposed lower floor plan

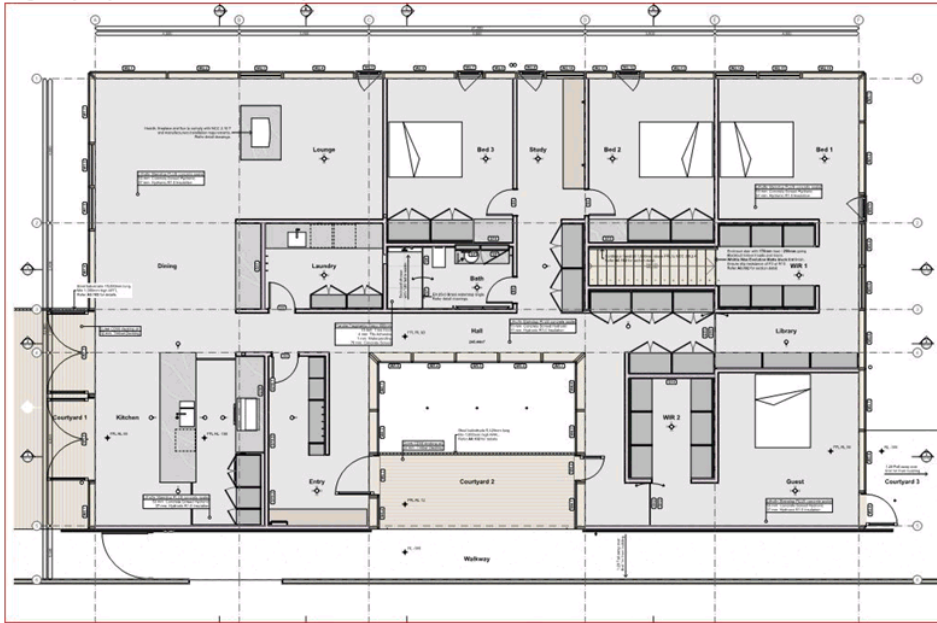


Fig.5 proposed ground floor plan

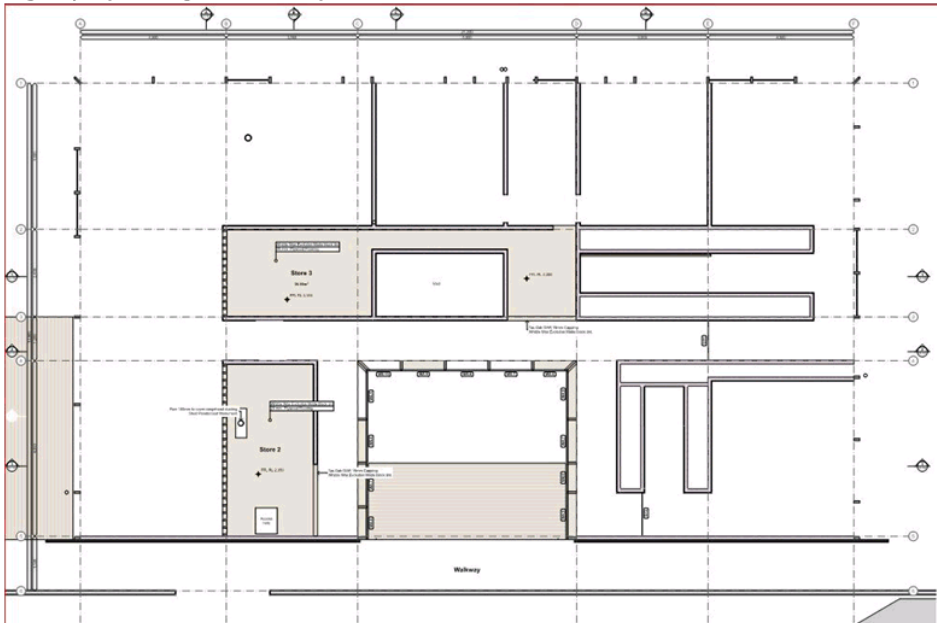


Fig. 6 - proposed mezzanine plan

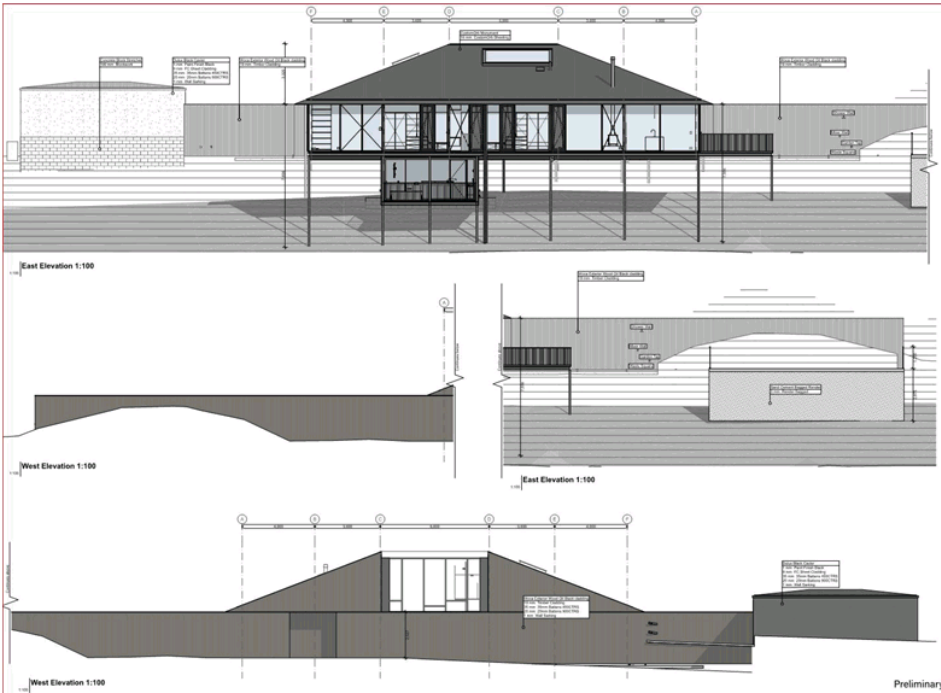


Fig. 7 - proposed elevations

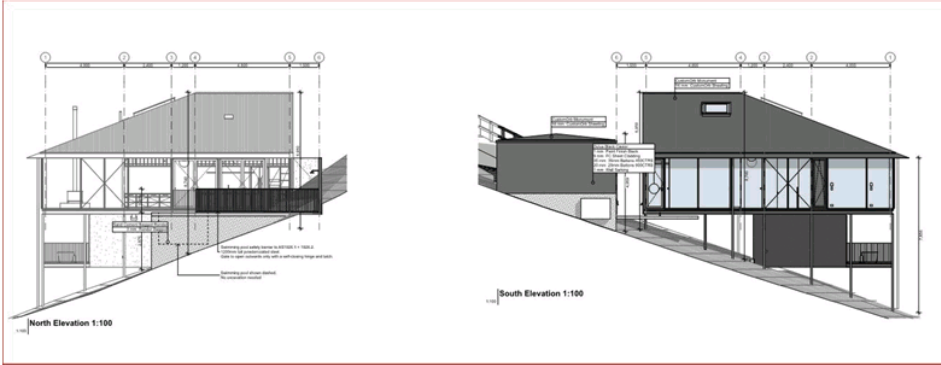


Fig. 8 - proposed northern and southern elevations

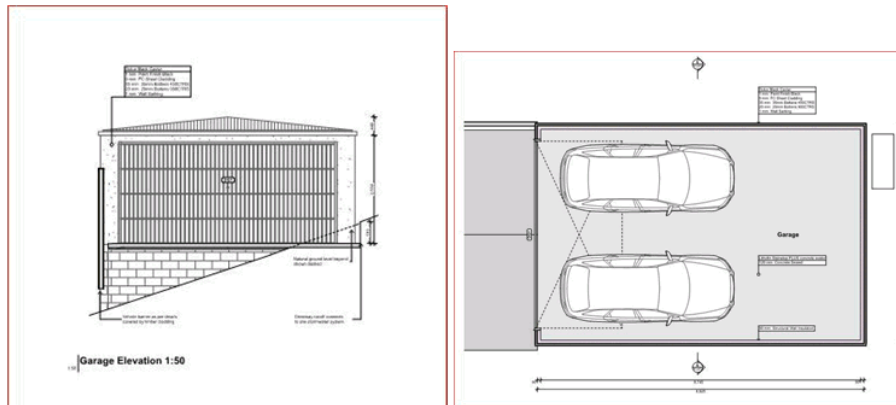


Fig. 9 - proposed garage elevations and floor plan

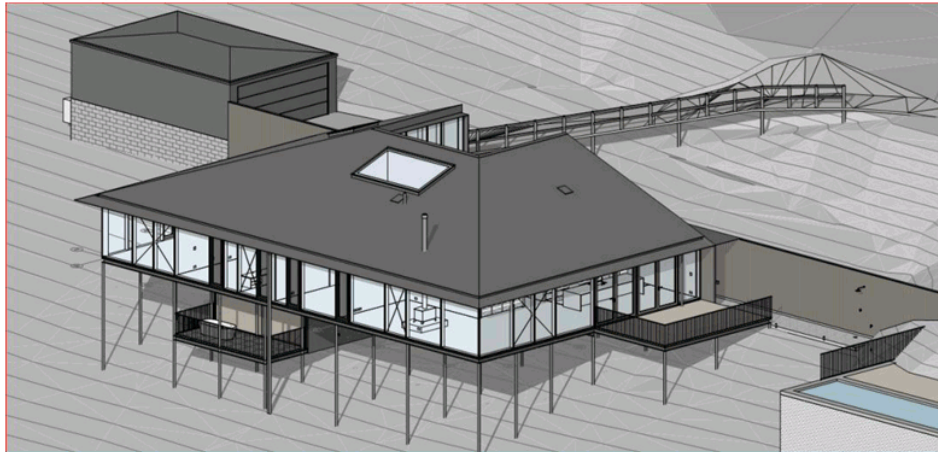


Fig. 8 - proposed design

4. Background

- 4.1 The proposal required General Manager's consent (GMC-21-68) as the proposal required driveway works and tree removal in the road reserve. General Manager's consent was granted on 20 August 2021.

5. Concerns raised by representors

- 5.1 No representations were received during the statutory advertising period between 14 April - 2 May 2022.

6. Assessment

- 6.1 The *Hobart Interim Planning Scheme 2015* is a performance based planning scheme. To meet an applicable standard, a proposal must demonstrate compliance with either an acceptable solution or a performance criterion. Where a proposal complies with a standard by relying on one or more performance criteria, the Council may approve or refuse the proposal on that basis. The ability to approve or refuse the proposal relates only to the performance criteria relied on.
- 6.2 The site is located within the General Residential Zone of the *Hobart Interim Planning Scheme 2015*.
- 6.3 The existing use is vacant land. The proposed use is a dwelling. The existing use and proposed use is a no permit required use in the zone.
- 6.4 The proposal has been assessed against:
- 6.4.1 Part D - 10 General Residential Zone
 - 6.4.2 E.3.0 Landslide Code
 - 6.4.3 E6.0 Parking and Access Code
 - 6.4.4 E7.0 Stormwater Management Code
 - 6.4.5 E11 Waterway and Coastal Protection Code
- 6.5 The proposal relies on the following performance criteria to comply with the applicable standards:
- 6.5.1 General Residential Zone:
Setbacks and Building Envelope— Part D 10.4.2 P3
 - 6.5.2 E3.0 Landslide Code - E3.7.1P1
 - 6.5.3 Parking and Access Code:
Parking Layout and Design - E6.6.1 P1
 - 6.5.4 E.11.0 Waterway and Coastal Protection Code - E11.7.1P1 and P4
- 6.6 Each performance criterion is assessed below.

6.7 Setback and Building Envelope Part D 10.4.2 P3

6.7.1 The acceptable solution at clause Part D 11.4.2A3 requires a dwelling or garage over 2.4m to be contained within the building envelope, which includes being setback 4.5m from the front boundary.

6.7.2 The proposal includes a freestanding garage with a maximum height of 4.959m above natural ground level, which has a setback of 2.7m from the front boundary.

The dwelling and proposed pool/deck area are setback 4.5m from the front boundary and between 4.329m and 25.25m from side boundaries and a minimum of 40m to the rear boundary.

6.7.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.

6.7.4 The performance criterion at clause Part D10.4.2P3 provides as follows:

The siting and scale of a dwelling must:

(a) not cause an unreasonable loss of amenity to adjoining properties, having regard to:

(i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property;

(ii) overshadowing the private open space of a dwelling on an adjoining property;

(iii) overshadowing of an adjoining vacant property; or

(iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property;

(b) provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area; and

(c) not cause an unreasonable reduction in sunlight to an existing solar energy installation on:

- (i) an adjoining property; or*
- (ii) another dwelling on the site*

- 6.7.5 The objective of the setbacks and building envelope provisions in this instance is to provide reasonably consistent separation between dwellings and their frontage within a street and provides consistency in the apparent scale, bulk, massing and proportion of dwellings.

The subject site is vacant and one dwelling is proposed. The garage is proposed to be located 2.7m from the property's front boundary to Strickland Avenue, with the closest existing dwelling located 30m from the proposed pool area and 90m from the proposed garage. The location of the garage has been dictated by the steepness of the site (1 in 6), to limit earthworks and the removal of trees. The dwelling will be situated on a predominantly cleared area and will be elevated on post to limit the amount of excavation. The garage and dwelling will remain screened from Strickland Avenue and adjoining properties by the trees which will be retained either on the site and within the road reservation.

The proposed setback of the house and garage to the sealed road within Strickland Avenue road reservation, combined with the retention of mature trees and setbacks to other properties, therefore screening the dwelling from all houses within the adjoining properties will result in any unreasonable, if any, loss of amenity to adjoining properties.

As this section of Strickland Avenue slopes steeply to the east, the vast majority of dwellings are located close to their front boundaries and therefore the location of the proposed dwelling and garage are consistent with those established properties in the immediate area.

- 6.7.6 The proposal complies with/does not comply with the performance criterion.

6.8 E3.0 Landslide Code and E11.0 Waterway and Coastal Protection Code

- 6.8.1 The acceptable solution under E11.7.1A1 for building and works within a water way and coastal protection Area must be within a building area on a plan of subdivision approved under this planning scheme.

The acceptable solution under E11.7.1A1 for building and works within a water way and coastal protection Area must not involve a stormwater point discharge into a water course, wetland or lake.

- 6.8.2 There is no acceptable solution for building and works, other than minor extensions, in a Landslide Hazard area.
- 6.8.3 The proposal includes a new dwelling which is partially within the within a Landslide Hazard Area (low) under HIPS 2015.

There is no building area on the plan of subdivision, which was approved prior to the Hobart Interim Planning Scheme 2015 coming into effect.

The proposal includes a new stormwater discharge point into a watercourse.

- 6.8.4 The proposal does not comply with the or there is no acceptable solution; therefore assessment against the performance criterion is relied on.
- 6.8.5 The performance criterion at clause E.3.7.1P1 and E11.7.1P1 and P4 provides as follows:

E3.7.1P1 (Landslide Code)

Buildings and works must satisfy all of the following:

- (a) no part of the buildings and works is in a High Landslide Hazard Area;*
- (b) the landslide risk associated with the buildings and works is either:*
 - (i) acceptable risk; or*
 - (ii) capable of feasible and effective treatment through hazard management measures, so as to be tolerable risk.*

E.11.7.1P1 (Water Way and Coastal Protection Code)

Building and works within a Waterway and Coastal Protection Area must satisfy all of the following:

- (a) avoid or mitigate impact on natural values;*
- (b) mitigate and manage adverse erosion, sedimentation and runoff impacts on natural values;*
- (c) avoid or mitigate impacts on riparian or littoral vegetation;*
- (d) maintain natural streambank and streambed condition, (where it exists);*
- (e) maintain in-stream natural habitat, such as fallen logs, bank*

overhangs, rocks and trailing vegetation;

(f) avoid significantly impeding natural flow and drainage;

(g) maintain fish passage (where applicable);

(h) avoid landfilling of wetlands;

(i) works are undertaken generally in accordance with 'Wetlands and Waterways Works Manual' (DPIWE, 2003) and "Tasmanian Coastal Works Manual" (DPIPWE, Page and Thorp, 2010), and the unnecessary use of machinery within watercourses or wetlands is avoided.

E11.7.1P4 (Water Way and Coastal Protection Code)

Development involving a new stormwater point discharge into a watercourse, wetland or lake must satisfy all of the following:

(a) risk of erosion and sedimentation is minimised;

(b) any impacts on natural values likely to arise from erosion, sedimentation and runoff are mitigated and managed;

(c) potential for significant adverse impact on natural values is avoided.

- 6.8.6 The objective of the provisions relating to building within Landslide hazard Areas seeks to ensure that the landslide risk is acceptable or a tolerable risk, having regard to the feasibility and effectiveness of measures required to manage the landslide hazard.

The objective of the provisions relating to building and works within the proximity to a waterway and potable water supply areas aim to ensure that these works will not have an unnecessary or unacceptable impact on natural values.

The application was referred to Council's Environmental Development Planner who provided the following assessment:

The proposal include a new stormwater discharge and headwall that is in the landslide hazard area and in the waterway protection area (is above the 1% AEP but is still less than 10m from top of bank). Some vegetation clearing may also be necessary in the waterway protection area for bushfire hazard management.

The proposal is likely to meet requirements as it presents minimal landslide risk and the design can be conditioned to ensure erosion and vegetation clearance in the waterway is minimised.

6.8.7 The proposal complies with the performance criterion.

6.9 E.60 Parking and Access Code Part D 10.4.2 P1

6.9.1 The acceptable solution at clause E6.7.5A1 requires parking module gradient of 5%.

6.9.2 The proposal includes a parking module gradient exceeds 10%.

6.9.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.

6.9.4 The performance criterion at clause E.6.7.5P1 provides as follows:

The layout of car parking spaces, access aisles, circulation roadways and ramps must be safe and must ensure ease of access, egress and manoeuvring on-site.

6.9.5 The application was referred to Council's Development Engineer who provided the following assessment

Parking module gradient exceeds 10%. The submitted documentation appears to meet these parameters and therefore may be accepted under Performance Criteria P1:E6.7.5 given the driveway configuration.

6.9.6 The proposal complies with the performance criterion.

7. Discussion

7.1 Planning approval is sought for 424 Strickland Avenue South Hobart and Adjacent Road Reserve.

7.2 The application was advertised and no representations were received.

7.3 The proposal has been assessed against the relevant provisions of the planning scheme and is considered to perform well.

7.4 The proposal has been assessed by other Council officers, including the Council's Development Engineer, Stormwater Services Engineer, Environmental Development Planner, Parks Planner, Traffic Engineer and Roads Engineer. The officers have raised no objection to the proposal, subject to conditions.

7.5 The proposal is recommended for approval,

8. Conclusion

8.1 The proposed Dwelling at 424 Strickland Avenue South Hobart and Adjacent Road Reserve satisfies the relevant provisions of the *Hobart Interim Planning Scheme 2015*, and as such is recommended for approval.

9. Recommendations

That: Pursuant to the *Hobart Interim Planning Scheme 2015*, the City Planning Committee approve the application for a Dwelling at 424 Strickland Avenue South Hobart and Adjacent Road Reserve for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

GEN

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-22-65 - 424 STRICKLAND AVENUE SOUTH HOBART TAS 7004 - Final Planning Documents except where modified below.

Reason for condition

To clarify the scope of the permit.

ENG sw6

All stormwater from the proposed development (including hardstand runoff) must be discharged to the Council's stormwater infrastructure with sufficient receiving capacity prior to first occupation. All costs associated with works required by this condition are to be met by the owner.

Design drawings and calculations of the proposed stormwater drainage and connections to the Council's stormwater infrastructure must be submitted and approved prior to the commencement of work. The design drawings and calculations must:

1. **prepared by a suitably qualified person;**
2. **include long section(s)/levels and grades to the point of discharge;**
3. **The proposed headwall must be located within the property boundary and outside of 1%AEP flood level. The headwall maintenance is undertaken by the owner; and**
4. **The outfall must minimize any hydraulic intrusion at the discharge point into the creek with acceptable erosion and full scour control downstream the headwall using standard outlet headwalls (TSD and City of Hobart Departures).**

All work required by this condition must be undertaken in accordance with the approved design drawings and calculations.

Advice:

The applicant is advised to submit detailed design drawings and calculations as part of their Plumbing Permit Application. If detailed design to satisfy this condition is submitted via the planning condition endorsement process there may be fees associated with the assessment, and once approved the applicant will still need to obtain a plumbing permit for the works.

Reason for condition

To ensure that stormwater from the site will be discharged to a suitable Council approved outlet.

ENG 2a

Prior to first occupation or commencement of use (whichever occurs first), vehicular barriers compliant with the Australian Standard AS/NZS 1170.1:2002 must be installed to prevent vehicles running off the edge of an access driveway or parking module (parking spaces, aisles and manoeuvring area) where the drop from the edge of the trafficable area to a lower level is 600mm or greater, and wheel stops (kerb) must be installed for drops between 150mm and 600mm. Barriers must not limit the width of the driveway access or parking and turning areas approved under the permit.

Advice:

The Council does not consider a slope greater than 1 in 4 to constitute a lower level as described in AS/NZS 2890.1:2004 Section 2.4.5.3. Slopes greater than 1 in 4 will require a vehicular barrier or wheel stop.

Designers are advised to consult the [National Construction Code 2016](#) to determine if pedestrian handrails or safety barriers compliant with the Code are also required in the parking module this area may be considered as a path of access to a building.

Reason for condition

To ensure the safety of users of the access driveway and parking module and compliance with the standard.

ENG 2c

Prior to the first occupation, a suitably qualified engineer must certify that the vehicle barriers have been installed in accordance design drawings submitted by KAY Consulting on the 8th of April 2022.

Advice:

An example certificate is available on our [website](#).

Reason for condition

To ensure the safety of users of the access driveway and parking module and compliance with the relevant standards.

ENG 3b

The following aspects of the access driveway and parking area require further detailed designs:

1. **Transitions and change of grades for all wheel paths, with a minimum clearance of 50mm for a B85 vehicle template from the garage to Strickland Avenue.**
2. **Safe and efficient access.**

This documentation must be submitted and approved as a condition endorsement, prior to the issuing of any approval under the *Building Act 2016*.

The detailed designs must:

1. **be prepared and certified by a suitably qualified engineer;**
2. **be in accordance with the Australian Standard AS/NZS 2890.1:2004, if possible;**
3. **where the design deviates from AS/NZS 2890.1:2004 the designer must demonstrate that the design will provide a safe and efficient access, and enable safe, easy and efficient use; and**
4. **show dimensions, levels, gradients and transitions, and other details as Council deem necessary to satisfy the above requirement.**

The access driveway and parking area must be constructed in accordance with the approved detailed designs prior to first occupation.

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

ENG 3c

Prior to the first occupation, a suitably qualified engineer must certify that the access driveway and parking area has been constructed in accordance with design drawings approved by Condition ENG 3b.

Advice:

We strongly encourage you to speak to your engineer before works begin so that you can discuss the number and nature of the inspections they will need to do during the works in order to provide this certification. It may be necessary for a surveyor to also be engaged to ensure that the driveway will be constructed as approved.

The reason this condition has been imposed as part of your planning permit is that the driveway is outside the Australian Standard gradients or design parameters. If the driveway is not constructed as it has been approved then this may mean that the driveway will either be unsafe or will not function properly.

An example certificate is available on our [website](#).

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

ENG 1

Any damage to council infrastructure resulting from the implementation of this permit, must, at the discretion of the Council:

1. **Be met by the owner by way of reimbursement (cost of repair and reinstatement to be paid by the owner to the Council); or**
2. **Be repaired and reinstated by the owner to the satisfaction of the Council.**

A photographic record of the Council's infrastructure adjacent to the subject site must be provided to the Council prior to any commencement of works.

A photographic record of the Council's infrastructure (e.g. existing property service connection points, roads, buildings, stormwater, footpaths, driveway crossovers and nature strips, including if any, pre-existing damage) will be relied upon to establish the extent of damage caused to the Council's infrastructure during construction. In the event that the owner/developer fails to provide to the Council a photographic record of the Council's infrastructure,

then any damage to the Council's infrastructure found on completion of works will be deemed to be the responsibility of the owner.

Reason for condition

To ensure that any of the Council's infrastructure and/or site-related service connections affected by the proposal will be altered and/or reinstated at the owner's full cost.

ENG r3

Prior to the commencement of use, the proposed driveway crossover on the Strickland Avenue highway reservation must be designed and constructed in general accordance with:

- **Rural – TSD-R04-v3 – Rural Roads Typical Driveway Profile and TSD R03-v3 Rural Roads Typical Property Access;**

Design drawings must be submitted and approved as a Condition Endorsement prior to any approval under the Building Act 2016. The design drawings must:

- 1. Show the cross and long section of the driveway crossover within the highway reservation and onto the property;**
- 2. Detail any services or infrastructure (ie light poles, pits, awnings) at or near the proposed driveway crossover;**
- 3. Show swept path templates in accordance with AS/NZS 2890.1 2004(B85 or B99 depending on use, design template);**
- 4. If the design deviates from the requirements of the TSD, then demonstrate that a B85 vehicle or a B99 depending on use (AS/NZS 2890.1 2004, section 2.6.2), can access the driveway from the road pavement into the property without scraping the vehicle's underside;**
- 5. Show that vehicular and pedestrian sight lines are met as per AS/NZS 2890.1 2004.**
- 6. Be prepared and certified by a suitable qualified person, to satisfy the above requirements.**

All work required by this condition must be undertaken in accordance with the approved drawings.

Advice:

This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.

Please note that your proposal does not include adjustment of footpath levels. Any adjustment to footpath levels necessary to suit the design of proposed floor, parking module or driveway levels will require separate agreement from Council's Program Leader Road Services and may require further planning approvals. It is advised to place a note to this effect on construction drawings for the site and/or other relevant engineering drawings to ensure that contractors are made aware of this requirement.

Reason for condition

To ensure that works will comply with the Council's standard requirements.

ENG r4

Vehicle crash barriers within the Strickland Avenue highway reservation compliant with the Australian/New Zealand Standard AS / NZS 1170.1 and/or the (IPWEA) LGAT – Tasmanian Standard Drawings must be installed or modified as per the plans prior to the first occupation.

A certified design/report prepared by a suitably qualified engineer, to satisfy the above requirements, must be provided to the Council prior to the commencement of work.

All works, required by this condition must be undertaken in accordance with certified design/report. Upon completion the barriers must be inspected by a qualified engineer and a certification submitted to the Council, confirming that the installed barriers comply with the above requirement.

Reason for condition

To ensure that the safety of users of the driveway/parking and compliance with the standard.

ENV 2

Sediment and erosion control measures, in accordance with an approved soil and water management plan (SWMP), must be installed prior to the commencement of work and maintained until such time as all disturbed areas have been stabilised and/or restored or sealed to the Council's satisfaction.

A SWMP must be submitted as a Condition Endorsement prior to the issue of any approval under the *Building Act 2016* or the commencement of work, whichever occurs first. The SWMP must be prepared in accordance with the

Soil and Water Management on Building and Construction Sites fact sheets
(Derwent Estuary Program, 2008), available [here](#).

All work required by this condition must be undertaken in accordance with the approved SWMP.

Advice:

This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.

Reason for Condition

To avoid the pollution and sedimentation of roads, drains and natural watercourses that could be caused by erosion and runoff from the development.

OPS s1

Prior to any works commencing and any machinery being brought on to the subject lot, the amenity value is to be paid for the eucalypts within the adjacent road reserve that are to be removed for construction of the driveway.

In reference to the Arboricultural Impact Assessment & Tree Protection Specification plan tree numbers, the amenity value of tree 10 has been calculated at \$2,639. No amenity value will be charged for trees 7, 8 or 9 due to their poor health and structural condition. Two additional smaller trees will require removal that are not shown on the arborist assessment plan. These two trees have a combined amenity value of \$1,031. This will result in a combined amenity fee of \$3,670 that is required to be paid prior to any tree removal.

To arrange payment of this fee, please contact Council's Open Space Planning Team on 6238 2488 and quote the development application number PLN-22-65.

The developer will bear the cost of the tree removals in the road reservation.

Reason for condition

To maintain the amenity value of street trees as per the City of Hobart Street Tree Strategy and the amenity value calculation method endorsed by a meeting of the full Council on the 18th February 2019.

OPS s2

In reference to the Arboricultural Impact Assessment & Tree Protection Specification plan tree numbers, T6 is the most significant tree on the road reserve (a *Eucalyptus obliqua*, stringbark). This tree will have >10% encroachment into the Tree Protection Zone from the proposed driveway. This impact must be avoided by:

- The driveway being constructed above grade, on posts or piles, as detailed in the arborist specification; and
- Digging for the posts/piles is to be undertaken by hand; and
- The works being overseen by a project arborist; and
- Any roots encountered greater than 50mm in diameter being avoided, and the pile/post location moved.

Advice: This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.

Reason for condition

Conservation of areas of significant vegetation or individual trees that have important aesthetic, heritage and environmental values.

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

CONDITION ENDORSEMENT

If any condition requires that further documents are submitted and approved, you will need to submit the relevant documentation to satisfy the condition via the Condition Endorsement Submission on Council's [online services e-planning portal](#). Detailed instructions can be found [here](#).

A fee of 2% of the value of the works for new public assets (stormwater infrastructure, roads and related assets) will apply for the condition endorsement application.

Once approved, the Council will respond to you via email that the condition has been endorsed (satisfied).

Where building approval is also required, it is recommended that documentation for condition endorsement be submitted well before submitting documentation for building approval. Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.

BUILDING PERMIT

You may need building approval in accordance with the *Building Act 2016*. Click [here](#) for more information.

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

PLUMBING PERMIT

You may need plumbing approval in accordance with the *Building Act 2016*, *Building Regulations 2016* and the National Construction Code. Click [here](#) for more information.

OCCUPATION OF THE PUBLIC HIGHWAY

You may require a Permit to Open Up and Temporarily Occupy a Highway (for work in the road reserve). Click [here](#) for more information.

WORK WITHIN THE HIGHWAY RESERVATION

Please note development must be in accordance with the Hobart City Council's Infrastructure by law. Click [here](#) for more information.

DRIVEWAY SURFACING OVER HIGHWAY RESERVATION

If a coloured or textured surface is used for the driveway access within the Highway Reservation, the Council or other service provider will not match this on any reinstatement of the driveway access within the Highway Reservation required in the future.

ACCESS

Designed in accordance with LGAT- IPWEA – Tasmanian standard drawings. Click

[here](#) for more information.

CROSS OVER CONSTRUCTION

The construction of the crossover can be undertaken subject to Council approval of the design. Click [here](#) for more information.

FEES AND CHARGES

Click [here](#) for information on the Council's fees and charges.

DIAL BEFORE YOU DIG

Click [here](#) for dial before you dig information.



(Deanne Lang)

Development Appraisal Planner

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.



(Deanne Lang)

Development Appraisal Planner

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

Date of Report: 6 May 2022

Attachment(s):

Attachment B - CPC Agenda Documents

ARCHIER

Strickland
AvenueAttn:
City of HobartDate:
April 1, 2022Project:
Strickland

To Whom it May Concern,

Following our discussions over the phone, please find attached the updated documentation for PLN-22-65 in 424 Strickland Avenue.

In regards to Planning RFI1,

1. We have removed the contours from drawings A0.200 and A0.201 and have noted the material as requested.
2. We have noted that no excavation is required on A0.201 between the deck leading from the kitchen/dining area and the deck adjoining the pool.
 - 2.1 As discussed, we have reduced the contour lines (hatching) and noted materials on the eastern elevations (refer to A2.104 and A0.201) to ensure a differentiation between the built form, materiality and the land.
3. We have annotated the maximum height of the dwelling from the top of the roof above existing ground on all elevations (refer to drawings A2.100 to A2.105)
4. We have annotated pool dimensions (A0.201) and have noted no excavation is needed for pool extents (North Elevation in A2.105)
5. We have included a garage elevation as requested (A1.105)

ARCHIER PTY LTD —
19 160 014 460

Parking and Access Code,

E5.6.4 Please note the driveway was originally designed by Land Storm Civil and a has been incorporated into our drawings. Please refer to A0.203 for technical drawings.

Attn:
City of Hobart

Date:
April 1, 2022

Project:
Strickland

E6.7.5 A detail section has been included noting structural member sizes and dimensions for the proposed driveway, vehicle barriers and support structures as per Structural Engineer's documents. Please refer to A0.203 for technical drawings.

We have noted that no barrier is needed on western side of driveway as it follows the natural contours and no excavation is required. Please refer to A0.201. We have also included the structural drawings that the Engineer has provided.

Traffic

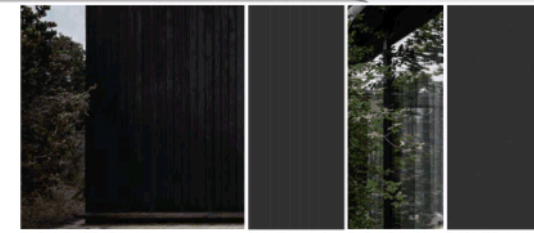
A distance of 6,494mm is noted from the end of vehicle barrier to Strickland Avenue, along the edge of the proposed driveway. As discussed over the phone, where there is no barrier, battered drop with a gradient of 1 in 4 max. (refer to A0.201)

Please let us know if there's any further information required.

Yours sincerely,

Josh FitzGerald
Director

ARCHIER PTY LTD —
19 160 014 460



Black Point FC Sheet cladding

A0.100 DA2

Cover

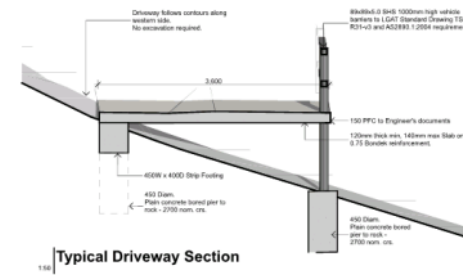


Site Response Plan

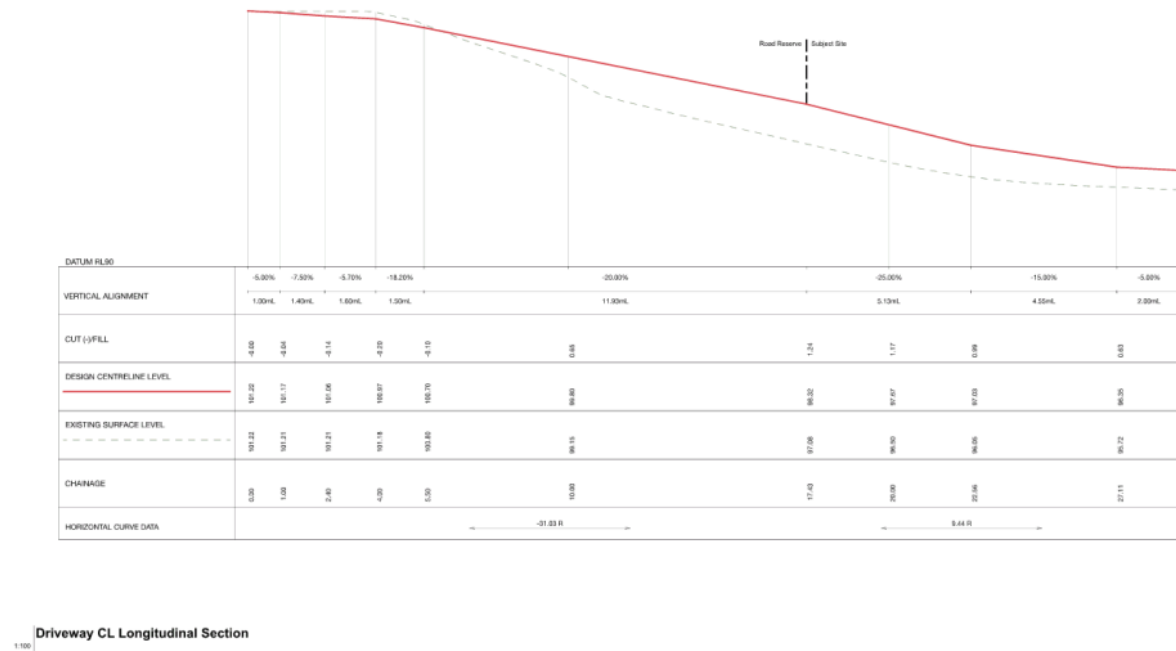
A0.201 DA2

Proposed Site Plan

PROCEEDING ARCHIVE RETAINS ALL COMMON LAW, STATUTORY, AND OTHER RIGHTS INCLUDING COPYRIGHT AND INTELLECTUAL PROPERTY RIGHTS. THIS DOCUMENT INFORMATION THEREIN SHALL NOT BE TRANSMITTED OR COPIED WITHOUT PERMISSION.



BUILDING MATERIALS	m2
25mm Slabbase WOC/TFRS	191.66
35mm Slabbase WOC/TFRS	90.45
Base RC 5' insulation	802.53
Base RC 7' insulation	424.12
Base RC 9' insulation	122.83
Bulkheads	12.00
Backwash	35.20
Rearfilling Screen	28.75
Concrete Screened	19.73
Concrete Screened Hydraulic	227.80
Concrete Sealed	89.87
Concrete Shrinkage Joint	6.48
Concrete Sealant	375.15
FC Sheet Chauling	109.75
FC Sheet Compression	1.39
FC Sheet Butyl	275.72
Glass Sheet	33.30
Glass Hydraulic RC	23.86
HDPE Tubing 1/2" Outside	1.61
Laminated	33.80
ORB Substrates	242.53
Paint Fresh Base	240.63
Paint Fresh Primer Grey	999.32
Polyurethane Coating	240.63
Plastic Sheet	192.80
Plywood Exterior Grade	28.81
Plywood Flanged	274.83
Raster Slatted	24.40
Road Skirting	24.40
Sealant	59.80
Steel Straps	2.47
Stone Superfines	14.87
Structural Insulation	176.33
Structural W/ Insulated	339.24
The Adhesive	10.20
Tile Floor	10.20
Tile Back	31.15
Tilebar Ceiling	50.80
Tilebar Cladding	31.15
Tilebar Cladding	31.15
Tilebar Cladding	31.15
Tilebar General	31.15
Wall Siding	176.14
Waterproofing	16.14



OBJECT LEGEND	
QTY	NAME
3	Bath
1	Cooling
7	Dat
1	Dishwasher
1	Dishrags
4	Disinfectant
1	Dryer
2	Ehaust
1	Ehaust Inlet
2	Ehaust Roof
1	Faucets
1	Faucets Flue
1	Fridge
51	GPO
4	GPO External
4	Gasline Tap
4	Basin Door
5	Glass Panel
1	Grills Linear
1	Hat Unit
1	Hat Linen Outdoor
1	Hydroic Mainfold
4	LED Sides
4	LED Strip
1	MGB
12	Mixer
6	Mixer Hubs
3	Mixer Hot
2	Mixer Sensor
1	NDA External
1	NDA Internal
6	Oulet
9	Purvent
1	Purvent Base
5	Power Meter
1	Rangefood
2	Showe Hat
1	Showe Head
1	Sink Double
1	Sink Single
2	Shelving
2	Smoke Detector
7	Spoke Light
11	Switch 1
8	Switch 2
6	Switch 3
1	Switch 4
1	Switch 5
1	TV Point
2	Toler Buttons
2	Toler Mount
2	Toler Roll Holder
1	Toler Roll Storage
13	Towel Hook
2	Towel Rack "100"
8	Track Light 1
1	Track Light 2
1	Track Light 3
1	Vent Upstream
4	Wall Light
4	Wall Light Outdoor
1	Washing Machine
2	Waste Storage
4	Waste Strip

Preliminary - Not For Construction

ARCH ER

Melbourne — Level 1 / 415 Sydney Rd Brunswick VIC 3056	Hobart — Level 7 / 85 Murray St Hobart TAS 7000	info@archie.com.au archie.com.au
--	---	-------------------------------------

Hobart —
Level 7 / 88 Murray St
Hobart TAS 7000

info@archiver.com.au
archiver.com.au

DISCLAIMER

This document is to be read in conjunction with specifications provided by AEC/ETB and documents by Chambers and Associates, Inc. referred to. Dimensions are to verify all dimensions on site before commencing any work or producing shop drawings. Written dimensions and larger scale drawings take precedence. All discrepancies to be brought to the attention of the author before proceeding. ACH/ETB owns all copyright, survey, and other rights including copyright and all other legal property rights.

THE RECIPIENT INCUMBENT IS BANNED AGAINST ALL CLAIMS RESULTING FROM USE OF THIS DOCUMENT FOR ANY PURPOSE OTHER THAN ITS INTENDED USE. UNAUTHORIZED CHANGES OR REMOVAL OF THE DOCUMENT OR OF OTHER PROJECTS WITHOUT PERMISSION OF ARCHIVE. UNDER NO CIRCUMSTANCES SHALL TRANSFER OF THIS DOCUMENT BE DEEMED A SALE OR CONSTITUTE A TRANSFER OF LICENSE TO USE THIS DOCUMENT. ARCHIVE AGREE ON THE

PROJECT
Strickland
424 Strickland Avenue South Hobart TAS 7004

Stuart + Teigen French

DATE _____

1/4/2022

CONTACT
Josh Fitzgerald

SCALE

As Shown @ A2

gosh@archie.com.au

ENDING

A0.203 DA2

Driveway

NORTH



Preliminary - Not For Construction

info@archiver.com.au
archiver.com.au

Lower Front Panel



Ground Floor Plan

joah@archier.com.au



Roof Plan

DRAWING NORTH
A1.103 DA2
 Roof Plan

BUILDING MATERIALS

MATERIAL	m2
25mm Batens SELECTED	181.66
25mm Batens SELECTED	182.63
Anti R2.5 Insulation	4.17
Anti R2.7 Insulation	482.12
Anti R2.5 Insulation	234.86
Battens	12.63
Blockwork	88.25
Bricklay Screed	9.25
Concrete Screed	19.73
Concrete Slabbed Hydraulic	221.80
Concrete Slabbed	88.07
Concrete Slabbed Floor	78.84
Customised Shading	315.15
FC Sheet Cladding	105.72
FC Sheet Compressed	26.54
FC Sheet Scaff	219.75
FC Sheet Thelard	33.91
Glass Mirror	1.61
Hydraulic R1.0 Insulation	231.88
Laminated Glass	1.78
OSB Substrate	242.53
Paint Fresh Deck	325.46
Paint Fresh Grey	889.32
Plasterboard Ceiling	249.80
Plasterboard Ceiling	142.25
Physwood Exterior Grade	26.81
Physwood Flooring	27.43
Raster Raster	70.15
Roof Sarking	246.98
Roof	58.85
Steel Stainless	2.41
Stone Superside	14.87
Structural Wall	116.33
Structural Wall Insulated	558.24
The Substrate	46.53
Tile Floor	32.25
Tile Wall	33.39
Timber Cladding	40.96
Timber Cladding	311.15
Timber Decking	57.86
Timber Gypsum	3.58
Wall Sarking	175.14
Waterproofing	65.14

OBJECT LEGEND

QTY	NAME
3	Basin
1	Bath
1	Cooling
7	Dish
1	Dishwasher
1	Downlight
4	Downlight
1	Dryer
2	Exhaust
1	Exhaust Intake
2	Exhaust Roof
1	Fireplace
1	Fireplace Plan
1	Fridge
51	GPO
4	GPO Internal
4	Garden Tap
4	Glass Door
5	Glass Panel
1	Gutter Liner
1	Hot Water
1	Hot Water Outboard
1	Hydraulic Manifold
1	LED Light
4	LED Strip
1	MBS
12	Mirror
5	Mixer Hub
3	Mixer Hub
2	Mixer Sink
1	NBN External
1	NBN Internal
6	Outlet
1	Oven
8	Parquet
5	Plug Base
1	Power Meter
1	Rangehood
2	Shower Head
1	Shower Head
1	Sink Double
1	Sink Single
2	Styling
2	Smoke Detector
7	Table Light
11	Switch 1
6	Switch 2
6	Switch 3
1	Switch 4
1	Switch 5
1	TV point
2	Toler Butane
2	Toler Butane
2	Toler Butane
1	Toler Butane
13	Toler Butane
2	Toler Butane
8	Track Light 1
18	Track Light 2
1	Vent Air
1	Vent Upstream
4	Wall Light
6	Wall Light Outboard
1	Washing Machine
2	Washing Machine
1	Washing Strip

Preliminary - Not For Construction

A1.104 DA2

Garage Plan

Josh FitzGerald - josh@archer.com.au

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

Garage Plan

[illegible]

OBJECT LEGEND

QTY	NAME
3	Basin
1	Ball
1	Candlepin
1	Dishwasher
1	Downdraft
4	Discharge
1	Dryer
1	Exhaust Hood
2	Exhaust Ridge
1	Faucet/Lever
1	Fireplace Flare
1	Flue Pipe
5	GPO Exhaust Fan
4	Groove Tap
4	Grass Churn
5	Glass Door
1	Hole Liner
1	Hot Water
1	Ice Cream Shovel
1	Hydrovac Manifold
1	LED Lights
1	Ledge Strip
1	MIDS
12	Mixer
6	Mower Hubs
1	Mower Motor
2	Motion Sensor
1	NBN Camera
1	Netherland
6	Oven
6	Paninet
1	Power Block
1	Power Mower
1	Rangeflower
1	Sinkhole Road
1	Shower Head
1	Sink Drainage
1	Sink Sample
2	Splaylight
7	Spider Light
6	Switch-1
6	Switch-2
3	Switch-3
1	Switch-4
1	Switch-5
1	TV Antenna
1	Toler Buttons
1	Toler Inlet
1	Toler Load Master
1	Toler Tool Storage
2	Tower Rack
2	Tower Rack 1000
2	Tower Rack 11
18	Trench Truck
1	Vent Airt
1	Vent Exhaust
1	Vent Laminar
1	Vent Light
1	Washing Machine
2	Watering Strip
2	Waste Sump

Preliminary - Not For Construction

ARCH ER

Melbourne — Level 1 / 415 Sydney Rd Brunswick VIC 3056	Hobart — Level 7 / 85 Murray St Hobart TAS 7000	info@archies.com.au archies.com.au
--	---	---------------------------------------

Hobart —
Level 7 / 88 Murray St
Hobart TAS 7000

info@archier.com.au
archier.com.au

DISCLAIMER

THIS DOCUMENT IS TO BE READ IN CONNECTION WITH SPECIFICATIONS PROVIDED BY ARCHITECT AND ALL DOCUMENTS BY ENGINEERING AND GEOLOGICALITY REFERRED TO. CONSTRUCTIONS ARE TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK OR PRODUCING LARGE DRAWINGS. WRITTEN DIMENSIONS AND LARGER SCALE DRAWINGS TAKE PRECEDENCE. ALL DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE AUTHOR BEFORE PROCEEDING. AND HEREIN THIS ALL CONSTRUCTION, SURVEYING LABEL AND OTHER RIGHTS INCLUDING COPYRIGHT, PATENT, SOURCE, AND PROPERTY RIGHTS.

THE RECIPIENT INDEMNIFIES ARCHER AGAINST ALL CLAIMS RESULTING FROM USE OF THIS DOCUMENT FOR ANY PURPOSE OTHER THAN ITS INTENDED USE. UNAUTHORIZED CHANGES OR REUSE OF THE DOCUMENT OR OF HER PRODUCTS WITHOUT PERMISSION OF ARCHER, UNDER NO CIRCUMSTANCES, SHALL TRANSFER OF THIS DOCUMENT BE DEEMED TO CONSTITUTE A TRANSFER OF LICENSE TO USE THIS DOCUMENT. ARCHER HOLDS THE INTELLECTUAL PROPERTY RIGHTS AND ASSOCIATE WITH THIS DOCUMENT INFORMATION FROM SUCH SOURCE. THIS DOCUMENT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

PROJECT

Strickland
424 Strickland Avenue South Hobart TAS 7004

CLIENT
Stuart + Teigan French

DATE: _____

1/4/2022

CONTACT

Josh FitzGerald — josh@archier.com.au

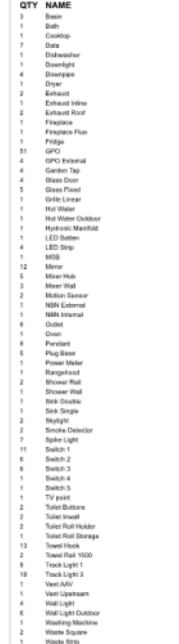
SCALE

As shown in A2

ENDNOTE

A1.105 DA2

Garage Elevation _____







Preliminary - Not For Construction

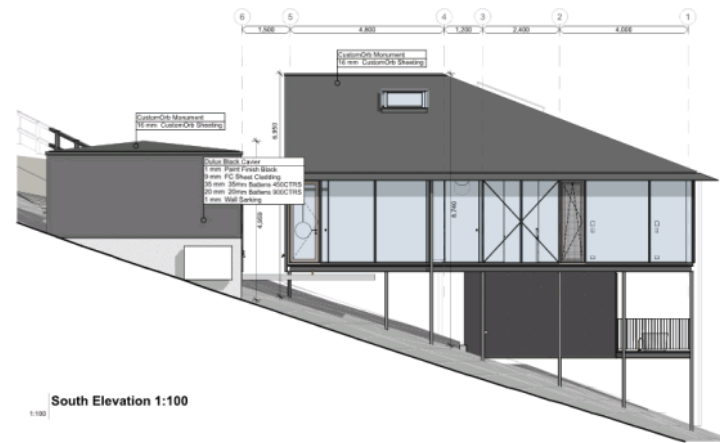


Elevations W



- QTY Name
- 1 Ball
- 2 Bowling Pin
- 7 Data
- 1 Dishwasher
- 2 Doveside
- 4 Doveside
- 1 Dyer
- 2 Exhaust
- 1 Exhaust Hood
- 2 Exhaust Hood
- 1 Fertilizer
- 1 Firewood Box Plan
- 1 GPS
- 51 GPU
- 4 GPU Personal
- 4 Garden Tap
- 4 Glass Door
- 6 Gas Piped
- 1 Gift Lifter
- 1 Hair Dryer
- 1 Ha Water Outflow
- 1 Hayrack
- 1 LED Bedset
- 4 LED Strip
- 1 M8B
- 12 Mirror
- 1 Motor Boat
- 2 Motors Starter
- 1 NBN Local
- 1 NBN Internal
- 4 Oil Cooler
- 1 Oven
- 1 Paint
- 1 Picnic Basket
- 1 Pioneer Model
- 1 Refrigerator
- 2 Shower Head
- 1 Slicer Drill
- 1 Sink Drainage
- 1 Sink Single
- 1 Sink Triple
- 1 Smoke Detector
- 7 Smoke Light
- 11 Switch 1
- 6 Switch 2
- 6 Switch 3
- 1 Switch 4
- 2 Switch 5
- 1 TV Panel
- 2 Toilet Buttons
- 1 Toilets Wash
- 2 Toilet Roll Holder
- 1 Towel Rack Storage
- 2 Towel Rack 1000
- 1 Towel Rack 1200
- 7 Track Light 1
- 1 Vacuum Cleaner
- 1 Vent Upstream
- 4 Wall Light
- 4 Wall Light Outdoor
- 1 Washing Machine
- 1 Waste Skirt
- 1 Waste Strips

DRAWING NORTH
A2.104 DA2
 Elevations 1:100



BUILDING MATERIALS	
MATERIAL	m2
25mm Slabcast W/C/Grout	151.66
35mm Slabcast W/C/Grout	502.43
Asp R/C 50 Insulation	49.47
Asp R/C 70 Insulation	482.12
Asp R/C 100 Insulation	462.43
Battens	12.41
Blockwork	10.28
Brickwork Scaff	8.28
Concrete Screed	19.73
Concrete Scaff Hydraulic	221.88
Concrete Screed	88.87
FC Sheet Lining	78.96
Custom-Off Shaping	30.05
FC Sheet Cladding	105.72
FC Sheet Ductwork	36.36
FC Sheet Soffit	179.79
FC Sheet Staircase	10.28
Glass Mirror	1.81
Hydraulic R/C 50 Insulation	231.88
Hydraulic R/C 70 Insulation	1.78
OSB Boards	240.33
Paint Felt Dry Seal	1,025.66
Paint Felt Green	240.33
Posttensioning Cables	240.33
Preplaced Aggregate	240.33
Physwell Exterior Gypsum	28.81
Physwell Interior Gypsum	27.47
Rumex Slagged	70.15
Roor Scaffing	10.28
Soffit	58.89
Steel Barriaces	2.41
Steel Brackets	14.87
Blockwork Wall	11.63
Structural Wall Insulated	559.26
Tie Anchors	32.28
Tile Floor	32.28
Tile Work	32.28
Timber Cladding	30.15
Timber Cladding	30.15
Timber Cladding	41.88
Timber Concrete	3.96
Wall Staircase	175.14
Waterproofing	36.36

OBJECT LEGEND

QTY	NAME
1	Bath
1	Cooling
1	Dare
1	Dishwasher
1	Dishlight
4	Dishpan
1	Dryer
2	Exhaust
1	Exhaust Valve
1	Exhaust Door
1	Fireplace
1	Fireplace Flue
1	Fridge
55	GPO
1	GPO Internal
4	Garden Tap
4	Glass Door
6	Glass Panel
1	Grill Liner
1	Hot Water
1	Hot Water Outdoor
1	Hydrant: Manual
1	LED Batem
4	LED Strip
1	MIS
12	Mirror
5	Mixer Hot
3	Mixer Hot
1	Mixer Shower
2	Mixer Shower
1	MIS Internal
6	MSB
1	Oven
1	Oven
6	Panboard
5	Plug: Blank
1	Power Minder
1	Ramp: Roof
2	Shower Roof
1	Shower Head
1	Shower: Electric
1	Sink Simple
2	Synlight
2	Smoke Detector
7	Spot Light
11	Switch 1
6	Switch 2
2	Switch 2
1	Switch 4
1	Switch 5
5	TV Stand
2	Toler Buttons
1	Toler Inset
2	Toler Roll Holder
2	Toler Roll Storage
13	Towel Hook
2	Towel Rack 1500
1	Towel Rack 1
10	Track Light 3
1	Van: Loft
1	Van: Upstairs
4	Wall Light
1	Wall Light Outdoor
2	Washing Machine
1	Washing Machine
2	Waste Bin

Preliminary - Not For Construction

ARCH ER

Melbourne — Level 1 / 415 Sydney Rd Brunswick VIC 3056	Hobart — Level 7 / 85 Murray St Hobart TAS 7000	info@archie.com.au archie.com.au
--	---	-------------------------------------

Hobart —
Level 7 / 88 Murray
Hobart TAS 7000

info@archiver.com.au
archiver.com.au

DISCLAIMER

THIS DOCUMENT IS TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED BY ARCHITECT AND DOCUMENTS BY ENGINEERING AND SURVEYOR. REFERRED TO, EXAMINATIONS ARE TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK OR PRODUCING SET OF DRAWINGS. WRITE DIMENSIONS AND LAMPED SCALE DRAWINGS IN PRECEDENCE. ALL DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE AUTHOR BEFORE PROCEEDING. ARCHITECT HAS TAKEN ALL COMMON SENSE, VERY LOW, AND OTHER PRESENT INCLUDING CONTRACTORS' AND SURVEYOR'S LOCAL PROPERTY.

THE RECIPIENT AGREES ARCHON AGAINST CLAIMS ARISING FROM USE OF THIS DOCUMENT FOR ANY PURPOSE OTHER THAN ITS INTENDED UNAUTHORIZED CHANGES OR REUSE OF THE DOCUMENT ON OTHER PROJECTS WITHOUT PERMISSION OF ARCHON. UNDER NO CIRCUMSTANCES SHALL TRANSFER OF THIS DOCUMENT BE DEEMED TO CONSTITUTE A TRANSFER OF LICENSE TO USE THIS DOCUMENT. ARCHON HOLDS THE INTELLECTUAL PROPERTY RIGHTS ASSOCIATED WITH THIS DOCUMENT. INFORMATION THEREIN SHALL BE TRANSMITTED TO YOU AND NOT BE REPRODUCED OR TRANSMITTED TO ANY OTHER PARTY.

Strickland
424 Strickland Avenue South Hobart TAS 7004

CIENT
Stuart + Teigan French

54

1/4/2022

CONTACT

Josh FitzGerald — josh@archier.com.au

SCALE

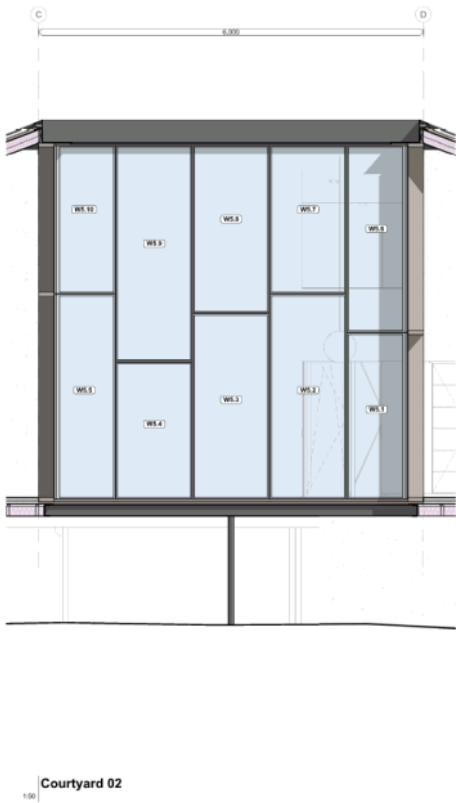
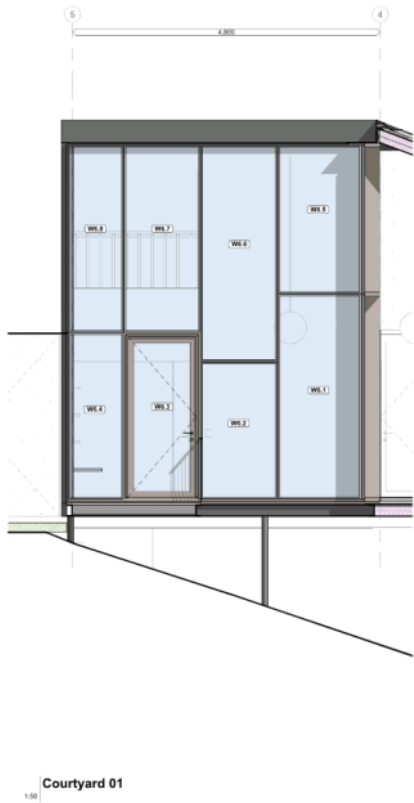
As Shown in AZ

[PLANING]

A2.105 DA2

Elevations 1100

NORTH



BUILDING MATERIALS	
MATERIAL	m2
20mm Batens SELECTED	181.66
20mm Batens SELECTED	182.03
Anti R2.5 Insulation	4.17
Anti R2.7 Insulation	482.12
Anti R2.5 Insulation	234.86
Battens	12.63
Brickwork	88.25
Brickwork Screen	9.25
Concrete Screed	19.73
Concrete Slab (Hydrocrete)	221.80
Concrete Slabbed	88.07
Concrete Slabbed Floor	78.84
CurtainWall Cladding	315.15
FC Sheet Cladding	105.72
FC Sheet Compressed	26.54
FC Sheet Scaff	219.75
FC Sheet Thinslab	33.91
Glass Mirror	1.61
Hydrocrete R1.0 Insulation	221.80
Laminated Glass	1.78
OSB Substrate	242.53
Paint Fresh Deck	325.46
Paint Fresh Grey	889.32
Plasterboard Ceiling	240.80
Plasterboard Ceiling	242.25
Physwood Exterior Grade	26.81
Physwood Flooring	27.43
Raster Raster	70.15
Roof Sarking	246.98
Roof	50.88
Roof Stainless	2.41
Stone Superslab	14.87
Structural Wall	116.33
Structural Wall Insulated	558.24
Timber Floor	32.25
Timber Wall	33.39
Timber Cladding	40.56
Timber Cladding	311.15
Timber Cladding	37.86
Timber Cladding	3.08
Wall Sarking	175.14
Waterproofing	95.14









































OBJECT LEGEND	
QTY	NAME
3	Basin
1	Bath
1	Cooling
1	Door
1	Dishwasher
1	Doorlight
4	Downspout
1	Dryer
2	Exhaust
1	Exhaust Inflow
2	Exhaust Roof
1	Fireplace
1	Fireplace Flue
1	Flange
51	GPO
4	GPO External
4	Gravel Top
4	Gravel Door
5	Gravel Floor
1	Gutter Liner
1	Hot Water
1	Hot Water Outflow
1	Hydrocrete Mainfloor
1	LED Light
4	LED Strip
1	MIB
12	Mirror
5	Mirror Hub
3	Mirror Wall
2	Mirror Sarking
1	NBN External
1	NBN Internal
6	Outlet
1	Over
8	Parade
5	Plug Base
1	Power Meter
1	Rangefood
2	Shower Roof
1	Shower Roof
1	Sink Drain
2	Sink Drain
2	Sink Drain
2	Smoke Detector
7	Smoke Light
11	Switch 1
6	Switch 2
6	Switch 3
1	Switch 4
1	Switch 5
1	TV point
2	Toler Butane
2	Toler Butane
2	Toler Butane
1	Toler Butane
13	Toler Butane
2	Toler Butane
8	Track Light 1
1	Track Light 2
1	Track Light 3
1	Track Light 4
1	Track Light 5
1	Track Light 6
1	Track Light 7
1	Track Light 8
1	Track Light 9
1	Track Light 10
1	Track Light 11
1	Track Light 12
1	Track Light 13
1	Track Light 14
1	Track Light 15
1	Track Light 16
1	Track Light 17
1	Track Light 18
1	Track Light 19
1	Track Light 20
1	Track Light 21
1	Track Light 22
1	Track Light 23
1	Track Light 24
1	Track Light 25
1	Track Light 26
1	Track Light 27
1	Track Light 28
1	Track Light 29
1	Track Light 30
1	Track Light 31
1	Track Light 32
1	Track Light 33
1	Track Light 34
1	Track Light 35
1	Track Light 36
1	Track Light 37
1	Track Light 38
1	Track Light 39
1	Track Light 40
1	Track Light 41
1	Track Light 42
1	Track Light 43
1	Track Light 44
1	Track Light 45
1	Track Light 46
1	Track Light 47
1	Track Light 48
1	Track Light 49
1	Track Light 50
1	Track Light 51
1	Track Light 52
1	Track Light 53
1	Track Light 54
1	Track Light 55
1	Track Light 56
1	Track Light 57
1	Track Light 58
1	Track Light 59
1	Track Light 60
1	Track Light 61
1	Track Light 62
1	Track Light 63
1	Track Light 64
1	Track Light 65
1	Track Light 66
1	Track Light 67
1	Track Light 68
1	Track Light 69
1	Track Light 70
1	Track Light 71
1	Track Light 72
1	Track Light 73
1	Track Light 74
1	Track Light 75
1	Track Light 76
1	Track Light 77
1	Track Light 78
1	Track Light 79
1	Track Light 80
1	Track Light 81
1	Track Light 82
1	Track Light 83
1	Track Light 84
1	Track Light 85
1	Track Light 86
1	Track Light 87
1	Track Light 88
1	Track Light 89
1	Track Light 90
1	Track Light 91
1	Track Light 92
1	Track Light 93
1	Track Light 94
1	Track Light 95
1	Track Light 96
1	Track Light 97
1	Track Light 98
1	Track Light 99
1	Track Light 100

Preliminary - Not For Construction

ARCH ER

Melbourne — Level 1, 111 Sydney Rd
Brunswick VIC 3056
Hobart — Level 1, 111 Sydney Rd
Hobart TAS 7000
info@archer.com.au
archer.com.au

DISCLAIMER
THIS DOCUMENT IS TO BE USED IN CONNECTION
WITH THE PROJECT AND NOT FOR ANY OTHER
PURPOSE. THE ARCHITECT DOES NOT
WARRANT OR GUARANTEE THE
ACCURACY OR COMPLETENESS OF THE
INFORMATION CONTAINED HEREIN.
THE ARCHITECT ACCEPTS NO LIABILITY
FOR ANY LOSS OR DAMAGE, INCLUDING
CONSEQUENTIAL DAMAGES, ARISING OUT OF
THE USE OF THIS DOCUMENT.
PROJECT
Strickland
424 Strickland Avenue South Hobart TAS 7004
CLIENT
Stuart + Teigen French
DATE
1/4/2022
SCALE
As Shown @ A2
DRAWING
A2.106 DA2
NORTH
CONTRACT
Josh Fitzgerald — josh@archer.com.au
Elevations Courtyard

ID	Name	Height x Width	QTY	Supplier	Manu	Model	Frame	Glass	Compliance Notes	Area	ID	Name	Height x Width	QTY	Supplier	Manu	Model	Frame	Glass	Compliance Notes	Area
	W1.1	Fixed Window	2,590 x 1,240	1	Archier	Archier	Thermally broken aluminium glazing adaptor.	AGG iPlus Low-E clear double glazing min 5mm Toughened	Opaque markings to NCC 3.6.4.6.	3.21		W2.14	Fixed Window	2,590 x 1,180	1	Archier	Archier	Thermally broken aluminium glazing adaptor.	AGG iPlus Low-E clear double glazing min 5mm Toughened	Opaque markings to NCC 3.6.4.6.	3.06
	W1.2	French Door	2,540 x 2,330	1	Archier	BINQ	French Door timber window.	AGG iPlus Low-E clear double glazing min 5mm Toughened	Opaque markings to NCC 3.6.4.6.	5.92		W2.15	Fixed Window	2,590 x 1,180	1	Archier	Archier	Thermally broken aluminium glazing adaptor.	AGG iPlus Low-E clear double glazing min 5mm Toughened	Opaque markings to NCC 3.6.4.6.	3.06
	W1.3	French Door	2,540 x 2,330	1	Archier	BINQ	French Door timber window.	AGG iPlus Low-E clear double glazing min 5mm Toughened	Opaque markings to NCC 3.6.4.6.	5.92		W2.16	Fixed Window	2,590 x 1,730	1	Archier	Archier	Thermally broken aluminium glazing adaptor.	AGG iPlus Low-E clear double glazing min 5mm Toughened	Opaque markings to NCC 3.6.4.6.	4.48
	W1.4	Fixed Window	2,590 x 2,180	1	Archier	Archier	Thermally broken aluminium glazing adaptor.	AGG iPlus Low-E clear double glazing min 5mm Toughened	Opaque markings to NCC 3.6.4.6.	5.65		W3.1	Fixed Window	2,590 x 1,330	1	Archier	Archier	Thermally broken aluminium glazing adaptor.	AGG iPlus Low-E clear double glazing min 5mm Toughened	Opaque markings to NCC 3.6.4.6.	3.44
	W1.5	Fixed Window	2,590 x 1,180	1	Archier	Archier	Thermally broken aluminium glazing adaptor.	AGG iPlus Low-E clear double glazing min 5mm Toughened	Opaque markings to NCC 3.6.4.6.	3.06		W3.2	Fixed Window	2,590 x 1,980	1	Archier	Archier	Thermally broken aluminium glazing adaptor.	AGG iPlus Low-E clear double glazing min 5mm Toughened	Opaque markings to NCC 3.6.4.6.	5.13
	W1.6	Fixed Window	2,590 x 1,180	1	Archier	Archier	Thermally broken aluminium glazing adaptor.	AGG iPlus Low-E clear double glazing min 5mm Toughened	Opaque markings to NCC 3.6.4.6.	3.06		W3.3	Tilt Turn	2,540 x 730	1	Archier	BINQ	Tilt Turn timber window.	AGG iPlus Low-E clear double glazing min 5mm Toughened	Opaque markings to NCC 3.6.4.6.	1.85
	W1.7	Fixed Window	2,590 x 1,930	1	Archier	Archier	Thermally broken aluminium glazing adaptor.	AGG iPlus Low-E clear double glazing min 5mm Toughened	Opaque markings to NCC 3.6.4.6.	5.00		W3.4	Fixed Window	2,590 x 1,180	1	Archier	Archier	Thermally broken aluminium glazing adaptor.	AGG iPlus Low-E clear double glazing min 5mm Toughened	Opaque markings to NCC 3.6.4.6.	3.06
	W2.1	Fixed Window	2,590 x 2,130	1	Archier	Archier	Thermally broken aluminium glazing adaptor.	AGG iPlus Low-E clear double glazing min 5mm Toughened	Opaque markings to NCC 3.6.4.6.	5.52		W3.5	Fixed Window	2,590 x 1,180	1	Archier	Archier	Thermally broken aluminium glazing adaptor.	AGG iPlus Low-E clear double glazing min 5mm Toughened	Opaque markings to NCC 3.6.4.6.	3.06
	W2.2	Fixed Window	2,590 x 1,980	1	Archier	Archier	Thermally broken aluminium glazing adaptor.	AGG iPlus Low-E clear double glazing min 5mm Toughened	Opaque markings to NCC 3.6.4.6.	5.13		W3.6	Fixed Window	2,590 x 1,630	1	Archier	Archier	Thermally broken aluminium glazing adaptor.	AGG iPlus Low-E clear double glazing min 5mm Toughened	Opaque markings to NCC 3.6.4.6.	4.22
	W2.3	Fixed Window	2,590 x 1,180	1	Archier	Archier	Thermally broken aluminium glazing adaptor.	AGG iPlus Low-E clear double glazing min 5mm Toughened	Opaque markings to NCC 3.6.4.6.	3.06		W3.7	Fixed Window	2,590 x 1,685	1	Archier	Archier	Thermally broken aluminium glazing adaptor.	AGG iPlus Low-E clear double glazing min 5mm Toughened	Opaque markings to NCC 3.6.4.6.	4.36
	W2.4	Fixed Window	2,590 x 1,980	1	Archier	Archier	Thermally broken aluminium glazing adaptor.	AGG iPlus Low-E clear double glazing min 5mm Toughened	Opaque markings to NCC 3.6.4.6.	5.13		W3.8	Fixed Window	2,590 x 1,685	1	Archier	Archier	Thermally broken aluminium glazing adaptor.	AGG iPlus Low-E clear double glazing min 5mm Toughened	Opaque markings to NCC 3.6.4.6.	4.36
	W2.5	Tilt Turn	2,540 x 730	1	Archier	BINQ	Tilt Turn timber window.	AGG iPlus Low-E clear double glazing min 5mm Toughened	Opaque markings to NCC 3.6.4.6.	1.85		W3.9	Entry Door	2,540 x 930	1	Archier	BINQ	Entry Door timber window.	AGG iPlus Low-E clear double glazing min 5mm Toughened	Opaque markings to NCC 3.6.4.6.	2.36
	W2.6	Fixed Window	2,590 x 1,980	1	Archier	Archier	Thermally broken aluminium glazing adaptor.	AGG iPlus Low-E clear double glazing min 5mm Toughened	Opaque markings to NCC 3.6.4.6.	5.13		W4.1	Fixed Window	2,285 x 1,240	1	Archier	Archier	Thermally broken aluminium glazing adaptor.	AGG iPlus Low-E clear double glazing min 5mm Toughened	Opaque markings to NCC 3.6.4.6.	2.83
	W2.7	Tilt Turn	2,540 x 730	1	Archier	BINQ	Tilt Turn timber window.	AGG iPlus Low-E clear double glazing min 5mm Toughened	Opaque markings to NCC 3.6.4.6.	1.85		W4.2	Entry Door	2,535 x 730	1	Archier	BINQ	Entry Door timber window.	AGG iPlus Low-E clear double glazing min 5mm Toughened	Opaque markings to NCC 3.6.4.6.	1.85
	W2.8	Fixed Window	2,590 x 880	1	Archier	Archier	Thermally broken aluminium glazing adaptor.	AGG iPlus Low-E clear double glazing min 5mm Toughened	Opaque markings to NCC 3.6.4.6.	2.28		W4.3	Fixed Window	2,153 x 1,180	1	Archier	Archier	Thermally broken aluminium glazing adaptor.	AGG iPlus Low-E clear double glazing min 5mm Toughened	Opaque markings to NCC 3.6.4.6.	2.54
	W2.9	Tilt Turn	2,540 x 730	1	Archier	BINQ	Tilt Turn timber window.	AGG iPlus Low-E clear double glazing min 5mm Toughened	Opaque markings to NCC 3.6.4.6.	1.85		W4.4	Fixed Window	2,585 x 1,305	1	Archier	Archier	Thermally broken aluminium glazing adaptor.	AGG iPlus Low-E clear double glazing min 5mm Toughened	Opaque markings to NCC 3.6.4.6.	3.37
	W2.10	Fixed Window	2,590 x 1,080	1	Archier	Archier	Thermally broken aluminium glazing adaptor.	AGG iPlus Low-E clear double glazing min 5mm Toughened	Opaque markings to NCC 3.6.4.6.	2.80		W4.5	Fixed Window	3,205 x 1,240	1	Archier	Archier	Thermally broken aluminium glazing adaptor.	AGG iPlus Low-E clear double glazing min 5mm Toughened	Opaque markings to NCC 3.6.4.6.	3.97
	W2.11	Fixed Window	2,590 x 780	1	Archier	Archier	Thermally broken aluminium glazing adaptor.	AGG iPlus Low-E clear double glazing min 5mm Toughened	Opaque markings to NCC 3.6.4.6.	2.02		W4.6	Fixed Window	2,905 x 780	1	Archier	Archier	Thermally broken aluminium glazing adaptor.	AGG iPlus Low-E clear double glazing min 5mm Toughened	Opaque markings to NCC 3.6.4.6.	2.27
	W2.12	Tilt Turn	2,540 x 730	1	Archier	BINQ	Tilt Turn timber window.	AGG iPlus Low-E clear double glazing min 5mm Toughened	Opaque markings to NCC 3.6.4.6.	1.85		W4.7	Fixed Window	3,338 x 1,180	1	Archier	Archier	Thermally broken aluminium glazing adaptor.	AGG iPlus Low-E clear double glazing min 5mm Toughened	Opaque markings to NCC 3.6.4.6.	3.94
	W2.13	Fixed Window	2,590 x 1,980	1	Archier	Archier	Thermally broken aluminium glazing adaptor.	AGG iPlus Low-E clear double glazing min 5mm Toughened	Opaque markings to NCC 3.6.4.6.	5.13		W4.8	Fixed Window	2,905 x 1,305	1	Archier	Archier	Thermally broken aluminium glazing adaptor.	AGG iPlus Low-E clear double glazing min 5mm Toughened	Opaque markings to NCC 3.6.4.6.	3.79

Preliminary - Not For Construction

ARCH ER

Midbourne —
Level 1, 415 Sydney Rd
Brunswick VIC 3056

Hobart —
Level 2, 65 Murray St
Hobart TAS 7000

info@archer.com.au
archer.com.au

DISCLAIMER

THIS DOCUMENT IS TO BE USED IN CONNECTION WITH THE PROJECT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ARCHER. ANY REPRODUCTION OR TRANSMISSION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF ARCHER SHALL BE CONSIDERED A VIOLATION OF THE TERMS AND CONDITIONS OF THE ARCHER DESIGN AGREEMENT. ARCHER SHALL NOT BE LIABLE FOR ANY LOSS OR DAMAGE, INCLUDING CONSEQUENTIAL DAMAGES, ARISING FROM THE USE OF THIS DOCUMENT.

THE RECIPIENT AGREES TO WAIVER AGAINST ALL OTHERS FROM THE RECIPIENT'S LIABILITY FOR ANY LOSS OR DAMAGE, INCLUDING CONSEQUENTIAL DAMAGES, ARISING FROM THE USE OF THIS DOCUMENT. THE RECIPIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES. THE RECIPIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES. THE RECIPIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.

PROJECT

Strickland
424 Strickland Avenue South Hobart TAS 7004

CLIENT
Stuart + Teigan French

DATE

1/4/2022

CONTACT
Josh Fitzgerald — josh@archer.com.au

SCALE

As Shown @ A2

DRAWING

A9.100 DA2

Schedule - Window

NOTES

208.82

ID	Unit WxH	Leaf WxH	Finish	Leaf	Lockset / Handle	Seals / Doorstop
D1	910x2,210	870x2,190	Dulux Raku	35mm Hume Honeycomb leaf SG15. Tradco matt black (MB) fixed pin hinges. Equally spaced and rebated in jamb/leaf.	Lockwood 1220 Symphony Series Rose to match handle finish. Lockwood 1220 series Lever 145 unlacquered brass handles 1000mm AFFL.	Raven RP120 perimeter seals to jamb.
D2	760x2,110	720x2,090	Dulux Raku	35mm Hume Honeycomb leaf SG15. Tradco matt black (MB) fixed pin hinges. Equally spaced and rebated in jamb/leaf.	Lockwood 1220 Symphony Series Rose to match handle finish. Lockwood 1220 series Lever 145 unlacquered brass handles 1000mm AFFL.	Raven RP120 perimeter seals to jamb. Tradco Matt Black Oval door stop.
D3	760x2,110	720x2,090	Dulux Raku	35mm Hume Honeycomb leaf SG15. Tradco matt black (MB) fixed pin hinges. Equally spaced and rebated in jamb/leaf.	Lockwood 1220 Symphony Series Rose to match handle finish. Lockwood 1220 series Lever 145 unlacquered brass handles 1000mm AFFL.	Raven RP120 perimeter seals to jamb. Tradco Matt Black Oval door stop.
D4	760x2,110	720x2,090	Dulux Raku	35mm Hume Honeycomb leaf SG15. Tradco matt black (MB) fixed pin hinges. Equally spaced and rebated in jamb/leaf.	Lockwood 1220 Symphony Series Rose to match handle finish. Lockwood 1220 series Lever 145 unlacquered brass handles 1000mm AFFL.	Raven RP120 perimeter seals to jamb. Tradco Matt Black Oval door stop.
D5	760x2,110	720x2,090	Dulux Raku	35mm Hume Honeycomb leaf SG15. Tradco matt black (MB) fixed pin hinges. Equally spaced and rebated in jamb/leaf.	Lockwood 1220 Symphony Series Rose to match handle finish. Lockwood 1220 series Lever 145 unlacquered brass handles 1000mm AFFL.	Raven RP120 perimeter seals to jamb. Tradco Matt Black Oval door stop.
D6	760x2,110	720x2,090	Dulux Raku	35mm Hume Honeycomb leaf SG15. Tradco matt black (MB) fixed pin hinges. Equally spaced and rebated in jamb/leaf.	Lockwood 1220 Symphony Series Rose to match handle finish. Lockwood 1220 series Lever 145 unlacquered brass handles 1000mm AFFL.	Raven RP120 perimeter seals to jamb. Tradco Matt Black Oval door stop.
D7	1,310x2,850	1,270x2,830	Dulux Black Cavier	35mm Hume Salicore leaf SCX1. Tradco stainless steel (SS) fixed pin hinges. Equally spaced and rebated in jamb/leaf.	Lockwood mortice lock. Cover and strike plate to match handle finish. Lockwood 1220 series Lever 145 unlacquered brass handles 1000mm AFFL.	
DG1	5,190x2,440	5,090x2,390	Colorbond Monument	Garage door by others.		

ID	Name	Height x Width	QTY	Model	Area	ID	Name	Height x Width	QTY	Model	Area
G1	Glass Fixed	2,400 x 1,200	1	10mm toughened glass. Recessed glazing channels powdercoated to match tiles to floor and ceiling. 10mm deep channel to walls to ensure flush with tiles.	2.88	G19.3	Mirror	2,115 x 1,560	1	Vitidian 6mm bronze mirror. Fully adhered to substrate - ensure no ghosting.	3.30
G2	Glass Fixed	2,400 x 470	1	10mm toughened glass. Recessed glazing channels powdercoated to match tiles to floor and ceiling. 10mm deep channel to walls to ensure flush with tiles.	1.13	G20	Skylight	2,250 x 3,850	1	Toughened glass skylight to BAL requirements.	8.66
G3	Glass Door	2,365 x 935	1	10mm toughened glass. CR Laurence Prima Top and Bottom mount hinges - colour to match tiles. 32mm circular fingerpull cutout 1000mm AFFL. Max 10mm gaps.	2.21	G21	Skylight	1,600 x 1,500	1	Toughened glass skylight to BAL requirements.	2.40
G4	Mirror	1,630 x 1,120	1	Vitidian 6mm silver mirror. Fully adhered to substrate - ensure no ghosting.	1.83						
G5	Mirror	1,630 x 2,200	1	Vitidian 6mm silver mirror. Fully adhered to substrate - ensure no ghosting.	3.59						
G6	Glass Fixed	2,270 x 835	1	10mm toughened glass. Recessed glazing channels powdercoated to match tiles to floor and ceiling. 10mm deep channel to walls to ensure flush with tiles.	1.90						
G7	Glass Door	2,250 x 850	1	10mm toughened glass. CR Laurence Prima Top and Bottom mount hinges - colour to match tiles. 32mm circular fingerpull cutout 1000mm AFFL. Max 10mm gaps.	1.91						
G8	Mirror	1,360 x 685	1	Vitidian 6mm silver mirror. Fully adhered to substrate - ensure no ghosting.	0.93						
G9	Mirror	1,360 x 800	1	Vitidian 6mm silver mirror. Fully adhered to substrate - ensure no ghosting.	1.09						
G10	Glass Door	2,595 x 1,080	1	10mm toughened glass. CR Laurence Prima Top and Bottom mount hinges - colour to match tiles. 32mm circular fingerpull cutout 1000mm AFFL. Max 10mm gaps.	2.80						
G11	Glass Fixed	1,550 x 1,110	1	10mm toughened glass. Recessed glazing channels powdercoated to match tiles to floor and ceiling. 10mm deep channel to walls to ensure flush with tiles.	1.72						
G12	Glass Door	2,595 x 1,160	1	10mm toughened glass. CR Laurence Prima Top and Bottom mount hinges - colour to match tiles. 32mm circular fingerpull cutout 1000mm AFFL. Max 10mm gaps.	3.01						
G13	Glass Fixed	2,225 x 1,200	1	10mm toughened glass. Recessed glazing channels powdercoated to match tiles to floor and ceiling. 10mm deep channel to walls to ensure flush with tiles.	2.67						
G14	Mirror	2,540 x 1,160	1	Vitidian 6mm silver mirror. Fully adhered to substrate - ensure no ghosting.	2.95						
G15	Mirror	1,670 x 1,079	1	Vitidian 6mm bronze mirror. Fully adhered to substrate - ensure no ghosting.	1.80						
G16	Mirror	1,670 x 1,089	1	Vitidian 6mm bronze mirror. Fully adhered to substrate - ensure no ghosting.	1.82						
G17	Mirror	1,360 x 2,378	1	Vitidian 6mm bronze mirror. Fully adhered to substrate - ensure no ghosting.	3.23						
G18	Mirror	1,360 x 2,661	1	Vitidian 6mm toughened bronze mirror. Fully adhered to substrate - ensure no ghosting.	3.62						
G19.1	Mirror	2,115 x 1,560	1	Vitidian 6mm bronze mirror. Fully adhered to substrate - ensure no ghosting.	3.30						
G19.2	Mirror	2,115 x 1,560	1	Vitidian 6mm bronze mirror. Fully adhered to substrate - ensure no ghosting.	3.30						

Preliminary - Not For Construction

ARCH ER

Melbourne -
Level 1, 415 Sydney Rd
Brunswick VIC 3056

Hobart -
Level 1, 65 Murray St
Hobart TAS 7000

info@archer.com.au
archer.com.au

DISCLAIMER

THIS DOCUMENT IS TO BE READ IN CONJUNCTION WITH THE ARCHITECT'S PRELIMINARY DESIGN AND CONCEPTUAL DRAWINGS. IT IS NOT TO BE USED FOR ANY OTHER PURPOSES. THE ARCHITECT'S DESIGN IS SUBJECT TO CHANGE WITHOUT NOTICE. THE ARCHITECT'S DESIGN IS NOT TO BE USED FOR ANY OTHER PURPOSES. THE ARCHITECT'S DESIGN IS NOT TO BE USED FOR ANY OTHER PURPOSES.

PROJECT

Strickland
424 Strickland Avenue South Hobart TAS 7004

CLIENT

Stuart + Teigen French

DATE

1/4/2022

SCALE

As Shown @ A2

CONTRACT

Josh Fitzgerald - josh@archer.com.au

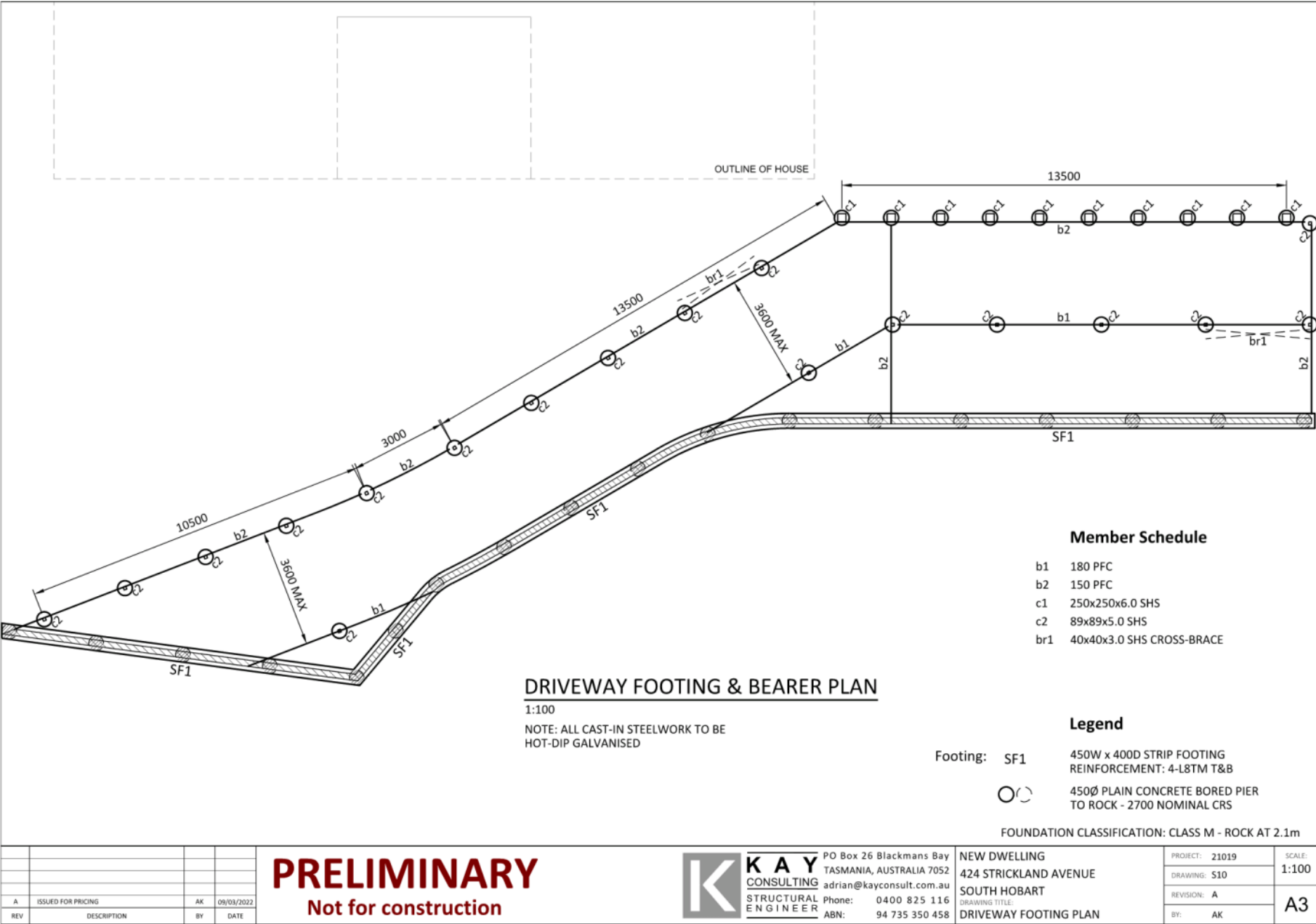
DRAWING

A9.102 DA2

SCHEDULE

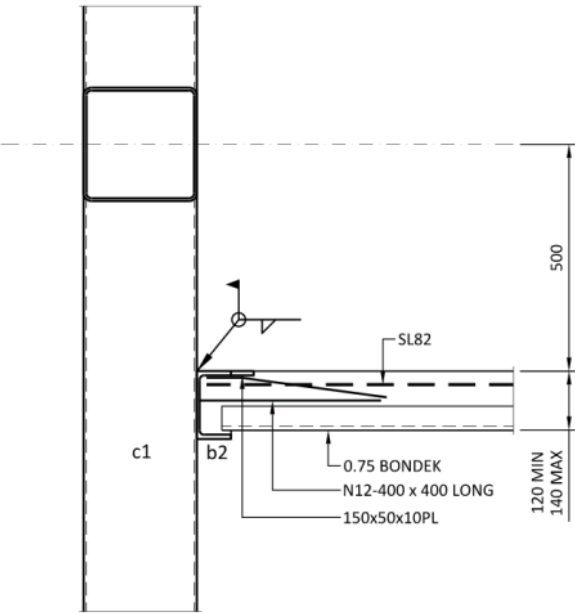
Schedule - Door + Glazing

NORTH

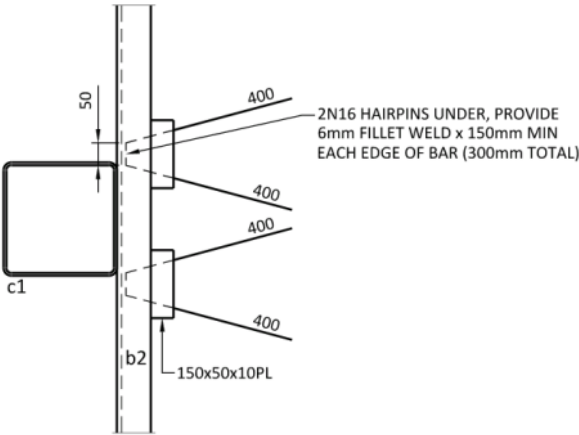




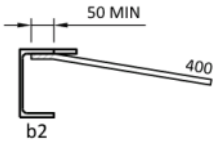
PROJECT: 21019	SCALE: 1:100
DRAWING: S11	
REVISION: A	A3
BY: AK	



TYPICAL c1/b2 CONNECTION
1:10



PLAN



SECTION

CRASH BARRIER CAST-IN PLATE - c1
1:10

A	ISSUED FOR PRICING	AK	09/03/2022
REV	DESCRIPTION	BY	DATE

PRELIMINARY
Not for construction



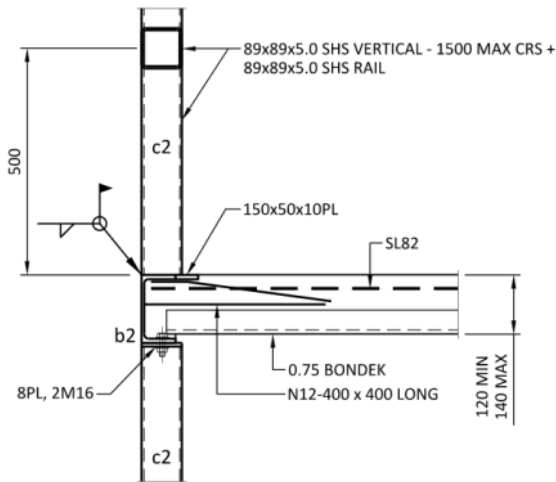
KAY
CONSULTING
STRUCTURAL
ENGINEER

PO Box 26 Blackmans Bay
TASMANIA, AUSTRALIA 7052
adrian@kayconsult.com.au
Phone: 0400 825 116
ABN: 94 735 350 458

NEW DWELLING
424 STRICKLAND AVENUE
SOUTH HOBART
DRAWING TITLE:
FRAMING DETAILS - 3

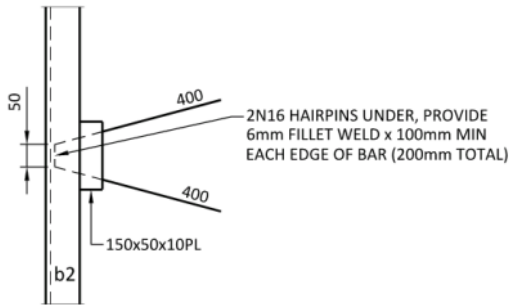
PROJECT: 21019
DRAWING: S19
REVISION: A
BY: AK

SCALE:
1:10
A3

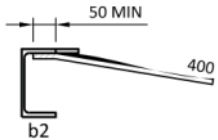


TYPICAL c2/b2 CONNECTION
1:10

NOTE: ALL CAST-IN STEELWORK TO BE
HOT-DIP GALVANISED



PLAN



SECTION

CRASH BARRIER CAST-IN PLATE - c2
1:10

REV	DESCRIPTION	BY	DATE
A	ISSUED FOR PRICING	AK	09/03/2022

PRELIMINARY
Not for construction



KAY
CONSULTING
STRUCTURAL
ENGINEER

PO Box 26 Blackmans Bay
TASMANIA, AUSTRALIA 7052
adrian@kayconsult.com.au
Phone: 0400 825 116
ABN: 94 735 350 458

NEW DWELLING
424 STRICKLAND AVENUE
SOUTH HOBART
DRAWING TITLE:
FRAMING DETAILS - 4

PROJECT: 21019
DRAWING: S20
REVISION: A
BY: AK

SCALE:
1:10
A3

PHILIP JACKSON-*Arborist & Tree Management Services**Ref: sthhob.strickland424.aia*

ARBORICULTURAL IMPACT ASSESSMENT & TREE PROTECTION SPECIFICATION

*PROPOSED DWELLING & VEHICLE ACCESS**424 STRICKLAND AVENUE, SOUTH HOBART**December 2021*

Prepared for: ARCHIER PTY LTD

Prepared by: PHILIP JACKSON



Arboricultural Impact Assessment & Tree Protection Specification– 424 Strickland Ave, Sth Hobart

December 2021

TABLE OF CONTENTS

EXECUTIVE SUMMARY	3
1.0 INTRODUCTION	5
1.1 BACKGROUND	5
1.2 DOCUMENTS & PLANS REFERENCED	5
1.3 REPORT LIMITATIONS	5
2.0 THE SITE	6
3.0 THE SUBJECT TREES	6
3.1 PLANNING SCHEME PROTECTION	6
4.0 TREES AND DEVELOPMENT (AS-4970)	7
4.1 TREE PROTECTION & STRUCTURAL ROOT ZONES	7
4.2 ACCEPTABLE INCURSIONS TO THE TREE PROTECTION ZONE.	8
4.3 ACCEPTABLE ENCROACHMENTS TO THE CANOPY	9
5.0 THE PROPOSED DEVELOPMENT	9
5.1 THE PROPOSAL	9
5.2 IMPACT ASSESSMENT	9
5.3 TREES TO BE RETAINED	9
5.4 TREES TO BE REMOVED	10
6.0 TREE PROTECTION SPECIFICATION	10
6.1 ARBORICULTURAL SUPERVISION	10
6.2 TREE PROTECTION	10
6.3 WORKING WITHIN TREE PROTECTION ZONES	14
6.4 CONSTRUCTION OF ACCESS ROADS WITHIN TPZs	15
6.5 INSTALLING UNDERGROUND SERVICES WITHIN TPZs	17
6.6 POLLUTION CONTROL WITHIN TPZs	18
6.7 CANOPY AND ROOT PRUNING	18
6.8 TREE REMOVAL	18
APPENDIX 1: TREE PROTECTION PLAN	19
APPENDIX 2 – TREE SCHEDULE	21
APPENDIX 3 - ACCEPTABLE INCURSIONS TO THE TREE PROTECTION ZONE (TPZ)	24
APPENDIX 4 – METHODOLOGY	25
A1.0 QUALIFICATIONS	25
A1.1 GENERAL	25
A1.2 TREE HEALTH ASSESSMENT	25
A1.3 TREE STRUCTURE ASSESSMENT	26
A1.4 USEFUL LIFE EXPECTANCY (ULE)	26
REFERENCES	27
DISCLAIMER, ASSUMPTIONS, LIMITATIONS & COPYRIGHT	28

EXECUTIVE SUMMARY

1. This Arboricultural Impact Assessment (AIA) & Tree Protection Specification has been prepared for Josh FitzGerald, Archier Pty Ltd to support the assessment of a Development Application for construction of a new dwelling & vehicle access at 424 Strickland Ave, South Hobart.
2. Sixteen (16) individual trees were assessed. All of the subject trees are of the Tasmanian/Australian Eucalypt species stringy bark (*Eucalyptus obliqua*) and are all located within the council 'verge' fronting the site. None of the subject trees are specifically protected by any code in The Scheme. However all of the trees are recognised as infrastructure assets of the City of Hobart and as such are required to be protected from damage during the proposed works wherever practicable.

TREES TO BE RETAINED

3. The proposed driveway has been designed as an elevated slab supported on posts/piles. As such the generally unacceptable levels of SRZ/TPZ area encroachment of >25% of trees T6 & T11 and 22% of tree T12 will be **tolerable** so long as preliminary excavations for the post footings/piles are undertaken by hand in accordance with **Section 6.3**. The driveway design should have the flexibility to marginally adjust the location of the post footings/piles if large structural woody and/or fibrous roots (>50mm diameter) are encountered during the preliminary hand excavations.
4. Encroachment of the TPZ area of trees T2 (~13%) & T13 (~15%) for the construction of the driveway and/or courtyard are generally **tolerable** with minimal long term adverse impact.
5. Encroachment of the TPZ area of trees T1, T3 & T14 for the driveway and/or courtyard is <10% and is generally **acceptable** with no expected adverse impacts.
6. The proposed works are outside the TPZ of trees T4, T5, T15 & T16 and there should be no impact on these trees if they are protected in accordance with Section 6.

TREES TO BE REMOVED

7. Tree T10 is entirely within the footprint of the proposed driveway and should be removed.
8. Trees T7, T8 & T9 all have poorly occluded stem wounds with significant levels of decay and borer activity. They all have a short Useful Life Expectancy and will become increasingly likely to fail, with tree T9 at risk of failing onto the proposed new dwelling. As such these trees should be removed.

SUMMARY OF SITE ACTIVITIES REQUIRING ARBORICULTURAL INPUT

Activity Summary	Trees Affected	Relevant Sections
Pre-commencement meeting: Meeting on site with all parties to agree protective measures. <i>Will be carried out before any significant site works begin.</i>	All Trees	6.1 Arboricultural Supervision
Tree Removal : Contractor will carry out tree removals as outlined in the specification. <i>Works will be completed before any significant site works begin.</i>	T7, T8, T9, T10	6.8 Tree Removal
Installing/Altering Tree Protection: Agreed tree protection measures will be installed and checked. Project Arborist advice before altering the position of tree protection. <i>Will be completed before any significant site works begin.</i>	T1, T2, T3, T4, T5, T6, T11, T12, T13, T14, T15, T16,	6.2 Tree Protection
Excavation and works with SRZ/TPZs: Project Arborist advice before any excavation or significant roots are cut within TPZs	T1, T2, T3, T6, T11, T12, T13, T14,	6.3 Working within Tree Protection Zones 6.4 Construction of Access Roads Within TPZs. 6.5 Installing underground Services within TPZs 6.6 Pollution Control Within TPZs 6.7 canopy & Root Pruning
Removing Tree Protection: Tree Protection and fencing can only be removed when there is no risk of damage to retained trees	T1, T2, T3, T4, T5, T6, T11, T12, T13, T14, T15, T16,	6.1 Arboricultural Supervision

1.0 INTRODUCTION

1.1 Background

- 1.1.1 This Arboricultural Impact Assessment (AIA) & Tree Protection Specification has been prepared for Josh FitzGerald, Archier Pty Ltd to support the assessment of a Development Application for construction of a new dwelling & vehicle access at 424 Strickland Ave, South Hobart (the site).
- 1.1.2 The purpose of this report is to determine the potential impact of the proposed works on relevant existing trees at/adjacent to the site and, where appropriate, make recommendations for amendments to the design or construction methods to minimise adverse impacts on them.
- 1.1.3 This report has been prepared in accordance and with reference to the objectives of the *Hobart Interim Planning Scheme 2015* and the *Australian Standard for Protection of Trees on Development Sites (AS4970)*. This report complies with '2.3.5 Arboricultural Impact Assessment' of AS4970.
- 1.1.4 I conducted a site inspection on 03rd November 2021. Relevant inspection methods and background administrative information are presented in **Appendix 4**.

1.2 Documents & Plans Referenced

- 1.2.1 The conclusions and recommendations in this report are based on the findings from the site inspection, discussions with the client, and analysis of the following plans and documents:
- Architectural Drawing Set, Project: **Strickland - 424 Strickland Avenue South Hobart TAS 7004**; Sheets A0.100-A2.104, Issue: -WIP; Prepared by: Archier Pty Ltd; dated: 01/12/2021

1.3 Report Limitations

- 1.3.1 All plans are based on provided information, are illustrative and intended for design purposes only. They should only be used relating to tree issues and are not suitable for any other purpose. Although all data have been verified as far as possible there is no guarantee, nor responsibility for the accuracy of information provided by others.
- 1.3.2 There is no warranty or guarantee, expressed or implied that problems or deficiencies regarding the subject tree(s) or the site may not arise in the future. Information contained in this report covers only the subject tree(s) assessed and reflects their health and structural condition at the time of inspection.

2.0 THE SITE



Figure 1: The Subject Site, with the subject trees indicated by the red outline
(Source –www.thelist.tas.gov.au)

Address	424 Strickland Ave, South Hobart
Area	4030m ²
Slope & Aspect	Steep Easterly Aspect
Planning Scheme (The Scheme)	Hobart Interim Planning Scheme 2015
Status	Undeveloped
PID/Title Ref	5592754: 66680/1
Zoning	10.0: General Residential
Code Overlays	- Landslide Hazard Area - Bushfire Prone Areas

3.0 THE SUBJECT TREES

3.0.1 Sixteen (16) individual trees were assessed. All of the subject trees are of the Tasmanian/Australian Eucalypt species stringy bark (*Eucalyptus obliqua*) and are all located within the council “verge” fronting the site. Observations regarding the age class, dimensions, health, structural condition, Useful Life Expectancy & regulatory protection, of the assessed trees are presented in the Tree Schedule in **Appendix 2**. In general, the subject trees have good/moderate health and good/fair structural condition. However, trees T7, T8 & T9 have significant structural defects.

3.1 Planning Scheme Protection

3.1.1 None of the subject trees are specifically protected by any code in The Scheme. However all of the trees are recognised as infrastructure assets of the City of Hobart and as such are required to be protected from damage during the proposed works wherever practicable.

4.0 TREES AND DEVELOPMENT (AS-4970)

4.1 Tree Protection & Structural Root Zones

- 4.1.1 *Australian Standard 4970 Protection of Trees on Development Sites (2009)* (AS-4970) outlines that a **Tree Protection Zone** (TPZ) should be created to protect a tree and its growing environment throughout the development process. The theoretical TPZ is calculated as a radial measurement based on twelve (12) times the tree's diameter at breast height (DBH) (see figure 2 below). This formula is based on extensive research and is generally accepted within the arboricultural industry as being suitable for calculating areas designed to maintain the long term viability of trees on development sites.
- 4.1.2 The intention of the TPZ is to ensure protection of the root system and canopy from potential damage from construction works and ensure the long-term health and stability of each tree to be retained. Incursions to the root zone often occur due to excavations, changes in ground levels, (either lowering or raising the grade), trenching or other forms of soil disturbance such as ripping, grading or inverting the soil profile. Such works can cause damage or loss of part of the root system, leading to an adverse impact on the tree.
- 4.1.3 Ideally works should be avoided within the TPZ. Where works within the TPZ are unavoidable, exploratory excavation and/or root mapping can be undertaken to provide information on the size and number of roots located along a specified line of excavation. This information helps to identify the level of root damage that would result from an excavation and therefore the potential impact the works may have on the tree. Root sensitive design and construction techniques can then be specified based on the results of exploratory root trenching/mapping.
- 4.1.4 In addition to the TPZ, AS-4970 provides calculations to determine a tree's **Structural Root Zone** (SRZ). The SRZ is described in AS-4970 as *"the area around the base of a tree required for the tree's stability in the ground. This zone considers a tree's structural stability only, not the root zone required to maintain the trees vigour and long-term viability, which will usually be a much larger area"*. Severance of structural roots (>25mm Ø) within the SRZ is not recommended as it may lead to the destabilisation and/or decline of the tree.

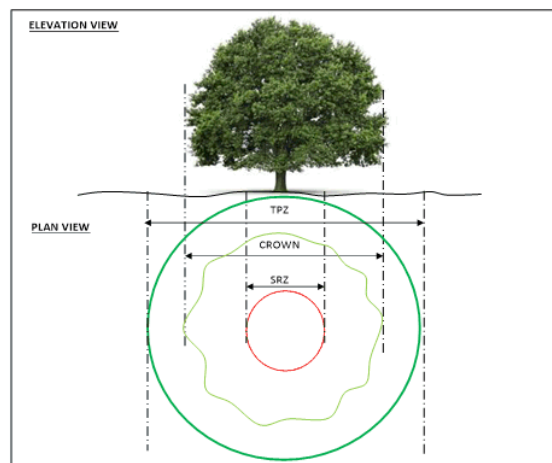


Figure 2: Indicative Tree Protection Zone and Structural Root Zone (AS-4970)

- 4.1.5 The TPZ & SRZ of the subject trees have been calculated in accordance with the AS-4970 and are included in the Tree Assessment Schedule (**Appendix 2**).

4.2 Acceptable Incursions to the Tree Protection Zone.

- 4.2.1 Where encroachment to the TPZ is unavoidable, an incursion to the TPZ of not exceeding 10% of the area of the TPZ and outside the SRZ can be acceptable. Greater incursions to the TPZ may result in an adverse impact on the tree. Indicative levels of root zone encroachment are shown in figure 3 below. Various examples of acceptable incursions are also shown in **Appendix 3**.

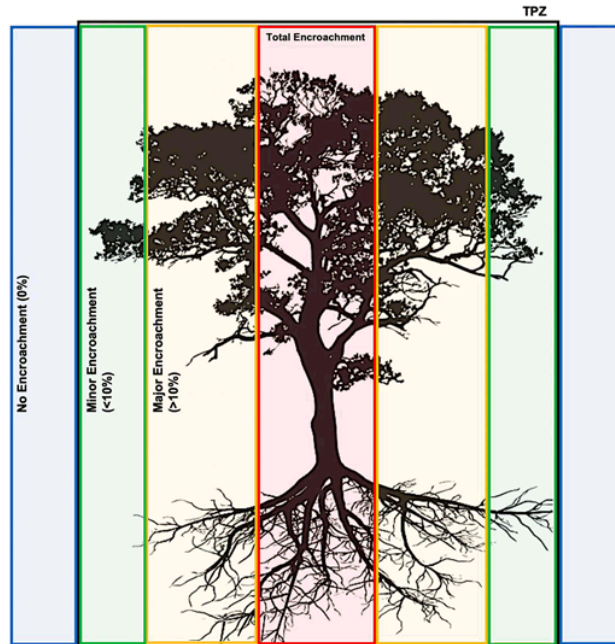


Figure 3: Indicative levels of root zone encroachment

- 4.2.2 Where incursions greater than 10% of the TPZ are unavoidable, exploratory excavation using non-destructive methods may be required to evaluate the extent of the root system affected and determine whether or not the tree can remain viable.
- 4.2.3 Trees within proposed construction footprints are recommended for removal. Similarly, trees with their SRZ and/or with greater than 25% of their TPZ impacted by construction are also generally recommended for removal. However different types of construction incursions (e.g. fill, cut, services, pavement type, retaining walls) produce varying likely tree impacts and each situation must be assessed in its own context and with consideration of the possible application of alternative construction methods. Existing constraints to root development also vary the TPZ. Compacted fill can be equally as damaging to tree longevity as root development is restricted within heavily compacted soils.

4.3 Acceptable Encroachments To The Canopy

- 4.3.1 The removal of a small portion of the crown (foliage and branches) is generally tolerable provided that the extent of pruning required is less than 10% of the total foliage volume of the tree and the removal of branches does not create large wounds or disfigure the natural form and habit of the tree. All pruning cuts must be undertaken in accordance with AS 4373-*Pruning of Amenity Trees*. This generally involves reduction of the affected branches back to the nearest branch collar at the junction with the parent branch, rather than at an intermediate point. The latter is referred to as “lopping” and is not an acceptable arboricultural practice. Generally speaking, the minimum pruning required as possible to accommodate any proposed works is desirable. Extensive pruning can result in a detrimental impact on tree health and may lead to exposure of remaining branches to wind forces that they were previously sheltered from, leading to a greater risk of branch failure.

5.0 THE PROPOSED DEVELOPMENT

5.1 The Proposal

- 5.1.1 The relevant components of the proposed development include:
- Construction of a new dwelling and courtyard area
 - Construction of a new vehicle access

5.2 Impact Assessment

- 5.2.1 The intention of this assessment is to evaluate the likely impact of the proposed works on the subject tree(s). A summary of the impact of the proposed works on the subject trees is shown in the Tree schedule **Appendix 2**. The following details have been considered as part of this assessment:
- Existing Relative Levels (R.L);
 - Tree Protection Zone (TPZ);
 - Structural Root Zone (SRZ);
 - Footprint and envelope of the proposed works;
 - Incursions to the TPZ & SRZ,
 - Incursions to the tree canopy;
 - Assessment of the likely impact of the works on existing tree(s).

5.3 Trees To Be Retained

- 5.3.1 The proposed driveway has been designed as an elevated slab supported on posts/piles. As such the generally unacceptable levels of SRZ/TPZ area encroachment of >25% of trees T6 & T11 and 22% of tree T12 will be **tolerable** so long as preliminary excavations for the post footings/piles are undertaken by hand in accordance with **Section 6.3**. The driveway design should have the flexibility to marginally adjust the location of the post footings/piles if large structural woody and/or fibrous roots (>50mm diameter) are encountered during the preliminary hand excavations.
- 5.3.2 Encroachment of the TPZ area of trees T2 (~13%) & T13 (~15%) for the construction of the driveway and/or courtyard are generally **tolerable** with minimal long term adverse impact.

- 5.3.3 Encroachment of the TPZ area of trees T1, T3 & T14 for the driveway and/or courtyard is <10% and is generally **acceptable** with no expected adverse impacts.
- 5.3.4 The proposed works are outside the TPZ of trees T4, T5, T15 & T16 and there should be no impact on these trees if they are protected in accordance with Section 6.

5.4 Trees To Be Removed

- 5.4.1 Tree T10 is entirely within the footprint of the proposed driveway and should be removed.
- 5.4.2 Trees T7, T8 & T9 all have poorly occluded stem wounds with significant levels of decay and borer activity. They all have a short Useful Life Expectancy and will become increasingly likely to fail, with tree T9 at risk of falling onto the proposed new dwelling. As such these trees should be removed.

6.0 TREE PROTECTION SPECIFICATION

- 6.0.1 The tree protection measures set out in this specification are supplemented by detailed general explanations and descriptions outlined in the compilation of “*Site Guidance Notes*” produced by Barrell Tree Consultancy and located on their website at <https://www.barrelltreecare.co.uk/resources/technical-guidance/>. These Site Guidance Notes address a range of tree protection and management issues that regularly arise in the construction phase of development. Although the content of the SGNs is generally applicable to tree protection on construction sites worldwide, it should be noted that these are British documents and some terminology and/or references may differ or not be relevant to local conventions, standards and/or legislation. Where appropriate, hyperlinks and QR codes to the relevant SGNs are provided at the end particular sections.

6.1 Arboricultural Supervision

- 6.1.1 An Arborist (the Project Arborist) experienced in tree protection on construction sites *and* having gained a minimum arboricultural qualification of Australian Qualifications Framework (AQF) Certificate Level 5 should be engaged and the site specific requirements for tree protection fencing, temporary TPZ/SRZ access, and other specific tree protection measures confirmed through consultation between the Site Manager and the Project Arborist prior to the commencement of site establishment and construction work on the site. In addition the Project Arborist should oversee any excavation, machine trenching, compacted fill placement and other designated site specific activities within the TPZ/SRZ of all retained trees.

6.2 Tree Protection

- 6.2.1 The TPZ is the area surrounding retained trees that must be protected from any disturbance by the construction activity. In practice, TPZ establishment can be done by any combination of fencing, trunk protection & ground protection to be finalised and agreed to by the Project Arborist. Whether the TPZ is protected by fencing or trunk/ground protection, all the protective measures should be installed before the start of any site works that could affect trees. **No protective measures should be removed or temporarily dismantled without consulting the Project Arborist.** Furthermore, the condition of all the protective measures should be

regularly monitored to ensure they remain fit for purpose. The main means of preventing damage to trees and their root zones in the TPZ/SRZ are fencing, barriers and ground protection. Where possible following activities should be avoided within specified Tree Protection Zones:-

- Excavations and trenching (with exception of approved works);
- Ripping or cultivation of soil;
- Mechanical removal of vegetation;
- Soil disturbance or movement of natural rock;
- Soil level changes including the placement of fill material
- Movement and storage of plant, equipment & vehicles;
- Erection of site sheds;
- Affixing of signage or hoardings to trees;
- Storage of building materials, waste and waste receptacles;
- Disposal of waste materials and chemicals including paint, solvents, cement slurry, fuel, oil and other toxic liquids;
- Other physical damage to the trunk or root system; and
- Any other activity likely to cause damage to the tree.

6.2.2 Tree Protection Fencing: Protective fencing shall be installed at the locations shown on the Tree Protection Plan in **Appendix 1** by a dark blue line. Where Tree Protection Zones merge a single fence encompassing the area is deemed to be adequate. Appropriate signage shall be installed on the fencing to prevent unauthorised movement of plant and equipment or entry to the TPZ/SRZ. The actual form of the fencing can vary, provided it is fit for purpose in that it effectively physically restricts access and damaging activities within the TPZ/SRZ that it encloses for the duration of the proposed works (see figure 4 below).

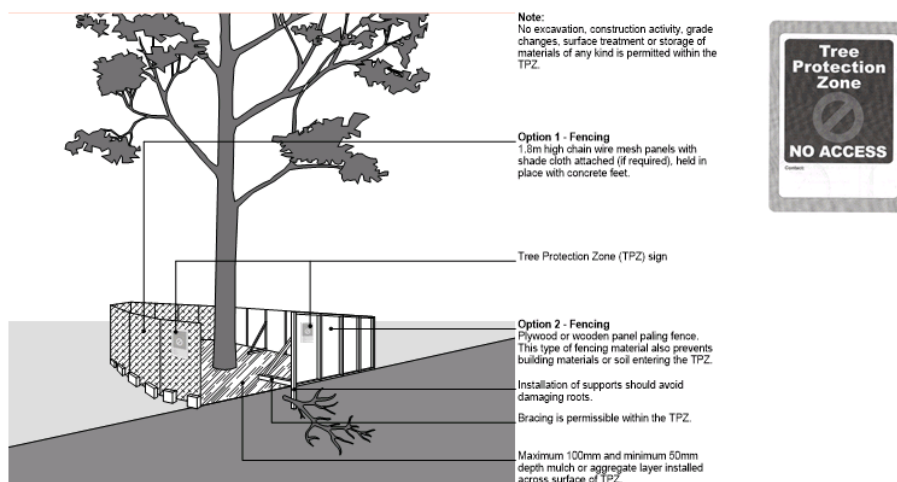


Figure 4- Detail of tree Protection Fencing and Signage

6.2.3 Trunk Protection: Where provision of tree protection fencing is impractical due to its proximity to the proposed construction footprint, trunk protection shall be erected around nominated trees to avoid accidental damage, as indicated by a pink box on the Tree Protection Plan (**Appendix 1**). The trunk protection shall consist of a layer of carpet underfelt (or similar) wrapped around the trunk, followed by 1.8 metre lengths of softwood timbers (90 x 45mm in section) aligned vertically and spaced evenly around the trunk at 150mm centres (i.e. with a 50mm gap) and secured together with 2mm galvanised wire or galvanised hoop strap as shown in **Figure 4**. Recycled timber (such as demolition waste) may be suitable for

this purpose, subject to the approval of the Project Arborist. The timbers shall be wrapped around the trunk (over the carpet underfelt), but not fixed to the tree to avoid mechanical injury or damage to the trunk. Trunk protection should be installed prior to any site works and maintained in good condition for the duration of the construction period. Carpet underfelt (alone) is sufficient for trees with a trunk diameter of less than 200mm. Trunk protection should be installed prior to any site works and maintained in good condition for the duration of the construction period.

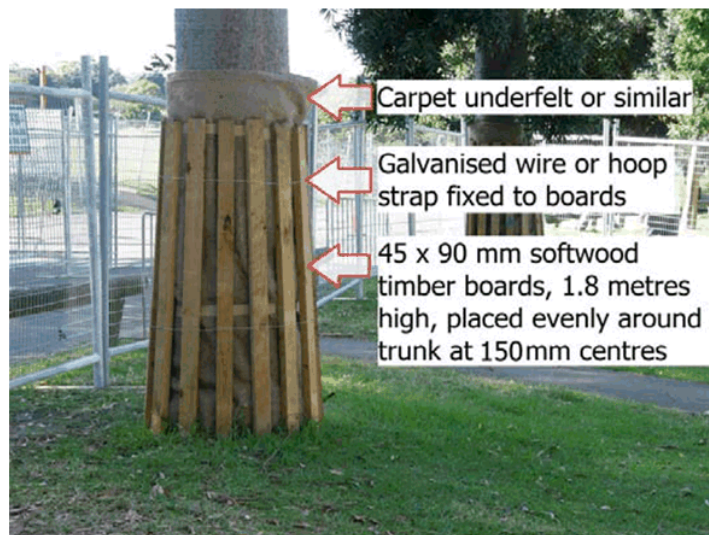


Figure 4 - Example of tree trunk protection

6.2.4 Ground Protection: If temporary access for machinery is required within the TPZ ground protection measures will be required. The purpose of ground protection is to prevent root damage and soil compaction within the TPZ. A range of methods can be used, including retaining existing hard surfacing or structures that already protect the soil, installing new materials, or a combination of both. Commonly employed methods include a permeable membrane such as geotextile fabric beneath a 100mm layer of mulch or crushed rock below rumble boards. Whatever the choice of method, the end result must be that the underlying soil (rooting environment) remains undisturbed and retains the capacity to support existing and new roots. Ground protection images 1–8 in Figure 5 below illustrate a range of practical surface coverings that can effectively protect TPZs of retained trees.



Ground protection image 1: Heavy-duty plywood set onto a compressible woodchip layer and pinned into position is suitable to spread the loading from pedestrian access.



Ground protection image 2: Spreading soil excavated from footings is an effective way of buffering the plywood surface from the wear of light vehicles.



Ground protection image 3: Plywood fixed to a wood frame is another effective method of protecting soil from pedestrian compaction.



Ground protection image 4: A scaffold framework attached to the main scaffold fencing can be used to support either scaffold planks or plywood to create an elevated platform with a gap beneath.



Ground protection image 7: A combination of retaining existing surfacing and using temporary construction cabin accommodation can be a very effective means of preventing damage to sensitive areas.



Ground protection image 8: Steel plates can be an effective way of temporarily reinforcing weak surfacing over a construction access during the development activity.

Figure 5 - Examples of suitable Ground Protection. Source: Barrell tree Consultancy 2018

6.2.5 More detailed illustrative guidance on ground protection in TPZs can be accessed via the following hyperlinks and/or QR codes:

<https://www.barrelltreecare.co.uk/resources/technical-guidance/sgn03?stage=Stage>



- 6.2.3 **Tree damage:** In the event of a protected tree becoming damaged for any reason during the works period the Project Arborist shall be required to inspect and provide advice on any remedial action to minimise any adverse impact. Such remedial action shall be implemented as soon as practicable and certified by the arborist.

6.3 Working Within Tree Protection Zones

6.3.1 General Excavation and Dealing With Roots:

Prior to any mechanical excavations for building foundations, batter cuts or pavement sub-grade within the Tree Protection Zone of all trees nominated for retention, exploratory excavation using non-destructive techniques shall be taken along the perimeter of the structure or pavement within the TPZ. Non-destructive excavation techniques may include the use of hand-held implements, air pressure (using an Air-spade® device) or water pressure. The exploratory excavation shall be undertaken along the perimeter of the foundation or pavement (within the TPZ) to the depth of the foundation or to a maximum of 800mm from surface levels, to locate and expose any woody roots prior to any mechanical excavation. All care shall be undertaken to preserve woody roots intact and undamaged during exploratory excavation.

- 6.3.2 Any located roots less than 50mm in diameter can be cleanly severed with clean sharp pruning implements 10–20cm behind the final face of the excavation. The root zone in the vicinity of the excavation shall be kept moist following excavation for the duration of construction to minimise stress on the tree. **Where large woody roots (greater than 50mm diameter) are encountered during excavations, further advice from the Project Arborist shall be sought prior to severance.**
- 6.3.3 Where necessary, (to avoid severing large amounts of woody and or fibrous roots) consideration should be given to the installation of an elevated structure (e.g. pier and beam footing, suspended slab or floor supported on piers, cantilevered slab, up-turned edge beam etc) in preference to structures requiring a deep edge beam or continuous perimeter strip footing. The beam section of any pier and beam footing should be placed **above** grade to

avoid excavation within the SRZ. Pier footings intersecting large woody roots should be slightly offset where necessary to avoid root severance.

- 6.3.4 More detailed illustrative guidance on excavating and installing structures in TPZs can be accessed via the following hyperlinks and/or QR codes::

<https://www.barrelltreecare.co.uk/resources/technical-guidance/sgn07?stage=Stage>

<https://www.barrelltreecare.co.uk/resources/technical-guidance/sgn10?stage=Stage>



6.3.5 **Fill Material:**

Placement of fill material within the Tree Protection Zone of trees to be retained should be avoided wherever possible. Where placement of fill is unavoidable, the material should be a well-drained friable material, equivalent in texture to the existing site topsoil material (heavy clay or shale sub-soil material is unacceptable). The fill should be free from rocks, vegetation and other extraneous material complying with AS 4419:2003 (*Soils for Landscaping and Garden Use*). The fill may be consolidated but should not be compacted to engineering standards. No fill material should be placed in direct contact with the trunk. Plant and equipment used to place and spread fill material should be stationed outside the TPZ where possible. Where not possible, suitable ground protection should be installed in accordance to avoid compaction of the underlying soil.

6.4 Construction of Access Roads Within TPZs

- 6.4.1 **Basic principles:** New roads are potentially damaging to trees because it may require changes to existing ground levels, result in localised soil structure degradation and/or disrupt the efficient exchange of water and gases in and out of the soil. Mature trees are much more prone to suffer because of these changes than young and maturing trees. Adverse impact on trees can be reduced by minimising the extent of these changes in TPZs. Generally, the most suitable surfacing will be relatively permeable to allow water and gas movement, load spreading to avoid localised compaction and require little or no excavation to limit direct damage. ***The actual specification of the surfacing is an engineering issue that needs to be considered in the context of the bearing capacity of the soil, the intended loading and the frequency of loading. The detail of product and specification are beyond the scope of this guidance and must be provided separately by the appropriate specialist.***

- 6.4.2 **Establishing the depth of excavation and surfacing gradient:** The precise location and depth of roots within the soil is unpredictable and will only be known when careful digging starts on site. Ideally, all new surfacing in TPZ/SRZs should be no-dig, i.e. requiring no

excavation whatsoever, but this is rarely possible on undulating surfaces. New surfacing normally requires an evenly graded sub-base layer, which can be made up to any high points with granular, permeable fills such as crushed stone or sharp sand. This sub-base must not be compacted as would happen in conventional surface installation. Some limited excavation is usually necessary to achieve this and need not be damaging to trees if carried out carefully and large roots are not cut. Tree roots and grass roots rarely occupy the same soil volume at the top of the soil profile, so the removal of a turf layer up to 50mm is unlikely to be damaging to trees. It may be possible to dig to a greater depth depending on local conditions but this would need to be assessed by an arboriculturist if excavation beyond 50mm is anticipated. On undulating surfaces, finished gradients/levels must be planned with sufficient flexibility to allow on-site adjustment if excavation of any high points reveals large unexpected roots near the surface. If the roots are less than 50mm in diameter, it would normally be acceptable to cut them and the gradient formed with the preferred minimal excavation of up to 50mm. However, if roots over 50mm in diameter are exposed, cutting them may be too damaging and further excavation may not be possible. If that is the case, the surrounding levels must be adjusted to take account of these high points by filling with suitable material. If this is not practical and large roots have to be cut, the situation should be discussed with a qualified arboriculturist before a final decision is made.

- 6.4.3 **Base and finishing layers:** Sub-base should be formed from coarse, gap-graded material such as 20 – 50mm crushed basalt (Blue Metal) or equivalent to provide some aeration to the root zone. Note that road-base or crushed sandstone or other material containing a high percentage of fines is unacceptable for this purpose. The fill material should be consolidated with a non-vibrating roller to minimise compaction of the underlying soil. A permeable geotextile may be used beneath the sub-base to prevent migration of the stone into the sub-grade. Suitable surface finishes may include washed gravel, permeable tarmac such as asphalt or block pavers set on a sand base. In certain circumstances the load spreading sub-base will be cellular and filled with suitable materials. **(See below for illustrative guidance for installing cellular confinement surfacing within TPZs).**
- 6.4.4 **Edge retention:** Conventional kerb edge retention set in concrete filled excavated trenches is likely to result in damage to roots and should be avoided. Effective edge retention in TPZs must be custom designed to avoid any significant excavation into existing soil levels. For most surfaces, the use of pre-formed edging secured by metal pins or wooden pegs is normally an effective way of minimising any adverse impact on trees from the retention structure. Railway sleepers pinned in place or wooden boards offer alternative options, depending on the expected loading of the surfacing. If the edge retention needs to be battered down to lower surrounding ground levels, a permeable soil fill will be used, as agreed with the project arboriculturist.
- 6.4.5 **New Surfacing Near Trunks:** All new surfacing should be set back from trunks and buttress roots by at least 50cm to allow space for future growth and minimise the risk of distortion.
- 6.4.6 More detailed illustrative guidance on installing/upgrading surfacing in TPZs can be accessed via the following hyperlink and/or QR code:

<https://www.barrelltreecare.co.uk/resources/technical-guidance/sgn09?stage=Stage>



6.5 Installing Underground Services Within TPZs

- 6.5.1 All proposed stormwater lines and other underground services should be located outside TPZs of trees proposed to be retained wherever possible or installed by alternative measures. Alternative measures include suspending pipelines beneath the floor of a building or structure (to avoid excavation with the TPZ), non-destructive excavation methods or Horizontal Directional Drilling (HDD). Where the installation of service lines within TPZs is unavoidable, the pipelines or conduits should be installed as follows.
- 6.5.2 Where the extent of the incursion to the root zone is less than 10% of the TPZ including any excavations for benching and shoring the trench, the pipeline or conduit may be installed by open trenching using standard construction methods (excavator or trenching machine).
- 6.5.3 Where the extent of the incursion to the root zone exceeds 10% of the TPZ, but is outside the SRZ, non-destructive excavation methods must be adopted in accordance with paragraph 6.3.1. Where large woody roots are encountered during excavation or trenching (root diameter greater than 50mm), these shall be retained intact wherever possible (e.g. by tunnelling beneath roots and inserting the pipeline or conduit beneath or re-routing the service etc). Where this is not practical and root pruning is the only alternative, proposed root pruning should be assessed by a qualified arborist [AQF 5] to evaluate the potential impact on the health and stability of the subject tree.
- 6.5.4 More detailed illustrative guidance on installing services in TPZs can be accessed via the following hyperlink and/or QR code

<https://www.barrelltreecare.co.uk/resources/technical-guidance/sgn11?stage=Stage>



6.6 Pollution Control Within TPZs

- 6.6.1 Detailed illustrative guidance on pollution control in TPZs can be accessed via the following hyperlink and/or QR code:

<https://www.barrelltreecare.co.uk/resources/technical-guidance/sgn4-v3/>



6.7 Canopy And Root Pruning

- 6.7.1 All pruning work required shall be carried out in accordance with Australian Standard 4373- – *Pruning of Amenity Trees*. The arborist undertaking the pruning works shall possess a minimum arboricultural qualification of Australian Qualifications Framework (AQF) Level 3 or its recognised equivalent. The arborist should have a minimum of 3 years' experience in practical Arboriculture. Pruning work should be undertaken in accordance with *Australian Standard 4373: Pruning of Amenity Trees (2007)*, *Workcover Code of Practice for the Amenity Tree Industry (1998)* and other applicable legislation and codes.
- 6.7.2 Care shall be taken when operating cranes, excavators, drilling rigs and similar equipment near trees to avoid damage to tree canopies (foliage and branches). ***Under no circumstances shall branches be torn-off by construction equipment. Where there is potential conflict between tree canopy and construction activities, the advice of the Project Arborist must be sought.***
- 6.7.3 Where root pruning is required, roots shall be severed with clean, sharp pruning implements and retained in a moist condition during the construction phase using Hessian material or mulch where practical.

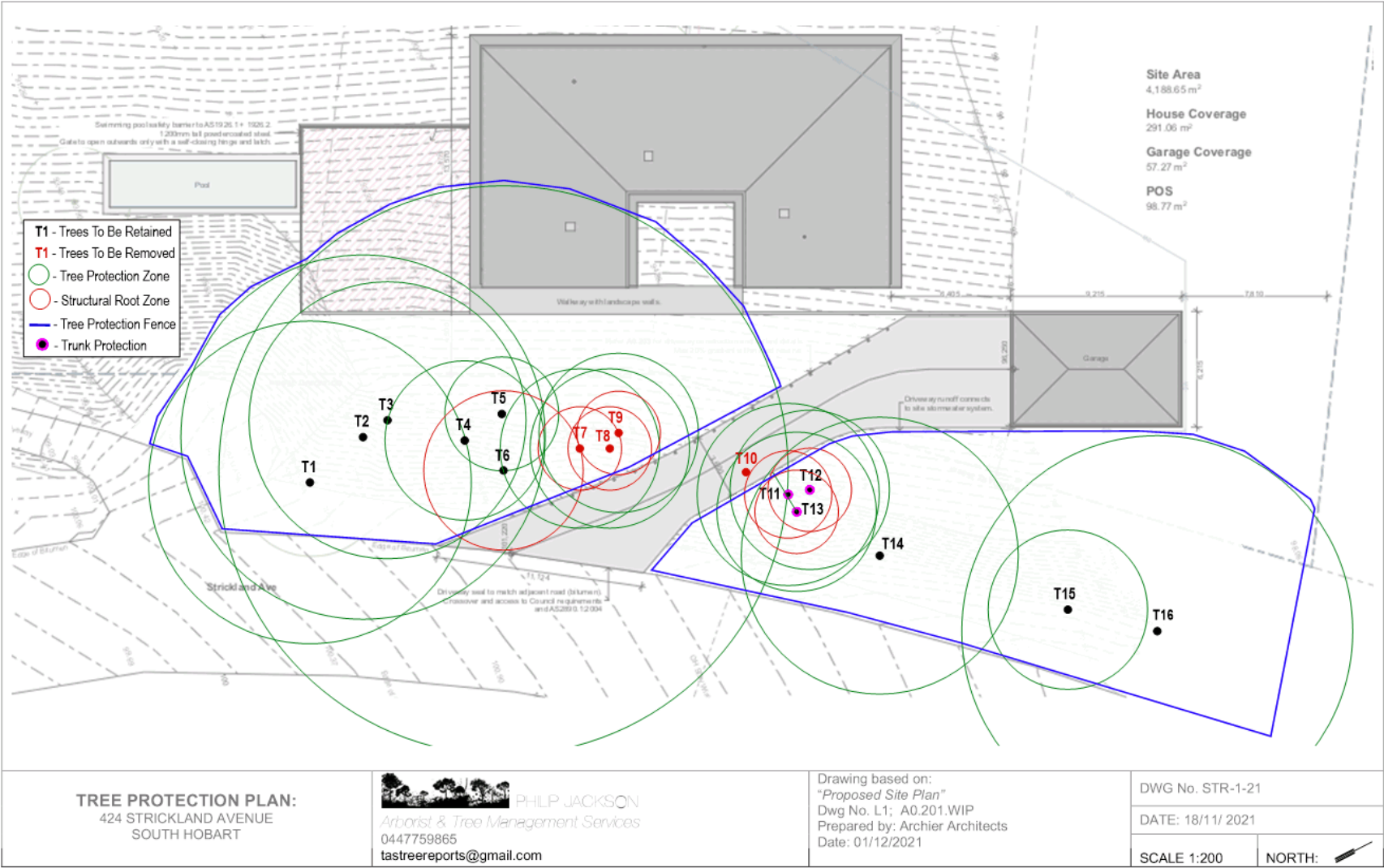
6.8 Tree Removal

- 6.8.1 Trees approved for removal shall be removed prior to the establishment of the tree protection measures.
- 6.8.2 Tree removal should be undertaken by hand (i.e not mechanically removed with an excavator), should be removed without damaging or disturbing the above/below ground parts of trees to be retained and shall be undertaken in accordance with the *Workcover Code of Practice for the Amenity Tree Industry (1998)*.
- 6.8.3 When tree stumps are within the TPZ of retained trees, stump grinding of rootballs shall be performed rather than complete "grubbing". This will minimise unnecessary root damage to the retained trees. Unnecessary damage often occurs to retained trees when undertaken by earthmoving machinery.

Arboricultural Impact Assessment & Tree Protection Specification– 424 Strickland Ave, Sth Hobart

December 2021

APPENDIX 1: TREE PROTECTION PLAN



APPENDIX 2 – TREE SCHEDULE

NOTES:

Age Class: Y = young, SM = semi-mature, EM = early-mature, M = mature, PM = post-mature (senescent)

Height: Class: 0-5m; 6-10m; 11-15m; 16-20m; 21-25m; >25m

DBH: Diameter at Breast Height

Basal Diameter: diameter of base measure at point above basal flare

TPZ = Tree Protection Zone

SRZ = Structural Root Zone

Overall Vitality: G= Good; M=Moderate; P=Poor; Mo= Moribund; D= Dead

Overall Structure: G = Good; F = Fair; P = Poor; D= Dead.

Reg. Protection: Y= Yes, N= No

Useful Life Expectancy (ULE): L =Long (>40 years); M=Medium (15-40 years); S=Short (5-15 years) ; T=Transient (< 5 years)

Env/Landscape Significance: VH = very high; H = high; M = Moderate; L = Low;

Retention Value: RV1= priority for retention; RV2 = consider for retention; RV3 = consider for removal; RV4 = priority for removal
(refer to Section A1.6)

Recommendations: **Rm**= Remove, **Rt**= Retain, **Rt***= Retain by employing non destructive construction methods

Arboricultural Impact Assessment & Tree Protection Specification– 424 Strickland Ave, Sth Hobart

December 2021

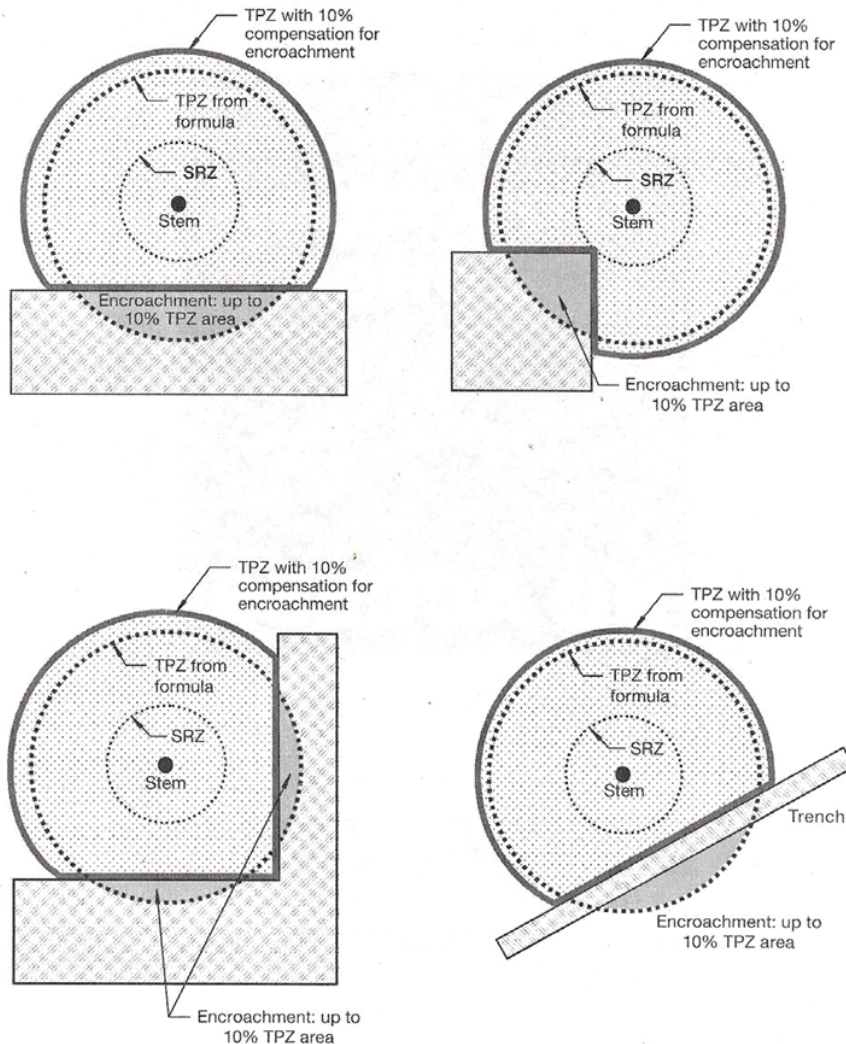
Tree	Species	Age Class	Height (m)	Spread (m)	Live crown height	DBH (m)	TPZ(m)	Basal Diam(m)	SRZ(m)	Overall Vitality	Overall Structure	Reg. Protection	Life expectancy	% TPZ Encroachment	Likely Impact	Recommendation	Comments
T1	stringybark (<i>Eucalyptus obliqua</i>)	M	16-20m	15	8	0.71	8.5	0.78	2.98	G	G	Y	M	<10%	Acceptable encroachment for driveway with no expected adverse impact.	Rt	
T2	stringybark (<i>Eucalyptus obliqua</i>)	M	21-25m	10	6	0.80	9.6	0.88	3.14	G	G	Y	M	~13%	Tolerable encroachment for driveway & courtyard with minimal adverse impact.	Rt	Crown integrated with neighbouring trees. Basal wound with minor decay
T3	stringybark (<i>Eucalyptus obliqua</i>)	M	16-20m	7	10	0.61	7.3	0.67	2.80	P	F	Y	S	<10%	Acceptable encroachment for driveway & courtyard with no expected adverse impact.	Rt	Crown integrated with neighbouring trees. Stem decay & thinning crown
T4	stringybark (<i>Eucalyptus obliqua</i>)	SM	16-20m	6	4	0.35	4.2	0.39	2.22	G	G	Y	M	0%	Works outside TPZ with no expected impacts	Rt	Young Tree under T6
T5	stringybark (<i>Eucalyptus obliqua</i>)	SM	11-15m	3	8	0.25	3.0	0.28	1.92	M	G	Y	M	0%	Works outside TPZ with no expected impacts	Rt	Young Tree under T6. Significant foliar pests.
T6	stringybark (<i>Eucalyptus obliqua</i>)	M	>25m	15	8	1.60	19.2	1.76	4.20	G	F	Y	M	44%	Driveway footprint within SRZ & ~26% TPZ encroachment is Tolerable if constructed above grade on posts/piles with minimal excavation. Combined 18% Encroachment for dwelling and courtyard is Tolerable if dwelling is constructed above grade on posts/piles with no trench excavation.	Rt*	Existing access without & fill on western side of tree
T7	stringybark (<i>Eucalyptus obliqua</i>)	SM	11-15m	8	8	0.35	4.2	0.39	2.22	G	P	Y	S	~20%	Tolerable SRZ & TPZ encroachment by driveway if constructed above grade on posts/piles with minimal excavation.	Rm	Young Tree under T6. Crown integrated with neighbouring trees. Poorly occluded stem wound with basal & stem decay. Remove due to short life expectancy and increasing likelihood of failure
T8	stringybark (<i>Eucalyptus obliqua</i>)	SM	16-20m	4	12	0.35	4.2	0.39	2.22	G	P	Y	S	~25%	Tolerable SRZ & TPZ encroachment by driveway if constructed above grade on posts/piles with minimal excavation.	Rm	Young Tree under T6. Crown integrated with neighbouring trees. Poorly occluded stem wound with basal & stem decay & borer. Remove due to short life expectancy and increasing likelihood of failure.
T9	stringybark (<i>Eucalyptus obliqua</i>)	SM	11-15m	4	12	0.35	4.2	0.39	2.22	G	P	Y	S	~20%	Tolerable SRZ & TPZ encroachment by driveway if constructed above grade on posts/piles with minimal excavation.	Rm	Young Tree under T6. Asymmetric crown integrated with neighbouring trees. Poorly occluded stem wound with basal & stem decay & borer. Suspect stability & leaning towards proposed dwelling. Remove due to failure risk.
T10	stringybark (<i>Eucalyptus obliqua</i>)	SM	11-15m	5	7	0.35	4.2	0.39	2.22	G	G	Y	M	100%	Tree entirely within footprint of driveway	Rm	Crown integrated with neighbouring trees
T11	stringybark (<i>Eucalyptus obliqua</i>)	M	16-20m	6	7	0.40	4.8	0.44	2.34	M	F	Y	M	>25%	Tolerable SRZ & TPZ encroachment by driveway if constructed above grade on posts/piles with minimal excavation.	Rt*	Stem wounds & decay. Appears stressed

Arboricultural Impact Assessment & Tree Protection Specification– 424 Strickland Ave, Sth Hobart

December 2021

Tree	Species	Age Class	Height (m)	Spread (m)	Live crown height	DBH (m)	TPZ(m)	Basal Diam(m)	SRZ(m)	Overall Vitality	Overall Structure	Reg. Protection	Life expectancy	% TPZ Encroachment	Likely Impact	Recommendation	Comments
T12	stringybark (<i>Eucalyptus obliqua</i>)	SM	11-15m	6	6	0.35	4.2	0.39	2.22	G	G	Y	M	~22%	Tolerable SRZ & TPZ encroachment by driveway if constructed above grade on posts/piles with minimal excavation.	Rt*	Crown integrated with neighbouring trees
T13	stringybark (<i>Eucalyptus obliqua</i>)	EM	11-15m	10	6	0.35	4.2	0.39	2.22	M	G	Y	M	15%	Tolerable encroachment for driveway with minimal adverse impact	Rt	Appears stressed. Crown integrated with neighbouring trees
T14	stringybark (<i>Eucalyptus obliqua</i>)	EM	16-20m	6	6	0.60	7.3	0.67	2.80	G	F	Y	M		Acceptable encroachment for driveway with no expected adverse impact.	Rt	Stem wounds & decay. Crown integrated with neighbouring trees
T15	stringybark (<i>Eucalyptus obliqua</i>)	EM	11-15m	6	6	0.35	4.2	0.39	2.20	M	G	Y	M		Works outside TPZ with no expected impacts	Rt	
T16	stringybark (<i>Eucalyptus obliqua</i>)	EM	11-15m	6	6	0.86	10.3	0.95	3.20	M	G	Y	M		Works outside TPZ with no expected impacts	Rt	

APPENDIX 3 - ACCEPTABLE INCURSIONS TO THE TREE PROTECTION ZONE (TPZ)



NOTE: Less than 10% TPZ area and outside SRZ. Any loss of TPZ compensated for elsewhere.

REF:- Council of Standards Australia (August 2009)
AS 4970 – 2009 – Protection of Trees on Development Sites
Standards Australia, Sydney.

APPENDIX 4 – METHODOLOGY

A1.0 Qualifications

1.0.1 I have based this report on my site observations and the information provided to me. I have over fifteen years' experience in the field of tree management and arboricultural practice. A summary of my relevant qualifications includes:

- Bachelor of Science (Hons) – Plant Ecology - University of NSW
- Bachelor of Science – Botany/Environmental Studies - Tasmania University
- Diploma of Horticulture - Arboriculture - Ryde TAFE
- VALID Tree Risk-Benefit Assessment certified validator
- Quantified Tree Risk Assessment certified advanced practitioner - Lic. No. 4148

A1.1 General

1.1.1 I conducted a survey and inspection of the subject trees from the ground. No aerial or climbing inspections, core testing, drilling or ultrasound diagnosis were undertaken. No excavations to determine the location and/or condition of roots were conducted. No plant samples were analysed for formal identification of any pests or disease.

1.1.2 The biological and mechanical features of the trees were assessed for health & vitality, structural condition and defects.

1.1.3 Tree trunk diameter at breast height (DBH) was measured or estimated at 1.4 metres above ground level and rounded to the nearest 0.10 metres. Tree Basal diameter was estimated to be 0.1x greater than the DBH. Tree height was estimated. All distances were taken from the centre of the trunk unless otherwise indicated.

A1.2 Tree Health Assessment

1.2.1 The overall health of the trees was rated as follows:

	Description
Good	Good health and vitality - exhibiting minor pest/disease, good extension growth, minor abnormalities in foliage size, colour or density.
Moderate	Moderate health and vitality - containing defects and/or damage that may be able to be remediated to provide an acceptable level of risk.
Poor	Poor health and vitality - exhibiting extensive or untreatable pest/disease, poor extension growth, significant deadwood and dieback, evidence of rapid decline, sparse foliage cover, abnormal foliage colour or size.
Moribund	Tree is in terminal decline, Lacking vitality or vigour
Dead	Tree is dead

A1.3 Tree Structure Assessment

1.3.1 The overall structure of the tree was rated as follows:

	Description
Good	Good structure - may contain minor defects and/or damage that can be successfully remediated or do not require treatment with an acceptable level of risk.
Fair	Fair structure - containing defects and/or damage that may be able to be remediated to provide an acceptable level of risk.
Poor	Poor structure - Evidence of instability or contains defects and/or damage which render the tree potentially hazardous/ prone to failure or cannot be successfully remediated.
Dead	Tree is dead

A1.4 Useful Life Expectancy (ULE)

1.4.1 The ULE is an estimate of the sustainable longevity of the subject tree(s) in its growing environment. The ULE is modified where necessary to take in consideration tree(s) health, structural condition and site suitability. The tree(s) has been allocated one of the following ULE categories (Modified from Barrell, 2001):

- I. Long (>40 years)
- II. Medium (15-40 years)
- III. Short (5-15 years)
- IV. Transient (< 5 years)

The estimated ULE of the subject tree is shown in the Tree Schedule in **Appendix 2**.

REFERENCES

Barrell, J 2001, "SULE: Its use and status into the new millennium" in *Management of mature trees*. Proceedings of the 4th NAAA Tree Management Seminar, NAAA, Sydney.

Barrell Tree Consultancy (2020) *"Manual For Managing Trees on Development Sites" (2020)*
<https://www.barrelltreecare.co.uk/resources/technical-guidance>

Council of Standards Australia (2009) **AS 4970– Protection of Trees on Development Sites**
Standards Australia, Sydney.

Council of Standards Australia (2007) **AS 4373 – Pruning of Amenity Trees**
Standards Australia, Sydney.

DISCLAIMER, ASSUMPTIONS, LIMITATIONS & COPYRIGHT

Disclaimer:

Although The Author (Philip Jackson) uses all due care and skill in providing you information made available in this report, to the extent permitted by law The Author otherwise excludes all warranties of any kind, either expressed or implied.

To the extent permitted by law, you agree The Author is not liable to you or any other person or entity for any loss or damage caused or alleged to have been caused (including loss or damage resulting from negligence), either directly or indirectly, by your use of the information (including by way of example, arboricultural advice) made available to you in this report. Without limiting this disclaimer, in no event will The Author be liable to you for any lost revenue or profits, or for special, indirect, consequential or incidental damage (however caused and regardless of the theory of liability) arising out of or related to your use of that information, even if The Author has been advised of the possibility of such loss or damage.

This disclaimer is governed by the law in force in the State of Tasmania, Australia.

General Report Assumptions:

• Any legal description provided to The Author is assumed to be correct. Any titles and ownerships to any property are assumed to be correct. No responsibility is assumed for matters outside the consultant's control.

• The Author assumes that any property or project is not in violation of any applicable codes, ordinances, statutes or other local, state or federal government regulations.

• The Author shall take care to obtain all information from reliable sources. All data shall be verified insofar as possible; however The Author can neither guarantee nor be responsible for the accuracy of the information provided by others not directly under The Author's control.

• The Author shall be not required to give testimony or to attend court by reason of the report unless subsequent contractual arrangements are made, including payment of an additional fee for such services.

• Loss of the report or alteration of any part of the report not undertaken by The Author invalidates the entire report.

• Possession of the report or a copy thereof does not imply right of publication or use for any purpose by anyone but The Client or their directed representatives, without the prior consent of The Author.

• The report and any values expressed therein represent the opinion of The Author and The Author's fee is in no way conditional upon the reporting of a specified value, a stipulated result, the occurrence of a subsequent event, nor upon any finding to be reported.

• Sketches, diagrams, graphs and photographs used in the report, being intended as visual aids, are not necessarily to scale and should not be construed as engineering or architectural drawings, reports or surveys.

• Unless expressed otherwise:

- i) Information contained in the report will cover those items that were outlined in the project brief or that were examined during the assessment and reflect the condition of those items at the time of inspection; and
- ii) The inspection is limited to visual examination of accessible components without dissection, excavation or probing unless otherwise stipulated.

• There is no warranty or guarantee, expressed or implied by The Author., that the problems or deficiencies of the plants or site in question may not arise in the future.

• All instructions (verbal or written) that define the scope of the report have been included in the report and all documents and other materials that The Author has been instructed to consider or to take into account in preparing the report have been included or listed within the report.

To The Author's knowledge all facts, matter and all assumptions upon which the report proceeds have been stated within the body of the report and all opinion contained within the report will be fully researched and referenced and any such opinion not duly researched is based upon the writers experience and observations.

Copyright notice:

©Philip Jackson 2021. All rights reserved, except as expressly provided otherwise in this publication.



Enquiries to: City Planning
Phone: (03) 6238 2711
Email: coh@hobartcity.com.au

21 December 2021

Sophie Gandar (Archier)
1 Davison St
BRUNSWICK VIC 3056

mailto:sophie@archier.com.au

Dear Sir/Madam

**424 STRICKLAND AVENUE, SOUTH HOBART - DRIVEWAY WORKS AND TREE
REMOVAL IN ROAD RESERVE NOTICE OF LAND OWNER CONSENT TO LODGE A
PLANNING APPLICATION - GMC-21-68**

Site Address:

424 Strickland Avenue, South Hobart

Description of Proposal:

Driveway Works and Tree Removal in Road Reserve

Applicant Name:

Sophie Gandar
Archier

PLN (if applicable):

n/a

I write to advise that pursuant to Section 52 of the *Land Use Planning and Approvals Act 1993*, I grant my consent on behalf of the Hobart City Council as the owner/administrator of the above land for you to make application to the City for a planning permit for the development described above and as per the attached documents. I granted consent pursuant to delegation, a copy of which is enclosed.


Please note that the granting of the consent is only for the making of the application and in no

Hobart Town Hall
50 Macquarie Street
Hobart TAS 7000

Hobart Council Centre
16 Elizabeth Street
Hobart TAS 7000

City of Hobart
GPO Box 503
Hobart TAS 7001

T 03 6238 2711
F 03 6234 7109
E coh@hobartcity.com.au
W hobartcity.com.au

 CityofHobartOfficial
ABN 39 055 343 428
Hobart City Council

way should such consent be seen as prejudicing any decision the Council is required to make as the statutory planning authority.

This consent does not constitute an approval to undertake any works and does not authorise the owner, developer or their agents any right to enter or conduct works on any Council managed land whether subject to this consent or not.

If planning approval is granted by the planning authority, you will be required to seek approvals and permits from the City as both landlord, land manager, or under other statutory powers (such as other legislation or City By-Laws) that are not granted with the issue of a planning permit under a planning scheme. This includes the requirement for you to reapply for a permit to occupy a public space under the City's Public Spaces By-law if the proposal relates to such an area.

Accordingly, I encourage you to continue to engage with the City about these potential requirements.

Yours faithfully



(John Fisher)
ACTING DIRECTOR CITY AMENITY

Relevant documents/plans:

Plans by Archier A0.100, A0.200, A0.201, A0.203, A1.100
A1.101, A1.102, A1.103, A2.100, A2.101, A2.102, A2.103
A2.104



City of Hobart

INSTRUMENT OF DELEGATION

General Delegation

Director City Amenity

I, Kelly Grigsby, Chief Executive Officer, being the General Manager of the Hobart City Council as appointed by Council pursuant to section 61 of the *Local Government Act 1993* ("the Act") hereby delegate pursuant to Section 64 of the Act, the following powers and functions to the **Director City Amenity**, or to such persons who may be acting in that position:

1. to sign an application; and
2. to provide written permission to make an application;

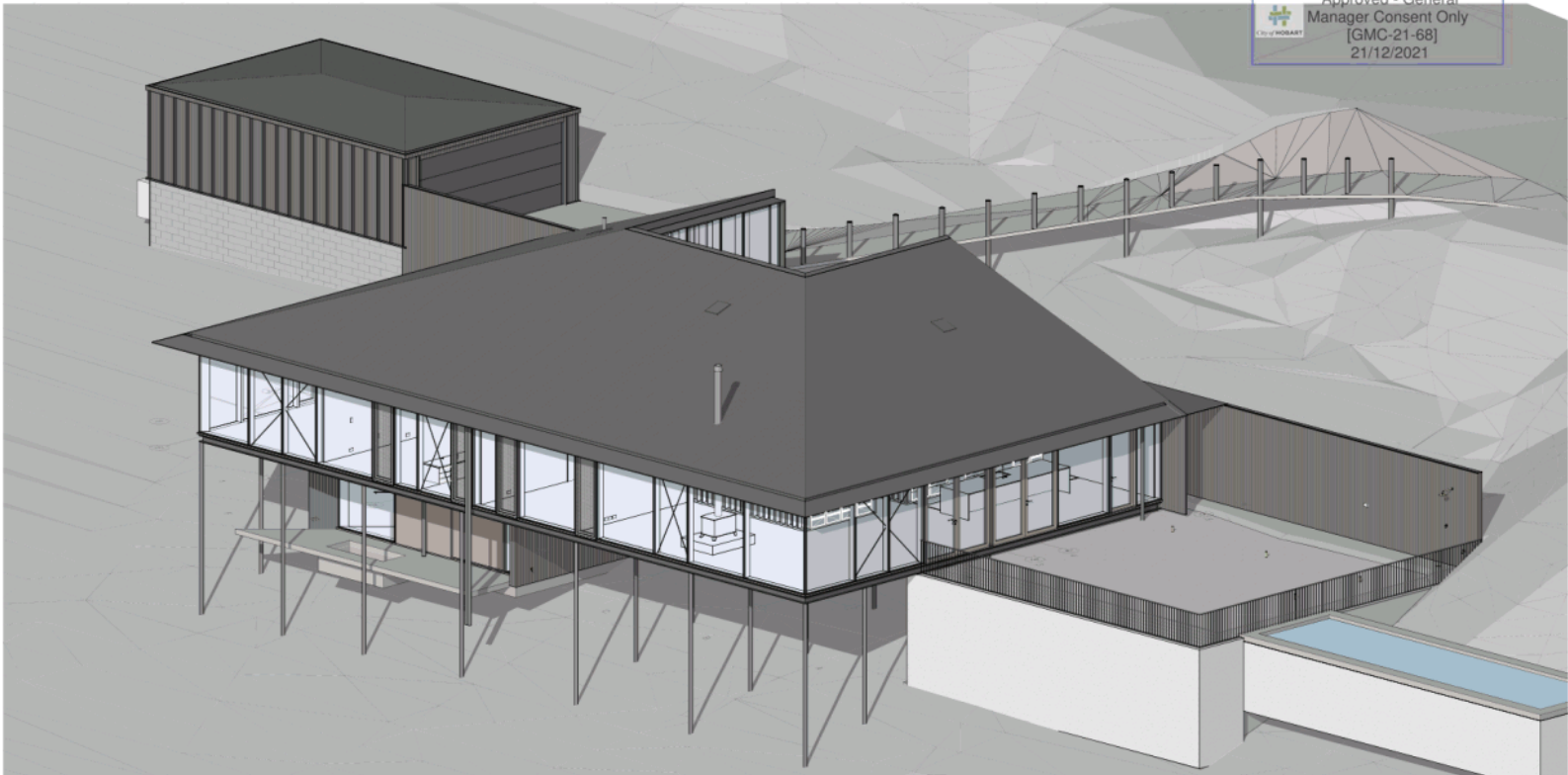
pursuant to section 52(1B) of the *Land Use Planning and Approvals Act 1993*,
EXCEPT where an application is recommended for refusal.

Dated this 20 day of August 2021

(Kelly Grigsby)
CHIEF EXECUTIVE OFFICER

Being the General Manager as appointed by the Council pursuant to Section 61 of the Local Government Act 1993 (tas)





PROJECT	CONTACT	DESIGNER	DATE	REVISION
Strickland 424 Strickland Avenue South Hobart TAS 7004	Josh FitzGerald josh@archier.com.au	Archier Pty Ltd ARCHIER	1/12/21	- WIP

ID	NAME
A0.100	Cover
A0.200	Existing Site Plan
A0.201	Proposed Site Plan
A0.203	Driveway
A1.100	Lower Floor Plan
A1.101	Ground Floor Plan
A1.102	Mezzanine Plan
A1.103	Roof Plan
A2.100	Elevations N
A2.101	Elevations E
A2.102	Elevations S
A2.103	Elevations W
A2.104	Elevations 1/100

BUILDER	BUILDING SURVEYOR	STRUCTURAL ENGINEER	ESD CONSULTANT
Name / Company / Phone	Name / Company / Phone	Name / Company / Phone	Name / Company / Phone

ARCH ER

Melbourne —
Level 1 / 475 Sydney Rd
Brunswick VIC 3056
Hobart —
Level 1 / 165 Murray St
Hobart TAS 7000
info@archier.com.au
archier.com.au

DISCLAIMER	PROJECT	DATE	SCALE	DRAWING	NORTH
THIS DOCUMENT IS THE PROPERTY OF ARCHIER PTY LTD. IT IS TO BE USED FOR THE PURPOSES SPECIFIED IN THE COVER SHEET. ANY REUSE OR MODIFICATION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF ARCHIER PTY LTD IS STRICTLY PROHIBITED. ARCHIER PTY LTD ACCEPTS NO LIABILITY FOR ANY LOSS OR DAMAGE ARISING FROM THE USE OF THIS DOCUMENT.	Strickland 424 Strickland Avenue South Hobart TAS 7004	1/12/21	As Shown @ A2	A0.100 - WIP	✓
	CLIENT	CONTRACT			
	Stuart • Teigan French	Josh FitzGerald — josh@archier.com.au		Cover	

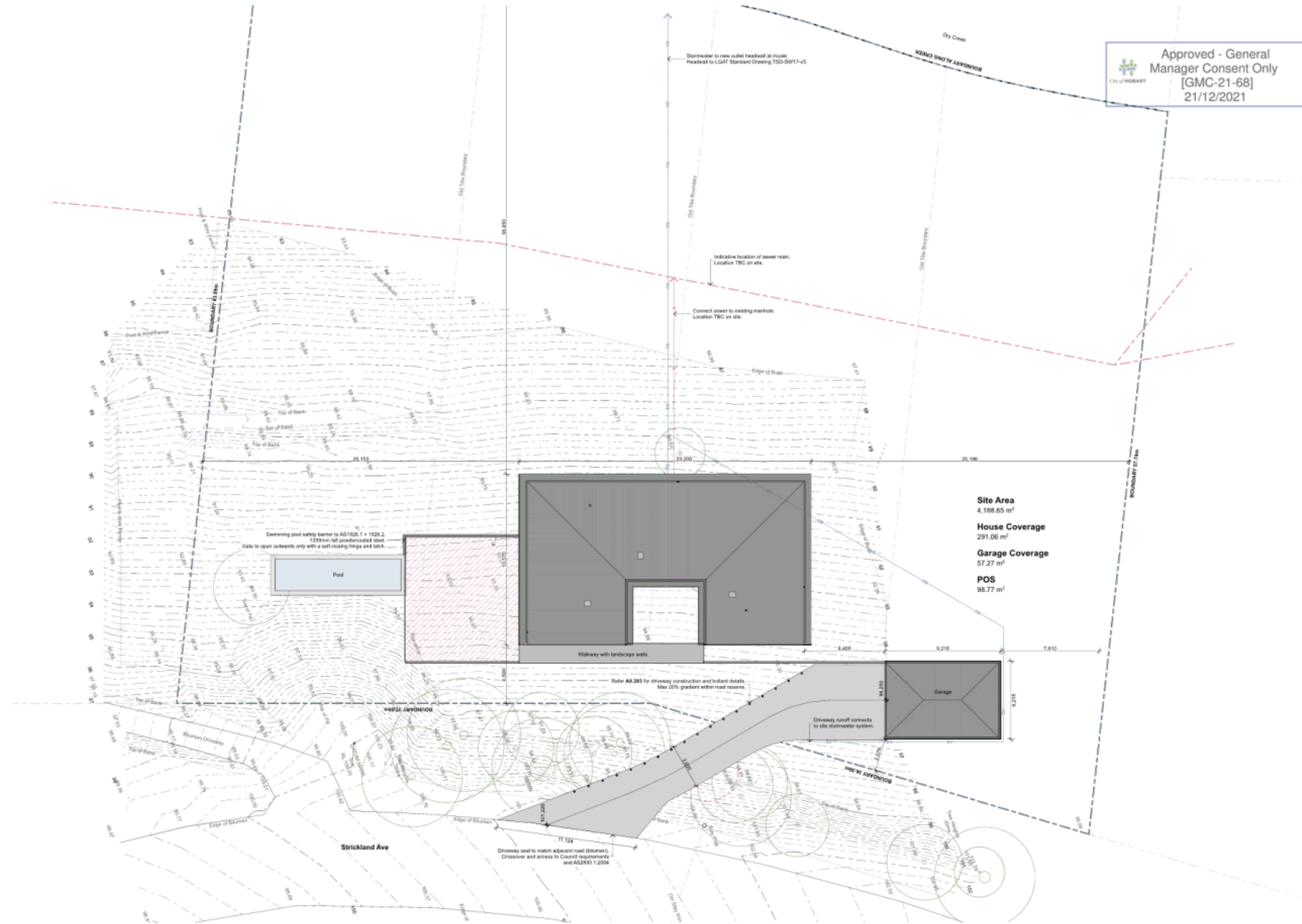


Preliminary - Not For Construction

DRAWING NORTH

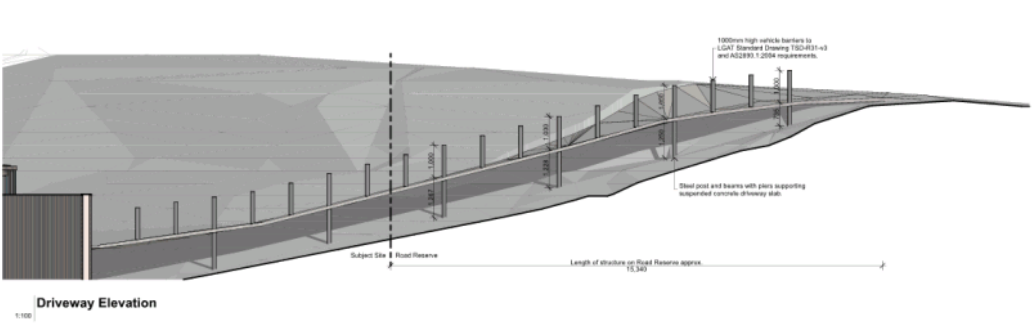
A0.200 - WIP

Existing Site Plan



BUILDING MATERIALS	
MATERIAL	m2
25mm Batens SELECTED	140.41
35mm Batens SELECTED	140.39
Wall R2.5 Insulation	3.84
Wall R2.7 Insulation	110.00
Wall R3.0 Insulation	228.47
Battens	12.59
Brickswork	107.49
Brick Sheet	31.39
Built-in Screens	9.79
Carly	10.29
Concrete Screed	21.91
Concrete Sunked Hydrant	211.69
Concrete Sunked	196.63
Concrete Sunked Pool	75.79
Cupboard Shelving	337.63
PC Sheet Sills	210.95
PC Sheet Sillboard	79.43
Hydrant R1.0 Insulation	220.69
Masonry	2.39
Masonry Block	9.43
OSB Substrate	230.44
Paint Finish Deck	210.95
Plywood Exterior Grade	22.39
Plywood Flooring	30.65
Plywood Lining	702.20
Raster Bagged	100.69
Roof Barking	261.32
Soil	180.34
Steel Staircase	2.28
Stone Superside	10.47
Structural Wall	104.61
Structural Wall Insulation	331.69
Tile	2.84
Tile Adhesive	62.59
Tile Floor	16.79
Tile Wall	45.43
Timber Ceiling	69.91
Timber Cladding	180.32
Timber General	5.59
Wall Barking	108.29
Waterproofing	62.69

OBJECT LEGEND	
QTY	NAME
5	Beam
1	Canopy
7	Door
1	Downspout
1	Downlight
4	Downpipe
1	Dryer
4	Exhaust
1	Exhaust Intake
3	Exhaust Roof
1	Fireplace
1	Fireplace Flue
1	Fridge
11	GPO
3	GPO Journal
4	Garden Tap
5	Gas Cover
7	Gas Fitted
5	Gas Fitted Feature
1	Glass Panel
1	Hot Water
1	Hot Water Cistern
1	Hydraulic Manifold
2	LED Batten
1	LED Strip
1	MSB
6	Mixer
6	Mixer Hub
4	Mixer Wall
2	Motion Sensor
1	NBA External
1	NBA Internal
7	Outlet
1	Oven
18	Plasterboard
1	Pit Square
5	Plug Base
1	Power Meter
1	Rear Window
3	Shower Head
1	Shower Wall
1	Sink Double
1	Sink Single
2	Smoke Detector
9	Splice Light
18	Switch 1
6	Switch 2
4	Switch 3
1	Switch 4
1	Switch 5
1	TV point
4	Toler Buttons
4	Toler Inset
4	Toler Rail Holder
5	Toler Rail Storage
14	Toler Hook
2	Toler Rail 1000
2	Toler Rail 1500
13	Track Light 1
1	Track Light 2
9	Track Light 3
1	Vent APU
1	Vent Underneath
5	Wall Light
4	Wall Light Outdoor
1	Washing Machine
1	Waste Bin
3	Waste Square
2	Waste Strip

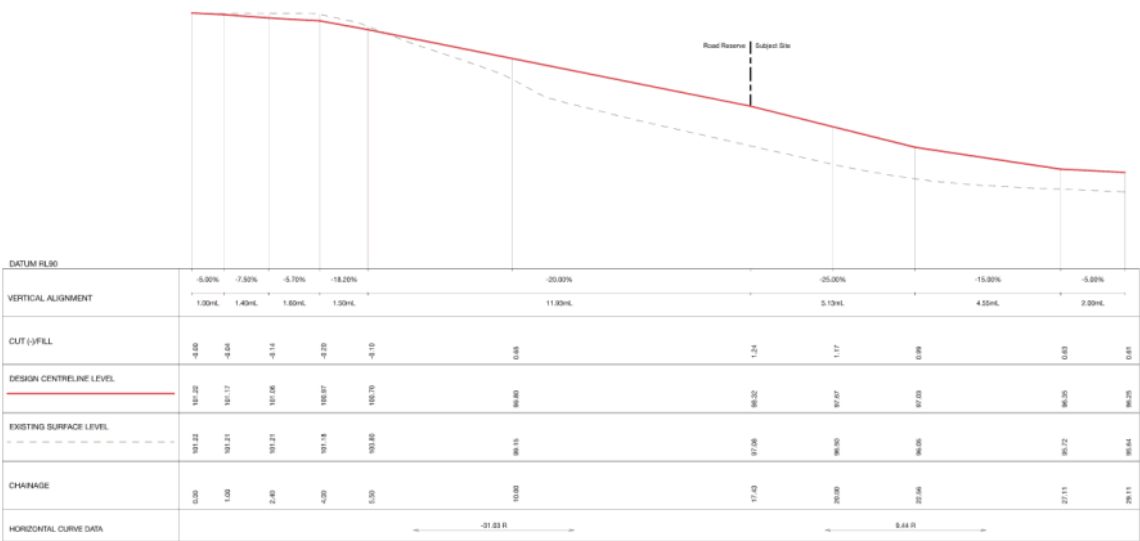


Approved - General
Manager Consent Only
[GMC-21-68]
21/12/2021

BUILDING MATERIALS	
MATERIAL	m2
20mm Bitumen ROECTROS	140.41
20mm Bitumen ROECTROS	140.41
Aslt R2.5 Insulation	3.44
Aslt R2.7 Insulation	110.00
Aslt R2.5 Insulation	228.47
Bitumen	12.59
Blockwork	107.49
Brick Skirt	31.39
Brickfire Screens	9.79
Carbly	10.29
Concrete Screed	21.91
Concrete Sintered Hydraulic	211.49
Concrete Sintered	106.43
Concrete Sintered Paved	75.79
Curbstone Shading	373.43
PC Street Sulfur	210.95
PC Street Sulfur	75.43
Hydraulic R2.5 Insulation	220.49
Miscellaneous	2.39
Miscellaneous	3.43
OSB Substrate	220.44
Paint Finish Deck	210.45
Plywood Exterior Grade	20.39
Plywood Flooring	30.45
Plywood Lining	702.20
Raster Bagged	100.49
Roof Sarking	261.32
Soil	180.34
Steel Skinning	2.28
Stone Superside	10.47
Structural Wall Insulation	104.41
Top	331.39
Top	2.44
Tile Adhesive	62.59
Tile Floor	16.79
Tile Wall	45.43
Timber Cladding	49.41
Timber Cladding	180.32
Timber General	5.59
Wall Sarking	100.29
Waterproofing	60.49

OBJECT LEGEND

QTY	NAME
5	Basin
1	Canister
7	Case
1	Chandelier
1	Chandelier
4	Chandelier
1	Dryer
4	Exhaust
1	Exhaust Holes
3	Exhaust Holes
1	Fireplace
1	Fireplace Flue
1	Fridge
1	GPO
3	GPO Exhaust
4	Garden Tap
6	Gas Cook
7	Gas Cook
6	Gas Cook Textured
1	Gully Liner
1	Hot Water
1	Hot Water Outdoor
1	Hydraulic Manifold
2	LED Bath
3	LED Bath
1	MSB
6	Mixer
6	Mixer Hub
4	Mixer Wall
1	Motion Sensor
1	NBA External
1	NBA Internal
7	Outlet
1	Oven
18	Pendant
1	Pin Square
6	Plug Base
1	Power Meter
1	Rangefood
3	Shower Head
1	Shower Head
1	Sink Double
1	Sink Single
2	Smoke Detector
9	Split Light
18	Switch 1
6	Switch 2
6	Switch 3
1	Switch 4
1	Switch 5
1	TV point
4	Tuber Buttons
4	Tuber Head
4	Tuber Head Holder
3	Tuber Head Holder
14	Tuber Head
2	Tuber Head 1000
2	Tuber Head 1000
13	Track Light 1
1	Track Light 2
9	Track Light 3
1	Vent APU
1	Vent Underneath
5	Wall Light
4	Wall Light Outdoor
1	Washing Machine
1	Waste Bin
3	Waste Square
2	Waste Strip



Driveway CL Longitudinal Section

Preliminary - Not For Construction

ARCH ER

Melbourne
Level 1/175 Sydney Rd
Brunswick VIC 3056

Hobart
Level 1/175 Sydney Rd
Hobart TAS 7000

info@archer.com.au
archer.com.au

DISCLAIMER

THIS DOCUMENT IS THE PROPERTY OF ARCHER AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ARCHER. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF THIS DOCUMENT IS PROHIBITED.

PROJECT

Strickland
424 Strickland Avenue South Hobart TAS 7004

CLIENT

Shurt + Teigan French

DATE

1/12/21

SCALE

As Shown @ A2

CONTRACT

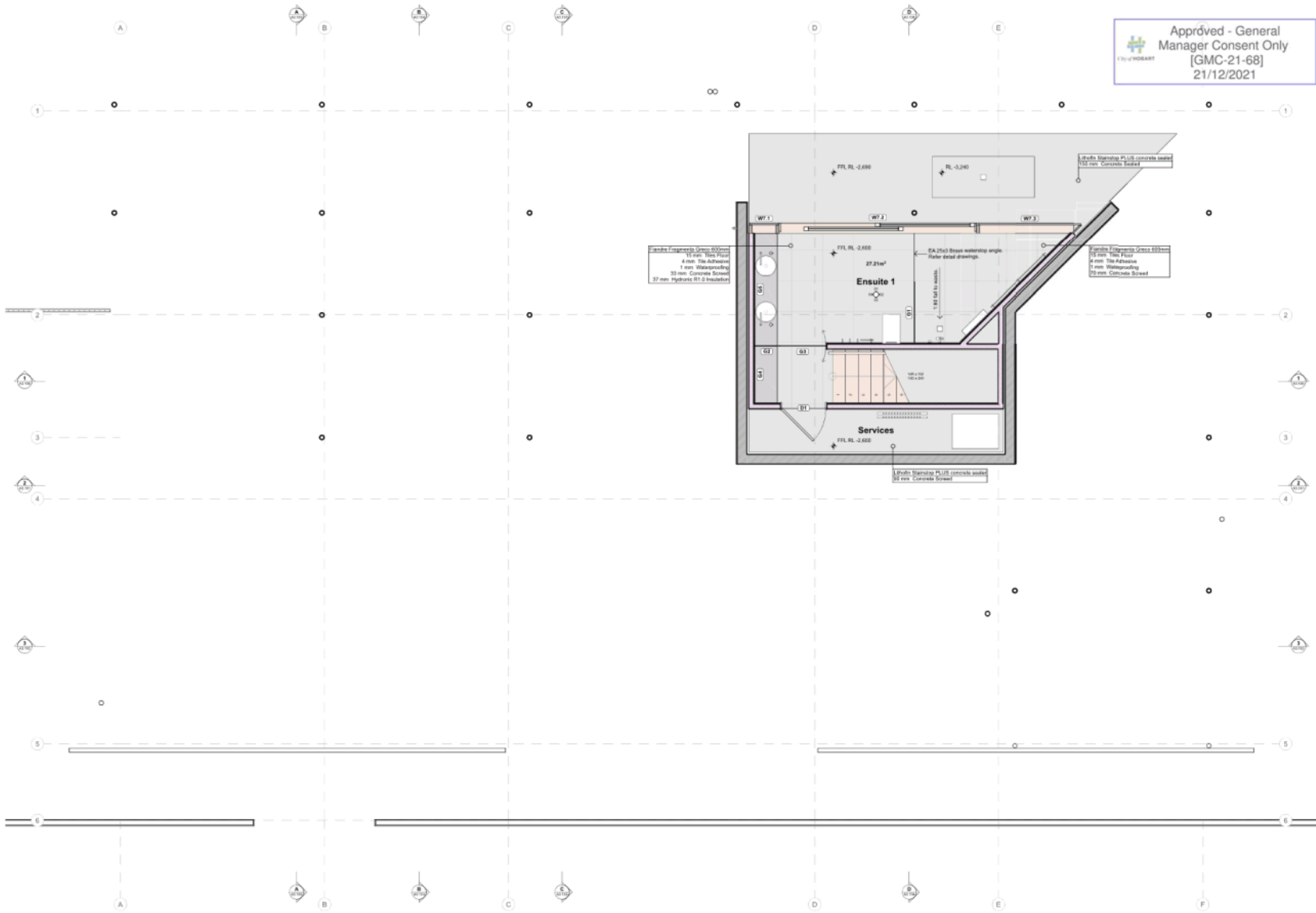
Josh Fitzgerald - josh@archer.com.au

DRAWING

A0.203 - WIP

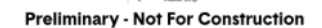
DRAWING

Driveway

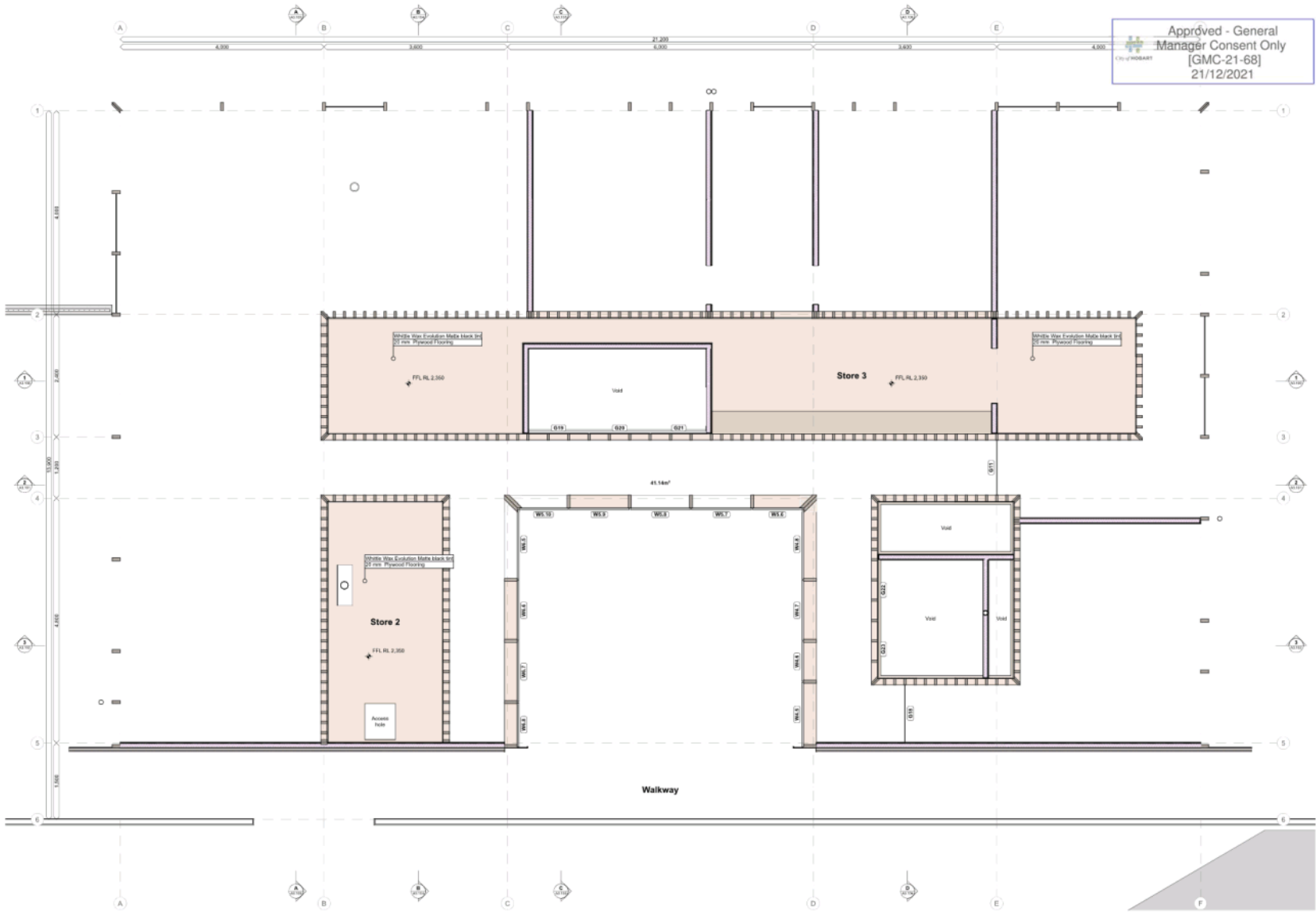


BUILDING MATERIALS	
MATERIAL	m2
25mm Batens 60ECTRS	140.41
25mm Batens 60ECTRS	140.39
Anti R2.5 Insulation	3.44
Anti R2.7 Insulation	116.00
Anti R2.8 Insulation	226.47
Battens	12.59
Bricks	107.49
Brick Skirt	31.39
Buttline Screens	9.79
Carly	10.29
Concrete Screed	21.91
Concrete Screed Hydrant	211.69
Concrete Screed	106.63
Concrete Skirting Board	75.79
Cupboard Skirting	373.63
PC Sheet Skirting	210.95
PC Sheet Skirting	75.43
Hydrant R2.5 Insulation	220.49
Masonry	2.59
Masonry Block	3.43
OSB Substrate	230.44
Paint Finish Deck	210.45
Plywood Exterior Grade	20.36
Plywood Flooring	30.65
Plywood Lining	702.20
Raster Skirting	100.48
Roof Skirting	261.32
Roof	180.34
Steel Skirting	2.28
Stone Superside	10.47
Structural Wall	104.61
Structural Wall Insulation	331.08
Tile	2.84
Tile Adhesive	62.59
Tile Floor	16.71
Tile Wall	45.43
Timber Ceiling	49.91
Timber Cladding	5.59
Wall Skirting	108.29
Waterproofing	63.69

OBJECT LEGEND	
QTY	NAME
5	Beam
1	Chimney
7	Door
1	Downspout
1	Downlight
4	Downpipe
1	Dryer
4	Exhaust
1	Exhaust Inlet
3	Exhaust Roof
1	Fireplace
1	Fireplace Flue
1	Fridge
51	GPO
3	GPO External
4	Garden Tap
5	Gas Cook
7	Gas Fitted
5	Gas Fitted Natural
1	Gutter Liner
1	Hot Water
1	Hot Water Outflow
1	Hydrant Manifold
2	LED Bath
3	LED Bath
1	MIB
6	Mirror
6	Mixer Hub
4	Mixer Wall
2	Motion Sensor
1	NBA External
7	Outlet
1	Oven
18	Plaster
1	Plt Square
5	Plug Base
1	Power Meter
1	Rangefood
3	Shower Head
1	Shower Wall
1	Sink Double
1	Sink Single
2	Smoke Detector
9	Split Light
18	Switch 1
6	Switch 2
4	Switch 3
1	Switch 4
1	Switch 5
1	TV point
4	Toler Buttons
4	Toler Inset
4	Toler Rail Holder
3	Toler Rail Storage
14	Toler Hook
2	Toler Rail 1000
2	Toler Rail 100
13	Track Light 1
1	Track Light 2
9	Track Light 3
1	Vent APU
1	Vent Updown
5	Wall Light
1	Wall Light Outflow
1	Washing Machine
1	Waste Bin
3	Waste Square
2	Waste Strip

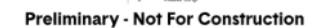


Ground Floor Plan



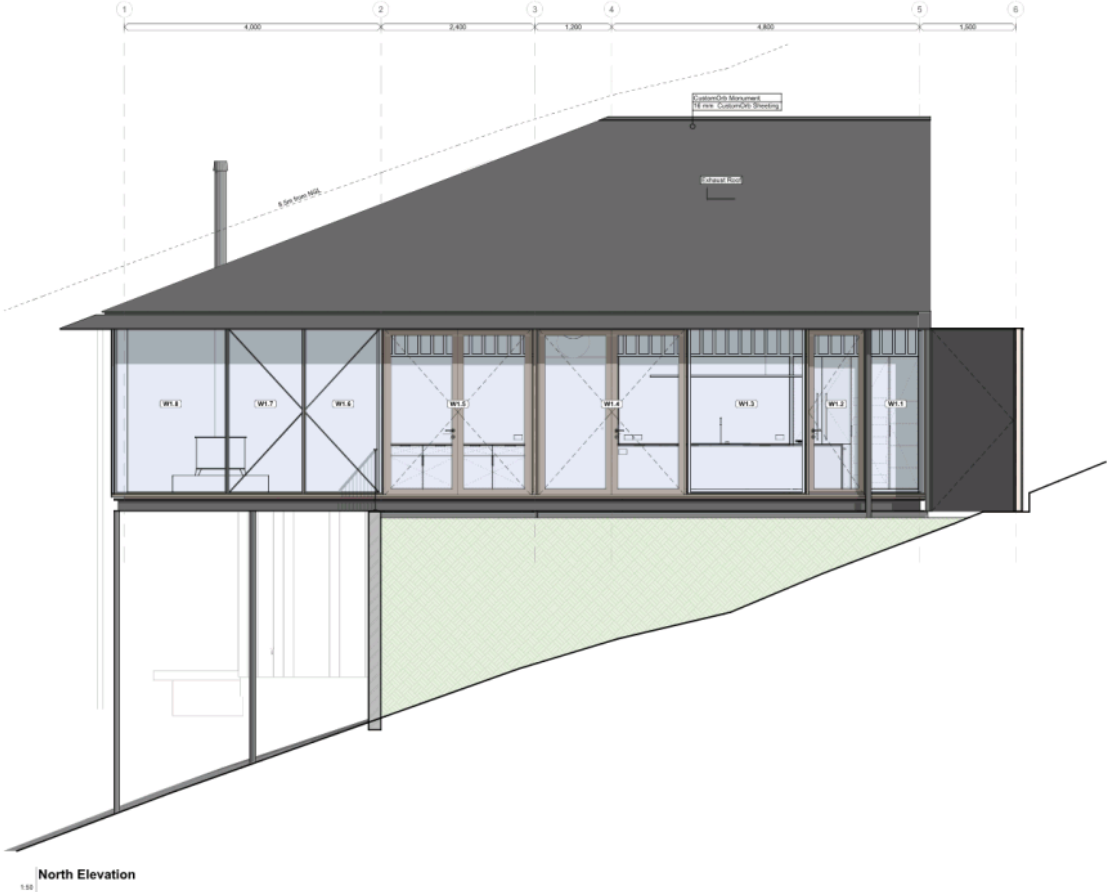
BUILDING MATERIALS		
MATERIAL		m2
25mm Batten ROECTRO	140.41	
25mm Batten ROECTRO	140.41	
Ball R2.7 Insulation	3.84	
Ball R2.7 Insulation	310.00	
Ball R2.7 Insulation	228.47	
Batten	12.50	
Blockwork	107.49	
Brick Veneer	31.39	
Brickfire Screens	9.79	
Carly	10.29	
Concrete Screed	21.91	
Concrete Sunked Hydrant	201.69	
Concrete Sunked	106.63	
Concrete Sunked Pool	75.79	
Cupboard/Drawer Shredding	373.62	
PC Sheet Sullie	210.95	
PC Sheet Sullieboard	79.45	
Hydrant R1.3 Insulation	220.69	
Masonry	2.39	
Masonry Block	5.43	
OSB Substrate	220.44	
Paint Finish Deck	210.65	
Plywood Exterior Grade	20.36	
Plywood Flooring	30.65	
Plywood Lining	702.20	
Raster Bagged	100.48	
Roof Sarking	261.32	
Soil	180.34	
Steel Staircase	2.28	
Stone Superside	10.47	
Structural Wall	104.61	
Structural Wall Insulated	331.38	
Tile	2.84	
Tile Adhesive	62.59	
Tile Floor	16.75	
Tile Wall	45.43	
Timber Ceiling	69.91	
Timber Cladding	5.59	
Timber General	108.29	
Wall Sarking	62.68	
Waterproofing		

OBJECT LEGEND	
QTY	NAME
5	Basin
1	Cumtup
7	Door
1	Dishwasher
1	Downlight
4	Downpipe
1	Dryer
4	Exhaust
1	Exhaust Inlet
3	Exhaust Roof
1	Fireplace
1	Fireplace Flue
1	Fridge
11	GPO
3	GPO Exhaust
4	Garden Tap
6	Gas Cook
7	Gas Flood
5	Gas Flood Textured
1	Gully Linear
1	Hot Water
1	Hot Water Outdoor
1	Hydraulic Manifold
2	LED Batten
3	LED Strip
1	MSB
6	Mirror
6	Mixer Hub
4	Mixer Wall
1	Motion Sensor
1	NBA External
1	NBA Internal
7	Outlet
1	Oven
18	Plaster
1	Plt Square
5	Plug Base
1	Power Meter
1	Rearranged
3	Shower Head
1	Shower Wall
1	Sink Double
1	Sink Single
2	Smoke Detector
9	Splice Light
18	Switch 1
6	Switch 2
6	Switch 3
1	Switch 4
1	Switch 5
1	TV point
4	Toler Buttons
4	Toler Inset
4	Toler Roll Hubler
3	Toler Roll Storage
14	Toler Hook
2	Toler Roll 1000
2	Toler Roll 750
13	Track Light 1
1	Track Light 2
9	Track Light 3
1	Vent APU
1	Vent Underneath
5	Wall Light
4	Wall Light Outdoor
1	Washing Machine
1	Waste Bin
3	Waste Square
2	Waste Strip



Roof Plan

Approved - General
Manager Consent Only
[GMC-21-68]
21/12/2021



BUILDING MATERIALS	
MATERIAL	m2
25mm Batens SELECTED	140.41
25mm Batens SELECTED	140.39
Ball R2.5 Insulation	3.84
Ball R2.7 Insulation	110.00
Ball R2.5 Insulation	226.47
Battens	12.59
Blockwork	107.49
Brick Veneer	61.39
Buttline Screens	9.79
Clay	19.29
Concrete Screed	21.91
Concrete Sunked Hydrant	211.69
Concrete Sunked	196.63
Concrete Sunked Puddle	75.79
Cupboard Shelving	373.62
FC Sheet Sulfur	210.95
FC Sheet Fiberglass	79.45
Hydrant R2.5 Insulation	220.49
Masonry	2.39
Masonry Block	1.43
OSB Substrate	226.44
Paint Finish Deck	210.95
Plywood Exterior Grade	20.39
Plywood Flooring	30.65
Plywood Lining	702.20
Raster Bagged	100.49
Roof Sarking	261.32
Soil	189.34
Steel Staircase	2.28
Stone Superside	10.47
Structural Wall	104.61
Structural Wall Insulation	331.89
Tape	2.84
Tile Adhesive	62.59
Tile Floor	16.79
Tile Wall	45.45
Timber Ceiling	69.91
Timber Cladding	108.29
Wall General	5.59
Wall Sarking	108.29
Waterproofing	62.69

OBJECT LEGEND	
QTY	NAME
6	Beam
1	Canopy
7	Door
1	Downspout
1	Downlight
4	Downpipe
1	Dryer
4	Exhaust
1	Exhaust Intake
3	Exhaust Roof
1	Fireplace
1	Fireplace Flue
1	Fridge
11	GPO
3	GPO Exhaust
4	Garden Tap
6	Gas Cook
7	Gas Flood
6	Gas Flood Textured
1	Gutter Linear
1	Hot Water
1	Hot Water Outflow
1	Hydraulic Manifold
2	LED Bath
3	LED Strip
1	MIB
6	Mirror
6	Mixer Hub
4	Mixer Wall
2	Motion Sensor
1	NBA External
1	NBA Internal
7	Outlet
1	Oven
18	Pendant
1	Pin Square
6	Plug Base
1	Power Meter
1	Ramphead
3	Shower Head
1	Shower Wall
1	Sink Double
1	Sink Single
2	Smoke Detector
9	Spine Light
18	Switch 1
6	Switch 2
6	Switch 3
1	Switch 4
1	Switch 5
1	TV point
4	Toler Buttons
4	Toler Inset
4	Toler Rail Holder
3	Toler Rail Storage
14	Towel Hook
2	Towel Rail 1000
2	Towel Rail 1500
13	Track Light 1
1	Track Light 2
9	Track Light 3
1	Vent APU
1	Vent Underneath
5	Wall Light
4	Wall Light Outflow
1	Washing Machine
1	Waste Bin
3	Waste Square
2	Waste Strip

Preliminary - Not For Construction

ARCH ER

Melbourne —
Level 1, 475 Sydney Rd
Brunswick VIC 3056
Hobart —
Level 1, 475 Sydney Rd
Hobart TAS 7000
info@archer.com.au
archer.com.au

DISCLAIMER

THIS DOCUMENT IS THE PROPERTY OF ARCHER AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ARCHER. THE DESIGN AND CONSTRUCTION OF THIS PROJECT IS THE RESPONSIBILITY OF ARCHER AND ITS SUBSIDIARIES. ARCHER DOES NOT ACCEPT LIABILITY FOR ANY DAMAGE, LOSS, OR INJURY, INCLUDING ECONOMIC LOSS, ARISING FROM THE USE OF THIS DOCUMENT. THE USER OF THIS DOCUMENT IS ADVISED THAT THE DESIGN AND CONSTRUCTION OF THIS PROJECT IS THE RESPONSIBILITY OF ARCHER AND ITS SUBSIDIARIES. ARCHER DOES NOT ACCEPT LIABILITY FOR ANY DAMAGE, LOSS, OR INJURY, INCLUDING ECONOMIC LOSS, ARISING FROM THE USE OF THIS DOCUMENT.

PROJECT

Strickland
424 Strickland Avenue South Hobart TAS 7004

CLIENT

Stuart • Teigan French

DATE

1/12/21

SCALE

As Shown @ A2

CONTRACT

Josh Fitzgerald — josh@archer.com.au

DRAWING

A2.100 - WIP

Elevations N

NORTH

Approved - General
Manager Consent Only
[GMC-21-68]
21/12/2021



East Elevation

BUILDING MATERIALS	
MATERIAL	m2
20mm Batens SELECTED	140.41
20mm Batens SELECTED	140.39
Anti R2.5 Insulation	3.84
Anti R2.7 Insulation	110.00
Anti R2.5 Insulation	226.47
Battens	12.59
Blockwork	107.49
Brick Veneer	61.39
Bushfire Screens	9.79
Carly	19.29
Concrete Screed	21.91
Concrete Sunked Hydrant	211.69
Concrete Sunked	196.63
Concrete Sunked Pool	75.79
Cumulative Shading	373.63
FC Sheet Sulfur	210.95
FC Sheet Sulfur	79.45
Hydrant R2.5 Insulation	220.49
Masonry	2.59
Masonry Block	5.43
OSB Substrate	226.44
Paint Finish Deck	210.95
Plywood Exterior Grade	22.96
Plywood Flooring	30.65
Plywood Lining	702.20
Raster Bagged	100.48
Roof Sarking	261.32
Roof	189.54
Steel Staircase	2.28
Stone Superside	15.47
Structural Wall	104.61
Structural Wall Insulated	331.59
Tile	2.84
Tile Adhesive	62.59
Tile Floor	16.75
Tile Wall	45.45
Timber Ceiling	69.91
Timber Cladding	180.32
Timber General	5.59
Wall Sarking	108.29
Waterproofing	62.69

OBJECT LEGEND

QTY	NAME
5	Basin
1	Cumulative
7	Deck
1	Dishwasher
1	Downlight
4	Downpipe
1	Dryer
4	Exhaust
1	Exhaust Holes
3	Exhaust Roof
1	Fireplace
1	Fireplace Plan
1	Fridge
11	GPO
3	GPO External
4	Garden Tap
5	Glass Door
7	Glass Floor
5	Glass Front Feature
1	Gutter Linear
1	Hot Water
1	Hot Water Outdoor
1	Hydraulic Manifold
2	LED Bath
1	LED Strip
1	MIB
1	Mirror
6	Mixer Hub
4	Mixer Wall
2	Motion Sensor
1	NBA External
1	NBA Internal
7	Outlet
1	Oven
18	Plasterboard
1	Plt Square
5	Plug Base
1	Power Meter
1	Rangefood
3	Shower Head
1	Shower Wall
1	Sink Double
1	Sink Single
2	Smoke Detector
9	Splice Light
18	Switch 1
6	Switch 2
8	Switch 3
1	Switch 4
1	Switch 5
1	TV point
4	Toler Buttons
4	Toler Inset
4	Toler Rail Holder
3	Toler Rail Storage
14	Toler Hook
2	Toler Rail 1000
2	Toler Rail 1500
13	Track Light 1
1	Track Light 2
9	Track Light 3
1	Vent APU
1	Vent Underneath
5	Wall Light
4	Wall Light Outdoor
1	Washing Machine
1	Waste Bin
3	Waste Square
2	Waste Strip

Preliminary - Not For Construction

ARCH ER

Melbourne —
Level 1/175 Sydney Rd
Brunswick VIC 3056
Hobart —
Level 1/175 Sydney Rd
Hobart TAS 7000
info@archer.com.au
archer.com.au

DISCLAIMER

THIS DOCUMENT IS THE PROPERTY OF ARCHER AND IS NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF ARCHER. THE CLIENT AGREES TO HOLD ARCHER HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, IN CONNECTION WITH THIS DOCUMENT. THE CLIENT AGREES TO HOLD ARCHER HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, IN CONNECTION WITH THIS DOCUMENT.

PROJECT
Strickland
424 Strickland Avenue South Hobart TAS 7004
CLIENT
Stuart Teigan French

DATE

1/12/21

SCALE

As Shown @ A2

CONTRACT

Josh Fitzgerald — josh@archer.com.au

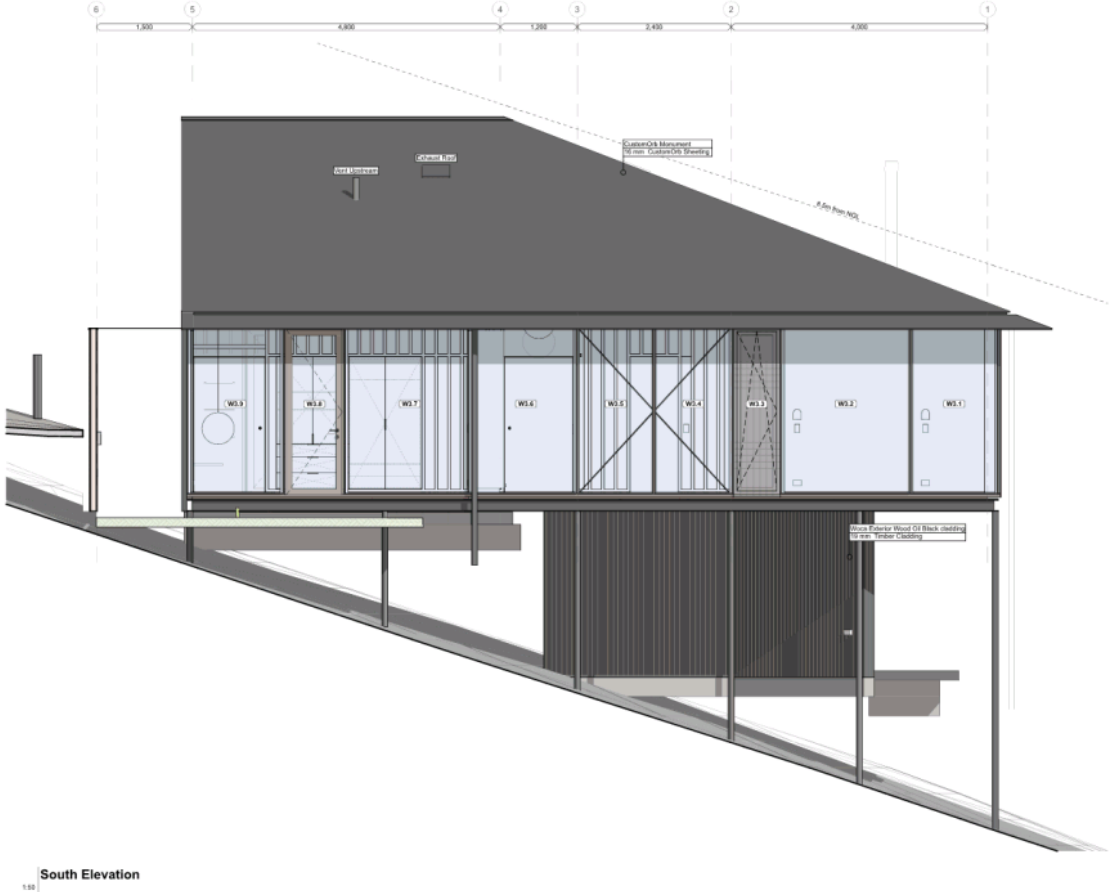
DRAWING

A2.101 - WIP

NORTH

Elevations E

Approved - General
Manager Consent Only
[GMC-21-68]
21/12/2021



BUILDING MATERIALS	
MATERIAL	m2
25mm Batens SELECTED	140.41
25mm Batens SELECTED	140.41
Batt R2.5 Insulation	3.84
Batt R2.5 Insulation	110.00
Batt R2.5 Insulation	226.47
Battens	12.50
Blockwork	107.49
Brick Block	81.86
Buttline Screens	9.79
Cavity	10.29
Concrete Screed	21.91
Concrete Scribed Hydrant	211.69
Concrete Scribed	106.63
Concrete Scribed Plaid	75.79
Cupboard Shelving	373.63
PC Sheet Sills	210.95
PC Sheet Sills	79.43
Hydronic R1.3 Insulation	220.69
Masonry	2.59
Masonry Block	5.43
OSB Substrate	230.44
Paint Finish Deck	210.95
Plywood Exterior Grade	20.96
Plywood Flooring	30.65
Plywood Lining	702.20
Raster Bagged	100.68
Roof Sarking	261.32
Soil	180.54
Steel Stainless	2.28
Stone Superside	10.47
Structural Wall	104.61
Structural Wall Insulated	331.88
Tile	2.84
Tile Adhesive	62.59
Tile Floor	16.75
Tile Wall	45.43
Timber Cladding	49.91
Timber Cladding	180.32
Timber General	5.59
Wall Sarking	108.29
Waterproofing	62.68

OBJECT LEGEND	
QTY	NAME
5	Basin
1	Countertop
7	Door
1	Dishwasher
1	Downlight
4	Downpipe
1	Dryer
4	Exhaust
1	Exhaust Intake
3	Exhaust Roof
1	Fireplace
1	Freestanding Plan
1	Fridge
11	GPO
3	GPO Exhaust
4	Garden Tap
6	Gas Cook
7	Gas Fitted
5	Gas Fitted Textured
1	Glass Linear
1	Hot Water
1	Hot Water Outdoor
1	Hydronic Manifold
2	LED Bath
3	LED Strip
1	MIB
1	Mirror
6	Mixer Hub
4	Mixer Wall
2	Motion Sensor
1	NBA External
1	NBA Internal
7	Outlet
1	Oven
18	Plasterboard
1	Plt Square
5	Plug Basin
1	Power Meter
1	Rangefood
3	Shower Head
1	Shower Wall
1	Sink Double
1	Sink Single
2	Smoke Detector
9	Split Light
18	Switch 1
6	Switch 2
4	Switch 3
1	Switch 4
1	Switch 5
1	TV point
4	Toler Buttons
4	Toler Inset
4	Toler Rail Holder
3	Toler Rail Storage
14	Towel Hook
2	Towel Rail 1000
2	Towel Rail 750
13	Track Light 1
1	Track Light 2
9	Track Light 3
1	Vent APU
1	Vent Underneath
5	Wall Light
4	Wall Light Outdoor
1	Washing Machine
1	Waste Bin
3	Waste Square
2	Waste Strip

Preliminary - Not For Construction

ARCH ER

Melbourne —
Level 1, 475 Sydney Rd
Brunswick VIC 3056
Hobart —
Level 1, 475 Sydney Rd
Hobart TAS 7000
info@archer.com.au
archer.com.au

DISCLAIMER

THIS DOCUMENT IS THE PROPERTY OF ARCHER AND IS NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF ARCHER. THE INFORMATION CONTAINED HEREIN IS FOR INFORMATION ONLY AND DOES NOT constitute an offer or any other financial product or service. ARCHER does not accept any liability for any loss or damage arising from the use of this information. ARCHER is not responsible for any loss or damage arising from the use of this information. ARCHER is not responsible for any loss or damage arising from the use of this information.

PROJECT

Strickland
424 Strickland Avenue South Hobart TAS 7004
CLIENT
Shurt • Teigan French

DATE

1/12/21

SCALE

As Shown @ A2

CONTRACT

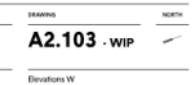
Josh Fitzgerald — josh@archer.com.au

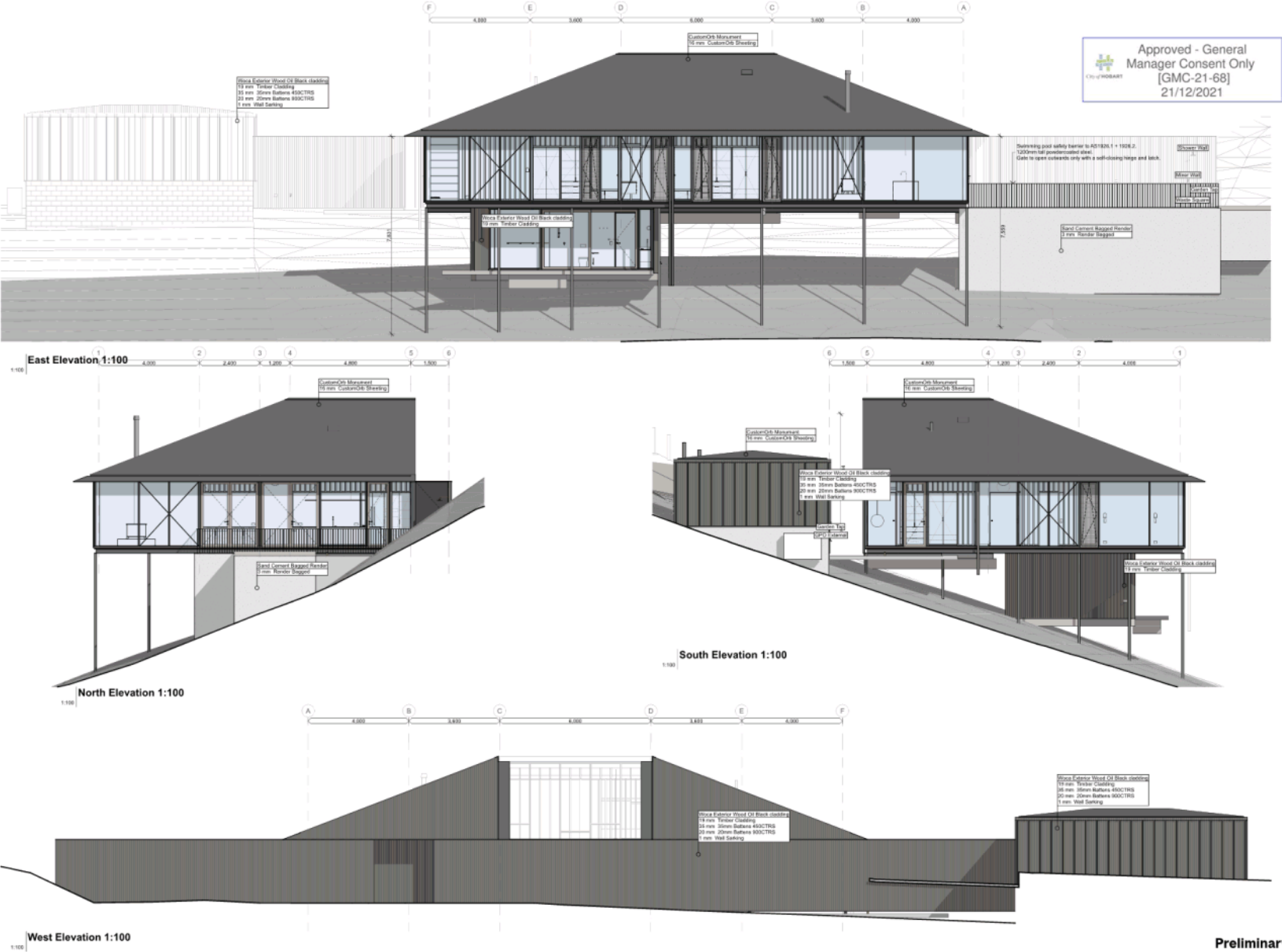
DRAWING

A2.102 - WIP

NOTES

Elevations 5





BUILDING MATERIALS	
MATERIAL	m2
20mm Butane 90ECTRS	140.41
20mm Butane 90ECTRS	140.39
But 62.5 Insulation	3.84
But 62.5 Insulation	316.00
But 62.5 Insulation	228.47
Butane	12.59
Butane	127.49
Brick Block	31.39
Brickwork	9.79
Cladding	19.29
Concrete Slab	21.91
Concrete Slab Hydrant	211.69
Concrete Slab	196.63
Concrete Slab/Slab Foot	75.79
Concrete Slab/Slab	317.63
Concrete Slab	210.95
Concrete Slab	75.41
Hydrant 10.0 Insulation	220.44
Insulation	2.39
Insulation	1.43
OSB Substrate	220.44
Paint Finish Slab	210.95
Plywood Exterior Cladding	20.39
Plywood Flooring	30.65
Plywood Lining	702.20
Render Saggid	100.48
Roof Saggid	261.32
Roof	180.34
Steel Staircase	2.28
Stone Superside	10.47
Structural Wall	104.61
Structural Wall Insulation	331.08
Tile	2.84
Tile Adhesive	62.59
Tile Floor	16.79
Tile Wall	45.41
Timber Cladding	49.91
Timber Cladding	180.32
Timber General	5.59
Wall Saggid	108.29
Waterproofing	60.68

OBJECT LEGEND	
QTY	NAME
5	Beam
1	Canopy
7	Door
1	Downlight
4	Downpipe
1	Dryer
4	Exhaust
1	Exhaust Inlet
3	Exhaust Roof
1	Fireplace
1	Fireplace Flue
1	Fridge
1	GPO
3	GPO External
4	Garden Tap
6	Gas Cook
7	Gas Fitted
1	Gas Fitted Feature
1	Glass Panel
1	Hot Water
1	Hot Water Outflow
1	Hydraulic Manifold
2	LED Ballast
1	LED Strip
1	MSB
6	Mixer
6	Mixer Hub
4	Mixer Wall
2	Motion Sensor
1	NBA External
1	NBA Internal
7	Outlet
1	Oven
18	Plasterboard
1	Plt Square
5	Plug Base
1	Power Meter
1	Rearboard
3	Shower Head
1	Shower Wall
1	Sink Double
1	Sink Single
2	Smoke Detector
9	Split Light
18	Switch 1
6	Switch 2
4	Switch 3
1	Switch 4
1	Switch 5
1	TV point
4	Toler Butcher
4	Toler Head
4	Toler Rail Holder
3	Toler Rail Storage
14	Toler Hook
2	Toler Rail 1000
2	Toler Rail 150
13	Track Light 1
9	Track Light 2
1	Van AU
1	Vent Underneath
5	Wall Light
1	Wall Light Outflow
1	Washing Machine
1	Waste Bin
3	Waste Square
2	Waste Strip

Preliminary - Not For Construction

ARCH ER

Matthew ...
Level 1/175 Sydney Rd
Brisbane VIC 3056

Robert ...
Level 1/175 Sydney Rd
Brisbane TAS 7000

info@archer.com.au
archer.com.au

DISCLAIMER

THIS DOCUMENT IS THE PROPERTY OF ARCHER AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ARCHER. THE DESIGN AND CONSTRUCTION OF THE PROJECT IS THE RESPONSIBILITY OF ARCHER AND THE CLIENT. ARCHER ACCEPTS NO LIABILITY FOR ANY DAMAGE, LOSS, OR INJURY, INCLUDING ECONOMIC LOSS, ARISING FROM THE USE OF THIS DOCUMENT OR THE PROJECT. THE CLIENT ACCEPTS FULL RESPONSIBILITY FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE CLIENT ACCEPTS FULL RESPONSIBILITY FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE CLIENT ACCEPTS FULL RESPONSIBILITY FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.

PROJECT

Strickland
424 Strickland Avenue South Hobart TAS 7004

CLIENT

Shurt + Teigan French

DATE

1/12/21

SCALE

As Shown @ A2

CONTRACT

Josh Fitzgerald - josh@archer.com.au

DRAWING

A2.104 - WIP

NOTES

Elevations 1:100

**RESULT OF SEARCH**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



SEARCH OF TORRENS TITLES

FOI ME	FOI O
FOI O	
EDITION	DATE OF ISSUE
	FOI M FOI O FOI O

SEARCH DATE : 29-Jul-2021

SEARCH TIME : 01.50 PM

DESCRIPTION OF LAND

City of HOBART

Lot 1 on Diagram 66680 (formerly being D556)

Derivation : Part of 2,000 Acres Gtd to P Degraives

Prior CT 3374/86

SCHEDULE 1

M876960 TRANSFER to STUART EDWARD FRENCH and TEIGAN KATE
MARGETTS Registered 10-May-2021 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

E12494 AGREEMENT pursuant to Section 71 of the Land Use
Planning and Approvals Act 1993 Registered
27-Jul-2015 at noon

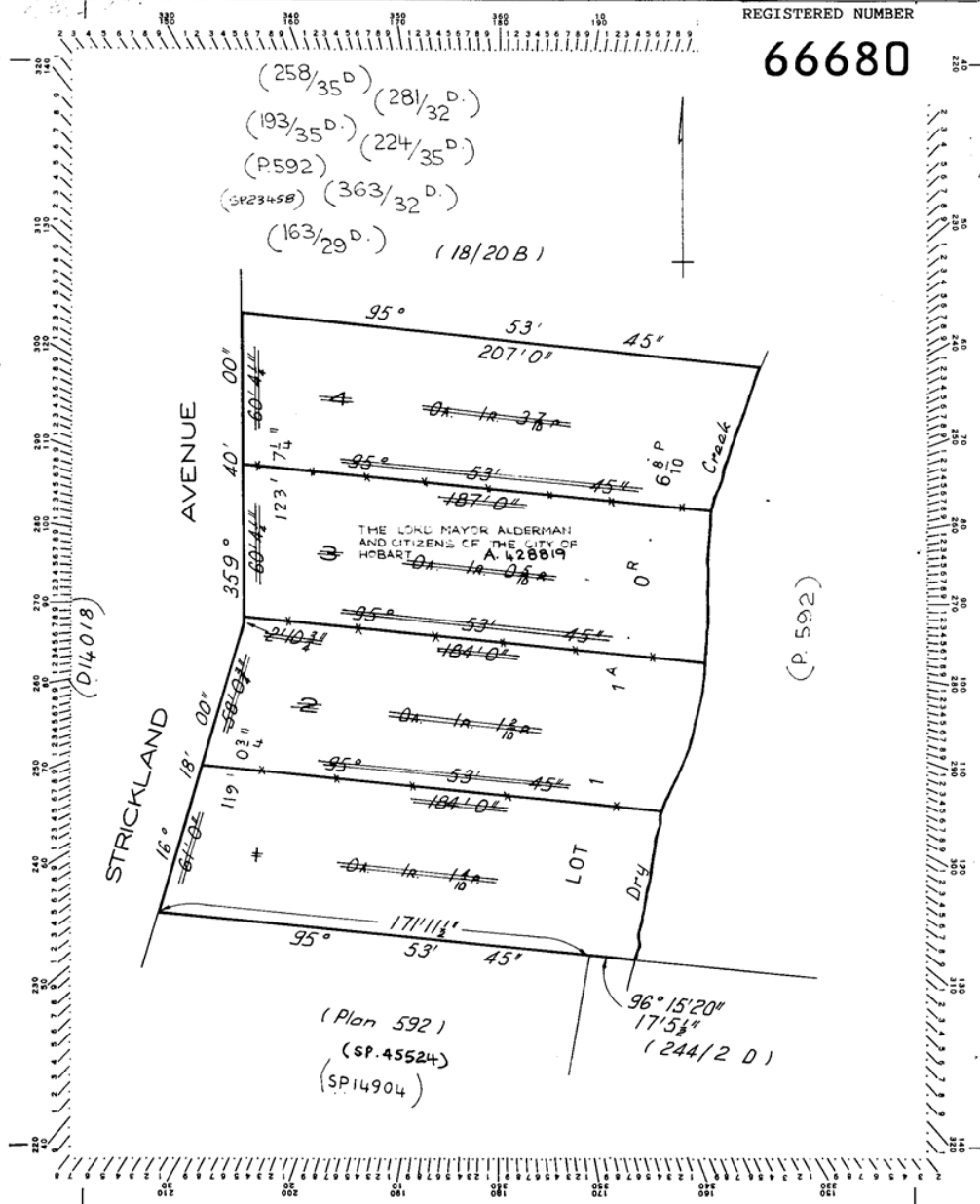
UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

Owner: <i>N. S. SCHOFIELD</i>	PLAN OF SURVEY <i>D. A. PARKES</i> by Surveyor _____ of land situated in the _____	Registered Number: D 556
Title Reference: <i>C.T. Vol. 2657 Fol. 23</i>	<u>CITY OF HOBART</u>	Effective from: _____
Grantee: <i>Part of 2000 Ac. Gtd. to P. Degroves</i>	<i>Scale :- 40 ft. to an inch</i>	P/I Recorder of titles: _____

REGISTERED NUMBER

66680



Planning: #250392

Property

424 STRICKLAND AVENUE SOUTH HOBART TAS 7004

People**Applicant ***

Sophie Gandar
378 Acton Road
ACTON PARK TAS 7170
0434 439 695
sophie@archier.com.au

Owner *

Stuart French
755 Lymington Road
LYMINGTON TAS 7109
0407 926 151
frenchstuart@gmail.com

Entered By

SOPHIE GANDAR
0434 439 695
projects@archier.com.au

Use

Single dwelling

Details

Have you obtained pre application advice?

☒ No

If YES please provide the pre application advice number eg PAE-17-xx

Are you applying for permitted visitor accommodation as defined by the State Government Visitor Accommodation Standards? Click on help information button for definition. If you are not the owner of the property you MUST include signed confirmation from the owner that they are aware of this application. *

☒ No

Is the application for SIGNAGE ONLY? If yes, please enter \$0 in the cost of development, and you must enter the number of signs under Other Details below. *

☒ No

If this application is related to an enforcement action please enter Enforcement Number

Details		
What is the current approved use of the land / building(s)? *		
Residential		
Please provide a full description of the proposed use or development (i.e. demolition and new dwelling, swimming pool and garage) *		
New dwelling		
Estimated cost of development *		
980000.00		
Existing floor area (m2)	Proposed floor area (m2)	
	303.00	
Site area (m2)		
3983		
Carparking on Site		
Total parking spaces	Existing parking spaces	N/A
		<input checked="" type="checkbox"/> Other (no selection chosen)
Other Details		
Does the application include signage? *		
<input checked="" type="radio"/> No		
How many signs, please enter 0 if there are none involved in this application? *		
0		
Tasmania Heritage Register		
Is this property on the Tasmanian Heritage Register? <input checked="" type="radio"/> No		
Documents		
Required Documents		
Title (Folio text and Plan and FolioPlan-66680-1.pdf Schedule of Easements) *		
Title (Folio text and Plan and FolioText-66680-1.pdf Schedule of Easements) *		
Plans (proposed, existing) * 220208 Strickland Planning.pdf		
GM or Crown consent	211221 GMC.pdf	
Supporting Documents		
Flora and Fauna Report	211203 Arborist report.pdf	

**7.1.7 368 MACQUARIE STREET, SOUTH HOBART - CHANGE OF USE TO
VISITOR ACCOMMODATION
PLN-22-216 - FILE REF: F22/46315**

Address: 368 Macquarie Street, South Hobart
Proposal: Change of Use to Visitor Accommodation
Expiry Date: 30 May 2022
Extension of Time: Not applicable
Author: Michael McClenahan

RECOMMENDATION

That pursuant to the *Hobart Interim Planning Scheme 2015*, the Council approve the application for a change of use to visitor accommodation, at 368 Macquarie Street, South Hobart 7004 for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

GEN

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-22-216 - 368 MACQUARIE STREET SOUTH HOBART TAS 7004 - Final Planning Documents except where modified below.

Reason for condition

To clarify the scope of the permit.

PLN 18

Prior to the commencement of the approved use, a management plan for the operation of the visitor accommodation must be submitted and approved as a Condition Endorsement, to the satisfaction of the Council's Director City Life. The management plan must include measures to limit, manage and mitigate unreasonable impacts upon the amenity of long term residents. These measures must include, but are not limited to, the following requirements:

1. To limit, manage, and mitigate noise generated as a result of the visitor accommodation.

2. To limit, manage, and mitigate behaviour issues caused as a result of the visitor accommodation.
3. To maintain the security of the building where the visitor accommodation would be located, including managing and/or limiting access to shared areas and facilities.
4. To specify the maximum permitted occupancy of the visitor accommodation.
5. To provide a name and contact phone number of a person who will respond to any complaints regarding behaviour of guests. If the property is sold the Visitor Accommodation Management Plan (VAMP) must be updated with new contact details.

Once approved, the management plan must be implemented prior to the commencement of the approved use and must be maintained for as long as the visitor accommodation is in operation. The VAMP must be provided to adjacent property owners and occupiers within 14 days of being approved. If the property is sold, the updated VAMP (in accordance with 5. above) must be provided to adjacent property owners and occupiers within 10 business days of settlement.

Advice:

This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.

Reason for condition

To ensure that visitor accommodation does not cause an unreasonable loss of residential amenity.

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

NOISE REGULATIONS

Click [here](#) for information with respect to noise nuisances in residential areas.

VISITOR ACCOMMODATION

More information on visitor accommodation, including when building approval is required, can be found [here](#).



In all cases, check with your insurance company that you have adequate cover.



If you are in a bushfire prone area there may be a need to create/review the Bushfire Management Hazard Plan for your property.

If you have a spa or a pool at your property then you are required to test for microbiological quality and chemical parameters on a monthly basis, under the *Public Health Act 1997*. If you have any questions about this then please call our Environmental Health team on 6238 2711.

If you are providing food for consumption on the property, you may require a food business registration in accordance with the *Food Act 2003*. Click [here](#) for more information, or call our Environmental Health team on 6238 2711.

Visitor accommodation is also considered to be a commercial use and also not eligible to residential parking permits. Under the current policy for the issuing of residential parking permits, the proposed change of use to visitor accommodation would not entitle the property to a residential parking permit, or a transferable “bed and breakfast” parking permit.

Attachment A: PLN-22-216 - 368 MACQUARIE STREET SOUTH
HOBART TAS 7004 - Planning Committee or
Delegated Report  

Attachment B: PLN-22-216 - 368 MACQUARIE STREET SOUTH
HOBART TAS 7004 - Attachment B - CPC Agenda
Documents  

**APPLICATION UNDER HOBART INTERIM PLANNING SCHEME 2015**

Type of Report: Committee
Council: 30 May 2022
Expiry Date: 30 May 2022
Application No: PLN-22-216
Address: 368 MACQUARIE STREET , SOUTH HOBART
Applicant: Andrew Gelman
368 Macquarie Street
Cora Evans
368 Macquarie Street
Proposal: Change of Use to Visitor Accommodation
Representations: Three
Performance criteria: Planning Directive No. 6
Parking and Access Code

1. Executive Summary

- 1.1 Planning approval is sought for a change of use to Visitor Accommodation, at 368 Macquarie Street, South Hobart.
- 1.2 More specifically the proposal includes:
 - Complete change of use of an existing two bedroom multiple dwelling from Residential to Visitor Accommodation use
- 1.3 The proposal relies on performance criteria to satisfy the following standards and codes:
 - 1.3.1 Planning Directive No. 6 - Visitor Accommodation
 - 1.3.2 Parking and Access Code - Number of Parking Spaces
- 1.4 Three (3) representations objecting to the proposal were received within the statutory advertising period between 28/04/22 - 12/05/22.
- 1.5 The proposal is recommended for approval subject to conditions.

- 1.6 The final decision is delegated to the Council, because the application has been called-in by an Elected Member and three objections have been received during the statutory advertising period.

2. Site Detail

- 2.1 The subject site is located at 368 Macquarie Street, South Hobart and is a strata title residential lot shared with 370 Macquarie Street. The site is approximately 145m² in size. The site contains a conjoined two storey brick multiple dwelling with a narrow frontage to Macquarie Street. The surrounding area is characterised by a combination of residential, commercial, and business and professional services.

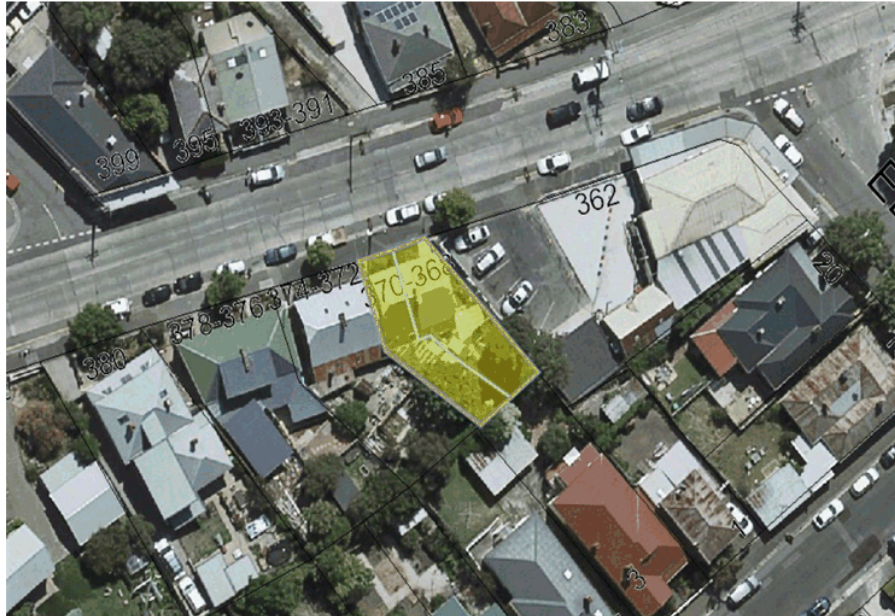


Figure 1: Aerial image of the subject site (marked 368) and parent lot (highlighted in yellow) and surrounding area

3. Proposal

- 3.1 Planning approval is sought for a change of use to Visitor Accommodation, at 368 Macquarie Street, South Hobart.
- 3.2 More specifically the proposal is for:
- Complete change of use of an existing two bedroom multiple dwelling from Residential to Visitor Accommodation use

4. Background

- 4.1 Approval was granted for Partial Demolition, Alterations and Extension to the existing multiple dwelling under PLN-22-72 in April 2022. These works have not been substantially commenced.

5. Concerns raised by representors

- 5.1 Three (3) representations objecting to the proposal were received within the statutory advertising period between 28/04/22 - 12/05/22.
- 5.2 The following table outlines the concerns raised in the representations received. Those concerns which relate to a discretion invoked by the proposal are addressed in Section 6 of this report.

I strongly request, that the application for change of visitor use accommodation is refused- on the basis that it doesn't comply with clause (3.1 a) of planning directive number (6) of the Hobart interim planning scheme (2015) (Tasmania). It is not compatible with the character and use of the area, and it would cause unreasonable loss of residential housing.
The Council cannot in good conscience allow further leeching of residential property into the Short Stay market at this time, when locals are sleeping rough due to housing unaffordability and availability access.
Greater Hobart is Australia's least affordable capital city relative to income according to the <i>Rental Affordability Index</i> (RAI). The RAI found that tenants in Greater Hobart spend around 34 per cent of their income on rent - placing the median tenant in rental stress.
Changes to the availability of housing stock can have significant impact on rents. Short stay accommodation has had a negative impact on the Hobart rental market by reducing supply and increasing prices.
We strongly recommend that the application for the proposed 'change of use to visitor accommodation' of premises at 368 Macquarie St, South Hobart is refused. In our opinion, the application does not comply with clause 3.1 (e) of Planning Directive No.6 ... because the proposal is not compatible with the character and use of the area and it would cause an unreasonable loss of residential amenity.

South Hobart should remain a suburb which prioritises long-term residents. The proliferation of short-term accommodation diminishes the "retaining of the primary residential function of the area" as set out in Performance Criteria (d) of clause 3.1 (e) of the Planning Directive No.6.

This complete dwelling would not be fit for proper use should it be changed to short stay visitor accommodation. As the city of Hobart Local Government Area is currently experiencing a housing crisis. This dwellings proper use, would be that it is utilised for long term rental, given it's proximity and access to the CBD and surrounding areas, likely by a person or couple that wish to move to this beautiful city

It is the primary residential function of this area to provide long term residents access to housing close to the South Hobart shopping district. In the current housing crisis it should not be seen as within a residential function that homes are transitioned into hotels, they need to be utilised as homes for long term residents of Hobart. The primary residential function of all houses, appartments, units and studios is to provide shelter for those who live in that area. This dwelling being changed to short stay visitor accommodation would not retain the primary residential function, as diversity is decreasing in the city due to housing affordability and to the increasing population and decreasing housing stock.

6. Assessment

- 6.1 The *Hobart Interim Planning Scheme 2015* is a performance based planning scheme. To meet an applicable standard, a proposal must demonstrate compliance with either an acceptable solution or a performance criterion. Where a proposal complies with a standard by relying on one or more performance criteria, the Council may approve or refuse the proposal on that basis. The ability to approve or refuse the proposal relates only to the performance criteria relied on.
- 6.2 The site is located within the Inner Residential Zone of the *Hobart Interim Planning Scheme 2015*.
- 6.3 The existing use is Residential (multiple dwelling). The proposed use is Visitor Accommodation. The existing use is a permitted use in the zone. The proposed use is a permitted use in the zone.
- 6.4 The proposal has been assessed against:

- 6.4.1 Interim Planning Directive No.6
- 6.4.2 E6.0 Parking and Access Code
- 6.5 The proposal relies on the following performance criteria to comply with the applicable standards:
 - 6.5.1 Interim Planning Directive No.6
 - Visitor Accommodation - 3.3 (e) P2*
 - 6.5.2 Parking and Access Code:
 - Number of Parking Spaces - E6.6.1 P1*
- 6.6 Each performance criterion is assessed below.
- 6.7 Visitor Accommodation - 3.1 (e) P2
 - 6.7.1 The acceptable solution at clause 3.1 (e) A2 requires that Visitor Accommodation is not for a lot, as defined in the *Strata Titles Act 1998*, that is part of a strata scheme where another lot within that strata scheme is used for a residential use.
 - 6.7.2 The proposal includes a change of use to Visitor Accommodation on a lot that is part of a strata scheme where another lot within that strata scheme is used for a residential use.
 - 6.7.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.
 - 6.7.4 The performance criterion at clause clause 3.1 (e) P2 provides as follows:
 - Visitor Accommodation within a strata scheme must not cause an unreasonable loss of residential amenity to long term residents occupying other lots within the strata scheme, having regard to:*
 - (a) the privacy of residents;*
 - (b) any likely increase in noise;*

(c) the residential function of the strata scheme;

(d) the location and layout of the lots;

(e) the extent and nature of any other non-residential uses; and

(f) any impact on shared access and common property.

- 6.7.5 The proposed application would seek to change the approved use of an existing two bedroom multiple dwelling from Residential to Visitor Accommodation. The current dwelling is part of a two lot strata scheme, shared with a conjoined multiple dwelling directly on the Macquarie Street frontage. Three representations were received during the statutory advertising period, all raised concerns in objection to compliance with Planning Directive No. 6 citing incompatibility with the objectives of the clause and that such a change of use would cause an unreasonable loss of residential amenity. All representations also cited other matters as reasons for refusal which including impacts upon housing availability and affordability.

The matter of housing availability is understood to remain a pressing concern in the Hobart Municipality, as well as the Greater Hobart Region. As addressed in Section 7 of this report, these concerns cannot be considered under planning assessment as *Planning Directive No.6* does not include the matter as a relevant assessment criteria.

In response to the concern that the change of use would not be consistent with the objective of the clause, specifically the compatibility with the character and use of the area, an insight of the immediate neighbourhood has been provided. It is worth noting that the "character and use of the area" is referred to in the objectives to this standard; given that this analysis is not required pursuant to the performance criteria in clause 3.1 (e) P2, this does not provide a separate basis to refuse the application.

There are approximately 108 properties in a 100m from the subject site, the majority are residential properties along Macquarie, Wynyard, and Adelaide Streets but also include cafes, grocers, retail, and medical services. A cursory review of these properties indicates at least two approvals for a change of use to visitor accommodation have been issued by Council. The area has an established mixed use character, catering for a number of residential, retail, and service needs. The creation of a new Visitor Accommodation use, particularly one of this small scale, is assessed as remaining within the character of the area.

One representation has also raise concern about compliance with all sub-clauses of clause 3.1 (e) P1. As above, the proposal has demonstrated compliance with this clause as it accommodates guest in an existing building and the gross floor area is not more than 200m² per lot. It is also noted that the lodged plans included documentation granted for approval under PLN-22-72. The assessment of the proposed Visitor Accommodation Use would remain unchanged with either plans, as both floor plans will remain under 200m² GFA and remain consistent in scale and use.

With respect to the sub-clauses of clause 3.1 (e) P2 an assessment has been undertaken. Regarding privacy, the subject site does not require access across common property and will not otherwise provide increased opportunity for occupants to impact upon the privacy of other lots within the strata scheme. Given the small size of the subject site, the capacity of the unit will be small and there is unlikely to be a chance of increased noise beyond what would be generated by existing long-term tenants. A condition requiring a Visitor Accommodation Management Plan is recommend to be included in a permit of approval. This Management Plan will formally regulate the generation of noise by guests and the expectation of behaviour in a residential area.

With respect to sub-clause (c), only one additional lot exists on the same strata scheme. The proposed change of use, accounting for the small scale and inclusion of the aforementioned Visitor Accommodation Management Plan, would not see an unreasonable loss of residential amenity having regard to the residential function of the strata scheme. Both lots have their own street frontage and a change of use will not see any impacts to amenity, considering the existing location and layout of the lots. There are no other existing non-residential uses and there is no shared access or common property.

It is also noted that the other property in the strata scheme, 370 Macquarie Street, has also applied for a change of use to visitor accommodation under PLN-22-217. That application is also before the Council for determination, with an officer recommendation for approval.

6.7.6 The proposal complies with the performance criterion.

6.8 Number of Parking Spaces - E6.6.1 P1

6.8.1 The acceptable solution at clause 6.6.1 A1 requires that the number of on-site car parking spaces must be no less than and no greater than the

number specified in Table E6.1, which is one on-site space.

- 6.8.2 The proposal includes no on-site car parking spaces.
- 6.8.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.
- 6.8.4 The performance criterion at clause 6.6.1 P1 provides as follows:

The number of on-site car parking spaces must be sufficient to meet the reasonable needs of users, having regard to all of the following:

- (a) car parking demand;*
- (b) the availability of on-street and public car parking in the locality;*
- (c) the availability and frequency of public transport within a 400m walking distance of the site;*
- (d) the availability and likely use of other modes of transport;*
- (e) the availability and suitability of alternative arrangements for car parking provision;*
- (f) any reduction in car parking demand due to the sharing of car parking spaces by multiple uses, either because of variation of car parking demand over time or because of efficiencies gained from the consolidation of shared car parking spaces;*
- (g) any car parking deficiency or surplus associated with the existing use of the land;*
- (h) any credit which should be allowed for a car parking demand deemed to have been provided in association with a use which existed before the change of parking requirement, except in the case of substantial redevelopment of a site;*
- (i) the appropriateness of a financial contribution in lieu of parking towards the cost of parking facilities or other transport facilities, where such facilities exist or are planned in the vicinity;*
- (j) any verified prior payment of a financial contribution in lieu of parking for the land;*

(k) any relevant parking plan for the area adopted by Council;

(l) the impact on the historic cultural heritage significance of the site if subject to the Local Heritage Code;

(m) whether the provision of the parking would result in the loss, directly or indirectly, of one or more significant trees listed in the Significant Trees Code.

6.8.5 Referral was made to Council's Development Engineer who has provided the following assessment:

The number of on-site car parking spaces must be sufficient to meet the reasonable needs of users, having regard to all of the following:

(a) car parking demand;

- As advised by successive CoH traffic engineers the empirical parking assessment (on-street) indicates that use will operate at an adequate level of service to meet likely demands associated with the development. It is acknowledged on-street car parking capacity may become significantly reduced during peak periods however, should still offer an adequate level of service. The customers utilising the visitor accommodation and any visitors will need to compete for available car parking spaces on the public road.

There is limited survey data to indicate the percentage of persons utilising visitor accommodation dwellings that utilise vehicles as a mode of transport.

(b) the availability of on-street and public car parking in the locality;

- There is a relatively large supply of on-street parking in the surrounding road network however, it is in very high demand. Much of the available parking is in the form of time-restricted parking, with authorised residents excepted. Observations indicate that there is a pool of parking that would be available to meet the potential demands including visitors and overflow parking, particularly after normal working hours.

(c) the availability and frequency of public transport within a 400m walking distance of the site;

- **Metro Tasmania operate regular bus service (446 / 447 / 448 / 449) along Macquarie Street which is within 400 metres of the subject site.**

(d) the availability and likely use of other modes of transport;

- **The site is located a convenient walking / cycle distance from shops, services.**

(e) the availability and suitability of alternative arrangements for car parking provision;

- **Not applicable.**

(f) any reduction in car parking demand due to the sharing of car parking spaces by multiple uses, either because of variation of car parking demand over time or because of efficiencies gained from the consolidation of shared car parking spaces;

- **Not applicable.**

(g) any car parking deficiency or surplus associated with the existing use of the land;

- **Not applicable.**

(h) any credit which should be allowed for a car parking demand deemed to have been provided in association with a use which existed before the change of parking requirement, except in the case of substantial redevelopment of a site;

- **Not applicable.**

(i) the appropriateness of a financial contribution in lieu of parking towards the cost of parking facilities or other transport facilities, where such facilities exist or are planned in the vicinity;

- **Not applicable.**

(j) any verified prior payment of a financial contribution in lieu of parking for the land;

- **Not applicable.**

(k) any relevant parking plan for the area adopted by Council;

- Not applicable.

(l) the impact on the historic cultural heritage significance of the site if subject to the Local Heritage Code; and

- Not applicable.

(m) whether the provision of the parking would result in the loss, directly or indirectly, of one or more significant trees listed in the Significant Trees Code.

- No impact.

The following advice has been included on the planning permit;

Visitor accommodation is also considered to be a commercial use and also not eligible to residential parking permits.

Under the current policy for the issuing of residential parking permits, the proposed change of use to visitor accommodation would not entitle the property to a residential parking permit, or a transferrable “bed and breakfast” parking permit.

Based on the above assessment and given the submitted documentation, the parking provision may be accepted under Performance Criteria P1:E6.6.1 of the Planning Scheme. This is particularly due to the actual parking demands that will be generated by the development.

6.8.6 The proposal complies with the performance criterion.

7. Discussion

7.1 Planning approval is sought for a change of use to Visitor Accommodation, at 368 Macquarie Street, South Hobart.

- 7.2 The application was advertised and received three (3) representations. The representations raised concerns including that the change of use would not be compliant with the performance criterion under the *Planning Directive No. 6* with respect to impacts to privacy, impacts to residential amenity, and impacts to the primary residential function of the area.

All representations also raised concern about the impacts of the increasing loss of dwellings from Residential to Visitor Accommodation on housing availability to the wider community, contributing to housing stress and the loss of long term residential accommodation. Whilst such concerns have considerable social weight and highlight a growing issue in the Hobart Municipality, and Greater Hobart Region, they are not considered relevant for planning assessment, under the current State Government issued *Planning Directive No. 6* and therefore cannot be considered under the discretionary assessment.

- 7.3 It is also noted that the lodged plans included documentation granted for approval under PLN-22-72. The assessment of the proposed Visitor Accommodation Use would remain unchanged with either plans, as both floor plans will remain under 200m² GFA and remain consistent in scale and use.
- 7.4 It is also noted that the other property in the strata scheme, 370 Macquarie Street, has also applied for a change of use to visitor accommodation under PLN-22-217. That application is also before the Council for determination, with an officer recommendation for approval.
- 7.5 The proposal has been assessed against the relevant provisions of the planning scheme and is considered to perform well. A condition requiring a visitor management plan is recommended.
- 7.6 The proposal has been assessed by other Council officers, including the Council's Development Engineer. The officers have raised no objection to the proposal, subject to conditions.
- 7.7 The proposal is recommended for approval.

8. Conclusion

- 8.1 The proposed change of use to Visitor Accommodation, at 368 Macquarie Street, South Hobart satisfies the relevant provisions of the *Hobart Interim Planning Scheme 2015*, and as such is recommended for approval.

9. Recommendations

That: Pursuant to the *Hobart Interim Planning Scheme 2015*, the Council approve the application for a change of use to Visitor Accommodation, at 368 Macquarie Street, South Hobart for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

GEN

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-22-216 - 368 MACQUARIE STREET SOUTH HOBART TAS 7004 - Final Planning Documents except where modified below.

Reason for condition

To clarify the scope of the permit.

PLN 18

Prior to the commencement of the approved use, a management plan for the operation of the visitor accommodation must be submitted and approved as a Condition Endorsement, to the satisfaction of the Council's Director City Life. The management plan must include measures to limit, manage and mitigate unreasonable impacts upon the amenity of long term residents. These measures must include, but are not limited to, the following requirements:

1. **To limit, manage, and mitigate noise generated as a result of the visitor accommodation.**
2. **To limit, manage, and mitigate behaviour issues caused as a result of the visitor accommodation.**
3. **To maintain the security of the building where the visitor accommodation would be located, including managing and/or limiting access to shared areas and facilities.**
4. **To specify the maximum permitted occupancy of the visitor accommodation.**
5. **To provide a name and contact phone number of a person who will respond to any complaints regarding behaviour of guests. If the property is sold the Visitor Accommodation Management Plan (VAMP) must be updated with new contact details.**

Once approved, the management plan must be implemented prior to the

commencement of the approved use and must be maintained for as long as the visitor accommodation is in operation. The VAMP must be provided to adjacent property owners and occupiers within 14 days of being approved. If the property is sold, the updated VAMP (in accordance with 5. above) must be provided to adjacent property owners and occupiers within 10 business days of settlement.

Advice:

This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.

Reason for condition

To ensure that visitor accommodation does not cause an unreasonable loss of residential amenity.

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

NOISE REGULATIONS

Click [here](#) for information with respect to noise nuisances in residential areas.

VISITOR ACCOMMODATION

More information on visitor accommodation, including when building approval is required, can be found [here](#).

In all cases, check with your insurance company that you have adequate cover.

If you are in a bushfire prone area there may be a need to create/review the Bushfire Management Hazard Plan for your property.

If you have a spa or a pool at your property then you are required to test for

microbiological quality and chemical parameters on a monthly basis, under the *Public Health Act 1997*. If you have any questions about this then please call our Environmental Health team on 6238 2711.

If you are providing food for consumption on the property, you may require a food business registration in accordance with the *Food Act 2003*. Click [here](#) for more information, or call our Environmental Health team on 6238 2711.

Visitor accommodation is also considered to be a commercial use and also not eligible to residential parking permits. Under the current policy for the issuing of residential parking permits, the proposed change of use to visitor accommodation would not entitle the property to a residential parking permit, or a transferable "bed and breakfast" parking permit.



(Michael McClenahan)

Development Appraisal Planner

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.



(Ben Ikin)

Senior Statutory Planner

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

Date of Report: 16 May 2022

Attachment(s):

Attachment B - CPC Agenda Documents

Planning: #254796

Property

368 MACQUARIE STREET SOUTH HOBART TAS 7004

People**Applicant ***

Andrew Gelman
368 Macquarie Street
SOUTH HOBART TAS 7004
0412 289 224
368macquarie@gmail.com

Applicant *

Cora Evans
368 Macquarie Street
SOUTH HOBART TAS 7004
0416 349 581
368macquarie@gmail.com

Owner *

Andrew Gelman
368 Macquarie Street
SOUTH HOBART TAS 7004
0412 289 224
368macquarie@gmail.com

Entered By

Andrew Gelman
368 Macquarie Street
SOUTH HOBART TAS 7004
0412 289 224
368macquarie@gmail.com

Use

Visitor accomodation

Details

Have you obtained pre application advice?

 No

If YES please provide the pre application advice number eg PAE-17-xx

Are you applying for permitted visitor accommodation as defined by the State Government Visitor Accommodation Standards? Click on help information button for definition. If you are not the owner of the property you MUST include signed confirmation from the owner that they are aware of this application. *

<input checked="" type="radio"/> Yes	
Is the application for SIGNAGE ONLY? If yes, please enter \$0 in the cost of development, and you must enter the number of signs under Other Details below. *	
<input checked="" type="radio"/> No	
If this application is related to an enforcement action please enter Enforcement Number	
Details	
What is the current approved use of the land / building(s)? *	
Inner Residential	
Please provide a full description of the proposed use or development (i.e. demolition and new dwelling, swimming pool and garage) *	
Short stay accommodation for local clientele who need/want to stay close to the city. Our target market will not need regular parking, but rather be within walking distance to the city.	
Estimated cost of development *	
0.00	
Existing floor area (m2)	Proposed floor area (m2)
Site area (m2)	
Carparking on Site	
Total parking spaces	Existing parking spaces
0	0
<input checked="" type="checkbox"/> Other (no selection chosen)	
Other Details	
Does the application include signage? *	
<input checked="" type="radio"/> No	
How many signs, please enter 0 if there are none involved in this application? *	
0	
Tasmania Heritage Register	
Is this property on the Tasmanian Heritage Register?	
<input checked="" type="radio"/> Yes	
Documents	
Required Documents	
Title (Folio text and Plan and SH02_Copy of Title.pdf Schedule of Easements) *	
Plans (proposed, existing) * PLN-22-72 - 368 MACQUARIE STREET SOUTH HOBART TAS 7004 - Planning Permit Approved (Including Documents) .PDF	
Building self assessment Form permitted visitor accommodation Visitor-Accommodation-Standard-Application-Package-1-August-2018.pdf	

Office Use Only
[insert council branding and contact details]
Application no.
Date received:
Fee:
Paid:

Guidance Information

Visitor Accommodation Use in Existing Habitable Buildings Standard Application Package

The Standard Application Package has been approved by the Minister for Planning to provide a simple pathway for seeking approval for the use of existing homes or habitable buildings for Visitor Accommodation as prescribed below. It comprises an Application for Planning Permit and a building self-assessment Form.

Completed forms must be lodged with the relevant planning/permit authority.

Application for Planning Permit

The Application for Planning Permit form relates to *Planning Directive No.6 – Exemption and Standards for Visitor Accommodation in Planning Schemes*, issued by the Minister for Planning under former sections 13(1)(a) and (4) of the *Land Use Planning and Approvals Act 1993*, and effective from 1 July 2018 and as modified on 1 August 2018.

The Application for Planning Permit form applies to the change of use of an existing habitable building where it is 'Permitted' under Planning Directive No. 6, as set out below:

Planning Scheme	Requirements
Interim planning schemes	<p>Change of use to Visitor Accommodation if:</p> <ul style="list-style-type: none"> located within the General Residential Zone; Inner Residential Zone, Low Density Residential Zone, Rural Living Zone, Environmental Living Zone, or Village Zone; not located within the Battery Point Heritage Precinct (BP1); guests are accommodated within existing habitable buildings; the use occupies not more than 200m² gross floor area per lot; the use is not within a strata scheme¹ that includes another lot, as defined in section 3 of the <i>Strata Titles Act 1998</i>, that is used for Residential use; and all other requirements in the planning scheme are met that are necessary for a 'Permitted' use.
Sullivans Cove Planning Scheme 1997	<p>Change of use to Bed and Breakfast Establishment or Visitor Accommodation if:</p> <ul style="list-style-type: none"> located within Activity Area 1.0 Inner City Residential (Wapping); guests are accommodated within existing habitable buildings; the use occupies not more than 200m² floor area per lot; and all other requirements in the planning scheme are met that are necessary for a 'Permitted' use.

¹ Strata scheme is defined in section 3 of the *Strata Titles Act 1998*.

The Application for Planning Permit form does not apply if:

- the use is exempt from requiring a planning permit under Planning Directive No.6, as set out below:

Planning Scheme	Exempt Qualification	
Interim planning schemes	Visitor Accommodation use in a dwelling (including an ancillary dwelling) if...	(i) it is used by the owner or occupier as their main place of residence, and only let while the owner or occupier is on vacation or temporarily absent; or (ii) it is used by the owner or occupier as their main place of residence, and visitors are accommodated in not more than 4 bedrooms.
<i>Flinders Planning Scheme 2000</i>	Visitor Accommodation use in a House, House and Ancillary Apartment or Grouped House if...	
<i>Sullivans Cove Planning Scheme 1996</i>	Bed and Breakfast Establishment or Visitor Accommodation uses in a dwelling if...	

- the use requires a 'Discretionary' planning permit under the planning scheme. For example, a change of use to Visitor Accommodation that does meet the requirements for a 'Permitted' use under Planning Directive No. 6, or other provisions in the planning scheme apply requiring discretionary assessment, such as off-street parking, bushfire planning, heritage, or non-residential use standards in zones (e.g. external lighting requirements).

Applicants should use the standard Council planning application form.

- other uses or if any development (not otherwise exempt) is proposed, in addition to the change of use to Visitor Accommodation.

Applicants should use the standard Council planning application form.

Building self-assessment form

The building self-assessment form is mandated under the *Director's Determination – Short or Medium Term Visitor Accommodation*, issued by the Director of Building Control under section 20(1)(e) of the *Building Act 2016*, and effective from 1 July 2018.

This Determination applies only to existing dwellings or residential premises where a fee is being charged for the use of short or medium term visitor accommodation.

The building self-assessment form must be completed in the following situations where the property is used or intended to be used as visitor accommodation:

- owner occupiers of residential premises of more than four bookable rooms, or
- investment properties or shacks (not occupied by the owner) that have a gross floor area of not more than 200m² used for visitor accommodation.

The building self-assessment form requires the owner or occupier to declare that the property meets the minimum building standards with respect to an occupancy permit, plumbing, and essential building services.

The Determination and the building self-assessment form apply, irrespective of the planning requirements. The planning and building requirements are mutually exclusive. If any premises intended to be let for short-term visitor accommodation is a lot in a strata title scheme, and any other premises in that scheme are occupied as a residence by long term residents, the proponent is not permitted to use the building self-assessment process, unless the premises is located within Activity Area 1.0 Inner City Residential (Wapping) under the Sullivans Cove Planning Scheme 1997.

**APPLICATION FOR PLANNING PERMIT
CHANGE OF USE TO VISITOR ACCOMMODATION****Section 58 of *Land Use Planning and Approvals Act 1993***To: Planning Authority**The Proposal:**(Must tick one)**Interim Planning Schemes:**

Change of use to Visitor Accommodation if:

- guests are accommodated in existing habitable buildings;
- the use has a gross floor area of not more than 200m² per lot;
- the use is not within a strata scheme² that includes another lot, as defined in section 3 of the *Strata Titles Act 1998*, that is used for Residential use; and
- the land is within one of the following zones:
 - General Residential;
 - Inner Residential, excluding land within the Battery Point Heritage Precinct 1 (BP1);
 - Low Density Residential;
 - Rural Living;
 - Environmental Living;
 - Village.

**Sullivans Cove Planning Scheme 1997:**

Change of use to Bed and Breakfast Establishment or Visitor Accommodation, where guests are accommodated in existing habitable buildings and the use has a floor area of not more than 200m² per lot, and the land is within the Activity Area 1.0 Inner City Residential (Wapping).

Description:

Brief description of the proposed change of use, including whether the whole or part of the building(s) are to be used:

The change of use to Visitor Accommodation is for the whole building. The target market for the short stay accommodation are Tasmanian residents, and travellers, who need/want to stay close to the city for short durations. The building is on the main road, and shares a fence with the car park of a Hill Street Grocer. The South Hobart strip of Macquarie St is

Applicant: Who is making the application?Applicant Name:

Business /

Company Name:

Postal Address:

Phone
No:

Email address:

² Strata scheme means the complex of lots and common property (together with the system of administration and management) created on the registered strata plan.

The Land: Detail address and title particulars of the land for the proposed change of use

Street Address:

Certificate of Title Reference No.

Describe the way the land is used now:

The Owner: Owner's name and address, if land is not in applicant's ownership

(If more than one owner, all names and addresses must be provided)

Owner Name:

Business / Company Name:

Postal Address:

Phone No:

Email address:

The Applicant: Is the applicant the owner of the land?

(Must tick one)

☒

Yes - please complete Section A below.

☐

No - please complete Section B below, and if relevant Sections C and D.

Section A: Owner's Verification

I/we am/are the owner(s) of the land.

Owner(s):

Section B: Applicant's Verification

I/we, the applicant declare that the owner /each of the owners of the land have been notified of the intention to make this application.

Applicant:

Section C: If the application involves land owned or administered by a councilThe consents to the making of this permit application.

General Manager:

Section D: If the application involves land owned or administered by the Crown

The application must be signed by the Minister or relevant delegate responsible for the land and accompanied with written permission.

Declaration (to be completed for all applications)

I declare that the information I have given in this permit application to be true and correct to the best of my knowledge.

	<i>Name: [print]</i>	<i>Signed</i>	<i>Date</i>
Applicant:	ANDREW GELMAN		8/4/22

Personal Information Protection Statement

As required under the *Personal Information Protection Act 2004*

1. Personal information is managed in accordance with the *Personal Information Protection Act 2004* and may be accessed by the individual to whom it relates, on request to the relevant planning authority.
2. Information can be used for other purposes permitted by the *Local Government Act 1993* and regulations made by or under that Act, and, if necessary, may be disclosed to other public sector bodies, agents or contractors of the relevant planning authority.

Planning Application Checklist

The Planning Authority requires the following to assess this Planning Application, with all documentation provided as required by the planning authority:

- (a) Completed Planning Application Form - all relevant sections filled in and signed by land owner (if required) and applicant.
- (b) A copy of the current certificate of title for all land to which the permit sought is to relate (available from Service Tasmania or from www.thelist.tas.gov.au).
- (c) Either:
 - (i) a basic floor plan of the existing habitable building(s) to scale, including identification of the gross floor area for the proposed change of use to visitor accommodation, or
 - (ii) a signed declaration by the applicant confirming the area of the existing habitable building(s) for the proposed change of use to visitor accommodation has a gross floor area³ of not more than 200m²
- (d) Payment of the prescribed fee (up to \$250.00).

Failure to provide the required information may result in your application not being able to be accepted or processed.

³ Or floor area in the case of the Sullivans Cove Planning Scheme 1997.

BUILDING SELF-ASSESSMENT FORM**Director's Determination – Short or Medium Term Visitor Accommodation****Section 20(1)(e) of Building Act 2016**

This building self-assessment form must be completed in the following situations where the property is used or intended to be used for visitor accommodation, and a fee is being charged for such use:

- owner occupiers of residential premises of more than four bookable rooms, or
- investment properties or shacks (not occupied by the owner) that have a gross floor area of not more than 200m² per lot used for visitor accommodation.

The completed form must be lodged with the relevant Permit Authority.

If any premises intended to be let for short-term visitor accommodation is a lot in a strata title scheme, and any other premises in that scheme are occupied as a residence by long term residents, the proponent is not permitted to use the building self-assessment process, unless the premises is located within Activity Area 1.0 Inner City Residential (Wapping) under the Sullivans Cove Planning Scheme 1997.

To: Permit Authority
 Address
 Suburb/postcode

Owner / Occupier details:

(Only an owner or occupier may complete this form)

Owner / ~~Occupier~~:
 (Delete one not applicable)
 Postal Address: Phone No:

 Email address:

Address of Property used or intended to be used for Visitor Accommodation:

Street Address:

 Certificate of Title Reference No.

Owner / Occupier Declaration:

I/we, as the owner / occupier of the property, declare that the property meets the following minimum building requirements, as set out below:

Owner/~~Occupier~~: Name: [print]
 (Delete one not applicable)
 Signed: Signed
 Date: Date

Occupancy Permit:

(Must tick one)

The owner or occupier is to declare that –

- ☐ (a) if an occupancy permit has been issued, the premises is fit for occupation consistent with that permit, and the maximum number of occupants stated on the permit will not be exceeded;

OR

- ☒ (b) an occupancy permit or occupancy certificate was not required (as the premises was constructed / altered before 1994).

Plumbing:

(Must tick (a) or (b) and (c) or (d))

The owner or occupier is to declare that –

- ☒ (a) the premises is connected to a reticulated sewerage system;

OR

- ☐ (b) the premises is connected to an on-site wastewater management system that:
- is in good working order and will be maintained to perform to the same standard as it was designed; and
 - has a land application distribution area designed, installed and in good serviceable condition; and
 - the maximum number of occupants of the premises the system is designed for is not exceeded; and
 - there is a maintenance contract in place for the servicing of the system.

- ☒ (c) the premises is connected to a reticulated drinking water supply system;

OR

- ☐ (d) a private drinking water supply (including from a tank, well, dam, etc.) is provided for the premises that meets the requirements of the *Public Health Act 1997*.

Essential Building Services:

(Must tick one)

The owner or occupier is to declare that –

- ☐ (a) regarding Essential Building Services, the premises has an approved schedule of maintenance, and fire safety features are maintained in accordance with Part 7 (regulations 72 to 78) of the *Building Regulations 2016* and the Director's Maintenance of Prescribed Essential Building Services Determination;

OR

- ☒ (b) the premises is not required to have an approved essential maintenance schedule, but the following fire safety features are installed and maintained in accordance with manufacturer's instructions:
- a smoke alarm with a 10-year non-removable lithium battery, or
 - a hard wired smoke alarm (and are interconnected where there is more than one alarm fitted);
- (a) if any storey of the premises contains a bedroom –
- (i) installed in every corridor, or hallway, situated in the storey, that is associated with a bedroom; and

- (ii) if there is no corridor, or hallway, situated in the storey, that is associated with a bedroom, between that part of the premises containing the bedroom and the remainder of the premises; and
 - (b) in any other storey of the premises that does not contain a bedroom.
- If multistorey premises are let for visitor accommodation:
 - i. emergency evacuation lighting is provided; and
 - ii. exits are provided that are clearly marked and mapped for the visitor.

Michael McClenahan

From: 368 Macquarie <368macquarie@gmail.com>
Sent: Friday, 8 April 2022 6:30 PM
To: CoH Mail
Subject: Re: Application 368 Macquarie St has been submitted to Council for review

This email originated from outside of the organisation. Do not click links or open attachments unless you recognise the sender and know the content is safe.

Hi there,

I just submitted an Application for planning permit change of use to visitor accommodation form for 368 Macquarie Street, South Hobart, TAS, 7004. I believe the description of the proposed change of use text may have gotten cut off.

The full description text is:

“The change of use to Visitor Accommodation is for the whole building. The target market for the short stay accommodation are Tasmanian residents, and travellers, who need/want to stay close to the city for short durations. The building is on the main road, and shares a fence with the car park of a Hill Street Grocer. The South Hobart strip of Macquarie St is full of shops, cafes and local businesses. The centralised location of South Hobart is an attractive spot for a short stay accommodation due to its proximity to amenities, business district, hospitals, shops, cafes, transport and has ample parking on the main strip (Macquarie St) and within the surrounding area. “

Thanks so much,
 Andrew Gelman

> On 8 Apr 2022, at 6:00 pm, coh@hobartcity.com.au wrote:

>

> Thank you for your Application. Council will review the application details and advise you within 3 working days if the application has been accepted for processing or it requires modification or correction.

>

> This communication and any files transmitted with it are intended for the named addressee, are confidential in nature and may contain legally privileged information.

>

> The copying or distribution of this communication or any information it contains, by anyone other than the addressee or the person responsible for delivering this communication to the intended addressee, is prohibited.

>

> If you receive this communication in error, please advise us by reply email or telephone on +61 3 6238 2711, then delete the communication.

> You will be reimbursed for reasonable costs incurred in notifying us.

>

>

> Please consider the environment - Do you really need to print this email?

>

**RESULT OF SEARCH**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



SEARCH OF TORRENS TITLE

VOLUME 56819	FOLIO 1
EDITION 9	DATE OF ISSUE 16-Sep-2021

SEARCH DATE : 11-Feb-2022

SEARCH TIME : 03.45 PM

DESCRIPTION OF LAND

City of HOBART

Lot 1 on Strata Plan 56819 (formerly being STR2769) and a
general unit entitlement operating for all purposes of the
Strata Scheme being a 1 undivided 1/2 interest

Derived from Strata Plan 56819

Derivation : Part of 0A-2R-10Ps. Gtd. to J. Moir and Another
Prior CT 4593/70

SCHEDULE 1

M911170 TRANSFER to ANDREW GELMAN and CORA HARRIET CAPP EVANS
Registered 16-Sep-2021 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
The registered proprietor holds the lot and unit entitlement
subject to any interest noted on common property
Folio of the Register volume 56819 folio 0

BENEFITING EASEMENT: a full and free right and liberty for the
Purchasers their heirs and assigns and his and their
agents and servants and the tenants and occupiers for
the time being of the said land within described and
all and every other person or persons for the benefit
and advantage of the Purchasers their heirs and
assigns at all times hereafter by day or by night and
for all purposes with or without horses carts
carriages or waggons laden or unladen to go return
pass and repass over along and upon the right of way
shown on Diagram No. 40974

E274546 MORTGAGE to Australia and New Zealand Banking Group
Limited Registered 16-Sep-2021 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

**RESULT OF SEARCH**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



SEARCH OF TORRENS TITLE

VOLUME 56819	FOLIO 0
EDITION 3	DATE OF ISSUE 14-Oct-1999

SEARCH DATE : 11-Feb-2022

SEARCH TIME : 03.45 PM

DESCRIPTION OF LAND

City of HOBART

The Common Property for Strata Scheme 56819 (formerly being STR2769)

Derivation : Part of 0A-2R-10Ps. Gtd. to J. Moir and Another
Prior CT 4043/30SCHEDULE 1

STRATA CORPORATION NO. 56819, 368-370 MACQUARIE STREET, HOBART

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
BENEFITING EASEMENT: a full and free right and liberty for the purchasers their heirs and assigns and his and their agents and servants and the tenants and occupiers for the time being of the said land within described and all and every other person or persons for the benefit and advantage of the purchasers their heirs and assigns at all times hereafter by day or by night and for all purposes with or without horses carts carriages or waggons laden or unladen to go return pass or repass over along and upon the right of way shown on Diagram No. 40974

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



Conveyancing and Law of Property Act 1884

STRATUM PLAN

No. 2769

Sheet 1 of 3 Sheets

DIAGRAM NO. AMENDED PURSUANT TO
SECTION 139 OF THE LAND TITLES ACT 1980

City or Town HOBART

Locality SOUTH HOBART

Reference to Title CT 4043/30

Site comprises the whole portion of Lot 1 on Plan Diagram No. D.40974 in the

Lands Titles Office

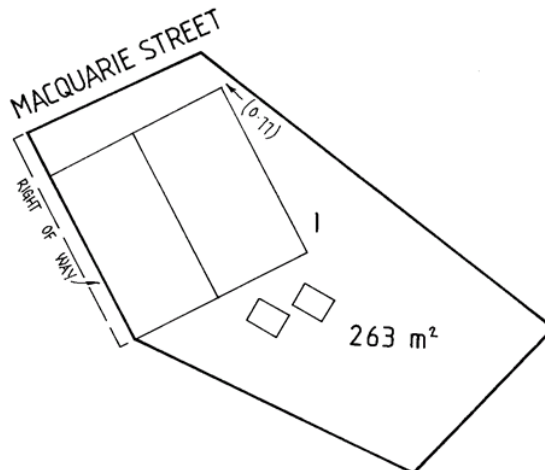
The name of the building is 368-370 MACQUARIE STREET HOBART

N SITE PLAN
↑ SCALE 1:200
MEASUREMENTS IN METRES

REGISTERED NUMBER

56819

External
surface
boundaries of
the site and
the location of
the building
in relation
thereto to
be delineated
in this space



REGISTERED this 1 day of SEPTEMBER 1981, No. 2769.

This plan is lodged for registration by

G. R. HOWES & CO.

Recorder of Titles

OS D 754

FOLIO PLAN

RECORDED OF TITLES

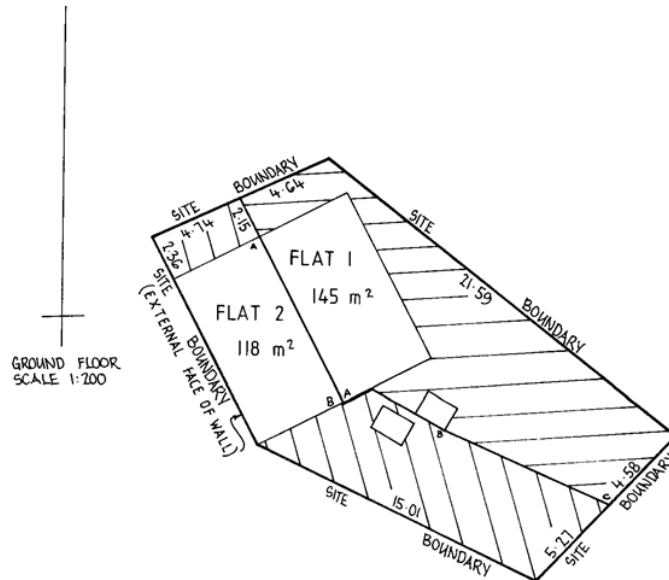
Issued Pursuant to the Land Titles Act 1980



Sheet 2 of...3.....Sheets

No.....2769

~~Town Clerk/Council Clerk~~



- THE CENTRE OF
- * ALL HORIZONTAL FLAT BOUNDARIES ARE SHOWN BY HEAVY UNBROKEN LINES.
 - * THE BOUNDARIES DESCRIBED BY MEASUREMENTS ARE OPEN AND THE OTHER BOUNDARY IS THE EXTERNAL FACE OF THE WALL. AB IS THE CENTRE OF A WALL AND BC IS A PALING FENCE.
 - * THE HATCHED PORTIONS ARE PRIVATE OPEN SPACE AND EXTEND VERTICALLY FROM GROUND LEVEL TO THE PROLONGATION OF THE RIDGE OF THE ROOF ABOVE.
 - * THE REMAINING PORTIONS OF THE FLATS EXTEND VERTICALLY FROM GROUND LEVEL TO THE RIDGE OF THE ROOF ABOVE.



FOLIO PLAN

RECORDED OF TITLES

Issued Pursuant to the Land Titles Act 1980



Sheet 3 of 3 Sheets

No. 2769.

~~Town Clerk / Council Clerk~~

The address for service of notices on the company is:—

368-370 Macquarie Street
South Hobart.
7004.

SURVEYOR'S CERTIFICATE

I, Anthony Owen Carrick
of Hobart
a surveyor registered under the *Land Surveyor's Act* 1909, hereby certify that the building erected on the site described and delineated on sheet 1 of this plan is within the external boundaries of the title stated on sheet 1.

Dated this 20th day of July 1989

Guy Lawick
Registered Surveyor

COUNCIL CLERK'S CERTIFICATE

I certify that the subdivision shown in this plan
has been approved by the HOBART
CITY Council

Dated this 11TH day of August 1989

~~Town Clerk/Council Clerk~~

FOR OFFICE USE ONLY

[illegible]

Hobart Interim Planning Scheme 2015

Land Use Planning and Approvals Act 1993

Planning Permit

APPLICATION NO	PLN-22-72
ADDRESS	368 MACQUARIE STREET, SOUTH HOBART
PROPOSAL	PARTIAL DEMOLITION, ALTERATIONS AND EXTENSION
PERMIT DATE	7 April 2022

The following conditions and restrictions apply to this permit:

The use/development of the land for the purpose of Partial Demolition, Alterations and Extension subject to the following conditions and restrictions.

GEN

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-22-72 - 368 MACQUARIE STREET SOUTH HOBART TAS 7004 - Final Planning Documents except where modified below.

Reason for condition

To clarify the scope of the permit.

TW

The use and/or development must comply with the requirements of TasWater as detailed in the form Submission to Planning Authority Notice, Reference No. TWDA 2022/00227-HCC dated 02/03/2022 as attached to the permit.

Reason for condition

To clarify the scope of the permit.

THC

The use and/or development must comply with the requirements of the Tasmanian Heritage Council as detailed in the Notice of Heritage Decision, THC Works Ref: 6829 dated 01 April 2022, as attached to the permit.

Reason for condition

To clarify the scope of the permit.

ENG sw1

All stormwater from the proposed development (including but not limited to: roofed areas, ag drains, retaining wall ag drains and impervious surfaces such as driveways and paved areas) must be drained to the Council's stormwater infrastructure prior to first occupation or commencement of use (whichever occurs first).

Advice:

Under section 23 of the Urban Drainage Act 2013 it is an offence for a property owner to direct stormwater onto a neighbouring property.

Reason for condition

To ensure that stormwater from the site will be discharged to a suitable Council approved outlet.

ENG 1

Any damage to council infrastructure resulting from the implementation of this permit, must, at the discretion of the Council:

1. **Be met by the owner by way of reimbursement (cost of repair and reinstatement to be paid by the owner to the Council); or**
2. **Be repaired and reinstated by the owner to the satisfaction of the Council.**

A photographic record of the Council's infrastructure adjacent to the subject site must be provided to the Council prior to any commencement of works.

A photographic record of the Council's infrastructure (e.g. existing property service connection points, roads, buildings, stormwater, footpaths, driveway crossovers and nature strips, including if any, pre-existing damage) will be relied upon to establish the extent of damage caused to the Council's infrastructure during construction. In the event that the owner/developer fails to provide to the Council a photographic record of the Council's infrastructure, then any damage to the Council's infrastructure found on completion of works will be deemed to be the responsibility of the owner.

Reason for condition

To ensure that any of the Council's infrastructure and/or site-related service connections affected by the proposal will be altered and/or reinstated at the owner's full cost.

ENV 1

Sediment and erosion control measures sufficient to prevent sediment from leaving the site must be installed prior to any disturbance of the site, and maintained until all areas of disturbance have been stabilized or re-vegetated.

Advice:

For further guidance in preparing a Soil and Water Management Plan – in accordance with Fact sheet 3 Derwent Estuary Program click [here](#).

Reason for condition

To avoid the sedimentation of roads, drains, natural watercourses, Council land that could be caused by erosion and runoff from the development, and to comply with relevant State legislation.

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

BUILDING PERMIT

You may need building approval in accordance with the *Building Act 2016*. Click [here](#) for more information.

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

PLUMBING PERMIT

You may need plumbing approval in accordance with the *Building Act 2016*, *Building Regulations 2016* and the National Construction Code. Click [here](#) for more information.

GENERAL EXEMPTION (TEMPORARY) PARKING PERMITS

You may qualify for a General Exemption permit for construction vehicles i.e. residential or meter parking/loading zones. Click [here](#) for more information.

STORMWATER

Please note that in addition to a building and/or plumbing permit, development must be in accordance with the Hobart City Council's Infrastructure By law. Click [here](#) for more information.

WORK PLACE HEALTH AND SAFETY

Appropriate occupational health and safety measures must be employed during the works to minimise direct human exposure to potentially-contaminated soil, water, dust and vapours. Click [here](#) for more information.

NOISE REGULATIONS

Click [here](#) for information with respect to noise nuisances in residential areas.

WASTE DISPOSAL

It is recommended that the developer liaise with the Council's Cleansing and Solid Waste Unit regarding reducing, reusing and recycling materials associated with demolition on the site to minimise solid waste being directed to landfill.

Further information regarding waste disposal can also be found on the Council's [website](#).

FEES AND CHARGES

Click [here](#) for information on the Council's fees and charges.

DIAL BEFORE YOU DIG

Click [here](#) for dial before you dig information.

7 April 2022

Approved Date



Senior Statutory Planner

IMPORTANT INFORMATION ABOUT THE ATTACHED PERMIT

WHAT HAS BEEN DECIDED?

The Council has granted a permit subject to conditions.

WHEN DOES A PERMIT TAKE EFFECT?

The permit takes effect:

- If there is a right of appeal against the granting of a permit, 14 days from the day on which notice of the granting of the permit was served on the person who has a right appeal.
- Where an appeal has been made against the Council's decision to grant a permit, the determination or abandonment of the appeal.
- Where any other approvals are required under the *Land Use Planning and Approvals Act 1993* or any other Act, when all those approvals have been granted.

WHEN DOES A PERMIT LAPSE?

A permit lapses 2 years from the date on which it was granted if the use or development is not substantially commenced. An application can be made to extend the planning permit for a further 4 years. Such application must be made every 2 years up to 6 months following the expiry date.

WHAT ABOUT APPEALS?

An applicant for a permit may appeal against Council's decision to grant a permit. An appeal must be made within 14 days after the day on which notice of Council's decision was served on them.

Any person who has made a valid representation may appeal against the grant of a permit. Any appeal must be made within 14 days after the day on which notice of the granting of the permit was served on them.

An appeal may only be lodged with the Tasmanian Civil and Administrative Tribunal. Please note that the Tribunal will not directly notify representors if an appeal is lodged by an applicant. You may either look for the notice of appeal, which will be published in *The Mercury*; or contact the Tribunal directly.

Details about appeals and the fees payable can be obtained from the Tribunal.

The Tribunal's contact details are as follows:

Telephone No: 1800 657 500

Postal Address:

GPO Box 1311
HOBART 7001

Street Address:

38 Barrack Street
HOBART

Web page: www.tascat.tas.gov.au

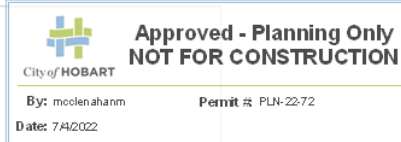
Email address:

resourceplanning@tascat.tas.gov.au

Planning: #250586

Property

368 MACQUARIE STREET SOUTH HOBART TAS 7004

**People****Applicant ***

Perversi-Brooks Architects
Sam Perversi-Brooks
105
Glen Huon Road
HUONVILLE TAS 7109
0421850818
perversibrooks@gmail.com

Owner *

Andrew Gelman
1/60
Wheatley Road
McKinnon Victoria 3204
0412289224
gelman.andy@gmail.com

Owner *

Cora Evans
1/60
Wheatley Road
McKinnon Victoria 3204
0416349581
coraharriet@gmail.com

Entered By

SAM PERVERSI-BROOKS
0421 850 818
perversibrooks@gmail.com

Use

Single dwelling

Details

Have you obtained pre application advice?

☒ Yes

If YES please provide the pre application advice number eg PAE-17-xx


Informally sought advice from Sarah Waight - Heritage CoH & Deirdre MacDonald - Heritage Tasmania. (No PAE reference)

Are you applying for permitted visitor accommodation as defined by the State Government Visitor Accommodation Standards? Click on help information button for definition. If you are not the owner of the property you MUST

include signed confirmation from the owner that they are aware of this application. *

☐ No

Is the application for SIGNAGE ONLY? If yes, please enter \$0 in the cost of development, and number of signs under Other Details below. *

☐ No

 City of HOBART
 By: moolenaham
 Date: 7/12/2022
Approved - Planning Only
NOT FOR CONSTRUCTION

Permit #: PLN-22-72

If this application is related to an enforcement action please enter Enforcement Number

Details

What is the current approved use of the land / building(s)? *

Single residence

Please provide a full description of the proposed use or development (i.e. demolition and new dwelling, swimming pool and garage) *

Partial demolition, alterations and additions, ground floor extension to the rear of the existing dwelling

Estimated cost of development *

175000.00

Existing floor area (m2)

66.52

Proposed floor area (m2)

77.58

Site area (m2)

145

Carparking on Site

Total parking spaces

0

Existing parking spaces

0

N/A

☒ Other (no selection chosen)

Other Details

Does the application include signage? *

☐ No

How many signs, please enter 0 if there are none involved in this application? *

0

Tasmania Heritage Register

Is this property on the Tasmanian Heritage Register?

☐ Yes

Documents


Required Documents

Title (Folio text and Plan and SH02_Development Application_Copy of Title_368 Macquarie Stree South
Schedule of Easements) * Hobart.pdfPlans (proposed, existing) * SH02_Development Application_Existing & Proposed Drawings_368 Macquarie
Street South Hobart.pdfCovering Letter SH02_Development Application_Cover Letter_368 Macquarie Stree South
Hobart.pdf

Supporting Documents

Photos or Montages SH02_Development Application_Photos & Montages_368 Macquarie Street South

	Hobart.pdf	
Planning Report	SH02-Development Application_Report_368 Macquarie Street South Hobart_REV 1.pdf	
Shadow Diagrams	SH02_Development Application_Shadow Diagrams_368 Macquarie Street South Hobart.pdf	
Land Survey	SH02_Development Application_Land Survey_368 Macquarie Street South Hobart.pdf	



Approved - Planning Only
NOT FOR CONSTRUCTION

By: moolenaham
Date: 7/12/2022

Permit #: PLN-22-72

**RESULT OF SEARCH**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



City of HOBART		Approved - Planning Only NOT FOR CONSTRUCTION	
By: moolenaham Date: 7/12/2022	Permit # PLN: 2272	VOLUME 56819	FOLIO 1
EDITION 9		DATE OF ISSUE 16-Sep-2021	

SEARCH DATE : 11-Feb-2022

SEARCH TIME : 03.45 PM

DESCRIPTION OF LAND

City of HOBART

Lot 1 on Strata Plan 56819 (formerly being STR2769) and a general unit entitlement operating for all purposes of the Strata Scheme being a 1 undivided 1/2 interest

Derived from Strata Plan 56819

Derivation : Part of 0A-2R-10Ps. Gtd. to J. Moir and Another
Prior CT 4593/70

SCHEDULE 1

M911170 TRANSFER to ANDREW GELMAN and CORA HARRIET CAPP EVANS
Registered 16-Sep-2021 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
The registered proprietor holds the lot and unit entitlement
subject to any interest noted on common property
Folio of the Register volume 56819 folio 0

BENEFITING EASEMENT: a full and free right and liberty for the Purchasers their heirs and assigns and his and their agents and servants and the tenants and occupiers for the time being of the said land within described and all and every other person or persons for the benefit and advantage of the Purchasers their heirs and assigns at all times hereafter by day or by night and for all purposes with or without horses carts carriages or waggons laden or unladen to go return pass and repass over along and upon the right of way shown on Diagram No. 40974

E274546 MORTGAGE to Australia and New Zealand Banking Group Limited Registered 16-Sep-2021 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

**RESULT OF SEARCH**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



City of HOBART		Approved - Planning Only NOT FOR CONSTRUCTION	
By: moolenaham	Permit # PLN:2272	VOLUME	FOLIO
Date: 7/12/2022		56819	0
		EDITION	DATE OF ISSUE
		3	14-Oct-1999

SEARCH DATE : 11-Feb-2022

SEARCH TIME : 03.45 PM

DESCRIPTION OF LAND

City of HOBART

The Common Property for Strata Scheme 56819 (formerly being STR2769)

Derivation : Part of 0A-2R-10Ps. Gtd. to J. Moir and Another
Prior CT 4043/30SCHEDULE 1

STRATA CORPORATION NO. 56819, 368-370 MACQUARIE STREET, HOBART

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

BENEFITING EASEMENT: a full and free right and liberty for the purchasers their heirs and assigns and his and their agents and servants and the tenants and occupiers for the time being of the said land within described and all and every other person or persons for the benefit and advantage of the purchasers their heirs and assigns at all times hereafter by day or by night and for all purposes with or without horses carts carriages or waggons laden or unladen to go return pass or repass over along and upon the right of way shown on Diagram No. 40974

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



Conveyancing and Law of Property

STRATUM PLAN

City of HOBART	Approved - Planning Only NOT FOR CONSTRUCTION
By: mclennan	Permit #: PLN-2272
Date: 7/8/2022	No. 2769

Sheet 1 of 3 Sheets

DIAGRAM NO. AMENDED PURSUANT TO
SECTION 139 OF THE LAND TITLES ACT 1980

City or Town HOBART

Locality SOUTH HOBART

Reference to Title CT 4043/30

Site comprises the whole portion of Lot 1 on Plan Diagram No. D.40974 in the

Lands Titles Office

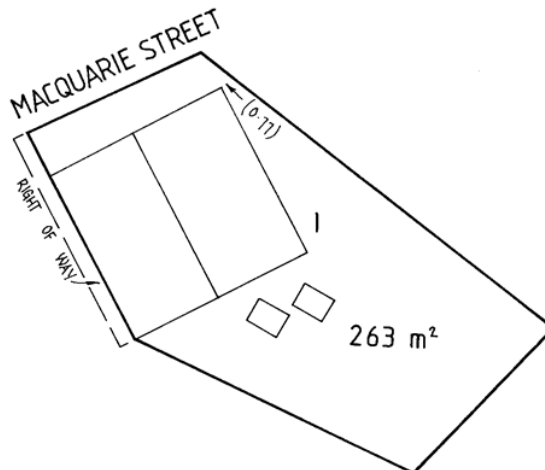
The name of the building is 368-370 MACQUARIE STREET HOBART

N SITE PLAN
↑ SCALE 1:100
MEASUREMENTS IN METRES

REGISTERED NUMBER

56819

External
surface
boundaries of
the site and
the location of
the building
in relation
thereto to
be delineated
in this space



REGISTERED this 1 day of SEPTEMBER 1981, No. 2769.

This plan is lodged for registration by

G. R. HOWES & CO.

Recorder of Titles

OS D 754



FOLIO PLAN

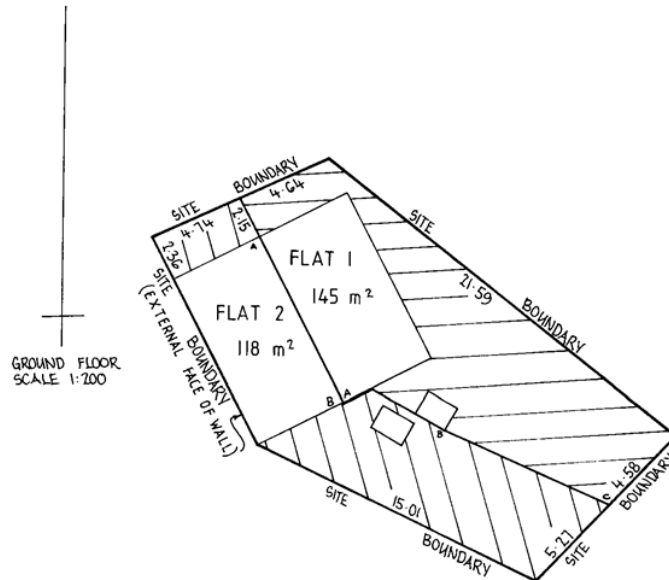
RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



Sheet 2 of 3 Sheets

[Signature]
Town Clerk/Council Clerk



- * ALL HORIZONTAL FLAT BOUNDARIES ARE SHOWN BY HEAVY UNBROKEN LINES.
- * THE BOUNDARIES DESCRIBED BY MEASUREMENTS ARE OPEN AND THE OTHER BOUNDARY IS THE EXTERNAL FACE OF THE WALL. AB IS THE CENTRE OF A WALL AND BC IS A PALING FENCE.
- * THE HATCHED PORTIONS ARE PRIVATE OPEN SPACE AND EXTEND VERTICALLY FROM GROUND LEVEL TO THE PROLONGATION OF THE RIDGE OF THE ROOF ABOVE.
- * THE REMAINING PORTIONS OF THE FLATS EXTEND VERTICALLY FROM GROUND LEVEL TO THE RIDGE OF THE ROOF ABOVE.



ALTERATIONS & ADDITIONS - 368 MACQUARIE STREET, SOUTH HOBART, TAS. 7004



DEVELOPMENT APPLICATION - Sheet List					
Drg Prefix SH	Sheet Number	Sheet Name	Current Revision	Current Revision Description	Current Revision Date
DA	00	COVER SHEET & DRAWING REGISTER	1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022
DA	01	SITE ANALYSIS PLAN	1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022
DA	02	SITE ANALYSIS PHOTOS - SHEET 1	1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022
DA	03	SITE ANALYSIS PHOTOS - SHEET 2	1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022
DA	04	DESIGN RESPONSE PLAN	1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022
DA	05	EXISTING/DEMOLITION SITE PLAN	1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022
DA	06	EXISTING/DEMOLITION FLOOR PLANS	1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022
DA	07	EXISTING/DEMOLITION ELEVATIONS	1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022
DA	08	PROPOSED SITE PLAN	1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022
DA	09	PROPOSED FLOOR PLANS	1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022
DA	10	PROPOSED ROOF PLAN	1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022
DA	11	PROPOSED NORTH & EAST ELEVATIONS	1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022
DA	12	PROPOSED SOUTH & WEST ELEVATIONS	1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022
DA	13	PROPOSED SECTIONS	1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022
DA	14	SHADOW DIAGRAM - JUNE 21, 9am	1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022
DA	15	SHADOW DIAGRAM - JUNE 21, 12m	1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022
DA	16	SHADOW DIAGRAM - JUNE 21, 3pm	1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022
DA	17	MATERIALS SCHEDULE	1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022
DA	18	EXTERNAL MONTAGES - SHEET 1	1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022
DA	19	EXTERNAL MONTAGES - SHEET 2	1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022
DA	20	EXTERNAL MONTAGES - SHEET 3	1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022
DA	21	EXTERNAL MONTAGES - SHEET 4	1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022
DA	22	ADDITIONAL EXTERNAL VIEWS - SHEET 1	1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022
DA	23	ADDITIONAL EXTERNAL VIEWS - SHEET 2	1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022
DA	24	ADDITIONAL EXTERNAL VIEWS - SHEET 3	1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022
DA	25	ADDITIONAL EXTERNAL VIEWS - SHEET 4	1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022

Grand total: 25



ARTIST IMPRESSION - VIEW FROM BACKYARD TOWARD PROPOSED ADDITION (FOR INFORMATION ONLY)



ARTIST IMPRESSION - ELEVATIONAL VIEW FROM EAST (FOR INFORMATION ONLY)

Copyright © PERVERSI-BROOKS ARCHITECTS

PERVERSI-BROOKS ARCHITECTS does not guarantee, warrant or represent that the information in this document is correct - layout may not comply with building regulations or other regulatory requirements - relevant independent advice should be sought by any interested parties before acting.

PERVERSI-BROOKS ARCHITECTS excludes all liability for loss and damage arising therefrom. This drawing / document may not be copied, duplicated, amended, referenced and used in part or whole without the explicit written permission from the author.

ALL DIMENSIONS ARE IN MILLIMETERS. DO NOT SCALE DRAWINGS FOR CRITICAL DIMENSIONS. CHECK DRAWING IS TO SCALE BY MEASURING SCALE BAR BELOW. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK, SHOP DRAWINGS OR ORDERING MATERIALS.

0 10 20 30 40 50

REV	DETAILS	DATE
1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022



PERVERSI-BROOKS ARCHITECTS
 STUDIO: 105 Glen Hugen Road, Huonville, TAS. 7109
 PHONE: +61 (0) 421 850 818
 EMAIL: sam@perversi-brooks.com
 WEB: www.perversi-brooks.com

PROJECT SOUTH HOBART HOUSE

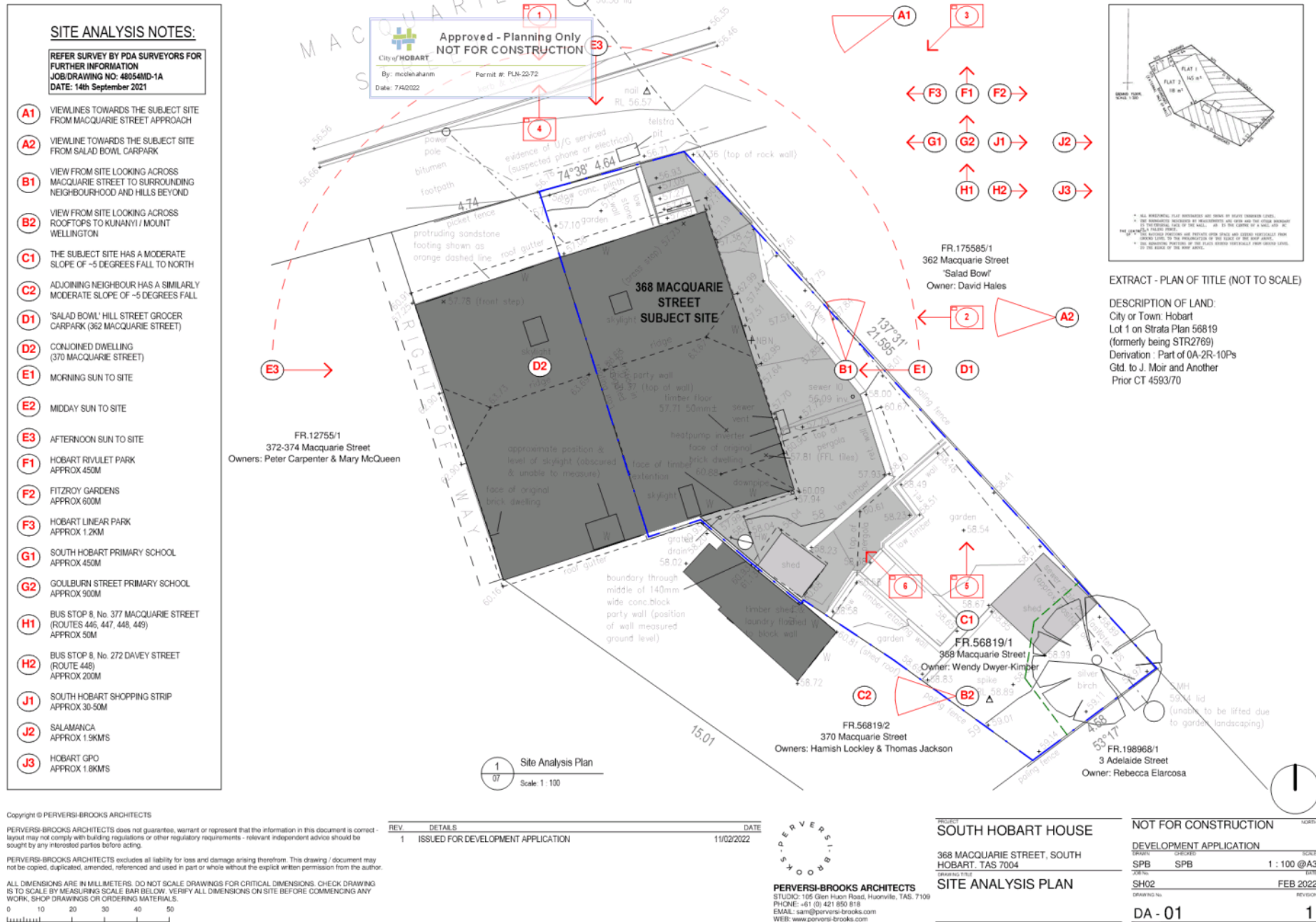
368 MACQUARIE STREET, SOUTH
HOBART, TAS 7004DRAWING TITLE
**COVER SHEET & DRAWING
REGISTER**

NOT FOR CONSTRUCTION

DEVELOPMENT APPLICATION

PROJECT SHEET
SPB SPB @A3
JOB NO. DATESH02 FEB 2022
DRAWING NO. REVISION

DA - 00 1





Copyright © PERVERSI-BROOKS ARCHITECTS

PERVERSI-BROOKS ARCHITECTS does not guarantee, warrant or represent that the information in this document is correct - layout may not comply with building regulations or other regulatory requirements - relevant independent advice should be sought by any interested parties before acting.

PERVERSI-BROOKS ARCHITECTS excludes all liability for loss and damage arising therefrom. This drawing / document may not be copied, duplicated, amended, referenced and used in part or whole without the explicit written permission from the author.

ALL DIMENSIONS ARE IN MILLIMETERS. DO NOT SCALE DRAWINGS FOR CRITICAL DIMENSIONS. CHECK DRAWING IS TO SCALE BY MEASURING SCALE BAR BELOW. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK, SHOP DRAWINGS OR ORDERING MATERIALS.

0 10 20 30 40 50

REV	DETAILS	DATE
1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022

PERVERSI-BROOKS ARCHITECTS

STUDIO: 105 Glen Hugen Road, Huonville, TAS. 7109

PHONE: +61 (0) 421 850 818

EMAIL: sam@perverse-brooks.com

WEB: www.perverse-brooks.com

SOUTH HOBART HOUSE

368 MACQUARIE STREET, SOUTH HOBART, TAS 7004

SITE ANALYSIS PHOTOS - SHEET 1

NOT FOR CONSTRUCTION		SCALE
DEVELOPMENT APPLICATION		
SPB	SPB	@A3
SH02		FEB 2022
DA - 02		1



Copyright © PERVERSI-BROOKS ARCHITECTS

PERVERSI-BROOKS ARCHITECTS does not guarantee, warrant or represent that the information in this document is correct - layout may not comply with building regulations or other regulatory requirements - relevant independent advice should be sought by any interested parties before acting.

PERVERSI-BROOKS ARCHITECTS excludes all liability for loss and damage arising therefrom. This drawing / document may not be copied, duplicated, amended, referenced and used in part or whole without the explicit written permission from the author.

ALL DIMENSIONS ARE IN MILLIMETERS. DO NOT SCALE DRAWINGS FOR CRITICAL DIMENSIONS. CHECK DRAWING IS TO SCALE BY MEASURING SCALE BAR BELOW. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK, SHOP DRAWINGS OR ORDERING MATERIALS.

0 10 20 30 40 50

REV	DETAILS	DATE
1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022

PERVERSI-BROOKS ARCHITECTS

STUDIO: 105 Glen Hugen Road, Huonville, TAS. 7109
PHONE: +61 (0) 421 850 818
EMAIL: sam@perversi-brooks.com
WEB: www.perversi-brooks.com

SOUTH HOBART HOUSE

368 MACQUARIE STREET, SOUTH
HOBART, TAS 7004

DRAWING TITLE: **SITE ANALYSIS PHOTOS - SHEET 2**

NOT FOR CONSTRUCTION		NORTH
DEVELOPMENT APPLICATION		
DESIGNER	CLIENT	SOURCE
SPB	SPB	@A3
JOB NO		DATE
SH02		FEB 2022
DRAWING NO		REVISION
DA - 03		1

DESIGN RESPONSE NOTES:

REFER SURVEY BY PDA SURVEYORS FOR FURTHER INFORMATION
JOB/DRAWING NO: 48054MD-1A
DATE: 14th September 2021

- A1** VIEWLINES TOWARDS THE SUBJECT SITE FROM MACQUARIE STREET APPROACH
- A2** VIEWLINE TOWARDS THE SUBJECT SITE FROM SALAD BOWL CARPARK
- B** PROPOSED ADDITION HAS A HYBRID SKILLION-GABLE ROOF FORM. THE ROOF PITCH MATCHES THE EXISTING HIPPED GABLE ROOF OF THE HERITAGE DWELLING
- C** PROPOSED ADDITION TO MAKE USE OF EXISTING SITE CUT (MAX SITE CUT OF 0.75M PROPOSED ADJACENT HWS)
- D** ORIENTATE P.O.S. AND DINING/KITCHEN AREAS WITH TO MAXIMISE DAYLIGHT AND VIEWS TOWARDS THE NORTH & EAST ACROSS SURROUNDING NEIGHBOURHOOD & TO DISTANT HILLSIDE VIEWS
- E** PROPOSED SOLID WALL ADJACENT EXISTING CONCRETE BLOCK WALL ON WESTERN PROPERTY BOUNDARY FOR FIRE SEPARATION
- F** SOLID WALL TO THE SOUTH FACADE FOR INCREASED PRIVACY TO THE ADJOINING PROPERTIES AS WELL AS MAXIMISING THERMAL PERFORMANCE
- G** PROPOSED ADDITION HAS NO WINDOWS WITHIN PROXIMITY OF ADJACENT NEIGHBOURING DWELLINGS' P.O.S. TO AVOID OVERLOOKING
- H** LARGE NORTH-EAST FACING OPERABLE DOORS & FIXED HIGHLIGHT WINDOWS FOR NATURAL LIGHT & ACCESS TO TERRACE
- J** PRIVATE OPEN SPACE ~40m² (MIN. 24m² WITH MIN. 4m WIDTH)
- K** PROPOSED TERRACE TO KITCHEN/DINING AREAS 6.48m²
- L** MAXIMUM BUILDING HEIGHT OF ~6.25m TO RIDGE REMAINS UNCHANGED. THIS IS UNDER THE 9.5m HEIGHT LIMIT SPECIFIED IN THE ZONE
- M** APEX/RIDGE HEIGHT OF PROPOSED EXTENSION IS ~3.87m ABOVE N.G.L.
- N** LOWER LINK SECTION OF ROOF WITHIN FOOTPRINT OF EXISTING REAR VERANDAH
- P** FRONT SETBACK REMAINS UNCHANGED
- Q** EXISTING HERITAGE WINDOWS ARE TO BE REPLACED BY PERIOD REPLICA TIMBER FRAMED WINDOWS FOR BETTER ACOUSTIC & THERMAL PERFORMANCE
- R** NO WORKS TO EXISTING HERITAGE FRONT OR SIDE FACADE



SITE INFORMATION:	
LAND TITLE REFERENCE:	LOT 1 ON STRATA PLAN 56819
ZONING:	ZONE 11.0 - INNER RESIDENTIAL
CODE/S:	ET3.0 - HERITAGE AREA/PRECINCT HOB-05 2.10.2 HERITAGE PRECINCT TAS HERITAGE REGISTER ID No. 3160
HERITAGE:	
SOIL CATEGORY:	TBC
CLIMATE ZONE:	7
WIND CLASSIFICATION:	TBC

DEVELOPMENT SUMMARY:	
SITE AREA:	145m ²
EXISTING GROUND FLOOR HOUSE AREA:	42.25m ²
EXISTING FIRST FLOOR HOUSE AREA:	22.10m ²
DEMOLISHED GROUND FLOOR AREA:	-6.72m ²
PROPOSED NEW GROUND FLOOR AREA:	19.95m ²
TOTAL COMBINED GROUND FLOOR AREA:	55.48m² (EXISTING+NEW)
PROPOSED FIRST FLOOR HOUSE AREA:	22.10m² (NO CHANGE)
<hr/>	
EXISTING SHED (LAUNDRY) AREA:	2.175m ²
DEMOLISHED SHED (LAUNDRY) AREA:	-2.175m ²
EXISTING PAVED NON-PERMEABLE AREA:	38.13m ²
DEMOLISHED PAVED NON-PERMEABLE AREA:	-36.99m ²
PROPOSED TERRACE IMPERMEABLE AREA:	6.48m ²
TOTAL COMBINED IMPERMEABLE AREA (INCLUDING HOUSE):	63.1m²
TOTAL PERMEABLE AREA:	81.90m² (56.48%)

REFER ATTACHED SURVEY FOR FURTHER DETAILS

Copyright © PERVERSI-BROOKS ARCHITECTS

PERVERSI-BROOKS ARCHITECTS does not guarantee, warrant or represent that the information in this document is correct - layout may not comply with building regulations or other regulatory requirements - relevant independent advice should be sought by any interested parties before acting.

PERVERSI-BROOKS ARCHITECTS excludes all liability for loss and damage arising therefrom. This drawing / document may not be copied, duplicated, amended, referenced and used in part or whole without the explicit written permission from the author.

ALL DIMENSIONS ARE IN MILLIMETERS. DO NOT SCALE DRAWINGS FOR CRITICAL DIMENSIONS. CHECK DRAWING IS TO SCALE BY MEASURING SCALE BAR BELOW. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK. SHOP DRAWINGS OR ORDERING MATERIALS.

0 10 20 30 40 50

REV	DETAILS	DATE
1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022



PERVERSI-BROOKS ARCHITECTS
 STUDIO: 105 Glen Hagan Road, Moorville, TAS. 7109
 PHONE: +61 (0) 421 850 818
 EMAIL: sam@perversi-brooks.com
 WEB: www.perversi-brooks.com

SOUTH HOBART HOUSE

368 MACQUARIE STREET, SOUTH
 HOBART, TAS 7004

DESIGN RESPONSE PLAN**NOT FOR CONSTRUCTION****DEVELOPMENT APPLICATION**

SPB SPB 1 : 100 @A3

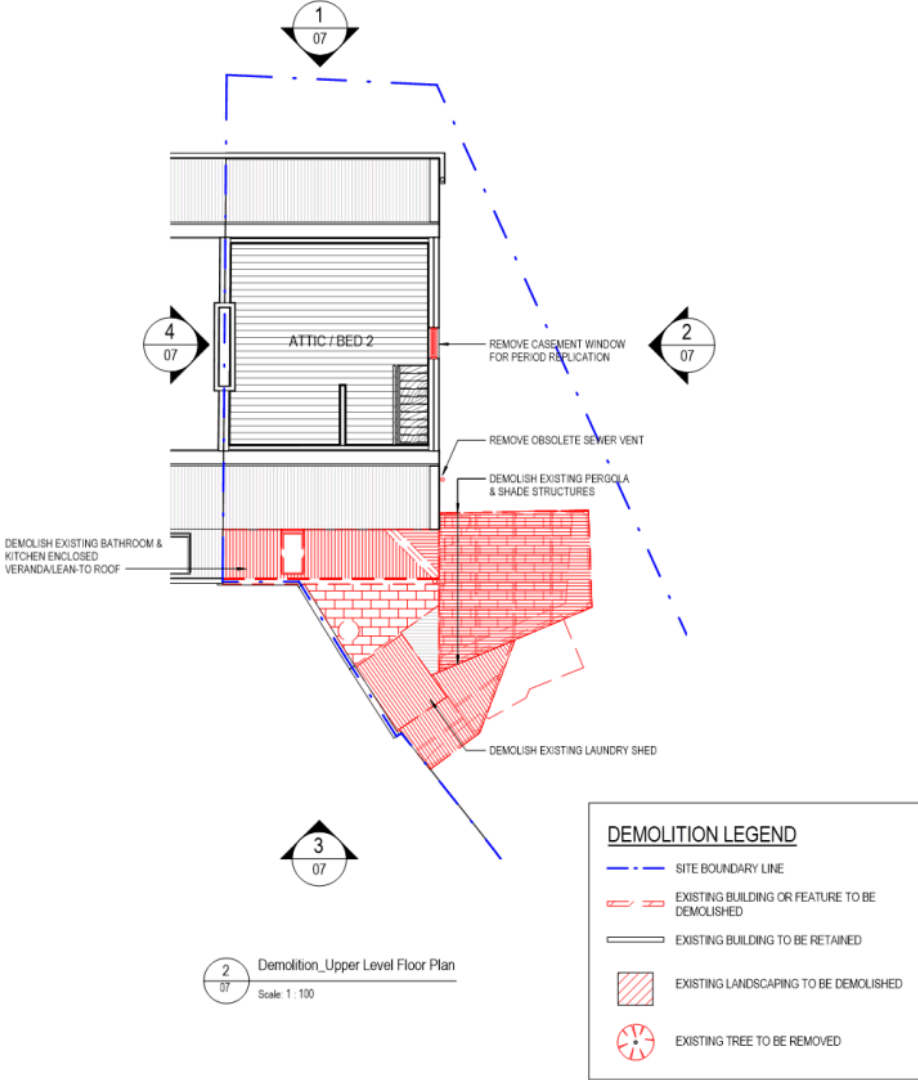
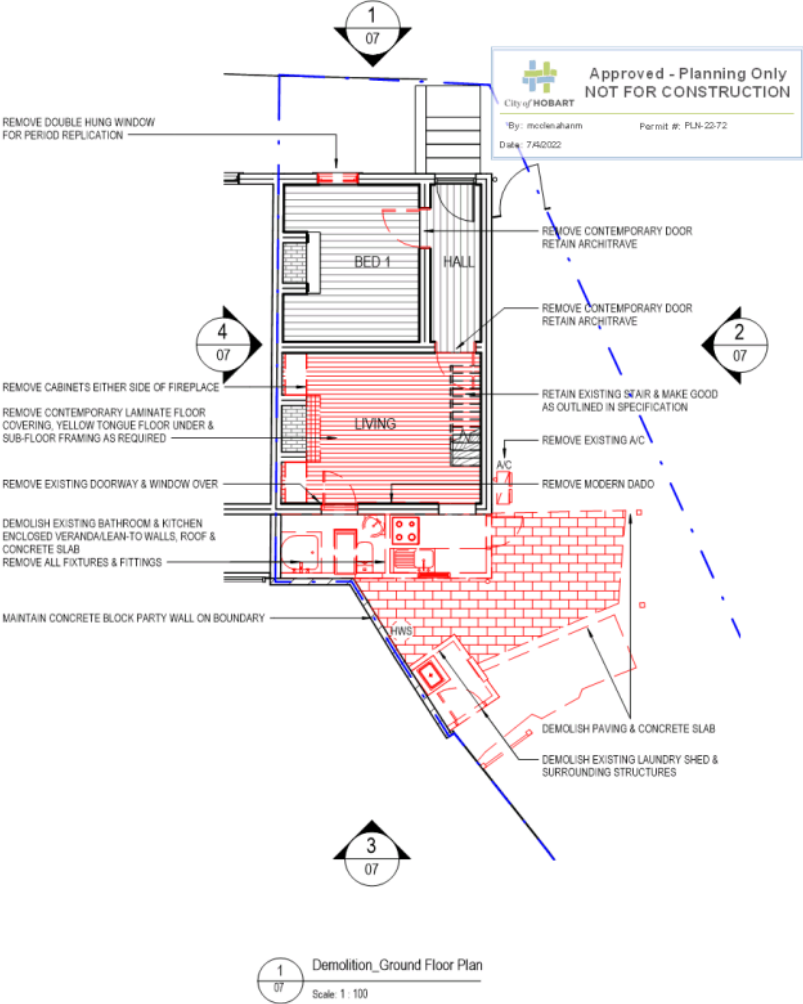
SH02 FEB 2022

DRAWING NO. REVISION

DA - 04

1

DA - 05



Copyright © PERVERSI-BROOKS ARCHITECTS

PERVERSI-BROOKS ARCHITECTS does not guarantee, warrant or represent that the information in this document is correct - layout may not comply with building regulations or other regulatory requirements - relevant independent advice should be sought by any interested parties before acting.

PERVERSI-BROOKS ARCHITECTS excludes all liability for loss and damage arising therefrom. This drawing / document may not be copied, duplicated, amended, referenced and used in part or whole without the explicit written permission from the author.

ALL DIMENSIONS ARE IN MILLIMETERS. DO NOT SCALE DRAWINGS FOR CRITICAL DIMENSIONS. CHECK DRAWING IS TO SCALE BY MEASURING SCALE BAR BELOW. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK, SHOP DRAWINGS OR ORDERING MATERIALS.

0 10 20 30 40 50

REV	DETAILS	DATE
1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022



PERVERSI-BROOKS ARCHITECTS
STUDIO: 105 Glen Hagan Road, Moorville, TAS. 7109
PHONE: +61 (0) 421 850 818
EMAIL: sam@perversi-brooks.com
WEB: www.perversi-brooks.com

SOUTH HOBART HOUSE

368 MACQUARIE STREET, SOUTH
HOBART, TAS 7004

EXISTING/DEMOLITION
FLOOR PLANS

NOT FOR CONSTRUCTION

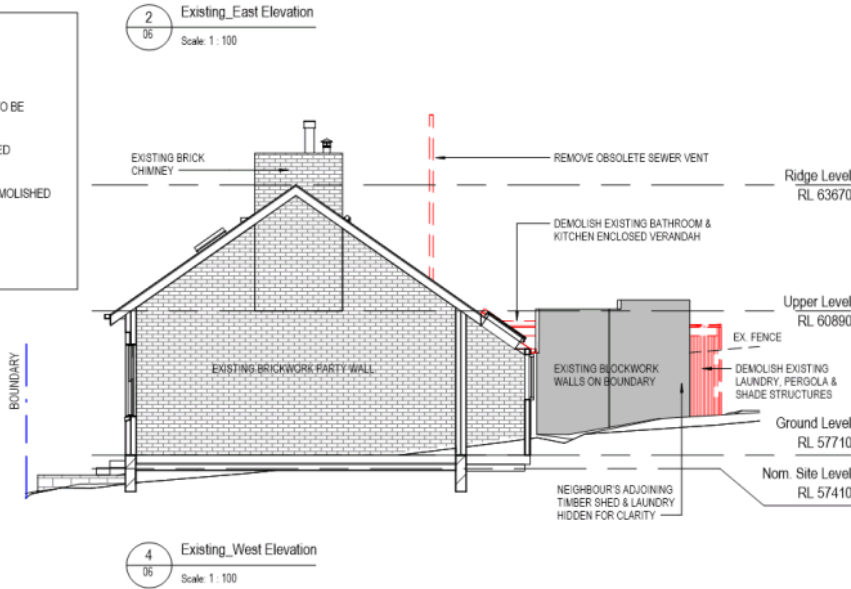
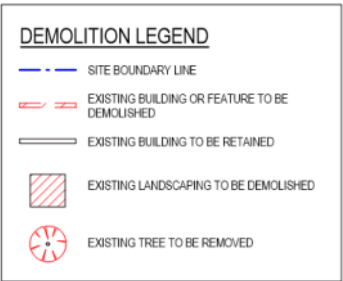
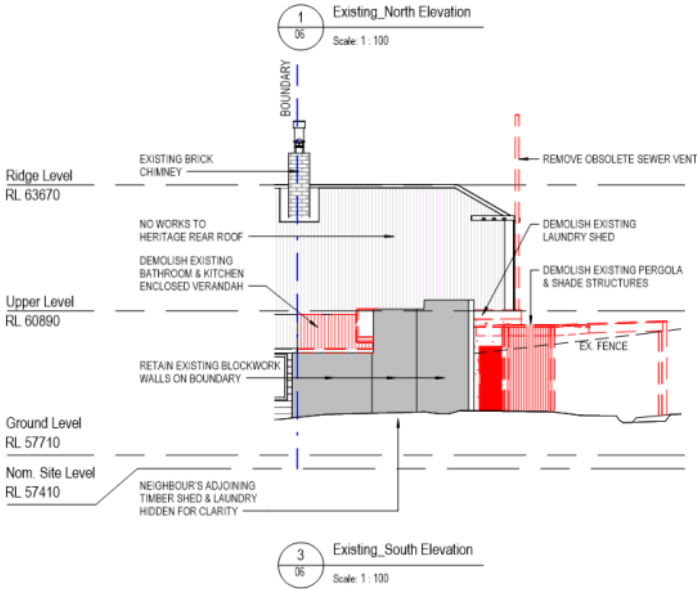
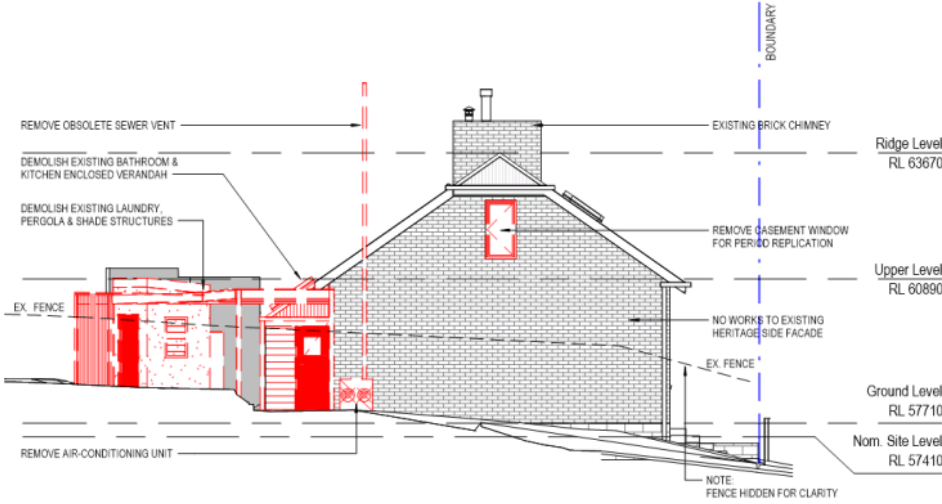
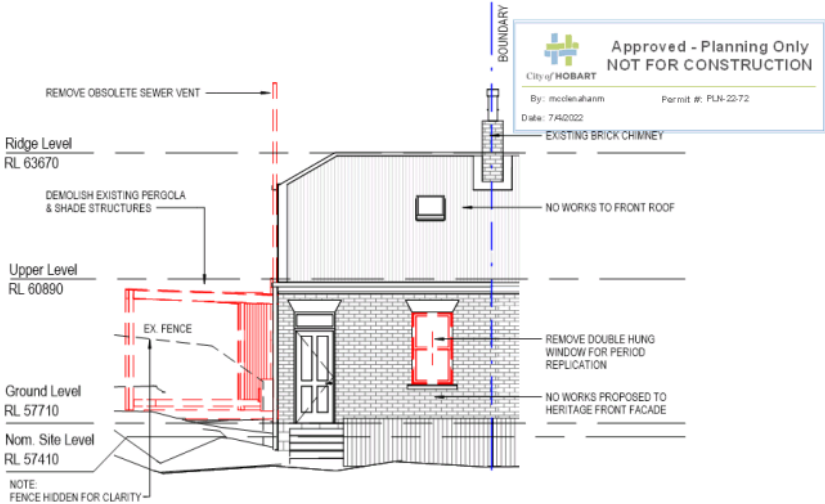
DEVELOPMENT APPLICATION

SPB SPB 1 : 100 @A3

SH02 FEB 2022

DA - 06

1



Copyright © PERVERSI-BROOKS ARCHITECTS

PERVERSI-BROOKS ARCHITECTS does not guarantee, warrant or represent that the information in this document is correct - layout may not comply with building regulations or other regulatory requirements - relevant independent advice should be sought by any interested parties before acting.

PERVERSI-BROOKS ARCHITECTS excludes all liability for loss and damage arising therefrom. This drawing / document may not be copied, duplicated, amended, referenced and used in part or whole without the explicit written permission from the author.

ALL DIMENSIONS ARE IN MILLIMETERS. DO NOT SCALE DRAWINGS FOR CRITICAL DIMENSIONS. CHECK DRAWING IS TO SCALE BY MEASURING SCALE BAR BELOW. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK, SHOP DRAWINGS OR ORDERING MATERIALS.



REV	DETAILS	DATE
1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022



PERVERSI-BROOKS ARCHITECTS
STUDIO: 105 Glen Hagan Road, Huonville, TAS. 7109
PHONE: +61 (0) 421 850 818
EMAIL: sam@perversi-brooks.com
WEB: www.perversi-brooks.com

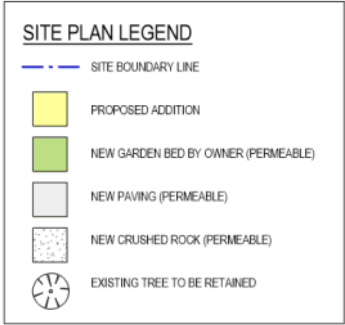
SOUTH HOBART HOUSE
368 MACQUARIE STREET, SOUTH
HOBART, TAS 7004
EXISTING/DEMOLITION
ELEVATIONS

NOT FOR CONSTRUCTION
DEVELOPMENT APPLICATION
SPB SPB 1 : 100 @A3
SH02 FEB 2022
DA - 07 1

REFER SURVEY BY PDA SURVEYORS FOR FURTHER INFORMATION
JOB/DRAWING NO: 48054MD-1A / DATE: 14th September 2021

NOTE:

1. Bearing datum is GDA2020 per calculated bearing from HCC1031 to ST50.
2. Horizontal datum is MGA2020 per HCC1031, with coordinates of E 525750.115 N 5251049.652 per the LIST. All other coordinates have been treated as plane (soft=0.9996).
3. Vertical datum is AHD per HCC1031 with reputed RL 54.95m.
4. Contour Interval 0.20m.
5. While reasonable effort has been made to locate all visible above ground services, there may be other services which were not located during survey.
6. Some services have been plotted from council records, and as such are approximate only.
7. Prior to any demolition, excavation, final design or construction on this site, a comprehensive site investigation should be undertaken to locate all above and below ground service infrastructure.
8. All coordinates within this file, although stated to the nearest 0.001 metre, are approximate only and are only within 0.015m of the stated coordinate (horizontally and vertically).
9. The boundaries shown on this plan are compiled from D40974 & STR56819 and as such, are approximate only.
10. Some feature levels are not shown on this plan for clarity.



Copyright © PERVERSI-BROOKS ARCHITECTS

PERVERSI-BROOKS ARCHITECTS does not guarantee, warrant or represent that the information in this document is correct - layout may not comply with building regulations or other regulatory requirements - relevant independent advice should be sought by any interested parties before acting.

PERVERSI-BROOKS ARCHITECTS excludes all liability for loss and damage arising therefrom. This drawing / document may not be copied, duplicated, amended, referenced and used in part or whole without the explicit written permission from the author.

ALL DIMENSIONS ARE IN MILLIMETERS. DO NOT SCALE DRAWINGS FOR CRITICAL DIMENSIONS. CHECK DRAWING IS TO SCALE BY MEASURING SCALE BAR BELOW. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK, SHOP DRAWINGS OR ORDERING MATERIALS.

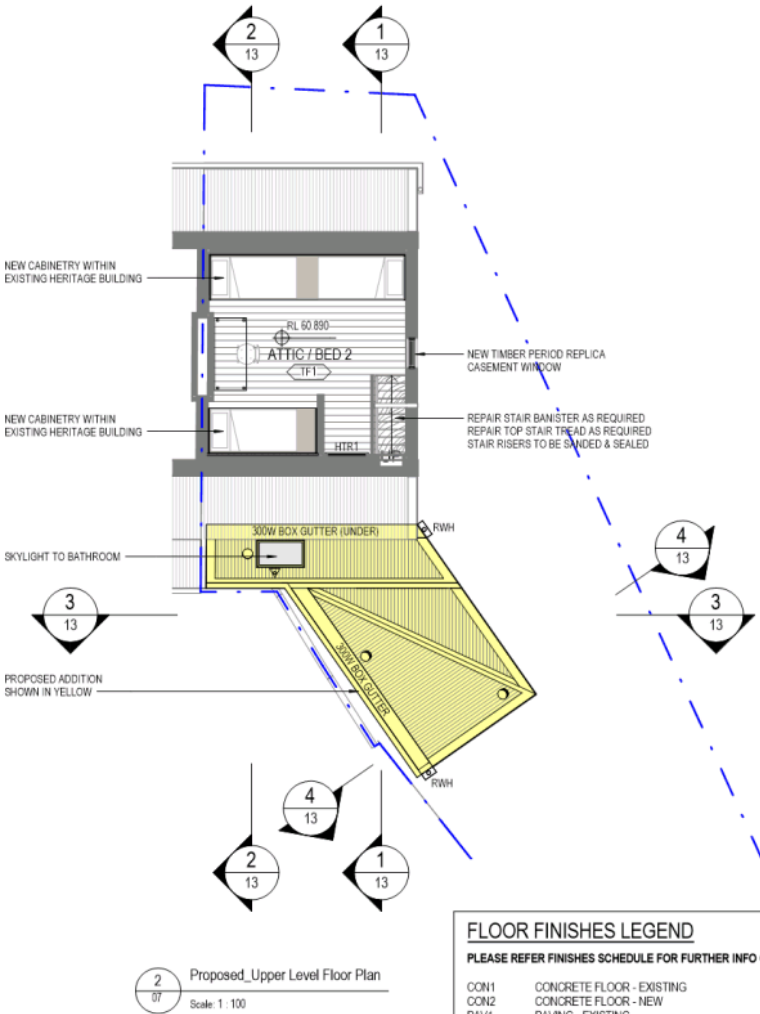
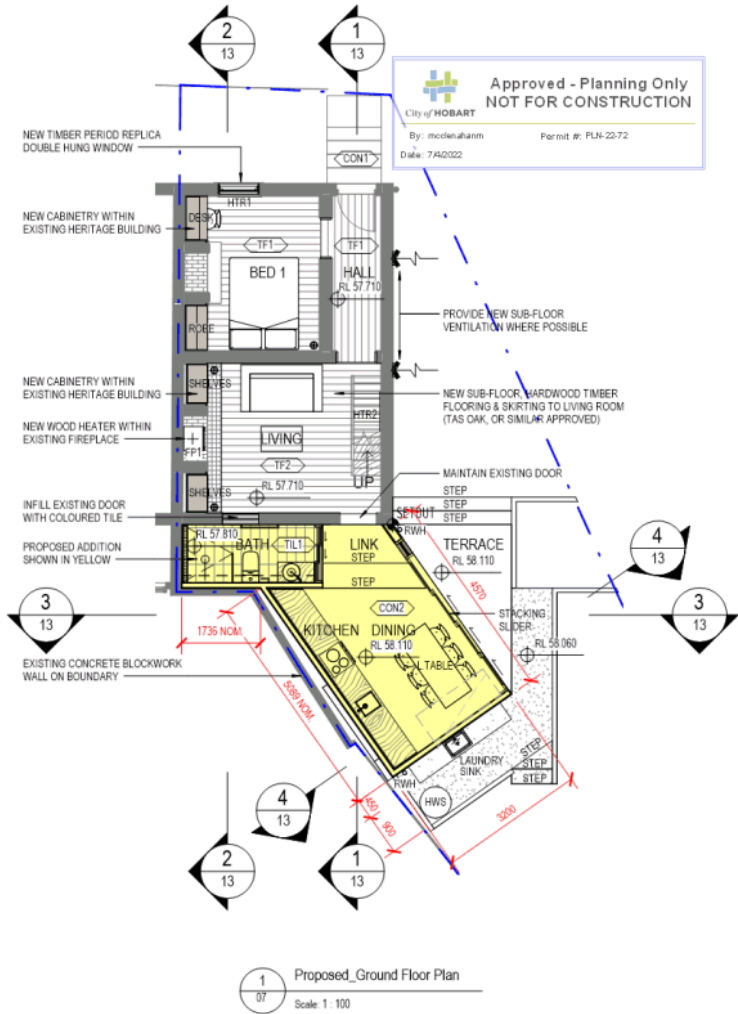
0 10 20 30 40 50

REV	DETAILS	DATE
1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022

PERVERSI-BROOKS ARCHITECTS
STUDIO: 105 Glen Hagan Road, Moorville, TAS. 7109
PHONE: +61 (0) 421 850 818
EMAIL: sam@perverse-brooks.com
WEB: www.perverse-brooks.com

SOUTH HOBART HOUSE
368 MACQUARIE STREET, SOUTH
HOBART, TAS 7004
DRAWING TITLE
PROPOSED SITE PLAN

NOT FOR CONSTRUCTION			
DEVELOPMENT APPLICATION			
SPB	SPB	1 : 100 @A3	
SH02		FEB 2022	
DA - 08			1



FLOOR FINISHES LEGEND	
PLEASE REFER FINISHES SCHEDULE FOR FURTHER INFO ON MATERIALS & FINISHES	
CON1	CONCRETE FLOOR - EXISTING
CON2	CONCRETE FLOOR - NEW
PAV1	PAVING - EXISTING
TF1	TIMBER FLOOR - EXISTING (MAKE GOOD AS REQUIRED. OIL/STAIN TBC)
TF2	TIMBER FLOOR - NEW (OIL/STAIN TBC)
TIL1	FLOOR TILE - NEW
VN1	VINYL FLOOR - EXISTING

Copyright © PERVERSI-BROOKS ARCHITECTS

PERVERSI-BROOKS ARCHITECTS does not guarantee, warrant or represent that the information in this document is correct - layout may not comply with building regulations or other regulatory requirements - relevant independent advice should be sought by any interested parties before acting.

PERVERSI-BROOKS ARCHITECTS excludes all liability for loss and damage arising therefrom. This drawing / document may not be copied, duplicated, amended, referenced and used in part or whole without the explicit written permission from the author.

ALL DIMENSIONS ARE IN MILLIMETERS. DO NOT SCALE DRAWINGS FOR CRITICAL DIMENSIONS. CHECK DRAWING IS TO SCALE BY MEASURING SCALE BAR BELOW. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK, SHOP DRAWINGS OR ORDERING MATERIALS.

0 10 20 30 40 50

REV	DETAILS	DATE
1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022

PERVERSI-BROOKS ARCHITECTS

STUDIO: 105 Glen Hagan Road, Moonville, TAS. 7109

PHONE: +61 (0) 421 850 818

EMAIL: sam@perverse-brooks.com

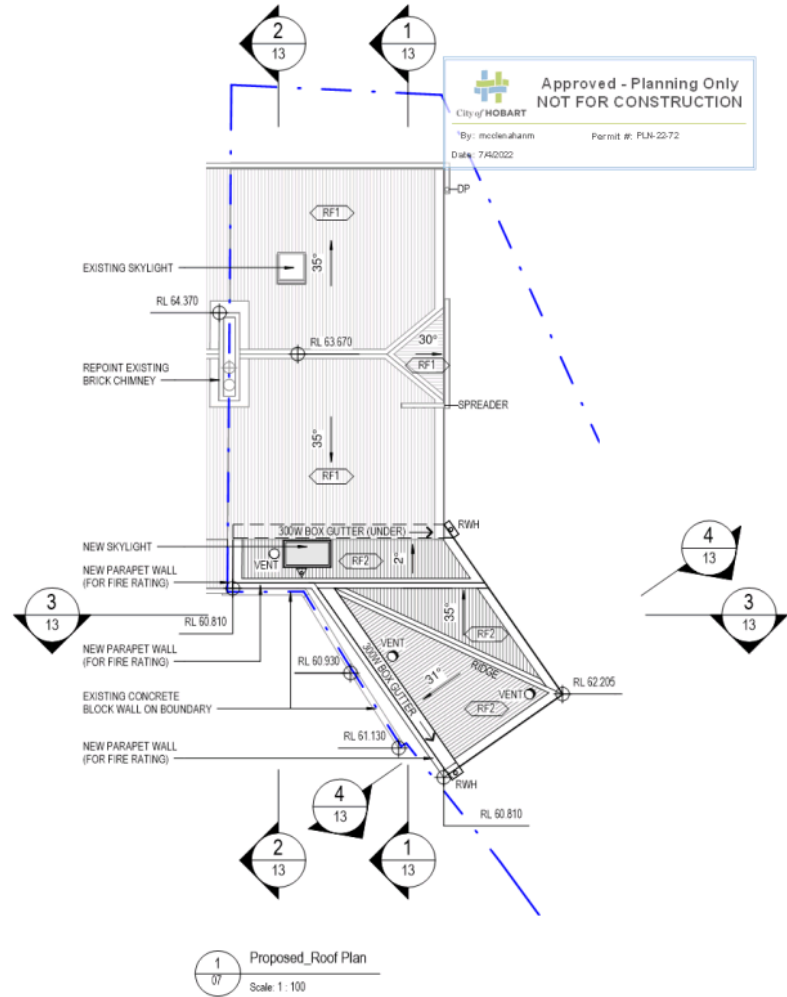
WEB: www.perverse-brooks.com

SOUTH HOBART HOUSE

368 MACQUARIE STREET, SOUTH HOBART, TAS 7004

PROPOSED FLOOR PLANS

NOT FOR CONSTRUCTION	
DEVELOPMENT APPLICATION	
SPB	SPB
DA - 09	1



ROOF FINISHES LEGEND	
PLEASE REFER FINISHES SCHEDULE FOR FURTHER INFO ON MATERIALS & FINISHES	
GT1	EAVES GUTTER - EXISTING
GT2	BOX GUTTER - NEW
RF1	ROOF - EXISTING
RF2	ROOF - NEW
PC2	POLYCARBONATE ROOFING - EXISTING

Copyright © PERVERSI-BROOKS ARCHITECTS

PERVERSI-BROOKS ARCHITECTS does not guarantee, warrant or represent that the information in this document is correct - layout may not comply with building regulations or other regulatory requirements - relevant independent advice should be sought by any interested parties before acting.

PERVERSI-BROOKS ARCHITECTS excludes all liability for loss and damage arising therefrom. This drawing / document may not be copied, duplicated, amended, referenced and used in part or whole without the explicit written permission from the author.

ALL DIMENSIONS ARE IN MILLIMETERS. DO NOT SCALE DRAWINGS FOR CRITICAL DIMENSIONS. CHECK DRAWING IS TO SCALE BY MEASURING SCALE BAR BELOW. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK, SHOP DRAWINGS OR ORDERING MATERIALS.



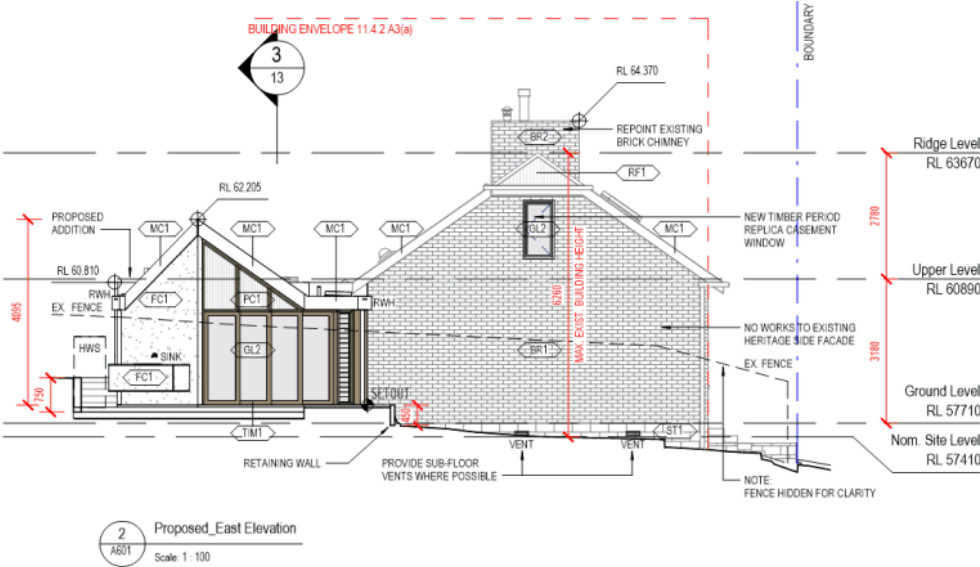
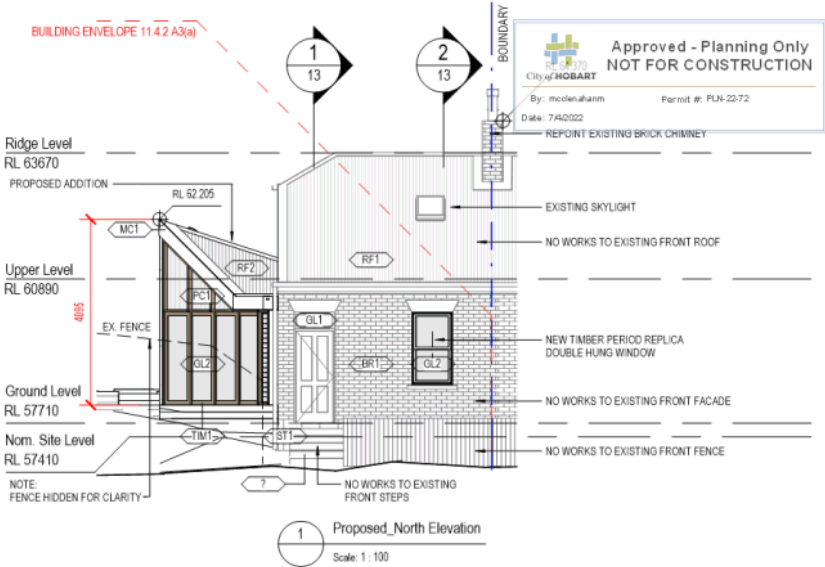
REV	DETAILS	DATE
1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022



PERVERSI-BROOKS ARCHITECTS
STUDIO2: 105 Glen Hagan Road, Huonville, TAS. 7109
PHONE: +61 (0) 421 850 818
EMAIL: sam@perverse-brooks.com
WEB: www.perverse-brooks.com

SOUTH HOBART HOUSE
368 MACQUARIE STREET, SOUTH
HOBART, TAS 7004
DRAWING TITLE
PROPOSED ROOF PLAN

NOT FOR CONSTRUCTION		NORTH
DEVELOPMENT APPLICATION		
SPB	SPB	1 : 100 @A3
SH02	FEB 2022	
DA - 10	1	



EXTERNAL FINISHES LEGEND

PLEASE REFER FINISHES SCHEDULE FOR FURTHER INFO ON MATERIALS & FINISHES

BL1	CONCRETE BLOCK - EXISTING	GL2	CLEAR GLAZING (DOUBLE GLAZED) - NEW
BR1	BRICK (PAINTED) - EXISTING	MC1	GALVANISED METAL CAPPING - NEW
BR2	BRICK (UNPAINTED) - EXISTING	PC1	POLYCARBONATE - NEW
CON1	CONCRETE - EXISTING	RF1	ROOF - GALVANISED CORRUGATED - EXISTING
CON2	CONCRETE - NEW	RF2	ROOF - GALVANISED CORRUGATED - NEW
CS1	CEMENT SHEET - EXISTING	ST1	SANDSTONE BLOCKS - EXISTING
FC1	FIBER CEMENT SHEET - NEW	TIM1	TIMBER WINDOW FRAMES - NEW
GL1	CLEAR GLAZING - EXISTING	WB1	WEATHERBOARD - EXISTING

Copyright © PERVERSI-BROOKS ARCHITECTS

PERVERSI-BROOKS ARCHITECTS does not guarantee, warrant or represent that the information in this document is correct - layout may not comply with building regulations or other regulatory requirements - relevant independent advice should be sought by any interested parties before acting.

PERVERSI-BROOKS ARCHITECTS excludes all liability for loss and damage arising therefrom. This drawing / document may not be copied, duplicated, amended, referenced and used in part or whole without the explicit written permission from the author.

ALL DIMENSIONS ARE IN MILLIMETERS. DO NOT SCALE DRAWINGS FOR CRITICAL DIMENSIONS. CHECK DRAWING IS TO SCALE BY MEASURING SCALE BAR BELOW. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK, SHOP DRAWINGS OR ORDERING MATERIALS.



REV	DETAILS	DATE
1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022



PERVERSI-BROOKS ARCHITECTS
STUDIO2: 105 Glen Hagan Road, Moorville, TAS. 7109
PHONE: +61 (0) 421 850 818
EMAIL: sam@perverse-brooks.com
WEB: www.perverse-brooks.com

SOUTH HOBART HOUSE

368 MACQUARIE STREET, SOUTH
HOBART, TAS 7004

PROPOSED NORTH & EAST
ELEVATIONS

NOT FOR CONSTRUCTION

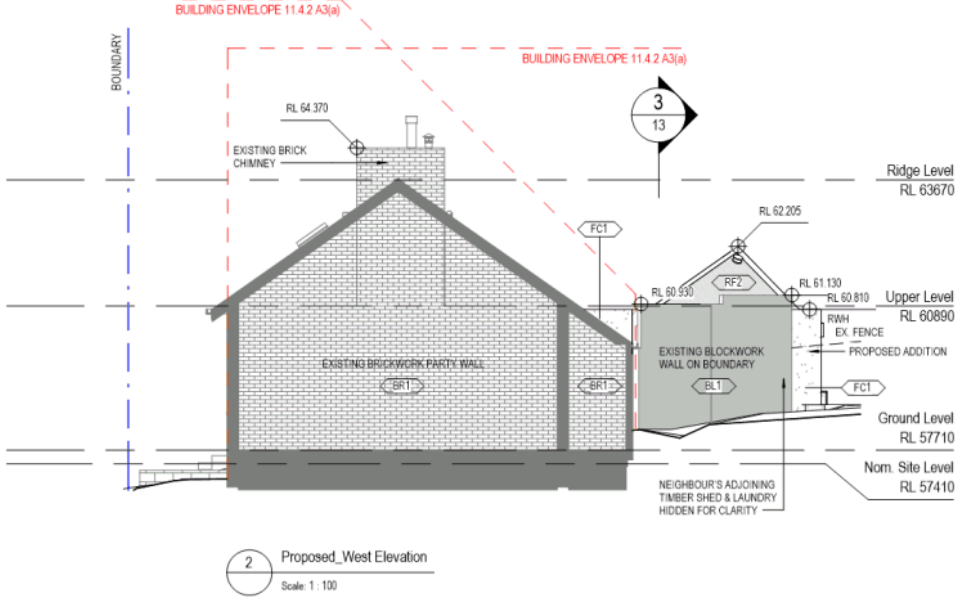
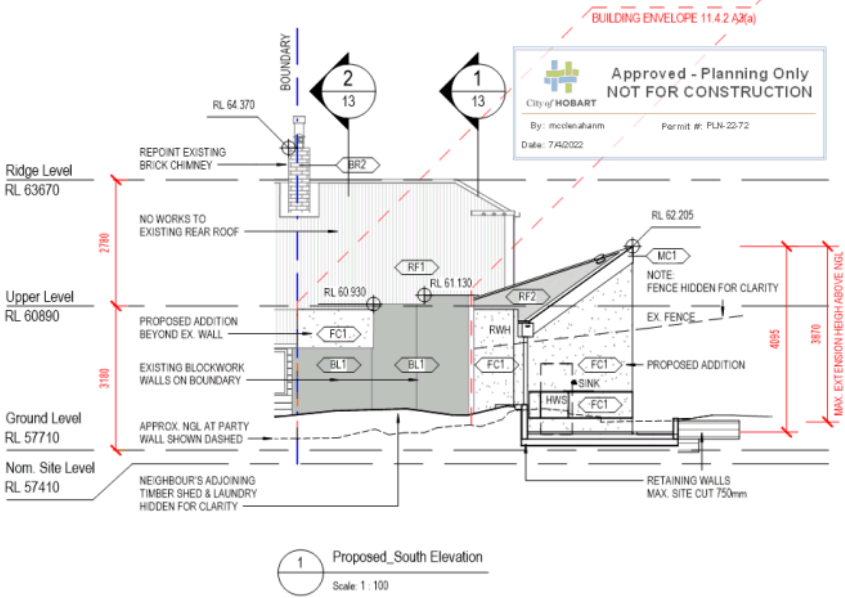
DEVELOPMENT APPLICATION

SPB SPB 1 : 100 @A3

SH02 FEB 2022

DA - 11

1



EXTERNAL FINISHES LEGEND

PLEASE REFER FINISHES SCHEDULE FOR FURTHER INFO ON MATERIALS & FINISHES

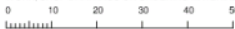
BL1	CONCRETE BLOCK - EXISTING	GL2	CLEAR GLAZING (DOUBLE GLAZED) - NEW
BR1	BRICK (PAINTED) - EXISTING	MC1	GALVANISED METAL CAPPING - NEW
BR2	BRICK (UNPAINTED) - EXISTING	PC1	POLYCARBONATE - NEW
CON1	CONCRETE - EXISTING	RF1	ROOF - GALVANISED CORRUGATED - EXISTING
CON2	CONCRETE - NEW	RF2	ROOF - GALVANISED CORRUGATED - NEW
CS1	CEMENT SHEET - EXISTING	ST1	SANDSTONE BLOCKS - EXISTING
FC1	FIBER CEMENT SHEET - NEW	TIM1	TIMBER WINDOW FRAMES - NEW
GL1	CLEAR GLAZING - EXISTING	WB1	WEATHERBOARD - EXISTING

Copyright © PERVERSI-BROOKS ARCHITECTS

PERVERSI-BROOKS ARCHITECTS does not guarantee, warrant or represent that the information in this document is correct - layout may not comply with building regulations or other regulatory requirements - relevant independent advice should be sought by any interested parties before acting.

PERVERSI-BROOKS ARCHITECTS excludes all liability for loss and damage arising therefrom. This drawing / document may not be copied, duplicated, amended, referenced and used in part or whole without the explicit written permission from the author.

ALL DIMENSIONS ARE IN MILLIMETERS. DO NOT SCALE DRAWINGS FOR CRITICAL DIMENSIONS. CHECK DRAWING IS TO SCALE BY MEASURING SCALE BAR BELOW. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK, SHOP DRAWINGS OR ORDERING MATERIALS.



REV	DETAILS	DATE
1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022



PERVERSI-BROOKS ARCHITECTS
STUDIO: 105 Glen Hagan Road, Huonville, TAS. 7109
PHONE: +61 (0) 421 850 818
EMAIL: sam@perverse-brooks.com
WEB: www.perverse-brooks.com

SOUTH HOBART HOUSE

368 MACQUARIE STREET, SOUTH
HOBART, TAS 7004

PROPOSED SOUTH &
WEST ELEVATIONS

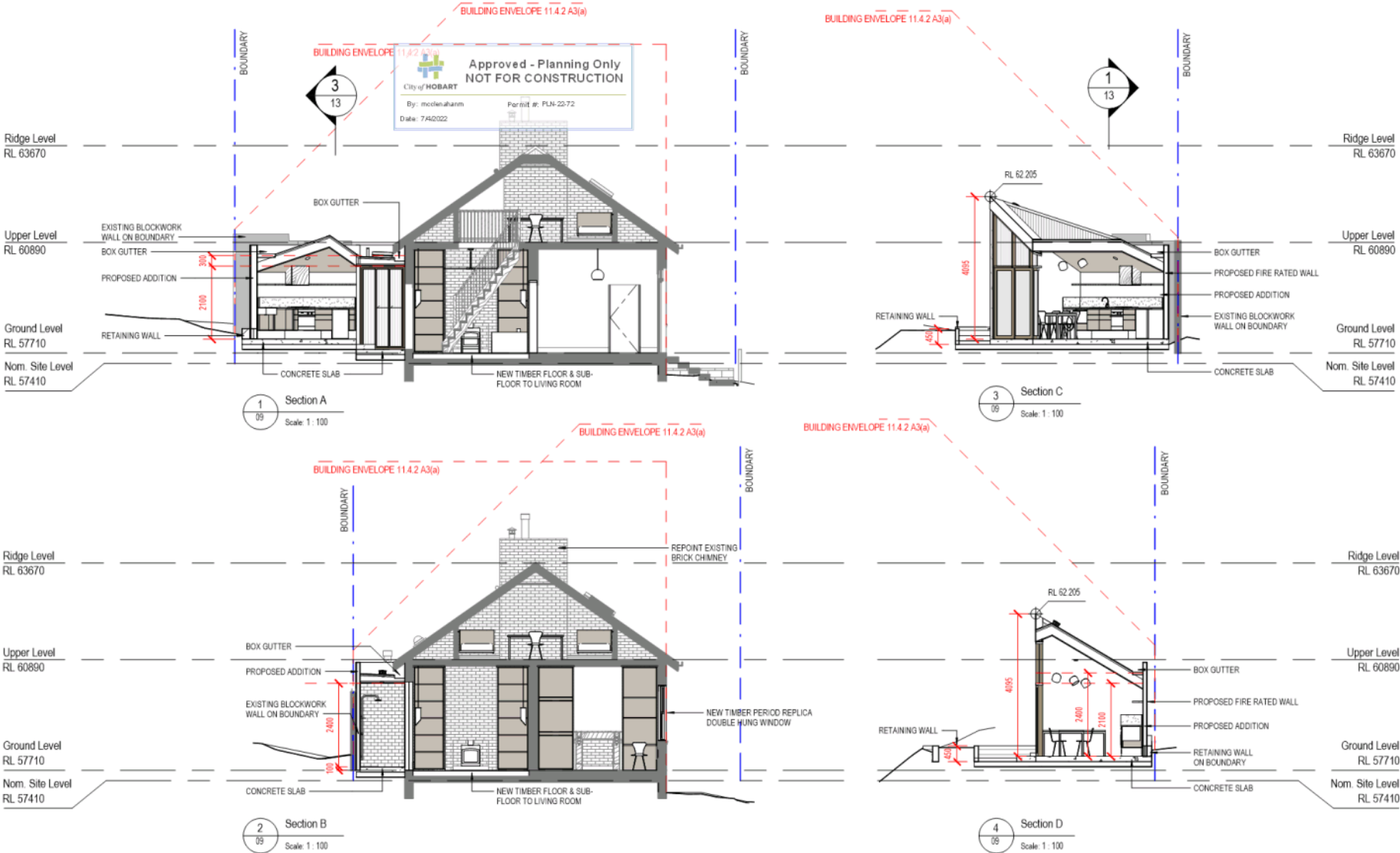
NOT FOR CONSTRUCTION

DEVELOPMENT APPLICATION

SPB SPB 1 : 100 @A3

SH02 FEB 2022

DA - 12 1



Copyright © PERVERSI-BROOKS ARCHITECTS

PERVERSI-BROOKS ARCHITECTS does not guarantee, warrant or represent that the information in this document is correct - layout may not comply with building regulations or other regulatory requirements - relevant independent advice should be sought by any interested parties before acting.

PERVERSI-BROOKS ARCHITECTS excludes all liability for loss and damage arising therefrom. This drawing / document may not be copied, duplicated, amended, referenced and used in part or whole without the explicit written permission from the author.

ALL DIMENSIONS ARE IN MILLIMETERS. DO NOT SCALE DRAWINGS FOR CRITICAL DIMENSIONS. CHECK DRAWING IS TO SCALE BY MEASURING SCALE BAR BELOW. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK, SHOP DRAWINGS OR ORDERING MATERIALS.

0 10 20 30 40 50

REV	DETAILS	DATE
1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022



PERVERSI-BROOKS ARCHITECTS
STUDIO: 105 Glen Hagan Road, Huonville, TAS. 7109
PHONE: +61 (0) 421 850 818
EMAIL: sam@perverse-brooks.com
WEB: www.perverse-brooks.com

PROJECT
SOUTH HOBART HOUSE
368 MACQUARIE STREET, SOUTH
HOBART, TAS 7004
DRAWING TITLE
PROPOSED SECTIONS

NOT FOR CONSTRUCTION
DEVELOPMENT APPLICATION
DRAWN: SPB
CHECKED: SPB
DATE: 1 : 100 @A3
JOB NO: SH02
DATE: FEB 2022
DRAWING NO: DA - 13
REVISION: 1



11th February 2022

City of Hobart - Planning Department
Town Hall, Macquarie Street
GPO Box 503
Hobart, TAS. 7001
coh@hobartcity.com.au

DISCRETIONARY DEVELOPMENT APPLICATION – RESIDENTIAL ALTERATIONS & ADDITIONS:
368 MACQUARIE STREET, SOUTH HOBART, TASMANIA 7004
TITLE REFERENCE: CT 56819/1

Dear Sir/Madam,

We act on behalf of Andy Gelman and Cora Evans, the owners of the above property.

Please find attached in relation to the proposed application:

- Architectural Drawings: DA00 – DA25 (Including Shadow Diagrams, and Photo Montages)
- Written Report, including appendixes; Feature Survey, and current Copy of Title.

If you have any queries regarding the permit application, please do not hesitate to contact me via the below details.

Yours sincerely,

A handwritten signature in black ink, appearing to read "Sam Perversi-Brooks".

Sam Perversi-Brooks

PERVERSI-BROOKS ARCHITECTS

PHONE: +61 (0) 421 850 818
EMAIL: perversibrooks@gmail.com
WEB: www.perversi-brooks.com
STUDIO: 105 Glen Huon Road, Huonville. TAS. 7109

ARBV REGISTRATION NO. 17831
TAS REGISTRATION NO. 1286
ABN 84 551 780 902





1. PROJECT DEVELOPMENT SUMMARY	3
2. PROJECT DESCRIPTION	4
2.1 GENERAL DESCRIPTION	4
2.2 CONSTRAINTS	5
2.3 OPPORTUNITIES	6
3. DESIGN RESPONSE	6
3.1 GENERAL DESIGN RESPONSE	6
3.2 RESPONSE TO PLANNING POLICY OBJECTIVES	7
4. HERITAGE STATEMENT	8
5. RESPONSE TO HOBART INTERIM PLANNING SCHEME 2015	11
APPENDIX A – FEATURE SURVEY/DETAIL PLAN	19
APPENDIX B – CERTIFICATE OF TITLE & TITLE PLAN	20



1. PROJECT DEVELOPMENT SUMMARY

APPLICANT:	Perversi-Brooks Architects
OWNER:	Andy Gelman and Cora Evans
CONTACT PERSON:	Sam Perversi-Brooks (Perversi-Brooks Architects)
DEVELOPMENT ADDRESS:	368 Macquarie Street, South Hobart, TAS, 7004
BRIEF PROJECT DESCRIPTION:	Residential alterations and additions
MUNICIPALITY:	Council of Hobart
TOWN PLANNING ZONE:	Inner Residential (Zone 11.0)
CODES APPLICABLE TO THE SITE:	E13.0 – HERITAGE AREA/PRECINCT (HOB-C6.2.10.2 HERITAGE PRECINCT)
HERITAGE REGISTER:	TAS HERITAGE REGISTER ID No. 3160
TITLE INFORMATION:	Lot 1 on Strata Plan 56819
SITE AREA:	145 sqm
ASSOCIATED DOCUMENTS:	Development Application documentation, including: DA00 - Cover Sheet & Drawing Register DA01 - Site Analysis Plan DA02 - Site Analysis Photos – Sheet 1 DA03 - Site Analysis Photos – Sheet 2 DA04 - Design Response Plan DA05 – Existing/Demolition Site Plan DA06 - Existing Floor Plans DA07 - Existing Elevations DA08 - Proposed Site Plan DA09 - Proposed Floor Plans DA10 - Proposed Roof Plan DA11 - Proposed North & East Elevations DA12 - Proposed South & West Elevations DA13 - Proposed Sections DA14 - Proposed Shadow Diagrams – June 21, 9 am DA15 - Proposed Shadow Diagrams – June 21, 12 pm DA16 - Proposed Shadow Diagrams – June 21, 3 pm DA17 - Materials Schedule DA18 - External Montages – Sheet 1 DA19 - External Montages – Sheet 2 DA20 - External Montages – Sheet 3 DA21 - External Montages – Sheet 4 DA22 – Additional External Views – Sheet 1 DA23 – Additional External Views – Sheet 2 DA24 – Additional External Views – Sheet 3 DA25 – Additional External Views – Sheet 4

Appendixes, including:

- Feature Survey/Detail Plan – PDA Surveyors
- Certificate of Title & Title Plan



2. PROJECT DESCRIPTION

The development application is for the partial demolition, alterations & addition of a small ~20sqm addition to the rear of the heritage listed 1850s Victorian Georgian conjoined dwelling, along with the associated necessary site works on a 145m² lot.

2.1 General Description

Refer also drawing 'DA01 Site Analysis Plan'.



Google Maps Image, Google Maps, 2022 [maps.google.com.au]

THE SITE

The site for this project is 368 Macquarie Street, South Hobart. The site is located to the southern/uphill side of Macquarie street, approximately 50m west of the intersection with Elboden Street. The site is located directly adjacent to the carpark of Hill Street Grocer South Hobart (Salad Bowl).

The site is located in the Inner Residential Zone and is subject to E13.0 – Heritage Area/Precinct, (HOB-C6.2.10.2 Heritage Precinct), and is heritage listed in Table E13.1 of the Historic Heritage Code of the *Hobart Interim Planning Scheme 2015*, and is also listed on the Tasmanian Heritage Register Number 3160.

368 Macquarie Street is a significant element in the urban streetscape. No. 368 is the east side of a pair, with No. 370 the west. These conjoined dwellings 'book-end' a series of single storey (with attic) brick conjoined Victorian Georgian cottages, which include the almost identical pair of dwellings at No. 374, and similar dwellings at No.'s 376 & 378 Macquarie Street.



The property is located at an elevation of approximately 57 metres above sea level, and is an irregular tapered rectangular shape, and shares a boundary with the conjoined dwelling directly to the west of the site (370 Macquarie Street). The property has a good north-eastern orientation, which provides excellent solar access. The site for the proposed works falls to the north at a gradient of approx. 5 degrees.

The fully fenced site currently includes the existing 1850s brick house (Class 1a building), a series of lean-to outbuildings including laundry shed and pergola/shade structures, and a stand-alone metal shed (Class 10 buildings), paved and concrete areas adjacent the dwelling and outbuildings, and a series of edged garden beds towards the rear of the site.

SURROUNDING PROPERTIES

The surrounding neighbourhood of Macquarie Street and Cascade Road, South Hobart is within the heritage area/precinct HOB-C6.2.10.2. Macquarie Street is the main commercial and retail strip of South Hobart. With its striking backdrop of Mount Wellington it has a distinctive quality. Shops are concentrated around areas of high residential density, with the majority of shops clustered on Macquarie Street near Elboden Street, whilst a smaller number of shops, commercial and community facilities; Restaurants, Medical Centre, Calvary St John's Hospital, Cascade Brewery, etc., are dotted up Macquarie St and Cascade Rd as far as the Cascade Gardens.

Directly adjacent the eastern property boundary, is No. 362 Macquarie Street, which is the Hill Street Grocer South Hobart (Salad Bowl), the concrete hardstand carpark area includes parking for approximately 8 cars, as well as storage sheds and associated loading areas for the grocer which fronts Macquarie Street at the intersection of Elboden Street.

The property boundary immediately to the south of the subject site is shared with No. 3 Adelaide Street. This property includes a single storey brick dwelling fronting the Adelaide Street, with gardens and a carport to the rear.

The conjoined property to the west, 370 Macquarie Street, shares a party wall with the subject site, and is a mirror-image of the subject dwelling, with the addition of various lean-to structures at the rear, including a timber shed and laundry structure directly adjacent the shared property boundary. The strata title boundary to the rear of the heritage houses runs through the middle of a 140mm wide concrete blockwork party wall which appears to have been constructed in the last couple of decades as a means to fire separate the two dwellings.

THE PROPOSED

The proposed alterations and additions to the heritage listed 1850s conjoined house provides a contemporary architecturally designed response to the existing structure. The proposed ~20sqm addition will provide a bathroom, kitchen and dining facilities contained within a new structure to the rear of the existing dwelling, replacing the dilapidated enclosed verandah and rear laundry shed and associated lean-to pergola/shade structures.

2.2 Constraints

The main constraints that the site presents are:

- The site is located within a Heritage Area/Precinct, is listed as a heritage place, and is listed on the Tasmanian Heritage Register.



- The western wall and boundary is shared with the conjoined dwelling at 370 Macquarie Street.
- The existing 1850s dwelling is, in part, in a poor state of repair – particularly the floor and sub-floor to the living area, and the enclosed rear verandah, along with the various lean-tos; laundry shed, pergola, etc.

2.3 Opportunities

The design opportunities that this site presents are:

- Opportunity to repair and enhance an important historic place and contribute positively to the heritage precinct.
- Good solar access and views to the north-east.
- Rear siting of the proposed works has no detrimental visual or amenity impacts upon adjacent neighbours, or within the heritage precinct more generally.

3. DESIGN RESPONSE

3.1 General Design Response

Please refer to drawing 'DA04-Design Response Plan' for further description of the design response.

- The alterations and additions propose a contemporary counterpoint to the existing heritage listed dwelling.
- The proposed addition is set back from the Macquarie Street frontage to the rear of the existing dwelling.
- The proposed alterations and additions to the dwelling sit comfortably and harmoniously counterpoints the existing building, and does not diminish, detract from, or compete with the surrounding historic precinct and built forms.
- The proposed alterations and addition to the existing dwelling offers a contextual response whereby the additions incorporate an interpretive design approach to the original cottage, derived through comprehensive research and analysis of the existing built fabric, topography, and historic values of the surrounding heritage precinct.
- The design aims to be deeply responsive and sympathetic to the character of the precinct and place, whilst providing a quality design outcome that celebrates and enhances the existing built fabric and the community's sense of place
- The proposal strives to maintain and enhance the historic precinct and heritage place, whilst providing an exemplar of sustainable, contemporary design.
- We believe the proposed design is responsive and respectful of the existing heritage precinct and place, whilst providing an innovative design of high architectural standard.
- The proposed addition is a contemporary interpretive design response to the existing heritage structure, responding to the height and angle of the hip/gable roof of the cottage by way of a small rear structure with a similarly pitched hybrid skillion/gable roof. The design responds to the idea of the silhouette profile of the existing cottage that 'book-ends' the row of similar cottages and which is read as a kind of roofscape profile, or gateway, to the South Hobart precinct against the ever-present backdrop of kunanyi / Mount Wellington.



- Private Open Space (P.O.S.), and the dining/kitchen areas located in the proposed addition are oriented towards the north-east, maximising daylight and views towards the north and east across the surrounding neighbourhood and to distant hillside views.
- Proposed solid wall adjacent existing concrete block wall on western property boundary for fire separation.
- Solid wall to the south façade for increased privacy to the adjoining properties as well as maximising thermal performance.
- The proposed addition has no windows within close proximity of any neighbouring private open space to avoid overlooking.
- Large north-east facing operable doors and fixed highlight windows provide natural light and access to terrace P.O.S.
- A maximum building height of 6.26m to the existing ridge is unchanged. The apex/ridge of the proposed addition is approx. 3.87m high, less than the 9.5m maximum outlined in the zone. A lower link section of roof within footprint of existing rear verandah is proposed.
- Front setback and front fence remains unchanged.
- Existing heritage windows are to be replaced by period replica timber framed windows for better acoustic and thermal performance.
- No works to existing heritage front or side façades.

3.2 Response to Planning Policy Objectives

The following observations are made in relation to the application against State Planning Policy:

- The proposal strives to maintain and enhance the historic precinct and place, whilst providing an exemplar of sustainable development and contemporary design.
- Historic cultural heritage values are recognised, retained and protected within the region for their character, culture, sense of place, contribution to our understanding history and contribution to the townscape.
- The proposal provides a quality design that is safe and functional and responds positively to the surrounding neighbourhood character.
- The proposal maximises solar access with appropriately located windows.

Having regard to the above considerations, the proposed alterations and additions will make an important contribution to achieving the objectives of the State Planning Policy Framework.

In addition to the objectives of State Planning Policies, the proposal is equally consistent with the Local Planning Policy Framework and its objectives for use and development within the Hobart Interim Planning Scheme 2015 as follows:

- The proposed alterations and additions minimises the impact upon the amenity of all neighbouring properties.
- The existing and proposed infrastructure is appropriate to support development and attain the expected environmental and public health outcomes.
- Development is appropriate to the intended function, scale and density of the area and improves its physical character.
- The character of those parts of the City having strong heritage values – whether architectural, aesthetic, community or cultural heritage – or other identified qualities is reinforced.



- Future development is consistent with the forms of development that contribute to the cultural heritage values of an area and is subservient to the preservation of historic townscape and architectural elements.
- Development affecting places or areas of cultural heritage value does not try to imitate or mimic existing styles, but is accommodated without new forms of development becoming dominant.
- The renovation of places and areas of cultural heritage value and the recycling and re-use of materials is encouraged.
- Demolition is limited to that which removes buildings or structures that are unsafe, incongruous or where it is essential to facilitate the desired development of land.

4. Heritage Statement

The following statement outlines the proposed works to the existing dwelling, which is located within the South Hobart 2 Heritage Precinct, and is listed in table E13.1 of the Historic Heritage Code of the Hobart Interim Planning Scheme 2015, and is also listed on the Tasmanian Heritage Register. This statement addresses the proposed works in relation to the Historic Cultural Heritage Act, as well as the objectives and performance criteria of E13.7 Developments Standards for Heritage Places, and E13.8 Development Standards for Heritage Precincts within the Hobart Interim Planning Scheme 2015.

The alterations & additions project is for a small ~20sqm addition to the rear of the heritage listed 1850s Victorian Georgian conjoined dwelling. 368 Macquarie Street is a significant element in the urban streetscape. No. 368 is the east side of a pair, with No. 370 conjoined to the west. These conjoined dwellings 'book-end' a series of single storey (with attic) brick conjoined Victorian Georgian cottages, which include the almost identical pair of dwellings at No. 374, and similar cottages at No.'s 376 & 378 Macquarie Street.

The proposed works are in accordance with the Burra Charter (article 3.1) which promotes a cautious approach of changing as much as necessary, but as little as possible. That is, the extent of change to significant fabric is minimised as far as practicable.

The proposed addition is a contemporary interpretive design response to the existing heritage structure, responding to the height and angle of the hip/gable roof of the existing cottage by way of a small rear structure with a similarly pitched hybrid skillion/gable roof. The design responds to the idea of the silhouette profile of the existing cottage that 'book-ends' the row of similar cottages and which is read as a kind of roofscape profile, or gateway, to the South Hobart precinct against the ever-present backdrop of kunanyi / Mount Wellington.

The design aims to be deeply responsive and sympathetic to the character of the place, whilst providing a quality design outcome that celebrates and enhances the existing built fabric and the community's sense of place.

The addition does not dominate or detract from the original building and is subservient to the historic cottage with a lower link area which is the same footprint of the existing rear verandah. This



lower link built volume acts to provide relief to the higher form and mass of the proposed addition of the kitchen and dining area, helping reinforce the idea that the new built fabric is subservient to the heritage dwelling. The design is carefully balanced as to not visually dominate or detract from the historic cultural heritage significance of the place and the precinct. The addition is compatible with and sympathetic to the height, bulk, setback, materials and finishes and general character of the heritage listed place. The proposed addition is compatible and visually subservient when viewed from Macquarie Street and the adjacent 'Salad Bowl' Carpark. The structure of the addition is setback from the principal facade to enable the original building form to remain unobscured and prominent within the streetscape.

The existing low timber picket front fence is to be maintained which is appropriate in form, scale, height, and materials appropriate to the architecture of the existing dwelling. The established and visually prominent tree to the rear of the yard is to be maintained with a tree protection zone set up during construction.

Existing built fabric to be demolished is limited to the rear enclosed verandah which is in a poor state of repair and has been subject to several adaptations over the years, as well as unsympathetic lean-to rear additions consisting of a separate laundry shed and attached pergola, and some landscaping works. The elements to be demolished do not result in the loss of any built fabric that contributes to the historic cultural heritage significance of the place or precinct.

Please note we have consulted closely with both Heritage Tasmania (Deirdre MacDonald) and City of Hobart's Heritage Department (Sarah Waight) prior to this application being submitted, particularly in relation to the removal of the rear enclosed verandah. Deirdre MacDonald inspected the property 10th January 2022, making the following comments via email the following day:

"Now that I have had a closer look at the enclosed rear verandah, I am more comfortable about its removal and the proposed new connection to the extension in its place. As I explained yesterday, my thoughts are that it appears very likely that the row of cottages was built by a 'spec' builder and that they were originally 2 sets of identical conjoined houses, including a rear verandah each. It seems all the verandahs have been progressively enclosed and adapted, and in the case of no.368 had several phases of adaptation. To my view the only historic verandah elements left at no.368 are probably the roof structure and the later corrugated iron sheeting (that may be covering over the original shingles). Given this minimal residual fabric, I feel it is insufficient to make the verandah a key heritage element of the place."



View of existing enclosed verandah, laundry shed and pergola/shade structure, July 2021

Further to this please also note that recent additions to No.'s 376 & 378 Macquarie Street have included rear additions removing any prior existing rear verandahs.

Significant and contributory heritage elements are all to be maintained as per the architectural documentation. No structural work is proposed to heritage fabric other than the removal of the rear enclosed verandah as noted above.

Additionally, please note the below scope in relation to heritage elements:

- An Exemption Certificate (Exemption #3759) was provided by Heritage Tasmania to provide the opportunity for initial exploratory investigations, including the removal of the modern floor lining to the living room/kitchen and the removal of the modern dado panel to the rear wall of the living room/kitchen. This work has subsequently been undertaken and found the floor and sub-floor in the living area will likely need to be replaced in its entirety, as it's in a poor state of repair sinking approximately 50mm to the centre of the room, with contemporary yellow-tongue flooring, or similar, below the vinyl floor covering, there does not appear to be any underlying historic fabric within this area. The modern dado panel was also removed and likewise did not reveal any historic dado underneath. These elements have been captured within the scope of works outlined in the architectural documentation.
- No external painting to existing built fabric is proposed.
- Unpainted brickwork shall remain unpainted.
- Repair and restore stair banister where unsound as required. Repair top stair tread where unsafe as required. Stair risers to be sanded and sealed to match treads.
- Internal cabinetry is all designed to 'float' within existing heritage built fabric with a nom. 30mm shadow line/scribe to adjoining wall surfaces in order to be read as new elements, and for easy installation/removal.
- Remove Airconditioning Condenser Unit from side of house.



- Door and highlight window over to the existing bathroom is to be infilled with a feature wall finish. The finished surface will be set back from the face of the adjoining wall within the living room in order to register the trace of the previous opening.
- Existing windows; front double hung window and attic casement window, which are both in a poor state of repair, are to be replaced with acoustic and/or double glazing, within period replica timber frames to match existing, for thermal and acoustic performance.
- The existing unpainted brick chimney is to be repointed with lime rich mortar, as per Sarah Waight's advice received via email 28th January 2022.
- Existing concrete paving adjacent to the eastern façade wall is to be removed and replaced with permeable paving at a level to allow the existing masonry wall to breathe. Sub-floor vents are to be introduced where possible, and the ground levels will not be built up so the vents to remain open and free to circulate air to the sub floor area, as per Sarah Waight's advice received via email 28th January 2022.

5. Response to Hobart Interim Planning Scheme 2015

Along with the design responses outlined above, particular attention has been given to the Hobart Interim Planning Scheme 2015, Part D Zones 11.0 - Inner Residential Zone. While many of the objectives of the planning scheme are addressed in the responses above and within the architectural documentation, the following items have specifically been addressed during the design process:

11.3.1 & 11.3.2 Use Standards for Non-Residential Use & Visitor Accommodation – Not Applicable

11.4 Development Standards for Dwellings (Refer below table of clauses):

11.4.1 Residential density for multiple dwellings – Not Applicable

11.4.2 Setbacks and building envelope for all dwellings

Objective:

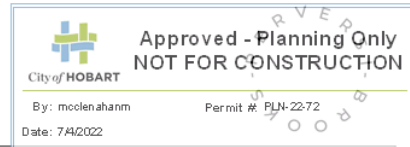
That the siting and scale of dwellings:

- Provides reasonably consistent separation between dwellings and their frontage within a street;
- Provides consistency in the apparent scale, bulk, massing and proportion of dwellings; and
- Provides separation between dwellings on adjoining properties to allow a reasonably opportunity for daylight and sunlight to enter habitable rooms and private open space.

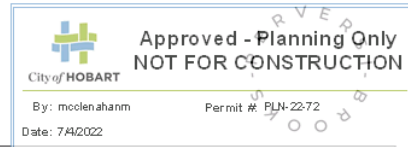
Acceptable Solutions

Compliance

(Further details provided where reliant on Performance Criteria)



<p>A1</p> <p>Unless within a building area on a sealed plan, a dwelling, excluding garages, carports and protrusions that extend not more than 0.9m into the frontage setback, must have a setback from a frontage that is:</p> <ul style="list-style-type: none"> a) if the frontage is a primary frontage, not less than 3m, or, if the setback from the primary frontage is less than 3m, not less than the setback, from the primary frontage, of any existing dwelling on the site; b) if the frontage is not a primary frontage, not less than 2m, or, if the setback from the frontage is less than 2m, not less than the setback, from a frontage that is not a primary frontage, of any existing dwelling on the site; c) if for a vacant site and there are existing dwellings on adjoining properties on the same street, not more than the greater, or less than the lesser, setback for the equivalent frontage of the dwellings on the adjoining sites on the same street; or d) if located above a non-residential use at ground floor level, not less than the setback from the frontage of the ground floor level. 	<p>✓ Complies</p> <p>Existing front setback remains unchanged. Proposed alterations and additions are sited to the rear of existing building.</p>
<p>A2</p> <p>A garage or carport for a dwelling must have a setback from a primary frontage of not less than:</p> <ul style="list-style-type: none"> a) 4m, or alternatively 1m behind the building line; 	<p>Not Applicable</p> <p>No garage or carport existing or proposed.</p>



<p>b) the same as the building line, if a portion of the dwelling gross floor area is located above the garage or carport; or</p> <p>c) 1m, if the existing ground level slopes up or down at a gradient steeper than 1 in 5 for a distance of 10m from the frontage.</p>	
<p>A3</p> <p>A dwelling, excluding outbuildings with a building height of not more than 2.4m and protrusions that extend not more than 0.9m horizontally beyond the building envelope, must:</p> <ul style="list-style-type: none"> a) be contained within a building envelope (refer to Figures 11.1, 11.2 and 11.3) determined by: <ul style="list-style-type: none"> i. a distance equal to the frontage setback or, for an internal lot, a distance of 3m from the rear boundary of a property with an adjoining frontage; and ii. projecting a line at an angle of 45 degrees from the horizontal at a height of 3m above existing ground level at the side and rear boundaries to a building height of not more than 9.5m above existing ground level; and b) only have a setback within 1.5m of a side or rear boundary if the dwelling: <ul style="list-style-type: none"> i. does not extend beyond an existing building built on or within 0.2m of the boundary of the adjoining property; or ii. does not exceed a total length of 9m or one-third the length of the side boundary (whichever is the lesser) <p>This acceptable solution does not apply to Battery Point Heritage Precinct (BP1).</p>	<p>✓Complies with P1</p> <p>The siting and scale of the proposed addition:</p> <ul style="list-style-type: none"> a) does not cause an unreasonable loss of amenity to adjoining properties, having regard to: <ul style="list-style-type: none"> i. reduction in sunlight to habitable rooms of a dwelling on an adjoining property; ii. overshadowing the private open space of a dwelling on an adjoining property; iii. overshadowing of an adjoining vacant property; or iv. visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property; and b) provides separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area. <p>Further notes:</p> <ol style="list-style-type: none"> 1. The proposed addition is contained within the building envelope (refer figure 11), however the existing conjoined heritage listed dwelling does not. Refer architectural documentation, and particularly drawings DA11-DA14 for proposed elevations and sections which illustrate the building envelope. 2. Proposed side setback to the western boundary is within 0.2m of the boundary, and replaces the footprint of existing built structures on site. Please note the timber shed and laundry on adjoining property within 0.2m of boundary, the proposed addition does not extend beyond this shed structure. 3. Please refer architectural documentation, and particularly drawings DA14-DA16 for existing and proposed Shadow Diagrams.

**11.4.3 Site Coverage and private open space for all dwellings****Objective:**

That dwellings are compatible with the amenity and character of the area and provide:

- a) for outdoor recreation and the operational needs of the residents;
- b) opportunities for the planting of gardens and landscaping; and
- c) private open space that is conveniently located and has access to sunlight

Acceptable Solutions	Compliance (Further details provided where reliant on Performance Criteria)
A1 Dwellings must have: <ul style="list-style-type: none"> a) a site coverage of not more than 65% (excluding eaves up to 0.6m wide); and b) for multiple dwellings, a total area of private open space of not less than 40m² associated with each dwelling, unless the dwelling has a finished floor level that is entirely more than 1.8m above the ground level (excluding a garage, carport or entry foyer). 	✓ Complies
A2 A dwelling must have private open space that: <ul style="list-style-type: none"> a) is in one location and is not less than: <ul style="list-style-type: none"> i. 24m²; or ii. 12m², if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer); b) has a minimum horizontal dimension of: 	✓ Complies



<ul style="list-style-type: none"> i. 4m; or ii. 2m, if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer); c) is located between the dwelling and the frontage only if the frontage is orientated between 30 degrees west of true north and 30 degrees east of true north; and d) has a gradient not steeper than 1 in 10. 	
---	--

11.4.4 Sunlight to private open space of multiple dwellings – Not Applicable

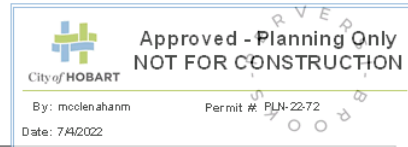
11.4.5 Width of openings for garages and carports for all dwellings – Not Applicable

11.4.6 Privacy for all dwellings

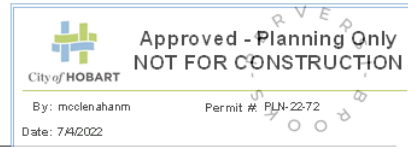
Objective:

To provide a reasonable opportunity for privacy for dwellings.

Acceptable Solutions	Compliance (Further details provided where reliant on Performance Criteria)
A1 A balcony, deck, roof terrace, parking space, or carport for a dwelling (whether freestanding or part of the dwelling), that has a finished surface or floor level more than 1m above existing ground level must have a permanently fixed screen to a height of not less than 1.7m above the finished surface or floor level, with a uniform transparency of not more than 25%, along the sides facing a: <ul style="list-style-type: none"> a) side boundary, unless the balcony, 	✓ Complies



<p>deck, roof terrace, parking space, or carport has a setback of not less than 3m from the side boundary;</p> <p>b) rear boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of not less than 4m from the rear boundary; and</p> <p>c) dwelling on the same site, unless the balcony, deck, roof terrace, parking space, or carport is not less than 6m:</p> <p>i. from a window or glazed door, to a habitable room of the other dwelling on the same site; or</p> <p>ii. from a balcony, deck, roof terrace or the private open space, of the other dwelling on the same site.</p>	
<p>A2</p> <p>A window or glazed door, to a habitable room of a dwelling that has a floor level more than 1m above existing ground level, must satisfy (a), unless it satisfies (b):</p> <p>a) the window or glazed door:</p> <p>i. is to have a setback of not less than 3m from a side boundary;</p> <p>ii. is to have a setback of not less than 4m from a rear boundary;</p> <p>iii. if the dwelling is a multiple dwelling, is to be not less than 6m from a window or glazed door, to a habitable room, of another dwelling on the same site; and</p> <p>iv. if the dwelling is a multiple dwelling, is to be not less than 6m from the private open space of another dwelling on the same site.</p> <p>b) the window or glazed door:</p> <p>i. is to be offset, in the horizontal</p>	<p>✓ Complies</p>



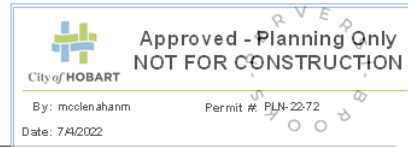
<p>plane, not less than 1.5m from the edge of a window or glazed door, to a habitable room of another dwelling;</p> <p>ii. is to have a sill height of not less than 1.7m above the floor level or have fixed obscure glazing extending to a height of at least 1.7m above the floor level; or</p> <p>iii. is to have a permanently fixed external screen for the full length of the window or glazed door, to a height of not less than 1.7m above floor level, with a uniform transparency of not more than 25%.</p>	
<p>A3</p> <p>A shared driveway or parking space (excluding a parking space allocated to that dwelling) must be separated from a window, or glazed door, to a habitable room of a multiple dwelling by a horizontal distance of not less than:</p> <p>a) 2.5m; or</p> <p>b) 1m if:</p> <p>i. it is separated by a screen of not less than 1.7m in height; or</p> <p>ii. the window, or glazed door, to a habitable room has a sill height of not less than 1.7m above the shared driveway or parking space, or has fixed obscure glazing extending to a height of not less than 1.7m above the floor level.</p>	<p>Not Applicable</p> <p>No driveway or parking space existing or proposed.</p>

11.4.7 Frontage fences for all dwellings

Objective:

The height and transparency of frontage fences:

- a) provides adequate privacy and security for residents;
- b) allows the potential for mutual passive surveillance between the road and the dwelling; and



c) is reasonably consistent with that on adjoining properties.

Acceptable Solutions	Compliance (Further details provided where reliant on Performance Criteria)
A1 No Acceptable Solution	✓ Complies Existing heritage front fence remains unchanged.

11.4.8 Waste storage for multiple dwellings – Not Applicable

11.4.9 Non-dwelling development – Not Applicable

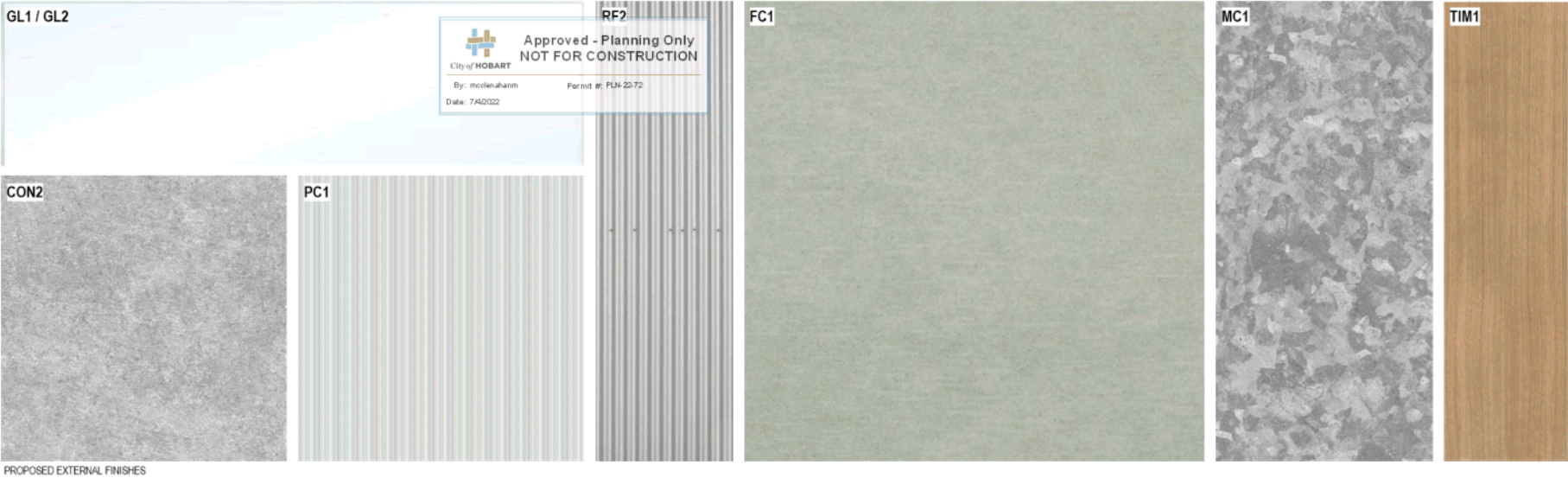
11.5 Development Standards for Subdivision – Not Applicable



APPENDIX A - FEATURE SURVEY/DETAIL PLAN



APPENDIX B - CERTIFICATE OF TITLE & TITLE PLAN



PROPOSED EXTERNAL FINISHES

EXTERNAL FINISHES LEGEND

PLEASE REFER FINISHES SCHEDULE FOR FURTHER INFO ON MATERIALS & FINISHES

BL1	CONCRETE BLOCK - EXISTING	GL2	CLEAR GLAZING (DOUBLE GLAZED) - NEW
BR1	BRICK (PAINTED) - EXISTING	MC1	GALVANISED METAL CAPPING - NEW
BR2	BRICK (UNPAINTED) - EXISTING	PC1	POLYCARBONATE - NEW
CON1	CONCRETE - EXISTING	RF1	ROOF - GALVANISED CORRUGATED - EXISTING
CON2	CONCRETE - NEW	RF2	ROOF - GALVANISED CORRUGATED - NEW
CS1	CEMENT SHEET - EXISTING	ST1	SANDSTONE BLOCKS - EXISTING
FC1	FIBER CEMENT SHEET - NEW	TIM1	TIMBER WINDOW FRAMES - NEW
GL1	CLEAR GLAZING - EXISTING	WB1	WEATHERBOARD - EXISTING

EXISTING EXTERNAL FINISHES



Copyright © PERVERSI-BROOKS ARCHITECTS

PERVERSI-BROOKS ARCHITECTS does not guarantee, warrant or represent that the information in this document is correct - layout may not comply with building regulations or other regulatory requirements - relevant independent advice should be sought by any interested parties before acting.

PERVERSI-BROOKS ARCHITECTS excludes all liability for loss and damage arising therefrom. This drawing / document may not be copied, duplicated, amended, referenced and used in part or whole without the explicit written permission from the author.

ALL DIMENSIONS ARE IN MILLIMETERS. DO NOT SCALE DRAWINGS FOR CRITICAL DIMENSIONS. CHECK DRAWING IS TO SCALE BY MEASURING SCALE BAR BELOW. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK, SHOP DRAWINGS OR ORDERING MATERIALS.



REV	DETAILS	DATE
1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022



PERVERSI-BROOKS ARCHITECTS
STUDIO2: 105 Glen Hagan Road, Huonville, TAS. 7109
PHONE: +61 (0) 421 850 818
EMAIL: sam@perverse-brooks.com
WEB: www.perverse-brooks.com

SOUTH HOBART HOUSE
368 MACQUARIE STREET, SOUTH
HOBART, TAS 7004
DRAWING TITLE
MATERIALS SCHEDULE

NOT FOR CONSTRUCTION		NORTH
DEVELOPMENT APPLICATION		
SPB	SPB	1 : 100 @A3
SH02	FEB 2022	
DRAWING NO.	REVISION	
DA - 17	1	



EXISTING CONDITIONS PHOTO - VIEW TO SUBJECT SITE FROM MACQUARIE STREET APPROACH



ARTIST IMPRESSION - VIEW TO SUBJECT SITE FROM MACQUARIE STREET APPROACH (FOR INFORMATION ONLY)

Copyright © PERVERSI-BROOKS ARCHITECTS

PERVERSI-BROOKS ARCHITECTS does not guarantee, warrant or represent that the information in this document is correct - layout may not comply with building regulations or other regulatory requirements - relevant independent advice should be sought by any interested parties before acting.

PERVERSI-BROOKS ARCHITECTS excludes all liability for loss and damage arising therefrom. This drawing / document may not be copied, duplicated, amended, referenced and used in part or whole without the explicit written permission from the author.

ALL DIMENSIONS ARE IN MILLIMETERS. DO NOT SCALE DRAWINGS FOR CRITICAL DIMENSIONS. CHECK DRAWING IS TO SCALE BY MEASURING SCALE BAR BELOW. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK, SHOP DRAWINGS OR ORDERING MATERIALS.



REV	DETAILS	DATE
1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022



PERVERSI-BROOKS ARCHITECTS
STUDIO: 105 Glen Hagan Road, Huonville, TAS. 7109
PHONE: +61 (0) 421 850 818
EMAIL: sam@perverse-brooks.com
WEB: www.perverse-brooks.com

SOUTH HOBART HOUSE

368 MACQUARIE STREET, SOUTH
HOBART, TAS 7004

EXTERNAL MONTAGES -
SHEET 1

NOT FOR CONSTRUCTION

DEVELOPMENT APPLICATION

DESIGN	DATE	REVISION
SPB	SPB	@A3
SH02	FEB 2022	REVISION
DA - 18		1



EXISTING CONDITIONS PHOTO - VIEW TO SUBJECT SITE FROM HILL STREET GROCER CARPARK



ARTIST IMPRESSION - VIEW TO SUBJECT SITE FROM HILL STREET GROCER CARPARK (FOR INFORMATION ONLY)

Copyright © PERVERSI-BROOKS ARCHITECTS

PERVERSI-BROOKS ARCHITECTS does not guarantee, warrant or represent that the information in this document is correct - layout may not comply with building regulations or other regulatory requirements - relevant independent advice should be sought by any interested parties before acting.

PERVERSI-BROOKS ARCHITECTS excludes all liability for loss and damage arising therefrom. This drawing / document may not be copied, duplicated, amended, referenced and used in part or whole without the explicit written permission from the author.

ALL DIMENSIONS ARE IN MILLIMETERS. DO NOT SCALE DRAWINGS FOR CRITICAL DIMENSIONS. CHECK DRAWING IS TO SCALE BY MEASURING SCALE BAR BELOW. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK, SHOP DRAWINGS OR ORDERING MATERIALS.



REV	DETAILS	DATE
1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022



PERVERSI-BROOKS ARCHITECTS
STUDIO: 105 Glen High Road, Huonville, TAS. 7109
PHONE: +61 (0) 421 850 818
EMAIL: sam@perverse-brooks.com
WEB: www.perverse-brooks.com

SOUTH HOBART HOUSE

368 MACQUARIE STREET, SOUTH
HOBART, TAS 7004

**EXTERNAL MONTAGES -
SHEET 2**

NOT FOR CONSTRUCTION

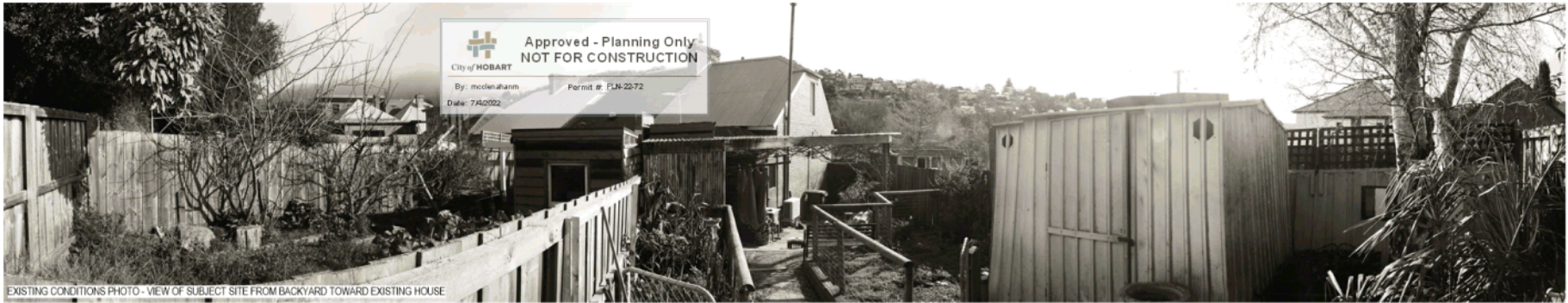
DEVELOPMENT APPLICATION

SPB SPB @A3

SH02 FEB 2022

DA - 19

1



Copyright © PERVERSI-BROOKS ARCHITECTS

PERVERSI-BROOKS ARCHITECTS does not guarantee, warrant or represent that the information in this document is correct - layout may not comply with building regulations or other regulatory requirements - relevant independent advice should be sought by any interested parties before acting.

PERVERSI-BROOKS ARCHITECTS excludes all liability for loss and damage arising therefrom. This drawing / document may not be copied, duplicated, amended, referenced and used in part or whole without the explicit written permission from the author.

ALL DIMENSIONS ARE IN MILLIMETERS. DO NOT SCALE DRAWINGS FOR CRITICAL DIMENSIONS. CHECK DRAWING IS TO SCALE BY MEASURING SCALE BAR BELOW. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK, SHOP DRAWINGS OR ORDERING MATERIALS.

0 10 20 30 40 50

REV	DETAILS	DATE
1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022

PERVERSI-BROOKS ARCHITECTS

STUDIO: 105 Glen Hugen Road, Huonville, TAS. 7109
PHONE: +61 (0) 421 850 818
EMAIL: sam@perverse-brooks.com
WEB: www.perverse-brooks.com

SOUTH HOBART HOUSE

368 MACQUARIE STREET, SOUTH
HOBART, TAS 7004

**EXTERNAL MONTAGES -
SHEET 3**

NOT FOR CONSTRUCTION		NORTH
DEVELOPMENT APPLICATION		
DESIGN	DATE	SHEET
SPB	SPB	@A3
JOB NO		DATE
SH02		FEB 2022
DRAWING No	REVISION	
DA - 20	1	



Copyright © PERVERSI-BROOKS ARCHITECTS

PERVERSI-BROOKS ARCHITECTS does not guarantee, warrant or represent that the information in this document is correct - layout may not comply with building regulations or other regulatory requirements - relevant independent advice should be sought by any interested parties before acting.

PERVERSI-BROOKS ARCHITECTS excludes all liability for loss and damage arising therefrom. This drawing / document may not be copied, duplicated, amended, referenced and used in part or whole without the explicit written permission from the author.

ALL DIMENSIONS ARE IN MILLIMETERS. DO NOT SCALE DRAWINGS FOR CRITICAL DIMENSIONS. CHECK DRAWING IS TO SCALE BY MEASURING SCALE BAR BELOW. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK, SHOP DRAWINGS OR ORDERING MATERIALS.



REV	DETAILS	DATE
1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022



PERVERSI-BROOKS ARCHITECTS
STUDIO: 105 Glen Hagan Road, Huonville, TAS. 7109
PHONE: +61 (0) 421 850 818
EMAIL: sam@perverse-brooks.com
WEB: www.perverse-brooks.com

SOUTH HOBART HOUSE
368 MACQUARIE STREET, SOUTH
HOBART, TAS 7004

**EXTERNAL MONTAGES -
SHEET 4**

NOT FOR CONSTRUCTION			
DEVELOPMENT APPLICATION			
PROJECT	CLIENT	DATE	SCALE
SPB	SPB	@A3	DATE
JOB NO	FEB 2022		
DRAWING NO	REVISION		
DA - 21	1		



City of HOBART

Approved - Planning Only
NOT FOR CONSTRUCTION

By: mcdenaham

Permit #: PLN-22-72

Date: 7/5/2022



ARTIST IMPRESSION - AXONOMETRIC VIEW FROM NORTH-EAST (FOR INFORMATION ONLY)



ARTIST IMPRESSION - AXONOMETRIC VIEW FROM SOUTH-EAST (FOR INFORMATION ONLY)



ARTIST IMPRESSION - AXONOMETRIC VIEW FROM EAST (FOR INFORMATION ONLY)



ARTIST IMPRESSION - AXONOMETRIC VIEW FROM NORTH-EAST (FOR INFORMATION ONLY)

Copyright © PERVERSI-BROOKS ARCHITECTS

PERVERSI-BROOKS ARCHITECTS does not guarantee, warrant or represent that the information in this document is correct - layout may not comply with building regulations or other regulatory requirements - relevant independent advice should be sought by any interested parties before acting.

PERVERSI-BROOKS ARCHITECTS excludes all liability for loss and damage arising therefrom. This drawing / document may not be copied, duplicated, amended, referenced and used in part or whole without the explicit written permission from the author.

ALL DIMENSIONS ARE IN MILLIMETERS. DO NOT SCALE DRAWINGS FOR CRITICAL DIMENSIONS. CHECK DRAWING IS TO SCALE BY MEASURING SCALE BAR BELOW. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK, SHOP DRAWINGS OR ORDERING MATERIALS.



REV	DETAILS	DATE
1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022



PERVERSI-BROOKS ARCHITECTS
STUDIO: 105 Glen Hagan Road, Huonville, TAS. 7109
PHONE: +61 (0) 421 850 818
EMAIL: sam@perverse-brooks.com
WEB: www.perverse-brooks.com

SOUTH HOBART HOUSE
368 MACQUARIE STREET, SOUTH
HOBART, TAS 7004
DRAWING TITLE:
**ADDITIONAL EXTERNAL
VIEWS - SHEET 1**

NOT FOR CONSTRUCTION		
DEVELOPMENT APPLICATION		
DESIGN	SPB	SPB
CHECKED	SPB	SPB
DATE	11/02/2022	11/02/2022
REVISION	DA - 22	1



City of HOBART

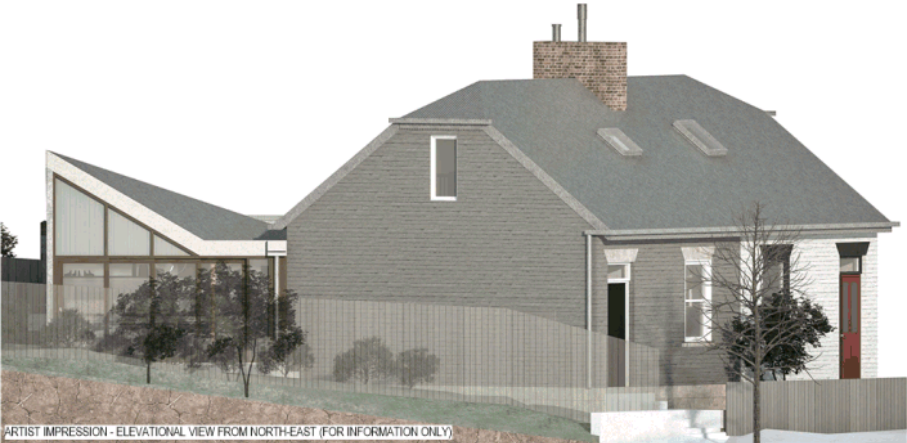
Approved - Planning Only

NOT FOR CONSTRUCTION

By: mcdanielaham

Permit #: PLN-22-72

Date: 7/4/2022



ARTIST IMPRESSION - ELEVATIONAL VIEW FROM NORTH-EAST (FOR INFORMATION ONLY)



ARTIST IMPRESSION - ELEVATIONAL VIEW FROM MACQUARIE STREET (FOR INFORMATION ONLY)



ARTIST IMPRESSION - ELEVATIONAL VIEW FROM EAST (FOR INFORMATION ONLY)

Copyright © PERVERSI-BROOKS ARCHITECTS

PERVERSI-BROOKS ARCHITECTS does not guarantee, warrant or represent that the information in this document is correct - layout may not comply with building regulations or other regulatory requirements - relevant independent advice should be sought by any interested parties before acting.

PERVERSI-BROOKS ARCHITECTS excludes all liability for loss and damage arising therefrom. This drawing / document may not be copied, duplicated, amended, referenced and used in part or whole without the explicit written permission from the author.

ALL DIMENSIONS ARE IN MILLIMETERS. DO NOT SCALE DRAWINGS FOR CRITICAL DIMENSIONS. CHECK DRAWING IS TO SCALE BY MEASURING SCALE BAR BELOW. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK, SHOP DRAWINGS OR ORDERING MATERIALS.

0

10

20

30

40

50

REV	DETAILS	DATE
1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022



PERVERSI-BROOKS ARCHITECTS
STUDIO: 105 Glen Hugen Road, Huonville, TAS. 7109
PHONE: +61 (0) 421 850 818
EMAIL: sam@perversi-brooks.com
WEB: www.perversi-brooks.com

SOUTH HOBART HOUSE
368 MACQUARIE STREET, SOUTH
HOBART, TAS 7004
DRAWING TITLE:
**ADDITIONAL EXTERNAL
VIEWS - SHEET 2**

NOT FOR CONSTRUCTION			
DEVELOPMENT APPLICATION			
PROJECT	CLIENT	DATE	SCALE
SPB	SPB	@A3	
JOB NO		DATE	
SH02		FEB 2022	
DRAWING NO		REVISION	
DA - 23		1	



City of HOBART

Approved - Planning Only

NOT FOR CONSTRUCTION

By: mcdlenaham

Permit #: PLN-22-72

Date: 7/4/2022



Copyright © PERVERSI-BROOKS ARCHITECTS

PERVERSI-BROOKS ARCHITECTS does not guarantee, warrant or represent that the information in this document is correct - layout may not comply with building regulations or other regulatory requirements - relevant independent advice should be sought by any interested parties before acting.

PERVERSI-BROOKS ARCHITECTS excludes all liability for loss and damage arising therefrom. This drawing / document may not be copied, duplicated, amended, referenced and used in part or whole without the explicit written permission from the author.

ALL DIMENSIONS ARE IN MILLIMETERS. DO NOT SCALE DRAWINGS FOR CRITICAL DIMENSIONS. CHECK DRAWING IS TO SCALE BY MEASURING SCALE BAR BELOW. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK, SHOP DRAWINGS OR ORDERING MATERIALS.

0

10

20

30

40

50

REV	DETAILS	DATE
1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022



PERVERSI-BROOKS ARCHITECTS
STUDIO: 105 Glen Hugen Road, Huonville, TAS. 7109
PHONE: +61 (0) 421 850 818
EMAIL: sam@perversi-brooks.com
WEB: www.perversi-brooks.com

SOUTH HOBART HOUSE
368 MACQUARIE STREET, SOUTH
HOBART, TAS 7004
DRAWING TITLE
**ADDITIONAL EXTERNAL
VIEWS - SHEET 3**

NOT FOR CONSTRUCTION			NORTH
DEVELOPMENT APPLICATION			
DESIGN	DATE	SCALE	REVISION
SPB	SPB	@A3	EDITOR
JOB NO		FEB 2022	
DRAWING NO		REVISION	
DA - 24		1	



City of HOBART

Approved - Planning Only

NOT FOR CONSTRUCTION

By: mcdlenaham

Permit #: PLN-22-72

Date: 7/5/2022



ARTIST IMPRESSION - VIEW FROM BACKYARD TOWARD PROPOSED ADDITION (FOR INFORMATION ONLY)

Copyright © PERVERSI-BROOKS ARCHITECTS

PERVERSI-BROOKS ARCHITECTS does not guarantee, warrant or represent that the information in this document is correct - layout may not comply with building regulations or other regulatory requirements - relevant independent advice should be sought by any interested parties before acting.

PERVERSI-BROOKS ARCHITECTS excludes all liability for loss and damage arising therefrom. This drawing / document may not be copied, duplicated, amended, referenced and used in part or whole without the explicit written permission from the author.

ALL DIMENSIONS ARE IN MILLIMETERS. DO NOT SCALE DRAWINGS FOR CRITICAL DIMENSIONS. CHECK DRAWING IS TO SCALE BY MEASURING SCALE BAR BELOW. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK, SHOP DRAWINGS OR ORDERING MATERIALS.

0

10

20

30

40

50

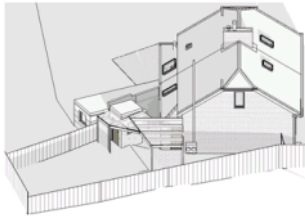
REV	DETAILS	DATE
1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022



PERVERSI-BROOKS ARCHITECTS
STUDIO: 105 Glen Hagan Road, Huonville, TAS. 7109
PHONE: +61 (0) 421 850 818
EMAIL: sam@perversi-brooks.com
WEB: www.perversi-brooks.com

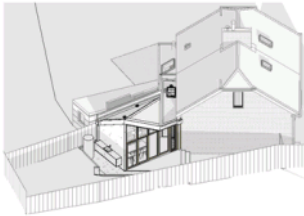
SOUTH HOBART HOUSE
368 MACQUARIE STREET, SOUTH
HOBART, TAS 7004
DRAWING TITLE
**ADDITIONAL EXTERNAL
VIEWS - SHEET 4**

NOT FOR CONSTRUCTION			NORTH
DEVELOPMENT APPLICATION			
DESIGN	DATE	SHEET	
SPB	SPB	@A3	
JOB NO		DATE	
SH02		FEB 2022	
DRAWING NO	REVISION		
DA - 25			1



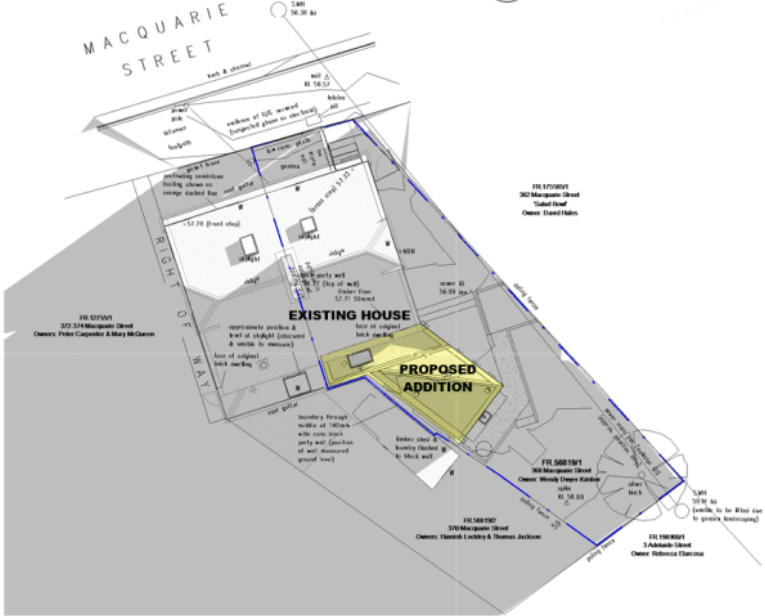
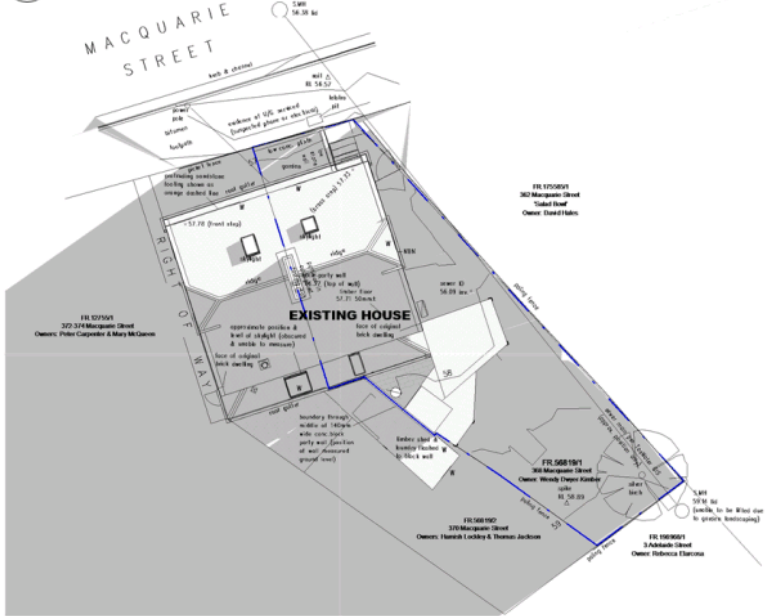
Approved - Planning Only
NOT FOR CONSTRUCTION

By: mclennanham Permit #: PLN-22-72
Date: 7/4/2022



3 3D Solar Access Diagram_Existing_9am
Scale:

4 3D Solar Access Diagram_Proposed_9am
Scale:



2 Existing Shadow Diagram June 21 - 9am
Scale: 1 : 200

1 Proposed Shadow Diagram June 21 - 9am
Scale: 1 : 200

Copyright © PERVERSI-BROOKS ARCHITECTS

PERVERSI-BROOKS ARCHITECTS does not guarantee, warrant or represent that the information in this document is correct - layout may not comply with building regulations or other regulatory requirements - relevant independent advice should be sought by any interested parties before acting.

PERVERSI-BROOKS ARCHITECTS excludes all liability for loss and damage arising therefrom. This drawing / document may not be copied, duplicated, amended, referenced and used in part or whole without the explicit written permission from the author.

ALL DIMENSIONS ARE IN MILLIMETERS. DO NOT SCALE DRAWINGS FOR CRITICAL DIMENSIONS. CHECK DRAWING IS TO SCALE BY MEASURING SCALE BAR BELOW. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK, SHOP DRAWINGS OR ORDERING MATERIALS.

0 10 20 30 40 50

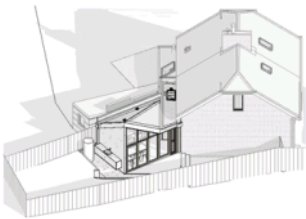
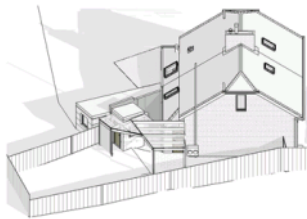
REV	DETAILS	DATE
1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022

PERVERSI-BROOKS ARCHITECTS

STUDIO: 105 Glen Hagan Road, Moorville, TAS. 7109
PHONE: +61 (0) 421 850 818
EMAIL: sam@perverse-brooks.com
WEB: www.perverse-brooks.com

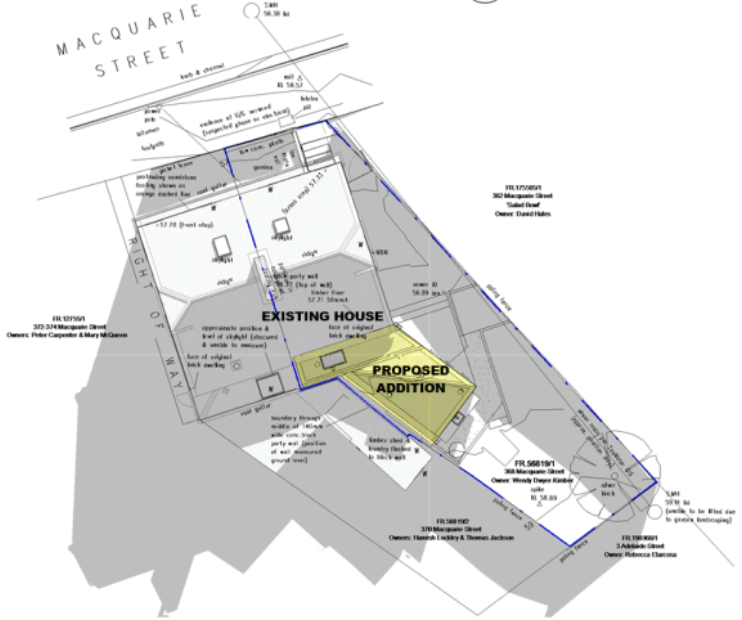
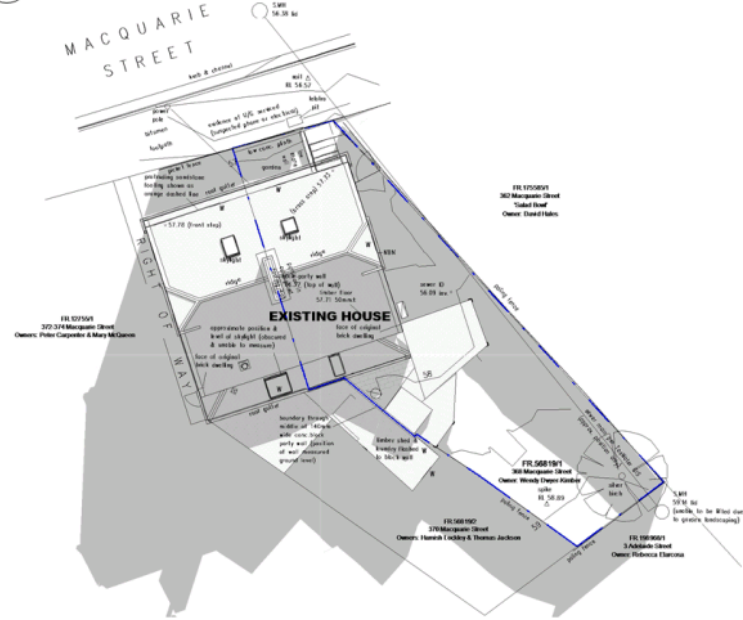
SOUTH HOBBART HOUSE
368 MACQUARIE STREET, SOUTH
HOBBART, TAS 7004
SHADOW DIAGRAM - JUNE
21, 9am

NOT FOR CONSTRUCTION	
DEVELOPMENT APPLICATION	
SPB	SPB
1 : 200 @A3	
SH02	FEB 2022
DA - 14	1



3 3D Solar Access Diagram_Existing_12pm
Scale:

4 3D Solar Access Diagram_Proposed_12pm
Scale:



2 Existing Shadow Diagram June 21 - 12pm
Scale: 1: 200

1 Proposed Shadow Diagram June 21 - 12pm
Scale: 1: 200

Copyright © PERVERSI-BROOKS ARCHITECTS

PERVERSI-BROOKS ARCHITECTS does not guarantee, warrant or represent that the information in this document is correct - layout may not comply with building regulations or other regulatory requirements - relevant independent advice should be sought by any interested parties before acting.

PERVERSI-BROOKS ARCHITECTS excludes all liability for loss and damage arising therefrom. This drawing / document may not be copied, duplicated, amended, referenced and used in part or whole without the explicit written permission from the author.

ALL DIMENSIONS ARE IN MILLIMETERS. DO NOT SCALE DRAWINGS FOR CRITICAL DIMENSIONS. CHECK DRAWING IS TO SCALE BY MEASURING SCALE BAR BELOW. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK, SHOP DRAWINGS OR ORDERING MATERIALS.

0 10 20 30 40 50

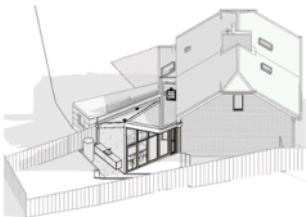
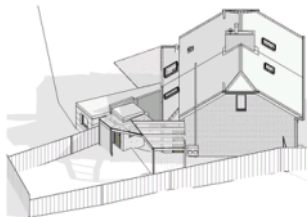
REV	DETAILS	DATE
1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022



PERVERSI-BROOKS ARCHITECTS
STUDIO: 105 Glen Hagan Road, Moorville, TAS. 7109
PHONE: +61 (0) 421 850 818
EMAIL: sam@perverse-brooks.com
WEB: www.perverse-brooks.com

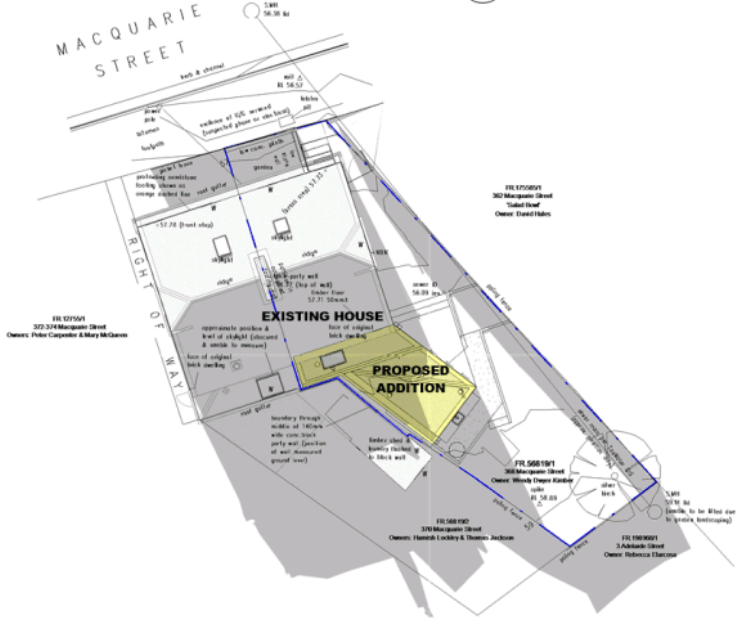
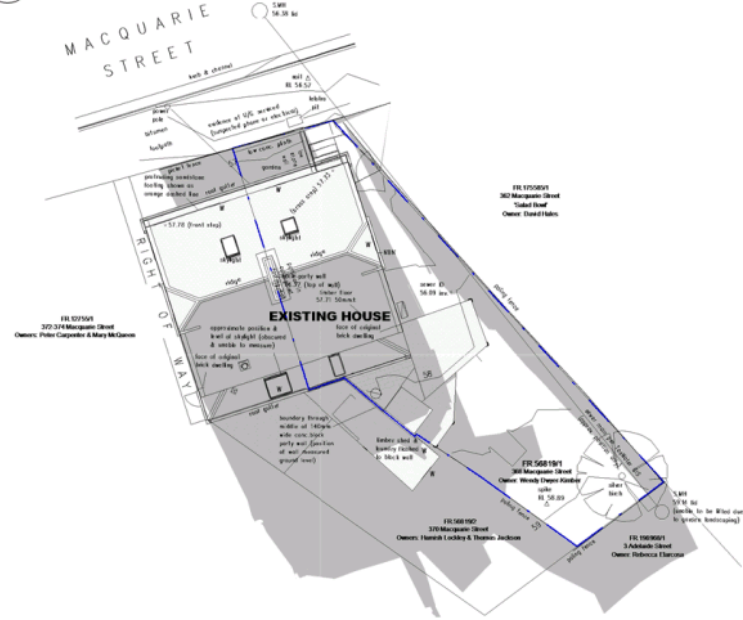
PROJECT
SOUTH HOBART HOUSE
368 MACQUARIE STREET, SOUTH
HOBART, TAS 7004
DRAWING TITLE
**SHADOW DIAGRAM - JUNE
21, 12m**

NOT FOR CONSTRUCTION		DEVELOPMENT APPLICATION	
SPB	SPB	1 : 200 @A3	
SH02		FEB 2022	
DA - 15			1



3 3D Solar Access Diagram_Existing_3pm
Scale:

4 3D Solar Access Diagram_Proposed_3pm
Scale:



2 Existing Shadow Diagram June 21 - 3pm
Scale: 1: 200

1 Proposed Shadow Diagram June 21 - 3pm
Scale: 1: 200

Copyright © PERVERSI-BROOKS ARCHITECTS

PERVERSI-BROOKS ARCHITECTS does not guarantee, warrant or represent that the information in this document is correct - layout may not comply with building regulations or other regulatory requirements - relevant independent advice should be sought by any interested parties before acting.

PERVERSI-BROOKS ARCHITECTS excludes all liability for loss and damage arising therefrom. This drawing / document may not be copied, duplicated, amended, referenced and used in part or whole without the explicit written permission from the author.

ALL DIMENSIONS ARE IN MILLIMETERS. DO NOT SCALE DRAWINGS FOR CRITICAL DIMENSIONS. CHECK DRAWING IS TO SCALE BY MEASURING SCALE BAR BELOW. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK, SHOP DRAWINGS OR ORDERING MATERIALS.

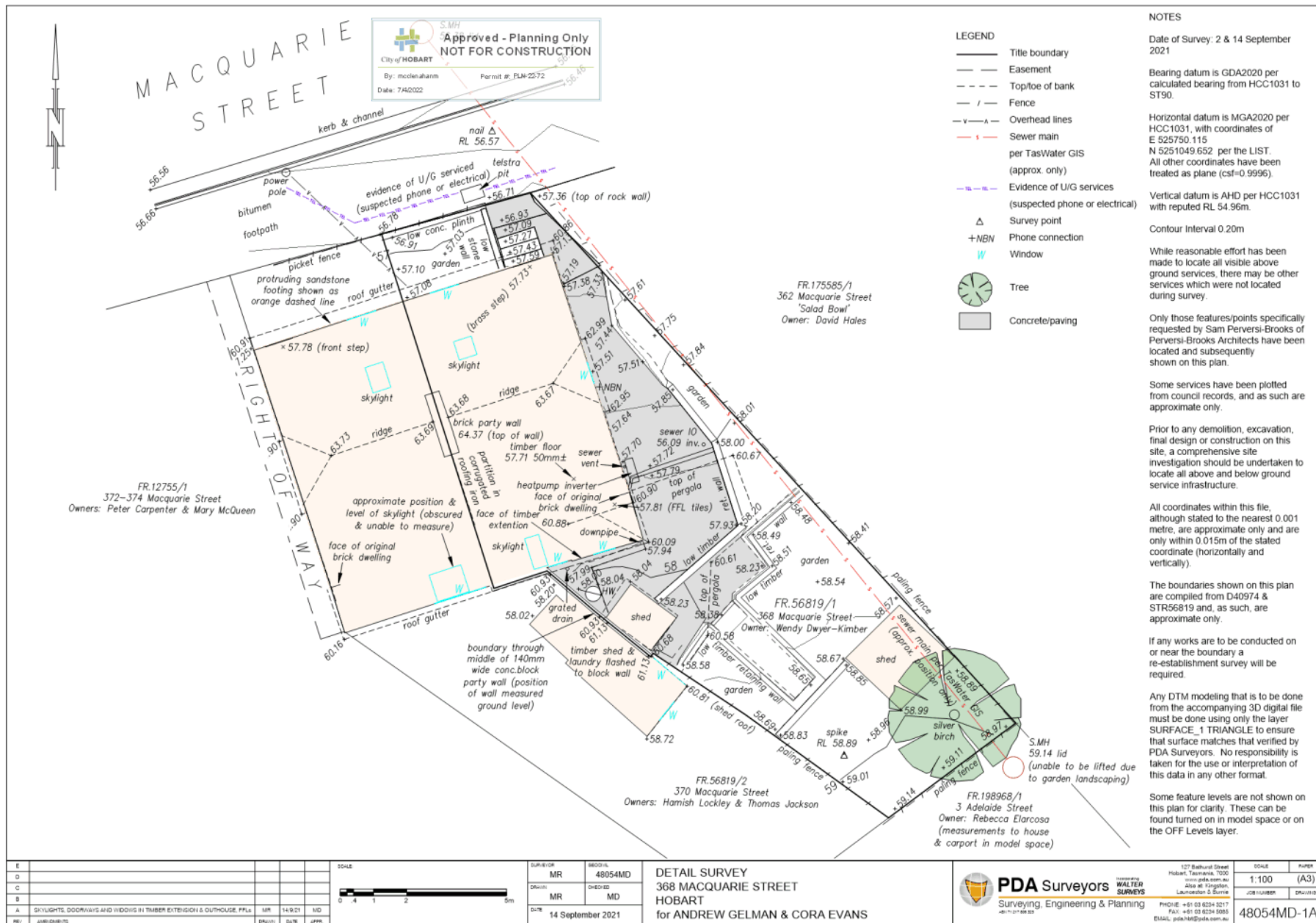
0 10 20 30 40 50

REV	DETAILS	DATE
1	ISSUED FOR DEVELOPMENT APPLICATION	11/02/2022

PERVERSI-BROOKS ARCHITECTS
STUDIO: 105 Glen Hagan Road, Moorville, TAS. 7109
PHONE: +61 (0) 421 850 818
EMAIL: sam@perversi-brooks.com
WEB: www.perversi-brooks.com

SOUTH HOBART HOUSE
368 MACQUARIE STREET, SOUTH
HOBART, TAS 7004
DRAWING TITLE
**SHADOW DIAGRAM - JUNE
21, 3pm**

NOT FOR CONSTRUCTION		NORTH	
DEVELOPMENT APPLICATION			
SPB	SPB	1 : 200 @A3	DATE
SH02	FEB 2022		REVISION
DA - 16			1





08th March 2022

City of Hobart - Planning Department
Town Hall, Macquarie Street
GPO Box 503
Hobart, TAS. 7001
coh@hobartcity.com.au

APPLICATION NO. PLN2272:
368 MACQUARIE STREET, SOUTH HOBART, TASMANIA 7004
TITLE REFERENCE: CT 56819/1

Dear Sir/Madam,

Please find attached the following in relation to your request for additional information dated 2nd March 2022:

- Heritage Code - Photos of all built elements proposed to be demolished.
- Stormwater Code – Proposed Stormwater Drainage Plan (Drawing DA26)

If you have any queries regarding the attached, please do not hesitate to contact me via the below details.

Yours sincerely,

Sam Perversi-Brooks

PERVERSI-BROOKS ARCHITECTS

PHONE: +61 (0) 421 850 818
EMAIL: perversibrooks@gmail.com
WEB: www.perversi-brooks.com
STUDIO: 105 Glen Huon Road, Huonville. TAS. 7109

ARBV REGISTRATION NO. 17831
TAS REGISTRATION NO. 1286
ABN 84 551 780 902



SOUTH HOBART HOUSE
368 MACQUARIE STREET, SOUTH
HOBART. TAS 7004

HERITAGE RFI 1 - PHOTOS OF ALL BUILT
ELEMENTS PROPOSED TO BE DEMOLISHED

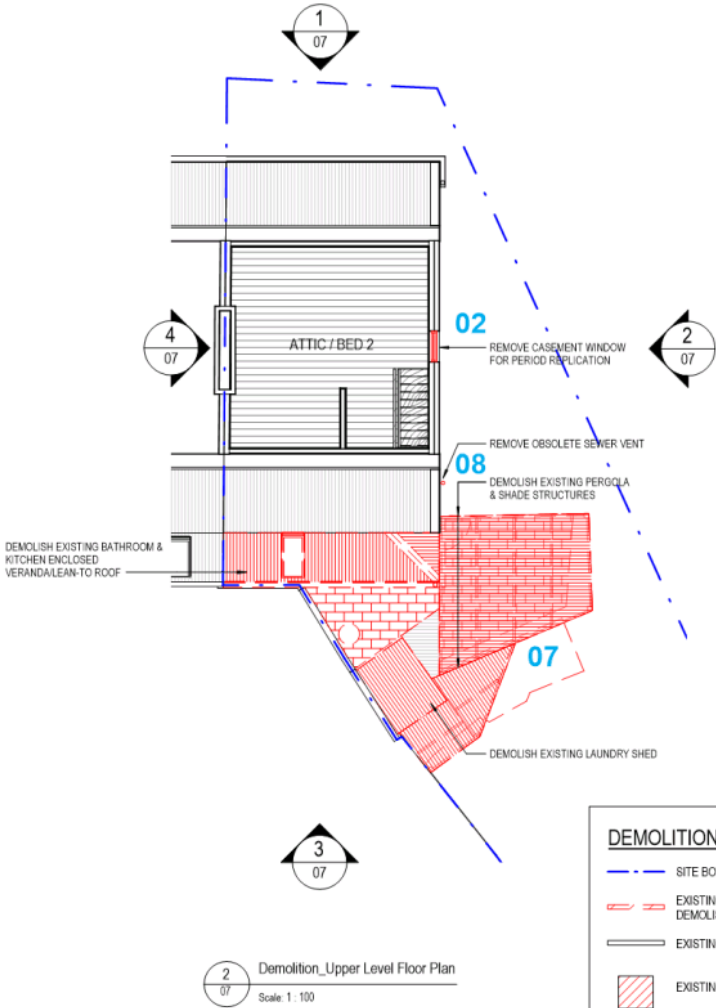
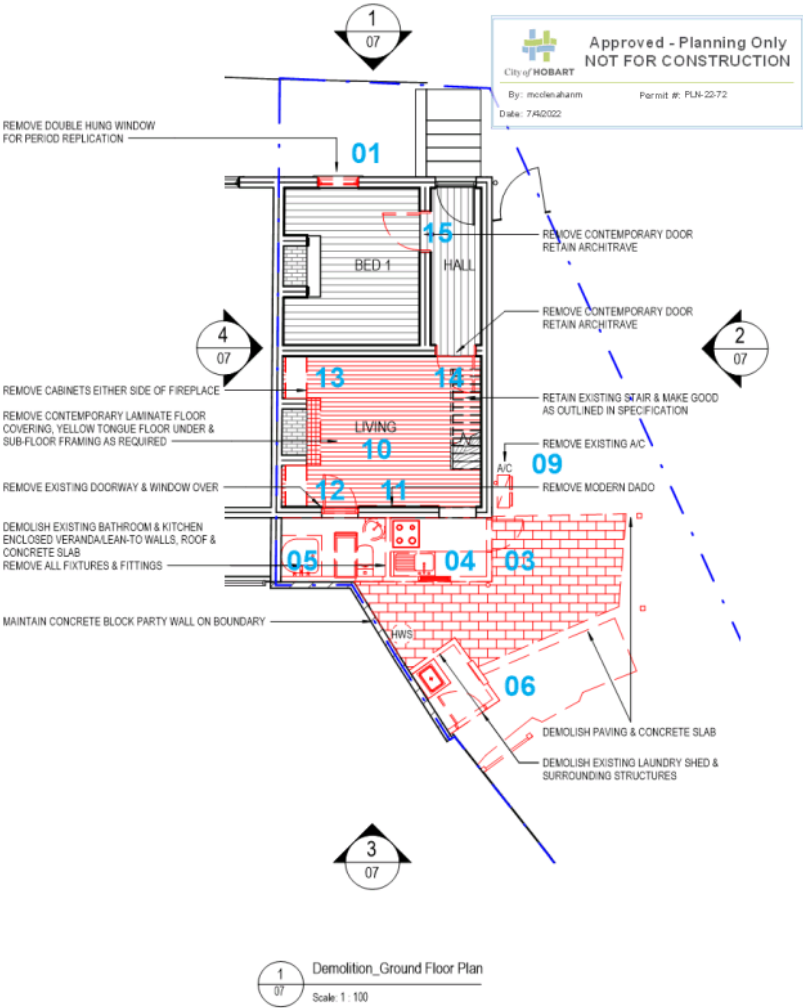


01	HERITAGE RFI 1	08/03/22
rev	revision description	date

HERITAGE RFI 1 - COVER
SOUTH HOBART HOUSE 368 MACQUARIE STREET, SOUTH HOBART. TAS 7004



DATE:	MAR 2022
SCALE:	N/A
DWG NO:	REV
SH02 - 01	01



DEMOLITION LEGEND	
	SITE BOUNDARY LINE
	EXISTING BUILDING OR FEATURE TO BE DEMOLISHED
	EXISTING BUILDING TO BE RETAINED
	EXISTING LANDSCAPING TO BE DEMOLISHED
	EXISTING TREE TO BE REMOVED

REVISIONS

rev	revision description	date
01	HERITAGE RFI 1	08/03/22

PHOTO REFERENCE PLAN - EXTRACT OF DA-06	
SOUTH HOBART HOUSE	
368 MACQUARIE STREET, SOUTH	
HOBART, TAS 7004	

DATE:	MAR 2022
SCALE:	N/A
DWG NO:	SH02 - 02
REV	01



Approved - Planning Only
NOT FOR CONSTRUCTION

By: mcdonaham Permit #: PLN-22-72
Date: 7/4/2022



#01 - REMOVE DOUBLE HUNG WINDOW FOR PERIOD REPLICATION



01	HERITAGE RFI 1	08/03/22
rev	revision description	date

#01 - FRONT WINDOW
SOUTH HOBART HOUSE
368 MACQUARIE STREET, SOUTH
HOBART, TAS 7004

DATE:	MAR 2022
SCALE:	N/A
DWG NO:	SH02 - 03
REV	01



#02 - REMOVE CASEMENT WINDOW FOR PERIOD REPLICATION



01	HERITAGE RFI 1	08/03/22
rev	revision description	date

#02 - ATTIC SIDE WINDOW
SOUTH HOBART HOUSE
368 MACQUARIE STREET, SOUTH
HOBART, TAS 7004

DATE:	MAR 2022
SCALE:	N/A
DWG NO:	SH02 - 04
REV	01



#03 - DEMOLISH EXISTING BATHROOM & KITCHEN ENCLOSED VERANDAH WALLS, ROOF & CONCRETE SLAB



01	HERITAGE RFI 1	08/03/22
rev	revision description	date

#03 - EXISTING ENCLOSED VERANDAH
SOUTH HOBART HOUSE
368 MACQUARIE STREET, SOUTH
HOBART, TAS 7004

DATE:	MAR 2022
SCALE:	N/A
DWG NO:	SH02 - 05
REV	01



City of HOBART
Approved - Planning Only
NOT FOR CONSTRUCTION
By: mcdonaldm
Date: 7/4/2022
Permit #: PL10-23-72

#04 - DEMOLISH EXISTING KITCHEN - REMOVE ALL FIXTURES & FITTING



01	HERITAGE RFI 1	08/03/22
rev	revision description	date

#04 - EXISTING KITCHEN
SOUTH HOBART HOUSE
368 MACQUARIE STREET, SOUTH
HOBART, TAS 7004

DATE:	MAR 2022
SCALE:	N/A
DWG NO:	SH02 - 06
REV	01



City of HOBART
Approved - Planning Only
NOT FOR CONSTRUCTION
By: mcdonaldm
Date: 7/4/2022
Permit #: PLN-22-72

#05 - DEMOLISH EXISTING BATHROOM - REMOVE ALL FIXTURES & FITTING



01	HERITAGE RFI 1	08/03/22
rev	revision description	date

#05 - EXISTING BATHROOM
SOUTH HOBART HOUSE
368 MACQUARIE STREET, SOUTH
HOBART, TAS 7004

DATE:	MAR 2022
SCALE:	N/A
DWG NO:	SH02 - 07
REV	01



#06 - DEMOLISH EXISTING LAUNDRY SHED & SURROUNDING STRUCTURES



01	HERITAGE RFI 1	08/03/22
rev	revision description	date

#06 - EXISTING LAUNDRY SHED & STRUCTURES
SOUTH HOBART HOUSE 368 MACQUARIE STREET, SOUTH HOBART, TAS 7004

--

DATE:	MAR 2022
SCALE:	N/A
DWG NO:	SH02 - 08
REV	01



#07 - DEMOLISH EXISTING PERGOLA & SHADE STRUCTURES



01	HERITAGE RFI 1	08/03/22
rev	revision description	date

#07 - EXISTING PERGOLA & STRUCTURES
SOUTH HOBART HOUSE
368 MACQUARIE STREET, SOUTH
HOBART, TAS 7004

DATE:	MAR 2022
SCALE:	N/A
DWG NO:	SH02 - 09
REV	01



#08 - REMOVE OBSOLETE SEWER VENT



01	HERITAGE RFI 1	08/03/22
rev	revision description	date

#08 - SEWER VENT
SOUTH HOBART HOUSE
368 MACQUARIE STREET, SOUTH
HOBART, TAS 7004

DATE:	MAR 2022
SCALE:	N/A
DWG NO:	SH02 - 10
REV	01



City of HOBART

Approved - Planning Only

NOT FOR CONSTRUCTION

By: mcdonahum

Permit #: PLN-22-72

Date: 7/4/2022



#09 - REMOVE EXISTING A/C

S
P
E
R
V
I
S
O
R

			#09 - AIR CONDITIONING		DATE: MAR 2022
			SOUTH HOBART HOUSE		SCALE: N/A
			368 MACQUARIE STREET, SOUTH		DWG NO: SH02 - 11
			HOBART, TAS 7004		REV 01
01	HERITAGE RFI 1	08/03/22			
rev	revision description	date			



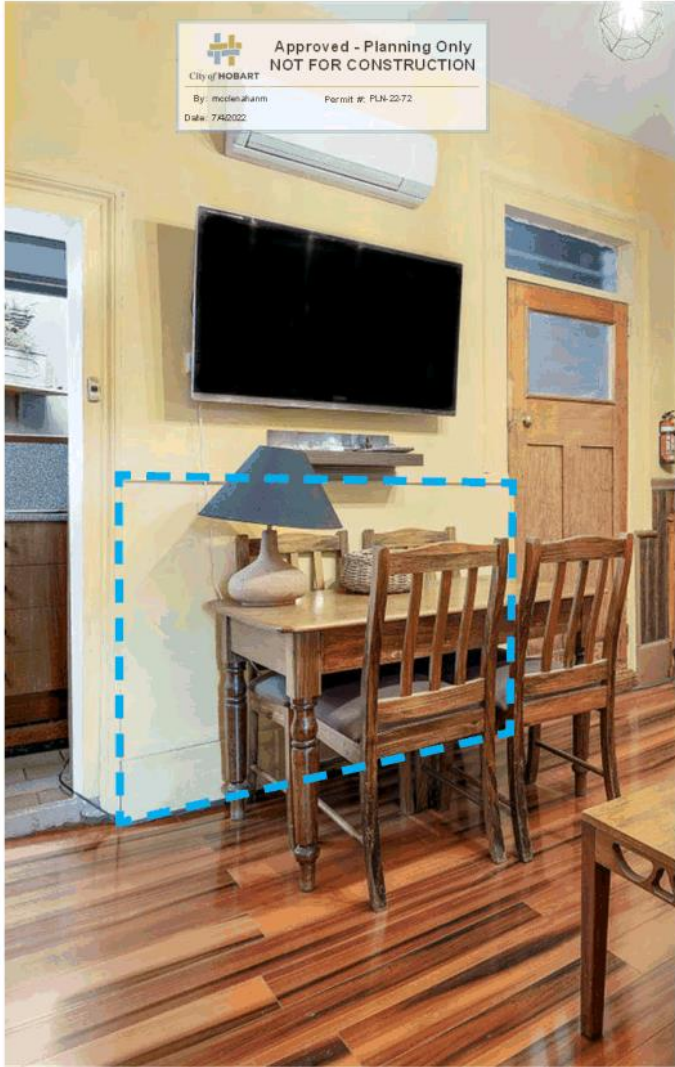
#10 - REMOVE CONTEMPORARY LAMINATE FLOOR COVERING, YELLOW TONGUE FLOOR UNDER & SUB-FLOOR FRAMING



01	HERITAGE RFI 1	08/03/22
rev	revision description	date

#10 - CONTEMPORARY LOUNGE FLOORING
SOUTH HOBART HOUSE
368 MACQUARIE STREET, SOUTH
HOBART, TAS 7004

DATE:	MAR 2022
SCALE:	N/A
DWG NO:	SH02 - 12
REV	01



City of HOBART
Approved - Planning Only
NOT FOR CONSTRUCTION
By: mcselakanni Permit #: PLN-22-72
Date: 7/4/2022



#11 - REMOVE MODERN DADO - LIVING ROOM



01	HERITAGE RFI 1	08/03/22
rev	revision description	date

#11 - MODERN DADO - LOUNGE
SOUTH HOBART HOUSE 368 MACQUARIE STREET, SOUTH HOBART, TAS 7004

--

DATE:	MAR 2022
SCALE:	N/A
DWG NO:	SH02 - 13
REV	01



City of HOBART
Approved - Planning Only
NOT FOR CONSTRUCTION
By: mcdonaham
Date: 7/4/2022
Permit #: PLN-22-72

#12 - REMOVE EXISTING BATHROOM DOORWAY & WINDOW OVER

REVISIONS

rev	revision description	date
01	HERITAGE RFI 1	08/03/22

#12 - BATHROOM DOORWAY & WINDOW SOUTH HOBART HOUSE 368 MACQUARIE STREET, SOUTH HOBART, TAS 7004
--

--

DATE: MAR 2022	REV
SCALE: N/A	01
DWG NO: SH02 - 14	



#13 - REMOVE CABINETS EITHER SIDE OF FIREPLACE - LIVING ROOM



01	HERITAGE RFI 1	08/03/22
rev	revision description	date

#13 - MODERN CABINETS - LOUNGE
SOUTH HOBART HOUSE
368 MACQUARIE STREET, SOUTH
HOBART, TAS 7004

DATE:	MAR 2022
SCALE:	N/A
DWG NO:	SH02 - 15
REV	01



City of HOBART
Approved - Planning Only
NOT FOR CONSTRUCTION
By: mcdelahanm
Date: 7/4/2022
Permit #: PU-22-72



#14 - REMOVE CONTEMPORARY DOOR, RETAIN ARCHITRAVE



01	HERITAGE RFI 1	08/03/22
rev	revision description	date

#14 - CONTEMPORARY DOOR - HALLWAY
SOUTH HOBART HOUSE
368 MACQUARIE STREET, SOUTH
HOBART, TAS 7004

DATE:	MAR 2022
SCALE:	N/A
DWG NO:	SH02 - 16
REV	01



#15 - REMOVE CONTEMPORARY DOOR, RETAIN ARCHITRAVE



01	HERITAGE RFI 1	08/03/22
rev	revision description	date

#15 - CONTEMPORARY DOOR - BEDROOM
SOUTH HOBART HOUSE
368 MACQUARIE STREET, SOUTH
HOBART, TAS 7004

DATE:	MAR 2022
SCALE:	N/A
DWG NO:	SH02 - 17
REV	01



DRAINAGE LEGEND	
---	SITE BOUNDARY LINE
---	STORMWATER DRAINAGE
---	AGI DRAIN
---	SEWER DRAINAGE

Copyright © PERVERSI-BROOKS ARCHITECTS

PERVERSI-BROOKS ARCHITECTS does not guarantee, warrant or represent that the information in this document is correct - layout may not comply with building regulations or other regulatory requirements - relevant independent advice should be sought by any interested parties before acting.

PERVERSI-BROOKS ARCHITECTS excludes all liability for loss and damage arising therefrom. This drawing / document may not be copied, duplicated, amended, referenced and used in part or whole without the explicit written permission from the author.

ALL DIMENSIONS ARE IN MILLIMETERS. DO NOT SCALE DRAWINGS FOR CRITICAL DIMENSIONS. CHECK DRAWING IS TO SCALE BY MEASURING SCALE BAR BELOW. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK, SHOP DRAWINGS OR ORDERING MATERIALS.

0 10 20 30 40 50

REV	DETAILS	DATE
2	ISSUED FOR COUNCIL RFI	08/03/2022

PERVERSI-BROOKS ARCHITECTS

STUDIO: 105 Glen Hagan Road, Moorville, TAS. 7109

PHONE: +61 (0) 421 850 818

EMAIL: sam@perversi-brooks.com

WEB: www.perversi-brooks.com

SOUTH HOBART HOUSE

368 MACQUARIE STREET, SOUTH HOBART, TAS 7004

PROPOSED STORMWATER DRAINAGE PLAN

NOT FOR CONSTRUCTION			
DEVELOPMENT APPLICATION			
SPB	SPB	1 : 100 @A3	
SH02		FEB 2022	
DA - 26			2



Submission to Planning Authority Notice

Council Planning Permit No.	PLN-22-72	Council notice date	21/02/2022
TasWater details			
TasWater Reference No.	TWDA 2022/00227-HCC	Date of response	02/03/2022
TasWater Contact	Melissa Newell	Phone No.	0457 084 607
Response issued to			
Council name	CITY OF HOBART		
Contact details	coh@hobartcity.com.au		
Development details			
Address	368 MACQUARIE ST, SOUTH HOBART	Property ID (PID)	7641484
Description of development	Residential Alterations & Additions		
Schedule of drawings/documents			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
Perversi-Brooks Architects	SH02 Proposed Site Plan / DA08	1	Feb 2022
Conditions			
<p>Pursuant to the <i>Water and Sewerage Industry Act</i> 2008 (TAS) Section 56P(1) TasWater imposes the following conditions on the permit for this application:</p> <p>56W CONSENT</p> <p>1. Prior to the issue of the Certificate for Certifiable Work (Building) and/or (Plumbing) by TasWater the applicant or landowner as the case may be must make application to TasWater pursuant to section 56W of the Water and Sewerage Industry Act 2008 for its consent in respect of that part of the development which is built within a TasWater easement or over or within two metres of TasWater infrastructure.</p> <p>DEVELOPMENT ASSESSMENT FEES</p> <p>2. The applicant or landowner as the case may be, must pay a development assessment fee of \$219.04 to TasWater, as approved by the Economic Regulator and the fee will be indexed, until the date paid to TasWater.</p> <p>The payment is required within 30 days of the issue of an invoice by TasWater.</p>			
Advice			
General			
<p>For information on TasWater development standards, please visit https://www.taswater.com.au/building-and-development/technical-standards</p> <p>For application forms please visit https://www.taswater.com.au/building-and-development/development-application-form</p> <p>Service Locations</p> <p>Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.</p> <p>A copy of the GIS is included in email with this notice and should aid in updating of the documentation. The location of this infrastructure as shown on the GIS is indicative only.</p>			



- (a) A permit is required to work within TasWater's easements or in the vicinity of its infrastructure. Further information can be obtained from TasWater
- (b) TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit www.taswater.com.au/Development/Service-location for a list of companies
- (c) TasWater will locate residential water stop taps free of charge
- (d) Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.

56W Consent

The plans submitted with the application for the Certificate for Certifiable Work (Building) and/or (Plumbing) will need to show footings of proposed buildings located over or within 2.0m from TasWater pipes and will need to be designed by a suitably qualified person to adequately protect the integrity of TasWater's infrastructure, and to TasWater's satisfaction, be in accordance with AS3500 Part 2.2 Section 3.8 to ensure that no loads are transferred to TasWater's pipes. These plans will need to also include a cross sectional view through the footings which clearly shows;

- (a) Existing pipe depth and proposed finished surface levels over the pipe;
- (b) The line of influence from the base of the footing must pass below the invert of the pipe and be clear of the pipe trench and;
- (c) A note on the plan indicating how the pipe location and depth were ascertained.
- (d) The location of the property service connection and sewer inspection opening (IO).

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

Authorised by

Jason Taylor
Development Assessment Manager

TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au



Tasmanian Heritage Council
GPO Box 618 Hobart Tasmania 7000
Tel: 1300 850 332
enquiries@heritage.tas.gov.au
www.heritage.tas.gov.au

PLANNING REF: PLN-22-72
THC WORKS REF: 6829
REGISTERED PLACE NO: 3160
APPLICANT: Sam Perversi-Brooks
DATE: 01 April 2022

NOTICE OF HERITAGE DECISION

(Historic Cultural Heritage Act 1995)

The Place: 368 Macquarie St, South Hobart.
Proposed Works: Partial demolition, alterations and extension.

Under section 39(6)(a) of the *Historic Cultural Heritage Act 1995*, the Heritage Council gives notice that it consents to the discretionary permit being granted in accordance with the documentation submitted with Development Application PLN-22-72, advertised on 16/03/2022.

Should you require clarification of any matters contained in this notice, please contact Russell Dobie on 0458 326 828.

A handwritten signature in purple ink, appearing to read 'Ian Boersma'.

Ian Boersma
Works Manager – Heritage Tasmania
Under delegation of the Tasmanian Heritage Council

**7.1.8 370 MACQUARIE STREET. SOUTH HOBART - CHANGE OF USE TO
VISITOR ACCOMMODATION
PLN--22-217 - FILE REF: F22/46210**

Address: 370 Macquarie Street, South Hobart
Proposal: Change of Use to Visitor Accommodation
Expiry Date: 1 June 2022
Extension of Time: Not applicable
Author: Michael McClenahan

RECOMMENDATION:

That pursuant to the *Hobart Interim Planning Scheme 2015*, the Council approve the application for change of use to visitor accommodation, at 370 Macquarie Street, South Hobart 7004 for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

GEN

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-22-217 - 370 MACQUARIE STREET SOUTH HOBART TAS 7004 - Final Planning Documents except where modified below.

Reason for condition

To clarify the scope of the permit.

PLN 18

Prior to the commencement of the approved use, a management plan for the operation of the visitor accommodation must be submitted and approved as a Condition Endorsement, to the satisfaction of the Council's Director City Life. The management plan must include measures to limit, manage and mitigate unreasonable impacts upon the amenity of long term residents. These measures must include, but are not limited to, the following requirements:

1. To limit, manage, and mitigate noise generated as a result of the visitor accommodation.

2. To limit, manage, and mitigate behaviour issues caused as a result of the visitor accommodation.
3. To maintain the security of the building where the visitor accommodation would be located, including managing and/or limiting access to shared areas and facilities.
4. To specify the maximum permitted occupancy of the visitor accommodation.
5. To provide a name and contact phone number of a person who will respond to any complaints regarding behaviour of guests. If the property is sold the Visitor Accommodation Management Plan (VAMP) must be updated with new contact details.

Once approved, the management plan must be implemented prior to the commencement of the approved use and must be maintained for as long as the visitor accommodation is in operation. The VAMP must be provided to adjacent property owners and occupiers within 14 days of being approved. If the property is sold, the updated VAMP (in accordance with 5. above) must be provided to adjacent property owners and occupiers within 10 business days of settlement.

Advice:

This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.

Reason for condition

To ensure that visitor accommodation does not cause an unreasonable loss of residential amenity.

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

NOISE REGULATIONS

Click [here](#) for information with respect to noise nuisances in residential areas.

VISITOR ACCOMMODATION

More information on visitor accommodation, including when building approval is required, can be found [here](#).


In all cases, check with your insurance company that you have adequate cover.

If you are in a bushfire prone area there may be a need to create/review the Bushfire Management Hazard Plan for your property.

If you have a spa or a pool at your property then you are required to test for microbiological quality and chemical parameters on a monthly basis, under the *Public Health Act 1997*. If you have any questions about this then please call our Environmental Health team on 6238 2711.

If you are providing food for consumption on the property, you may require a food business registration in accordance with the *Food Act 2003*. Click [here](#) for more information, or call our Environmental Health team on 6238 2711.

Visitor accommodation is also considered to be a commercial use and also not eligible to residential parking permits. Under the current policy for the issuing of residential parking permits, the proposed change of use to visitor accommodation would not entitle the property to a residential parking permit, or a transferable “bed and breakfast” parking permit.

Attachment A: PLN-22-217 - 370 MACQUARIE STREET SOUTH
HOBART TAS 7004 - Planning Committee or
Delegated Report ↓ 

Attachment B: PLN-22-217 - 370 MACQUARIE STREET SOUTH
HOBART TAS 7004 - CPC Agenda Documents ↓



**APPLICATION UNDER HOBART INTERIM PLANNING SCHEME 2015**

Type of Report: Committee
Council: 30 May 2022
Expiry Date: 1 June 2022
Application No: PLN-22-217
Address: 370 MACQUARIE STREET , SOUTH HOBART
Applicant: Remy Tanner
17 Quandong Street
Freya Ovington
17 Quandong St
Proposal: Change of Use to Visitor Accommodation
Representations: Three
Performance criteria: Planning Directive No. 6
Parking and Access Code

1. Executive Summary

- 1.1 Planning approval is sought for a change of use to Visitor Accommodation, at 370 Macquarie Street, South Hobart.
- 1.2 More specifically the proposal includes:
 - Complete change of use of an existing two bedroom multiple dwelling from Residential to Visitor Accommodation use
- 1.3 The proposal relies on performance criteria to satisfy the following standards and codes:
 - 1.3.1 Planning Directive No. 6 - Visitor Accommodation
 - 1.3.2 Parking and Access Code - Number of Parking Spaces
- Three
- 1.4 (3) representations objecting to the proposal were received within the statutory advertising period between between 28/04/22 - 12/05/22.
- 1.5 The proposal is recommended for approval subject to conditions.

- 1.6 The final decision is delegated to the Council, because the application has been called-in by an Elected Member and three objections have been received during the statutory advertising period.

2. Site Detail

- 2.1 The subject site is located at 370 Macquarie Street, South Hobart and is a strata title residential lot shared with 368 Macquarie Street. The site is approximately 118m² in size. The site contains a conjoined two storey brick multiple dwelling with a narrow frontage to Macquarie Street. The surrounding area is characterised by a combination of residential, commercial, and business and professional services

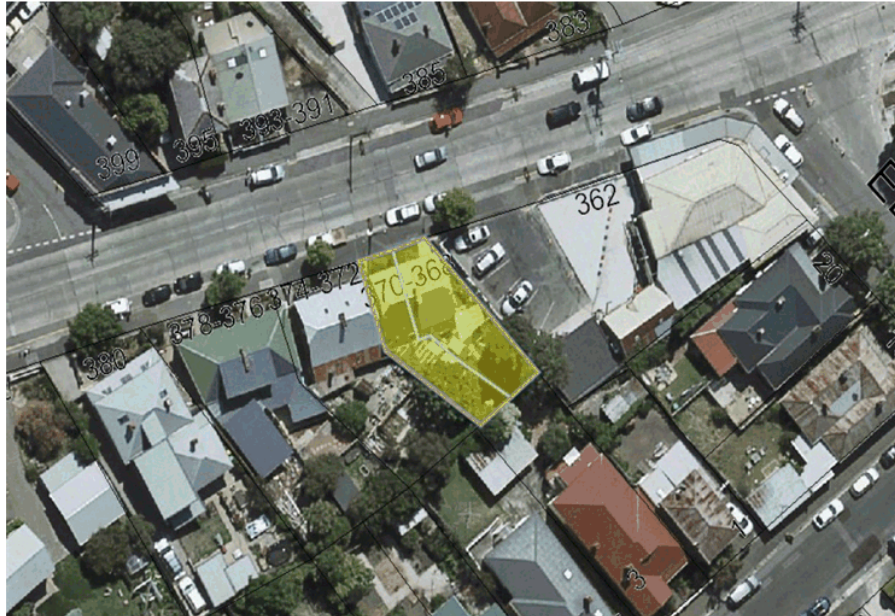


Figure 1: Aerial image of the subject site (marked 370) and parent lot (highlighted in yellow) and surrounding area

3. Proposal

- 3.1 Planning approval is sought for a change of use to Visitor Accommodation, at 370 Macquarie Street, South Hobart.
- 3.2 More specifically the proposal is for:
- Complete change of use of an existing two bedroom multiple dwelling from Residential to Visitor Accommodation use.

4. Background

- 4.1 There is no relevant background for this application.

5. Concerns raised by representors

- 5.1 Three (3) representations objecting to the proposal were received within the statutory advertising period between 28/04/22 - 12/05/22.
- 5.2 The following table outlines the concerns raised in the representations received. Those concerns which relate to a discretion invoked by the proposal are addressed in Section 6 of this report.

I strongly request, that the application for change of visitor use accommodation is refused- on the basis that it doesn't comply with clause (3.1 a) of planning directive number (6) of the Hobart interim planning scheme (2015) (Tasmania). It is not compatible with the character and use of the area, and it would cause unreasonable loss of residential housing.
The Council cannot in good conscience allow further leeching of residential property into the Short Stay market at this time, when locals are sleeping rough due to housing unaffordability and availability access.
Greater Hobart is Australia's least affordable capital city relative to income according to the <i>Rental Affordability Index (RAI)</i> . The RAI found that tenants in Greater Hobart spend around 34 per cent of their income on rent - placing the median tenant in rental stress.
Changes to the availability of housing stock can have significant impact on rents. Short stay accommodation has had a negative impact on the Hobart rental market by reducing supply and increasing prices.
We strongly recommend that the application for the proposed 'change of use to visitor accommodation' of premises at 368 Macquarie St, South Hobart is refused. In our opinion, the application does not comply with clause 3.1 (e) of Planning Directive No.6 ... because the proposal is not compatible with the character and use of the area and it would cause an unreasonable loss of residential amenity.

South Hobart should remain a suburb which prioritises long-term residents. The proliferation of short-term accommodation diminishes the "retaining of the primary residential function of the area" as set out in Performance Criteria (d) of clause 3.1 (e) of the Planning Directive No.6.

This complete dwelling would not be fit for proper use should it be changed to short stay visitor accommodation. As the city of Hobart Local Government Area is currently experiencing a housing crisis. This dwellings proper use, would be that it is utilised for long term rental, given it's proximity and access to the CBD and surrounding areas, likely by a person or couple that wish to move to this beautiful city

It is the primary residential function of this area to provide long term residents access to housing close to the South Hobart shopping district. In the current housing crisis it should not be seen as within a residential function that homes are transitioned into hotels, they need to be utilised as homes for long term residents of Hobart. The primary residential function of all houses, appartments, units and studios is to provide shelter for those who live in that area. This dwelling being changed to short stay visitor accommodation would not retain the primary residential function, as diversity is decreasing in the city due to housing affordability and to the increasing population and decreasing housing stock.

6. Assessment

- 6.1 The *Hobart Interim Planning Scheme 2015* is a performance based planning scheme. To meet an applicable standard, a proposal must demonstrate compliance with either an acceptable solution or a performance criterion. Where a proposal complies with a standard by relying on one or more performance criteria, the Council may approve or refuse the proposal on that basis. The ability to approve or refuse the proposal relates only to the performance criteria relied on.
- 6.2 The site is located within the Inner Residential Zone of the *Hobart Interim Planning Scheme 2015*.
- 6.3 The existing use is Residential (multiple dwelling). The proposed use is Visitor Accommodation. The existing use is a permitted use in the zone. The proposed use is a permitted use in the zone.
- 6.4 The proposal has been assessed against:

- 6.4.1 Interim Planning Directive No.6
- 6.4.2 E6.0 Parking and Access Code
- 6.5 The proposal relies on the following performance criteria to comply with the applicable standards:
 - 6.5.1 Interim Planning Directive No.6
 - Visitor Accommodation - 3.3 (e) P2*
 - 6.5.2 Parking and Access Code:
 - Number of Parking Spaces - E6.6.1 P1*
- 6.6 Each performance criterion is assessed below.
- 6.7 Visitor Accommodation - 3.1 (e) P2
 - 6.7.1 The acceptable solution at clause 3.1 (e) A2 requires that Visitor Accommodation is not for a lot, as defined in the *Strata Titles Act 1998*, that is part of a strata scheme where another lot within that strata scheme is used for a residential use.
 - 6.7.2 The proposal includes a change of use to Visitor Accommodation on a lot that is part of a strata scheme where another lot within that strata scheme is used for a residential use.
 - 6.7.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.
 - 6.7.4 The performance criterion at clause clause 3.1 (e) P2 provides as follows:
 - Visitor Accommodation within a strata scheme must not cause an unreasonable loss of residential amenity to long term residents occupying other lots within the strata scheme, having regard to:*
 - (a) the privacy of residents;*
 - (b) any likely increase in noise;*
 - (c) the residential function of the strata scheme;*

(d) the location and layout of the lots;

(e) the extent and nature of any other non-residential uses; and

(f) any impact on shared access and common property.

- 6.7.5 The proposed application would seek to change the approved use of an existing two bedroom multiple dwelling from Residential to Visitor Accommodation. The current dwelling is part of a two lot strata scheme, shared with a conjoined multiple dwelling directly on the Macquarie Street frontage. Three representations were received during the statutory advertising period, all raised concerns in objection to compliance with Planning Directive No. 6 citing incompatibility with the objectives of the clause and that such a change of use would cause an unreasonable loss of residential amenity. All representations also cited other matters as reasons for refusal which including impacts upon housing availability and affordability.

The matter of housing availability is understood to remain a pressing concern in the Hobart Municipality, as well as the Greater Hobart Region. As addressed in Section 7 of this report, these concerns cannot be considered under planning assessment as *Planning Directive No.6* does not include the matter as a relevant assessment criteria.

In response to the concern that the change of use would not be consistent with the objective of the clause, specifically the compatibility with the character and use of the area, an insight of the immediate neighbourhood has been provided. It is worth noting that the "character and use of the area" is referred to in the objectives to this standard; given that this analysis is not required pursuant to the performance criteria in clause 3.1 (e) P2, this does not provide a separate basis to refuse the application.

There are approximately 108 properties in a 100m from the subject site, the majority are residential properties along Macquarie, Wynyard, and Adelaide Streets but also include cafes, grocers, retail, and medical services. A cursory review of these properties indicates at least two approvals for a change of use to visitor accommodation have been issued by Council. The area has an established mixed use character, catering for a number of residential, retail, and service needs. The creation of a new Visitor Accommodation use, particularly one of this small scale, is assessed as remaining within the character of the area

One representation has also raise concern about compliance with all sub-

clauses of clause 3.1 (e) P1. As above, the proposal has demonstrated compliance with this clause as it accommodates guest in an existing building and the gross floor area is not more than 200m² per lot.

With respect to the sub-clauses of clause 3.1 (e) P2 an assessment has been undertaken. Regarding privacy, the subject site does not require access across common property and will not otherwise provide increased opportunity for occupants to impact upon the privacy of other lots within the strata scheme. Given the small size of the subject site, the capacity of the unit will be small and there is unlikely to be a chance of increased noise beyond what would be generated by existing long-term tenants. A condition requiring creation of a Visitor Accommodation Management Plan is recommend to be included in a permit of approval. This Management Plan will formally regulate the generation of noise by guests and the expectation of behaviour in a residential area.

With respect to sub-clause (c), only one additional lot exists on the same strata scheme. The proposed change of use, accounting for the small scale and inclusion of the aforementioned Visitor Accommodation Management Plan, would not see an unreasonable loss of residential amenity having regard to the residential function of the strata scheme. Both lots have their own street frontage and a change of use will not see any impacts to amenity, considering the existing location and layout of the lots. There are not other existing non-residential uses and there is no shared access or common property.

It is also noted that the other property in the strata scheme, 368 Macquarie Street, has also applied for a change of use to visitor accommodation under PLN-22-216. That application is also before the Council for determination, with an officer recommendation for approval.

6.7.6 The proposal complies with the performance criterion.

6.8 Number of Parking Spaces - E6.6.1 P1

6.8.1 The acceptable solution at clause 6.6.1 A1 requires that the number of on-site car parking spaces must be no less than and no greater than the number specified in Table E6.1, which is one on-site space.

6.8.2 The proposal includes no on-site car parking spaces.

6.8.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.

6.8.4 The performance criterion at clause 6.6.1 P1 provides as follows:

The number of on-site car parking spaces must be sufficient to meet the reasonable needs of users, having regard to all of the following:

- (a) car parking demand;*
- (b) the availability of on-street and public car parking in the locality;*
- (c) the availability and frequency of public transport within a 400m walking distance of the site;*
- (d) the availability and likely use of other modes of transport;*
- (e) the availability and suitability of alternative arrangements for car parking provision;*
- (f) any reduction in car parking demand due to the sharing of car parking spaces by multiple uses, either because of variation of car parking demand over time or because of efficiencies gained from the consolidation of shared car parking spaces;*
- (g) any car parking deficiency or surplus associated with the existing use of the land;*
- (h) any credit which should be allowed for a car parking demand deemed to have been provided in association with a use which existed before the change of parking requirement, except in the case of substantial redevelopment of a site;*
- (i) the appropriateness of a financial contribution in lieu of parking towards the cost of parking facilities or other transport facilities, where such facilities exist or are planned in the vicinity;*
- (j) any verified prior payment of a financial contribution in lieu of parking for the land;*
- (k) any relevant parking plan for the area adopted by Council;*
- (l) the impact on the historic cultural heritage significance of the site if subject to the Local Heritage Code;*

(m) whether the provision of the parking would result in the loss, directly or indirectly, of one or more significant trees listed in the Significant Trees Code.

- 6.8.5 Referral was made to Council's Development Engineer who has provided the following assessment:

The number of on-site car parking spaces must be sufficient to meet the reasonable needs of users, having regard to all of the following:

(a) car parking demand;

- As advised by successive CoH traffic engineers the empirical parking assessment (on-street) indicates that use will operate at an adequate level of service to meet likely demands associated with the development. It is acknowledged on-street car parking capacity may become significantly reduced during peak periods however, should still offer an adequate level of service. The customers utilising the visitor accommodation and any visitors will need to compete for available car parking spaces on the public road.

There is limited survey data to indicate the percentage of persons utilising visitor accommodation dwellings that utilise vehicles as a mode of transport.

(b) the availability of on-street and public car parking in the locality;

- There is a relatively large supply of on-street parking in the surrounding road network however, it is in very high demand. Much of the available parking is in the form of time-restricted parking, with authorised residents excepted. Observations indicate that there is a pool of parking that would be available to meet the potential demands including visitors and overflow parking, particularly after normal working hours.

(c) the availability and frequency of public transport within a 400m walking distance of the site;

- Metro Tasmania operate regular bus service (446 / 447 / 448 / 449) along Macquarie Street which is within 400 metres of the subject site.

(d) the availability and likely use of other modes of transport;

- The site is located a convenient walking / cycle distance from shops, services.

(e) the availability and suitability of alternative arrangements for car parking provision;

- Not applicable.

(f) any reduction in car parking demand due to the sharing of car parking spaces by multiple uses, either because of variation of car parking demand over time or because of efficiencies gained from the consolidation of shared car parking spaces;

- Not applicable.

(g) any car parking deficiency or surplus associated with the existing use of the land;

- Not applicable.

(h) any credit which should be allowed for a car parking demand deemed to have been provided in association with a use which existed before the change of parking requirement, except in the case of substantial redevelopment of a site;

- Not applicable.

(i) the appropriateness of a financial contribution in lieu of parking towards the cost of parking facilities or other transport facilities, where such facilities exist or are planned in the vicinity;

- Not applicable.

(j) any verified prior payment of a financial contribution in lieu of parking for the land;

- Not applicable.

(k) any relevant parking plan for the area adopted by Council;

- Not applicable.

(l) the impact on the historic cultural heritage significance of the site if

subject to the Local Heritage Code; and

- Not applicable.

(m) whether the provision of the parking would result in the loss, directly or indirectly, of one or more significant trees listed in the Significant Trees Code.

- No impact.

The following advice has been included on the planning permit;

Visitor accommodation is also considered to be a commercial use and also not eligible to residential parking permits.

Under the current policy for the issuing of residential parking permits, the proposed change of use to visitor accommodation would not entitle the property to a residential parking permit, or a transferrable “bed and breakfast” parking permit.

Based on the above assessment and given the submitted documentation, the parking provision may be accepted under Performance Criteria P1:E6.6.1 of the Planning Scheme. This is particularly due to the actual parking demands that will be generated by the development.

6.8.6 The proposal complies with the performance criterion.

7. Discussion

7.1 Planning approval is sought for a change of use to Visitor Accommodation, at 370 Macquarie Street, South Hobart.

- 7.2 The application was advertised and received three (3) representations. The representations raised concerns including that the change of use would not be compliant with the performance criterion under the *Planning Directive No. 6* with respect to impacts to privacy, impacts to residential amenity, and impacts to the primary residential function of the area.

All representations also raised concern about the impacts of the increasing loss of dwellings from Residential to Visitor Accommodation on housing availability to the wider community, contributing to housing stress and the loss of long term residential accommodation. Whilst such concerns have considerable social weight and highlight a growing issue in the Hobart Municipality, and Greater Hobart Region, they are not considered relevant for planning assessment, under the current State Government issued *Planning Directive No. 6* and therefore cannot be considered under the discretionary assessment.

- 7.3 It is also noted that the other property in the strata scheme, 368 Macquarie Street, has also applied for a change of use to visitor accommodation under PLN-22-216. That application is also before the Council for determination, with an officer recommendation for approval.
- 7.4 The proposal has been assessed against the relevant provisions of the planning scheme and is considered to perform well.
- 7.5 The proposal has been assessed by other Council officers, including the Council's Development Engineer. The officers have raised no objection to the proposal, subject to conditions.
- 7.6 The proposal is recommended for approval.

8. Conclusion

- 8.1 The proposed change of use to Visitor Accommodation, at 370 Macquarie Street, South Hobart satisfies the relevant provisions of the *Hobart Interim Planning Scheme 2015*, and as such is recommended for approval.

9. Recommendations

That: Pursuant to the *Hobart Interim Planning Scheme 2015*, the Council approve the application for change of use to Visitor Accommodation, at 370 Macquarie Street, South Hobart for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

GEN

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-22-217 - 370 MACQUARIE STREET SOUTH HOBART TAS 7004 - Final Planning Documents except where modified below.

Reason for condition

To clarify the scope of the permit.

PLN 18

Prior to the commencement of the approved use, a management plan for the operation of the visitor accommodation must be submitted and approved as a Condition Endorsement, to the satisfaction of the Council's Director City Life. The management plan must include measures to limit, manage and mitigate unreasonable impacts upon the amenity of long term residents. These measures must include, but are not limited to, the following requirements:

1. **To limit, manage, and mitigate noise generated as a result of the visitor accommodation.**
2. **To limit, manage, and mitigate behaviour issues caused as a result of the visitor accommodation.**
3. **To maintain the security of the building where the visitor accommodation would be located, including managing and/or limiting access to shared areas and facilities.**
4. **To specify the maximum permitted occupancy of the visitor accommodation.**
5. **To provide a name and contact phone number of a person who will respond to any complaints regarding behaviour of guests. If the property is sold the Visitor Accommodation Management Plan (VAMP) must be updated with new contact details.**

Once approved, the management plan must be implemented prior to the

commencement of the approved use and must be maintained for as long as the visitor accommodation is in operation. The VAMP must be provided to adjacent property owners and occupiers within 14 days of being approved. If the property is sold, the updated VAMP (in accordance with 5. above) must be provided to adjacent property owners and occupiers within 10 business days of settlement.

Advice:

This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.

Reason for condition

To ensure that visitor accommodation does not cause an unreasonable loss of residential amenity.

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

NOISE REGULATIONS

Click [here](#) for information with respect to noise nuisances in residential areas.

VISITOR ACCOMMODATION

More information on visitor accommodation, including when building approval is required, can be found [here](#).

In all cases, check with your insurance company that you have adequate cover.

If you are in a bushfire prone area there may be a need to create/review the Bushfire Management Hazard Plan for your property.

If you have a spa or a pool at your property then you are required to test for

microbiological quality and chemical parameters on a monthly basis, under the *Public Health Act 1997*. If you have any questions about this then please call our Environmental Health team on 6238 2711.

If you are providing food for consumption on the property, you may require a food business registration in accordance with the *Food Act 2003*. Click [here](#) for more information, or call our Environmental Health team on 6238 2711.

Visitor accommodation is also considered to be a commercial use and also not eligible to residential parking permits. Under the current policy for the issuing of residential parking permits, the proposed change of use to visitor accommodation would not entitle the property to a residential parking permit, or a transferable "bed and breakfast" parking permit.



(Michael McClenahan)

Development Appraisal Planner

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.



(Ben Ikin)

Senior Statutory Planner

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

Date of Report: 16 May 2022

Attachment(s):

Attachment B - CPC Agenda Documents

Planning: #253970

Property

370 MACQUARIE STREET SOUTH HOBART TAS 7004

People**Applicant ***

Remy Tanner
17 Quandong Street
O'Connor ACT 2602
0468 685 134
remytanner1@gmail.com

Applicant *

Freya Ovington
17 Quandong St
O'Connor ACT 2602
0468685134
freyaovington@gmail.com

Owner *

Remy Tanner
17 Quandong Street
O'Connor ACT 2602
+61468685134
remytanner1@gmail.com

Owner *

Freya Ovington
17 Quandong St
O'Connor ACT 2602
0468685134
freyaovington@gmail.com

Entered By

REMY TANNER
0468 685 134
remytanner1@gmail.com

Use

Visitor accomodation

Details

Have you obtained pre application advice?

☐ No

If YES please provide the pre application advice number eg PAE-17-xx

Are you applying for permitted visitor accommodation as defined by the State Government Visitor Accommodation Standards? Click on help information button for definition. If you are not the owner of the property you MUST include signed confirmation from the owner that they are aware of this application. *

☒ Yes

Is the application for SIGNAGE ONLY? If yes, please enter \$0 in the cost of development, and you must enter the number of signs under Other Details below. *

☒ No

If this application is related to an enforcement action please enter Enforcement Number

Details

What is the current approved use of the land / building(s)? *

Residential and office/shopfront

Please provide a full description of the proposed use or development (i.e. demolition and new dwelling, swimming pool and garage) *

Short-stay accommodation within existing building which is less than 200 sqm and does not have car parking

Estimated cost of development *

0.00

Existing floor area (m2)

60.00

Proposed floor area (m2)

60.00

Site area (m2)

118

Carparking on Site

Total parking spaces

0

Existing parking spaces

0

N/A

☒ Other (no selection chosen)

Other Details

Does the application include signage? *

☒ No

How many signs, please enter 0 if there are none involved in this application? *

0

Tasmania Heritage Register

Is this property on the Tasmanian Heritage Register?

☒ Yes

Documents

Required Documents

Title (Folio text and Plan and 370 Macquarie St - Signed Title and Contract.pdf
Schedule of Easements) *

Plans (proposed, existing) * 370 Macquarie St - Plans.pdf



RESULT OF SEARCH

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



SEARCH OF TORRENS TITLE

VOLUME	FOLIO
56819	2
EDITION	DATE OF ISSUE
10	30-Apr-2021

SEARCH DATE : 07-Mar-2022

SEARCH TIME : 10.31 AM

DESCRIPTION OF LAND

City of HOBART

Lot 2 on Strata Plan 56819 (formerly being STR2769) and a general unit entitlement operating for all purposes of the Strata Scheme being a 1 undivided 1/2 interest

Derived from Strata Plan 56819

Derivation : Part of OA-2R-10Ps. Gtd. to J. Moir and Another
Prior CT 4593/71SCHEDULE 1

M801626 TRANSFER to HAMISH JAMES LOCKLEY and THOMAS ADRIAN JACKSON Registered 19-Feb-2020 at 12.01 PM

SCHEDULE 2Reservations and conditions in the Crown Grant if any
The registered proprietor holds the lot and unit entitlement subject to any interest noted on common property
Folio of the Register volume 56819 folio 0

BENEFITING EASEMENT: a full and free right and liberty for the Purchasers their heirs and assigns and his and their agents and servants and the tenants and occupiers for the time being of the said land within described and all and every other person or persons for the benefit and advantage of the Purchasers their heirs and assigns at all times hereafter by day or by night and for all purposes with or without horses carts carriages or waggons laden or unladen to go return pass and repass over along and upon the right of way shown on Diagram No. 40974

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



RESULT OF SEARCH

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



SEARCH OF TORRENS TITLE

VOLUME	FOLIO
56819	0
EDITION	DATE OF ISSUE
3	14-Oct-1999

SEARCH DATE : 07-Mar-2022
SEARCH TIME : 10.31 AM

DESCRIPTION OF LAND

City of HOBART
The Common Property for Strata Scheme 56819 (formerly being STR2769)
Derivation : Part of OA-2R-10Ps. Gtd. to J. Moir and Another
Prior CT 4043/30

SCHEDULE 1

STRATA CORPORATION NO. 56819, 368-370 MACQUARIE STREET, HOBART

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
BENEFITING EASEMENT: a full and free right and liberty for the purchasers their heirs and assigns and his and their agents and servants and the tenants and occupiers for the time being of the said land within described and all and every other person or persons for the benefit and advantage of the purchasers their heirs and assigns at all times hereafter by day or by night and for all purposes with or without horses carts carriages or waggons laden or unladen to go return pass or repass over along and upon the right of way shown on Diagram No. 40974

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

Page 1 of 1

the **List**.**FOLIO PLAN**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



Conveyancing and Law of Property Act 1884

STRATUM PLAN

No.

Sheet 1 of 3 Sheets

DIAGRAM NO. AMENDED PURSUANT TO
SECTION 139 OF THE LAND TITLES ACT 1980

RECORDER OF TITLES
25/7/1991

D 40974

on Plan
Diagram No. ~~D4043~~

in the

City or Town **HOBART**Locality **SOUTH HOBART**Reference to Title **CT 4043/30**Site comprises the whole
portion of Lot 1

Lands Titles Office

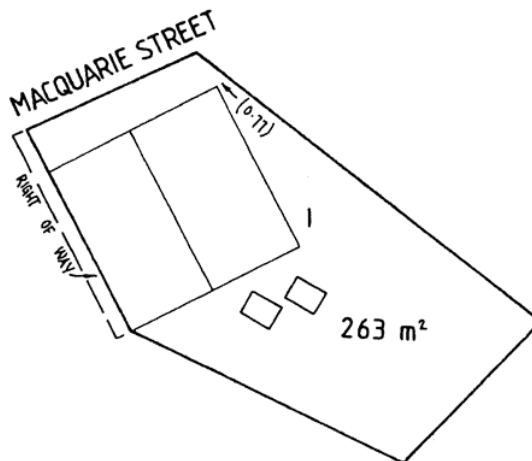
The name of the building is **368-370 MACQUARIE STREET HOBART**

N SITE PLAN
↑ SCALE 1:100
↑ MEASUREMENTS IN METRES

REGISTERED NUMBER

56819

External
surface
boundaries of
the site and
the location of
the building
in relation
thereto to
be delineated
in this space



REGISTERED this

day of

19th of May, No. 2/59

This plan is lodged for registration by

G R HOWES & CO

Recorder of Titles

Search Date: 07 Mar 2022

Search Time: 10:40 AM

Volume Number: 56819

Revision Number: 01

Page 1 of 3

Department of Natural Resources and Environment Tasmania

www.thelist.tas.gov.au

the List..

FOLIO PLAN

RECORDER OF TITLES

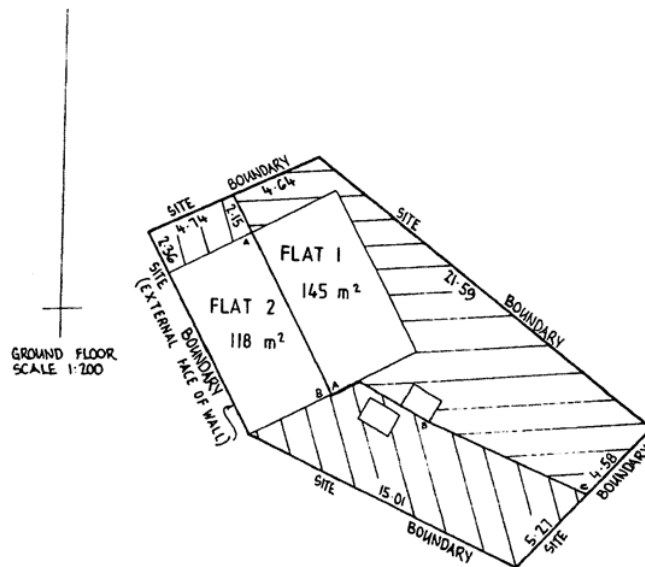
Issued Pursuant to the Land Titles Act 1980



Sheet 2 of 3 Sheets

No. 2769

Town Clerk/Gounell-Glerk



- THE CENTRE OF
- ALL HORIZONTAL FLAT BOUNDARIES ARE SHOWN BY HEAVY UNBROKEN LINES.
 - THE BOUNDARIES DESCRIBED BY MEASUREMENTS ARE OPEN AND THE OTHER BOUNDARY IS THE EXTERNAL FACE OF THE WALL. AB IS THE CENTRE OF A WALL AND BC IS A PALING FENCE.
 - THE HATCHED PORTIONS ARE PRIVATE OPEN SPACE AND EXTEND VERTICALLY FROM GROUND LEVEL TO THE PROLONGATION OF THE RIDGE OF THE ROOF ABOVE.
 - THE REMAINING PORTIONS OF THE FLATS EXTEND VERTICALLY FROM GROUND LEVEL TO THE RIDGE OF THE ROOF ABOVE.

Search Date: 07 Mar 2022

Search Time: 10:40 AM

Volume Number: 56819

✓ Revision Number: 01

Page 2 of 3

Department of Natural Resources and Environment Tasmania

www.thelist.tas.gov.au

the **List****FOLIO PLAN**
RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1990



Sheet 3 of 3 Sheets

11111111
Town Clerk/Council Clerk

No. 2169

The address for service of notices on the company is:-

308 310 Macquarie Street
South Hobart
7004

UNIT ENTITLEMENTS

Flat	Unit Entitlement	FOR OFFICE USE ONLY
1	1	1593 70
2	1	4593 71
TOTAL		2

SURVEYOR'S CERTIFICATE

I, Anthony Owen Carrick,
of Hobart

a surveyor registered under the Land Surveyor's Act 1909, hereby certify that the building erected on the site described and delineated on sheet 1 of this plan is within the external boundaries of the title stated on sheet 1.

Dated this 20th day of July 19 89

Ray Carrick
Registered Surveyor

COUNCIL CLERK'S CERTIFICATE

I certify that the subdivision shown in this plan

has been approved by the *HOBART*

CITY Council

Dated this 11th day of August 1989

[Signature]
Town Clerk/Council Clerk

FOR OFFICE USE ONLY

PLANS (PROPOSED, EXISTING)

This application seeks approval for 370 Macquarie St, South Hobart to receive a permit for short-term accommodation use. As Tasmanians living interstate who intend to travel to Hobart frequently for family reasons, we hope to offer our property as short-term accommodation during unoccupied periods.

We purchased 370 Macquarie St on 20 March 2022 and will settle in late April 2022, at which time we will travel to Hobart to finalise furnishings and any required maintenance. We are proactively seeking approval for short-term accommodation (with the knowledge of the previous owners), for time efficiency, considering the permit processing time can take up to six weeks.

Please advise if you have any further questions or would like to discuss our application further.

Thank you for your consideration.

Best regards,



Freya Ovington

Remy Tanner

0432 315 891

0468 685 134

L

I

I

A handwritten signature in black ink, appearing to be 'Randy' followed by a stylized flourish.A handwritten signature in black ink, appearing to be 'Gabe' followed by a stylized flourish.

8. REPORTS

8.1 Proposal to amend the Southern Tasmania Regional Land Use Strategy by extending the Urban Growth Boundary at Droughty Point ('Skylands') File Ref: F22/41943

Report of the Development Planner and the Director City Life of 17 May 2022 and attachments.

Delegation: Council

REPORT TITLE: PROPOSAL TO AMEND THE SOUTHERN TASMANIA REGIONAL LAND USE STRATEGY BY EXTENDING THE URBAN GROWTH BOUNDARY AT DROUGHTY POINT ('SKYLANDS')

REPORT PROVIDED BY: Development Planner
Director City Life

1. Report Purpose and Community Benefit

1.1. The purpose of this report is to consider a request from Clarence City Council to support an extension of the Urban Growth Boundary under the *Southern Regional Land Use Strategy 2010-2035* to include approximately 58ha of land at Droughty Point.

1.1.1. The report benefits the community by considering whether land within the southern region is appropriately zoned.

2. Report Summary

2.1. Clarence City Council has submitted a letter (**Attachment A**) to all southern region councils, requesting comment on a proposed amendment to the *Southern Tasmania Regional Land Use Strategy 2010-2035* (STRLUS) to extend the Urban Growth Boundary (UGB) to include approximately 58ha of additional urban land at Droughty Point.

2.2. It is proposed that the UGB be extended to enable the creation of six new walkable neighbourhoods based around activity centres as part of a proposed masterplan (the 'Skylands' masterplan).

2.3. The Minister for Planning assesses amendments to the STRLUS; however, the responses of all southern region councils and relevant state agencies are required prior to this assessment.

2.4. At this point, Clarence City Council has not made a determination on whether the proposal should proceed or not, but have conducted community consultation seeking feedback on the proposal. Clarence City Council's request to other southern region councils to provide feedback is part of this initial consultation.

2.5. The proponent for the amendment presented some arguments that the UGB should be extended; however, there are additional issues that have not been expressly considered. The key issue is that currently the four councils under the City Deal are preparing the 30-Year Greater Hobart Plan (the Greater Hobart Plan), previously known as the MetroPlan, which has just been released in draft form for consultation prior to a broader review of the STRLUS.

2.5.1. The Greater Hobart Plan states that '*the focus of Greater Hobart Plan will be on land already zoned for residential purposes*', although that '*changes to the Urban Growth*

Boundary may result based on evidence of need'. It is considered premature for the Droughty Point UGB amendment proposal to pre-empt finalisation of the Greater Hobart Plan, which intends to develop a coordinated and strategic approach to growth.

- 2.5.2. The strategy under the Greater Hobart Plan is in fact to increase the ratio of infill to greenfield development to improve sustainable transport options and this extension may have the effect of undermining that strategy unless considered in a broader context.
- 2.6. It is recommended that Council on balance and at this time does not support the proposal to amend the STRLUS by extending the UGB to include an additional 58ha of land at Droughty Point. Rather such an amendment should be considered as part of the Greater Hobart Plan, which will ultimately feed into a fuller review of the STRLUS planned in the next two years. Notwithstanding this position, should the Minister for Planning agree to consider the amendment then additional considerations to those previously provided should be taken into account in his deliberation, including:
 - 2.6.1. Potential impacts of the proposal in light of the Greater Hobart Plan project;
 - 2.6.2. The wider potential impact on the proposal on traffic into other municipal areas, particularly the Hobart CBD; and
 - 2.6.3. The potential cumulative impacts of extensions to the UGB.
- 2.7. It is also recommended that any future requests for feedback on amendments to the STRLUS are delegated to the Chief Executive Officer for a standard response.

3. Recommendation

That:

- 1. Council not support at this time the proposal for an amendment to the Southern Tasmania Regional Land Use Strategy 2010-2035 (STRLUS) to extend the Urban Growth Boundary to include approximately 58ha of land at Droughty Point. Rather, the Council support the consideration of this proposal as part of the 30-Year Greater Hobart Plan and ultimately a wider review of the STRLUS.***
- 2. Should the Minister agree to determine the proposal at this time then the following considerations be taken into account:***

- (i) Potential impacts of the proposal in light of the 30-Year Greater Hobart Plan;*
 - (ii) The wider potential impact of the proposal on traffic into other municipal areas, particularly the Hobart CBD; and*
 - (iii) The potential cumulative impacts of extensions to the Urban Growth Boundary.*
3. ***Any future requests to provide feedback about amendments to the Southern Tasmania Regional Land Use Strategy 2010-2035 are delegated to the Chief Executive Officer to provide the following standard feedback:***

Should the Minister for Planning determine the proposal prior to completion of the review of the Southern Tasmania Regional Land Use Strategy 2010-2035, then the following considerations be taken into account:

- (i) Potential impacts of the proposal in light of the 30-Year Greater Hobart Plan project;*
 - (ii) The wider potential impact of the proposal on traffic into other municipal areas, particularly the Hobart CBD; and*
 - (iii) The potential cumulative impacts of extensions to the Urban Growth Boundary.*
4. **Background**
- 4.1. Clarence City Council submitted a letter (**Attachment A**) to all southern region councils, requesting feedback on a proposal to extend the UGB to include around 58ha of land at Droughty Point.
 - 4.2. The extension will enable the creation of six new walkable neighbourhoods based around activity centres, as part of a proposed masterplan (known as 'Skylands'). The Skylands masterplan also provides 108ha of open space, including a 57ha nature reserve along the ridgeline and revegetated green connectors between the park and a 22ha reserve around the shoreline. The entire project site is 315ha in area and can be accessed via Tranmere and Rokeby.
 - 4.3. The land proposed to be included in the UGB is currently directly adjacent to the UGB and zoned Landscape Conservation under the Tasmanian Planning Scheme, which is now in effect in the Clarence municipal area. It is also subject to the following codes:

- 4.3.1. Safeguarding of Airports Code
- 4.3.2. Landslip Hazard Code
- 4.3.3. Bushfire-prone Areas Code
- 4.3.4. Flood-prone Hazard Area Code
- 4.3.5. Natural Assets Code
- 4.3.6. Natural Assets Code
- 4.4. No Planning scheme amendment, subdivision or development application has been proposed for the site at this point, although an indicative masterplan (the Skylands masterplan) has been submitted.
- 4.5. The STRLUS currently identifies an area of land at Droughty Point as a Greenfield Development Precinct, and this area is zoned Future Urban. This means it is already identified for greenfield urban development.
- 4.6. The proposed Skylands masterplan intends to develop areas that are outside the existing Greenfield Development Precinct, resulting in the request to extend the UGB. It is intended that the UGB be altered to accommodate additional development further up Droughty Hill (see plan below):

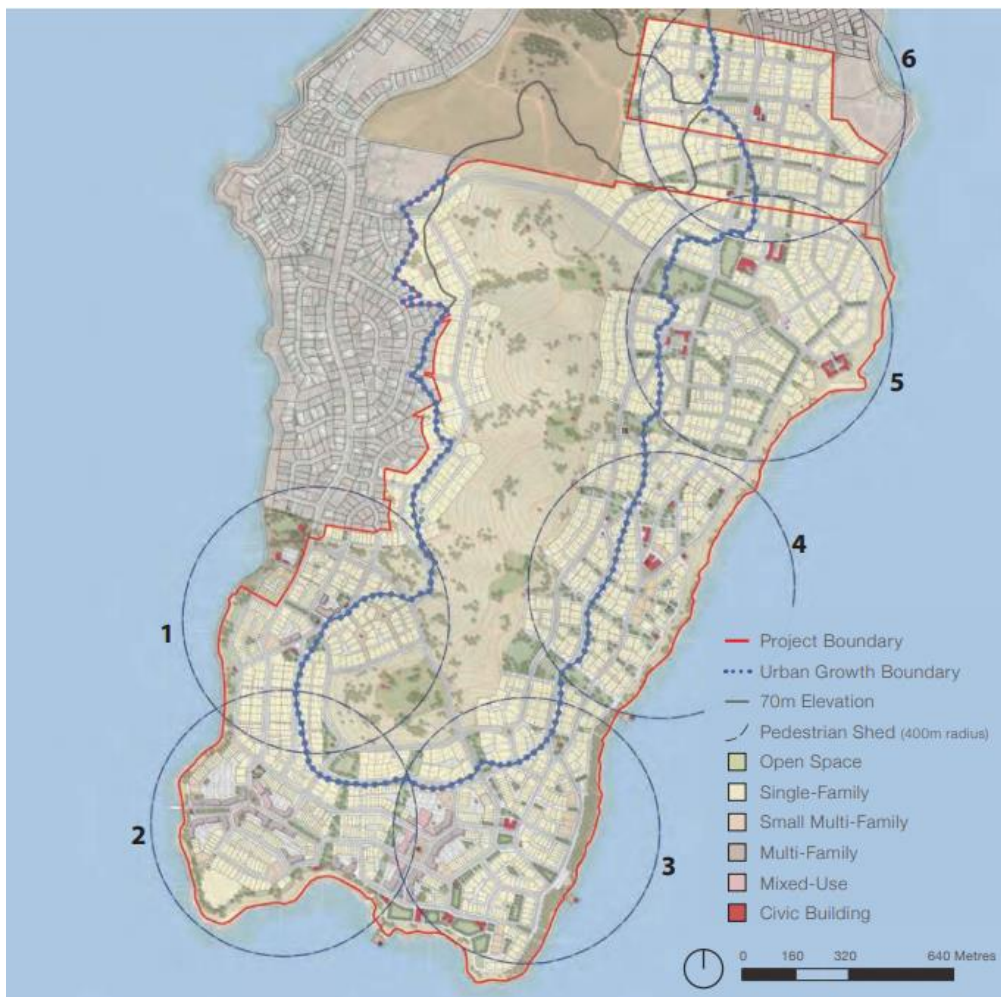


Figure 1: Plan from proposed Skylands masterplan, showing the current Urban Growth Boundary (blue dotted line), and proposed extent of urban development outside of this boundary (extending towards the top of Droughty Hill in the centre of the plan).

5. Proposal and Implementation

- 5.1. The proposal is to consider a request from Clarence City Council to support an extension of the UGB under the STRLUS to include an additional 58ha of land at Droughty Point for urban development.

Justification – Applicant’s Report

- 5.2. A proposal has been received by Clarence City Council in support of the UGB extension and the Skylands masterplan (summary provided in **Attachment B**, with additional documentation available via Clarence City Council’s website: <https://www.yoursay.ccc.tas.gov.au/skylands-proposed-ugb-adjustment>).

- 5.3. Some of the reasons that the proponent considers to justify the extension to the UGB include:
- 5.3.1. Six walkable neighbourhoods will be created, with shops for daily needs and small offices for residents. These neighbourhoods require sufficient residents to make them viable, meaning the edges of the neighbourhoods need to extend past the current UGB;
 - 5.3.2. A variety of housing choice will be offered to meet the demand for a mix of housing types;
 - 5.3.3. It is believed the proposed masterplan supports the State's infill development goals;
 - 5.3.4. The UGB extension will support the viability of neighbourhood centres and enable creation of a permanently preserved hilltop nature reserve and revegetated corridors, which will be transferred to Council;
 - 5.3.5. The STRLUS already identifies a large area of Droughty Point as 'future urban development';
 - 5.3.6. The masterplan will offer compact, connected and walkable neighbourhoods for many who cannot find this type of housing in the greater Hobart area;
 - 5.3.7. Growth has exceeded that anticipated when STRLUS set the current UGB;
 - 5.3.8. The development of the area will be an efficient use of land and existing infrastructure can be extended and expanded;
 - 5.3.9. The commute to Hobart will be shortened with ferry services;
 - 5.3.10. The proposal fulfils and exceeds many of the State's growth objectives and is in compliance with the STRLUS, subject to the UGB extension.

Justification - Comment

- 5.4. Whilst the proponent considers that the extension to the UGB should proceed, there are other considerations.
- 5.5. Continual cumulative amendments of this size are likely to impact on the STRLUS (and Greater Hobart Plan) objectives.
- 5.6. The STRLUS first came into effect in October 2011 and has not had significant review or amendment since then despite the *Land Use Planning and Approvals Act 1993* (LUPA Act) stating that the Minister must keep all regional strategies under regular and periodic review.

- 5.7. The LUPA Act does not outline a process for amending regional strategies; however, Information Sheet RLUS 1 - Reviewing and Amending the Regional Land Use Strategies, prepared by the State Planning Office, dated January 2019, provides information on the requirements and processes for reviewing and considering amendments to the regional strategies by the Minister.
- 5.8. The Information Sheet states it is *'important to consider that amending a regional land use strategy is not always the most appropriate course of action to facilitate use and development within a region. This is because the strategies represent the agreed and approved strategic directions for each 'entire' region and provide certainty to the broad community, infrastructure providers and governments as to medium and long-term investment decisions. Consequently, use and development should be directed in the first instance to those agreed areas identified in the relevant strategy'*. It expressly states that the STRLUS directs 'residential development in areas within a relevant Urban Growth Boundary'.
- 5.9. Required information for amendments to the UGB includes justification for additional land supported by population growth projections, dwelling yields for additional land, analysis of land consumption since the STRLUS was declared, the suitability of the location, land release sequencing, consideration of STRLUS infill targets and potential for land use conflicts.
- 5.10. Clearly RLUS 1 foresees the possibility that extensions to the UGB to include greenfield areas population can be justified. However, there is a cost for that extension particularly on the urban fringe with the need to expand physical and social services and the impact on vehicle congestion.
- 5.11. The proposal for the Droughty Point UGB extension covers a large area, and therefore it is considered that any decision made on this site should be made strategically, considering its wider impacts.
- 5.12. Finally, recent amendments to the STRLUS have been made to allow for logical, yet limited, expansions to the UGB to allow for some further development prior to a fuller review of the regional strategies which is to occur once a new governance framework is developed and the Tasmanian Planning Policies come into effect. This full review is programmed to commence in around 12 months' time and would also incorporate the Greater Hobart Plan into the STRLUS.
- 5.13. A draft version of the Greater Hobart Plan has recently been released for public comment. The draft plan notes that *'the focus of Greater Hobart Plan will be on land already zoned for residential purposes'*, although that *'changes to the Urban Growth Boundary may result based on evidence of need'*.

- 5.14. It is considered premature for this proposal to amend the UGB at Droughty Point to pre-empt finalisation of the Greater Hobart Plan, which intends to develop a coordinated and strategic approach to growth.
- 5.15. It is therefore considered, on balance, the proposal should not be supported at this time. Rather any such consideration should be considered in light of a wider review of the STRLUS and the Greater Hobart Plan.
- 5.16. However, should the Minister agree to consider the amendment then the following considerations should be more fully taken into account:
 - 5.16.1. Potential impacts of the proposal in light of the Greater Hobart Plan project;
 - 5.16.2. The wider potential impact of the proposal on traffic into other Municipal Areas, particularly the Hobart CBD; and
 - 5.16.3. The potential cumulative impacts of extensions to the UGB on the greater Hobart area.

STRLUS Amendment Feedback Process

- 5.17. Information sheet RLUS1 requires feedback from each council in the region prior to the Minister's determination of any STRLUS amendment. The process to report to full Council on each of these proposals individually takes resources away from other high priority projects.
- 5.18. There are significant pressures on strategic planning resources at present, making this process inefficient.
- 5.19. On 20 April 2022, Kingborough Council resolved to delegate any future request for feedback on STRLUS UGB amendments to their General Manager, by way of a standard response. This approach is considered to be a more efficient way of dealing with these requests.
- 5.20. It is recommended Council provides delegation to the Chief Executive Officer of the City of Hobart to comment on any further requests from other councils to amend the STRLUS.
- 5.21. In line with Council's previous decisions on applications for STRLUS amendments, the following standard response is proposed:

Should the Minister for Planning determine the proposal prior to completion of the review of the Southern Tasmania Regional Land Use Strategy 2010-2035, then the following considerations be taken into account:

- (iv) *Potential impacts of the proposal in light of the 30-Year Greater Hobart Plan;*

- (v) *The wider potential impact of the proposal on traffic into other municipal areas, particularly the Hobart CBD; and*
- (vi) *The potential cumulative impacts of extensions to the Urban Growth Boundary.*

6. Strategic Planning and Policy Considerations

- 6.1. As this issue relates to land in another municipal area, Council's strategic goals, policies and documents are not directly applicable. However, there is the potential for expansions to the UGB to have the effect of undermining the strategy being proposed in the Greater Hobart Plan of 70:30 ratio of infill to greenfield development which is to encourage better utilisation of infrastructure and encourage alternative forms of transport to the private vehicle.

7. Financial Implications

- 7.1. Funding Source and Impact on Current Year Operating Result
 - 7.1.1. None
- 7.2. Impact on Future Years' Financial Result
 - 7.2.1. None
- 7.3. Asset Related Implications
 - 7.3.1. None

8. Legal, Risk and Legislative Considerations

- 8.1. Proposals for amendments to the STRLUS are guided by a Tasmanian Government information sheet – RLUS 1 which states that amendments to the STRLUS must demonstrate that they:
 - 8.1.1. Further the Schedule 1 Objectives of the LUPA Act;
 - 8.1.2. Are in accordance with State Policies made under section 11 of the *State Policies and Projects Act*;
 - 8.1.3. Are consistent with the Tasmanian Planning Policies, once they are made; and
 - 8.1.4. Meets the overarching strategic directions and related policies in the regional land use strategy.
- 8.2. Amendments to the STRLUS require review and approval by the Minister for Local Government and Planning, and therefore it will be the Minister that determines whether the requirements of RLUS 1 are satisfied.

- 8.3. Any future amendment to rezone the land for residential development will be required to follow the amendment process under the LUPA Act, including public consultation.

9. Environmental Considerations

- 9.1. Continued expansion of residential development on greenfield land in regional centres can be of potential concern environmentally, particularly where residents are primarily dependent on private vehicles for transport. It is noted that this proposed development is intended to function as a series of walkable communities, however many of these residents are still likely to commute to Hobart city and surrounding areas.

10. Social and Customer Considerations

- 10.1. Continual expansion of the urban fringe carries associated service and social costs that are picked up by governments and are well documented.

11. Marketing and Media

- 11.1. There are no marketing or branding implications of this proposal.

12. Community and Stakeholder Engagement

- 12.1. No community or stakeholder engagement is required by the City of Hobart.

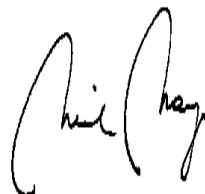
13. Delegation

- 13.1. Delegation rests with the Council.

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.





Sarah Crawford
DEVELOPMENT PLANNER



Neil Noye
DIRECTOR CITY LIFE

Date: 17 May 2022
File Reference: F22/41943

Attachment A: Letter from Clarence City Council ↓ 
Attachment B: Summary of Skylands Masterplan ↓ 



• 38 Bligh St Rosny Park
• PO Box 96
• Rosny Park TAS, 7018
• **Dx** 70402
• **Ph** 03 6217 9500
• **E** clarence@ccc.tas.gov.au

City Planning
PDPSAMEND-2021/022172

23 February 2022

General Manager
City of Hobart
Email: coh@hobartcity.com.au

Dear Ms Grigsby

REQUEST TO AMEND THE URBAN GROWTH BOUNDARY FOR THE “SKYLANDS” MASTERPLAN

Council has received a request to amend the Southern Tasmanian Regional Land Use Strategy (STRLUS) by expanding the Urban Growth Boundary (UGB) to accommodate the above masterplan.

The masterplan site extends from Tranmere and Rokeby to Droughty Point and comprises 315ha of land. As part of this masterplan, the proponent requests an amendment to the STRLUS by expanding the UGB around the peninsula, to allow for an additional urban area of around 58ha, above the current UGB. The purpose is to enable the creation of six new walkable neighbourhoods based around activity centres. The masterplan would also provide for 108ha of public open space, including a 57ha nature reserve/parkland along the ridgeline, revegetated green connectors between the park and a 22ha reserve around the shoreline.

In accordance with council's policy on such proposals, a community consultation program has recently commenced. To meet the requirements of the Planning Policy Unit Information Sheet RLUS1, council also requests your views of the proposed change to the UGB, along with those of all regional councils and relevant agencies.

The proponent's documentation includes a 'Skylands Summary Masterplan Report', 'Skylands Condensed Report' and 'Skylands Future Housing Market Analysis'. They can be downloaded from: <https://www.yoursay.ccc.tas.gov.au/skylands-proposed-ugb-adjustment>

Council would be grateful for your advice as soon as practicable. In the meantime, if you need any more information, please contact council's Principal Planner, Bruce Gibbs, on 6217 9550 or via email at cityplanning@ccc.tas.gov.au.

Yours sincerely

Ross Lovell
MANAGER CITY PLANNING



SKYLANDS

CONDENSED REPORT
JANUARY, 2022

**SKYLANDS****"Becoming The Jewel of
Tasmania"**

January, 2022

The Aldermen
Clarence City Council
38 Bligh Street,
Rosny Park, Tasmania 7018
clarence@ccc.tas.gov.au

Re Skylands Master Plan Submission

Dear Aldermen,

The Carr family is delighted to share with you a summary of the master plan submitted to Council in September. The plan covers the land owned by the Carr and Lilly families on the Droughty Point Peninsula. It also shows possible development of Council owned land.

Skylands embarked on this rigorous planning effort because typical urban sprawl development patterns, similar to our earlier subdivisions and other subdivisions to the north are not the most efficient approach. They do not provide healthy and productive communities.

Unlike urban sprawl subdivisions that predominantly provide for only one type of single-family housing, Skylands is designed to appeal to those who wish to live in a more compact, connected and walkable neighbourhood. This type of housing is hard to find in the greater Hobart area. The intention is to develop this land in the most rewarding manner for future residents and all of Greater Hobart.

This new community approach is aligned with the State's vision, a vision that sees current and future residents living in sustainable, thriving and diverse communities.

All of the land in the master plan is owned by two Australian families, Carr and Lilly, each committed to doing what is right. The sheer size of this parcel presents a rare opportunity to design and enable the creation of six sustainable neighborhoods.

Many thanks for pausing development of the Tranmere Rokeby Peninsula Structure Plan. This provided time to develop Skyland's master plan.

Again, the goal to develop the Peninsula in the most beneficial way for the future of Tasmania is at the centre of the plan. Notably, the plan meets or exceeds all STRLUS goals.

There are many reasons this is the right approach, and right time for Tasmania, Greater Hobart, Clarence, and the Community. Some are detailed below.

Skylands is a unique opportunity to create what will become one of Australia's most desirable and sustainable places. A wide cross section of the population will be able to live in safe and friendly neighbourhoods.

Research used to develop the Skylands Master plan, identified multiple reasons why this area of land is the preferred location for creation of new housing opportunities to meet the current and anticipated housing shortfalls including:

- Ease of extending and expanding existing infrastructure and efficiency of land use.
- Its location adjacent to existing communities of Tranmere, Rokeby and Rosny and being close to Hobart and Hobart Airport.
- The Hobart commute will be further shortened with ferry service
- The rising slopes provide unmatched views of the waters of the Derwent and Ralph's Bay
- An opportunity to create more than 140 hectares of Public open space in the form of a hilltop park, revegetated gullies and a shoreline reserve.
- Multiple opportunities to celebrate Aboriginal and European Heritage
- An opportunity to bring back native vegetation and create ideal environments for native flora and fauna. This will replace the barren weed infested landscape that has few species and small numbers of wildlife.
- There is no other land so close to Hobart that is capable of creating multiple, complete neighbourhoods at a pace that can be adjusted to meet demand. All under the ownership of two Australian families.

Each of the six walkable neighbourhoods in the master plan have at their heart what is described in STRLUS as a "Vibrant and Attractive Activity Centre". Together they create a network of Activity Centers which is a further goal of STRLUS.

Each center will have shops for daily needs, small offices and community facilities, including small parks and heritage exhibits.

Furthermore, with the new normal of remote work, some of those offices will likely be satellites for larger Tasmanian and mainland companies.

The master plan is heavily based on the principles of The New Urbanism and Smart Growth. This has become the preferred choice for development by many cities around the world, providing walkable connected communities, like Jindree Western Australia.

The plan is carefully designed to meet Tasmania's vision for future growth, outlined in the State of Tasmania's Regional Land Use Strategy (STRLUS). It incorporates many of the goals and policies of Clarence and Hobart.

Some features of the master plan include:

- The walkable neighbourhood concept.
- Six neighbourhoods, each designed to incorporate a variety of housing choices to meet the demand identified in the Macroplan market report.
- Neighbourhood centres will reserve locations for diverse uses such as cafes, restaurants, workspaces, medical centres, childcare centres, and other neighborhood needs identified by the Macroplan market report.

In November 2021, Macroplan was commissioned to further study the availability of developable land and anticipated housing demand within the 4 Greater Hobart Councils of; Clarence, Glenorchy, Hobart City and Kingborough.

Macroplan's Key findings include:

- "Growth has exceeded that anticipated when STRLUS set the current UGB."
- "Using DoT high series for growth 1.2%, that is substantially less than the CIP growth rate of 1.5%, demand for housing in Greater Hobart to 2042 is estimated to be approximately 24,000 dwellings."
- "There is insufficient developable and zoned land inside the current UGB. This should typically be a 30-year supply to retain 10 years developable plus 5 years zoned at the end of the period."
- "Review of other municipalities showed that apart from Clarence, none has 10 years developable and 5 years supply remaining within the UGB."
- "Because Skylands already has 1,700 lots in the UGB it should have preference for additional lots as that will make the project more sustainable."

Skylands includes small modifications to the UGB to help ensure viability of the neighbourhood centres. Viability requires adequate catchment for the commercial enterprises that are the core of the neighbourhoods.

- The current zoning of the land outside the UGB is Environmental Living. That is not the most efficient use of the land and will encourage urban sprawl, wasting a valuable opportunity. Skylands master plan offers a more efficient use and develops the land more compactly. This compact development will help ensure viability of the neighbourhood centres and efficient infrastructure.
- Adjusting the UGB in an organic and undulating manner establishes the six compact neighbourhoods and a 112-hectare nature preserve/parkland above. In addition, revegetated green connectors between the park and the shoreline will be created. This will result in a unique and ideal place to live. Which is aligned well with Tasmania's planning goals.
- In Skylands master plan over 40% of the area will be dedicated to Public Open Space.
- The future undulating skyline will look quite similar to the western side of the amphitheater south of Hobart. On the other hand, Environmental Living on the upper slopes would not look similar.
- STRLUS identifies the peninsula as "future urban development". The master plan proposes some 2,700 dwelling units, including the Lilly property, being built on the peninsula over the next 3 to 4 decades.

The master plan will create pedestrian and bike friendly neighborhoods for every stage of life; from childhood to young singles, to married couples with kids, to empty nesters and to day care for the elderly, simply by moving to a different place in the same neighborhood.

Moreover, the neighborhood centers, the hilltop nature preserve and park, bike and walking trails, playgrounds, and access to the Derwent and Ralph's Bay for fishing, swimming, boating, etc. will help create safe and healthy communities. This will also help forge lifelong friendships with all the positive benefits that brings which is part of Tasmania's Planning Guidelines.

Finally, being just a ferry ride from Hobart CBD and a quick drive to Hobart's international airport and flight to the mainland, Skylands will be an ideal location for young professionals. Innovative leaders are attracted to sustainable communities that are closely connected to the outdoors. Those leaders will help Hobart and Clarence fulfill their mission of becoming a hub of innovation.

We are aware of concerns raised by nearby residents in a petition. In fact, the petition was initiated early in the master plan development process, resulting in inaccurate assertions.

A detailed response to each issue raised in the petition can be found on the Skylands website. We were gratified to see many comments in the Mercury supporting that response.

Notably, Kim Peart's goals of 1996 were recently published in The Tasmanian Times. In November our response was also published, highlighting the fact Kim's goals are surpassed by the Skylands master plan. We anticipate those concerned by issues raised in the petition, will likewise be pleased with the completed master plan.

In summary, the Skylands master plan fulfills and exceeds the State and Clarence's growth objectives.

Your support is respectfully sought for the Skylands master plan, including modification of the UGB.

Attached is a summary of the report we submitted to Council in September.

DPZ CoDesign, Macroplan, Traffix Group, Turf Studios and our family are available to answer your questions at any time.

Fiona Roche, Executive Chair of the Company that created Jindee, our sister community in Western Australia, is also available to answer your questions, or show you around Jindee.

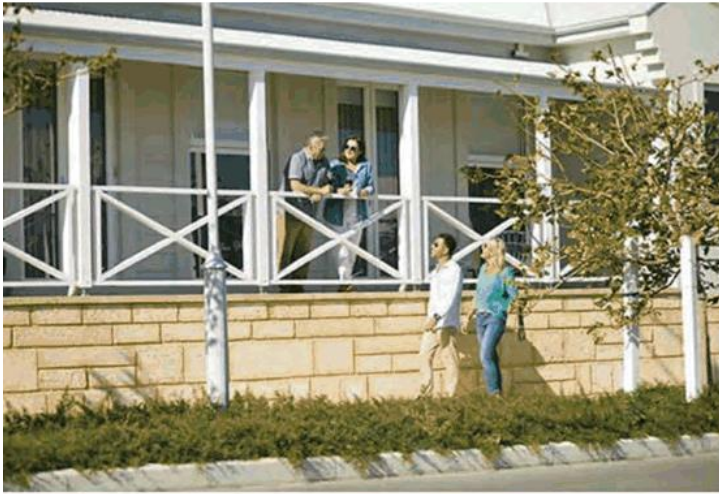
Yours sincerely

The Carr Family

A handwritten signature in dark ink, appearing to read 'The Carr Family', is written over a faint, light-colored circular stamp.

"WE BELIEVE GREAT PLACES ADD TO THE SUM OF HUMAN
HAPPINESS. DPZ DESIGNS ECONOMICALLY AND ENVIRONMENTALLY
RESILIENT COMMUNITIES THAT FOSTER PHYSICAL AND
SOCIAL WELL-BEING."





1. Two Hobart visits by DPZ to tour site
2. Stakeholder and Community interviews
3. Reviewed STRLUS
4. Reviewed Policy Documents
5. Background studies by Macroplan and Traffix
6. Developed Site Analysis
7. Reviewed information developed by Niche for Council
8. Developed Master plan objectives
9. Developed 4 big ideas
10. Conducted public charrette
11. Completed the master plan



Development Goals:

- Adhere to the health and wellness plan Clarence has adopted;
- Enable wellbeing, with provision of recreational trails and open spaces;
- Provide active and passive recreational opportunities;
- Provide a diversity of housing for people of all ages;
- Place lower density housing on the higher slopes;
- Aim for 5% of all homes reserved for social housing;
- Assign commercial/retail uses in the neighbourhood centres;
- Consider cycling as transport link, not only recreational link;
- Enhance walkability;
- Provide park and ride nodes, shuttle buses on loops, ferry transport;
- Assess traffic impacts and provide east-west links for enhanced connectivity;
- Be consistent with existing regulatory documents, such as STRLUS;
- Be aware that Niche is developing a Structure Plan.

Preservation Goals:

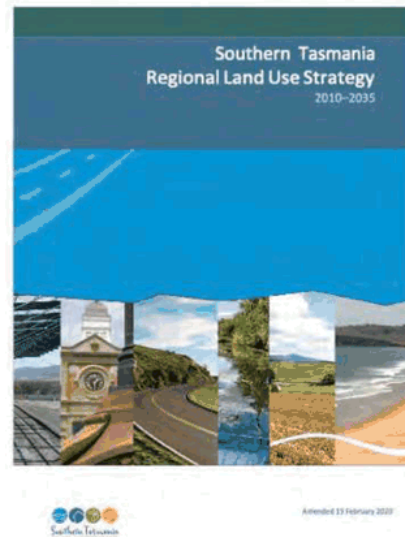
- Connect people to the history of the site;
- Protect Aboriginal and European Heritage;
- Protect the ridgeline and steepest slopes;
- Preserve open views to the water;
- Provide a continuous foreshore promenade;
- Provide wildlife habitat corridors;
- Preserve the Tasmanian's quality of life;
- Prepare a Nature Conservation Plan.

- Tasmanian State: Planning Policy Unit & Infrastructure
- Clarence City: Planning / Community Health and Wellbeing / Bikes and Tracks and Trails
- Communities Tasmania
- Taswater
- Tasmania Conservation Trust
- Cycling South
- Derwent Estuary: Hobart Trails Program
- Niche Planning Studio

4.1 The Vision

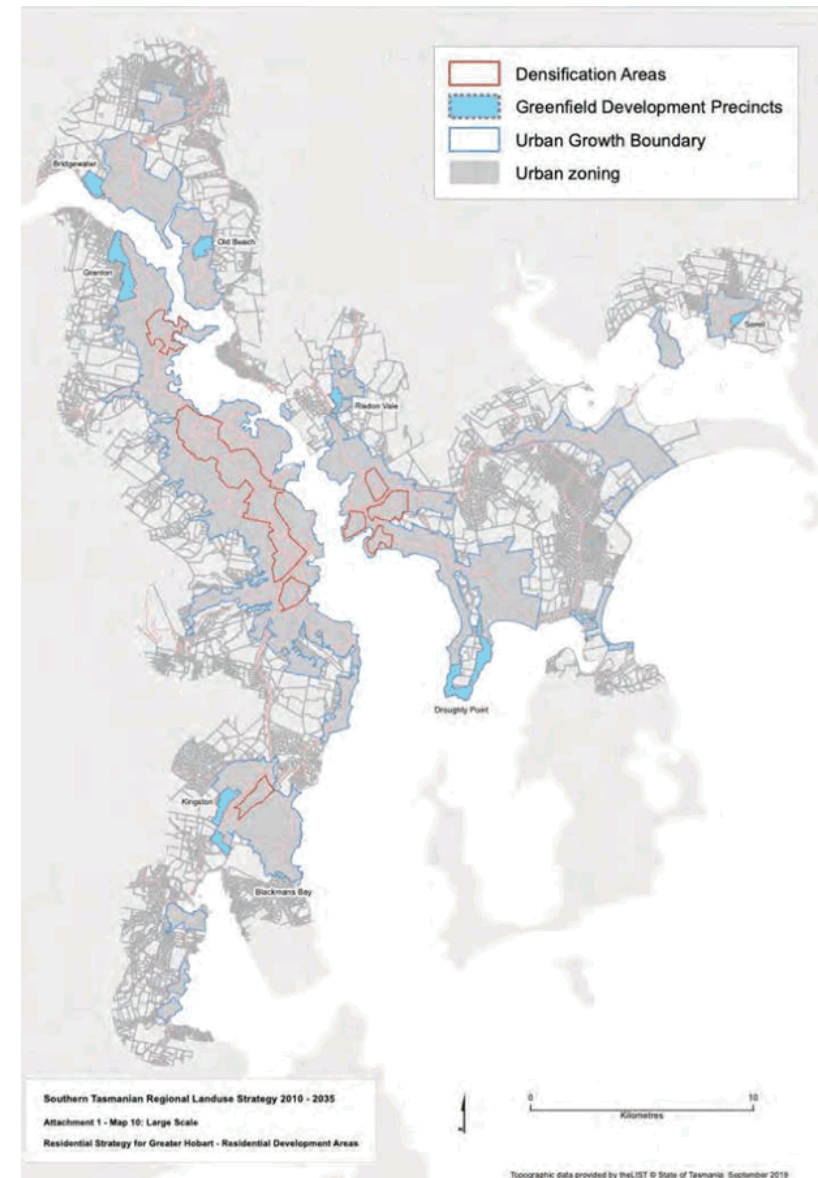
The Tasmanian Government has framed a 2020 vision for the State under its community strategic plan, *Tasmania Together*: The Tasmania Together goals underpinning the vision of particular relevance to the Regional Land Use Strategy are:

- A reasonable lifestyle and standard of living for all
- Confident, friendly and safe communities
- Active, healthy Tasmanians with access to quality and affordable health care services
- Vibrant, inclusive and growing communities where people feel valued and connected
- Thriving and innovative industries driven by a high level of business confidence
- Built and natural heritage that is value and protected
- Sustainable management of our natural resources
- The regional vision augments the Tasmania Together vision and goals.



Vision

“a vibrant, growing, liveable and attractive region, providing a sustainable lifestyle and development opportunities that build upon our unique natural and heritage assets and our advantages as Australia’s southern most region.”





Our strategic opportunities

Despite these challenges, the aim of this Vision is to maximise the many opportunities that exist in Greater Hobart:

Quality of life

Greater Hobart offers a quality and pace of life that is different to other Australian capital cities. Accommodating future population growth in Greater Hobart will require additional investment in services for people and hard infrastructure. An opportunity to attract and retain a working demographic is to leverage off the post COVID-19 macro trend of remote working. Remote working can provide Greater Hobart residents with greater options to choose where they live based on liveability rather than access to employment.

Affordable living

Changing the housing paradigm towards in-fill development will provide for greater housing choice and improve affordability across Greater Hobart in the long term. Affordable living considers the overall cost to live in a particular location such as the cost of housing, the cost to access services and infrastructure and employment opportunities and transport options.

Develop precincts and hubs

Through the Greater Hobart Act we have the opportunity to plan strategically for the co location of certain activities including industry hubs, science and technology precincts, or small business centres. Co-location can stimulate increased collaboration that can lead to greater job creation and economic development.

Build on our strengths

Tasmania has access to many natural advantages including proximity to wilderness areas, beaches, abundant renewable energy, food production and fresh water. With integrated planning we can sustain and maximise these natural strengths into the future.

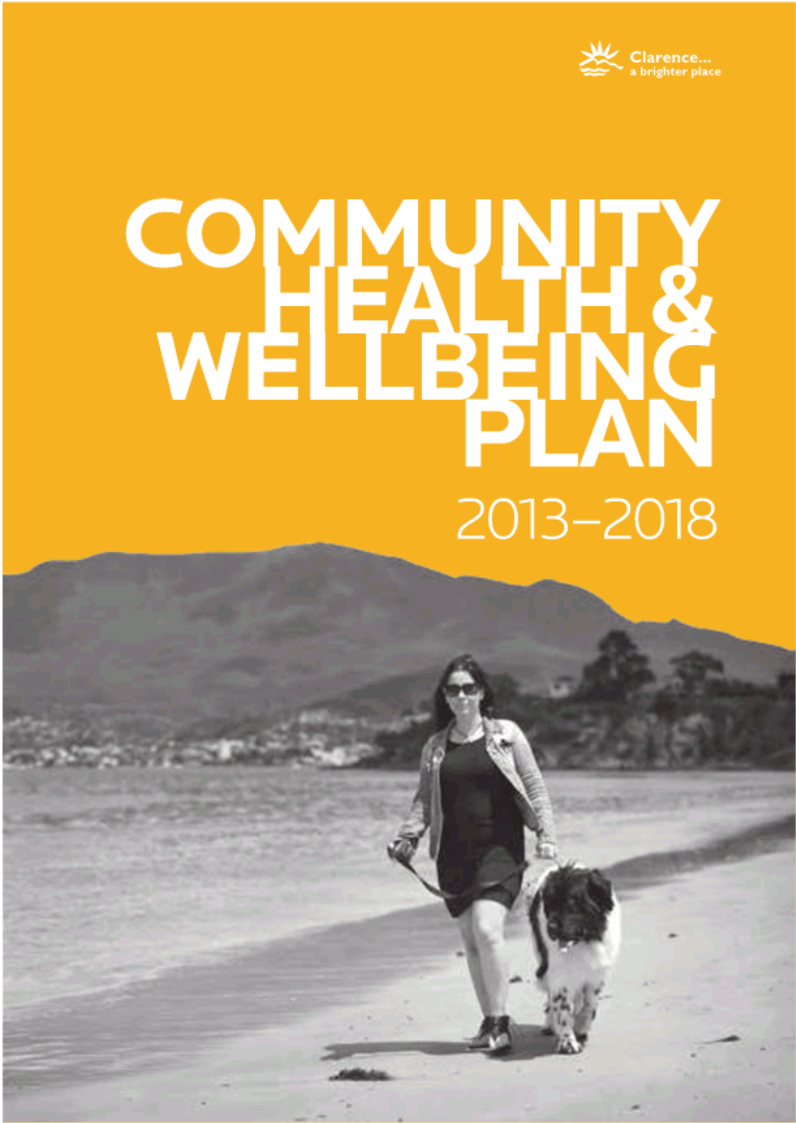
Greater Hobart Vision Themes

To deliver the Vision we will focus our efforts along the following key themes:



8 Greater Hobart Committee: Four Cities, One Hobart - CONSULTATION DRAFT

CONSULTATION DRAFT - 2050 Vision for Greater Hobart 9



5 KEY DOMAINS

The research and consultation process identified five key domains for activity in the Community Health and Wellbeing Plan. Actions and strategies will be associated with these five domains:

ENHANCING LIVABILITY

The environmental and social quality of Clarence as experienced by residents, employees, and visitors is a major contributor to their quality of life. This includes the aesthetics of the built and natural environment, opportunities for quality social interaction, easy access to recreation and the local "village", and enhancing unique cultural and environmental resources. Council will work with communities in Clarence, providing affordable opportunities for them to experience desirable environmental and social conditions.

PROMOTING HEALTH

It is important that all members of the community have the opportunity to maintain or improve their state of health. Council will work toward this by providing opportunities to participate in healthy activities, and by promoting healthy living to the Clarence community.

ENHANCING CONNECTIVITY, COMMUNITY PARTICIPATION AND LIFELONG LEARNING

It is essential that people feel connected and have opportunities to participate in community activities, employment and lifelong learning. Council will support actions so that all members of the Clarence community have opportunities to be involved in and can access such activities.

CARE FOR OUR PLACE

Council has an important role to protect, manage, and enhance the natural environment for the long term environmental, social and economic benefits of the community. Council will work with the Clarence community to embrace and promote efforts toward environmental sustainability.

PROMOTING AND ENHANCING SAFETY

All people have the right to feel safe in their community. Council will work toward Clarence being a safe place for all groups and individuals.

10

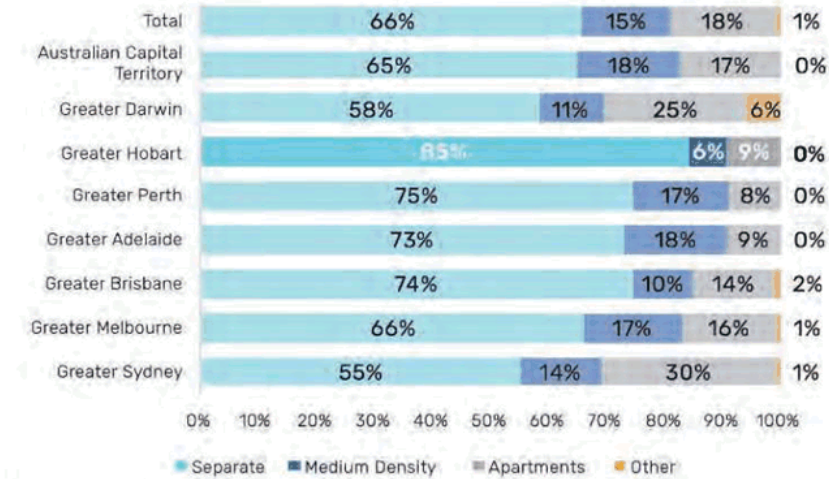
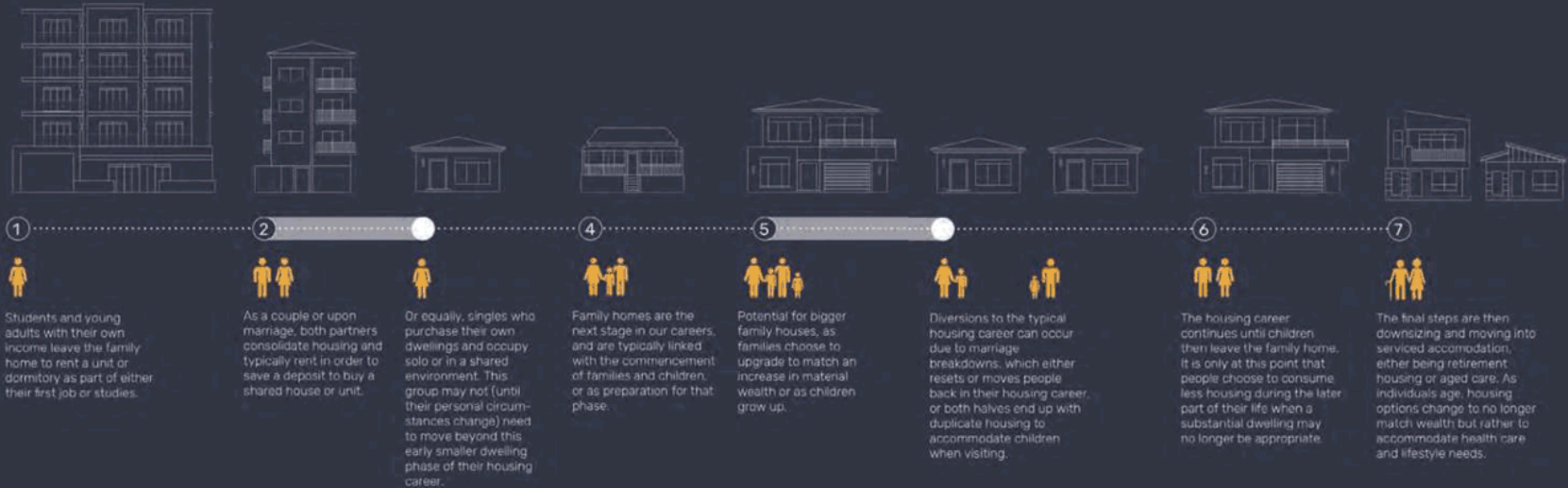


Figure 5: Housing stock in Australian capitals
Source: ABS Table Builder – Dwelling Structure by Greater Capital City Statistical Area (2016)



Study July 2020

- Property Characteristics.
- Economic and demographic overview of the Greater Hobart area
- Define a target mix of building types based on demographics
- Identify commercial, tourist and civic uses the area and community can support
- Suggest the potential market capture

Recommended Program

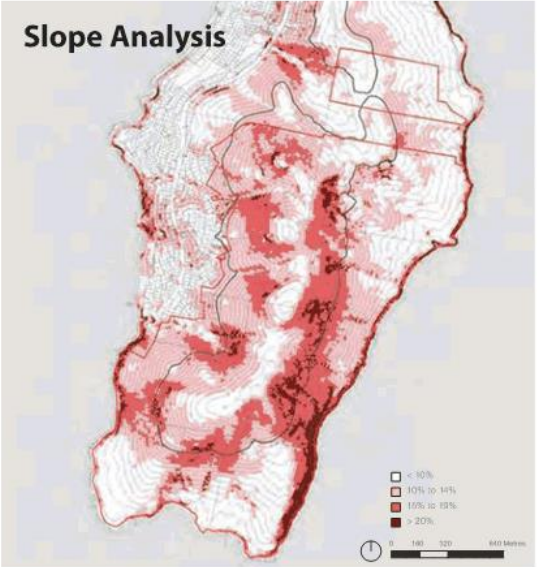
1. RESIDENTIAL	2,530 Dwelling Units
<ul style="list-style-type: none"> • 30% Detached Single-family • 45% Semi-Detached, Single-family • 25% Small Multi-family 	
+ Independent Living	
2. RETAIL	6,400 square metres (sqm)
• Includes 2,000 sqm grocer	
3. OFFICE	4,500 square metres (sqm)
4. MISC. COMMUNITY SERVICES	
<ul style="list-style-type: none"> • Childcare • Medical / Allied Health Services • Retirement Living & Aged Care • Short-stay Hotel 	

Growth Review December 2021

- "an average growth of 1.34% per annum over the last 5 years . This is significantly higher than estimations done previously upon which the current regional plan (the Southern Tasmania Regional Land Use Strategy) is based."
- "We expect that Skylands' supply will be exhausted prior to 2040"
- "Redevelopment of Tranmere Rokeby Peninsula has the potential to support Tasmania's future population growth, create new housing outcomes within the Greater Hobart area and alleviate emerging housing diversity and affordability challenges."

Conclusions

- The existing traffic generation rate within the suburb of Tranmere is lower than the TDT2013/04a rates.
- Traffic generation rates are likely to trend downward post-COVID and as technologies allow for increased remote working.
- In order to accommodate the proposed level of development, trip capture will be needed by creating jobs within the neighbourhood centres.
- The potential for ferry services providing access to Hobart CBD should be investigated to alleviate the pressure on the Tasman Bridge.
- Key local roads providing access to the development area will carry ultimate volumes which remain within the capacity of a two-lane two-way road.
- Droughty Point Road will need to be upgraded to a two-lane two-way connector providing access to the development area from 2036 onwards based on the anticipated rate of development.



Flora and Fauna studies were completed in 2009 by Andrew Welling Ecological Associates

- Flora – Small patches of these rare species were identified, in an area that will become part of the proposed hilltop parkland; Crested Speargrass, Rough Speargrass and Chocolate Lilly. Along the foreshore four patches of narrow leaf New Holland Daisies, also rare, were found. The balance of the area of agricultural land contains seven weed species and grassland.
- Fauna – There is little evidence native mammal species, it is likely there are a low number of brush tailed possums and wallabies.
A limited number of native bird species were recorded and the only listed species recorded was the White Bellied Sea Eagle, seen foraging along the coastline and roosting in the sheoaks on the eastern side of the peninsula, however no suitable nests sites exist.
Recently Wedge Tailed Eagles have been seen soaring above the site but there are no nests.
The site provides limited habitat for native fauna species due to the prevalence of agricultural land and the historical clearance of the original woodland vegetation.
The isolation of the peninsula from other forest or woodland vegetation also contributes to an impoverished fauna.

Aboriginal heritage.**Sharnie Everett, Aboriginal Heritage Office, 2009 study.**

- As is usual around the Hobart waterfront Aboriginal relics finds are common, especially within 30 meters of the HWM. Thirty-nine sites were listed and 3 additional sites were found. Agricultural activities and extensive modification of the land has reduced the potential for locating substantial or undisturbed sites within the area.
- Consultation with Heritage Tasmania in 2019 led to agreement to conduct further studies of each neighbourhood prior to subdivision design. This is the preference of the Aboriginal Community.

European Heritage. Praxis Heritage Consultants completed a study in 2009.

There are two important sites:

- William Collins Bay Whaling Station; in 1804 Harbour Master William Collins applied to the Lieutenant Governor to establish a whaling industry in the new settlement of Hobart Town. In 1805 a whaling station comprising tryworks and temporary stores was established at the south western tip of the peninsula.
- Droughty Point Farm; In the 1810's land was taken for agriculture up by the Garth Family. A map from the 1830's shows the peninsula to be heavily wooded. In the 1840's it appears most of the land was taken up by Joseph Chipman, son of New Norfolk settlers. Remains of the Chipman home include; stone and handmade brick foundations, bonded with mud and mortar approximately 10 x 15 meters. A stone inscribed in paving "JC/51" was presumably Joseph Chipman, 1851. The area also contains a mulberry tree and a sandstone water trough or sheep dip.

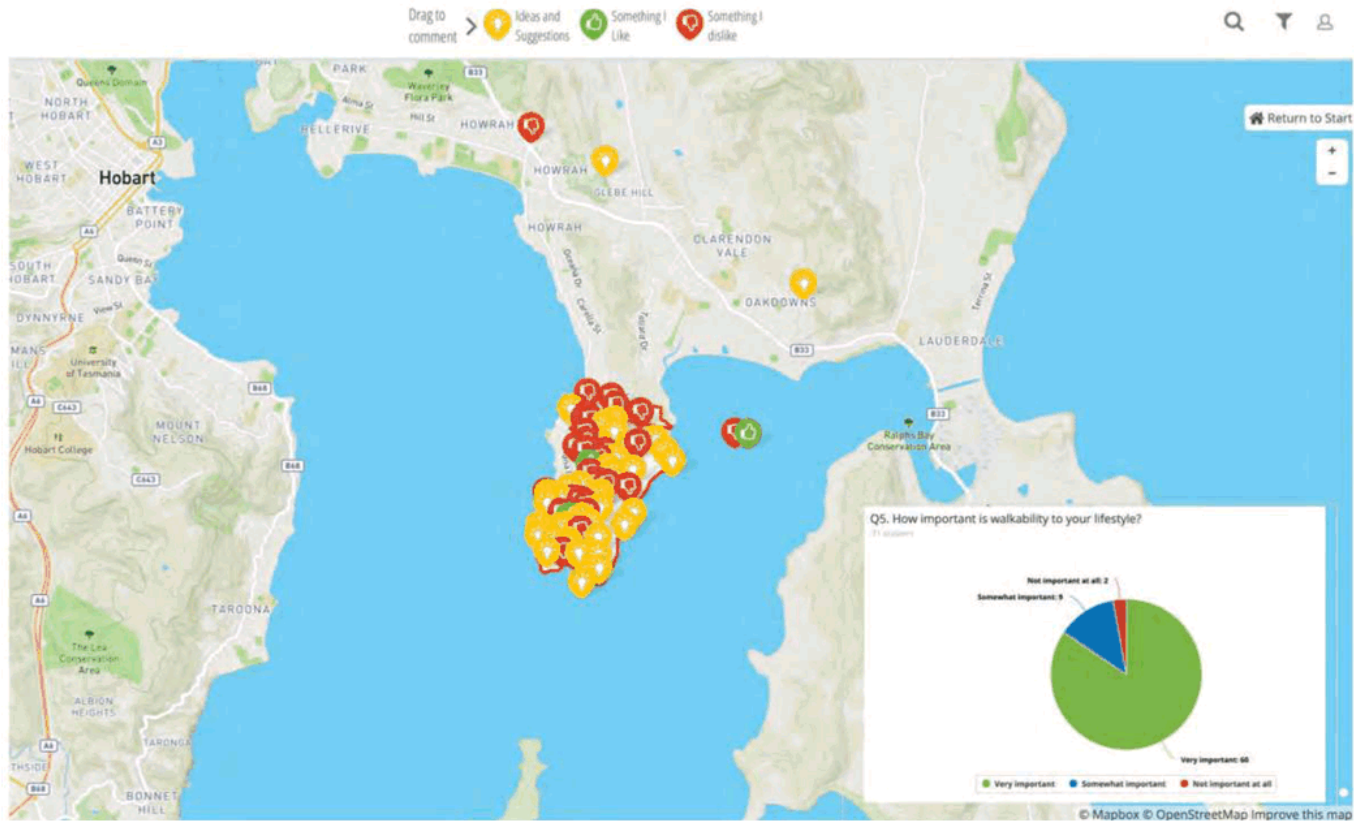
1. PROTECT the hilltop by building above 70m only to complete neighbourhoods
2. PRESERVE the hilltop as open space amenity for the public
3. DEFINE complete neighbourhoods, each with a centre and edge.
4. DESIGN neighbourhoods that provide diverse housing types.
5. PROVIDE for the market mix identified by Macroplan.
6. FORMALIZE gullies as linear greenway parks connecting the hilltop to the foreshore.

Program	Master Plan 1		Macroplan Program	
	Units	Area	Units	Area
Retail and Office		9,580 sq.m.		5,900 sq.m.
Grocer		2,000 sq.m.		2,000 sq.m.
Multi-family	590 units	-	633 units	-
Small Multi-family flats	82 units	-	-	-
Townhouse	873 units	-	910 units	-
Duplex	181 units	-	229 units	-
Detached Single Family	867 units	-	750 units	-
Estate	-	-	-	-
Total	2,593 units	11,580 sq.m.	2,531 units	7,900 sq.m.





Home Charrette Outcomes Learn Engage Project Team



Ideas and Suggestions

It is great to see something different rather than the endless subdivisions that are all the same sprawling out from the City. There is a real lack of alternatives to the standard block with a bland house jammed on it. This seems to at least offer alternatives - whether there is demand or not we will see. The idea of a ferry terminal would be such a game changer if the State decides to run ferries.

Nov 9, 2020 5:50 PM -06:00 | Like (0) Dislike (0)

Something I dislike

The proposed extension of **Norla St** to join **Rokeby** to **Tranmere** is not necessary and should be abandoned. The residents of **Norla St** and **Intrigue Crt** are very against this proposal and will fight for this stupid idea to be made null. The proposal to build up past the 70m mark will make for an eyesore and will have all current residents angry. Please reconsider the STUPID idea of joining **Tranmere** to **Rokeby**...it will not fly and you will have more dissen than you can deal with.

Nov 3, 2020 7:27 PM -06:00 | Like (0) Dislike (0)

1. Plan inclusive liveable neighbourhoods



2. Create walkable and bikeable streets

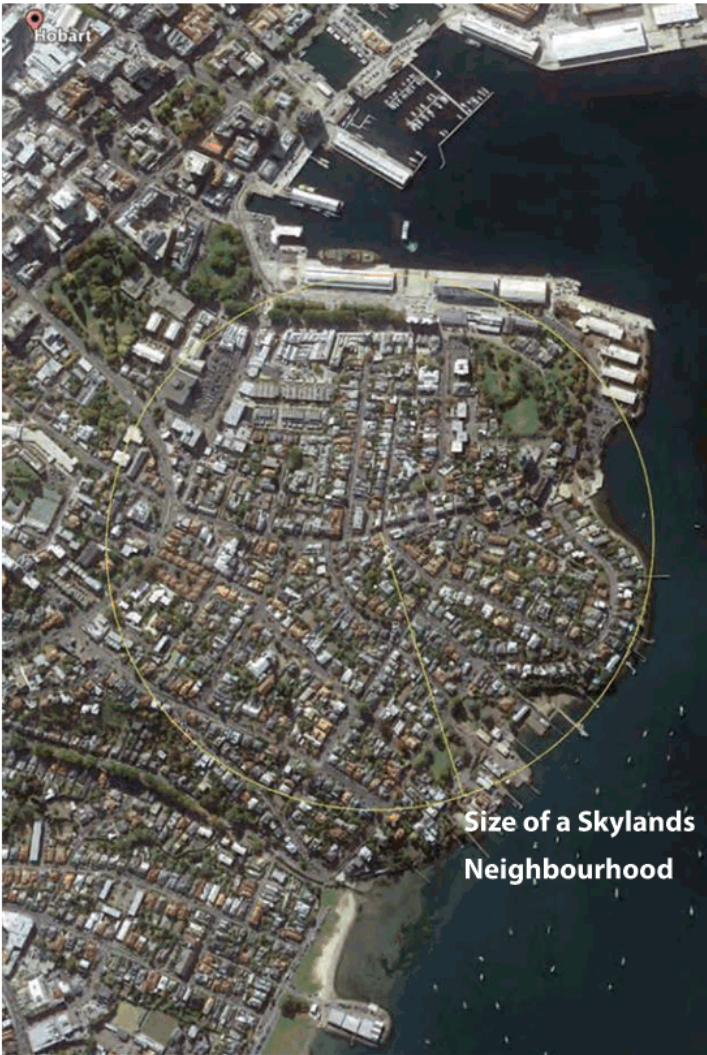


3. Connect people to nature and heritage



4. Grow sustainably





Battery Point

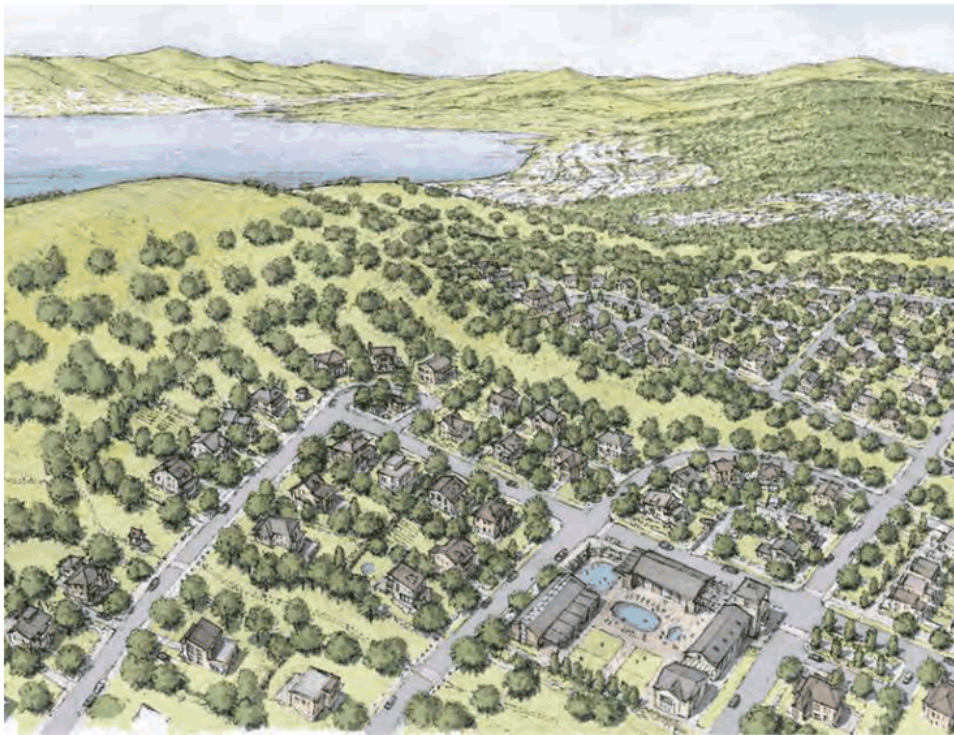


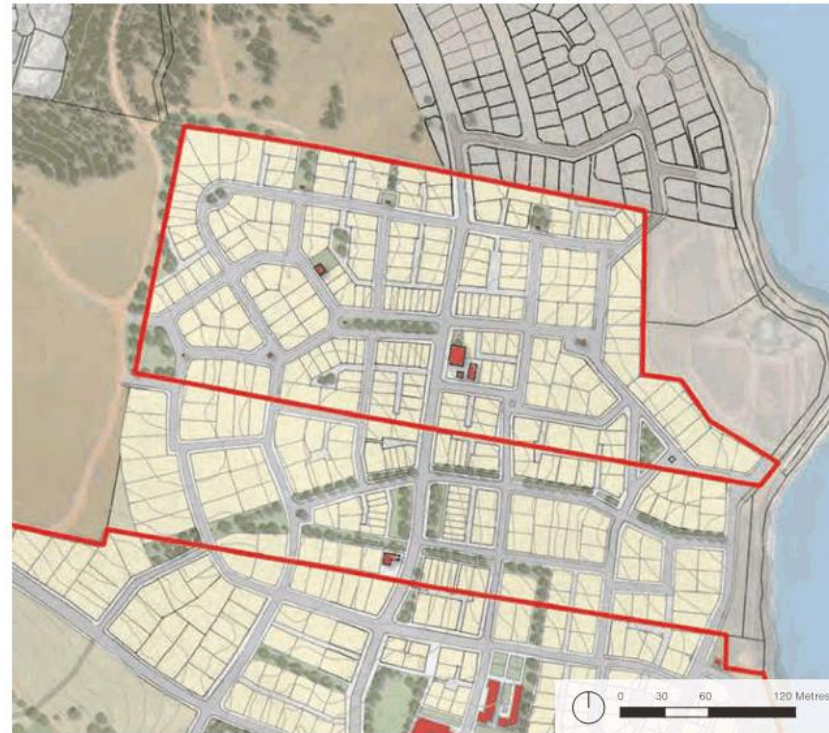










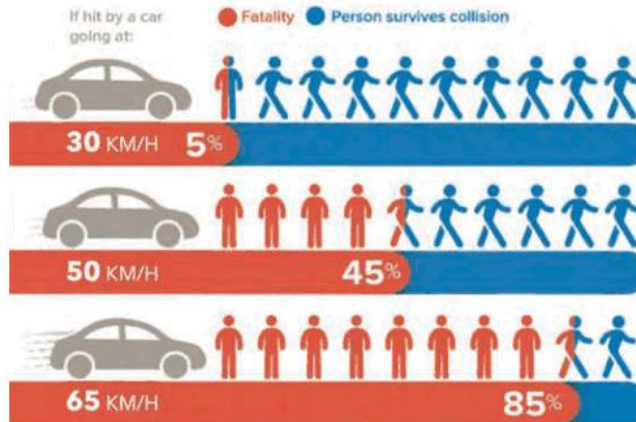


Class	Purpose	Limitations
Arterial	Collects vehicles from collectors and provides links between major activities, areas, and the State network	150m with collectors; Typically no residential street intersections
Sub-Arterial	Collects vehicles from residential streets and collectors and directs vehicles to arterial roads or local activities	100m with collectors and residential streets
Collector	Collects vehicles from adjoining residential streets and directs vehicles to arterials and activities	
Local	Providing access to abutting properties and is normally subject to through traffic	
Rural Arterial	Collects vehicles from abutting properties and rural collectors, and links local or regional areas	AADT > 2000
Rural Collector	Directs vehicles to rural arterials, urban highways, or local destinations	AADT < 2000
Residential Street		Length: should be no more than 200m from a house to a collector

Class	Additional Standards	Pavement	R.O.W.	Sidewalks (min.)
Arterial	When parking or bike facilities are separated from the travel lanes, the pavement width may be reduced.	14.3m+	25m+	Both sides 1.5m
Sub-Arterial		11m+	20m+	Both sides 1.5m
Collector		11m+	20m+	Both sides 1.5m
Local		8.9m	18m+	One side only 1.5m
Cul-de-sac	Length > 150m	8.9m	18m+	One side only 1.5m
Cul-de-sac	<= 150m and tenements <= 15	6.9m	15m+	One side only 1.5m
Residential Street	1-lane streets require a passing area every 60m			

- Grading
 - Bus routes and heavy vehicle routes must be 10% grade or less
 - 20% may be permitted for up to 70m (special circumstances)
 - 17% or more is permitted for up to 200m
- Pavement Width
 - Strict limit to 6.9m, 8.9m, and 11m+, no intermediate sizes.
- Cul-de-sac
 - Turn-around must be at least 18m curb-to-curb with a 25m ROW.
 - No Tee, Wye, or Offset Square turning heads.





National Traffic Safety Board (2017) Reducing Speeding-Related Crashes Involving Passenger Vehicles. Available from: <https://www.ntsb.gov/safety/safety-studies/Documents/SS1701.pdf>



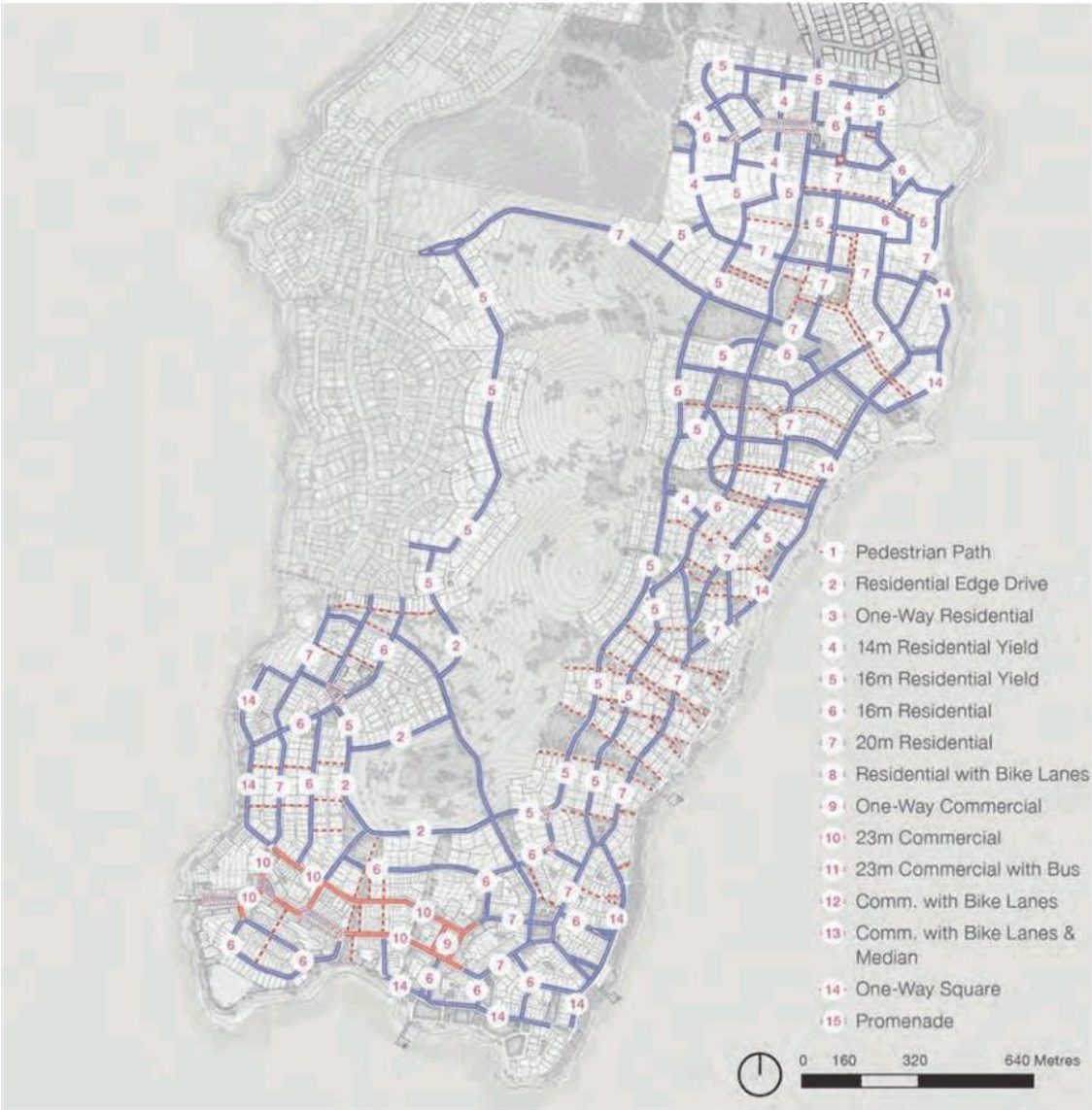
Dutch Cycling Embassy
@Cycling_Embassy

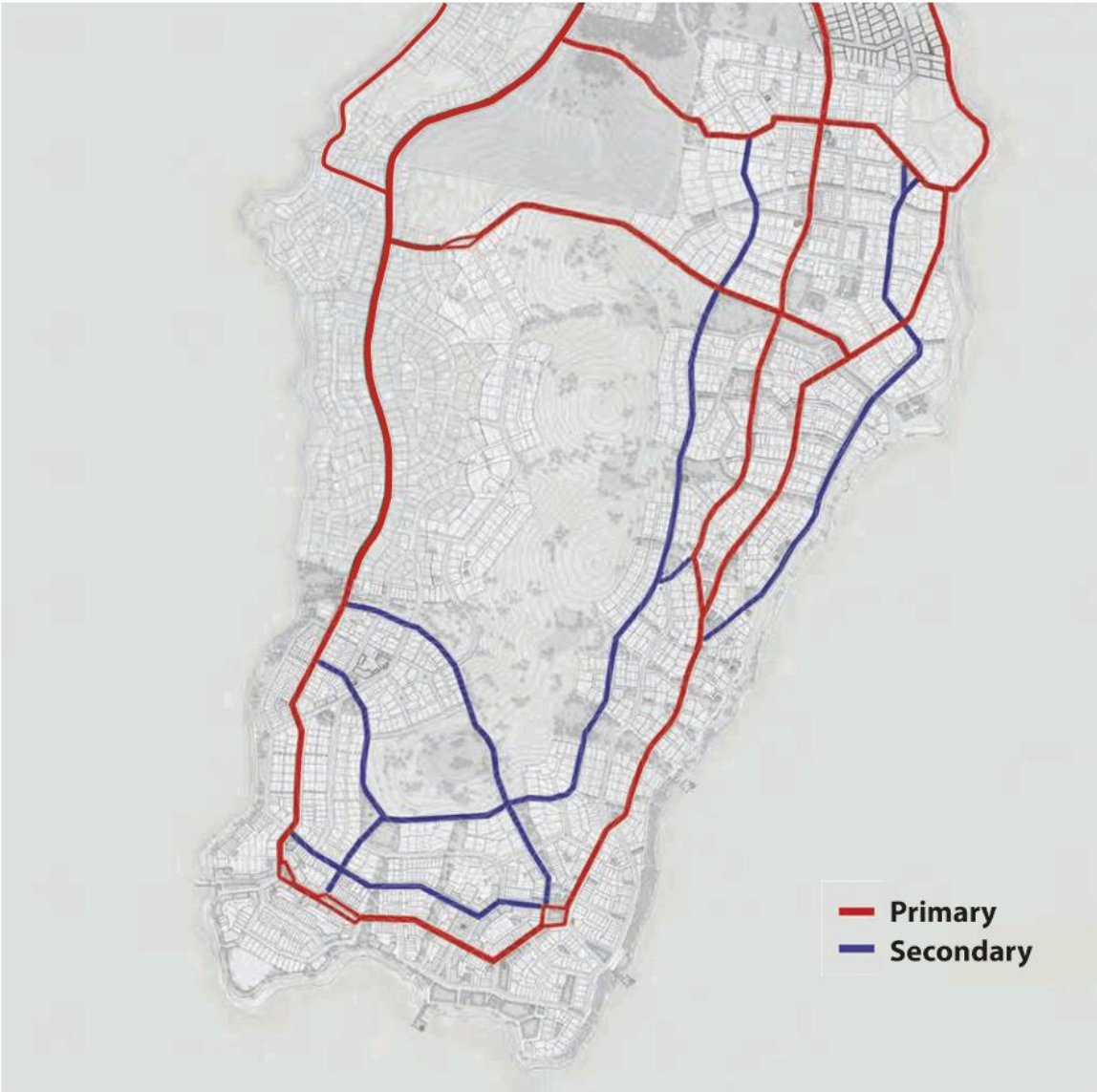
Effective today, the tax laws in the Netherlands have changed to financially reward cycling commuters:

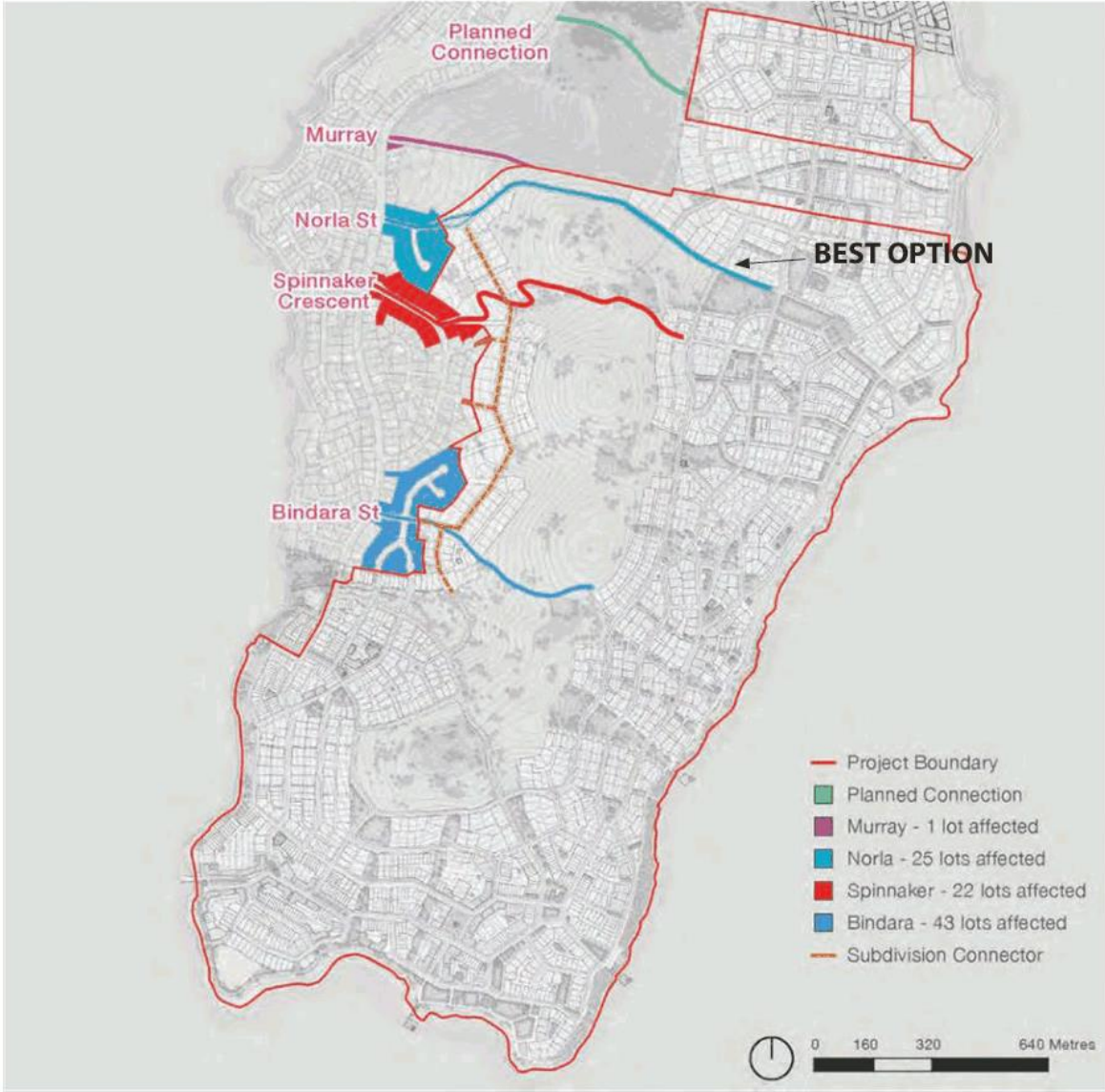
- 🚲 €0.19/km reimbursement for business travel
- 🚲 Interest-free loan towards (e-)bike purchase
- 🚲 Option to lease a bicycle from an employer

Read more: 3pm.nu/bijtellingsreg...

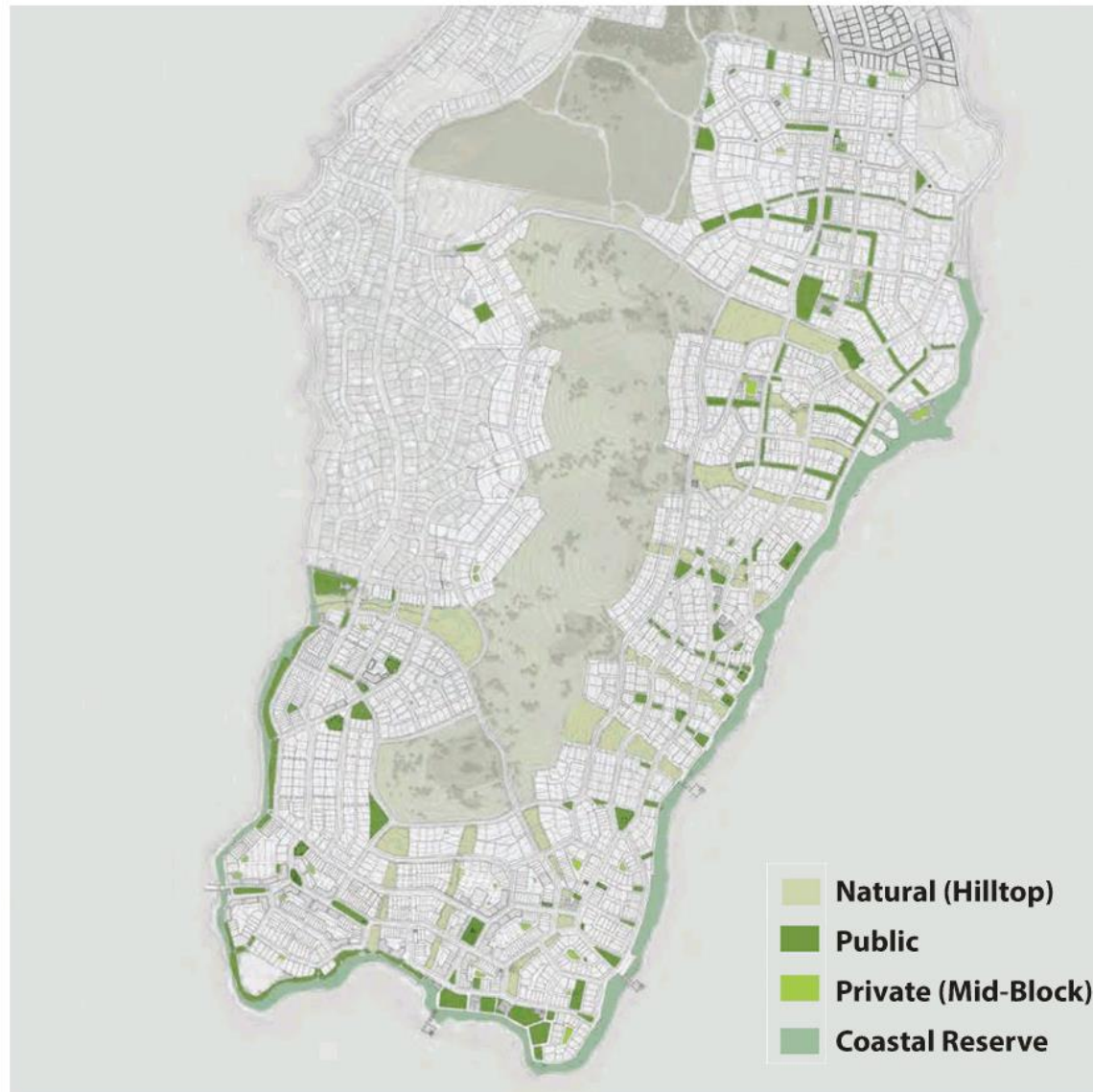








Aboriginal and European Heritage will be preserved and celebrated with Interpretive signage and outdoor museum type displays similar to those on the Hobart waterfront.



1

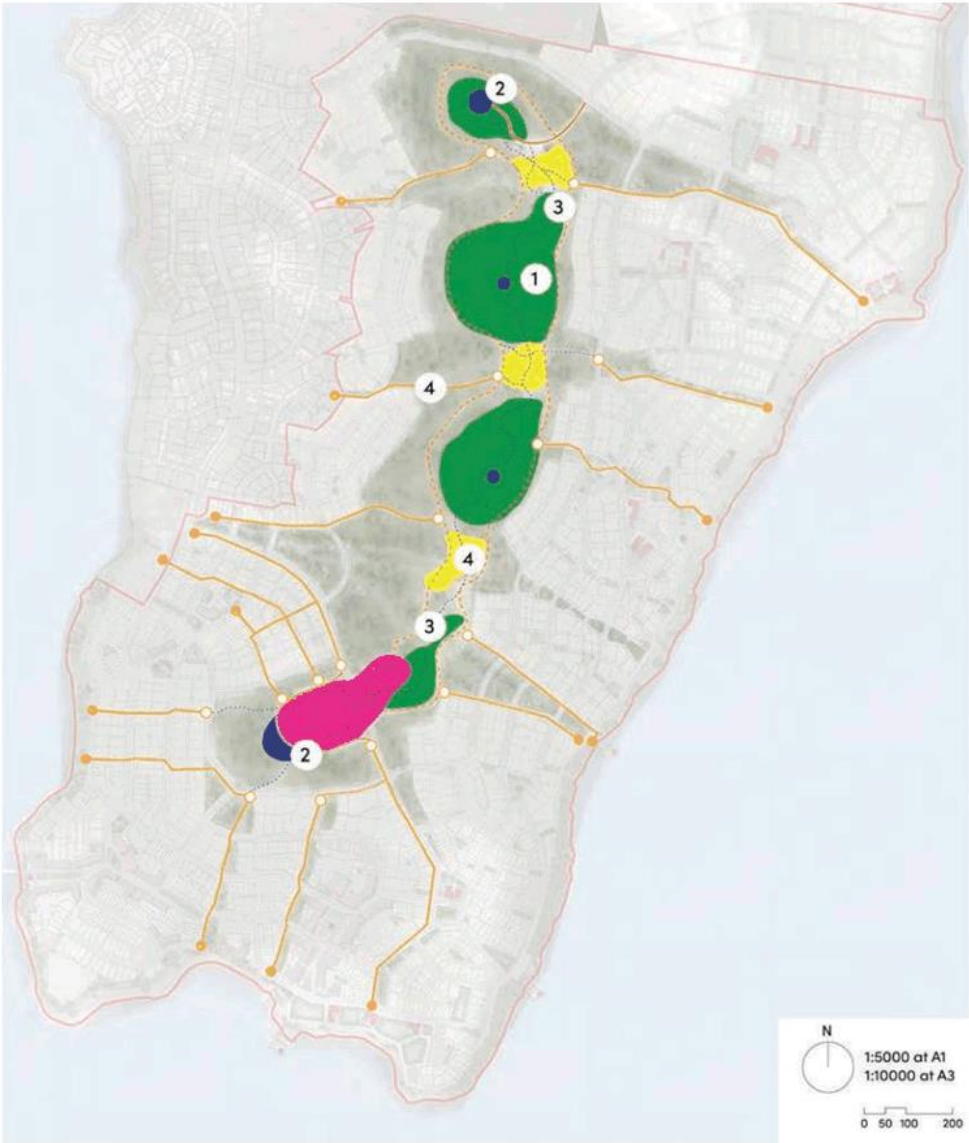
VEGETATED HILLTOPS

- 2050 VISION FOR HOBART
- CONTINUING THE URBAN AMPHITHEATRE
- UNDULATING HILLS

2

PROMONTORY LOOKOUTS

- LOCAL AND REGIONAL VIEWS
 - PICNIC AND BBQ
- INCLUSIVE PLAY STRUCTURE
- SEATING AND OBSERVATION PLATFORM
- LOOKOUT DRIVE



3

CONTINUOUS RIDGE-TOP PATHWAY SYSTEM

- SHARE PATH
- HIKING TRAILS
- CYCLING
- VARYING NATURE EXPERIENCE
- GULY CROSSINGS

4

SHARED NEIGHBOURHOOD SADDLES

- LOCAL PICNIC AND WILDPLAY
- TRAIL AND RIDGE TO RIVER CONNECTIONS
- OPEN GREEN
- INFORMAL SPORT

The peninsula of Droughty Point completes the formation of the urban amphitheatre through its connected ridgeline and landscape components - hilltops, saddles and a promontory.

Skylands responds to the relaxed form of the landscape to deliver nuanced urban settlement patterns.

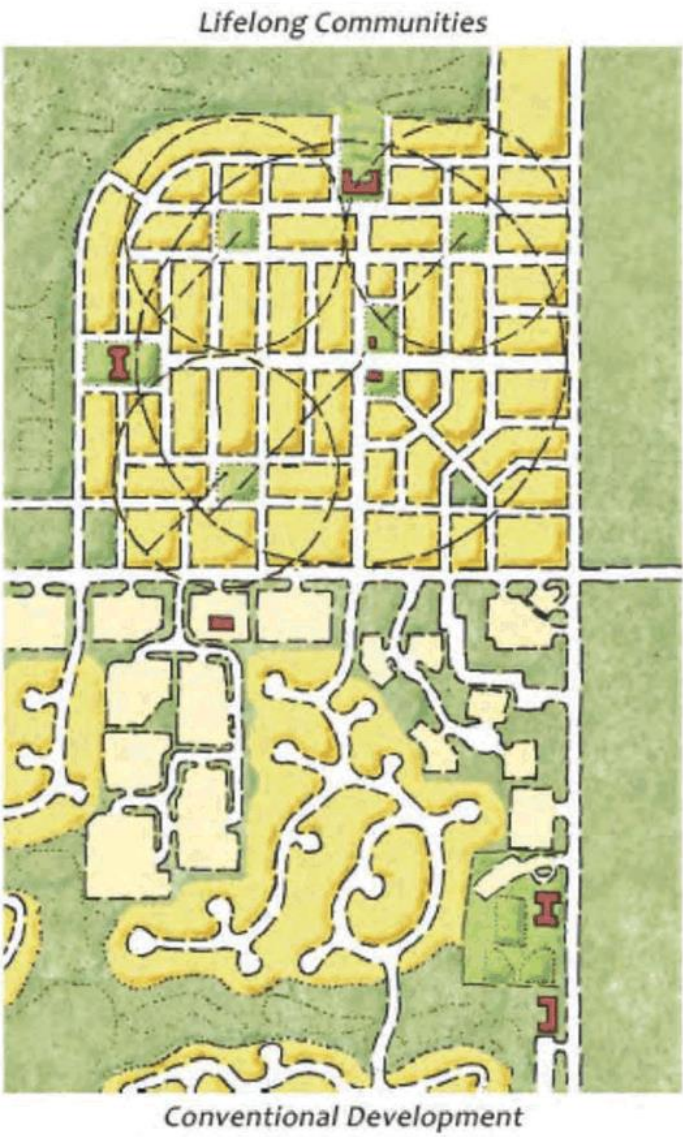
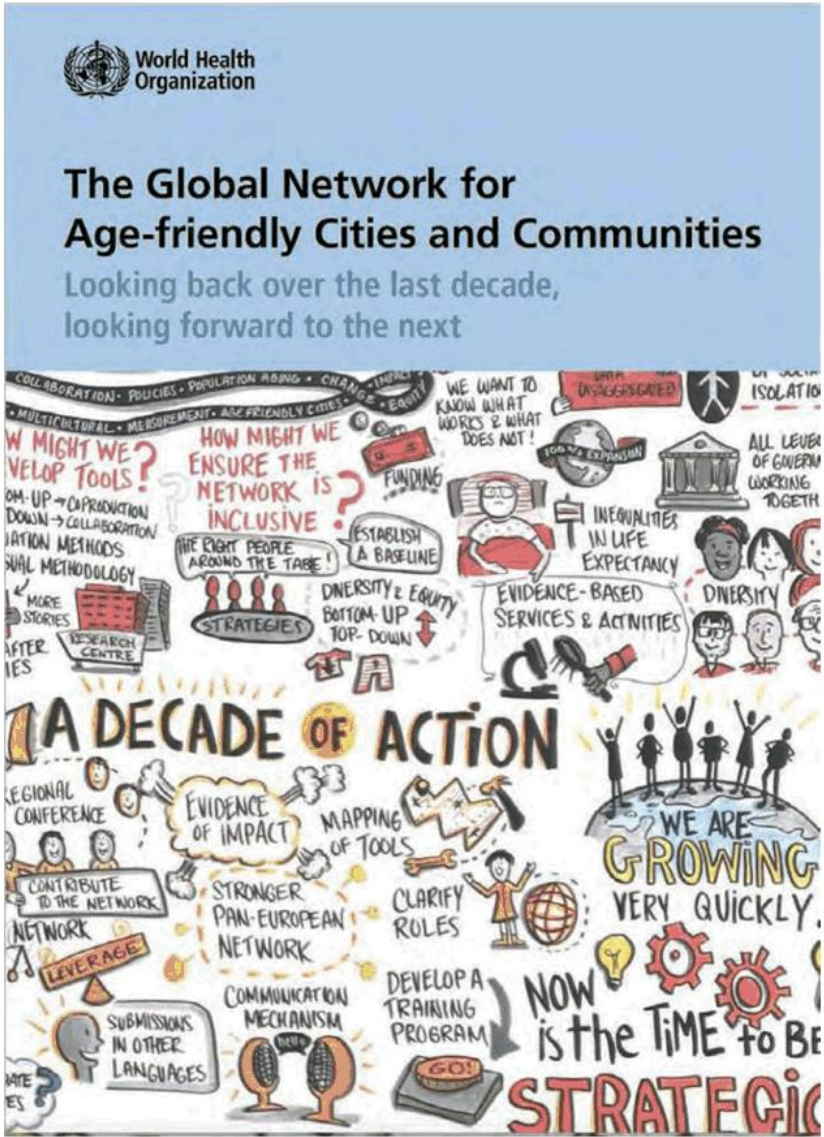
Strategies for revegetation and water sensitive design ensure the qualities of the native environment and existing system are both preserved and celebrated during the design and development process.

Each component from river to ridge works in concert as an integrated system.



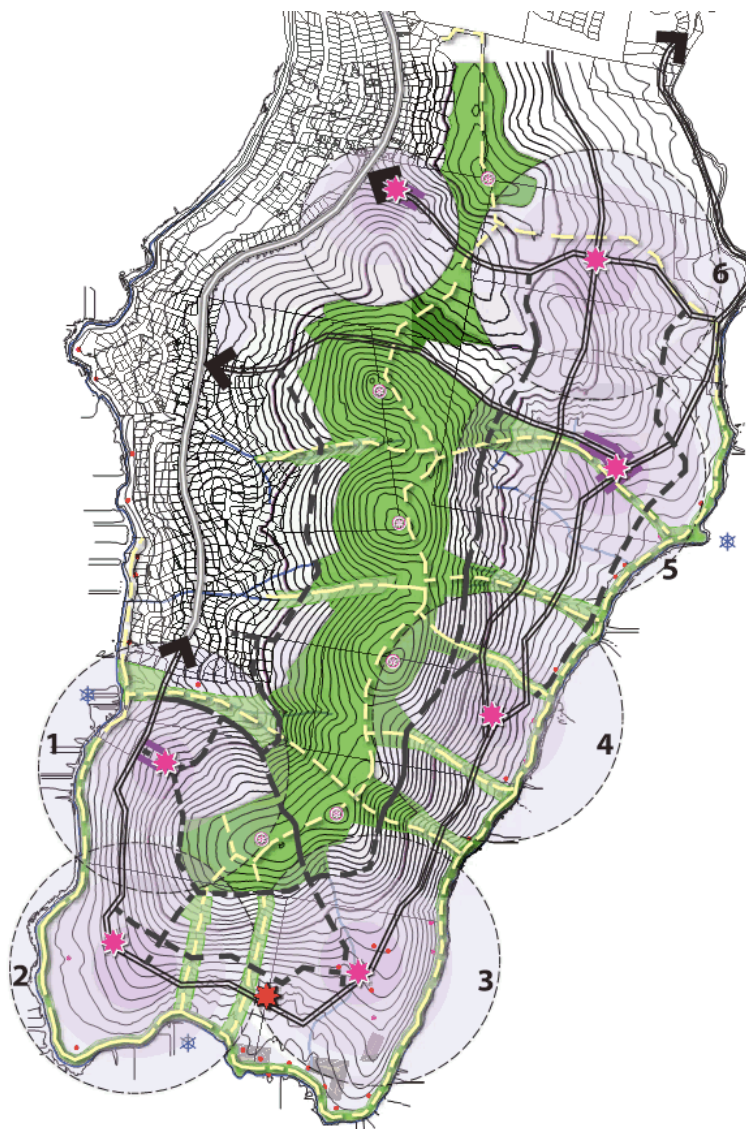






Design Steps:

1. Designate and plan for neighbourhoods (diverse, compact and connected)
2. Connect neighbourhoods centers with primary spine street
3. Map the protected land that contributes to the region's natural, heritage and open space resources
4. Allocate levels of intensity of development (zoning)
5. Define a secondary street network

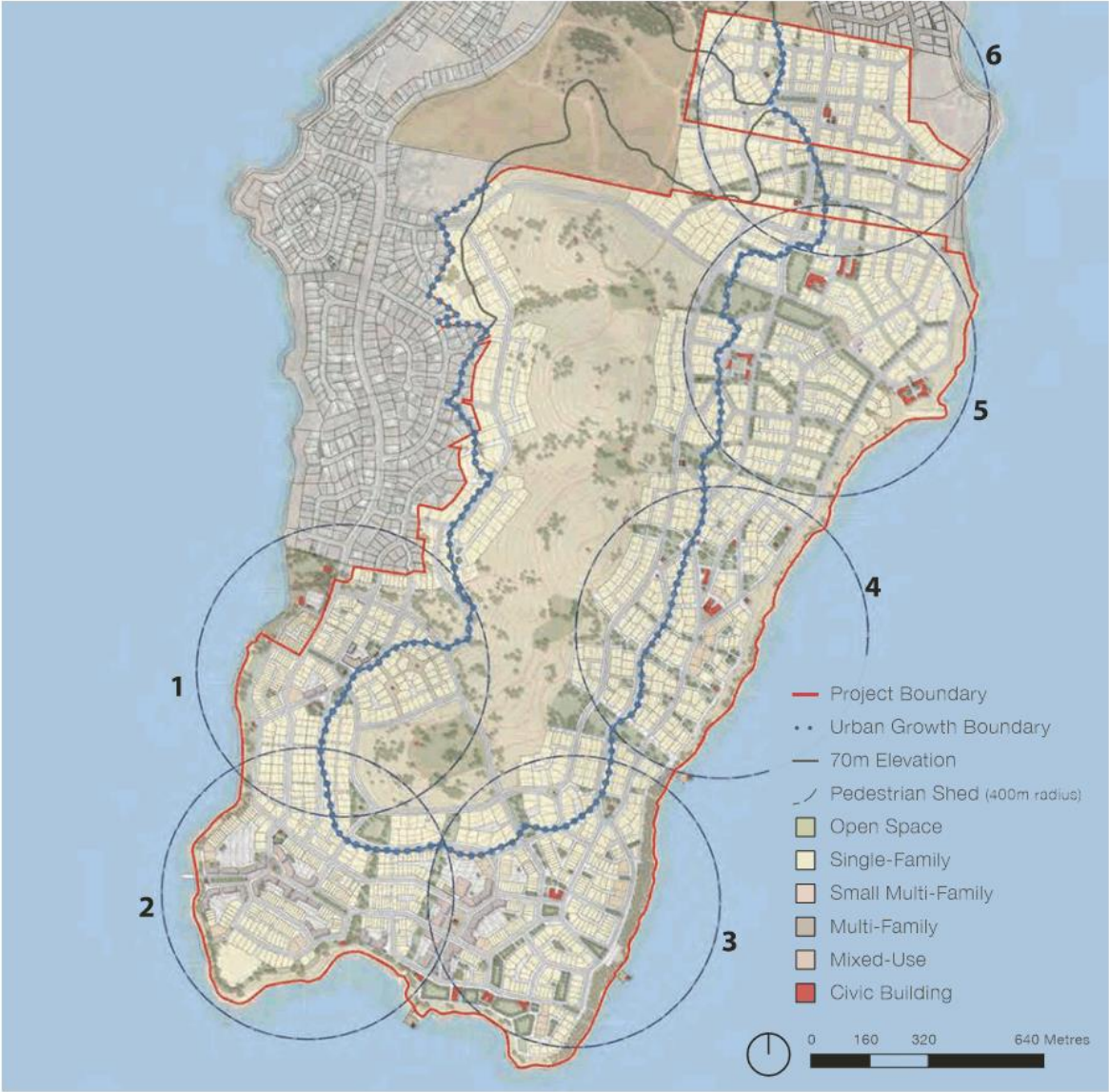


Through a series of reviews and discussions, Structure Plan 1 was the chosen approach with modifications, as incorporated here, at a larger scale.

The following pages illustrate the master plan designs and accompanying diagrams for this particular structure plan.

- == Primary Street
- Secondary Street
- Trail
- Pedestrian Shed (400m radius)
- ★ Neighbourhood Centres
- ★ Ridge High Points
- ★ Waterfront Connections
- Open Space Preserve
- Open Space Reserve
- Low Density Residential
- General Residential
- Urban Mixed-Use
- ★ Commercial Node
- 70m Line
- Gully
- Foreshore (30m buffer)







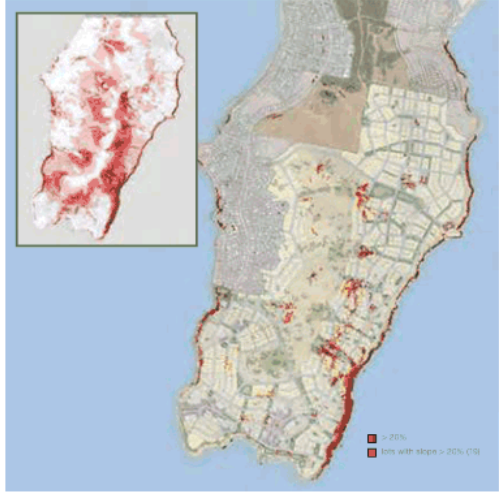
Open Space



Private Lots



Zoning



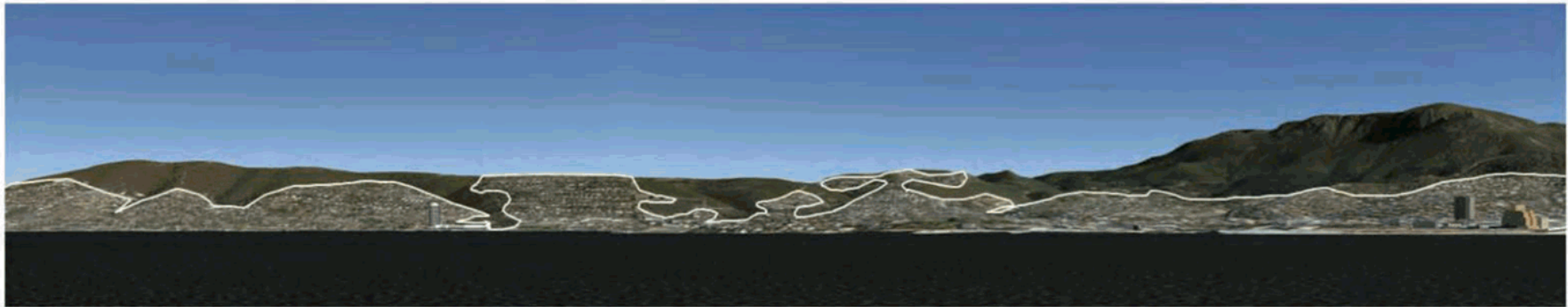
Slopes



VIEW TOWARDS BATTERY POINT



VIEW TOWARDS HOBART



HOBART, UNDULATING URBAN GROWTH BOUNDARY



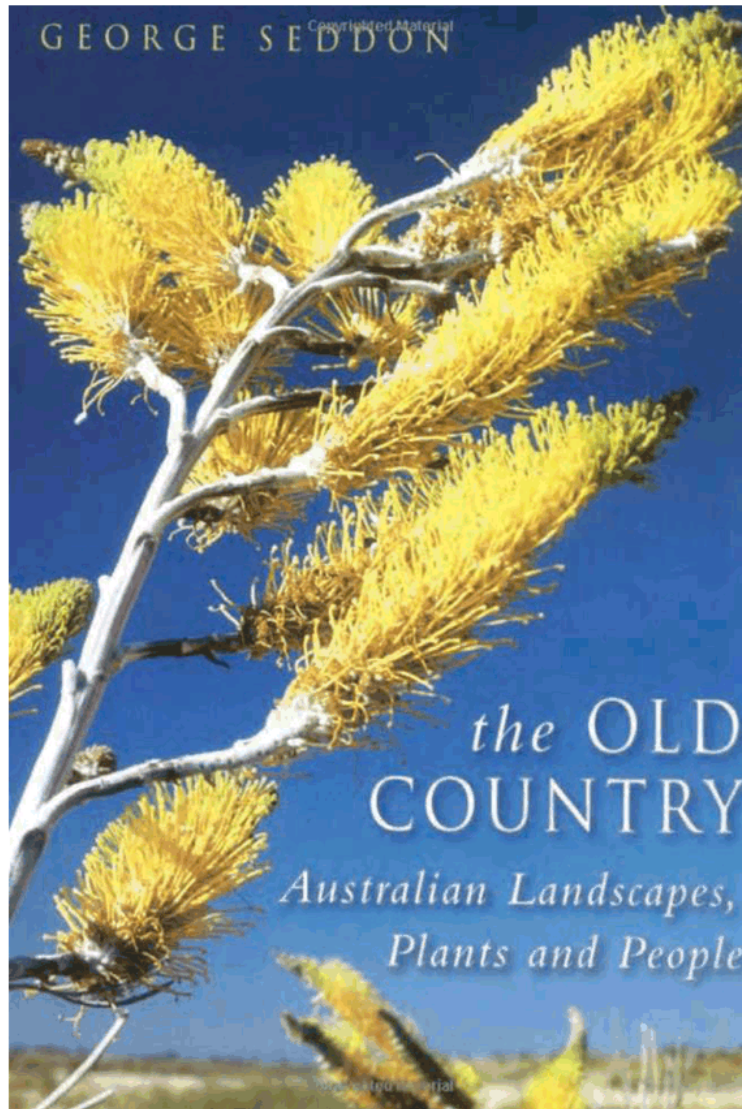
The settlement patterns of Greater Hobart are informed by the components of the landscape, with a relaxed urban growth boundary that rises and falls as the slope varies.

The dense vegetated ridgetop generally expands above areas of 20% slope and surrounding existing gully corridors, where development is unachievable.

This green spine wraps around the Derwent landscape to form the image of the 'urban amphitheatre'.



Skylands completes the “green spine” wrapping around the Derwent. It will mirror the relaxed Urban Growth Boundary and gully corridors.



“A sense of place is basic to civilization. All the great cities of the world have been places that were intensely and minutely loved”.

George Seddon

DPZ – Short summary: Marina Khoury, Michael Weich

Macroplan – Short summary: Brian Haratsis, Glenn Lamont

Traffix – Short Summary: Henry Turnbull, Jodie Place

Turf Studios: Short Summary Mike Horne, Olivia, Monteleone

The Carr Family, Bert 1907–2003, Rita 1907-1998, Roger 1939-2013

David, Tranmere, Greg USA/Narrandera, Judi, Melbourne

The Lilly Family, Bob, Peta, Rohan, Samantha, Lauren, Rokeby



SKYLANDS

PREPARED BY:
DPZ CoDESIGN

DPZ
CoDESIGN

8.2 City Planning - Advertising Report
File Ref: F22/43866

Memorandum of the Director City Life of 17 May 2022 and attachment.

Delegation: Committee



City of **HOBART**

MEMORANDUM: CITY PLANNING COMMITTEE

City Planning - Advertising Report

Attached is the advertising list for the period 27 April 2022 to 9 May 2022.

RECOMMENDATION

That the information be received and noted.

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

Neil Noye
DIRECTOR CITY LIFE

Date: 17 May 2022
File Reference: F22/43866

Attachment A: City Planning - Advertising Report ↓ 

Application	Street	Suburb	Development	Works Value	Expiry Date	Referral	Proposed Delegation	Advertising Period Start	Advertising Period End
PLN-21-882	16 SWAN STREET	NORTH HOBART	Partial Demolition, Alterations, Extension and Front Fencing	\$600,000	07/06/2022	ayersh	Director	02/05/2022	16/05/2022
PLN-21-541	60 ATHLEEN AVENUE	LENAH VALLEY	Dwelling	\$400,000	20/05/2022	ayersh	Director	03/05/2022	17/05/2022
PLN-22-219	2 CROSS STREET	NEW TOWN	Front Fencing	\$10,000	05/06/2022	ayersh	Director	04/05/2022	18/05/2022
PLN-22-149	9 WARWICK STREET	HOBART	Partial Demolition, Alterations, and Front Fencing	\$200,000	23/05/2022	ayersh	Director	06/05/2022	20/05/2022
PLN-22-109	1 DALY ROAD	LENAH VALLEY	Outbuilding	\$45,000	25/05/2022	baconr	Director	29/04/2022	13/05/2022
PLN-22-173	32 VIEW STREET	SANDY BAY	Partial Demolition and Alterations	\$150,000	17/06/2022	baconr	Director	29/04/2022	13/05/2022
PLN-22-225	75 HARRINGTON STREET	HOBART	Signage	\$0	15/06/2022	baconr	Director	05/05/2022	19/05/2022
PLN-21-443	20 OLD FARM ROAD	SOUTH HOBART	Partial Demolition, Alterations, Extension, Carport, and Garage	\$130,000	17/06/2022	langd	Director	27/04/2022	11/05/2022

Application	Street	Suburb	Development	Works Value	Expiry Date	Referral	Proposed Delegation	Advertising Period Start	Advertising Period End
PLN-22-201	24 LANSLOWNE CRESCENT	WEST HOBART	Partial Demolition, Alterations and Extension	\$500,000	20/06/2022	langd	Director	29/04/2022	13/05/2022
PLN-22-133	106 CASCADE ROAD	SOUTH HOBART	Temporary Housing	\$0	20/05/2022	langd	Council (Council Land)	02/05/2022	16/05/2022
PLN-22-254	12 CASCADE ROAD	SOUTH HOBART	Partial Demolition, Alterations and Ancillary Dwelling	\$15,000	11/06/2022	langd	Director	06/05/2022	20/05/2022
PLN-22-195	84 GOULBURN STREET	HOBART	Change of Use to Visitor Accommodation	\$0	17/05/2022	maxwellv	Director	28/04/2022	12/05/2022
PLN-21-864	22 BRAMBLE STREET	RIDGEWAY	Partial Demolition, Alteration and Extension	\$400,000	26/05/2022	maxwellv	Director	06/05/2022	20/05/2022
PLN-21-441	36 HILLCREST ROAD	TOLMANS HILL	Dwelling	\$400,000	22/05/2022	mcclenahanm	Director	27/04/2022	11/05/2022
PLN-22-217	370 MACQUARIE STREET	SOUTH HOBART	Change of Use to Visitor Accommodation	\$0	01/06/2022	mcclenahanm	Council (Called In)	28/04/2022	12/05/2022
PLN-22-216	368 MACQUARIE STREET	SOUTH HOBART	Change of Use to Visitor Accommodation	\$0	25/05/2022	mcclenahanm	Council (Called In)	28/04/2022	12/05/2022

Application	Street	Suburb	Development	Works Value	Expiry Date	Referral	Proposed Delegation	Advertising Period Start	Advertising Period End
PLN-22-233	17 LITTLE ARTHUR STREET	NORTH HOBART	Alterations (Solar Panels)	\$6,500	01/06/2022	mcclenahanm	Director	29/04/2022	13/05/2022
PLN-22-3	21 GARDENIA GROVE	SANDY BAY	Alterations to Driveway	\$15,000	/06/2022	mcclenahanm	Director	03/05/2022	17/05/2022
PLN-22-190	24 - 26 WELD STREET	SOUTH HOBART	Temporary Classrooms	\$300,000	20/05/2022	mcclenahanm	Director	03/05/2022	17/05/2022
PLN-22-205	12 BOA VISTA ROAD	NEW TOWN	Relocation and Extension of Studio and Partial Change of Use to Ancillary Dwelling	\$100,000	02/06/2022	mcclenahanm	Director	03/05/2022	17/05/2022
PLN-22-230	73 TASMA STREET	NORTH HOBART	Partial Demolition and Alterations	\$4,000	01/06/2022	mcclenahanm	Director	03/05/2022	05/05/2022
PLN-22-228	23 COLVILLE STREET	BATTERY POINT	Partial Demolition, Alterations, and Extension	\$300,000	01/06/2022	mcclenahanm	Director	06/05/2022	20/05/2022
PLN-22-203	7 ALBERRY AVENUE	NORTH HOBART	Partial Demolition and Alterations	\$70,000	18/05/2022	sherriffc	Director	27/04/2022	11/05/2022

Application	Street	Suburb	Development	Works Value	Expiry Date	Referral	Proposed Delegation	Advertising Period Start	Advertising Period End
PLN-21-584	23 WHELAN CRESCENT	WEST HOBART	Two Multiple Dwellings (One Existing, One New), Car Parking and Front Fencing	\$350,000	23/05/2022	sherriffc	Council (Objection)	28/04/2022	12/05/2022
PLN-22-83	2 / 678 HUON ROAD	FERN TREE	Alterations to Previously Approved Multiple Dwelling	\$100,000	18/06/2022	smeea	Director	28/04/2022	12/05/2022
PLN-22-218	49 CAVELL STREET	WEST HOBART	Outbuilding	\$10,000	30/05/2022	smeea	Director	28/04/2022	12/05/2022
PLN-21-598	590 NELSON ROAD	MOUNT NELSON	Partial Demolition, Alterations, Extension, Front Fencing, Alterations to Driveways and Works in Road Reserve	\$600,000	25/05/2022	smeea	Council (Council Land)	29/04/2022	13/05/2022
PLN-22-244	18 HUNTER STREET	HOBART	Alterations	\$10,000	03/06/2022	smeea	Director	03/05/2022	17/05/2022
PLN-22-223	1 - 7 LIVERPOOL STREET	HOBART	Signage	\$0	09/06/2022	smeea	Director	06/05/2022	20/05/2022

Application	Street	Suburb	Development	Works Value	Expiry Date	Referral	Proposed Delegation	Advertising Period Start	Advertising Period End
PLN-22-272	156 NEW TOWN ROAD	NEW TOWN	Demolition, Subdivision (Lot Consolidation), and New Building for 19 Multiple Dwellings and Fitness Centre (Sports and Recreation)	\$7,000,000	16/06/2022	smeea	Council (Major Development)	09/05/2022	23/05/2022
PLN-22-141	2 A VALENTINE STREET	NEW TOWN	Partial Demolition, Alterations, and Extension	\$450,000	12/05/2022	widdowsont	Director	28/04/2022	12/05/2022
PLN-22-198	1 / 26 A WAIMEA AVENUE	SANDY BAY	Change of Use to Visitor Accommodation	\$0	07/06/2022	widdowsont	Director	03/05/2022	17/05/2022
PLN-21-823	1 BELL STREET	NEW TOWN	Upgrading of Existing Telecommunications Facility and Associated Works	\$150,000	18/07/2022	wilsone	Director	05/05/2022	19/05/2022

8.3 Delegated Decision Report (Planning)
File Ref: F22/46421

Memorandum of the Director City Life of 18 May 2022 and attachment.

Delegation: Committee



City of **HOBART**

MEMORANDUM: CITY PLANNING COMMITTEE

Delegated Decision Report (Planning)

Attached is the delegated planning decisions report for the period 2 May 2022 to 13 May 2022.

RECOMMENDATION

That the information be received and noted.

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

Neil Noye
DIRECTOR CITY LIFE

Date: 18 May 2022
File Reference: F22/46421

Attachment A: Delegated Decision Report (Planning) ↓

18 May 2022

Delegated Decisions Report (Planning)

32 applications found.

					Approved	All
Planning Description	Address	Works Value	Decision	Authority		
PLN-19-701 Partial Demolition, Alterations, Driveway, Front Fencing and Change of Use to Visitor Accommodation	121 GOULBURN STREET WEST HOBART TAS 7000	\$ 0	Approved	Delegated		
PLN-21-416 Subdivision (One Additional Lot)	26 SUMMERHILL ROAD WEST HOBART TAS 7000	\$ 20,000	Approved	Delegated		
PLN-21-508 Dwelling	6 AGENA RETREAT LENA VALLEY TAS 7008	\$ 235,000	Approved	Delegated		
PLN-21-650 Partial Demolition, Alterations, Extension, and Front Fencing	1 BUTTERWORTH STREET WEST HOBART TAS 7000	\$ 120,000	Approved	Delegated		
PLN-21-739 Partial Demolition, Alterations and Extension	26 RATHO STREET LENA VALLEY TAS 7008	\$ 250,000	Approved	Delegated		
PLN-21-801 Swimming Pool	30 HAMILTON STREET WEST HOBART TAS 7000	\$ 95,000	Approved	Delegated		
PLN-21-816 Subdivision (Boundary Adjustment)	10 BROADWATERS PARADE SANDY BAY TAS 7005	\$ 0	Approved	Delegated		
PLN-21-857 Partial Demolition, Alterations and Extension	133 NELSON ROAD MOUNT NELSON TAS 7007	\$ 790,000	Approved	Delegated		
PLN-21-883 Partial Demolition and Two Multiple Dwellings (One Existing, One New)	44 QUAYLE STREET SANDY BAY TAS 7005	\$ 500,000	Approved	Delegated		
PLN-22-102 Alterations	650 SANDY BAY ROAD SANDY BAY TAS 7005	\$ 1,500	Approved	Delegated		
PLN-22-103 Partial Demolition, Alterations, and Extension	20 DAVENPORT STREET GLEBE TAS 7000	\$ 300,000	Approved	Delegated		
PLN-22-112 Alterations and Signage	60 LIVERPOOL STREET HOBART TAS 7000	\$ 0	Approved	Delegated		
PLN-22-119 Change of Use to Visitor Accommodation	69 GOULBURN STREET HOBART TAS 7000	\$ 0	Approved	Delegated		
PLN-22-131 Change of Use to Visitor Accommodation	23 SALVATOR ROAD WEST HOBART TAS 7000	\$ 0	Approved	Delegated		
PLN-22-147 Change of Use to Visitor Accommodation	117 WARWICK STREET WEST HOBART TAS 7000	\$ 0	Approved	Delegated		
PLN-22-154 Change of Use to Visitor Accommodation	2/5-7 EDWARD STREET GLEBE TAS 7000	\$ 2,000	Approved	Delegated		
PLN-22-155 Change of Use to Visitor Accommodation	3/5-7 EDWARD STREET GLEBE TAS 7000	\$ 2,000	Approved	Delegated		
PLN-22-163 Alterations	16 OAKLEY STREET NEW TOWN TAS 7008	\$ 14,844	Approved	Delegated		
PLN-22-176 Carport	9 BOA VISTA ROAD NEW TOWN TAS 7008	\$ 15,000	Approved	Delegated		
PLN-22-180 Partial Demolition and Alterations	1 FRANKLIN WHARF HOBART TAS 7000	\$ 50,000	Approved	Delegated		
PLN-22-184 Signage	57 ELIZABETH STREET HOBART TAS 7000	\$ 2,000	Approved	Delegated		
PLN-22-185 Change of Use to Visitor Accommodation	214 WARWICK STREET WEST HOBART TAS 7000	\$ 2,000	Approved	Delegated		
PLN-22-188 Partial Demolition and Alterations	34 MONTAGU STREET LENA VALLEY TAS 7008	\$ 8,000	Approved	Delegated		
PLN-22-192 Partial Demolition and Outbuilding (Garage and Workshop)	1-3 O'CONOR COURT SANDY BAY TAS 7005 (CT 174882/1)	\$ 19,000	Approved	Delegated		

CITY OF HOBART

Planning Description	Address	Works Value	Decision	Authority
PLN-22-208 Change of Use to Visitor Accommodation	17 LEFROY STREET NORTH HOBART TAS 7000	\$ 0	Approved	Delegated
PLN-22-220 Partial Demolition and Alterations	63 DAVEY STREET HOBART TAS 7000	\$ 50,000	Approved	Delegated
PLN-22-237 Change of Use to Visitor Accommodation	32 ADELAIDE STREET SOUTH HOBART TAS 7004	\$ 2,000	Approved	Delegated
PLN-22-248 Change of Use to Visitor Accommodation	25 VALLEY STREET WEST HOBART TAS 7000	\$ 0	Approved	Delegated
PLN-22-28 Partial Demolition, Extension, Alterations & Decks	121 HARRINGTON STREET HOBART TAS 7000	\$ 100,000	Approved	Delegated
PLN-22-31 Partial Demolition, Alterations, Extension and New Car Parking Spaces and Outbuilding	1/19 MACFARLANE STREET SOUTH HOBART TAS 7004	\$ 200,000	Approved	Delegated
PLN-22-64 Partial Demolition, Alterations and Partial Change of Use to Dwelling	520 SANDY BAY ROAD SANDY BAY TAS 7005	\$ 900,000	Approved	Delegated
PLN-22-68 Partial Demolition, Alterations and Extension	6 CATO AVENUE WEST HOBART TAS 7000	\$ 25,000	Approved	Delegated

9. COMMITTEE ACTION STATUS REPORT

9.1 Committee Actions - Status Report

A report indicating the status of current decisions is attached for the information of Elected Members.

RECOMMENDATION

That the information be received and noted.

Delegation: Committee

Attachment A: City Planning Committee Meeting - Status Report -
April 2022

<p style="text-align: center;">CITY PLANNING COMMITTEE – STATUS REPORT OPEN PORTION OF THE MEETING April 2022</p>				
Ref.	Title	Report / Action	Action Officer	Comments
1	<p>19-27 CAMPBELL STREET, 29 CAMPBELL STREET, 19 COLLINS STREET, CT.198531/2, ADJACENT ROAD RESERVATIONS, HOBART (UTAS CIPAD) Open CPC 4 April 2016 - Supp. item 6.2.1</p>	<p>That the Council explore options for increasing pedestrian and bicycle access in the vicinity of the UTAS Creative Industries and Performing Arts Development at 19-27 Campbell Street and 19 Collins Street, Hobart in conjunction with the redevelopment of the site.</p>	<p>Director City Futures</p>	<p>This will be addressed as part of the ICAP AP06 Campbell Street Upgrade project. The current trial traffic and parking arrangements in Campbell Street have been in place for some 18 months.</p> <p>Delays last year in RHH K Block and Hedberg occupation and the movement impacts of COVID-19, have somewhat delayed the conclusion of the trial.</p> <p>An evaluation of these provisions, taking account of stakeholder comment and traffic engineering considerations is currently being undertaken and will be submitted to the Council in the coming months, enabling the consideration of more permanent arrangements in lower Campbell Street.</p> <p>It is noted that the Council has committed to the Argyle Street and Campbell Street bicycle project, and this will, in large part address aspects of this Council resolution.</p>

2	FRONT FENCING Open Committee 23 October 2017	<p>That the Council significantly promote the risk of building front fences without appropriate Council approval and for this information to be promoted in writing to the architectural community and via suitable media platforms such as Capital City News and social media.</p>	<p>Director City Life</p>	<p>Article placed in Capital City News and promoted via social media. Communication with architectural community still to be actioned. To be included in the announcements regarding Open Office.</p>
3	SMOKE – FREE HOBART PROJECT UPDATE Open Committee 28 September 2020	<p>Further investigations be undertaken to identify additional areas within the Hobart municipality that could be strategically implemented as smoke free.</p> <p>A further update to the City Planning Committee be provided in February 2021.</p>	<p>Director Connected City</p>	<p>Update to Committee to follow Executive Leadership Team review of project status and resourcing.</p>
4	PUBLIC ART FRAMEWORK – PUBLIC ART PRIVATE DEVELOPMENT GUIDE Open Committee 23 November 2020	<ol style="list-style-type: none"> 1. A Public Amenity Policy for the City be developed, with public art being noted as one way a developer might contribute to the public amenity of the city. This policy would be the subject of a future report to the Council. 2. A report be provided to the Council on an annual basis detailing the contributions made under the Public Art Private Development Guide. 	<p>Director City Life</p> <p>Director Connected City</p>	<p>Officers are progressing the matter.</p>

5	LOCAL HOUSING SOLUTIONS Open Council 21 June 2021	<ol style="list-style-type: none"> 1. A report be prepared that investigates ways Council can provide advice to property owners regarding dwelling and property modifications, with a view to increase accommodation options across Hobart. 2. The advice be tailored for people who might want the flexibility to remain living at their property as their lifestyles might change or as they age, and also to increase the dwelling capacity on their property. 3. The report would: <ol style="list-style-type: none"> 1) Structure “plain English” explanations as to options for home modifications, planning requirements and how to meet building codes and heritage considerations. 2) Identify suitable properties where an increase in the number of dwellings could be possible 3) Provide more information for such opportunities in partnership with organisations such as the Australian Institute of Architects or Housing Industry Association 4) Consider allocating officer time as point of contact on finding these local housing solutions 5) Consider the financial return to Council in order for the program to be successful. 	Director City Life	Officers are progressing the matter.
---	--	---	--------------------	--------------------------------------

6	DEVELOPMENT APPLICATIONS – EQUAL ACCESSIBILITY Open Council 20 September 2021	A report on potential mechanisms and issues for ensuring that development applications that propose improved access facilities to meet the equal access requirements of the National Building Code are not singularly refused because of breaches in the heritage code of Council's planning schemes or the <i>Historic Cultural Heritage Act 1995</i> .	Director City Life	Officers are progressing the matter.
7	CENTRAL HOBART PRECINCT PLAN DISCUSSION PAPER Open Council 25/10/2021	<ol style="list-style-type: none"> 1. The Council endorse the release of the Central Hobart Precincts Plan Discussion Paper marked as Attachment A to item 8.2 of the Open City Planning Committee meeting of 18 October 2021, for consultation with the community and all stakeholders being residents, landowners and the commercial and corporate sector and community groups such as Tas Coss. 2. The work be undertaken in accordance to the Council's Community Engagement Policy. 	Director City Futures	Broad consultation is being undertaken consistent with the Council's Community Engagement Policy. A report on engagement has been drafted. A workshop is being held with Elected Members on 10 May.

10. QUESTIONS WITHOUT NOTICE

Section 29 of the *Local Government (Meeting Procedures) Regulations 2015*.
File Ref: 13-1-10

An Elected Member may ask a question without notice of the Chairman, another Elected Member, the Chief Executive Officer or the Chief Executive Officer's representative, in line with the following procedures:

1. The Chairman will refuse to accept a question without notice if it does not relate to the Terms of Reference of the Council committee at which it is asked.
2. In putting a question without notice, an Elected Member must not:
 - (i) offer an argument or opinion; or
 - (ii) draw any inferences or make any imputations – except so far as may be necessary to explain the question.
3. The Chairman must not permit any debate of a question without notice or its answer.
4. The Chairman, Elected Members, Chief Executive Officer or Chief Executive Officer's representative who is asked a question may decline to answer the question, if in the opinion of the respondent it is considered inappropriate due to its being unclear, insulting or improper.
5. The Chairman may require a question to be put in writing.
6. Where a question without notice is asked and answered at a meeting, both the question and the response will be recorded in the minutes of that meeting.
7. Where a response is not able to be provided at the meeting, the question will be taken on notice and
 - (i) the minutes of the meeting at which the question is asked will record the question and the fact that it has been taken on notice.
 - (ii) a written response will be provided to all Elected Members, at the appropriate time.
 - (iii) upon the answer to the question being circulated to Elected Members, both the question and the answer will be listed on the agenda for the next available ordinary meeting of the committee at which it was asked, where it will be listed for noting purposes only.

11. CLOSED PORTION OF THE MEETING

That the Committee resolve by majority that the meeting be closed to the public pursuant to regulation 15(1) of the *Local Government (Meeting Procedures) Regulations 2015* because the items included on the closed agenda contain the following matters:

- Minutes of a Closed Committee Meeting
- Responses to Closed Questions Without Notice
- Closed Questions Without Notice.

The following items were discussed: -

- | | |
|--------------|--|
| Item No. 1 | Minutes of the last meeting of the Closed Portion of the Committee Meeting |
| Item No. 2 | Consideration of supplementary items to the agenda |
| Item No. 3 | Indications of pecuniary and conflicts of interest |
| Item No. 4 | Responses to Questions Without Notice |
| Item No. 4.1 | 1 Trumpeter Street - Compliance Complaint
LG(MP)R 15(4)(a) |
| Item No. 4.2 | Tribunal Appeals
LG(MP)R 15(4)(a) |
| Item No. 4.3 | Tribunal Appeals - Modifications
LG(MP)R 15(4)(a) |
| Item No. 4.4 | Cable Car - Tribunal Appeal
LG(MP)R 15(4)(a) |
| Item No. 5 | Questions Without Notice |