



CITY OF HOBART

# **AGENDA**

## **City Planning Committee Meeting**

### **Open Portion**

**Monday, 21 March 2022**

**at 5:00 pm**

**Council Chamber, Town Hall**

## THE MISSION

**Working together to make Hobart a better place for the community.**

## THE VALUES

**The Council is:**

<b>People</b>	We care about people – our community, our customers and colleagues.
<b>Teamwork</b>	We collaborate both within the organisation and with external stakeholders drawing on skills and expertise for the benefit of our community.
<b>Focus and Direction</b>	We have clear goals and plans to achieve sustainable social, environmental and economic outcomes for the Hobart community.
<b>Creativity and Innovation</b>	We embrace new approaches and continuously improve to achieve better outcomes for our community.
<b>Accountability</b>	We are transparent, work to high ethical and professional standards and are accountable for delivering outcomes for our community.

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## **ORDER OF BUSINESS**

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**Business listed on the agenda is to be conducted in the order in which it is set out, unless the committee by simple majority determines otherwise.**

### **APOLOGIES AND LEAVE OF ABSENCE**

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**City Planning Committee Meeting (Open Portion) held Monday, 21 March 2022 at 5:00 pm in the Council Chamber, Town Hall.**

**This meeting of the City Planning Committee is held in accordance with a Notice issued by the Premier on 3 April 2020 under section 18 of the *COVID-19 Disease Emergency (Miscellaneous Provisions) Act 2020*.**

The title Chief Executive Officer is a term of reference for the General Manager as appointed by Council pursuant s.61 of the *Local Government Act 1993* (Tas).

**COMMITTEE MEMBERS**

Deputy Lord Mayor Burnet (Chairman)  
Alderman J Briscoe  
Councillor W F Harvey  
Alderman S Behrakis  
Councillor M Dutta  
Councillor W Coats

**Apologies:**

**Leave of Absence:** Nil.

**NON-MEMBERS**

Lord Mayor Councillor A M Reynolds  
Alderman M Zucco  
Alderman Dr P T Sexton  
Alderman D C Thomas  
Councillor J Fox  
Councillor Dr Z Sherlock

**1. CO-OPTION OF A COMMITTEE MEMBER IN THE EVENT OF A VACANCY**

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**2. CONFIRMATION OF MINUTES**

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The minutes of the Open Portion of the City Planning Committee meeting held on [Monday, 7 March 2022](#), are submitted for confirming as an accurate record.

**3. CONSIDERATION OF SUPPLEMENTARY ITEMS**

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Ref: Part 2, Regulation 8(6) of the *Local Government (Meeting Procedures) Regulations 2015*.

**Recommendation**

That the Committee resolve to deal with any supplementary items not appearing on the agenda, as reported by the Chief Executive Officer.

#### **4. INDICATIONS OF PECUNIARY AND CONFLICTS OF INTEREST**

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Ref: Part 2, Regulation 8(7) of the *Local Government (Meeting Procedures) Regulations 2015*.

Members of the Committee are requested to indicate where they may have any pecuniary or conflict of interest in respect to any matter appearing on the agenda, or any supplementary item to the agenda, which the Committee has resolved to deal with.

#### **5. TRANSFER OF AGENDA ITEMS**

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Regulation 15 of the *Local Government (Meeting Procedures) Regulations 2015*.

A Committee may close a part of a meeting to the public where a matter to be discussed falls within 15(2) of the above regulations.

In the event that the Committee transfer an item to the closed portion, the reasons for doing so should be stated.

Are there any items which should be transferred from this agenda to the closed portion of the agenda, or from the closed to the open portion of the agenda?

#### **6. PLANNING AUTHORITY ITEMS - CONSIDERATION OF ITEMS WITH DEPUTATIONS**

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In accordance with the requirements of Part 2 Regulation 8(3) of the *Local Government (Meeting Procedures) Regulations 2015*, the Chief Executive Officer is to arrange the agenda so that the planning authority items are sequential.

In accordance with Part 2 Regulation 8(4) of the *Local Government (Meeting Procedures) Regulations 2015*, the Committee by simple majority may change the order of any of the items listed on the agenda, but in the case of planning items they must still be considered sequentially – in other words they still have to be dealt with as a single group on the agenda.

Where deputations are to be received in respect to planning items, past practice has been to move consideration of these items to the beginning of the meeting.

#### **RECOMMENDATION**

That in accordance with Regulation 8(4) of the *Local Government (Meeting Procedures) Regulations 2015*, the Committee resolve to deal with any items which have deputations by members of the public regarding any planning matter listed on the agenda, to be taken out of sequence in order to deal with deputations at the beginning of the meeting.

## **7. COMMITTEE ACTING AS PLANNING AUTHORITY**

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In accordance with the provisions of Part 2 Regulation 25 of the *Local Government (Meeting Procedures) Regulations 2015*, the intention of the Committee to act as a planning authority pursuant to the *Land Use Planning and Approvals Act 1993* is to be noted.

In accordance with Regulation 25, the Committee will act as a planning authority in respect to those matters appearing under this heading on the agenda, inclusive of any supplementary items.

The Committee is reminded that in order to comply with Regulation 25(2), the Chief Executive Officer is to ensure that the reasons for a decision by a Council or Council Committee acting as a planning authority are recorded in the minutes.

## 7.1 APPLICATIONS UNDER THE HOBART INTERIM PLANNING SCHEME 2015

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### 7.1.1 720 SANDY BAY ROAD, SANDY BAY - ALTERATIONS (CHIMNEYS) PLN-21-627 - FILE REF: F22/23803

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Address: 720 Sandy Bay Road, Sandy Bay

Proposal: Alterations (Chimneys)

Expiry Date: 4 April 2022

Extension of Time: Not applicable

Author: Helen Ayers

#### **RECOMMENDATION**

That pursuant to the *Hobart Interim Planning Scheme 2015*, the City Planning Committee, in accordance with the delegations contained in its terms of reference, approve the application for alterations (chimneys), at 720 Sandy Bay Road, Sandy Bay 7005 for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

GEN

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-21-627 - 720 SANDY BAY ROAD SANDY BAY TAS 7005 - Final Planning Documents except where modified below.

Reason for condition

To clarify the scope of the permit.

#### **ADVICE**

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.



## **BUILDING PERMIT**

You may need building approval in accordance with the *Building Act 2016*. Click [here](#) for more information.

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

## **NOISE REGULATIONS**

Click [here](#) for information with respect to noise nuisances in residential areas.

- |               |   |
|---------------|---|
| Attachment A: | PLN-21-627 - 720 SANDY BAY ROAD SANDY BAY TAS 7005 - Planning Committee or Delegated Report ↓  |
| Attachment B: | PLN-21-627 - 720 SANDY BAY ROAD SANDY BAY TAS 7005 - CPC Agenda Documents ↓                  |

**APPLICATION UNDER HOBART INTERIM PLANNING SCHEME 2015**

Type of Report: Committee  
Council: 28 March 2022  
Expiry Date: 4 April 2022  
Application No: PLN-21-627  
Address: 720 SANDY BAY ROAD , SANDY BAY  
Applicant: Nathan Gray  
15 Byron Street  
Proposal: Alterations (Chimneys)  
Representations: Five (5)  
Performance criteria: Zone Development Standards - Building Envelope

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**1. Executive Summary**

- 1.1 Planning approval is sought for Alterations (Chimneys), at 720 Sandy Bay Road, Sandy Bay.
- 1.2 More specifically the proposal includes:
  - The addition of two parapet walls shielding chimneys on each dwelling.
- 1.3 The proposal relies on performance criteria to satisfy the following standards and codes:
  - 1.3.1 Low Density Residential Zone - Building Envelope
- 1.4 Four (4) representations objecting to the proposal and one (1) representation supporting the proposal were received within the statutory advertising period between 31 January and 15 February 2022.
- 1.5 The proposal is recommended for approval subject to conditions.
- 1.6 The final decision is delegated to the City Planning Committee, because four representations objecting to the proposal were received.

## 2. Site Detail

- 2.1 The application site is a regularly shaped 1467m<sup>2</sup> lot on the eastern side of Sandy Bay Road which abuts the River Derwent. There are currently two multiple dwellings under construction on the site. The site is surrounded by a mixture of single and multiple dwellings.



Figure 1: The location of the application site is highlighted in yellow

## 3. Proposal

- 3.1 Planning approval is sought for Alterations (Chimneys), at 720 Sandy Bay Road, Sandy Bay.
- 3.2 More specifically the proposal is for:
- New parapet walls wrapped around chimneys for the kitchens of both dwellings on the southern side, and the decks of both dwellings on the northern side. The chimneys will extend a maximum of 1.2m above the approved wall height for a width of 1.2m, and will have vents on the northern and southern sides of each chimney at the corners





Figure 2: Partially constructed dwellings and southern chimneys at 720 Sandy Bay Road as viewed from the top of the driveway





*Figure 3: Partially constructed waterside dwelling and southern chimney at 720 Sandy Bay Road as viewed from the adjacent deck at 724 Sandy Bay Road.*

#### 4. Background

- 4.1 Two multiple dwellings were approved on site through PLN-17-1069. When constructed it was found that the title boundary had changed between the plans being drawn and the units being constructed (through a boundary re-peg by the adjoining land owner). This has resulted in the units being in the wrong spot in relation to the property boundaries (water side unit is closer than approved). As such a minor amendment was sought and granted to correct this location issue - PAM-21-204.
- 4.2 During construction, the chimneys were also built without Council approval (it is noted that at the time of writing this report, these works are not complete). As the chimneys have the potential to marginally increase detriment to the neighbours to the south through a loss of sunlight, these could not be approved through a minor amendment. This application seeks retrospective approval for the chimneys.

#### 5. Concerns raised by representors

- 5.1 Four (4) representations objecting to, and One (1) representation supporting the proposal were received within the statutory advertising period between 31 January and 15 February 2022.
- 5.2 The following table outlines the concerns raised in the representations received. Those concerns which relate to a discretion invoked by the proposal are addressed in Section 6 of this report.

<i>Overshadowing:</i>	
•	Representors suggest that the addition of the chimneys to the approved dwellings will result in an unacceptable loss of amenity for the dwellings to the south from that which they currently enjoy. The representors have suggested that the additions will result in overshadowing of windows and private open space to the extent that the loss of solar access, particularly in winter, will be excessive.
<i>Construction and Approval Process:</i>	

•	Representors have expressed concern that works on the chimneys had commenced prior to Council approval being sought or granted. The representors go on to suggest that the developer has constructed the chimneys contrary to a direction from the Council that works on the chimneys cease, and that the buildings revert to the approved design.
•	Representors have suggested that the failure of the applicant to seek approval for the chimneys before constructing them should mean that this application cannot be approved. They suggest that there is no scope to approve works that were undertaken without the correct permits in place.
•	One representor has queried the description of the works through the advertising process, suggesting that alterations does not describe the works as no chimneys were previously approved for the dwellings.
•	One representor has suggested that the developer has been undertaking works on the construction of the dwellings outside of acceptable hours for such works.
•	One representor has suggested that an error in the plans for the approval of the two dwellings on site (through an earlier planning application) brings the accuracy of the plans for the current proposal into doubt.
•	One representor has suggested that the ongoing works to the chimneys on site mean that the submitted plans must be inaccurate, as they were submitted before the works were completed.
•	One representor has indicated that the sun shadow plans submitted are inaccurate as they do not show an opening above the privacy screen for the waterfront dwelling to the south of the application site. This representation includes photographs of the shading of the deck, both from its own privacy screen, and from the as constructed chimney of the waterfront dwelling, which partially obscured the opening above the privacy screen.
<i>Previous Approval for the Site:</i>	
•	Representors have expressed a belief that the application is contrary to a condition in the permit that enabled the construction of the two new dwellings at 720 Sandy Bay Road by increasing the height of the buildings beyond that required through the condition of the previous permit (PLN-17-1069). The representors suggest that the condition of the previous permit should prevent their ability to apply for the chimneys now.

• One representor has suggested that the chimneys were applied for, and refused under a previous application for the site.
<i>Health:</i>
• Representors have suggested that the chimneys will result in smoke entering both the wider environment, and the adjacent dwellings and their private open space, compromising the health of nearby residents. The representors suggest that the smoke should be grounds for refusal of the application.

## 6. Assessment

- 6.1 The *Hobart Interim Planning Scheme 2015* is a performance based planning scheme. To meet an applicable standard, a proposal must demonstrate compliance with either an acceptable solution or a performance criterion. Where a proposal complies with a standard by relying on one or more performance criteria, the Council may approve or refuse the proposal on that basis. The ability to approve or refuse the proposal relates only to the performance criteria relied on.
- 6.2 The site is located within the Low Density Residential Zone of the *Hobart Interim Planning Scheme 2015*.
- 6.3 There is no change proposed to the existing multiple dwelling use of the site. The existing use is a permitted use in the zone.
- 6.4 The proposal has been assessed against:
- 6.4.1 Part D - 12.0 Low Density Residential Zone
- 6.5 The proposal relies on the following performance criteria to comply with the applicable standards:
- 6.5.1 Low Density Residential Zone:
- Building Envelope – Part D 12.4.2 P3*
- 6.6 Each performance criterion is assessed below.
- 6.7 Setback and Building Envelope - Part D 12.4.2 P3
- 6.7.1 The acceptable solution at clause 12.4.2 A3 requires buildings and works to be contained within a three dimensional building envelope, which starts

at 3m high at the side boundaries, projecting up at a 45 degree angle, to a maximum height of 8.5m.

6.7.2 The proposal includes the addition of four chimneys and associated parapet walls to the almost completed dwellings on the site, all of which are outside of the building envelope described.

6.7.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.

6.7.4 The performance criterion at clause 12.4.2 P3 provides as follows:

*The siting and scale of a dwelling must:*

*(a) not cause unreasonable loss of amenity by:*

*(i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining lot; or*

*(ii) overshadowing the private open space of a dwelling on an adjoining lot; or*

*(iii) overshadowing of an adjoining vacant lot; or*

*(iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining lot; and*

*(b) provide separation between dwellings on adjoining lots that is compatible with that prevailing in the surrounding area.*

6.7.5 The application documents include sun shadow diagrams, demonstrating the difference in overshadowing, and with that solar access to the adjacent properties to the south of the application site.

6.7.6 At the winter solstice, for the waterfront dwellings, it is demonstrated that the chimney has no impact on solar access to any habitable room of the dwelling, or private open space until between 11am and 12pm. By 12pm, approximately half of the sunlight accessing via a small slither through the kitchen window into the kitchen is removed. However, as the kitchen is one of several windows into this larger living space, with other windows to the east, north east unaffected by the chimney, it is considered that the loss of this small portion of sunlight is acceptable.

6.7.7 At the winter solstice, for the roadside dwellings, the sun shadow diagrams show a partial obstruction of sunlight to a study at the front of the dwelling for approximately an hour around 10am, partial obstruction of sunlight to the living room for approximately an hour around 11am, and

partial obstruction of sunlight to the dining room window for approximately an hour at around 1pm. For all of these windows the obstruction to the sunlight entering the rooms is only partial (less than half the window in shadow) and only for a short period of time. As such, the partial loss of sunlight to the rooms is considered acceptable.

- 6.7.8 The scale of the proposed chimneys, in the context of the overall development, is quite small. Notwithstanding this, a site visit was undertaken to understand the full impact of the chimneys when viewed from the adjoining properties to the south, which are the closest to the proposed new additions to the partially constructed dwellings. There is sufficient separation provided by the chimneys on either side between the chimney of the roadside dwelling and the dwelling adjacent to the south.
- 6.7.9 The closest neighbouring dwelling to any of the proposed new chimneys is the water front dwelling to the south of the application site. The proposed new chimney on the southern side of the waterfront dwelling is directly adjacent to the outdoor deck area of the southern neighbour. As such the chimney is most visible when viewed from this deck area, with only glimpses of the chimney when at the doors to the deck, views of the chimney at the dining table, if one turns to face that direction, and not the table, receding to the chimney being invisible from the main living area. There is a window in the kitchen of the dwelling, but the chimney is only visible if standing directly beside the window looking straight up, so the angle of view makes this an unlikely outcome.
- 6.7.10 The visual bulk and massing of the proposed south eastern chimney is most prominent when viewed from the deck. The fact that it is visible does not, however, automatically mean that the bulk and massing are excessive or unreasonable. This must be considered in the context of the development that already exists, as well as the reasonable expectation for what could be developed on the site. In this instance, there is already a two storey wall, with no upper level windows, directly adjacent to the deck of the dwelling to the south. The chimney protrudes a maximum of 1.2m above this wall, for a width of 1.2m. The waterfront dwellings are separated by just under 5m from each other, with less than 1m difference in the finished floor levels. As such, the addition of the chimney, to what presents as a dwelling of comparable height, at a separation of just under 5m, is not considered to present unreasonable bulk or massing when viewed from the adjacent deck to the south of the application site.
- 6.7.11 The chimneys are discrete vertical protrusions, one on either side of the dwellings currently under construction on the site. As such, they do not

alter the established separation between the dwellings on the site, and the adjacent dwellings either side.

6.7.12 The proposal complies with the performance criterion.

## **7. Discussion**

- 7.1 Planning approval is sought for Alterations (Chimneys), at 720 Sandy Bay Road, Sandy Bay.
- 7.2 The application was advertised and received five (5) representations, four against, and one in support of the application. The representations opposing the works raised concerns including Overshadowing, the Construction and Approval Process, Previous Approval for the site, and Health.
- 7.3 The proposal has been assessed against the relevant provisions of the planning scheme and is considered to perform well.
- 7.4 The proposal has not been assessed by any other Council officers.
- 7.5 Representors have questioned the advertised description of the proposed works. They have suggested that it does not accurately represent the works proposed to the dwellings. The description used was Alterations (Chimneys). The representors suggest that as there were previously no chimneys shown in the plans approving the substantive construction of the dwellings, it is not correct to describe the works proposed in this application as Alterations (Chimneys). It is the view of council officers that the description of the works is accurate and in keeping with Council practice for describing development for advertising and issuing of permits for applications. Alterations is a broad term used where there are any changes to the approved or constructed development on site, which do not change the floor area. The inclusion of the word 'chimneys' in parentheses further clarifies that the nature of the alterations is for chimneys.
- 7.6 Representors raised health concerns, stating that wood heaters are environmental polluters and will be a detriment to the nearby neighbours as well as the environment generally. The Planning Scheme, does not consider the impacts of domestic fireplaces on the environment. As such, this cannot be a matter for consideration in determining this application. Should the chimneys emit smoke which impacts the neighbours, there is power under the Environmental Management Pollution Control Act to investigate this and determine whether it needs to be addressed.

- 7.7 Several representors expressed concern with the applicant seeking to modify the previously approved design through a new application. They suggested that the applicant should not be allowed to deviate from the earlier permit. The Land Use Planning and Approvals Act 1993 requires the Planning Authority to consider any validly made application in accordance with the current planning provisions for the site. This means that the Planning Authority had no capacity to refuse to consider the application, or to refuse it based on an earlier permit, we are obliged to consider this application on its merits against the current planning scheme.
- 7.8 Similarly, there was concern from representors that the applicant was able to undertake works without approval, then retrospectively seek approval for these works. The representors suggested that the application should be refused because the correct process was not followed. There is no basis under the Planning Scheme to refuse an application because works have been unlawfully commenced or completed. In such circumstances, Council is required to consider the proposal it has before it, on the basis that the works have not yet been commenced or completed, and make a decision based on the proposals compliance or otherwise with the Planning Scheme.
- 7.9 The proposal is recommended for approval.

## 8. Conclusion

- 8.1 The proposed Alterations (Chimneys), at 720 Sandy Bay Road, Sandy Bay satisfies the relevant provisions of the *Hobart Interim Planning Scheme 2015*, and as such is recommended for approval.

## 9. Recommendations

That: Pursuant to the *Hobart Interim Planning Scheme 2015*, the City Planning Committee, in accordance with the delegations contained in its terms of reference, approve the application for Alterations (Chimneys), at 720 Sandy Bay Road, Sandy Bay for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

### GEN

**The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-21-627 - 720 SANDY BAY ROAD SANDY BAY TAS 7005 - Final Planning Documents except where modified below.**

Reason for condition

To clarify the scope of the permit.

### ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

### BUILDING PERMIT

You may need building approval in accordance with the *Building Act 2016*. Click [here](#) for more information.

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

### NOISE REGULATIONS

Click [here](#) for information with respect to noise nuisances in residential areas.







(Helen Ayers)

**Development Appraisal Planner**

*As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.*



(Ben Ikin)

**Senior Statutory Planner**

*As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.*

Date of Report: 10 March 2022

**Attachment(s):**

Attachment B - CPC Agenda Documents

**ANOTHER PERSPECTIVE PTY LTD**

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25 June 2021

Hobart City Council  
16 Elizabeth Street  
HOBART TAS 7000

**Re: PLN-17-1069 – 720 Sandy Bay Road SANDY BAY – Review of as constructed overshadowing.**

To Whom It May Concern.

I have been requested by the owner of the dwelling at 720 Sandy Bay Road, currently under construction, to review the overshadowing of their lower unit on the dwelling recently constructed at 724a Sandy Bay Road.

I have previously reviewed shadow diagrams produced by the designers of the 720 Sandy Bay Road development on behalf of the Hobart City Council (2018, Feb 2019 & May 2019).

The information relied upon for this assessment is as follows.

1. Model of existing dwelling at 724a Sandy Bay Road was derived from 3D laser scan information collected by Another Perspective on site (survey control provided by D.J. Potter – Surveyor). The horizontal and vertical as constructed position of this dwelling has not been confirmed against their construction drawings.
2. Model of lower unit at 720 Sandy Bay Road (GREEN version) was based on its as constructed state at the time of collecting the 3D laser scan data. My understanding is that the top of the wall panels on site were essentially the max height of that façade.
3. Model of the lower unit as 720 Sandy Bay Road (RED version) was based on the building permit plans provided by the owner. The horizontal position was determined by positioning the site plan in that set of drawings over the boundaries plotted from SP168447 and P180274, both registered cadastral survey plans. Relevant scale factors were applied to plots of each to get those plans onto a GRID datum. The vertical position was based on the AHD finished floor levels shown in the drawings.

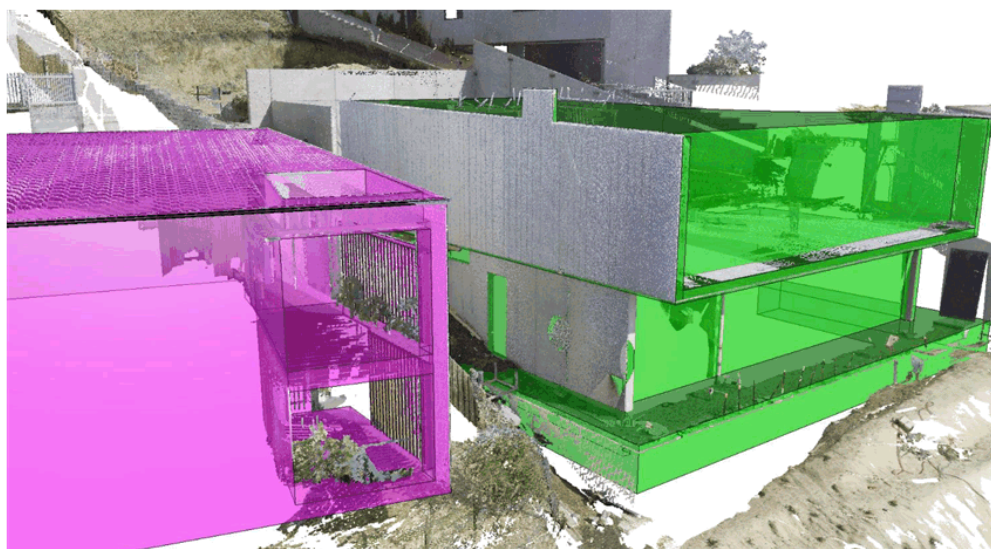
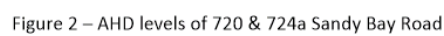
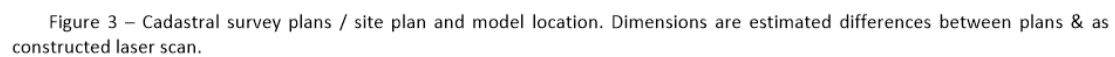


Figure 1 - 3D Laser scan data with "as constructed" models of both 720 & 724a Sandy Bay Road.



Horizontally we found that the as constructed building appears marginally closer to the southeastern boundary (refer to Figure 3).



Vertically we found that the FFL of the upper floor was within  $\pm 0.01\text{m}$  of the designed level. And the RL's of the roof corners on the south elevation were  $\pm 0.04\text{m}$  higher than the scaled height from the plans (refer to Figure 4 below)

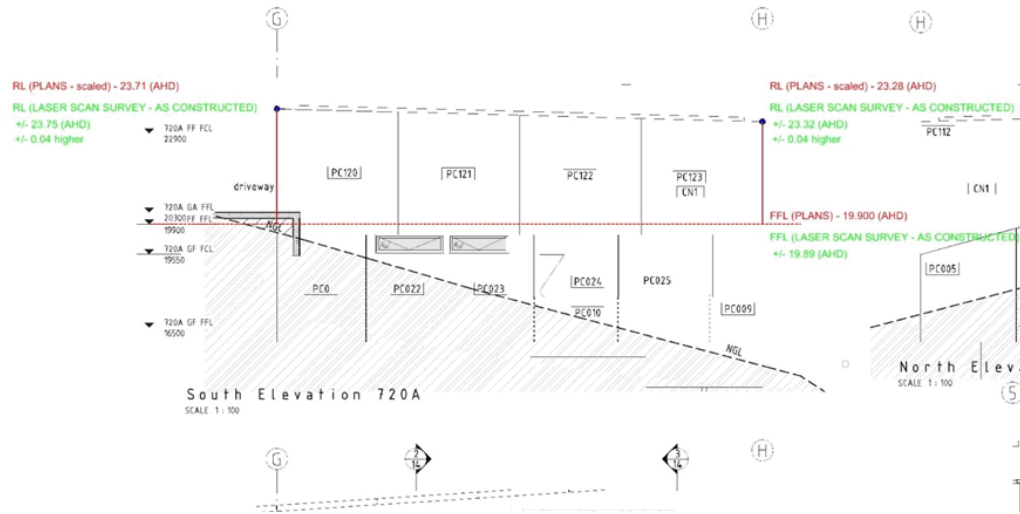


Figure 4 – Vertical position comparison between plans and as constructed 3D laser scan.

The accuracy of the horizontal positioning should take into consideration the quoted accuracies of the survey plans used to plot the title boundaries. In the case of P180274 it is  $\pm 0.05\text{m}$  (Refer Fig 5), and for SP168447 it is  $\pm 0.07\text{m}$  (Refer Fig 6).

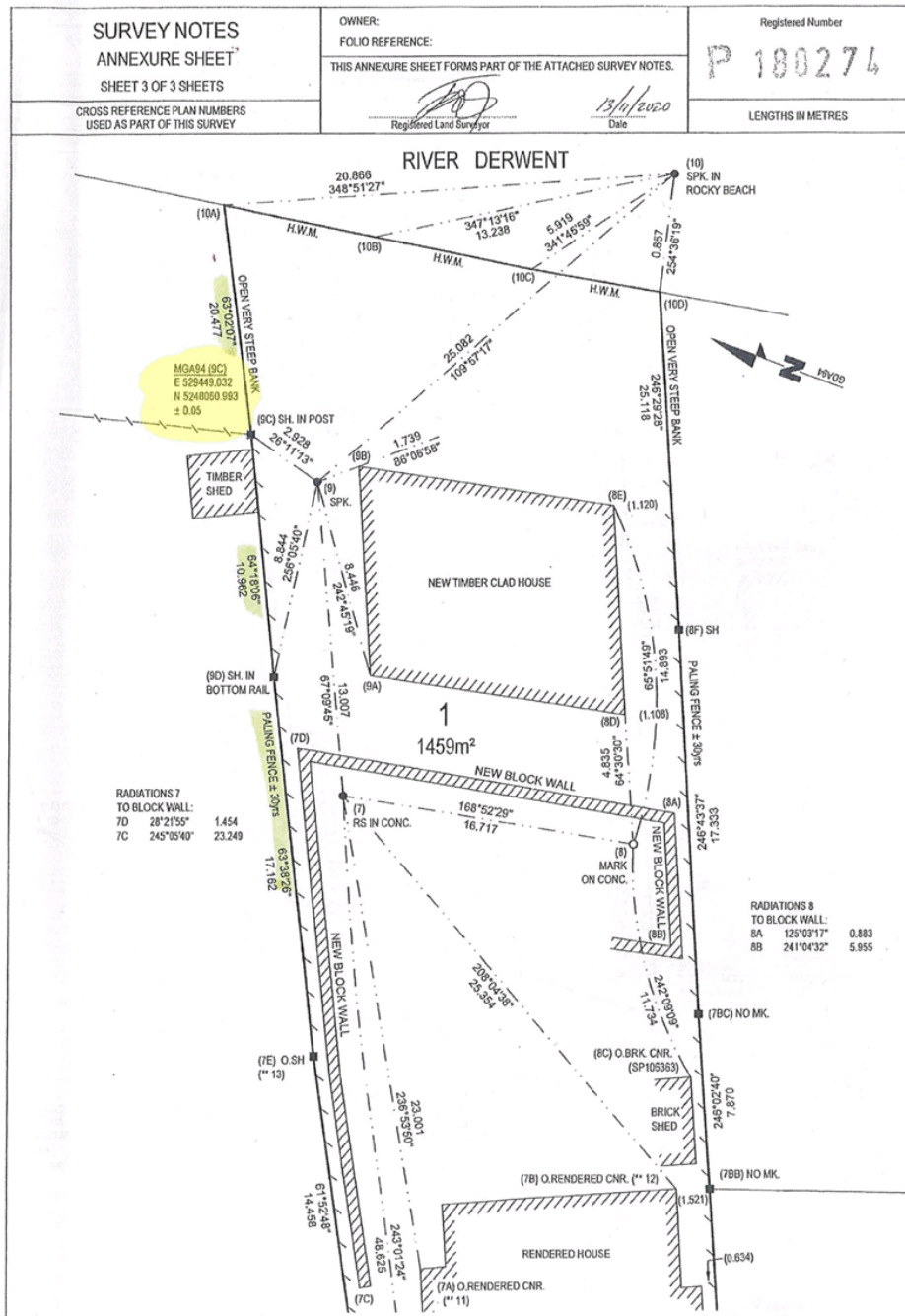


Figure 5 - Survey Notes P180274



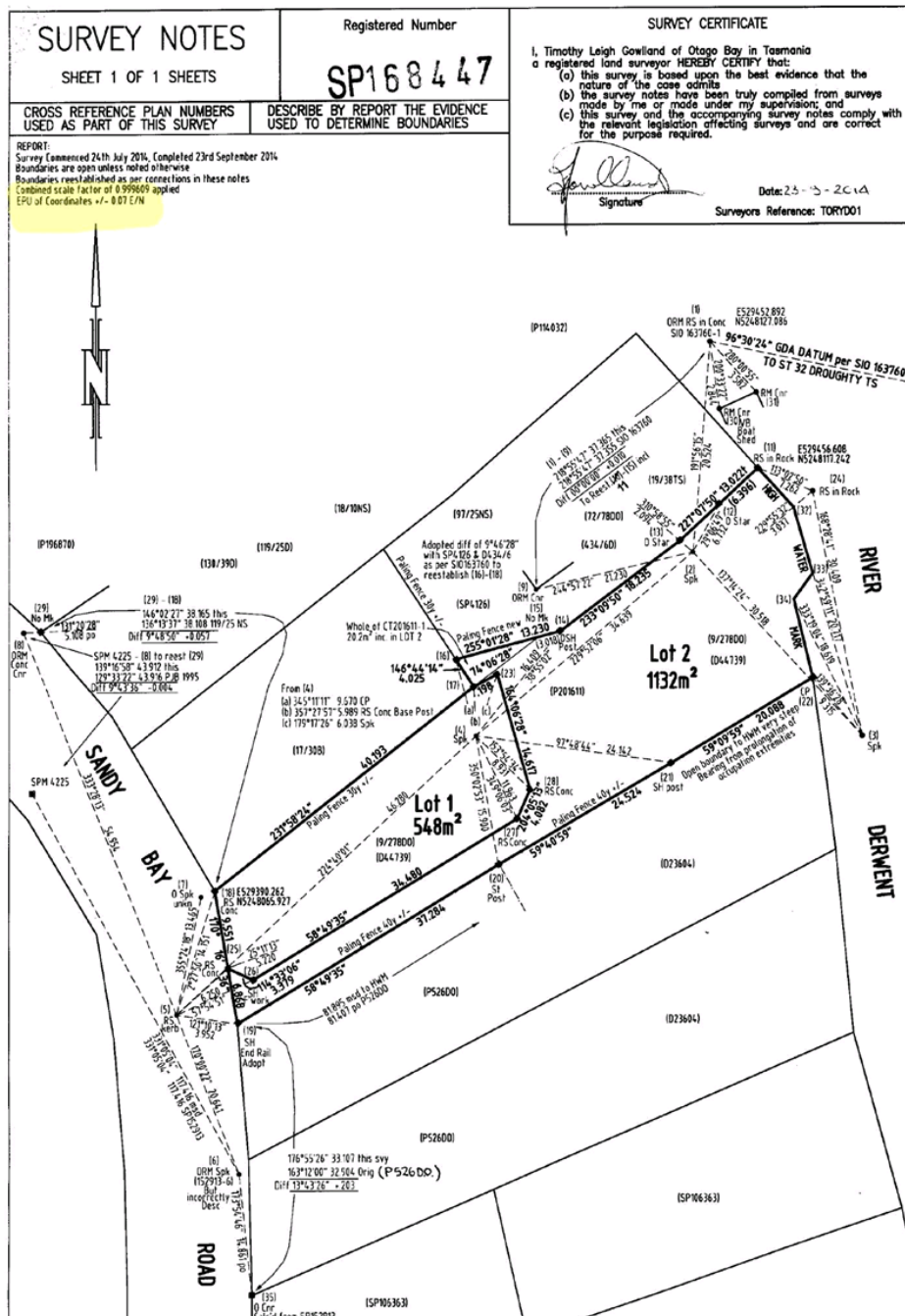


Figure 6 – Survey Notes – SP168447

Attached are shadow diagrams for the "as constructed" conditions for both dwellings for June 21 9.00am to 3.00pm on an hourly basis.

Also attached is a comparison of shadow diagrams for the following.

1. Photo of actual conditions on site on June 21 at 12.00pm demonstrating the effect of overshadowing on 724a Sandy Bay Road.
2. Shadow Diagram of as constructed model effect of overshadowing on the as constructed model of 724a Sandy Bay Road.
3. Shadow Diagram of the model based on building permit plans showing the effect of overshadowing on the as constructed model of 724a Sandy Bay Road.
4. Shadow Diagram for June 21 12.00pm prepared by the designer taking showing the effect of overshadowing of proposed planning conditions (May 2019).

Comparison of the shadows demonstrated in items 1-4 above shows there is a barely discernible difference between them.

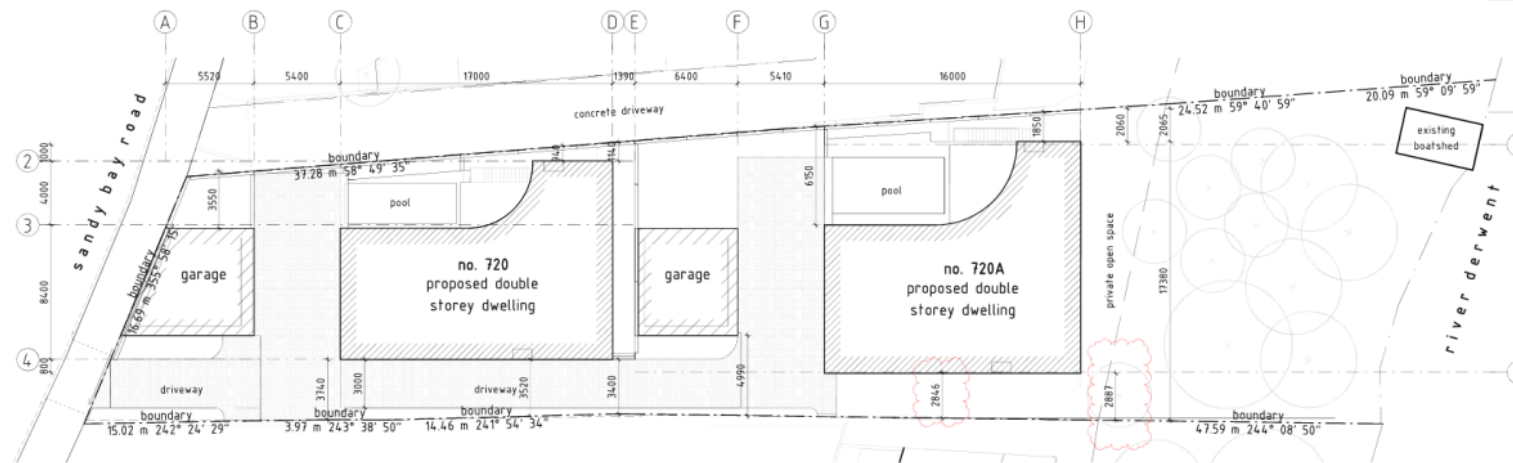
Please contact me if you have any further queries relating to the information provided.

Regards



Andrew Strugnell  
**Another Perspective Pty Ltd**





Site Plan  
SCALE 1 : 200

Sheet Name	Status	Sheet Number	Current Revision
Typical height legend	TE	0.1	
Site Plan & Sheet List	TE	1.0	06
Demolition & Site Cut Plan	TE	2.0	03
Site Cut Sections	TE	2.1	01
720 Plans	TE	3.0	06
720 Services & RCP	TE	3.1	03
720A Plans	TE	3.2	05
720A Services & RCP	TE	3.3	03
720 Proposed Elevations	TE	10	06
720A Proposed Elevations	TE	11	05
Proposed Garage Elevation	TE	12	03
720 Sections	TE	13	05
720A Sections	TE	14	05
Window Schedule	TE	15	03
Screen Schedule	TE	16	
Concrete Precast Panels	TE	17	01
Section Details	TE	20	02
Section Details	TE	21	04
Plan Details	TE	22	02
Plan Details	TE	23	02
720 Stair Details	TE	24	01
Fireplace Details	TE	25	04
Roof Setout	TE	26	01
Section Details	TE	x20	
Plan Details	TE	x21	
Section Details old	TE	xx2	01

Scale Section Details old  
0 1 2 3 4 5

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William James and Kate Casserly  
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#### SYMBOL LEGEND

##### 1.0 Site plan

reduced level to AHD

##### 2.0 Demolition

- existing tree
- proposed tree
- existing tree to be demolished
- existing structure to be demolished
- neighbouring building footprint with roof over shown dashed

##### 4.0 Reflected Ceiling

- light type 1, downlight
- light type 2, extruded LED
- light type 3, track
- light type 4, pendant
- light type 5, LED strip
- exhaust fan
- light switch with dimmer
- smoke alarm

##### 5.0 Roof plan

downpipe

##### 6.0 Services

- antenna connection outlet connect to aerial
- telephone/data outlet
- gas outlet
- double GPO
- double GPO with usb
- provide GPO for hotplate & dishwasher in cupboard hard wire oven in cupboard
- single GPO for fridge in cupboard. 1700AFFL
- provide 4 double GPO's to appliance cupboard with black cover plate
- double waterproof GPO
- double GPO in mirror cupboard. 1400 AFFL
- double GPO for washing machine and dryer. 1200AFFL
- existing meter board
- gas meter
- electrical switchboard
- water meter
- telephone connection
- hot water service
- hydronic boiler

#### DRAWING CODES

##### External Finishes

- screen type 1
- concrete type 1
- metal balustrade type 1
- roof gutter type 1
- sedum roof type 1
- precast panel number x

##### Internal Finishes

- feature timber type 1
- plasterboard ceiling
- plasterboard ceiling, wet area
- fibre cement sheets
- concrete render type 1

##### Wall Types

- 150mm precast concrete, with 50mm insulation
- 200mm precast concrete, with 50mm insulation
- 140 timber stud walls
- 250mm precast concrete
- 125mm precast concrete
- 200 precast concrete
- 140mm timber stud with 50mm insulation

##### Floor Types

- concrete type 1

##### Windows

- aluminium glazing channel
- aluminium curtain wall glazing channel
- fixed glazing
- aluminium frame sliding glass door
- aluminium framed awning window

##### NOTES

##### 1.0 Site plan

##### 2.0 Demolition

- cap existing services not required.
- allow to connect all new plumbing supply and outlets to existing services on site. establish locations
- of all new pipe work prior to excavation and demolition.

##### 3.0 Floor plans

- dashed line indicates first floor over
- surface drain with grated cover
- connect to dp above with pipe in slab
- 1200mm high metal balustrade

##### 6.0 Services

- provide double GPO under bench, inside drawer
- brush plate located at 1200 AFFL
- GPO built into underside of overhead joinery

##### 4.0 Reflected Ceiling

- two way switch from ground floor to first floor
- two way switch from garage to house
- all light circuits to be dimmable
- exhaust fan to laundry as per NCC 3.8.5.2 c

##### 5.0 Roof plan

- 

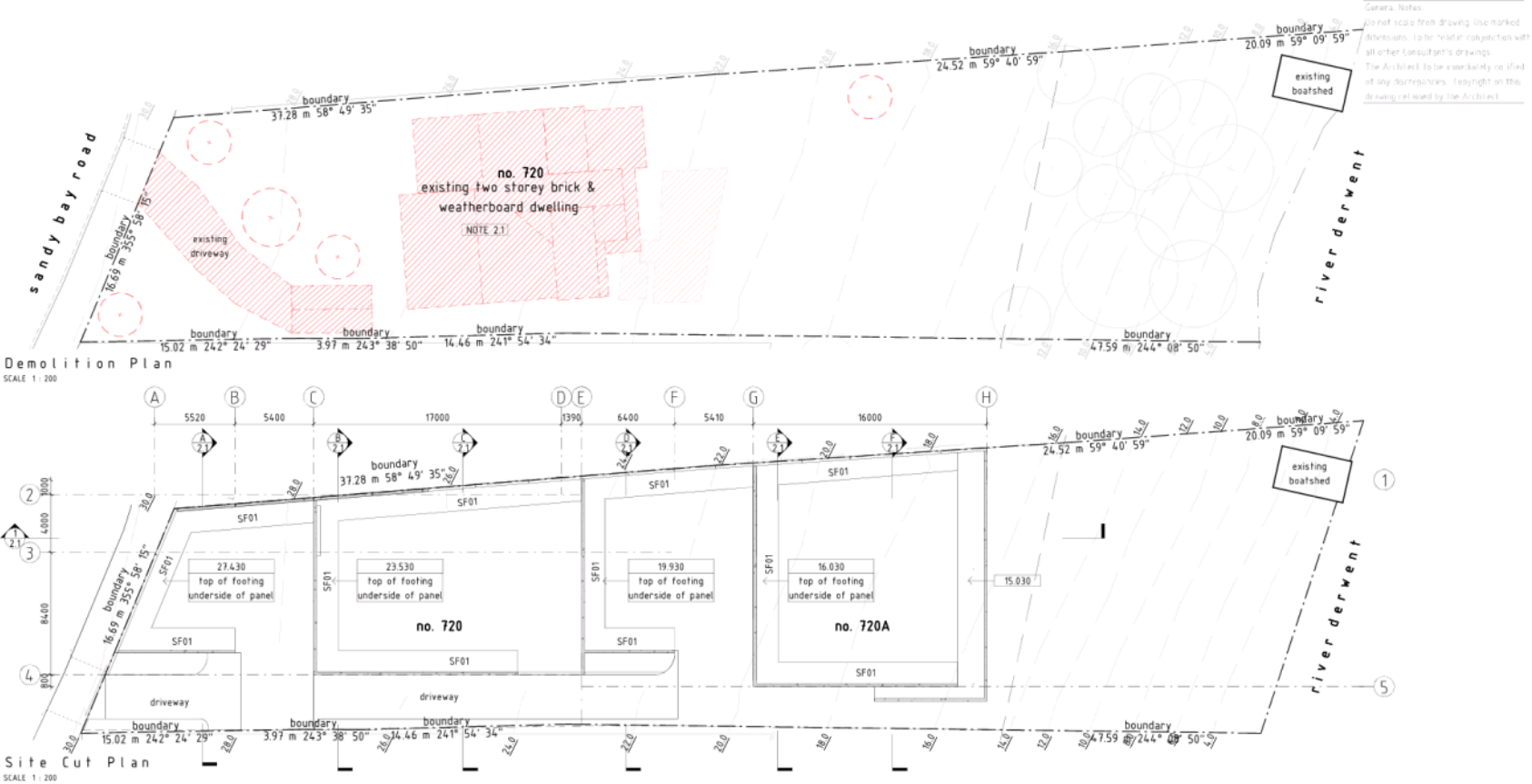
##### 4.0 Kitchen and Laundry Internals

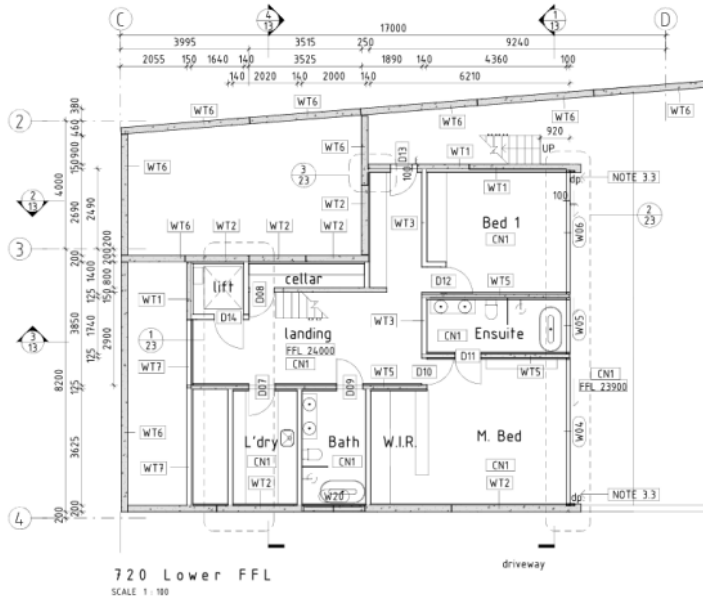
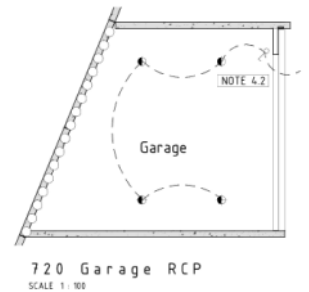
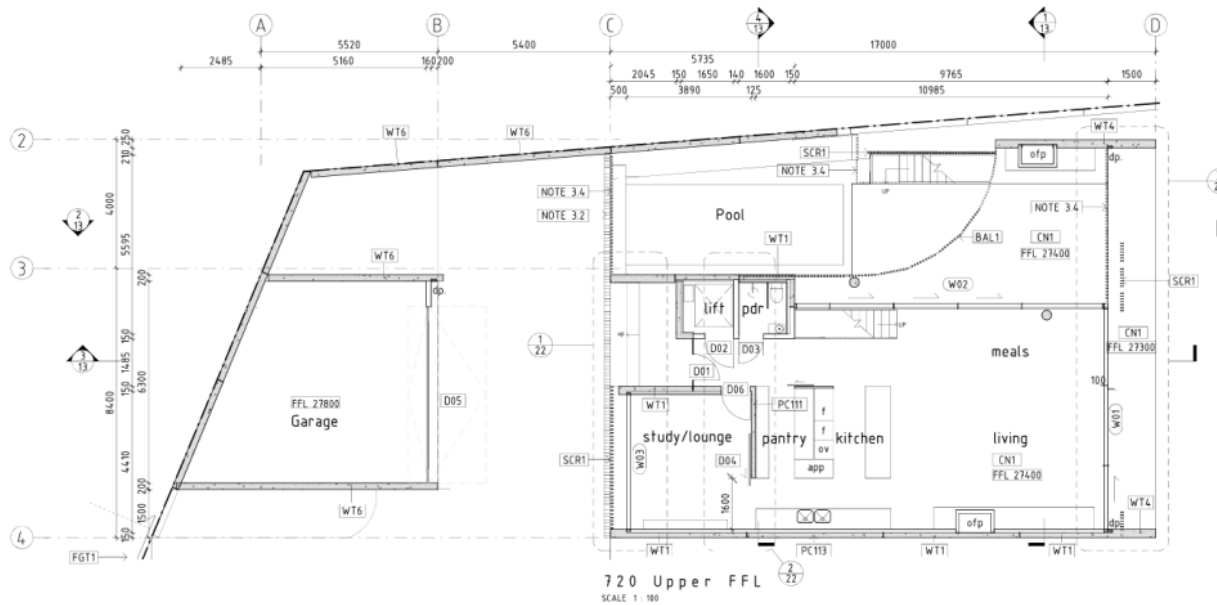
- All edges to be mitred
- Shelves are adjustable unless otherwise noted as fixed. Adjustable pin holes at 30 mm centres
- White malamine to all internals
- Exhaust hood integrated into joinery. External exhaust.
- Provide ventilation for refrigeration. Refer to manufacturers instructions
- Install spazilo leveling kit
- Removable plinth panel for dishwasher
- LED strip light built into underside of overhead joinery
- set skirting back 50mm from face of joinery.
- bin system for within drawer. Refer specifications for details.

06 29.09.21 updated s/h boundary dims  
05 11.11.20 chimney amendments  
04 04.11.20 clarifications  
03 28.09.20 building permit RFI  
02 18.06.20 structural review  
01 15.12.19 issue to client

Site Plan & Sheet List

Sandy Bay TE 1.0 06  
720 Sandy Bay Road, Sandy Bay 7017-10th floor (0422909021 4:45:13 PM)





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05 28.09.20 building permit RPI  
01 22.07.20 stair & fireplace details  
03 18.06.20 structural review  
07 25.05.20 structural coordination  
01 19.12.19 issue to client

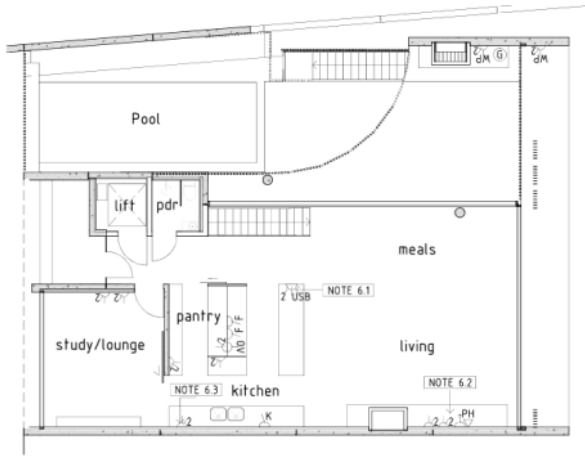
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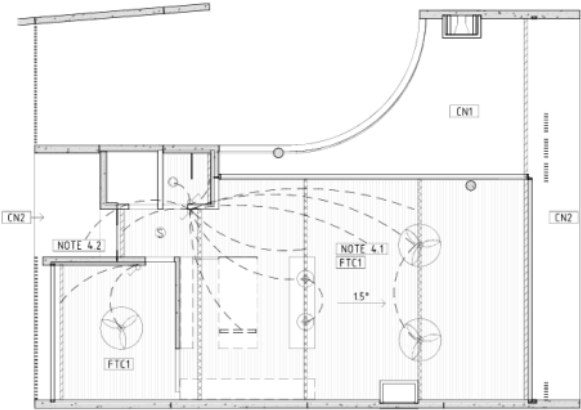
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720 Plans  
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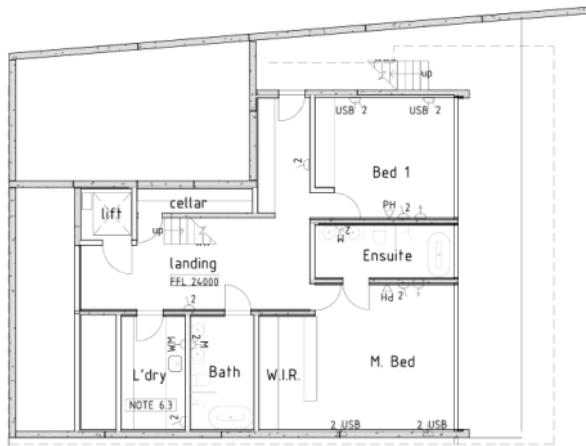
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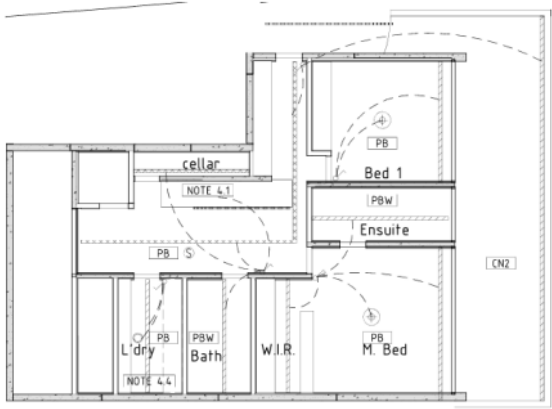
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SCALE 1 : 100



720 Upper RCP  
SCALE 1 : 100



720 Lower Services Plan  
SCALE 1 : 100



720 Lower RCP  
SCALE 1 : 100

Scale (m)  
0 1 2 3 4 5

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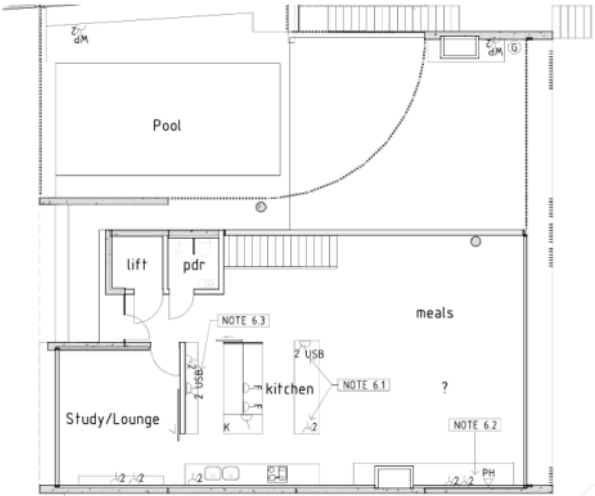
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07 27.07.20 stair & fireplace details  
01 19.12.19 issue to client

720 Services & RCP

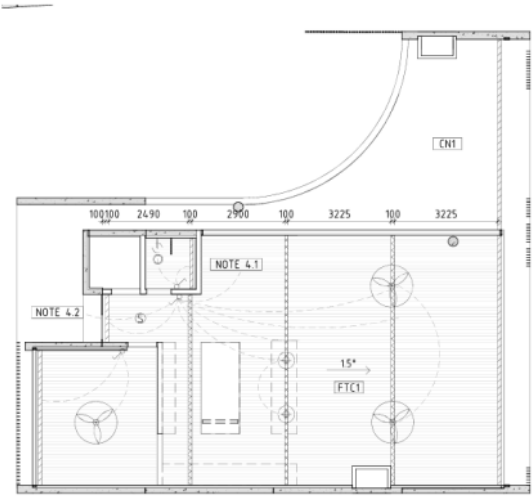
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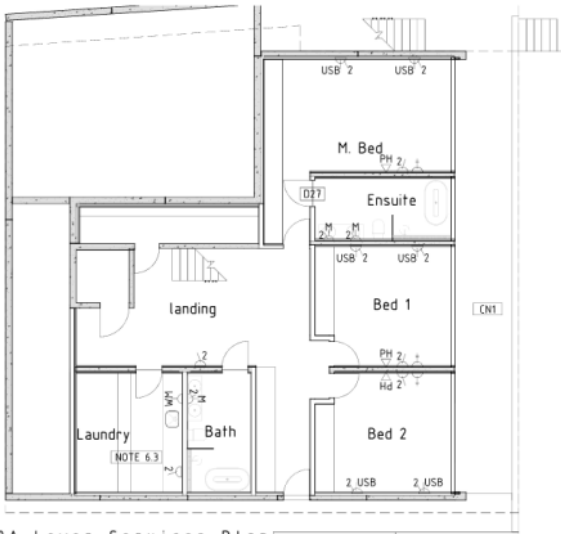
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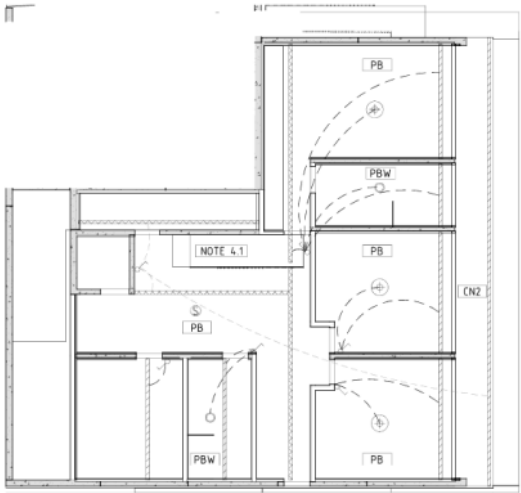
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720A Upper RCP  
SCALE 1 : 100

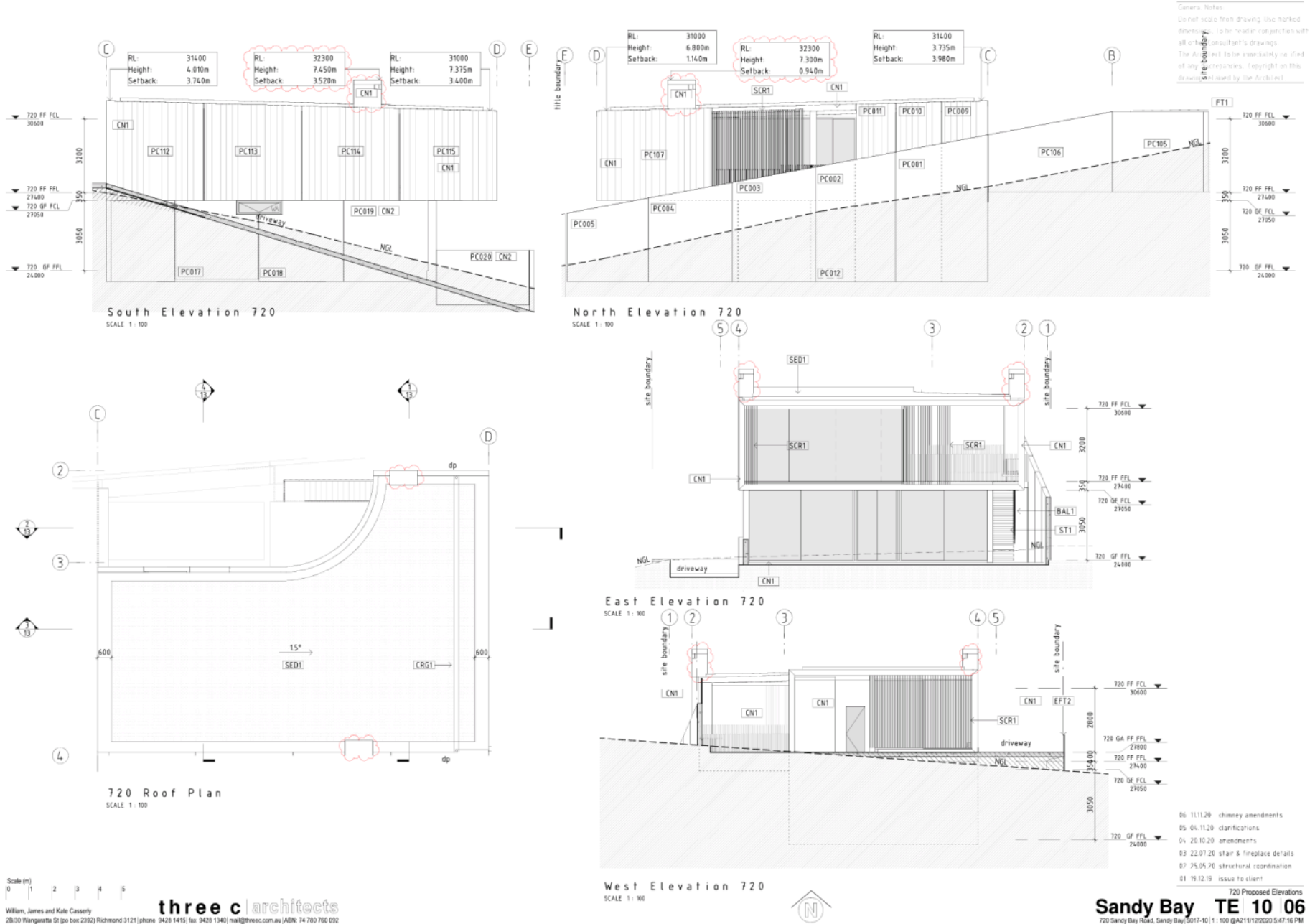


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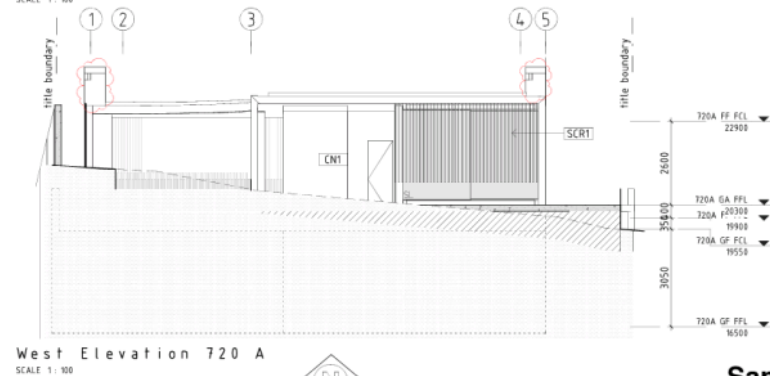
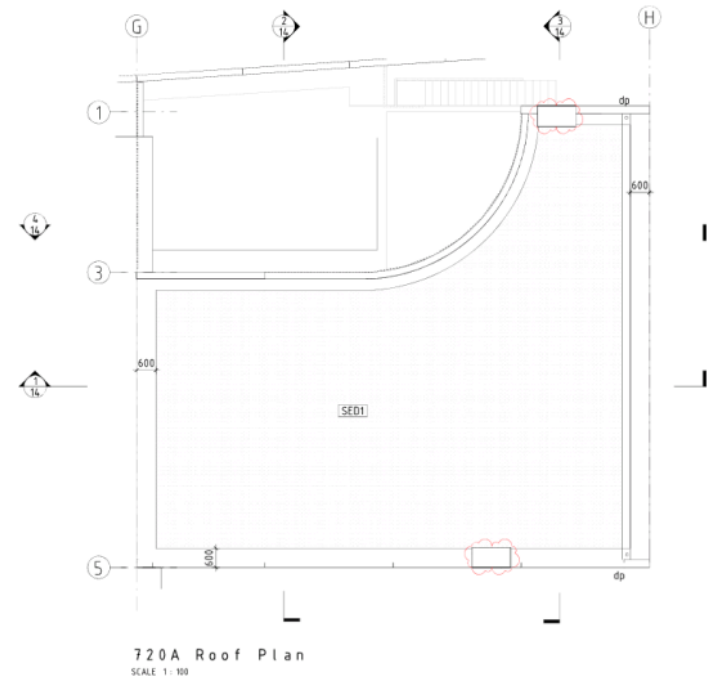
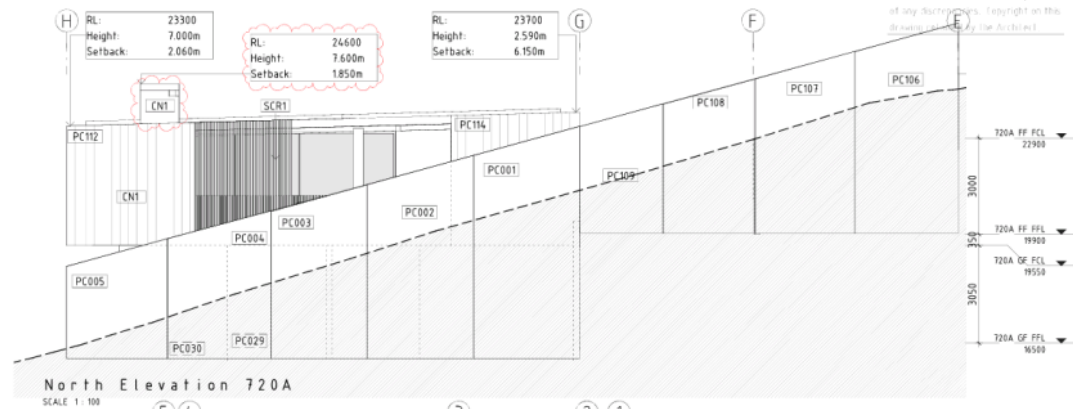
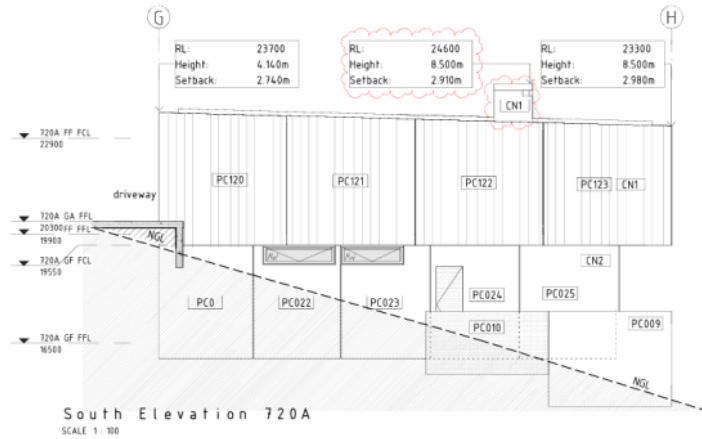


720A Lower RCP  
SCALE 1 : 100









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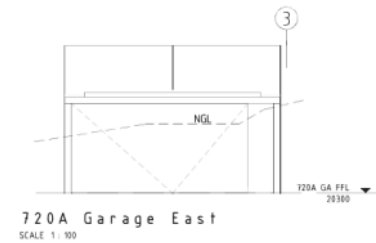
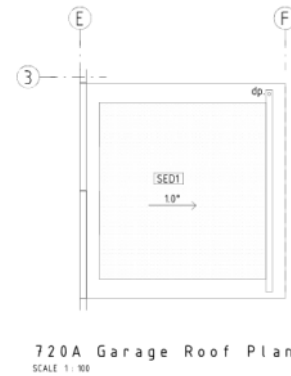
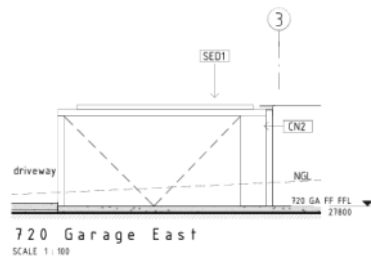
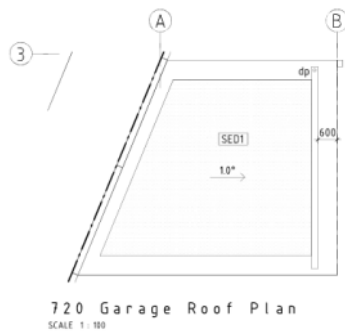
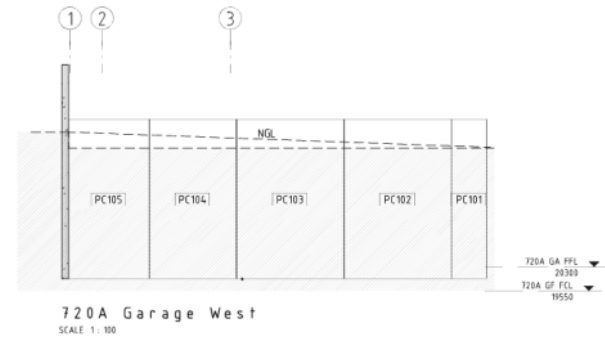
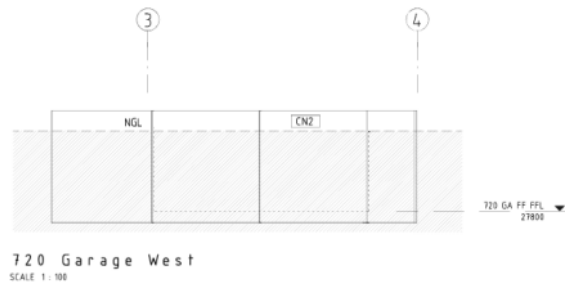
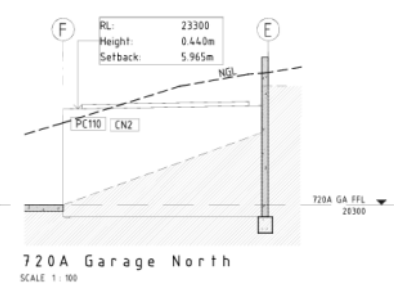
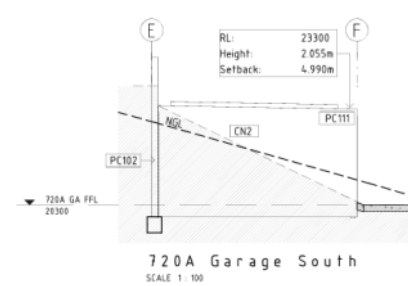
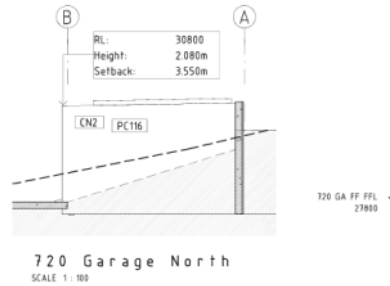
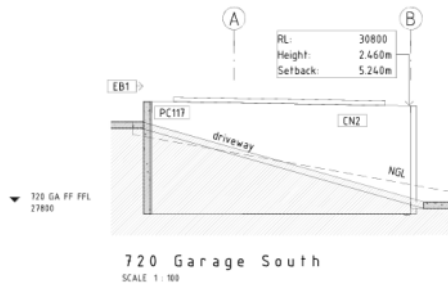
05 11.11.20 chimney amendments  
01 04.11.20 clarifications  
03 22.07.20 stair & fireplace details  
07 25.05.20 structural coordination  
01 19.12.19 issue to client

720A Proposed Elevations

Sandy Bay TE 11 05  
720 Sandy Bay Road, Sandy Bay 7017-10 | 1:100 @A21/12/2020 5:47:19 PM



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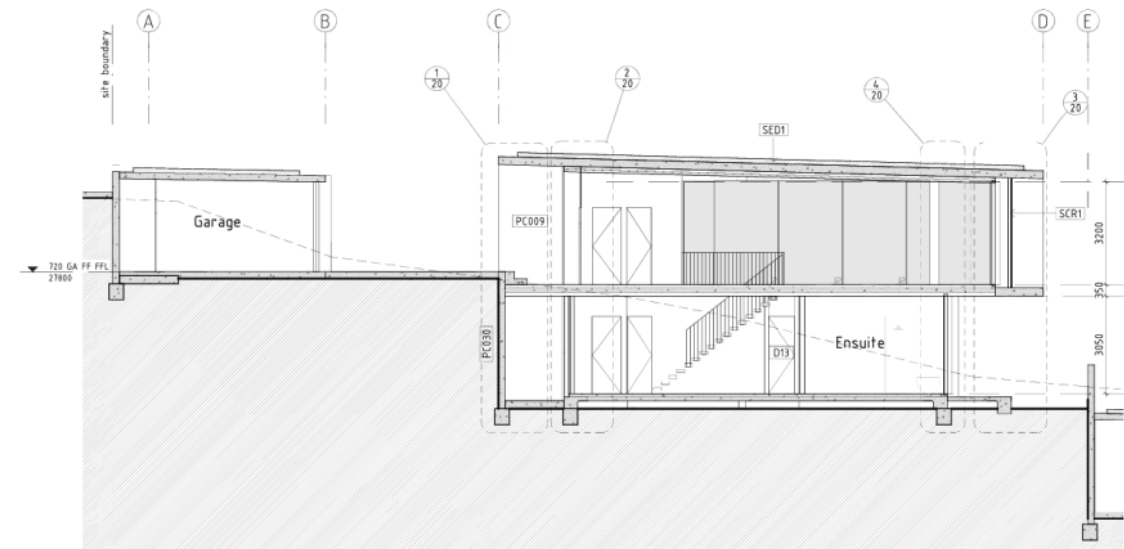
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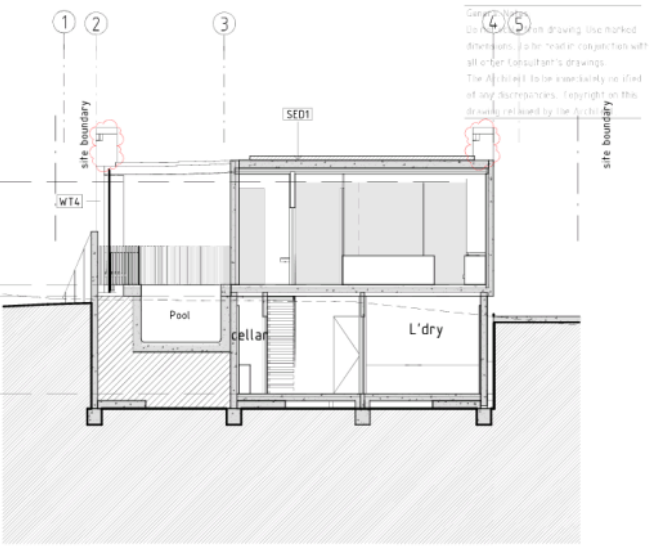
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07 25.05.20 structural coordination  
01 19.12.19 issue to client

Proposed Garage Elevation

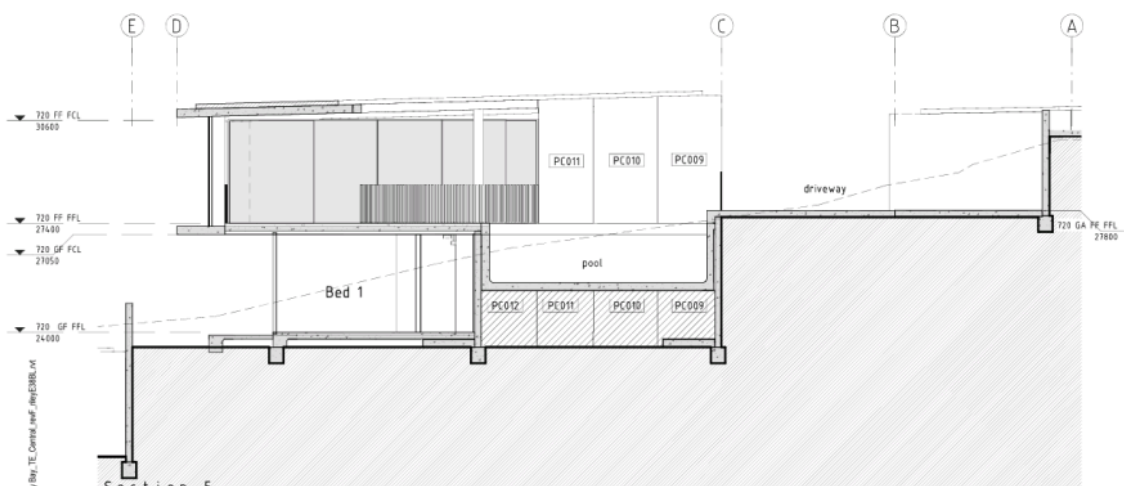
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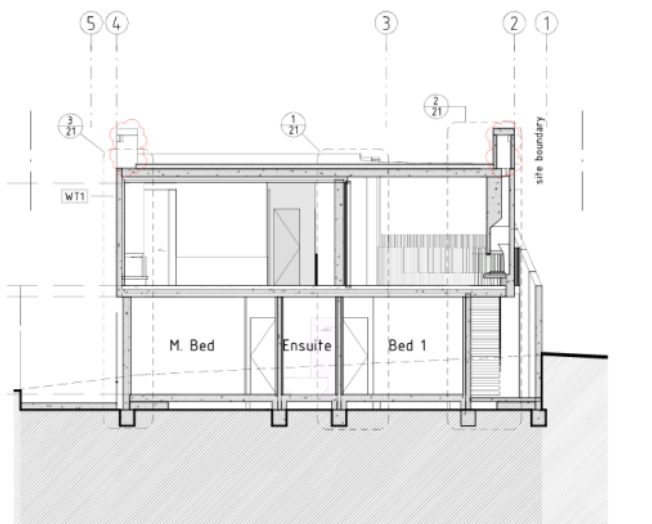
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720 Section B  
SCALE 1:100



Section 5  
SCALE 1:100



720 Section C  
SCALE 1:100

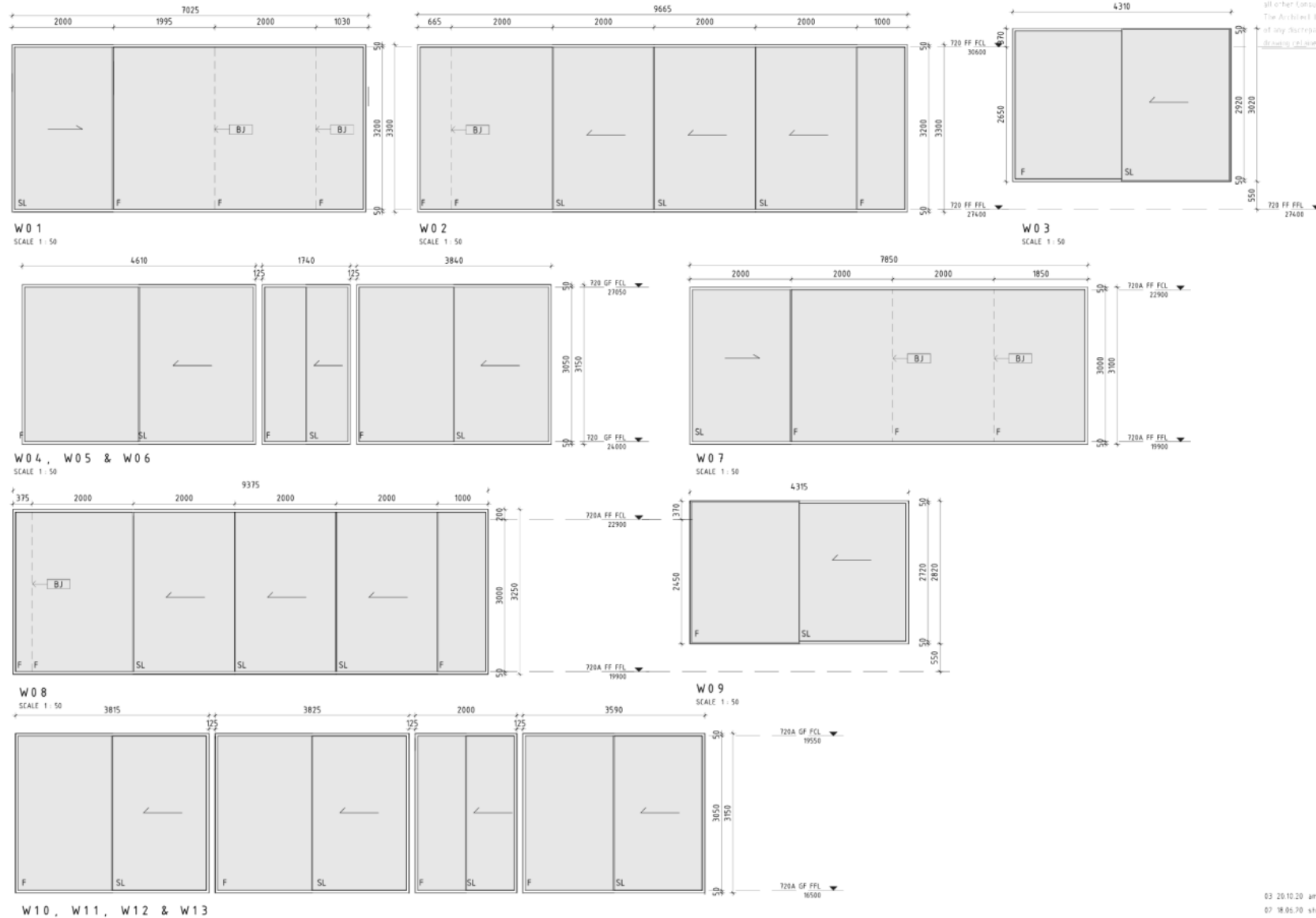
- 05.11.12 chimney amendments
- 01.04.11.20 clarifications
- 03.22.07.20 stair & fireplace details
- 07.25.05.20 structural coordination
- 01.19.12.19 issue to client





720A Sections

720 Sandy Bay Road, Sandy Bay | 5017-10 | 1 : 100 @A211/12/2020 5:47:24 PM



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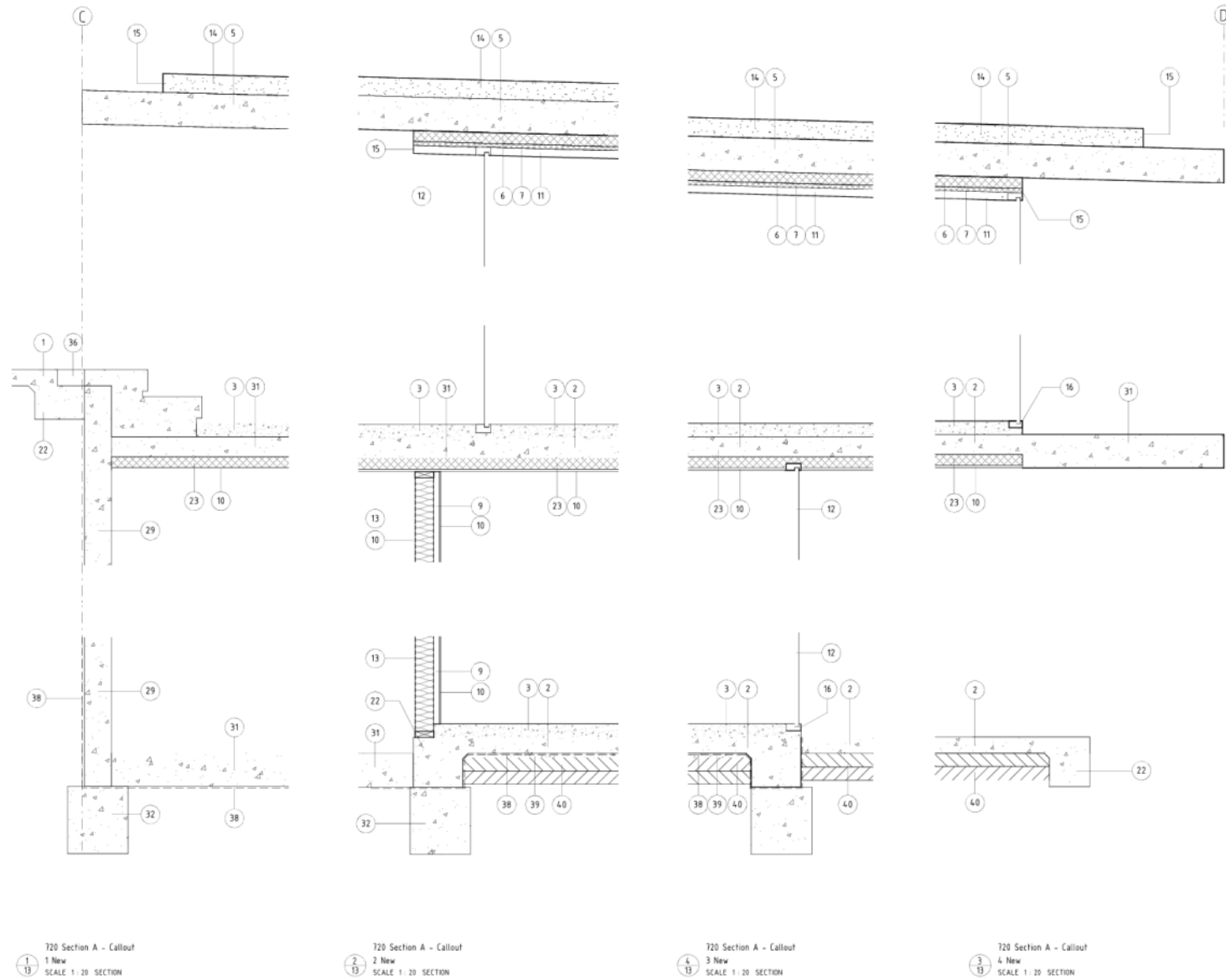
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03 20.10.20 amendment  
07 18.06.20 structural review  
01 19.12.19 issue to client

Window Schedule

Sandy Bay TE 15 03  
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General Notes:  
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1. 120 ground floor slab
2. 150 insitu conc slab
3. 100 screed
4. 250 tapered conc edge
5. 250 roof slab
6. kingspan kooltherm K10 soffit board, 80mm
7. kingspan kooltherm K10 soffit board, 30mm
8. kingspan Optim-R external wall insulation panel, 50mm
9. battens
10. PB, FC sheet finish
11. feature timber ceiling 20x40 battens, black fabric
12. windows
13. internal stud wall
14. green roof
15. Angle, edge trim
16. Victrocsa subsill
17. Membrane
18. 200 thick retaining conc wall
19. 150 thick external conc wall
20. kingspan K3 floorboard, 40mm x2
21. driveway
22. edge beams
23. kingspan kooltherm K10 soffit board plus, 90mm
24. 250 external concrete wall
25. 100 precast concrete fireplace
26. 150x50 downpipe
27. 125 concrete precast wall
28. 150 concrete precast wall
29. 200 concrete precast wall
30. 200 insitu concrete slab
31. 250 insitu concrete slab
32. concrete strip footing
33. 100 insitu concrete
34. 50x75 RHS
35. pressed cream firebricks
36. surface drain
37. 300mm concrete column
38. polythene membrane
39. 30mm bedding sand
40. 100mm compacted sand
41. cast concrete lid
42. cantilevered 100 thick hearth
43. metal cover plate to match window

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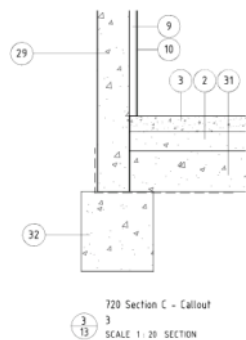
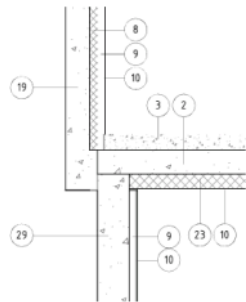
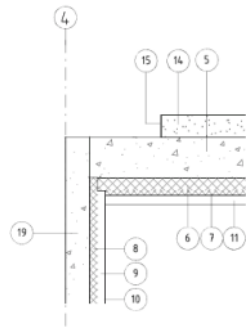
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07 78 09 70 building permit RPI  
01 22 07 20 star & fireplace details

Section Details

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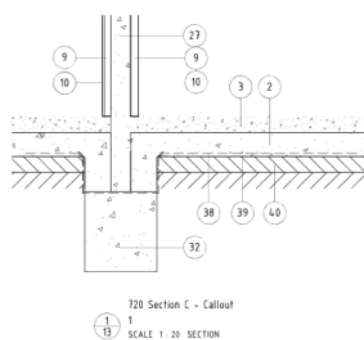
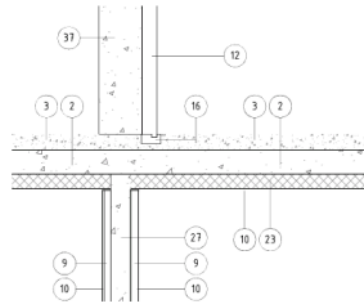
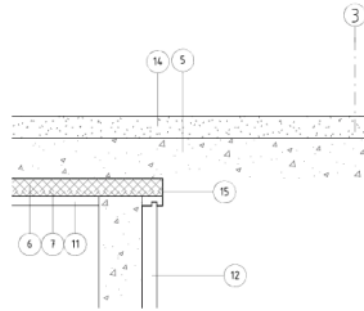


720 Section C - Callout

SCALE 1:20 SECTION

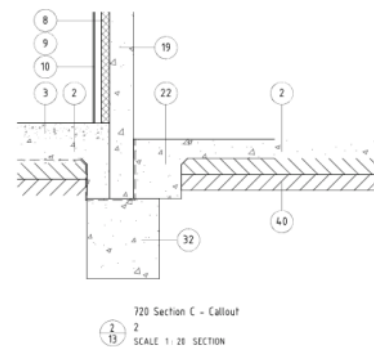
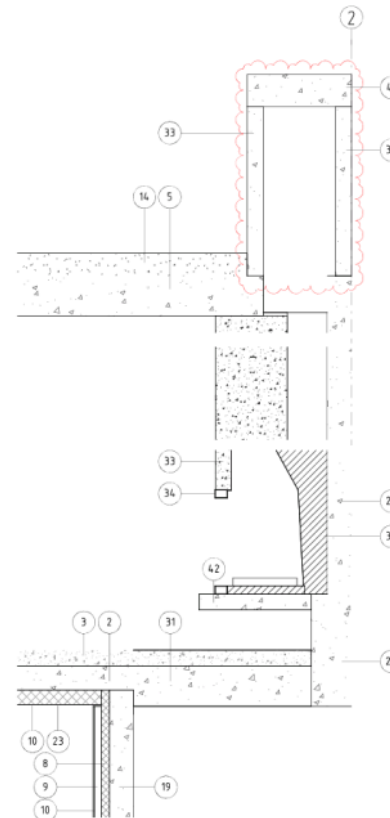
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720 Section C - Callout

SCALE 1:20 SECTION



720 Section C - Callout

SCALE 1:20 SECTION



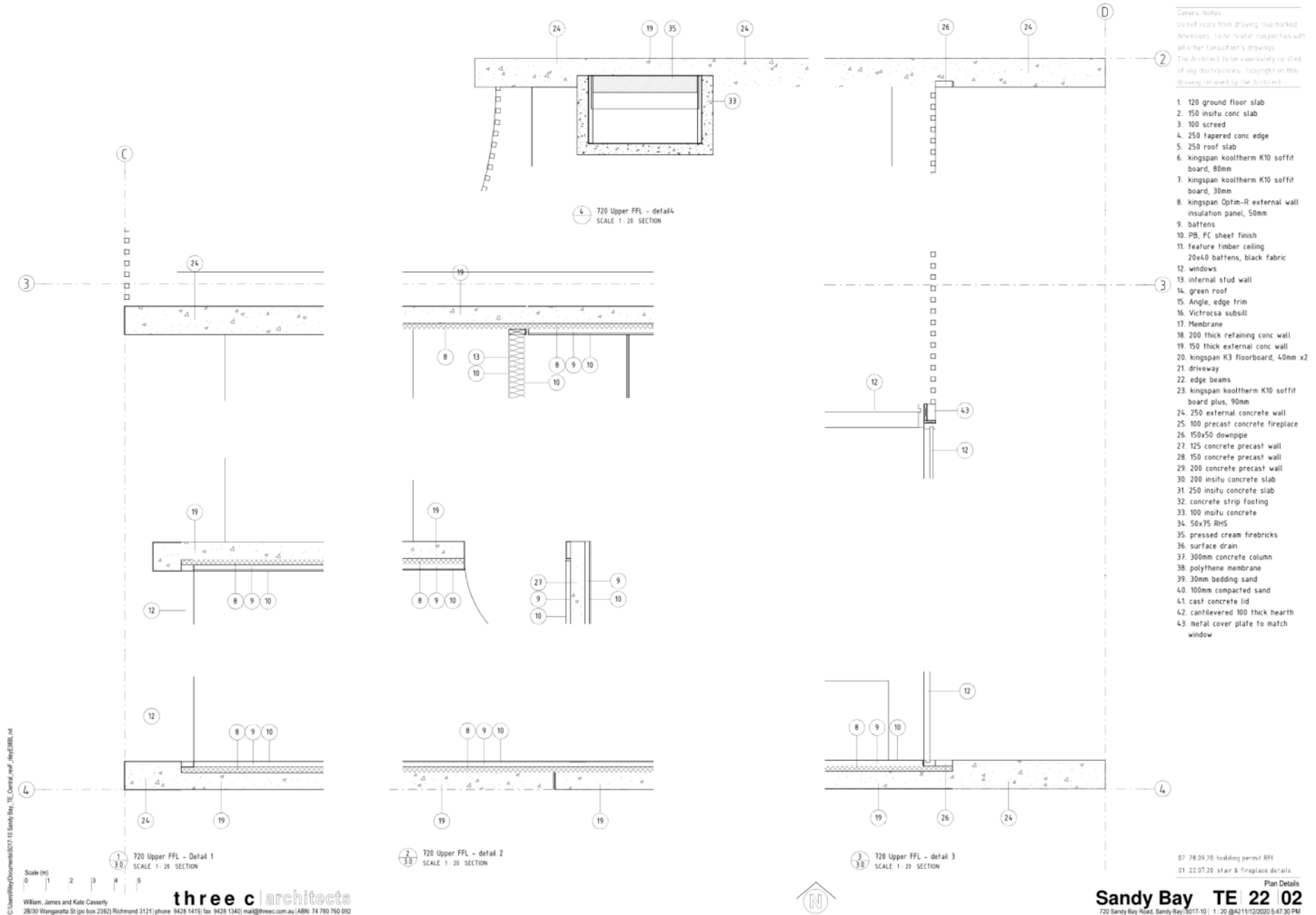
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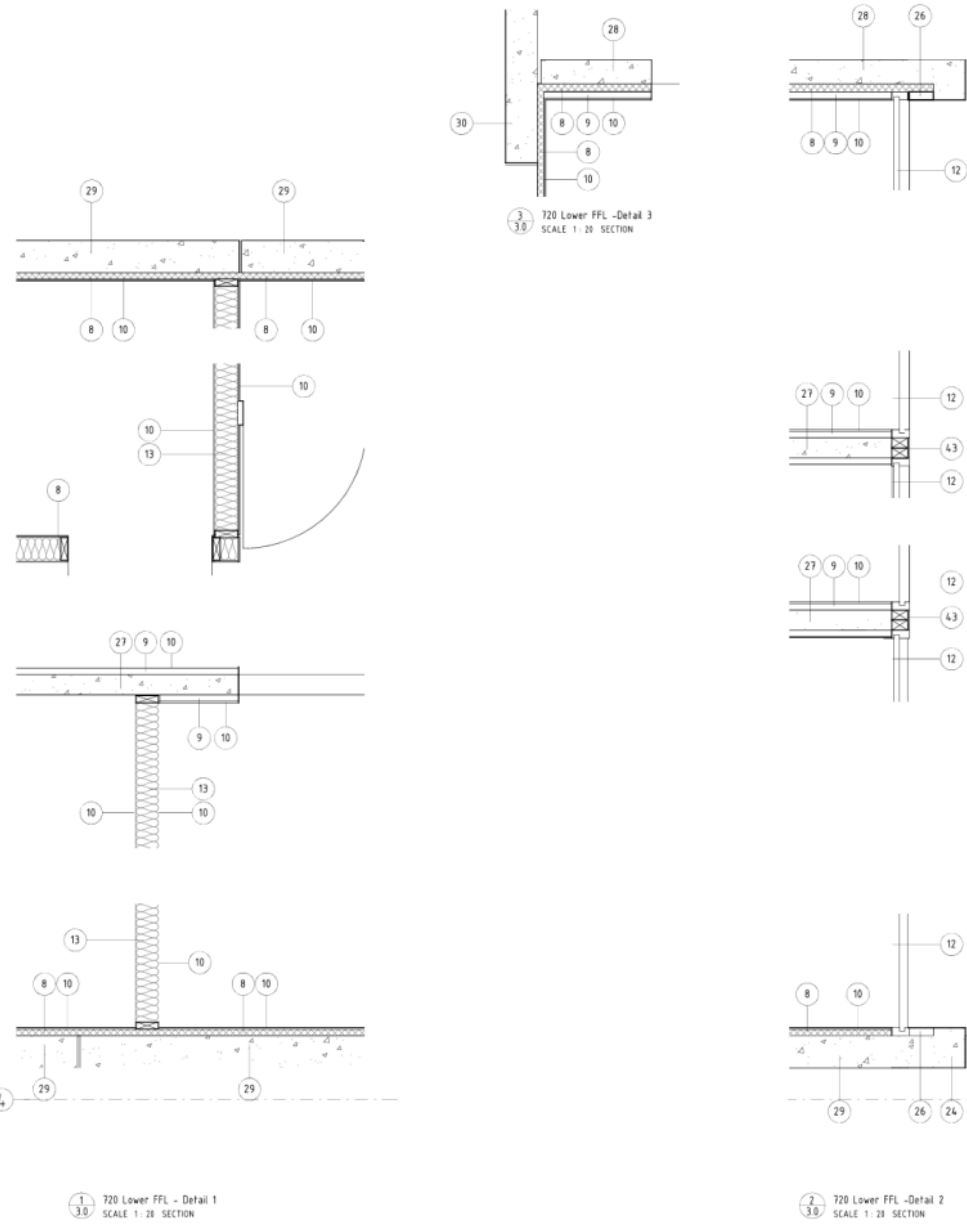
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4. 250 tapered conc edge
5. 250 roof slab
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7. kingspan kooltherm K10 soffit board, 30mm
8. kingspan Optim-R external wall insulation panel, 50mm
9. battens
10. PB, FC sheet finish
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14. green roof
15. Angle, edge trim
16. Vicrocsa sub sill
17. Membrane
18. 200 thick retaining conc wall
19. 150 thick external conc wall
20. kingspan K3 floorboard, 40mm x2
21. driveway
22. edge beams
23. kingspan kooltherm K10 soffit board plus, 90mm
24. 250 external concrete wall
25. 100 precast concrete fireplace
26. 150x50 downpipe
27. 125 concrete precast wall
28. 150 concrete precast wall
29. 200 concrete precast wall
30. 200 insitu concrete slab
31. 250 insitu concrete slab
32. concrete strip footing
33. 100 insitu concrete
34. 50x75 RHS
35. pressed cream firebricks
36. surface drain
37. 300mm concrete column
38. polythene membrane
39. 30mm bedding sand
40. 100mm compacted sand
41. cast concrete lid
42. cantilevered 100 thick hearth
43. metal cover plate to match window

01. 11.11.20 chimney amendments
03. 04.11.20 clarifications
07. 28.09.20 building permit RPI
01. 22.07.20 stair & fireplace details

Section Details

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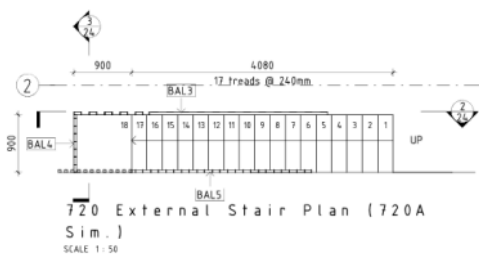
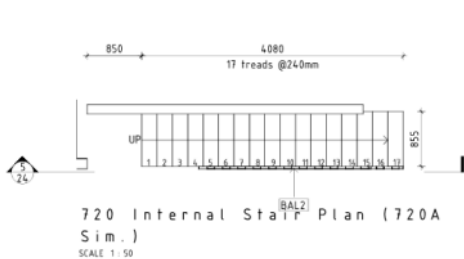




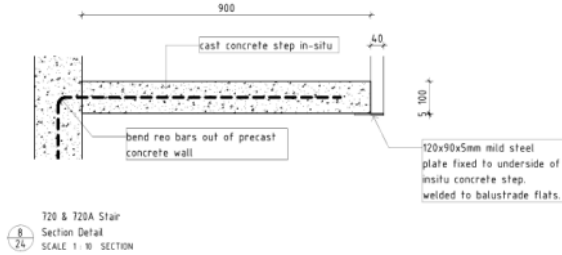
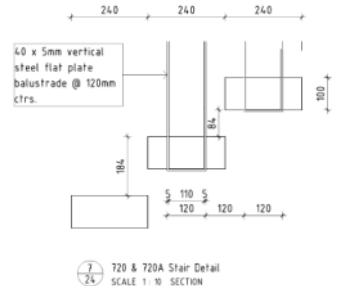
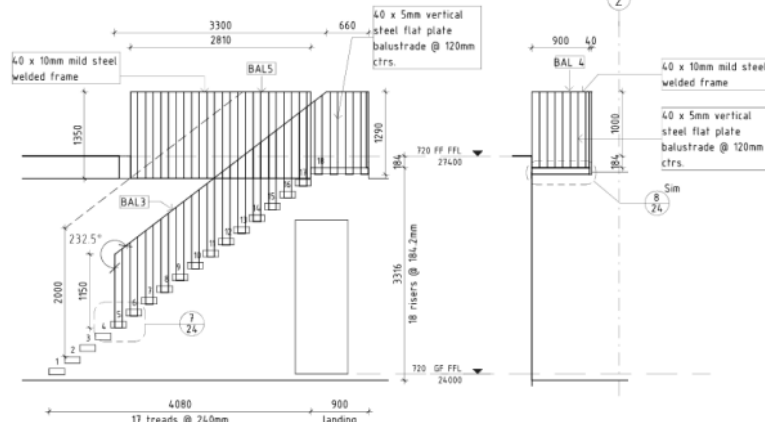
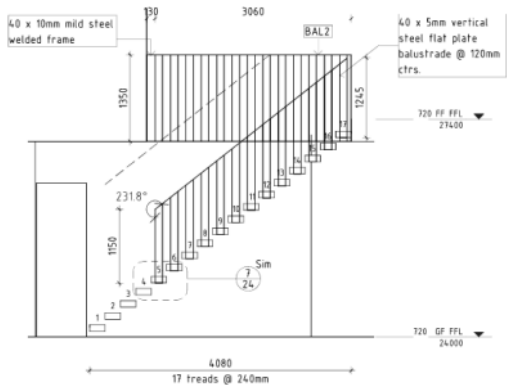
- General Notes:
- Do not scale from drawing. Use marked dimensions. To be read in conjunction with all other Consultant's drawings.
  - The Architect to be solely responsible for all of any discrepancies, if any, on this drawing released by the Architect.
- 120 ground floor slab
  - 150 insitu conc slab
  - 100 screed
  - 250 tapered conc edge
  - 250 roof slab
  - kingspan kooltherm K10 soffit board, 80mm
  - kingspan kooltherm K10 soffit board, 30mm
  - kingspan Optim-R external wall insulation panel, 50mm
  - battens
  - PB, FC sheet finish
  - feature timber ceiling
  - 20x40 battens, black fabric
  - windows
  - internal stud wall
  - green roof
  - Angle, edge trim
  - Victrocsa subsill
  - Membrane
  - 200 thick retaining conc wall
  - 150 thick external conc wall
  - kingspan K3 floorboard, 40mm x2
  - driveway
  - edge beams
  - kingspan kooltherm K10 soffit board plus, 90mm
  - 250 external concrete wall
  - 100 precast concrete fireplace
  - 150x50 downpipe
  - 125 concrete precast wall
  - 150 concrete precast wall
  - 200 concrete precast wall
  - 200 insitu concrete slab
  - 250 insitu concrete slab
  - concrete strip footing
  - 100 insitu concrete
  - 50x75 RHS
  - pressed cream firebricks
  - surface drain
  - 300mm concrete column
  - polythene membrane
  - 30mm bedding sand
  - 100mm compacted sand
  - cast concrete lid
  - cantilevered 100 thick hearth
  - metal cover plate to match window







General Notes:  
Do not scale from drawing. Use marked dimensions. To be read in conjunction with all other Consultant's drawings.  
The Architect to be specifically notified of any discrepancies. Copyright in this drawing released by the Architect.



C:\hard\Ray\Documents\501710\Book\Fig. 7E\_Central\_and\_Seg3DRA\_

Scale (m)

0 1 2 3 4 5

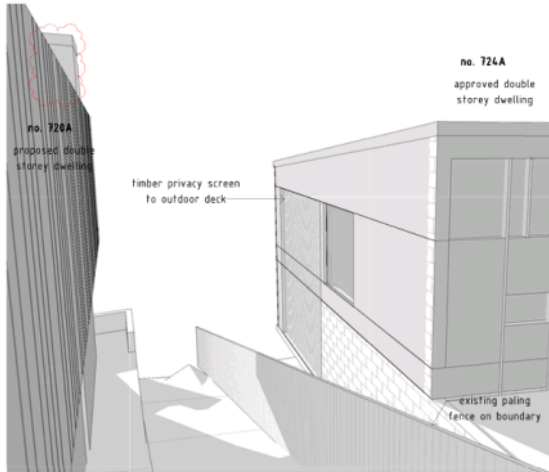
William, James and Kate Casserly

28/00 Wiangarra St (po box 2382) Richmond 3121 | phone 9428 1415 | fax 9428 1340 | mail@threec.com.au | ABN: 74 780 760 092

three c | architects



Shadow Diagram 9am 21 June  
SCALE 1: 500



Shadow Projection to 724A along adjoining boundary 9am June 21  
SCALE

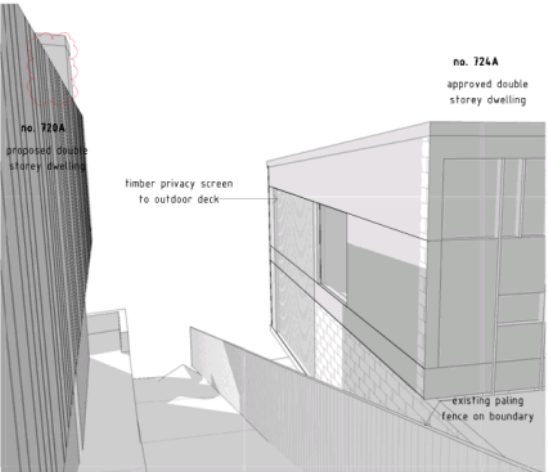
1:16 reduced level to AHD  
existing trees  
proposed trees  
extent of shadow

Scale (m)  
0 1 2 3 4 5

three c architects  
William, James and Kate Casserly  
28/30 Wangaratta St (po box 2392) Richmond 3121 (phone 9428 1415) fax 9428 1340 email@threec.com.au/ABN: 74 780 760 092



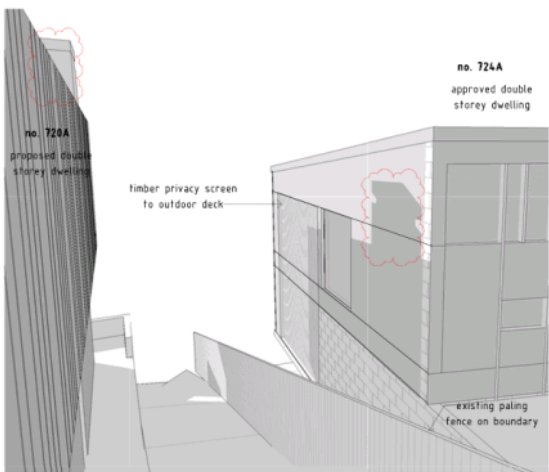
Shadow Diagram 10 am 21 June  
SCALE 1: 500



Shadow Projection to 724A along adjoining boundary 10am June 21  
SCALE



Shadow Diagram 11 am 21 June  
SCALE 1: 500



Shadow Projection to 724A along adjoining boundary 11am June 21  
SCALE

06 11.11.20 chimney amendments  
05 07.05.19 proposed condition  
04 18.11.18 shadow amendments  
03 17.10.18 724 west windows added  
07 16.10.18 amended contours  
01 08.12.17 planning permit

Shadow Diagrams 21 June

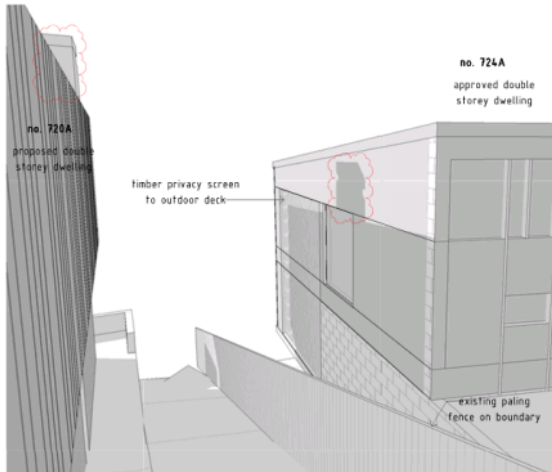
Sandy Bay DD 7.0 06  
720 Sandy Bay Road, Sandy Bay TAS 7017-10 (located @A2 11-Nov-20 6:02:22 PM)



Shadow Diagram 12pm 21 June  
SCALE 1 : 500



Shadow Diagram 3pm 21 June  
SCALE 1 : 500



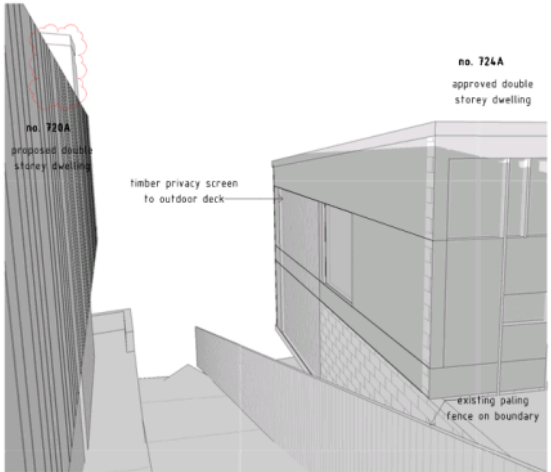
Shadow Projection to 724A along  
adjoining boundary 12pm June 21  
SCALE

12.16 reduced level to AHD    existing trees  
extent of shadow    proposed trees

Scale (m)  
0 1 2 3 4 5

three c architects

William James and Kate Casserly  
28/30 Wangaratta St (po box 2392) Richmond 3121 (phone 9428 1415) fax 9428 1340 mail@threec.com.au ABN: 74 780 760 092



Shadow Projection to 724A along  
adjoining boundary 3pm June 21  
SCALE

06 11.11.20 chimney amendments  
05 07.05.19 proposed condition  
04 18.11.18 shadow amendments  
03 17.10.18 724 west windows added  
07 16.10.18 amended contours  
01 08.12.17 planning permit

Shadow Diagrams 21 June

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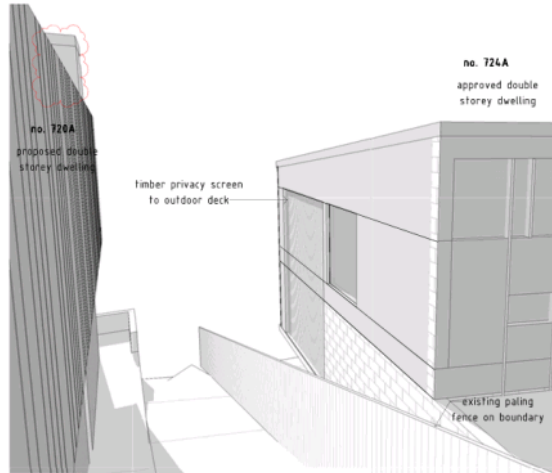
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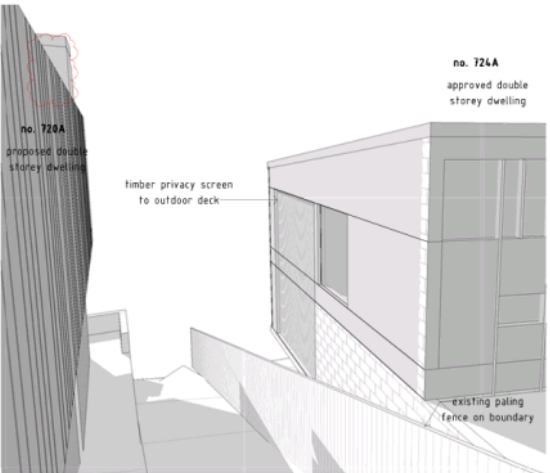
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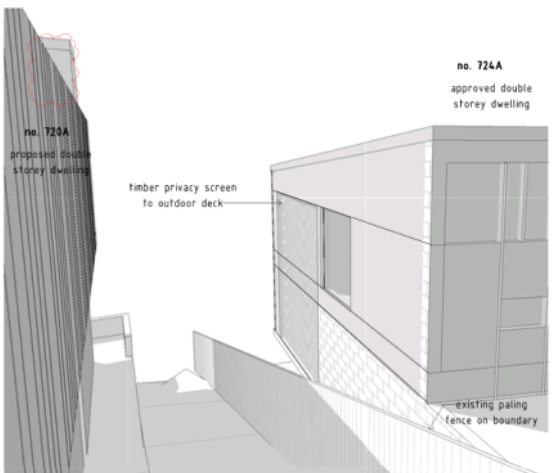
Shadow Diagram 11 am 21 September  
SCALE 1 : 500



Shadow Projection to 724A along adjoining boundary 9am 21 September  
SCALE



Shadow Projection to 724A along adjoining boundary 10am 21 September  
SCALE



Shadow Projection to 724A along adjoining boundary 11am 21 September  
SCALE

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12% reduced level to AHD  
extent of shadow  
existing trees  
proposed trees

Scale (m)  
0 1 2 3 4 5

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05.11.19 chimney amendments  
01.07.05.19 proposed condition  
03.10.18 shadow amendments  
07.10.18 724 west windows added  
01.10.18 amended contours

Shadow Diagrams 21 September

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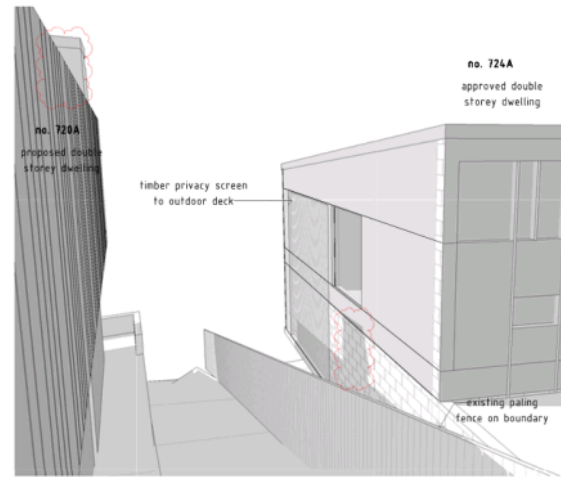




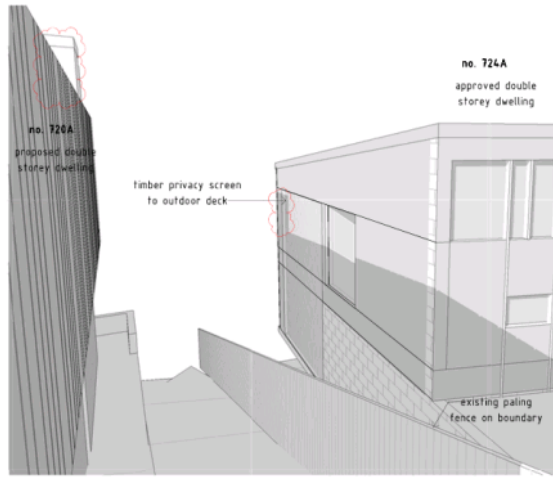
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SCALE 1 : 500



Shadow Diagram 3pm 22 September  
SCALE 1 : 500



Shadow Projection to 724A along adjoining boundary 12pm 21 September  
SCALE



Shadow Projection to 724A along adjoining boundary 3pm 21 September  
SCALE

- 12.16 reduced level to AHD
- existing trees
- extent of shadow
- proposed trees

Scale (m)  
0 1 2 3 4 5

three c architects

William James and Kate Casserly  
28/30 Wangaratta St (po box 2392) Richmond 3121 (phone 9428 1415) fax 9428 1340 email@threec.com.au ABN: 74 780 760 092



- 05 11.11.20 chimney amendments
- 01 07.05.19 proposed condition
- 03 19.11.18 shadow amendments
- 07 17.10.18 724 west windows added
- 01 15.10.18 amended contours

Shadow Diagrams 21 September

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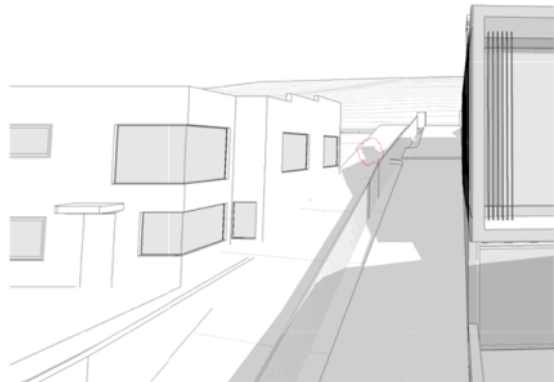
Shadow Diagram 9am 21 June 724  
SCALE 1 : 500



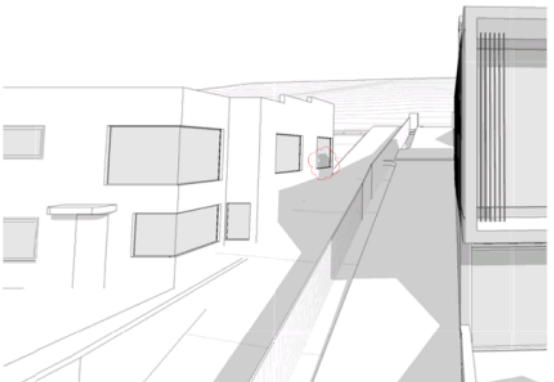
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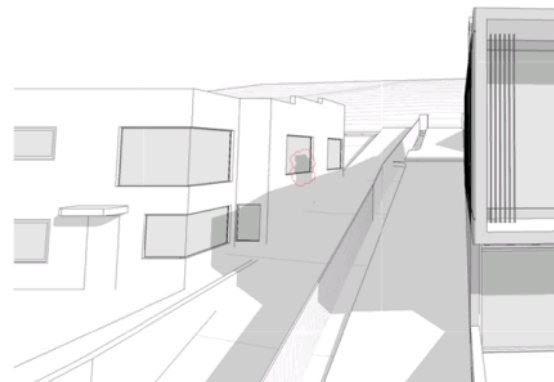
Shadow Diagram 11 am 21 June 724  
SCALE 1 : 500



Shadow Projection to 724 along adjoining  
boundary 9am June 21  
SCALE



Shadow Projection to 724 along adjoining  
boundary 10am June 21  
SCALE



Shadow Projection to 724 along adjoining  
boundary 11am June 21  
SCALE

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Scale (m)  
0 1 2 3 4 5

three c architects  
William, James and Kate Casserly  
28/30 Wangaratta St (po box 2382) Richmond 3121 (phone 9428 1415) fax 9428 1340) mail@threec.com.au /ABN: 74 780 760 092



03.11.18 chimney amendments  
07.07.19 shadow amendments  
01.10.18 shadow amendments

Shadow Diagrams 21 June 724  
**Sandy Bay DD 7.6 03**  
720 Sandy Bay Road, Sandy Bay 7617-10 1:500 @A2 11-Nov-20 6:02:40 PM

Shadow Diagram 12pm 21 June 724  
SCALE 1:500

Shadow Diagram 1pm 21 June 724  
SCALE 1:500

Shadow Diagram 3pm 21 June 724  
SCALE 1 : 500

Shadow Projection to 724 along adjoining  
boundary 12pm June 21

Shadow Projection to 724 along adjoining  
boundary 1pm June 21  
SCALE

Shadow Projection to 724 along adjoining  
boundary 3pm June 21





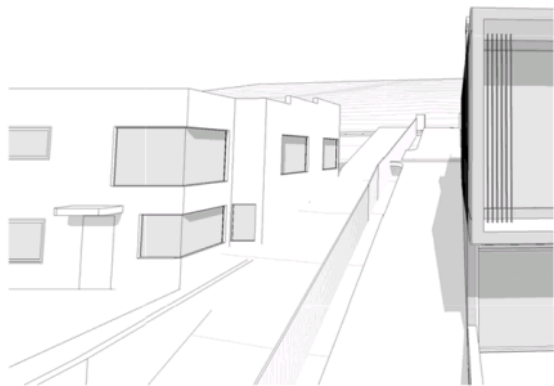
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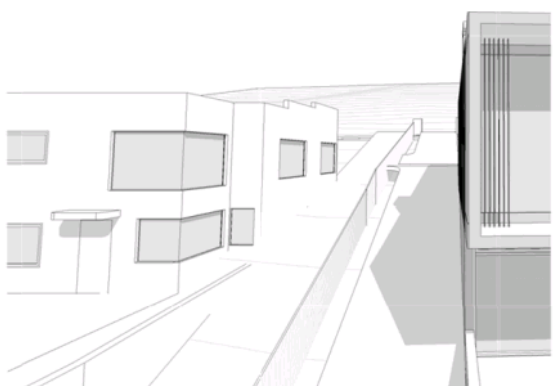
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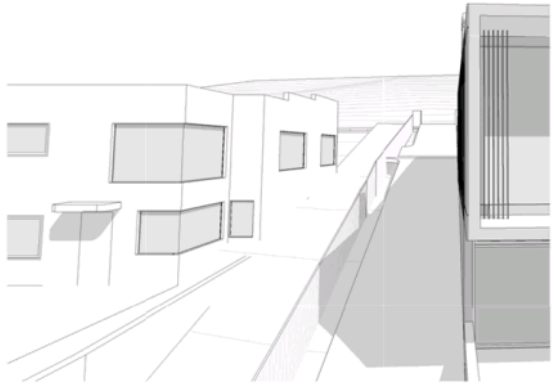
Shadow Diagram 11 am 21 September 724  
SCALE 1 : 500



Shadow Projection to 724 along adjoining  
boundary 9am September 21  
SCALE



Shadow Projection to 724 along adjoining  
boundary 10am September 21  
SCALE



Shadow Projection to 724 along adjoining  
boundary 11am September 21  
SCALE

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Scale (m)  
0 1 2 3 4 5

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William, James and Kate Casserly  
28/30 Wangaratta St (po box 2392) Richmond 3121 (phone 9428 1415) fax 9428 1340) mail@threec.com.au /ABN: 74 780 760 092



03.11.12: chimney amendments  
07.21.07.19: shadow amendments  
01.19.11.18: shadow amendments

Shadow Diagrams 21 September 724

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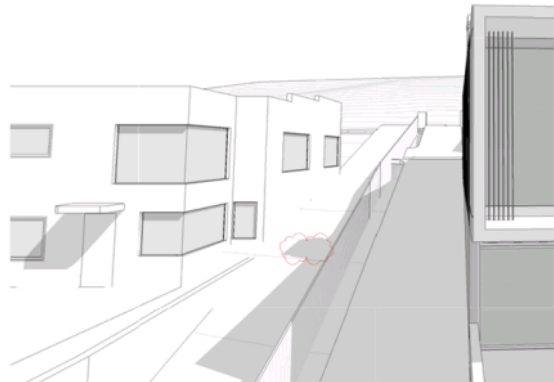
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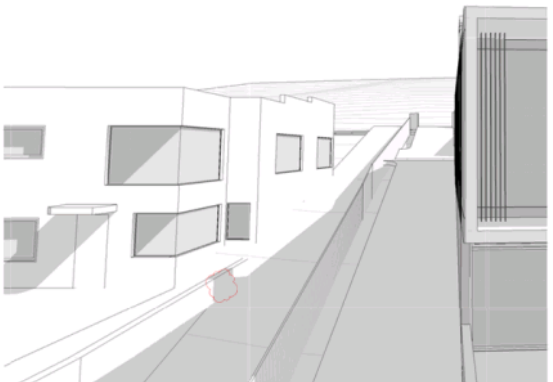
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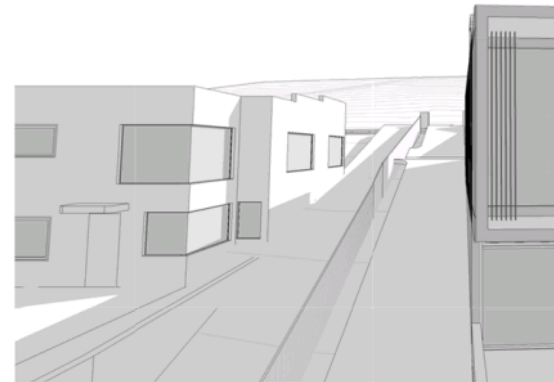
Shadow Diagram 3pm 22 September 724  
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Shadow Projection to 724 along adjoining  
boundary 12pm September 21  
SCALE



Shadow Projection to 724 along adjoining  
boundary 1pm September 21  
SCALE



Shadow Projection to 724 along adjoining  
boundary 3pm September 21  
SCALE

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Scale (m)  
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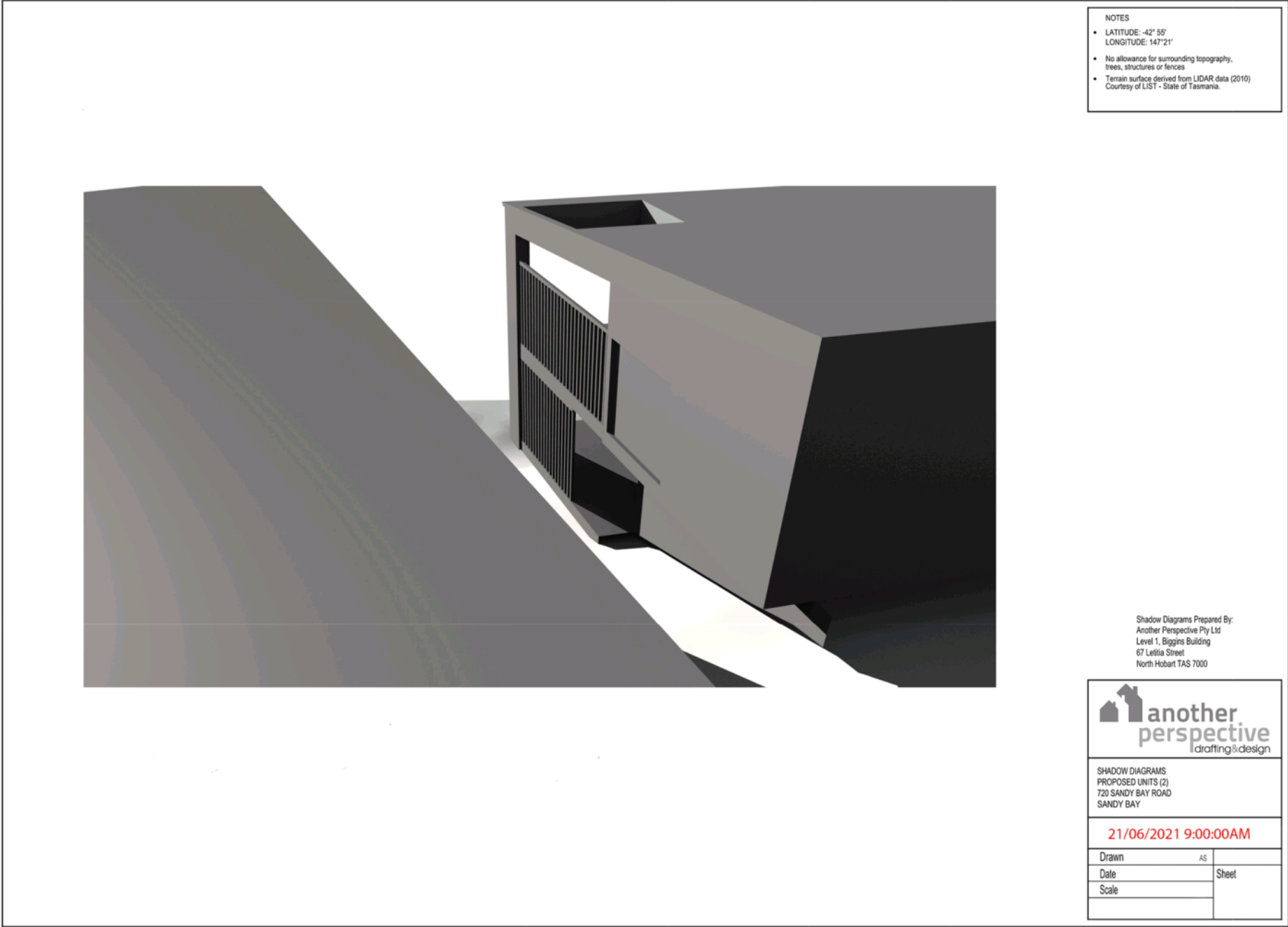
three c architects  
William, James and Kate Casserly  
28/30 Wangaratta St (po box 2392) Richmond 3121 (phone 9428 1415) fax 9428 1340) mail@threec.com.au /ABN: 74 780 760 092

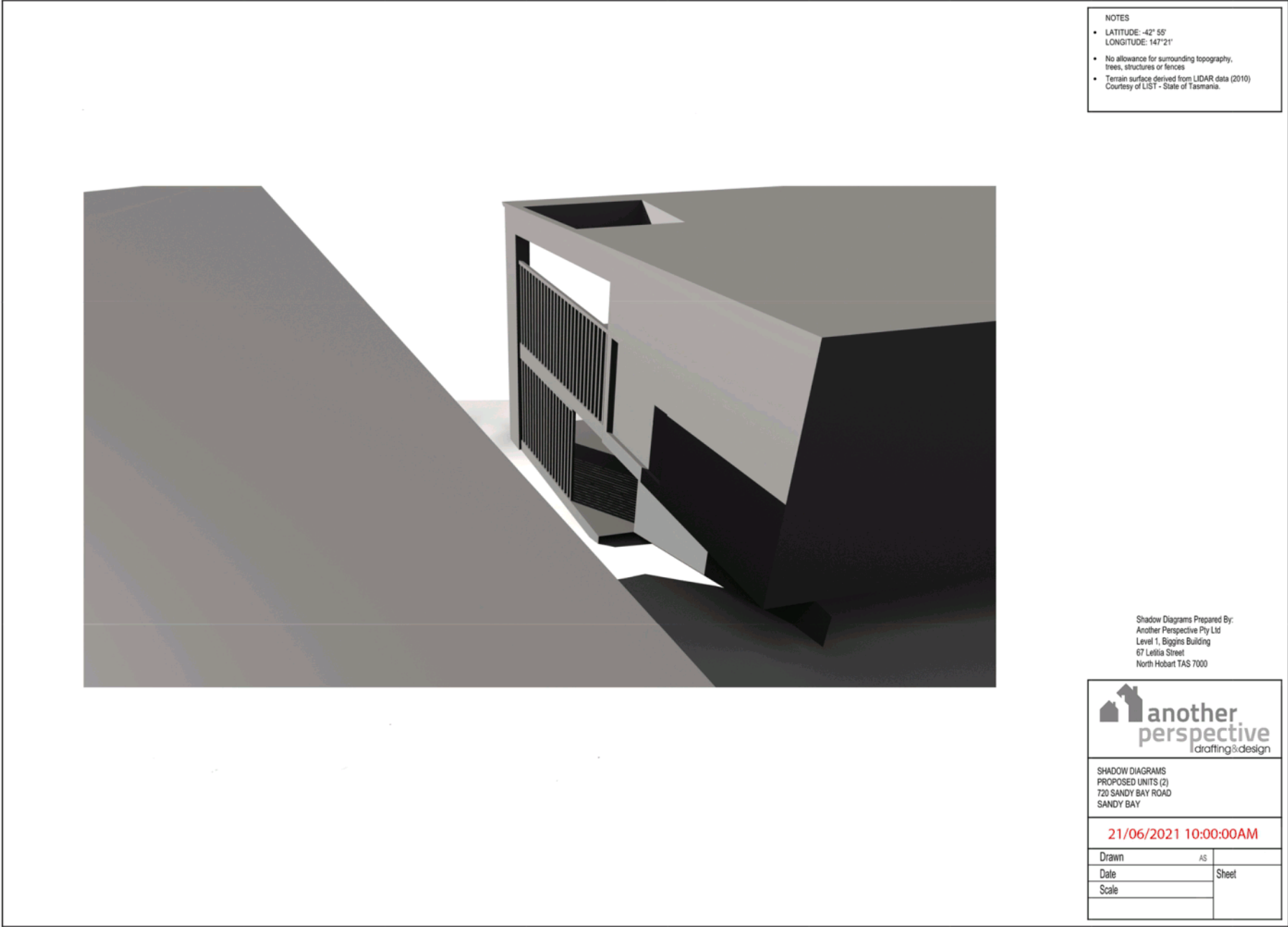


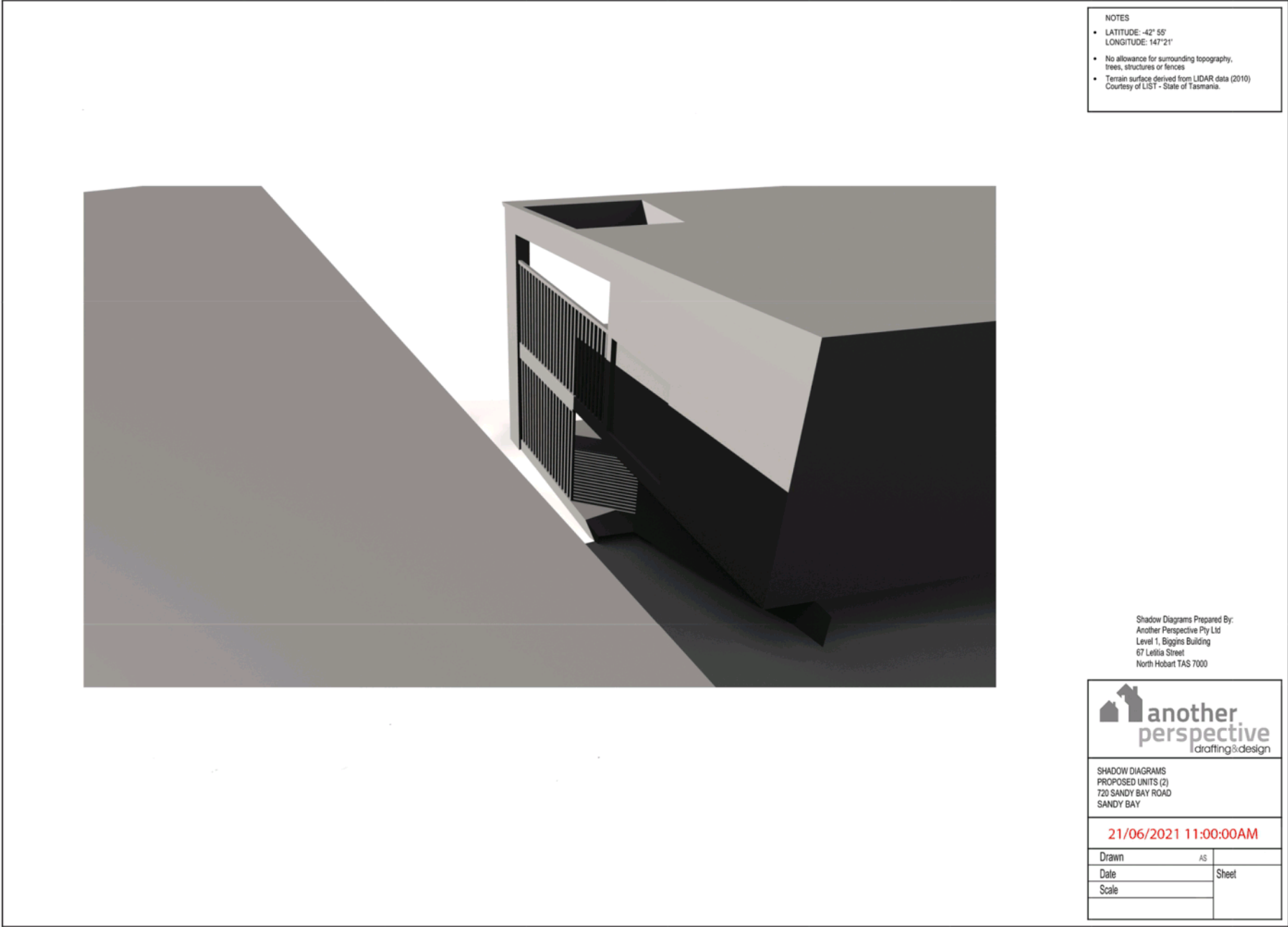
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07.11.07.19 shadow amendments  
01.11.18 shadow amendments

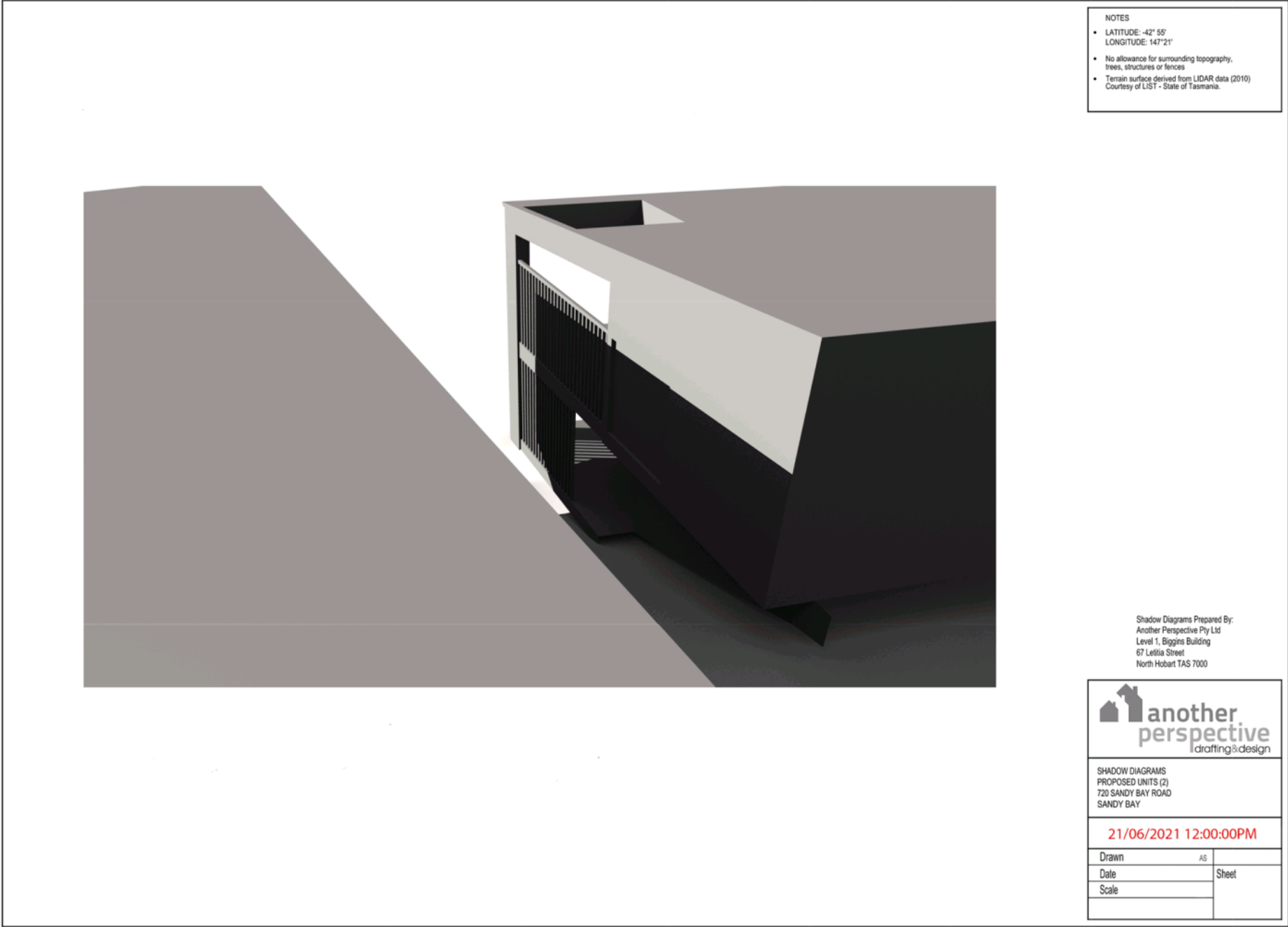
Shadow Diagrams 21 September 724

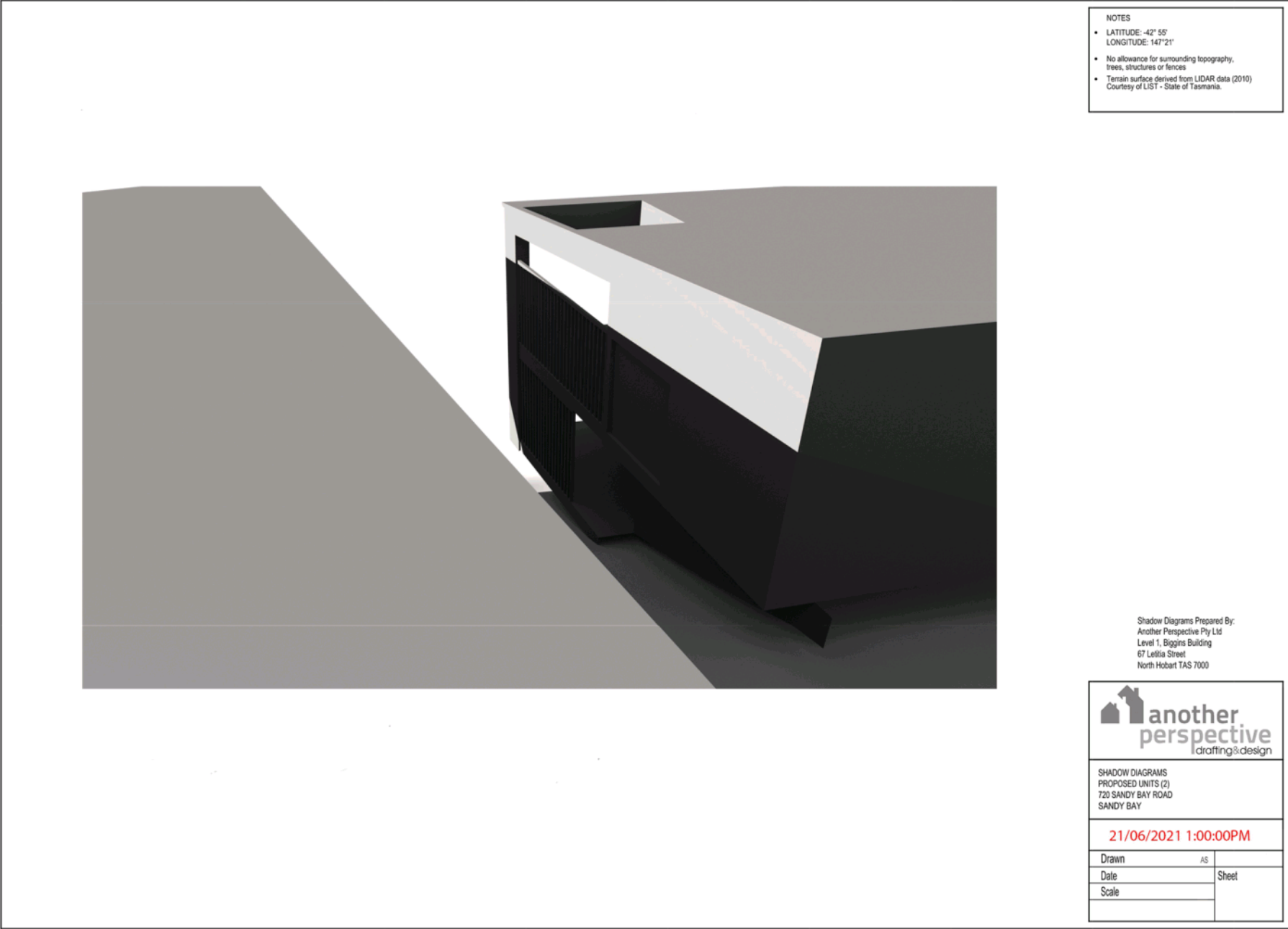
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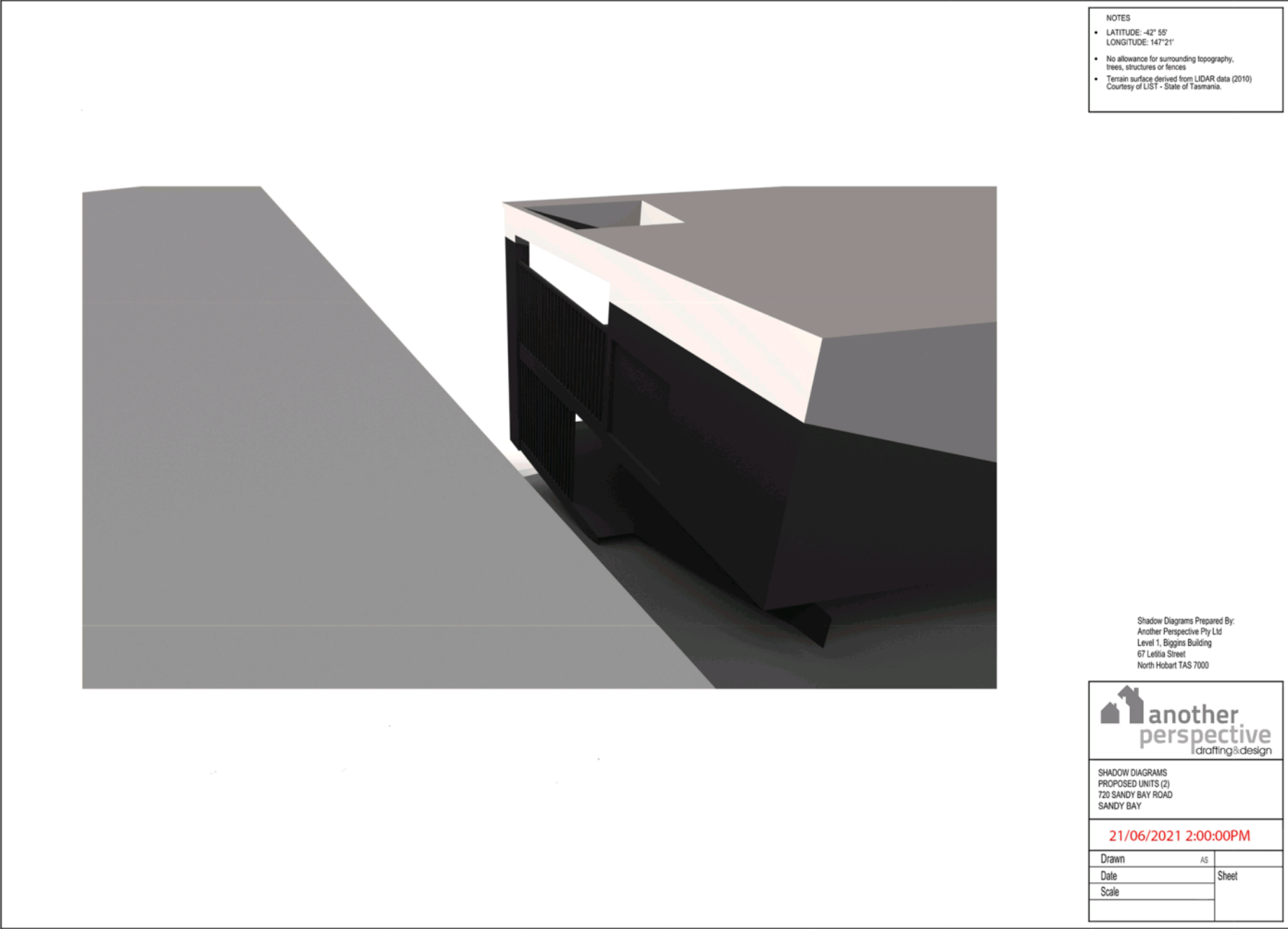




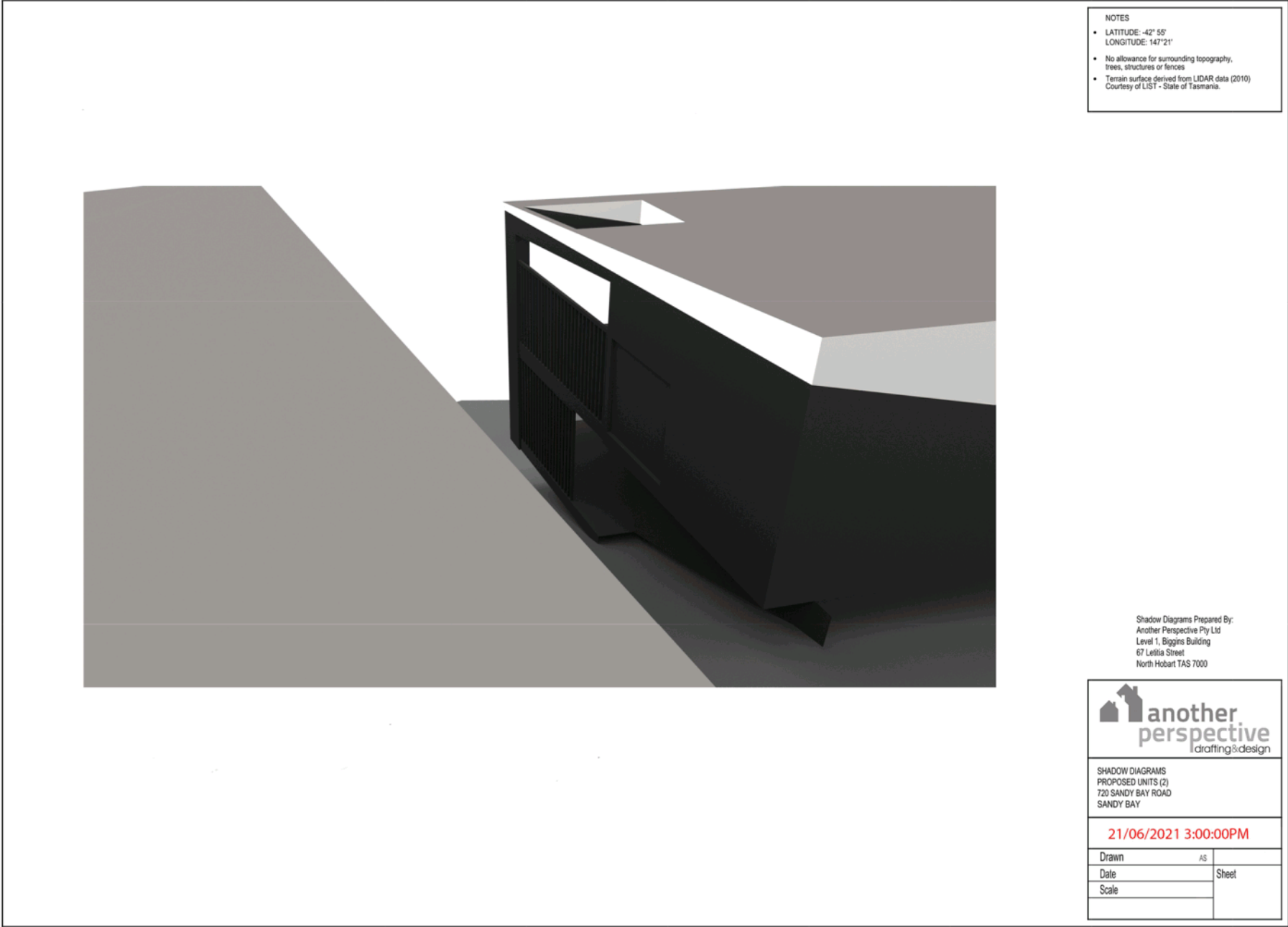






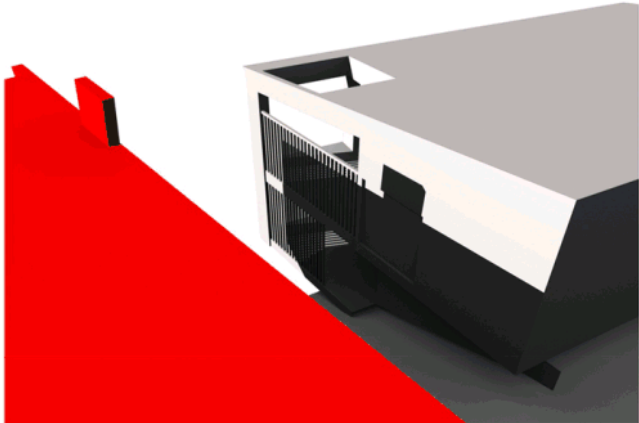






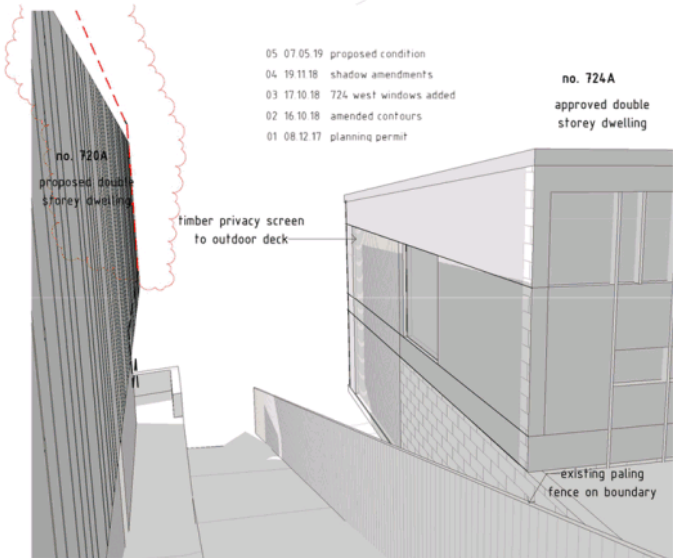


June 21 2021 12.00pm - Photo 720 Sandy Bay Road AS CONSTRUCTED



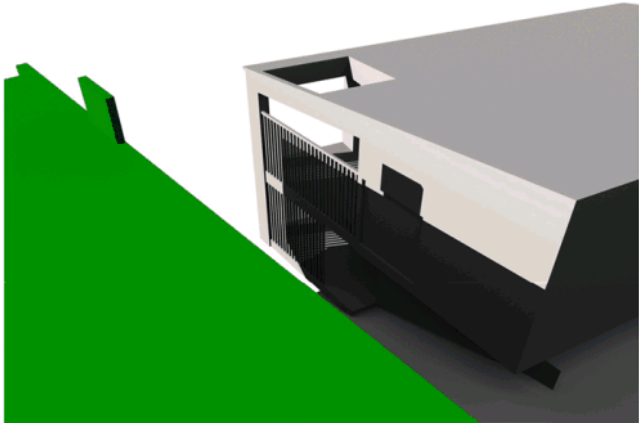
June 21 2021 12.00pm - 720 Sandy Bay Road AS PER BUILDING PERMIT PLANS

- NOTES
- LATITUDE: -42° 55'
  - LONGITUDE: 147° 21'
  - No allowance for surrounding topography, trees, structures or fences
  - Terrain surface derived from LIDAR data (2010) Courtesy of LIST - State of Tasmania.



Shadow Projection to 724A along adjoining boundary 12pm June 21

June 21 12.00pm - Shadow Diagram by Designer  
(confirmed by Another Perspective in May 2019 review for H.C.C.)



June 21 2021 12.00pm - 720 Sandy Bay Road AS CONSTRUCTED ON SITE

Model for existing dwelling at 724a Sandy Bay Road has been created 3D Laser Scan data collected by Another Perspective and placed on GDA94 / AHD Datums with survey control by D.J. Potter (Surveyor).

Shadow Diagrams Prepared By:  
Another Perspective Pty Ltd  
Level 1, Biggins Building  
67 Letitia Street  
North Hobart TAS 7000



SHADOW DIAGRAMS  
PROPOSED UNITS (2)  
720 SANDY BAY ROAD  
SANDY BAY

21st June 12:00:00PM	
Drawn	AS
Date	Sheet
Scale	



## FOLIO PLAN

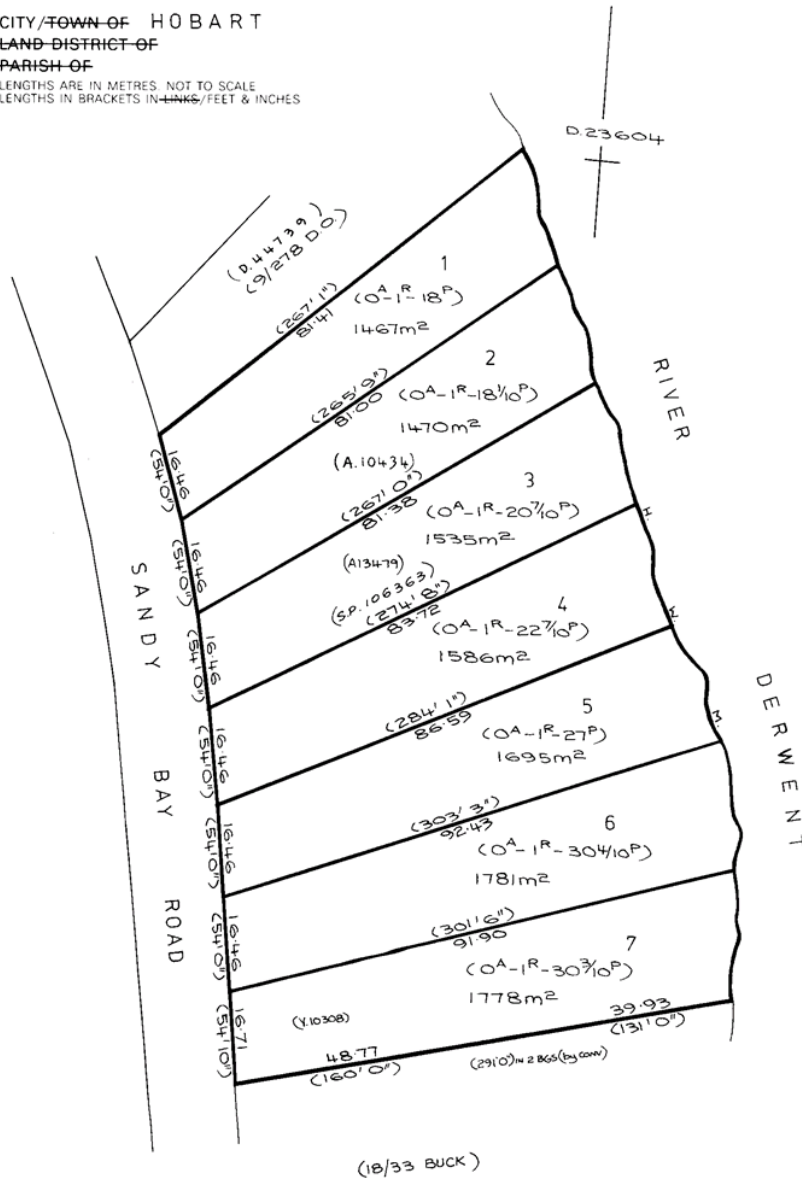
RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



APPROVED FROM 30 JUL 1984 <i>E. R. Thorpe</i> RECORDER OF TITLES	CONVERSION PLAN	REGISTERED NUMBER D. 23604
FILE NUMBER	GRANTEE PART OF 30°-0'-0" GTD. TO DANIEL ANDERSON	S.L. 23/7/84 D.L. 2/18/2

SKETCH BY WAY OF ILLUSTRATION ONLY

CITY/TOWN OF HOBART  
LAND DISTRICT OF  
PARISH OFLENGTHS ARE IN METRES. NOT TO SCALE  
LENGTHS IN BRACKETS IN FEET & INCHES

**RESULT OF SEARCH**

RECORDER OF TITLES

*Issued Pursuant to the Land Titles Act 1980*

## SEARCH OF TORRENS TITLE

VOLUME 23604	FOLIO 1
EDITION 3	DATE OF ISSUE 18-Jul-2017

SEARCH DATE : 29-Nov-2017

SEARCH TIME : 08.55 AM

DESCRIPTION OF LAND

City of HOBART

Lot 1 on Diagram 23604

Being the land described in Conveyance 23/3486

Derivation : Part of 30 Acres Granted to Daniel Anderson

Derived from A17188

SCHEDULE 1

M638165 TRANSFER to NATHAN PHILLIP GRAY and ELIZA ALEXANDRA  
KHARMA GRAY Registered 18-Jul-2017 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
E97738 MORTGAGE to Bendigo and Adelaide Bank Limited  
Registered 18-Jul-2017 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

Planning: #241556

Property

720 SANDY BAY ROAD SANDY BAY TAS 7005

People

Applicant

Nathan Gray  
15 Byron Street  
SANDY BAY TAS 7005  
0417 022 010  
mailto:nathangray@gmail.com

Owner

Nathan Gray  
15 Byron Street  
SANDY BAY TAS 7005  
0417 022 010  
mailto:nathangray@gmail.com

Entered By

NATHAN PHILLIP GRAY  
0417 022 010  
mailto:nathangray@gmail.com

Use

Multiple dwellings

Details

Have you obtained pre application advice?

No

If YES please provide the pre application advice number eg PAE-17-xx

Are you applying for permitted visitor accommodation as defined by the State Government Visitor Accommodation Standards? Click on help information button for definition, if you are not the owner of the property you MUST include signed confirmation from the owner that they are aware of this application.

No

Is the application for SIGNAGE ONLY? If yes, please enter \$0 in the cost of development, and you must enter the number of signs under Other Details below.

<input type="radio"/> No		
If this application is related to an enforcement action please enter Enforcement Number <input type="text" value="ENF-21-31 720"/>		
<b>Details</b>		
What is the current approved use of the land / building(s)? <input type="text" value="B1.D-20-260"/>		
Please provide a full description of the proposed use or development (i.e. demolition and new dwelling, swimming pool and garage) <input type="text"/>		
Add chimneys to approved open fires <input type="text"/>		
Estimated cost of development <input type="text" value="1500.00"/>		
Existing floor area (m2)	Proposed floor area (m2)	Site area (m2)
<input type="text"/>	<input type="text"/>	<input type="text"/>
<b>Carparking on Site</b>		
Total parking spaces      Existing parking spaces <input type="text" value="N/A"/>		
<input type="checkbox"/> Other (no selection chosen)		
<b>Other Details</b>		
Does the application include signage? <input type="radio"/> No		
How many signs, please enter 0 if there are none involved in this application? <input type="text" value="0"/>		
<b>Tasmania Heritage Register</b> Is this property on the Tasmanian Heritage Register? <input type="radio"/> No		
<b>Documents</b>		
<b>Required Documents</b>		
Title (Folio text and Plan and Schedule of Easements) <input type="text" value="Title and Plan 720 Sandy Bay Road.pdf"/>		
Plans (proposed, existing) <input type="text" value="S017-10 Sandy Bay TE 20.11.12.pdf"/>		
Covering Letter <input type="text" value="Report - 720 Sandy Bay Road 260621.pdf"/>		
<b>Supporting Documents</b>		
Shadow Diagrams <input type="text" value="S017-10 Sandy Bay_DD Chimney Shadow Diagrams 20.11.12.pdf"/>		
Shadow Diagrams <input type="text" value="720 Sandy Bay Road - June 21 Shadow Diagram review v1 260621.pdf"/>		

**7.1.2 30 COPLEY ROAD, LENA VALLEY - FOUR MULTIPLE DWELLINGS (ONE EXISTING, THREE NEW) AND ASSOCIATED WORKS  
PLN-21-687 - FILE REF: F22/23839**

---

Address: 30 Copley Road, Lenah Valley

Proposal: Four Multiple Dwellings (One Existing, Three New) and Associated Works

Expiry Date: 18 April 2022

Extension of Time: Not applicable

Author: Adam Smee

**RECOMMENDATION**

That pursuant to the *Hobart Interim Planning Scheme 2015*, the City Planning Committee, in accordance with the delegations contained in its terms of reference, approve the application for four multiple dwellings (one existing, three new) and associated works, at 30 Copley Road, Lenah Valley 7008, for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

**GEN**

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-21-687 - 30 COPLEY ROAD LENA VALLEY TAS 7008 - Final Planning Documents except where modified below.

**Reason for condition**

To clarify the scope of the permit.

**TW**

The use and/or development must comply with the requirements of TasWater as detailed in the form Submission to Planning Authority Notice, Reference No. TWDA 2021/01759-HCC dated 20/10/2021 as attached to the permit.

Reason for condition

To clarify the scope of the permit.

PLN 2

Either:

- a) The balcony on the first floor of dwelling TH 3 must be screened to at least 1.5m above finished deck level and 33% uniform transparency, or otherwise designed, to minimise overlooking of habitable room windows of dwelling TH1, or,
- b) The sill height of the rumpus room window within the southern elevation of dwelling TH1 must be increased to a least 1.5m above finished floor level to minimise overlooking from the dwelling TH3 balcony.

Prior to the issue of any approval under the *Building Act 2016*, revised plans must be submitted and approved as a Condition Endorsement that demonstrate compliance either of the above requirements. All work required by this condition must be undertaken in accordance with the approved revised plans.

*Advice:*

*This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.*

- *Screening for the TH 3 balcony may include the provision of a solid or opaque balustrade.*

Reason for condition

To provide reasonable opportunity for privacy for dwellings.

ENG sw6

All stormwater from the proposed development (including hardstand runoff) must be discharged to the Council's stormwater infrastructure with sufficient receiving capacity prior to first occupation. All costs associated with works required by this condition are to be met by the owner.



Design drawings and calculations of the proposed stormwater drainage and connections to the Council's stormwater infrastructure must be submitted and approved prior to the commencement of work. The design drawings and calculations must:

1. prepared by a suitably qualified person; and
2. include long section(s)/levels and grades to the point of discharge.

All work required by this condition must be undertaken in accordance with the approved design drawings and calculations.

*Advice:*

*The applicant is advised to submit detailed design drawings and calculations as part of their Plumbing Permit Application. If detailed design to satisfy this condition is submitted via the planning condition endorsement process there may be fees associated with the assessment, and once approved the applicant will still need to obtain a plumbing permit for the works.*

Reason for condition

To ensure that stormwater from the site will be discharged to a suitable Council approved outlet.

SW 9

Prior to occupancy of the development, stormwater pre-treatment and detention for stormwater discharges from the development must be installed.

A stormwater management report and design must be submitted and approved prior to the issue of any approval under the *Building Act 2016* or the commencement of work on the site (whichever occurs first). The stormwater management report and design must be prepared by a suitably qualified engineer and must:

1. include detailed design of the proposed treatment train, including final estimates of contaminant removal;

2. include detailed design and supporting calculations of the detention tank showing:
  1. detention tank sizing such that there is no increase in flows from the developed site up to 5% AEP event and no worsening of flooding;
  2. the layout, the inlet and outlet (including long section), outlet size, overflow mechanism and invert level;
  3. the discharge rates and emptying times; and,
  4. all assumptions must be clearly stated.
3. include a supporting maintenance plan, which specifies the required maintenance measures to check and ensure the ongoing effective operation of all systems, such as:
  1. inspection frequency;
  2. cleanout procedures;
  3. descriptions and diagrams of how the installed systems operate; and,
  4. details of the life of assets and replacement requirements.

All work required by this condition must be undertaken and maintained in accordance with the approved stormwater management report and design.

*Advice:*

*This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.*

ENG 2a

Prior to first occupation of the development, vehicular barriers compliant with the Australian Standard AS/NZS 1170.1:2002 must be installed to

prevent vehicles running off the edge of an access driveway or parking module (parking spaces, aisles and manoeuvring area) where the drop from the edge of the trafficable area to a lower level is 600mm or greater, and wheel stops (kerb) must be installed for drops between 150mm and 600mm. Barriers must not limit the width of the driveway access or parking and turning areas approved under the permit.

*Advice:*

*The Council does not consider a slope greater than 1 in 4 to constitute a lower level as described in AS/NZS 2890.1:2004 Section 2.4.5.3. Slopes greater than 1 in 4 will require a vehicular barrier or wheel stop.*

*Designers are advised to consult the [National Construction Code 2016](#) to determine if pedestrian handrails or safety barriers compliant with the Code are also required in the parking module this area may be considered as a path of access to a building.*

Reason for condition

To ensure the safety of users of the access driveway and parking module and compliance with the standard.

ENG 2b

Further detailed designs are required for vehicle barriers. The detailed designs must identify the following:

1. All requirements for Vehicle Crash Barriers Identified;
2. Type of vehicle crash barriers proposed for the site with construction details.

This documentation must be submitted and approved as a condition endorsement, prior to the issue of any approval under the *Building Act 2016*.

The detailed designs must:

1. be prepared and certified by a suitably qualified engineer;
2. be in accordance with the Australian Standard AS/NZS 1170.1:2002, if possible; and

3. show dimensions, levels, gradients, transitions, and other details as Council deem necessary to satisfy the above requirement.

The vehicle barriers must be installed in accordance with the approved detailed designs prior to first occupation.

*Advice:*

*This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.*

Reason for condition

To ensure the safety of users of the access driveway and parking module and compliance with the standard.

ENG 2c

Prior to the first occupation, a suitably qualified engineer must certify that the vehicle barriers have been installed in accordance with the design drawings approved by Condition ENG 2b.

*Advice:*

*An example certificate is available on our [website](#).*

Reason for condition

To ensure the safety of users of the access driveway and parking module and compliance with the relevant standards.

ENG 3a

The access driveway and parking area must be constructed in accordance with the following documentation which forms part of this permit: Driveway Plan / DA-21-54425 / REV B / 24/09/2021 received by Council on the 11th of October 2021.

Any departure from that documentation and any works which are not detailed in the documentation must be either:

- (a) approved by the Director City Life, via a condition endorsement application; or
- (b) designed and constructed in accordance with Australian Standard AS/NZ 2890.1:2004.

The works required by this condition must be completed prior to first occupation.

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

ENG 3c

Prior to first occupation, a suitably qualified engineer must certify that the access driveway and parking area has been constructed in accordance with design drawings submitted on the 11th of October "Driveway Plans" referenced in ENG 3a.

*Advice:*

*We strongly encourage you to speak to your engineer before works begin so that you can discuss the number and nature of the inspections they will need to do during the works in order to provide this certification. It may be necessary for a surveyor to also be engaged to ensure that the driveway will be constructed as approved.*

*The reason this condition has been imposed as part of your planning permit is that the driveway is outside the Australian Standard gradients or design parameters. If the driveway is not constructed as it has been approved then this may mean that the driveway will either be unsafe or will not function properly.*

*An example certificate is available on our [website](#).*

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

## ENG 4

The access driveway and parking module (car parking spaces, aisles and manoeuvring area) approved by this permit must be constructed to a sealed standard (spray seal, asphalt, concrete, pavers or equivalent Council approved) and surface drained to the Council's stormwater infrastructure prior to the first occupation / commencement of use.

## Reason for condition

To ensure the safety of users of the access driveway and parking module, and that it does not detract from the amenity of users, adjoining occupiers or the environment by preventing dust, mud and sediment transport.

## ENG 5

The number of car parking spaces approved to be used on the site is Eight (8).

All parking spaces (excluding those within the garages) must be delineated by means of white or yellow lines 80mm to 100mm wide, or white or yellow pavement markers in accordance with Australian Standards AS/NZS 2890.1 2004, prior to first occupation.

## Reason for condition

To ensure the provision of parking for the use is safe and efficient.

## ENG 1

Any damage to council infrastructure resulting from the implementation of this permit, must, at the discretion of the Council:

1. Be met by the owner by way of reimbursement (cost of repair and reinstatement to be paid by the owner to the Council); or
2. Be repaired and reinstated by the owner to the satisfaction of the Council.

A photographic record of the Council's infrastructure adjacent to the subject site must be provided to the Council prior to any commencement of works.

A photographic record of the Council's infrastructure (e.g. existing property service connection points, roads, buildings, stormwater, footpaths, driveway crossovers and nature strips, including if any, pre-existing damage) will be relied upon to establish the extent of damage caused to the Council's infrastructure during construction. In the event that the owner/developer fails to provide to the Council a photographic record of the Council's infrastructure, then any damage to the Council's infrastructure found on completion of works will be deemed to be the responsibility of the owner.

Reason for condition

To ensure that any of the Council's infrastructure and/or site-related service connections affected by the proposal will be altered and/or reinstated at the owner's full cost.

ENG s3

Any excavation and earth-retaining structures (i.e. embankments, cuttings, retaining walls) and footings must be contained wholly within the property boundary, be adequately drained and must not undermine the stability and integrity of the highway reservation or neighbouring properties. Detailed design drawings and structural certificates must be submitted and approved as a Condition Endorsement prior to the issuing of any building approval to satisfy the above requirement. Detailed design and structural certificates must:

1. Be prepared and certified by a suitable qualified person and experienced engineer;
2. Be designed in accordance with AS 4678-2002, *Earth-retaining Structures*;
3. Take into account any additional surcharge loadings as required by relevant Australian Standards;
4. Take into account and reference accordingly any Geotechnical findings;

5. Detail any mitigation measures required; and
6. Detail the design and location of the excavation, earth-retaining structures and footings adjacent to the highway reservation and property boundaries;

The structure certificated and/or drawings should note accordingly the above

All work required by this condition must be undertaken in accordance with the approved select design drawing and structural certificates.

*Advice:*

*This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.*

Reason for condition

To ensure that the stability and integrity of the Council's highway reservation and neighbouring properties are not compromised by the development.

ENV 2

Sediment and erosion control measures, in accordance with an approved soil and water management plan (SWMP), must be installed prior to the commencement of work and maintained until such time as all disturbed areas have been stabilised and/or restored or sealed to the Council's satisfaction.

A SWMP must be submitted as a Condition Endorsement prior to the issue of any approval under the *Building Act 2016* or the commencement of work, whichever occurs first. The SWMP must be prepared in accordance with the Soil and Water Management on Building and Construction Sites fact sheets (Derwent Estuary Program, 2008), available [here](#).

All work required by this condition must be undertaken in accordance with the approved SWMP.



*Advice:*

*This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.*

Reason for condition

To avoid the pollution and sedimentation of roads, drains and natural watercourses that could be caused by erosion and runoff from the development.

### **ADVICE**

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

### **BUILDING PERMIT**

You may need building approval in accordance with the *Building Act 2016*. Click [here](#) for more information.

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

### **PLUMBING PERMIT**

You may need plumbing approval in accordance with the *Building Act 2016*, *Building Regulations 2016* and the National Construction Code. Click [here](#) for more information.

### **NEW SERVICE CONNECTION**

Please contact the Hobart City Council's City Amenity Division to initiate the application process for your [new stormwater connection](#).

**STORM WATER**



Please note that in addition to a building and/or plumbing permit, development must be in accordance with the Hobart City Council's Infrastructure By law. Click [here](#) for more information.

**WORK WITHIN THE HIGHWAY RESERVATION**

Please note development must be in accordance with the Hobart City Council's Infrastructure By law. Click [here](#) for more information.

**FEES AND CHARGES**

Click [here](#) for information on the Council's fees and charges.

- |               |   |
|---------------|---|
| Attachment A: | PLN-21-687 - 30 COPLEY ROAD LENA VALLEY<br>TAS 7008 - Planning Committee or Delegated<br>Report ↓  |
| Attachment B: | PLN-21-687 - 30 COPLEY ROAD LENA VALLEY<br>TAS 7008 - CPC Agenda Documents ↓                     |

**APPLICATION UNDER HOBART INTERIM PLANNING SCHEME 2015**

Type of Report:	Committee
Committee:	21 March 2022
Expiry Date:	18 April 2022
Application No:	PLN-21-687
Address:	30 COPLEY ROAD , LENA VALLEY
Applicant:	DANIJEL DJEKANOVIC (ORAMATYIS STUDIO) 212 ELIZABETH STREET
Proposal:	Four Multiple Dwellings (One Existing, Three New) and Associated Works
Representations:	Three representations.
Performance criteria:	General Residential Zone Development Standards, Parking and Access Code

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**1. Executive Summary**

- 1.1 Planning approval is sought for four multiple dwellings (one existing, three new) and associated works, at 30 Copley Road, Lenah Valley.
- 1.2 More specifically the proposal includes:
  - construction of three additional dwellings on the above property to the rear of the existing dwelling. The proposed dwellings would be two storey and have generally similar floor layouts with a garage, rumpus room, and two bedrooms on the lower level and a master bedroom and open plan living/dining/kitchen area on the upper level.
  - A driveway on the eastern boundary of the site would provide vehicular access to the proposed dwellings. A pedestrian access is proposed alongside this driveway. Vehicular access to the existing dwelling would be via an existing driveway. Existing services for the site would be upgraded to allow for the proposed development.
- 1.3 The proposal relies on performance criteria to satisfy the following standards and codes:
  - 1.3.1 10.0 General Residential Zone - Privacy for all dwellings, Waste storage for multiple dwellings

- 1.3.2 E6.0 Parking and Access Code - Design of vehicular access, vehicular passing areas along an access, Layout of parking areas
- 1.4 Three (3) representations objecting to the proposal were received within the statutory advertising period between 15 February and 1 March 2022.
- 1.5 The proposal is recommended for approval subject to conditions.
- 1.6 The final decision is delegated to the City Planning Committee because Council received more than two representations (but less than five representations) regarding the proposal .

## 2. Site Detail

- 2.1 The site is a larger residential property within the Lenah Valley area. The property is on a cul-de-sac at the end of Copley Road. The property has frontage to the cul-de-sac on its northern boundary, is wedge shaped, and has an area of 2137m<sup>2</sup>. The dwelling on the property is within the northern part closest to the frontage, leaving an area of vegetated private open space to the rear. The property slopes downward from its rear boundary toward the frontage.
- 2.2 There are established residential areas to the north and north-west of the site. The adjoining property to the east of the site is also a larger residential property but the adjoining properties to the west are smaller in area. The land to the south of the site, on the opposite side of a shared private access, is mostly bushland.
- 2.3 Council's Development Engineer visited the site on 2 March 2022.



Figure 1: aerial view of site (outlined in blue) and surrounding area.

**3. Proposal**

3.1 Planning approval is sought for four multiple dwellings (one existing, three new) and associated works, at 30 Copley Road, Lenah Valley.

3.2 More specifically the proposal includes:

- construction of three additional dwellings on the above property to the rear of the existing dwelling. The proposed dwellings would be two storey and have generally similar floor layouts with a garage, rumpus room, and two bedrooms on the lower level and a master bedroom and open plan living/dining/kitchen area on the upper level.
- A driveway on the eastern boundary of the site would provide vehicular access to the proposed dwellings. A pedestrian access is proposed alongside this driveway. Vehicular access to the existing dwelling would be via an existing driveway. Existing services for the site would be upgraded to allow for the proposed development.



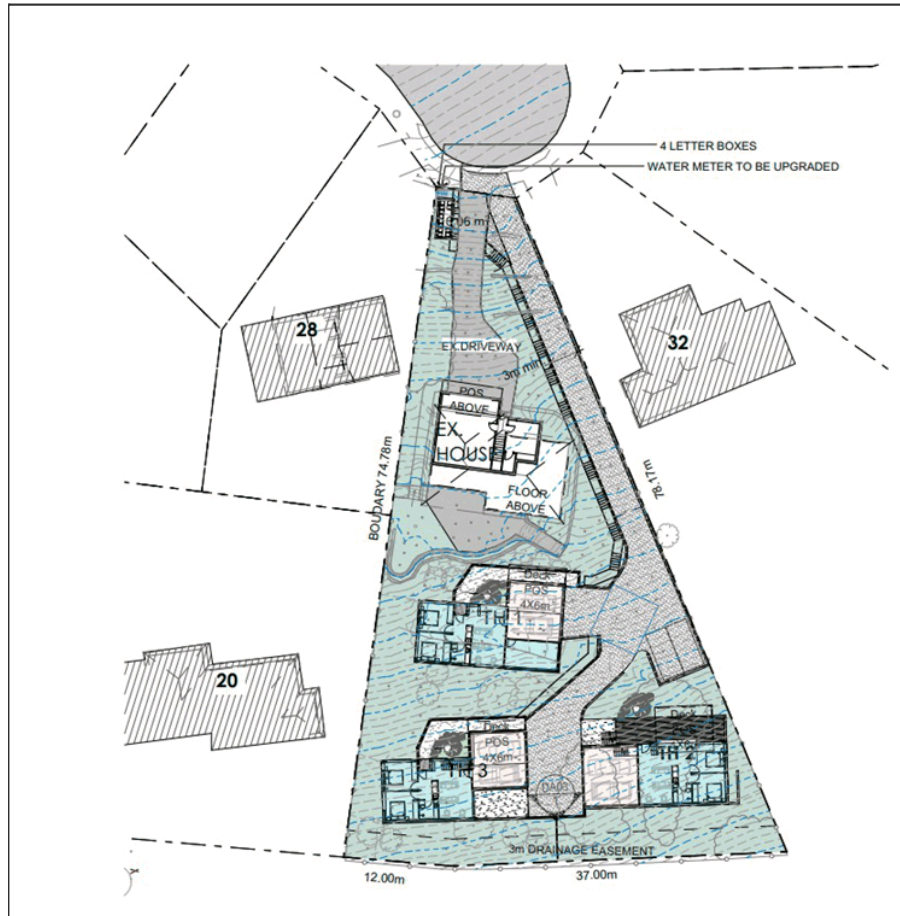


Figure 2: Proposed site plan.

#### 4. Background

- 4.1 Council's records indicate that it refused a planning application for a subdivision of the site in 2005 (see PLN-05-00562-01). The reasons for refusal included inconsistency with the zone objectives and desire future character statements that were relevant at the time, as well as access and servicing concerns.
- 4.2 Council issued a Planning Permit for a home occupation on the site in January 2008 (see PLN-07-01449-01).

- 4.3 Council received an application for development similar to that currently proposed in August 2020 (PLN-20-493). This application was withdrawn after it was advertised as the applicant was advised that the proposed access and car parking arrangements would not be supported by Council's Development Engineer. The layout of buildings on the site in the current application is similar to that in the previous application but the configuration of driveways and parking areas has been changed in response to the concerns raised by the Development Engineer.
- 4.4 There is currently a second dwelling under construction at the rear of 32 Copley Road, pursuant to PLN-19-809.

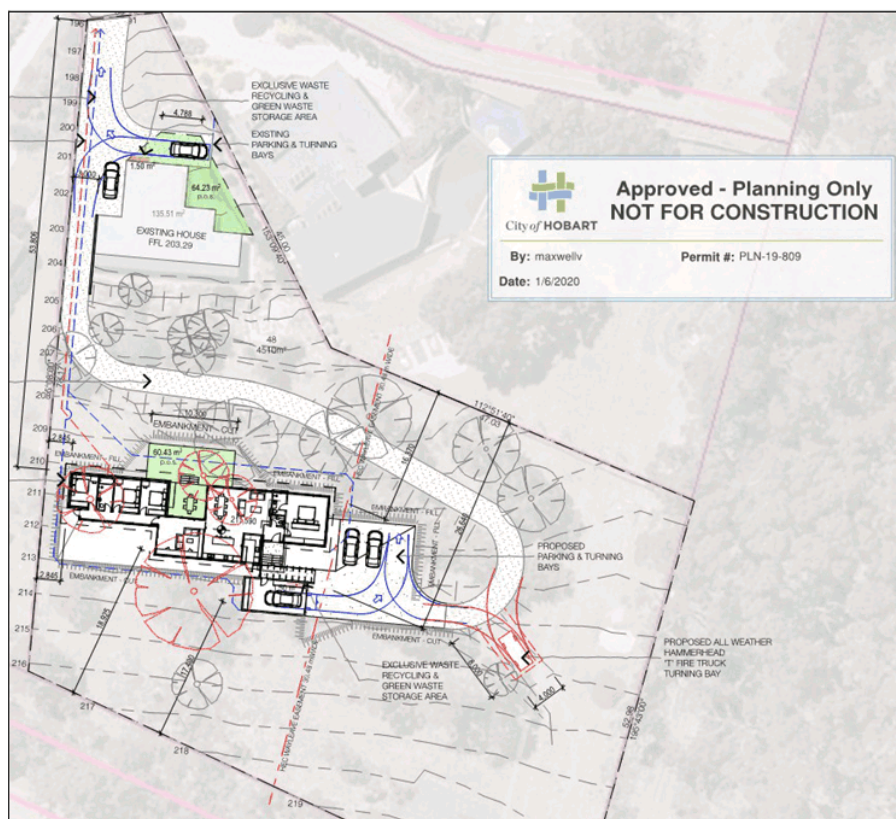


Figure 3: Site plan of the under construction dwelling at 32 Copley Road, which is the neighbouring to the east of the subject site.

## 5. Concerns raised by representors

- 5.1 Three (3) representations objecting to the proposal were received within the statutory advertising period.



- 5.2 The following table outlines the concerns raised in the representations received. Those concerns which relate to a discretion invoked by the proposal are addressed in Section 6 of this report.

"during works association with construction of three new dwellings, there will be significant traffic flow issues in and near the cul-de-sac".
"when constructed and occupied, the three new dwellings will bring significant street parking issues in and near the cul-de-sac (evidenced by current lack of street parking in and near the cul-de-sac) which consequently will:
<ul style="list-style-type: none"> <li>• potentially, if not likely, cause vehicles to park close to driveways and thus obstruct access to properties</li> <li>• potentially, if not likely, obstruct the heavy vehicles involved in weekly kerbside waste collection".</li> </ul>
"If this proposal is approved, along with the already approved additional dwelling at number 32, there would be 11 dwellings with 7 driveways. This would mean that the traffic loading would increase to 160%. Putting further pressure on an already congested cul-de-Sac".
"- There is already insufficient space for everyone to put their bins out in front of their property boundaries. - It's not clear where an extra 6 bins will be put out without further encroaching on the neighbours?"
"For parking, but particularly for rubbish bins, there is literally nowhere for these extra three dwellings to put their bins, except on other neighbouring properties (which is not acceptable)".
"As most of these driveways are very steep, and they are all quite close together, it is already quite dangerous coming out of driveways, as you can't always see all the driveways. There are lots of children here also, so adding in extra driveways and people, will increase the danger of someone being hit by cars reversing out of driveways".

## 6. Assessment

- 6.1 The *Hobart Interim Planning Scheme 2015* is a performance based planning scheme. To meet an applicable standard, a proposal must demonstrate compliance with either an acceptable solution or a performance criterion. Where a proposal complies with a standard by relying on one or more performance criteria,

the Council may approve or refuse the proposal on that basis. The ability to approve or refuse the proposal relates only to the performance criteria relied on.

6.2 The site is located within the General Residential Zone of the *Hobart Interim Planning Scheme 2015*.

6.3 The existing use is a single dwelling within the planning scheme Residential use class. The proposed use is for multiple dwellings which are also within this use class. Both the existing and proposed uses are permitted uses in the above zone.

6.4 The proposal has been assessed against:

6.4.1 10.0 General Residential Zone

6.4.2 E6.0 Parking and Access Code

6.4.3 E7.0 Stormwater Management Code

6.5 The proposal relies on the following performance criteria to comply with the applicable standards:

6.5.1 10.0 General Residential Zone:

*10.4.6 Privacy for all dwellings P1 and P3,*  
*10.4.8 Waste storage for multiple dwellings P1.*

6.5.2 E6.0 Parking and Access Code:

*E6.7.2 Design of Vehicular Accesses,*  
*E6.7.3 Vehicular Passing Areas Along an Access,*  
*E6.7.5 Layout of Parking Areas.*

6.6 Each relevant performance criterion is assessed below.

6.7 *10.4.6 Privacy for all dwellings P1*

6.7.1 The acceptable solution A1 at clause *10.4.6* requires a deck that has a finished surface more than 1m above existing ground level to have a permanently fixed, 1.7m high screen along the sides facing a dwelling on the same site, unless the deck is not less than 6m from a window to a habitable room of the other dwelling.

6.7.2 The proposal includes an elevated deck that would be less than 6m from

the windows to a habitable room of another dwelling on the site. The deck proposed on the upper level of the dwelling labelled "TH 3" would be less than 6m from habitable room windows within the southern elevation of the dwelling labelled "TH 1".

- 6.7.3 The proposal does not comply with the above acceptable solution and therefore relies upon assessment against the below performance criterion.

- 6.7.4 The performance criterion P1 at clause 10.4.6 provides as follows:

*A balcony, deck, roof terrace, parking space or carport for a dwelling (whether freestanding or part of the dwelling) that has a finished surface or floor level more than 1m above existing ground level, must be screened, or otherwise designed, to minimise overlooking of:*

- (a) a dwelling on an adjoining property or its private open space; or  
(b) another dwelling on the same site or its private open space.*

- 6.7.5 The windows within the southern elevation of TH1, that would be less than 6m from the deck proposed on the upper level of TH3, include windows to living areas on the upper level and a rumpus room on the lower of this dwelling. The living area windows would be highlight windows with a sill height of approximately 1.5m above finished floor level. Therefore, these windows are unlikely to be affected by potential overlooking from the deck proposed for the TH3. However, the window proposed for the rumpus room on the ground floor of TH1 would be larger and there may therefore be some potential for overlooking of this window from the TH3 deck.

- 6.7.6 It is noted that the separation between these elements is close to that required by the above acceptable solution, i.e. the minimum separation between the rumpus room window and the deck is approximately 5.8m. Therefore, it is considered that while additional measures are required to ensure that overlooking is minimised, these measures may be limited. A condition of approval should be included upon any Planning Permit issued for the development which requires the TH3 deck to be screened or the sill height of the rumpus room window to be increased in order to minimise overlooking.

- 6.7.6 The proposal complies with the above performance criterion.

- 6.8 10.4.6 Privacy for all dwellings P3

- 6.8.1 The acceptable solution A3 at clause 10.4.6 requires a shared driveway to be separated from a window to a habitable room by a horizontal distance of not less than 1m, if the window has a sill height of not less than 1.7m above the shared driveway.
- 6.8.2 The proposal includes a shared driveway that would be less than 1m from habitable room windows. Habitable room windows within dwellings TH2 and TH3 would be less than 1m from the end of the proposed shared driveway.
- 6.8.3 The proposal does not comply with the above acceptable solution and therefore relies upon assessment against the below performance criterion.
- 6.8.4 The performance criterion P3 at clause 10.4.6 provides as follows:
- A shared driveway or parking space (excluding a parking space allocated to that dwelling), must be screened, or otherwise located or designed, to minimise unreasonable impact of vehicle noise or vehicle light intrusion to a habitable room of a multiple dwelling.*
- 6.8.5 The relevant TH 2 habitable room window is a bedroom window on the first floor that would have a sill height of approximately 1.2m above finished floor level. This window is unlikely to be affected by vehicle light intrusion as it would not be in the direction of travel of vehicles using the proposed driveway. The relevant TH 3 habitable room windows are relatively large windows to the living area proposed on the first floor of the dwelling. While these windows would be in the direction of travel of vehicles using the driveway, they would be at an angle to this and therefore unlikely to be significantly affected by vehicle light intrusion.
- 6.8.6 Given that dwellings TH 2 and TH 3 are at the end of the proposed driveway, that the manoeuvring area between these dwellings would be relatively level, and that the adjacent car parking spaces are proposed within internal garages, vehicle noise is not considered likely to have an unreasonable impact upon these dwellings.
- 6.8.7 The proposal complies with the above performance criterion.
- 6.9 10.4.8 Waste storage for multiple dwellings P1
- 6.9.1 The acceptable solution at clause 10.4.8 requires multiple dwellings to have a storage area, for waste and recycling bins, that has a setback of

not less than 4.5m from a frontage.

- 6.9.2 The proposal includes a storage area for waste and recycling bins that would have a setback of less than 4.5m from the site frontage.
- 6.9.3 The proposal does not comply with the above acceptable solution and therefore relies upon assessment against the below performance criterion.
- 6.9.4 The performance criterion at clause 10.4.8 provides as follows:

*A multiple dwelling must have storage for waste and recycling bins that is:*

- (a) capable of storing the number of bins required for the site;*
- (b) screened from the frontage and dwellings; and*
- (c) if the storage area is a common storage area, separated from dwellings on the site to minimise impacts caused by odours and noise.*

- 6.9.5 The submitted site plan indicates that the proposed storage area for waste and recycling would be capable of storing up to 12 bins. The area is therefore considered to be capable of storing the number of bins required for the site, as it would allow for three bins for each of the proposed and existing dwellings. The Garbage Storage Plan provided (drawing DA04) shows that the storage area would be enclosed by a concrete block wall that would be at least 1.2m high. This wall would screen the area from the site frontage and from nearby dwellings. The proposed storage area would be separated from the nearest dwelling by a distance of approximately 8.5m which is considered adequate to minimise impacts caused by the odours and noise.

- 6.9.6 The proposal complies with the above performance criterion.

6.10 *E6.7.2 Design of Vehicular Accesses*

- 6.10.1 The acceptable solution at clause E6.7.2 requires the design of a non-commercial vehicle access point to comply with section 3 – “Access Facilities to Off-street Parking Areas and Queuing Areas” of AS/NZS 2890.1:2004 *Parking Facilities Part 1: Off-street car parking*.
- 6.10.2 The proposal includes an access point that does not comply with the above section of the Australian Standard.

- 6.10.3 The proposal does not comply with the above acceptable solution and therefore relies upon assessment against the below performance criterion.
- 6.10.4 The performance criterion at clause E6.7.2 provides as follows:
- Design of vehicle access points must be safe, efficient and convenient, having regard to all of the following:*
- (a) avoidance of conflicts between users including vehicles, cyclists and pedestrians;*
- (b) avoidance of unreasonable interference with the flow of traffic on adjoining roads;*
- (c) suitability for the type and volume of traffic likely to be generated by the use or development;*
- (d) ease of accessibility and recognition for users.*
- 6.10.5 Council's Development Engineer has assessed the proposed access arrangements against the above performance criterion and provided the following comments:
- "Condition on planning permit to address fence transparency for sight lines in order to promote a safe, efficient and convenient use of the driveway accesses".
  - "Based on the above assessment and given the submitted documentation, sight lines that may be accepted under Performance Criteria P1, E6.7.2 of the Planning Scheme. Given the location of the access and driveway, and the low volume of traffic on the road from which the property gains access".
  - "Surrounding properties exhibit similar access provisions".
- 6.10.6 The proposal complies with the above performance criterion.
- 6.11 *E6.7.3 Vehicular Passing Areas Along an Access*
- 6.11.1 The acceptable solution at clause E6.7.3 requires vehicular passing areas to be provided at intervals of no more than 30m if an access serves more than five car parking spaces and is more than 30m long.
- 6.11.2 The proposal includes an access that would serve more than five car parking spaces and would be more than 30m long but would not have vehicular passing areas at intervals of no more than 30m.
- 6.11.3 The proposal does not comply with the above acceptable solution and

therefore relies upon assessment against the below performance criterion.

- 6.11.4 The performance criterion at clause E6.7.3 provides as follows:

*Vehicular passing areas must be provided in sufficient number, dimension and siting so that the access is safe, efficient and convenient, having regard to all of the following:*

- (a) avoidance of conflicts between users including vehicles, cyclists and pedestrians;*
- (b) avoidance of unreasonable interference with the flow of traffic on adjoining roads;*
- (c) suitability for the type and volume of traffic likely to be generated by the use or development;*
- (d) ease of accessibility and recognition for users.*

- 6.11.5 Council's Development Engineer has assessed the proposed access arrangements against the above performance criterion and provided the following comments:

"Based on the above assessment and given the submitted documentation, vehicle passing areas may be accepted under Performance Criteria P1, E6.7.3 of the Planning Scheme given the design is certified by a suitably qualified person... the driveway configuration, and the low volume of traffic".

- 6.11.6 The proposal complies with the above performance criterion.

6.12 E6.7.5 Layout of Parking Areas

- 6.12.1 The acceptable solution at clause E6.7.5 requires the layout of car parking spaces to comply with section 2 "Design of Parking Modules, Circulation Roadways and Ramps" of AS/NZS 2890.1:2004 *Parking Facilities Part 1: Off-street car parking*.

- 6.12.2 The proposal includes car parking spaces that do not comply with the above section of the Australian Standard.

- 6.12.3 The proposal does not comply with the above acceptable solution and therefore relies upon assessment against the below performance criterion.

- 6.12.4 The performance criterion at clause E6.7.5 provides as follows:

*The layout of car parking spaces, access aisles, circulation roadways and ramps must be safe and must ensure ease of access, egress and manoeuvring on-site.*

- 6.12.5 Council's Development Engineer has assessed the proposed car parking layout against the above performance criterion and provided the following comment:

"Submitted documentation appears to meet these parameters and after re-design will be accepted under Performance Criteria P1, E6.7.5 given the driveway configuration".

- 6.12.6 The proposal complies with the above performance criterion.

## 7. Discussion

- 7.1 Planning approval is sought for four multiple dwellings (one existing, three new) and associated works, at 30 Copley Road, Lenah Valley.
- 7.2 The application was advertised and received three representations. The representations raised concern regarding potential traffic impacts during construction of the proposed development and concern regarding waste management arrangements for the development. Traffic impacts during construction of a development are temporary and beyond what is considered in the planning scheme. The concerns raised in the representations regarding construction vehicles blocking access within the Copley Road cul-de-sac have been forwarded to Council's Parking Operations section. Similarly, the impact of waste bin collection is also beyond what is considered in the planning scheme, so the concerns raised in the representations regarding this issue have been raised with Council's Waste Services Officer.
- 7.3 The proposal has been assessed against the relevant provisions of the planning scheme and is considered to comply.
- 7.4 The proposal has been assessed by other Council officers, including the Council's Development Engineer. The officers have raised no objection to the proposal, subject to conditions.
- 7.5 The proposal is recommended for approval.



**8. Conclusion**

- 8.1 The proposed four multiple dwellings (one existing, three new) and associated works, at 30 Copley Road, Lenah Valley, satisfies the relevant provisions of the *Hobart Interim Planning Scheme 2015* and is recommended for approval.

## 9. Recommendations

That: Pursuant to the *Hobart Interim Planning Scheme 2015*, the City Planning Committee, in accordance with the delegations contained in its terms of reference, approve the application for four multiple dwellings (one existing, three new) and associated works, at 30 Copley Road, Lenah Valley, for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

### GEN

**The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-21-687 - 30 COPLEY ROAD LENA VALLEY TAS 7008 - Final Planning Documents except where modified below.**

Reason for condition

To clarify the scope of the permit.

### TW

**The use and/or development must comply with the requirements of TasWater as detailed in the form Submission to Planning Authority Notice, Reference No. TWDA 2021/01759-HCC dated 20/10/2021 as attached to the permit.**

Reason for condition

To clarify the scope of the permit.

### PLN 2

**Either:**

- a) The balcony on the first floor of dwelling TH 3 must be screened to at least 1.5m above finished deck level and 33% uniform transparency, or otherwise designed, to minimise overlooking of habitable room windows of dwelling TH1, or,**
- b) The sill height of the rumpus room window within the southern elevation of dwelling TH1 must be increased to a least 1.5m above finished floor level to minimise overlooking from the dwelling TH3 balcony.**

Prior to the issue of any approval under the *Building Act 2016*, revised plans must be submitted and approved as a Condition Endorsement that demonstrate compliance either of the above requirements. All work required by this condition must be undertaken in accordance with the approved revised plans.

*Advice:*

- *This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.*
- *Screening for the TH 3 balcony may include the provision of a solid or opaque balustrade.*

Reason for condition

To provide reasonable opportunity for privacy for dwellings.

#### **ENG sw6**

All stormwater from the proposed development (including hardstand runoff) must be discharged to the Council's stormwater infrastructure with sufficient receiving capacity prior to first occupation. All costs associated with works required by this condition are to be met by the owner.

Design drawings and calculations of the proposed stormwater drainage and connections to the Council's stormwater infrastructure must be submitted and approved prior to the commencement of work. The design drawings and calculations must:

1. prepared by a suitably qualified person; and
2. include long section(s)/levels and grades to the point of discharge.

All work required by this condition must be undertaken in accordance with the approved design drawings and calculations.

*Advice:*

*The applicant is advised to submit detailed design drawings and calculations as part of their Plumbing Permit Application. If detailed design to satisfy this condition is submitted via the planning condition endorsement process there may be fees associated with the assessment, and once approved the applicant will still need to obtain a plumbing permit for the works.*

Reason for condition

To ensure that stormwater from the site will be discharged to a suitable Council approved outlet.

**SW 9**

**Prior to occupancy of the development, stormwater pre-treatment and detention for stormwater discharges from the development must be installed.**

**A stormwater management report and design must be submitted and approved prior to the issue of any approval under the *Building Act 2016* or the commencement of work on the site (whichever occurs first). The stormwater management report and design must be prepared by a suitably qualified engineer and must:**

- 1. include detailed design of the proposed treatment train, including final estimates of contaminant removal;**
- 2. include detailed design and supporting calculations of the detention tank showing:**
  - 1. detention tank sizing such that there is no increase in flows from the developed site up to 5% AEP event and no worsening of flooding;**
  - 2. the layout, the inlet and outlet (including long section), outlet size, overflow mechanism and invert level;**
  - 3. the discharge rates and emptying times; and,**
  - 4. all assumptions must be clearly stated.**
- 3. include a supporting maintenance plan, which specifies the required maintenance measures to check and ensure the ongoing effective operation of all systems, such as:**
  - 1. inspection frequency;**
  - 2. cleanout procedures;**
  - 3. descriptions and diagrams of how the installed systems operate; and,**
  - 4. details of the life of assets and replacement requirements.**

**All work required by this condition must be undertaken and maintained in accordance with the approved stormwater management report and design.**

*Advice: This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.*

**ENG 2a**

Prior to first occupation of the development, vehicular barriers compliant with the Australian Standard AS/NZS 1170.1:2002 must be installed to prevent vehicles running off the edge of an access driveway or parking module (parking spaces, aisles and manoeuvring area) where the drop from the edge of the trafficable area to a lower level is 600mm or greater, and wheel stops (kerb) must be installed for drops between 150mm and 600mm. Barriers must not limit the width of the driveway access or parking and turning areas approved under the permit.

*Advice:*

*The Council does not consider a slope greater than 1 in 4 to constitute a lower level as described in AS/NZS 2890.1:2004 Section 2.4.5.3. Slopes greater than 1 in 4 will require a vehicular barrier or wheel stop.*

*Designers are advised to consult the [National Construction Code 2016](#) to determine if pedestrian handrails or safety barriers compliant with the Code are also required in the parking module this area may be considered as a path of access to a building.*

Reason for condition

To ensure the safety of users of the access driveway and parking module and compliance with the standard.

**ENG 2b**

**Further detailed designs are required for vehicle barriers. The detailed designs must identify the following:**

1. **All requirements for Vehicle Crash Barriers Identified,**
2. **Type of vehicle crash barriers proposed for the site with construction details.**

**This documentation must be submitted and approved as a condition endorsement, prior to the issue of any approval under the *Building Act 2016*.**

**The detailed designs must:**

1. **be prepared and certified by a suitably qualified engineer;**
2. **be in accordance with the Australian Standard AS/NZS 1170.1:2002, if possible; and**

3. **show dimensions, levels, gradients, transitions, and other details as Council deem necessary to satisfy the above requirement.**

**The vehicle barriers must be installed in accordance with the approved detailed designs prior to first occupation.**

*Advice:*

*This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.*

Reason for condition

To ensure the safety of users of the access driveway and parking module and compliance with the standard.

#### **ENG 2c**

**Prior to the first occupation, a suitably qualified engineer must certify that the vehicle barriers have been installed in accordance with the design drawings approved by Condition ENG 2b.**

*Advice:*

*An example certificate is available on our [website](#).*

Reason for condition

To ensure the safety of users of the access driveway and parking module and compliance with the relevant standards.

#### **ENG 3a**

**The access driveway and parking area must be constructed in accordance with the following documentation which forms part of this permit: Driveway Plan / DA-21-54425 / REV B / 24/09/2021 received by Council on the 11th of October 2021.**

**Any departure from that documentation and any works which are not detailed in the documentation must be either:**

**(a) approved by the Director City Life, via a condition endorsement application; or**

**(b) designed and constructed in accordance with Australian Standard AS/NZ 2890.1:2004.**

**The works required by this condition must be completed prior to first occupation.**

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

#### **ENG 3c**

**Prior to first occupation, a suitably qualified engineer must certify that the access driveway and parking area has been constructed in accordance with design drawings submitted on the 11th of October "Driveway Plans" referenced in ENG 3a.**

*Advice:*

*We strongly encourage you to speak to your engineer before works begin so that you can discuss the number and nature of the inspections they will need to do during the works in order to provide this certification. It may be necessary for a surveyor to also be engaged to ensure that the driveway will be constructed as approved.*

*The reason this condition has been imposed as part of your planning permit is that the driveway is outside the Australian Standard gradients or design parameters. If the driveway is not constructed as it has been approved then this may mean that the driveway will either be unsafe or will not function properly.*

*An example certificate is available on our [website](#).*

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

#### **ENG 4**

**The access driveway and parking module (car parking spaces, aisles and manoeuvring area) approved by this permit must be constructed to a sealed standard (spray seal, asphalt, concrete, pavers or equivalent Council approved) and surface drained to the Council's stormwater infrastructure prior**

to the first occupation / commencement of use.

Reason for condition

To ensure the safety of users of the access driveway and parking module, and that it does not detract from the amenity of users, adjoining occupiers or the environment by preventing dust, mud and sediment transport.

#### **ENG 5**

The number of car parking spaces approved to be used on the site is **Eight (8)**.

All parking spaces (excluding those within the garages) must be delineated by means of white or yellow lines 80mm to 100mm wide, or white or yellow pavement markers in accordance with Australian Standards AS/NZS 2890.1 2004, prior to first occupation.

Reason for condition

To ensure the provision of parking for the use is safe and efficient.

#### **ENG 1**

Any damage to council infrastructure resulting from the implementation of this permit, must, at the discretion of the Council:

1. **Be met by the owner by way of reimbursement (cost of repair and reinstatement to be paid by the owner to the Council); or**
2. **Be repaired and reinstated by the owner to the satisfaction of the Council.**

A photographic record of the Council's infrastructure adjacent to the subject site must be provided to the Council prior to any commencement of works.

A photographic record of the Council's infrastructure (e.g. existing property service connection points, roads, buildings, stormwater, footpaths, driveway crossovers and nature strips, including if any, pre-existing damage) will be relied upon to establish the extent of damage caused to the Council's infrastructure during construction. In the event that the owner/developer fails to provide to the Council a photographic record of the Council's infrastructure, then any damage to the Council's infrastructure found on completion of works will be deemed to be the responsibility of the owner.



## Reason for condition

To ensure that any of the Council's infrastructure and/or site-related service connections affected by the proposal will be altered and/or reinstated at the owner's full cost.

**ENG s3**

**Any excavation and earth-retaining structures (i.e. embankments, cuttings, retaining walls) and footings must be contained wholly within the property boundary, be adequately drained and must not undermine the stability and integrity of the highway reservation or neighbouring properties.**

**Detailed design drawings and structural certificates must be submitted and approved as a Condition endorsement prior to the issuing of any building approval to satisfy the above requirement. Detailed design and structural certificates must:**

- 1. Be prepared and certified by a suitable qualified person and experienced engineer;**
- 2. Be designed in accordance with AS 4678, Earth-Retaining Structures;**
- 3. Take into account any additional surcharge loadings as required by relevant Australian Standards;**
- 4. Take into account and reference accordingly any Geotechnical findings;**
- 5. Detail any mitigation measures required; and**
- 6. Detail the design and location of the excavation, earth-retaining structures and footings adjacent to the highway reservation and property boundaries;**

**The structure certificated and/or drawings should note accordingly the above**

**All work required by this condition must be undertaken in accordance with the approved select design drawing and structural certificates.**

*Advice:*

*This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.*

## Reason for condition

To ensure that the stability and integrity of the Council's highway reservation and neighbouring properties are not compromised by the development.

**ENV 2**

**Sediment and erosion control measures, in accordance with an approved soil and water management plan (SWMP), must be installed prior to the commencement of work and maintained until such time as all disturbed areas have been stabilised and/or restored or sealed to the Council's satisfaction.**

**A SWMP must be submitted as a Condition Endorsement prior to the issue of any approval under the *Building Act 2016* or the commencement of work, whichever occurs first. The SWMP must be prepared in accordance with the Soil and Water Management on Building and Construction Sites fact sheets (Derwent Estuary Program, 2008), available [here](#).**

**All work required by this condition must be undertaken in accordance with the approved SWMP.**

*Advice: This condition requires further information to be submitted as a Condition Endorsement. Refer to the Condition Endorsement advice at the end of this permit.*

**Reason for Condition**

To avoid the pollution and sedimentation of roads, drains and natural watercourses that could be caused by erosion and runoff from the development.

**ADVICE**

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

**BUILDING PERMIT**

You may need building approval in accordance with the *Building Act 2016*. Click [here](#) for more information.

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

**PLUMBING PERMIT**

You may need plumbing approval in accordance with the *Building Act 2016*, *Building Regulations 2016* and the National Construction Code. Click [here](#) for more information.

**NEW SERVICE CONNECTION**

Please contact the Hobart City Council's City Amenity Division to initiate the application process for your [new stormwater connection](#).

**STORM WATER**

Please note that in addition to a building and/or plumbing permit, development must be in accordance with the Hobart City Council's Infrastructure By law. Click [here](#) for more information.

**WORK WITHIN THE HIGHWAY RESERVATION**

Please note development must be in accordance with the Hobart City Council's Infrastructure By law. Click [here](#) for more information.

**FEES AND CHARGES**

Click [here](#) for information on the Council's fees and charges.



(Adam Smee)

**Development Appraisal Planner**

*As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.*



(Ben Ikin)


**Senior Statutory Planner**

*As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.*

Date of Report: 10 March 2022


**Attachment(s):**

Attachment B - CPC Agenda Documents

 PLN-21-687 - 30 COPLEY ROAD

## Application Information

### ▼ Application Details

PLN-21-687 Four Multiple Dwellings (One Existing, Three New) and Associated Works 

Submitted on: 11/10/2021  
Accepted as Valid on: 11/10/2021  
Target Time Frame: 42 Days.  
Elapsed Time: 122 Days (*Stopped: 105 Days*) = 17 Days Expiry date: 07/03/2022  
Officer: Adam Smee

### Have you obtained pre application advice?

☒ Yes

If YES please provide the pre application advice number eg PAE-17-xx

PLN20493

Are you applying for permitted visitor accommodation as defined by the State Government Visitor Accommodation Standards? Click on help information button for definition. If you are not the owner of the property you MUST include signed confirmation from the owner that they are aware of this application. \*

☒ No

Is the application for SIGNAGE ONLY? If yes, please enter \$0 in the cost of development, and you must enter the number of signs under Other Details below. \*

☒ No

If this application is related to an enforcement action please enter Enforcement Number

### Details

What is the current approved use of the land / building(s)? \*

RESIDENTIAL

Please provide a full description of the proposed use or development (i.e. demolition and new dwelling, swimming pool and garage) \*

PROPOSED THREE DWELLINGS ON EEXISTING

Estimated cost of development \*

750000.00

Existing floor area (m2)

200.00

Proposed floor area (m2)

693.00

Site area (m2)

2137

### Carparking on Site

Total parking spaces

10

Existing parking spaces

2

N/A

☒ Other (no selection chosen)

### Other Details

Does the application include signage? \*

No

How many signs, please enter 0 if there are none involved in this application? \*

0

Tasmania Heritage Register

Is this property on the Tasmanian Heritage Register?

No

Edit



## Submission to Planning Authority Notice

<b>Council Planning Permit No.</b>	PLN-21-687	<b>Council notice date</b>	13/10/2021
<b>TasWater details</b>			
<b>TasWater Reference No.</b>	TWDA 2021/01759-HCC	<b>Date of response</b>	20/10/2021
<b>TasWater Contact</b>	Timothy Carr	<b>Phone No.</b>	0419 306 130
<b>Response issued to</b>			
<b>Council name</b>	CITY OF HOBART		
<b>Contact details</b>	coh@hobartcity.com.au		
<b>Development details</b>			
<b>Address</b>	30 COPLEY RD, LENA VALLEY	<b>Property ID (PID)</b>	7862017
<b>Description of development</b>	Multiple Dwellings x 4 (3 new + 1 ex)		
<b>Schedule of drawings/documents</b>			
<b>Prepared by</b>	<b>Drawing/document No.</b>	<b>Revision No.</b>	<b>Date of Issue</b>
Oramatis Studio	Site Location Plan – DA02	B	05/10/2021
<b>Conditions</b>			
<p>Pursuant to the <i>Water and Sewerage Industry Act 2008</i> (TAS) Section 56P(1) TasWater imposes the following conditions on the permit for this application:</p> <p><b>CONNECTIONS, METERING &amp; BACKFLOW</b></p> <ol style="list-style-type: none"> <li>1. A suitably sized water supply with metered connections and sewerage system and connections to the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit.</li> <li>2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost.</li> <li>3. Prior to commencing construction of the subdivision/use of the development, any water connection utilised for construction/the development must have a backflow prevention device and water meter installed, to the satisfaction of TasWater.</li> </ol> <p><b>DEVELOPMENT ASSESSMENT FEES</b></p> <ol style="list-style-type: none"> <li>4. The applicant or landowner as the case may be, must pay a development assessment fee of \$363.57 to TasWater, as approved by the Economic Regulator and the fee will be indexed, until the date paid to TasWater.</li> </ol> <p>The payment is required within 30 days of the issue of an invoice by TasWater.</p>			
<b>Advice</b>			
<p><b>General</b></p> <p>For information on TasWater development standards, please visit <a href="http://www.taswater.com.au/Development/Development-Standards">http://www.taswater.com.au/Development/Development-Standards</a></p> <p>For application forms please visit <a href="http://www.taswater.com.au/Development/Forms">http://www.taswater.com.au/Development/Forms</a></p> <p><b>Service Locations</b></p> <p>Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor</p>			



and/or a private contractor engaged at the developers cost to locate the infrastructure. The location of this infrastructure as shown on the GIS is indicative only.

- (a) A permit is required to work within TasWater's easements or in the vicinity of its infrastructure.  
Further information can be obtained from TasWater
- (b) TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit [www.taswater.com.au/Development/Service-location](http://www.taswater.com.au/Development/Service-location) for a list of companies
- (c) TasWater will locate residential water stop taps free of charge
- (d) Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.

#### Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

#### Authorised by

A handwritten signature in black ink, appearing to read "J. Taylor".

**Jason Taylor**  
Development Assessment Manager

#### TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au



**RESULT OF SEARCH**

RECORDER OF TITLES

*Issued Pursuant to the Land Titles Act 1980*

## SEARCH OF TORRENS TITLE

VOLUME	FOLIO
101475	49
EDITION	DATE OF ISSUE
7	20-Jan-2017

SEARCH DATE : 05-Oct-2021

SEARCH TIME : 05.17 PM

DESCRIPTION OF LAND

City of HOBART

Lot 49 on Sealed Plan 101475

Derivation : Part of 66 acres granted to John Orchard.

Prior CT 44277/1

SCHEDULE 1

E78457    TRANSFER to AZIZ ALNASSER and NESRIN HAYDAR  
Registered 20-Jan-2017 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP101475 EASEMENTS in Schedule of Easements

SP101475 COVENANTS in Schedule of Easements

SP101475 FENCING PROVISION in Schedule of Easements

E78458    MORTGAGE to Australia and New Zealand Banking Group  
Limited    Registered 20-Jan-2017 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



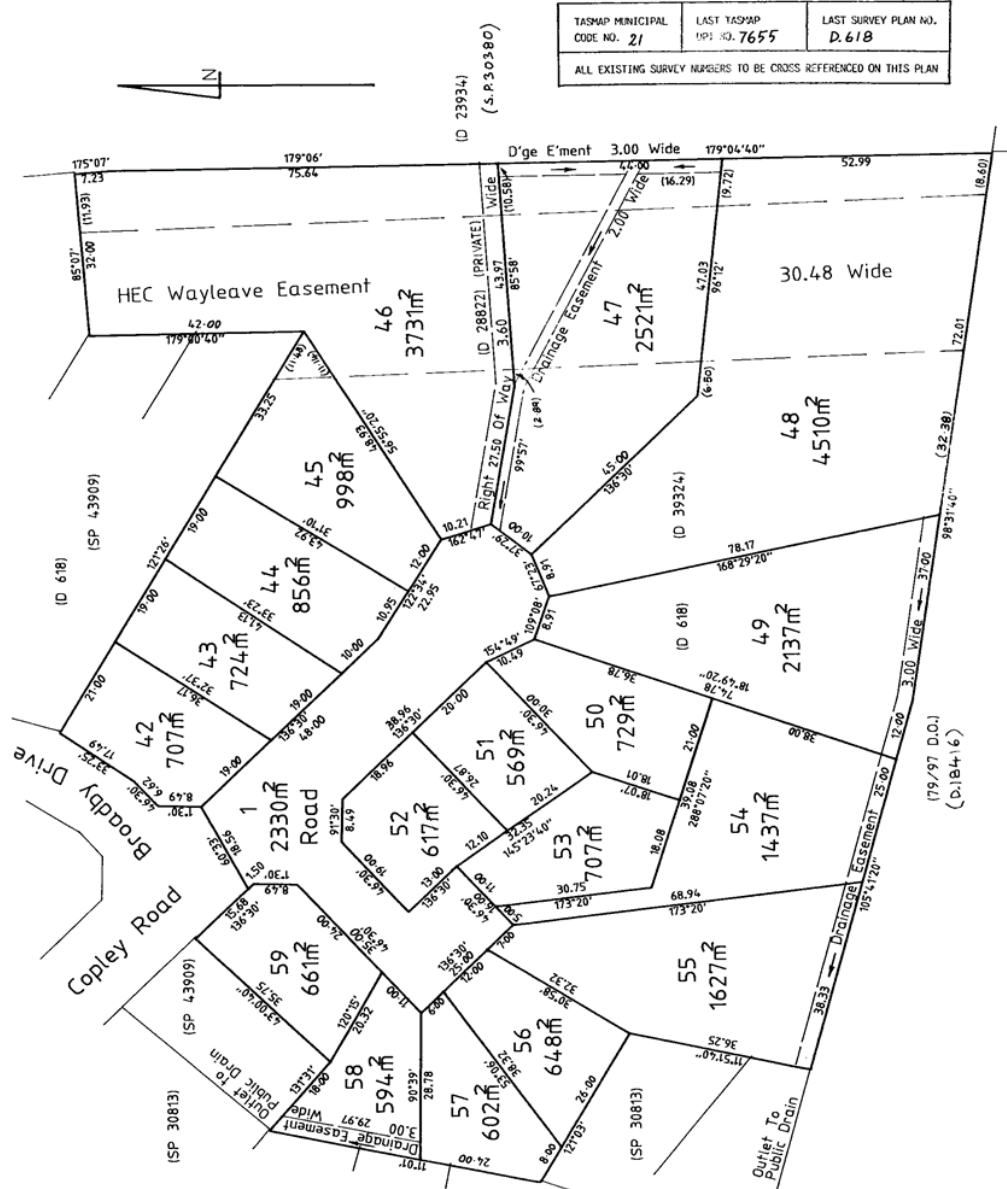
## FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



Owner: N. Griggs and K.A.Lyne	<b>PLAN OF SURVEY</b> by Surveyor J.W. McEldowney of land situated in the Griggs Leary & Co. P/L 295 Elizabeth St Hobart  <b>CITY OF HOBART</b>  SCALE 1: 750      MEASUREMENTS IN METRES	REGISTERED NUMBER  <b>SP101475</b>
Title Reference: C.T. 4585-36		Approved Effective from: 20 OCT 2022
Grantee: Part of 64/66 acres located to John Orchard		Recorder of Titles



## DRAWING REGISTER

DA01	DRAWING INDEX
DA02	B SITE LOCATION PLAN
DA03	B SITE PLAN
DA04	B GARBAGE STORAGE PLAN
DA05	LANDSCAPE PLAN
DA06	EXISTING FLOOR PLANS
DA07	A TH-1 GROUND FLOOR PLAN
DA08	A TH-1 FIRST FLOOR PLAN
DA09	A TH-2 GROUND FLOOR PLAN
DA10	B TH-2 FIRST FLOOR PLAN
DA11	A TH-3 GROUND FLOOR
DA12	A TH-3 FIRST FLOOR
DA13	EXISTING ELEVATIONS
DA14	A TH-1 ELEVATION 1
DA15	A TH-1 ELEVATION 2
DA16	B TH-2 ELEVATION 1
DA17	A TH-2 ELEVATION 2
DA18	A TH-3 ELEVATION 1
DA19	A TH-3 ELEVATION 2
DA20	A SECTION
DA21	TH-1 ROOF PLAN
DA21	A BUILDING ENVELOPE
DA22	TH-2 and TH-3 ROOF PLAN
DA22	MATERIAL LIST & SCHEDULE 1
DA23	MATERIAL LIST & SCHEDULE 2



1  
- LOCATION PLAN  
1:1000

## BUSHFIRE CONSTRUCTION NOTES (BAL 12.5)

TO COMPLY WITH SECTION 8 OF AS3099-2009, INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:

BUSHFIRE CONSTRUCTION SUMMARY  
IN ACCORDANCE WITH AS3099 (2009), SECTION 5, BAL 12.5

SUBFLOOR SUPPORTS  
NO SPECIAL REQUIREMENTS

FLOORS  
NO SPECIAL REQUIREMENTS

EXTERNAL WALLS  
PARTS LESS THAN 400MM ABOVE GROUND OR DECKS ETC. SHALL BE OF NON-COMBUSTIBLE MATERIAL, 8MM FIBRE CEMENT SHEET CLAD OR BUSHFIRE RESISTANT/NATURALLY FIRE RESISTANT TIMBER

EXTERNAL WINDOWS  
4MM GRADE A SAFETY GLASS WITHIN 400MM OF GROUND, DECK ETC. OPENABLE PORTION METAL SCREENED WITH FRAME OF METAL.

EXTERNAL DOORS  
PROTECTED BY BUSHFIRE SHUTTER, OR SCREENED WITH STEEL, BRONZE OR ALUMINIUM MESH OR GLAZED WITH 5MM TOUGHENED GLASS, NATURALLY FIRE RESISTANT HIGH DENSITY TIMBER, FOR 400MM ABOVE THRESHOLD. METAL OR NATURALLY FIRE RESISTANT HIGH-DENSITY TIMBER TO AT LEAST 400MM ABOVE GROUND, DECKING ETC. TIGHT-FITTING WEATHER STRIPS AT BASE.  
ROOFS: ROOF SHALL BE FULLY SARKED. ROOF/WALL JUNCTION SEALED. OPENINGS FITTED WITH ON-COMBUSTIBLE EMBER GUARDS. ROOF CLADDING NON-COMBUSTIBLE AS SHOWN ON DRAWINGS.

DECKS  
ENCLOSED SUB-FLOORS NO SPECIAL REQUIREMENTS. SUPPORTS WITHIN 400MM OF GROUND SHALL BE OF FIRE RESISTANT MATERIAL. DECKING SHALL BE OF NON-COMBUSTIBLE MATERIAL OR BUSHFIRE RESISTANT WITHIN 300MM HORIZONTALLY AND 400MM VERTICALLY FROM A GLAZED ELEMENT.

PLEASE NOTE  
THE INFORMATION IN THE TABLE IS A SUMMARY OF THE CONSTRUCTION REQUIREMENTS IN AS3099:2009 AND NOT INTENDED AS A DESIGN GUIDE. PLEASE CONSULT THE STANDARD FOR THE FULL TECHNICAL DETAILS.

## GENERAL NOTES

GENERAL  
© REPRODUCTION OF THIS DRAWING IS PROHIBITED WITHOUT THE CONSENT OF ORAMATIS STUDIO

DO NOT SCALE FROM THIS DRAWING

THE CONTRACTOR SHALL CONFIRM ON SITE EXISTING CONDITIONS, LEVELS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORKS

ALL DISCREPANCIES TO BE REPORTED TO THE ARCHITECT FOR INSTRUCTION

ALL LEVELS INDICATED PERTAIN TO FINISHED LEVELS AND NOT STRUCTURAL LEVELS UNLESS OTHERWISE INDICATED

MATERIALS AND WORK PRACTICES SHALL COMPLY WITH THE NATIONAL CONSTRUCTION CODE (NCC) AND OTHER RELEVANT CODES REFERRED TO IN THE NCC

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS, SPECIFICATIONS AND DRAWINGS

PROPRIETARY ITEMS, SYSTEMS AND ASSEMBLIES ARE TO BE ASSEMBLED, INSTALLED OR FIXED IN CONFORMANCE WITH THE CURRENT WRITTEN RECOMMENDATIONS AND INSTRUCTIONS OF THE MANUFACTURER OR SUPPLIER

WORKPLACE HEALTH AND SAFETY  
ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PROJECT SAFE DESIGN REPORT

ALL CONTRACTORS MUST CARRY OUT WORKS IN ACCORDANCE WITH CURRENT HEALTH AND SAFETY LEGISLATION AND BEST PRACTICE INCLUDING PREPARATION OF A CONSTRUCTION SAFETY MANAGEMENT PLAN

LAND TITLE REFERENCE  
VOLUME(PLAN): 101476  
FOLIO (LOT): 49

DESIGN WIND SPEED  
WIND LOADINGS TO AS 4055: N3

SOIL CLASSIFICATION  
SOIL CLASSIFICATION TO AS 2879: M

CLIMATE ZONE FOR THERMAL DESIGN  
CLIMATE ZONE TO BCA FIGURE 1.1.4: 7

BUSHFIRE PRONE AREA BAL RATING  
BUSHFIRE ATTACK LEVEL (BAL) TO AS 3099: 12.5

CORROSION ENVIRONMENT  
CORROSION ENVIRONMENT TO AS/NZS 2212: n/a

KNOWN SITE HAZARDS: n/a

SCHEDULE OF AREAS  
EXISTING FLOOR AREA: 126.55m<sup>2</sup>  
PROPOSED DWELLING FLOOR AREA: 164 x 3 m<sup>2</sup>  
PROPOSED SHED AREA: 1  
SITE AREA: 2127 m<sup>2</sup>

## COPLEY ROAD DEVELOPMENT MULTIPLE DWELLINGS

THIS DRAWING MUST ONLY BE READ IN FULL COLOUR

X:\2019\1952\_30 COPLEY ROAD, LENAH VALLEY\0000\_ARCHICAD\1952 DEVELOPMENT APPLICATION.pht



Oramatis Studio

212 Elizabeth Street, Hobart  
p: (03) 6284 8440  
e: admin@oramatis.com.au  
© Oramatis Studio PTY LTD  
Building Practitioner Accreditation: CC-6540

## GENERAL NOTES

Contractors shall verify all dimensions and levels on site before commencement of any work. Contractors shall clarify any discrepancies before commencement of any work. Drawings must not be scaled.  
Contractors shall submit samples and shop drawings before commencing work. All work shall be carried out in accordance with the Building Code of Australia and all relevant Australian Standards. These designs, plans, specifications and the copyright herein are the property of Oramatis Studio and must not be used, reproduced or copied wholly or in part without the written permission of Oramatis Studio.

Rev ID	Description	Date
--------	-------------	------

## PROJECT

COPLEY ROAD DEVELOPMENT  
MULTIPLE DWELLINGS  
30 Copley Road, Lenah Valley TAS 7008

## CLIENT

Aziz & Negin

## REVISION

-

## PROJECT ID

1952

## DATE

5/10/2021

## CHECKED BY

D.Djekanovic

## SCALE

As shown @ A3

## DRAWN BY

M.Gaffud

## PAGE

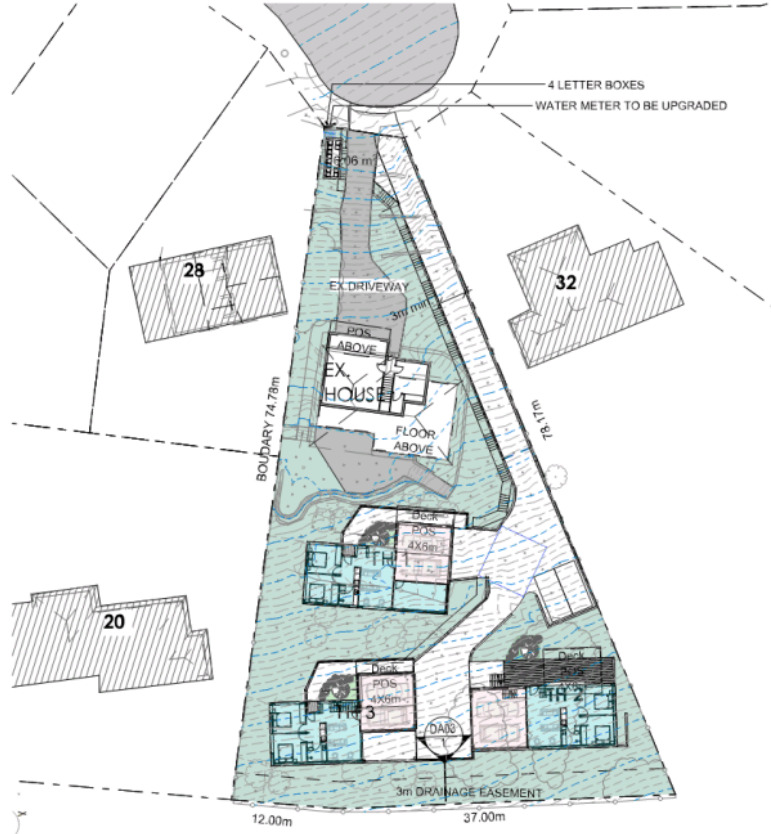
DA01

## DRAWING

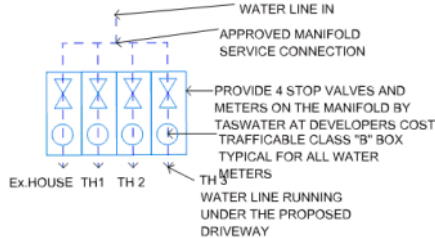
DRAWING INDEX

## NORTH





1 SITE LOCATION PLAN  
1:500





WATER METER ARRANGEMENT

SCHEDULE OF AREAS  
EXISTING HOUSE FOOTPRINT AREA: 126.55 m2  
PROPOSED UNITS FOOTPRINT AREA: 164 x 3 m2  
PROPOSED SHED AREA: 1  
SITE AREA : 2137 m3  
PROPOSED DRIVEWAY AREA: 443.62 m2  
IMPERVIOUS AREA: 1246.53 m2  
BUILDING FOOTPRINT COVERAGE 28.3%  
IMPERVIOUS SITE COVERAGE 58.3%

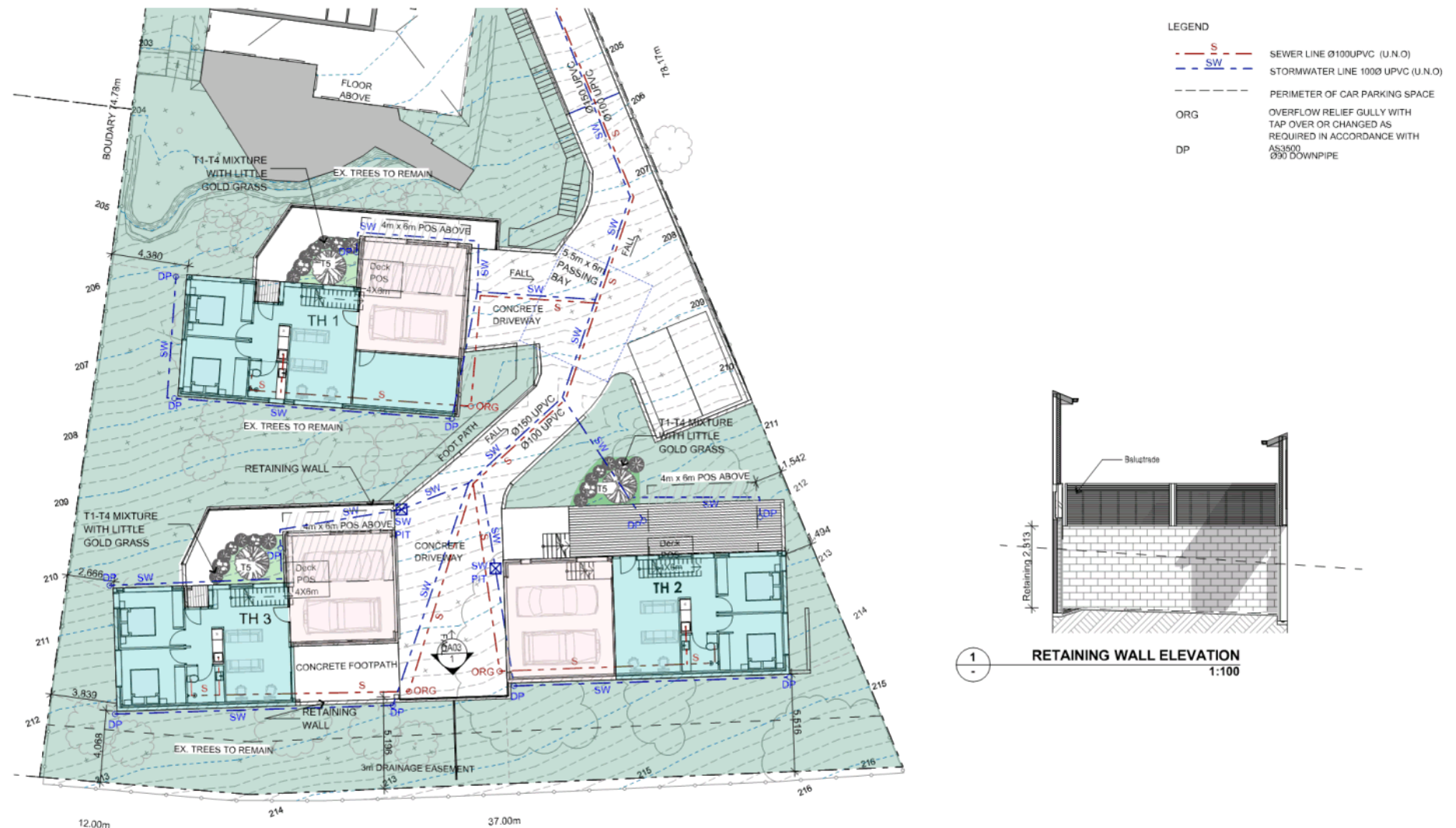
SOIL & WATER MANAGEMENT NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL EROSION AND SEDIMENT CONTROL MEASURES.
- LOCATION AND EXTEND OF CONTROLS SHOWN ON PLAN ARE INDICATIVE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING THE FINAL EXTENT AND LOCATION
- FULL SOIL EROSION AND SEDIMENT CONTROL TO SPECIFICATION (10728 ENVIRONMENTAL MANAGEMENT 2.3)
- GENERAL  
LIMIT DISTURBANCE WHEN EXCAVATING
- DIVERT UP-SLOPE STORMWATER AROUND ALL AREAS OF THE SITE THAT DO NOT HAVE A PROTECTIVE VEGETATIVE COVER.
- INSTALL SEDIMENT FENCES DOWNSLOPE, ALL DISTURBED LANDS TO FILTER COARSE SEDIMENT.
- WASH EQUIPMENT IN A DESIGNATED AREA THAT DOES NOT DRAIN INTO THE STORMWATER SYSTEM.
- PLACE STOCKPILES BEHIND A SEDIMENT FENCE AWAY FROM ON SITE DRAINAGE OR STORMWATER FLOW PATHS. INSTALL SEDIMENT FENCES DOWNSLOPE. COVER STOCKPILES WITH FABRIC, PLASTIC OR TEMPORARY GRASS COVER.
- STORE ALL HARD WASTE AND LITTER ON THE SITE IN A WAY THAT WILL PREVENT IT BEING BLOWN ONTO NEIGHBOURING LANDS OR WASHED INTO THE STORMWATER SYSTEM.
- RESTRICT VEHICLE MOVEMENTS TO A STABILISED ACCESS.
- INCORPORATE A WHEEL WASH WITH THE STABILISED SITE ACCESS. MIN. 300mm DEEP COARSE AGGREGATE WITH WASH RACK SUITABLE FOR ANTICIPATED TRAFFIC AND WEIGHT LOADS. CHANNEL RUN OFF TO A SUITABLE ON SITE SEDIMENT CONTROL MEASURE.
- ALL EMPLOYEES, SUBCONTRACTORS AND OTHERS THAT LEAVE THE SITE WITH MUD OR DIRT CAKED TYRES AND UNDERCARRIAGE TO USE THE WASH FACILITIES.
- PROTECT THE STORMWATER SYSTEM FROM BLOCKING WITH SEDIMENT AND BUILDING MATERIALS BY PLACING CONTROL MEASURES AROUND OR INSIDE ANY STORMWATER PITS ON OR BELOW THE SITE.
- MAINTENANCE  
MONITOR EROSION AND SEDIMENT CONTROL MEASURES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL EVENT.
- CONSTRUCT SERVICE TRENCHES AWAY FROM WHERE WATER IS LIKELY TO CONCENTRATE. TRY NOT TO HAVE SERVICE TRENCHES OPEN ANY LONGER THAN NECESSARY.
- PREVENT CLEAN RAINWATER RUNNING ACROSS THE SITE BY CONNECTING TO THE STORMWATER SYSTEM AS SOON AS THE ROOF IS ON THE BUILDING FRAME.
- EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE MAINTAINED ON THE SITE UNTIL SUCH TIME AS THE SITE HAS REVEGETATED SUFFICIENTLY TO MITIGATE EROSION AND SEDIMENT TRANSPORT.
- ROAD RESERVE  
NO MATERIAL OR DEBRIS IS TO BE TRANSPORTED ONTO THE ROAD RESERVE (INCLUDING THE NATURE STIRP, FOOTPATH AND ROAD PAVEMENT). ANY MATERIAL THAT IS DEPOSITED ON THE ROAD RESERVE AS A RESULT OF THE WORKS IS TO BE REMOVED BY THE CONTRACTOR.

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		A		7/07/2021	COPLEY ROAD DEVELOPMENT MULTIPLE DWELLINGS 30 Copley Road, Lenah Valley TAS 7008	-	5/10/2021	As shown @ A3	DA02	
		B	ADD FOOTPATH AND VISITOR PARK	5/10/2021	CLIENT	PROJECT ID	CHECKED BY	DRAWN BY	DRAWING	
					Aziz & Nazrin	1952	D.Djekanovic	M.Gaffud	SITE LOCATION PLAN	





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Rev ID	Description	Date
A	SHORTEN WALL BY 500 mm FOR EACH UNIT	7/07/2021
B	ADD FOOTPATH AND VISITOR PARK	5/10/2021

PROJECT  
**COPLEY ROAD DEVELOPMENT  
MULTIPLE DWELLINGS**  
30 Copley Road, Lenah Valley TAS 7008  
CLIENT  
Aziz & Negin



REVISION	DATE	SCALE
-	5/10/2021	As shown @ A3
PROJECT ID	CHECKED BY	DRAWN BY
1952	D.Djekanovic	M.Gaffud

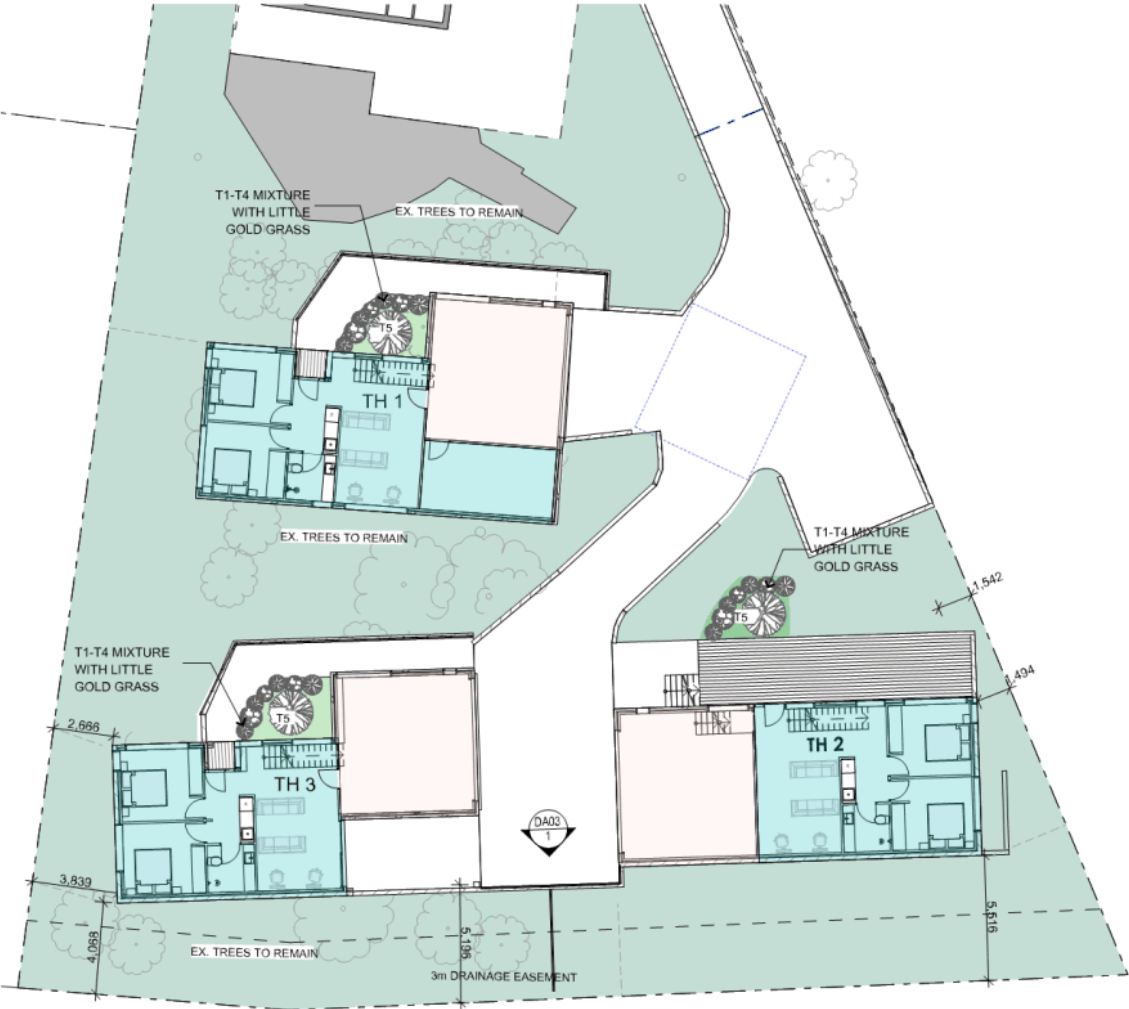
PAGE	NORTH
DA03	
DRAWING	
SITE PLAN	

PAGE \_\_\_\_\_ NORTH \_\_\_\_\_

DA04

DRAWING \_\_\_\_\_

GARBAGE STORAGE PLAN

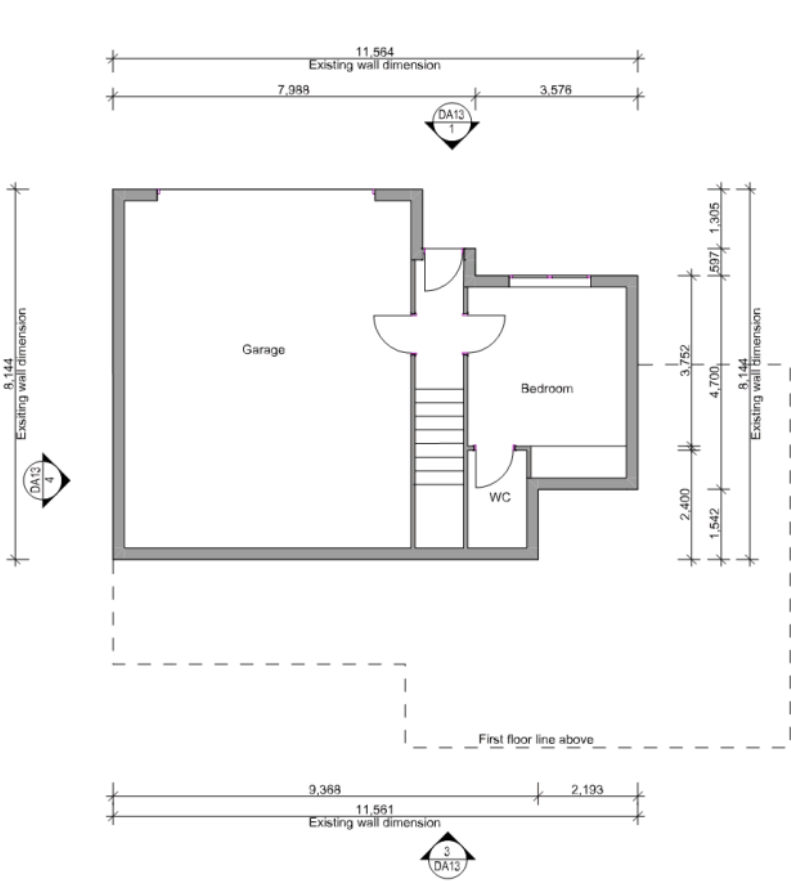


Legend			
Code	Name	Symbol	Image
11	Evergreen Baby		
12	Eskdale		
13	Isabella		
14	Katrinus Deluxe		
15	Luscious		
18	Little Gold		
	Existing landscape to remain		

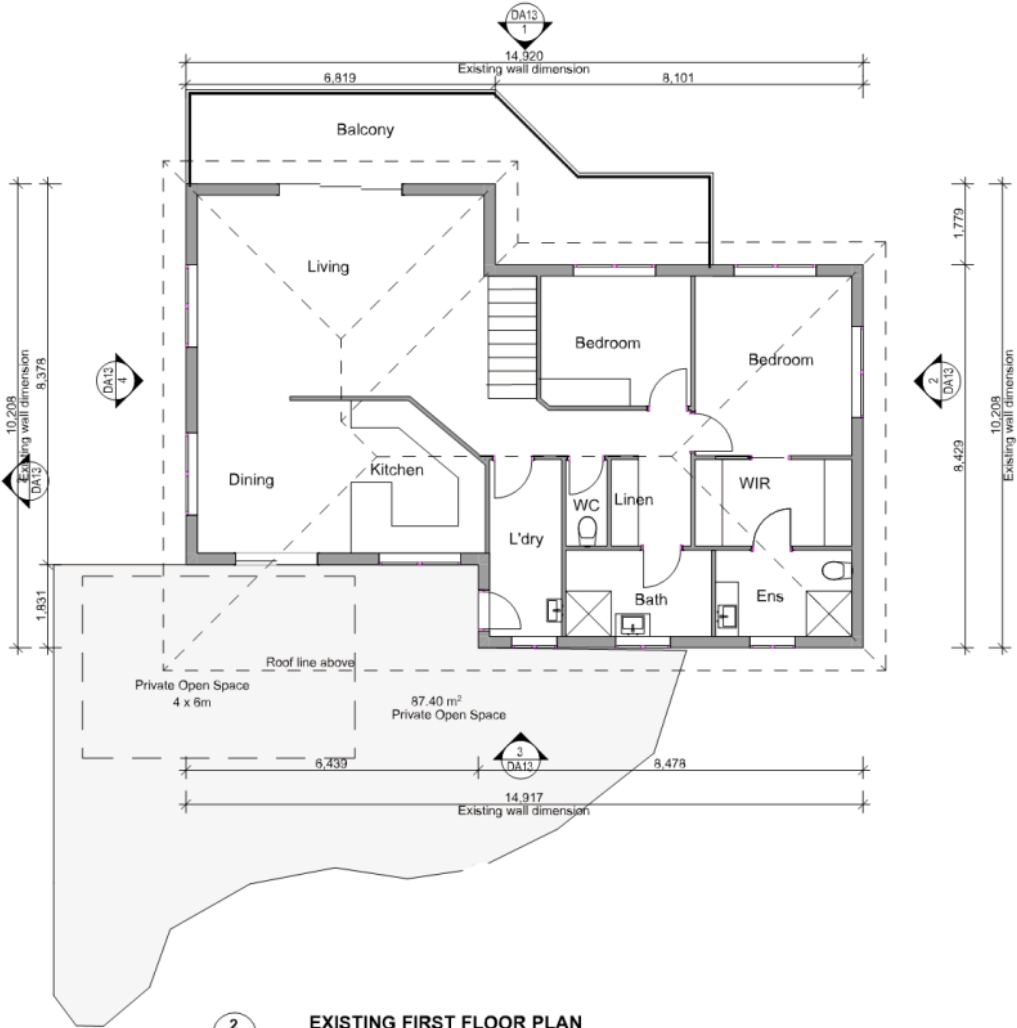
1 LANDSCAPE / SETOUT PLAN  
1:200

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	Rev ID	Description	Date											
<div>CLIENT</div> <div>Ariz &amp; Neerim</div>	<div>PROJECT ID</div> <div>1952</div>	<div>CHECKED BY</div> <div>D.Djekanovic</div>	<div>DRAWN BY</div> <div>M.Gaffud</div>	<div>DRAWING</div> <div>LANDSCAPE PLAN</div>										



1  
-  
EXISTING GROUND FLOOR PLAN  
1:100



2  
-  
EXISTING FIRST FLOOR PLAN  
1:100

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Rev ID	Description	Date
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PROJECT  
COPLEY ROAD DEVELOPMENT  
MULTIPLE DWELLINGS  
30 Copley Road, Lenah Valley TAS 7008

CLIENT  
Aziz & Naeem

REVISION

-

PROJECT ID  
1952

DATE

5/10/2021

CHECKED BY  
D.Djekanovic

SCALE

As shown @ A3

DRAWN BY  
M.Gaffud

PAGE

DA06

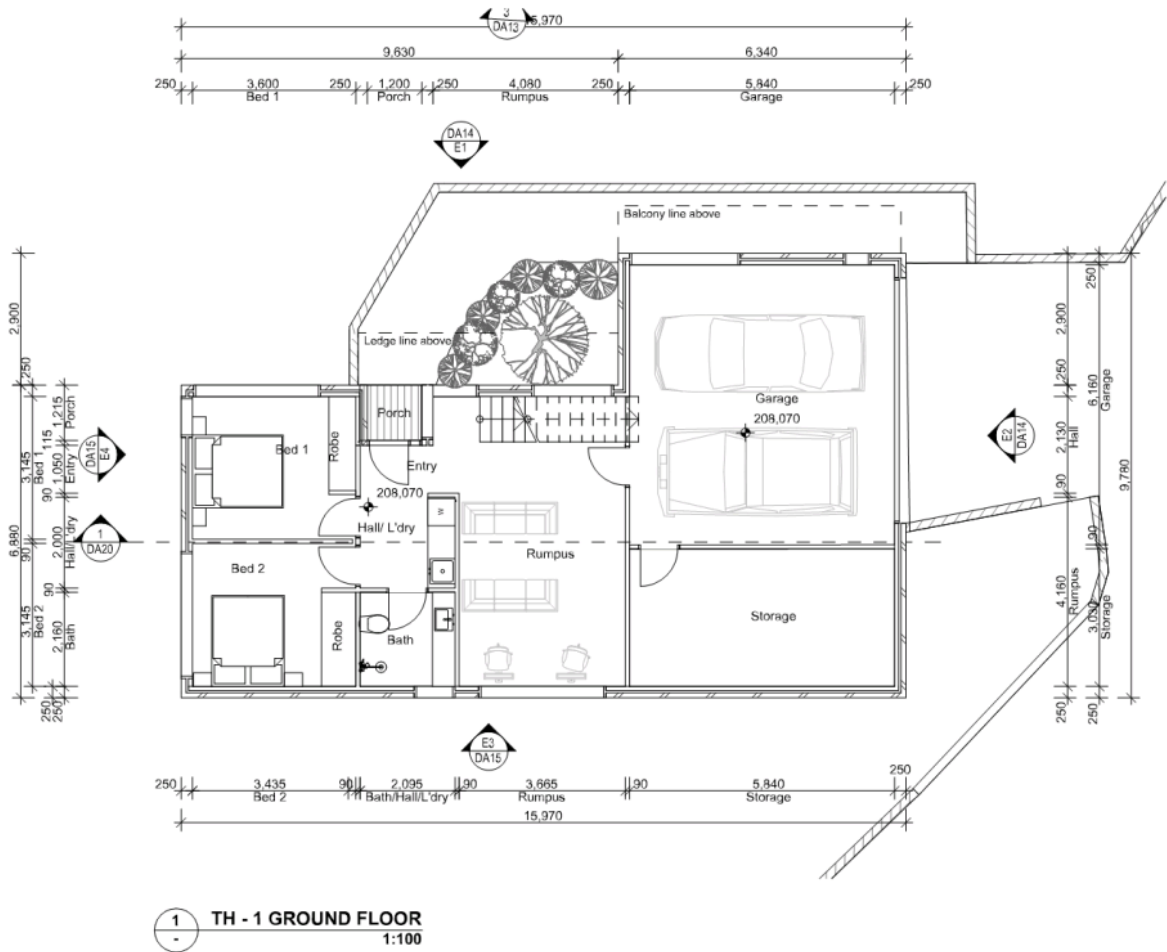
DRAWING

EXISTING FLOOR PLANS



NORTH

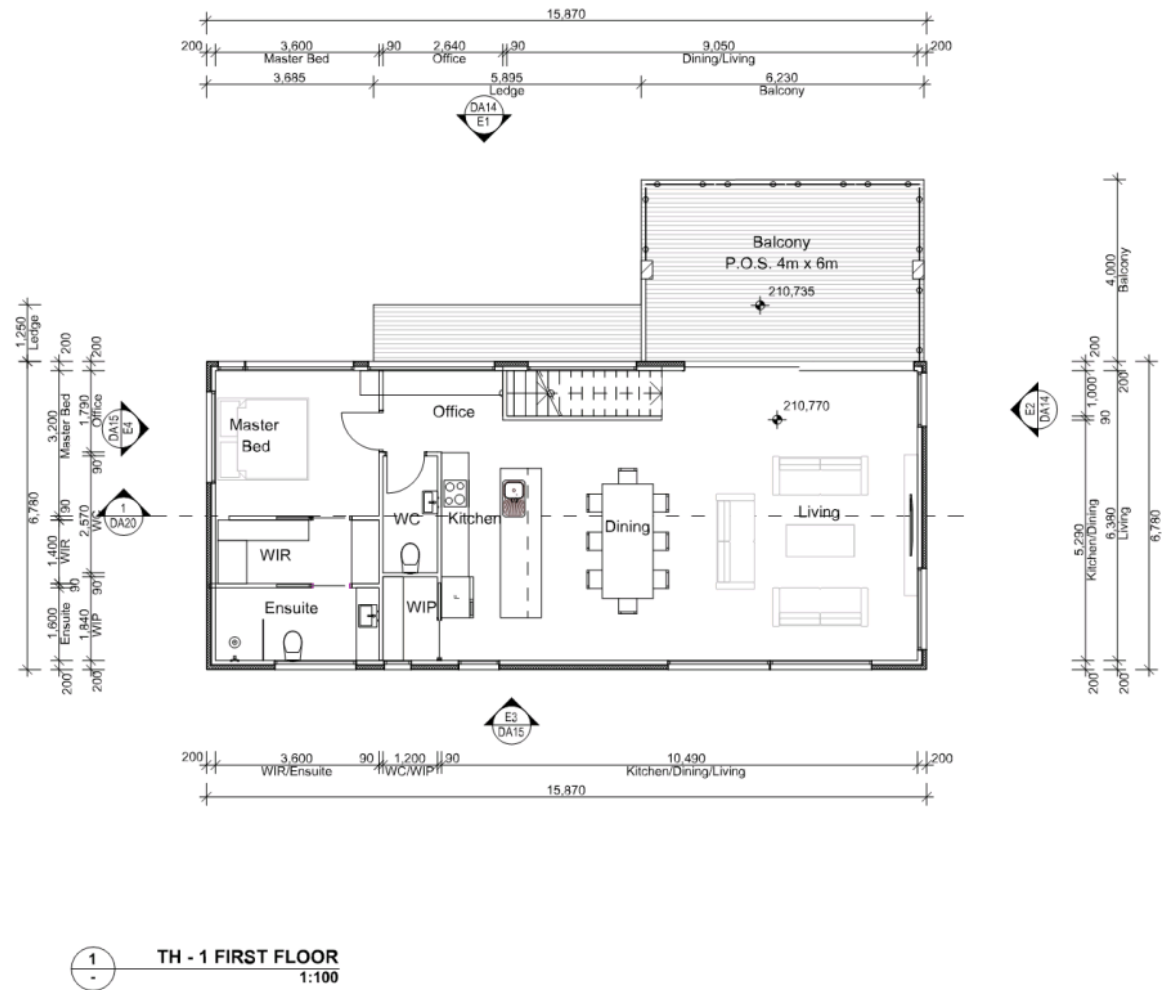










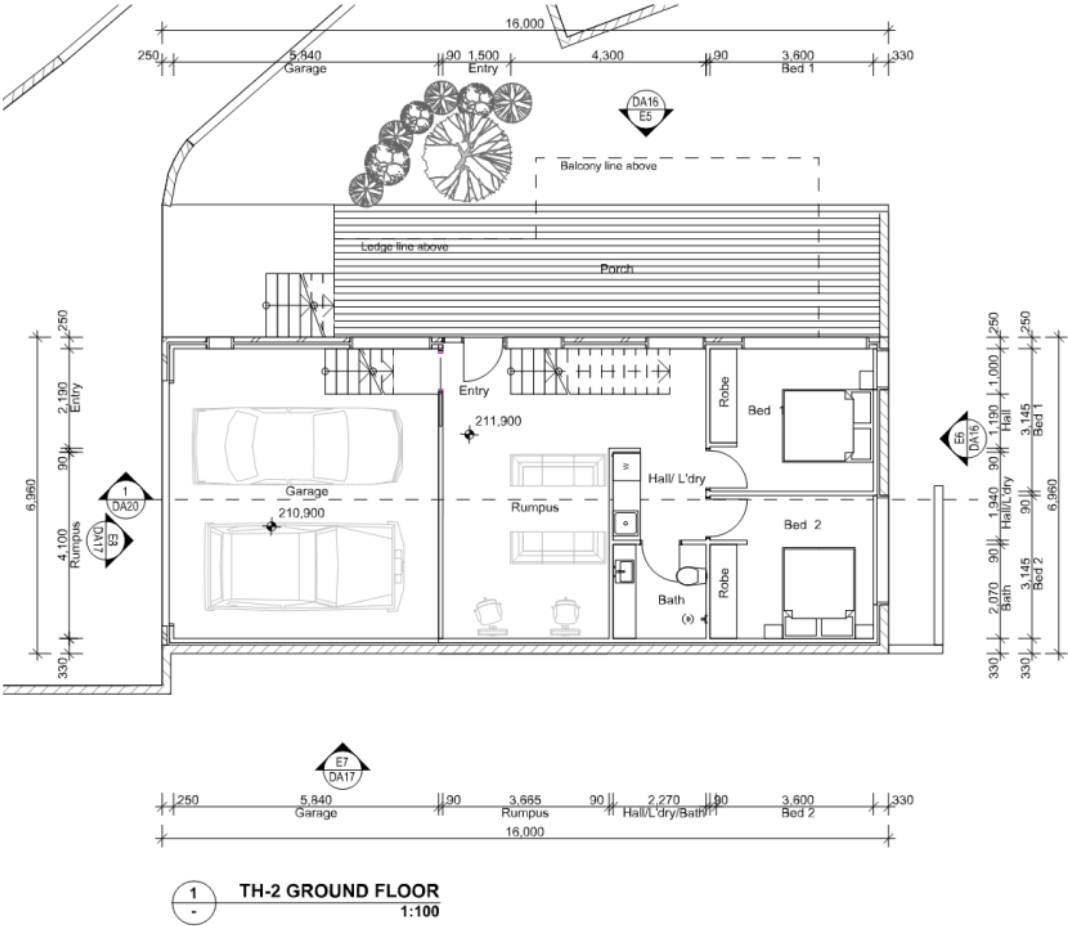
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				Aziz & Negin	1952	D.Djekanovic	M.Gaffud		TH-1 GROUND FLOOR PLAN	





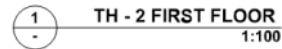
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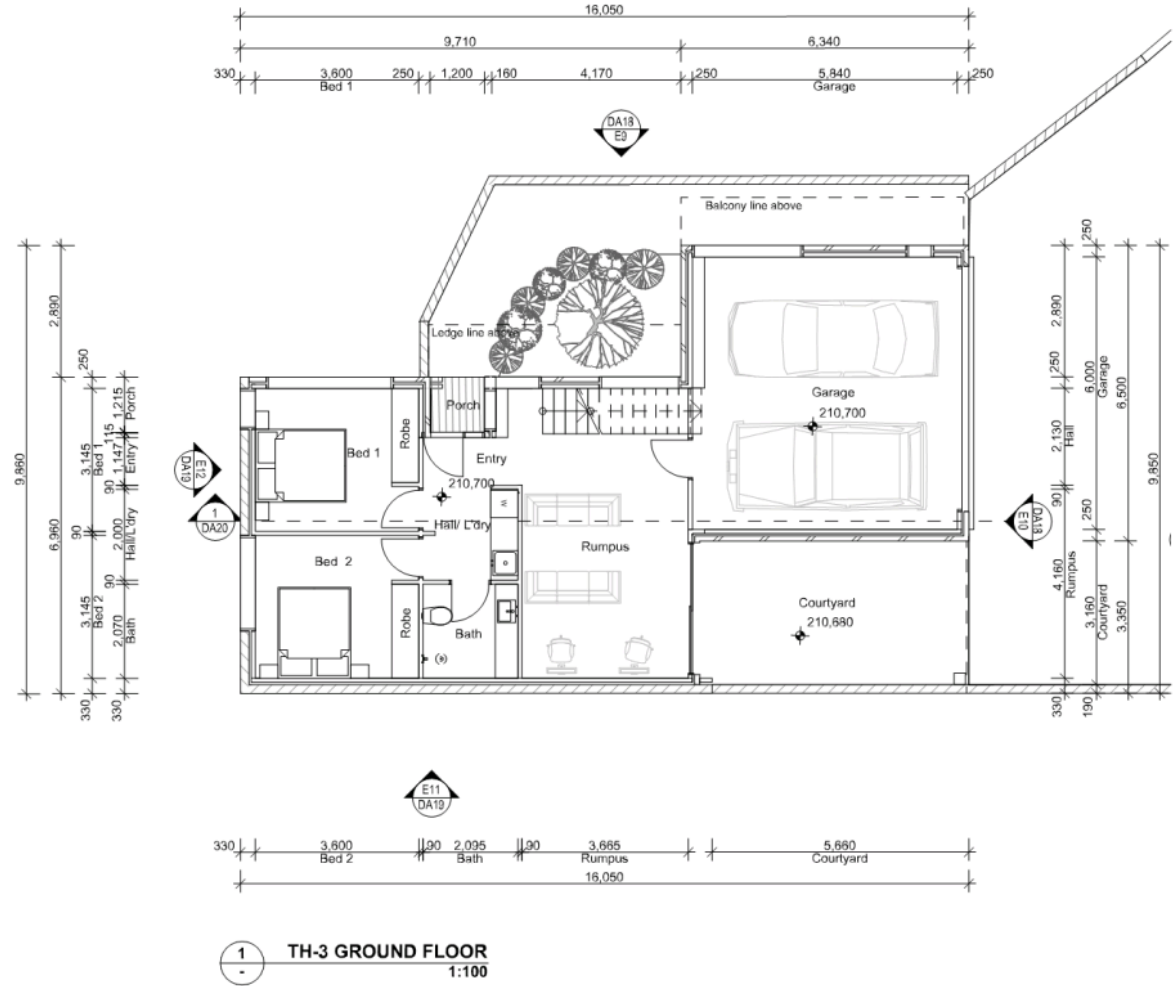
 <b>Oramatis Studio</b> 212 Elizabeth Street, Hobart p: (03) 6284 8440 e: admin@oramatis.com.au © Oramatis Studio PTY LTD Building Practitioner Accreditation: CC:6540	<b>GENERAL NOTES:</b>  Contractors shall verify all dimensions and levels on site before commencement of any work. Contractors shall clarify any discrepancies before commencement of any work. Drawings must not be copied. Contractors shall submit samples and shop drawings before commencing work. All work shall be carried out in accordance with the Building Code of Australia and all relevant Australian Standards. These designs, plans, specifications and the copyright herein are the property of Oramatis Studio and must not be used, reproduced or copied wholly or in part without the written permission of Oramatis Studio.	<table><tr><th>Rev ID</th><th>Description</th><th>Date</th></tr><tr><td>A</td><td>SHORTEN WALL BY 500 mm FOR EACH UNIT</td><td>7/07/2021</td></tr></table>	Rev ID	Description	Date	A	SHORTEN WALL BY 500 mm FOR EACH UNIT	7/07/2021	<table><tr><th>PROJECT</th><th>REVISION</th><th>DATE</th></tr><tr><td><b>COPLEY ROAD DEVELOPMENT</b> <b>MULTIPLE DWELLINGS</b> 30 Copley Road, Lenah Valley TAS 7008</td><td>-</td><td>5/10/2021</td></tr></table>	PROJECT	REVISION	DATE	<b>COPLEY ROAD DEVELOPMENT</b> <b>MULTIPLE DWELLINGS</b> 30 Copley Road, Lenah Valley TAS 7008	-	5/10/2021	<table><tr><th>SCALE</th></tr><tr><td>As shown @ A3</td></tr></table>	SCALE	As shown @ A3	<table><tr><th>PAGE</th></tr><tr><td>DA08</td></tr></table>	PAGE	DA08	<table><tr><th>NORTH</th></tr><tr><td></td></tr></table>	NORTH	
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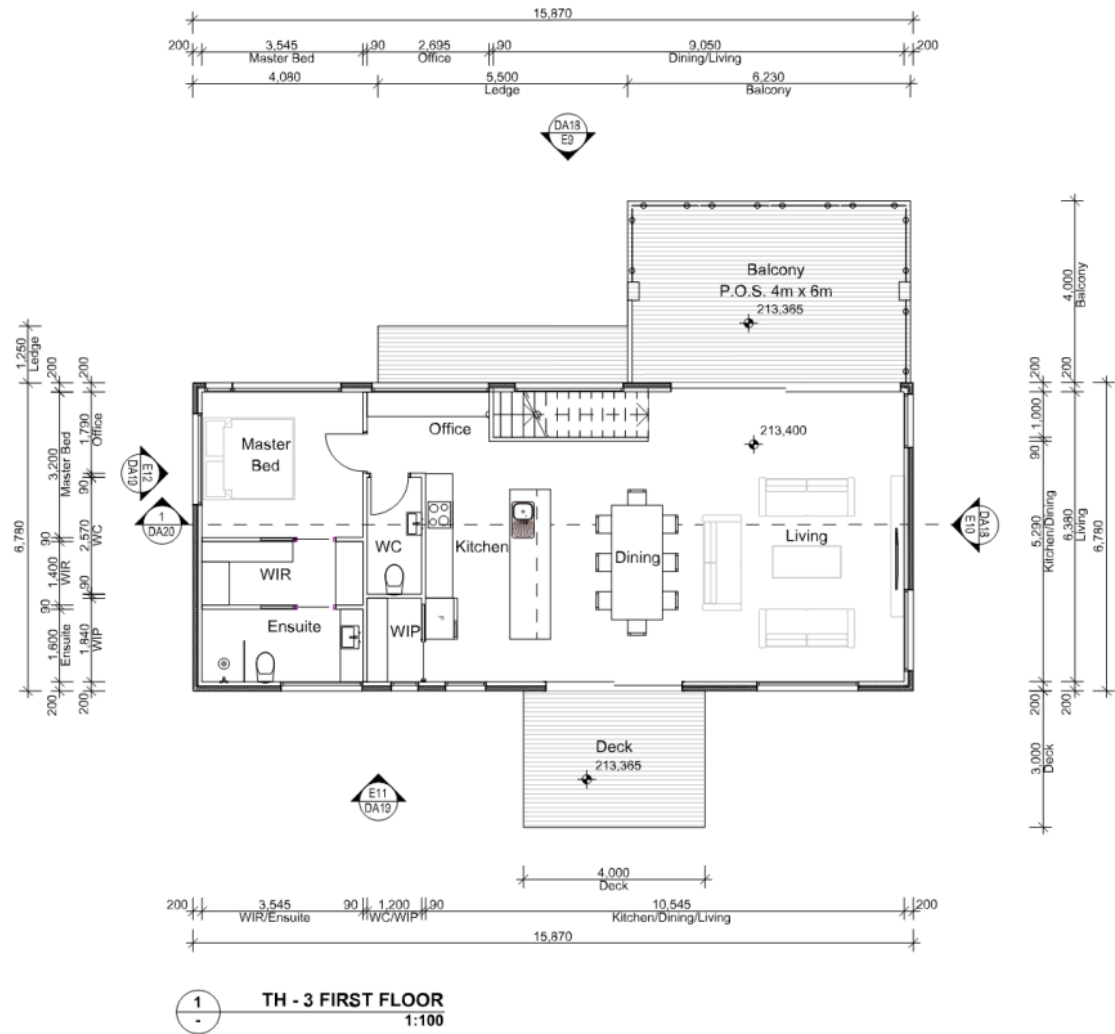
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<b>CLIENT</b> Aziz & Negin	<b>PROJECT ID</b> 1952	<b>CHECKED BY</b> D.Djekanovic	<b>DRAWN BY</b> M.Gaffud	<b>DRAWING</b> TH-2 GROUND FLOOR PLAN										






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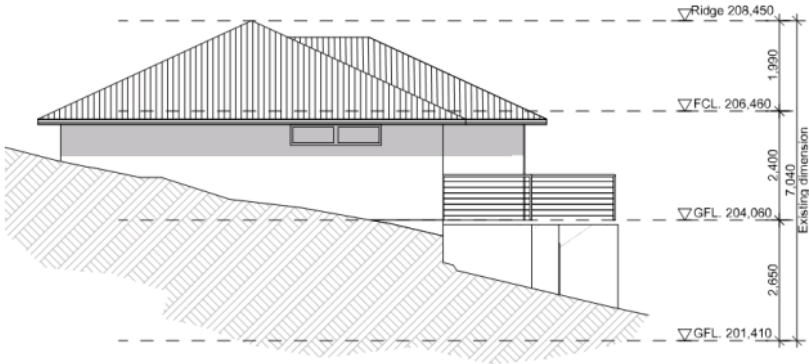
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CLIENT	PROJECT ID	CHECKED BY	DRAWN BY
Aziz & Nazrin	1952	D.Djekanovic	M.Gaffud

PAGE	NORTH
DA12	
DRAWING	
TH-3 FIRST FLOOR	



1  
-  
EXISTING NORTH ELEVATION  
1:100



2  
-  
EXISTING EAST ELEVATION  
1:100




3  
-  
EXISTING SOUTH ELEVATION  
1:100

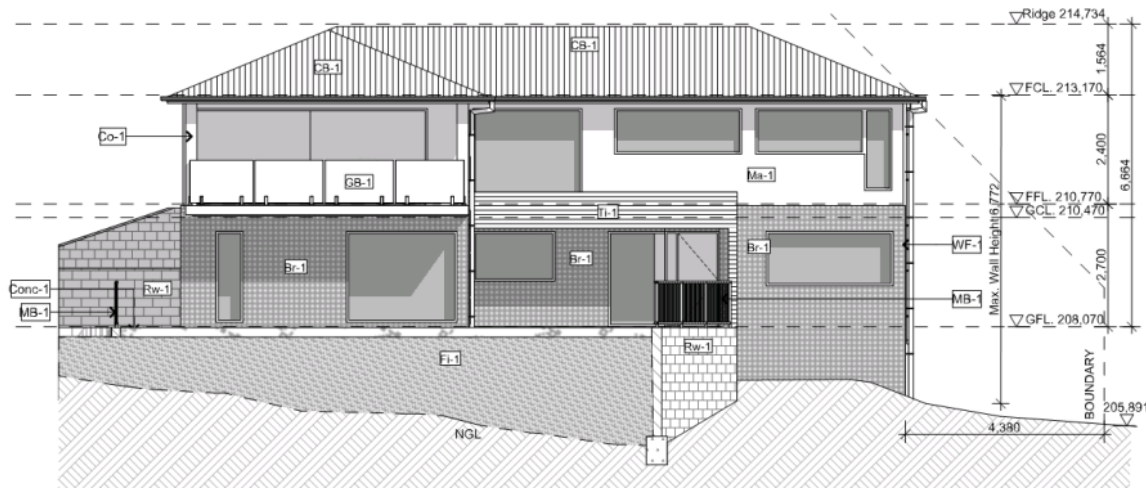


4  
-  
EXISTING WEST ELEVATION  
1:100

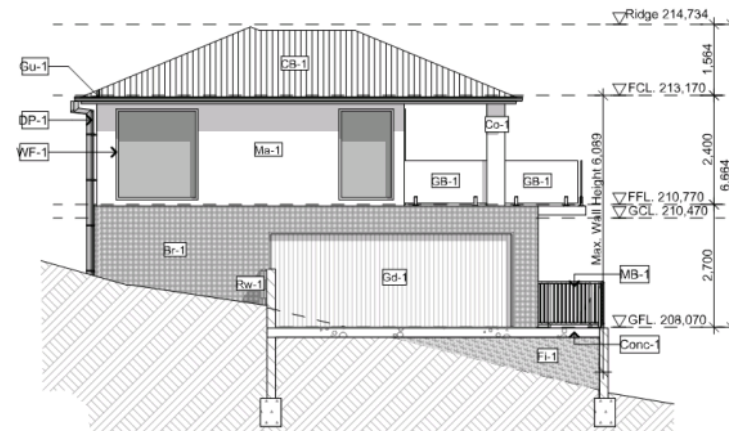
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		Rev ID	Description	Date																						
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CLIENT	Aziz & Negin																									
REVISION	DATE																									
-	5/10/2021																									
SCALE	As shown @ A3																									
PAGE	<b>DA13</b>																									
DRAWING	<b>EXISTING ELEVATIONS</b>																									
NORTH																										
				<table><tr><th>PROJECT ID</th><td>1952</td></tr></table>	PROJECT ID	1952	<table><tr><th>CHECKED BY</th><td>D.Djekanovic</td></tr></table>	CHECKED BY	D.Djekanovic	<table><tr><th>DRAWN BY</th><td>M.Gaffud</td></tr></table>	DRAWN BY	M.Gaffud														
PROJECT ID	1952																									
CHECKED BY	D.Djekanovic																									
DRAWN BY	M.Gaffud																									





**E1 TH-1 NORTH ELEVATION**  
1:100



**E2 TH-1 EAST ELEVATION**  
1:100

**LEGEND:**

- Br-1 Face brickwork
- CB-1 Colorbond custom orb roof, colour: Monument.
- GB-1 Glass balustrade, min. 1,000mm high to comply with AS1298, 40dia. S/S handrail and verticals, supplied as a complete approved system with toughened glass and securely fixed to perimeter PFC. The complete system must be capable of bearing loading forces according to AS 1170.1
- MB-1 Metal balustrade, min. 1,000mm high to comply with AS1298, 40dia. S/S handrail and verticals, supplied as a complete approved system with toughened glass and securely fixed to perimeter PFC. The complete system must be capable of bearing loading forces according to AS 1170.1
- WF-1 Powdercoated aluminium window / door frames  
Colour: Monument.
- Rw-1 Concrete block retaining wall
- Ma-1 MasterWall cladding
- Fi-1 Compacted fill
- Ti-1 Timber batten cladding
- Conc-1 Concrete driveway
- Gu-1 Gutter, colour: Monument.
- DP-1 Downpipe, colour: Monument.
- Co-1 Rendered Column
- Gd-1 Garage door

X:\2019\1952\_30 COPLEY ROAD, LENAH VALLEY\0000 ARCHICAD\1952 DEVELOPMENT APPLICATION.pht



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Rev ID	Description	Date
A	SHORTEN WALL BY 500 mm FOR EACH UNIT	7/07/2021

**PROJECT**  
**COPLEY ROAD DEVELOPMENT**  
**MULTIPLE DWELLINGS**  
30 Copley Road, Lenah Valley TAS 7008

**CLIENT**  
Aziz & Neerim

**REVISION**  
-

**DATE**  
5/10/2021

**PROJECT ID**  
1952

**SCALE**  
As shown @ A3

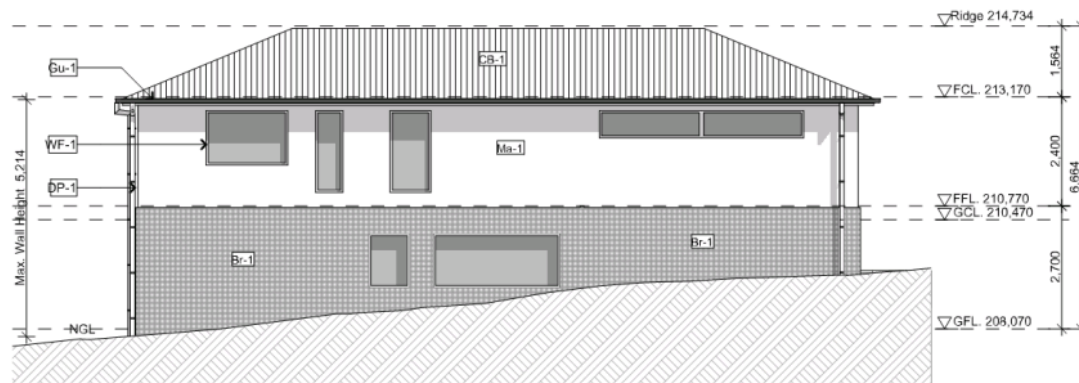
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D.Djekanovic

**DRAWN BY**  
M.Gaffud

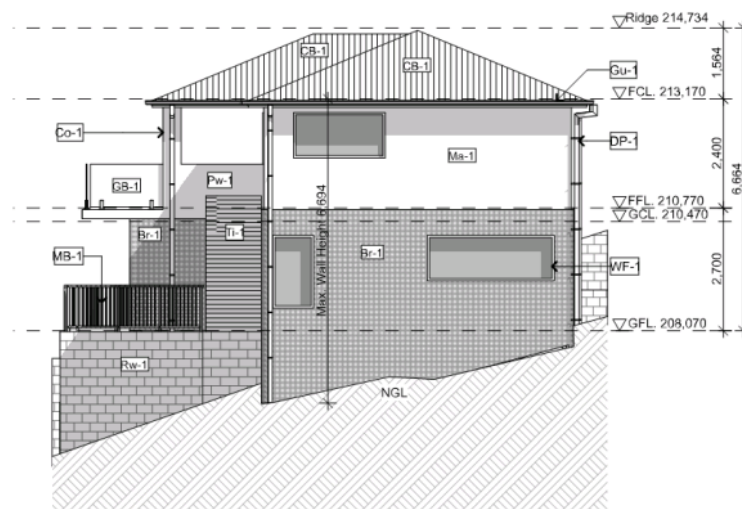
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DA14

**DRAWING**  
TH-1 ELEVATION 1





**E3 TH-1 SOUTH ELEVATION**  
1:100



**E4 TH-1 WEST ELEVATION**  
1:100

**LEGEND:**

- |        |   |
|--------|---|
| Br-1   | Face brickwork  |
| CB-1   | Colorbond custom orb roof, colour: Monument.  |
| GB-1   | Glass balustrade, min. 1,000mm high to comply with AS1288, 40dia. 3/8 handrail and verticals, supplied as a complete approved system with toughened glass and securely fixed to perimeter PFC. The complete system must be capable of bearing loading forces according to AS 1170.1 |
| MB-1   | Metal balustrade, min. 1,000mm high to comply with AS1288, 40dia. 3/8 handrail and verticals, supplied as a complete approved system with toughened glass and securely fixed to perimeter PFC. The complete system must be capable of bearing loading forces according to AS 1170.1 |
| WF-1   | Powdercoated aluminium window / door frames<br>Colour: Monument.  |
| Rw-1   | Concrete block retaining wall   |
| Ma-1   | MasterWall cladding   |
| Fi-1   | Compacted fill  |
| Ti-1   | Timber batten cladding  |
| Conc-1 | Concrete driveway   |
| Gu-1   | Gutter, colour: Monument.   |
| DP-1   | Downpipe, colour: Monument.   |
| Co-1   | Rendered Column   |
| Gd-1   | Garage door   |
| Pw-1   | Rendered Parapet Wall, 1.0M high<br>Fiber Cement Wall Sheeting  |

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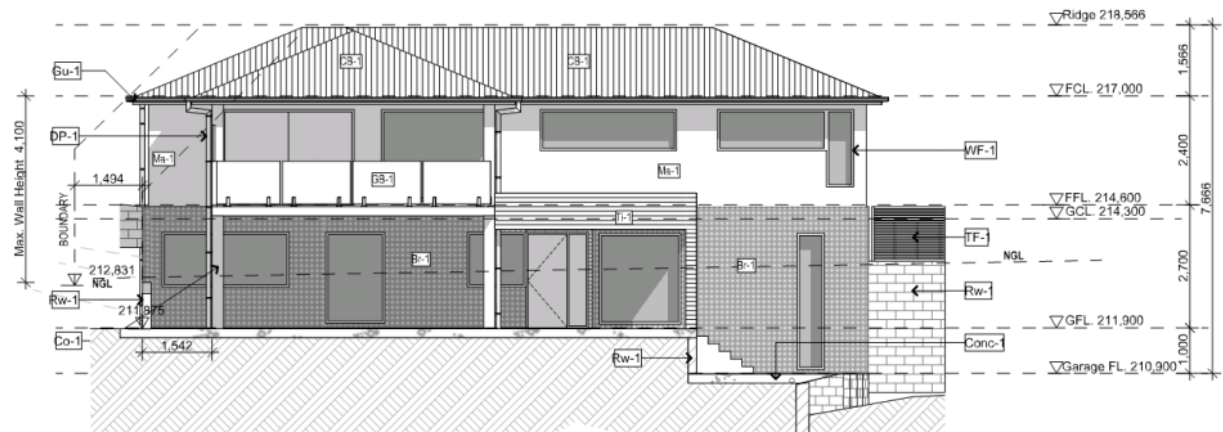
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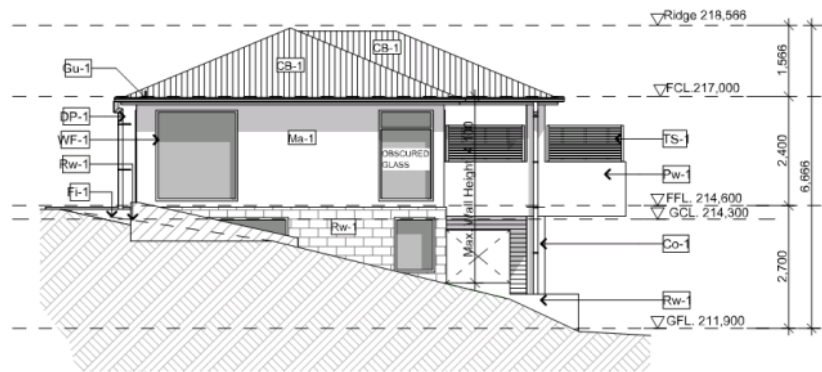
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Rev ID	Description	Date	PROJECT	REVISION	DATE	SCALE	PAGE	NOTES
A	SHORTEN WALL BY 500 mm FOR EACH UNIT	7/07/2021	<b>COPLY ROAD DEVELOPMENT MULTIPLE DWELLINGS</b> 30 Copley Road, Lenah Valley TAS 7008	-	5/10/2021	As shown @ <b>A3</b>	<b>DA15</b>	
			CLIENT	PROJECT ID	CHECKED BY	DRAWN BY	DRAWING	
			Aziz & Nasrin	1952	D.Djokanovic	M.Gaffud	TH-1 ELEVATION 2	



E5 TH-2 NORTH ELEVATION  
1:100




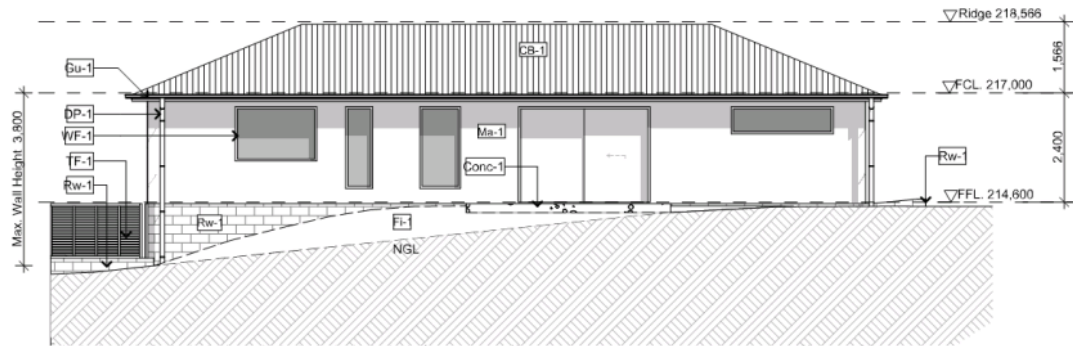
E6 TH-2 EAST ELEVATION  
1:100

**LEGEND:**

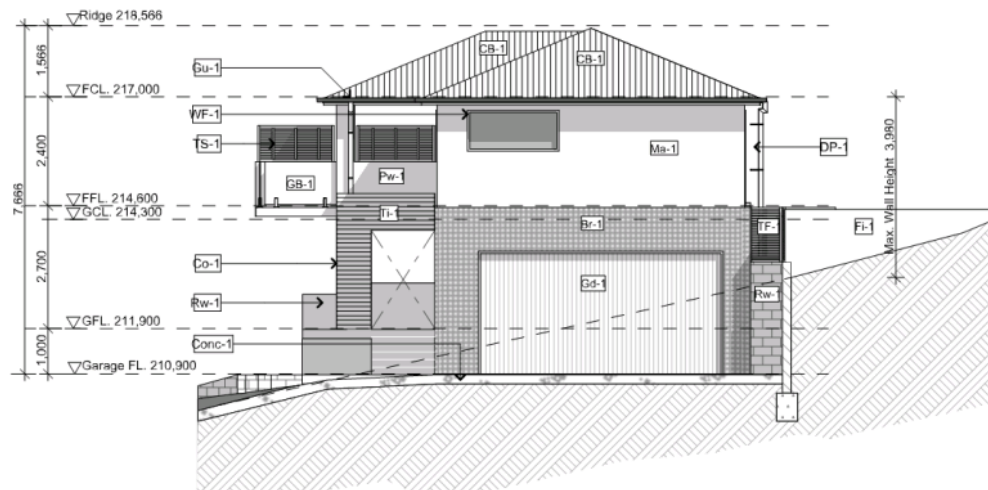
- B-1 Face brickwork
- CB-1 Colorbond custom orb roof, colour: Monument.
- GB-1 Glass balustrade, min. 1,000mm high to comply with AS1288, 40dia. S/S handrail and verticals, supplied as a complete approved system with toughened glass and securely fixed to perimeter PFC. The complete system must be capable of bearing loading forces according to AS 1170.1
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- Rw-1 Concrete block retaining wall
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- Fi-1 Compacted fill
- Ti-1 Timber batten cladding
- Conc-1 Concrete driveway
- Gu-1 Gutter, colour: Monument.
- DP-1 Downpipe, colour: Monument.
- Co-1 Rendered Column
- Gd-1 Garage door
- Pw-1 Rendered Parapet Wall, 1.0M high Fiber Cement Wall Sheeting
- TS-1 1.8M high timber screen
- TF-1 1.2M high timber fence

X:\2019\1952\_30 COPLEY ROAD, LENAH VALLEY\0000\_ARCHICAD\1952 DEVELOPMENT APPLICATION.ph

 <b>Oramatis Studio</b> 212 Elizabeth Street, Hobart p: (03) 6284 3440 e: admin@oramatis.com.au © Oramatis Studio PTY LTD Building Practitioner Accreditation: CC:6540	<b>GENERAL NOTES</b>  Contractors shall verify all dimensions and levels on site before commencement of any work. Contractors shall clarify any discrepancies before commencement of any work. Drawings must not be copied.  Contractors shall submit samples and shop drawings before commencing work. All work shall be carried out in accordance with the Building Code of Australia and all relevant Australian Standards. These designs, plans, specifications and the copyright herein are the property of Oramatis Studio and must not be used, reproduced or copied wholly or in part without the written permission of Oramatis Studio.	<table><tr><th>Rev ID</th><th>Description</th><th>Date</th></tr><tr><td>A</td><td>SHORTEN WALL BY 500 mm FOR EACH UNIT</td><td>7/07/2021</td></tr><tr><td>B</td><td>FROST TH2 EASTERN WINDOW</td><td>5/10/2021</td></tr></table>	Rev ID	Description	Date	A	SHORTEN WALL BY 500 mm FOR EACH UNIT	7/07/2021	B	FROST TH2 EASTERN WINDOW	5/10/2021	<table><tr><td>PROJECT</td><td>REVISION</td><td>DATE</td><td>SCALE</td><td>PAGE</td><td>NORTH</td></tr><tr><td rowspan="2">COPLEY ROAD DEVELOPMENT MULTIPLE DWELLINGS 30 Copley Road, Lenah Valley TAS 7008</td><td>-</td><td>5/10/2021</td><td>As shown @ A3</td><td>DA16</td><td></td></tr><tr><td>CLIENT</td><td>PROJECT ID</td><td>CHECKED BY</td><td>DRAWN BY</td><td>DRAWING</td></tr><tr><td>Aziz &amp; Negin</td><td>1952</td><td>D.Djekanovic</td><td>M.Gaffud</td><td>TH-2 ELEVATION 1</td><td></td></tr></table>	PROJECT	REVISION	DATE	SCALE	PAGE	NORTH	COPLEY ROAD DEVELOPMENT MULTIPLE DWELLINGS 30 Copley Road, Lenah Valley TAS 7008	-	5/10/2021	As shown @ A3	DA16		CLIENT	PROJECT ID	CHECKED BY	DRAWN BY	DRAWING	Aziz & Negin	1952	D.Djekanovic	M.Gaffud	TH-2 ELEVATION 1	
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	CLIENT	PROJECT ID	CHECKED BY	DRAWN BY	DRAWING																														
Aziz & Negin	1952	D.Djekanovic	M.Gaffud	TH-2 ELEVATION 1																															



**E7 TH-2 SOUTH ELEVATION**  
1:100



**E8 TH-2 WEST ELEVATION**  
1:100

**LEGEND:**

- Br-1 Face brickwork
- CB-1 Colorbond custom orb roof, colour: Monument.
- GB-1 Glass balustrade, min. 1,000mm high to comply with AS1288, 40dia. S/S handrail and verticals, supplied as a complete approved system with toughened glass and securely fixed to perimeter PFC. The complete system must be capable of bearing loading forces according to AS 1170.1
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- Conc-1 Concrete driveway
- Gu-1 Gutter, colour: Monument.
- DP-1 Downpipe, colour: Monument.
- Co-1 Rendered Column
- Gd-1 Garage door
- Pw-1 Rendered Parapet Wall, 1.0M high  
Fiber Cement Wall Sheeting
- TS-1 1.8M high timber screen
- TF-1 1.2M high timber fence

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Rev ID	Description	Date
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**PROJECT**  
**COPLEY ROAD DEVELOPMENT**  
**MULTIPLE DWELLINGS**  
30 Copley Road, Lenah Valley TAS 7008

**CLIENT**  
Aziz & Negin

**REVISION**  
-

**DATE**  
5/10/2021

**PROJECT ID**  
1952

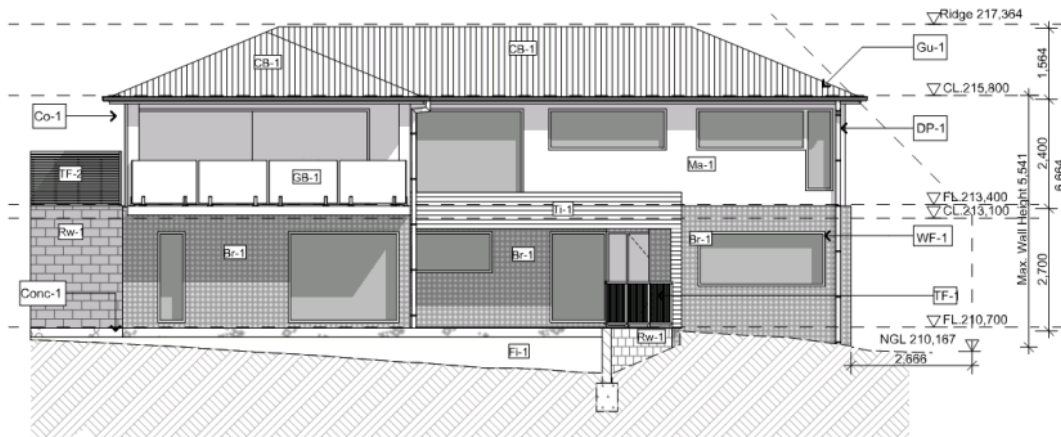
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As shown @ A3

**CHECKED BY**  
D.Djekanovic

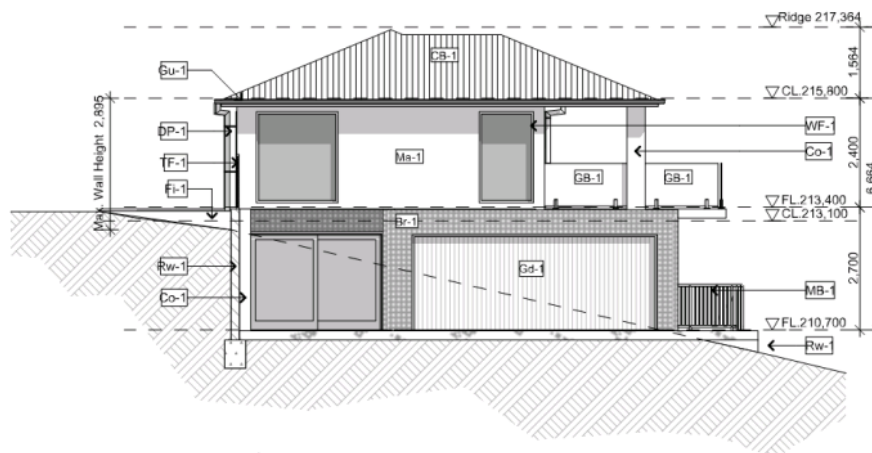
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M.Gaffud

**PAGE**  
**DA17**

**DRAWING**  
**TH-2 ELEVATION 2**



**E9 TH-3 NORTH ELEVATION**  
1:100



**E10 TH-3 EAST ELEVATION**  
1:100

#### LEGEND:

- Br-1 Face brickwork
- C8-1 Colorbond custom orb roof, colour: Monument.
- G8-1 Glass balustrade, min. 1,000mm high to comply with AS1288, 40dia. S/S handrail and verticals, supplied as a complete approved system with toughened glass and securely fixed to perimeter PFC. The complete system must be capable of bearing loading forces according to AS 1170.1
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- Fi-1 Compacted fill
- Ti-1 Timber batten cladding
- Conc-1 Concrete driveway
- Gu-1 Gutter, colour: Monument.
- DP-1 Downpipe, colour: Monument.
- Co-1 Rendered Column
- Gd-1 Garage door

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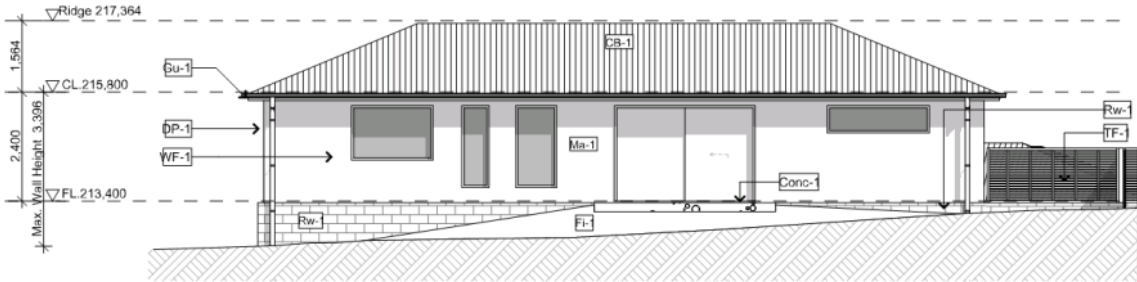
PROJECT  
**COPLEY ROAD DEVELOPMENT  
MULTIPLE DWELLINGS**  
30 Copley Road, Lenah Valley TAS 7008  
CLIENT  
Aziz & Negin

REVISION  
-  
DATE  
5/10/2021  
PROJECT ID  
1952

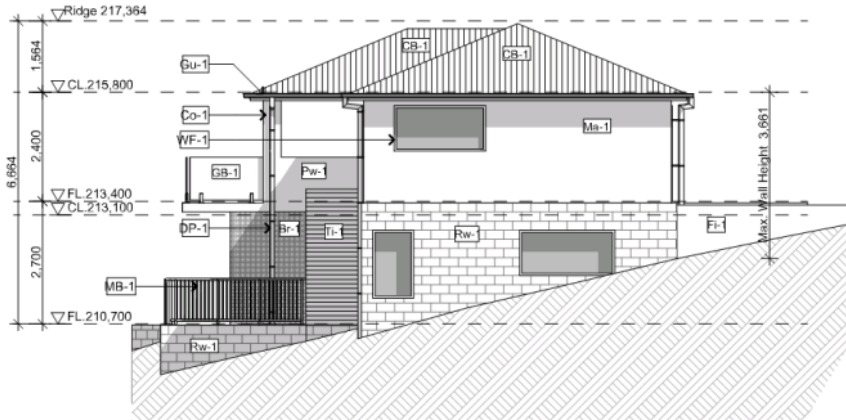
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CHECKED BY  
D.Djekanovic

PAGE  
DA18  
DRAWING  
TH-3 ELEVATION 1





E11 TH-3 SOUTH ELEVATION  
1:100




E12 TH-3 WEST ELEVATION  
1:100

**LEGEND:**

- Br-1 Face brickwork
- CB-1 Colorbond custom orb roof, colour: Monument.
- GB-1 Glass balustrade, min. 1,000mm high to comply with AS1288, 40dia. S/S handrail and verticals, supplied as a complete approved system with toughened glass and securely fixed to perimeter PFC. The complete system must be capable of bearing loading forces according to AS 1170.1
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- TF-1 1.2M high timber fence

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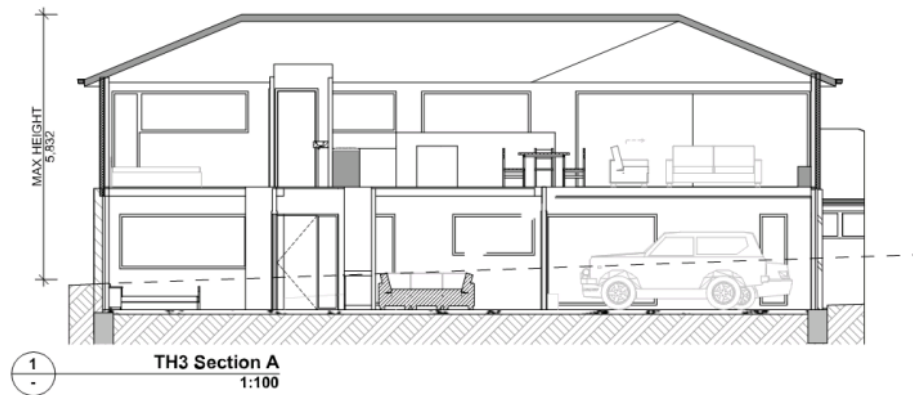
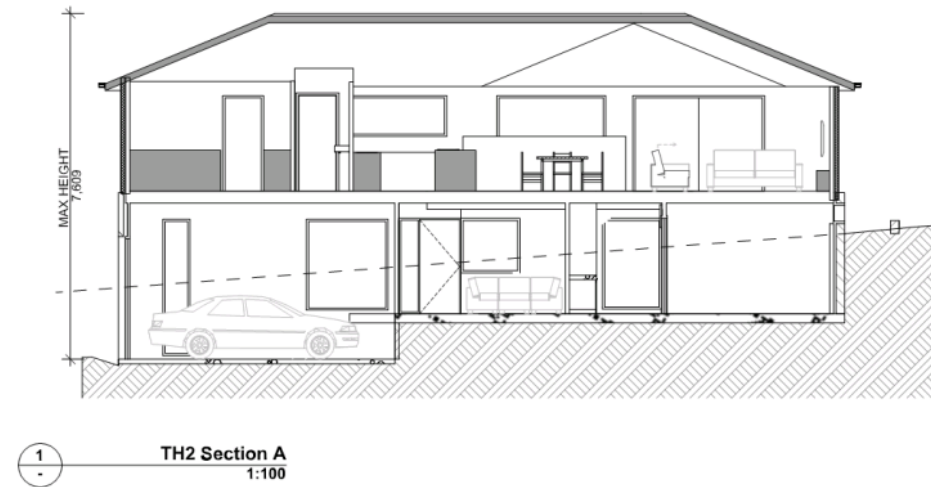
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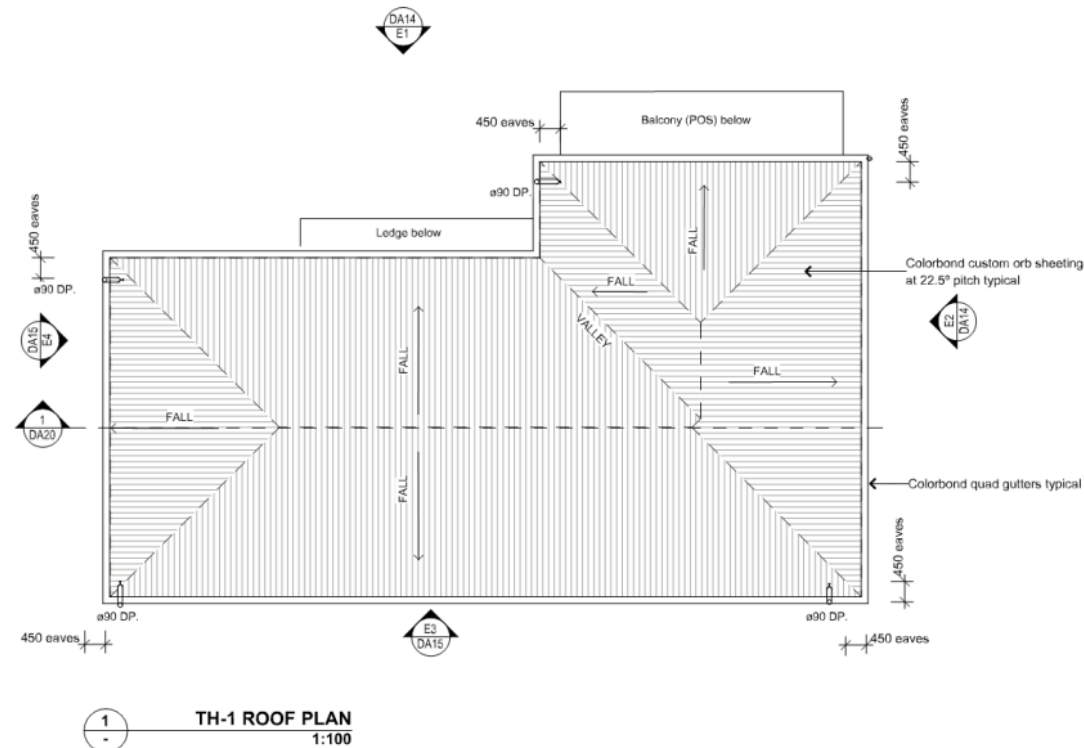
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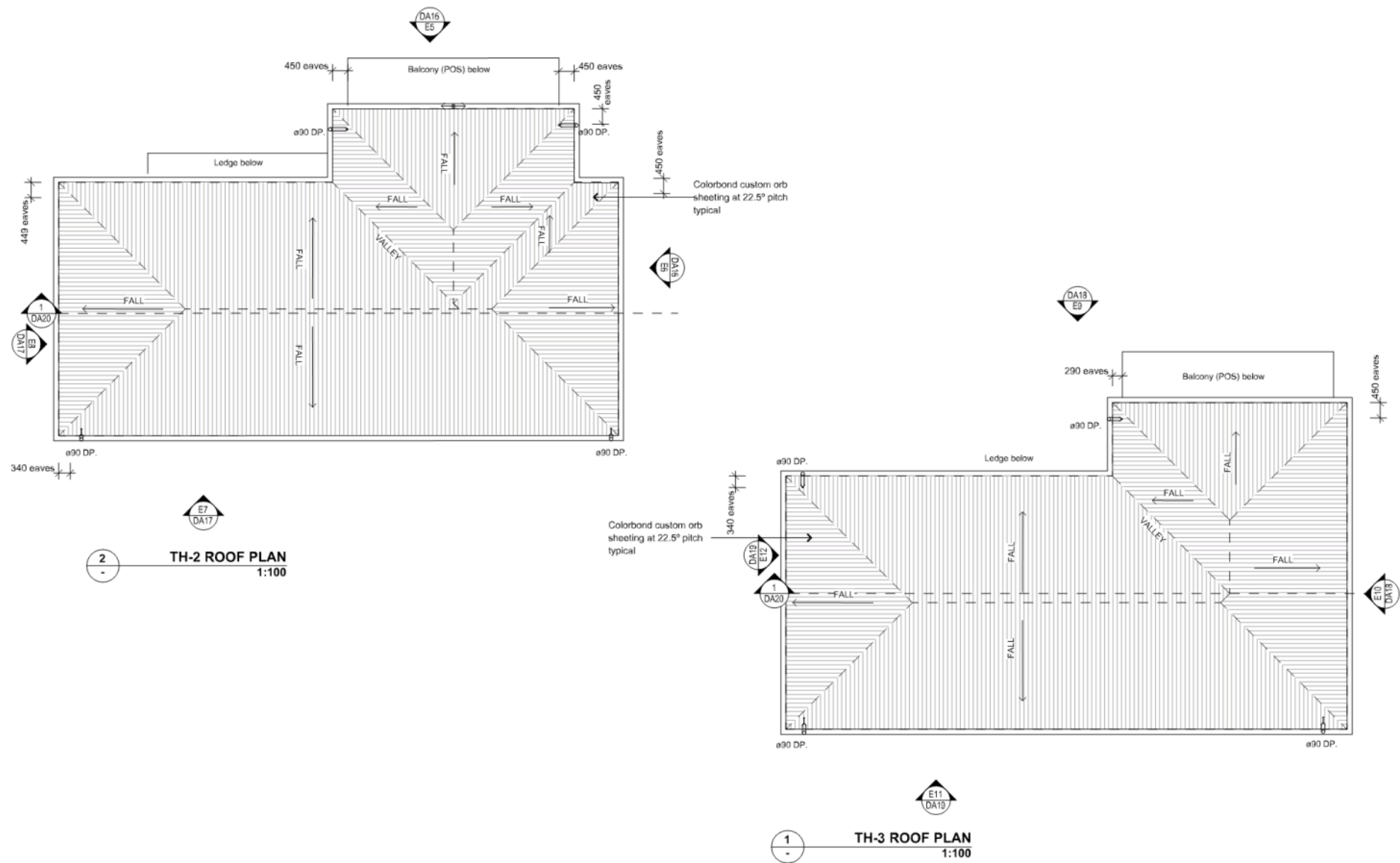
PROJECT	REVISION	DATE	SCALE	PAGE	NORTH
COPLEY ROAD DEVELOPMENT MULTIPLE DWELLINGS 30 Copley Road, Lenah Valley TAS 7008	-	5/10/2021	As shown @ A3	DA19	
CLIENT	PROJECT ID	CHECKED BY	DRAWN BY	DRAWING	
Aziz & Nazrin	1952	D.Djekanovic	M.Gaffud	TH-3 ELEVATION 2	





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		Rev ID	Description	Date										
<div>CLIENT</div> <div>Aziz &amp; Negin</div>	<div>PROJECT ID</div> <div>1952</div>	<div>CHECKED BY</div> <div>D.Djekanovic</div>	<div>DRAWN BY</div> <div>M.Gaffud</div>	<div>DRAWING</div> <div>TH-1 ROOF PLAN</div>										



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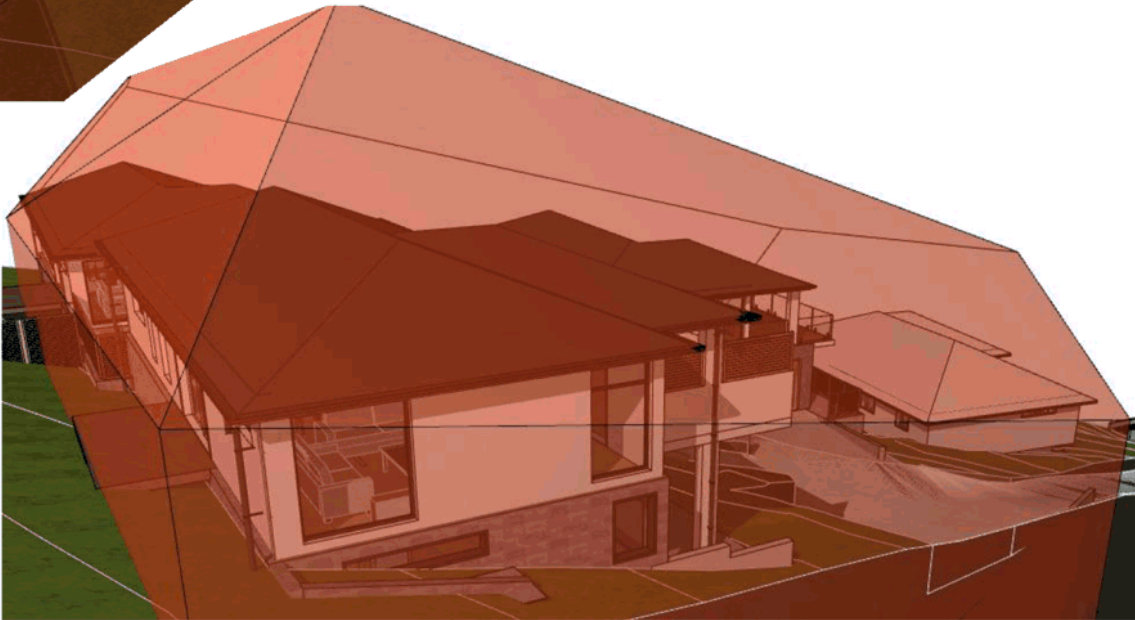
 <b>Oramatis Studio</b> 212 Elizabeth Street, Hobart p: (03) 6284 3440 e: admin@oramatis.com.au © Oramatis Studio PTY LTD Building Practitioner Accreditation: CC-6540	<b>GENERAL NOTES</b>  Contractors shall verify all dimensions and levels on site before commencement of any work. Contractors shall clarify any discrepancies before commencement of any work. Drawings must not be copied.  Contractors shall submit permits and shop drawings before commencing work. All work shall be carried out in accordance with the Building Code of Australia and all relevant Australian Standards. These designs, plans, specifications and the copyright herein are the property of Oramatis Studio and must not be used, reproduced or copied wholly or in part without the written permission of Oramatis Studio.	<table><tr><th>Rev ID</th><th>Description</th><th>Date</th></tr><tr><td> </td><td> </td><td> </td></tr></table>	Rev ID	Description	Date				<table><tr><td>PROJECT</td><td>REVISION</td><td>DATE</td><td>SCALE</td></tr><tr><td><b>COPLEY ROAD DEVELOPMENT</b> <b>MULTIPLE DWELLINGS</b> 30 Copley Road, Lenah Valley TAS 7008</td><td>-</td><td>5/10/2021</td><td>As shown @ A3</td></tr><tr><td>CLIENT</td><td>PROJECT ID</td><td>CHECKED BY</td><td>DRAWN BY</td></tr><tr><td>Aziz &amp; Nazrin</td><td>1952</td><td>D.Djekanovic</td><td>M.Gaffud</td></tr></table>	PROJECT	REVISION	DATE	SCALE	<b>COPLEY ROAD DEVELOPMENT</b> <b>MULTIPLE DWELLINGS</b> 30 Copley Road, Lenah Valley TAS 7008	-	5/10/2021	As shown @ A3	CLIENT	PROJECT ID	CHECKED BY	DRAWN BY	Aziz & Nazrin	1952	D.Djekanovic	M.Gaffud	<table><tr><td>PAGE</td><td>NORTH</td></tr><tr><td><b>DA22</b></td><td></td></tr><tr><td>DRAWING</td><td>TH-2 and TH-3 ROOF PLAN</td></tr></table>	PAGE	NORTH	<b>DA22</b>		DRAWING	TH-2 and TH-3 ROOF PLAN
		Rev ID	Description	Date																												
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PAGE	NORTH																															
<b>DA22</b>																																
DRAWING	TH-2 and TH-3 ROOF PLAN																															





1  
NTS

Building Envelope 1

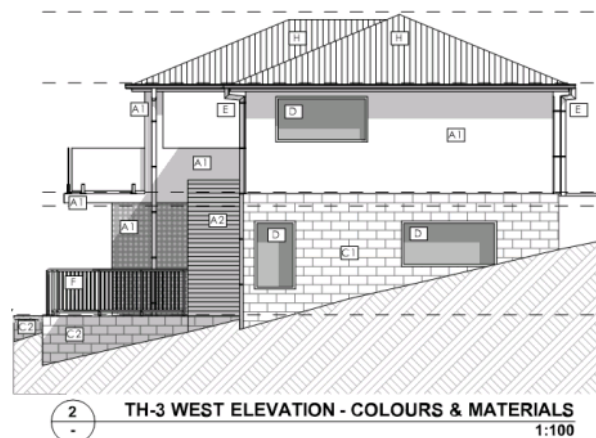
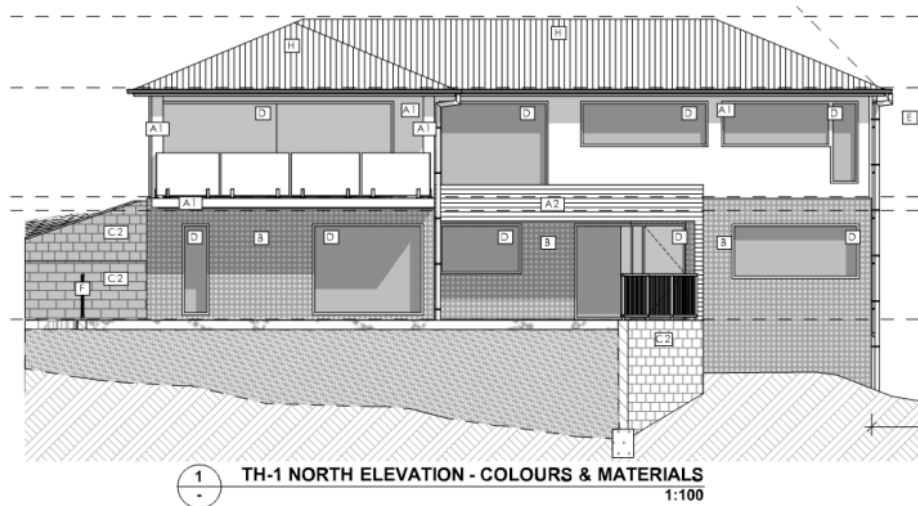


2  
NTS

Building Envelope 2

X:\2019\1952\_30 COPLEY ROAD, LENAH VALLEY\0000\_ARCHICAD\1952 DEVELOPMENT APPLICATION.dgn

 Oramatis Studio 212 Elizabeth Street, Hobart p: (03) 6284 3440 e: admin@oramatis.com.au © Oramatis Studio PTY LTD Building Practitioner Accreditation: CC-6540	<b>GENERAL NOTES</b>  Contractors shall verify all dimensions and levels on site before commencement of any work. Contractors shall clarify any discrepancies before commencement of any work. Drawings must not be scaled. Contractors shall submit permits and shop drawings before commencing work. All work shall be carried out in accordance with the Building Code of Australia and all relevant Australian Standards. These designs, plans, specifications and the copyright herein are the property of Oramatis Studio and must not be used, reproduced or copied wholly or in part without the written permission of Oramatis Studio.	<table><tr><th>Rev ID</th><th>Description</th><th>Date</th></tr><tr><td>A</td><td>SHORTEN WALL BY 500 mm FOR EACH UNIT</td><td>7/07/2021</td></tr></table>	Rev ID	Description	Date	A	SHORTEN WALL BY 500 mm FOR EACH UNIT	7/07/2021	<table><tr><td>PROJECT</td><td>REVISION</td><td>DATE</td><td>SCALE</td></tr><tr><td>COPLEY ROAD DEVELOPMENT MULTIPLE DWELLINGS 30 Copley Road, Lenah Valley TAS 7008</td><td>-</td><td>5/10/2021</td><td>As shown @ A3</td></tr><tr><td>CLIENT</td><td>PROJECT ID</td><td>CHECKED BY</td><td>DRAWN BY</td></tr><tr><td>Aziz &amp; Nazrin</td><td>1952</td><td>D.Djekanovic</td><td>M.Gaffud</td></tr></table>	PROJECT	REVISION	DATE	SCALE	COPLEY ROAD DEVELOPMENT MULTIPLE DWELLINGS 30 Copley Road, Lenah Valley TAS 7008	-	5/10/2021	As shown @ A3	CLIENT	PROJECT ID	CHECKED BY	DRAWN BY	Aziz & Nazrin	1952	D.Djekanovic	M.Gaffud	<table><tr><td>PAGE</td><td>NORTH</td></tr><tr><td>DA21</td><td></td></tr><tr><td>DRAWING</td><td></td></tr><tr><td>BUILDING ENVELOPE</td><td></td></tr></table>	PAGE	NORTH	DA21		DRAWING		BUILDING ENVELOPE	
		Rev ID	Description	Date																														
		A	SHORTEN WALL BY 500 mm FOR EACH UNIT	7/07/2021																														
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Aziz & Nazrin	1952	D.Djekanovic	M.Gaffud																															
PAGE	NORTH																																	
DA21																																		
DRAWING																																		
BUILDING ENVELOPE																																		



## COLOURS &amp; FINISHES SCHEDULE

A1		<b>Selected Render Walls &amp; Columns</b> Dulux: 'Terrace White'
A2		<b>Selected Render Walls &amp; Columns</b> Timber: 'Tassie Oak' (or similar)
B		<b>Selected Brickwork</b> Ground Floor Walls: 'Black' (or similar)
C1		<b>Selected Retaining Walls</b> Dulux: 'Teahouse'
C2		<b>Selected Retaining Walls</b> Dulux: 'Teahouse'
D		<b>Selected Doors/Windows &amp; Shroud</b> Aluminium: 'Monument'
E		<b>Selected Downpipes, Cappings, Flashing, Gutter</b> Colorbond: 'Monument'
F		<b>Selected Balustrade / Railing</b> Metal: 'Monument'
G		<b>Selected Sectional Garage Door</b> Panelift - Knotwood: 'Tassie Oak' (or similar)
H		<b>Selected Roof</b> Colorbond: 'Monument'

X:\2017\1952\_30 COPLEY ROAD, LENAH VALLEY\0000\_ARCHICAD\1952 DEVELOPMENT APPLICATION.pht



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## GENERAL NOTES

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Rev ID	Description	Date
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## PROJECT

**COPLEY ROAD DEVELOPMENT  
MULTIPLE DWELLINGS**  
30 Copley Road, Lenah Valley TAS 7008

## CLIENT

Aziz &amp; Negin

## REVISION

-

## DATE

5/10/2021

## SCALE

As shown @ A3

## PAGE

DA22

## NORTH

## PROJECT ID

1952

## CHECKED BY

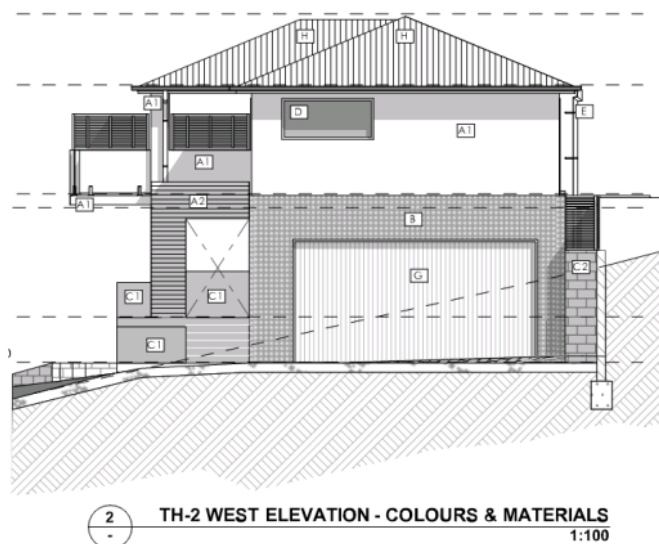
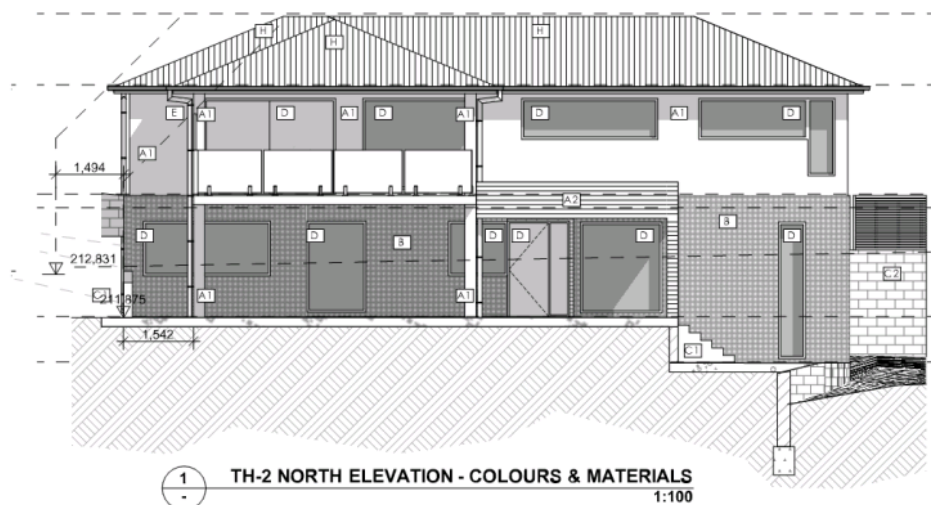
D.Djekanovic

## DRAWN BY

M.Gaffud

## DRAWING

MATERIAL LIST &amp; SCHEDULE 1



## COLOURS &amp; FINISHES SCHEDULE

- A1** Selected Render Walls & Columns  
Dulux:  
'Terrace White'
- A2** Selected Render Walls & Columns  
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'Tassie Oak' (or similar)
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'Monument'
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Colorbond:  
'Monument'
- F** Selected Balustrade / Railing  
Metal:  
'Monument'
- G** Selected Sectional Garage Door  
Panelift - Knotwood:  
'Tassie Oak' (or similar)
- H** Selected Roof  
Colorbond:  
'Monument'

K:\2019\1952\_30 COPLEY ROAD, LENAH VALLEY\0000\_ARCHICAD\1952 DEVELOPMENT APPLICATION.pht



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Rev ID	Description	Date
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## PROJECT

**COPLEY ROAD DEVELOPMENT  
MULTIPLE DWELLINGS**  
30 Copley Road, Lenah Valley TAS 7008

## CLIENT

Aziz &amp; Nazrin

## REVISION

-

## PROJECT ID

1952

## DATE

5/10/2021

## CHECKED BY

D.Djekanovic

## SCALE

As shown @ A3

## DRAWN BY

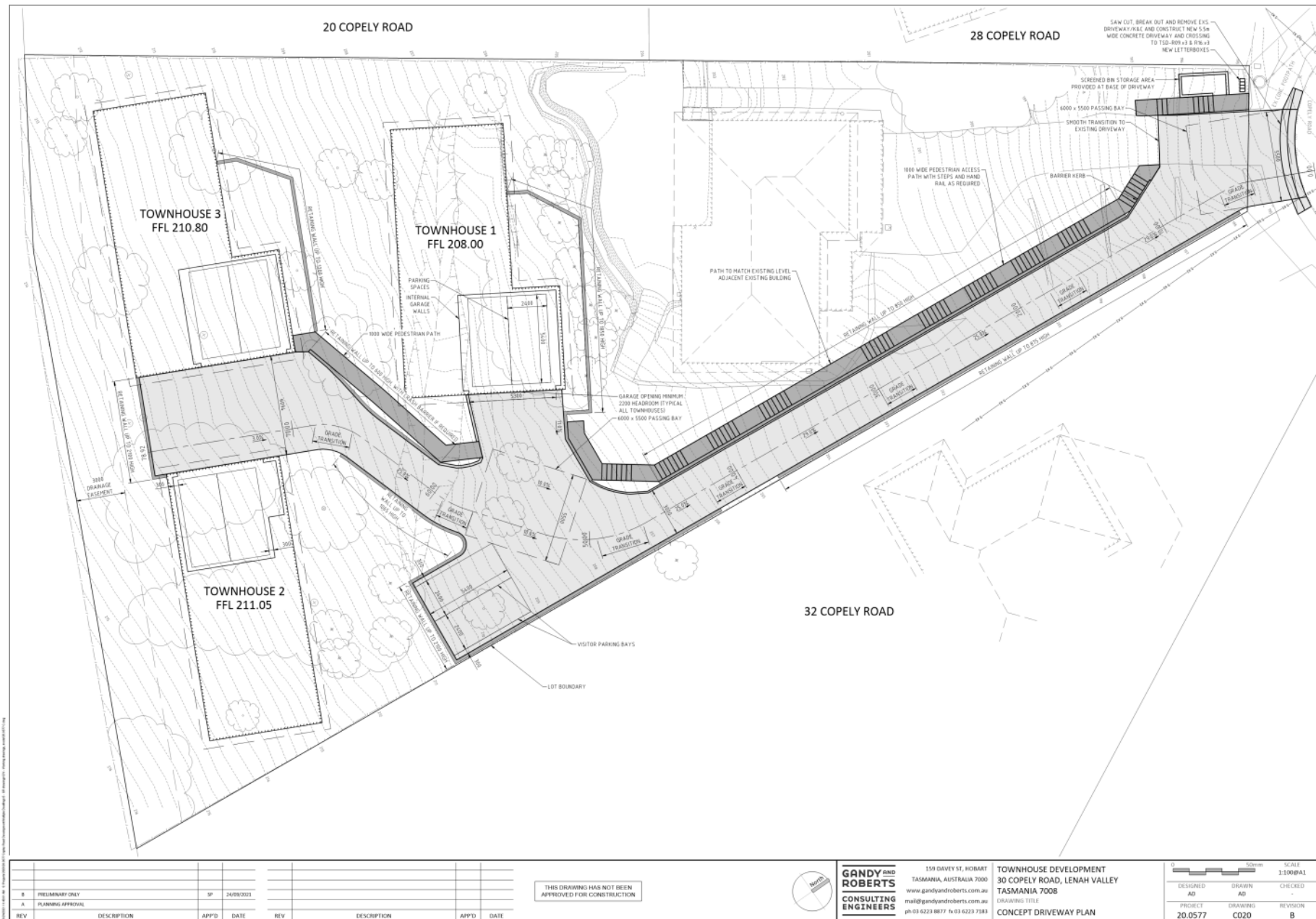
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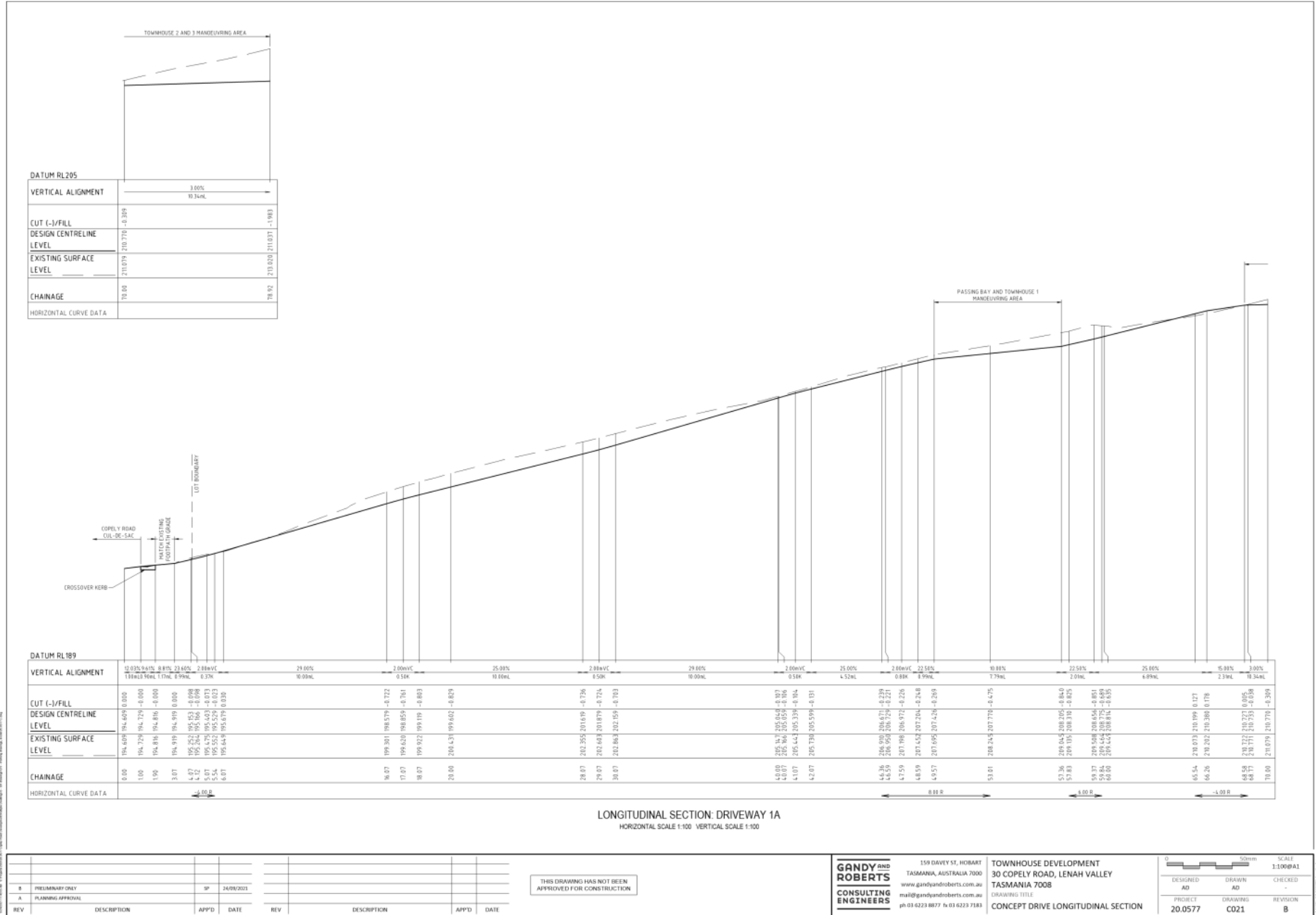
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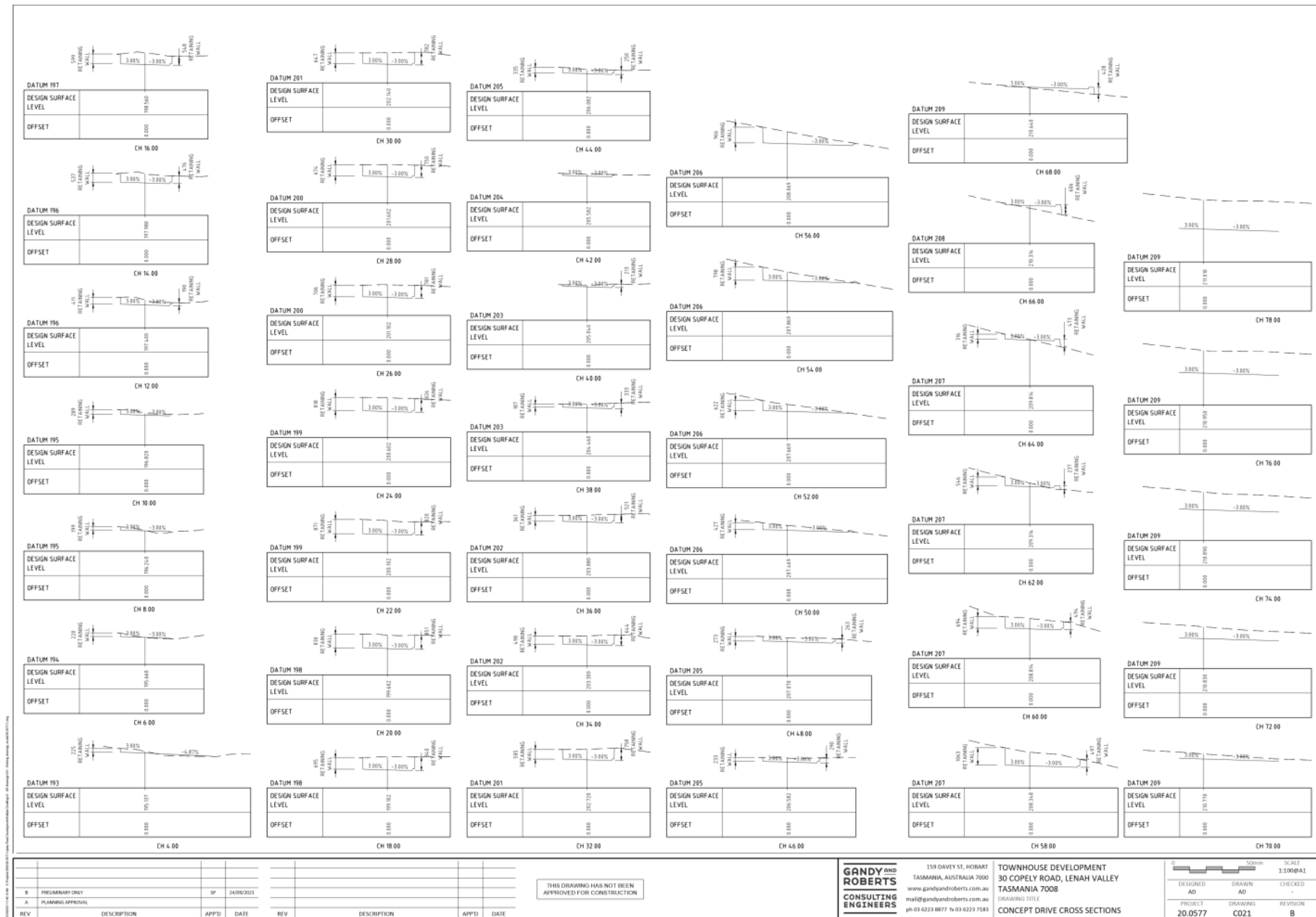
DA23

## DRAWING

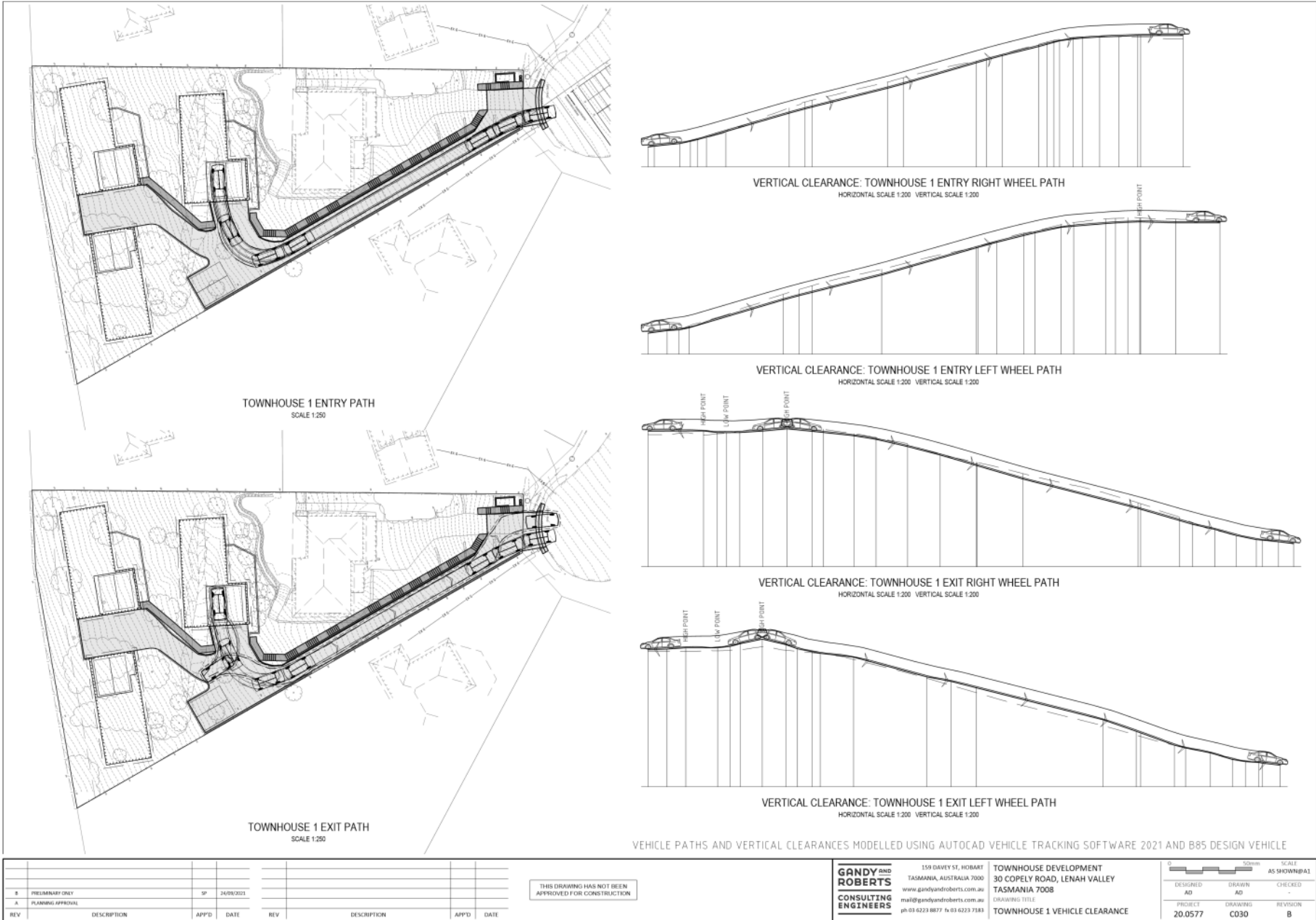
MATERIAL LIST &amp; SCHEDULE 2

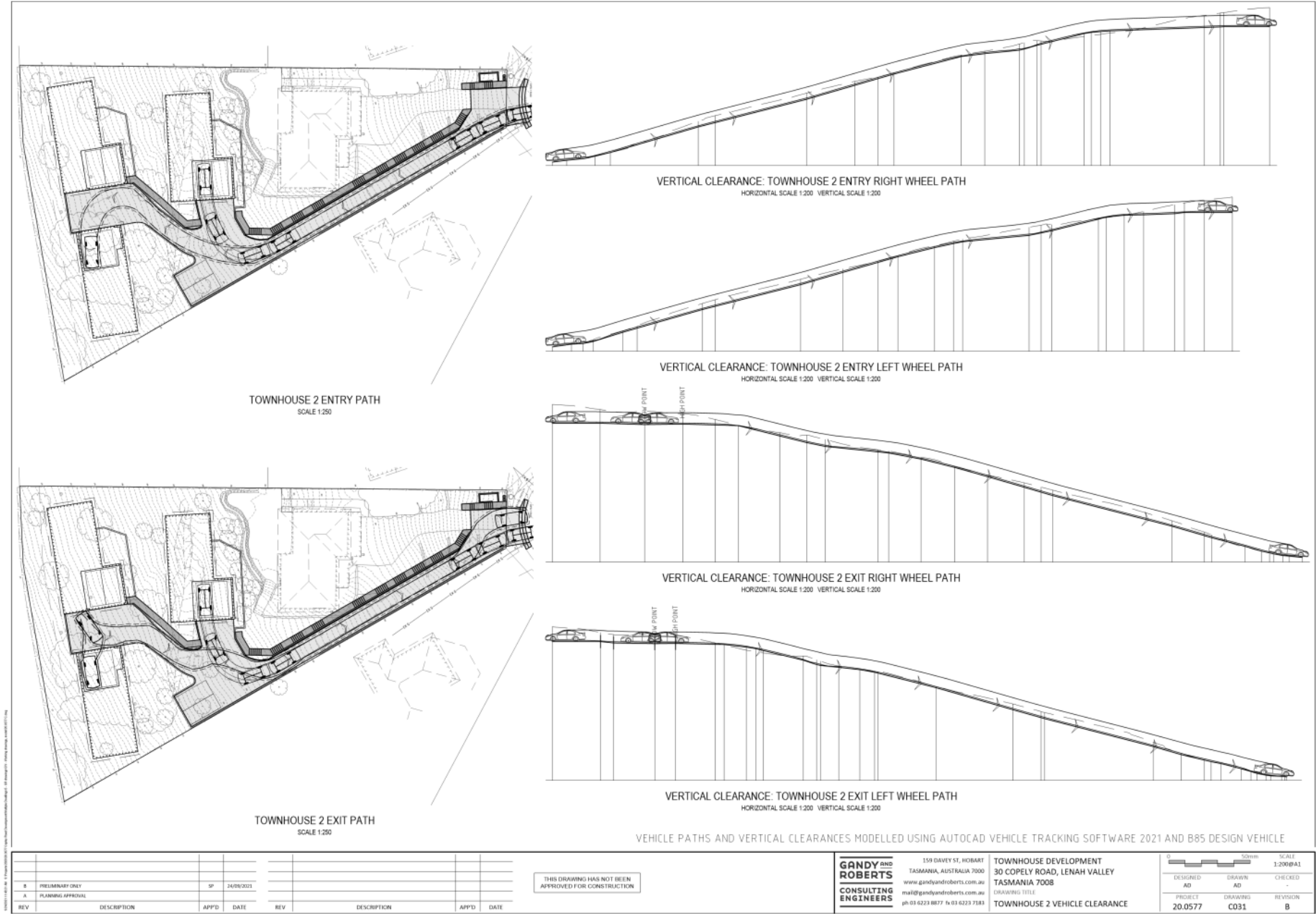




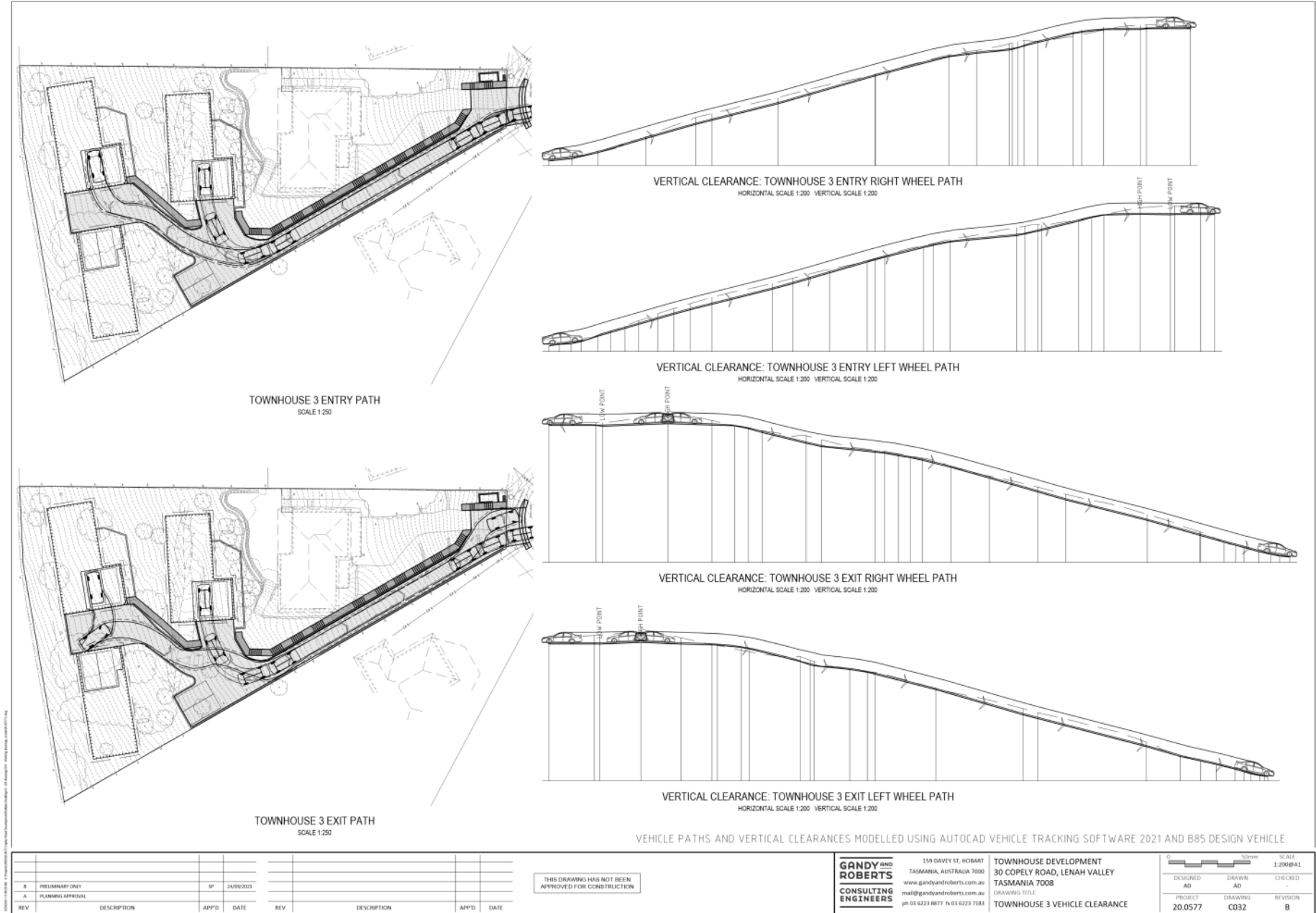


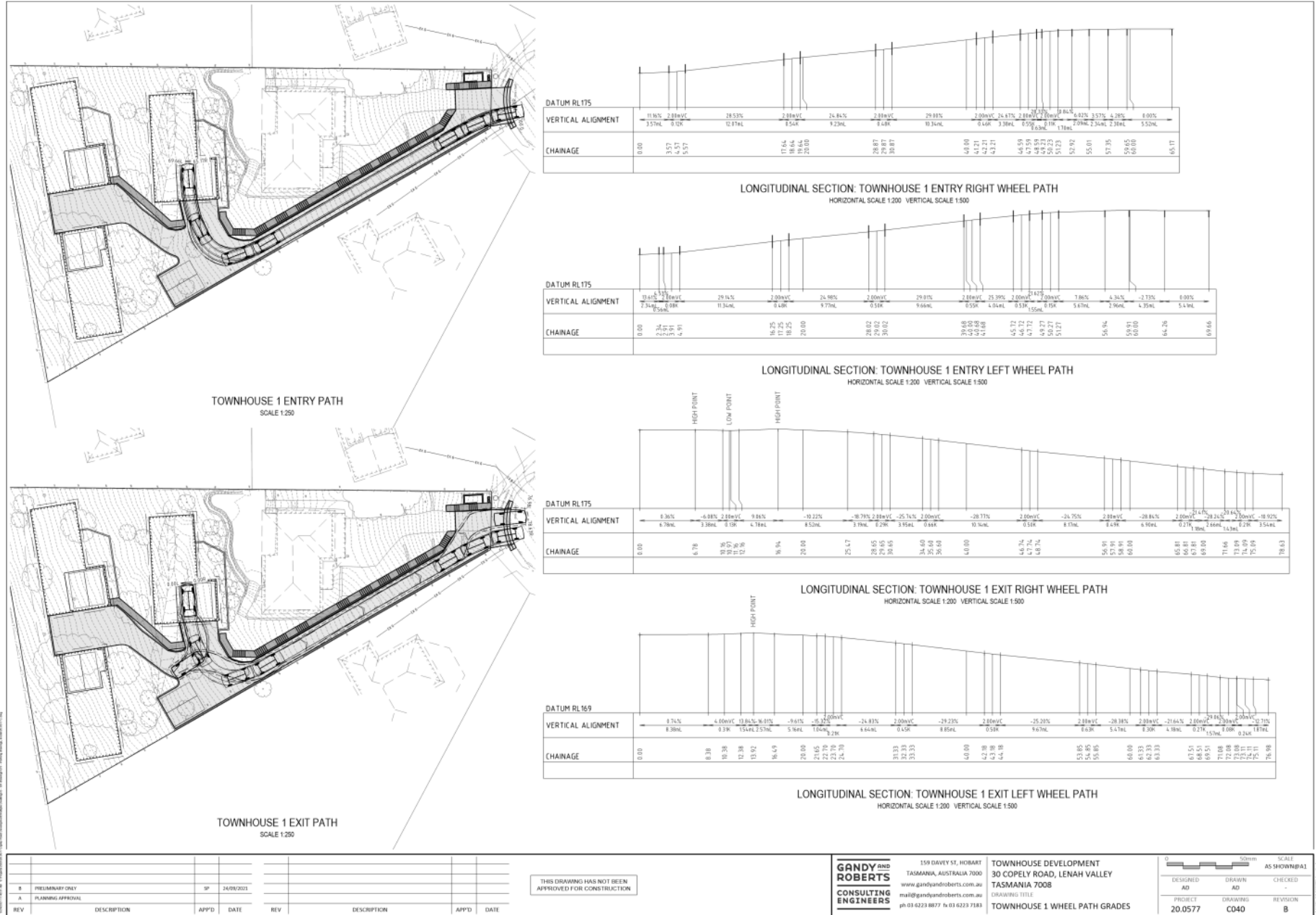


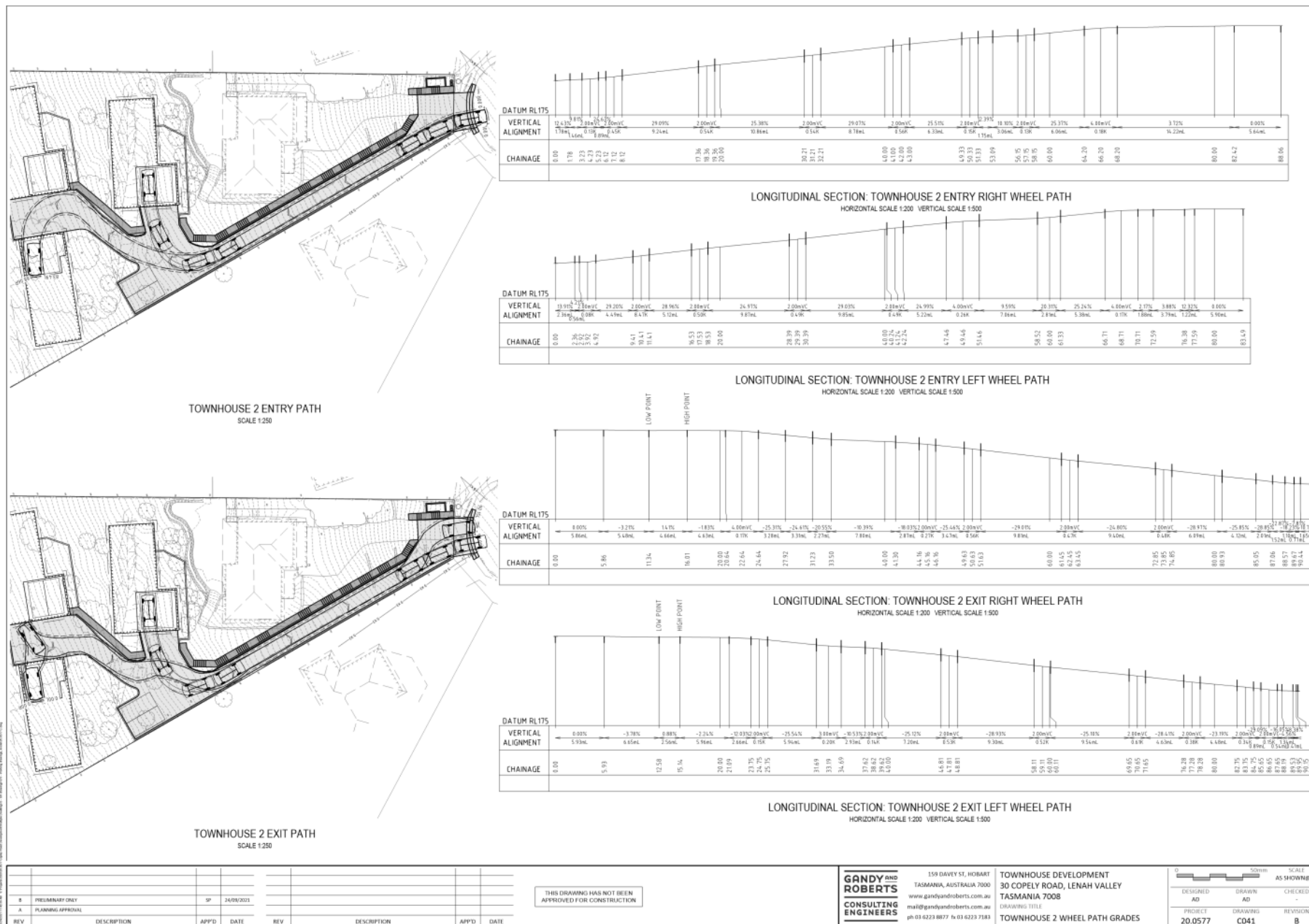


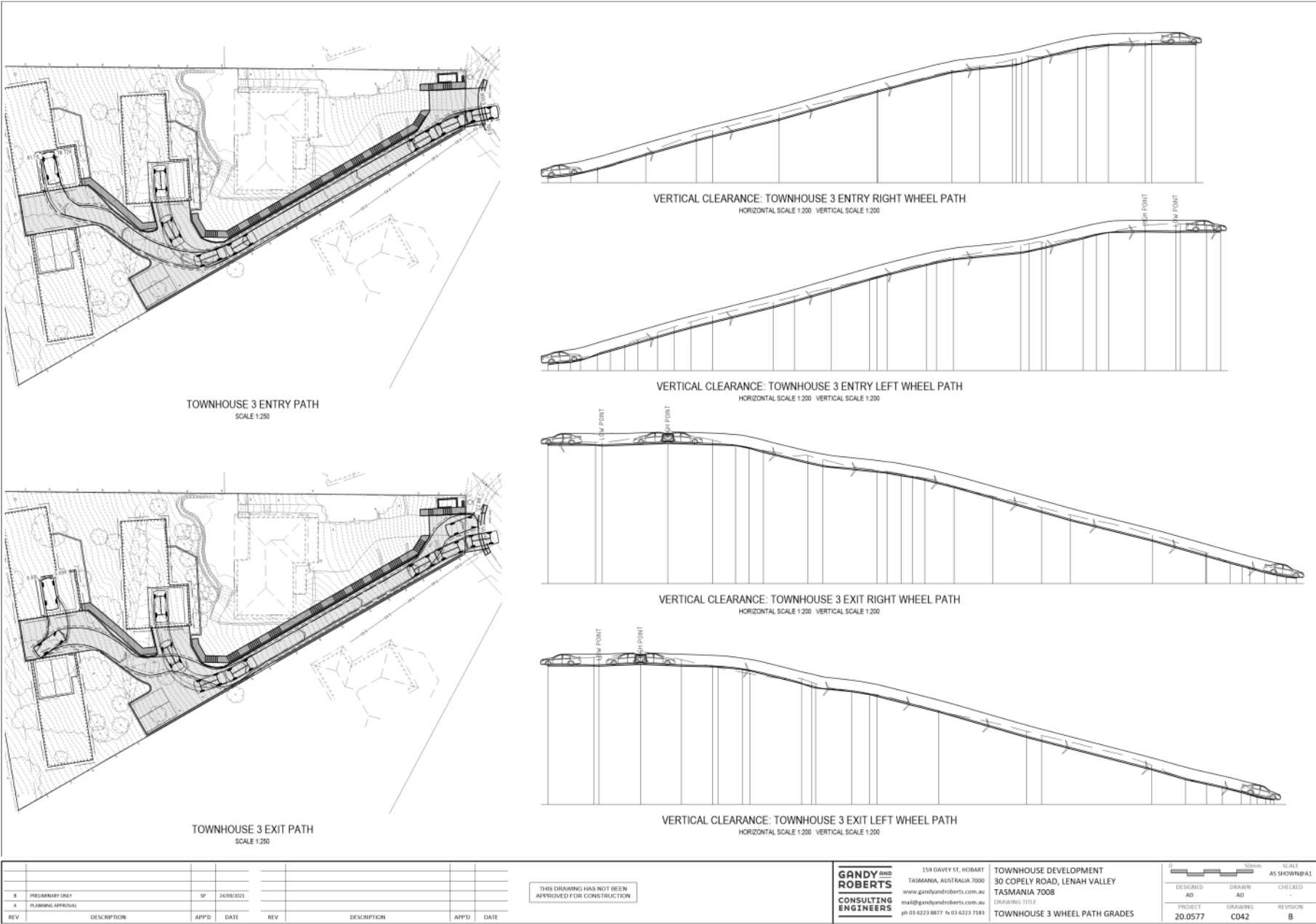












## CERTIFICATE OF THE RESPONSIBLE DESIGNER

Section 94  
Section 106  
Section 129  
Section 155Form **35**

To: Aziz & Nesrin Alnasser Owner name  
 30 Copley Road Address  
 Lenah Valley TAS 7008 Suburb/postcode

## Designer details:

Name: Stuart Lamond Category: Hydraulic  
 Business name: CEEDS Property Group Pty Ltd Phone No: 0499 998 815  
 Business address: 126 Sandy Bay Road  
 Sandy Bay TAS 7005 Fax No:  
 Licence No: CC1806B Email address: ceedspg@bigpond.com

## Details of the proposed work:

Owner/Applicant: Aziz & Nesrin Alnasser Designer's project reference No: 21.0028  
 Address: 30 Copley Road Lot No:  
 Lenah Valley TAS 7008  
 Type of work: Building work ☐ Plumbing work ☒ (X all applicable)

## Description of work:

Stormwater detention and drainage

(new building / alteration /  
 addition / repair / removal /  
 re-erection  
 water / sewerage /  
 stormwater /  
 on-site wastewater  
 management system /  
 backflow prevention / other)

## Description of the Design Work (Scope, limitations or exclusions): (X all applicable certificates)

Certificate Type:	Certificate	Responsible Practitioner
	<input type="checkbox"/> Building design	Architect or Building Designer
	<input type="checkbox"/> Structural design	Engineer or Civil Designer
	<input type="checkbox"/> Fire Safety design	Fire Engineer
	<input type="checkbox"/> Civil design	Civil Engineer or Civil Designer
	<input checked="" type="checkbox"/> Hydraulic design	Building Services Designer
	<input type="checkbox"/> Fire service design	Building Services Designer
	<input type="checkbox"/> Electrical design	Building Services Designer
	<input type="checkbox"/> Mechanical design	Building Service Designer
	<input type="checkbox"/> Plumbing design	Plumber-Certifier; Architect, Building Designer or Engineer
	<input type="checkbox"/> Other (specify)	
Deemed-to-Satisfy: <input checked="" type="checkbox"/>	Performance Solution: <input type="checkbox"/> (X the appropriate box)	
Other details:		

**Design documents provided:**

The following documents are provided with this Certificate –

*Document description:*

Drawing numbers: 21.0028 – H001, H002, H003, H101, H102, H103, H104 & H105 Rev 2	Prepared by: Stuart Lamond	Date: 14/01/2022
--	----------------------------	------------------

Schedules:	Prepared by:	Date:
------------	--------------	-------

Specifications:	Prepared by:	Date:
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Computations:	Prepared by:	Date:
---------------	--------------	-------

Performance solution proposals:	Prepared by:	Date:
---------------------------------	--------------	-------

Test reports:	Prepared by:	Date:
---------------	--------------	-------

**Standards, codes or guidelines relied on in design process:**


AS3500, NCC

**Any other relevant documentation:****Attribution as designer:**

I Stuart Lamond ..... am responsible for the design of that part of the work as described in this certificate;

The documentation relating to the design includes sufficient information for the assessment of the work in accordance with the *Building Act 2016* and sufficient detail for the builder or plumber to carry out the work in accordance with the documents and the Act;

This certificate confirms compliance and is evidence of suitability of this design with the requirements of the National Construction Code.

	<i>Name: (print)</i>	<i>Signed</i>	<i>Date</i>
Designer:	Stuart Lamond		14/01/2022
Licence No:	CC1806B		

**Assessment of Certifiable Works: (TasWater)**

**Note: single residential dwellings and outbuildings on a lot with an existing sewer connection are not considered to increase demand and are not certifiable.**

**If you cannot check ALL of these boxes, LEAVE THIS SECTION BLANK.**

**TasWater must then be contacted to determine if the proposed works are Certifiable Works.**

**I confirm that the proposed works are not Certifiable Works, in accordance with the Guidelines for TasWater CCW Assessments, by virtue that all of the following are satisfied:**

- ☒ The works will not increase the demand for water supplied by TasWater
- ☒ The works will not increase or decrease the amount of sewage or toxins that is to be removed by, or discharged into, TasWater's sewerage infrastructure
- ☒ The works will not require a new connection, or a modification to an existing connection, to be made to TasWater's infrastructure
- ☒ The works will not damage or interfere with TasWater's works
- ☒ The works will not adversely affect TasWater's operations
- ☒ The work are not within 2m of TasWater's infrastructure and are outside any TasWater easement
- ☒ I have checked the LISTMap to confirm the location of TasWater infrastructure
- ☒ If the property is connected to TasWater's water system, a water meter is in place, or has been applied for to TasWater.

**Certification:**

I .....Stuart Lamond..... being responsible for the proposed work, am satisfied that the works described above are not Certifiable Works, as defined within the *Water and Sewerage Industry Act 2008*, that I have answered the above questions with all due diligence and have read and understood the Guidelines for TasWater CCW Assessments.

**Note: the Guidelines for TasWater Certification of Certifiable Works Assessments are available at: [www.taswater.com.au](http://www.taswater.com.au)**

	Name: (print)	Signed	Date
Designer:	Stuart Lamond		14/01/2022



14/01/2022

**STORMWATER PRE & POST DEVELOPMENT FLOW RATES.****30 COPLEY ROAD, LENA VALLEY.****Relevant Documents:**

- Drawing: 21.0028 H101, H102, H103, H104, H105, H106, H107 Rev 2 14/01/2022 by Stuart Lamond.

CEEDS Property Group Pty Ltd have carried out a pre and post development stormwater calculation and can confirm that the maximum stormwater discharge flow rate for up to 5% average exceedance (5.0 minute, 1 in 100-year rain event) will not be exceeded provided a series of detention tanks are installed at the locations shown on the attached drawings.

Stormwater calculations in accordance with AS3500.3 are as follows:

For pre-development:Existing site & dwelling:

$$Q = \frac{CAI^{\frac{20}{5}}}{3600}$$

Where:

C = run – off coefficient = 1.0 (for roof and hardstand)

A (impervious area) = 344m<sup>2</sup>

I = 156 mm/h

Therefore:

$$Q_{roof} = \frac{1.0 \times 344 \times 156}{3600} = 14.90 \text{ L/s}$$

**Total existing discharge to kerb connection is of 14.90 L/s .**



For post-development:Design factors:

Existing house, courtyard and driveway as well as three new dwellings, new driveway and footpaths connected through a combination of detention tanks, along with the smaller lower section of driveway stormwater directly connected to an upgraded stormwater kerb connection.

Direct connection to stormwater, lower driveway:

Where:

C = run – off coefficient = 1.0 (for impervious areas)

A = 60m<sup>2</sup>

I = 156 mm/h

$$Q_{roof} = \frac{1.0 \times 60 \times 156}{3600} = 2.61 \text{ L/s}$$

Existing roof area to detention tank:

Where:

C = run – off coefficient = 1.0 (for impervious areas)

A = 163m<sup>2</sup>

I = 156 mm/h

$$Q_{roof} = \frac{1.0 \times 163 \times 156}{3600} = 7.06 \text{ L/s}$$

*Total future discharge from roof to detention of 7.06 L/s.*

*DN20 orifice outlet at detention tank flow rate horizontal = 1.1 L/s*

Town house roof area to detention tank (3 off):

Where:

C = run – off coefficient = 1.0 (for impervious areas)

A = 146m<sup>2</sup>

I = 156 mm/h

$$Q_{roof} = \frac{1.0 \times 146 \times 156}{3600} = 6.32 \text{ L/s}$$

Driveway area to detention tank:

Where:

C = run – off coefficient = 1.0 (for impervious areas)

A = 488m<sup>2</sup>

I = 156 mm/h

$$Q_{roof} = \frac{1.0 \times 488 \times 156}{3600} = 21.14 \text{ L/s}$$

*Total future discharge from driveway to detention of 21.14 L/s.*

*Plus dwelling discharge of 3 x 1.3, 1 x 1.1 L/s = 26.34 L/s to detention*

*DN60 orifice outlet of driveway detention tank flow rate horizontal = 7.5 L/s*

*Total discharge to stormwater connection of 2.61 + 7.5 = 10.11L/s.*

*Difference between pre and post development is 14.90 – 10.11 L/s = 4.79 L/s decrease in discharge*

*Existing House Roof Catchment Detention Tank Volume = 7.06 x 5 x 60 = 2118 Litres minimum*

*Town housesRoof Catchment Detention Tank Volume = 4.53 x 5 x 60 = 1896 Litres minimum.*

*Driveway Catchment Detention Tank Volume required = 18.75 x 5 x 60 = 7902 Litres minimum.*

The proposed new development will require all dwellings to have detention tanks to retain a minimum 1359 L during a 5 minute, 1 in 20-year, rain event, we recommend a 2000 litre above ground tank be used located as noted on the design drawings with a 20mm orifice as noted on the details sheet of the drawing set, this will see the tank empty in approximately 66.13 minutes from full. A higher-level overflow outlet (D150) is also required to be installed to cater for larger duration rain events. The tank is always to remain empty.

The driveway will require a detention tank to retain a minimum 7902 L during a 5 minute, 1 in 100-year, rain event, we recommend a 8000 litre below ground tank be used located as noted on the design drawings. Please note that the detention tank will need to be installed in accordance with manufacturers recommendations and be fitted with an outlet orifice of 60mm in diameter, this will see the tank empty in approximately 32.18 minutes from full. A higher-level overflow outlet (D150) is also required to be installed to cater for larger duration rain events. The tank is always to remain empty.

Driveway Detention Tank Orifice Sizing Calculation:

STORMWATER DETENTION TANK DRAINAGE ORIFICE SIZING SCHEDULE										
Project Name: 59 Copley Road, Lenah Valley		Project No.: 21.0028								
Designer: Stuart Lamond		Date: 09-12-21								
Revision: A										
CATHMENT AREA	RAINFALL FACTOR	LOCATION	AREA m <sup>2</sup>	REQUIRED OSD (1) m <sup>3</sup>	PSD (2) m <sup>3</sup> / s	OUTLET TYPE	OUTLET DIAMETER mm	DISCHARGE COEFFICIENT C	HEAD OF WATER (3) m	OUTLET X-SECTIONAL AREA m <sup>2</sup>
Hobart	156		488	8.000	0.00750	Orifice	60	0.600	1.000	0.00282
							$= (L17^4 / 3.142) \times 0.5 \times 1000$	$= G17 / (J17^2 \times (2 \times 9.81 \times K17) \times 0.5)$		
<small>(1) On Site Detention volume calculated from AEP100 yr 5 Minute Duration Rainfall of 156mm  (2) Permissible Site Discharge calculated from Hobart City Council development criteria  (3) Head of Water calculated to invert of pipe outlet</small>										

Existing House Detention Tank Orifice Sizing Calculation:

STORMWATER DETENTION TANK DRAINAGE ORIFICE SIZING SCHEDULE										
Project Name: 59 Copley Road, Lenah Valley		Project No.: 21.0028								
Designer: Stuart Lamond		Date: 09-12-21								
Revision: A										
CATHMENT AREA	RAINFALL FACTOR	LOCATION	AREA m <sup>2</sup>	REQUIRED OSD (1) m <sup>3</sup>	PSD (2) m <sup>3</sup> / s	OUTLET TYPE	OUTLET DIAMETER mm	DISCHARGE COEFFICIENT C	HEAD OF WATER (3) m	OUTLET X-SECTIONAL AREA m <sup>2</sup>
Hobart	156	House 1	163	2.118	0.00110	Orifice	20	0.600	1.750	0.00031
							$= (L17^4 / 3.142) \times 0.5 \times 1000$	$= G17 / (J17^2 \times (2 \times 9.81 \times K17) \times 0.5)$		
<small>(1) On Site Detention volume calculated from AEP100 yr 5 Minute Duration Rainfall of 156mm  (2) Permissible Site Discharge calculated from Hobart City Council development criteria  (3) Head of Water calculated to invert of pipe outlet</small>										

Town Houses 1, 2 & 3 Detention Tank Orifice Sizing Calculation:

STORMWATER DETENTION TANK DRAINAGE ORIFICE SIZING SCHEDULE									
Project Name:		59 Copley Road, Lenah Valley		Project No.:		21.0028			
Designer:		Stuart Lamond		Date:		09-12-21			
				Revision:		A			

CATHMENT AREA	RAINFALL FACTOR	LOCATION	AREA	REQUIRED OSD (1) m <sup>3</sup>	PSD (2) m <sup>3</sup> / s	OUTLET TYPE	OUTLET DIAMETER mm	DISCHARGE COEFFICIENT C	HEAD OF WATER (3) m	OUTLET X-SECTIONAL AREA m <sup>2</sup>
Hobart	156		146	1.896	0.00130	Orifice	20	0.600	2.300	0.00032

$$= (L17^4 / 3.142) * 0.5 * 1000$$

$$= G17 / (J17^5 * (2^9.81 * K17)^{0.5})$$

(1) On Site Detention volume calculated from AEP100 yr 5 Minute Duration Rainfall of 156mm  
 (2) Permissible Site Discharge calculated from Hobart City Council development criteria  
 (3) Head of Water calculated to invert of pipe outlet

Driveway Detention Tank Emptying Time:

Time to empty is approximately 32.18 minutes.

Bottom area of tank or container (m<sup>2</sup>)  
 H - height between surface and aperture (m)  
 A - aperture area (m<sup>2</sup>)  
 C<sub>d</sub> - discharge coefficient  
 no. of "slices" or segments (for the iterative calculation)

Segment	Average Height between Segment and Aperture (m)	Average Flow (m <sup>3</sup> /s)	Volume in Segment (m <sup>3</sup> )	Time to Drain Segment (s)
0	0.95	0.0073	0.8	110
1	0.85	0.00691	0.8	116
2	0.75	0.00649	0.8	123
3	0.65	0.00604	0.8	132
4	0.55	0.00556	0.8	144
5	0.45	0.00503	0.8	159
6	0.35	0.00443	0.8	180
7	0.25	0.00375	0.8	213
8	0.15	0.0029	0.8	276
9	0.05	0.00168	0.8	477
		SUM	8	1931

Existing House Detention Tank Emptying Time:

Time to empty is approximately 105.05 minutes.

2.24	Bottom area of tank or container ( $m^2$ )
1.75	H - height between surface and aperture (m)
0.00032	A - aperture area ( $m^2$ )
0.6	$C_d$ - discharge coefficient
10	no. of "slices" or segments (for the iterative calculation)

Segment	Average Height between Segment and Aperture (m)	Average Flow ( $m^3/s$ )	Volume in Segment ( $m^3$ )	Time to Drain Segment (s)
0	1.66	0.0011	0.392	357
1	1.49	0.00104	0.392	378
2	1.31	0.000974	0.392	402
3	1.14	0.000907	0.392	432
4	0.962	0.000834	0.392	470
5	0.788	0.000755	0.392	519
6	0.612	0.000666	0.392	589
7	0.437	0.000563	0.392	697
8	0.262	0.000436	0.392	900
9	0.0875	0.000252	0.392	1558
		SUM	3.92	6303

Town Houses 1, 2 & 3 Detention Tank Emptying Time:

Time to empty is approximately 66.23 minutes.

1.232	Bottom area of tank or container ( $m^2$ )
2.3	H - height between surface and aperture (m)
0.00032	A - aperture area ( $m^2$ )
0.6	$C_d$ - discharge coefficient
10	no. of "slices" or segments (for the iterative calculation)

Segment	Average Height between Segment and Aperture (m)	Average Flow ( $m^3/s$ )	Volume in Segment ( $m^3$ )	Time to Drain Segment (s)
0	2.18	0.00126	0.283	225
1	1.95	0.00119	0.283	238
2	1.73	0.00112	0.283	254
3	1.5	0.00104	0.283	273
4	1.26	0.000957	0.283	296
5	1.03	0.000865	0.283	328
6	0.805	0.000763	0.283	371
7	0.575	0.000645	0.283	439
8	0.345	0.0005	0.283	567
9	0.115	0.000288	0.283	983
		SUM	2.83	3974

If you have any queries regarding the above, please contact me.



Stuart Lamond

Building Services Designer (Hydraulic)

CC1806B

CEEDS Property Group Pty Ltd

AZIZ & NESRIN ALNASSER  
30 COPLEY ROAD  
LENAH VALLEY TAS 7008


### DRAWING INDEX

H001	COVER PAGE
H002	HYDRAULIC NOTES
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H103	HOUSES DETENTION TANK DETAIL
H104	DRIVEWAY DETENTION TANK DETAIL
H105	DETENTION ORIFICE SIZING AND DETENTION TANK EMPTYING TIMES

### LEGEND

9.55	Existing surface level (surveyed)
• 9.600 ex	Existing surface level (interpolated)
• 9.500	Proposed bulk earthworks level
• 9.800	Proposed finished surface level
— EX W — EX W —	Existing water supply external to building
— W — W —	Proposed water supply external to building
— EX S — EX S —	Existing sewer drain
— S — S — S —	Proposed sewer drain
— EX SW — EX SW —	Existing stormwater drain
— SW — SW —	Proposed stormwater drain
— AG — AG —	Proposed DN100 ag. drain and geofabric sock
— CW — CW —	Proposed cold water supply internal to building

DRAWINGS ARE NOT TO BE USED UNLESS APPROVED AND STAMPED BY COUNCIL

REV	DESCRIPTION	DATE		AZIZ & NESRIN ALNASSER	INDEX AND LEGEND	BUILDING APPROVAL			
						SL	SL	SL	14/01/2022
0	BUILDING APPROVAL	11/05/2021	 CEEDS PROPERTY GROUP PTY. LTD. ABN: 89659328322 P.O.Box 70 Sandy Bay Tas 7006 Stuart 0499 998 815 E: ceedspg@bigpond.com	30 COPLEY ROAD LENAH VALLEY TAS 7008	MULTIPLE DWELLINGS STORMWATER DETENTION	NTS		A3	
1	BUILDING APPROVAL	28/10/2021				21.0028		H001	2
2	BUILDING APPROVAL	14/01/2022							

**GENERAL NOTES:**

1. THESE DRAWING ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS, PROJECT CONTRACT AND SPECIFICATIONS. STANDARDS REFERENCES ARE THE MOST RECENT VERSION.
2. SEWER, STORMWATER AND WATER SERVICES SHALL BE IN ACCORDANCE WITH THE PLUMBING CODE OF AUSTRALIA, AS3500, WSA CODES, TASWATER AND TO LOCAL AUTHORITY APPROVAL.
3. IT IS ASSUMED THAT ADJACENT TO THE DEVELOPMENT SITE IS ADEQUATE INFRASTRUCTURE PROVIDED BY THE LOCAL AUTHORITY AND OTHER STATUTORY AUTHORITIES TO SUPPLY ROAD ACCESS, WATER AND POWER AS REQUIRED BY THIS DESIGN; AND THERE IS ADEQUATE INFRASTRUCTURE OR ENVIRONMENTAL CAPACITY TO RECEIVE STORMWATER AND SEWERAGE DRAINAGE. PARTICULAR ASSUMPTIONS ARE DESCRIBED IN THE FOLLOWING SECTIONS.
4. EXISTING LOCATION OF SERVICES SHOWN HAS BEEN DETERMINED FROM VISUAL INSPECTION ON SITE AND RECORD DRAWINGS AVAILABLE. NO CONFIRMATION/PROVING OF SERVICES SHOWN HAS BEEN UNDERTAKEN. THE PLUMBING CONTRACTOR SHALL CONFIRM ALL SERVICES PRIOR TO STARTING WORKS. ANY DISCREPANCIES FOUND SHALL BE REPORTED TO THE HYDRAULIC DESIGNER.
5. FOLLOWING AGREEMENT WITH THE SUPERINTENDENT, TERMINATE AND ABANDON REDUNDANT EXISTING SERVICES DISCOVERED DURING CONSTRUCTION AND MAKE A NOTE ON AS-CONSTRUCTED DRAWING.
6. LOCATE ALL EXISTING GAS, ELECTRICAL, TELECOMMUNICATIONS, WATER MAINS, SEWER MAINS AND STORMWATER MAINS ETC. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, IF FOR ANY REASON DOUBT EXISTS ON WHETHER EQUIPMENT OR WORK SPECIFIED WITHIN THE DOCUMENTS ARE CORRECT THE CONTRACTOR SHALL NOTIFY THE SUPERINTENDENT IN WRITING OF ANY POTENTIAL COMPLIANCE DISCREPANCIES OR ISSUES PRIOR TO UNDERTAKING THE WORKS.
7. CONFIRM ALL LEVELS ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.
8. HYDRAULIC LAYOUT TO BE COORDINATED WITH OTHER SERVICES. HYDRAULIC LAYOUT AS SHOWN IS NOTIONAL, LAYOUT TO BE CONFIRMED ON SITE.
9. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT A VALID BUILDING AND PLUMBING PERMIT AND START WORKS NOTICE IS IN PLACE FOR THE WORK AND THAT THE BUILDING SURVEYOR IS NOTIFIED OF ALL SITE INSPECTION REQUESTS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES CAUSED BY HIS SUB-CONTRACTORS, ANY SERVICE DAMAGED IS TO BE REINSTATED IMMEDIATELY.
11. ON COMPLETION OF WORKS PROVIDE AS-CONSTRUCTED DRAWINGS AND SERVICE MANUALS ALONG WITH ELECTRONIC DRAWING FILES IN PDF AND DWG FORMATS SUITABLE FOR READING WITH A RECENT VERSION OF ADOBE/AUTOCAD TO THE SUPERINTENDENT.
12. THE CONTRACTOR IS RESPONSIBLE FOR ORGANISING ALL SITE INSPECTIONS AND OBSERVING ALL HOLD POINTS NOMINATED WITHIN THE CONTRACT, BY THE BUILDING SURVEYOR OR PLUMBING SURVEYOR.
13. NOMINAL DIAMETERS FOR PIPES (DN) REFER TO THE INSIDE DIAMETER (ID BORE)
14. CONCEAL ALL PIPEWORK IN CEILING SPACE, DUCTS, CAVITIES, WALL CHASES, CUPBOARDS ETC. UNLESS OTHERWISE APPROVED.
15. THE CONTRACTOR SHALL ALLOW TO COORDINATE WITH MECHANICAL AND REFRIGERATION SERVICES AND PROVIDE TUNDISHES CONNECTED TO SEWER OR STORMWATER AS APPROPRIATE TO ALL CONDENSATE DRAINAGE AND RELIEF VALVES. ALLOW TO PROVIDE AND INSTALL MAG IN-WALL TUNDISHES WITH STAINLESS STEEL COVER WINDOW (SUPPLIED BY MA GRIFFITH) OR EQUAL APPROVED TYPE.
16. TRENCHING FOR FLEXIBLE PIPEWORK SHALL BE IN ACCORDANCE WITH AS2566 AND AS3500.
17. ALL PIPEWORK UNDER TRAFFICABLE AREAS, SLABS OR PAVEMENTS IS TO BE FULLY BACKFILLED WITH COMPACTED FCR.

**TASWATER:**

1. ALL WORKS ARE TO BE IN ACCORDANCE WITH THE WATER SUPPLY CODE OF AUSTRALIA WSA 03 -2011-3.1
2. VERSION 3.1 MRWA EDITION V2.0 AND SEWERAGE CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES
3. CODE WSA 02—2014-3.1 MRWA VERSION 2 AND TASWATER'S SUPPLEMENTS TO THESE CODES

**STORMWATER NOTES:**

1. STORMWATER PIPE INFRASTRUCTURE HAS BEEN DESIGNED TO CONVEY A 20 YEAR AVERAGE RECURRENCE INTERVAL (ARI) AT A 5 MINUTE STORM DURATION, WITH OVERLAND FLOW PATHS PROVIDED FOR 1:100 ARI. IT IS ASSUMED THAT THE DOWNSTREAM INFRASTRUCTURE AND/OR ENVIRONMENT CAN SAFELY RECEIVE THE 1:20 ARI EVENT WITH A 5 MINUTE STORM DURATION.
2. ALL MATERIALS AND WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH AS3500, NCCA, PLUMBING CODE OF AUSTRALIA, COUNCIL STANDARD DRAWINGS AND SPECIFICATION AND TO THE SATISFACTION OF COUNCIL'S DEVELOPMENT ENGINEER.
3. ALL ROOF DRAINAGE SHALL BE INSTALLED IN ACCORDANCE WITH AS3500.3 AND THE REQUIREMENT FOR OVERFLOWS DONE TO SATISFY THE REQUIREMENTS OF THE NCCA.
4. ALL PIPEWORK SHALL BE MINIMUM DN100 UPVC SN4 AT 1:100 GRADE (1.00%) UNLESS NOMINATED OTHERWISE ON PLANS
5. MINIMUM GRADE OF PAVED AREAS AND PIPEWORK SHALL BE 1 IN 100 UNLESS NOTED OTHERWISE.
6. INSTALL ALL AG DRAINS TO THE REQUIREMENTS OF AS3500 AND PART 3.1.2 OF THE NCCA.
7. PROVIDE INSPECTION OPENINGS TO ALL DRAINAGE PIPEWORK IN ACCORDANCE WITH AS3500 REQUIREMENTS EVEN IF NOT SHOWN IN DRAWINGS.
8. PIPE AND CHANNEL INFRASTRUCTURE HAS BEEN DESIGNED TO CONVEY 20 YEAR AVERAGE RECURRENCE INTERVAL (ARI) STORMS, WITH OVERLAND FLOW PATHS PROVIDED FOR 100 YEAR ARI STORMS. IT IS ASSUMED THAT WATER FLOWING ONTO THE DEVELOPMENT SITE IS CONTAINED WITHIN LOCAL AUTHORITY INFRASTRUCTURE FOR 20 YEAR ARI STORMS AND THE ROAD RESERVE FOR 100 YEAR ARI STORMS.
9. ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LOCAL AUTHORITY'S BY-LAWS AND AS/NZS3500.
10. STORMWATER TRENCHES, PIPE BEDDING AND BACK FILLING TO COMPLY WITH THE CONCRETE PIPE ASSOCIATION OF AUSTRALIA INSTALLATION REQUIREMENTS FOR TYPE H52 SUPPORT.
11. BELOW GROUND PIPEWORK AND FITTINGS TO BE UPVC SN2, JOINTS SHALL BE OF SOLVENT CEMENT TYPE OR FLEXIBLE JOINTS MADE WITH APPROVED RUBBER RINGS.
12. PIPEWORK SHALL BE LAID IN POSITION AND AT THE GRADES SHOWN.
13. MINIMUM GRADE OF PIPEWORK SHALL BE 1 IN 100 UNLESS NOTED OTHERWISE (U.N.O.).
14. SURFACE WATER DRAINS, CATCHPITS/GRATED PITS, AND JUNCTION BOXES SHALL BE CONSTRUCTED AS DETAILED OR AS SPECIFIED BY THE MANUFACTURER.

**BUILDING HYDRAULICS:**

1. ALL MATERIALS AND WORKMANSHIP TO BE DONE IN ACCORDANCE WITH AS3500, THE PLUMBING CODE OF AUSTRALIA AND LOCAL AUTHORITY REQUIREMENTS.
2. ALL DRAINAGE PIPEWORK SHALL BE UPVC CLASS SN6 U.N.O., ALL WASTE AND VENT SHALL BE DWV CLASS PIPE.
3. DURING CONSTRUCTION TEMPORARILY SEAL ALL OPEN ENDS OF PIPES AND VALVES TO PREVENT ENTRY OF FOREIGN MATTER, DO NOT USE RAGS, PAPER OR WOODEN PLUGS.
4. SUPPLY AND INSTALL ALL FIXTURES, VALVES, TAPWARE AND SUNDRY ITEMS AS SCHEDULED WITHIN THE SPECIFICATION.
5. PROVIDE FIRE STOPS AS REQUIRED.
6. CONTRACT DRAWINGS ARE DIAGRAMMATIC AND AS SUCH SHOW THE INTENT OF DESIGN. INSTALLATION TO BE AS PER AS/NZS3500. ALLOW FOR ALL BENDS, OFFSETS AND OTHER MEASURES AS NECESSARY TO AVOID INTERFERENCE WITH THE STRUCTURE AND/OR OTHER BUILDING SERVICES.
7. REFER TO ARCHITECTS DEMOLITION PLAN FOR REMOVAL OF EXISTING FIXTURES AND FITTINGS. THE REMOVAL OF EXISTING PLUMBING FIXTURES SHALL INCLUDE ALL ASSOCIATED WASTE AND VENT PIPES, FLOOR DRAINS, WATER SERVICE PIPEWORK BRACKETS, SUPPORTS, ETC AND SEAL OFF EXISTING SERVICES. SEAL OFF AND MAKE GOOD ALL FLOOR, WALL AND ROOF PENETRATIONS.
8. THE LOCATION OF EXISTING SERVICES WHERE SHOWN ARE APPROXIMATE ONLY AND SHALL BE CONFIRMED ON SITE. WHERE POSSIBLE, DETERMINE LOCATION OF EXISTING POWER, TELSTRA, WATER AND DRAINAGE SERVICES PRIOR TO COMMENCING NEW WORK.
9. ALL PENETRATIONS THROUGH EXISTING SUSPENDED FLOOR SLABS SHALL BE DRILLED TO LOCATIONS APPROVED BY THE STRUCTURAL ENGINEER. DRILL PILOT HOLE PRIOR TO CORE DRILLING TO ENSURE CLEARANCE OF BEAMS AND OTHER SERVICES IN SLAB. ALL PENETRATIONS SHALL BE CORE DRILLED TO SUIT PIPE SIZE. ALLOWANCE FOR 10 mm CLEARANCES SHALL BE MADE FOR FIRE PROOFING.
10. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATION OF FIRE AND SMOKE STOP WALLS. ALL PIPE PENETRATIONS SHALL BE SEALED WITH TWO HOUR FIRE STOP SEALANT. INSTALL FIRE STOP COLLARS TO PVC-U PIPEWORK PASSING THROUGH FLOORS AND FIRE WALLS IN ACCORDANCE WITH THE MANUFACTURERS WRITTEN INSTRUCTIONS.
11. PROVIDE SERVICE IDENTIFICATION AND DIRECTION OF FLOW MARKERS TO PIPEWORK IN ACCORDANCE WITH AS1345.
12. MAKE GOOD ALL DISTURBED SURFACES TO MATCH EXISTING.
13. MAINTAIN SERVICES TO EXISTING FIXTURES AT ALL TIMES. WHERE CHANGEOVER IS REQUIRED, LIAISE WITH THE ARCHITECT PRIOR TO THE SHUTTING DOWN OF ANY SERVICE.
14. CONTRACTOR TO PROVIDE ALL DOCUMENTS, APPROVALS, CERTIFICATES, WARRANTIES, LOG BOOKS, ETC. UPON COMPLETION OF WORKS TO THE ARCHITECT. ALL FEES AND INSPECTIONS TO BE INCLUDED AND ARRANGED BY THE CONTRACTOR.
15. REFER TO THE ARCHITECTS DRAWINGS FOR SANITARY FIXTURE AND TAP SELECTIONS. SUPPLY AND FIX ACCESSORIES NECESSARY FOR THE CORRECT INSTALLATION OF THE FIXTURES AND EQUIPMENT.

DRAWINGS ARE NOT TO BE USED UNLESS APPROVED AND STAMPED BY COUNCIL

REV	DESCRIPTION	DATE
0	BUILDING APPROVAL	11/05/2021
1	BUILDING APPROVAL	28/10/2021
2	BUILDING APPROVAL	14/01/2022



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AZIZ &amp; NESRIN ALNASSER

 30 COPLEY ROAD  
 LENA VALLEY TAS 7008
**HYDRAULIC NOTES**
 MULTIPLE DWELLINGS  
 STORMWATER DETENTION
**BUILDING APPROVAL**

SL	SL	SL	14/01/2022
NTS			A3
21.0028			H002
			2



## WORKPLACE HEALTH AND SAFETY NOTES

### GENERAL

- THE FOLLOWING RISK MITIGATION NOTES HAVE BEEN PREPARED TO ADVISE THE PERSON CONDUCTING A BUSINESS OR UNDERTAKING (FROM) ON THE HEALTH AND SAFETY ASPECTS OF THE DESIGN, IN ACCORDANCE WITH THE WORK HEALTH AND SAFETY ACT 2011 AND ARE PERTINENT TO ANY TIME WHEN THE BUILDING OPERATES AS A WORKPLACE.
- THESE NOTES MAY NOT NECESSARILY ACCOUNT FOR ALL CONSTRUCTION, OPERATION, MAINTENANCE AND DEMOLITION PRACTICES AND SAFETY RISKS. INCLUSION OR EXCLUSION OF ANY ITEM DOES NOT ABSOLVE THE OWNER, CONTRACTOR, USER, MAINTAINER OR DEMOLISHER OF THEIR OBLIGATIONS TO UNDERTAKE APPROPRIATE RISK MANAGEMENT ACTIVITIES AND IT IS NOT AN ADMISSION THAT ANY ITEM BELOW IS THE RESPONSIBILITY OF CEEDS PROPERTY GROUP.
- ADDITIONAL GUIDANCE ON WORKPLACE HEALTH AND SAFETY IS PROVIDED IN THE FOLLOWING CODES OF PRACTICE, WHICH THE CONTRACTOR IS TO COMPLY WITH AS APPLICABLE:
  - "CONSTRUCTION WORK";
  - "HOW TO MANAGE WORK HEALTH AND SAFETY RISKS";
  - "MANAGING THE WORK ENVIRONMENT AND FACILITIES";
- FURTHER ADDITIONAL AND UPDATED CODES OF PRACTICE AND OTHER GUIDANCE MATERIALS FOR THE MINIMISATION OF RISKS TO WORKPLACE HEALTH AND SAFETY ARE MADE AVAILABLE PERIODICALLY FROM WORKSAFE TASMANIA AT WWW.WORKSAFE.TAS.GOV.AU AND SAFE WORK AUSTRALIA AT WWW.SAFEWORAUSTRALIA.GOV.AU AND SHOULD BE CONSULTED PRIOR TO WORKS COMMENCING ONSITE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY ALL ASSOCIATED RISKS OF THE CONSTRUCTION PROCESS AND TO PREPARE ADEQUATE SAFE WORK METHOD STATEMENTS AND JOB SAFETY ANALYSIS.
- TEMPORARY STRUCTURES AND CONTRACTOR ERECTION PROCEDURES ARE ONLY INDICATED WHERE ESSENTIAL TO THE EXECUTION OF THE DESIGN AS INTENDED IN THE DOCUMENTS PROVIDED. DETAILED PROCEDURES MUST BE SOUGHT PRIOR TO WORKS COMMENCING. FOR ALL ASSOCIATED TEMPORARY STRUCTURE OR ERECTION DESIGN AND CERTIFICATION THE CONTRACTOR IS TO ENGAGE A THIRD PARTY TO ASSIST, CERTIFY AND OVERSEE THE ERECTION OF THE WORKS.

### SITE

RUPTURE OF SERVICES DURING EXCAVATION FOR OTHER ACTIVITY CREATES A VARIETY OF RISKS INCLUDING RELEASE OF HAZARDOUS MATERIAL. EXISTING SERVICES MAY BE LOCATED ON OR AROUND THE BUILDING WHERE KNOWN. THESE ARE IDENTIFIED ON THE DRAWINGS, HOWEVER THE EXACT LOCATION AND EXTENT OF SERVICES MAY VARY FROM THAT INDICATED. SERVICES SHOULD BE LOCATED USING AN APPROPRIATE SERVICE, APPROPRIATE EXCAVATION PRACTICE SHOULD BE USED AND, WHERE NECESSARY, SPECIALIST CONTRACTORS SHOULD BE ENGAGED.

### SITE ACCESS / TRAFFIC MANAGEMENT:

- THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODE OF PRACTICE: "TRAFFIC MANAGEMENT IN WORKPLACES" STANDARD CONTROL.
- ESPECIALLY FOR BUILDINGS ON A MAJOR, NARROW, OR STEEPLY INCLINED ROAD, PARKING OF VEHICLES OR LOADING / UNLOADING OF VEHICLES ON THE ROADWAY MAY CAUSE A TRAFFIC HAZARD. DURING CONSTRUCTION, MAINTENANCE OR DEMOLITION OF THE BUILDING, DESIGNATED PARKING FOR WORKERS AND LOADING AREAS SHOULD BE PROVIDED. FOR ALL BUILDINGS, A TRAFFIC MANAGEMENT PLAN SUPERVISED BY TRAINED TRAFFIC MANAGEMENT PERSONNEL SHOULD BE IMPLEMENTED FOR THE WORK SITE.
- PUBLIC ACCESS TO CONSTRUCTION AND DEMOLITION SITES AND TO AREAS UNDER MAINTENANCE CAUSES RISK TO WORKERS AND THE PUBLIC. WARNING SIGNS AND SECURE BARRIERS TO UNAUTHORISED ACCESS SHOULD BE PROVIDED WHERE ELECTRICAL INSTALLATIONS, EXCAVATIONS, PLANT OR LOOSE MATERIALS ARE PRESENT, THEY SHOULD BE SECURED WHEN NOT FULLY SUPERVISED.
- BUILDING OWNERS AND OCCUPIERS SHOULD MONITOR THE PEDESTRIAN ACCESS WAYS AND, IN PARTICULAR, ACCESS TO AREAS WHERE MAINTENANCE IS ROUTINELY CARRIED OUT, TO ENSURE THAT SURFACES HAVE NOT MOVED OR CRACKED SUCH THAT THEY BECOME UNEVEN AND PRESENT A TRIP HAZARD. SPILLS, LOOSE MATERIAL, STRAY OBJECTS OR ANY OTHER MATTER THAT MAY CAUSE A SLIP OR TRIP HAZARD SHOULD BE CLEANED OR REMOVED FROM ACCESS WAYS.
- CONTRACTORS SHOULD BE REQUIRED TO MAINTAIN A TIDY WORK SITE DURING CONSTRUCTION, MAINTENANCE OR DEMOLITION TO REDUCE RISK OF TRIPS AND FALLS IN THE WORKPLACE. MATERIALS FOR CONSTRUCTION OR MAINTENANCE SHOULD BE STORED IN DESIGNATED AREAS AWAY FROM ACCESS WAYS AND WORK AREAS.
- CONSTRUCTION OF BUILDING ELEMENTS THAT ARE NECESSARY TO CONTRIBUTE TO ACCESS TO THE BUILDING, SUCH AS HANDRAILS, SCAFFOLDING, ACCESS STAIRS, FALL ARREST SYSTEMS ETC., MUST TAKE PLACE PRIOR TO PROGRESSING WITH ANY OTHER WORKS FOR WHICH THOSE ELEMENTS WILL BE REQUIRED.

### WATER:

- IF THE BUILDING SITE IS ADJACENT TO ANY BODY OF WATER ADEQUATE PROTECTION AND ACCESS PREVENTION SHALL BE PROVIDED. THE CONTRACTOR IS TO PREPARE A SAFE WORK METHOD STATEMENT FOR ANY WORKS REQUIRED TO BE UNDERTAKEN OVER WATER. LIGHTING AND VENTILATION

### WORK LIGHTING:

- THE CONTRACTOR IS TO PROVIDE ADEQUATE LIGHTING AND VENTILATION TO ALL AREAS REQUIRED TO BE OCCUPIED BY WORKERS DURING CONSTRUCTION. PRIOR TO THE COMMISSIONING OF THE BUILDING, FINAL LIGHTING AND VENTILATION MUST BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE N.C.C.A.

### FIRE AND EMERGENCY:

- ADEQUATE SITE SPECIFIC FIRE EQUIPMENT AND EMERGENCY EVACUATION PROCEDURES ARE TO BE PROVIDED AND MAINTAINED BY THE CONTRACTOR DURING WORKS ONSITE ACCORDING TO A SAFE WORK METHOD STATEMENT TO BE PREPARED BY THE CONTRACTOR PRIOR TO WORKS COMMENCING ONSITE. PRIOR TO THE COMMISSIONING OF THE BUILDING, FINAL FIRE PROTECTION EQUIPMENT SHALL BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE N.C.C.A.

### ELECTRICAL:

- THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODES OF PRACTICE: "WORKING IN THE VICINITY OF OVERHEAD AND UNDERGROUND ELECTRIC LINES" AND "MANAGING ELECTRICAL RISKS IN THE WORKPLACE" AND AS 3012 STANDARD CONTROLS.

### NOISE

- THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODE OF PRACTICE: "MANAGING NOISE AND PREVENTING HEARING LOSS AT WORK" STANDARD CONTROL.

### EXCAVATION

- THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODE OF PRACTICE: "EXCAVATION WORK" STANDARD CONTROL.
- CONSTRUCTION OF THE BUILDING AND SOME MAINTENANCE ON THE BUILDING MAY REQUIRE EXCAVATION AND INSTALLATION OF ITEMS WITHIN THE EXCAVATION. WHERE PRACTICAL, INSTALLATION SHOULD BE CARRIED OUT USING METHODS THAT DO NOT REQUIRE WORKERS TO ENTER THE EXCAVATION. WHERE THIS IS NOT PRACTICAL, ADEQUATE SUPPORT FOR THE EXCAVATED AREA SHALL BE PROVIDED TO PREVENT COLLAPSE. WARNING SIGNS AND BARRIERS TO PREVENT ACCIDENTAL OR UNAUTHORISED ACCESS TO ALL EXCAVATIONS SHALL BE PROVIDED.
- ANY AUGURING PROCEDURES MAY CAUSE A RISK OF FALLING INTO OPEN BORES. ALL BORES THEREFORE ARE TO BE CONCRETE FILLED AS SOON AS POSSIBLE. IN THE MEANTIME, ADEQUATE PROTECTION AND ACCESS PREVENTION SHALL BE PROVIDED.
- THE CONTRACTOR IS TO CONSULT ANY SITE INVESTIGATION REPORTS ETC. BEFORE CONDUCTING ANY EXCAVATION WORKS. IN THE CASE OF ANY AREAS BEING IDENTIFIED AS HAVING GROUND CONTAMINATION PRESENT, A QUALIFIED SPECIALIST CONSULTANT SHALL BE ENGAGED TO PROVIDE REMEDIAL WORKS DESIGN AND RISK MITIGATION STRATEGIES.

### CONSTRUCTION AT HEIGHTS:

- THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODES OF PRACTICE: "MANAGING THE RISK OF FALLS AT WORKPLACES", "PREVENTING FALLS IN HOUSING CONSTRUCTION", "SCAFFOLDS AND SCAFFOLDING WORK" AND AS 1557 STANDARD CONTROLS.
- SCAFFOLDING MUST BE SECURED AND BRACED TO RESIST OVERTURNING. SINGLE PROPS MUST NOT BE USED UNLESS A DESIGN CHECK ON STABILITY IS MADE AND THEY ARE FIXED TO A STABLE BASE AT MIDPOINTS.
- CONTRACTOR IS TO USE PASSIVE FALL PREVENTION DEVICE IF POSSIBLE (IE. FIXED PLATFORM, CHERRY PICKERS ETC.)

### CRANES AND OTHER MECHANICAL PLANT:

- THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODES OF PRACTICE: "CRANES", "MANAGING THE RISKS OF PLANT IN THE WORKPLACE", "INDUSTRIAL LIFT TRUCKS" AND AS 2550 STANDARD CONTROLS.
- MECHANICAL LIFTING OF MATERIALS AND COMPONENTS DURING CONSTRUCTION, MAINTENANCE OR DEMOLITION PRESENTS A RISK OF FALLING OBJECTS. CONTRACTORS SHOULD ENSURE THAT APPROPRIATE LIFTING DEVICES ARE USED, THAT LOADS ARE PROPERLY SECURED, AND THAT ACCESS TO AREAS BELOW THE LOAD IS PREVENTED OR RESTRICTED.
- CONTRACTOR IS TO ENSURE THAT CRANE SIZE AND LOCATION IS ADEQUATELY ASSESSED FOR CAPACITY BEFORE ANY LIFT. THIS IT TO INCLUDE BUT IS NOT LIMITED TO CRANE SUPPORT BEARING, LOCATION OF UNDERGROUND SERVICES, OVERTURNING, LIFTING CAPACITY, OVERHEARD OBSTRUCTIONS AND TRAFFIC HAZARDS.

### EXISTING BUILDINGS

#### DEMOLITION:

- THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODE OF PRACTICE: "DEMOLITION WORK" (CP106) STANDARD CONTROL.
- LOCATIONS OF EXISTING EMBEDDED LIVE SERVICES ARE TO BE ACCURATELY ESTABLISHED PRIOR TO ANY PENETRATION OF EXISTING STRUCTURE.
- DO NOT CUT OR REMOVE ANY STRUCTURAL MEMBER PRIOR TO INSPECTION BY A SUITABLY QUALIFIED STRUCTURAL ENGINEER.
- SEEK ADVICE FROM A SUITABLY QUALIFIED STRUCTURAL ENGINEER PRIOR TO CORING, CHASING, CUTTING OR REMOVAL OF EXISTING CONCRETE AND REINFORCEMENT.
- EXISTING STRUCTURAL ADEQUACY.
- WHERE EXISTING STRUCTURAL ELEMENTS ARE DAMAGED OR EXHIBIT SIGNIFICANT SECTION LOSS, A SUITABLY QUALIFIED STRUCTURAL ENGINEER SHALL BE ENGAGED TO DESIGN A SYSTEM FOR STABILISING / SUPPORTING THE EXISTING STRUCTURE, SUCH THAT ALL WORK AREAS WILL BE ADEQUATELY SAFE FOR BUILDING WORKS TO COMMENCE. ANY SIGNIFICANT SECTION LOSS OR CORROSION OF EXISTING STRUCTURAL ELEMENTS SHALL BE REPORTED TO THE ENGINEER PRIOR TO PROCEEDING WITH WORKS.
- ANY EXISTING RETAINING STRUCTURES PRESENT ON THE SITE SHALL BE INSPECTED BY A SUITABLY QUALIFIED STRUCTURAL ENGINEER TO ASCERTAIN THE EXTENT OF ANY EXCLUSION ZONES REQUIRED, ESPECIALLY WITH REGARD TO ANY EXCAVATION, THE OPERATION OF HEAVY SURFACE PLANT AND EQUIPMENT, OR STOCKPILING MATERIAL ADJACENT TO EXISTING RETAINING STRUCTURES.
- NO EXCAVATION SHALL BE PERFORMED ADJACENT TO ANY EXISTING STRUCTURE, ESPECIALLY BELOW THE 45° LINE FROM THE UNDERSIDE OF AN EXISTING FOOTING WITHOUT THE EXPRESS PERMISSION OF THE STRUCTURAL ENGINEER.

#### EXISTING COATINGS:

- PRIOR TO ANY WORKS COMMENCING AN APPROPRIATE METHOD OF PAINT REMOVAL AND DISPOSAL IS TO BE DETERMINED, PARTICULARLY ON HISTORIC STRUCTURES. COATINGS CONTAINING COAL TAR EPOXIES, BITUMEN AND ASPHALTS, ZINC CHROMATE AND LEAD AMONG OTHERS PRESENT A HEALTH RISK. ADEQUATE SCREENING IS TO BE PROVIDED TO THE PUBLIC AND THE SURROUNDING ENVIRONMENT DURING PAINT REMOVAL AND CLEANING OPERATIONS. ENVIRONMENTALLY APPROPRIATE METHODS ARE TO BE EMPLOYED DURING MAINTENANCE AND REPAIR WORK.

### ASBESTOS:

- THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODES OF PRACTICE: "HOW TO MANAGE AND CONTROL ASBESTOS IN THE WORKPLACE" AND "HOW TO SAFELY REMOVE ASBESTOS" STANDARD CONTROLS.
- FOR ALTERATIONS TO OR DEMOLITION OF A BUILDING CONSTRUCTED PRIOR TO 1990, IF THE BUILDING WAS CONSTRUCTED PRIOR TO:
  - 1990 - IT MAY CONTAIN ASBESTOS;
  - 1996 - IT IS LIKELY TO CONTAIN ASBESTOS, EITHER IN CLADDING MATERIAL OR IN FIRE-RETARDANT INSULATION MATERIAL. IN EITHER CASE, THE BUILDER SHOULD INSPECT AND, IF NECESSARY, HAVE ANY ASBESTOS REMOVED BY A SUITABLE QUALIFIED PERSON BEFORE DEMOLISHING, CUTTING, SANDING, DRILLING OR OTHERWISE DISTURBING THE EXISTING STRUCTURE.

### HAZARDOUS SUBSTANCES

- THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODE OF PRACTICE: "MANAGING RISKS OF HAZARDOUS CHEMICALS IN THE WORKPLACE" STANDARD CONTROL.

### POWDERED MATERIALS:

- MANY MATERIALS USED IN CONSTRUCTION CAN CAUSE HARM IF INHALED IN POWDERED FORM. PERSONS WORKING ON OR IN THE BUILDING DURING CONSTRUCTION, OPERATIONAL MAINTENANCE OR DEMOLITION SHOULD ENSURE GOOD VENTILATION AND WEAR PERSONAL PROTECTIVE EQUIPMENT, INCLUDING PROTECTION AGAINST INHALATION WHILE USING POWDERED MATERIAL OR WHEN SANDING, DRILLING, CUTTING OR OTHERWISE DISTURBING OR CREATING POWDERED MATERIAL.

### TREATED TIMBER:

- THE DESIGN OF THE BUILDING MAY INCLUDE PROVISION FOR INCLUSION OF TREATED TIMBER WITHIN THE STRUCTURE. DUST OR FUMES FROM THIS MATERIAL CAN BE HARMFUL. PERSONS WORKING ON OR IN THE BUILDING DURING CONSTRUCTION, OPERATIONAL MAINTENANCE OR DEMOLITION SHOULD ENSURE GOOD VENTILATION AND WEAR PERSONAL PROTECTIVE EQUIPMENT INCLUDING PROTECTION AGAINST INHALATION OF HARMFUL MATERIAL WHEN SANDING, DRILLING, CUTTING OR USING TREATED TIMBER IN ANY WAY THAT MAY CAUSE HARMFUL MATERIAL TO BE RELEASED. DO NOT BURN TREATED TIMBER.

### VOLATILE ORGANIC COMPOUNDS:

- MANY TYPES OF GLUES, SOLVENTS, SPRAY PACKS, PAINTS, VARNISHES AND SOME CLEANING MATERIALS AND DISINFECTANTS HAVE DANGEROUS EMISSIONS. AREAS WHERE THESE ARE USED SHOULD BE KEPT WELL VENTILATED WHILE THE MATERIAL IS BEING USED AND FOR A PERIOD AFTER INSTALLATION. PERSONAL PROTECTIVE EQUIPMENT MAY ALSO BE REQUIRED. THE MANUFACTURERS' RECOMMENDATIONS FOR USE MUST BE CAREFULLY FOLLOWED AT ALL TIMES.

### SYNTHETIC MINERAL FIBRE:

- GLASS FIBRE, ROCK WOOL, CERAMIC AND OTHER MATERIAL USED FOR THERMAL OR ACOUSTIC INSULATION MAY CONTAIN SYNTHETIC MINERAL FIBRE WHICH MAY BE HARMFUL IF INHALED, OR IF IT COMES INTO CONTACT WITH THE SKIN. EYES OR OTHER SENSITIVE PARTS OF THE BODY. PERSONAL PROTECTIVE EQUIPMENT, INCLUDING PROTECTION AGAINST INHALATION OF HARMFUL MATERIAL, SHOULD BE USED WHEN INSTALLING, REMOVING OR WORKING NEAR BULK INSULATION MATERIAL.

### HAZARDOUS MANUAL TASKS

- THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODE OF PRACTICE: "HAZARDOUS MANUAL TASKS" STANDARD CONTROL.
- COMPONENTS WITHIN THIS DESIGN WITH A MASS IN EXCESS OF 25 KG SHOULD BE LIFTED BY TWO OR MORE WORKERS OR BY A MECHANICAL LIFTING DEVICE. ALL MATERIAL PACKAGING, BUILDING AND MAINTENANCE COMPONENTS SHOULD CLEARLY SHOW THE TOTAL MASS OF PACKAGES AND WHERE PRACTICAL ALL ITEMS SHOULD BE STORED ON SITE IN A WAY THAT MINIMISES BENDING BEFORE LIFTING. ADVICE SHOULD BE PROVIDED ON SAFE LIFTING METHODS IN ALL AREAS WHERE LIFTING MAY OCCUR.

### CONFINED SPACES


- THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODE OF PRACTICE: "CONFINED SPACES" AND AS 2865 STANDARD CONTROLS.
- ENCLOSED SPACES WITHIN THE BUILDING MAY PRESENT A RISK TO PERSONS ENTERING FOR CONSTRUCTION, MAINTENANCE OR ANY OTHER PURPOSE. WHERE WORKERS ARE REQUIRED TO ENTER ENCLOSED SPACES, AIR TESTING EQUIPMENT AND PERSONAL PROTECTIVE EQUIPMENT SHALL BE PROVIDED. ONLY TRAINED PERSONNEL ARE TO ENTER A CONFINED SPACE AND THE CONTRACTOR IS TO PREPARE A WORK METHOD STATEMENT ADDRESSING MITIGATION OF RISKS FOR ANY SUCH WORKS. ADEQUATE SIGNAGE IS TO BE PROVIDED TO ALL TEMPORARY AND PERMANENT CONFINED SPACES IN ACCORDANCE WITH AS 2865.

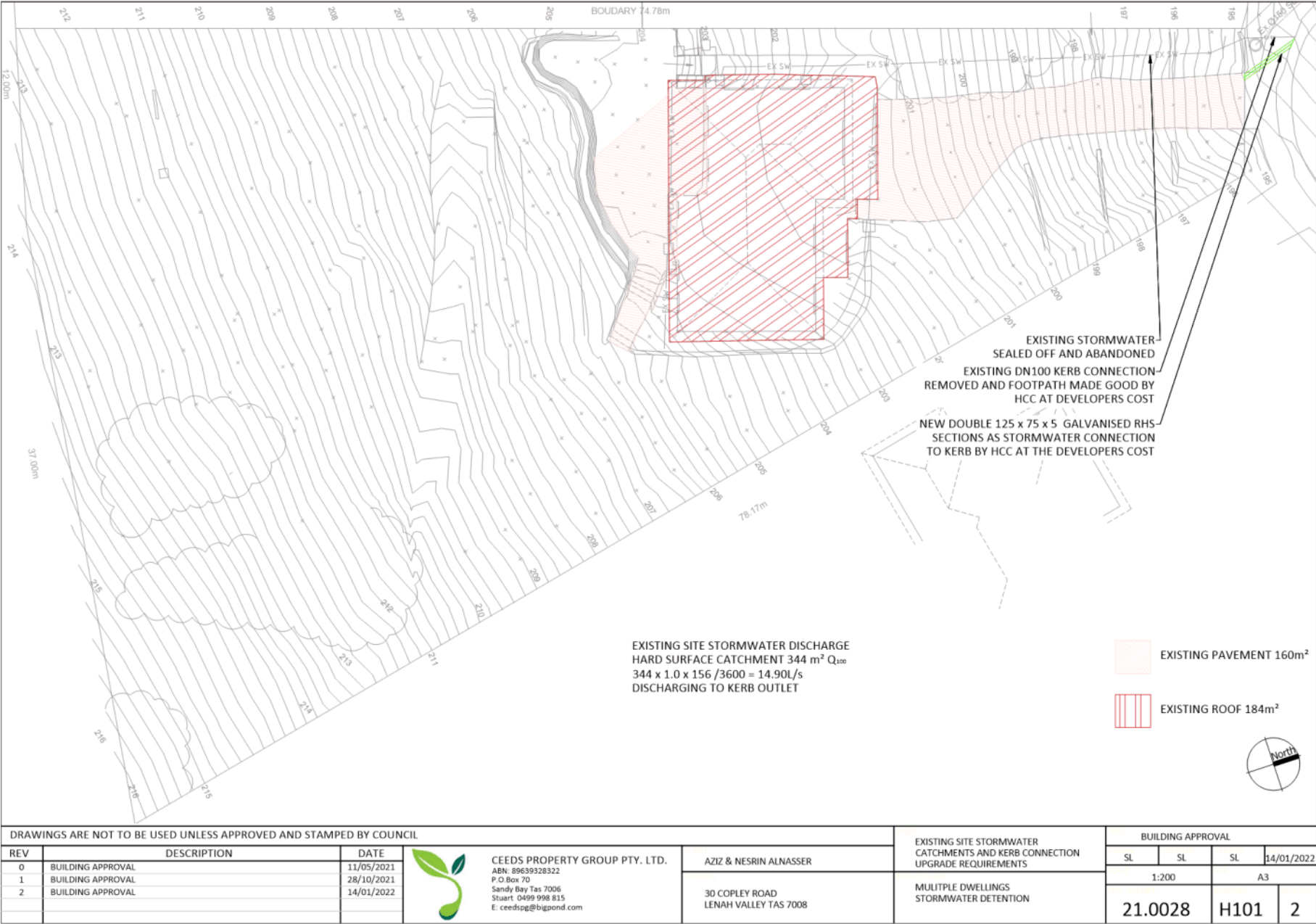
### OPERATIONAL USE OF BUILDING

#### RESIDENTIAL BUILDINGS:

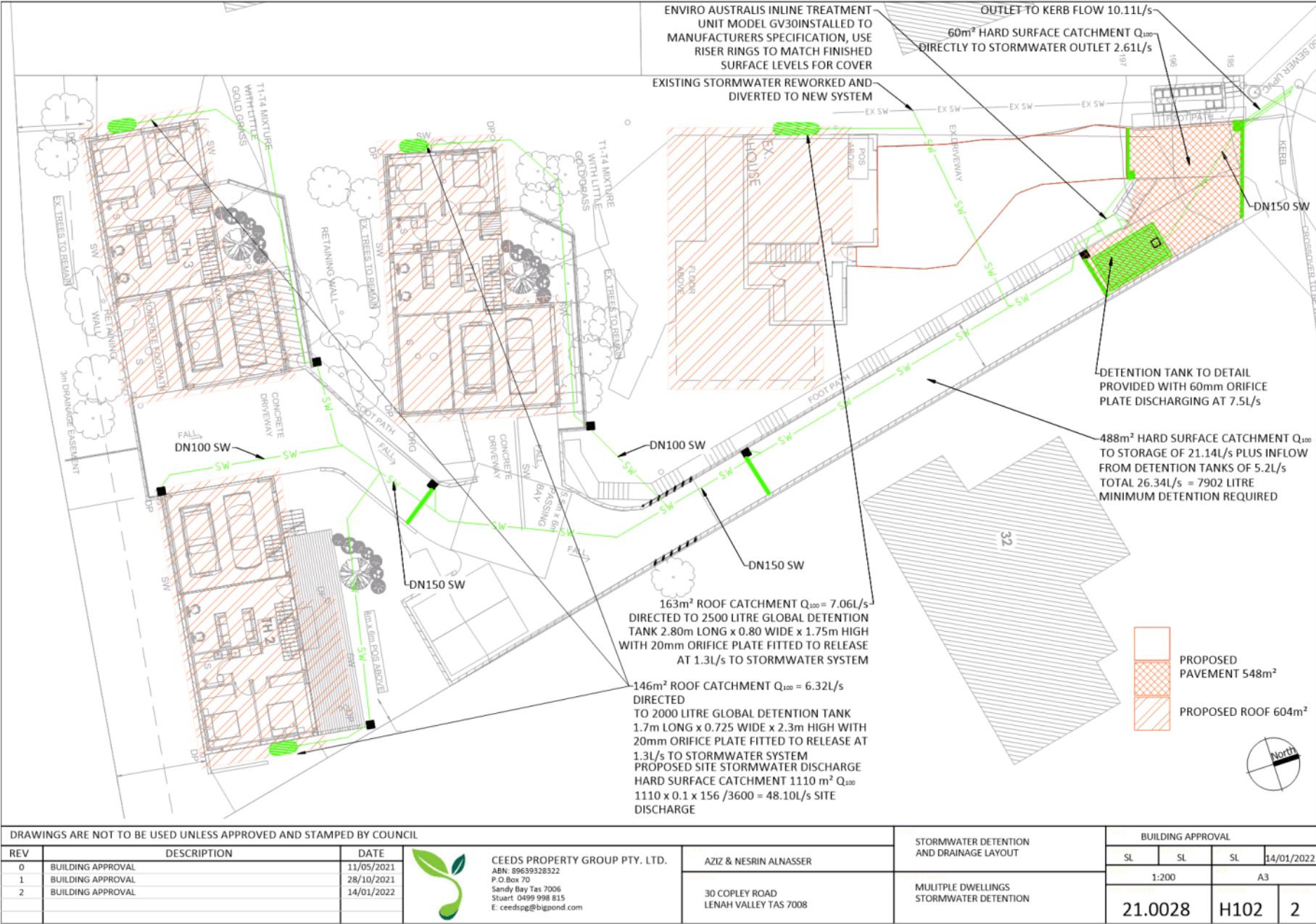
- THIS BUILDING HAS BEEN DESIGNATED AS A RESIDENTIAL BUILDING. IF THE BUILDING, AT A LATER DATE, IS USED OR INTENDED FOR USE AS A WORKPLACE, THE PROVISIONS OF THE WORK HEALTH AND SAFETY ACT 2011 OR SUBSEQUENT REPLACEMENT LEGISLATION SHOULD BE APPLIED TO THE NEW USE.

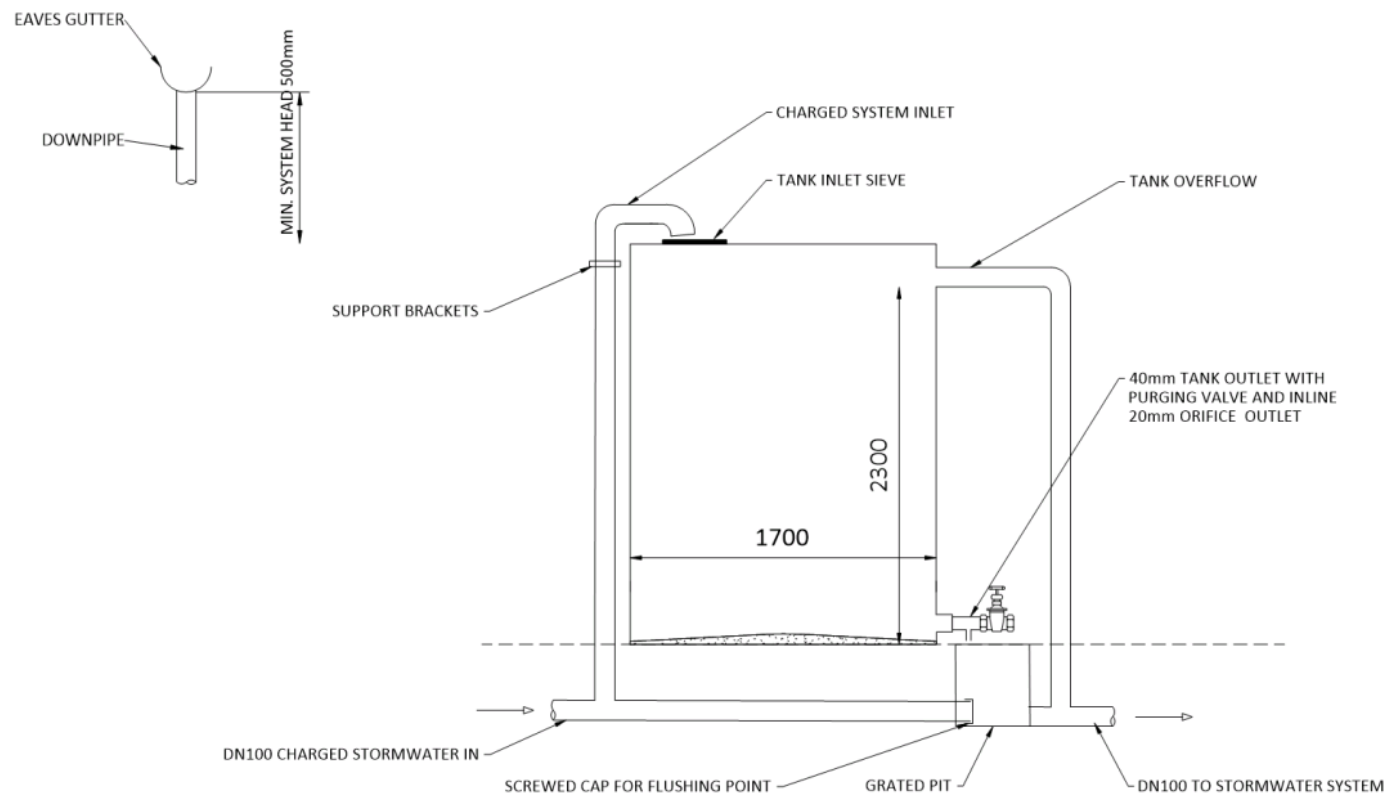
**DRAWINGS ARE NOT TO BE USED UNLESS APPROVED AND STAMPED BY COUNCIL**

REV	DESCRIPTION	DATE			WORKPLACE HEALTH AND SAFETY NOTES	BUILDING APPROVAL			
						SL	SL	SL	14/01/2022
0	BUILDING APPROVAL	11/05/2021		<b>CEEDS PROPERTY GROUP PTY. LTD.</b> ABN: 89659328322 P.O.Box 70 Sandy Bay Tas 7006 Stuart 0499 998 815 E: ceedspg@bigpond.com	<b>AZIZ &amp; NESRIN ALNASSER</b>  30 COPLEY ROAD LENA VALLEY TAS 7008	NTS		A3	
1	BUILDING APPROVAL	28/10/2021				21.0028		H003	
2	BUILDING APPROVAL	14/01/2022						2	









RAINWATER DETENTION TANK TOWN HOUSE 1, 2 & 3

DRAWINGS ARE NOT TO BE USED UNLESS APPROVED AND STAMPED BY COUNCIL

REV	DESCRIPTION	DATE
0	BUILDING APPROVAL	11/05/2021
1	BUILDING APPROVAL	28/10/2021
2	BUILDING APPROVAL	14/01/2022



CEEDS PROPERTY GROUP PTY. LTD.  
ABN: 89659328322  
P.O.Box 70  
Sandy Bay Tas 7006  
Stuart 0499 998 815  
E: ceedspg@bigpond.com

AZIZ & NESRIN ALNASSER

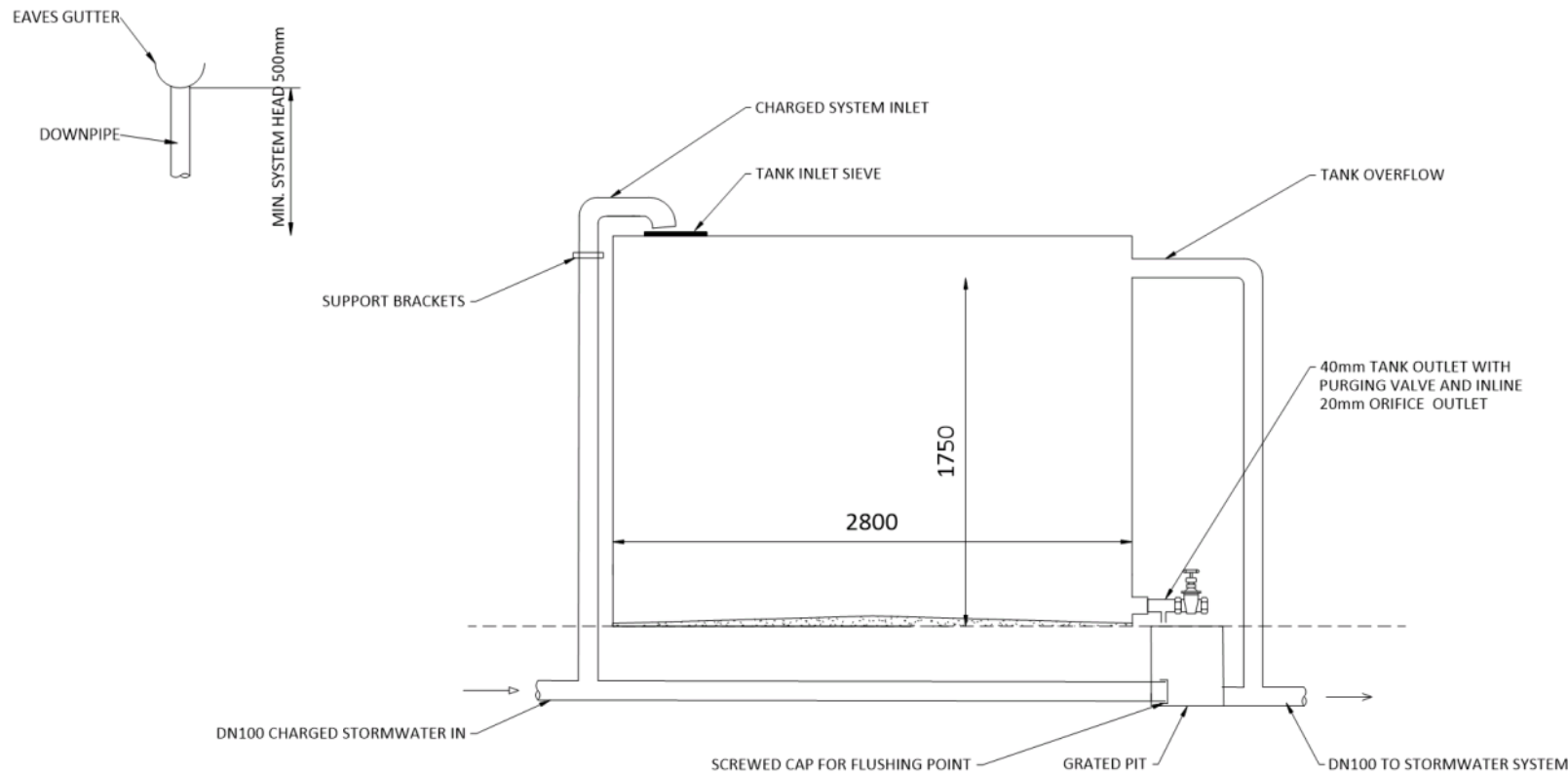
30 COPLEY ROAD  
LENAH VALLEY TAS 7008

DETENTION TANK DETAIL  
TOWN HOUSES 1, 2 & 3


MULTIPLE DWELLINGS  
STORMWATER DETENTION

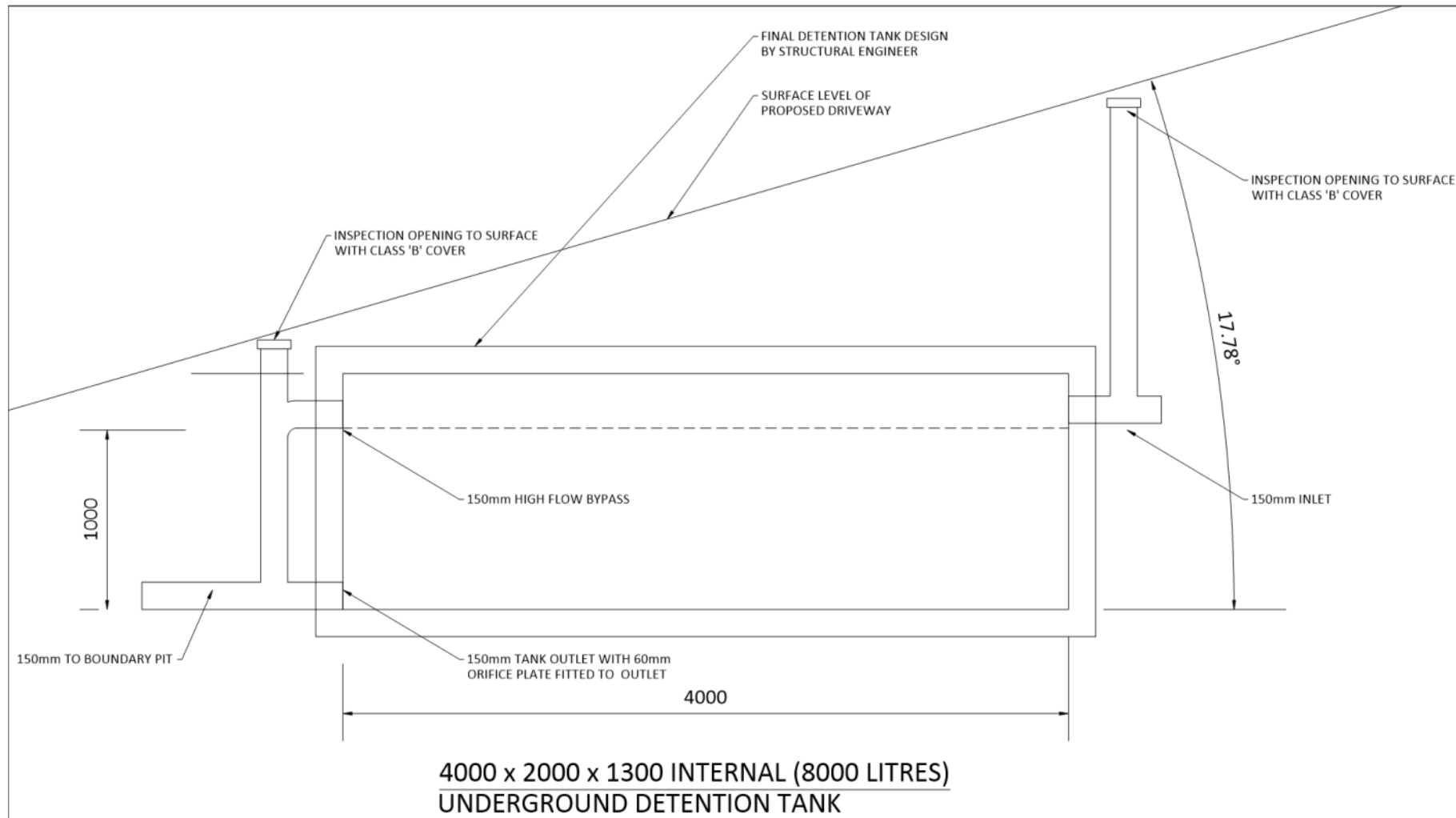
BUILDING APPROVAL

SL	SL	SL	14/01/2022
NTS			A3
21.0028		H103	2



RAINWATER DETENTION TANK EXISTING HOUSE

DRAWINGS ARE NOT TO BE USED UNLESS APPROVED AND STAMPED BY COUNCIL				DETENTION TANK DETAIL EXISTING HOUSE		BUILDING APPROVAL			
REV	DESCRIPTION	DATE		CEEDS PROPERTY GROUP PTY. LTD.	AZIZ & NESRIN ALNASSER	SL		SL	14/01/2022
0	BUILDING APPROVAL	11/05/2021		ABN: 89659328322	30 COPLEY ROAD LENAH VALLEY TAS 7008	NTS		A3	
1	BUILDING APPROVAL	28/10/2021		P.O.Box 70		21.0028		H104	
2	BUILDING APPROVAL	14/01/2022		Sandy Bay Tas 7006		MULTIPLE DWELLINGS STORMWATER DETENTION		2	
				Stuart 0499 998 815					
				E: ceedspg@bigpond.com					



DRAWINGS ARE NOT TO BE USED UNLESS APPROVED AND STAMPED BY COUNCIL

REV	DESCRIPTION	DATE
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CEEDS PROPERTY GROUP PTY. LTD.  
ABN: 89659328322  
P.O.Box 70  
Sandy Bay Tas 7006  
Stuart 0499 998 815  
E: ceeds@bigpond.com

AZIZ & NESRIN ALNASSER

30 COPLEY ROAD  
LENAH VALLEY TAS 7008

DRIVEWAY DETENTION TANK DETAIL

MULTIPLE DWELLINGS  
STORMWATER DETENTION

BUILDING APPROVAL

SL	SL	SL	14/01/2022
NTS		A3	
21.0028		H104	2

**STORMWATER DETENTION TANK DRAINAGE  
ORIFICE SIZING SCHEDULE**

Project Name: 59 Copley Road, Lenah Valley      Project No.: 21.0028  
Designer: Stuart Lamond      Date: 09-12-21  
Revision: A

CATCHMENT AREA	RAINFALL FACTOR	LOCATION	AREA m <sup>2</sup>	REQUIRED OSD (1) m <sup>3</sup> (2) m <sup>3</sup> /s	OUTLET TYPE	OUTLET DIAMETER mm	DISCHARGE COEFFICIENT C	HEAD OF WATER (3) m	OUTLET X-SECTIONAL AREA m <sup>2</sup>	
Hobart	156		488	8.000	0.00750	Office	50	0.600	1.000	0.00262

$H = (1.17^4 / 3.142) * 0.5 * 1000$        $H = G17 / (1.17^4 * 2 * 9.81 * K17^2 * 0.5)$

(1) On Site Detention volume calculated from AEP100 y 5 Minute Duration Rainfall of 156mm.  
(2) Permissible Site Discharge calculated from Hobart City Council development criteria.  
(3) Head of Water calculated to invert of pipe outlet.

DRIVEWAY DETENTION ORIFICE SIZING CALCULATIONS

**STORMWATER DETENTION TANK DRAINAGE  
ORIFICE SIZING SCHEDULE**

Project Name: 59 Copley Road, Lenah Valley      Project No.: 21.0028  
Designer: Stuart Lamond      Date: 09-12-21  
Revision: A

CATCHMENT AREA	RAINFALL FACTOR	LOCATION	AREA m <sup>2</sup>	REQUIRED OSD (1) m <sup>3</sup> (2) m <sup>3</sup> /s	OUTLET TYPE	OUTLET DIAMETER mm	DISCHARGE COEFFICIENT C	HEAD OF WATER (3) m	OUTLET X-SECTIONAL AREA m <sup>2</sup>	
Hobart	156	House 1	163	2.118	0.00110	Office	20	0.600	1.750	0.00031

$H = (1.17^4 / 3.142) * 0.5 * 1000$        $H = G17 / (1.17^4 * 2 * 9.81 * K17^2 * 0.5)$

(1) On Site Detention volume calculated from AEP100 y 5 Minute Duration Rainfall of 156mm.  
(2) Permissible Site Discharge calculated from Hobart City Council development criteria.  
(3) Head of Water calculated to invert of pipe outlet.

EXISTING HOUSE DETENTION ORIFICE SIZING CALCULATIONS

**STORMWATER DETENTION TANK DRAINAGE  
ORIFICE SIZING SCHEDULE**

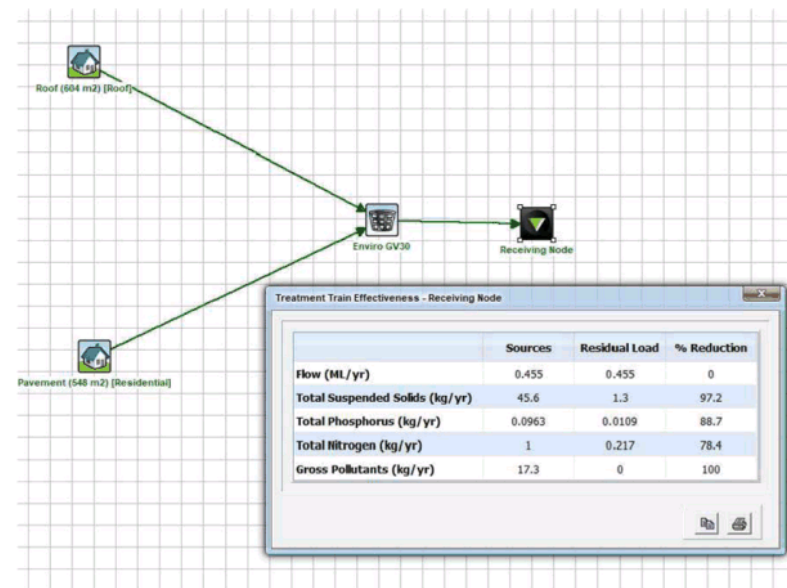
Project Name: 59 Copley Road, Lenah Valley      Project No.: 21.0028  
Designer: Stuart Lamond      Date: 09-12-21  
Revision: A

CATCHMENT AREA	RAINFALL FACTOR	LOCATION	AREA m <sup>2</sup>	REQUIRED OSD (1) m <sup>3</sup> (2) m <sup>3</sup> /s	OUTLET TYPE	OUTLET DIAMETER mm	DISCHARGE COEFFICIENT C	HEAD OF WATER (3) m	OUTLET X-SECTIONAL AREA m <sup>2</sup>	
Hobart	156		146	1.896	0.00130	Office	20	0.600	2.300	0.00032

$H = (1.17^4 / 3.142) * 0.5 * 1000$        $H = G17 / (1.17^4 * 2 * 9.81 * K17^2 * 0.5)$

(1) On Site Detention volume calculated from AEP100 y 5 Minute Duration Rainfall of 156mm.  
(2) Permissible Site Discharge calculated from Hobart City Council development criteria.  
(3) Head of Water calculated to invert of pipe outlet.

TOWN HOUSE 1, 2 &amp; 3 DETENTION ORIFICE SIZING CALCULATIONS



MUSIC MODELLING OF TREATMENT

DRAWINGS ARE NOT TO BE USED UNLESS APPROVED AND STAMPED BY COUNCIL

REV	DESCRIPTION	DATE
0	BUILDING APPROVAL	11/05/2021
1	BUILDING APPROVAL	28/10/2021
2	BUILDING APPROVAL	14/01/2022



CEEDS PROPERTY GROUP PTY. LTD.  
ABN: 89639328322  
P.O.Box 70  
Sandy Bay Tas 7006  
Stuart 0499 998 815  
E: ceedspg@bigpond.com

AZIZ &amp; NESRIN ALNASSER

30 COPLEY ROAD  
LENAH VALLEY TAS 7008DETENTION ORIFICE SIZING  
CALCULATIONSMULTIPLE DWELLINGS  
STORMWATER DETENTION

BUILDING APPROVAL

SL	SL	SL	14/01/2022
NTS			A3
21.0028			H106
			2

8 Bottom area of tank or container ( $m^2$ )

1 H - height between surface and aperture (m)

0.00282 A - aperture area ( $m^2$ )

0.6  $C_d$  - discharge coefficient

10 no. of "slices" or segments (for the iterative calculation)

Segment	Average Height between Segment and Aperture (m)	Average Flow ( $m^3/s$ )	Volume in Segment ( $m^3$ )	Time to Drain Segment (s)
0	0.95	0.0073	0.8	110
1	0.85	0.00691	0.8	116
2	0.75	0.00649	0.8	123
3	0.65	0.00604	0.8	132
4	0.55	0.00556	0.8	144
5	0.45	0.00503	0.8	159
6	0.35	0.00443	0.8	180
7	0.25	0.00375	0.8	213
8	0.15	0.0029	0.8	276
9	0.05	0.00168	0.8	477
SUM			8	1931

DRIVEWAY DETENTION TANK EMPTYING CALCULATIONS

2.24 Bottom area of tank or container ( $m^2$ )

1.75 H - height between surface and aperture (m)

0.00032 A - aperture area ( $m^2$ )

0.6  $C_d$  - discharge coefficient

10 no. of "slices" or segments (for the iterative calculation)

Segment	Average Height between Segment and Aperture (m)	Average Flow ( $m^3/s$ )	Volume in Segment ( $m^3$ )	Time to Drain Segment (s)
0	1.66	0.0011	0.392	357
1	1.49	0.00104	0.392	378
2	1.31	0.000974	0.392	402
3	1.14	0.000907	0.392	432
4	0.962	0.000834	0.392	470
5	0.788	0.000755	0.392	519
6	0.612	0.000666	0.392	569
7	0.437	0.000563	0.392	697
8	0.262	0.000436	0.392	900
9	0.0875	0.000252	0.392	1558
SUM			3.92	6303

EXISTING HOUSE DETENTION TANK EMPTYING CALCULATIONS

1.232 Bottom area of tank or container ( $m^2$ )

2.3 H - height between surface and aperture (m)

0.00032 A - aperture area ( $m^2$ )

0.6  $C_d$  - discharge coefficient

10 no. of "slices" or segments (for the iterative calculation)

Segment	Average Height between Segment and Aperture (m)	Average Flow ( $m^3/s$ )	Volume in Segment ( $m^3$ )	Time to Drain Segment (s)
0	2.19	0.00126	0.283	225
1	1.95	0.00119	0.283	238
2	1.73	0.00112	0.283	254
3	1.5	0.00104	0.283	273
4	1.26	0.000957	0.283	296
5	1.03	0.000865	0.283	328
6	0.805	0.000763	0.283	371
7	0.575	0.000645	0.283	439
8	0.345	0.0005	0.283	567
9	0.115	0.000288	0.283	983
SUM			2.83	3974

TOWN HOUSES 1, 2 & 3 DETENTION TANK EMPTYING CALCULATIONS

DRAWINGS ARE NOT TO BE USED UNLESS APPROVED AND STAMPED BY COUNCIL

REV	DESCRIPTION	DATE
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1	BUILDING APPROVAL	28/10/2021
2	BUILDING APPROVAL	14/01/2022



CEEDS PROPERTY GROUP PTY. LTD.  
ABN: 89639328322  
P.O.Box 70  
Sandy Bay Tas 7006  
Stuart 0499 998 815  
E: ceedspg@bigpond.com

AZIZ & NESRIN ALNASSER

30 COPLEY ROAD  
LENAH VALLEY TAS 7008

DETENTION TANK EMPTYING TIMES

MULTIPLE DWELLINGS  
STORMWATER DETENTION

BUILDING APPROVAL

SL	SL	SL	14/01/2022
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NTS

A3

21.0028

H107

2



## CERTIFICATE OF THE RESPONSIBLE DESIGNER

Section 94  
Section 106  
Section 129  
Section 155Form **35**

To: Aziz & Nesrin Alnasser Owner name  
Address  
Suburb/postcode

## Designer details:

Name: NOE ESCOBAR Category: CIVIL  
 Business name: SALTMARSH and ESCOBAR CONSULTING ENGINEERS Phone No:  
 Business address: 10 RYDE STREET  
 NORTH HOBART 7000 Fax No:  
 Licence No: CC6471 Email address: noe@lsandne.com

## Details of the proposed work:

Owner/Applicant: Aziz & Nesrin Alnasser Designer's project reference No: 21445-35  
 Address: 30 Copley Road Lot No:  
 Lenah Valley  
 Type of work: Building work ☐ Plumbing work ☒ (X all applicable)

## Description of work:

Stormwater detention and drainage  
 (new building / alteration / addition / repair / removal / re-erection / water / sewerage / stormwater / on-site wastewater management system / backflow prevention / other)

## Description of the Design Work (Scope, limitations or exclusions): (X all applicable certificates)

Certificate Type:	Certificate	Responsible Practitioner
	<input type="checkbox"/> Building design	Architect or Building Designer
	<input type="checkbox"/> Structural design	Engineer or Civil Designer
	<input type="checkbox"/> Fire Safety design	Fire Engineer
	<input type="checkbox"/> Civil design	Civil Engineer or Civil Designer
	<input checked="" type="checkbox"/> Hydraulic design	Building Services Designer
	<input type="checkbox"/> Fire service design	Building Services Designer
	<input type="checkbox"/> Electrical design	Building Services Designer
	<input type="checkbox"/> Mechanical design	Building Service Designer
	<input checked="" type="checkbox"/> Plumbing design	Plumber-Certifier; Architect, Building Designer or Engineer
	<input type="checkbox"/> Other (specify)	
Deemed-to-Satisfy: <input checked="" type="checkbox"/> Performance Solution: <input checked="" type="checkbox"/> (X the appropriate box)		
Other details: Stormwater detention and drainage  The hydraulic design of the above elements is based on stormwater report drawings provided by Ceeds Property Group. We have not been engaged to undertake inspections during construction		

**Design documents provided:**

The following documents are provided with this Certificate –

*Document description:*

Drawing numbers:	Prepared by:	Date:
Schedules:	Prepared by:	Date:
21.0028 – H001, H002, H003, H101, H102, H103, H104 & H105 Rev 2	Stuart Lamond	14/01/2022
Specifications:	Prepared by:	Date:
Computations:	Prepared by:	Date:
Performance solution proposals:	Prepared by:	Date:
Test reports:	Prepared by:	Date:

**Standards, codes or guidelines relied on in design process:**

AS3500, NCC

**Any other relevant documentation:****Attribution as designer:**

I NOE ESCOBAR..... am responsible for the design of that part of the work as described in this certificate;

The documentation relating to the design includes sufficient information for the assessment of the work in accordance with the *Building Act 2016* and sufficient detail for the builder or plumber to carry out the work in accordance with the documents and the Act;

This certificate confirms compliance and is evidence of suitability of this design with the requirements of the National Construction Code.

	<i>Name: (print)</i>	<i>Signed</i>	<i>Date</i>
Designer:	NOE ESCOBAR		01/02/2022

Licence No:

CC6471

**Assessment of Certifiable Works: (TasWater)**

**Note: single residential dwellings and outbuildings on a lot with an existing sewer connection are not considered to increase demand and are not certifiable.**

**If you cannot check ALL of these boxes, LEAVE THIS SECTION BLANK.**

**TasWater must then be contacted to determine if the proposed works are Certifiable Works.**

**I confirm that the proposed works are not Certifiable Works, in accordance with the Guidelines for TasWater CCW Assessments, by virtue that all of the following are satisfied:**

- ☐ The works will not increase the demand for water supplied by TasWater
- ☐ The works will not increase or decrease the amount of sewage or toxins that is to be removed by, or discharged into, TasWater's sewerage infrastructure
- ☐ The works will not require a new connection, or a modification to an existing connection, to be made to TasWater's infrastructure
- ☐ The works will not damage or interfere with TasWater's works
- ☐ The works will not adversely affect TasWater's operations
- ☐ The work are not within 2m of TasWater's infrastructure and are outside any TasWater easement
- ☐ I have checked the LISTMap to confirm the location of TasWater infrastructure
- ☐ If the property is connected to TasWater's water system, a water meter is in place, or has been applied for to TasWater.

**Certification:**

I ..... being responsible for the proposed work, am satisfied that the works described above are not Certifiable Works, as defined within the *Water and Sewerage Industry Act 2008*, that I have answered the above questions with all due diligence and have read and understood the Guidelines for TasWater CCW Assessments.

**Note: the Guidelines for TasWater Certification of Certifiable Works Assessments are available at: [www.taswater.com.au](http://www.taswater.com.au)**

	<i>Name: (print)</i>	<i>Signed</i>	<i>Date</i>
Designer:	<input type="text"/>	<input type="text"/>	<input type="text"/>

Stormwater and On Site Detention Maintenance Schedule			
30 Copley Road, Lenah Valley, TAS, 7008			
Maintenance Action	Frequency	Responsibility	Procedure
<b>Discharge Pit</b>			
Inspect and remove any blockage of orifice	Annually	Maintenance Contractor	Remove grate and screen to inspect orifice. See attached Site Stormwater plan for location of Discharge Pit
Check attachment of orifice plate/outlet to tank	Annually	Maintenance Contractor	Remove pipe. Ensure orifice pipe is mounted securely, tighten fixing if required.
Check orifice diameter correct and retains sharp edge.	Five Yearly	Maintenance Contractor	Compare orifice diameter to approved design (see Design Drawing) and ensure orifice outlet is not pitted or damaged.
Inspect trash screen and clean	Six Monthly	Owner	Remove any grates and screens if required to clean it.
Clean out grated pit at outlet of tank	Annually	Maintenance Contractor	Remove grate and remove any debris.
Inspect areas around pits and building and remove loose debris likely to block screens/grates	Six Monthly	Owner	Remove debris and floatable material, ie pine bark mulch, likely to be carried to grates.
Inspect storage tanks for subsidence	Annually	Maintenance Contractor	Check around storage tanks for subsidence likely to indicate leakages
Inspect OSD Warning Signage	Annually	Maintenance Contractor	Check OSD and re use non potable water warning signage and ensure that it is fixed securely to walls, pipework etc., not faded, deteriorated or missing and is clearly visible. Replace as necessary or reposition to a clearly visible location.
<b>General</b>			
Inspect gutters of building, Inspect grated pits and trench drains	Annually	Maintenance Contractor	Remove any leaves or debris and sludge from gutters of building and flush downpipes of building to remove any blockages.
Inspect condition of detention tanks for deterioration with age	Annually	Maintenance Contractor	Make allowance within ongoing maintenance scheduling for potential replacement of poly type detention tanks that have a 25 yr life cycle and concrete tanks with a 50 yr life cycle.
<b>Pump Out of System</b>			
Inspect storage tank for silt and debris and remove.	Annually	Maintenance Contractor with Confined Space Training	Pump out any water from within tank and remove all silt and debris present.

Enviro Australis Treatment System			
Enviro Australis Model GV30	Annually or as required by level of debris build up in system	Maintenance Contractor	Clean detention chambers, clean and/or replace filters as required.

**7.1.3 Amendment PSA-21-4 - Hobart Interim Planning Scheme 2015 - 21,  
21B and part of 21A Enterprise Road, Sandy Bay Rezoning  
File Ref: F22/7522; PSA-21-4**

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Report of the Acting Director City Life of 8 March 2022 and attachments.

Delegation: Council

**REPORT TITLE: AMENDMENT PSA-21-4 - HOBART INTERIM  
PLANNING SCHEME 2015 - 21, 21B AND PART OF  
21A ENTERPRISE ROAD, SANDY BAY REZONING**

**REPORT PROVIDED BY:** Acting Director City Life

**1. Report Purpose and Community Benefit**

- 1.1. The purpose of this report is to analyse the planning merit of amending the Hobart Interim Planning Scheme 2015 (HIPS 2015) by rezoning 21, 21B and part of 21A Enterprise Road, Sandy Bay (the site) from the General Residential Zone to the Low Density Residential Zone.
- 1.2. The report has been prepared in response to Council's resolution of 25 October 2021.
- 1.3. The proposal benefits the community by ensuring that land is appropriately zoned and that use and development is undertaken in a fair and orderly manner.

**2. Report Summary**

- 2.1. The proposal is to rezone the site (folios of the Register 175781/1, 175780/1 and 169834/40) from General Residential to Low Density Residential.
- 2.2. The proposed rezoning plan is provided as **Attachment A**.
- 2.3. The site is located at the top of Enterprise Road and adjoins open space along Lambert Rivulet known as Bicentennial Park.
- 2.4. Access to the site is via a right of way off Enterprise Road.
- 2.5. The land is generally steep, with gradients of around 25° (47%) at the south-eastern end of the land and 16° (29%) at the north-western end.
- 2.6. The dominant vegetation *Eucalyptus pulchella* dry forest and woodland (DPU).

**3. Recommendation**

***That:***

1. ***Pursuant to section 34(1)(b) of the former provisions of the Land Use Planning and Approvals Act 1993, Council resolve to initiate an amendment to the Hobart Interim Planning Scheme 2015 to rezone the properties at 21, 21B and part of 21A Enterprise Road, Sandy Bay from General Residential to Low Density Residential, and apply the Biodiversity Protection Area overlay under the Biodiversity Code to the site with the exception of the right of way, as indicated in the rezoning plan provided in Attachment A.***



2. ***Pursuant to section 35 of the former provisions of the Land Use Planning and Approvals Act 1993, Council certify that amendment PSA-21-4 to the Hobart Interim Planning Scheme 2015 meets the requirements of section 32 of the former provisions of the Land Use Planning and Approvals Act 1993 and authorise the Chief Executive Officer and Lord Mayor to sign the Instrument of Certification (Attachment D).***
3. ***Pursuant to section 38 of the former provisions of the Land Use Planning and Approvals Act 1993, the Council place amendment PSA-21-4 to the Hobart Interim Planning Scheme on public exhibition for a 28 day period following certification.***

#### **4. Background**

- 4.1. A petition calling for Council to rezone 21, 21B and part of 21A Enterprise Road, Sandy Bay from General Residential to Low Density Residential was presented to Council at its meeting on 6 September 2021.
- 4.2. The petition was discussed at the City Planning Committee meeting on 18 October 2021 and Council meeting on 25 October 2021 (**Attachment B**).
- 4.3. Council resolved the following:  
  
*That a report analysing the zoning of 21, 21B and part of 21A Enterprise Road, Sandy Bay and recommending whether to initiate a planning scheme amendment to rezone the land from General Residential to Low Density Residential be prepared as a matter of high priority and no later than within the month of March.*
- 4.4. In recent years one development application has been lodged at the site which was for 20 multiple dwellings and associated works on 21B Enterprise Road (PLN-20-740). The application was refused by Council at its meeting of 10 May 2021.

#### ***History of Zoning***

- 4.5. The site was originally zoned Hills Face in the City of Hobart Planning Scheme 1982 (HPS 1982). The objective of the Hills Face Zone was:  
  
*... to minimise the potential for development in sensitive landscape areas which also possess severe constraints in the provision of access and reticulated services, or land identified as being topographically difficult to develop.*

- 4.6. Residential development in this zone was discretionary and no set density limits applied. Density was considered 'as determined by Council'.
- 4.7. In 2006 the Mount Nelson Planning Review Report was prepared. The review found that the site was suited to some development and recommended that the site be rezoned to the Residential 2 Zone, precinct 30C, which set a density limit of one dwelling per 1,500m<sup>2</sup>.
- 4.8. The objective of the Residential 2 Zone was:
- ... to sustain and enhance the character and amenity of areas of predominantly detached houses, with limited development of complementary dwelling-types and minimum intrusion or further development of non-residential uses not necessary to serve local residents.*
- 4.9. In 2011 the site was rezoned from the Hills Face Zone to Residential 2 Zone (draft amendment 1/2011). The density for the subdivision of land with a gradient over 20% was 750m<sup>2</sup>. The minimum site area for multiple dwellings was 750m<sup>2</sup> for the first new dwelling and 500m<sup>2</sup> for each additional new dwelling.
- 4.10. In 2012 Planning Directive 1 came into effect which identifies 32 planning zones applicable to land throughout Tasmania. These zones were implemented through interim planning schemes.
- 4.11. The process for transitioning from the HPS 1982 to the HIPS 2015 was not a rezoning process. It required the translation of land to the most suitable zone under Planning Directive 1. The urban residential choices included Low Density Residential, General Residential and Inner Residential.
- 4.12. In 2015, the HIPS 2015 was introduced and the site was transitioned from Residential 2 Zone to the General Residential Zone.
- 4.13. The following zoning assessment is recorded for the transition of the site.

<b>Low Density Residential</b>	<p>Three categories of applicable land:</p> <ul style="list-style-type: none"> <li>a. Planned low density residential areas, characterised by ordered patterns of subdivision and uniform lot sizes;</li> <li>b. Unplanned, organically fractured low density areas, characterised by an</li> </ul>	<p>Applied to HPS 1982 Residential 2 Zone: Mt Nelson (Precincts 36, 37C), Porters Hill (part of Precinct 39) and Tolmans Hill (Precinct 35C). These areas were proposed to be zoned General Residential in the draft 2009</p>
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	<p>unordered cadastral pattern and mixed lot sizes where densities are achieved through averages; or</p> <p>c. Small un-serviced residential settlement where growth at residential densities is no longer desirable due to servicing and environmental issues.</p> <p>Predominantly residential use where partially serviced (although land may be fully serviced due to past actions) (Note: not the case in Hobart)</p> <p>Not intended as a 'future urban' zone</p> <p>Where land is significantly constrained due to bushfire prone land and there are priority vegetation communities use of this zoning is discouraged.</p>	<p>Scheme.</p> <p>Proposed minimum lot size is 1,000m<sup>2</sup>. The equivalent lot size in the draft 2009 Scheme was 1,000m<sup>2</sup>.</p>
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- 4.14. It is unclear why the General Residential Zone was chosen under the HIPS 2015, given that the minimum lot size is 400m<sup>2</sup> for subdivision, not 1,000m<sup>2</sup>. Nevertheless, the site has been zoned General Residential with no qualification since 2015.
- 4.15. The Local Provisions Schedule (LPS), which forms part of the future Tasmanian Planning Scheme – Hobart, is currently with the Tasmanian Planning Commission for review.
- 4.16. The process transitioning between the HIPS 2015 and the LPS is a translation to the nearest zone, as it was between the HPS 1982 and the HIPS 2015.
- 4.17. The site is identified in the draft LPS as being zoned General Residential.
- 4.18. In addition to this planning scheme amendment process, when the LPS is exhibited representations may be made regarding the zoning of the site.

### ***Planning Scheme Provisions***

- 4.19. The relevant density provisions for multiple dwellings and subdivision under the Acceptable Solutions of the HIPS 2015 are outlined below.

<b>Zone</b>	<b>Multiple dwellings</b>	<b>Subdivision</b>
General Residential	325m <sup>2</sup>	400m <sup>2</sup> for lots adjoining public open space  550m <sup>2</sup> for internal lots
Low Density Residential	1,500m <sup>2</sup>	1,000m <sup>2</sup>

- 4.20. With regard to the HIPS 2015 overlays, the following apply to the site:

- all of the site is located within the Bushfire-Prone Area overlay under the Bushfire-Prone Areas Code;
- a portion of 21A and 21B Enterprise Road is located within the Landslide Hazard Area overlay under the Landslide Code;
- the land proposed to be rezoned is not within the Biodiversity Protection Area overlay under the Biodiversity Code, however the balance of 21A Enterprise Road is.

- 4.21. While this proposal is to amend the HIPS 2015, it is noted that the future Tasmanian Planning Scheme – Hobart is being progressed. The Tasmanian Planning Scheme – Hobart will be formed by the State Planning Provisions (SPPs) and LPS.

- 4.22. The density provisions for multiple dwellings and subdivision under the Acceptable Solutions of the SPPs will be:

<b>Zone</b>	<b>Multiple dwellings</b>	<b>Subdivision</b>
General Residential	325m <sup>2</sup>	450m <sup>2</sup>
Low Density Residential	1,500m <sup>2</sup>	1,500m <sup>2</sup>

- 4.23. Additionally, under the Tasmanian Planning Scheme – Hobart:

- all of the site would be located within the Bushfire-Prone Area overlay under the Bushfire-Prone Areas Code;
- all of the site would be classified as a Priority Vegetation Area under the Natural Assets Code;

- a portion of 21A and 21B Enterprise Road would be located within the Landslide Hazard Area overlay under the Landslip Hazard Code;
- a small portion of 21B Enterprise Road would be located within the Flood-Prone Area overlay under the Flood-Prone Areas Hazard Code.

## 5. Proposal and Implementation

- 5.1. The proposal is to amend the HIPS 2015 zoning maps by rezoning the site from General Residential to Low Density Residential.
- 5.2. This report is based on information gathered from the proponent, landowners and Council officers.
- 5.3. Under the former provisions of the *Land Use Planning and Approvals Act 1993* (the Act), planning scheme amendments must:
  - seek to further the objectives set out in Schedule 1 of the Act;
  - be in accordance with State Policies; and
  - be consistent, as far as is practicable, with the Southern Tasmania Regional Land Use Strategy 2010-2035 (the regional strategy).

Provisions under the HIPS 2015 have also been considered.

- 5.4. In addition, the City of Hobart LPS is currently with the Tasmanian Planning Commission for consideration.
- 5.5. Given the timing of the LPS, the SPPs, which outline state-wide planning controls, have also been considered.

### ***Justification – Petition***

- 5.6. To support the proposal, the proponents engaged All Urban Planning Pty Ltd to provide a planning opinion on the matter. A copy of the planning opinion is available in the meeting agenda of 18 October 2021 at **Attachment B**.
- 5.7. All Urban Planning refers to Guideline No. 1 issued by the Tasmanian Planning Commission. This guideline provides a criteria for applying zoning under the planning schemes. The planning opinion notes:

#### 5.7.1. General Residential Zone

*In my assessment, application of the General Residential zoning does not align with Zone Application... the subject land that is bushfire prone, has a slope of approximately 23% and adjoins a Biodiversity Protection Area is highly constrained and not suitable for residential development at an urban density.*

#### 5.7.2. Low Density Residential Zone

*In my assessment the Zone Application Guidelines for the Low Density Residential Zone show good alignment with the characteristics of the subject land as... it exists as three larger lots that are subject to the bushfire hazard overlay and is significantly constrained by the steep topography.*

*The land was identified in the MNPR [Mt Nelson Planning Review 2006] for lower density residential development below the more sensitive natural and landscape values. The intended application of the Low Density Residential Zone is by reason of the hazard and topographical considerations rather than landscape and aligns with this guidance.*

*... the bushfire hazard and topographical considerations indicate that the land is unsuited to development at a higher density. The road network between the sites and Churchill Avenue is narrow and constrained. These constraints also impede development of the subject land to higher densities.*

*In my opinion, the subject land that is highly constrained is not suitable for residential development at an urban density and the Low Density Residential Zone should be applied. (p. 5-6)*

5.8. All Urban Planning noted that:

*The residents are concerned that the characteristics of this steep, vegetated and bushfire prone land with constrained access mean that it is unsuited to development at the density allowed by the General Residential Zone... (p.1)*

5.9. The petition does not provide specifics as to why the topography, vegetation and bushfire-prone nature of the land make it unsuitable for higher-density development, except with regard to landscape values.

**Justification – Landowners**

5.10. The landowners were contacted during the preparation of this report to allow comment on the proposal.

5.11. The landowners of 21A and 21B Enterprise Road engaged Irenelnc Planning and Urban Design to prepare a submission on their behalf (**Attachment C**).

5.12. Irenelnc considers that the current General Residential Zone is appropriate for the site and is consistent with the 2011 Residential 2 Zone under the HPS 1982. The submission notes:

*... the translation of the Residential 2 Zone to the General Residential Zone was considered to be the like for like translation. Specific consideration of the application of zones to this land would have been required given that 21A Enterprise Road is only partially zoned General Residential, with the balance of that site being in the Environmental*

*Living Zone. In provided this dual zoning for the land protection of the upper slopes and natural values was provided.*

*The subject land is not significantly different from adjoining and nearby land which has been successfully developed as General Residential and therefore demonstrates that this land is not unreasonably constrained from development appropriate for the zone.*

*The subject land is located between the 175m and 225m contours, like other developed land adjoining in Enterprise Road and nearby in Nicholas Drive and Lindeth Court. These areas, including the directly adjoining area, are very like the subject land in their location, characteristics and slope, and are developed to residential densities typical of the area more generally at in the order of 1/867m<sup>2</sup>.*

*Regarding the relationship of the subject land to the Council's Environmental Management Zoned reserve, it is noted that the neighbouring site at 21 Enterprise Road is already developed with a single dwelling and that the subject land owned by our client is separated by the large area of 21A Enterprise Road which is zoned Environmental Living. It is this are of land outside the General Residential Zoned are which forms an effective transition between the residential areas including those yet to be developed and the reserved land beyond.*

*It is therefore considered that the combined provisions of the planning scheme including the zones and applicable codes, as they currently apply, are appropriate and sufficient to ensure that any future development of the land responds to the constraints of the land and protects the amenity of the neighbouring properties. (p. 4-6)*

### **Justification – Internal assessment**

#### *Consideration of submissions*

- 5.13. In regards to topography, vegetation prior to development and bushfire rating, it is acknowledged that the lower portion of the site is not significantly different from adjoining and nearby land.
- 5.14. While the slope and bushfire-prone nature of the site will make development more difficult than land without these aspects, these are not considered to be highly constraining, other than the areas immediately adjacent to the Environmental Living and Environmental Management Zones.
- 5.15. Development of the land immediately adjacent the Environmental Living and Environmental Management Zones is likely to be constrained by the need for up-slope bushfire hazard management areas (HMAs).
- 5.16. Additionally, no highly significant biodiversity values, such as threatened vegetation communities, have been identified, and natural hazards are generally limited and able to be managed. However, it is



acknowledged that all areas of bushland provide potential habitat for threatened species and support natural values.

- 5.17. It is noted that unlike the adjoining properties, the site does not have a road frontage. This causes issues with development at General Residential densities due to the narrow right of way access suitability for increased traffic volumes.
- 5.18. While it is acknowledged that the landowner of the site is currently preparing a development application at a lower density, this has not been lodged at the time of writing to determine its appropriateness for the site.
- 5.19. Of note, if the development application was to be lodged, the application and rezoning proposal, if initiated and certified, may run concurrently.
- 5.20. It is agreed with All Urban Planning that the site was identified as being suited to a low density of 1,500m<sup>2</sup> per dwelling under the Mt Nelson Planning Review 2006.
- 5.21. It is considered that this density is consistent with the Low Density Residential Zone.

#### *Objectives of the Act*

- 5.22. Part 1 of the objectives of the Act state:

*The objectives of the resource management and planning system of Tasmania are –*

- a) To promote the sustainable development of natural and physical resources and the maintenance of ecological processes and genetic diversity; and*
  - b) To provide for the fair, orderly and sustainable use and development of air, land and water; and*
  - c) To encourage public involvement in resource management and planning; and*
  - d) To facilitate economic development in accordance with the objectives set out in paragraphs (a), (b) and (c); and*
  - e) To promote the sharing responsibility for resource management and planning between the different spheres of Government, the community and industry in the State.*
- 5.23. It is considered that rezoning the site to Low Density Residential would further objectives (a), (b), (c) and (e) of Schedule 1 of the Act for the following reasons:
    - 5.23.1. The impacts from stormwater on the site would decrease due to a lower density of development. This is further discussed below.

- 5.23.2. The larger lots associated with the Low Density Residential Zone may allow for residents to retain existing native vegetation or plant new vegetation once construction is complete. Revegetating the site may assist in erosion control to support the stormwater system.
- 5.23.3. The lower density would result in lower stormwater levels due to the reduction of hard surfaces associated with development.
- 5.23.4. The proposal to rezone the site has come from a petition within the community of Hobart.

#### *State Policies*

- 5.24. The only state policy relevant to the site is the State Policy on Water Quality Management 1997.
- 5.25. The HIPS 2015 includes provisions that ensure use and development is undertaken in accordance with the policy. This is included in E7.0 Stormwater Management Code of HIPS 2015.
- 5.26. The matter was referred to Council's City Amenity division who have assessed the stormwater impacts from development associated with the General Residential and Low Density Residential Zones.
- 5.27. The officers note that:
  - 5.27.1. 21 Enterprise Road is not serviced by public infrastructure. It has drainage rights over the private table drain along the right of way that leads to the Enterprise Road drainage system.
  - 5.27.2. 21A Enterprise Road is partially able to be serviced by the Enterprise Road drainage system. Most of the site drains to the cut-off drain which discharges over a landslip prone area towards a minor tributary.
  - 5.27.3. 21B Enterprise Road could potentially detain the runoff from a 1 in 20 year rain event (5% AEP), though flows from rain events greater than that would be problematic for the catchment downstream. Sediment flows from this site are difficult to manage.
  - 5.27.4. From a planning perspective, it is also noted that the SPPs do not include a stormwater code. Due to this, it is considered that there is inadequate provisions under the future Tasmanian Planning Scheme – Hobart to manage the stormwater risks of large events at the development application stage.

- 5.27.5. Decreasing the density permitted on site may reduce some stormwater impacts associated with future development.
- 5.27.6. It is considered that rezoning the site to Low Density Residential would be in accordance with the State Policy on Water Quality Management 1997.

*Regional strategy*

- 5.28. It is considered that rezoning the site to Low Density Residential would be consistent, as far as is practicable, with the regional strategy for the following reasons.

- 5.29. Policy SRD 1.5 states:

*Encourage land zoned General Residential to be developed at a minimum of 15 dwellings per hectare (net density).*

- 5.29.1. In 2021, a development application for 20 multiple dwellings was refused by Council at 21B Enterprise Road, Sandy Bay (PLN-20-740). This lot has a site area of approximately 8,030m<sup>2</sup>.
- 5.29.2. Council determined that the local road network cannot support the traffic increase associated with the General Residential Zone density.
- 5.29.3. It is considered that the local road network can support traffic increase associated with Low Density Residential density. As such, rezoning the site to Low Density Residential is consistent with Policy SRD 1.5 of the regional strategy.

- 5.30. Policy SRD 1.6 states:

*Utilise the Low Density Residential Zone only where it is necessary to manage land constraints in settlements or to acknowledge existing areas.*

- 5.30.1. The land is not considered to be significantly constrained due to its slope, vegetation and bushfire attack level rating in itself. However, access to the site, excavation requirements and impacts on downstream drainage is considered a land constraint and has implications for future development of the site.
- 5.30.2. Developing the site at the General Residential Zone density requires significant earthworks due to the gradient of the site.

- 5.30.3. The geology of the site is Jurassic dolerite. This landform can be difficult to excavate and may require heavy machinery to prepare the site for development. The landform has been successfully excavated on surrounding properties, however, this is dependent on the degree of weathering and would require further investigation.
- 5.30.4. A differing factor with this site in comparison to the surrounding area is getting machinery to site. It has already been encountered and recognised by developers who are starting work on an approved subdivision at Enterprise Road and Edith Avenue. The request required bringing large excavation machinery across the top of the Mount Nelson Road Environmental Management area. This was requested (and refused) after the developer recognised the risk to the road structure and possible adjoining property's along Edith Avenue and Enterprise Road.
- 5.30.5. It is considered that the abovementioned constraints justify the application of the Low Density Residential Zone on the site. As such, rezoning the site to Low Density Residential is consistent with Policy SRD 1.6 of the regional strategy.

#### *HIPS 2015 – Bushfire-Prone Areas*

- 5.31. As mentioned, the whole site is located within the bushfire-prone areas overlay under the HIPS 2015. It will also transition to the Tasmanian Planning Scheme – Hobart.
- 5.32. Council's Environmental Planning division provided comment on the matter. They noted that bushfire is the only significant natural hazard identified for the site.
- 5.33. With regard to developing to bushfire standards, the advice provided by the Environmental Planning division is summarised below:
  - 5.33.1. The main constraint associated with being bushfire-prone is the need to provide fuel-reduced hazard management areas (HMAs) for each new dwelling or each new lot.
  - 5.33.2. Higher density development of the land as allowed under the General Residential Zone would necessitate the encroachment of HMAs into the adjacent Environmental Living or Environmental Management zones, and the Biodiversity Protection Area overlay.
  - 5.33.3. It is likely that low-density development of the land as allowed under the Low Density Residential Zone can contain HMAs on the land without encroachment into the Environmental Living or Environmental Management Zones and the Biodiversity Protection Area overlay.

- 5.33.4. The establishment of HMAs within the Environmental Living Zone would be problematic and may not be approved. As a result, it's unlikely that all of the land within the General Residential Zone could be developed at the density permitted in that zone.
- 5.33.5. It is likely that the land could be developed at densities higher than those permitted in the Low Density Residential Zone without HMAs encroaching into the adjoining land zoned Environmental Living.
- 5.33.6. For example, if just the land at 21B Enterprise Road is considered (8,030m<sup>2</sup>), 24 dwellings would be permitted under the density standards for the General Residential Zone.
- 5.33.7. Under BAL-19 and BAL-29 construction, the bushfire HMA could be largely contained within the lot and adjoining General Residential Zone on 21A Enterprise Road. However, due to the likely location of the dwellings, an encroachment into the Environmental Living Zone and Biodiversity Protection Area overlay would also occur.
- 5.33.8. The lot may not be of adequate size and shape to support 24 dwellings, however from a bushfire perspective it may support approximately 18 dwellings without the need to have bushfire HMAs encroaching into the Environmental Management Zone or Environmental Living Zone, and Biodiversity Protection Area overlay.
- 5.33.9. By comparison, five dwellings would be permitted under the Low Density Residential Zone. The approximate bushfire HMA for a five dwelling development if the dwellings are spread out across the lot slightly extends into 21A Enterprise Road. This is based on construction to BAL-19. The HMA could be largely contained to 21B Enterprise Road if BAL-29 construction was adopted, however there would still be a small degree of encroachment onto the adjoining lot.
- 5.33.10. If the lot was developed as a single row of 10 dwellings, the size of the HMA would be no greater than five dwellings spread across the site, and the amount of vegetation requiring clearing would be similar. From an environmental planning perspective, an increased dwelling yield for the same degree of vegetation impact is a preferable outcome.
- 5.33.11. With regard to the other two lots, the bushfire HMAs are much more acute as these border or include land in the Environmental Management Zone, Environmental

Living Zone and Biodiversity Protection Area overlay. It would be extremely difficult to develop this land at the densities permitted in the General Residential Zone without bushfire HMAs requiring land within the Environmental Management, Environmental Living Zones and Biodiversity Protection Area overlay.

- 5.33.12. In particular, due to the narrow width of the land at 21A Enterprise Road within the General Residential Zone, it would be practically impossible to develop housing in this section without bushfire HMAs extending into the Environmental Living Zone and Biodiversity Protection Area. This lot is unlikely to support 49 dwellings permitted under the General Residential Zone and the associated bushfire HMAs. The lot could support more than the 10 dwellings that would be permitted if it was zoned Low Density Residential, meaning a reduced lot yield for a similar vegetation impact.

#### *HIPS 2015 – Roads*

- 5.34. It was demonstrated in the assessment of application PLN-20-740 that 20 multiple dwellings results in overdevelopment of 21A Enterprise Road, as it significantly impacts the local road network.
- 5.35. Council's Development Engineering division provided comment on the matter. They note that there are concerns with large single or many small developments in this area. Particularly:
- 5.35.1. The capacity of the lower road networks ability to absorb increased traffic produced from any development is problematic, particularly near Birngana Street and Niree Heights.
  - 5.35.2. The ability of the lower road network, including Birngana Road, Niree Heights, Beddome Street and Edith Avenue, to sustain heavy vehicle movements required for development without incurring significant damage.
  - 5.35.3. The potential risk to neighbouring properties from large development excavation.
  - 5.35.4. The officers note that rezoning the site to Low Density Residential may reduce some of these concerns.

#### *HIPS 2015 - Stormwater*

- 5.36. In addition to the comments made under the State Policies assessment, Council's City Amenity division advised the following.

- 5.36.1. The current and future stormwater runoff from a development like PLN-20-740, and Enterprise Road drainage, all end up in Maning Rivulet.
- 5.36.2. The lower reaches of Maning Rivulet have been modelled as having limited receiving capacity in a 1 in 100 rain event (1% AEP) under current development conditions.
- 5.36.3. The impact of runoff from development in a rain event such as 1 in 100 year event on the upper sections of Maning Rivulet may be somewhat mitigated by the 'detention' ponding behind Churchill Avenue, though this road embankment was not designed or built as a dam.
- 5.36.4. E6.0 Stormwater Management Code of the HIPS 2015 requires on-site detention; however, runoff would increase in post-development compared to pre-development, particularly in longer duration rain events.
- 5.36.5. Future development design must also manage runoff from bushland above.

*Summary of findings*

- 5.37. As identified above, the proposal to rezone the site from General Residential to Low Density Residential would not address the vegetation and bushfire concerns raised in the petition.
- 5.38. However, as part of this analysis it has been highlighted that the proposal would improve the impacts from development on stormwater and traffic volumes, which have a greater impact on the surrounding area.
- 5.39. While there are planning merits in retaining the existing zoning, it is considered that the benefits gained by rezoning the site to Low Density Residential to lower the impacts of stormwater and traffic caused by development, outweighs the benefits of developing the site at a General Residential Zone density.
- 5.40. Council's Environmental Planning division advised that if the recommendation is to rezone the site to Low Density Residential, the Biodiversity Protection Area overlay should also apply to the site.
- 5.41. The reasons for this is to further protect the mature vegetation on the site and retain consistency in the area. It is considered that there is merit in applying the Biodiversity Protection Area overlay to the site.
- 5.42. It is therefore recommended that the site be rezoned from General Residential to Low Density Residential and the Biodiversity Protection Area overlay under the Biodiversity Code be applied to the site, with the exception of the right of ways.

## **6. Strategic Planning and Policy Considerations**

- 6.1. The proposed amendment is consistent with the objectives of the Capital City Strategy Plan 2019-29, in particular with the following outcomes:
- 6.1.1. Hobart keeps a strong sense of place and identity, even as the city changes;
  - 6.1.2. Hobart's cityscape reflects the heritage, culture and natural environment that make it special;
  - 6.1.3. In City decision-making, we consider how different aspects of Hobart life connect and contribute to sense of place;
  - 6.1.4. The natural environment is part of the city and biodiversity is preserved, secure and flourishing;
  - 6.1.5. Development enhances Hobart's unique identity, human scale and built heritage;
  - 6.1.6. Community involvement and an understanding of future needs help guide changes to Hobart's built environment.

## **7. Financial Implications**

- 7.1. Funding Source and Impact on Current Year Operating Result
- 7.1.1. None
- 7.2. Impact on Future Years' Financial Result
- 7.2.1. None
- 7.3. Asset Related Implications
- 7.3.1. None

## **8. Legal, Risk and Legislative Considerations**

- 8.1. Under section 32 of the Act, planning scheme amendments must:
- seek to further the objectives set out in Schedule 1 of the Act;
  - be in accordance with State Policies;
  - as far as practicable, avoid the potential for land use conflicts with use and development under an adjoining local authority's planning scheme; and
  - be consistent, as far as is practicable, with the Southern Tasmania Regional Land Use Strategy 2010-2035 (the regional strategy).



- 8.2. As identified in section 5.0, the proposal is considered to meet these requirements.
- 8.3. Additionally, as the site does not adjoin land under the planning scheme of an adjacent area, no impact from the proposal will occur.

## **9. Environmental Considerations**

- 9.1. The draft amendment has been considered in terms of its impacts on the environmental values of the site. It is evident that developing the site even under a Low Density Residential density will have environmental impacts on the site.
- 9.2. Council's Environmental Planning division generally support zonings that limit development in areas of bushland to conserve natural values of any significant.
- 9.3. They note that if impacts to native vegetation are to occur, it would be preferable to see more housing being provided for the same impact rather than less.
- 9.4. They further advise that if the land is proposed to be rezoned to Low Density Residential, they recommend proposing an extension of the Biodiversity Protection Area overlay over the site for consistency with other land in the zone.

## **10. Social and Customer Considerations**

- 10.1. The proposal is not considered to have any negative impact on social inclusion.

## **11. Marketing and Media**

- 11.1. There are no marketing or branding implications of this draft amendment.

## **12. Community and Stakeholder Engagement**

- 12.1. This report has been written in response to a petition tabled at Council on 6 September 2021. The petition contained 208 signatures from nearby residents of the site.
- 12.2. The landowners of the site were contacted during the preparation of this report and invited to make comment on the matter. A submission was received from the landowners of 21A and 21B Enterprise Road.
- 12.3. If the draft amendment is initiated and certified, the documents will be publically exhibited for a period of 28 days. During this time representations can be made to Council.
- 12.4. Following the closure of the exhibition period, a report will be prepared in response to the representations received for Council to consider. This

report will be forwarded to the Tasmanian Planning Commission (the Commission) and form part of the draft amendment documentation.

- 12.5. If considered appropriate, hearings will be held by the Commission to discuss the representations and planning merit of rezoning the site. Following this, the Commission will make its decision.
- 12.6. In summary, there are several points during the draft amendment process to which the public may make comment.

### 13. Delegation


- 13.1. Delegation rests with the Council.


*As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.*





Karen Abey  
**ACTING DIRECTOR CITY LIFE**

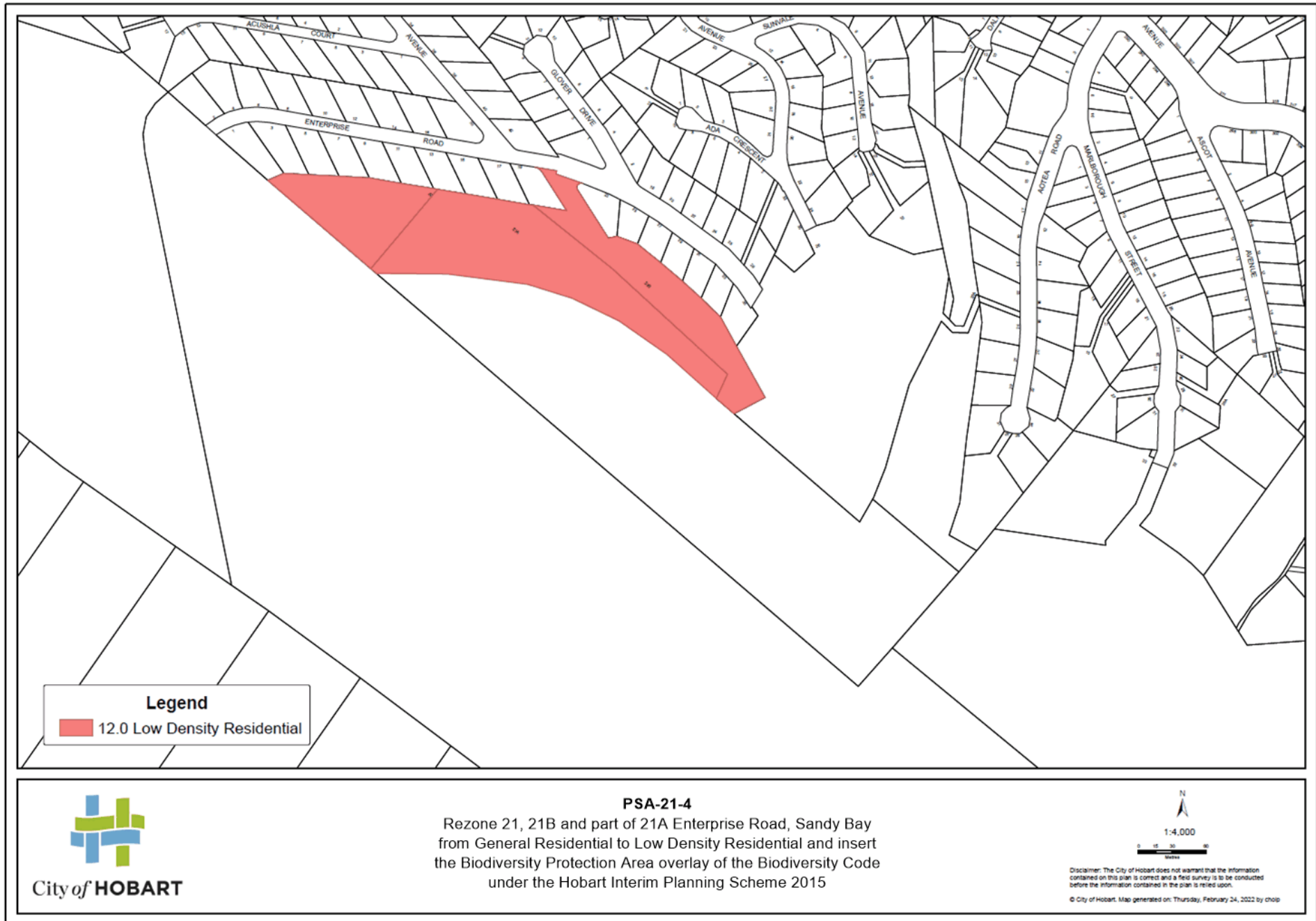
Date: 8 March 2022  
File Reference: F22/7522; PSA-21-4

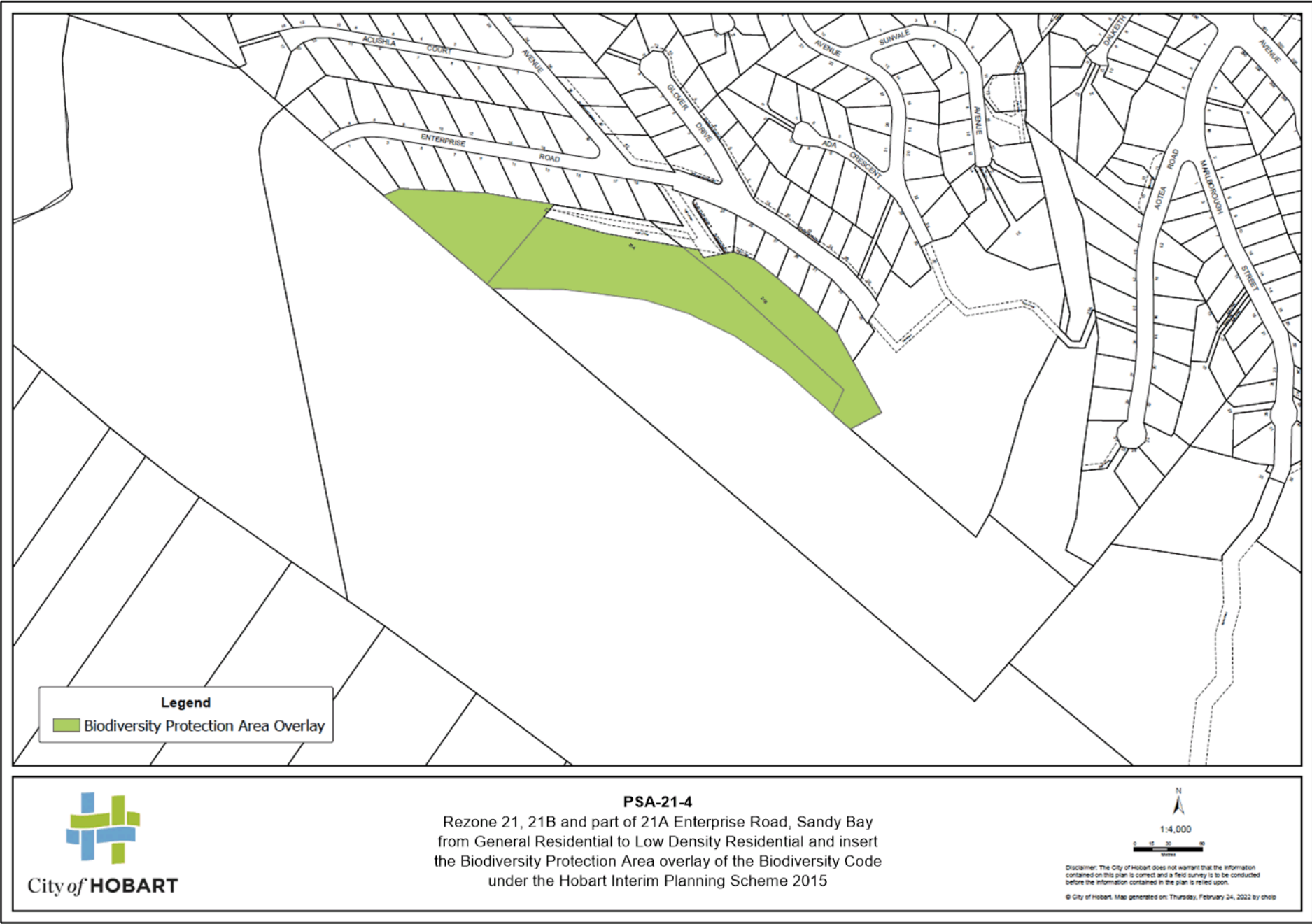
Attachment A: Rezoning Plan ↓ 

Attachment B: Meeting agenda and petition, 18 October 2021 ↓ 

Attachment C: Landowner submission ↓ 

Attachment D: Instrument of certification ↓ 





**REPORT TITLE: PETITION TO REZONE 21, 21B AND PART OF 21A  
ENTERPRISE ROAD, SANDY BAY**

**REPORT PROVIDED BY:** Development Planner  
Director City Planning

**1. Report Purpose and Community Benefit**

- 1.1. The purpose of this report is to consider a petition presented to Council at its meeting of 6 September 2021, calling for Council to rezone 21, 21B and part of 21A Enterprise Road, Sandy Bay from General Residential to Low Density Residential.
- 1.2. This report benefits the community by considering the appropriate zoning of land.

**2. Report Summary**

- 2.1. In response to the petition to rezone land at 21, 21A and 21B Enterprise Road, it is proposed that a report be prepared to further analyse whether or not a planning scheme amendment should be initiated.
- 2.2. The proponents of the rezoning consider that the site is too constrained to be suitable for development at general residential densities, as supported by a Council report prepared in 2006 (the Mount Nelson Planning Review 2006).
- 2.3. Commencement of a further report to consider the rezoning will be dependent on the timing of additional staffing resources.

**3. Recommendation**

***That:***

1. ***A report analysing the zoning of 21, 21B and part of 21A Enterprise Road and recommending whether to initiate a planning scheme amendment to rezone the land from General Residential to Low Density Residential be prepared.***

**4. Background**

4.1. A petition calling for Council to rezone 21, 21B and 21A Enterprise Road, Sandy Bay from General Residential to Low Density Residential was presented to Council at its meeting of 6 September 2021 (**Attachment A**).

4.2. The petition contained 208 signatures, and requested a planning scheme amendment be initiated to progress the rezoning.

4.3. Council resolved the following:

*That the petition be received and noted and referred to the appropriate Committee.*

**5. Proposal and Implementation**

5.1. The proponents of the rezoning have submitted supporting documentation (**Attachment B**).

5.2. The proponents' justification includes that:

5.2.1. The land is not suitable for the dwelling density allowed for under the General Residential Zone as it is steep (approximately 23% gradient), bushfire prone and adjoins a Biodiversity Protection Area;

5.2.2. The constraints of the land mean it is better aligned with a Low Density Residential zoning;

5.2.3. The land was originally zoned 'Hills Face' under the City of Hobart Planning Scheme 1982, which aimed to minimise development potential in sensitive landscape areas, constrained areas, or land identified as being topographically difficult to develop;

5.2.4. The Mount Nelson Planning Review 2006 identified the constraints of the land and recommended density restrictions of 1 dwelling per 1500m<sup>2</sup>;

5.2.5. The draft 2009 planning scheme (which was never implemented) zoned the area 'Residential 2', but with an additional control that lots over 1000m<sup>2</sup> would be subject to the provisions of a Bushland Values Schedule which controlled building form and vegetation removal;

5.2.6. In 2011, the site was rezoned to 'Residential 2' under the City of Hobart Planning Scheme 1982, which was still in operation. Under this scheme, a dwelling density of 1 dwelling per 750m<sup>2</sup> applied to sites with a slope over 20% gradient.

5.2.7. The 'Residential 2' zoning was translated from the 1982 scheme into the current Hobart Interim Planning Scheme 2015, however the density provisions for this zone (1 dwelling per 325m<sup>2</sup>) are the same for the entire zone, regardless of slope or other factors;

5.2.8. It is considered that the specific considerations for this site under previous studies were lost incrementally over time.

5.3. There may be some merit in the justification provided by the proponents.

5.4. Planning scheme amendments relating to individual parcels of land require the consent of all affected landowners. In the absence of this consent, an amendment can only be progressed by the planning authority.

5.5. In order to adequately consider a rezoning however, further analysis would need to be completed.

5.6. Current resourcing constraints preclude immediate further investigation into this amendment.

5.7. It is proposed that a further report analysing the zoning of 21, 21A and 21B Enterprise Road be prepared when adequate resources are available. This report will recommend whether or not a rezoning amendment should be initiated.

5.7.1. The timing of this report will be dependent on additional staffing resources.

## **6. Strategic Planning and Policy Considerations**

6.1. The objectives of the Capital City Strategic Plan 2019-2029 would be considered in a further report.

## **7. Financial Implications**

7.1. Funding Source and Impact on Current Year Operating Result

7.1.1. Resources may need to be diverted from other projects.

7.2. Impact on Future Years' Financial Result

7.2.1. None.

7.3. Asset Related Implications

7.3.1. None.

Item No. 8.1

Agenda (Open Portion)  
City Planning Committee Meeting  
18/10/2021

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**8. Legal, Risk and Legislative Considerations**

- 8.1. If an amendment were to be initiated, it would be processed in accordance with the *Land Use Planning and Approvals Act 1993*.

**9. Environmental Considerations**

- 9.1. A further report would consider any environmental considerations.

**10. Social and Customer Considerations**

- 10.1. The proposal is not likely to have any direct impact on social inclusion.
- 10.2. The views of affected landowners would need to be considered if a rezoning is pursued.

**11. Marketing and Media**

- 11.1. There are no marketing or branding implications arising from this report.

**12. Community and Stakeholder Engagement**

- 12.1. Community consultation will take place if an amendment is initiated.
- 12.2. Procedural fairness will also dictate engagement with the current owner at the time of progressing any analysis and certainly if any amendment is proposed to be initiated.

**13. Delegation**

- 13.1. Delegation rests with the Council.

*As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.*





Sarah Crawford  
**DEVELOPMENT PLANNER**



Neil Noye  
**DIRECTOR CITY PLANNING**

Date: 11 October 2021  
File Reference: F21/97095

Attachment A: Petition ↴ 

Attachment B: Rezoning Justification ↴ 





## Petition

Date: 31/8/2021

To the Lord Mayor, Elected Members and the Chief Executive Officer of the Hobart City Council, the petition of the undersigned is submitted for your attention.

State the subject matter:

Request to rezone 21, 21B and part of 21A Enterprise Road, Sandy Bay, from General Residential to Low Density Residential.

State the action sought by the petitioners:

That Council initiate an amendment to the Hobart Interim Planning Scheme 2015 to rezone 21, 21B and part of 21A Enterprise Road, Sandy Bay, from General Residential to Low Density Residential.

Total number of signatories to the petition 208 This Page 13

Please Note: To be a valid petition:

The full printed name, address and signature of the person lodging the petition must be provided.

Name: Peter Ronald Sibly

Postal address: 25 Enterprise Road, Sandy Bay, Tasmania 7005

Signature: P.R. Sibly

Name (Please Print)	Address (Please Print)	Signature
PAT TURNER SMITH	21 ENTERPRISE ROAD	Pleumer Smith
SALLY POOLE	30 BIRNGANA AV. Sandy Bay	SR Poole
MARTIN POOLE	30 BIRNGANA AV. Sandy Bay	Mark Poole
FRAN HOSKING	32 Birngana Ave S.Bay	Fr Hosking
JOHN HOSKING	32 Birngana Ave S.Bay	John Hosking
Phil Harris	19 Birngana Ave S.Bay	Phil Harris
N. Harrex	10 Birngana Ave S.Bay	N. Harrex
J. Jorgensen	36 Birngana Ave S.Bay	J. Jorgensen
Mary Hebbink	34 Birngana Ave. Sandy Bay	Mary Hebbink
DINA GREGSON	3 Beddome ST Sandy Bay	Dina Gregson
Andrew Gregson	3 Beddome ST Sandy Bay	Andrew Gregson
Shelley Hadfield	19 Beddome Street Sandy Bay	Shelley Hadfield
DARRELL MILBURN	10 BEDDOME ST. S.Bay	Darrell Milburn

Elected Member Use Only:

As presented to Council by Alderman/Councillor .....

Signed: .....



## Petition

Date: 31/8/2021

2

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Total number of signatories to the petition 208 This Page 13

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Name: Peter Ronald Sibly

Postal address: 25 Enterprise Road, Sandy Bay, Tasmania 7005

Signature: P.R. Sibly

Name (Please Print)	Address (Please Print)	Signature
Cam Ngoc Thai	10 Beddome St Sandy Bay	[Signature]
RICHARD WOOD	1, NIREE HEIGHTS, SANDY BAY	[Signature]
PATRICIA WOOD	1, NIREE HEIGHTS, SANDY BAY	[Signature]
Cara Breheny	6 Birngana Ave, Sandy Bay	[Signature]
Karla Fenton	14 Enterprise Rd. Sandy Bay	[Signature]
DAVID ELLIOTT	14 Enterprise Rd.	[Signature]
ROBERT MCKERRON	4 Acushla Court Sandy Bay	[Signature]
Ann McKERRON	4 Acushla Court Sandy Bay	[Signature]
Jill Lindner	5 Acushla Court Sandy Bay	[Signature]
Nathan Lindner	5 Acushla Court Sandy Bay	[Signature]
ANDREW LINDNER	5 ACUSHLA COURT, SANDY BAY 7005	[Signature]
MIKE PROSSER	16 ENTERPRISE ROAD S. BAY 7005	[Signature]
WENDY BEAUCHAMP	13 ACUSHLA CR Sandy Bay	[Signature]

Elected Member Use Only:

As presented to Council by Alderman/Councillor .....

Signed: .....



## Petition

3

Date: 31/8/2021

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Total number of signatories to the petition ..... 208 ..... This Page 13

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Name: Peter Ronald Sibly

Postal address: 25 Enterprise Road, Sandy Bay, Tasmania 7005

Signature: P.R. Sibly

Name (Please Print)	Address (Please Print)	Signature
Kaye Volkman	15 Acushla Ct, Sandy Bay	Kaye Volkman
John Volkman	15 Acushla Court Sandy Bay	John Volkman
PETER CONNOLLY	17 ACUSHLA CRT, SANDY BAY	Peter Connolly
KLAUDIA MARTE	12 ACUSHLA CRT, SANDY BAY	Klaudia Marte
BRETT FERNAN	12 ACUSHLA CRT, " "	Brett Fernan
BARRY TARANTO	6 ACUSHLA CRT, " "	Barry Taranto
SYLVI OLSEN	1 EURELLA AVE, SANDY BAY	Sylvia Olsen
PAULICK BUTLER	1 EURELLA AVE, SANDY BAY	Paulick Butler
John Phillips	3 EURELLA AVE, Sandy Bay, 7005	John Phillips
Kerry Turnbull	5 EURELLA AVE, Sandy Bay	Kerry Turnbull
Frank & Louise Creely	9 EURELLA AVE, Sandy Bay	Frank & Louise Creely
Despina Walker	14 EURELLA AVE SANDY BAY	Despina Walker
ADRIAN WALKER	14 EURELLA AVE SANDY BAY	Adrian Walker

Elected Member Use Only:

As presented to Council by Alderman/Councillor .....

Signed: .....



## Petition

Date: 31/8/2021

4

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Total number of signatories to the petition 208 This Page 13

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Name: Peter Ronald Sibly

Postal address: 25 Enterprise Road, Sandy Bay, Tasmania 7005

Signature:

Name (Please Print)	Address (Please Print)	Signature
CHRISTINE CLIFFORD	7 WAYMOUTH AVE SANDY BAY 7005	C.A.C.
RICHARD SIBLY	7 Waymouth Ave, S. Bay	R.S.
Alex Beckinridge	26 BIRNIGANA AVE, S. BAY	Alex Beckinridge
Martin Wright	24 BIRNIGANA AVE S. BAY	M.T. Wright
JEAN WRIGHT	24 BIRNIGANA AVE S. BAY	Jean Wright
BARRY MAX	1 WAYMOUTH AVE, S. BAY	Barry Max
Therese Pearce	6 Waymouth Ave S Bay	Therese M Pearce
GARTH PALTRIDGE	9 WAYMOUTH AVE. S BAY	G. Paltridge
KAY PALTRIDGE	9 WAYMOUTH AVE S BAY	K. Paltridge
ROBERT GIBBON	4 EURELLA AVE S BAY	R. Gibbon
JOHN BUZA	8 BIRNIGANA AVE	John Buza
STEPHANIE MARTIN	6 EURELLA AVE SANDY BAY	Stephanie Martin
Michaela Beck	10 EURELLA AVE Sandy Bay	Michaela Beck

Elected Member Use Only:

As presented to Council by Alderman/Councillor .....

Signed: .....



## Petition

Date: 31/8/2021

5

To the Lord Mayor, Elected Members and the Chief Executive Officer of the Hobart City Council, the petition of the undersigned is submitted for your attention.

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That Council initiate an amendment to the Hobart Interim Planning Scheme 2015 to rezone 21, 21B and part of 21A Enterprise Road, Sandy Bay, from General Residential to Low Density Residential.

Total number of signatories to the petition 208 This Page 12

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Name: Peter Ronald Sibly

Postal address: 25 Enterprise Road, Sandy Bay, Tasmania 7005

Signature: P.R. Sibly

Name (Please Print)	Address (Please Print)	Signature
Jack MacLennan	12 Eutella Ave, Sandy Bay	[Signature]
JEFF WATTS	16 Eutella Ave Sandy Bay	[Signature]
Amanda Cumming	16 Eutella Ave Sandy Bay	[Signature]
Elisabeth Spurr	38 Birngana Ave Sandy Bay	[Signature]
MARK BEE	1 Acushla Court, Sandy Bay	[Signature]
Michael Steadman	15 Enterprise Rd, Sandy Bay	[Signature]
Brigitte Stoddart	15 Enterprise Rd Sandy Bay	[Signature]
LOUISE STONE	11 ENTERPRISE RD SANDY BAY	[Signature]
Rebecca Stone	11 Enterprise Rd, Sandy Bay	[Signature]
Cheryl Colquhoun	8 Acushla Court, Sandy Bay	[Signature]
Ray Williams	5 Enterprise Rd, Sandy Bay	[Signature]
Anne Williams	5 Enterprise Road, Sandy Bay	[Signature]

Elected Member Use Only:

As presented to Council by Alderman/Councillor .....

Signed: .....



## Petition

6

Date: 31/8/2021

To the Lord Mayor, Elected Members and the Chief Executive Officer of the Hobart City Council, the petition of the undersigned is submitted for your attention.

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State the action sought by the petitioners:

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Total number of signatories to the petition 208 This Page 11

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Name: Peter Ronald Sibly

Postal address: 25 Enterprise Road, Sandy Bay, Tasmania 7005

Signature: P. R. Sibly

Name (Please Print)	Address (Please Print)	Signature
Jocelyn McPhie	2 Enterprise Road, Sandy Bay	J. McPhie
Sharon Allen	4 Enterprise Rd Sandy Bay	Sharon Allen
Judy Watts	8 Enterprise Rd, Sandy Bay	Judy Watts
Troy Sutcliffe	1 Enterprise Rd, Sandy Bay	Troy Sutcliffe
Ray Williams	5 Enterprise Rd. Sandy Bay	Ray Williams
Peter Cornish	7 Eureka Ave. Sandy Bay	P. Cornish
Rob Cornish	7 Eureka Ave Sandy Bay	Rob Cornish
Rosa Roussos	6 ENTERPRISE RD S. BAY	R. Roussos
Sannee Johnson	1 Enterprise Road, Sandy Bay	Sannee Johnson
Le Song	3 Enterprise Road, Sandy Bay	Le Song
zhìhua zhao	3 Enterprise Road, Sandy Bay	赵志华

Elected Member Use Only:  
As presented to Council by Alderman/Councillor .....  
Signed: .....





City of HOBART

## Petition

Date: 31/8/2021

To the Lord Mayor, Elected Members and the Chief Executive Officer of the Hobart City Council, the petition of the undersigned is submitted for your attention.

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Name: Peter Ronald Sibly

Postal address: 25 Enterprise Road, Sandy Bay, Tasmania 7005

Signature: P.R. Sibly

Name (Please Print)	Address (Please Print)	Signature
Jillian Sibly	205 Enterprise Rd. Sandy Bay	jsibly
PETER VIVARELLI	22 Enterprise Rd Sandy Bay	Peter Vivarelli
Elizabeth Vivarelli	22 Enterprise Rd Sandy Bay	Elizabeth Vivarelli
RAYMOND MORONEY	2 GLOVER DRIVE SANDY BAY	R. Moroney
Scott Sibly	25 Enterprise Rd Sandy Bay	Scott Sibly
ANNE TAYLOR	13 Enterprise Rd Sandy Bay	ANNE TAYLOR
PHILLIP STARY	11 Glover Drive S/Bay	PHILLIP STARY
Mary Stary	11 Glove Drive S/Bay	Mary Stary
Diane Cook	20 Enterprise Rd S/Bay	Diane Cook
Steve Sibly	42 Birnigana Ave S/Bay	Steve Sibly

Elected Member Use Only:  
As presented to Council by Alderman/Councillor .....  
Signed: .....



## Petition

8

Date: 31/8/2021

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Total number of signatories to the petition 208 This Page 9

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Name: Peter Ronald Sibly

Postal address: 25 Enterprise Road, Sandy Bay, Tasmania 7005

Signature: P.R. Sibly

Name (Please Print)	Address (Please Print)	Signature
DAVID BARTIK	1/27 ENTERPRISE RD SANDY BAY	[Signature]
C. Bresnahan	2/27 Enterprise Rd Sandy Bay	[Signature]
MARK BRESNEHAN	2/27 ENTERPRISE RD, SANDY BAY	[Signature]
DARRYL MUNRO	21 AOTEA RD SANDY BAY	[Signature]
PETER BAIN	16 BANGALUA AVE SANDY BAY	[Signature]
CHARLES COOK	20 ENTERPRISE SANDY BAY	[Signature]
Scott Greenwood	4 GLOVER DRIVE SANDY BAY	[Signature]
Alison Greenwood	4 Glover Drive Sandy Bay	[Signature]
NICHOLAS LINNETT	29 ENTERPRISE ROAD SANDY BAY	[Signature]

Elected Member Use Only:

As presented to Council by Alderman/Councillor .....

Signed: .....





Signature: P.H. Sibley

[illegible]

Elected Member Use Only:  
As presented to Council by Alderman/Councillor .....  
Signed: .....



## Petition

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10

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Name: Peter Ronald Sibly

Postal address: 25 Enterprise Road, Sandy Bay, Tasmania 7005

Signature: P.R. Sibly

Name (Please Print)	Address (Please Print)	Signature
Gallagher, Ginger	3 Nirree Heights	[Signature]
JENNIFER HURLEY	3 NIRREE HEIGHTS	[Signature]
Hamish Moseley	3 Nirree Heights	[Signature]
Xuan B. Tran Tran	28 Enterprise Road, Sandy Bay	[Signature]
Jalpa Patel	33 Enterprise Road, Sandy Bay	[Signature]

Elected Member Use Only:

As presented to Council by Alderman/Councillor .....

Signed: .....



Elected Member Use Only:  
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## Petition

12

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Name: Peter Ronald Sibly

Postal address: 25 Enterprise Road, Sandy Bay, Tasmania 7005

Signature: P.R. Sibly

Name (Please Print)	Address (Please Print)	Signature
Michael Lam	26 Acton Road	[Signature]
STEVE GREENHILL	16 MARLBOROUGH ST SANDY BAY	[Signature]
SHAWN CALMORE	16 MARLBOROUGH ST SANDY BAY	[Signature]
Kim Jose	20 Marlborough St, Sandy Bay	[Signature]
Lynn Archer	21 Marlborough St Sandy Bay	[Signature]
Sophie Stephenson	unit 2/9 scana place sandy bay	[Signature]
Geoff McDonough	48 MANHERA AVE SANDY BAY	[Signature]
SCHREIBER	50 MANHERA AVE S. BAY	[Signature]
ALAN NICKINS	39A MANHERA AVE SANDY BAY	[Signature]
John DIXSON	37 MANHERA AVE " "	[Signature]
Mary Perkins	7 Longview Ave Sandy Bay	[Signature]
TESS FORD	2/9 LONGVIEW AVE SANDY BAY	[Signature]
ALEXANDRA KAMEL	13 Longview avenue Sandy Bay	[Signature]

Elected Member Use Only:

As presented to Council by Alderman/Councillor .....

Signed: .....



## Petition

13

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Signature: P.R. Sibly

Name (Please Print)	Address (Please Print)	Signature
Francis Munro	21 Aotea Road Sandy Bay	[Signature]
Paul Haddad	20 Aotea Rd, Sandy Bay	[Signature]
Kerry Haddad	20 Aotea Rd, Sandy Bay	[Signature]
M. Coy	25 Aotea Rd Sandy Bay	[Signature]
K. GILMORE	16 MARLBOROUGH ST SANDY BAY	[Signature]
Aloka Smith	12A Aotea Road Sandy Bay	[Signature]
Rachael Lewis Munro	21 Aotea Road Sandy Bay	[Signature]
Peter Gayton	116 Aotea Rd, Sandy Bay	[Signature]
Elizabeth Gayton	1/16 Aotea Rd 7005	[Signature]
Tam Coy	25 Aotea Rd Sandy Bay	[Signature]
J. Bremner	24 Aotea Rd, Sandy Bay	[Signature]
Carman Goldstein	31 Aotea Rd Sandy Bay	[Signature]
Ilan Goldstein	31 Aotea Rd, Sandy Bay	[Signature]

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Postal address: 25 Enterprise Road, Sandy Bay, Tasmania 7005

Signature: P.R. Sibly

Name (Please Print)	Address (Please Print)	Signature
William Jose	20 Marlborough St, Sandy Bay	[Signature]
Pip Cummins	23 Marlborough St, Sandy Bay	[Signature]
R. Paul	24, Marlborough St, S. Bay	[Signature]
MANJU PAUL	24, MARLBOROUGH ST.	[Signature]
Ashley Blakeley	29 Marlborough St, Sandy Bay	[Signature]
Kirsten Gayne	31 Marlborough St, Sandy Bay	[Signature]
Corinna Woolford	32 Marlborough St, Sandy Bay	[Signature]
HELEN FUDALA	2 MARLBOROUGH ST SANDY BAY	[Signature]
DARILYN ERTLER	15 MARLBOROUGH ST SANDY BAY	[Signature]
ROSE ERTLER	15 MARLBOROUGH ST SANDY BAY	[Signature]
HARRY YOUNG	12 MARLBOROUGH ST SANDY BAY	[Signature]
JENNIFER ROBINSON	19 AOTEA ROAD, S. BAY TAS.	[Signature]
AMELIA-ANNE MUNRO	21 AOTEA ROAD, S. BAY, TAS.	[Signature]

Elected Member Use Only:

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Signed: .....



15

## Petition

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Postal address: 25 Enterprise Road, Sandy Bay, Tasmania 7005

Signature: P.R. Sibly

Name (Please Print)	Address (Please Print)	Signature
ELIZABETH PETRUSMA	2125 MARLBOROUGH ST	EAP
1/25 MARLBOROUGH ST	2125 MARLBOROUGH ST	
JEANETTE ATKINS	1/25 MARLBOROUGH ST	
ROBERT BURGESS	29 MARLBOROUGH ST	
STUART DAUF-STRES	33 MARLBOROUGH ST	
SHARON DAUF-STRES	33 MARLBOROUGH ST	
Andrew Woolford	32 Marlborough St	
Susan Wilson	2/28 Marlborough St	
SHARON ATKINSON	1/28 MARLBOROUGH ST	
Molly Warner	1/22 Marlborough Street	
JAMES WARRICK	" "	
ROBERTA WARRICK	11 Marlborough St, Sandy Bay	
WOLF EBERST	7 Marlborough St S/BAY	

Elected Member Use Only:

As presented to Council by Alderman/Councillor .....

Signed: .....





## Petition

Date: 31/8/2021

To the Lord Mayor, Elected Members and the Chief Executive Officer of the Hobart City Council, the petition of the undersigned is submitted for your attention.

State the subject matter:

Request to rezone 21, 21B and part of 21A Enterprise Road, Sandy Bay, from General Residential to Low Density Residential.

State the action sought by the petitioners:

That Council initiate an amendment to the Hobart Interim Planning Scheme 2015 to rezone 21, 21B and part of 21A Enterprise Road, Sandy Bay, from General Residential to Low Density Residential.

Total number of signatories to the petition 208 This Page 13

Please Note: To be a valid petition:

The full printed name, address and signature of the person lodging the petition must be provided.

Name: Peter Ronald Sibly

Postal address: 25 Enterprise Road, Sandy Bay, Tasmania 7005

Signature: P.R. Sibly

Name (Please Print)	Address (Please Print)	Signature
JENNY EBERT	7 MARLBOROUGH ST SANDY BAY	Jenny Ebert
PETER ALCOCK	3 MARLBOROUGH ST SANDY BAY	Peter Alcock
Steven Walker	4 Marlborough St Sandy Bay	Steven Walker
Gillian Wallace	4 Marlborough St Sandy Bay	Gillian Wallace
Jenny Douglas	10 Astor Rd Sandy Bay	Jenny Douglas
Alan Douglas	10 Astor Rd Sandy Bay	Alan Douglas
SAMA ELALI	8 ASTOR RD SANDY BAY	Sama Elali
Joanna Menaris	3 Astor Rd Sandy Bay	Joanna Menaris
PHILIP GUEST	4/14 DALKIEITH COURT	Philip Guest
JANE GUEST	4/14 DALKIEITH COURT S.BAY	Jane Guest
Kevin Schuck	3 Marlborough St, Sandy Bay	Kevin Schuck
Raymond Henry	17A Marlborough St Sandy Bay	Raymond Henry
TINA TERRY	19 MARLBOROUGH ST SANDY BAY	Tina Terry

Elected Member Use Only:

As presented to Council by Alderman/Councillor .....

Signed: .....





## Petition

Date: 31/8/2021

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Total number of signatories to the petition 208 This Page 12

Please Note: To be a valid petition:

The full printed name, address and signature of the person lodging the petition must be provided.

Name: Peter Ronald Sibly

Postal address: 25 Enterprise Road, Sandy Bay, Tasmania 7005

Signature: P.R. Sibly

Name (Please Print)	Address (Please Print)	Signature
Anne Fisher	14 Longview Ave Sandy Bay	[Signature]
NICK STILWELL	10 LONGVIEW AVE SANDY BAY	[Signature]
CHERRY FOUNCE	8 LONGVIEW AVE SANDY BAY	[Signature]
JOE ANAGAS	69 Red Chapel Ave	[Signature]
Alexandra Klorins	3 AOTEA RD, SANDY BAY	[Signature]
Chris Clark	47 Red Chapel Ave, S/Bay	[Signature]
JOAN VAN BURG	39 NARMEA AVENUE, 7005 TAS.	[Signature]
Stephanie Watson	1 Rupera Ave, West Hob	[Signature]
Gillian Taylor	41 Remembrance Ave. S. Bay	[Signature]
Robert Groom	1 Aotea Rd Sandy Bay	[Signature]
N. Grillas	1 Marlborough St	[Signature]
ALISON TURNER	6 MARLBOROUGH ST SANDY BAY	[Signature]

Elected Member Use Only:

As presented to Council by Alderman/Councillor .....

Signed: .....



18

## Petition

Date: 31/8/2021

To the Lord Mayor, Elected Members and the Chief Executive Officer of the Hobart City Council, the petition of the undersigned is submitted for your attention.

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Total number of signatories to the petition 208 This Page 3

Please Note: To be a valid petition:

The full printed name, address and signature of the person lodging the petition must be provided.

Name: Peter Ronald Sibly

Postal address: 25 Enterprise Road, Sandy Bay, Tasmania 7005

Signature: P.R. Sibly

Name (Please Print)	Address (Please Print)	Signature
Mark Hynes	23 Broadwaters Parade Sandy Bay	[Signature]
Lainey James	79 Leonard Av. Mearns	[Signature]
Lisa Arthur	1 Beaujolais Crs, Berriedale	[Signature]

Elected Member Use Only:

As presented to Council by Alderman/Councillor .....

Signed: .....



19

## Petition

Date: 31/8/2021

To the Lord Mayor, Elected Members and the Chief Executive Officer of the Hobart City Council, the petition of the undersigned is submitted for your attention.

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Total number of signatories to the petition 208 This Page 12

Please Note: To be a valid petition:

The full printed name, address and signature of the person lodging the petition must be provided.

Name: Peter Ronald Sibly

Postal address: 25 Enterprise Road, Sandy Bay, Tasmania 7005

Signature: *P.R. Sibly*

Name (Please Print)	Address (Please Print)	Signature
Andrew Sweeney	19 Enterprise Road Sandy Bay	<i>ASweeney</i>
Charla Sweeney	19 Enterprise Rd Sandy Bay	<i>CSweeney</i>
Leif Sweeney	19 Enterprise Road Sandy Bay	<i>LSweeney</i>
Ruben Sweeney	19 Enterprise road sandy bay	<i>RS</i>
DAVID Kilpatrick	203 Bathurst St West Hobart	<i>DK</i>
Shane Filler	79 Pirie St Sandy Bay	<i>SF</i>
UMESH PRATAP	15 GARGENIA GROVE, SB.	<i>UP</i>
SEAN TISDALE	50 LEURA ST ROSNY	<i>STisdale</i>
HAYLEY NOONAN	46 CONTINENTAL RD GLENORCHY	<i>HN</i>
Amanda Woods	19 Easton Avenue West Moonah	<i>AW</i>
Sham Newbake	12 High St Bellerive	<i>SN</i>
Anna Fitzgerald	22 Meehan Road, Rokeby	<i>AF</i>

Elected Member Use Only:

As presented to Council by Alderman/Councillor .....

Signed: .....



## Petition

Date: 31/8/2021

20

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State the action sought by the petitioners:

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Total number of signatories to the petition 208 This Page 8

Please Note: To be a valid petition:

The full printed name, address and signature of the person lodging the petition must be provided.

Name: Peter Ronald Sibly

Postal address: 25 Enterprise Road, Sandy Bay, Tasmania 7005

Signature: P. R. Sibly

Name (Please Print)	Address (Please Print)	Signature
MARIA BAGGETT	17 AOTEA RD SANDY BAY 7005	Maria Baggett
Stuart Hall	17 Aotea Road Sandy Bay 7005	Stuart Hall
SAM ANVARE	1 WATKINS AVE Hobart	Sam Anvare
Amara Gantz	17 Aotea Road Sandy Bay	Amara Gantz
EDWARD HALL	12 FITZROY PLACE SANDY BAY	Edward Hall
C.E. Hall	12 FITZROY PLACE Sandy Bay	C.E. Hall
Sophia-Elise Vasili	75 Jubilee Road, South Hobart	S Vasili
Andrew Bakonyi	75 Jubilee Road, Hobart	Andrew Bakonyi

Elected Member Use Only:

As presented to Council by Alderman/Councillor .....

Signed: .....



Date: 31/8/2021

Signature: R.C. Seay

[illegible]

Elected Member Use Only:  
As presented to Council by Alderman/Councillor .....  
Signed: .....



**AllUrbanPlanning** PTY LTD

18 August 2021

**Planning Opinion – Support for rezoning of 21, 21A and 21B Enterprise Road, Sandy Bay from General Residential to Low Density Residential**

All Urban Planning Pty Ltd has been engaged by Peter and Jillian Sibby on behalf of a group of nearby residents to provide a planning opinion regarding the appropriate zoning of 21, 21A and 21B Enterprise Road, Sandy Bay. The residents are concerned that the characteristics of this steep, vegetated and bushfire prone land with constrained access mean that it is unsuited to development at the density allowed by the General Residential Zone.

The request follows an application for a planning permit PLN-20-740 for 20 Multiple Dwellings at 21B Enterprise Road. That application attracted 213 representations and was refused by Hobart City Council 10 May 2021. The applicant subsequently lodged and then withdrew an appeal to the Resource Management and Planning Appeal Tribunal.

The three properties are located behind the row of existing houses on the top side of Enterprise Road as shown in Figure 1 below. 21 Enterprise Road is approximately 6600m<sup>2</sup>, 21B is 8030m<sup>2</sup> and 21A approximately 7.4ha. It has been estimated that the land has a slope of approximately 23%.



Figure 1 - Location Plan 21, 21A and 21B Enterprise Road



**Existing zoning**

The whole of No. 21 and No. 21B and a portion (approx. 1.55ha) of 21A are zoned General Residential as shown in Figure 2 below. The balance of 21A is zoned Environmental Living. Council's Bicentennial Park above and to the south is zoned Environmental Management.



Figure 2 - Existing Zoning

The land is mapped as bushfire prone under the planning scheme. The Environmental Living zoned portion of no. 21 A is also identified as a Biodiversity Protection Area.

**Planning History**

I have reviewed a number of Council reports<sup>1</sup> and summarise the zoning history of the site as follows:

- The site was zoned Hills Face under the City of Hobart Planning Scheme 1982 (see Attachment 1). The Objective of the Hills Face Zone was to *minimise the potential for development in sensitive landscape areas which also possess severe constraints in the provision of access and reticulated services, or land identified as being topographically difficult to develop.*

<sup>1</sup> Mount Nelson Planning Review, Final Report 2006, GHD Pty Ltd and Agenda report to the Development and Environmental Services Committee, 21 March 2011.

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- When the Hills Face Zone was being reviewed in 2006, the Mount Nelson Planning Review<sup>2</sup> (MNPR) recommended that a lower density precinct 30C within the Residential 2 Zone be applied to the subject land. It was recommended that this have a permitted density of 1 dwelling per 1500m<sup>2</sup> and a basic plot ratio of 0.3.
- The MNPR recommended the following Statement of Desired Future Character be applied to the land as part of the Precinct 30C controls of the planning scheme:

*The Precinct contributes to the character of the Mt Nelson area. It represents the interface between the bushland covered higher slopes of Mt Nelson and the urban landscapes of the lower slopes.*

*Vegetation should be sensitively managed to reduce ground level fuel loads around buildings and consequent bushfire hazard and minimise risk of weed invasion of the bushland. A canopy of mature trees that appear continuous from more distant metropolitan viewing points should be maintained.*

*Further subdivision of existing larger lots that abut the Environmental Management Zone may not be appropriate except in accordance with a Site Development Plan that demonstrates appropriate resolution of environmental, access servicing and visual impact issues.*

*The construction of additional houses on already developed lots may not be appropriate except within building envelopes indicated on a prior site development plan. Buildings should be located and designed to remain declaratively unobtrusive in the regional landscape setting.*

*Siting and construction of building and works should be managed to protect the water quality and streamside vegetation from the adverse effects of litter, weeds, nutrients, erosion and sedimentation.*

- Council resolved at its meeting on 26 June 2006 that the recommendations of the MNPR be used as the basis for a new City of Hobart Planning Scheme. (Attachment 2)
- The zones and boundaries proposed in the Draft City of Hobart Planning Scheme 2009 were consistent with those recommended in the MNPR.
- At that time, it was not proposed in the Draft City of Hobart Planning Scheme 2009 to introduce separate precinct controls as suggested in the MNPR for Precinct 30C. Instead, it was proposed that development of lots over 1000m<sup>2</sup> in the Residential Zone (such as 21, 21A and 21B Enterprise Road) would be subject to the provisions of a Bushland Values Schedule. This controlled the design and built form and native vegetation removal.
- Council further considered the rezoning of this land above Enterprise Road<sup>3</sup> in 2011 and ultimately did not adopt MNPR density restriction on the basis that the residential zone under the Interim Planning Scheme structure did not accommodate precincts within the residential zone. At that time the 1982 planning scheme applied a density of 1 dwelling per 750m<sup>2</sup> to sites

<sup>2</sup> Mount Nelson Planning Review Stage 2 and 3 report, GHD, June 2006, P30.

<sup>3</sup> Agenda report to the Development and Environmental Services Committee, 21 March 2011



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like this with a slope over 20%. The Bushland Values Schedule was not applied to this land within the Residential 2 Zone.

- In 2015 Council introduced the *Hobart Interim Planning Scheme* which simply transitioned the Residential 2 zoning from the *City of Hobart Planning Scheme 1982* to the current General Residential Zone. All other zone based considerations for the site based on the characteristics of this steep bushland that were carefully considered in the MNPR and 2009 Draft City of Hobart Planning Scheme were lost.
- The current General Residential zoning does not include the application of precincts and applies the same development controls for density, siting and site cover to the land as all other General Residential areas across the Southern Region. A residential density of 1 dwelling per 325m<sup>2</sup> site area now applies.

#### Summary of Planning History

Between 2006 and 2015 the planning controls for 21, 21A and 21B Enterprise Road have transitioned in a series of steps/decisions from:

- the Hills Face Zone that minimised the potential for development in this sensitive landscape area that was identified as being topographically difficult to develop (attachment 1)
- to Residential 2 with a Precinct 30C designation that limited residential density to 1 dwelling per 1500m<sup>2</sup> site area as part of the MNPR (attachment 2)
- to Residential 2 with a designation of 1 dwelling per 750m<sup>2</sup> site area for sites with a slope over 20% in 2011
- to the current General Residential Zone under the Hobart Interim Planning Scheme 2015 that applies a flat density of 1 dwelling per 325m<sup>2</sup> with no consideration to the landscape or topographical characteristics of the land. See Figure 2.

Through the above decisions, in my opinion Council has inadvertently removed the planning controls for this steep bushland that had been the subject of lengthy consideration as part of the MNPR and the 2009 Draft City of Hobart Planning Scheme.

In my view, application of the Low Density Residential Zone with a density of 1 dwelling per 1500m<sup>2</sup> (similar to that applied to the Mount Nelson bends) would have been a more appropriate transitional zoning from the Hills Face and subsequent Precinct 30C controls.

#### Zone application guidance

Guideline No.1 issued by the Tasmanian Planning Commission under Section 8A of the Land Use Planning Approvals Act 1993 sets out the zone application guidelines for planning schemes. I make comment in relation to the intended application of each of these zones below.

In accordance with Clause 3.4, the primary objective in applying a zone should be to achieve the zone purpose to the greatest extent possible.

#### General Residential Zone

In my assessment, application of the General Residential zoning does not align with Zone Application Guideline GRZ 3 for the General Residential Zone:

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*GRZ 3 The General Residential Zone should not be applied to land that is highly constrained by hazards, natural values (i.e. threatened vegetation communities) or other impediments to developing the land consistent with the zone purpose of the General Residential Zone, except where those issues have been taken into account and appropriate management put into place during the rezoning process.*

### **Comment**

In my opinion, the subject land that is bushfire prone, has a slope of approximately 23% and adjoins a Biodiversity Protection Area is highly constrained and not suitable for residential development at an urban density.

### **Low Density Residential Zone**

In my assessment the Zone Application Guidelines for the Low Density Residential Zone show good alignment with the characteristics of the subject land as follows:

*LDRZ 1 The Low Density Residential Zone should be applied to residential areas where one of the following conditions exist:*

*(a) residential areas with large lots that cannot be developed to higher densities due to any of the following constraints:*

*(i) lack of availability or capacity of reticulated infrastructure services, unless the constraint is intended to be resolved prior to development of the land; and*

*(ii) environmental constraints that limit development (e.g. land hazards, topography or slope); or*

*(b) small, residential settlements without the full range of infrastructure services, or constrained by the capacity of existing or planned infrastructure services; or*

*(c) existing low density residential areas characterised by a pattern of subdivision specifically planned to provide for such development, and where there is justification for a strategic intention not to support development at higher densities.*

### **Comment**

The subject land aligns with LDRZ 1(a) in that it exists as three larger lots that are subject to the bushfire hazard overlay and is significantly constrained by the steep topography.

*LDRZ 3 The Low Density Residential Zone should not be applied for the purpose of protecting areas of important natural or landscape values.*

### **Comment**

The land was identified in the MNPR for lower density residential development below the more sensitive natural and landscape values. The intended application of the Low Density Residential Zone is by reason of the hazard and topographical considerations rather than landscape and aligns with this guidance.

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*LDRZ 4 The Low Density Residential Zone should not be applied to land that is targeted for greenfield development unless constraints (e.g. limitations on infrastructure, or environmental considerations) have been identified that impede the area being developed to higher densities.*

**Comment**

As above the bushfire hazard and topographical considerations indicate that the land is unsuited to development at a higher density. The road network between the sites and Churchill Avenue is narrow and constrained. These constraints also impede development of the subject land to higher densities.

**Conclusion and next steps**

The land was the subject of detailed planning consideration as part of the Mount Nelson Planning Review 2006 and the Draft City of Hobart Planning Scheme 2009. It was identified as steep, constrained land that was subject to bushfire hazard.

Initial recommended density restrictions of 1 dwelling per 1500m<sup>2</sup> were eroded and then inadvertently totally removed in a series of decisions between 2006 and 2015. The effect is that the land is now zoned for residential development at an urban density under the General Residential Zone.

In my opinion, the subject land that is highly constrained is not suitable for residential development at an urban density and the Low Density Residential Zone should be applied.

I recommend that Council consider initiating an amendment to the planning scheme to rezone 21, 21A and 21B Enterprise Road Low Density Residential.

I would be pleased to discuss as necessary.

Yours sincerely

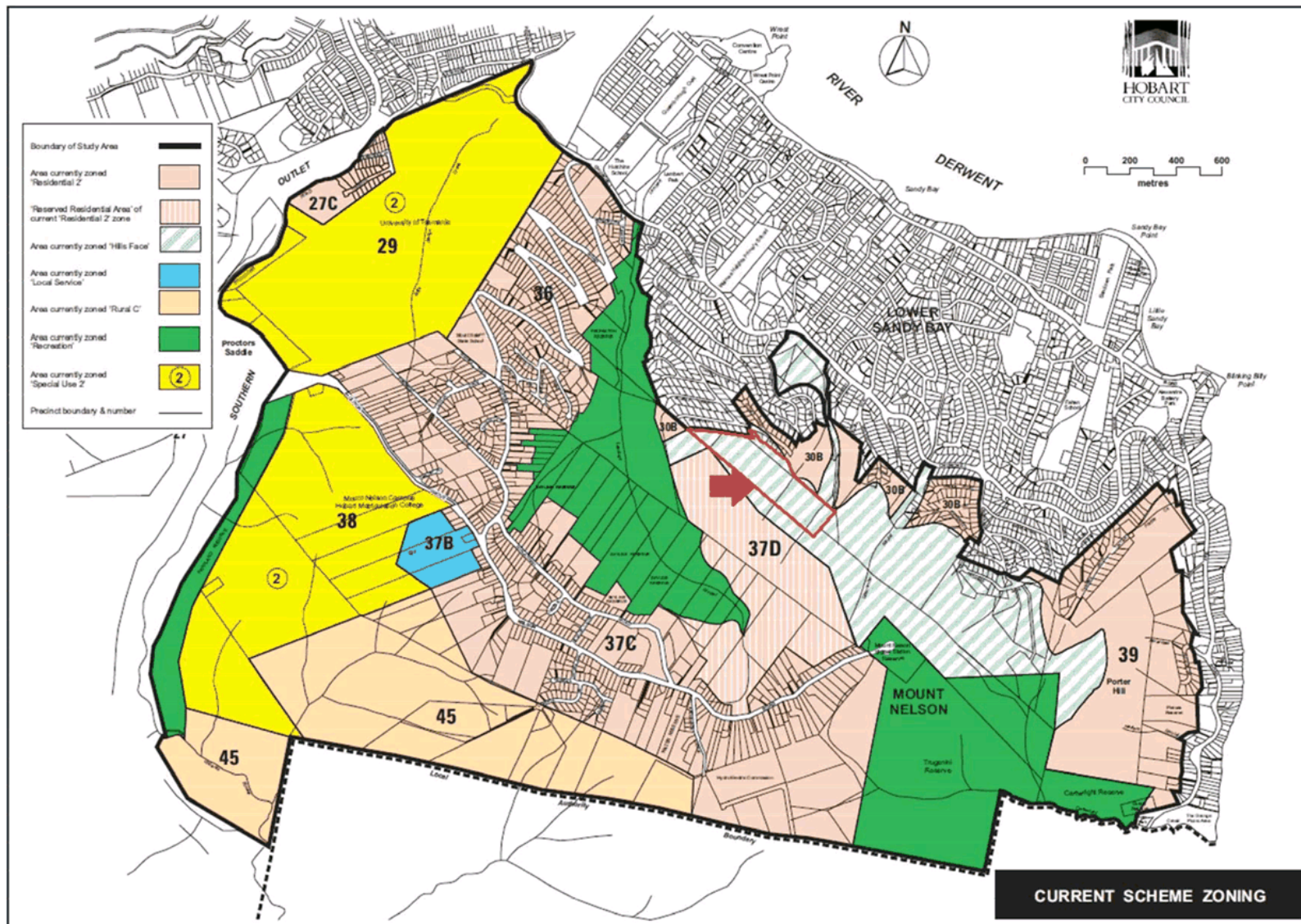


Frazer Read  
**Principal**  
All Urban Planning Pty Ltd

AllUrbanPlanning

Attachment 1

City of Hobart Planning Scheme 1982 Hills Face Zoning

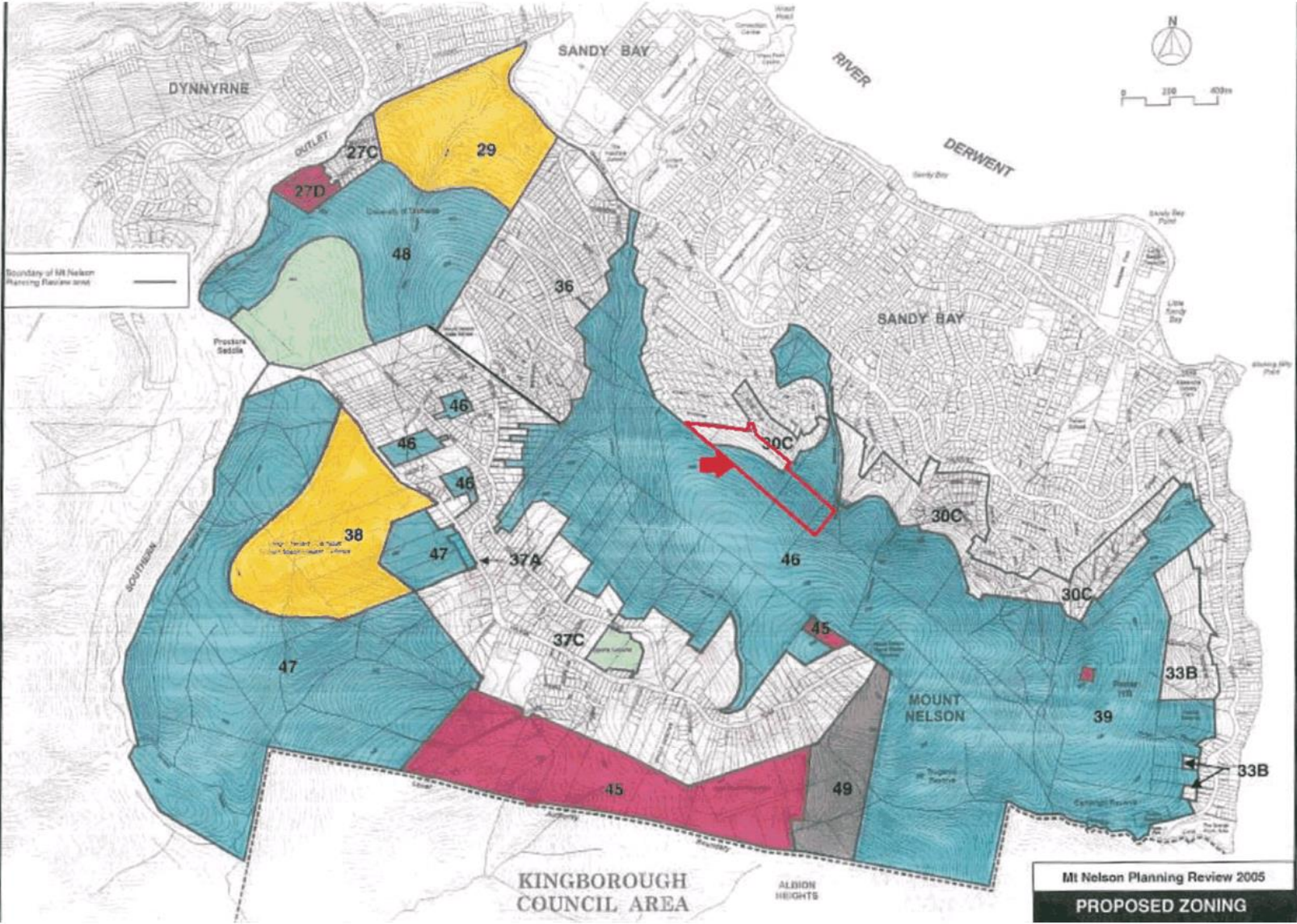


AllUrbanPlanning

Attachment 2

Mount Nelson Planning Review





ireneinc  
PLANNING & URBAN DESIGN



16 February 2022

Mr Neil Noye  
Director of City Planning  
Hobart City Council  
By email: coh@hobartcity.com.au

Dear Neil

#### ZONING OF LAND AT ENTERPRISE ROAD, SANDY BAY

I write on behalf of the owners of land at 21A and 21B Enterprise Road, Sandy Bay in response to Council's letter of 1 February 2022 notifying them that Council will be considering a report relating to the possible rezoning of their land at an upcoming meeting.

By way of background, Ireneinc were first engaged by the landowner in respect of the previous application for 20 dwellings when it was refused by Council and an appeal was lodged. This appeal was subsequently withdrawn.

Since this time the landowner has been working with JAWS architects, engineers, as well as ourselves on a very different proposal at a reduced density, with the aim of coming back to Council with a new application which better meets the development standards of the *Hobart Interim Planning Scheme 2015* (HIPS 2015).

The revised proposal is significantly advanced and therefore it is of concern that the Council is considering a change to the statutory planning controls on the land with such limited consultation with the landowner.

While it is now apparent that this matter was originally raised with the Council in August or September 2021, this is not something the landowner was aware of at that time, or when the matter was considered by Council meetings in September & October 2021. It is of concern that in the subsequent months further work and expense has been incurred, without knowledge of these matters, or of the Council's decision to seek a report on whether it should initiate rezoning of the land.

#### ZONING REVIEW

In relation to the history of the planning for the area and in particular the zoning which has been applied to the land now in question, we submit that the relevant consideration should be the existing zoning under the current HIPS 2015 and the most recent previous provisions which would be those of the *City of Hobart Planning Scheme 1982* (HPS 1982) where the land was within the Residential 2 Zone.

As part of the implementation of the HIPS 2015 there was a requirement to undertake like for like translation as much as possible from previous planning schemes to the new interim scheme.

At this time, the translation of the Residential 2 Zone to the General Residential Zone was considered to be the like for like translation. Specific consideration of the application of zones to this land would have been required given that 21A Enterprise Road is only partially zoned General Residential, with the balance of that site being in the Environmental Living Zone. In provided this dual zoning for the land protection of the upper slopes and natural values was provided.

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PLANNING TAS PTY LTD TRADING AS IRENEINC PLANNING & SMITH STREET STUDIO PLANNING & URBAN DESIGN

ABN 78 114 905 074



The subject land is not significantly different from adjoining and nearby land which has been successfully developed as General Residential and therefore demonstrates that this land is not unreasonably constrained from development appropriate for the zone.

The subject land is located between the 175m and 225m contours, like other developed land adjoining in Enterprise Road and nearby in Nicholas Drive and Lindeth Court. These areas, including the directly adjoining area, are very like the subject land in their location, characteristics and slope, and are developed to residential densities typical of the area more generally at in the order of 1/867m<sup>2</sup>.

Regarding the relationship of the subject land to the Council's Environmental Management Zoned reserve, it is noted that the neighbouring site at 21 Enterprise Road is already developed with a single dwelling and that the subject land owned by our client is separated by the large area of 21A Enterprise Road which is zoned Environmental Living. It is this area of land outside the General Residential Zoned area which forms an effective transition between the residential areas including those yet to be developed and the reserve3d land beyond.

It is therefore considered that the combined provisions of the planning scheme including the zones and applicable codes, as they currently apply, are appropriate and sufficient to ensure that any future development of the land responds to the constraints of the land and protects the amenity of the neighbouring properties.

If you have any further queries in relation to any of the above, please contact me on 6234 9281.

Yours sincerely



Jacqui Blowfield  
Senior Planner  
IRENEINC PLANNING & URBAN DESIGN



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HOBART INTERIM PLANNING SCHEME 2015
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# PSA-21-4 AMENDMENT

## INSTRUMENT OF CERTIFICATION

It is hereby certified that draft Amendment PSA-21-4 to the Hobart Interim Planning Scheme 2015 meets the requirements specified in section 32 of the former provisions of the *Land Use Planning and Approvals Act 1993*.

The Common Seal of the Hobart City  
Council is fixed hereon, pursuant to  
Council's resolution of 28 March 2022  
in the presence of:

..... Chief Executive Officer

..... Lord Mayor

Date: .....

---

**7.1.4 Short Stay Accommodation - Proposed Amendments to the Hobart  
Interim Planning Scheme  
File Ref: F22/20739**

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Report of the Manager City Futures and the Acting Director City Life of  
16 March 2022 and attachments.

Delegation: Council

**REPORT TITLE: SHORT STAY ACCOMMODATION - PROPOSED AMENDMENTS TO THE HOBART INTERIM PLANNING SCHEME****REPORT PROVIDED BY:** Manager City Futures  
Acting Director City Life**1. Report Purpose and Community Benefit**

- 1.1. This report has been prepared in response to Council's resolution (in part) of 23 August 2021 that:

Council pursue inserting one or more specific area plans into the Hobart Local Provisions Schedule that prohibit entire home short stay accommodation use (SSA) (excluding for 'secondary residences').

- 1.2. The report will benefit the community by proposing a planning scheme amendment that may help to mitigate negative impacts of short stay Visitor Accommodation.

**2. Report Summary**

- 2.1. The proposal is to amend the Use Table in each of the General Residential Zone, the Inner Residential Zone, and the Low Density Residential Zone to restrict the use 'Visitor Accommodation'.
- 2.2. The amendment to each Use Table is to add a specific qualification for Visitor Accommodation.
- 2.3. The qualification has the effect of restricting the use of Visitor Accommodation if the use is wholly for Visitor Accommodation within:
- a) a single dwelling; or
  - b) a dwelling
- and the single dwelling or dwelling is not an ancillary dwelling.
- 2.4. The proposed amendment is provided in Attachment A.

**3. Recommendation*****That:***

1. ***Council endorse the draft amendment to the Use Table in each of the General Residential Zone, the Inner Residential Zone, and the Low Density Residential Zone for inclusion in the Hobart Interim Planning Scheme 2015 to restrict entire home Visitor Accommodation use (excluding for 'ancillary dwellings') in specified zones of the Hobart Interim Planning Scheme 2015 as detailed in Attachment A.***

- 2. Under section 35 of the former provisions of the Land Use Planning and Approvals Act 1993, Council certify that amendment PSA-22-1 to the Hobart Interim Planning Scheme 2015 meets the requirements of section 32 of the former provisions of the Land Use Planning and Approvals Act 1993 and authorise the Chief Executive Officer and Lord Mayor to sign the Instrument of Certification (Attachment A).**
- 3. Under section 38 of the former provisions of the Land Use Planning and Approvals Act 1993, the Council place the amendment to the Hobart Interim Planning Scheme on public exhibition for a 28 day period.**

#### **4. Background**

- 4.1. At its meeting on 17 December 2020, Council resolved inter alia that:

A report be prepared on the possible amendments, and their merits, to the planning regulations to more appropriately control the number of private properties being converted to whole home short stay accommodation.

- 4.2. At its meeting on 9 February 2021, the Council resolved inter alia that:

- (a) A report be prepared on the possible amendments, their merits and potential consequences, to the planning regulations to implement the following recommendations made in the UTAS Report titled: Regulating Short-Stay Accommodation in Tasmania: Issues to consider and options for reform:

Recommendation 3: That the Tasmanian Government amend the current planning scheme to allow consideration of housing market conditions when making planning decisions.

Recommendation 4: That the current planning scheme include provisions so that it can respond to community-level housing needs in a timely manner.

- (b) Advice be prepared as to the merits and potential consequences of endorsing Recommendation 5 of the same report

Recommendation 5: That the Tasmanian Government establish a Housing Supply Forecasting Council to collect and analyse housing supply and demand drivers, including the impact of the SSA sector, and provide policy recommendations.

4.3. At its meeting on 23 August 2021, Council resolved as follows:

That:

1. Council pursue inserting one or more specific area plans into the Hobart Local Provisions Schedule that prohibit entire home short stay accommodation use (excluding for 'secondary residences').
2. Council advocate to the Minister for Planning to issue a planning directive that immediately prohibits new permits for entire home short stay accommodation within the Hobart Local Government Area;
3. Council advocate for statewide regulations, similar to those in New South Wales, that enable councils to make decisions about properties within their local government area; and
4. Council advocate to the Tasmanian Government to form a 'Housing Supply Forecasting Council' in line with Recommendation 5 of the report *Regulating Short-Stay Accommodation in Tasmania: Issues to consider and options for reform*.

4.4. As per the resolution, the Lord Mayor, wrote to the Minister for Planning (Minister) on 12 November 2021 (Attachment B). The letter outlined the concerns of Council that the current Planning Directive 6 (PD6) allows for Visitor Accommodation in existing buildings of up to 200m<sup>2</sup> (unless part of a strata scheme with existing residential use) as a permitted use in most residential zones except those within Battery Point.

4.5. Furthermore, noting that PD6 precludes individual planning authorities from inserting more restrictive SSA provisions into the current planning instruments (the Hobart Interim Planning Scheme 2015 (HIPS) and the Sullivans Cove Planning Scheme 1997 (SCPS).

4.6. The Lord Mayor requested that the Minister issue a prohibition for new entire home SSA permits within the Hobart Local Government Area (LGA), which might be achieved by way of an interim planning directive, with immediate effect, issued under the *Land Use Planning and Approvals Act 1993*. This would allow for new short stay accommodation restrictions to be in force in the Hobart LGA significantly more quickly than would be possible through an amendment of the Hobart Local Provisions Schedule (LPS)

4.7. In response to the above request, the Minister advised via letter on 20 December 2021 (Attachment C) that '...I have no ability to issue an interim planning directive unless it is recommended to me by the Tasmanian Planning Commission.'

4.8. Further the Minister advised that:

- 4.8.1. '...it is also possible for your Council to seek an amendment to its Interim Planning Scheme and, if supported by the

Commission, a Planning Purposes Notice can be issued to 'relieve' the Scheme from the mandatory application of PD6.'

- 4.8.2. 'This has occurred on a number of occasions in relation to other planning directives. I understand that such an amendment to the interim planning scheme would be able to be transitioned through to the draft Hobart LPS.'

## 5. Proposal and Implementation

- 5.1. The proposal is to amend the *Hobart Interim Planning Scheme 2015* (the interim planning scheme) by inserting a new qualification for 'Visitor accommodation' in the Use Table in each of the General Residential Zone, the Inner Residential Zone, and the Low Density Residential Zone.
- 5.2. While Council's previous resolution referred to introducing one or more specific area plans, after further consideration of the potential mechanisms in the interim planning scheme, it is considered that adding a specific qualification for 'Visitor accommodation' to various residential zones is the most effective way to achieve the policy intent.
- 5.3. The qualification is to restrict the use of 'Visitor accommodation' if the use is wholly within:
- a) a single dwelling; or
  - b) a dwelling
- and the single dwelling or dwelling is not an ancillary dwelling
- 5.4. A 'dwelling' is defined in the interim planning scheme as:
- 'means a building, or part of a building, used as a self contained residence and which includes food preparation facilities, a bath or shower, laundry facilities, a toilet and sink, and any outbuilding and works normally forming part of a dwelling.'
- 5.5. A 'single dwelling' is defined in the interim planning scheme as:
- 'means a dwelling on a lot on which no other dwelling is situated, or a dwelling and an ancillary dwelling on a lot on which no other dwelling is situated.'
- 5.6. Rather than use 'secondary dwelling', a term used in the State Planning Provisions (SPPs) and the LPS but not the interim planning scheme, the most relevant term in the interim scheme is 'ancillary dwelling' and defined as:
- 'means an additional dwelling:
- (a) with a floor area not greater than 60m<sup>2</sup>;



- (b) that is appurtenant to a single dwelling; and
  - (c) that shares with that single dwelling access and parking, and water, sewerage, gas, electricity and telecommunications connections and meters.'
- 5.7. The Hobart LPS is currently with the Tasmanian Planning Commission for consideration.
- 5.8. It is expected that the Hobart LPS will be finalised towards the end of 2022. When the Hobart LPS comes into effect, transitional arrangements means the term 'secondary residence' can replace 'ancillary dwelling'.
- 5.9. It is noted that the change to the Use Tables will only impact new uses. It is not possible to remove existing valid permits or operations.

## **6. Strategic Planning and Policy Considerations**

- 6.1. The proposed amendment is consistent with the objectives of the Capital City Strategy Plan 2019-29, in particular with the following outcomes:
- 6.1.1. Hobart keeps a strong sense of place and identity, even as the city changes.
  - 6.1.2. Hobart's cityscape reflects the heritage, culture and natural environment that make it special.
  - 6.1.3. In City decision-making, we consider how different aspects of Hobart life connect and contribute to sense of place.
  - 6.1.4. Hobart is a place where diversity is celebrated and everyone can belong, and where people have opportunities to learn about one another and participate in city life.
  - 6.1.5. Hobart's economy is strong diverse and resilient.
  - 6.1.6. Hobart has a diverse supply of housing and affordable homes.
  - 6.1.7. Development enhances Hobart's unique identity, human scale and built heritage.
  - 6.1.8. Community involvement and an understanding of future needs help guide changes to Hobart's built environment.
  - 6.1.9. Hobart is a city of best practice, ethical governance and transparent decision-making.

## 7. Financial Implications

### 7.1. Funding Source and Impact on Current Year Operating Result

#### 7.1.1. None

### 7.2. Impact on Future Years' Financial Result

#### 7.2.1. Resources have been diverted from other strategic planning activities to prepare and facilitate this amendment.

### 7.3. Asset Related Implications

#### 7.3.1. None

## 8. Legal, Risk and Legislative Considerations

### 8.1. Under the former provisions of the *Land Use Planning and Approvals Act 1993* (the Act), planning scheme amendments must:

- seek to further the objectives set out in Schedule 1 of the Act;
- be prepared in accordance with State Policies; and
- be consistent, as far as is practicable, with the Southern Tasmania Regional Land Use Strategy 2010-2035 (the regional strategy).

### 8.2. The Objectives of the Act require use and development to occur in a fair, orderly and sustainable manner and for the planning process to facilitate economic development in accordance with other Schedule 1 objectives.

#### Objectives of the Act

### 8.3. Part 1 of the objectives of the Act state:

The objectives of the resource management and planning system of Tasmania are –

- a) To promote the sustainable development of natural and physical resources and the maintenance of ecological processes and genetic diversity; and
- b) To provide for the fair, orderly and sustainable use and development of air, land and water; and
- c) To encourage public involvement in resource management and planning; and
- d) To facilitate economic development in accordance with the objectives set out in paragraphs (a), (b) and (c); and

- e) To promote the sharing responsibility for resource management and planning between the different spheres of Government, the community and industry in the State.
- 8.4. It is considered that changing the Use Table would further objectives (a), (b), (c) and (e) of Schedule 1 of the Act for the following reasons:
- 8.4.1. The increased availability of dwellings for occupation by permanent residents rather than sporadic occupation, ensuring more efficient use of land and resources.
  - 8.4.2. The increased availability of properties in the long-term rental market.
  - 8.4.3. More visitors using hotel or serviced accommodation is likely to result in greater economic benefit locally, as these businesses will require additional employees, which in turn will result in flow on spending from the increased levels of employment of local residents thereby benefitting more local businesses.
  - 8.4.4. The benefits to local business and communities from having additional permanent residents in local suburbs, thereby benefiting the sustainability of local businesses and smoothing the flow of funds into the local economy.
  - 8.4.5. The proposal was initiated following concerns raised by Council, the community and organisations such as Shelter Tasmania.
- 8.5. It is considered that the proposed amendment is consistent with the State Policy on Water Quality Management 1997 and the State Coastal Policy 1996. The State Policy for the Protection of Agricultural Land 2009 is not relevant and neither are any National Environmental Protection Measures.
- 8.6. It is considered that the proposal is, as far as is practical, consistent with relevant strategic directions and regional policies of the *Southern Tasmania Regional Land Use Strategy 2010–2035* (STRLUS), as it will facilitate the retention of dwellings for residential use, reduce the need for development of greenfield land and result in a greater proportion of the population living in proximity to services and employment opportunities.
- 8.7. In particular, the proposal is consistent with STRLUS State Policy SRD 2 'Manage residential growth for Greater Hobart on a whole of settlement basis and in a manner that balances the needs for greater sustainability, housing choice and affordability'.
- 8.8. Section 32(e) of the Act requires that planning scheme amendments must, as far as practicable, avoid the potential for land use conflicts with use and development permissible under the planning scheme applying to the adjacent area. As the amendment does not alter the underlying

zoning of land adjoining land zoned under another different planning scheme it is considered that this requirement is met.

## **9. Environmental Considerations**

- 9.1. The draft amendment has been considered in terms of its impacts on the environmental values of the site.
- 9.2. SSA has an impact on the environment to the extent that it affects the location and distribution of tourism accommodation infrastructure and restricts the use of dwellings by permanent residents in more sustainable locations.
- 9.3. There is increasing evidence that the use of whole dwellings for SSA has an effect on housing in Hobart. Long-term renters and home buyers are channelled towards housing in outlying suburbs and neighbouring Local Government areas, potentially leading to the development of greenfield land, rather than renewal of existing urban areas. Accordingly, this can lead to increased levels of car use and associated traffic congestion, and increased emissions.
- 9.4. At the same time, SSA uses existing housing stock to support tourists, which may limit the need for hotel developments (and cause under occupancy of hotel accommodation) but consequently, simultaneously, increase the need for new housing development. All new housing development has an environmental impact.

## **10. Social and Customer Considerations**

- 10.1. The proposed amendment is not considered to have any negative impact on social inclusion and is likely to result in some positive social impacts.
- 10.2. Restricting the use of whole dwellings for short stay visitor accommodation is likely to result in more dwellings being available in the long-term rental market.
- 10.3. More dwellings in the long-term rental market will facilitate increased access to housing for more people, in proximity to jobs and services.
- 10.4. It should be noted that many factors influence housing supply and affordability, not only short stay visitor accommodation; however, people already living in a more vulnerable situation without security of tenure (renting rather than owning) are in a more precarious position, as decreases in supply normally result in rent increases.
- 10.5. At the same time, regulating short stay visitor accommodation will have an impact on some prospective hosts, as (in the specified zones) they will no longer be able to purchase new properties or use a whole dwelling or single dwelling, for the sole purpose of providing short stay visitor accommodation.

**11. Marketing and Media**

- 11.1. There are no marketing or branding implications of this proposed amendment.

**12. Community and Stakeholder Engagement**

- 12.1. This report has been written in response to the Council resolution on 23 August 2021.
- 12.2. If the draft amendment is initiated and certified, amendment will be publicly exhibited for a period of 28 days. During this time, representations can be made to Council.
- 12.3. Following the closure of the exhibition period, a report will be prepared in response to the representations received for Council to consider. This report will be forwarded to the Tasmanian Planning Commission (the Commission) and form part of the draft amendment documentation.
- 12.4. If considered appropriate, hearings will be held by the Commission to discuss the representations and planning merit of rezoning the site. Following this, the Commission will make its decision.
- 12.5. In summary, there are several stages during the draft amendment process at which, the public may make comment.

**13. Delegation**

- 13.1. Delegation rests with the Council.

*As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.*





Sandra Hogue  
**MANAGER CITY FUTURES**




Karen Abey  
**ACTING DIRECTOR CITY LIFE**

Date: 16 March 2022  
File Reference: F22/20739

Attachment A: Attachment A - Instrument of certification planning scheme amendment 22-1 ↓ 

Attachment B: Attachment B - Letter to Minister Jaensch MP - Short Stay Accommodation in Hobart ↓ 

Attachment C: Attachment C - Letter from Minister Jaensch to Lord Mayor  
Councillor Anna M Reynolds - Short Stay Accommodation in  
Hobart ↓ 



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HOBART INTERIM PLANNING SCHEME 2015

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## PSA-22-1 AMENDMENT

### INSTRUMENT OF CERTIFICATION

It is hereby certified that draft Amendment PSA-22-1 to the Hobart Interim Planning Scheme 2015 meets the requirements specified in section 32 of the former provisions of the *Land Use Planning and Approvals Act 1993*.

The Common Seal of the Hobart City Council is fixed hereon, pursuant to Council's resolution of 28 March 2022 in the presence of:

..... Chief Executive Officer

..... Lord Mayor

Date: .....



**AMENDMENTS TO THE PLANNING SCHEME ORDINANCE****Amendment PSA-22-1**

Amend sub-clause 10.2 Use Table under clause 10.0 General Residential Zone by inserting a new qualification for the permitted Use Class 'Visitor accommodation', as follows:

Visitor accommodation	Except if the use is wholly within: (a) a single dwelling; or (b) a dwelling and the single dwelling or dwelling, is not an ancillary dwelling.
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Amend sub-clause 11.2 Use Table under clause 11.0 Inner Residential Zone by inserting a new qualification for the permitted Use Class 'Visitor accommodation', as follows:

Visitor accommodation	Except if the use is wholly within: (a) a single dwelling; or (b) a dwelling and the single dwelling or dwelling, is not an ancillary dwelling.
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Amend sub-clause 12.2 Use Table under clause 12.0 Low Density Residential Zone by inserting a new qualification for the permitted Use Class 'Visitor accommodation', as follows:

Visitor accommodation	Except if the use is wholly within: (a) a single dwelling; or (b) a dwelling and the single dwelling or dwelling, is not an ancillary dwelling.
-----------------------	--



The Hon. Roger Jaensch MP  
Minister for Local Government and Planning  
Via Email: [Minister.Jaensch@dpac.tas.gov.au](mailto:Minister.Jaensch@dpac.tas.gov.au)

Dear Minister

I am writing to seek your support in controlling the number of private properties within the Hobart Local Government Area (LGA) being converted to whole home Short Stay Accommodation (SSA) through:

- the issue of an interim planning directive that immediately prohibits new permits for entire home SSA within the LGA;
- the introduction of new state-wide regulations.

At its meeting on 23 August 2021, following the provision of a report on Short Stay Accommodation prepared by council officers, the Council resolved inter alia that it would advocate to the Minister for Planning to issue a planning directive that immediately prohibits new permits for entire home short stay accommodation within the Hobart Local Government Area, and that it would advocate for state-wide regulations, similar to those in New South Wales, that enable councils to make decisions about properties within this local government area.

**Demand for and availability of housing within the Hobart Local Government Area**

Hobart continues to see unprecedented demand for housing, despite Council's record dwelling approval numbers in recent years. Hobart has a low vacancy rate for rental properties, documented as at just 0.6 per cent, well below the healthy benchmark rate of 3.0 per cent provided by the Real Estate Institute of Australia.

Research has shown that Hobart has a higher density of AirBnB listings as a proportion of the overall rental market than any other city in Australia and has one of the highest densities of AirBnB in the world. There is a concern that at least some of these properties may be suitable for long-term rentals. With low rental vacancies, this is an important consideration.

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**Planning Directive 6**

The current Planning Directive 6 (PD6) allows for Visitor Accommodation in existing buildings of up to 200m<sup>2</sup> (unless part of a strata scheme with existing residential use) as a permitted use in most residential zones except those within Battery Point.

PD6 precludes individual planning authorities from inserting more restrictive SSA provisions into the current planning instruments (the Hobart Interim Planning Scheme 2015 (HIPS) and the Sullivans Cove Planning Scheme 1997 (SCPS).

**Prohibition of new entire home SSA permits within the Hobart Local Government Area**

The issue of an interim planning directive prohibiting new entire home SSA permits would allow for new SSA restrictions to be in force in the Hobart LGA significantly more quickly than would be possible through an amendment of the Hobart Local Provisions Schedule (LPS) as the LPS is not due to come into effect until around the end of 2022.

An interim planning directive may be issued with immediate effect under the *Land Use Planning and Approvals Act 1993* (LUPAA).

Under the prohibition, an entire home should be defined as any dwelling, as defined under the HIPS, including apartments but excluding ancillary dwellings.

The types of SSA that could be excluded from such a prohibition should include:

- letting of a primary place of residence while the occupants are temporarily absent
- letting of rooms in a primary place of residence while the owner or occupier is present
- letting of ancillary dwellings while the owner or occupier is present on site

I ask you to issue a prohibition for new entire home SSA permits within the Hobart Local Government Area, which may be achieved by way of an interim planning directive, with immediate effect, issued under the *Land Use Planning and Approvals Act 1993*.

**Introduction of new state-wide regulations**

In addition to a new, interim planning directive, I ask you to consider implementing more detailed state-wide regulations, similar to those recently introduced in New South Wales. The New South Wales regulations include the following:

- requirements for property owners to meet a range of obligations relating to insurance, safety and evacuation;
- penalties for non-compliance;
- a by-law that Councils can choose to adopt that sets a limit on the number of days SSA premises can operate within a year;

Cont../

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- changes to strata legislation to allow strata schemes to opt-in to a by-law that restricts SSA;
- a public register of all SSA premises run by the state government.

I appreciate your support in these matters and look forward to hearing from you soon.

Yours sincerely



Councillor Anna Reynolds  
**LORD MAYOR**

Friday 12 November 2021

Minister for State Growth  
Minister for Environment  
Minister for Climate Change  
Minister for Local Government and Planning  
Minister for Aboriginal Affairs  
Minister for Heritage

Level 9, 15 Murray Street, HOBART TAS 7000  
GPO Box 123 HOBART TAS 7001  
Ph: +61 3 6165 7670  
Email: [minister.jansch@dpac.tas.gov.au](mailto:minister.jansch@dpac.tas.gov.au)



20 DEC 2021

Councillor Anna Reynolds  
Lord Mayor  
Hobart City Council  
Email: [lord.mayor@hobartcity.com.au](mailto:lord.mayor@hobartcity.com.au)

Dear Lord Mayor,

I refer to your recent letter expressing concern at the conversion of private properties within the Hobart Local Government Area (LGA) to whole home Short Stay Accommodation (SSA), and your request that I issue an interim planning directive to prohibit new permits for entire home SSA within the LGA and also introduction new state-wide regulations.

Firstly, I would like to express my disappointment with your statement that the Hobart Local Provisions Schedules (LPS) are not due to come into effect until around the end of 2022. Ten Councils' Local Provisions Schedules are already in effect, and I am advised that the vast majority of the other councils across our State will be operating in accordance with the Tasmanian Planning Scheme by the middle of 2022. I encourage Council to prioritise the finalisation of its LPS.

I also note that the current regulatory settings for SSA under Planning Directive No.6 (PD6) were based on almost identical planning scheme provisions operating in the Hobart Interim Planning Scheme 2015 and many other interim planning schemes across the State, which provided for a permitted change of use for entire houses to visitor accommodation.

With respect to the issuing of an interim planning directive, I am advised that I have no ability to issue an interim planning directive unless that is recommended to me by the Tasmanian Planning Commission.

I understand that any person including a planning authority, may prepare a draft planning directive at any time and lodge it with the Commission. Should this be the way your Council wishes to proceed, I would suggest that you prepare and submit such a draft planning directive to the Commission for consideration, and frame it to specifically address your Council's concerns.

The Commission must consider a request under the former s.10 of the *Land Use Planning and Approvals Act 1993* and provide me with a recommendation on whether or not an assessment of a draft planning directive should be undertaken. The Commission may also recommend that it be given effect immediately as an interim planning directive.

MIN21/39011  
DOC/21/136549

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I am advised that, it is also possible for your Council to seek an amendment to its Interim Planning Scheme and, if supported by the Commission, a Planning Purposes Notice can be issued to 'relieve' the Scheme from the mandatory application of PD6.

This has occurred on a number of occasions in relation to other planning directives. I understand that such an amendment to the interim planning scheme would be able to be transitioned through to the draft Hobart LPS.

I also understand that it is also possible for Council to seek variations to the State Planning Provisions through the development of its draft LPS, which could place controls on SSA in the broader Hobart LGA in a manner similar to those introduced for the Battery Point and Wapping Areas through PD6.

With respect to the requests that I consider implementing regulation to include the following controls:

***Requirements for property owners to meet a range of obligations relating to insurance, safety and evacuation***

In regard the safety of a property, I refer you to the [Director's Determination – Short or Medium Term Visitor Accommodation](#) made pursuant to the *Building Act 2016*, which specifies requirements and obligations in respect of premises used or intended to be used for short or medium term visitor accommodation in the State.

I am advised that penalties may apply where persons are found to contravene the Determination, pursuant to the Building Act.

I also understand that Consumer, Building and Occupation Services, within the Department of Justice, has implemented an auditing regime designed to ensure the safety of people who choose to use visitor accommodation in the State.

***Mandatory insurance***

While this is not a matter related to planning, I am advised that most landlord insurance policies incorporate a public liability component to cover instances where a landlord is found to be legally liable.

I am also advised that many insurance companies now specifically advise that parts of houses used for SSA are not covered automatically by the normal house insurance.

***A by-law that Councils can choose to adopt that sets a limit on the number of days SSA premises can operate within a year***

I understand that as Minister for Local Government I may make model by-laws for adoption by councils.

However, in doing so I am advised that I would need to be satisfied that it does not contravene the restrictions under s.150 of the *Local Government Act 1993*, specifically in regard to not being in conflict with a planning scheme in that municipal area.

If Council wishes to pursue controls on SSA through the planning scheme, or a planning directive, then it would appear unnecessary to also implement potentially contradictory regulation through a by-law.

***Changes to strata legislation to allow strata schemes to opt-into a by-law that restricts SSA***

I am advised that under the *Strata Titles Act 1998*, body corporates already have a capacity to limit the use of SSA by making provision for the use and enjoyment of lots covered by the strata scheme.

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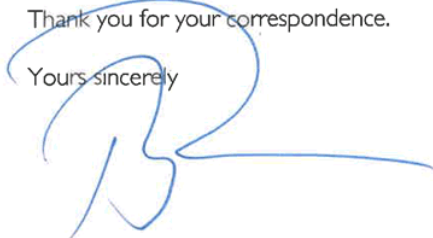
Furthermore, I understand that PD6 provides that where a block of units include any lots used for residential purposes, any use of a lot for SSA is deemed a Discretionary use.

*A public register of all SSA premises to be run by the State government*

It is my view that such a register is not required, given that councils are already able to access SSA information where required. It would only introduce a regulatory system that would effectively duplicate the various planning, building and other regulations already in place.

Thank you for your correspondence.

Yours sincerely

A handwritten signature in blue ink, appearing to be 'R Jaensch', with a long horizontal stroke extending to the right.

Hon Roger Jaensch MP  
Minister for Local Government and Planning

## **8. REPORTS**

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### **8.1 Monthly Building Statistics - 1 February - 28 February 2022 File Ref: F22/19475**

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Memorandum of the Acting Director City Life of 16 March 2022 and attachments.

Delegation: Council





City of **HOBART**

**MEMORANDUM: CITY PLANNING COMMITTEE**

**Monthly Building Statistics - 1 February - 28 February 2022**

Attached is the Building Permit Statistics for the period 1 February - 28 February 2022.

***RECOMMENDATION***

***That:***

The Director City Life reports:

**Building Statistical Report:**

During the period 1 February 2022 to 28 February 2022, 53 permits were issued to the value of \$17,069,738 which included:

- (i) 32 for extensions/alterations to dwellings to the value of \$7,623,705;
- (ii) 6 new dwellings to the value of \$3,166,790;
- (iii) 0 new multiple dwellings to the value of \$ Nil; and
- (iv) No major projects.

During the period 1 February 2021 to 28 February 2021, 46 permits were issued to the value of \$17,062,645 which included:

- (i) 32 for extensions/alterations to dwellings to the value of \$8,743,350;
- (ii) 5 new dwellings to the value of \$2,128,149;
- (iii) 2 new multiple dwellings to the value of \$565,000 and
- (iv) 2 major projects:
  - (a) 431 Elizabeth Street, North Hobart - New Commercial Building - \$3,950,000;
  - (b) 59 Sandy Bay Road, Sandy Bay - New Commercial Building - \$3,000,000.

In the twelve months ending February 2022, 607 permits were issued to the value of \$261,432,979; and





In the twelve months ending February 2021, 655 permits were issued to the value of \$188,166,806.

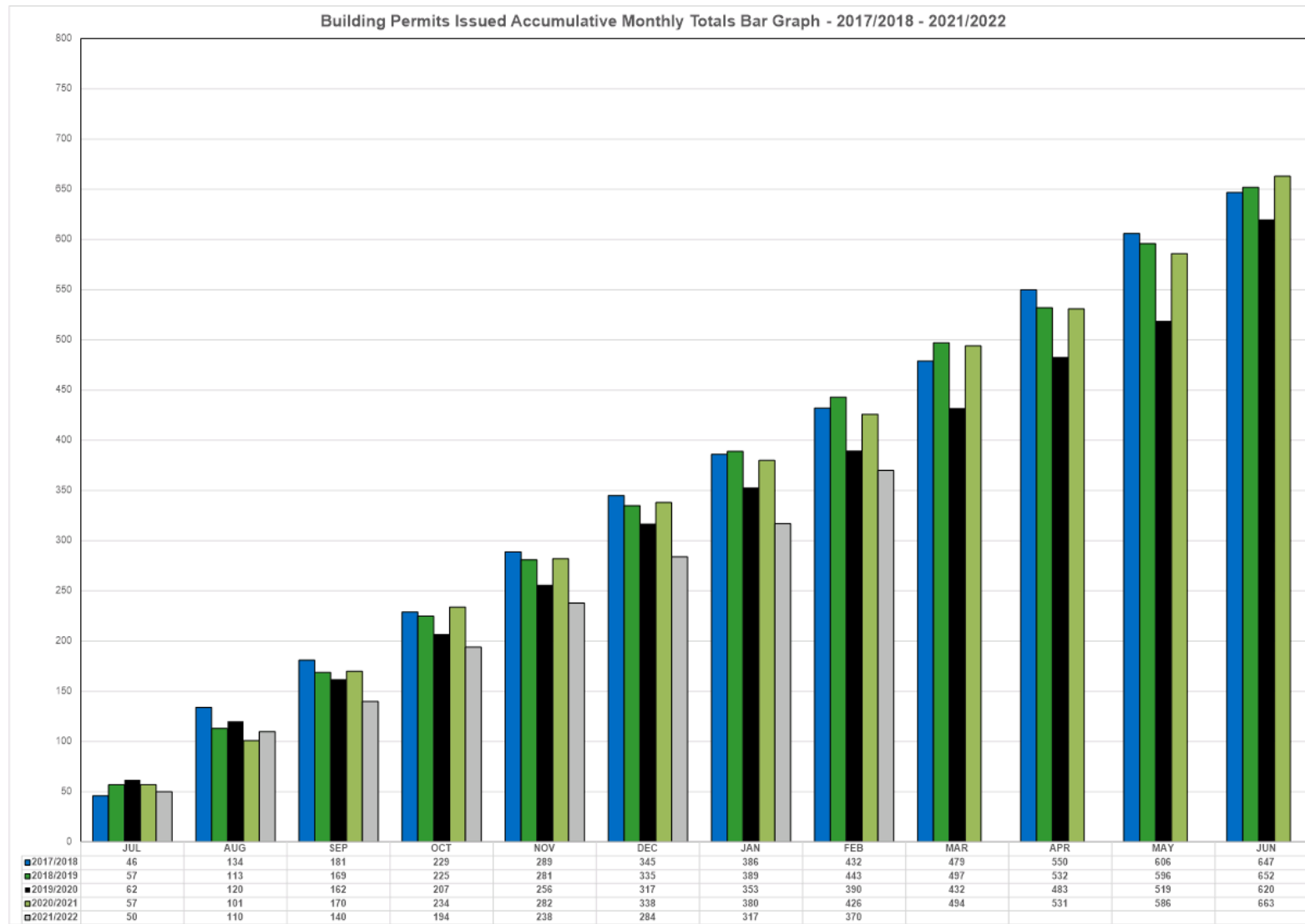
*As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.*

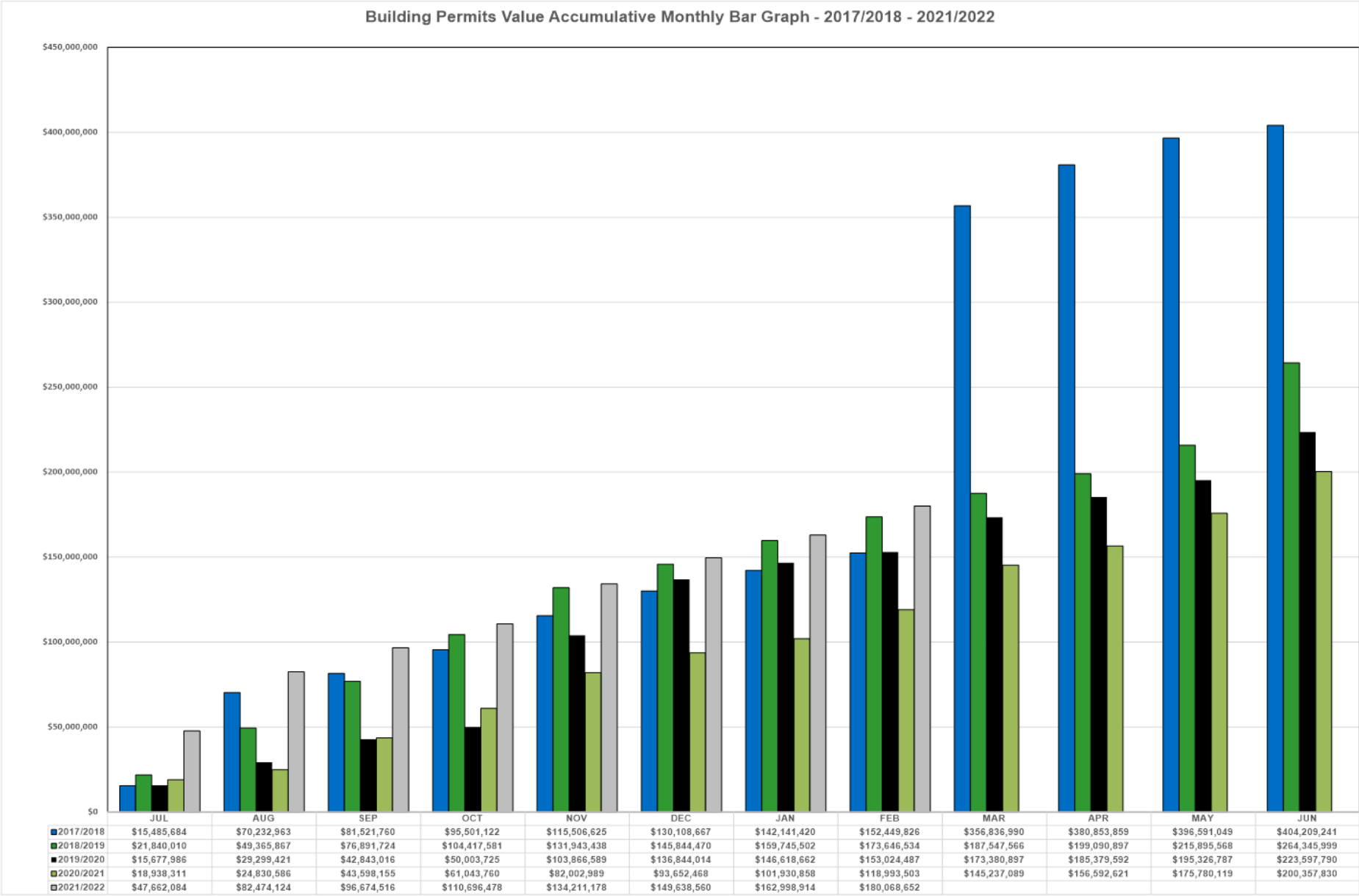


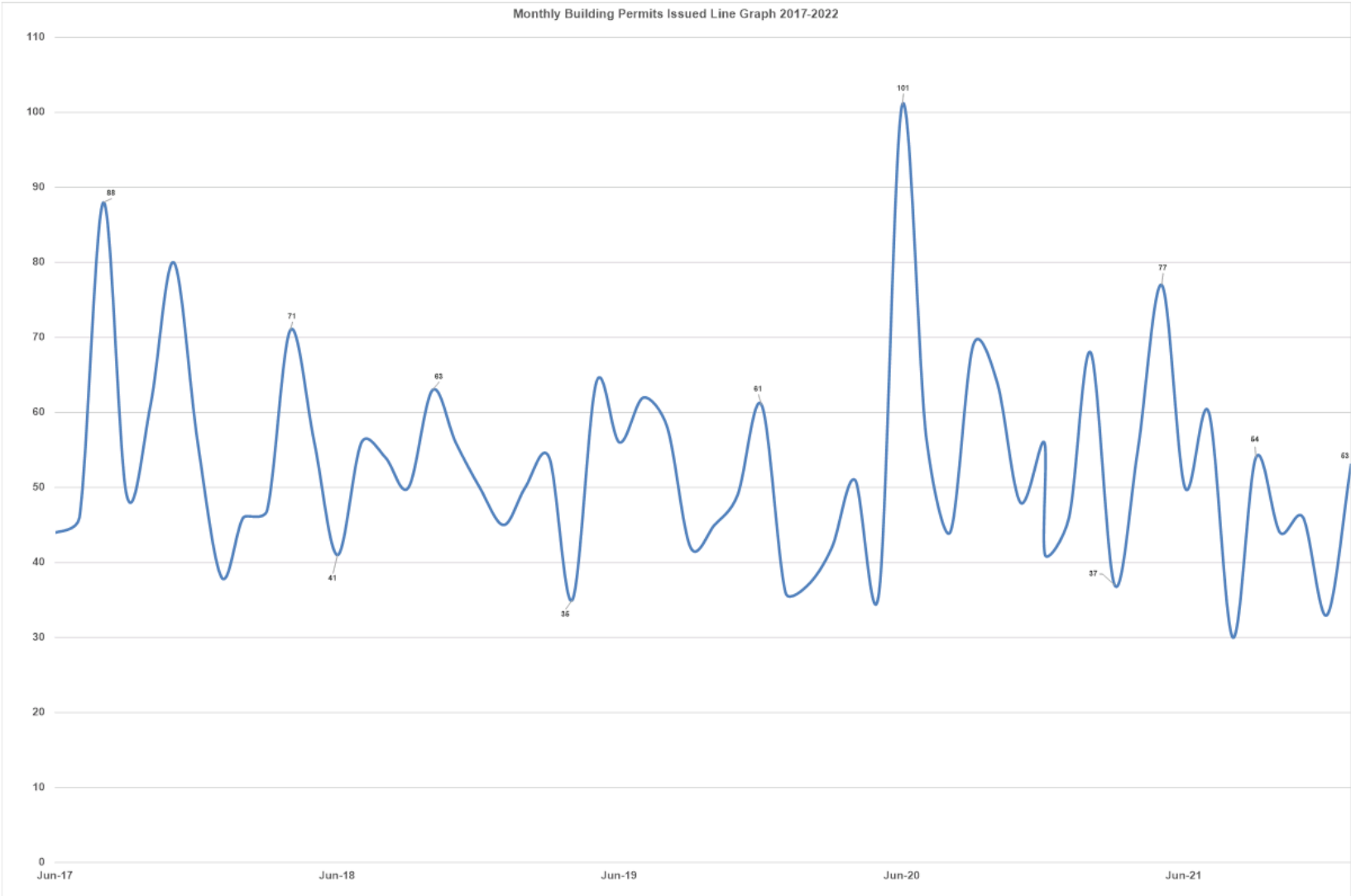
Karen Abey  
**ACTING DIRECTOR CITY LIFE**

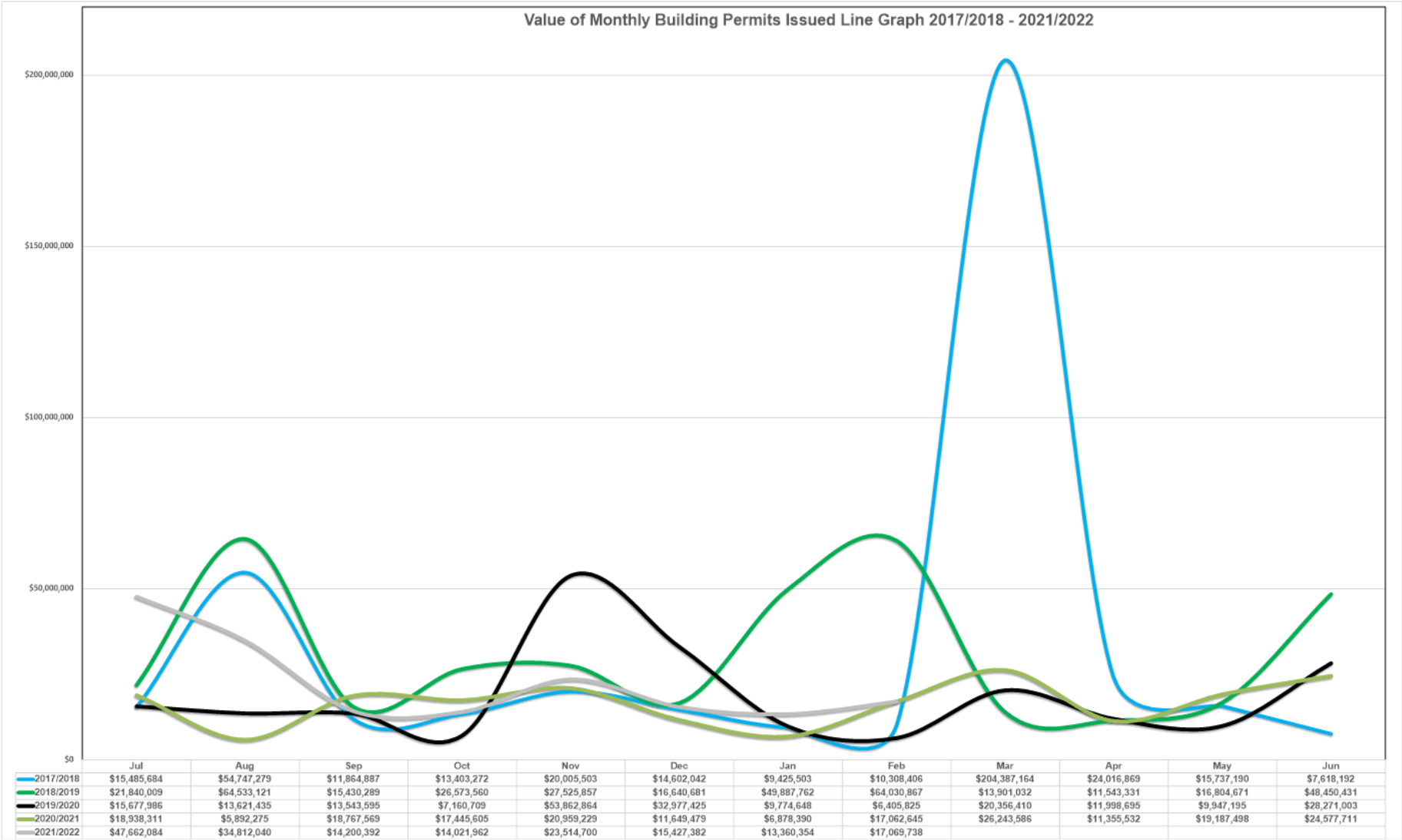
Date: 16 March 2022  
File Reference: F22/19475

- Attachment A: Building Permits Issued Accumulative Monthly Totals Bar Graph - Feb 2022 ↓ 
- Attachment B: Building Permits Value Accumulative Monthly Bar Graph - Feb 2022 ↓ 
- Attachment C: Monthly Building Permits Issued Line Graph - Feb 2022 ↓ 
- Attachment D: Value of Monthly Building Permits Issued Line Graph - Feb 2022 ↓ 









**8.2 Monthly Planning Statistics - 1 February - 28 February 2022**  
**File Ref: F22/19481**

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Memorandum of the Acting Director City Life of 16 March 2022 and attachments.

Delegation: Council



City of **HOBART**

**MEMORANDUM: CITY PLANNING COMMITTEE**

**Monthly Planning Statistics - 1 February - 28 February 2022**

Attached is the Planning Permit statistics for the period 1 February 2022 – 28 February 2022.

***RECOMMENDATION***

***That:***

The Director City Life reports:

**Planning Statistical Report:**

During the period 1 February 2022 to 28 February 2022, 47 permits were issued to the value of \$11,562,440 which included:

- (i) 5 new single dwellings to the value of \$2,038,470;
- (ii) 10 multiple dwellings to the value of \$6,000,000;
- (iii) 19 extensions/alterations to dwellings to the value of \$2,374,500;
- (iv) 7 extensions/alterations to commercial properties to the value of \$943,140;
- (v) 1 major project:
  - (a) 345 Sandy Bay Road, Sandy Bay - Demolition, New Building for 7 Multiple Dwellings, and Associated Works - \$5,000,000;

During the period 1 February 2021 to 28 February 2021, 52 permits were issued to the value of \$10,987,100 which included:

- (i) 10 new single dwellings to the value of \$3,680,000;
- (ii) 2 multiple dwellings to the value of \$420,000;
- (iii) 28 extensions/alterations to dwellings to the value of \$6,025,000;
- (iv) 9 extensions/alterations to commercial properties to the value of \$862,000;



(v) No major projects

In the twelve months ending February 2022, 733 permits were issued to the value of \$285,812,960; and

In the twelve months ending February 2021, 774 permits were issued to the value of \$267,218,618

*# This report includes permits issued, exempt and no permit required decisions.*

*As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.*



Karen Abey  
**ACTING DIRECTOR CITY LIFE**

Date: 16 March 2022

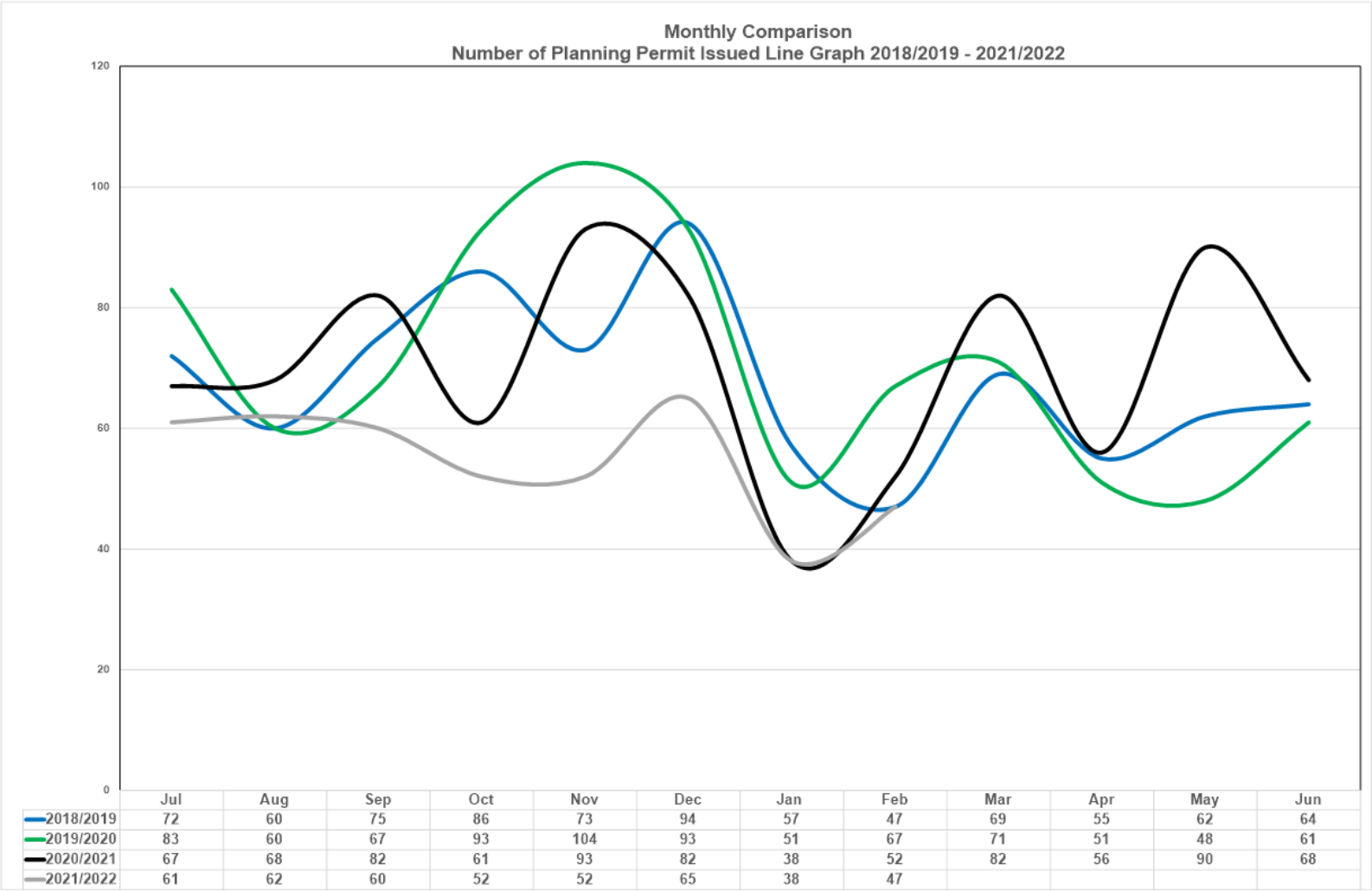
File Reference: F22/19481

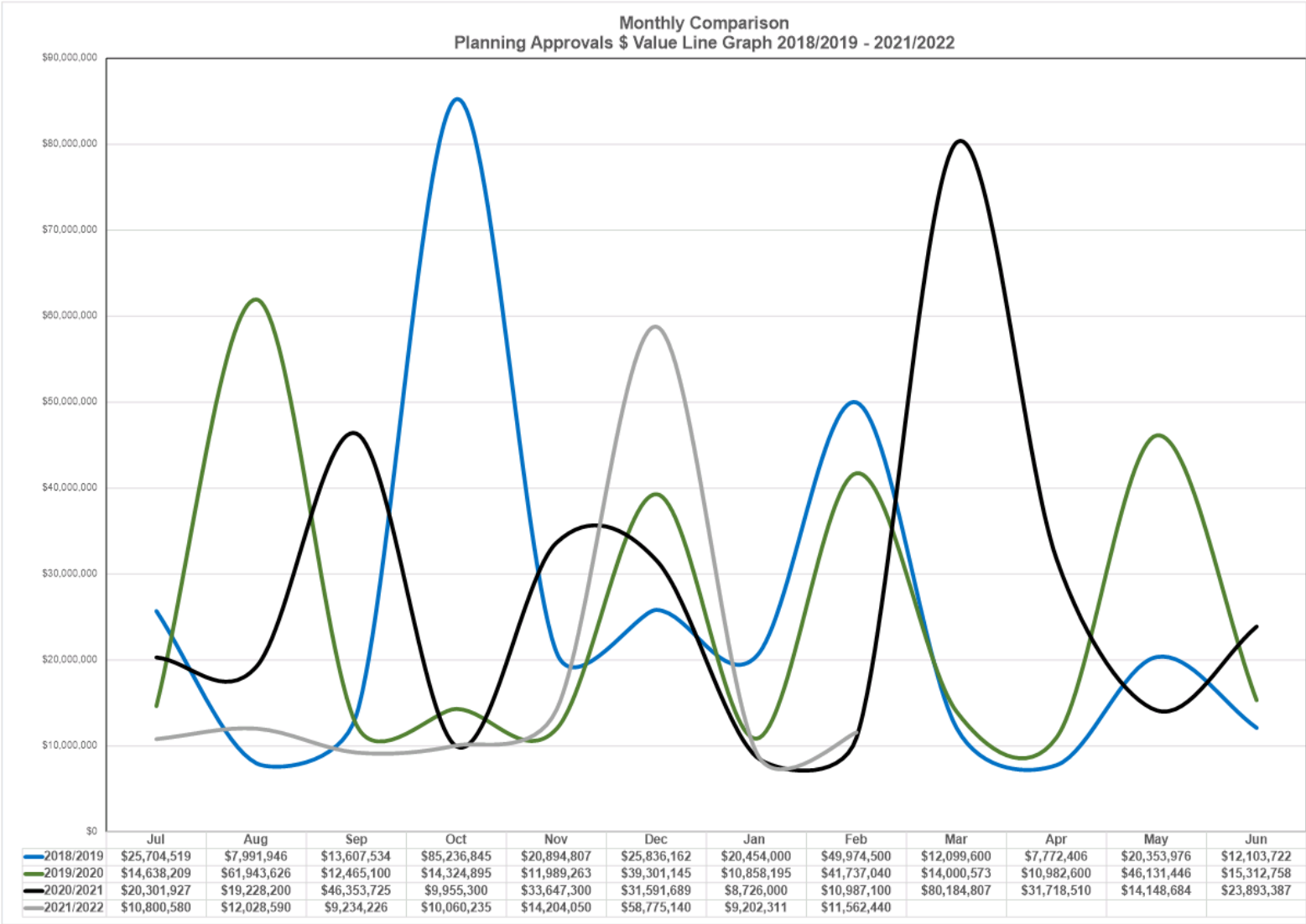
Attachment A: Monthly Comparison Number of Planning Permit Issued Line Graph - Feb 2022 ↓ 

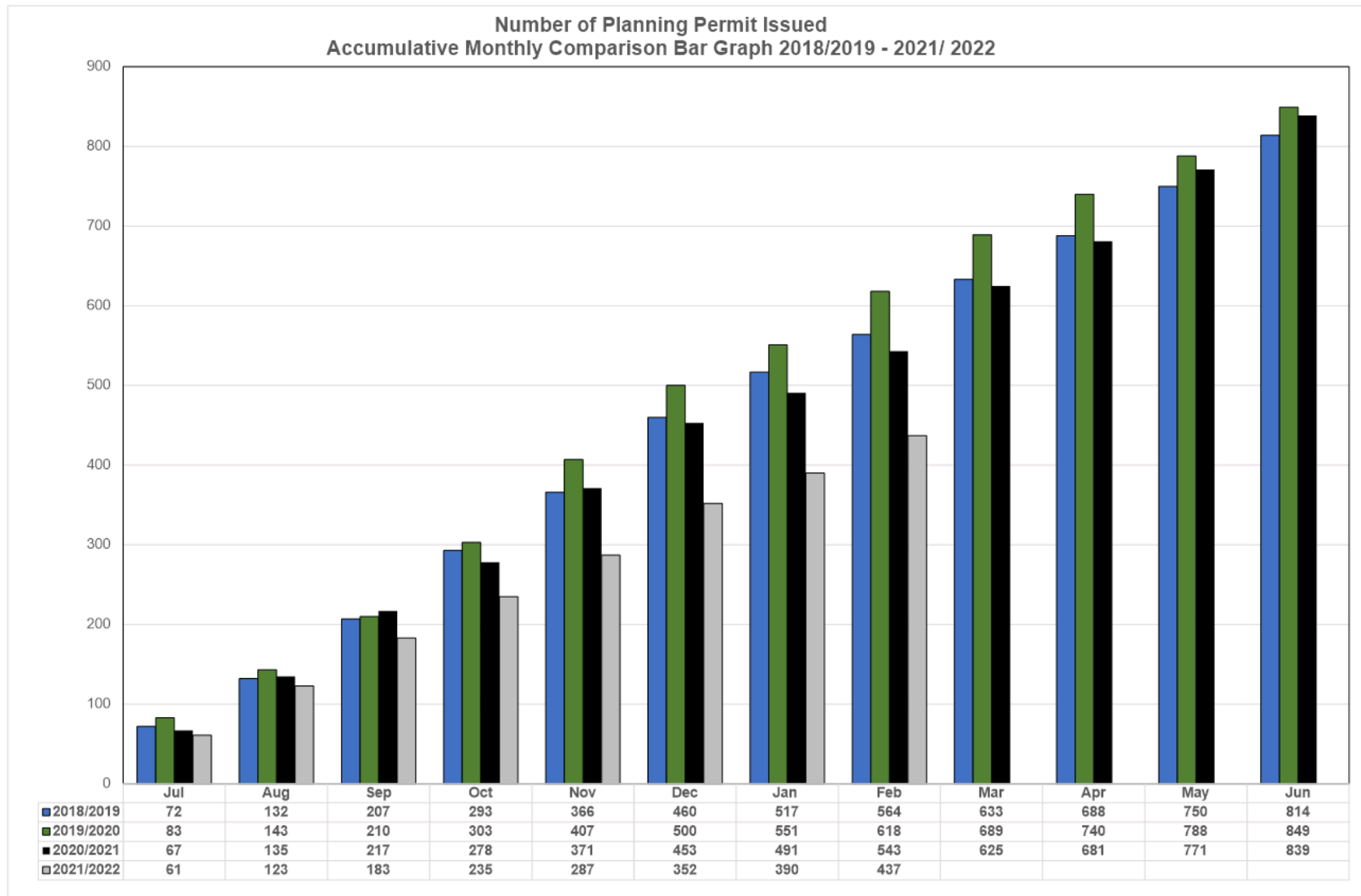
Attachment B: Monthly Comparison Planning Approvals Value Line Graph - Feb 2022 ↓ 

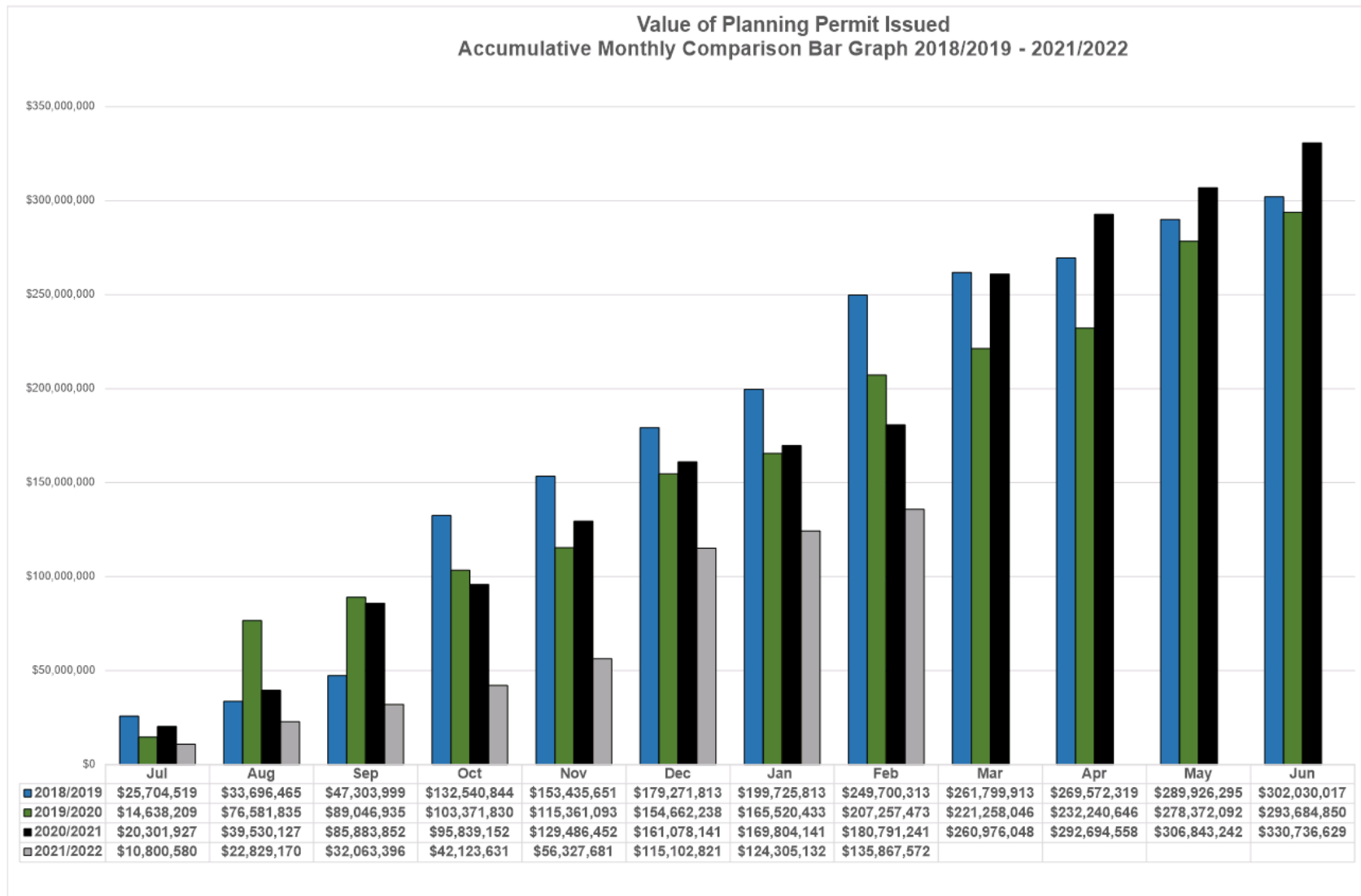
Attachment C: Number of Planning Permit Issued Accumulative Monthly Comparison Bar Graph - Feb 2022 ↓ 

Attachment D: Value of Planning Permit Issued Bar Graph - Feb 2022 ↓ 









**8.3 City Planning - Advertising Report**  
**File Ref: F22/21588**

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Memorandum of the Acting Director City Life of 8 March 2022 and attachment.

Delegation: Committee



City of **HOBART**

**MEMORANDUM: CITY PLANNING COMMITTEE**

**City Planning - Advertising Report**

Attached is the advertising list for the period 23 February 2022 – 7 March 2022.

***RECOMMENDATION***

***That:***

- 1. That the information be received and noted.***

*As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.*

Karen Abey  
**ACTING DIRECTOR CITY LIFE**

Date: 8 March 2022  
File Reference: F22/21588

Attachment A: City Planning - Advertising Report ↓ 

Application	Street	Suburb	Development	Works Value	Expiry Date	Referral	Proposed Delegation	Advertising Period Start	Advertising Period End
PLN-22-32	74 - 76 ELIZABETH STREET	HOBART	Signage	\$0	18/04/2022	ayersh	Director	25/02/2022	11/03/2022
PLN-22-80	12 D'ARCY STREET	SOUTH HOBART	Partial Demolition, Alterations and Extension	\$748,000	30/03/2022	ayersh	Director	28/02/2022	15/03/2022
PLN-22-85	71 - 73 KING STREET	SANDY BAY	Partial Demolition, Alterations and Change of Use to Two Multiple Dwellings and Two Home-Based Businesses	\$45,000	04/04/2022	ayersh	Director	01/03/2022	16/03/2022
PLN-22-8	7 WYNARD STREET	SOUTH HOBART	Partial Demolition, Alterations and Extension	\$150,000	01/04/2022	baconr	Director	23/02/2022	09/03/2022
PLN-22-73	527 SANDY BAY ROAD	SANDY BAY	Partial Demolition, Alterations and Signage	\$48,000	05/04/2022	baconr	Director	28/02/2022	15/03/2022
PLN-22-42	51 BEAUMONT ROAD	LENAH VALLEY	Dwelling	\$400,100	07/04/2022	langd	Director	07/03/2022	22/03/2022
PLN-22-21	5 MONTRIVALE RISE	DYNNYRNE	Three Multiple Dwellings	\$500,000	30/04/2022	maxwellv		24/02/2022	10/03/2022



Application	Street	Suburb	Development	Works Value	Expiry Date	Referral	Proposed Delegation	Advertising Period Start	Advertising Period End
PLN-21-543	12 BOA VISTA ROAD	NEW TOWN	Swimming Pool	\$80,000	26/03/2022	mcclenahanm	Director	23/02/2022	09/03/2022
PLN-22-60	2 / 2 GORE STREET	SOUTH HOBART	Partial Demolition and Alterations	\$250,000	29/03/2022	mcclenahanm	Director	24/02/2022	10/03/2022
PLN-22-67	228 BATHURST STREET	WEST HOBART	Change of Use to Visitor Accommodation	\$0	31/03/2022	mcclenahanm	Director	01/03/2022	16/03/2022
PLN-22-96	552 SANDY BAY ROAD	SANDY BAY	Alterations (Solar Panels)	\$4,000	06/04/2022	mcclenahanm	Director	01/03/2022	16/03/2022
PLN-22-100	4 BENJAFIELD TERRACE	MOUNT STUART	Alterations and Extension	\$300,000	07/04/2022	mcclenahanm	Director	07/03/2022	22/03/2022
PLN-22-92	26 RAYMONT TERRACE	MOUNT STUART	Extensions (Decks)	\$18,000	05/04/2022	ockendenl	Director	01/03/2022	16/03/2022
PLN-22-93	1 SHORT STREET	GLEBE	Alterations (solar panels)	\$1,580	06/04/2022	ockendenl	Director	01/03/2022	16/03/2022
PLN-21-860	89 AUGUSTA ROAD	LENAH VALLEY	Partial Demolition, Alterations and Extension	\$250,000	30/03/2022	sherriffc	Director	28/02/2022	15/03/2022

Application	Street	Suburb	Development	Works Value	Expiry Date	Referral	Proposed Delegation	Advertising Period Start	Advertising Period End
PLN-22-29	1 A ROSS PLACE	MOUNT STUART	Dwelling and Swimming Pool	\$700,000	22/03/2022	smeea	Director	25/02/2022	11/03/2022
PLN-22-33	167 A POTTERY ROAD	LENAH VALLEY	Partial Demolition, Alterations and Extension and Extension to Driveway	\$100,000	18/03/2022	smeea	Director	28/02/2022	15/03/2022
PLN-21-697	7 TENNYSON COURT	WEST HOBART	Dwelling	\$860,000	24/03/2022	smeea	Director	07/03/2022	22/03/2022

**8.4 Delegated Decision Report (Planning)**  
**File Ref: F22/23519**

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Memorandum of the Acting Director City Life of 15 March 2022 and attachments.

Delegation: Committee



City of **HOBART**

**MEMORANDUM: CITY PLANNING COMMITTEE**

**Delegated Decision Report (Planning)**

Attached is the delegated planning decisions report for the period 28 February 2022 to 11 March 2022.

***RECOMMENDATION***

***That:***

- 1. That the information be received and noted.***

*As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.*

Karen Abey  
**ACTING DIRECTOR CITY LIFE**

Date: 15 March 2022  
File Reference: F22/23519

Attachment A: Delegated Decision Report (Planning) ↓ 

15 March 2022

**Delegated Decisions Report (Planning)**

20 applications found.

				Approved	All
Planning Description	Address	Works Value	Decision	Authority	
PLN-21-552 Dwelling	44 HILLCREST ROAD TOLMANS HILL TAS 7007	\$ 500,000	Approved	Delegated	
PLN-21-581 Partial Demolition, Alterations, and Extension	11 BEDFORD STREET NEW TOWN TAS 7008	\$ 100,000	Approved	Delegated	
PLN-21-656 Partial Demolition, Alterations, and Extension	11 WELLWOOD STREET LENA VALLEY TAS 7008	\$ 200,000	Approved	Delegated	
PLN-21-699 Alterations	1/37 WAIMEA AVENUE SANDY BAY TAS 7005	\$ 15,000	Approved	Delegated	
PLN-21-794 Ancillary Dwelling	150 WARWICK STREET WEST HOBART TAS 7000	\$ 95,000	Approved	Delegated	
PLN-21-808 Partial Demolition, Alterations, Extension, and Partial Change of Use to Residential Accommodation	2 CASTRAY ESPLANADE BATTERY POINT TAS 7004	\$ 2,500,000	Approved	Delegated	
PLN-21-854 Dwelling	40 HILLCREST ROAD TOLMANS HILL TAS 7007	\$ 750,000	Approved	Delegated	
PLN-21-880 Partial Demolition, Alterations and Extension	29 CHURCH STREET NORTH HOBART TAS 7000	\$ 850,000	Approved	Delegated	
PLN-22-12 Front Fence	276 SANDY BAY ROAD SANDY BAY TAS 7005	\$ 20,000	Approved	Delegated	
PLN-22-18 Dwelling	5 HATCHERY COURT WEST HOBART TAS 7000	\$ 1,000,000	Approved	Delegated	
PLN-22-26 Partial Demolition, Alterations and Extension	3 DYNMYRNE ROAD DYNMYRNE TAS 7005	\$ 200,000	Approved	Delegated	
PLN-22-40 Partial demolition, alterations, and extension	61 JUBILEE ROAD SOUTH HOBART TAS 7004	\$ 60,000	Approved	Delegated	
PLN-22-45 Signage	365 ELIZABETH STREET NORTH HOBART TAS 7000	\$ 0	Approved	Delegated	
PLN-22-53 Signage	81 ELIZABETH STREET HOBART TAS 7000	\$ 0	Approved	Delegated	
PLN-22-54 Change of Use to Visitor Accommodation	2 GEORGE STREET NORTH HOBART TAS 7000	\$ 0	Approved	Delegated	
PLN-22-6 Extension to Operating Hours	325 ARGYLE STREET NORTH HOBART TAS 7000	\$ 0	Approved	Delegated	
PLN-22-62 Partial Change of Use to Hotel Industry	189 ELIZABETH STREET HOBART TAS 7000	\$ 10,000	Approved	Delegated	
PLN-22-77 Change of Use to Visitor Accommodation	8 FISHER LANE SANDY BAY TAS 7005	\$ 0	Approved	Delegated	
PLN-22-84 Partial Change of Use to General Retail and Signage	126 BATHURST STREET HOBART TAS 7000	\$ 0	Approved	Delegated	
PLN-22-95 Alterations	2/28 WILLIAM COOPER DRIVE NEW TOWN TAS 7008	\$ 10,000	Approved	Delegated	

CITY OF HOBART

## **9. COMMITTEE ACTION STATUS REPORT**

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### **9.1 Committee Actions - Status Report**

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A report indicating the status of current decisions is attached for the information of Elected Members.

#### ***RECOMMENDATION***

***That the information be received and noted.***

Delegation: Committee

Attachment A: City Planning Status Report - February 2022

<p style="text-align: center;"><b>CITY PLANNING COMMITTEE – STATUS REPORT</b> OPEN PORTION OF THE MEETING February 2022</p>				
Ref.	Title	Report / Action	Action Officer	Comments
1	<p><b>19-27 CAMPBELL STREET, 29 CAMPBELL STREET, 19 COLLINS STREET, CT.198531/2, ADJACENT ROAD RESERVATIONS, HOBART (UTAS CIPAD)</b> Open CPC 4 April 2016 - Supp. item 6.2.1</p>	<p>That the Council explore options for increasing pedestrian and bicycle access in the vicinity of the UTAS Creative Industries and Performing Arts Development at 19-27 Campbell Street and 19 Collins Street, Hobart in conjunction with the redevelopment of the site.</p>	Director City Life	<p>This will be addressed as part of the ICAP AP06 Campbell Street Upgrade project. The current trial traffic and parking arrangements in Campbell Street have been in place for some 18 months.</p> <p>Delays last year in RHH K Block and Hedberg occupation and the movement impacts of COVID-19, have somewhat delayed the conclusion of the trial.</p> <p>An evaluation of these provisions, taking account of stakeholder comment and traffic engineering considerations is currently being undertaken and will be submitted to the Council in the coming months, enabling the consideration of more permanent arrangements in lower Campbell Street.</p> <p>It is noted that the Council has committed to the Argyle Street and Campbell Street bicycle project, and this will, in large part address aspects of this Council resolution.</p>

2	<b>FRONT FENCING</b> Open Committee 23 October 2017	That the Council significantly promote the risk of building front fences without appropriate Council approval and for this information to be promoted in writing to the architectural community and via suitable media platforms such as Capital City News and social media.	Director City Life	Article placed in Capital City News and promoted via social media. Communication with architectural community still to be actioned. To be included in the announcements regarding Open Office.
3	<b>SMOKE – FREE HOBART PROJECT UPDATE</b> Open Committee 28 September 2020	Further investigations be undertaken to identify additional areas within the Hobart municipality that could be strategically implemented as smoke free.  A further update to the City Planning Committee be provided in February 2021.	Director Connected City	Update to Committee to follow Executive Leadership Team review of project status and resourcing.
4	<b>PUBLIC ART FRAMEWORK – PUBLIC ART PRIVATE DEVELOPMENT GUIDE</b> Open Committee 23 November 2020	<ol style="list-style-type: none"> <li>1. A Public Amenity Policy for the City be developed, with public art being noted as one way a developer might contribute to the public amenity of the city. This policy would be the subject of a future report to the Council.</li> <li>2. A report be provided to the Council on an annual basis detailing the contributions made under the Public Art Private Development Guide.</li> </ol>	Director City Life	Officers are progressing the matter.



5	<p><b>LOCAL HOUSING SOLUTIONS</b> Open Council 21 June 2021</p>	<ol style="list-style-type: none"> <li>1. A report be prepared that investigates ways Council can provide advice to property owners regarding dwelling and property modifications, with a view to increase accommodation options across Hobart.</li> <li>2. The advice be tailored for people who might want the flexibility to remain living at their property as their lifestyles might change or as they age, and also to increase the dwelling capacity on their property.</li> <li>3. The report would:               <ol style="list-style-type: none"> <li>1) Structure “plain English” explanations as to options for home modifications, planning requirements and how to meet building codes and heritage considerations.</li> <li>2) Identify suitable properties where an increase in the number of dwellings could be possible</li> <li>3) Provide more information for such opportunities in partnership with organisations such as the Australian Institute of Architects or Housing Industry Association</li> <li>4) Consider allocating officer time as point of contact on finding these local housing solutions</li> <li>5) Consider the financial return to Council in order for the program to be successful.</li> </ol> </li> </ol>	Director City Life	Officers are progressing the matter.
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6	<p><b>SHORT STAY ACCOMMODATION – POTENTIAL PLANNING SCHEME AMENDMENTS</b> Open Council 23 August 2021</p>	<ol style="list-style-type: none"> <li>1. Council pursue inserting one or more specific area plans into the Hobart Local Provisions Schedule that prohibit entire home short stay accommodation use (excluding for 'secondary residences')</li> <li>2. Council advocate to the Minister for Planning to issue a planning directive that immediately prohibits new permits for entire home short stay accommodation within the Hobart Local Government Area;</li> <li>3. Council advocate for state-wide regulations, similar to those in New South Wales, that enable councils to make decisions about properties within their local government area; and</li> <li>4. Council advocate to the Tasmanian Government to form a 'Housing Supply Forecasting Council' in line with Recommendation 5 of the report Regulating Short-Stay Accommodation in Tasmania: Issues to consider and options for reform.</li> </ol>	Director City Life	Officers are progressing the matter.
7	<p><b>DEVELOPMENT APPLICATIONS – EQUAL ACCESSIBILITY</b> Open Council 20 September 2021</p>	<p>A report on potential mechanisms and issues for ensuring that development applications that propose improved access facilities to meet the equal access requirements of the National Building Code are not singularly refused because of breaches in the heritage code of Council's planning schemes or the <i>Historic Cultural Heritage Act 1995</i>.</p>	Director City Life	Officers are progressing the matter.

8	<b>PETITION - REZONING OF 21, 21B AND PART OF 21A ENTERPRISE ROAD, SANDY BAY</b> Open Council 25/10/2021	That a report analysing the zoning of 21, 21B and part of 21A Enterprise Road, Sandy Bay and recommending whether to initiate a planning scheme amendment to rezone the land from General Residential to Low Density Residential be prepared as a matter of high priority and no later than within the month of March.	Director City Life	A new staff member has joined the Council and is progressing this matter.
9	<b>CENTRAL HOBART PRECINCT PLAN DISCUSSION PAPER</b> Open Council 25/10/2021	<p>1. The Council endorse the release of the Central Hobart Precincts Plan Discussion Paper marked as Attachment A to item 8.2 of the Open City Planning Committee meeting of 18 October 2021, for consultation with the community and all stakeholders being residents, landowners and the commercial and corporate sector and community groups such as Tas Coss.</p> <p>2. The work be undertaken in accordance to the Council's Community Engagement Policy.</p>	Director City Life	Broad consultation is being undertaken consistent with the Council's Community Engagement Policy. A report on engagement is being drafted.

## 10. QUESTIONS WITHOUT NOTICE

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Section 29 of the *Local Government (Meeting Procedures) Regulations 2015*.  
File Ref: 13-1-10

An Elected Member may ask a question without notice of the Chairman, another Elected Member, the Chief Executive Officer or the Chief Executive Officer's representative, in line with the following procedures:

1. The Chairman will refuse to accept a question without notice if it does not relate to the Terms of Reference of the Council committee at which it is asked.
2. In putting a question without notice, an Elected Member must not:
  - (i) offer an argument or opinion; or
  - (ii) draw any inferences or make any imputations – except so far as may be necessary to explain the question.
3. The Chairman must not permit any debate of a question without notice or its answer.
4. The Chairman, Elected Members, Chief Executive Officer or Chief Executive Officer's representative who is asked a question may decline to answer the question, if in the opinion of the respondent it is considered inappropriate due to its being unclear, insulting or improper.
5. The Chairman may require a question to be put in writing.
6. Where a question without notice is asked and answered at a meeting, both the question and the response will be recorded in the minutes of that meeting.
7. Where a response is not able to be provided at the meeting, the question will be taken on notice and
  - (i) the minutes of the meeting at which the question is asked will record the question and the fact that it has been taken on notice.
  - (ii) a written response will be provided to all Elected Members, at the appropriate time.
  - (iii) upon the answer to the question being circulated to Elected Members, both the question and the answer will be listed on the agenda for the next available ordinary meeting of the committee at which it was asked, where it will be listed for noting purposes only.

## 11. CLOSED PORTION OF THE MEETING

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That the Committee resolve by majority that the meeting be closed to the public pursuant to regulation 15(1) of the *Local Government (Meeting Procedures) Regulations 2015* because the items included on the closed agenda contain the following matters:

- Confirm the minutes of the Closed portion of the meeting
- Questions without notice in the Closed portion

The following items were discussed: -

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|--------------|--|
| Item No. 1   | Minutes of the last meeting of the Closed Portion of the Committee Meeting |
| Item No. 2   | Consideration of supplementary items to the agenda                         |
| Item No. 3   | Indications of pecuniary and conflicts of interest                         |
| Item No. 4   | Planning Authority Items – Consideration of Items with Deputations         |
| Item No. 5   | Responses to Questions Without Notice                                      |
| Item No. 5.1 | UTAS - Extra Information Request<br>LG(MP)R 15(2)(g)                       |
| Item No. 6   | Questions Without Notice   |