



CITY OF HOBART

AGENDA

Special City Planning Committee Meeting

Open Portion

Monday, 23 August 2021

at 4:45 pm

Council Chamber, Town Hall

THE MISSION

Working together to make Hobart a better place for the community.

THE VALUES

The Council is:

People	We care about people – our community, our customers and colleagues.
Teamwork	We collaborate both within the organisation and with external stakeholders drawing on skills and expertise for the benefit of our community.
Focus and Direction	We have clear goals and plans to achieve sustainable social, environmental and economic outcomes for the Hobart community.
Creativity and Innovation	We embrace new approaches and continuously improve to achieve better outcomes for our community.
Accountability	We are transparent, work to high ethical and professional standards and are accountable for delivering outcomes for our community.

ORDER OF BUSINESS

Business listed on the agenda is to be conducted in the order in which it is set out, unless the committee by simple majority determines otherwise.

APOLOGIES AND LEAVE OF ABSENCE

- 1. CO-OPTION OF A COMMITTEE MEMBER IN THE EVENT OF A VACANCY 4**
- 2. INDICATIONS OF PECUNIARY AND CONFLICTS OF INTEREST 4**
- 3. COMMITTEE ACTING AS PLANNING AUTHORITY 5**
 - 3.1 APPLICATIONS UNDER THE HOBART INTERIM PLANNING SCHEME 20156**
 - 3.1.1 34 Proctors Road, Dynnyrne - Partial Demolition.....6**

Special City Planning Committee Meeting (Open Portion) held Monday, 23 August 2021 at 4:45 pm in the Council Chamber, Town Hall.

This Special meeting of the City Planning Committee is held in accordance with a Notice issued by the Premier on 3 April 2020 under section 18 of the *COVID-19 Disease Emergency (Miscellaneous Provisions) Act 2020*.

The title Chief Executive Officer is a term of reference for the General Manager as appointed by Council pursuant s.61 of the *Local Government Act 1993* (Tas).

COMMITTEE MEMBERS

Deputy Lord Mayor Burnet (Chairman)
Briscoe
Harvey
Behrakis
Dutta
Coats

Apologies:

Leave of Absence: Nil

NON-MEMBERS

Lord Mayor Reynolds
Zucco
Sexton
Thomas
Ewin
Sherlock

1. CO-OPTION OF A COMMITTEE MEMBER IN THE EVENT OF A VACANCY

2. INDICATIONS OF PECUNIARY AND CONFLICTS OF INTEREST

Ref: Part 2, Regulation 8(7) of the *Local Government (Meeting Procedures) Regulations 2015*.

Members of the Committee are requested to indicate where they may have any pecuniary or conflict of interest in respect to any matter appearing on the agenda, or any supplementary item to the agenda, which the Committee has resolved to deal with.

3. COMMITTEE ACTING AS PLANNING AUTHORITY

In accordance with the provisions of Part 2 Regulation 25 of the *Local Government (Meeting Procedures) Regulations 2015*, the intention of the Committee to act as a planning authority pursuant to the *Land Use Planning and Approvals Act 1993* is to be noted.

In accordance with Regulation 25, the Committee will act as a planning authority in respect to those matters appearing under this heading on the agenda, inclusive of any supplementary items.

The Committee is reminded that in order to comply with Regulation 25(2), the Chief Executive Officer is to ensure that the reasons for a decision by a Council or Council Committee acting as a planning authority are recorded in the minutes.

3.1 APPLICATIONS UNDER THE HOBART INTERIM PLANNING SCHEME 2015

3.1.1 34 Proctors Road, Dynnyrne - Partial Demolition File Ref: F21/83776

Memorandum of the Manager Development Appraisal of 20 August 2021
and attachments.

Delegation: Council



City of **HOBART**

MEMORANDUM: CITY PLANNING COMMITTEE

34 Proctors Road, Dynnryne - Partial Demolition

It is noted that this item was deferred from the City Planning Committee meeting on 16 August 2021 to enable the applicant to obtain further evidence from his engineer that there were no prudent or reasonable alternatives to keep the chimney and that removing it was the only option.

An email from the applicant's engineer is **attached** to this memorandum.

The recommendation for refusal as contained in the planning report (a copy of which is **attached**) has not changed.

RECOMMENDATION





That pursuant to the *Hobart Interim Planning Scheme 2015*, the Council refuse the application for partial demolition at 34 Proctors Road, Dynnryne for the following reasons:

- 1. The proposal does not meet the acceptable solution or the performance criterion with respect to clause E13.8.1 A1 and P1 of the Hobart Interim Planning Scheme 2015 because a chimney would be demolished and that chimney is significant and makes a contribution to the historic cultural heritage significance of the precinct. The applicant has not articulated environmental, social economic or safety reasons of greater values to the community than the chimney. A prudent and feasible alternative would have been to retain the chimney.***

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

Karen Abey
**MANAGER DEVELOPMENT
APPRAISAL**

Date: 20 August 2021
File Reference: F21/83776

- Attachment A: City Planning Committee - 16 August 2021 - PLN-21-149 - 34 PROCTORS ROAD DYNMYRNE TAS 7005 - Planning Committee or Delegated Report ↓ 
- Attachment B: PLN-21-149 - 34 PROCTORS ROAD DYNMYRNE TAS 7005 - CPC Agenda Documents ↓ 
- Attachment C: PLN-21-149 - 34 PROCTORS ROAD DYNMYRNE TAS 7005 - Planning Referral Officer Cultural Heritage Report ↓ 
- Attachment D: 34 Proctors Road - advice from Applicant's engineer ↓ 

**APPLICATION UNDER HOBART INTERIM PLANNING SCHEME 2015**

Type of Report: Committee
Council: 10 August 2021
Expiry Date: 23 August 2021
Application No: PLN-21-149
Address: 34 PROCTORS ROAD , DYNMYRNE
Applicant: Martin Nally
34 Proctors Road
Proposal: Partial Demolition
Representations: None
Performance criteria: Historic Heritage Code

1. Executive Summary

- 1.1 Planning approval is sought for Partial Demolition, at 34 Proctors Road, Dynmyrne.
- 1.2 More specifically the proposal includes the demolition of the northern chimney of the dwelling.
- 1.3 The proposal relies on performance criteria to satisfy the following standards and codes:
 - 1.3.1 Historic Heritage Code - Heritage Precinct - Demolition
- 1.4 No representations were received during the statutory advertising period between 8 and 23 June 2021.
- 1.5 The proposal is recommended for refusal.
- 1.6 The final decision is delegated to the Council, because the application is recommended for refusal.

2. Site Detail

- 2.1 The subject site is a residential block located on the corner of Proctors Road and View Street. It is developed with a brick double-storey dwelling and accessed by an existing crossover to Proctors Road. The land falls towards the rear (north) of the site and contains prominent hedge landscaping along its southern boundary.
- 2.2 The wider area is largely residential with single and double storey dwellings developed on similarly sized lots. An aerial of the site is below.



Figure 1: The location of the application site is highlighted in yellow.



Figure 2: A site plan of the property with the chimney that has been removed shown circled red.



Figure 3: A Google Streetview image showing the street elevation of the existing dwelling with the chimney that has been removed circled red.

3. Proposal

- 3.1 Planning approval is sought for Partial Demolition, at 34 Proctors Road, Dynnryne.
- 3.2 More specifically the proposal is for the demolition of the northern chimney of the dwelling.

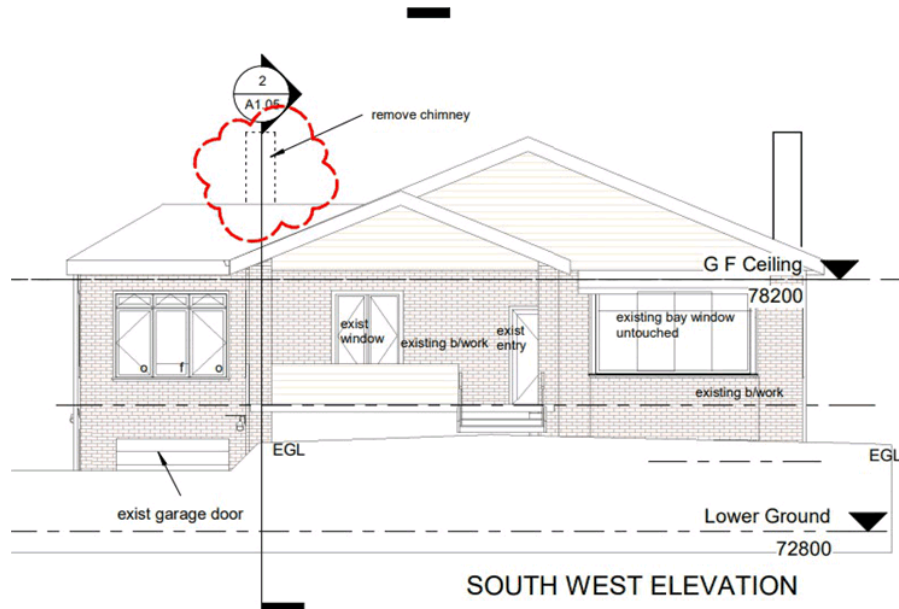


Figure 3: The chimney that has been removed is shown dashed on this front elevation plan.

4. Background

- 4.1 Application was made for works to the dwelling under PLN-19-485. A permit was granted for the proposed works in October 2019 which included a condition requiring that the chimney be retained.
- 4.2 The chimney was removed in March 2020 by the applicant, despite the condition on the planning permit requiring its retention. The applicant has advised that they attempted to contact Council due to safety concerns with the chimney in question during the construction process, but were unsuccessful.

4.3 The applicant sought a minor amendment to the permit in October 2020 to gain retrospective approval for the removal of the chimney. The applicant was advised that the amendment could not be supported. The applicant was further advised that Council's Cultural Heritage Officer would be unlikely to support a new application for the removal of the chimney should one be lodged as the works are contrary to the Historic Heritage Code of the Planning Scheme. In light of this advice, the applicant chose to withdraw their minor amendment application.

4.4 The current application was lodged in March 2021.

5. Concerns raised by representors

5.1 No representations were received during the statutory advertising period between 8 and 23 June 2021.

6. Assessment

6.1 The *Hobart Interim Planning Scheme 2015* is a performance based planning scheme. To meet an applicable standard, a proposal must demonstrate compliance with either an acceptable solution or a performance criterion. Where a proposal complies with a standard by relying on one or more performance criteria, the Council may approve or refuse the proposal on that basis. The ability to approve or refuse the proposal relates only to the performance criteria relied on.

6.2 The site is located within the Inner Residential Zone of the *Hobart Interim Planning Scheme 2015*.

6.3 There is no proposed change to the existing residential (single dwelling) use of the site. The existing use is a permitted use in the zone.

6.4 The proposal has been assessed against:

6.4.1 Part D - 11.0 Inner Residential Zone

6.4.2 Part E - E13.0 Historic Heritage Code

6.5 The proposal relies on the following performance criteria to comply with the applicable standards:

6.5.3 Historic Heritage Code:

*Development Standards for Heritage Precincts - Demolition - E13.8.1
P1*

- 6.6 Each performance criterion is assessed below.
- 6.7 Development Standards for Heritage Precincts - Demolition - E13.8.1 P1
- 6.7.1 There is no acceptable solution for E13.8.1 A1.
- 6.7.2 The proposal includes demolition of a chimney on a dwelling in a heritage precinct.
- 6.7.3 There is no acceptable solution; therefore assessment against the performance criterion is relied on.
- 6.7.4 The performance criterion at clause E13.8.1 P1 provides as follows:
- Demolition must not result in the loss of any of the following:*
- (a) buildings or works that contribute to the historic cultural heritage significance of the precinct;*
- (b) fabric or landscape elements, including plants, trees, fences, paths, outbuildings and other items, that contribute to the historic cultural heritage significance of the precinct;*
unless all of the following apply;
- (i) there are, environmental, social, economic or safety reasons of greater value to the community than the historic cultural heritage values of the place;*
- (ii) there are no prudent or feasible alternatives;*
- (iii) opportunity is created for a replacement building that will be more complementary to the heritage values of the precinct.*
- 6.7.5 The application has been referred to Council's Cultural Heritage Officer, who has provided the following assessment:
- 34 Proctors Road is a red brick Californian Bungalow.



Brick Chimney with period details at 34 Proctors Road, 2019.

The house is located in SB6 Golf Links Estate. This precinct is significant for reasons including:

- *Its value as the largest single subdivision in Sandy Bay with a very fine group of c1920-1930 houses, the best such group in Hobart.*
- *Its predominantly single storey Edwardian character with very intact streetscapes. The houses are all very good examples of Edwardian cottages and Californian Bungalow styles.*
- *The predominantly intact building stock.*
- *The connection of the site with the former golf links which is still readable in the subdivision pattern.*

The house is single storey facing Proctors Road, and becomes two levels as the land falls away along View Street. The house has a stepped 'cascading' form in plan. Council records note house connections in 1927. The house has many intact period features including architectural and

landscape items. The house makes a positive contribution to the street with its chimneys, shallow pitched gables, heavy verandah piers, original windows, unpainted masonry, and original external timber details. The house is on the intersection of two busy streets and is therefore a high profile site in the precinct.

The house at 34 Proctors Road is located in a Heritage Precinct and the owner previously applied for a permit (PLN-19-485) to extend and renovate the house. This application was approved and the renovations have been undertaken. The application, dating from 2019, also sought approval for the demolition of a chimney. Because the demolition of the chimney failed to satisfy the Heritage Code, Council placed a condition (see below) to ensure its protection.

"HER 11

The chimneys must be retained. Demolition of chimneys is not approved.

All work required by this condition must be undertaken in accordance with the approved revised plans.

Reason for condition

To ensure that development at a heritage precinct is undertaken in a sympathetic manner which does not cause loss of historic cultural heritage significance."

The applicant proceeded to demolish the chimney, without a planning permit and in contravention of the specific HER 11 condition on the permit. Further advice was given by the Building Surveyor and the Council that the demolition occurred without a Planning Permit. The applicant is now retrospectively seeking approval for this act.

The chimney was a significant part of a Californian Bungalow which makes a positive contribution to the precinct. The demolition is in contravention HER 11 of PLN-19-485 .

From the Historic Heritage Code of the Planning Scheme the following Demolition clause applies:

E 13.8.1 P1 states:

Demolition must not result in the loss of any of the following:

(a) buildings or works that contribute to the historic cultural heritage significance of the precinct;
(b) fabric or landscape elements, including plants, trees, fences, paths, outbuildings and other items, that contribute to the historic cultural heritage significance of the precinct;
unless all of the following apply;

(i) there are, environmental, social, economic or safety reasons of greater value to the community than the historic cultural heritage values of the place;
(ii) there are no prudent or feasible alternatives;
(iii) opportunity is created for a replacement building that will be more complementary to the heritage values of the precinct.

The chimney is a period feature/fabric of the Californian Bungalow which contributes to the historic cultural heritage significance of the precinct. The applicant has not articulated any environmental, social, economic or safety reasons of greater value to the community than the historic cultural heritage values of the place. A prudent or feasible alternative would have been to retain and support the chimney as required by HER 11 of PLN-19-485. The replacement portion of the building (without a chimney) is not more complementary to the heritage values of the precinct.

Recommendation

The 'proposed' demolition of the chimney fails to satisfy E 13.8.1 P1 of the Historic Heritage Code of the Scheme. This application is recommended for refusal. The recommendation for refusal is consistent with written advice previously given to the applicant by the Cultural Heritage Unit.

Grounds for refusal

The proposal does not meet the acceptable solution or the performance criteria with respect to clause E 13.8.1P1 (a) to (d) of the Hobart Interim Planning Scheme 2015 because the proposed demolition will result in the loss of buildings and fabric that contribute to the historic cultural heritage significance of the precinct and it has not been reasonably demonstrated that: there are environmental, social, economic or safety reasons of greater value to the community than the historic cultural heritage values of the place; or that there are no prudent or feasible alternatives; or that the new work is more complementary to the heritage values of the precinct

6.7.6 The proposal does not comply with the performance criterion.

7. Discussion

- 7.1 Planning approval is sought for Partial Demolition, at 34 Proctors Road, Dynnryne.
- 7.2 The application was advertised and no representations were received.
- 7.3 The proposal has been assessed against the relevant provisions of the planning scheme and is not considered to perform well.
- 7.4 The proposal has been assessed by other Council officers, including the Council's Cultural Heritage Officer. The officer has raised objection to the proposal.
- 7.5 The proposal is recommended for refusal.

8. Conclusion

- 8.1 The proposed Partial Demolition, at 34 Proctors Road, Dynnryne does not satisfy the relevant provisions of the *Hobart Interim Planning Scheme 2015*, and as such is recommended for refusal.

9. Recommendations

That: Pursuant to the *Hobart Interim Planning Scheme 2015*, the Council refuse the application for Partial Demolition at 34 Proctors Road, Dynnyrne for the following reasons:

- 1 The proposal does not meet the acceptable solution or the performance criterion with respect to clause E13.8.1 A1 and P1 of the *Hobart Interim Planning Scheme 2015* because a chimney would be demolished and that chimney is significant and makes a contribution to the historic cultural heritage significance of the precinct. The applicant has not articulated environmental, social economic or safety reasons of greater values to the community than the chimney. A prudent and feasible alternative would have been to retain the chimney.



(Helen Ayers)

Development Appraisal Planner

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.



(Ben Ikin)

Senior Statutory Planner

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

Date of Report: 28 June 2021

Attachment(s):

Attachment B - CPC Agenda Documents

Attachment C - Planning Referral Officer Cultural Heritage Report

TITLE: REGISTER BOOK VOL.2758 FOL 18
 REGISTERED NUMBER 221422
 DESIGN WIND SPEED N2 40m/sec
 CLIMATE ZONE 26
 ENERGY RATING 6.2
 BAL RATING EXEMPT
 CORROSION LEVEL CATEGORY B
 SOIL CLASSIFICATION CLASS M



Sheet List			
Sheet Number	Sheet Name	Current Revision	Current Revision Date

A1.00	COVER SHEET		
A1.02	LOWER GROUND FLOOR PLAN		
A1.03	GROUND FLOOR PLAN	3	1/2/21
A1.04	ELEVATIONS	3	1/2/21
A1.05	SECTIONS	3	1/2/21
A1.06	FOOTING / SLAB PLAN		
A1.07	DETAILS		
A1.08	DETAILS 2	1	30/7/20
A1.09	DOOR SCHEDULE		
A1.10	WINDOW SCHEDULE		
A1.11	AREA PLAN		
A1.12	DRAINAGE PLAN	2	1/8/20
A1.13	CEILING PLAN		
A1.14	FRAMING & BRACING PLAN		
A1.15	WATERPROOFING 1		
A1.16	WATERPROOFING 2		
A1.17	WATERPROOFING 3		
A1.18	WATERPROOFING 4		
A1.19	ROOF PLAN	3	1/2/21
A1.20	OHSE		
A1.21	CHIMNEY SUPPORT DETAIL	1	30/7/20
A1.22	EXISTING SITE LANDSCAPE		
A1.23	BUILDING ENVELOPE EXISTING		
A1.24	BUILDING ENVELOPE EXISTING	3	1/2/21
A1.25	BUILDING ENVELOPE PROPOSED		
A1.26	BUILDING ENVELOPE PROPOSED		
A1.27	PROPOSED BOUNDARY ELEVATION		
A1.28	EXIST ELEVATION LANDSCAPE	3	1/2/21
A1.29	EXIST ELEVATION LANDSCAPE	3	1/2/21
A1.30	DEMOLITION DETAILS	3	1/2/21
A1.31	REVISED FOOTING PLAN 1		
A1.32	REVISED FOOTING PLAN 2		
A1.33	REVISED STORMWATER AND GROUND WATER PLAN		
A1.34	CROSSOVER/ STORMWATER OUTLET	1	30/7/20

MERINDA HOMESTYLES

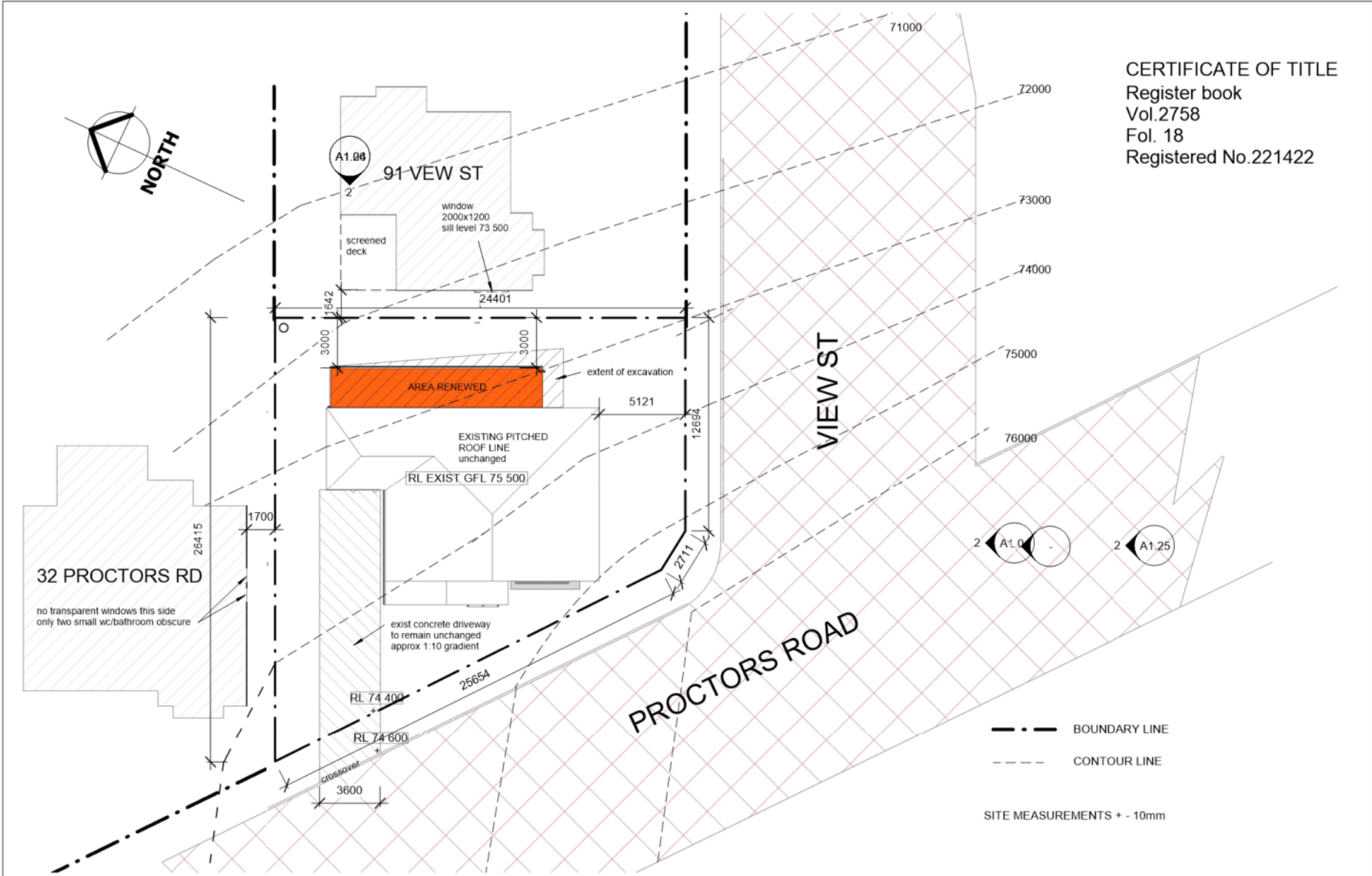
21 b GRAYLING AVE SOUTH HOBART TAS 7004
 mbaker@merindahomestyles.com ph 0438346115

PROPOSED NEW WEATHERBOARD EXTENSION & RENOVATION TO BRICK
 RESIDENCE AT 34 PROCTORS RD DYNMYRNE FOR M & V NALLY

Drawn by MICHAEL BAKER
 Date 15 NOV 2019
 Licence No. CC1511

COVER
 SHEET

SHEET NO.
 A1.00
 SCALE



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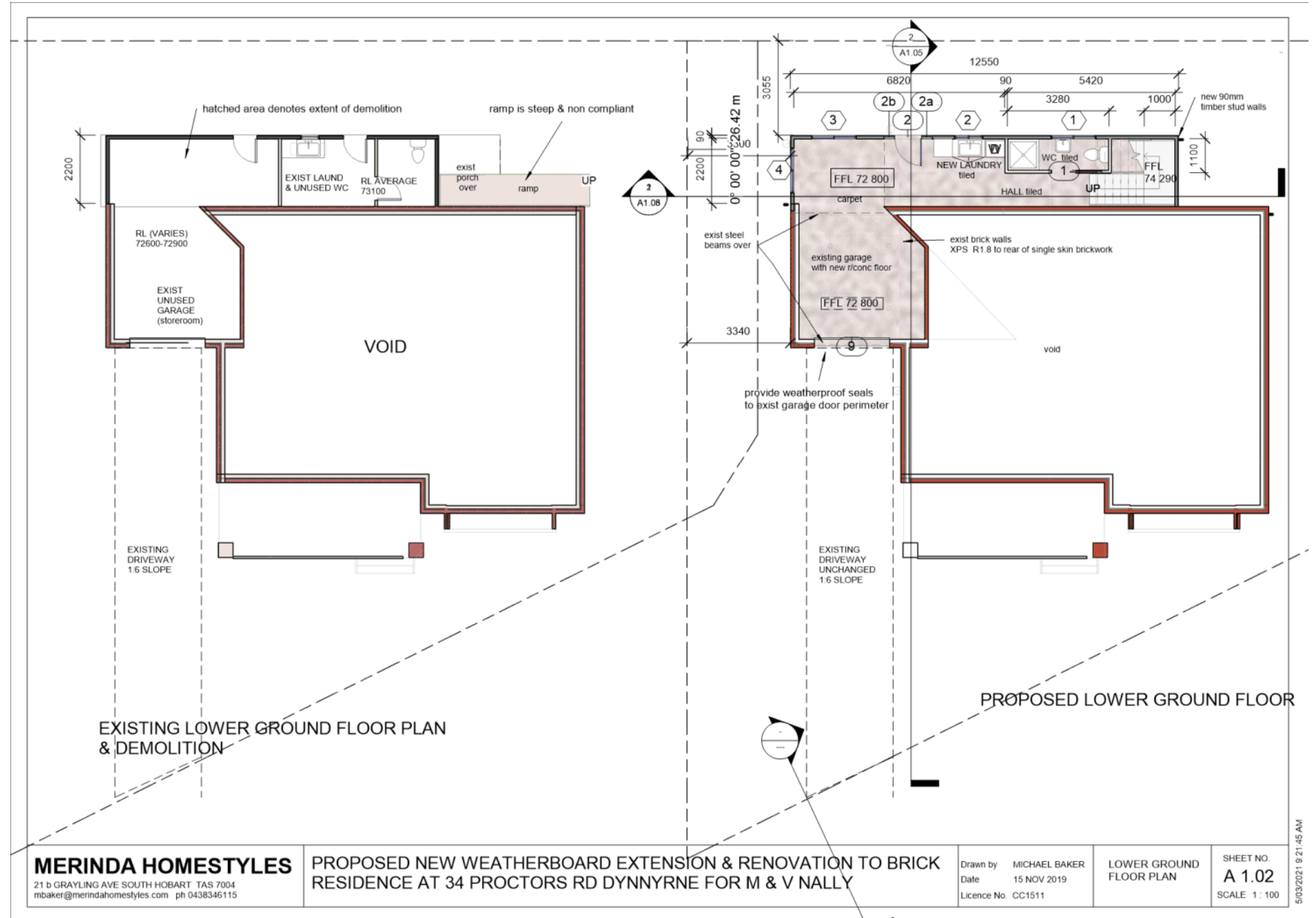
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RESIDENCE AT 34 PROCTORS RD DYNMYRNE FOR M & V NALLY

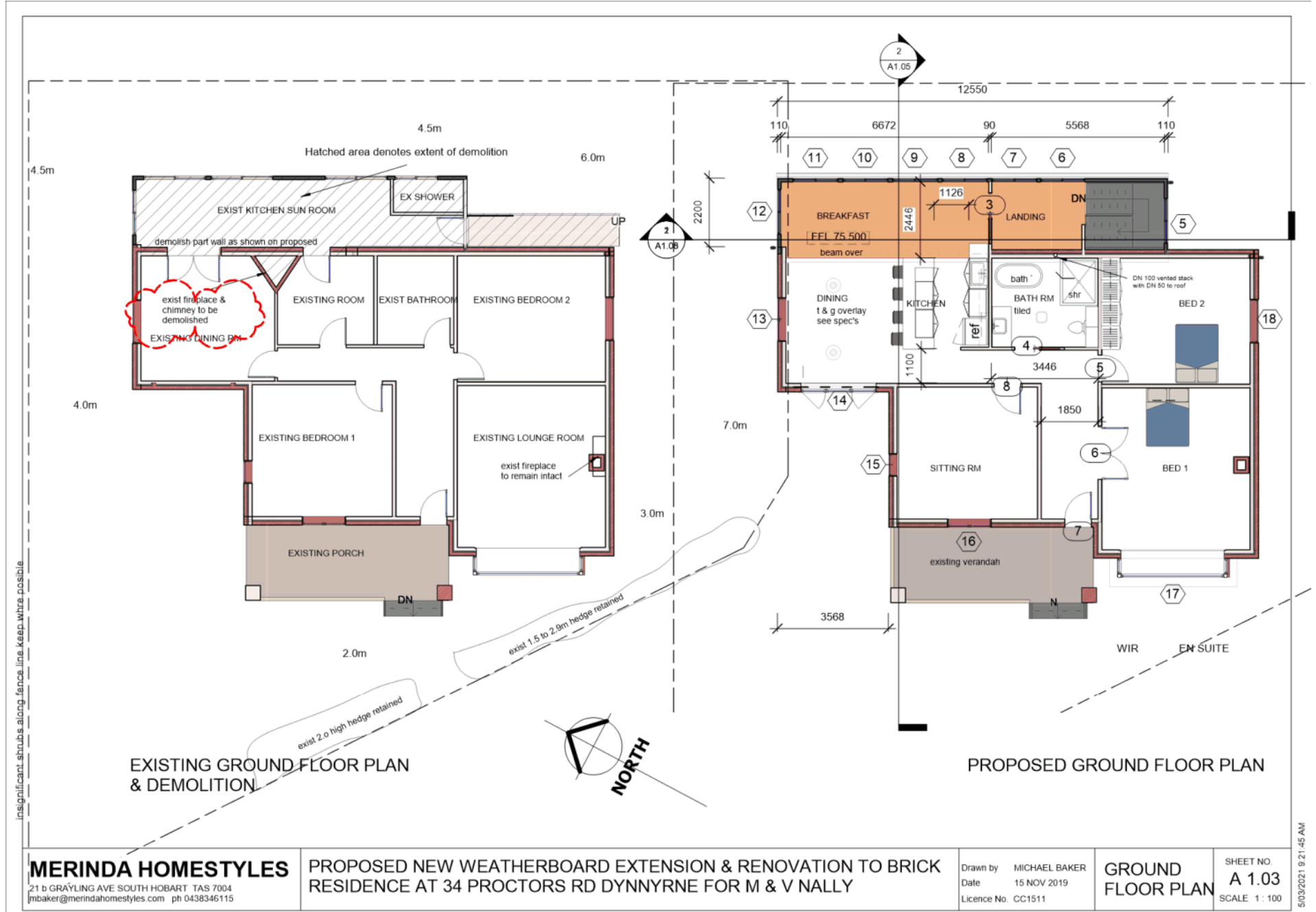
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Date 15 NOV 2019
Licence No. CC1511

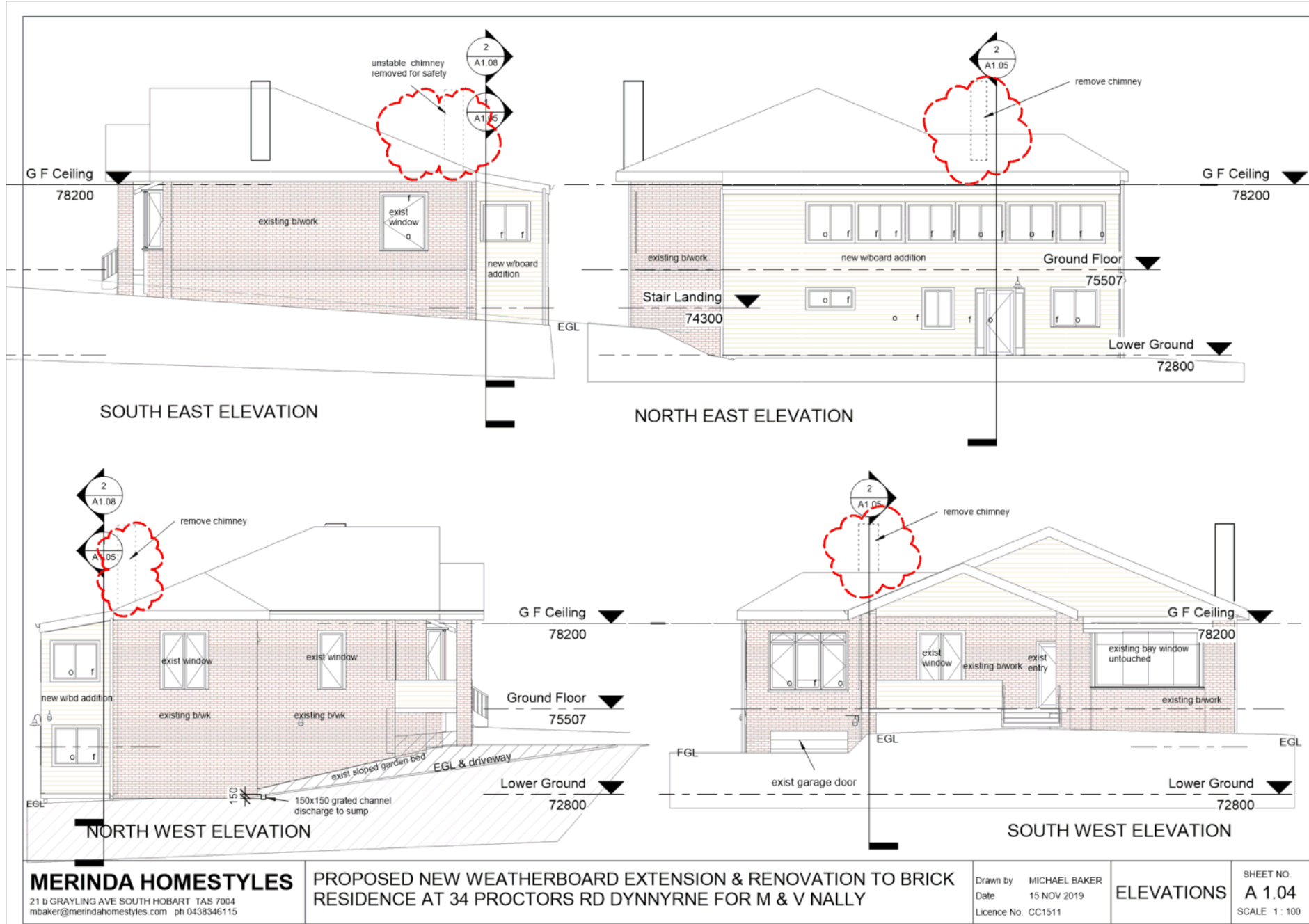
SITE PLAN

SHEET NO.
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SCALE 1 : 200

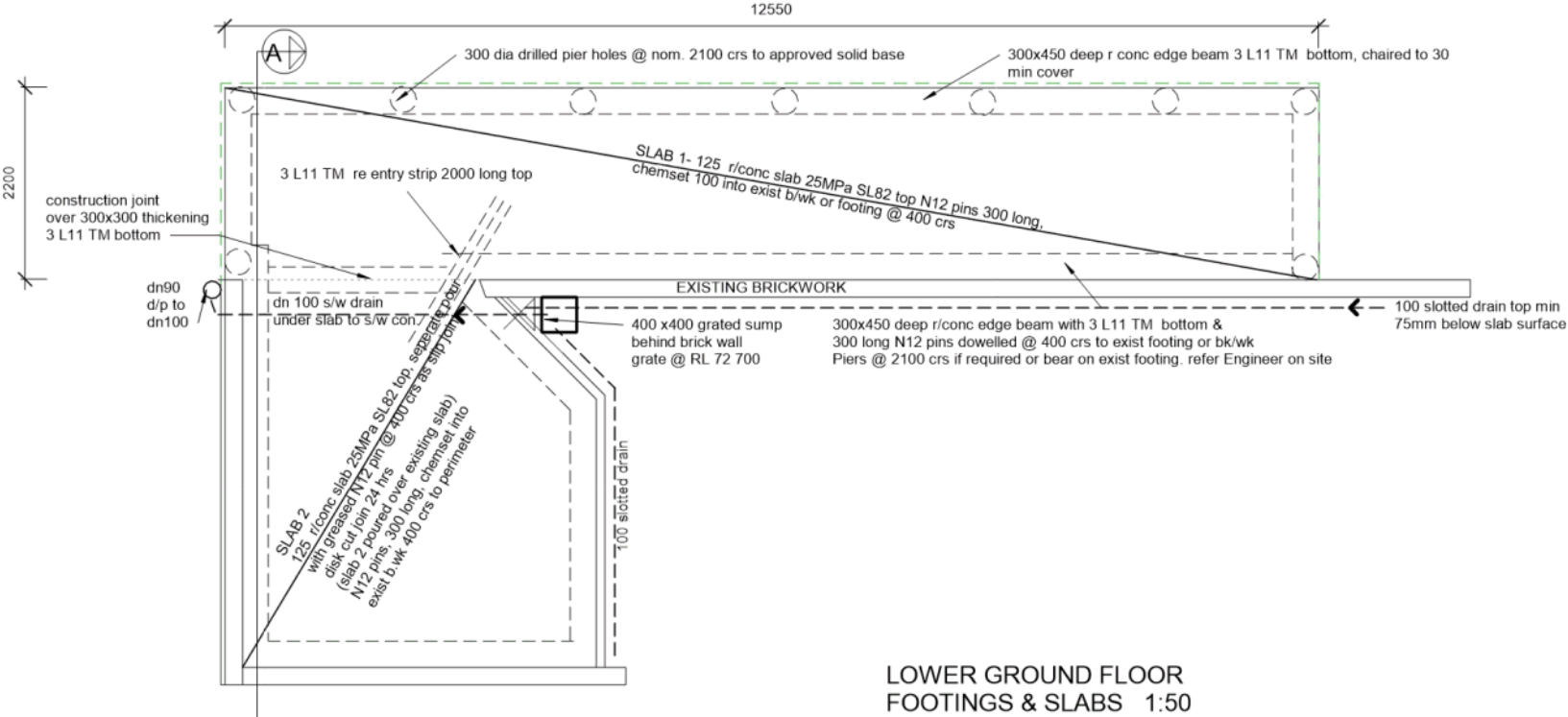
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LOWER GROUND FLOOR
FOOTINGS & SLABS 1:50

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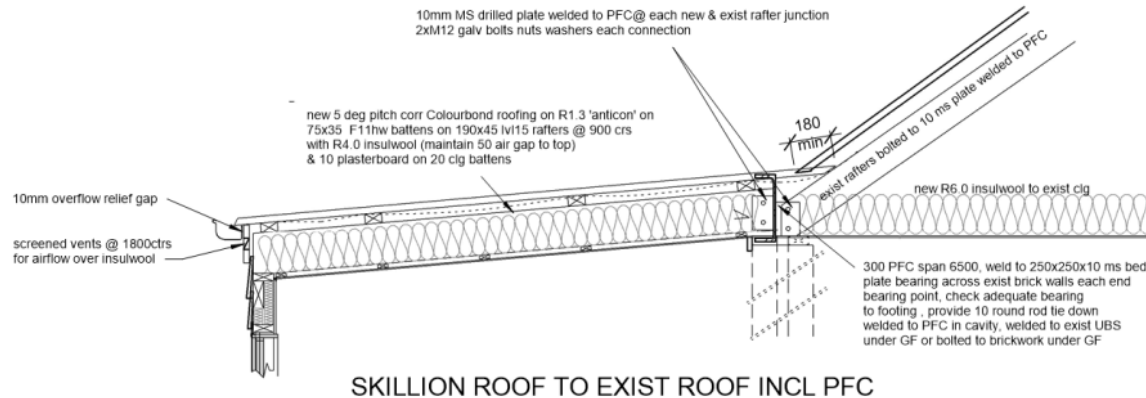
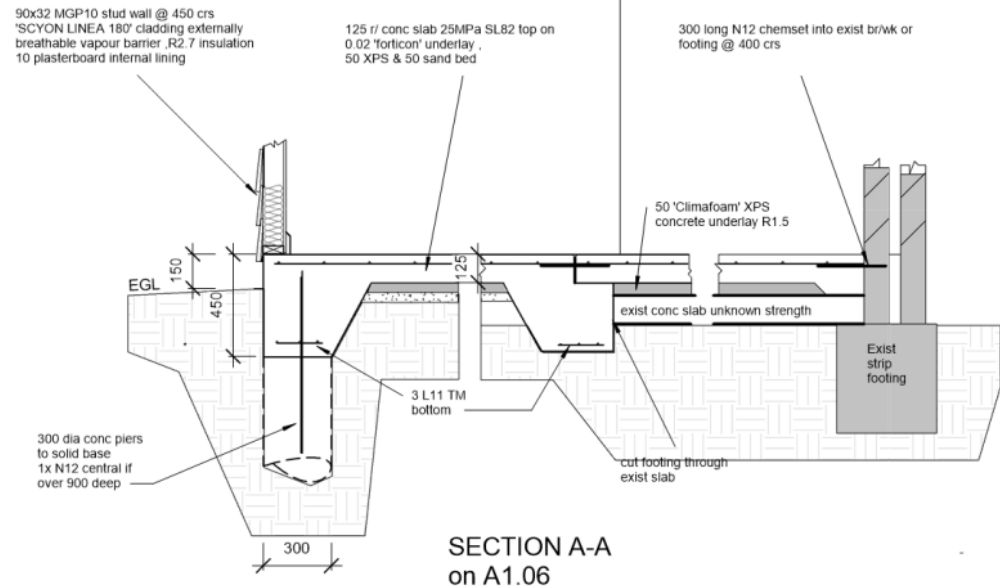
PROPOSED NEW WEATHERBOARD EXTENSION & RENOVATION TO BRICK
RESIDENCE AT 34 PROCTORS RD DYNMYRNE FOR M & V NALLY

Drawn by MICHAEL BAKER
Date 15 NOV 2019
Licence No. CC1511

FOOTING &
SLAB PLAN

SHEET NO.
A 1.06
SCALE 1:50

5/03/2021 9:21:47 AM





STAIR DETAILS

Stringers	290X32 F17 Tas Oak or painted MDF routed 15mm for treads & risers
Treads	265x32 F17 Tas Oak notched into stringers incl glued wedges
Risers	180 (using 190x19) F17 Tas Oak notched into tread 15mm back from front edge incl central glue blocks & screwed & glued to lower tread back
Landing	90x45 mgp10 frame with 110x19 Tas Oak T&G flooring
Handrail	65x32 chamfered Tas Oak or "off the shelf" Handrail
Balustrade	32x32 Tas Oak max 125 gap between or "off the shelf" pickets
Anti Slip	apply approved anti slip device to tread edges, (tape or textured grit finish)

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PROPOSED NEW WEATHERBOARD EXTENSION & RENOVATION TO BRICK
RESIDENCE AT 34 PROCTORS RD DYNMYRNE FOR M & V NALLY

Drawn by MICHAEL BAKER
Date 15 NOV 2019
Licence No. CC1511

DETAILS 2

SHEET NO
A 1.08

SCALE 1 : 50

Door Schedule EXTERIOR ALUMINIUM FRAMED DOORS. GLASS TO BE 5 CLEAR, 8 ARGON, 5 CLEAR Uw = 4.1 SHGC = 0.59 ('GLASS SUPPLIES' OR SIMILAR)									
Level	Mark	Location	Height	Width	Thickness	Glass Area	Finish	Frame Material	Comments
Lower Ground	1	WC CAVITY SLG	2100	820	35	1.1 m²	FULL GLAZED LAMINATED SAFETY	TIMBER PAINTED	FROSTED SAFETY GLASS
Lower Ground	2	EXTERIOR DOOR & SIDELIGHTS	2060	860	35	2.1 m²	FULL GLAZED LAMINATED SAFETY	POWDER COAT ALUM	FROSTED SAFETY GLASS
Lower Ground	2a	SIDE LIGHT	2100	305	35		FULL GLAZED LAMINATED SAFETY	POWDER COAT ALUM	FROSTED SAFETY GLASS
Lower Ground	2b	SIDE LIGHT	2100	305	35		FULL GLAZED LAMINATED SAFETY	POWDER COAT ALUM	FROSTED SAFETY GLASS
Ground Floor	3	LANDING TO KITCHEN	2100	820	35	1.1 m²	FULL GLAZED LAMINATED SAFETY	TIMBER PAINTED	FROSTED SAFETY GLASS
Ground Floor	4	BATHROOM TO HALL	2100	820	35	1.1 m²	FULL GLAZED LAMINATED SAFETY	TIMBER STAINED	FROSTED SAFETY GLASS
Ground Floor	5	BED RM 2 TO HALL	2060	860	35		REUSE EXIST DOOR	TIMBER STAINED	REUSE OR MATCH EXIST
Ground Floor	6	BED RM 1 TO HALL	2060	1680	35	2.2 m²	FULL GLAZED LAMINATED SAFETY	TIMBER STAINED	FROSTED SAFETY GLASS
Ground Floor	7	ENTRY DOOR	2060	860	35		REUSE EXIST DOOR	TIMBER PAINTED	EXISTING
Ground Floor	8	SITTING RM TO HALL	2060	860	35		REUSE EXIST DOOR	TIMBER STAINED	EXISTING
Lower Ground	9	Existing Garage door	1981	2435	51		REUSE EXIST DOOR	TIMBER PAINTED	draft seal & insulate

NOTE ; USE HAND OF DOOR AS ON PLANS ONLY , NOT ELEVATION!
 AMERICAN STYLE OF HAND SHOWN ON ELEVATIONS
 CHECK WITH OWNER BEFORE ORDERING ANY DOORS AND WINDOWS

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PROPOSED NEW WEATHERBOARD EXTENSION & RENOVATION TO BRICK
 RESIDENCE AT 34 PROCTORS RD DYNMYRNE FOR M & V NALLY

Drawn by MICHAEL BAKER
 Date 15 NOV 2019
 Licence No. CC1511

**DOOR
 SCHEDULE**

SHEET NO.
A1.09
 SCALE

5/03/2021 9:21:47 AM

Window Schedule 4 CLEAR, 10 argon, 4 CLEAR Uw = 3.4 SHGC = 0.54 'GLASS SUPPLIES' SLIDING ALUMINIUM)

Window	Location	Window Style	Width	Height	Area of Glass	Material	Glazing	Remarks
1	LGF WC	SLIDING	1450	600	0.8 m ²	ALUMINIUM	OBSCURE DOUBLE GLAZED	SCREEN
2	LGF LAUNDRY	SLIDING	915	1220	0.6 m ²	ALUMINIUM	CLEAR DOUBLE GLAZED	SCREEN
3	M /PURPOSE RM EAST	SLIDING	1450	1200	1.5 m ²	ALUMINIUM	CLEAR DOUBLE GLAZED	SCREEN
4	M /PURPOSE RM NORTH	SLIDING	1450	1200	1.5 m ²	ALUMINIUM	CLEAR DOUBLE GLAZED	SCREEN
5	STAIR LANDING	FIXED	1450	1200	1.5 m ²	ALUMINIUM	CLEAR DOUBLE GLAZED	
6	UPPER LANDING	SLIDING	1450	1200	1.5 m ²	ALUMINIUM	CLEAR DOUBLE GLAZED	SCREEN
7	UPPER LANDING	FIXED	1450	1200	1.5 m ²	ALUMINIUM	CLEAR DOUBLE GLAZED	
8	KITCHEN	FIXED	1450	1200	1.5 m ²	ALUMINIUM	CLEAR DOUBLE GLAZED	
9	KITCHEN	SLIDING	1450	1200	1.5 m ²	ALUMINIUM	CLEAR DOUBLE GLAZED	SCREEN
10	KITCHEN/BREAKFAST	SLIDING	1450	1200	1.5 m ²	ALUMINIUM	CLEAR DOUBLE GLAZED	SCREEN
11	KITCHEN/BREAKFAST	SLIDING	1450	1200	1.5 m ²	ALUMINIUM	CLEAR DOUBLE GLAZED	SCREEN
12	KITCHEN/BREAKFAST	SLIDING	1450	1200	1.5 m ²	ALUMINIUM	CLEAR DOUBLE GLAZED	SCREEN
13	SITTING ROOM	EXISTING	1400	1800	2.3 m ²	EXIST TIMBER	SINGLE GLAZED PLUS RETRO	RETRO DOUBLE GLAZING
14	DINING	CASEMENT	2400	1800	3.9 m ²	TIMBER PAINTED	CLEAR DOUBLE GLAZED	TO MATCH BAY WINDOW PROPORTIONS , SCREENED
15	SITTING ROOM	EXISTING	750	1800	1.1 m ²	TIMBER PAINTED	SINGLE GLAZED PLUS RETRO	RETRO DOUBLE GLAZING
16	SITTING ROOM	EXISTING	1400	1800	2.3 m ²	EXIST TIMBER	SINGLE GLAZED PLUS RETRO	RETRO DOUBLE GLAZING
17	NEW BED RM 1	EXISTING	3312	1824	5.4 m ²	EXIST TIMBER	SINGLE GLAZED PLUS RETRO	RETRO DOUBLE GLAZING
18	NEW BED RM 2 SOUTH	EXISTING	1400	1800	2.2 m ²	EXIST TIMBER	SINGLE GLAZED PLUS RETRO	RETRO DOUBLE GLAZING

NATURAL LIGHT & VENTILATION

ROOM	AREA	WINDOW NO.	DOOR NO.	LIGHT REQUIRED	LIGHT ACHIEVED	VENTILATION REQUIRED	VEVTILATION ACHIEVED
HALL LGF	11 M2	2	2	1.1 m2	2.65 m2	0.5 m2	0.55 m2
MULTI PURPOSE RM	25 M2	3,4		2.5 m2	3.0 m2	1.25 m2	1.5 m2
KITCHEN/ DINING	43 M2	8,9,10,11,12,13,14	3 borrowed light	4.3 m2	12.9 m2 plus borrowed via door	2.15m2	6.45 m2
SITTING RM	20 M2	15,16		2.0 m2	3.8 m2	1.0 m2	1.9 m2
BED 1	16 M2	17		1.6 m2	5.0 m2	0.8 m2	2.1 m2
BED 2	19 M2	18		1.9 m2	2.2 m2	0.95 m2	1.1 m2

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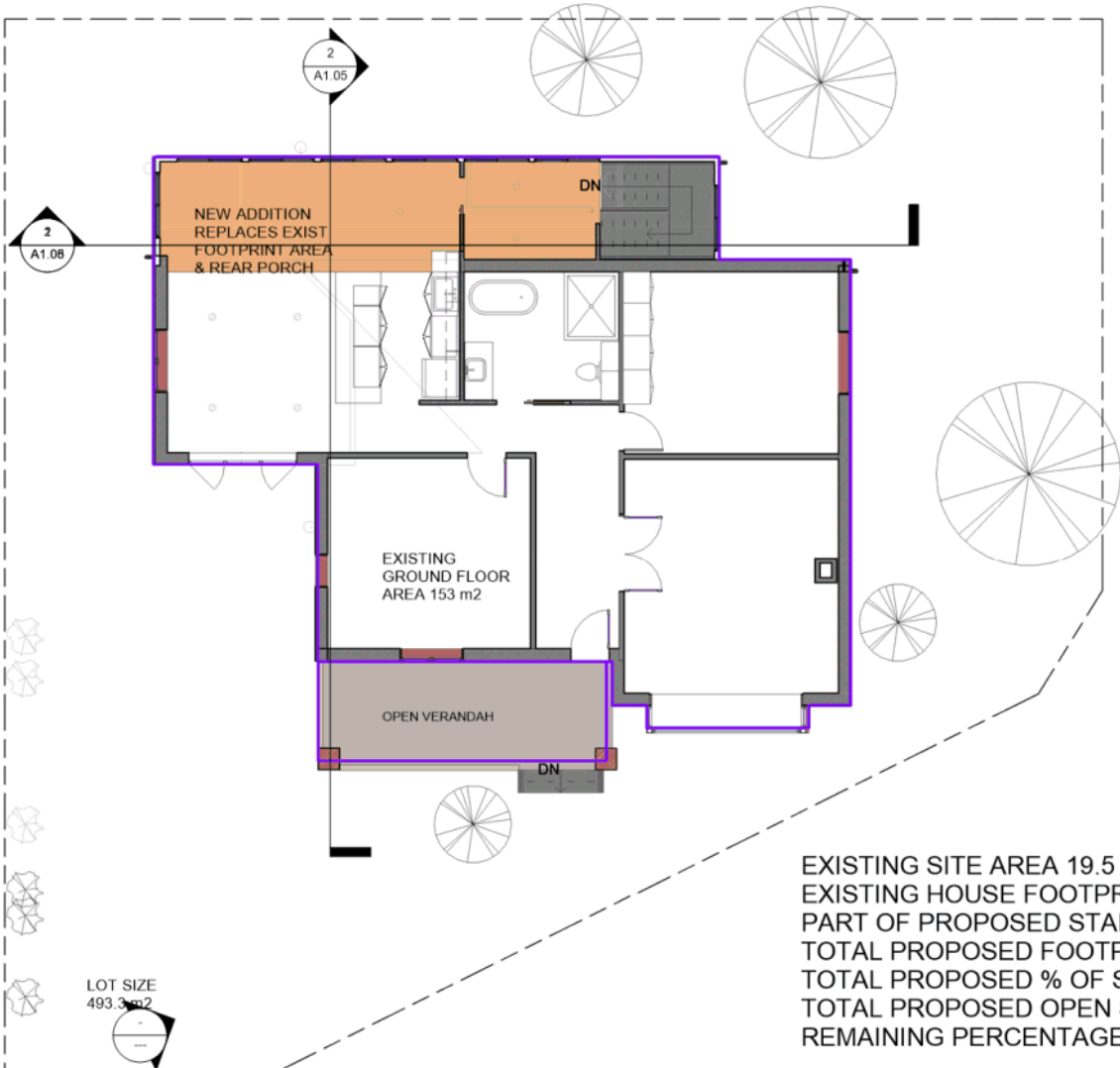
PROPOSED NEW WEATHERBOARD EXTENSION & RENOVATION TO BRICK RESIDENCE AT 34 PROCTORS RD DYNMYRNE FOR M & V NALLY

Drawn by MICHAEL BAKER
 Date 15 NOV 2019
 Licence No. CC1511

**WINDOW
 SCHEDULE**

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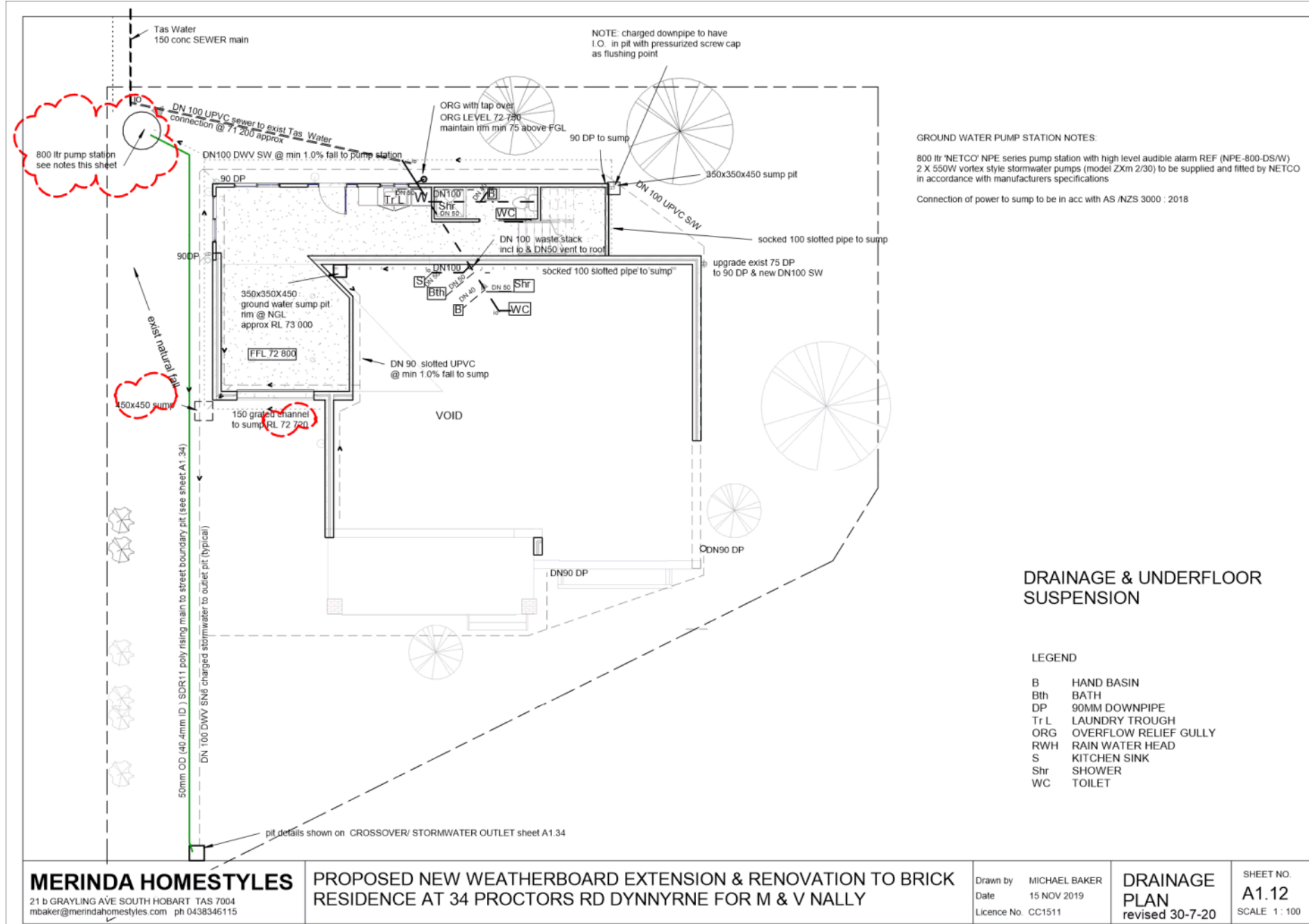
PROPOSED NEW WEATHERBOARD EXTENSION & RENOVATION TO BRICK
RESIDENCE AT 34 PROCTORS RD DYNMYRNE FOR M & V NALLY

Drawn by MICHAEL BAKER
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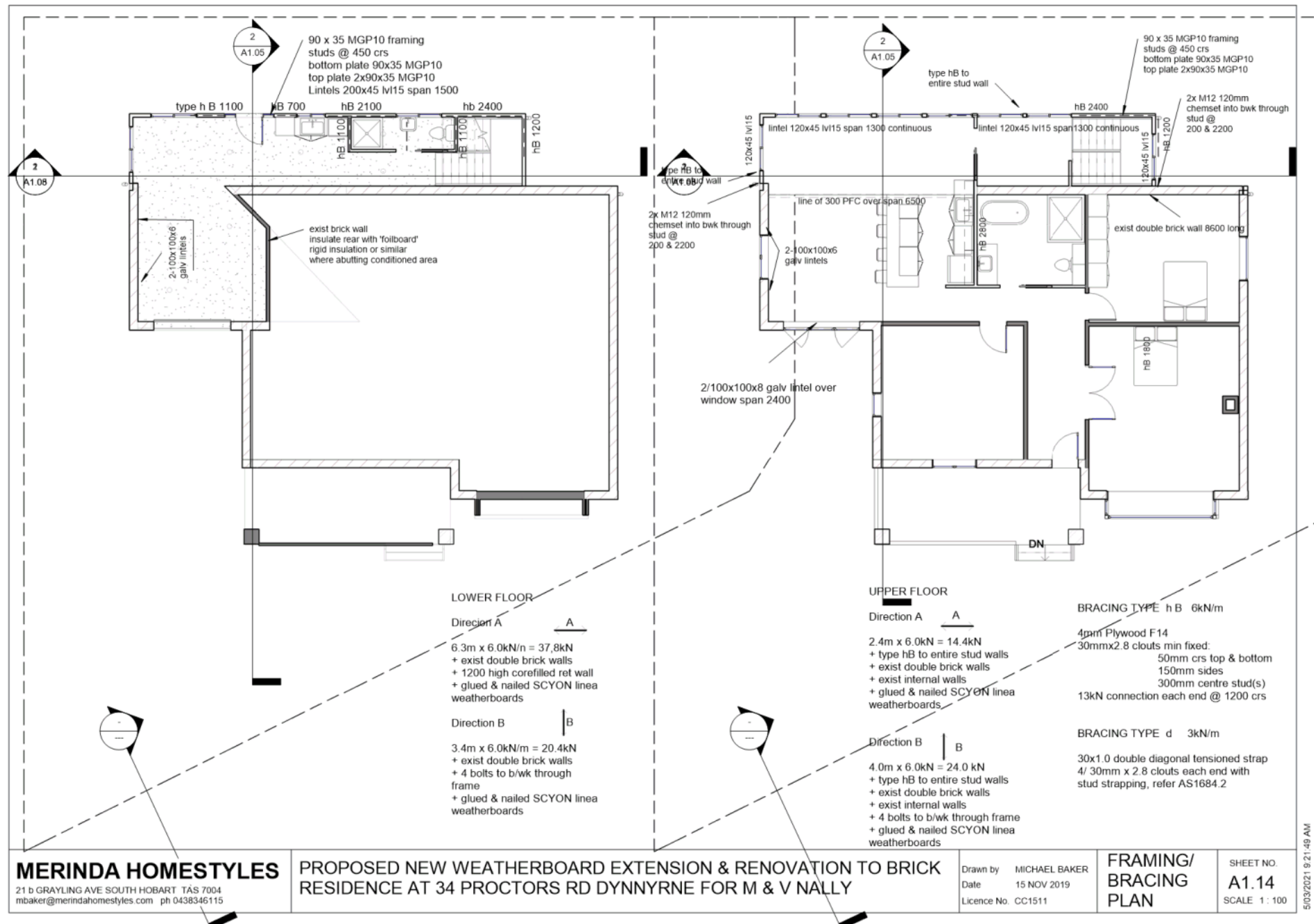
AREA PLAN

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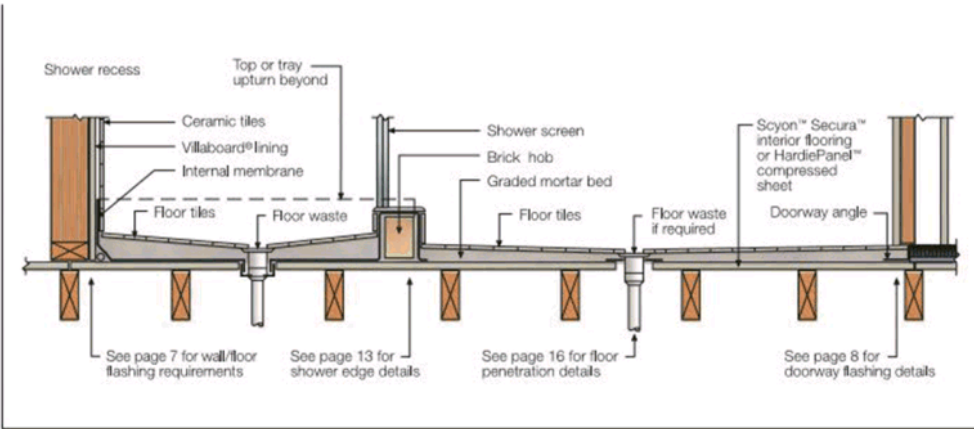


FIGURE 1 TYPICAL BATHROOM CROSS-SECTION

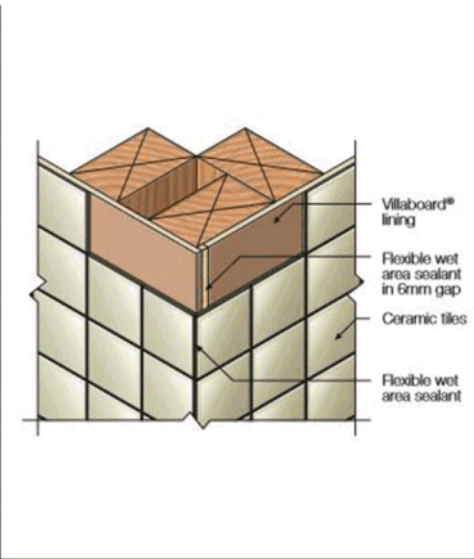


FIGURE 5 EXTERNAL TILED CORNER - NON SHOWER AREA

NOTES

1. Vertical corner flashing is required in shower recess areas.
2. External corners must not be set and plasterer's angles must not be used.

For vertical corner flashing requirements in shower areas, see page 9.
For internal and external tiled corners located in areas not waterproofed, refer to Figures 4 and 5.

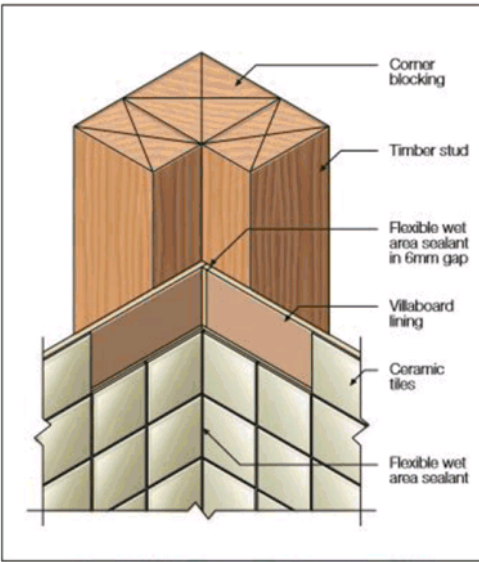


FIGURE 4 INTERNAL TILED CORNER - NON SHOWER AREA

VERTICAL CORNER FLASHING

Vertical corner flashing must be used in shower areas and extended to 1800mm above the finished floor level or base of the bath (where a shower is over the bath).

External vertical corner flashing angles can be used with external membranes only. They must have legs of sufficient width to overlap the wall lining by a minimum of 30mm for external flashing, see Figure 9. The wall lining must be sealed at the flashing with a flexible wet area sealant. At the base of the wall lining there must be an effective drainage gap to allow water on the flashing to drain into the membrane. Vertical corner flashings must overlap the top edge of external membranes by 20mm minimum.

Internal corner flashing angles can be used for both external and internal membranes. They are formed in-situ with fibreglass reinforced plastic, epoxy resin or acrylic emulsion. They must have a minimum overlap onto the wall sheeting of 40mm each side; for internal lining see Figure 10. Internal vertical corner flashings must extend vertically from the top of the membrane upturn.

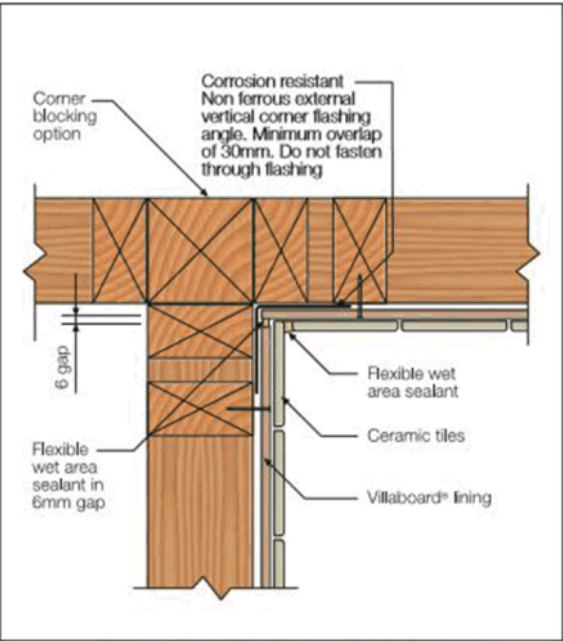


FIGURE 9 VERTICAL CORNER FLASHING FOR EXTERNAL MEMBRANE - SHOWER RECESS

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7 UNENCLOSED SHOWERS

Unenclosed showers are those where the shower fitting(s) are not contained within an enclosure.

Where the shower is unenclosed, you must have waterproof flooring for a distance extending 1500mm from the shower rose, projecting onto the floor, see Figure 20.

Water resistant walling (Villaboard® lining finished with tiles) must also extend 1500mm from the shower rose.

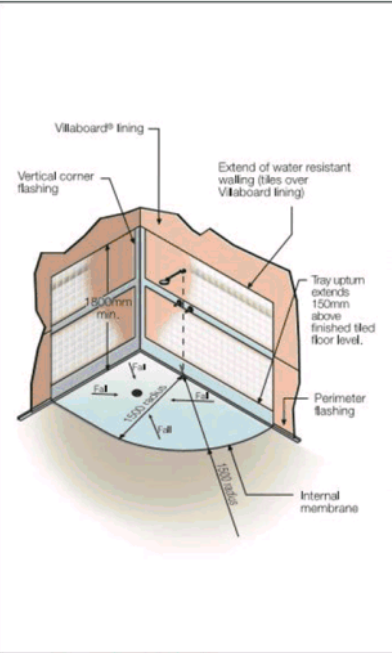


FIGURE 20 UNENCLOSED SHOWERS

Where a shower over a bath is not contained by a shower screen, you must waterproof the floor beyond the bath a distance extending 1500mm from the shower rose projected onto the floor, see Figure 21.

Although the perimeter flashing shown against wall and bath beyond 1500mm of the shower rose is not required, it is shown here because it is often installed for practical reasons.

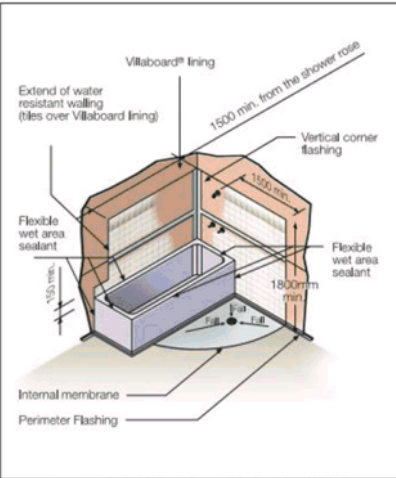


FIGURE 21 SHOWER OVER BATH - NO SHOWER SCREEN

The shower tray (either internal or external membrane) or the waterproofing beyond the bath must be terminated on an angle with its vertical leg finished flush with the tiled surface. The angle would normally be located in the floor tile jointing, see Figure 22.

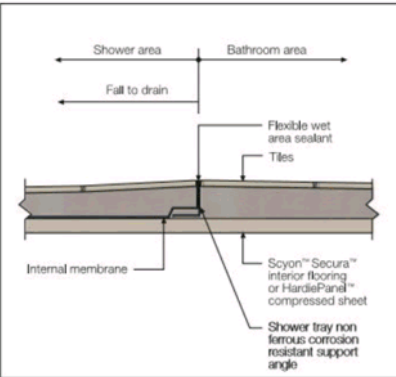


FIGURE 22 UNENCLOSED SHOWER - EDGE FINISHING DETAIL

NOTE
Internal membrane to shower area to extend 1500mm in horizontal distance from the furthest extension of the shower rose.

INTERNAL MEMBRANES

Internal in-situ systems are applied to the face of the Villaboard® lining, ie the membrane is on the inside face of the wall lining. Materials commonly used include liquid compounds of rubber, acrylic or epoxy usually reinforced with fibreglass, or sheet products of rubber, plastic or other waterproofing material.

As well as having waterproofing properties, the membrane must be compatible with tile adhesives. Because internal membranes are fixed to the Villaboard® lining, you must allow for frame movement and a bond breaker must be incorporated in the perimeter wall/floor junction before the membrane is installed, see Figures 14 and 15.

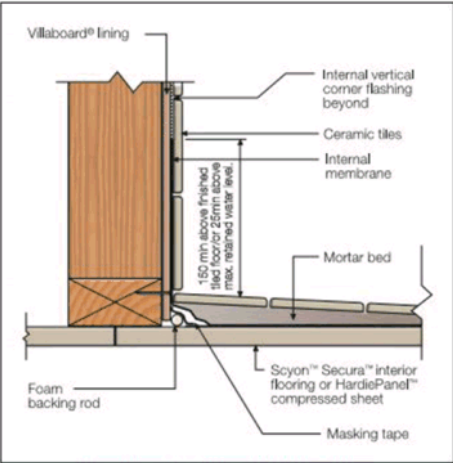


FIGURE 14 IN-SITU APPLIED INTERNAL MEMBRANE

9 PENETRATIONS

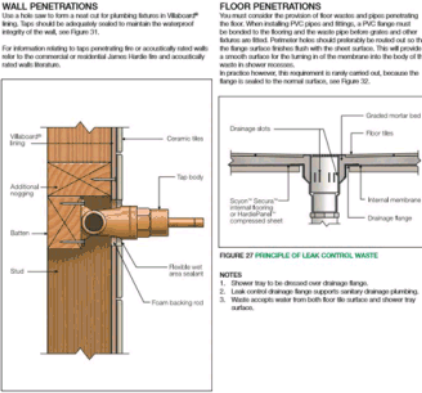


FIGURE 26 TAP PENETRATIONS TO SHOWER WALL

PREFORMED TRAYS AND BASES

With Villaboard lining that will be tiled, sealing is required around preformed trays and bases, see Figure 13 respectively. These trays and bases are usually manufactured from plastic, fibreglass or stainless steel, in a variety of sizes and configurations. Preformed trays and bases must be installed to manufacturer's instructions.

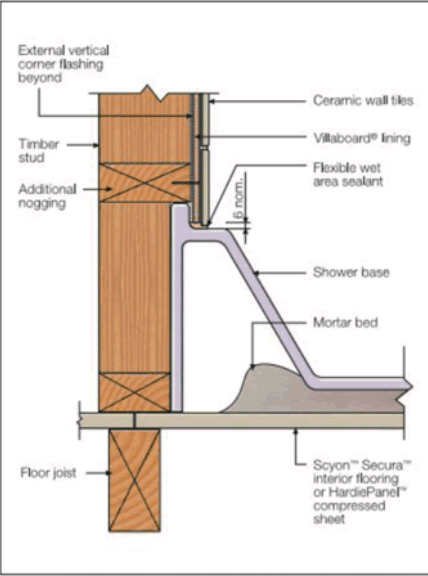


FIGURE 13 PREFORMED TRAY DETAIL FOR VILLABOARD LINING TO BE TILED

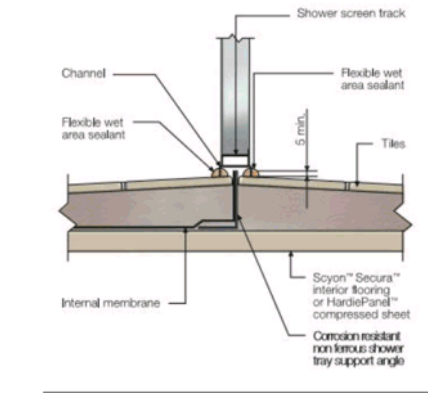


FIGURE 19 HOBLESS SHOWER

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DESIGN AND INSTALLATION CRITERIA FOR WET AREA WATERPROOFING (Table 2.1 AS3740-2004)

VESSELS OR AREA WHERE THE FIXTURE IS INSTALLED	LEVEL OF RISK	DESIGN AND INSTALLATION CRITERIA			
		Floor	Walls	Junctions	Penetrations
Shower area	High	Waterproofed and drained.	Water-resistant	Waterproof	Waterproof*
Bathrooms	Medium	Concrete and compressed fibre cement sheet flooring.	N/A	Waterproof†	N/A
		Water resistant‡			
		Timber floors including particleboard plywood and other materials.	N/A	Waterproof†	N/A
Areas adjacent to baths and spas § (applies to all rooms in which a bath or spa is installed).	Medium	Concrete and compressed fibre cement sheet flooring.	Water-resistant §	Waterproof	Horizontal surface waterproof*
		Water resistant‡			Vertical surface water-resistant.
		Timber floors including particleboard, plywood and other materials.	Water-resistant §	Waterproof	Horizontal surface waterproof*
Walls adjoining other vessels (e.g. sink, basin or laundry tubs).	Low	N/A	Water-resistant	Waterproof	Horizontal surface waterproof*
					Vertical surface water-resistant.
Laundries and WCs	Low	Water resistant‡	N/A	Water-resistant†	N/A
Bathrooms and laundries requiring a floor waste in accordance with Volume one of the BCA.	High	Waterproofed and drained.	N/A	Waterproof†	Waterproof where through the floor, otherwise, N/A.

LEGEND:

N/A = Not applicable

* Including mechanical fixings or fastenings through surface materials.

† Wall/floor junctions only.

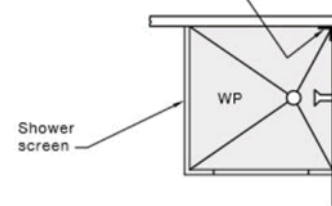
‡ Where a floor waste is provided the floor shall be graded to the waste.

§ If a shower is included in a bath, include the requirements for shower area walls.

GENERAL REQUIREMENTS FOR EXTENT OF APPLICATION (Table 4.1 AS3740)

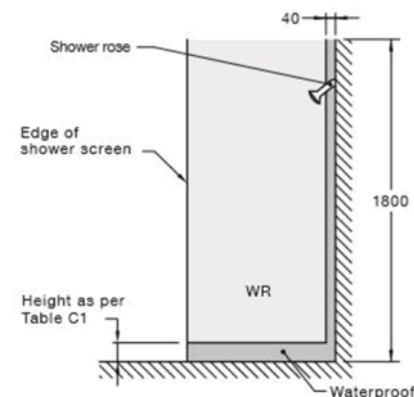
VESSELS OR AREA WHERE THE FIXTURE IS INSTALLED	REQUIREMENTS FOR ELEMENTS			
	Floor and horizontal surfaces	Walls	Wall junctions and joints	Penetrations
Insert baths	N/A for floor under the bath. Waterproof entire shelf area, incorporating a waterstop under the bath lip and project a minimum of 5mm above the tile surface.	N/A for wall under the bath. Waterproof to 150mm min. above the lip of the bath*.	N/A for wall under the bath*.	Waterproof tap and spout penetrations where they occur in a horizontal surface.
Walls adjoining other vessels (e.g. sink, basin or laundry tub)	N/A	Water resistant to a height of 150mm min. above vessel if the vessel is within 75mm min. of the wall.	Where the vessel is fixed to a wall, seal edges for extent of vessel.	Waterproof tap and spout penetrations where they occur in a horizontal surface.
Laundries and WCs	Water resistant to entire floor.	Seal all wall to floor junctions with a skirting or flashing to 25mm min. above the finished floor level, sealed to the floor.	Waterproof all wall to floor junctions, where a flashing is used the horizontal leg shall be a minimum of 50mm.	N/A
Bathrooms and laundries requiring a floor waste in accordance with Volume one of the BCA.	Waterproof and drain entire floor.	N/A	Seal all wall to floor junctions with a skirting or flashing to 25mm min. above the finished floor level, sealed to the floor.	Waterproof penetrations where they occur through the floor.

Waterproof corner to 1800 high from finished floor level, minimum width of 40 either side of the junction

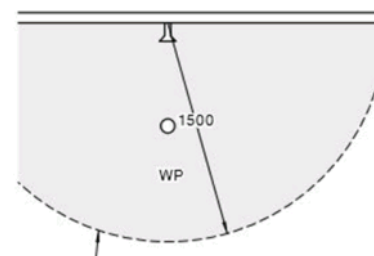


(i) Plan view

(a) Enclosed shower

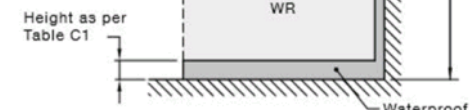


(ii) Side view



(i) Plan view

(b) Unenclosed showers—Concrete and compressed fibre cement sheet floors



(ii) Side view

NOTE: All floor waterproofing to terminate at a waterstop.

DIMENSIONS IN MILLIMETRES

FIGURE C1 EXTENT OF THE TREATMENT FOR SHOWER AREAS—CONCRETE AND COMPRESSED FIBRE-CEMENT SHEET FLOORS
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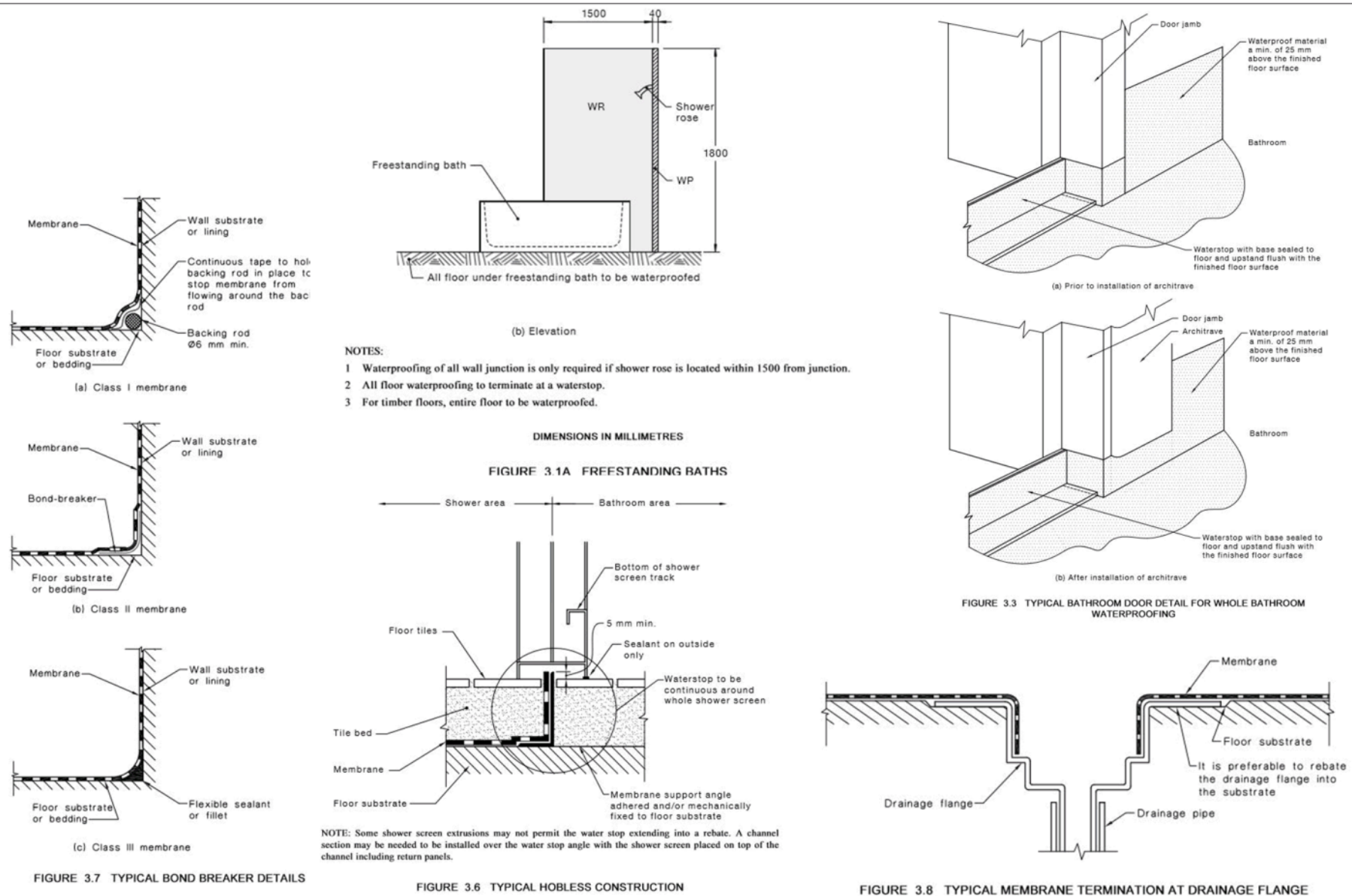
PROPOSED NEW WEATHERBOARD EXTENSION & RENOVATION TO BRICK RESIDENCE AT 34 PROCTORS RD DYNMYRNE FOR M & V NALLY

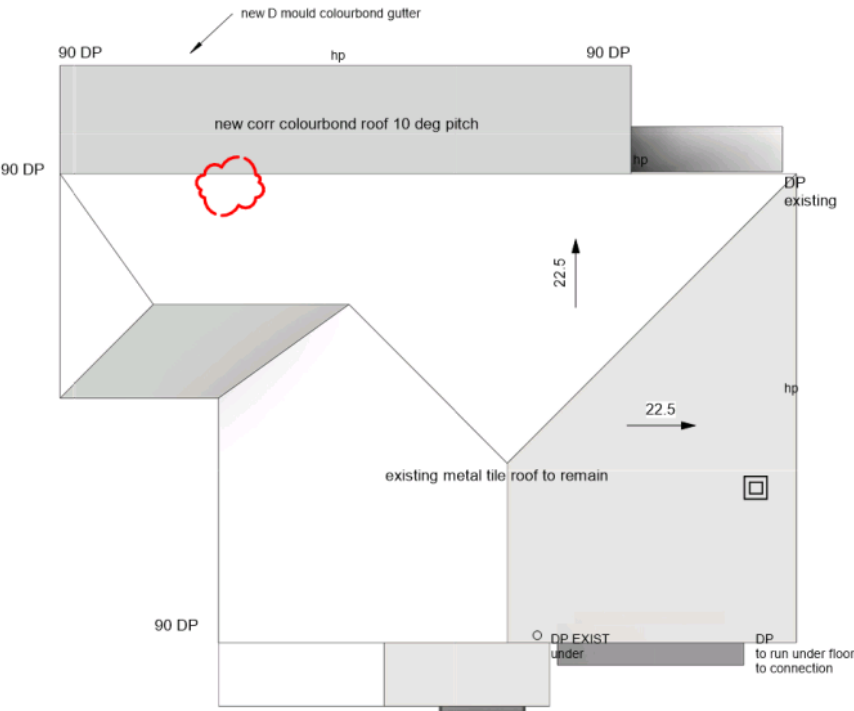
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Waterproofing
3

SHEET NO.
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ROOF PLAN 1:100

ROOFING DETAILS

Existing metal roof tile sheeting to remain
Install new R6.0 bulk insulation to all pitched roof ceilings
Install R 4.0 bulk insulation to new skillion roof allowing 50 air gap to roof cladding
R1.5 anticon sarking under all new roof coverings
See detail sheet A1.07 for skillion roof detail in section
Pitched skillion roof over back dining hall stairway as detail
White colourbond D mould gutter to match existing
White painted 90mm UPVC downpipes where shown (replace existing 78mm DP's
Replace gutters as shown or required if deteriorated

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PROPOSED NEW WEATHERBOARD EXTENSION & RENOVATION TO BRICK
RESIDENCE AT 34 PROCTORS RD DYNMYRNE FOR M & V NALLY

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ROOF PLAN

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<p>Note: In the construction industry, both designers and builders are required to produce OHSE Risk Registers as a standard part of their work but the focus differs for each. This register is not exhaustive.</p> <p>Designers of buildings and structures The designers of buildings and structures have obligations to identify, and control the occupational health, safety and environmental hazards and risks of their design so as not to affect the use, enjoyment, servicing or maintaining their buildings and structures, or the safety of the public accessing the building or structure for lawful purposes.</p> <p>Builders Builders of buildings and structures have obligations to co-ordinate and communicate with the designer(s) so as to identify critical occupational health, safety and environmental hazards and risks inherent in the design and to ensure, during construction, persons involved or affected by the building works are free of the risk of death or injury during construction.</p> <p>We have produced this register to help designers to identify the risks associated with their designed buildings, including the materials they choose to specify.</p> <p>We acknowledge, with appreciation, the help of Mr John Woodford, owner of Woodford Consulting, 0424 144 887 jwoodford@bbbspend.com</p>				
Hazard	Risk	Examples	Controls	References
Structural collapse/ failure of building or structure	Lack of documented building/ structure design criteria for dead and live loads to assist the builder's decisions on construction methodology/ Lack of specific detail about complex componentry or products/ equipment	Construction of conventional formwork system compromises the building stability. Emerging slim and light materials, composites, glues etc.	Document and provide the builder with critical live/ dead loads on structure. Document the sequence of construction/ erection of critical componentry. Provide manufacturer recommendations for use in construction project.	AS1288 Glass in buildings – selection and installation. Manufacturers' Australian Data Sheets.
Trafficable surfaces on a building or structure	A surface on a building or structure that can be accessed and that is not certified as trafficable or a surface that may be trafficable when received from manufacturer but can degrade over time due to exposure to the elements and become non-trafficable.	Concrete and terracotta roof tiles, glass, plastic, fire/glass sheets, membranes, other natural and synthetic materials people may access as they install, service, use or maintain a building or structure.	Ensure materials selected for surfaces that can be accessed on a building or structure are trafficable for the life of its use on a building or structure.	AS1288 Glass in buildings – selection and installation. Manufacturers' Australian Data Sheets.
Locations at height on a building or structure	A surface being accessed at height not provided with compliant edge protection to prevent a person or items falling to below.	Roofs, work platforms, ledgers, slabs or other elevated locations that can be accessed or required to be accessed on a building or structure.	Ensure areas people can access at height are protected by compliant edge protection.	AS1557 Fixed platforms, walkways, stairways and ladders - Design, construction and installation.
Access and egress to a building or structure.	Ladders, ramps, stairs etc. leading to or from a place capable of being accessed by people on a building or structure.	Non-compliant access and egress provided to a location for service maintenance, repair or use.	Ensure any means of access and egress to or from a building or structure is compliant with relevant Australian Standards.	AS1557 Fixed platforms, walkways, stairways and ladders - Design, construction and installation.
Confined spaces that are capable of being accessed on a building or structure.	Asphyxiation.	Coiling space, vat, tank, pit, pipe, duct, flue, chimney, silo, container, pressure vessel, underground sewer, wet or dry well, shaft, trench or tunnel.	Provide compliant access and atmospheres.	AS 2685 Confined Spaces
Applied finishes	Materials and substances selected for a building or structure that are toxic, hazardous or capable of causing a person to be exposed to a disease as a consequence of its selection, use and maintenance.	Mists, dusts, fumes, liquids etc. that are generated or emitted by a substance/ chemical selected in a building or structure.	Select non-toxic or non-hazardous chemicals/ substances in the design of a building or structure.	
Facade	Glass manufactured overseas containing impurities that cause the glass to fall, crack and fall out into public space.	The use of the blue reflective glass in a steel tower fracturing and falling to ground below. Gold reflective glass causing heat shed to adjacent public and buildings. Windshields have been detached and crashed to the sidewalk.	Select for performance as well as aesthetics.	
Underground structures	Exposure of essential building and community infrastructure exposed to flood and other natural causes.	Brisbane floods affected power, telecommunications and building services operability.	Consider the location of essential and building/ structure services to best protect in predictable disasters.	
Slip resistance of trafficable surfaces.	A person slipping or falling whilst traversing a trafficable surface at a building or structure. The risk should also consider environmental factors that may add to the potential for a person slipping or falling whilst traversing a surface i.e. effects of water during rain, dust as a consequence of inadequate cleaning etc.	The loss of contact with the trafficable surface as a consequence of the coefficient between the surface and the sole of the footwear – losing grip.	Include the effects of floor slip resistance of finishes, i.e. granite, marble, tile and finishes on synthetic or natural materials that diminish to grip (co-efficient) between the surface and footwear. Include the potential for aged and less able people who may traverse a surface in a building or structure.	AS/NZS 3661.1 Slip resistance of pedestrian surfaces. AS/NZS 4588 Slip resistance classification of new pedestrian surface materials. HB 167 Hand book on slip resistance, Australian standard.
Reflection and glare	Unwanted reflected heat or glare from a building or structure, building materials etc.	The increase of heating/ cooling costs as a consequence of reflected heat/ cold on adjacent buildings or structures or impact on others i.e. pedestrian or traffic affected by reflected glare or heat/cold.	Consider the selection of building materials and the impact of their selection and placement on the surrounding buildings, structures and persons exposed to subsequent reflection or glare.	
Hazardous substances/chemicals	Risk to the health of owner, occupier, other persons attending the building or affected as a consequence of the substances/chemicals used	White ant treatment, fire ant treatment, waterproofing, insulation etc.	Review selection to identify substances, chemicals that will not affect the environment or the health and safety of persons at or near the construction site or fill-up, that access and egress is adequate as well as anchorage.	Codes of Practice
Pre cast and Tilt-up	Collapse and falling panels	Collapse or movement of pre-cast or tilt-up panels during installation	Ensure during design process, involving pre-cast or tilt-up, that access and egress is adequate as well as anchorage. Installation procedures include standing, placement (temporary and permanent), has been documented and signed off by competent persons, e.g. structural engineer or geo-technical engineer.	
Material choice, maintenance, cleaning and servicing of external facades and surfaces of building and structures.	The selected product was not compliant with the BCA.	This external cladding material on a 21 storey apartment building was combustible and therefore did not impede the spread of fire but caught fire and severely damaged the building.	Ensure not only the selection but final certification of product used as external cladding for a building or structure is in compliance with the Building Code of Australia	Ensure external cladding products specified comply with AS 1530.1 (R2016) and not just with AS 1530.3.

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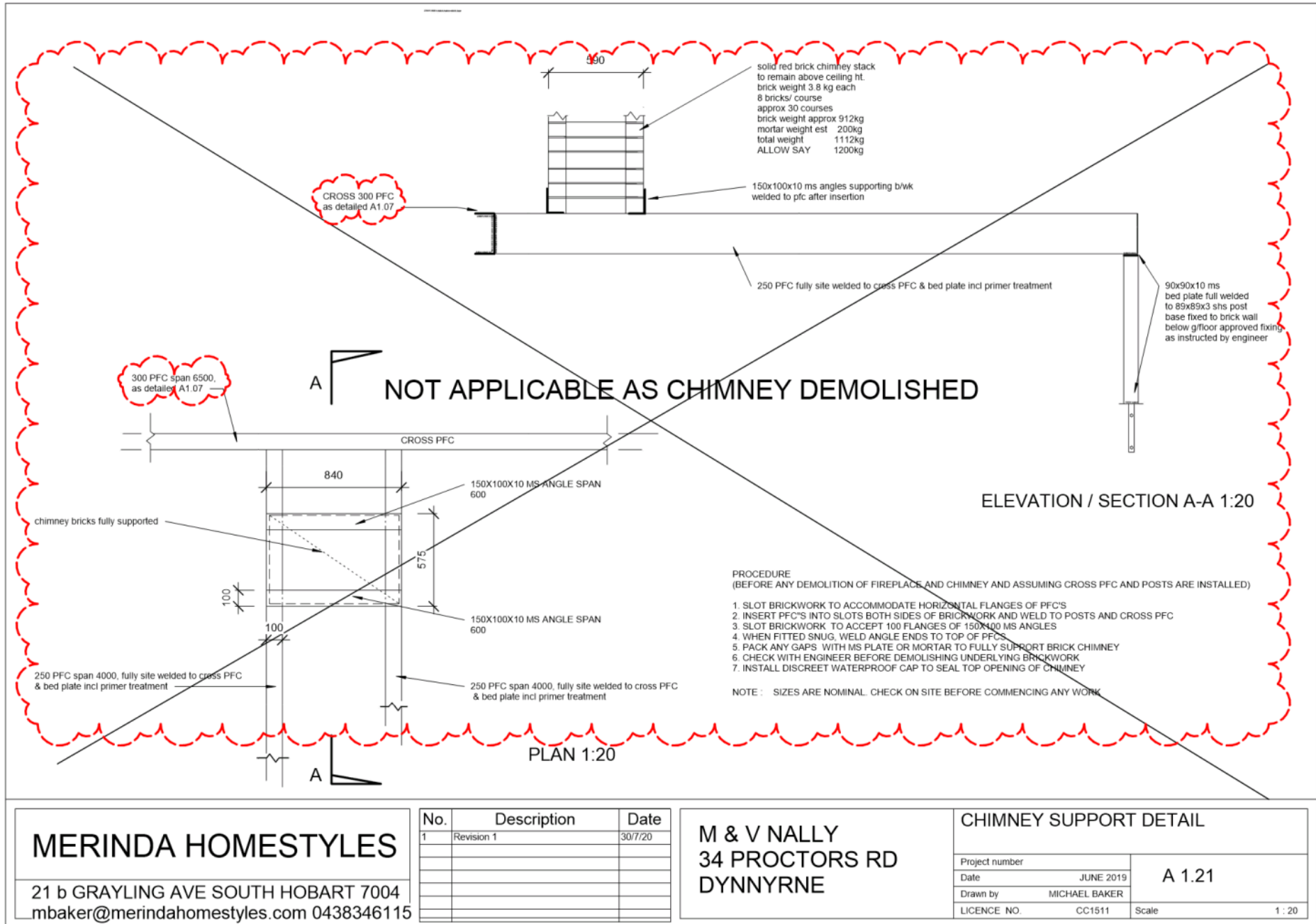
21 b GRAYLING AVE SOUTH HOBART TAS 7004
 mbaker@merindahomestyles.com ph 0438346115

PROPOSED NEW WEATHERBOARD EXTENSION & RENOVATION TO BRICK RESIDENCE AT 34 PROCTORS RD DYNMYRNE FOR M & V NALLY

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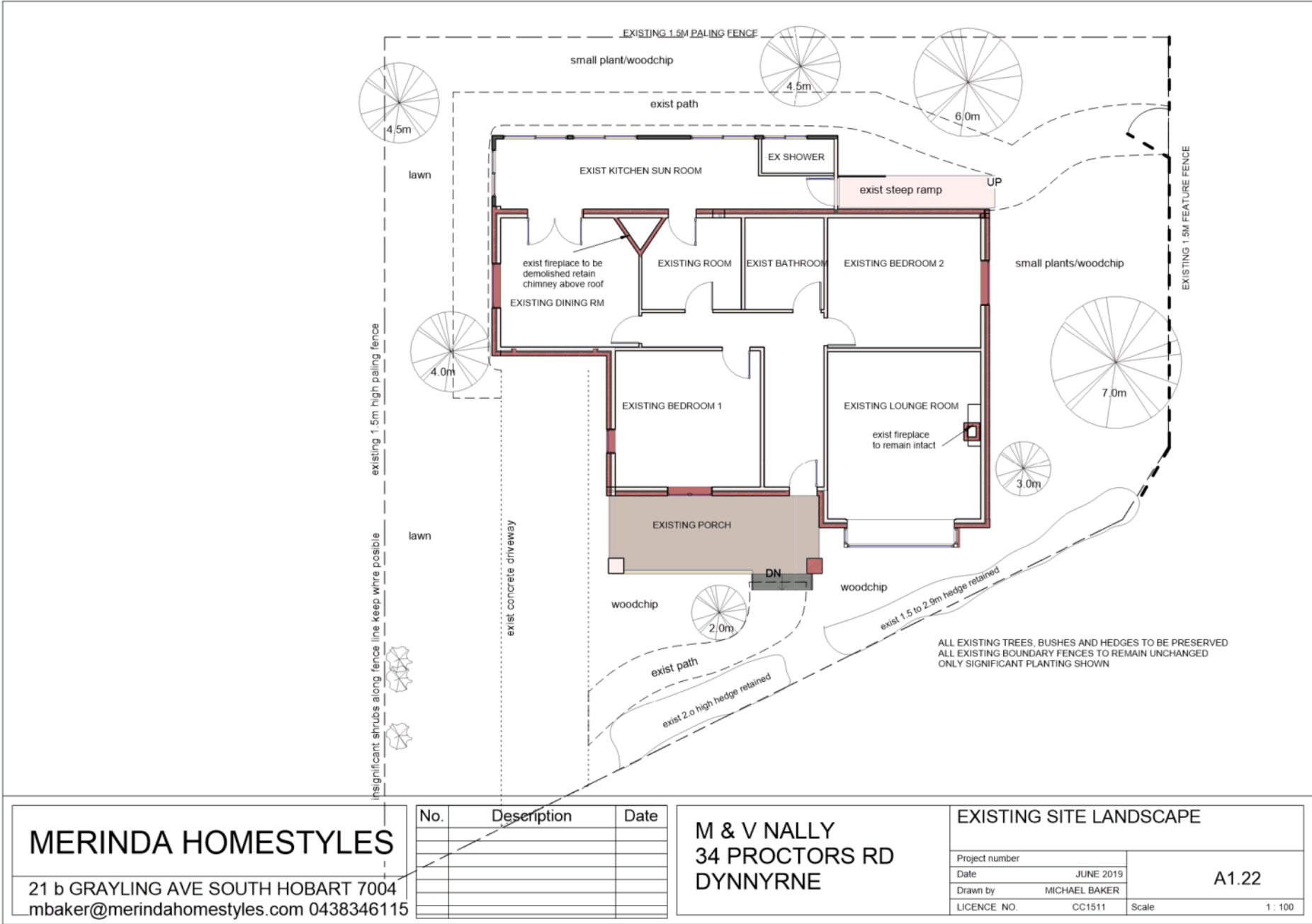
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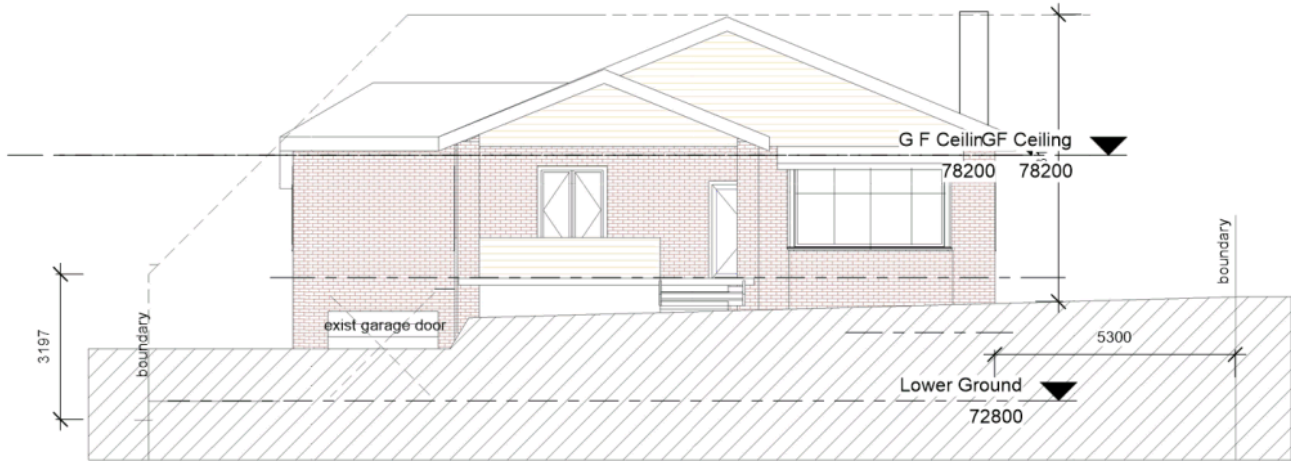
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34 PROCTORS RD
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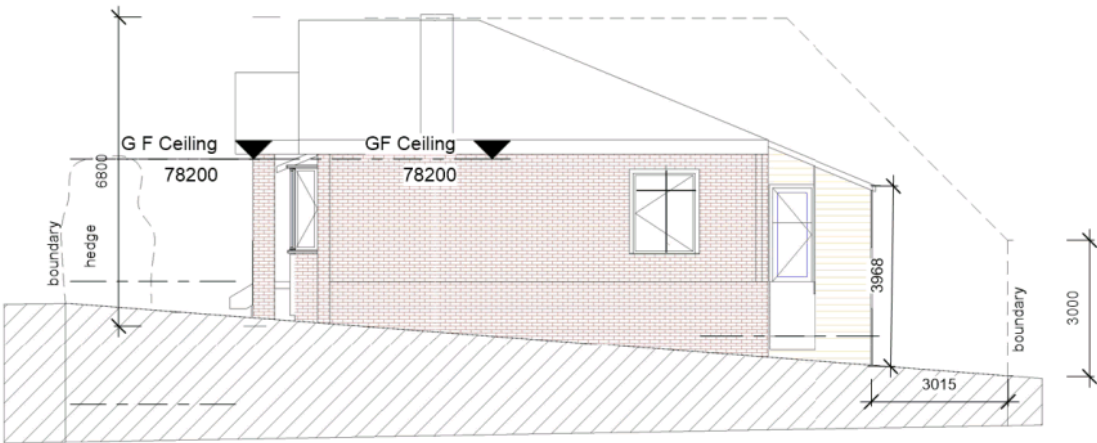
CHIMNEY SUPPORT DETAIL

Project number		A 1.21
Date	JUNE 2019	
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LICENCE NO.	CC1511	Scale 1 : 20





SOUTH WEST ELEVATION



SOUTH EAST ELEVATION

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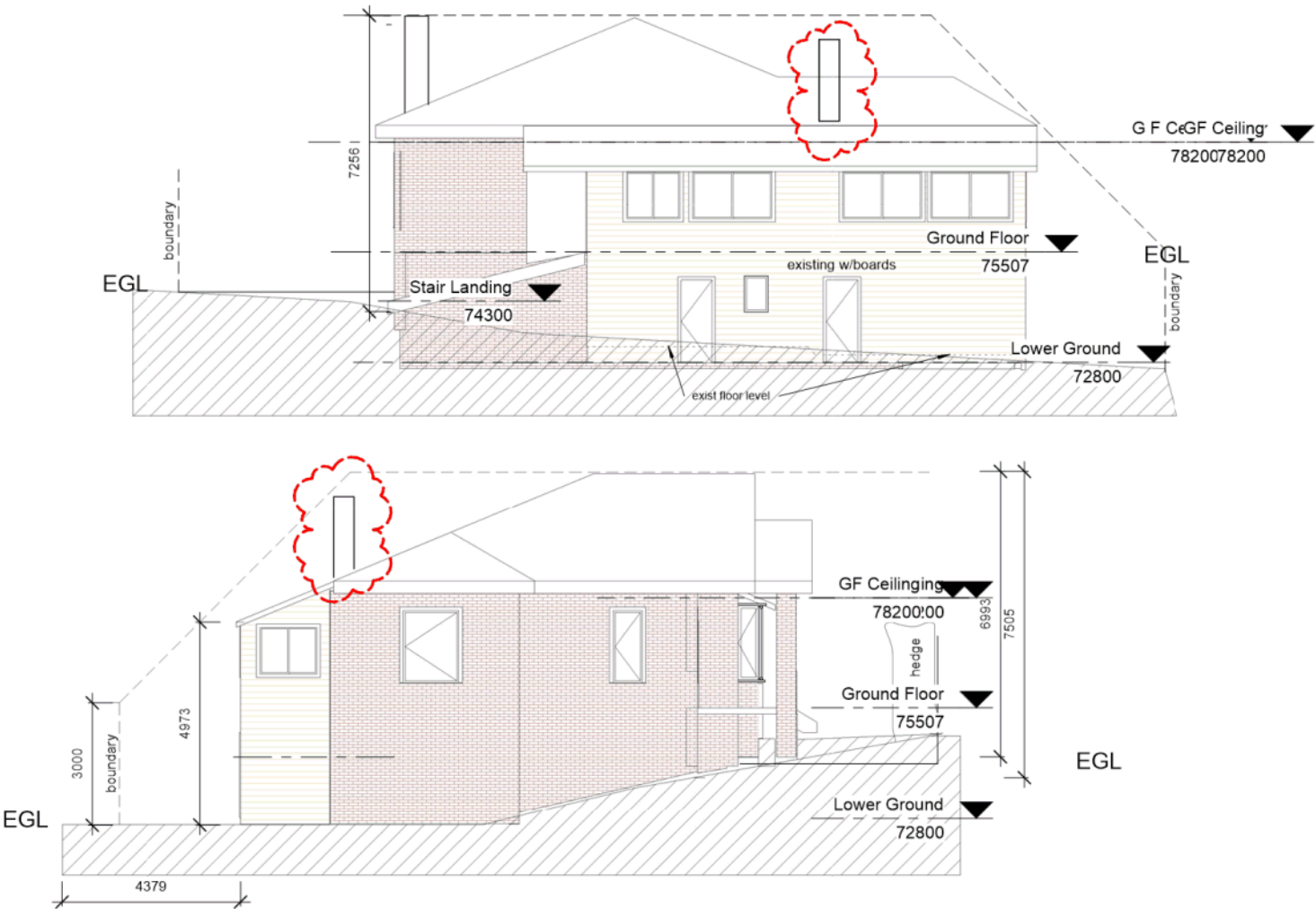
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No.	Description	Date

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BUILDING ENVELOPE EXISTING

Project number		A1.23
Date	JUNE 2019	
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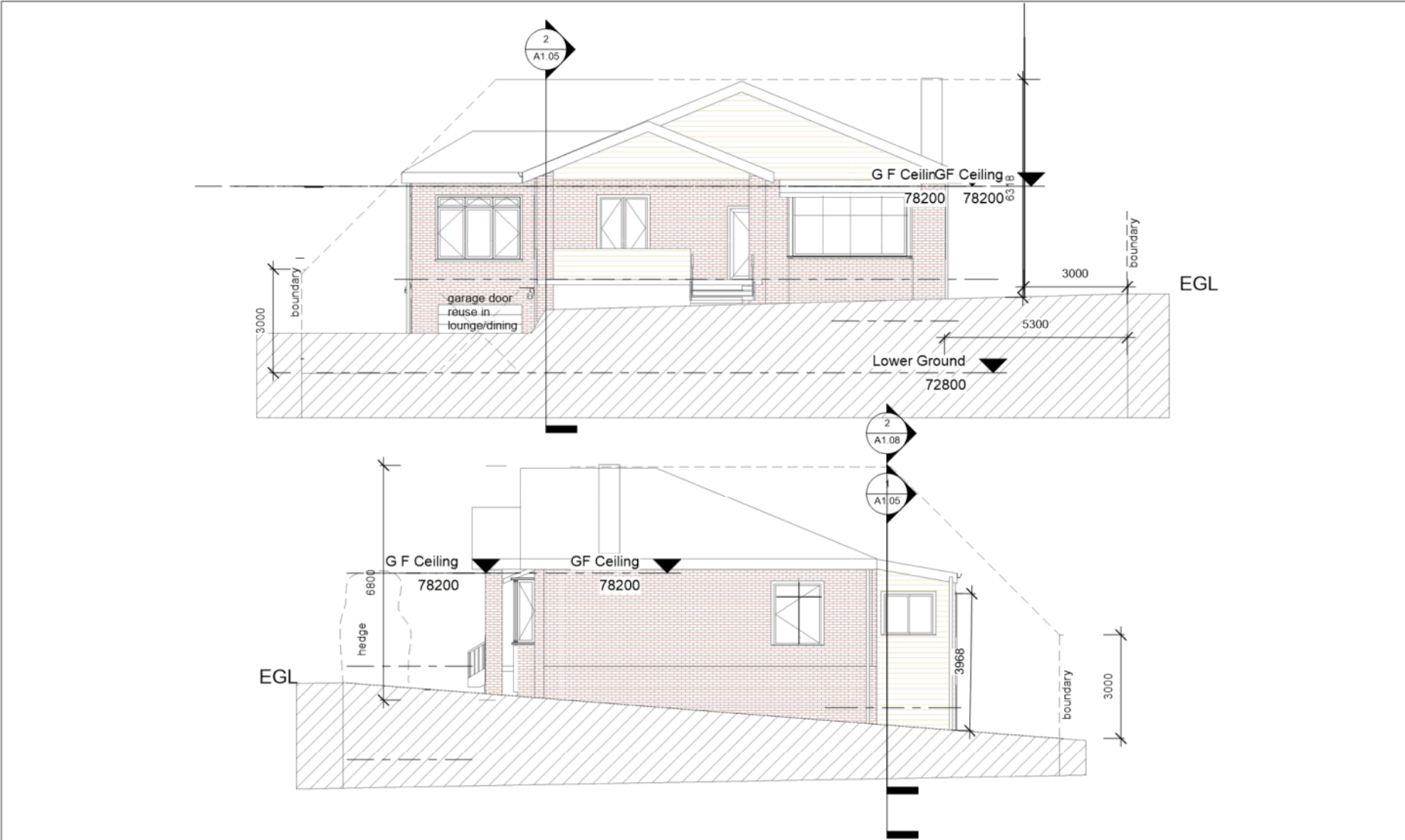
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No.	Description	Date
3	demolish chimney	1/2/21

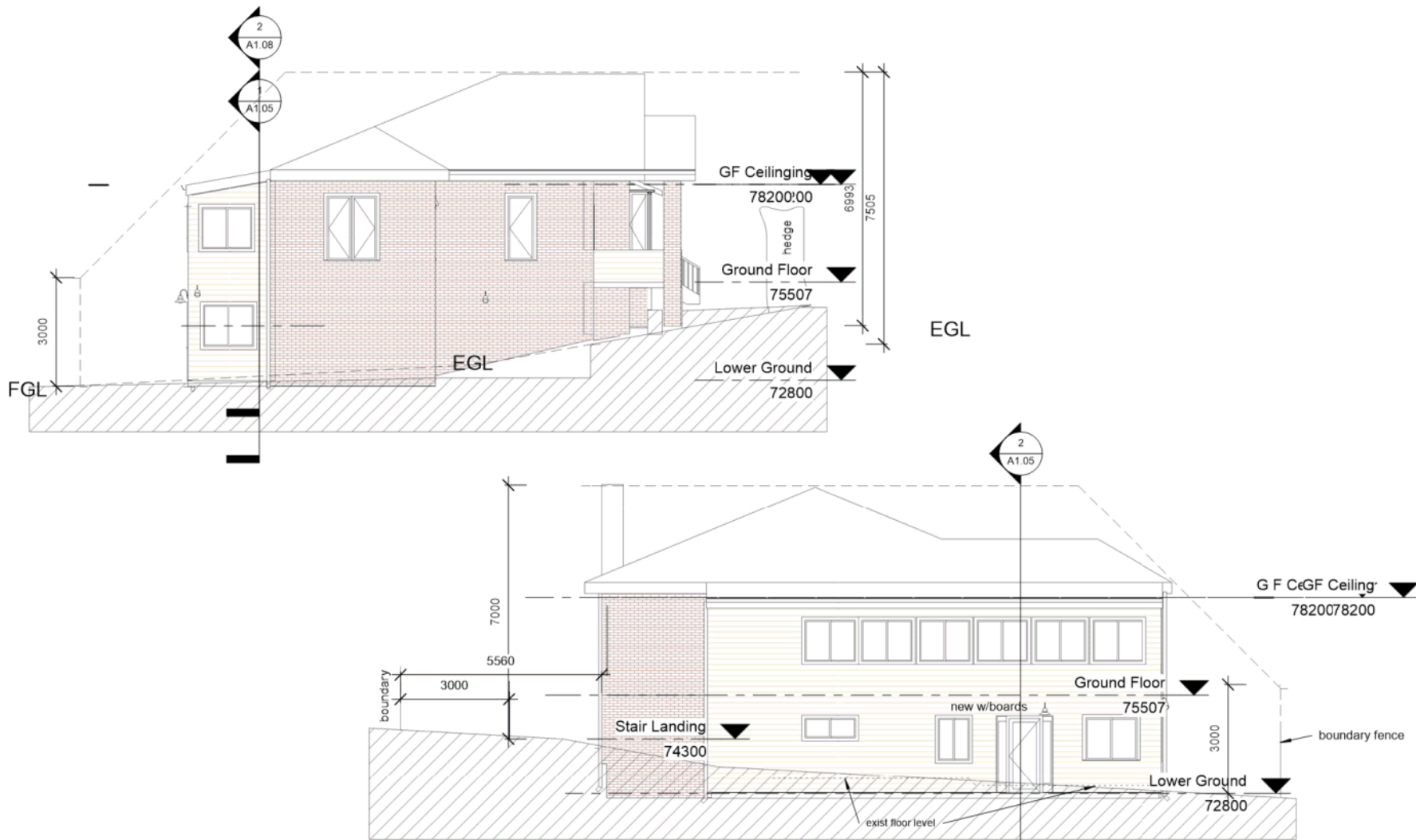
M & V NALLY
34 PROCTORS RD
DYNNYRNE

BUILDING ENVELOPE EXISTING

Project number		A 1.25
Date	JUNE 2019	
Drawn by	MICHAEL BAKER	
LICENCE NO.	CC1511	Scale 1 : 100



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					Project number		
					Date	JUNE 2019	
					Drawn by	MICHAEL BAKER	
					LICENCE NO.	CC1511	Scale 1 : 100



MERINDA HOMESTYLES

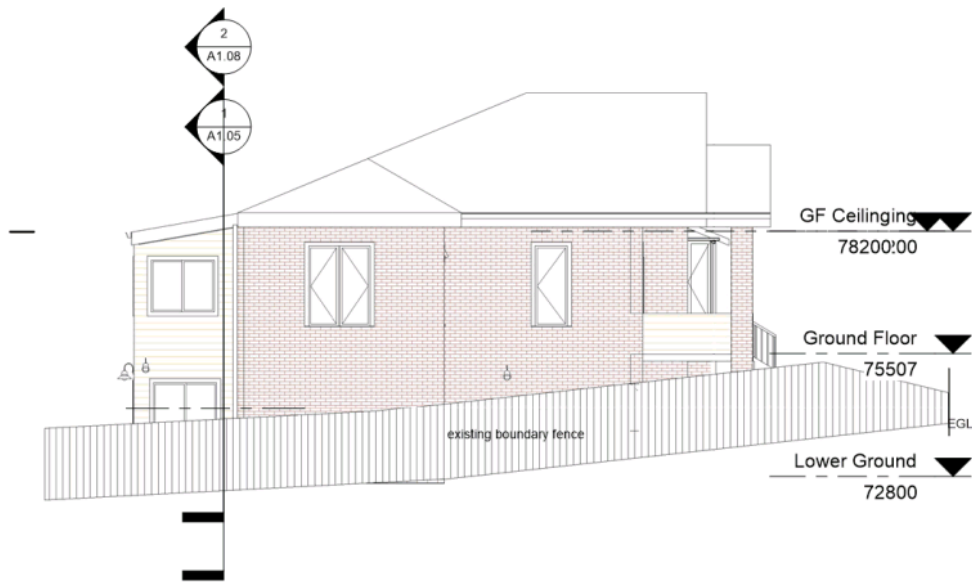
21 b GRAYLING AVE SOUTH HOBART 7004
mbaker@merindahomestyles.com 0438346115

No.	Description	Date

M & V NALLY
34 PROCTORS RD
DYNNYRNE

BUILDING ENVELOPE PROPOSED

Project number		A 1.26
Date	JUNE 2019	
Drawn by	MICHAEL BAKER	
LICENCE NO.	CC1511	
Scale	1 : 100	



NORTH WEST BOUNDARY ELEVATION

MERINDA HOMESTYLES

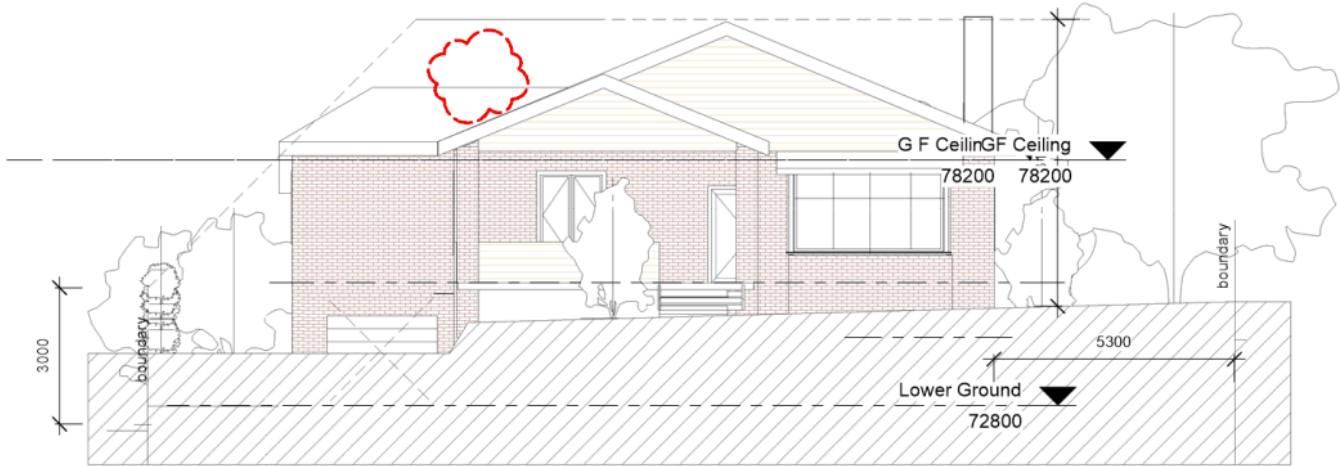
21 b GRAYLING AVE SOUTH HOBART 7004
mbaker@merindahomestyles.com 0438346115

No.	Description	Date

M & V NALLY
34 PROCTORS RD
DYNNYRNE

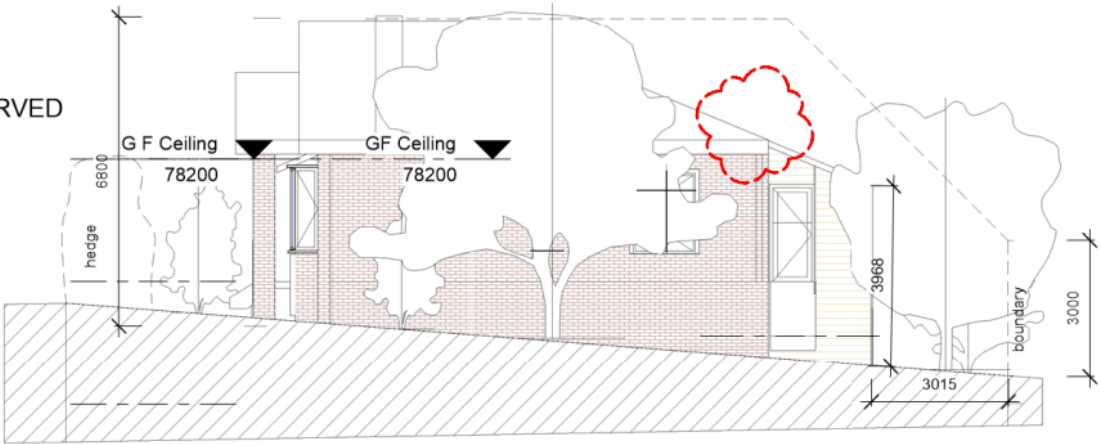
PROPOSED BOUNDARY ELEVATION

Project number	A 1.27	
Date	JUNE 2019	
Drawn by	MICHAEL BAKER	
LICENCE NO.	CC1511	Scale 1 : 100



SOUTH WEST ELEVATION

ALL SIGNIFICANT PLANTING TO BE PRESERVED



SOUTH EAST ELEVATION

MERINDA HOMESTYLES

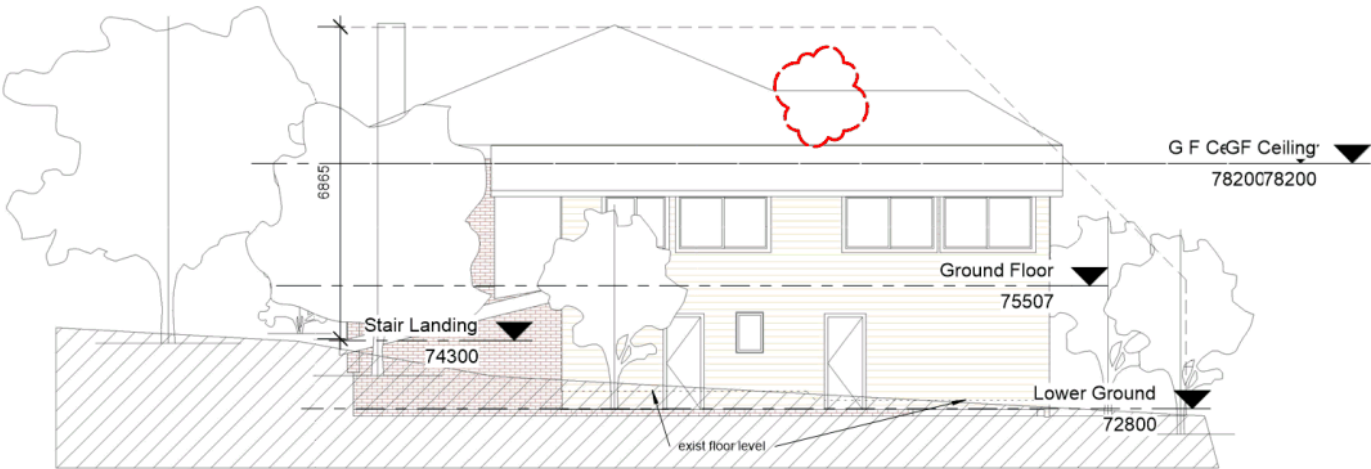
21 b GRAYLING AVE SOUTH HOBART 7004
mbaker@merindahomestyles.com 0438346115

No.	Description	Date
3	demolish chimney	1/2/21

M & V NALLY
34 PROCTORS RD
DYNNYRNE

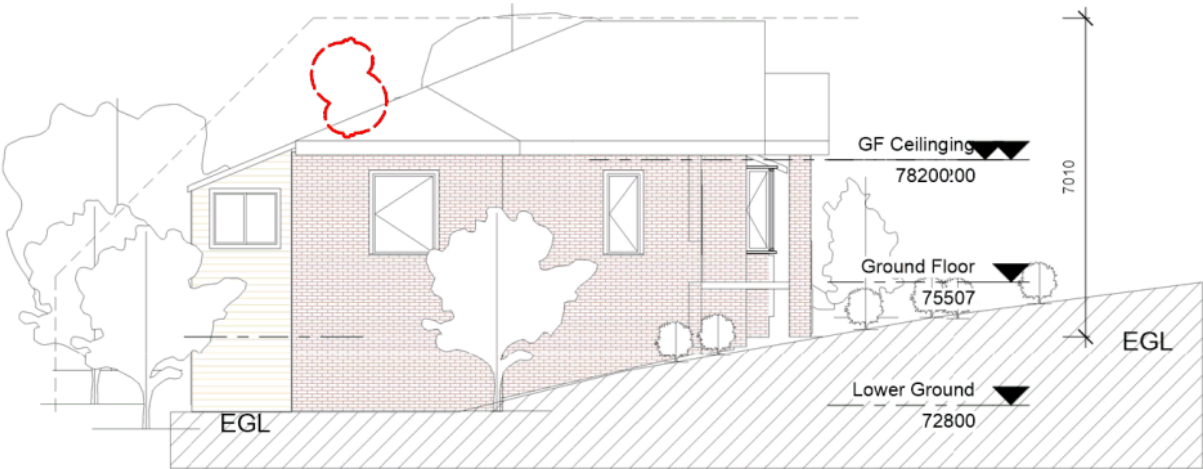
EXIST ELEVATION LANDSCAPE

Project number		A 1.28
Date	JUNE 2019	
Drawn by	MICHAEL BAKER	
LICENCE NO.	CC1511	Scale 1 : 100



NORTH EAST ELEVATION

ALL SIGNIFICANT PLANTING
TO BE PRESERVED



NORTH WEST ELEVATION

MERINDA HOMESTYLES

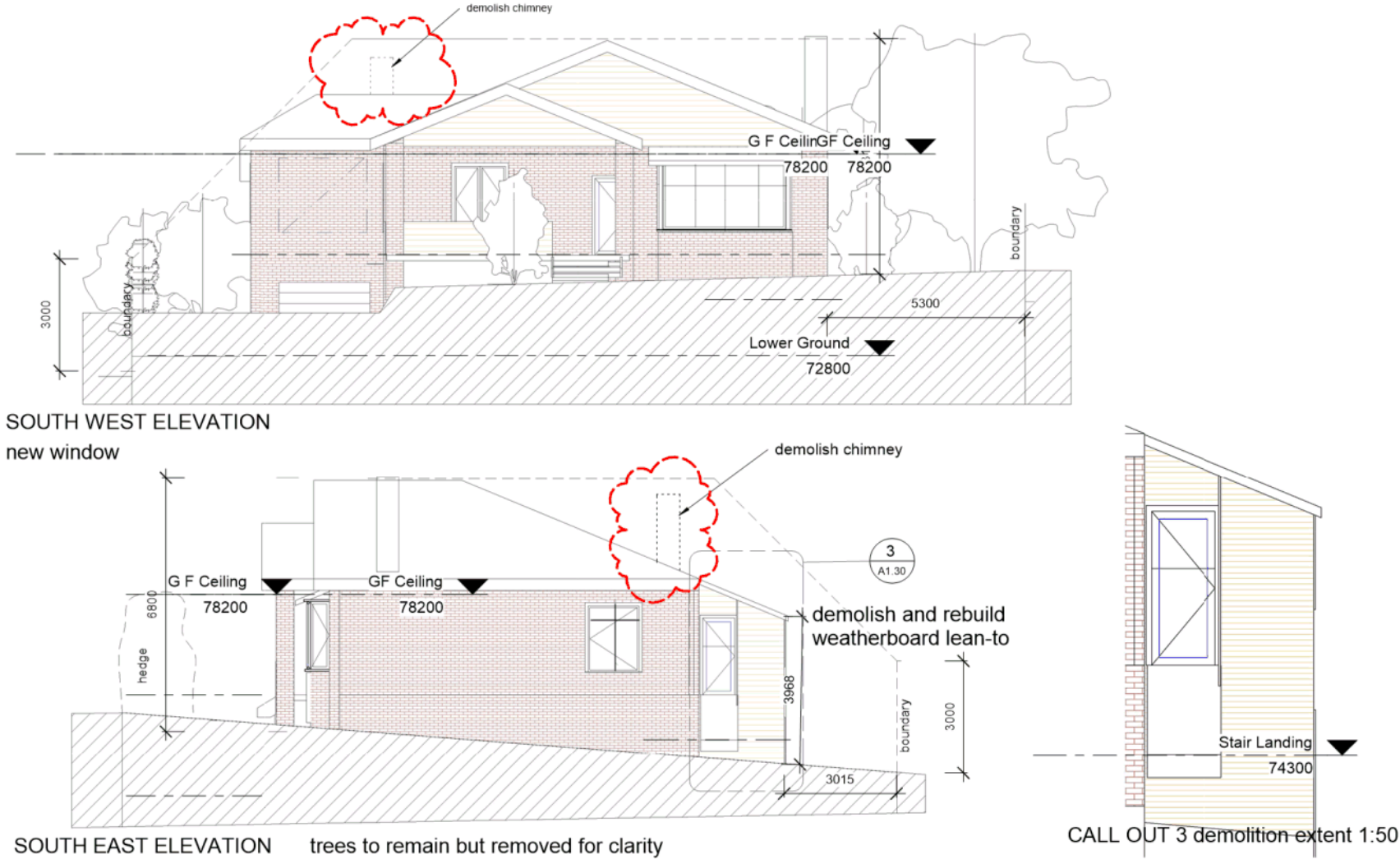
21 b GRAYLING AVE SOUTH HOBART 7004
mbaker@merindahomestyles.com 0438346115

No.	Description	Date
3	demolish chimney	1/2/21

M & V NALLY
34 PROCTORS RD
DYNNYRNE

EXIST ELEVATION LANDSCAPE

Project number		A 1.29
Date	JUNE 2019	
Drawn by	MICHAEL BAKER	
LICENCE NO.	CC1511	Scale 1 : 100



MERINDA HOMESTYLES

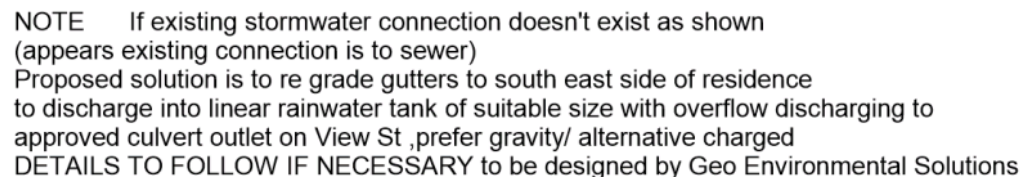
21 b GRAYLING AVE SOUTH HOBART 7004
mbaker@merindahomestyles.com 0438346115

No.	Description	Date
3	demolish chimney	1/2/21

M & V NALLY
34 PROCTORS RD
DYNNYRNE

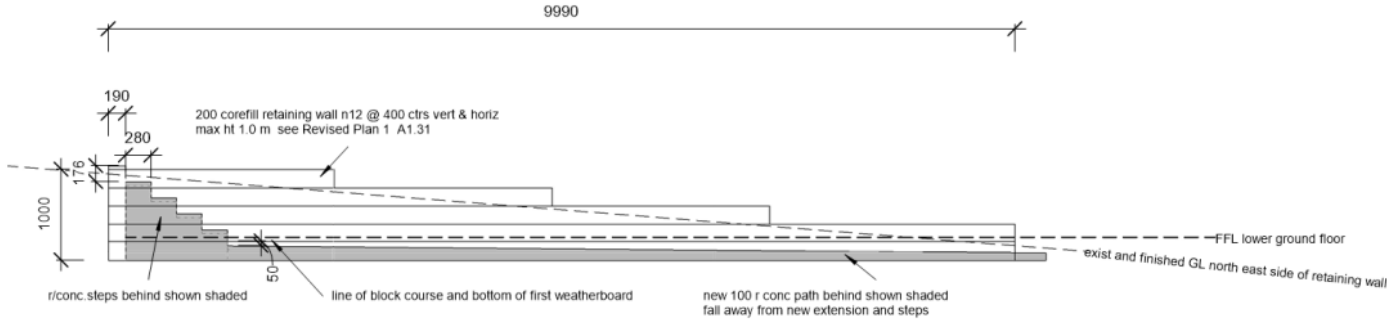
DEMOLITION DETAILS

Project number		A 1.30
Date	JUNE 2019	
Drawn by	MICHAEL BAKER	
LICENCE NO.	CC1511	Scale As indicated

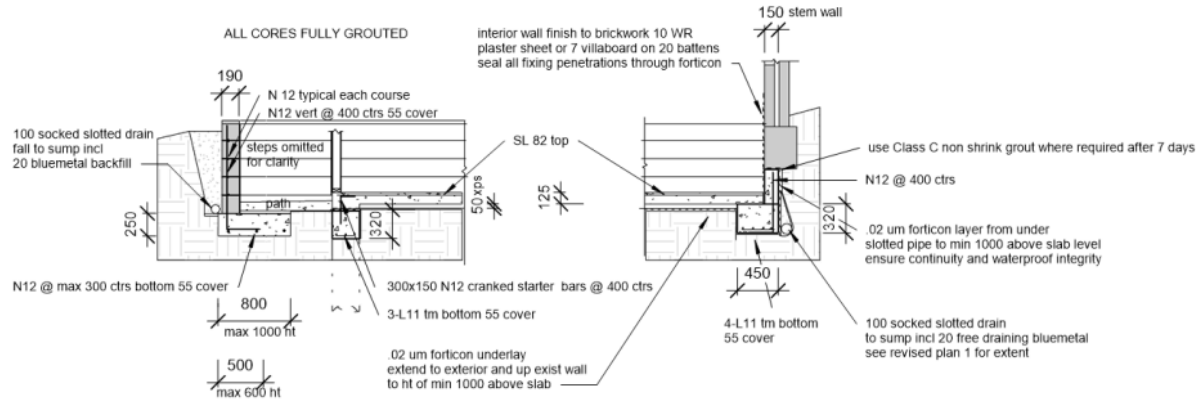


ALL DIMENSIONS TO BE VERIFIED ON SITE BEFORE COMMENCING ANY WORK

MERINDA HOMESTYLES 21 b GRAYLING AVE SOUTH HOBART 7004 mbaker@merindahomestyles.com 0438346115	No.	Description	Date	M & V NALLY 34 PROCTORS RD DYNNYRNE	REVISED FOOTING PLAN 1			
	1	revised footing system	21/1/20		Project number	A 1.31		
					Date			JUNE 2019
					Drawn by			MICHAEL BAKER
					LICENCE NO.	CC1511	Scale	1 : 50



NORTH EAST ELEVATION 1:50



NORTH WEST SECTION/ ELEVATION 1:50

MERINDA HOMESTYLES

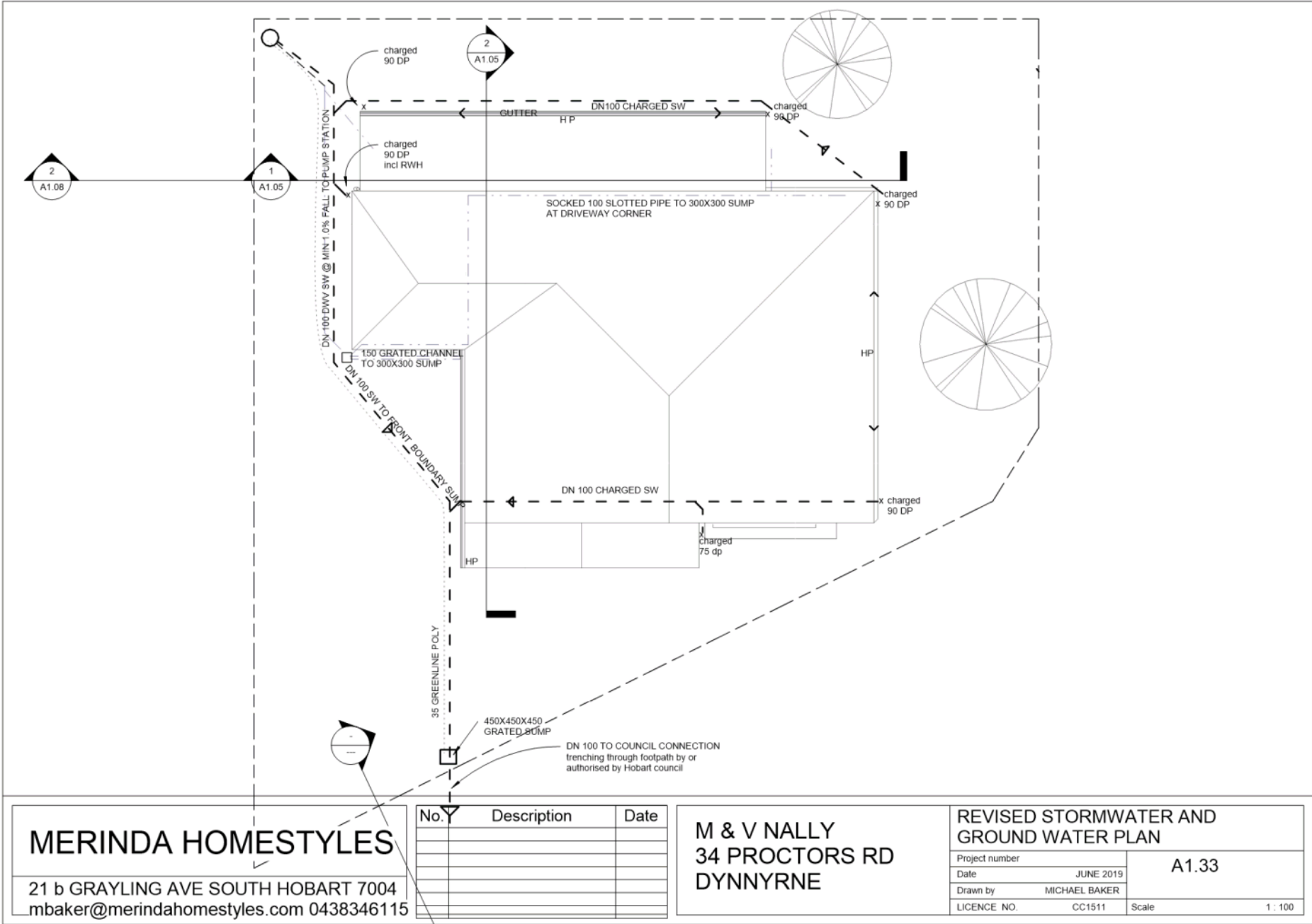
21 b GRAYLING AVE SOUTH HOBART 7004
mbaker@merindahomestyles.com 0438346115

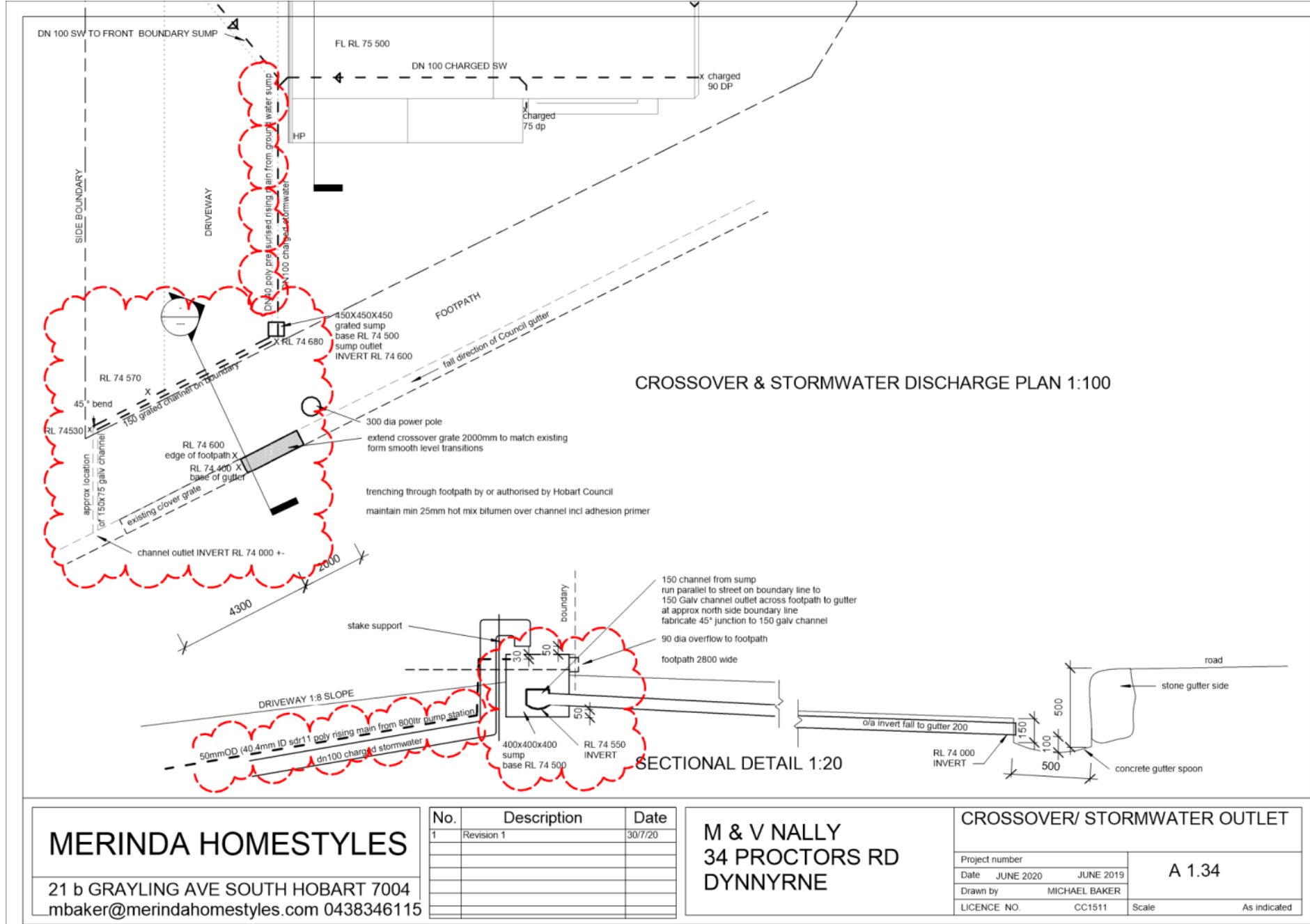
No.	Description	Date
2	revised footing system	21/1/20

M & V NALLY
34 PROCTORS RD
DYNNYRNE

REVISED FOOTING PLAN 2

Project number		A 1.32
Date	JUNE 2019	
Drawn by	MICHAEL BAKER	
LICENCE NO.	CC1511	Scale 1 : 50





To whom it may concern

Re Planning BLD-19-362

Prior to our planning being approved we requested to remove 2 chimneys on our property @34 Proctors Rd Dynnyrne

Our planning was approved when we agreed to retain one fireplace and retain the stack on the other.

We submitted a detailed plan to do so.

During the build it was discovered that the plan that had been submitted was not possible to be delivered safely.

We consulted the Draughtsman and he agreed that it was not feasible to retain the stack.

This was due to the following reasons

- The design was not able to be constructed because it was considered unsafe as the distance between the ceiling and roofline was significantly less than anticipated on the Plan.
- This meant that the plan of constructing a support brace was not possible as there was not enough space.
- Prior to this being determined the adjoining walls has been demolished and the chimney was in danger of collapsing without the support

We were caught with a dangerous situation and it was right in the middle of March 2020.

I then contacted the Council and advised them what we had proposed. I left messages with Jeff Kraftt

I attempted to contact Jeff Kraftt again on several occasions and was eventually a few weeks later advised that he no longer was with the Council

We proceeded to make the site safe and the renovation continued.

I then contacted the Council and advised them what we had done to make the site safe.

I was advised to write and confirm the details.

Under no circumstances did we anticipate this difficult situation.

We did make the decision to continue as we were able to make safe and keep the builders employed during a very strange and very challenging time.

I attach the photos from the front of the house to demonstrate that the stack was not highly visible prior to the renovation commencing and I seek your approval to modify our plan to remove the stack.

I also attach the email relating to the Draughtsman's and Builders view of the Situation.

I maintain that we have complied with all other conditions and request that our case be assessed on its merits in a very difficult time.

Our renovation is in keeping with the streetscape in every respect and has enabled us to maintain the house in a manner that adds value to the neighbourhood.

I respectfully request that we be allowed to vary our plans to accommodate the retention of the one fireplace and the removal of the other fireplace and Chimney as it was deemed unsafe to retain the stack only.

I attach as imbedded items photos and the email correspondence referred to in my letter.

Yours Faithfully

Martin Nally

34 Proctors Rd

Dynnyrne

Please note these two photos below were taken on the same day

- 30 October 2015

The first Photo demonstrates that the LHS back Chimney was not visible from the street.

The second photo demonstrates that the LHS Chimney was only just visible from the street

The RHS Chimney has been retained

The LHS Chimney was not able to be safely retained.



MERINDA HOMESTYLES

21-b-Grayling Ave

South Hobart 7004

abn 19 608 840 040

To whom it may concern

After a lengthy discussion on how to retain the rear northern side chimney as required by Heritage dept, I designed a steel frame support system that appeared to solve the problem of fireplace removal and retention of chimney.

This design was slightly modified by the Structural Engineer, passed his approval and was submitted to Council.

On demolition of the fireplace and surrounding walls it was reportedly found by the Builder that due to the way the chimney flue was build, there was a safety problem if the support structure was built as designed.

The cantilever effect of the chimney height may long term not be stable. I agreed that the stability was now an issue for me.

Further discussions did not resolve the problem, other than of building a false lightweight framed and brick tile clad structure to resemble the existing chimney.

It was always noted that heritage dept. requirements be met , or further discussions be made to the dept on a proposed resolution. Demolition being a possible outcome.

I left the discussion at this point and until now did not know of the outcome.

Michael Baker

Residential Designer

Merinda Homestyles

CC1511

To whom it may concern

In regards to the chimney at 34 Proctors road it had always been the intention of the client and the builder to retain it. The steel and temporary propping had all been allowed for in the contract and the design to support it had been drafted prior to any demolition. However after the internal walls and ceiling had been removed it became evident there was not enough ceiling space in reality to safely carry out the work. A bit like balancing an upright snooker cue on the palm of your hand there was not enough chimney between the ceiling and the roofing iron to continue without the risk of the chimney toppling over. At this point the chimney was freestanding rather than enclosed because the walls adjacent to it had already been removed as per the plan. These walls acted as buttresses and had helped to stabilise the fireplace in its original state. The clients were advised of these concerns.

They consulted their designer to try and find an alternative solution but with such limited space an alternative solution could not be found. The clients then instructed the builder to remove the chimney and eliminate any risk of injury.

regards

OCONBuilt

Charlie Greenwood

Operations Manager

OCON Built

P: 03 6248 4000 **M:** 0412 550 069

A: 1/8 Stanton Place, Cambridge TAS 7170

PO Box 174, Lindisfarne TAS 7015

W: www.oconbuilt.com.au

E: charlie@oconbuilt.com.au





The photos below demonstrates that from many angles the second chimney was not visible or barely visible from the Procters road aspect



The photo below shows no sign of the second chimney



The next photo shows the smallest glimpse of the chimney

These photos are all taken prior to any renovations commencing and can be substantiated via iPhone records



**RESULT OF SEARCH**

DEPUTY RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980**SEARCH OF TORRENS TITLE**

VOLUME 221422	FOLIO 1
EDITION 5	DATE OF ISSUE 15-Sep-2010

SEARCH DATE : 26-Apr-2019
SEARCH TIME : 04.15 PM

DESCRIPTION OF LAND

City of HOBART
Lot 1 on Plan 221422
Derivation : Part of 167A-2R Gtd. to D. Lord
Prior CT 2758/18

SCHEDULE 1

C607347 TRANSFER to MARTIN PATRICK NALLY of two undivided 1/3 shares and MARTIN PATRICK NALLY of one undivided 1/3 share as tenants in common Registered 05-Jul-2005 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
C982671 MORTGAGE to Westpac Banking Corporation Registered
15-Sep-2010 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

Joseph Mamic
Building Surveyor
Accreditation Certificate No CC411N

the List

FOLIO PLAN

DEPUTY RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



ORIGINAL - NOT TO BE REMOVED FROM TITLES OFFICE

R.P. 1469

TASMANIA

REAL PROPERTY ACT, 1862, as amended

NOTE—REGISTERED FOR OFFICE
CONVENIENCE TO REPLACE

CERTIFICATE OF TITLE

Register Book

Vol. Fol.

2758 18

Cert. of Title Vol. 428 Fol. 96

I certify that the person described in the First Schedule is the registered proprietor of an estate in fee simple in the land within described together with such interests and subject to such encumbrances and interests as are shown in the Second Schedule. In witness whereof I have hereunto signed my name and affixed my seal.

Recorder of Titles.

DESCRIPTION OF LAND



CITY OF HOBART

NINETEEN PERCHES AND ONE HALF OF A PERCH on the Plan hereon

FIRST SCHEDULE (continued overleaf)

BERNARD FREDERICK REIMERS of Hobart, Hire Car Proprietor

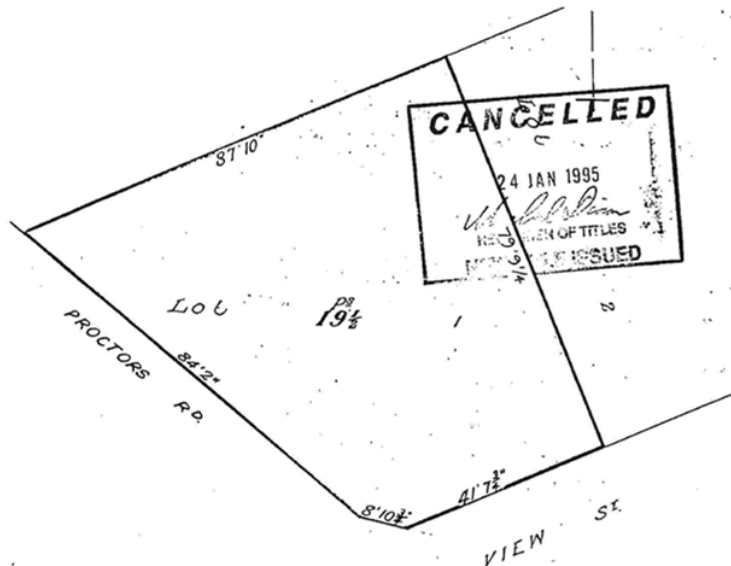
SECOND SCHEDULE (continued overleaf)

NIL

Lot 1 of this plan consists of all the land comprised in the above-mentioned titles ARE NO LONGER SUBSISTING. CANCELLED UNDER :

REGISTERED NUMBER

221422



Part of 167acs.2rds. Gtd. to D.Lord Meas. in Ft. & Ins. 48/30NS

FIRST Edition. Registered

14 AUG 1970

Derived from C.T. Vol. 428 Fol. 96 Transfer A10563 The Perpetual Trustees - Executors & Agency Co. of Tas. Ltd.

the List...

FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



ORIGINAL—NOT TO BE REMOVED FROM TITLES OFFICE

R.P. 1469

TASMANIA

REAL PROPERTY ACT, 1862, as amended

NOTE—REGISTERED FOR OFFICE
CONVENIENCE TO REPLACE



CERTIFICATE OF TITLE

Register Book

Vol.	Fol.
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2	2
3	3
4	4
5	5
6	6
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8	8
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10	10
11	11
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96	96
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2758 18

Cert.of Title Vol.428 Fol.96

I certify that the person described in the First Schedule is the registered proprietor of an estate in fee simple in the land within described together with such interests and subject to such encumbrances and interests as are shown in the Second Schedule. In witness whereof I have hereunto signed my name and affixed my seal.

Mutikins

Recorder of Titles.

DESCRIPTION OF LAND



CITY OF HOBART

NINETEEN PERCHES AND ONE HALF OF A PERCH on the Plan hereon

FIRST SCHEDULE (continued overleaf)

BERNARD FREDERICK REIMERS of Hobart, Hire Car Proprietor

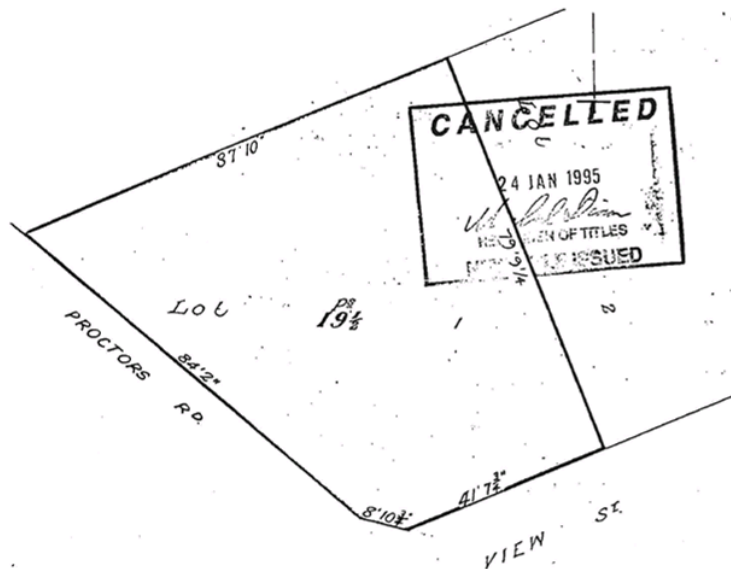
SECOND SCHEDULE (continued overleaf)

NIL

Lot 1 of this plan consists of all the
land comprised in the above-mentioned
cancelled folio of the Register.

REGISTERED NUMBER

221422



Part of 167acs.2rds. Gtd.to D.Lord Meas.in Ft. & Ins. 48/30NS

FIRST Edition. Registered 14 AUG 1970

Derived from C.T.Vol.428 Fol.96 Transfer A10563 The Perpetual Trustees -
Executors & Agency Co.of Tus.Ltd

Planning: #222678

Property

34 PROCTORS ROAD DYNMYRNE TAS 7005

PeopleApplicant
=Martin Nally
34 Proctors Road
Dynmyrne Tas 7000
0421053733
nallyfam@bigpond.net.auOwner
=Martin Nally
34 Proctors Road
Dynmyrne Tas 7000
0421053733
nallyfam@bigpond.net.auEntered By
MARTIN PATRICK NALLY
0421053733
nallyfam@bigpond.net.au**Use**

Other

Details

Have you obtained pre application advice?

☒ Yes

If YES please provide the pre application advice number eg PAE-17-xx

Are you applying for permitted visitor accommodation as defined by the State Government Visitor Accommodation Standards? Click on help information button for definition. If you are not the owner of the property you MUST include signed confirmation from the owner that they are aware of this application.

☒ No

Is the application for SIGNAGE ONLY? If yes, please enter \$0 in the cost of development, and you must enter the number of signs under Other Details below.

<input type="radio"/> No		
If this application is related to an enforcement action please enter Enforcement Number		
Details		
What is the current approved use of the land / building(s)?		
Domestic		
Please provide a full description of the proposed use or development (i.e. demolition and new dwelling, swimming pool and garage)		
Amenity or safety only		
Estimated cost of development		
2000.00		
Existing floor area (m2)	Proposed floor area (m2)	Site area (m2)
Carparking on Site		
		N/A
Total parking spaces	Existing parking spaces	<input type="checkbox"/> Other (no selection chosen)
Other Details		
Does the application include signage?		
<input type="radio"/> No		
How many signs, please enter 0 if there are none involved in this application?		
0		
Tasmania Heritage Register Is this property on the Tasmanian Heritage Register?		
<input type="radio"/> No		
Documents		
Required Documents		
Title (Folio text and Plan and Schedule of Easements)		
DA-19-38988 PLN-19-485 - 34 PROCTORS ROAD DYNNRYNE TAS 7005 - Title (Folio text and Plan and Schedule of Easements).pdf		
Plans (proposed, existing)		
D Projects NALLY as built ammendments 1-3-21.pdf		
Covering Letter		
Chimney.pdf		
Supporting Documents		
Photos or Montages		
Photos.pdf		

Application Referral Cultural Heritage - Response

From:	Megan Baynes
Recommendation:	Proposal is unacceptable.
Date Completed:	
Address:	34 PROCTORS ROAD, DYNMYRNE
Proposal:	Partial Demolition
Application No:	PLN-21-149
Assessment Officer:	Helen Ayers,

Referral Officer comments:

34 Proctors Road is a red brick Californian Bungalow.



Brick Chimney with period details at 34 Proctors Road, 2019.

The house is located in SB6 Golf Links Estate. This precinct is significant for reasons including:

- *Its value as the largest single subdivision in Sandy Bay with a very fine group of c1920–1930 houses, the best such group in Hobart.*
- *Its predominantly single storey Edwardian character with very intact streetscapes. The houses are all very good examples of Edwardian cottages and Californian Bungalow styles.*
- *The predominantly intact building stock.*
- *The connection of the site with the former golf links which is still readable in the subdivision pattern.*

The house is single storey facing Proctors Road, and becomes two levels as the land falls away along View Street. The house has a stepped 'cascading' form in plan. Council records note house connections in 1927. The house has many intact period features including architectural and landscape items. The house makes a positive contribution to the street with its chimneys, shallow pitched gables, heavy verandah piers, original windows, unpainted masonry, and original external timber details. The house is on the intersection of two busy streets and is therefore a high profile site in the precinct.

The house at 34 Proctors Road is located in a Heritage Precinct and the owner previously applied for a permit (PLN-19-485) to extend and renovate the house. This application was approved and the renovations have been undertaken. The application, dating from 2019, also sought approval for the demolition of a chimney. Because the demolition of the chimney failed to satisfy the Heritage Code, Council placed a condition (see below) to ensure its protection.

'HER 11

The chimneys must be retained. Demolition of chimneys is not approved.

All work required by this condition must be undertaken in accordance with the approved revised plans.

Reason for condition

To ensure that development at a heritage precinct is undertaken in a sympathetic manner which does not cause loss of historic cultural heritage significance."

The applicant proceeded to demolish the chimney, without a planning permit and in contravention of the specific HER 11 condition on the permit. Further advice was given by the Building Surveyor and the Council that the demolition occurred without a Planning Permit. The applicant is now retrospectively seeking approval for this act.

The chimney was a significant part of a Californian Bungalow which makes a positive contribution to the precinct. The demolition is in contravention HER 11 of PLN-19-485 .

From the Historic Heritage Code of the Planning Scheme the following Demolition clause applies:

E 13.8.1 P1 states:

Demolition must not result in the loss of any of the following:

- (a) buildings or works that contribute to the historic cultural heritage significance of the precinct;*
 - (b) fabric or landscape elements, including plants, trees, fences, paths, outbuildings and other items, that contribute to the historic cultural heritage significance of the precinct;*
- unless all of the following apply;*

- (i) there are, environmental, social, economic or safety reasons of greater value to the community than the historic cultural heritage values of the place;*
- (ii) there are no prudent or feasible alternatives;*
- (iii) opportunity is created for a replacement building that will be more complementary to the*

heritage values of the precinct.

The chimney is a period feature/fabric of the Californian Bungalow which contributes to the historic cultural heritage significance of the precinct. The applicant has not articulated any environmental, social, economic or safety reasons of greater value to the community than the historic cultural heritage values of the place. A prudent or feasible alternative would have been to retain and support the chimney as required by HER 11 of PLN-19-485. The replacement portion of the building (without a chimney) is not more complementary to the heritage values of the precinct.

Recommendation

The 'proposed' demolition of the chimney fails to satisfy E 13.8.1 P1 of the Historic Heritage Code of the Scheme. This application is recommended for refusal. The recommendation for refusal is consistent with written advice previously given to the applicant by the Cultural Heritage Unit.

Grounds for refusal

The proposal does not meet the acceptable solution or the performance criteria with respect to clause E 13.8.1P1 (a) to (d) of the *Hobart Interim Planning Scheme 2015* because the proposed demolition will result in the loss of buildings and fabric that contribute to the historic cultural heritage significance of the precinct and it has not been reasonably demonstrated that: there are environmental, social, economic or safety reasons of greater value to the community than the historic cultural heritage values of the place; or that there are no prudent or feasible alternatives; or that the new work is more complementary to the heritage values of the precinct.

MB
CHO
30
06
2021

From: [Martin Nally](#)
To: [Karen Abey](#)
Subject: FW: 34 Proctors Road
Date: Friday, 20 August 2021 12:45:59 PM
Attachments: [image002.png](#)
[image003.png](#)

CAUTION: This email originated from outside of the organisation. Do not click links or open attachments unless you recognise the sender and know the content is safe.

Dear Abey
Here is the response from Clint

Martin Nally
Executive Director Workplace Relations
People & Wellbeing
University of Tasmania

From: Clint Johnstone <cjohnstone@cja.com.au>
Sent: Friday, 20 August 2021 11:51 AM
To: Martin Nally
Subject: RE: 34 Proctors Road

Martin,

In response to the trail of emails below I offer the following responses:

- On the 19/02/2020 Charlie Greenwood the site builder copied me in on an email to yourself about his concerns for the stability of the chimney.
- I do consider that Charlie Greenwood's concerns are legitimate in two areas,
 1. The chimney is unsafe during construction once the adjacent brick wall was removed.
 2. The lateral stability of the proposed remaining portion of chimney would be compromised due to lack of ceiling space.
- I was not consulted for alternatives and can only assume that with the decision to pursue demolition (due to site safety) my services were not required.
- I did inspect the site and attend meeting to approve foundations and concrete slab during January 2020 but was not involved in inspections for framing. These inspections were covered by the building surveyor.

- At the time of completion I was requested to approve a change in floor joists used by the builder but no mention was made about the chimney.

Should you require additional comment or assistance please contact.

Regards

Clint Johnstone (Accreditation No. CC2608X)

From: Martin Nally

Sent: Tuesday, 17 August 2021 12:51 PM

To: Clint Johnstone <cjohnstone@cja.com.au>

Subject: FW: 34 Proctors Road

fyi

Martin Nally

Executive Director Workplace Relations

People & Wellbeing

University of Tasmania

From: Martin P Nally

Sent: Tuesday, 17 Au

To: Martin Nally

Subject: Fwd: 34 Proctors Road

Sent from my iPhone

Martin Nally

From: Karen Abey <abeyk@hobartcity.com.au>

Date: 17 August 2021 at 10:18:55 am AEST

To:

Subject: 34 Proctors Road

Dear Martin,

I'm just following up on the City Planning Committee last night.

The Committee passed a motion to defer this item to allow for an opportunity for you to obtain further evidence from your engineer that there were no prudent or reasonable alternatives to keep the chimney and that removing it was the only option. I note that the relevant plan A1.21 was prepared by Michael Baker (licence no cc1511 – architectural design) – both for the planning and building permits. Mr Baker stated in his letter which you provided to the Committee that the design was “slightly modified by the Structural Engineer”. We have no record of who this engineer is, except that Clint Johnstone is mentioned on the building documentation.

Did Mr Johnstone review the plans? Did he review the site when the works were being carried out? Was he consulted about possible alternative designs when the site conditions were better understood? It would be preferable if you were able to provide a statement from Mr Johnstone himself, which can be considered by the Committee.

In order to obtain this further information, it would be preferable for you to also provide an extension of time in order to determine this application. Our standard request for an extension is for a further 42 days. If the extension is not provided then a special Committee meeting will have to be called for Monday. That meeting will need to be arranged by tomorrow morning, due to statutory timeframes. So I would be grateful if you could please confirm in writing whether (or not) an extension will be provided today.

Please let me know if you have any questions.

Regards,
Karen

Karen Abey
Manager Development Appraisal | City Planning

