



CITY OF HOBART

# **SUPPORTING INFORMATION**

## **(VOLUME 2)**

**CITY PLANNING COMMITTEE MEETING**

**OPEN PORTION OF THE MEETING**

**MONDAY, 1 MARCH 2021**

**AT 5:00 PM**

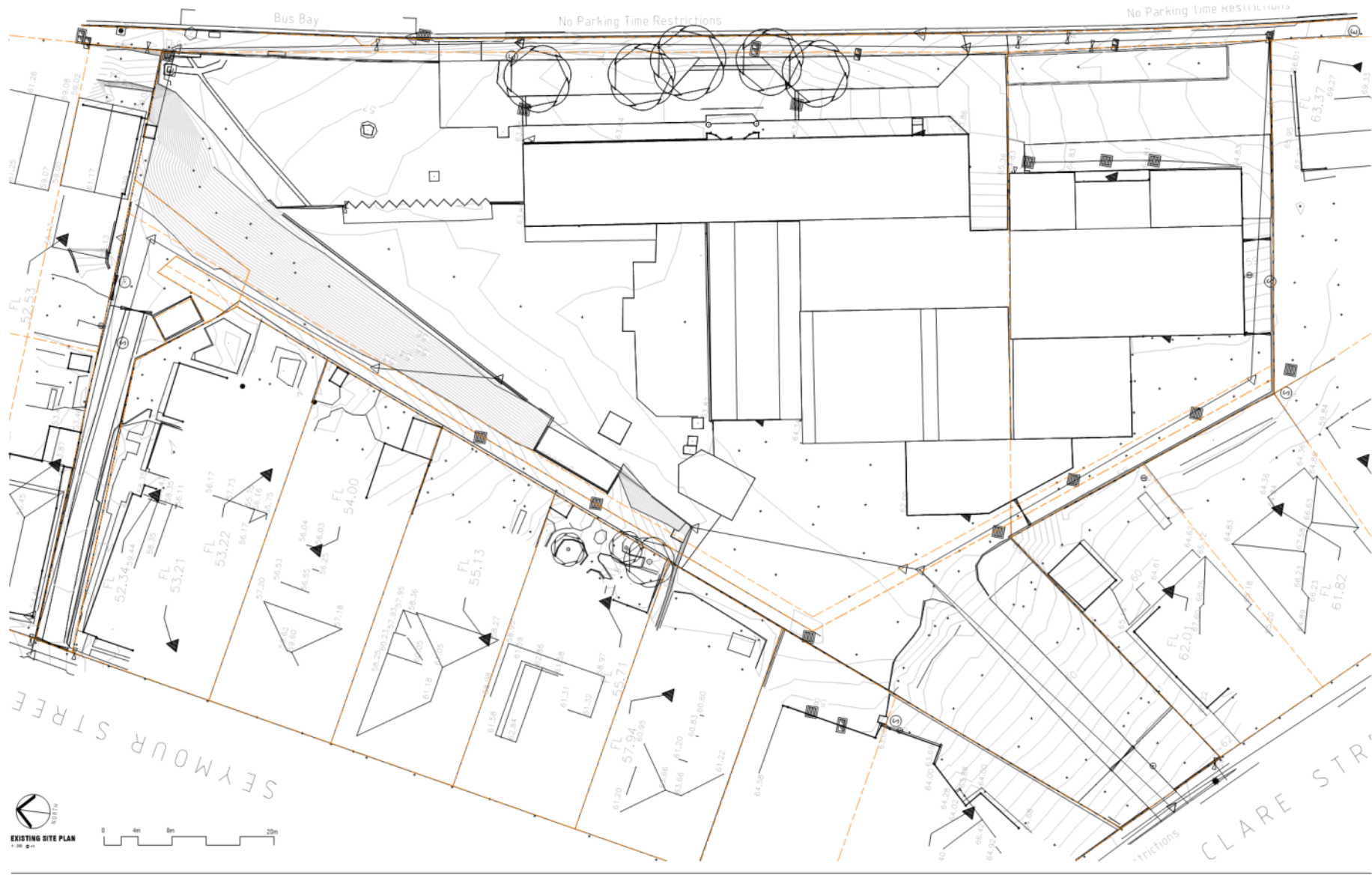
**VENUE: COUNCIL CHAMBER, TOWN HALL**

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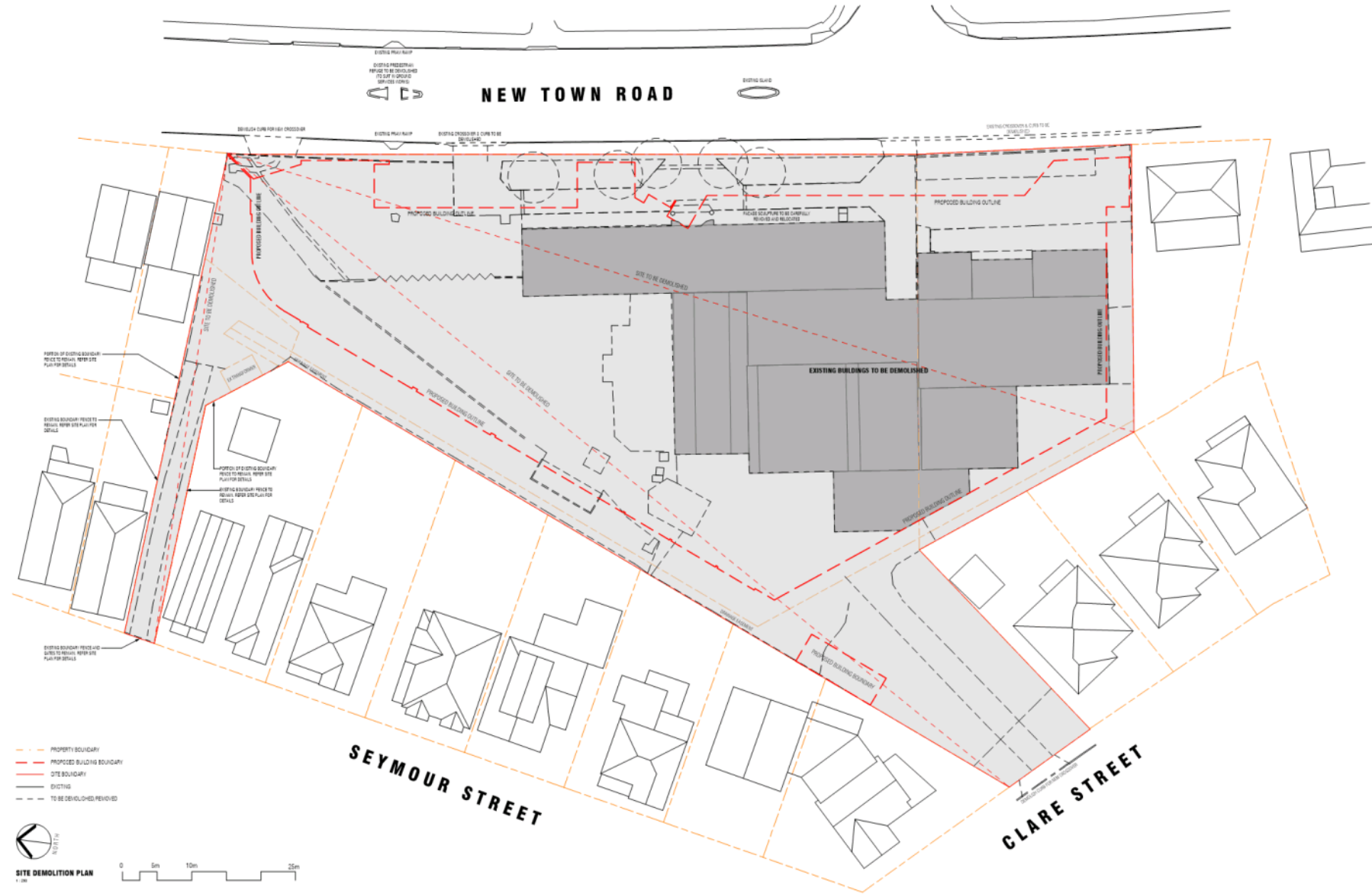
7.1.1	48-50 New Town Road and 52 New Town Road and 46 New Town Road and 7A Clare Street, New Town and Adjacent Road Reserve - Demolition, New Building for Hospital Services, Business and Professional Services, and General Retail and Hire, Signage, and Associated Works	
Attachment F	PLN-20-795 - 46, 48-50 AND 52 NEW TOWN ROAD AND 7A CLARE STREET - CPC Agenda Documents - Volume 2 .....	2



**NEW TOWN MEDICAL CENTRE**  
**48-52 NEW TOWN ROAD, NEW TOWN, HOBART, TASMANIA**

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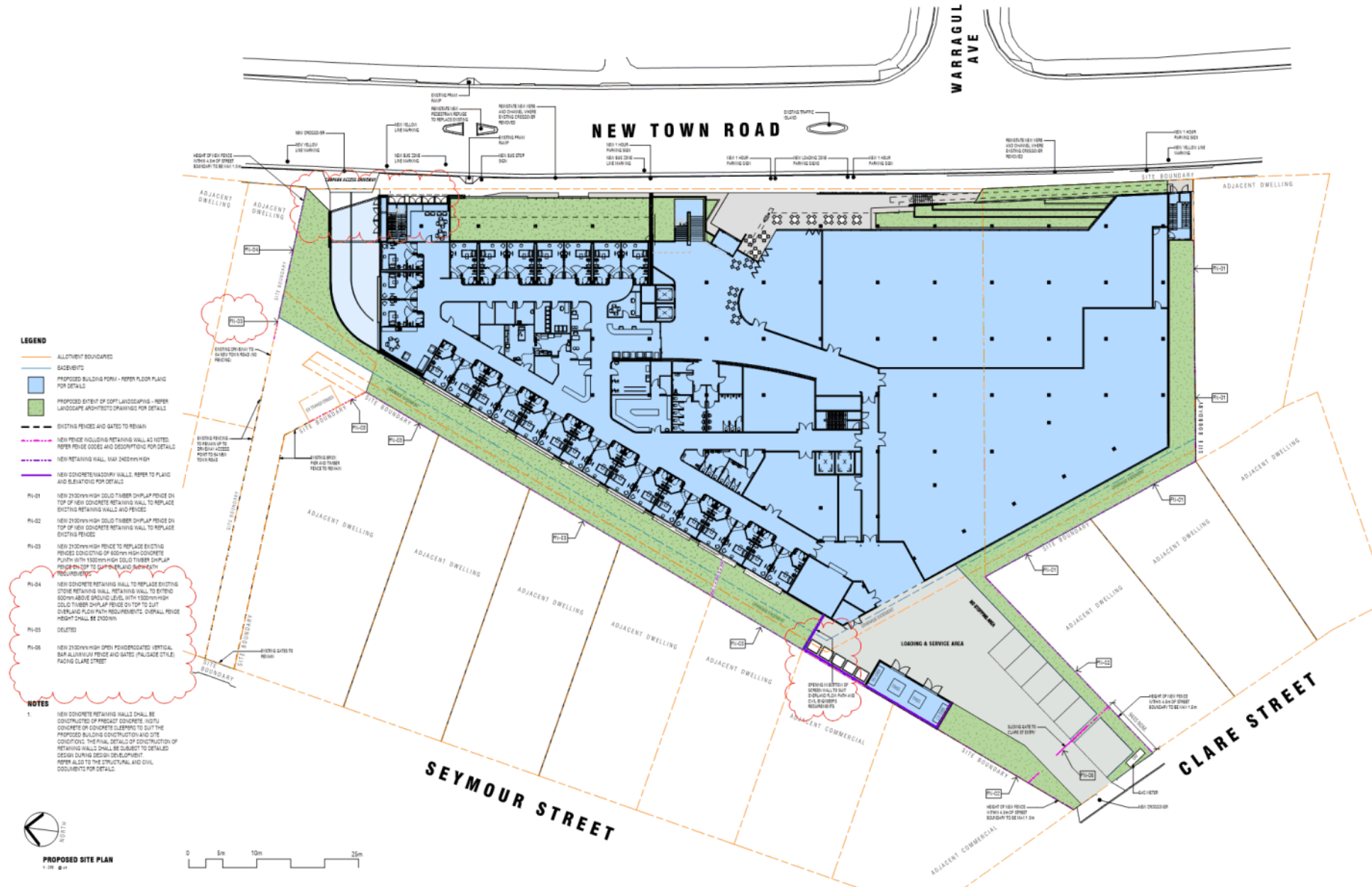


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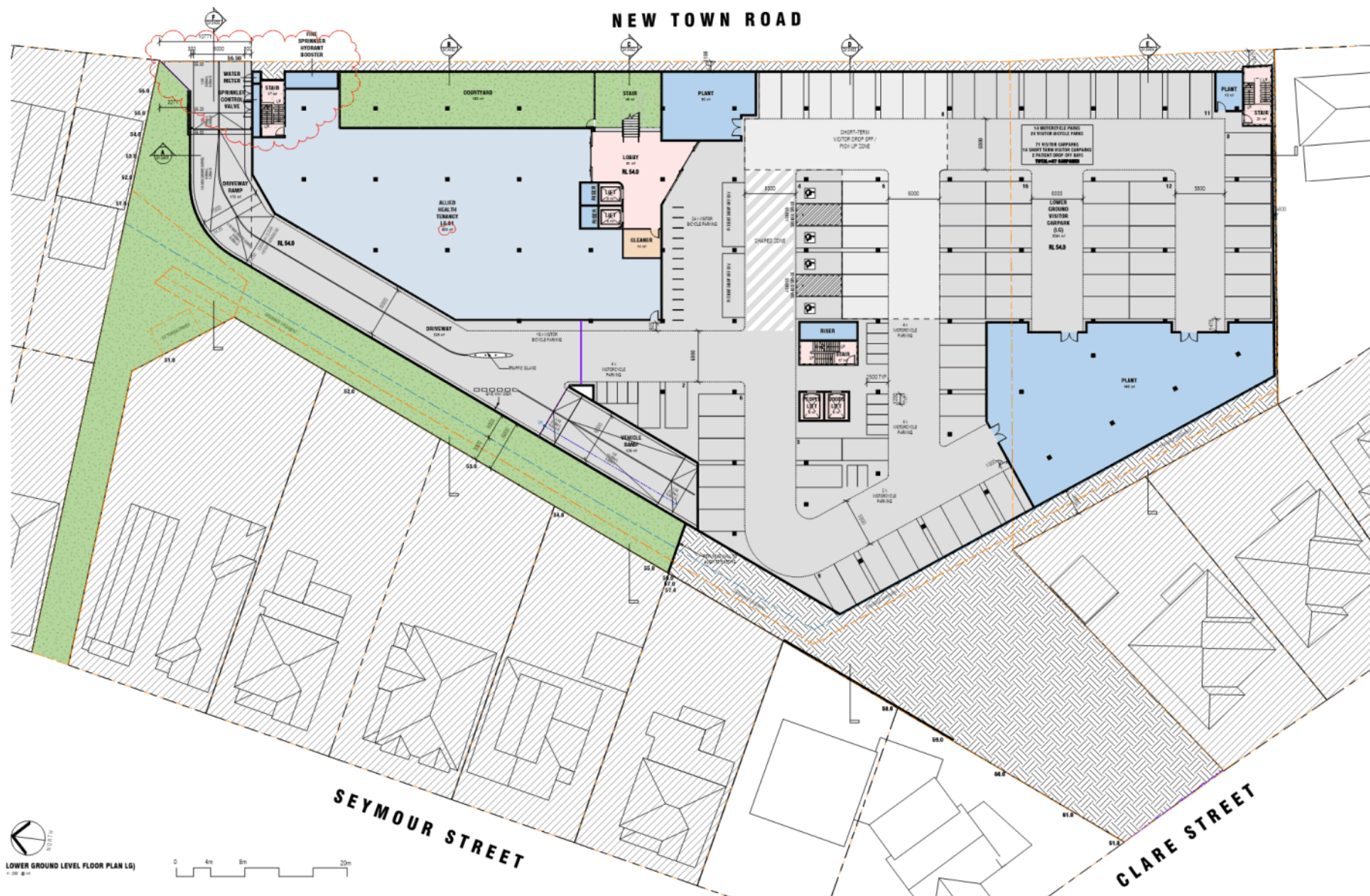
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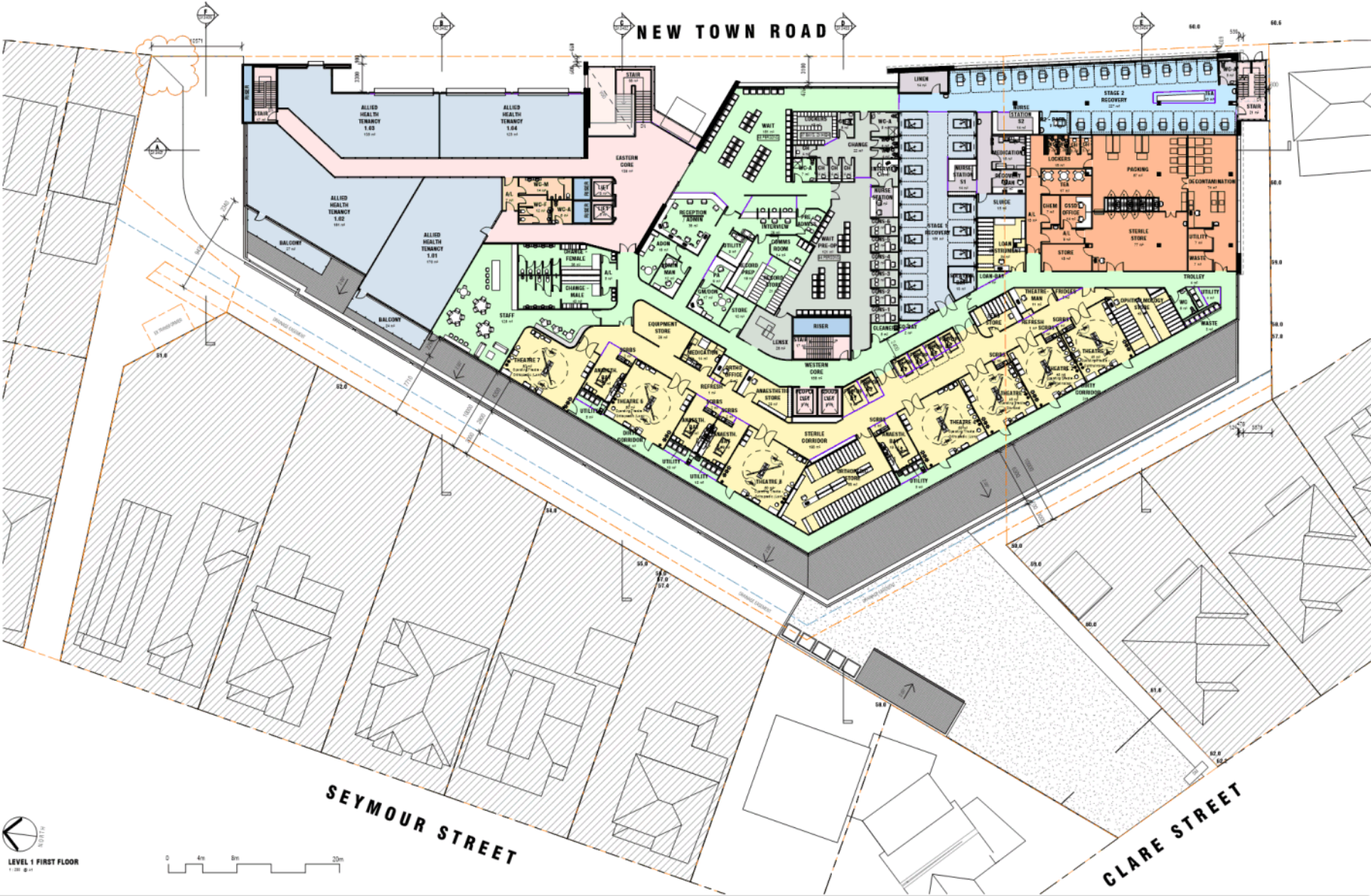


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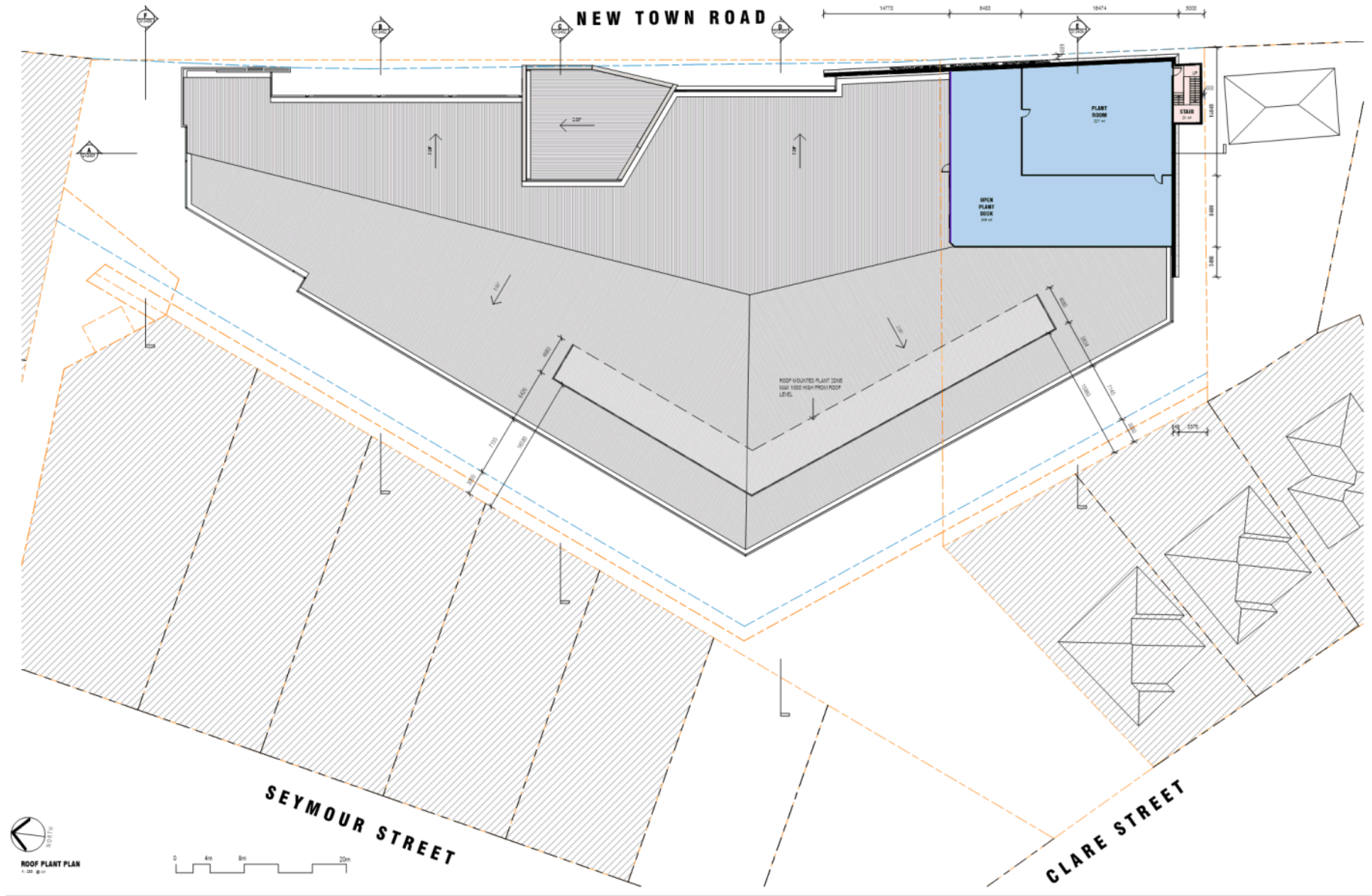
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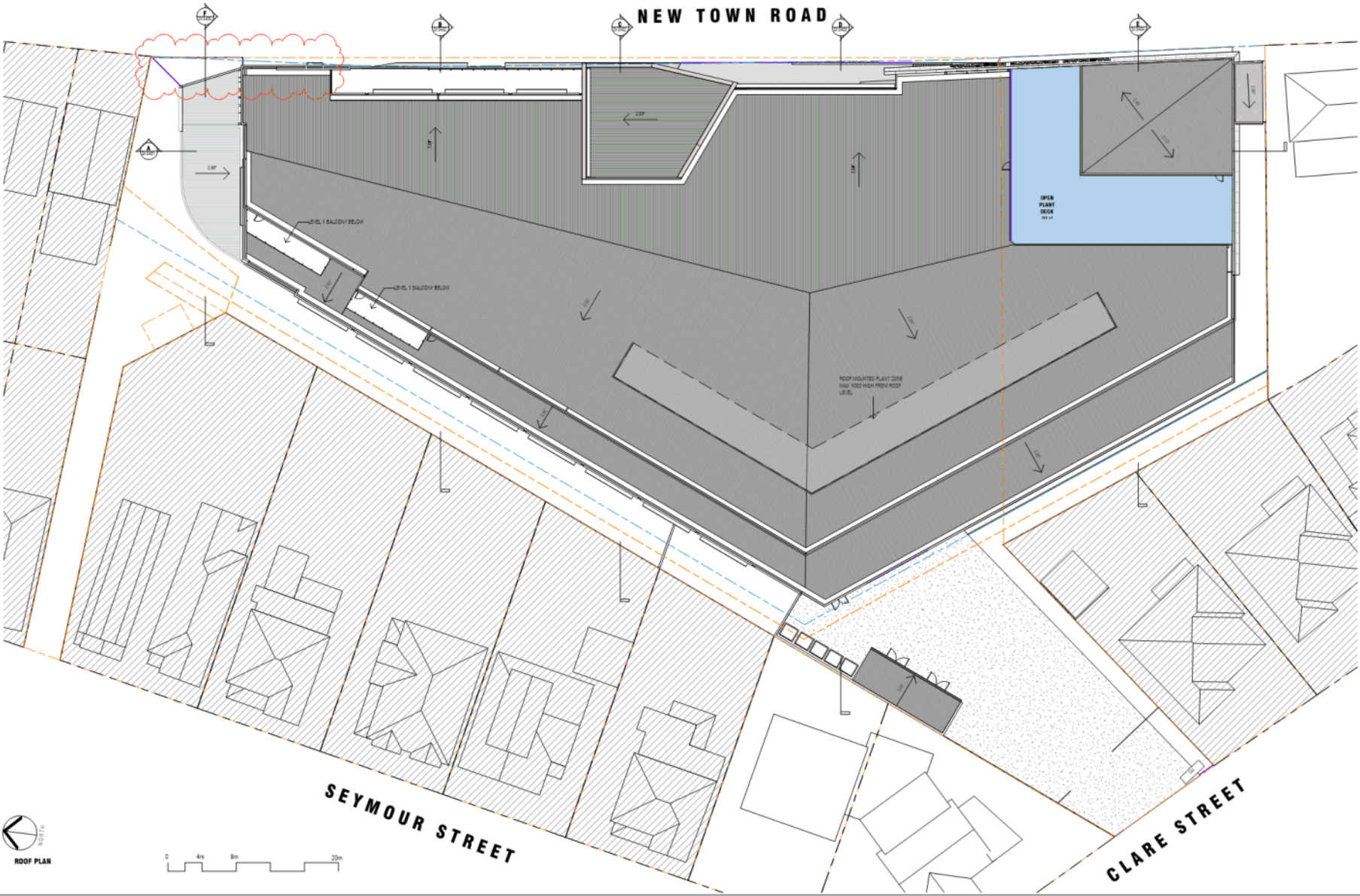
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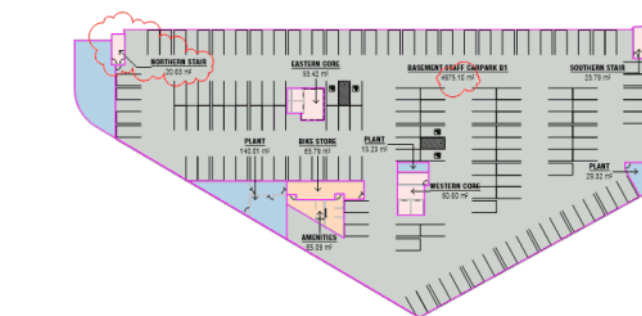
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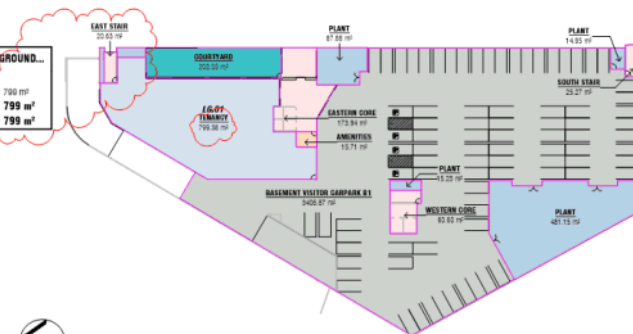




**BASEMENT LEVEL AREA PLAN (B1)**

**NET LETTABLE AREA (NLA) LOWER GROUND...**

LG.01 TENANCY 799 m<sup>2</sup>  
**OTHER TOTAL NLA (LG)**  
**799 m<sup>2</sup>**  
**TOTAL NLA**

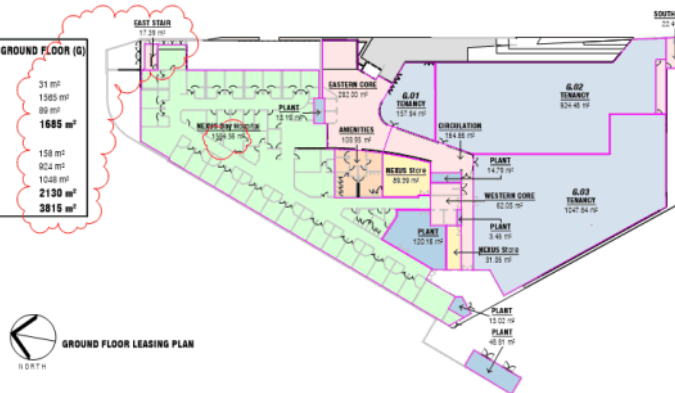


**LOWER GROUND FLOOR LEASING PLAN**

**NET LETTABLE AREA (NLA) GROUND FLOOR (G)**

NEXUS Store 31 m<sup>2</sup>  
 NEXUS Day Hospital 1565 m<sup>2</sup>  
 NEXUS Store 89 m<sup>2</sup>  
**NEXUS TOTAL NLA (G)**  
**1685 m<sup>2</sup>**

LG.01 TENANCY 158 m<sup>2</sup>  
 LG.02 TENANCY 924 m<sup>2</sup>  
 LG.03 TENANCY 1048 m<sup>2</sup>  
**OTHER TOTAL NLA (G)**  
**2130 m<sup>2</sup>**  
**TOTAL NLA**  
**3815 m<sup>2</sup>**

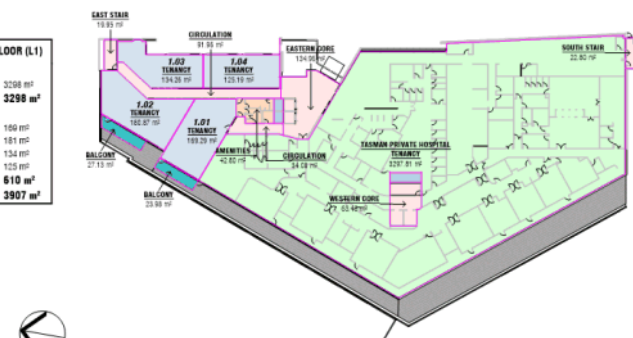


**GROUND FLOOR LEASING PLAN**

**NET LETTABLE AREA (NLA) FIRST FLOOR (L1)**

TAGMARI PRIVATE HOSPITAL TENANCY 3298 m<sup>2</sup>  
**NEXUS TOTAL NLA (L1)**  
**3298 m<sup>2</sup>**

1.01 TENANCY 190 m<sup>2</sup>  
 1.02 TENANCY 181 m<sup>2</sup>  
 1.03 TENANCY 134 m<sup>2</sup>  
 1.04 TENANCY 125 m<sup>2</sup>  
**OTHER TOTAL NLA (L1)**  
**610 m<sup>2</sup>**  
**TOTAL NLA**  
**3907 m<sup>2</sup>**



**FIRST FLOOR LEASING PLAN**

AREA SUMMARY GROSS FLOOR AREA (GFA)			AREA SUMMARY NET LETTABLE AREA (NLA)			CAR PARKING SUMMARY		
	PREVIOUS (DA) PROPOSAL *	CURRENT PROPOSAL		PREVIOUS (DA) PROPOSAL *	CURRENT PROPOSAL		PREVIOUS (DA) PROPOSAL *	CURRENT PROPOSAL
BASEMENT B2 CARPARK	3631m <sup>2</sup>	0m <sup>2</sup>	BASEMENT B2 CARPARK	0m <sup>2</sup>	0m <sup>2</sup>	BASEMENT B2 CARPARK	76	0
BASEMENT B1 CARPARK	5692m <sup>2</sup>	5660m <sup>2</sup>	BASEMENT B1 CARPARK	0m <sup>2</sup>	0m <sup>2</sup>	BASEMENT B1 CARPARK	153	156
LOWER GROUND LEVEL	0m <sup>2</sup>	5456m <sup>2</sup>	LOWER GROUND LEVEL	0m <sup>2</sup>	799m <sup>2</sup>	LOWER GROUND LEVEL	0	87
GROUND LEVEL	6210m <sup>2</sup>	4880m <sup>2</sup>	GROUND LEVEL	3863m <sup>2</sup>	3815m <sup>2</sup>	AT GRADE: NEW TOWN ROAD LOADING/SERVICE AREA	0	0
FIRST LEVEL	5046m <sup>2</sup>	4480m <sup>2</sup>	FIRST LEVEL	4728m <sup>2</sup>	3907m <sup>2</sup>		7	5
SECOND LEVEL	4108m <sup>2</sup>	0m <sup>2</sup>	SECOND LEVEL	3267m <sup>2</sup>	0m <sup>2</sup>			
<b>TOTAL</b>	<b>23687m<sup>2</sup></b>	<b>20465m<sup>2</sup></b>	<b>TOTAL</b>	<b>11850m<sup>2</sup></b>	<b>8521m<sup>2</sup></b>	<b>TOTAL</b>	<b>236</b>	<b>248</b>
*NOTE: PREVIOUS PROPOSALS REFER TO THE FOLLOWING DRAWINGS INCLUDED IN THE SECOND DEVELOPMENT APPLICATION PROPOSAL: <b>15153 SK231 - M</b>			<b>NEXUS TOTAL NLA</b> <b>4852m<sup>2</sup></b> <b>4983m<sup>2</sup></b>					
OTHER: BALCONIES & COURTYARDS ARE NOT INCLUDED IN EITHER GROSS FLOOR AREA OR NET LETTABLE AREA.			<b>OTHER TOTAL NLA</b> <b>7005m<sup>2</sup></b> <b>3539m<sup>2</sup></b>					

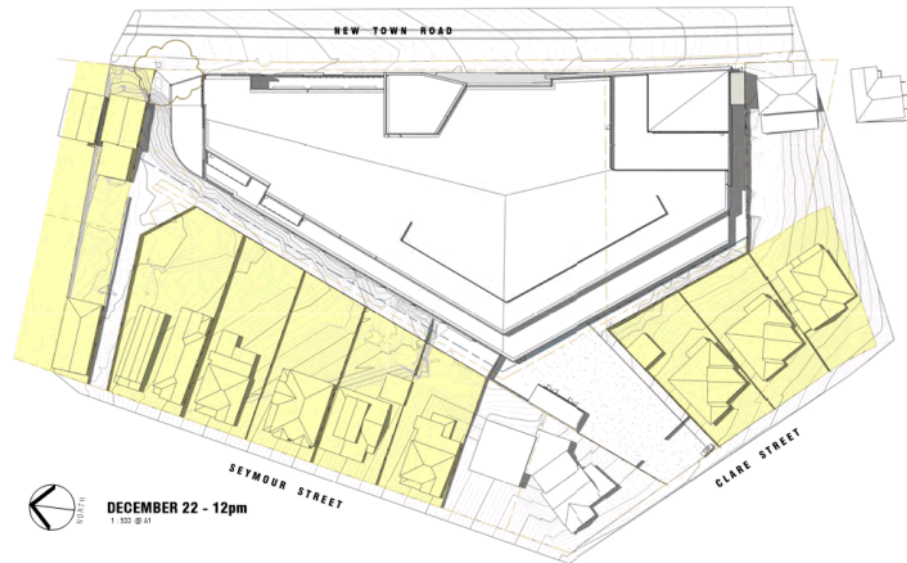
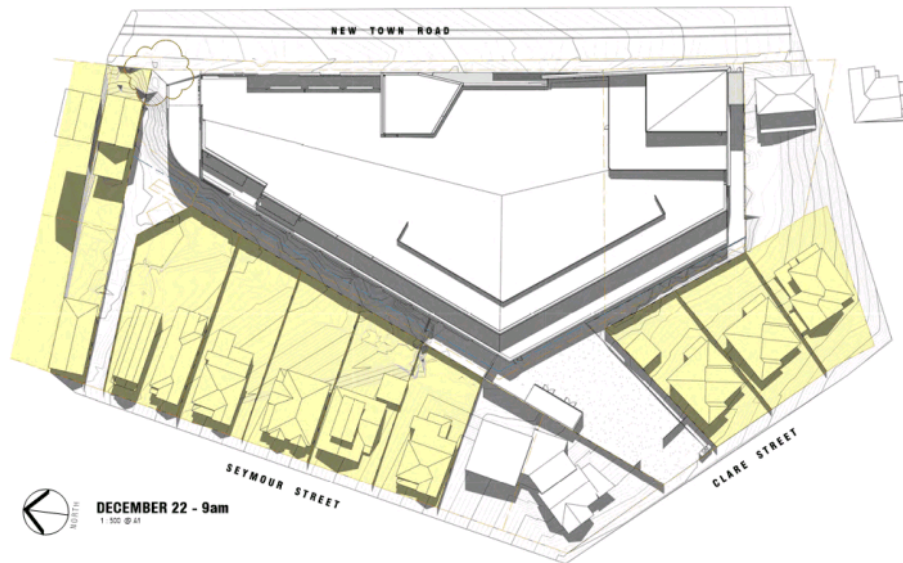
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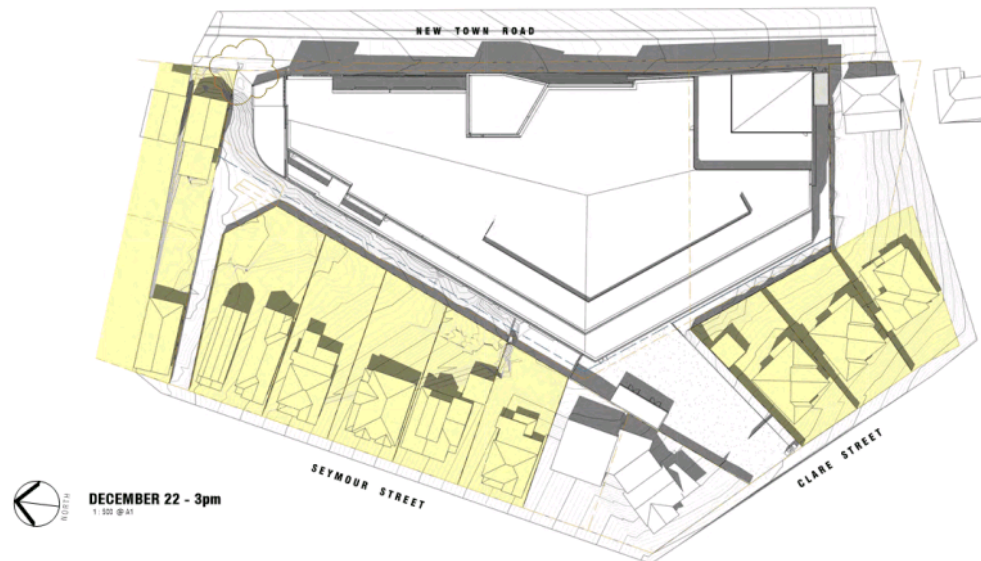
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#### NOTES REGARDING MODELING OF ADJOINING PROPERTIES

1. AS ACCESS HAS NOT BEEN PROVIDED BY RESIDENTS TO ALL ADJOINING PROPERTIES, A FULL DETAILED SURVEY HAS NOT YET BEEN UNDERTAKEN OF ADJOINING PROPERTIES.
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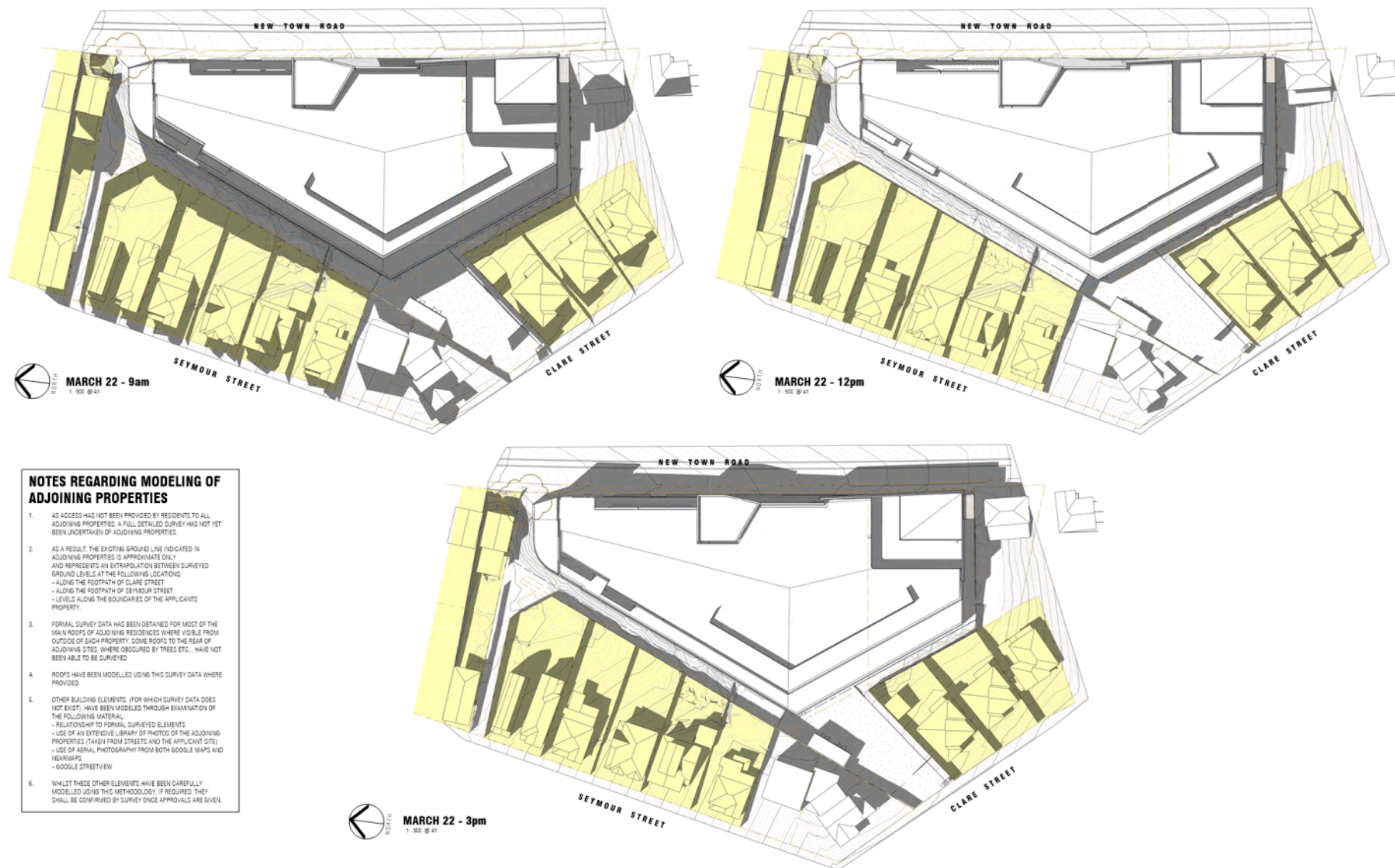
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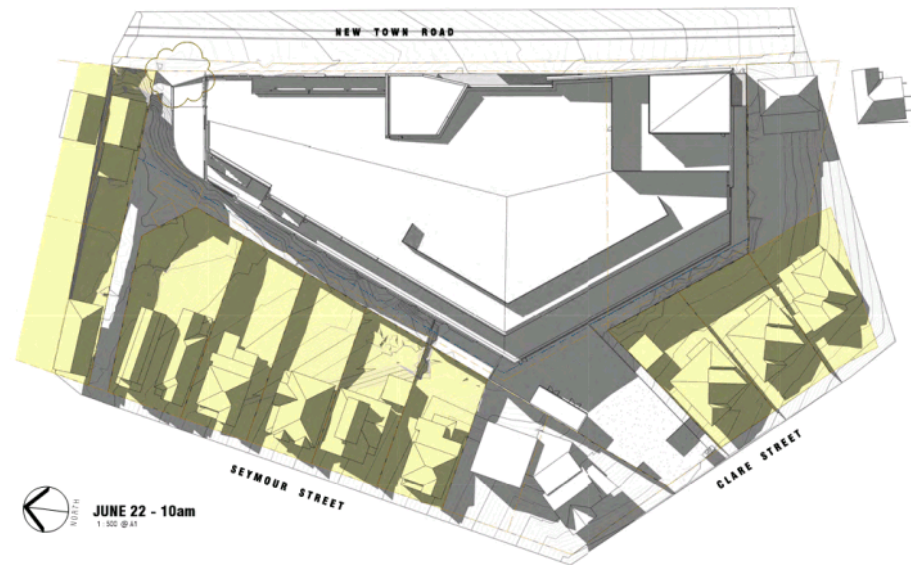
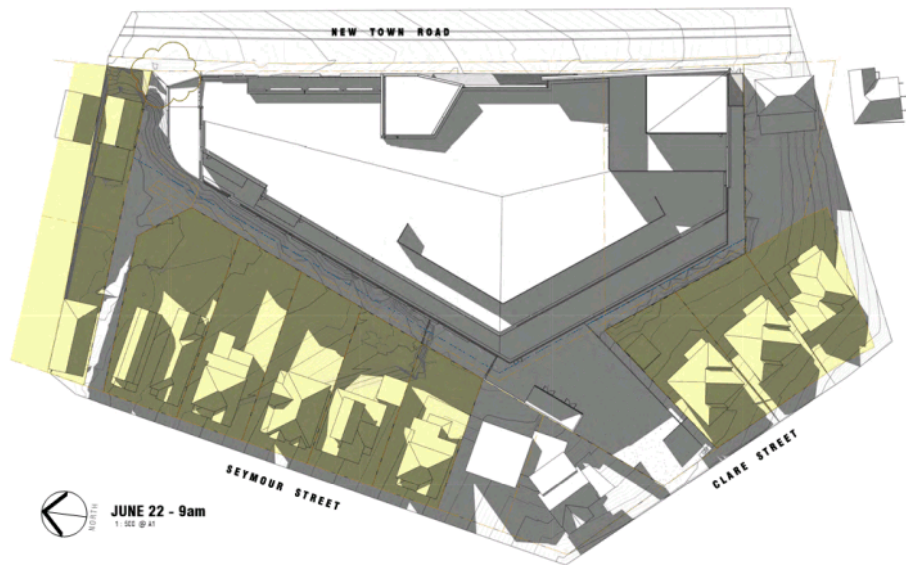
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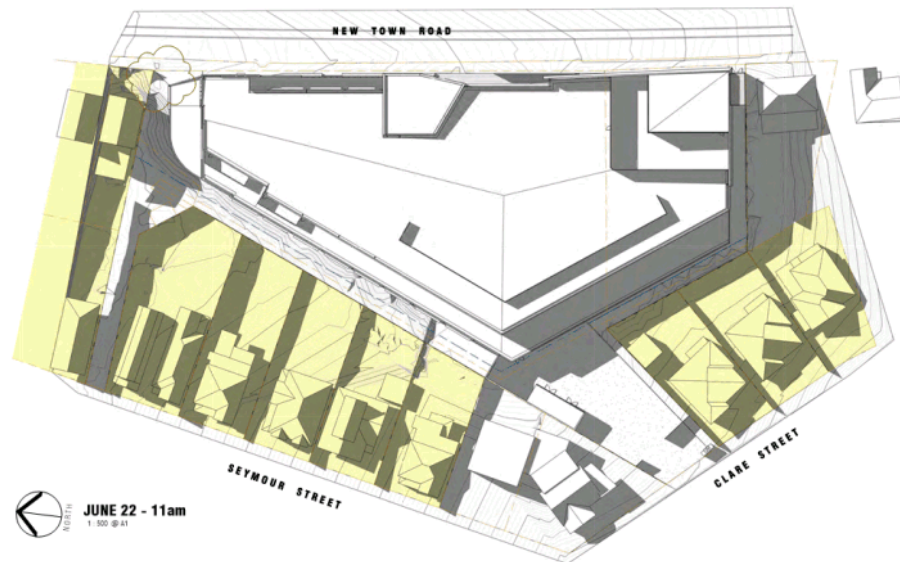
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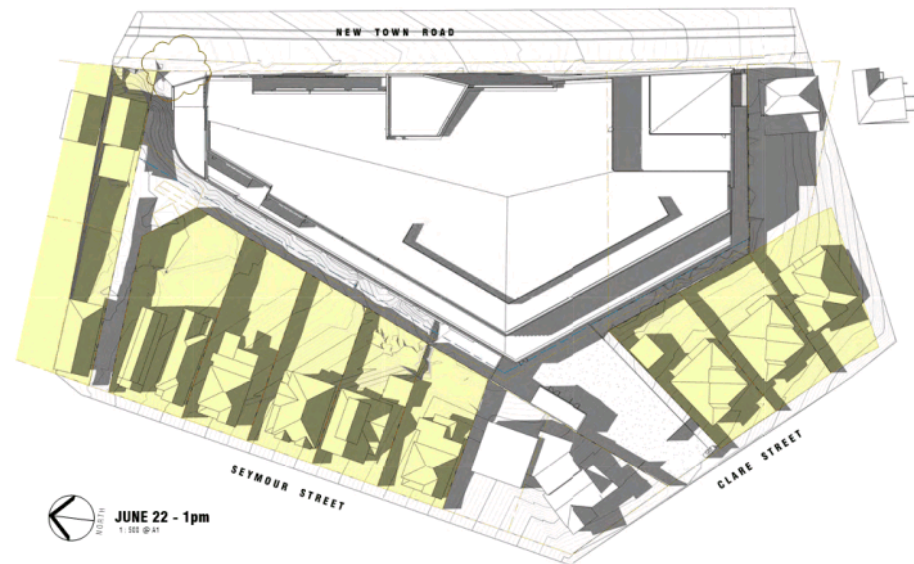
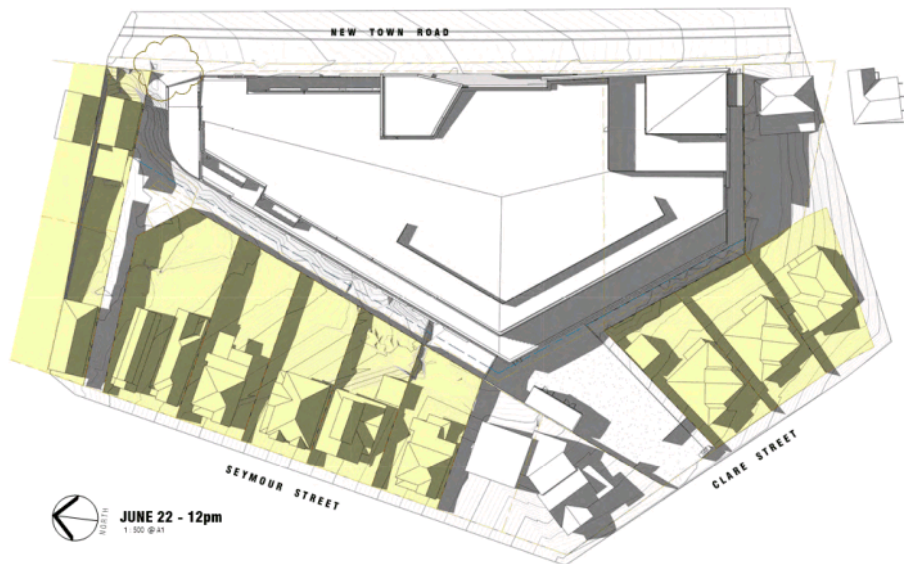
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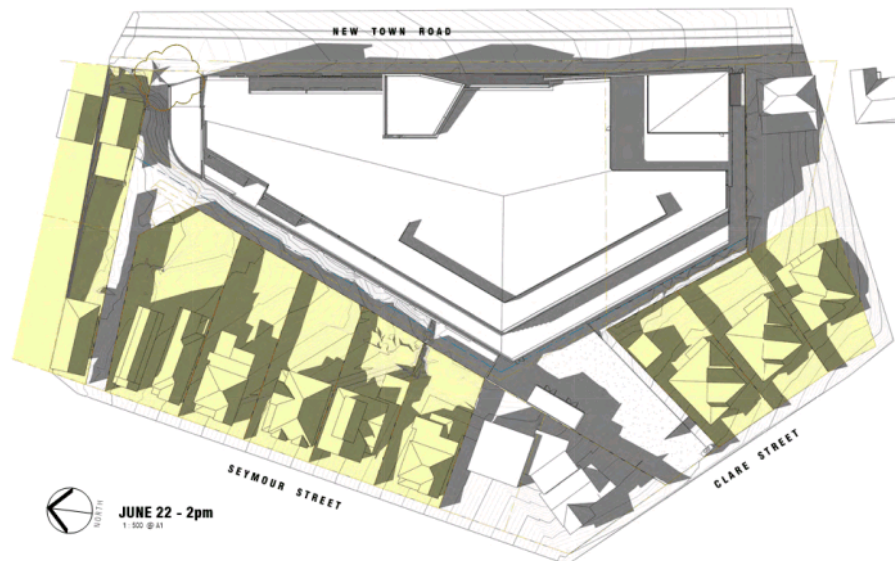
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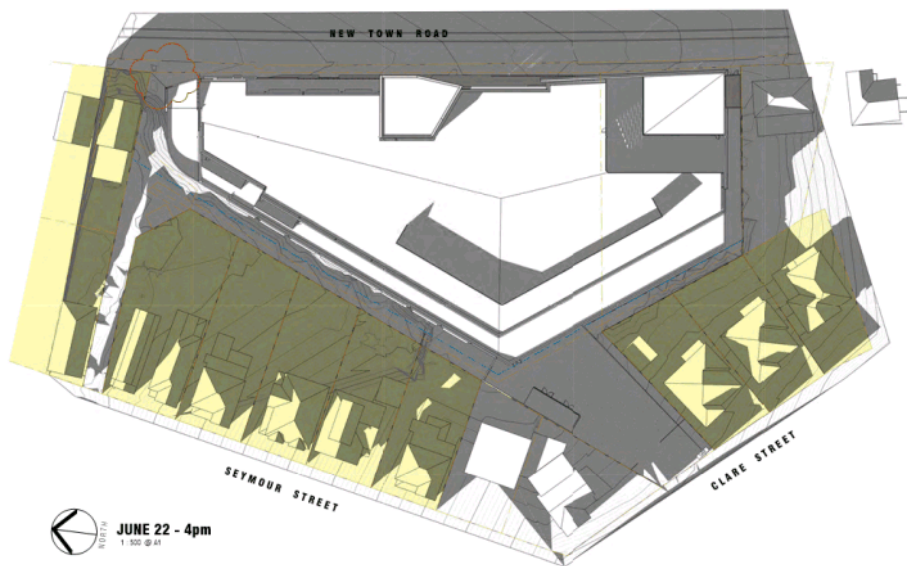
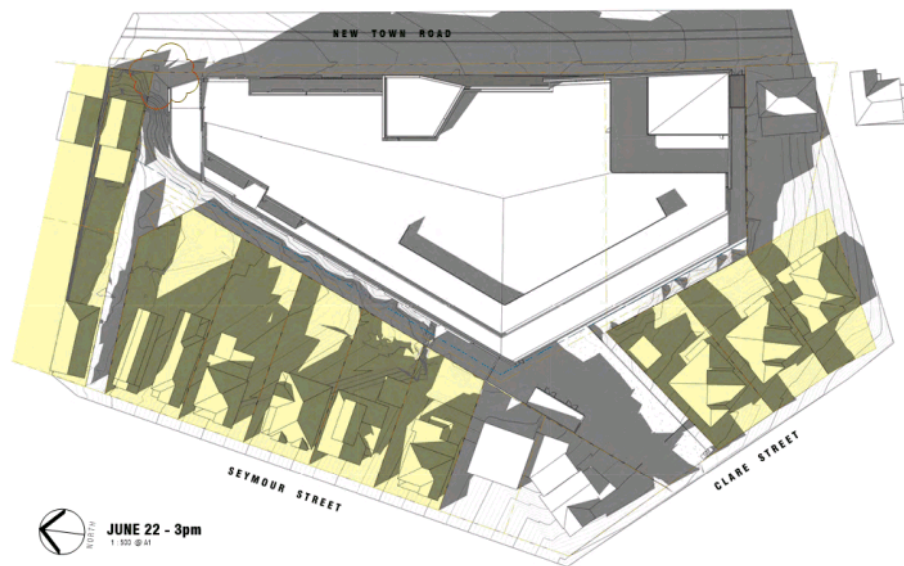
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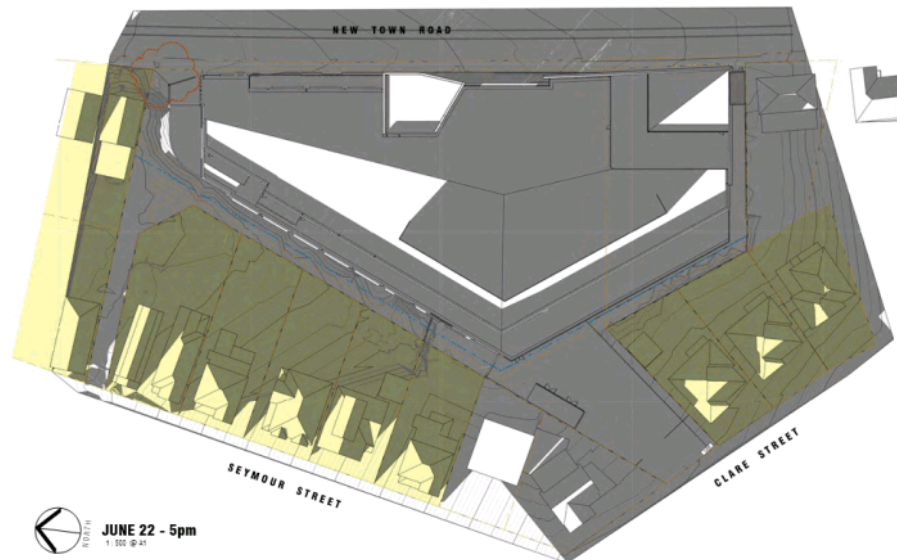


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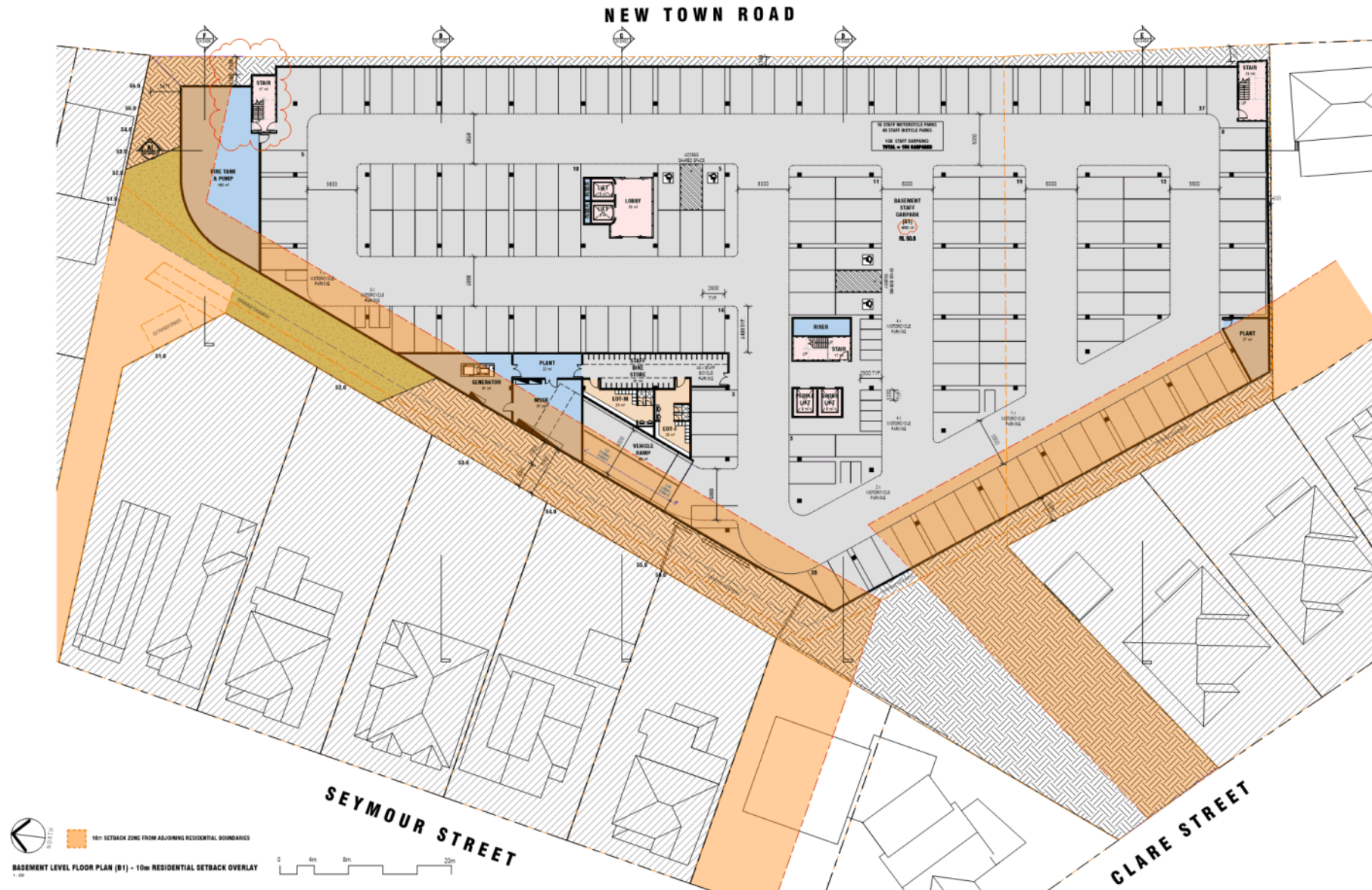
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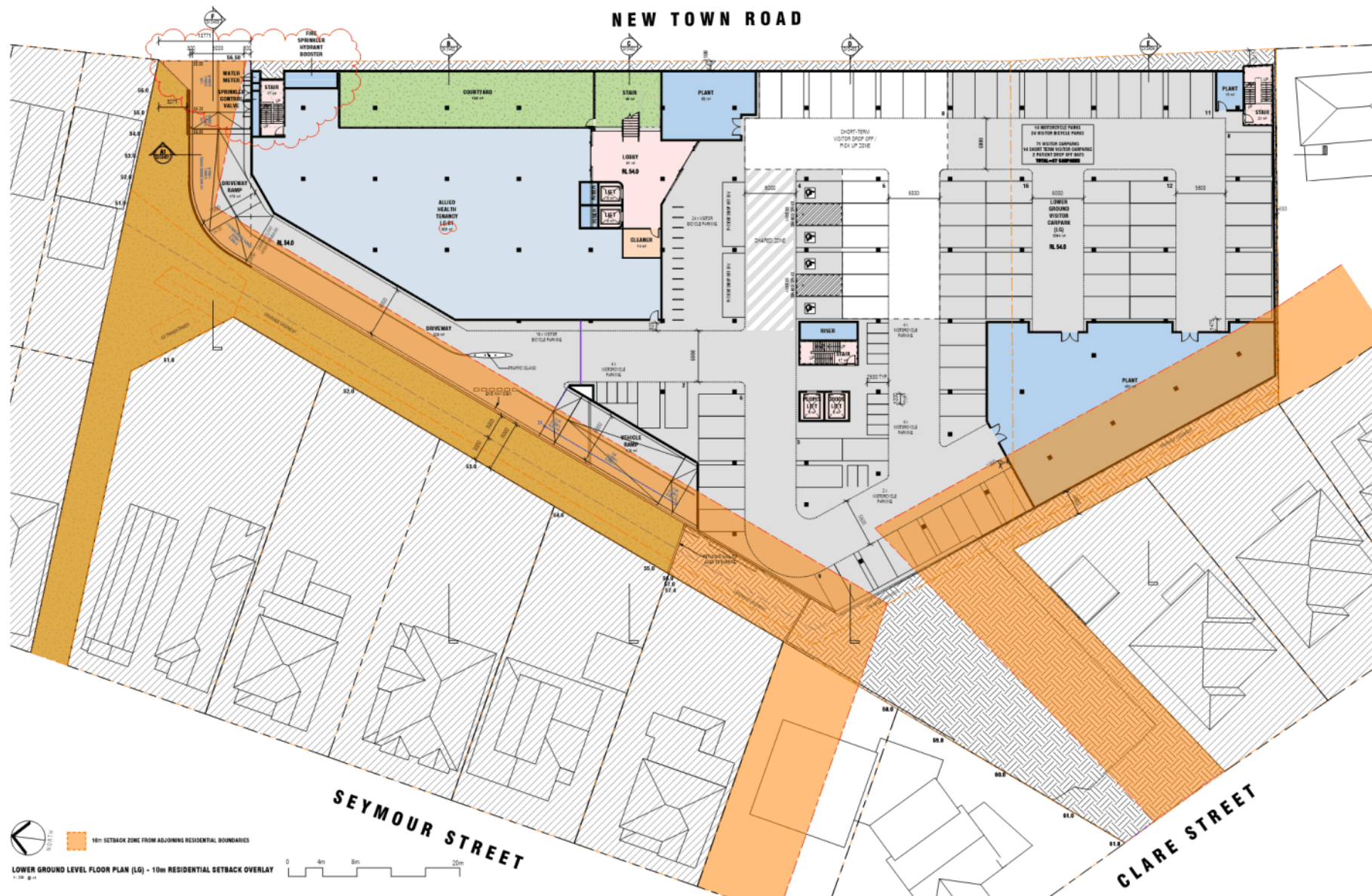
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2020.12.07  
15153 SK3272 E **Swanbury Pengglase**

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**NEW TOWN MEDICAL CENTRE**  
**48-52 NEW TOWN ROAD, NEW TOWN, HOBART, TASMANIA**

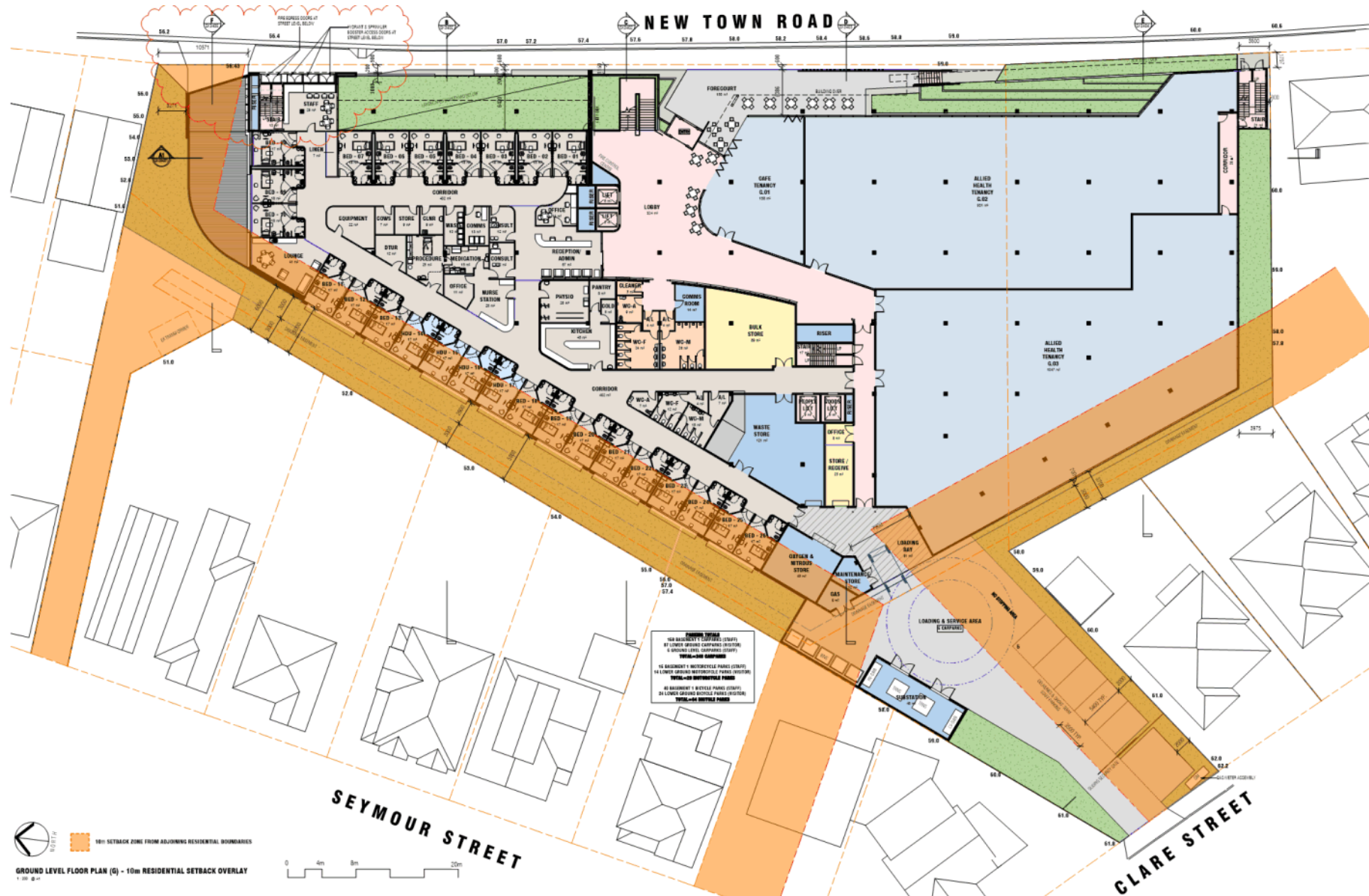
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2020.12.07  
15153 SK3274 E

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Penglase**

The logo for Swanbury Penglase, featuring a stylized black and white geometric design consisting of several parallel lines forming a square-like shape with internal cross-hatching.

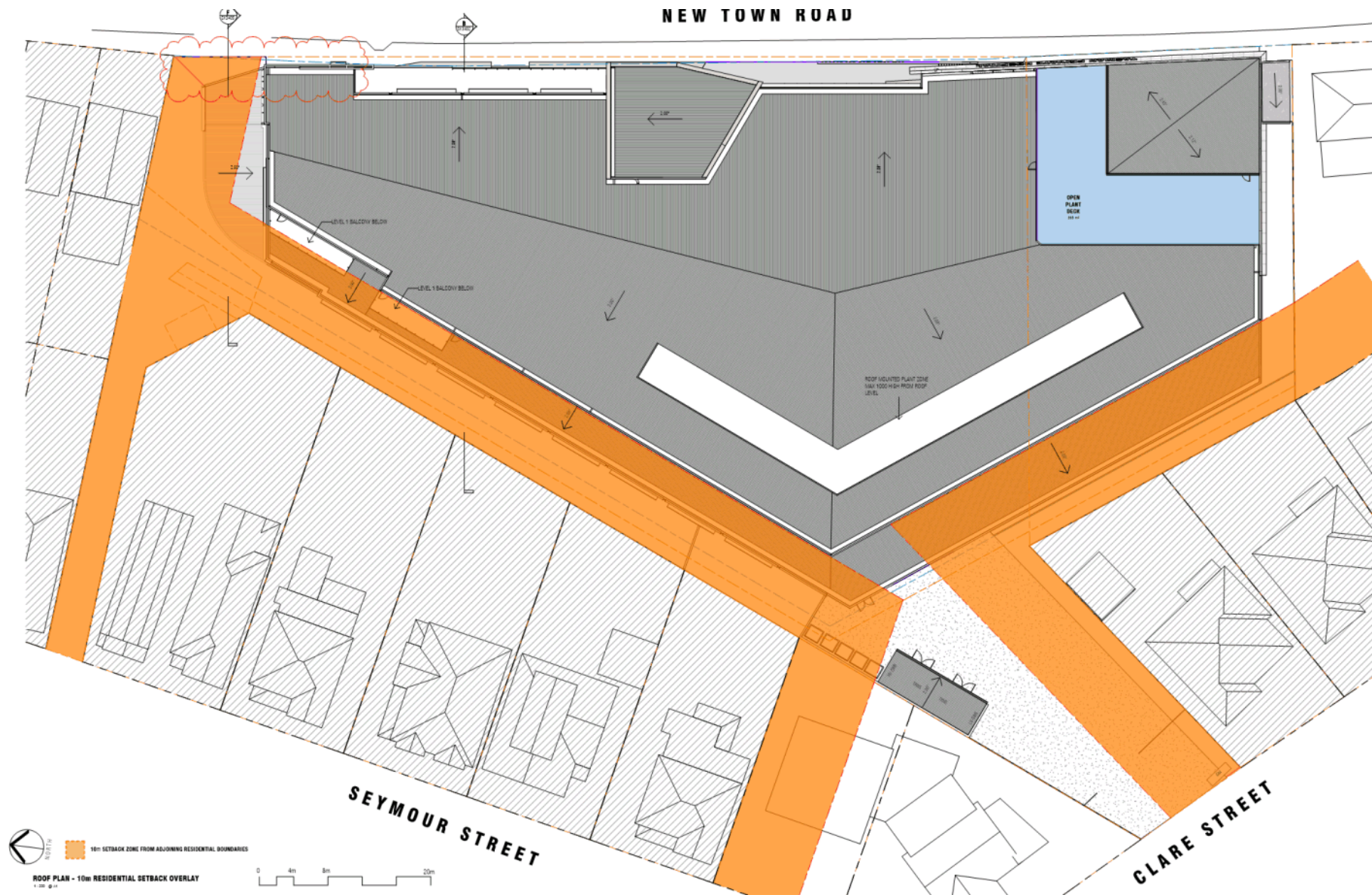
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**NEW TOWN MEDICAL CENTRE**  
48-52 NEW TOWN ROAD, NEW TOWN, HOBART, TASMANIA

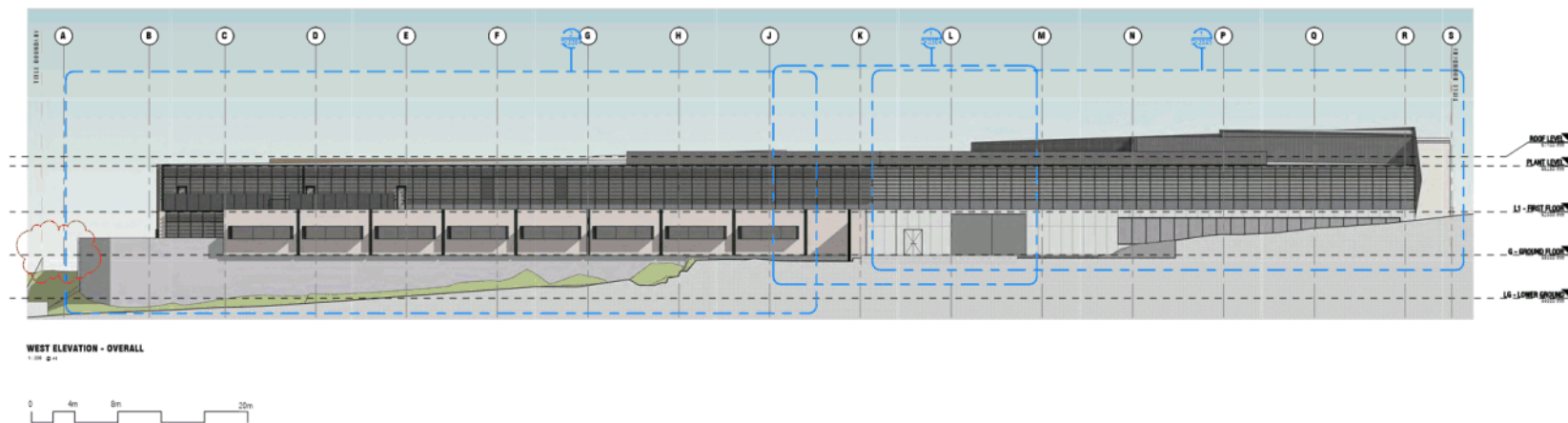
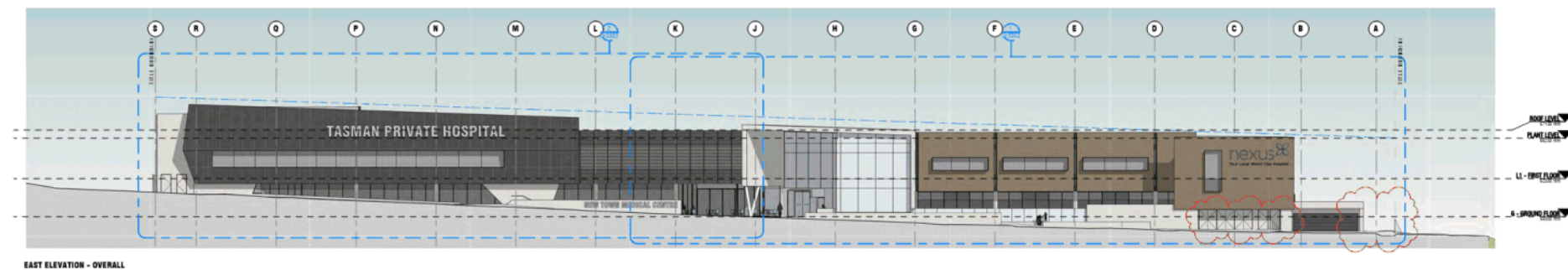
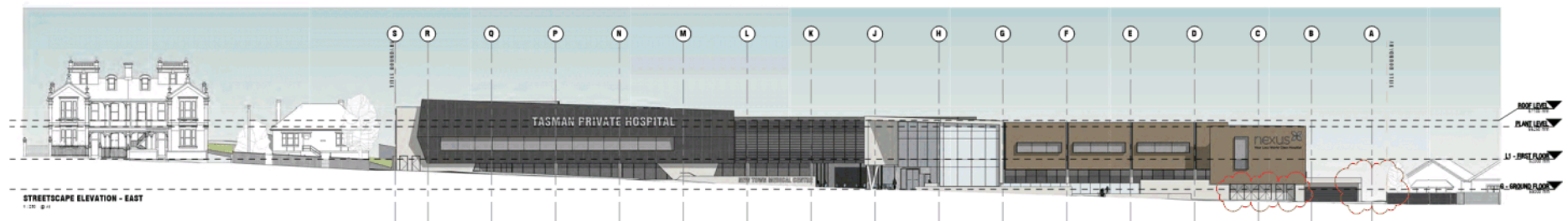
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15153 SK3277 D **Swanbury Pengglase**



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**NEW TOWN MEDICAL CENTRE**  
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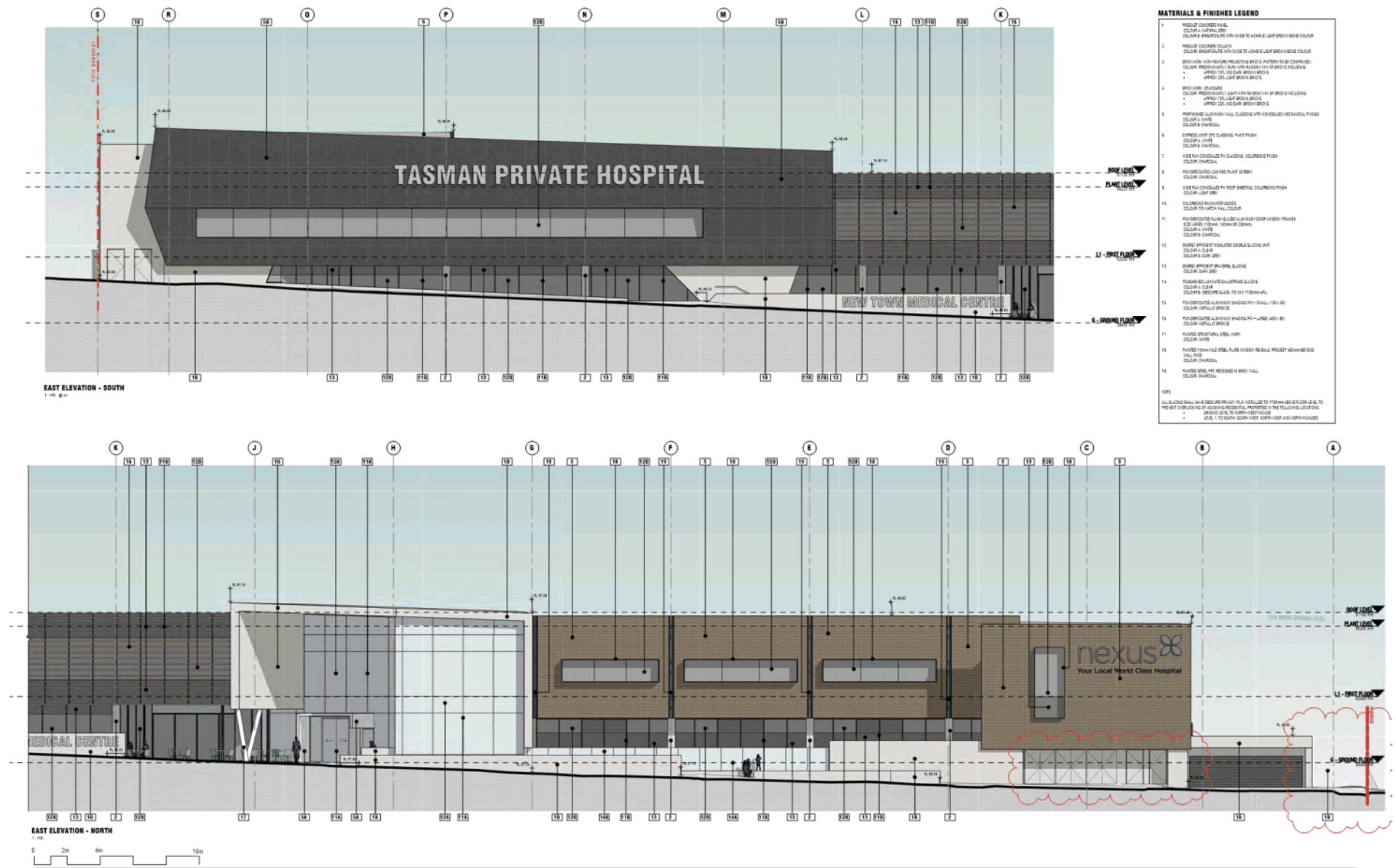
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15153 SK3301 H

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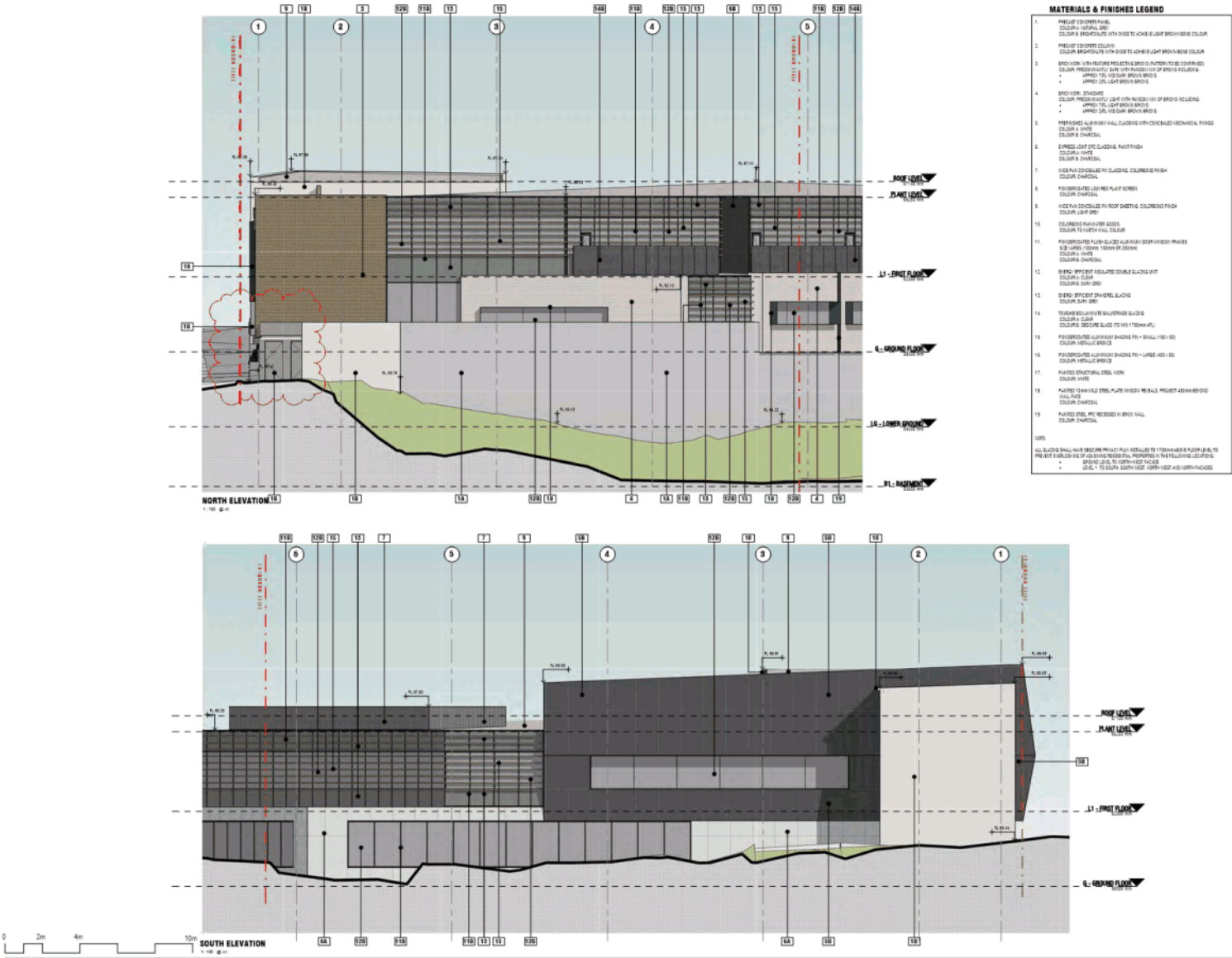
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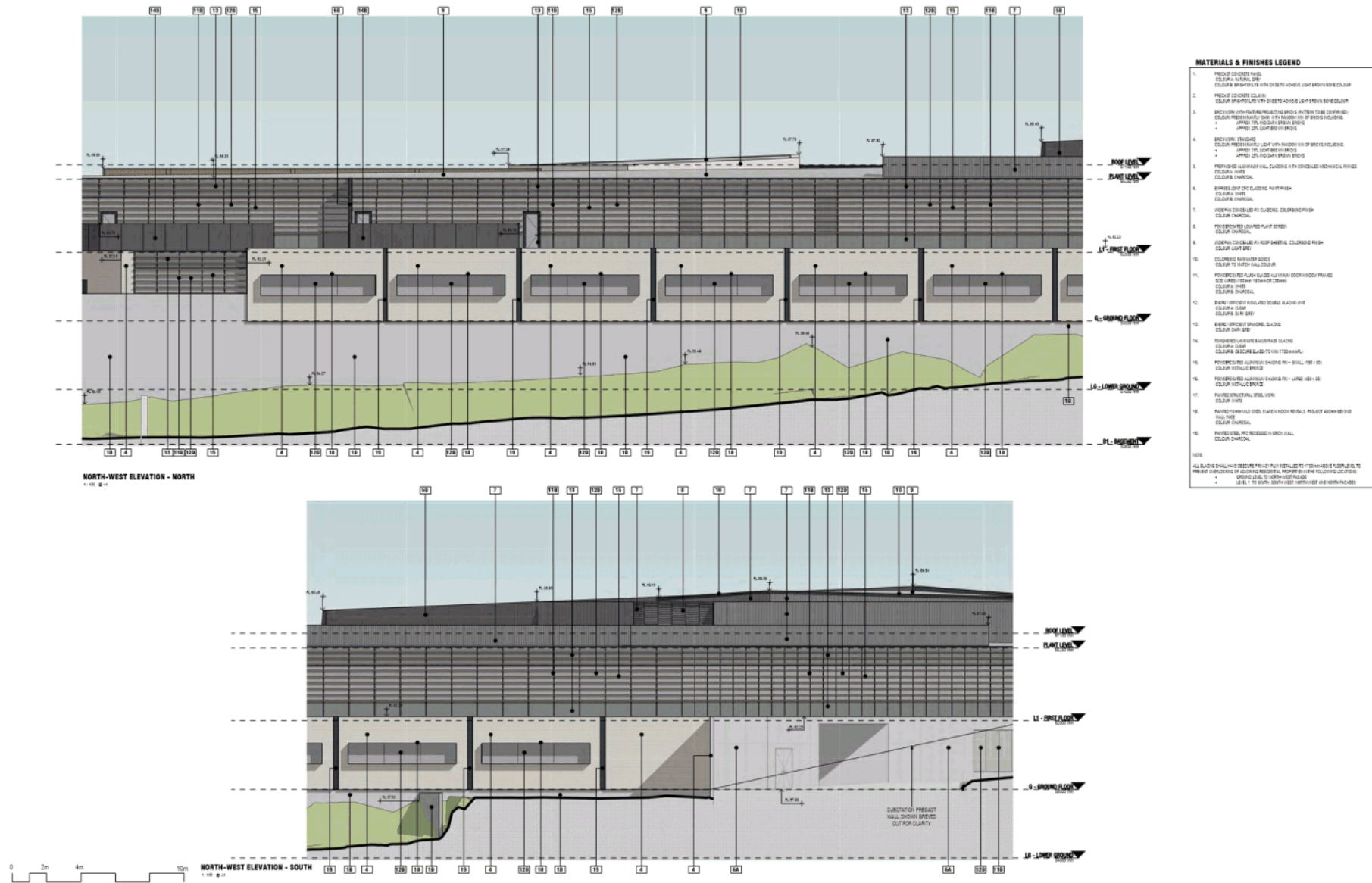
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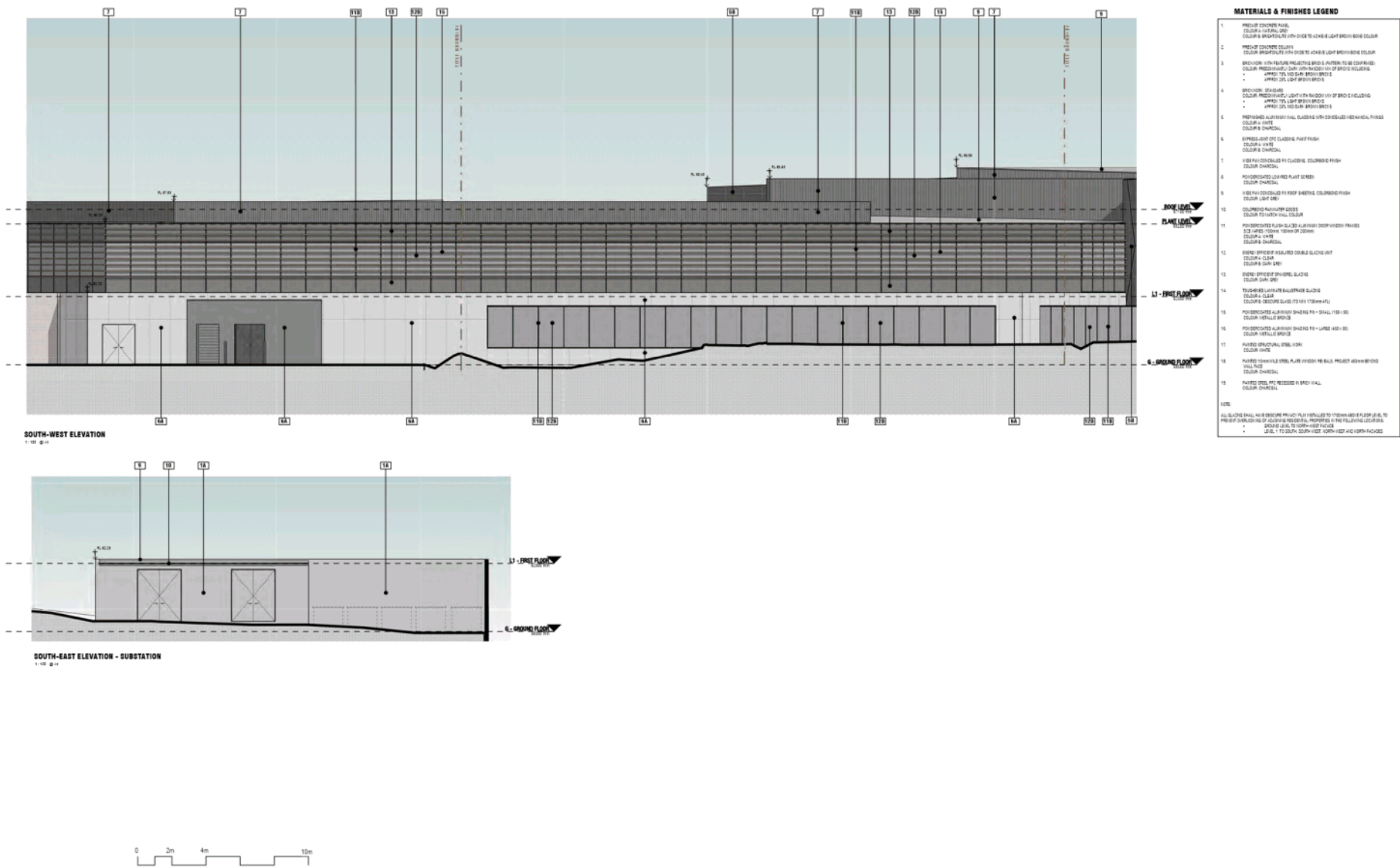
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15153 SK3304 G

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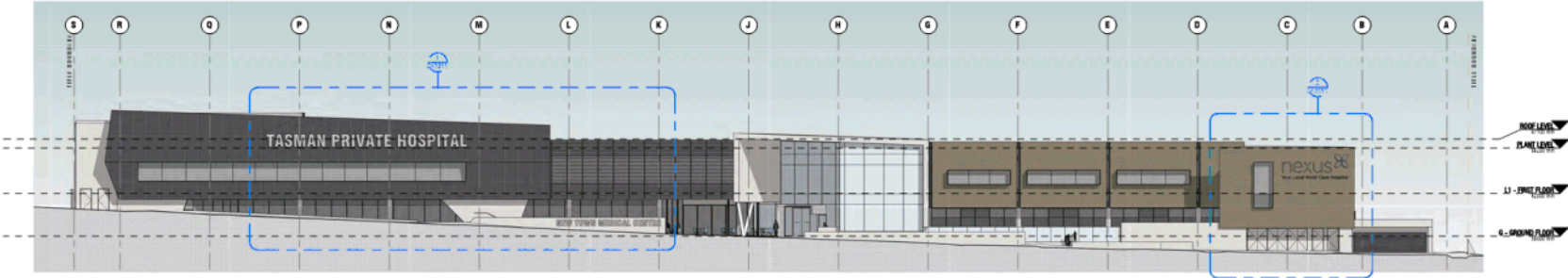


**NEW TOWN MEDICAL CENTRE**  
**48-52 NEW TOWN ROAD, NEW TOWN, HOBART, TASMANIA**

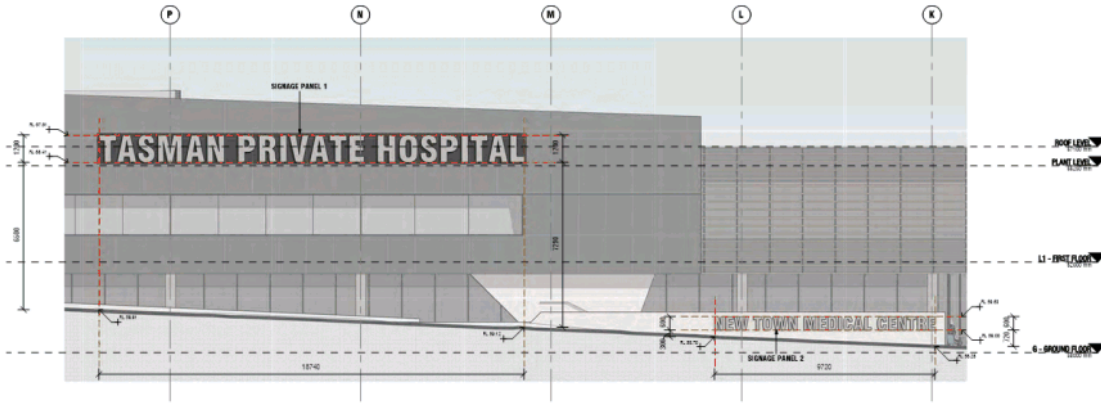
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2020.11.05  
15153 SK3305 G **Swanbury Pengglase**

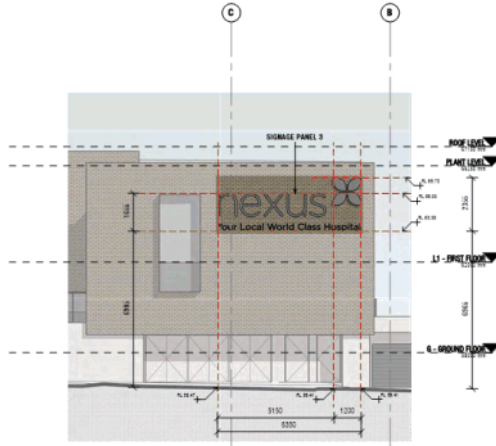
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SIGNAGE KEY PLAN  
1:200



EAST ELEVATION - SIGNAGE PANEL 1 & 2  
1:100



EAST ELEVATION - SIGNAGE PANEL 3  
1:100

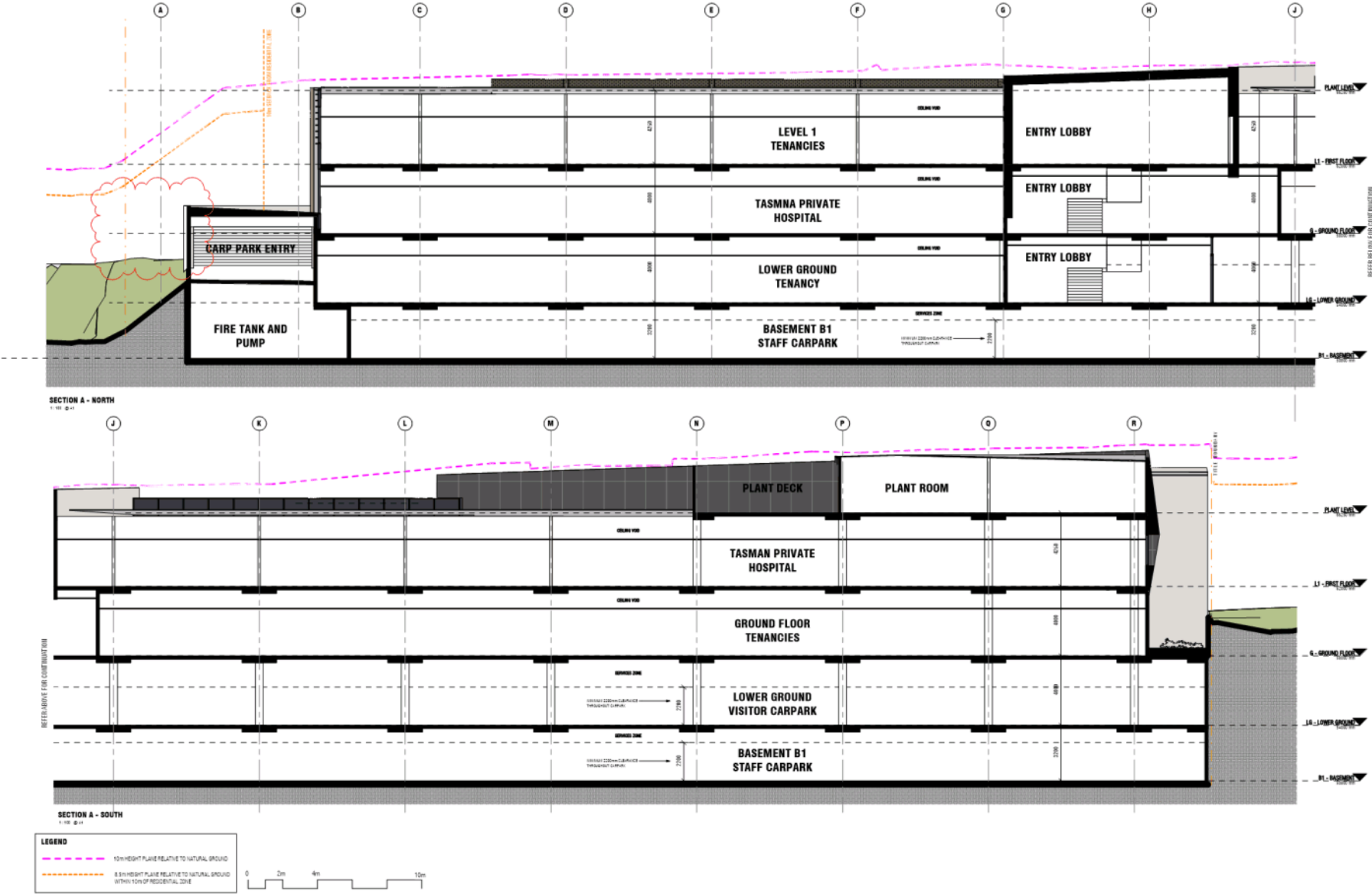
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15153 SK3311 B  
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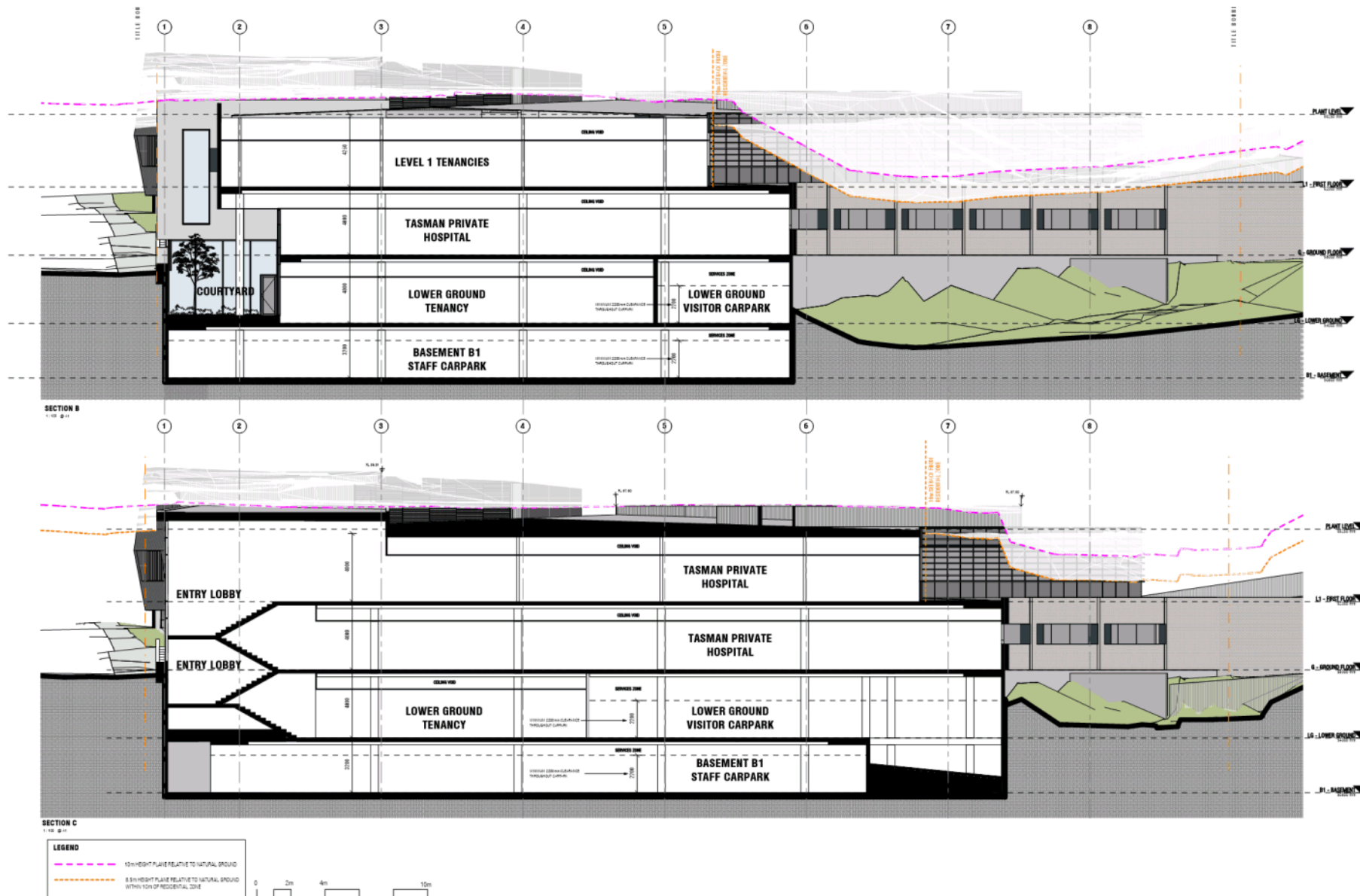


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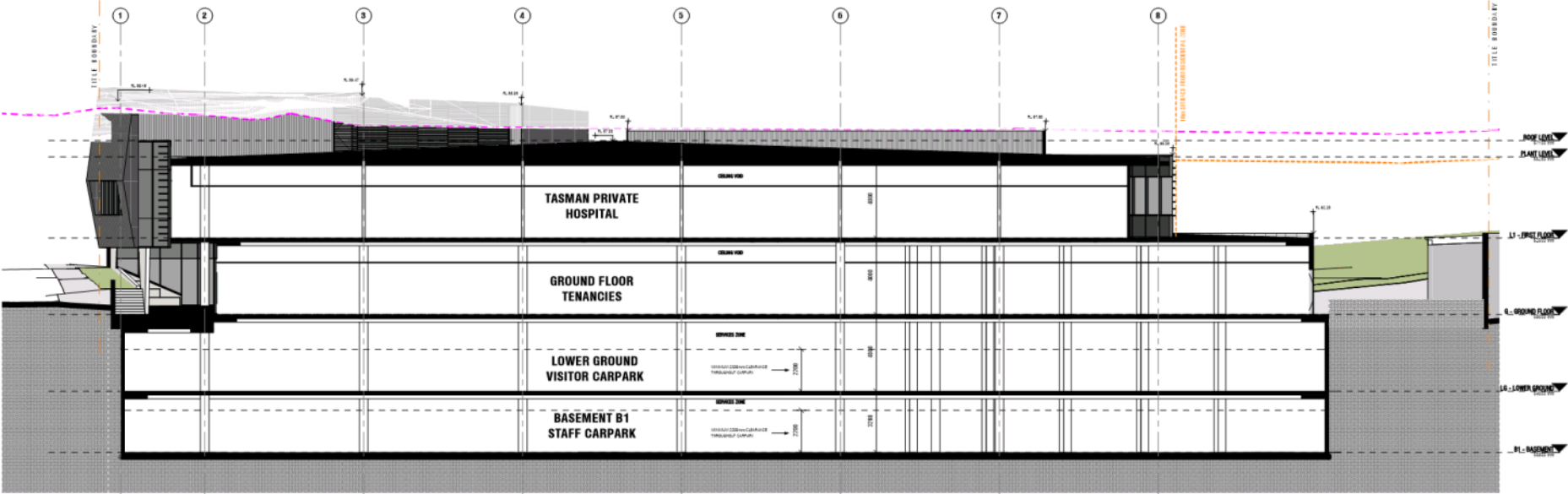
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2020.11.05  
15153 SK3402 C

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SECTION D

LEGEND

- 10m HEIGHT PLANE RELATIVE TO NATURAL GROUND
- 8.5m HEIGHT PLANE RELATIVE TO NATURAL GROUND WITHIN TOWN OF RESIDENTIAL ZONE

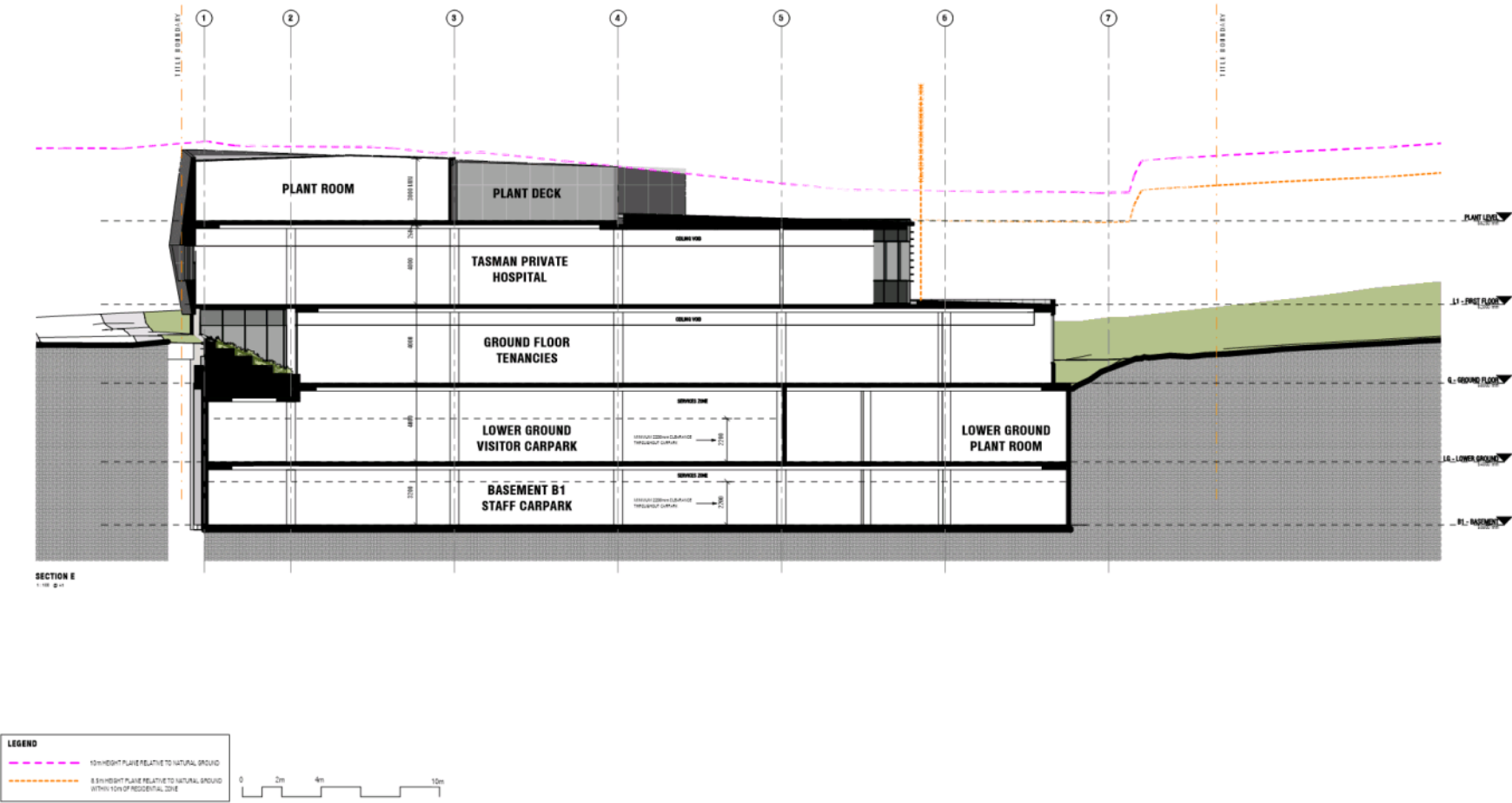


**NEW TOWN MEDICAL CENTRE**  
**48-52 NEW TOWN ROAD, NEW TOWN, HOBART, TASMANIA**

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2020.11.05  
15153 SK3403 C **Swanbury Pengglase**

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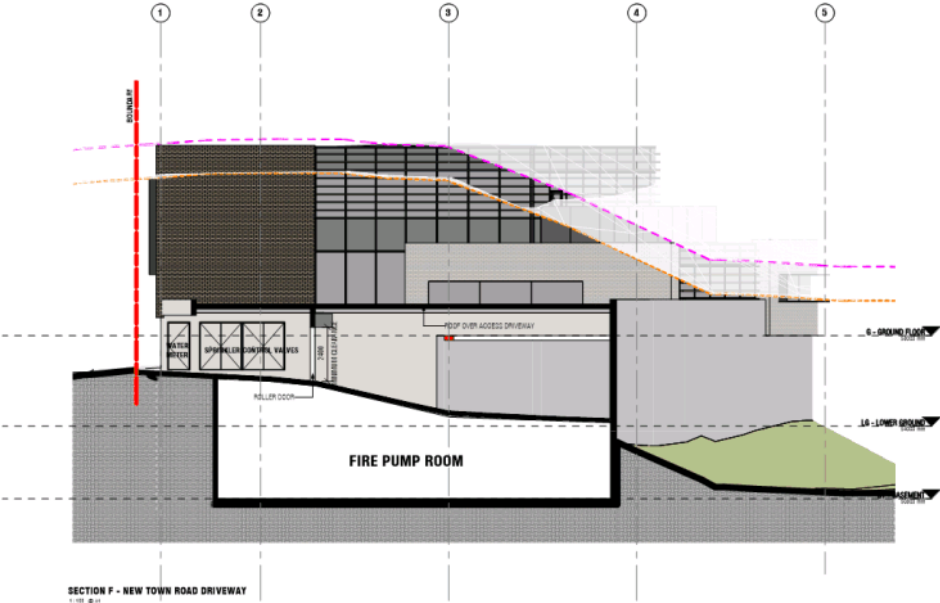
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2020.11.05  
15153 SK3404 C  
**Swanbury Pengglase**

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LEGEND

- 10m HEIGHT PLANE RELATIVE TO NATURAL GROUND
- 8.5m HEIGHT PLANE RELATIVE TO NATURAL GROUND WITHIN 10m OF RESIDENTIAL ZONE

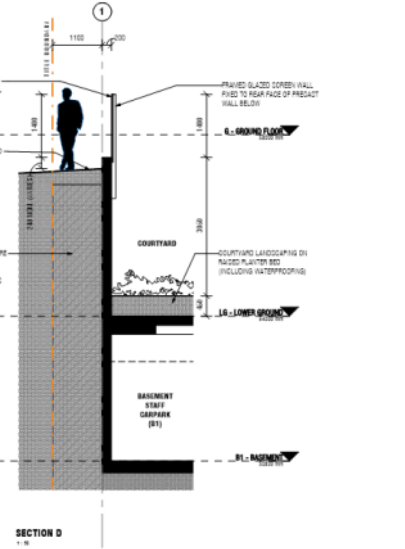
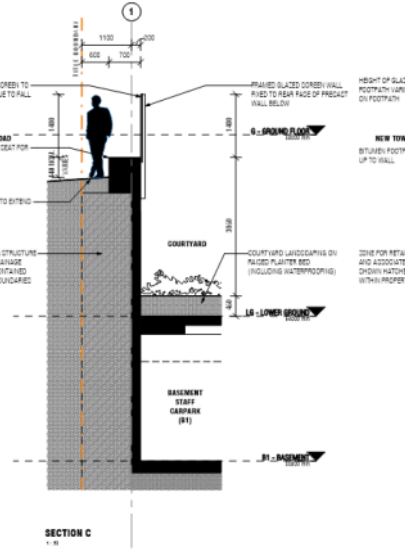
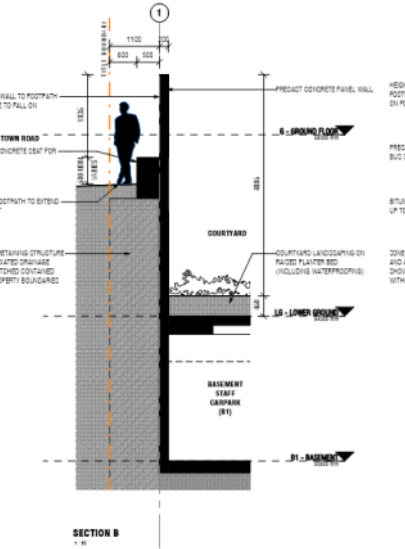
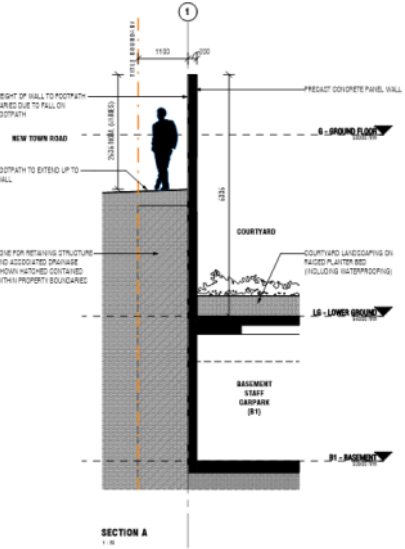
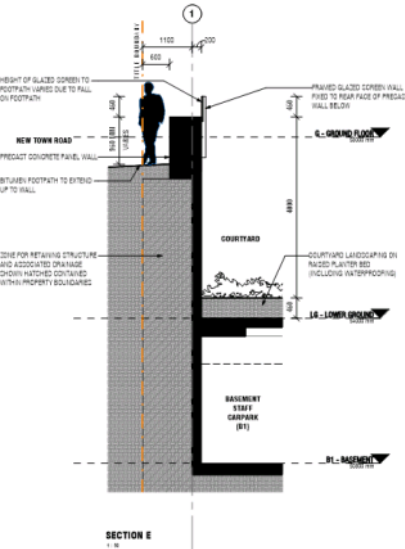
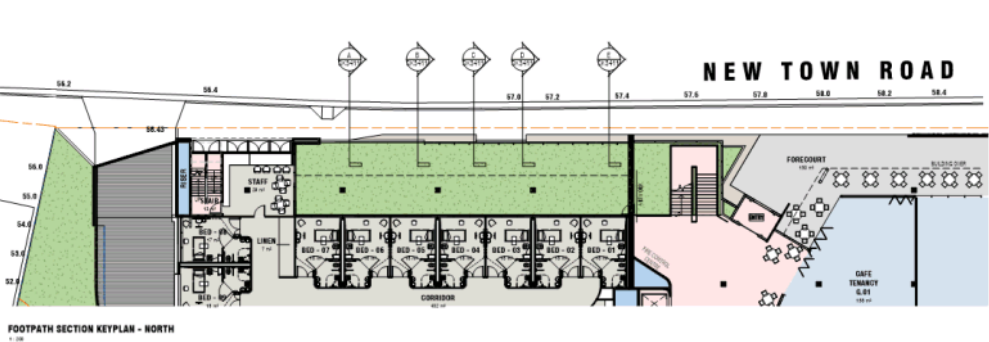


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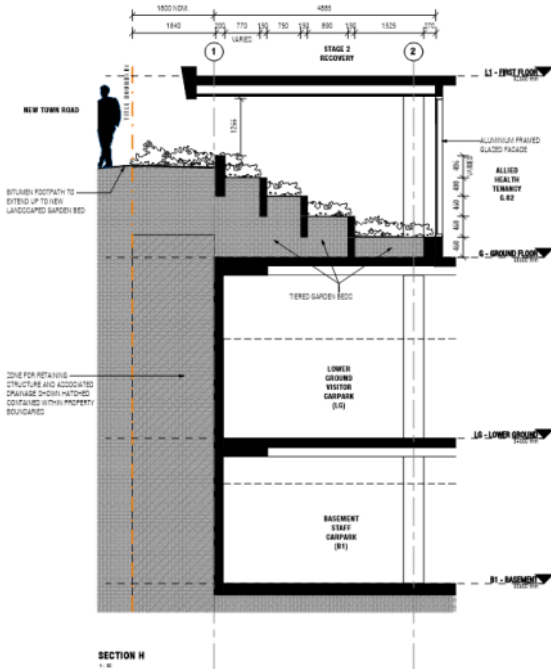
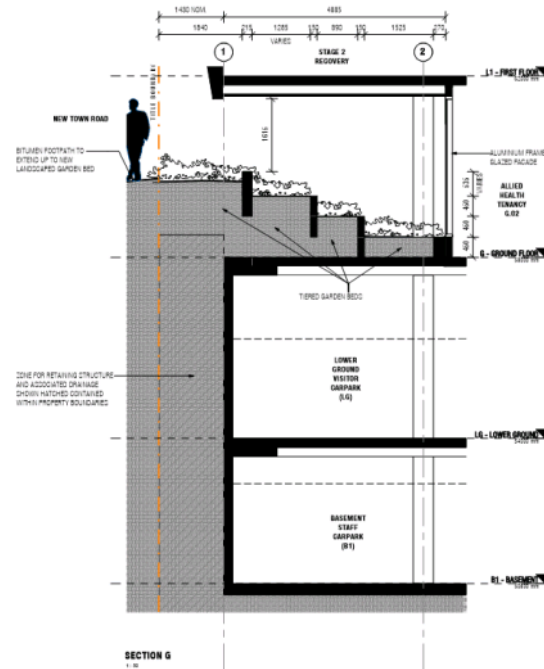
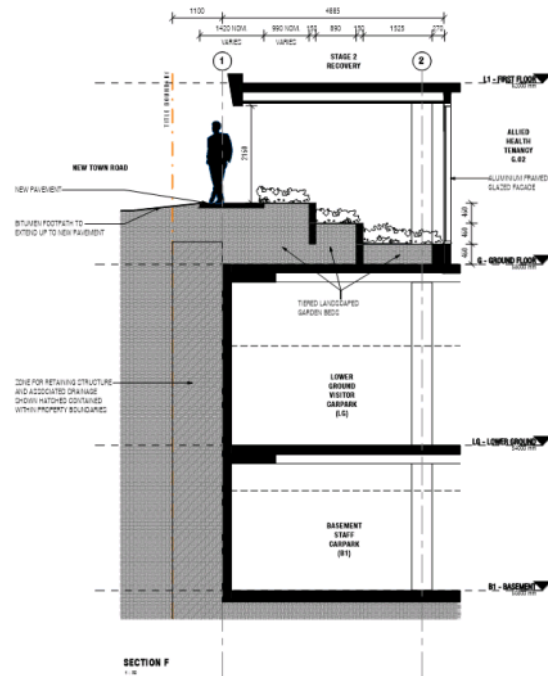
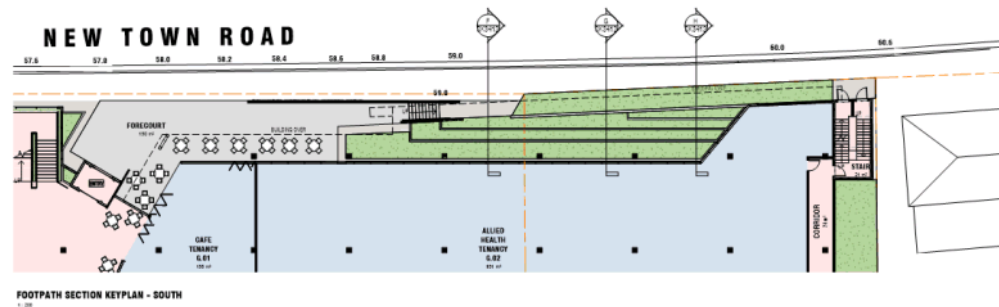


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48-52 NEW TOWN ROAD, NEW TOWN, HOBART, TASMANIA

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15153 SK3411 B  
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15153 SK3412 B

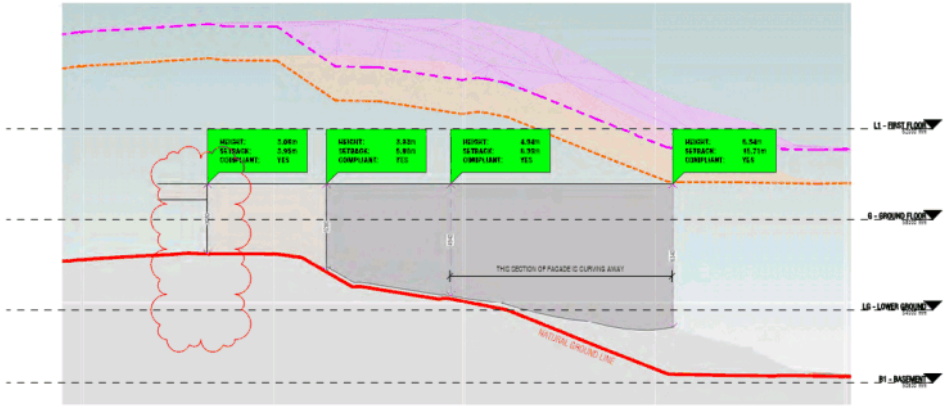
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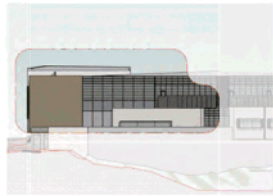
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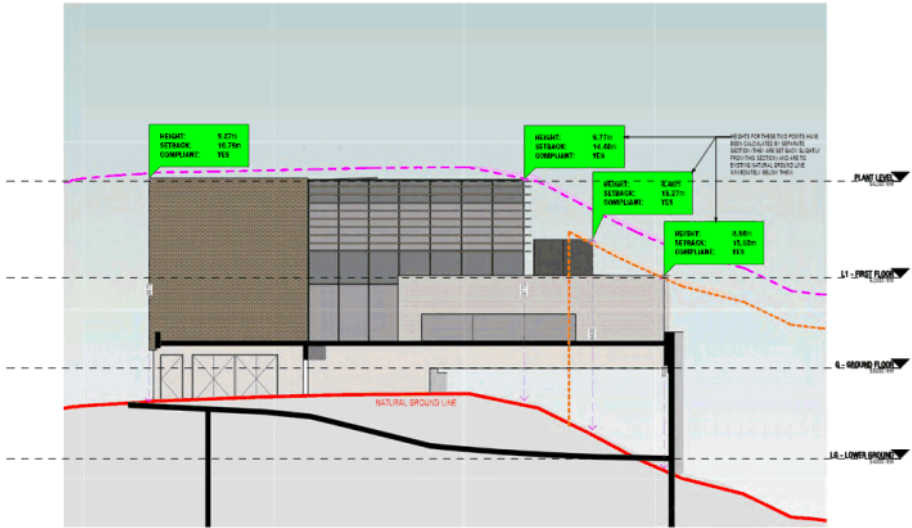
KEY ELEVATION - NORTH



NORTH SETBACK SECTION - BASEMENT 1 & LOWER GROUND



KEY ELEVATION - NORTH



NORTH SETBACK SECTION - LOWER GROUND, GROUND & LEVEL 1



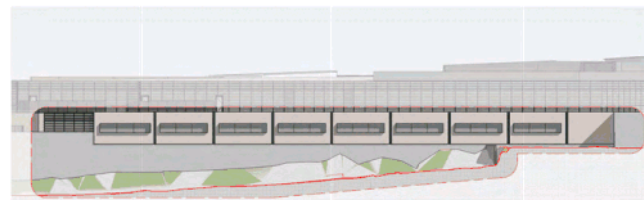
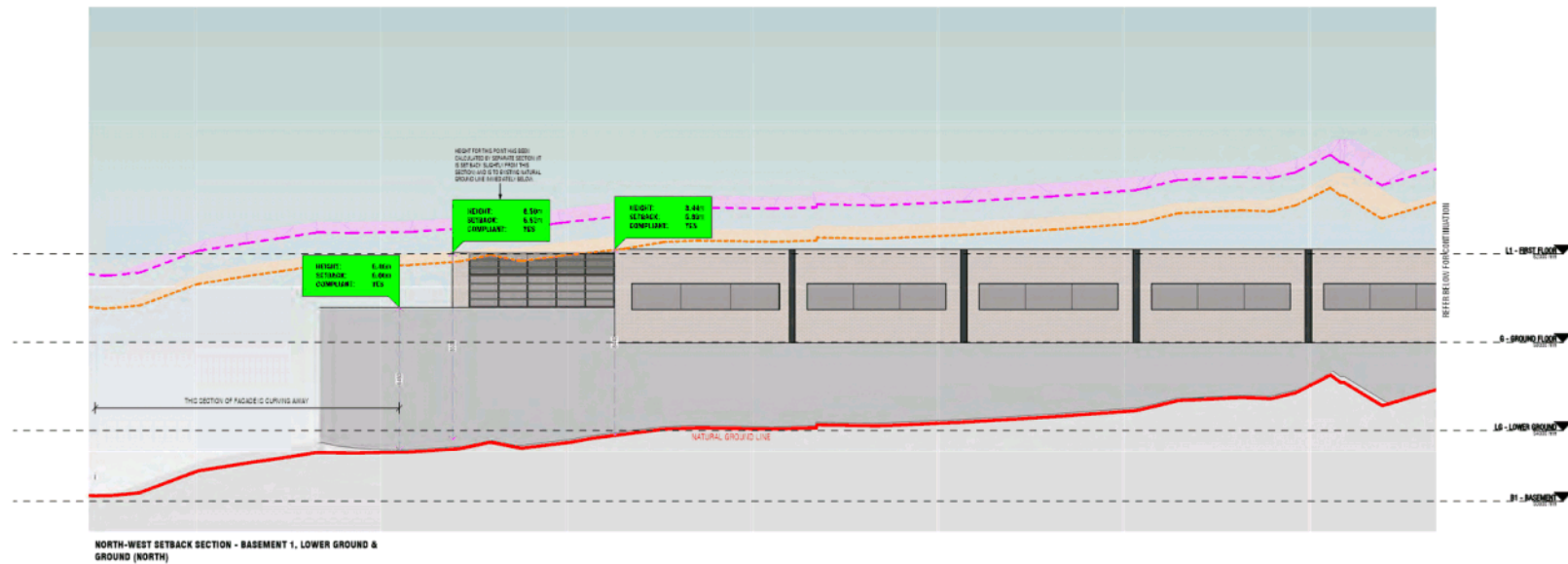
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**48-52 NEW TOWN ROAD, NEW TOWN, HOBART, TASMANIA**

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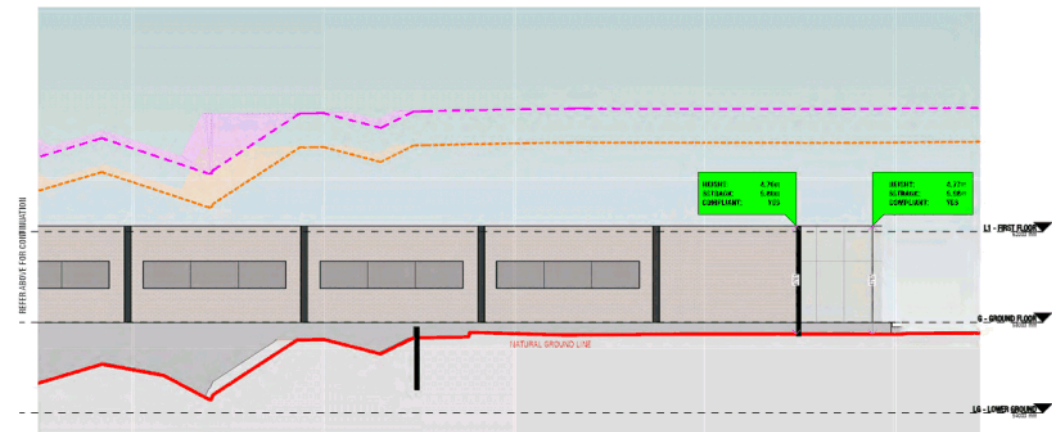
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15153 SK3421 D **Swanbury Pengglase**

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**KEY ELEVATION - NORTH-WEST**



**NORTH-WEST SETBACK SECTION - BASEMENT 1, LOWER GROUND & GROUND (SOUTH)**



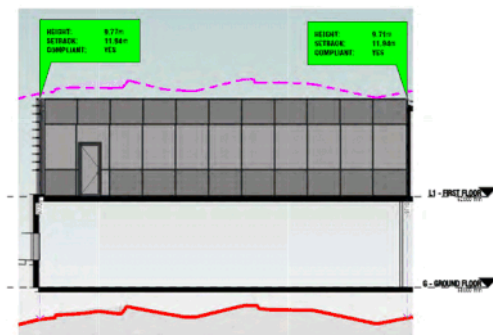
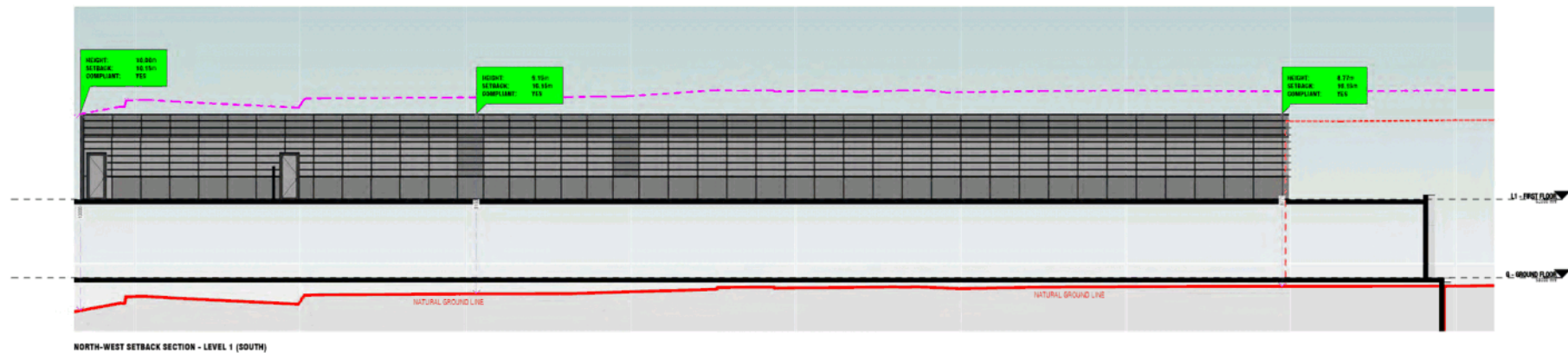
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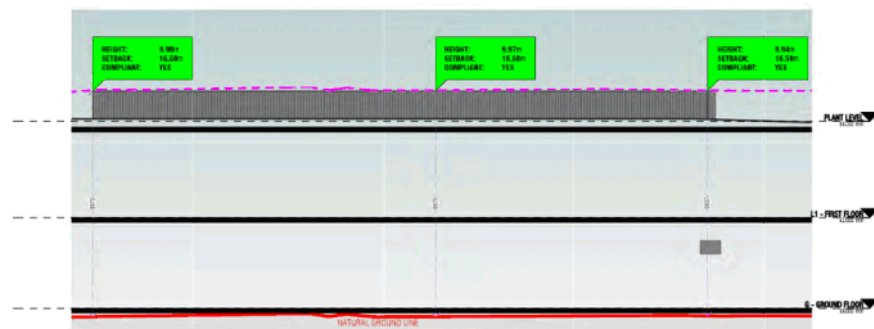
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NORTH-WEST SETBACK SECTION - LEVEL 1 (NORTH)



NORTH-WEST SETBACK SECTION - PLANT

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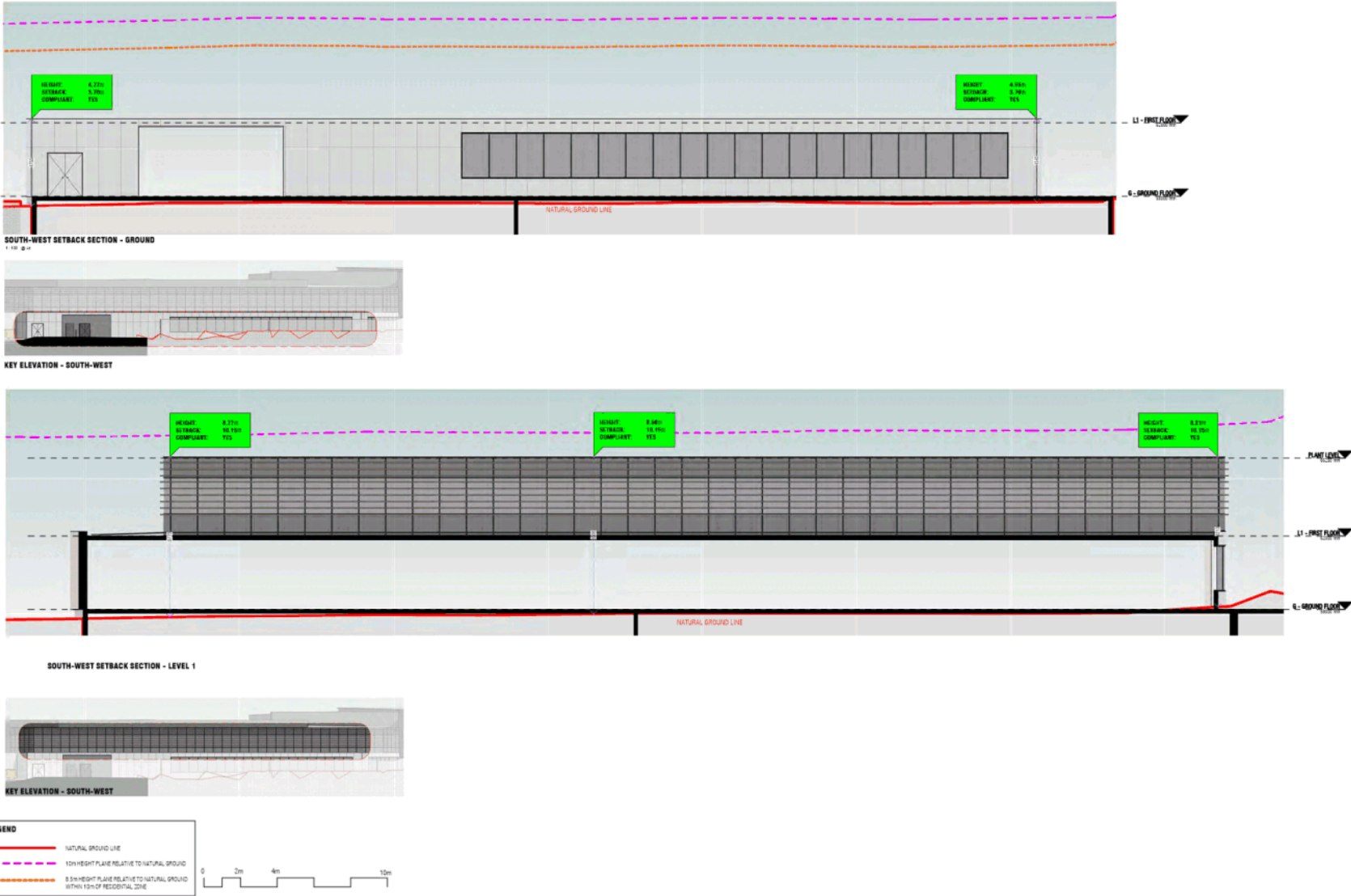
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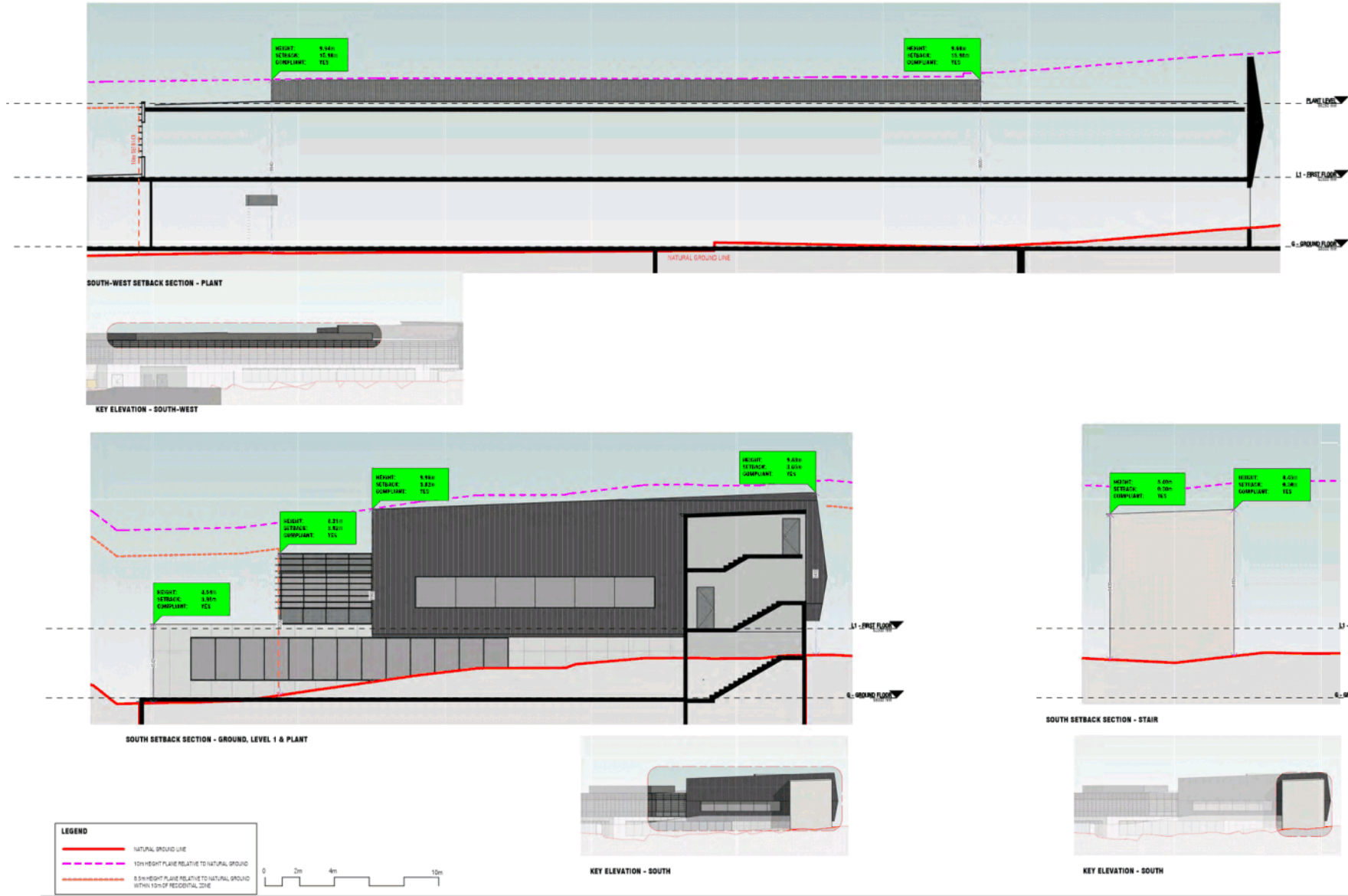


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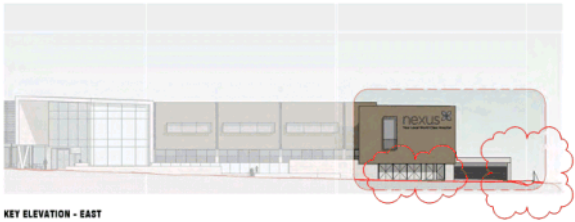
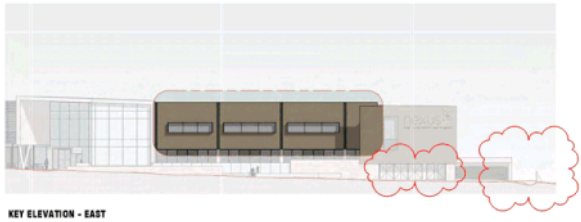
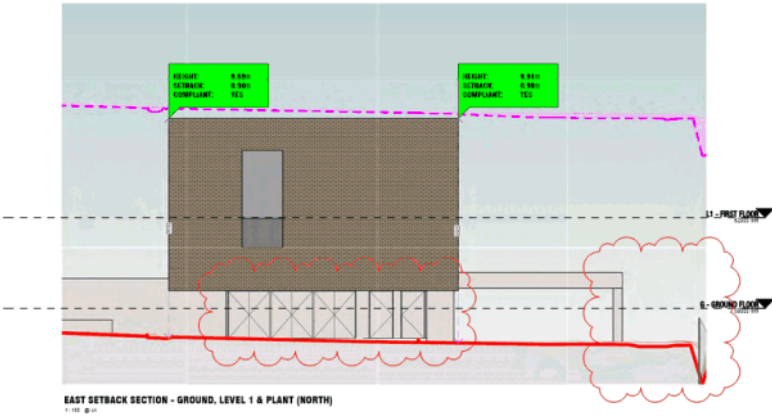
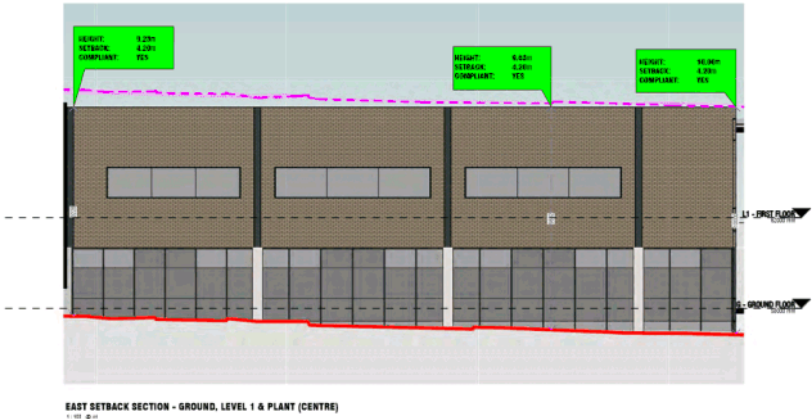
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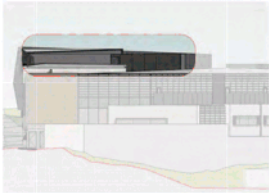
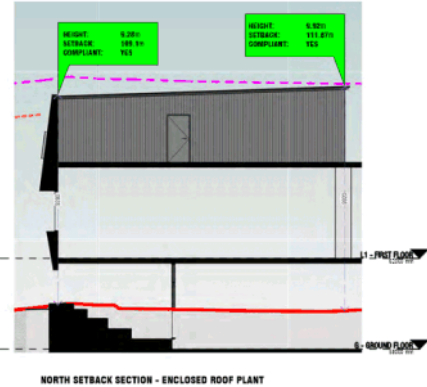
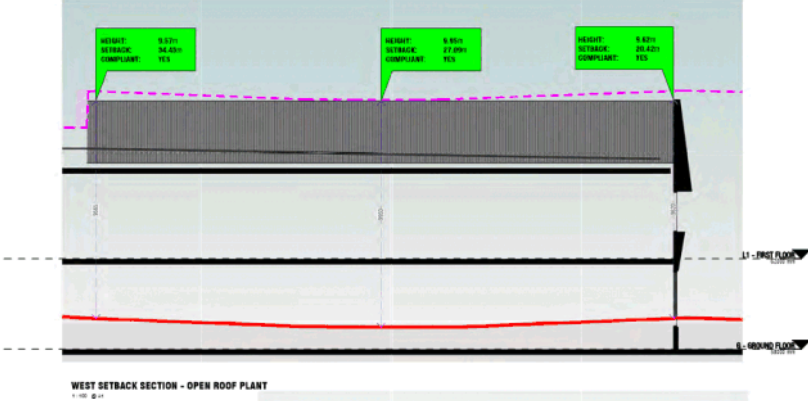
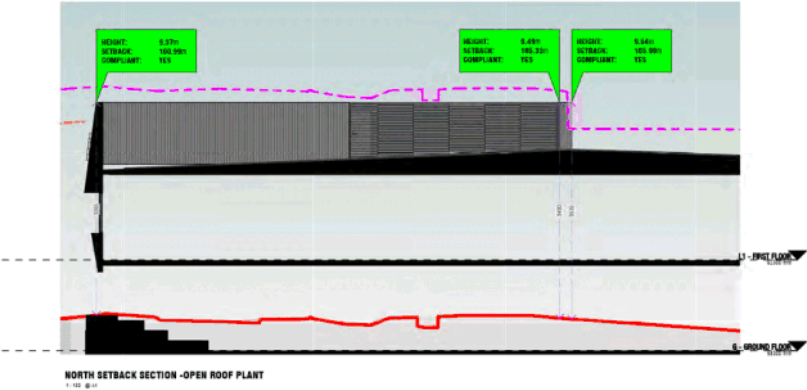
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**48-52 NEW TOWN ROAD, NEW TOWN, HOBART, TASMANIA**

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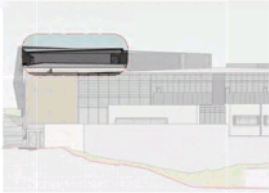
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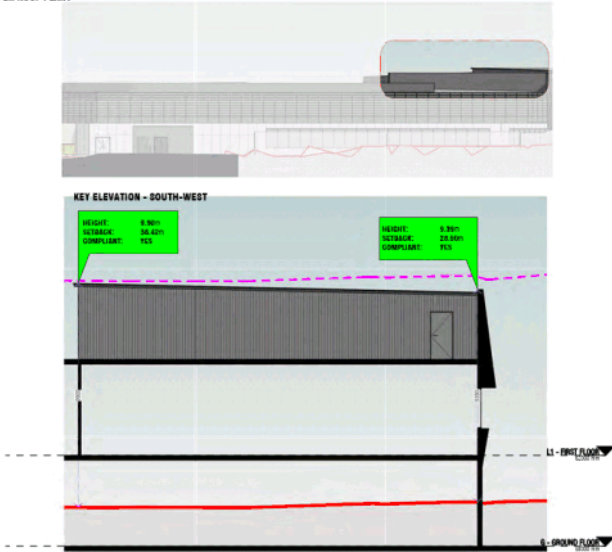




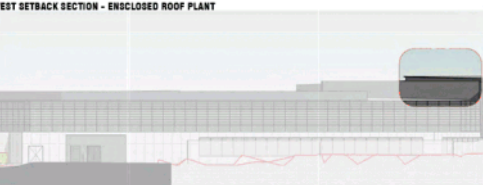
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KEY ELEVATION - NORTH



KEY ELEVATION - SOUTH-WEST



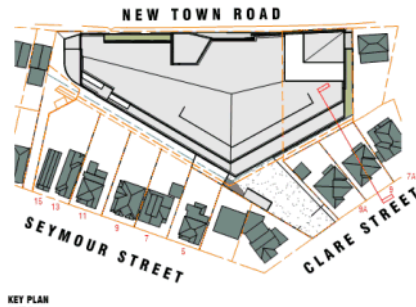
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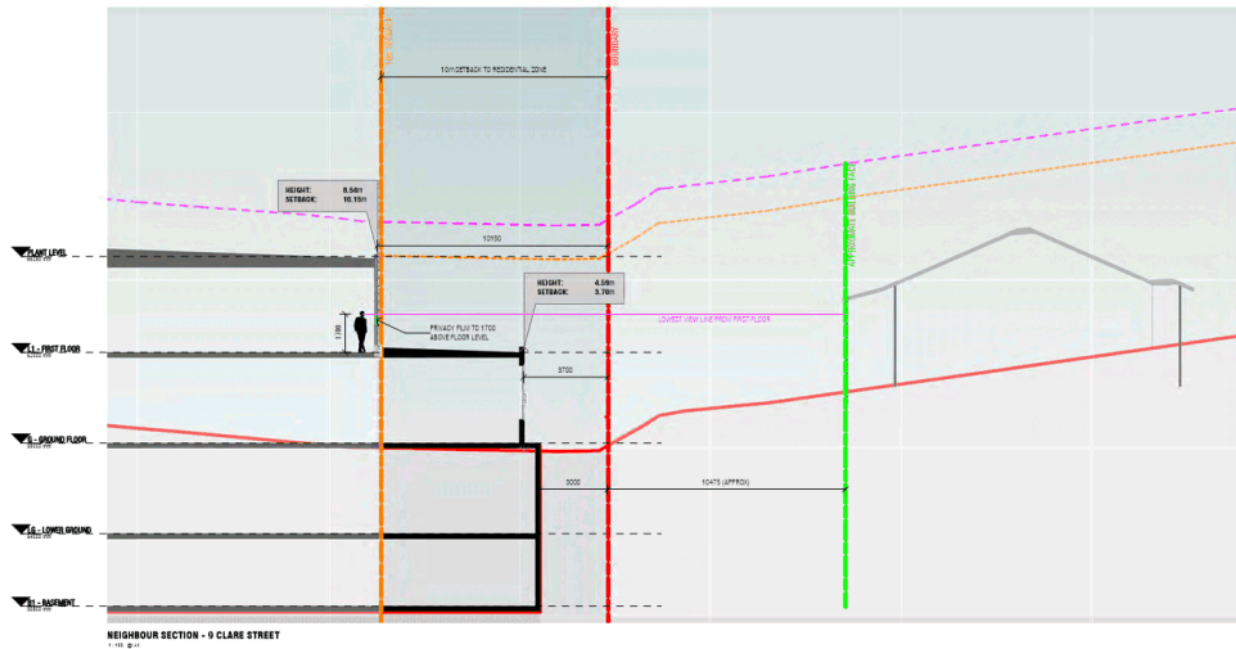
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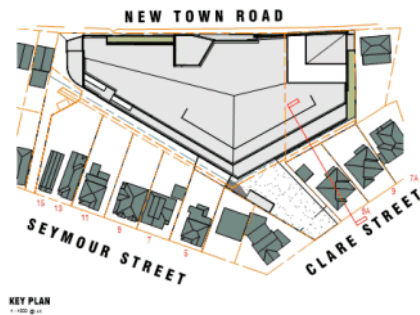
- NOTES REGARDING MODELING OF ADJOINING PROPERTIES**
1. AS ACCESS HAS NOT BEEN PROVIDED BY RESIDENTS TO ALL ADJOINING PROPERTIES, A FULL DETAILED SURVEY HAS NOT YET BEEN UNDERTAKEN OF ADJOINING PROPERTIES.
  2. AS A RESULT, THE EXISTING GROUND LINE INDICATED IN ADJOINING PROPERTIES IS APPROXIMATE ONLY AND REPRESENTS AN EXTRAPOLATION BETWEEN SURVEYED GROUND LEVELS AT THE FOLLOWING LOCATIONS:
    - ALONG THE FOOTPATH OF CLARE STREET
    - ALONG THE FOOTPATH OF SEYMOUR STREET
    - LEVELS ALONG THE BOUNDARIES OF THE APPLICANT'S PROPERTY.
  3. FORMAL SURVEY DATA HAS BEEN OBTAINED FOR MOST OF THE MAIN ROOFS OF ADJOINING RESIDENCES WHERE VISIBLE FROM OUTSIDE OF EACH PROPERTY. SOME ROOFS TO THE REAR OF ADJOINING SITES, WHERE OBSCURED BY TREES ETC., HAVE NOT BEEN ABLE TO BE SURVEYED.
  4. ROOFS HAVE BEEN MODELLED USING THIS SURVEY DATA WHERE PROVIDED.
  5. OTHER BUILDING ELEMENTS, (FOR WHICH SURVEY DATA DOES NOT EXIST), HAVE BEEN MODELLED THROUGH EXAMINATION OF THE FOLLOWING MATERIAL:
    - RELATIONSHIP TO FORMAL SURVEYED ELEMENTS
    - USE OF AN EXTENSIVE LIBRARY OF PHOTOS OF THE ADJOINING PROPERTIES (TAKEN FROM STREETS AND THE APPLICANT SITE)
    - USE OF AERIAL PHOTOGRAPHY FROM BOTH GOOGLE MAPS AND NEARMAPS
    - GOOGLE STREETVIEW
  6. WHILST THESE OTHER ELEMENTS HAVE BEEN CAREFULLY MODELLED USING THIS METHODOLOGY, IF REQUIRED, THEY SHALL BE CONFIRMED BY SURVEY ONCE APPROVALS ARE GIVEN.
  7. SECTIONS HAVE BEEN TAKEN PERPENDICULAR TO THE BOUNDARY AND TO THE EXTERNAL WALLS OF THE APPLICANT'S PROPOSED DEVELOPMENT. SECTIONS ARE NOT PERPENDICULAR TO THE REAR WALLS OF THE ADJOINING RESIDENCES AND THEREFORE THE DIMENSIONS PROVIDED (BETWEEN REAR WALL AND THE REAR BOUNDARY) ARE APPROXIMATE ONLY AND TO THE CENTRE OF THE WALL, AS A NATURAL CONSEQUENCE, ONE CORNER OF THE RESIDENCE SHALL BE CLOSER AND THE OTHER FURTHER AWAY.



**NEW TOWN MEDICAL CENTRE**  
48-52 NEW TOWN ROAD, NEW TOWN, HOBART, TASMANIA

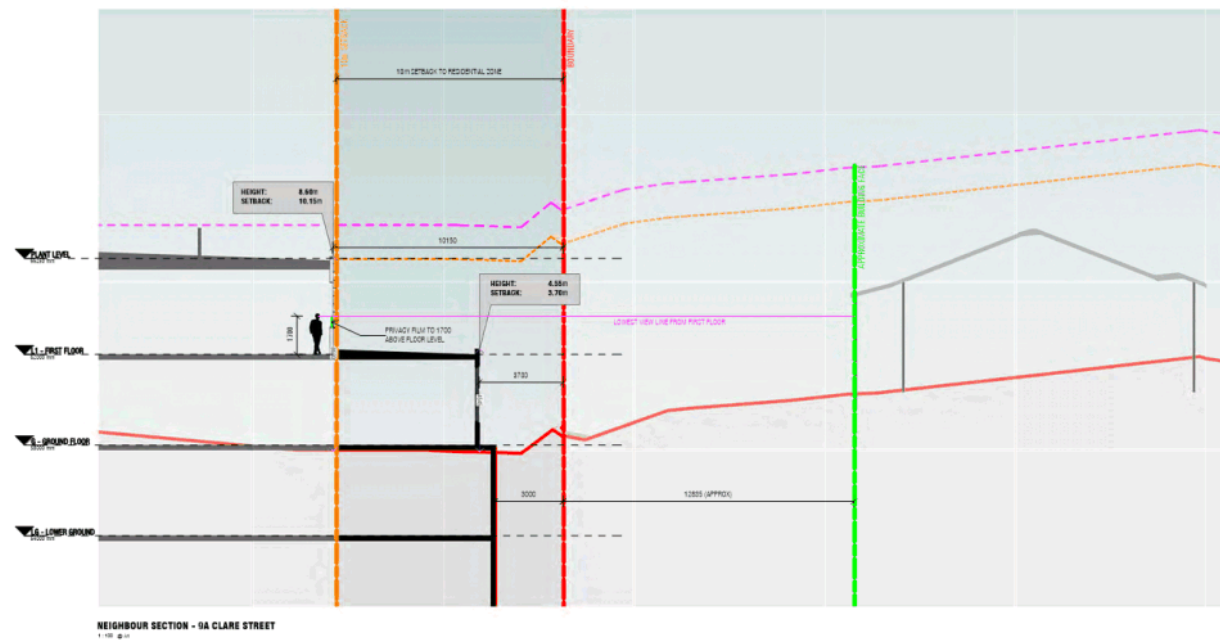
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### NOTES REGARDING MODELING OF ADJOINING PROPERTIES

- |    |   |    |  |
|----|---|----|--|
| 1. | AS ACCESS HAS NOT BEEN OBTAINED BY RESIDENTS TO ALL ADJOINING PROPERTIES, A DETAILED SURVEY HAS NOT YET BEEN UNDERTAKEN OF ADJOINING PROPERTIES.  | 6. | OTHER BUILDING ELEMENTS, (FOR WHICH SURVEY DATA DOES NOT EXIST), HAVE BEEN MODELLED THROUGH EXAMINATION OF THE FOLLOWING MATERIAL:   |
| 2. | AS A RESULT, THE EXISTING GROUND LINE INDICATED IN ADJOINING PROPERTIES IS APPROXIMATE ONLY.  |    | - RELATIONSHIP TO FORMAL SURVEYED ELEMENTS   |
|    | USE RESIDENTS AN EXISTING STREET FRONTAGE SURVEYED GROUND LEVELS AT THE FOLLOWING LOCATIONS:  |    | - USE OF AN EXTENSIVE LIBRARY OF PHOTOS OF THE ADJOINING PROPERTIES (TAKEN FROM STREETS AND THE APPLICANT SITE)  |
|    | - ALONG THE FOOTPATH OF CLARE STREET  |    | - AERIAL PHOTOGRAPHY FROM BOTH GOOGLE MAPS AND NEARMAPS  |
|    | - ALONG THE FOOTPATH OF STANBURY STREET   |    | - GOOGLE STREETVIEW  |
|    | - LEVELS ALONG THE BOUNDARIES OF THE APPLICANTS' PROPERTY.  | 6. | WHILE THESE OTHER ELEMENTS HAVE BEEN CAREFULLY MODELLED USING THIS METHODOLOGY, IF REQUIRED, THEY SHALL BE CONFIRMED BY SURVEY ONCE APPROVALS ARE GIVEN.   |
| 3. | FORMAL SURVEY DATA HAS BEEN OBTAINED FOR MOST OF THE MAIN ROADS OF ADJOINING RESIDENCES WHERE VISUAL OUTCROPS OF EACH PROPERTY, SOME ROADS TO THE REAR OF ADJOINING SITES, WHERE OBSCURED BY TREES ETC., HAVE NOT BEEN ABLE TO BE SURVEYED. | 7. | SECTIONS HAVE BEEN TAKEN PERPENDICULAR TO THE BOUNDARY AND TO THE EXTERNAL WALLS OF THE APPLICANTS' PROPOSED DEVELOPMENT. SECTIONS ARE NOT PERPENDICULAR TO THE REAR WALLS OF THE ADJOINING RESIDENCES AND THEREFORE THE DIMENSIONS PROVIDED (BETWEEN REAR WALL AND THE REAR BOUNDARY) ARE APPROXIMATE ONLY AND TO THE CENTRE OF THE WALL. AS A NATURAL CONSEQUENCE, ONE CORNER OF THE RESIDENCE SHALL BE CLOSER AND THE OTHER FURTHER AWAY. |
| 4. | ROADS HAVE BEEN MODELLED USING THIS SURVEY DATA WHERE PROVIDED.   |    |  |



**LEGEND**

-  NATURAL GROUND LINE  
 10m HEIGHT PLANE RELATIVE TO NATURAL GROUND  
 8.5m HEIGHT PLANE RELATIVE TO NATURAL GROUND WITHIN 10m OF RESIDENTIAL ZONE



**NEW TOWN MEDICAL CENTRE**  
48-52 NEW TOWN ROAD, NEW TOWN, HOBART, TASMANIA

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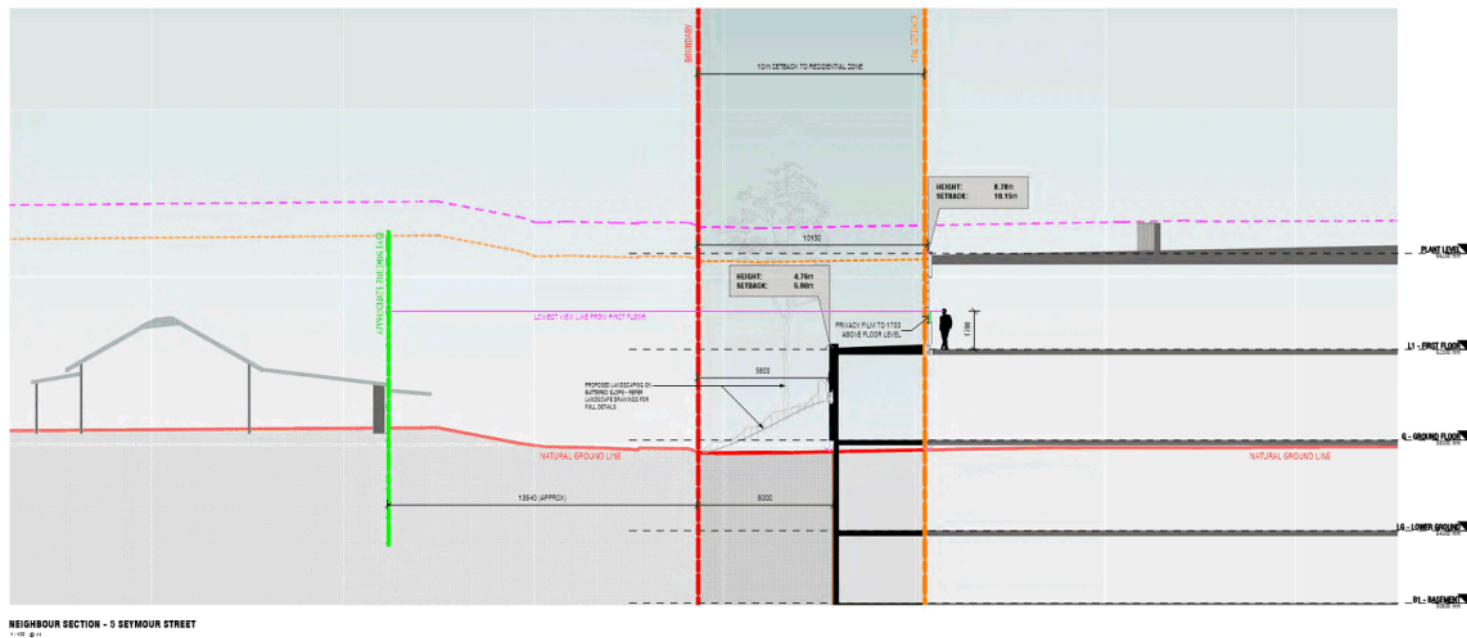


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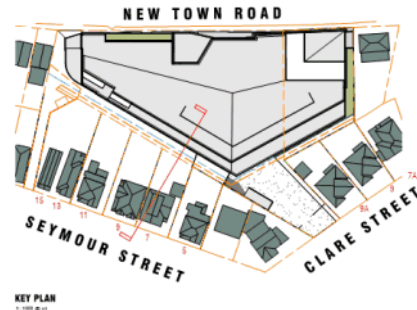


### NOTES REGARDING MODELING OF ADJOINING PROPERTIES

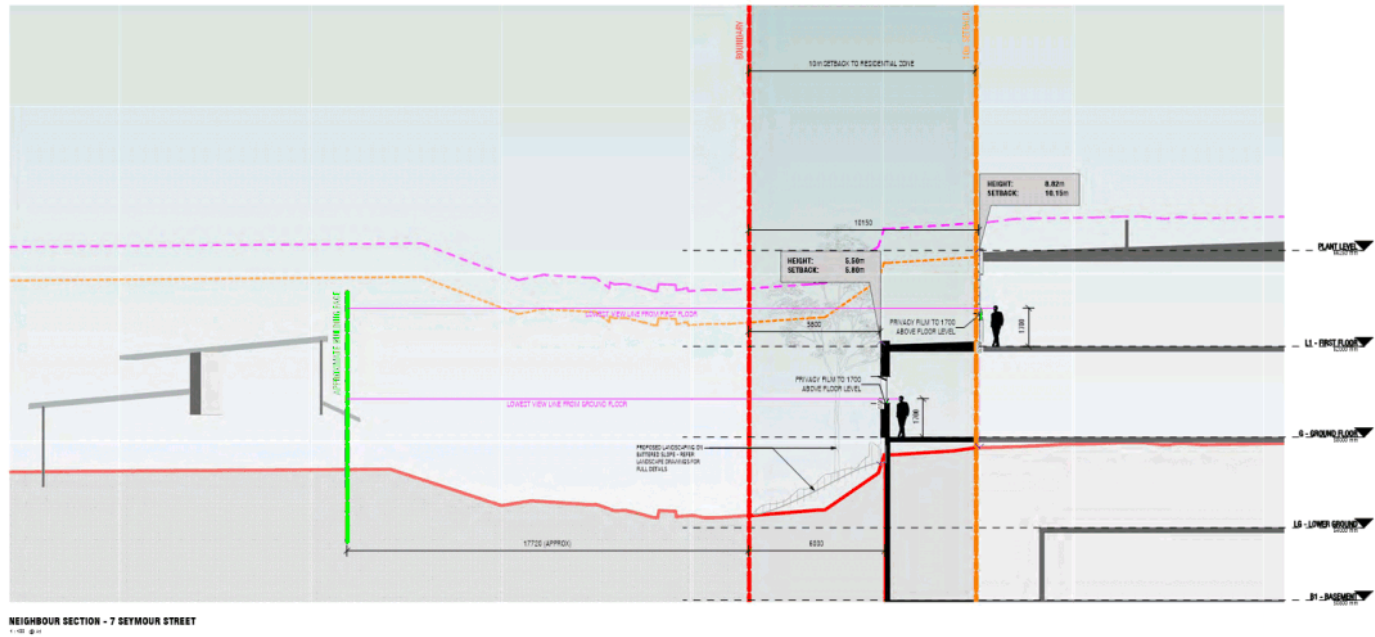
- |    |  |    |   |
|----|--|----|---|
| 1. | AS ACCESS HAS NOT BEEN PROVIDED BY RESIDENTS TO ALL ADJOINING PROPERTIES. A FULL DETAILED SURVEY HAS NOT YET BEEN UNDERTAKEN OF ADJOINING PROPERTIES.  | 6. | OTHER BUILDING ELEMENTS, (FOR WHICH SURVEY DATA DOES NOT EXIST), HAVE BEEN MODELED THROUGH EXAMINATION OF THE FOLLOWING MATERIAL:<br>- RELATIONSHIP TO FORMAL SURVEYED ELEMENTS<br>- USE OF AN EXTENSIVE LIBRARY OF PHOTOS OF THE ADJOINING PROPERTIES (TAKEN FROM PHOTOGRAPHS AND THE APPLICANT SITE)<br>- USE OF AERIAL PHOTOGRAPHY FROM BOTH GOOGLE MAPS AND NEARMAPS<br>- GOOGLE STREETVIEW                                     |
| 2. | AS A RESULT, THE EXISTING GROUND LINE INDICATED IN ADJOINING PROPERTIES IS APPROXIMATE ONLY.<br>- THIS REPRESENTS AN EXTENSION OF THE GROUND SURVEYED GROUND LEVELS AT THE FOLLOWING LOCATIONS:<br>- ALONG THE FOOTPATH OF CLARE STREET<br>- ALONG THE FOOTPATH OF SERIOUS STREET<br>- LEVELS ALONG THE BOUNDARIES OF THE APPLICANTS PROPERTY. | 6. | WHILST THESE OTHER ELEMENTS HAVE BEEN CAREFULLY MODELED USING THIS METHODOLOGY, IF REQUIRED, THEY SHALL BE CONFIRMED BY SURVEY ONCE APPROVALS ARE GIVEN.  |
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**NEW TOWN MEDICAL CENTRE**  
48-52 NEW TOWN ROAD, NEW TOWN, HOBART, TASMANIA



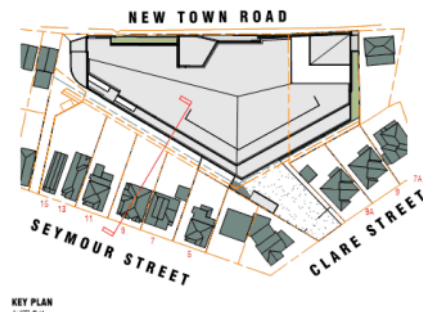
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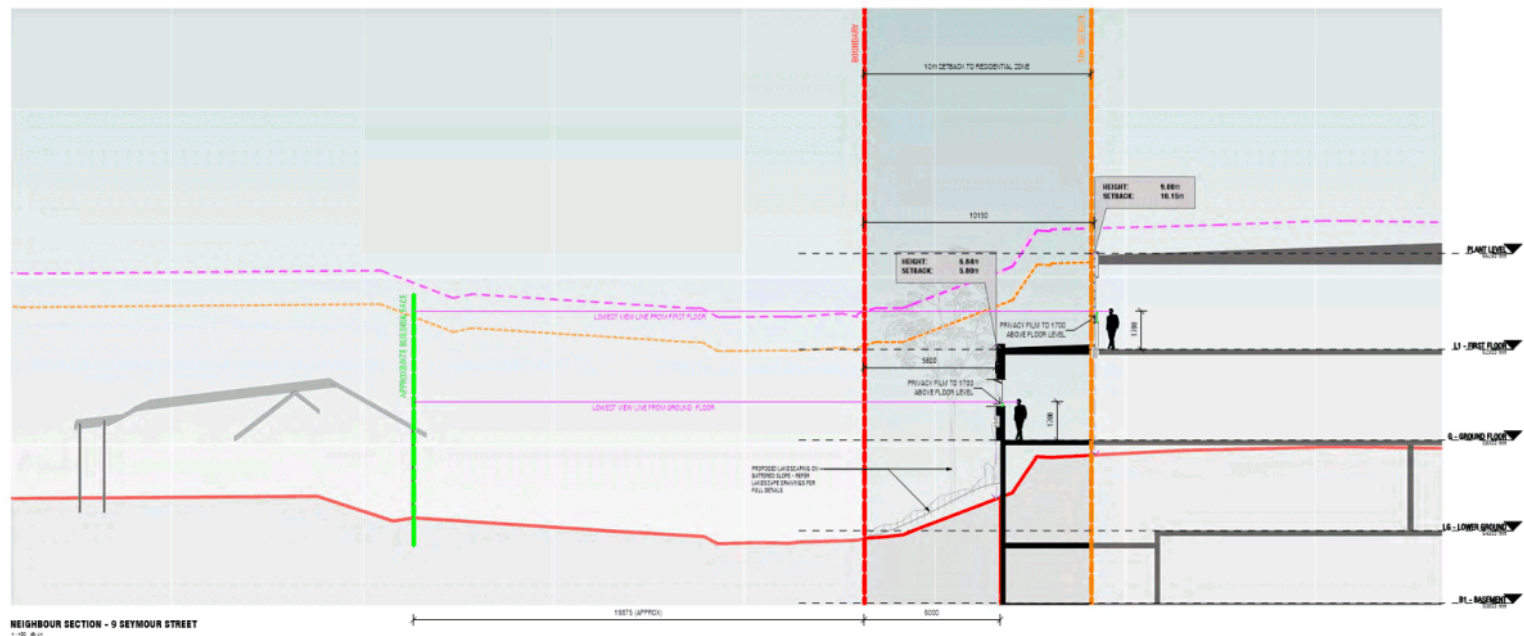
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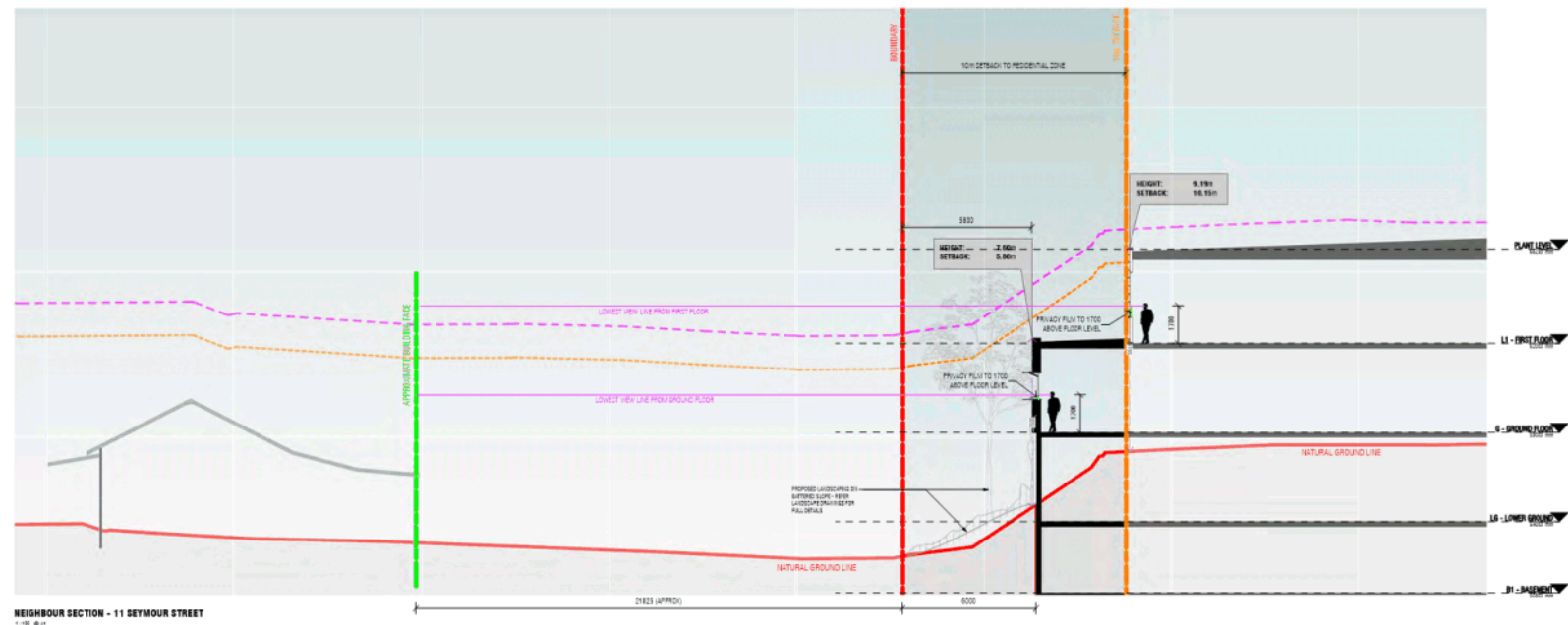


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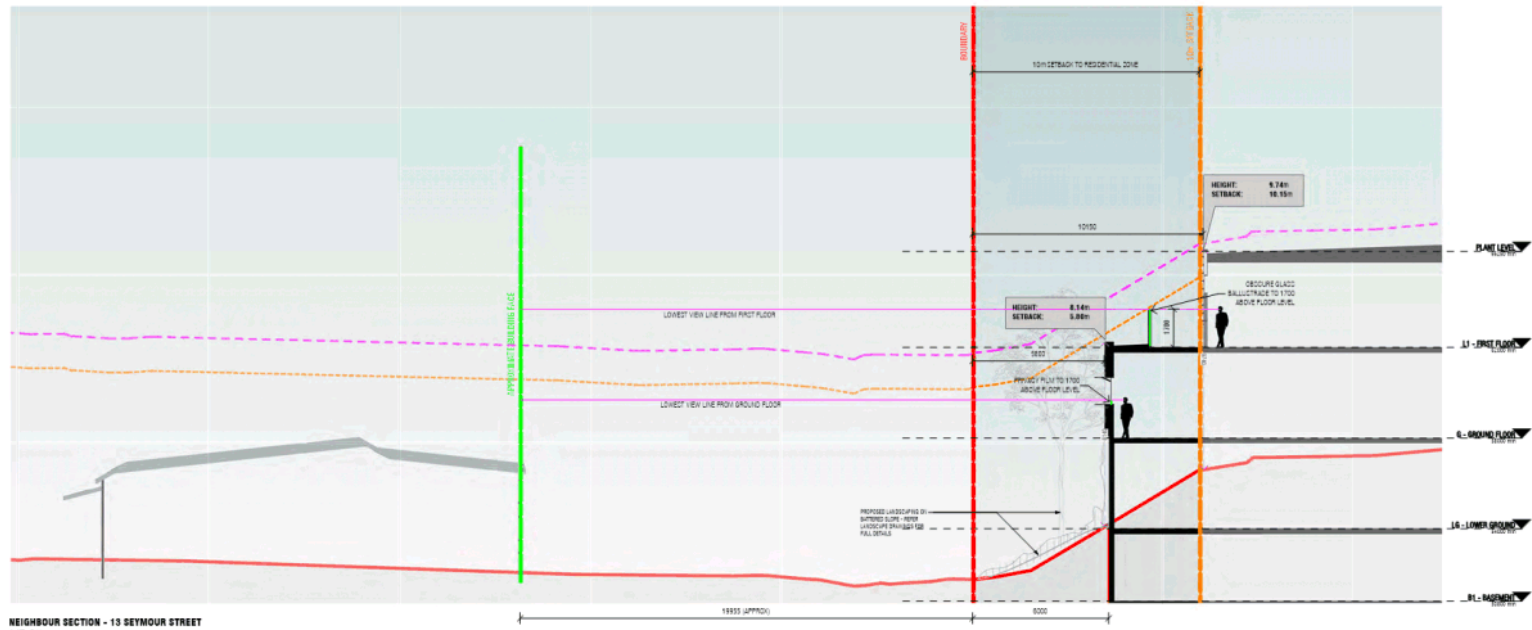
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- LEGEND**
- NATURAL GROUND LINE
  - 10m HEIGHT PLANE RELATIVE TO NATURAL GROUND
  - 8.5m HEIGHT PLANE RELATIVE TO NATURAL GROUND WITHIN 10m OF RESIDENTIAL ZONE

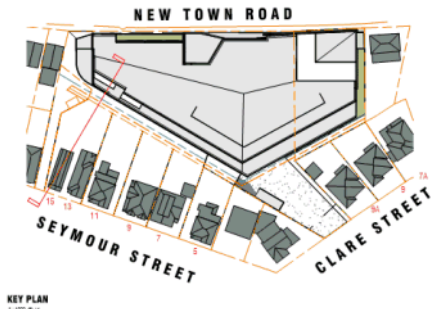


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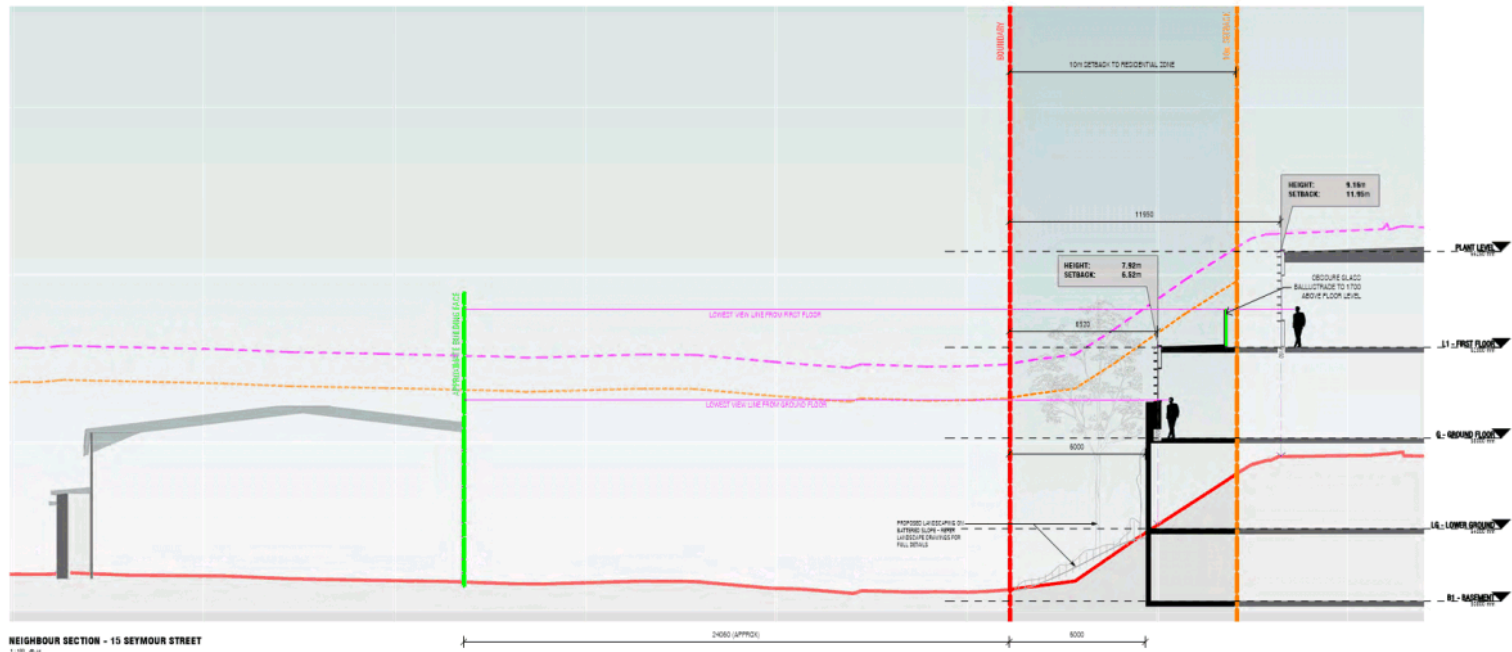
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    - ALONG THE FOOTPATH OF SEYMOUR STREET
    - LEVELS ALONG THE BOUNDARIES OF THE APPLICANT'S PROPERTY.
  3. FORMAL SURVEY DATA HAS BEEN OBTAINED FOR MOST OF THE MAIN ROOFS OF ADJOINING RESIDENCES WHERE VISIBLE FROM OUTSIDE OF EACH PROPERTY. SOME ROOFS TO THE REAR OF ADJOINING SITES, WHERE OBSCURED BY TREES ETC., HAVE NOT BEEN ABLE TO BE SURVEYED.
  4. ROOFS HAVE BEEN MODELLED USING THIS SURVEY DATA WHERE PROVIDED.
  5. OTHER BUILDING ELEMENTS, (FOR WHICH SURVEY DATA DOES NOT EXIST), HAVE BEEN MODELLED THROUGH EXAMINATION OF THE FOLLOWING MATERIAL:
    - RELATIONSHIP TO FORMAL SURVEYED ELEMENTS
    - USE OF AN EXTENSIVE LIBRARY OF PHOTOS OF THE ADJOINING PROPERTIES (TAKEN FROM STREETS AND THE APPLICANT SITE)
    - USE OF AERIAL PHOTOGRAPHY FROM BOTH GOOGLE MAPS AND NEARMAPS
    - GOOGLE STREETVIEW
  6. WHILST THESE OTHER ELEMENTS HAVE BEEN CAREFULLY MODELLED USING THIS METHODOLOGY, IF REQUIRED, THEY SHALL BE CONFIRMED BY SURVEY ONCE APPROVALS ARE GIVEN.
  7. SECTIONS HAVE BEEN TAKEN PERPENDICULAR TO THE BOUNDARY AND TO THE EXTERNAL WALLS OF THE APPLICANT'S PROPOSED DEVELOPMENT. SECTIONS ARE NOT PERPENDICULAR TO THE REAR WALLS OF THE ADJOINING RESIDENCES AND THEREFORE THE DIVIDING/DIAG PROVIDED (BETWEEN REAR WALL AND THE REAR BOUNDARY) ARE APPROXIMATE ONLY AND TO THE CENTRE OF THE WALL, AS A NATURAL CONSEQUENCE. ONE CORNER OF THE RESIDENCE SHALL BE CLOSER AND THE OTHER FURTHER AWAY.



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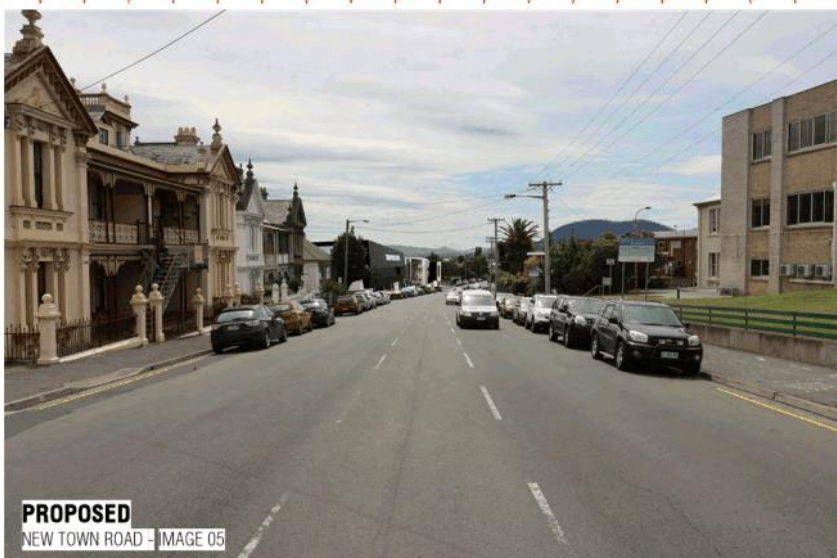




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**48-52 NEW TOWN ROAD, NEW TOWN, HOBART, TASMANIA**

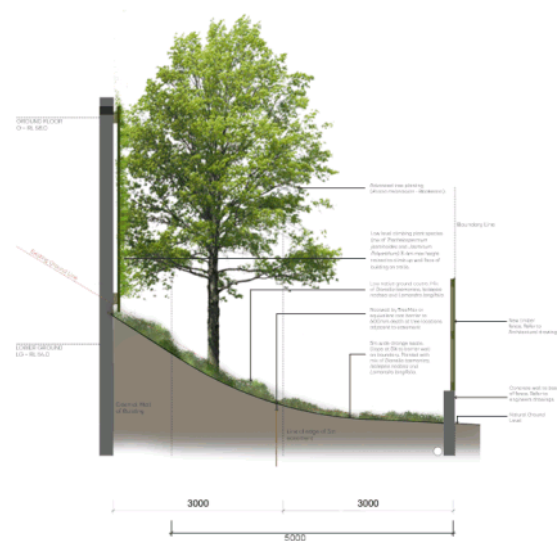
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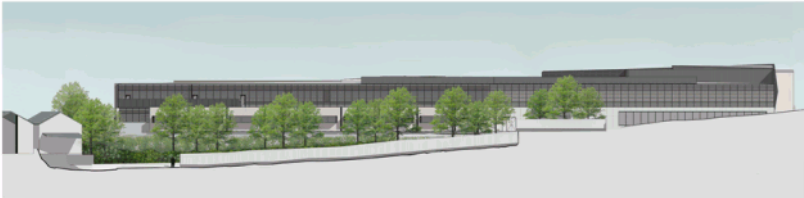






**New Town Medical Centre - Indicative Easement Batter Detail L02**

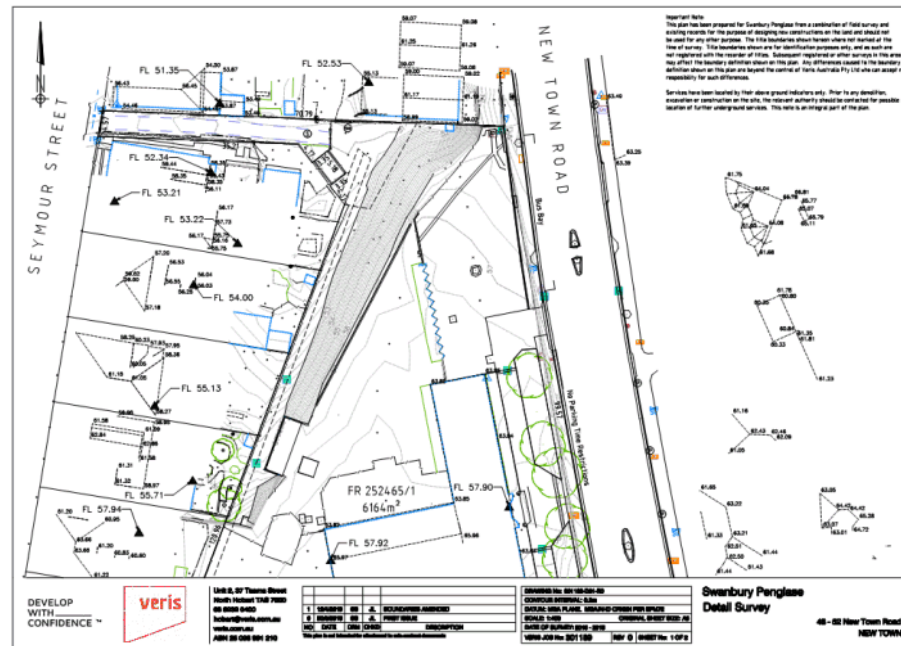
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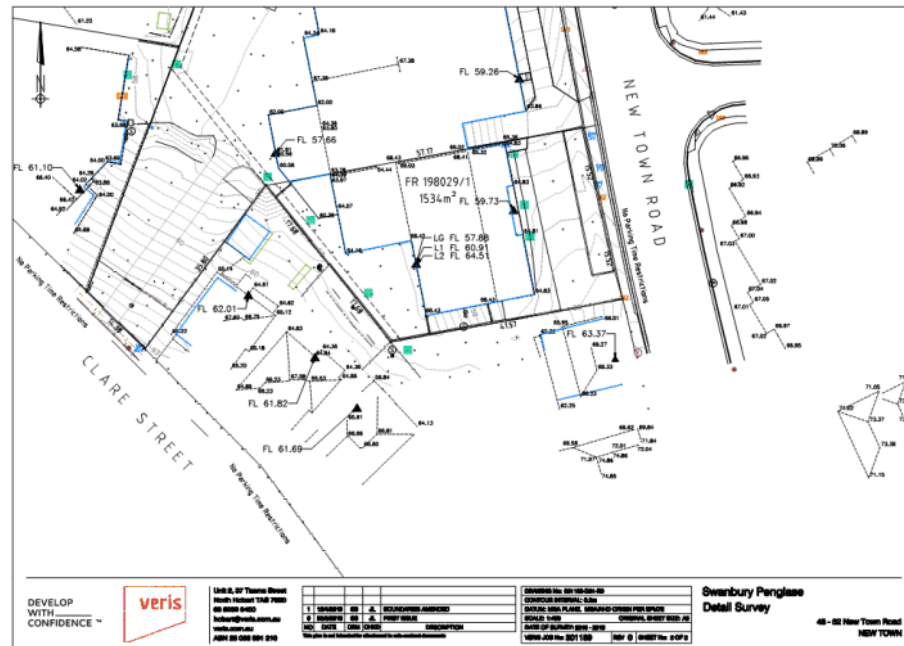


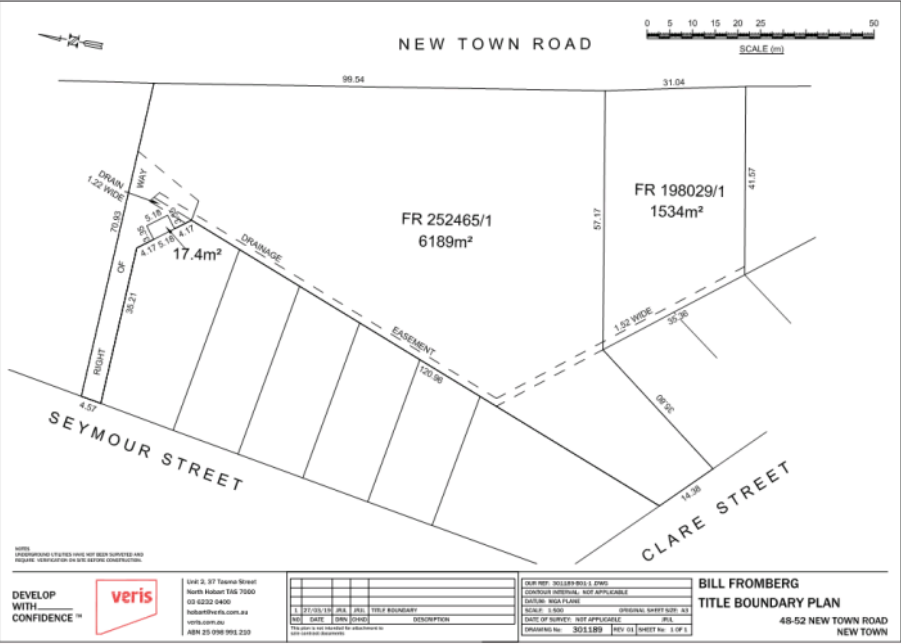
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**PROPOSED NEW TOWN MEDICAL CENTRE  
48-52 NEW TOWN ROAD,  
NEW TOWN, 7008,  
TASMANIA**

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**CIVIL AND HYDRAULIC NOTES****GENERAL NOTES**

1. THE MAIN CONTRACTOR AND ALL SUB CONTRACTORS SHALL COMPLY WITH THE STATE WORK HEALTH AND SAFETY ACT AND ALL RELEVANT CODES OF PRACTICE.
2. ALL HYDRAULICS WORKS TO BE CARRIED OUT IN ACCORDANCE WITH IPWEA STANDARD DRAWINGS AND SPECIFICATIONS, (WSAA SEWERAGE CODE OF AUSTRALIA & WATER SUPPLY CODE OF AUSTRALIA) AND TO THE SATISFACTION OF COUNCIL'S DEVELOPMENT ENGINEER.
3. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR CONTRACTING TASNETWORKS TO APPLY FOR NEW CONNECTIONS AND/OR ADDITIONAL SUPPLY. SUFFICIENT TIME FOR TASNETWORKS DESIGN AND REVIEW PROCESSES SHOULD BE ALLOWED FOR.
4. NO TOP SOIL SHALL BE REMOVED FROM THE SITE WITHOUT THE CONSENT OF COUNCIL. TOP SOIL DISTURBED OR REMOVED AS A RESULT OF WORKS SHALL BE STOCK-PILED ON SITE AND LATER USED FOR REDRESSING ANY DISTURBED SURFACES.
5. ALL DISTURBED SURFACES ON SITE, EXCEPT THOSE SET ASIDE FOR ROADWAYS AND FOOTPATHS SHALL BE DRESSED WITH IMPORTED FILL AND REVEGETATED TO THE SATISFACTION OF THE COUNCIL'S DEVELOPMENT ENGINEER.
6. ALL EXISTING SERVICES TO BE LOCATED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.
7. ALL LEVELS TO BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF WORKS.
8. ALL CONNECTIONS TO EXISTING STORMWATER MAINS TO BE CARRIED OUT BY COUNCIL AT DEVELOPERS COST UNLESS APPROVED OTHERWISE. ALL CONNECTIONS TO SEWERWATER MAINS TO BE CARRIED OUT BY TASWATER AT DEVELOPERS COST UNLESS APPROVED OTHERWISE.
9. GENERAL MATERIALS, INSTALLATION AND TESTING SHALL COMPLY WITH TASMANIAN MUNICIPAL STANDARDS PART 4.
10. EXCAVATED AND IMPORTED MATERIAL USED AS FILL TO BE APPROVED BY ENGINEER PRIOR TO INSTALLATION.
11. ANY DEPARTURES FROM THE DESIGN DRAWINGS ARE TO BE AT THE WRITTEN APPROVAL OF THE ENGINEER AND APPROVAL FROM THE AUTHORITY. CHANGES INCLUDES CONFLICTS WITH EXISTING SERVICES.
12. UNLESS NOTED OTHERWISE, THESE NOTES SHALL APPLY TO ALL DRAWINGS IN THE SET
13. BATTERS
 

MAX EMBANKMENT SLOPE	1:3.0
MAX CUTTING SLOPE	1:2.0 (LOOSE ROCK)
	1:3.0 (SOIL)

**APPROVALS:**

1. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT A VALID BUILDING AND PLUMBING PERMIT IS IN PLACE FOR THE WORK AND THAT THE BUILDING SURVEYOR IS NOTIFIED OF ALL SITE INSPECTION REQUESTS.
2. THE APPLICANT SHALL NOT COMMENCE CIVIL CONSTRUCTION WORKS WITHIN A ROAD RESERVE UNTIL THE FOLLOWING REQUIREMENTS ARE MET:
3. A 'PERMIT TO CARRY OUT WORKS WITHIN A COUNCIL ROAD RESERVATION' HAS BEEN ISSUED BY THE COUNCIL AND THE ASSOCIATED FEE PAYMENT MADE
4. TRAFFIC MANAGEMENT AND PEDESTRIAN PLAN HAS BEEN PRODUCED AND FOLLOWED IN ACCORDANCE WITH DEPARTMENT OF INFRASTRUCTURE, ENERGY AND RESOURCES TRAFFIC CONTROL AT WORK SITES CODE OF PRACTICE.

**GENERAL HYDRAULICS NOTES:**

1. DURING CONSTRUCTION ANY OPEN PIPES TO BE SEALED TEMPORARILY DURING WORKS TO PREVENT ENTRY OF FOREIGN MATTER
2. CONCEAL ALL PIPEWORK IN DUCTS, CEILING SPACES, WALL CAVITIES UNLESS OTHERWISE NOTED
3. CONFIRM ALL INVERT LEVELS PRIOR TO EXCAVATION.
4. THE LOCATION OF EXISTING SERVICES SHOULD BE CONFIRMED ONSITE INCLUDING: MAINS WATER, GAS, TELECOMMUNICATIONS, POWER, SEWER STORMWATER.
5. ALL PIPEWORK UNDER TRAFFICABLE AREAS TO BE BACKFILLED TO FULL DEPTH WITH DIER CLASS A 19MM FCR COMPACTED TO AS3798.
6. FOR CLASS H AND E SITES, JOINTS IN PLUMBING SHALL BE ARTICULATED WITHIN 3M OF THE BUILDING UNDER CONSTRUCTION TO ACCOMMODATE GROUND MOVEMENT WITHOUT LEAKAGE.
7. ALL PIPEWORK SHALL BE ADEQUATELY SUPPORTED. SUPPORT SHALL ALLOW FOR EXPANSION AND BE FITTED AT THE TIME OF PIPE INSTALLATION
8. WHERE PIPEWORK PENETRATES FIRE RATED WALL OR FLOORS A FIRE STOP COLLAR SHALL BE INSTALLED

**SEWER NOTES:**

1. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH WSAA SEWERAGE CODE OF AUSTRALIA WSA 02-2014-3.1 MRWA EDITION V2.0, TASWATERS SUPPLEMENT TO THIS CODE, AS3500.2:2003 AND TO THE SATISFACTION OF TASWATER'S DEVELOPMENT ENGINEER.
2. ALL EXISTING SERVICES TO BE LOCATED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.
3. ALL CONNECTIONS TO EXISTING MAINS TO BE CARRIED OUT BY TASWATER'S APPROVED CONTRACTOR AT DEVELOPERS COST UNLESS APPROVED OTHERWISE.
4. GENERAL MATERIALS, INSTALLATION & TESTING SHALL COMPLY WITH WSAA SEWERAGE CODE OF AUSTRALIA WSA 02-2014-3.1 MRWA EDITION V2.0, TASWATERS SUPPLEMENT TO THIS CODE, AS3500.2:2003 AND TO THE SATISFACTION OF TASWATER'S DEVELOPMENT ENGINEER.
5. ALL DROPS MUST BE INTERNAL AND IN ACCORDANCE WITH MRWA S-311
6. ALL PIPE WORK UNDER TRAFFICABLE AREAS, INCLUDING DRIVEWAYS, IS TO BE BACKFILLED WITH FCR.
7. LOT CONNECTIONS SHALL BE DN100 UPVC U.N.O. AS PER MRWA S-302 AND BRING INSPECTION OPENING TO SURFACE INSIDE LOT BOUNDARY.
8. ALL SEWER MAINS TO BE PIPE CLASS SN8
9. PIPEWORK SHALL BE PRESSURE TESTED PROGRESSIVELY DURING INSTALLATION TO ENSURE ABSENCE OF LEAKS.
10. ALL PIPEWORK SHALL BE INSTALLED AS CLOSE AS PRACTICABLE TO THE UNDERSIDE OF FLOORS.

**STORMWATER NOTES:**

1. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH COUNCIL MUNICIPAL STANDARDS, AS3500 AND IPWEA (TAS) MUNICIPAL STANDARD DRAWINGS AND SPECIFICATIONS WHERE APPLICABLE AND TO THE SATISFACTION OF COUNCIL'S MUNICIPAL ENGINEER
2. ALL EXISTING SERVICES TO BE LOCATED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS. ALL CONNECTIONS TO EXISTING MAINS TO BE CARRIED OUT BY COUNCIL AT DEVELOPERS COST UNLESS APPROVED OTHERWISE.
3. GENERAL MATERIALS, INSTALLATION & TESTING SHALL COMPLY WITH TASMANIAN MUNICIPAL STANDARDS PART 4. PROVIDE 600mm MIN COVER TO ALL SERVICES.
4. ALL PIPE WORK UNDER TRAFFICABLE AREAS INCLUDING DRIVEWAYS IS TO BE FILLED WITH FCR.
5. LOT CONNECTIONS SHALL BE DN150 UPVC UNO MINIMUM PIPE CLASS TO BE CLASS SN4, PIPE UNDER ROADS TO BE CLASS SN8.
6. ALL MAINTENANCE HOLES DEEPER THAN 1m FROM FINISHED SURFACE LEVEL TO MAINTENANCE HOLE BASE TO BE FITTED WITH APPROVED STEP IRONS.
7. IPWEA STANDARD DRAWINGS REFERENCED ARE THE MOST RECENT DRAWING SET UNO.

**DISCLAIMER**

ENGINEERING NOTES ARE INTENDED FOR USE AS A GUIDE TO RELEVANT CODES, REGULATIONS AND STANDARDS FOR THE BUILDER OR CONTRACTOR DURING THE CONSTRUCTION PROCESS, THEY SHALL NOT REPLACE THEM IN ANY WAY. THESE NOTES ARE NOT SITE SPECIFIC AND SHALL NOT BE USED TO CONTRAVENE APPROVED PLANS OR TO SPECIFY ANY UNAPPROVED WORKS.

**WATER NOTES:**

1. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH WSAA WATER SUPPLY CODE OF AUSTRALIA WSA 03-2011-3.1 MRWA EDITION V2.0, TASWATERS SUPPLEMENT TO THIS CODE AND TO THE SATISFACTION OF TASWATER'S DEVELOPMENT ENGINEER.
2. ALL EXISTING SERVICES TO BE LOCATED ON SITE PRIOR TO THE COMMENCEMENT OF WORK.
3. ALL CONNECTIONS TO EXISTING MAINS TO BE CARRIED OUT BY TASWATER AT DEVELOPERS COST UNLESS APPROVED OTHERWISE.
4. GENERAL MATERIALS INSTALLATION AND TESTING SHALL COMPLY WITH WSA 03-2011-3.1 AND TASWATER APPROVED PRODUCTS CATALOGUE.
5. WATER MAIN TO BE UPVC SERIES 2 CLASS 16 OR APPROVED EQUIVALENT, WITH RODS AND CONNECTIONS BEING POLY PN16 PE100
6. THRUST BLOCKS SHALL BE INSTALLED AT ALL TEES, BLANK ENDS, VALVES, FIRE HYDRANTS, REDUCERS AND BENDS GREATER THAN 5'.
7. INDIVIDUAL LOT CONNECTIONS TO BE MIN DN25 ID20 PN16 POLY UNO.
8. DEVELOPER TO MAKE APPLICATION TO TASWATER FOR THE SUPPLY OF 20mm WATER METER AND BOX, PRIOR TO COMMENCEMENT OF WORKS ONSITE. METER TO BE INSTALLED BY PLUMBING CONTRACTOR
9. ALL ISOLATION VALVES SHALL BE INSTALLED IN ACCESSIBLE LOCATIONS. VALVES LOCATED IN WALLS OR DUCTS SHALL BE FITTED WITH APPROVED ACCESS COVERS.
10. INTERNAL PLUMBING SHALL BE CONSTRUCTED IN ACCORDANCE WITH AS3500 PARTS 1, 2 & 3 AND THE TASMANIAN PLUMBING CODE.
11. THE PLUMBER SHALL ARRANGE FOR ALL INSPECTIONS AND PRESSURE TESTING REQUIRED BY TASWATER OR THE LOCAL AUTHORITY PRIOR TO CONCEALMENT.
12. ALL STOP VALVES TO BE CLOCKWISE CLOSING.
13. PROVIDE C.I. VALVE BOX COVERS TO ALL VALVES AND FIRE PLUG.
14. STOP VALVES AND FIRE PLUGS SHALL BE MARKED IN ACCORDANCE WITH THE IPWEA FIRE HYDRANT GUIDELINES: TASMANIA DIVISION.
15. FIRE PLUGS AND VALVE POSITIONS TO BE MARKED ON KERB BACKS WITH HIMARK CONCRETE PAINT.
16. PROVIDE ELECTROMAGNETIC, METAL IMPREGNATED TAPE IN ALL NON METALLIC PIPE TRENCHES. ENSURE TAPE TERMINATIONS ARE ACCESSIBLE.
17. ALL PROPERTY CONNECTIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH MRWA-W-110 AND MRWA-W-111 AND TASWATER STANDARD DRAWING TW-SD-W-20 SERIES. THEY SHALL BE DN25 (ID20) HDPE PE100 SDR11 PN16 PIPE.
18. ALL FITTINGS TO BE F.B.E.
19. FIRE PLUGS TO HAVE 100mm RISERS WITH SPRING TYPE PLUGS.
20. TASWATER TO WITNESS PRESSURE TEST TO 1200kPa PRIOR TO BACKFILL AT JOINTS.
21. MAIN TO BE DISINFECTED PRIOR TO CONNECTION TO THE RETICULATION NETWORK. REFER TO WSA CODE FOR DETAILS.
22. PLACEMENT OF WATER MAINS IN FILL REQUIRES THE CONTRACTOR TO PROVIDE DOCUMENTARY EVIDENCE INCLUDING: THE COMPOSITION OF FILL MATERIAL, VERIFYING THAT IT CONTAINS NO ORGANIC OR OTHER MATERIALS THAT DECOMPOSE OR OTHERWISE LEAD TO LONG TERM SETTLEMENT.

**ROAD NOTES:**

1. MINIMUM SUB BASE THICKNESS TO BE 200mm.
2. PRIOR TO PLACEMENT OF SUB BASE COURSE, PAVEMENT CUT IS TO BE ROLLED AND TESTED FOR CBR VALUES BY METHOD APPROVED BY THE SUPERINTENDENT. WHERE THE CBR VALUES ARE LESS THAN 5 WITHIN THE FIRST 200mm THEN ADDITIONAL TESTS WILL BE REQUIRED TO ALLOW SUFFICIENT DESIGN ALTERATIONS TO THE SUB BASE.
3. PAVEMENT DESIGN BASED ON A CBR VALUE OF 3-4%.
4. ROAD MARKINGS AND SIGNS AS PER AS1742
5. IF THE CBR VALUE IS LESS THAN 2 AT ANY DEPTH GREATER THAN 200mm THEN THE SUB BASE IS TO BE INCREASED GENERALLY ACCORDING TO THE FOLLOWING TABLE & CONSULT ENGINEER.

**CBR VALUES:****DESIGN:**

- |     |  |
|-----|--|
| 3-4 | AS PER PAVEMENT DETAIL   |
| -2  | ADVISE & CONSULT ENGINEER. TYPICALLY INCREASE SUB BASE TO 400mm THICK (SUBGRADE REPLACEMENT) |
| -1  | ADVISE & CONSULT ENGINEER. SPECIAL PAVEMENT DESIGN TO BE SPECIFIED.                          |

**DRIVEWAY NOTES:**

1. EXCAVATED AND IMPORTED MATERIAL USED AS FILL IS TO BE APPROVED BY ENGINEER PRIOR TO INSTALLATION.
2. FILL MATERIAL SHALL BE WELL GRADED AND FREE OF BOULDERS OR COBBLES EXCEEDING 150mm IN DIAMETER UNLESS APPROVED OTHERWISE.
3. FILL REQUIRED TO SUPPORT DRIVEWAYS INCLUDING FILL IN EMBANKMENTS THAT SUPPORT DRIVEWAYS SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
4. TOP SOIL AND ORGANIC MATTER SHALL BE STRIPPED TO A MINIMUM OF 100mm.
5. THE SUB GRADE SHALL BE CHECKED FOR A MINIMUM BEARING CAPACITY OF 50 kPa.
6. FILL IN EMBANKMENTS SHALL BE KEYED 150mm INTO NATURAL GROUND.
7. THE FILL SHALL BE COMPACTED IN HORIZONTAL LAYERS OF NOT MORE THAN 200mm.
8. EACH LAYER SHALL BE COMPACTED TO A MINIMUM DENSITY RATIO OF 95%, IT IS THE BUILDERS RESPONSIBILITY TO ENSURE THAT THIS IS ACHIEVED.
9. WHERE THE ABOVE REQUIREMENTS CANNOT BE ACHIEVED THE ENGINEER SHALL BE CONSULTED AND THE FORMATION SHALL BE PROOF ROLLED (UNDER SUPERVISION OF THE ENGINEER) TO DEMONSTRATE COMPACTION PRIOR TO THE PLACEMENT OF BASE OR SUB-BASE COURSES.
10. UNREINFORCED CONCRETE KERBS AND CHANNELS SHALL HAVE TROWELLED JOINTS AT NOT MORE THAN 3.0m CRS

**CONTROLLED FILL:**

1. CONTROLLED FILL SHALL BE LAID IN STRICT ACCORDANCE WITH AS2870 AND AS3798 REQUIREMENTS. THE FOLLOWING METHOD IS APPROVED:
2. FILL MATERIAL SHALL BE WELL GRADED FCR OR SITE ROCK REVIEWED DURING EXCAVATION.
3. THE SUB GRADE SHALL BE CHECKED FOR BEARING CAPACITY WHICH IS A MINIMUM OF 50kPa FOR SLABS AND A MINIMUM OF 100kPa FOR FOOTINGS.
4. THE FILL SHALL BE COMPACTED IN HORIZONTAL LAYERS OF NOT MORE THAN 150mm
5. THE FILL SHALL BE COMPACTED TO A MINIMUM DENSITY RATIO OF 95% FOR RESIDENTIAL APPLICATIONS. IT IS THE BUILDERS RESPONSIBILITY TO ENSURE THAT THIS LEVEL OF COMPACTION IS ACHIEVED. IMPORTED MATERIAL, CONTRARY TO THE ABOVE SPECIFICATION, INTENDED FOR USE AS STRUCTURAL FILL SHALL BE APPROVED IN WRITING BY THE ENGINEER PRIOR TO USE.

**CONCRETE:**

1. CONCRETE SHALL BE NOT LESS THAN N25 GRADE, WITH 20mm NOMINAL MAXIMUM AGGREGATE SIZE, SLUMP SHALL BE SELECTED TO SUIT THE CONSTRUCTION CONDITIONS. UNLESS NOTED OTHERWISE THE MINIMUM APPROPRIATE SPECIFICATIONS FROM AS3600 AND AS2870 SHALL BE ADOPTED.
2. SAWING CONTROL JOINTS SHALL BE CONSTRUCTED AS SOON AS POSSIBLE WITHOUT RAVELING THE JOINT, GENERALLY THIS SHALL BE WITHIN 24 HOURS.
3. CONCRETE SHALL BE CURED FOR A MINIMUM OF 7 DAYS USING CURRENT BEST PRACTICE METHODS. SPRAY APPLIED CURING COMPOUNDS ARE GENERALLY NOT DEEMED SATISFACTORY AS SOLE CURING METHOD.
4. CONCRETE SHALL BE MECHANICALLY VIBRATED U.N.O.
5. ADDITIONAL WATER SHALL NOT BE ADDED TO THE CONCRETE ON SITE UNLESS SIGNED BY THE DRIVER AND APPROVED BY THE SUPPLIER.

PIPE LEGEND	
MARK	DESCRIPTION
	SLOTTED HDPE S88 DRAINAGE PIPE
	PROPOSED STORMWATER PIPE
	PROPOSED SEWER PIPE
	PROPOSED RISING SEWER MAIN
	PROPOSED PE PN16 WATER SUPPLY
	PROPOSED PUBLIC STORMWATER MAIN
	PROPOSED PUBLIC SEWER MAIN
	PROPOSED PUBLIC WATER MAIN
	POWER CIRCUIT
	COMMUNICATIONS
	DN100 PVC-M PN16 PVC
	EXISTING SLOTTED AG DRAINAGE PIPE
	EXISTING WATER SUPPLY
	EXISTING SEWER PIPE
	EXISTING RISING SEWER MAIN
	EXISTING STORMWATER
	EXISTING POWER
	EXISTING GAS LINES
	EXISTING FIBER OPTIC CABLE
	EXISTING PUBLIC STORMWATER MAIN
	EXISTING PUBLIC SEWER MAIN
	EXISTING PUBLIC WATER MAIN
	DEMOLISHED MAIN WATER
	DEMOLISHED STORMWATER
	DEMOLISHED SEWER
	DEMOLISHED WATER
	SWALE DRAIN

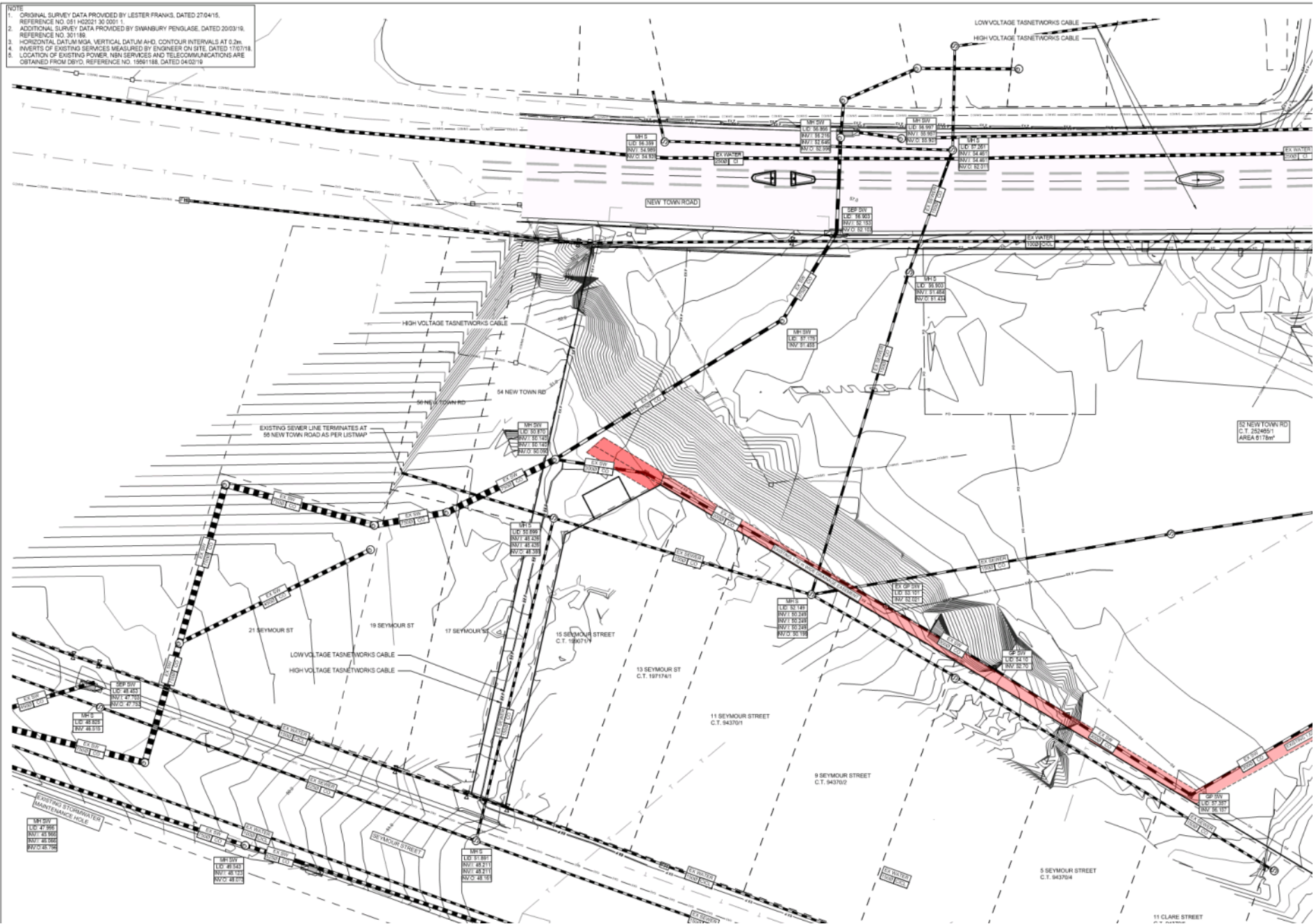
LINE LEGEND	
MARK	DESCRIPTION
	PROPERTY BOUNDARY
	SURROUNDING PROPERTY BOUNDARY
	PROPOSED PROPERTY BOUNDARY
	EXISTING EASEMENT
	PROPOSED EASEMENT
	NATURAL SURFACE CONTOUR (MAJOR)
	NATURAL SURFACE CONTOUR (MINOR)
	BANK TOP
	BANK BOTTOM
	EXISTING BUILDING OUTLINE
	PROPOSED BUILDING OUTLINE
	PROPOSED ROAD CENTRELINE
	PROPOSED ROAD
	EXISTING ROAD
	EXISTING KERB
	PROPOSED BARRIER FENCE

SYMBOL LEGEND	
MARK	DESCRIPTION
	WATER CONNECTION + METER AS PER TW-SD-W-20 SERIES
	GRADED PIT WITH TRAFFICABLE LID
	CHANNEL DRAIN & INCLINE PIT WITH TRAFFICABLE GRATE
	STORMWATER MAINTENANCE HOLE AS PER LGAT STANDARD DRAWING TSD-SW02-v1
	SEWER MAINTENANCE HOLE TYPE P2 AS PER MRWA-S300 SERIES
	STORMWATER LOT CONNECTION AS PER LGAT STANDARD DRAWINGS TSD-SW25-v1
	SEWER LOT CONNECTION AS PER MRWA-S300 SERIES
	FIRE HYDRANT AS PER MRWA-W-302
	ISOLATING VALVE AS PER MRWA-W-302
	THRUST BLOCK (CONCRETE) AS PER MRWA-W-205A
	CONCRETE HEADWALL
	SIDE ENTRY PIT TYPE 5 AS PER TSD-SW12-v1
	SIDE ENTRY PIT TYPE 3 AS PER TSD-SW09-v1
	POWER SUBSTATION
	POWER TURRET
	NBN PIT
	STREETLIGHT

HATCH LEGEND	
MARK	DESCRIPTION
	PROPOSED CONCRETE DRIVEWAY SHOWN WITH 120 THICK, SL82 CENTRAL FINISH EXPOSED AGGREGATE
	EXISTING CONCRETE SLAB & DRIVEWAY
	CONCRETE FOOTPATH 100 THICK SLT2 CENTRAL
	RETAINING WALL
	SUSPENDED/CANTILEVERED DRIVEWAY
	EASEMENT

SURFACE LEGEND	
MARK	DESCRIPTION
	PROPOSED FINISHED SURFACE LEVEL
	HEIGHT OF PROPOSED SURFACE RELATIVE TO NATURAL SURFACE (FILL REQUIRED)
	HEIGHT OF PROPOSED SURFACE RELATIVE TO NATURAL SURFACE (CUT REQUIRED)

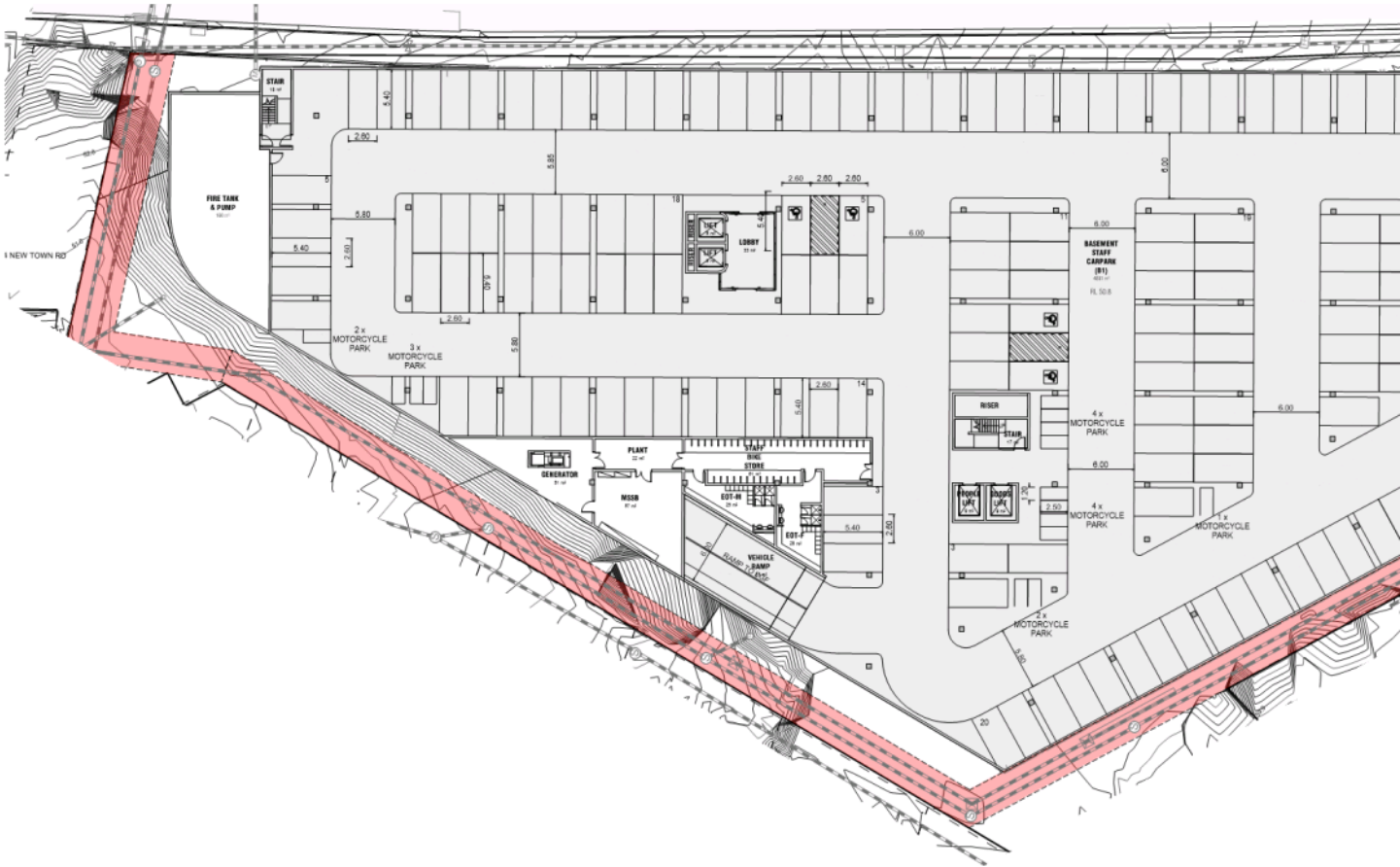




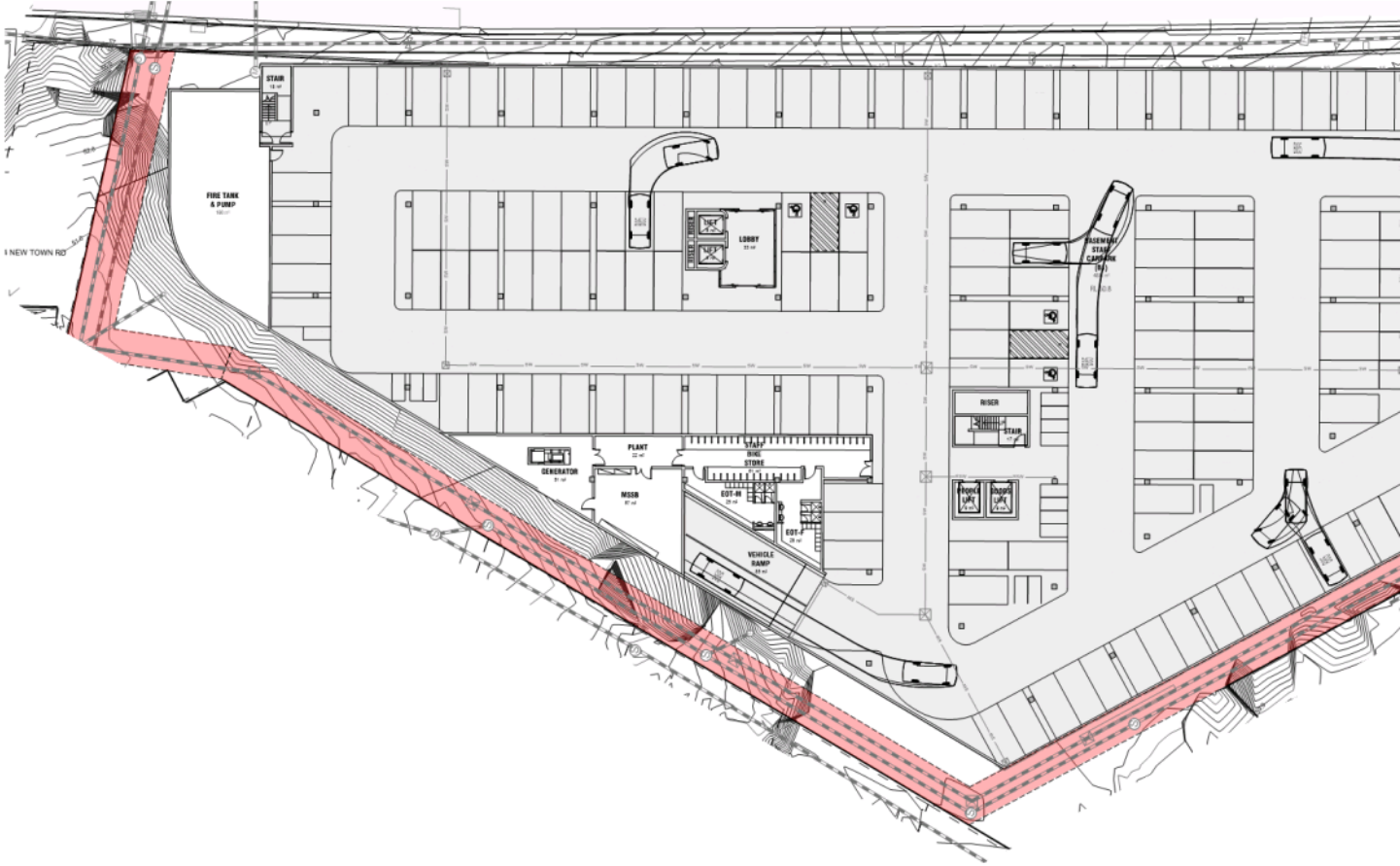
NOTE  
1. ORIGINAL SURVEY DATA PROVIDED BY LESTER FRANKS, DATED 27/04/15.  
REFERENCE NO. 051 H02021-20-0001-1.  
2. ADDITIONAL SURVEY DATA PROVIDED BY SWANBURY PENGLASE, DATED 20/03/19.  
REFERENCE NO. 201189.  
3. HORIZONTAL DATUM MGA, VERTICAL DATUM AHD. CONTOUR INTERVALS AT 0.2m.  
INVERTS OF EXISTING SERVICES MEASURED BY ENGINEER ON SITE, DATED 17/07/18.  
4. LOCATION OF EXISTING POWER, NBN SERVICES AND TELECOMMUNICATIONS ARE  
OBTAINED FROM DEYO, REFERENCE NO. 1950/188, DATED 04/02/19.

BASEMENT (B1) CARPARK BREAKDOWN  
15 MOTORCYCLE PARKS  
40 STAFF BICYCLE PARKS  
158 STAFF CARPARKS  
TOTAL = 155 CARPARKS

HIGH VOLTAGE CABLES TO BE RELOCATED  
CLEAR OF PROPOSED STORMWATER MAIN  
REALIGNMENT IN ACCORDANCE WITH  
TASNETWORKS REQUIREMENTS, AT A  
COST NEGOTIATED BETWEEN THE  
DEVELOPER AND TASNETWORKS.



- NOTE
1. ORIGINAL SURVEY DATA PROVIDED BY LESTER FRANKS, DATED 27/04/15. REFERENCE NO. 051 H02021-30-0001-1.
  2. ADDITIONAL SURVEY DATA PROVIDED BY SWANBURY PENGLASE, DATED 20/03/19. REFERENCE NO. 201189.
  3. HORIZONTAL DATUM MGA, VERTICAL DATUM AHD. CONTOUR INTERVALS AT 0.2m.
  4. INVERTS OF EXISTING SERVICES MEASURED BY ENGINEER ON SITE, DATED 17/07/18.
  5. LOCATION OF EXISTING POWER, NBN SERVICES AND TELECOMMUNICATIONS ARE OBTAINED FROM DBYO, REFERENCE NO. 19501188, DATED 04/02/19.





- NOTE
1. ORIGINAL SURVEY DATA PROVIDED BY LESTER FRANKS, DATED 27/04/15. REFERENCE NO. 051 H02021-30-0001-1.
  2. ADDITIONAL SURVEY DATA PROVIDED BY SWANBURY PENGLASE, DATED 20/03/19. REFERENCE NO. 201189.
  3. HORIZONTAL DATUM MGA, VERTICAL DATUM AHD. CONTOUR INTERVALS AT 0.2m. INVERTS OF EXISTING SERVICES MEASURED BY ENGINEER ON SITE, DATED 17/07/18.
  4. LOCATION OF EXISTING POWER, NBN SERVICES AND TELECOMMUNICATIONS ARE OBTAINED FROM DEYO, REFERENCE NO. 19501188, DATED 04/02/19.

LOWER GROUND FLOOR CARPARK BREAKDOWN

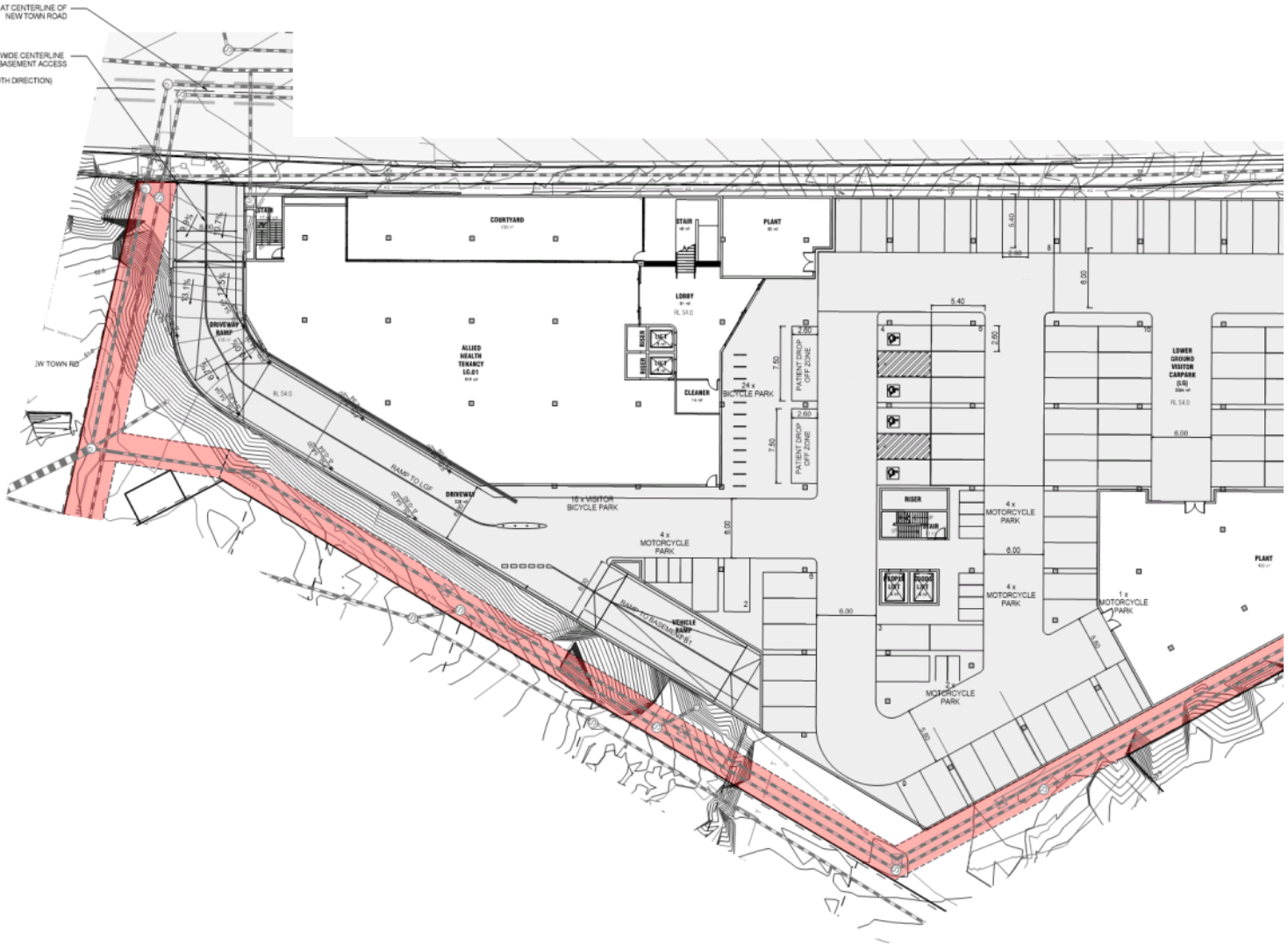
- 14 MOTORCYCLE PARKS
- 24 VISITOR BICYCLE PARKS
- 71 VISITOR CARPARKS
- 14 SHORT TERM VISITOR CARPARKS
- 2 PATIENT DROP OFF BAYS

TOTAL = 87 CARPARKS

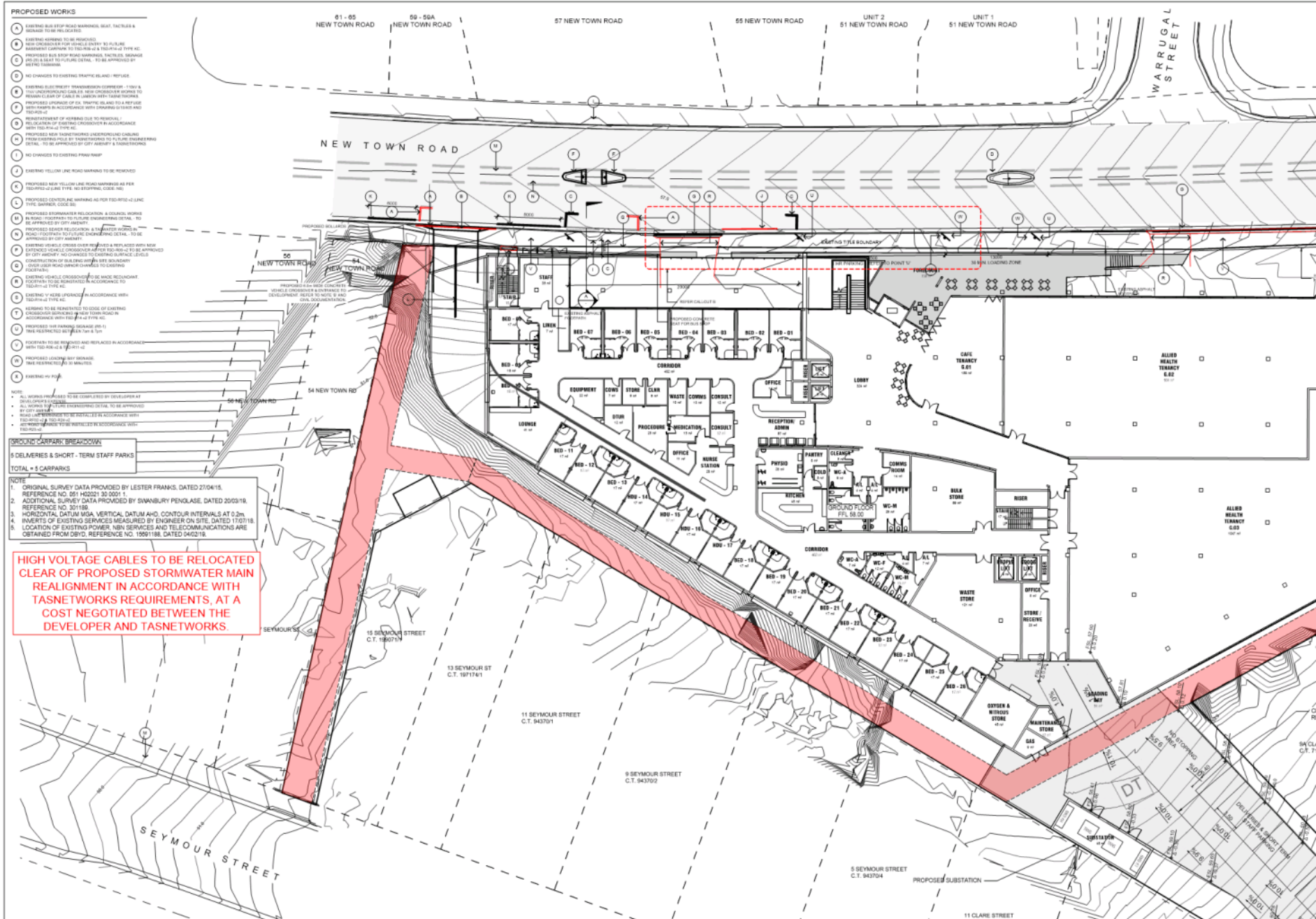
CHD 0 STARTS AT CENTERLINE OF NEW TOWN ROAD

PROPOSED NEW 100mm VME CENTERLINE MARKING FOR VEHICLE BASEMENT ACCESS AS PER TS40002-42 LINE TYPE: BARRIER (BOTH DIRECTION) CODE: B3

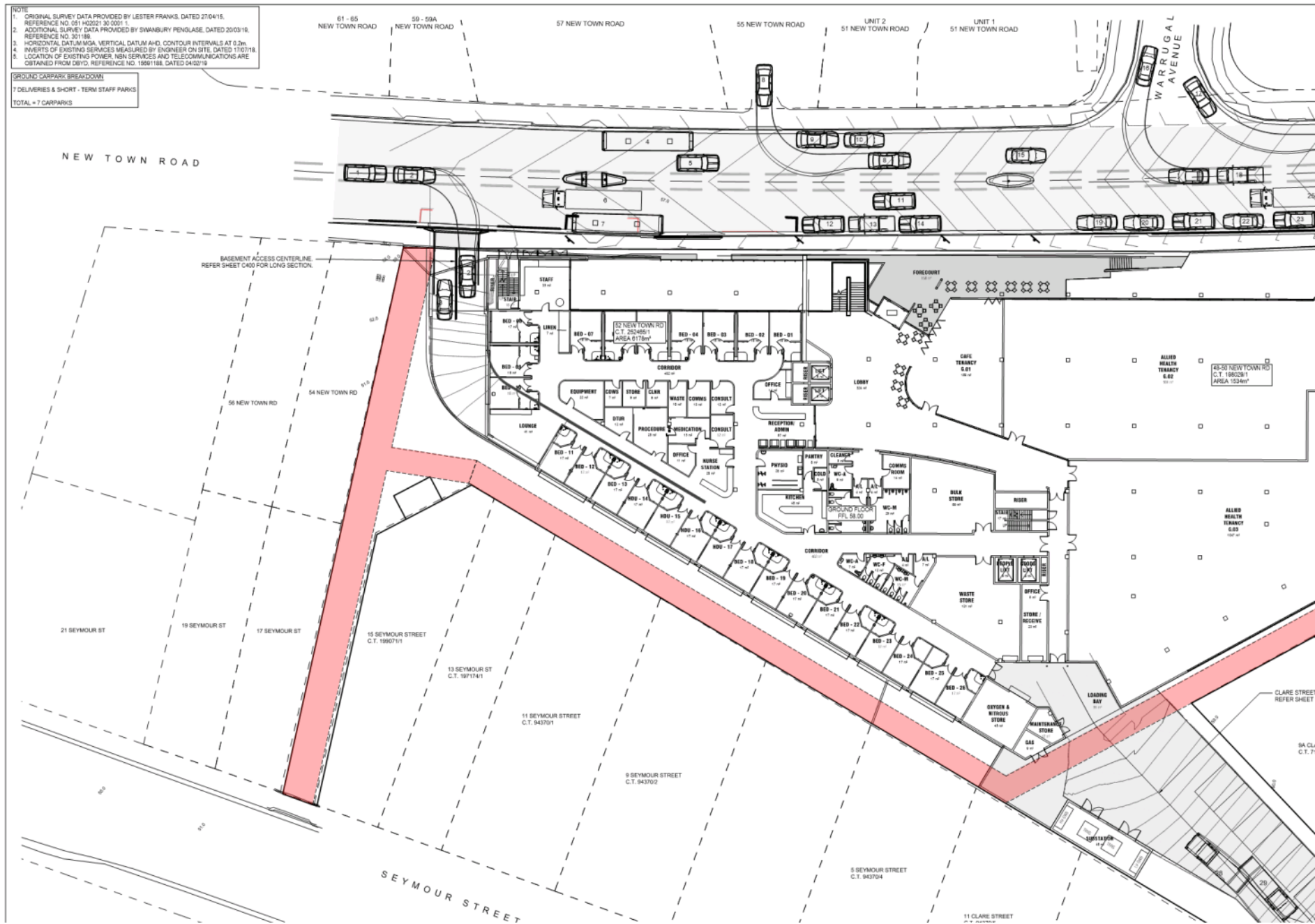
HIGH VOLTAGE CABLES TO BE RELOCATED CLEAR OF PROPOSED STORMWATER MAIN REALIGNMENT IN ACCORDANCE WITH TASNETWORKS REQUIREMENTS, AT A COST NEGOTIATED BETWEEN THE DEVELOPER AND TASNETWORKS.

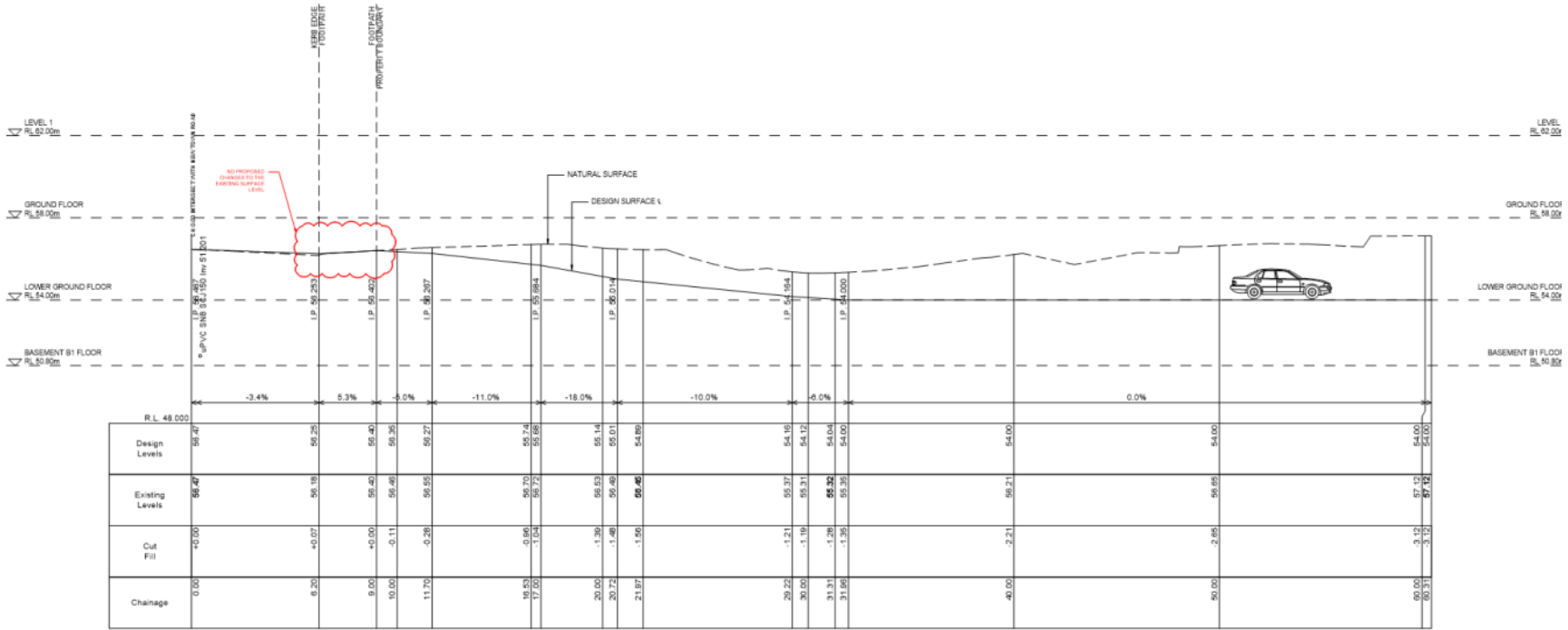


Architectural site plan of the Lower Ground Floor (L.G.F.). The plan shows a large central area labeled 'LOWER GROUND FLOOR TENANCY' (16,540 sq. ft.) and a 'COURTYARD' (16,540 sq. ft.). To the right, there is a 'LOWER GROUND FLOOR CARPARK' (16,540 sq. ft.) and a 'PLANT' room (16,540 sq. ft.). A 'LOBBY' (16,540 sq. ft.) is located between the tenancy and the carpark. A 'DRIVEWAY' (16,540 sq. ft.) runs along the bottom left. The plan also shows a 'NEW TOWN RD' area and a 'DRIVER' area. The plan is oriented with North at the top.

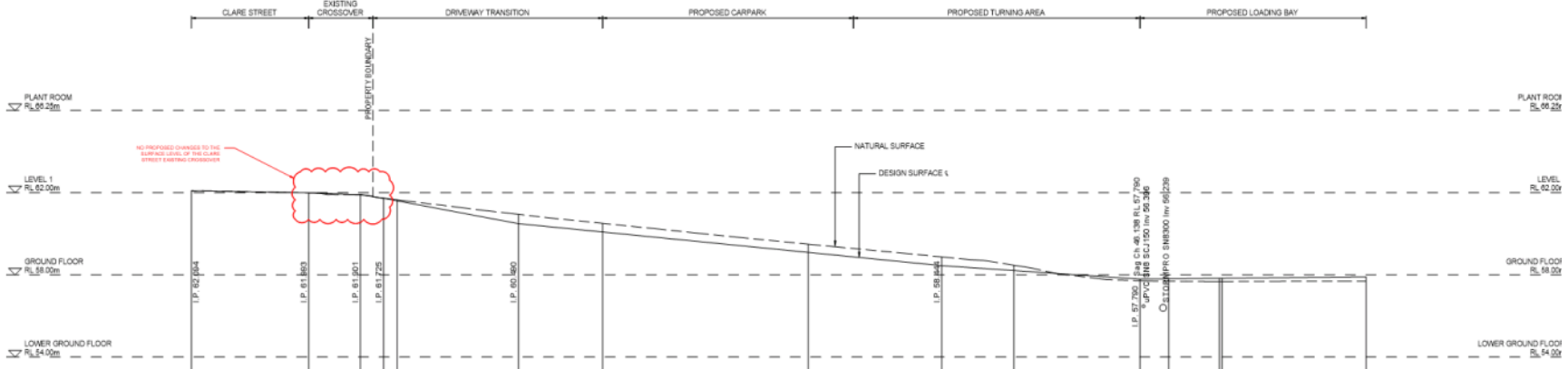


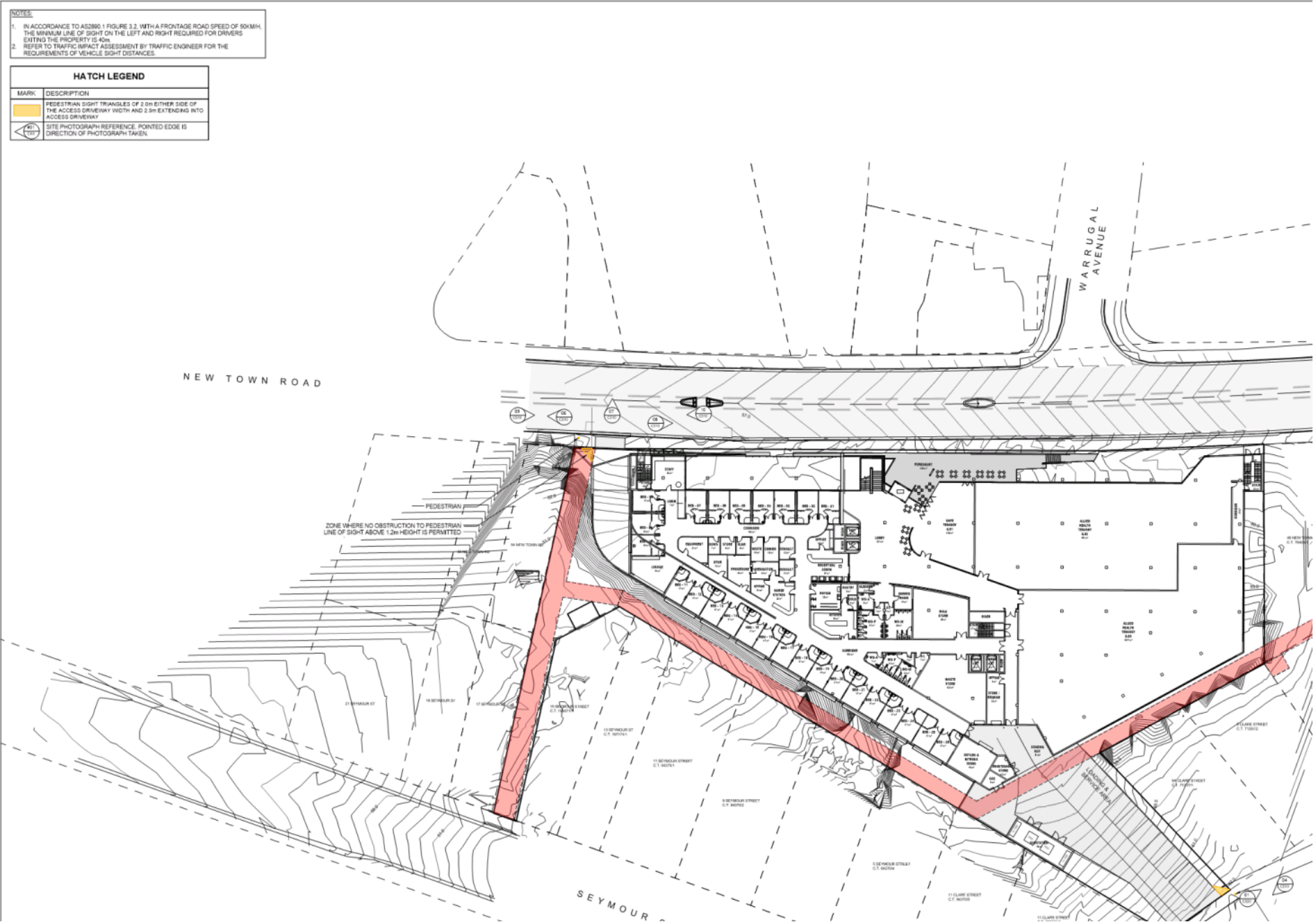






DRIVEWAY LONG SECTION - LOWER GROUND FLOOR ACCESS  
SCALE: H 1:100 V 1:100







NOTE THAT NTR REFERS TO NEW TOWN ROAD



01  
CLARE STREET ENTRANCE - LEFT VIEW  
SCALE: N.T.S.



02  
CLARE STREET ENTRANCE - FRONT VIEW  
SCALE: N.T.S.



03  
CLARE STREET ENTRANCE - RIGHT VIEW  
SCALE: N.T.S.



04  
CLARE STREET ENTRANCE - PEDESTRIAN  
SCALE: N.T.S.



05  
NTR BASEMENT ENTRANCE - LEFT VIEW  
SCALE: N.T.S.



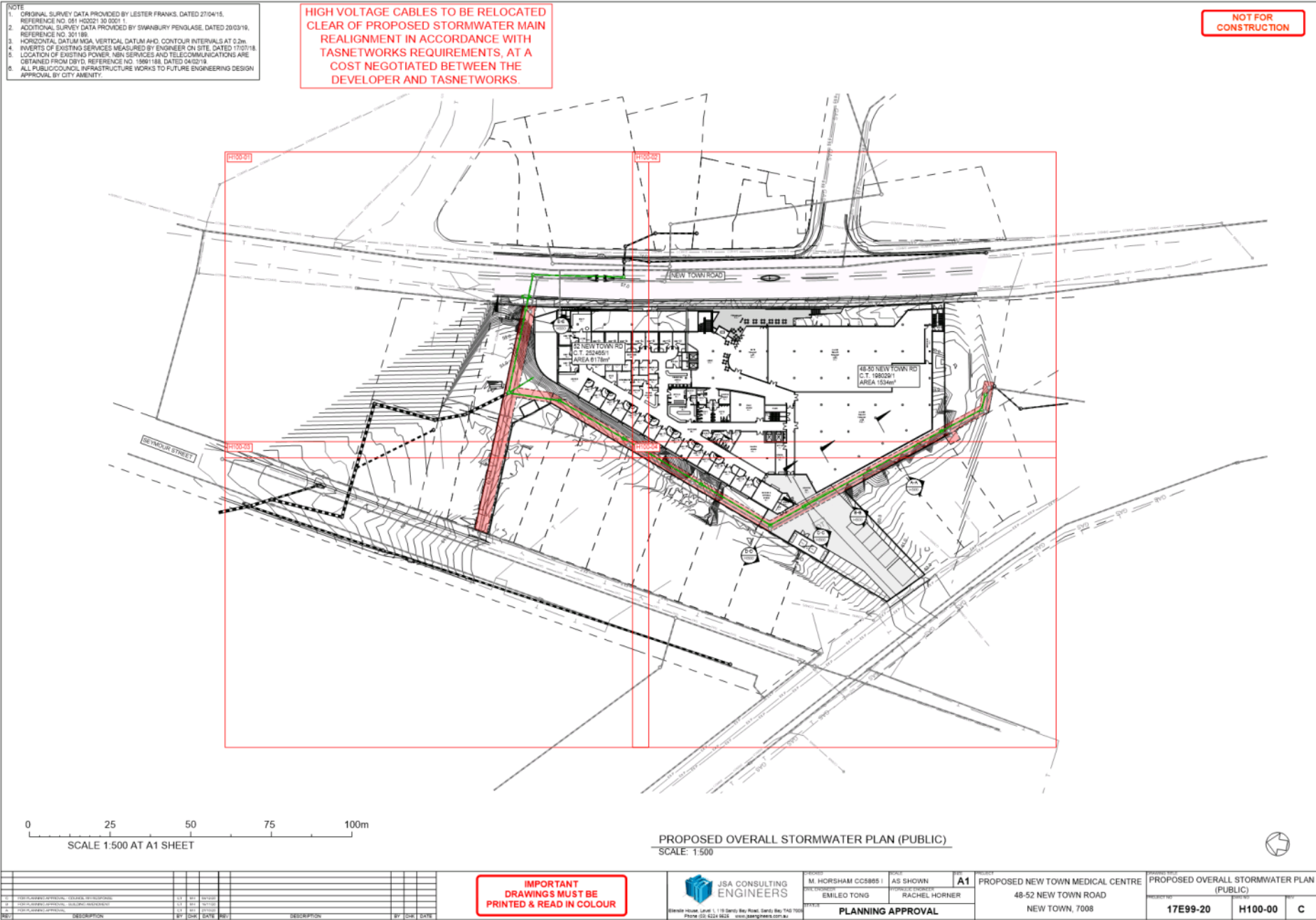
06  
NTR BASEMENT ENTRANCE - FRONT VIEW  
SCALE: N.T.S.

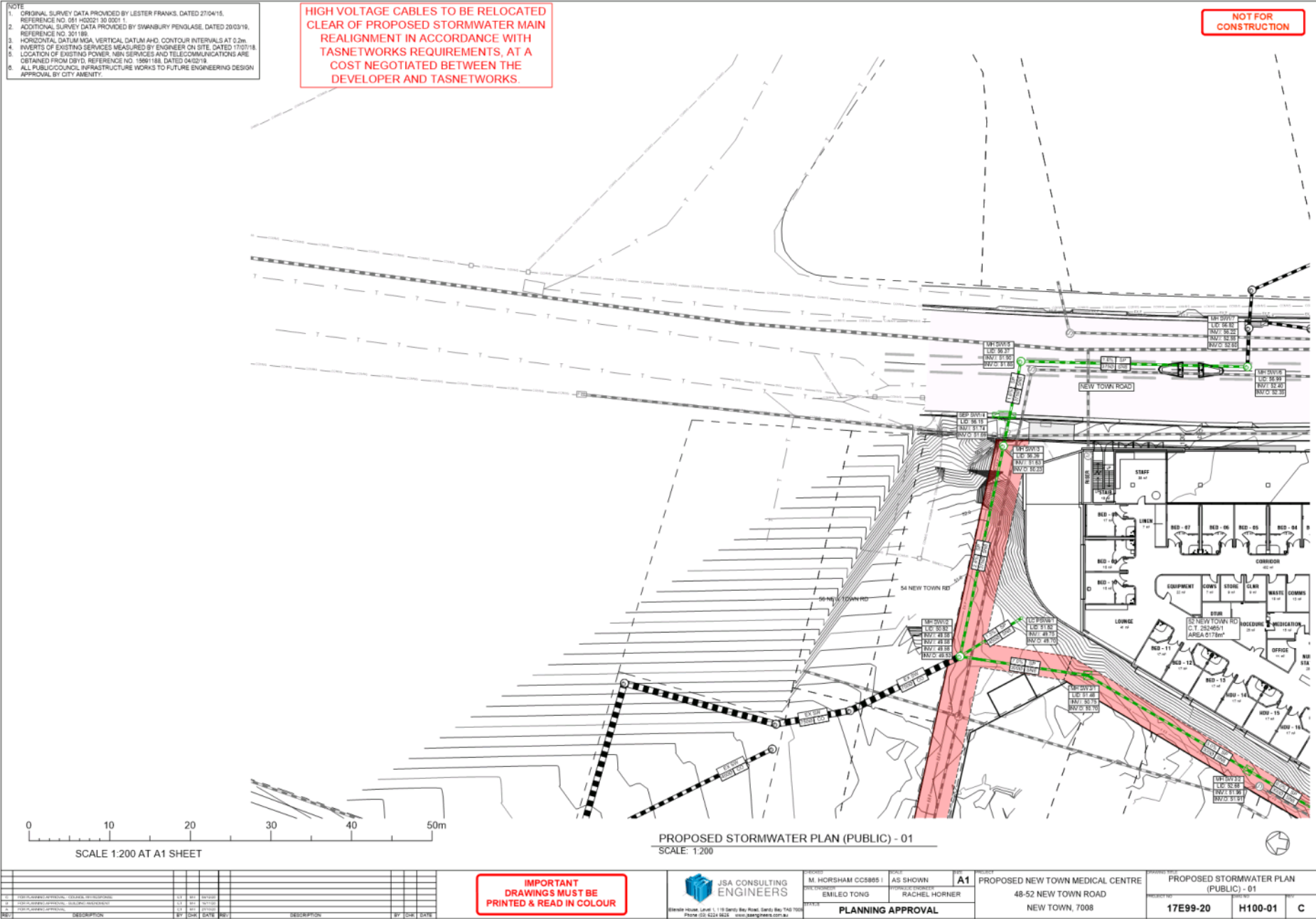


07  
NTR BASEMENT ENTRANCE - RIGHT VIEW  
SCALE: N.T.S.

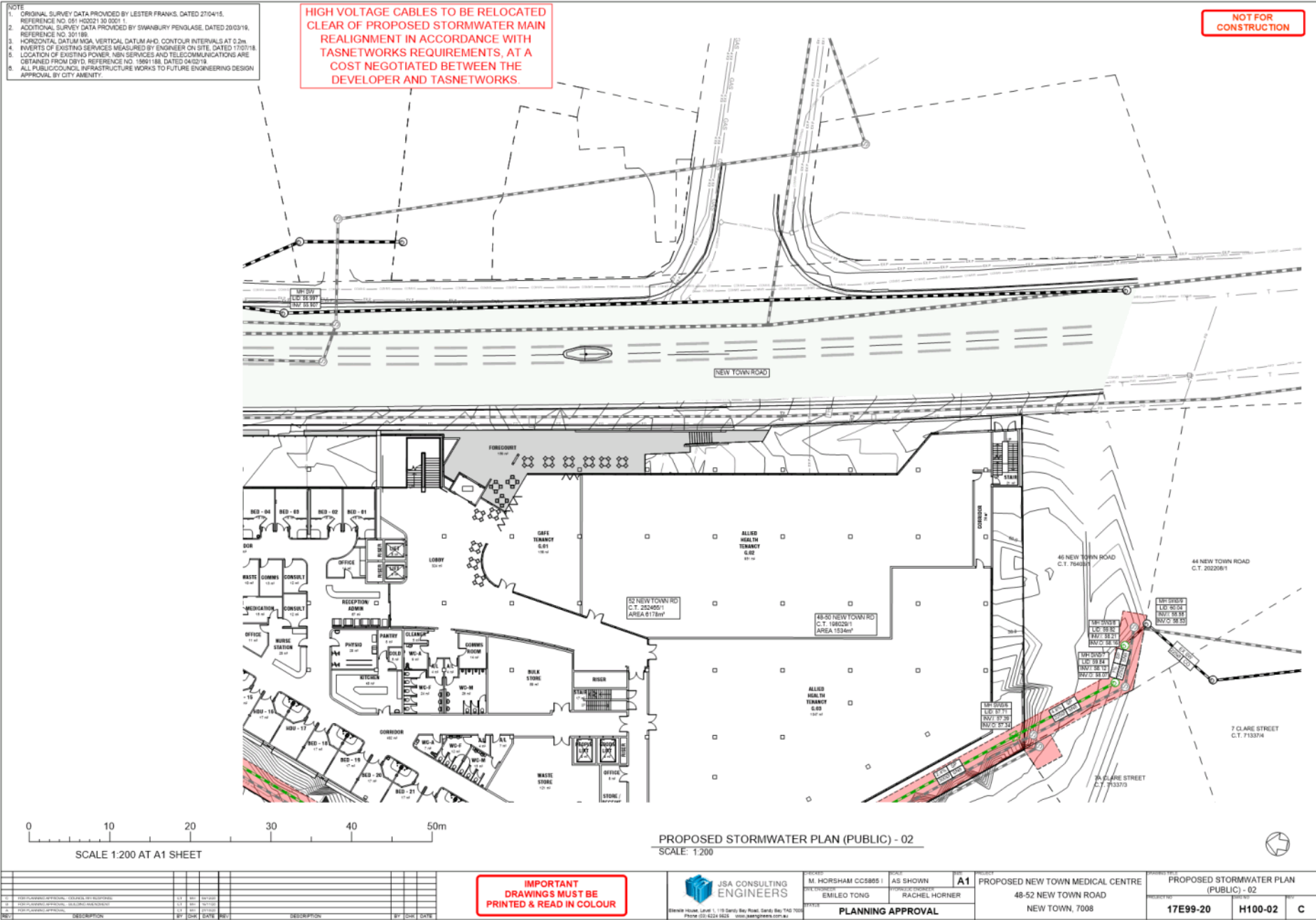


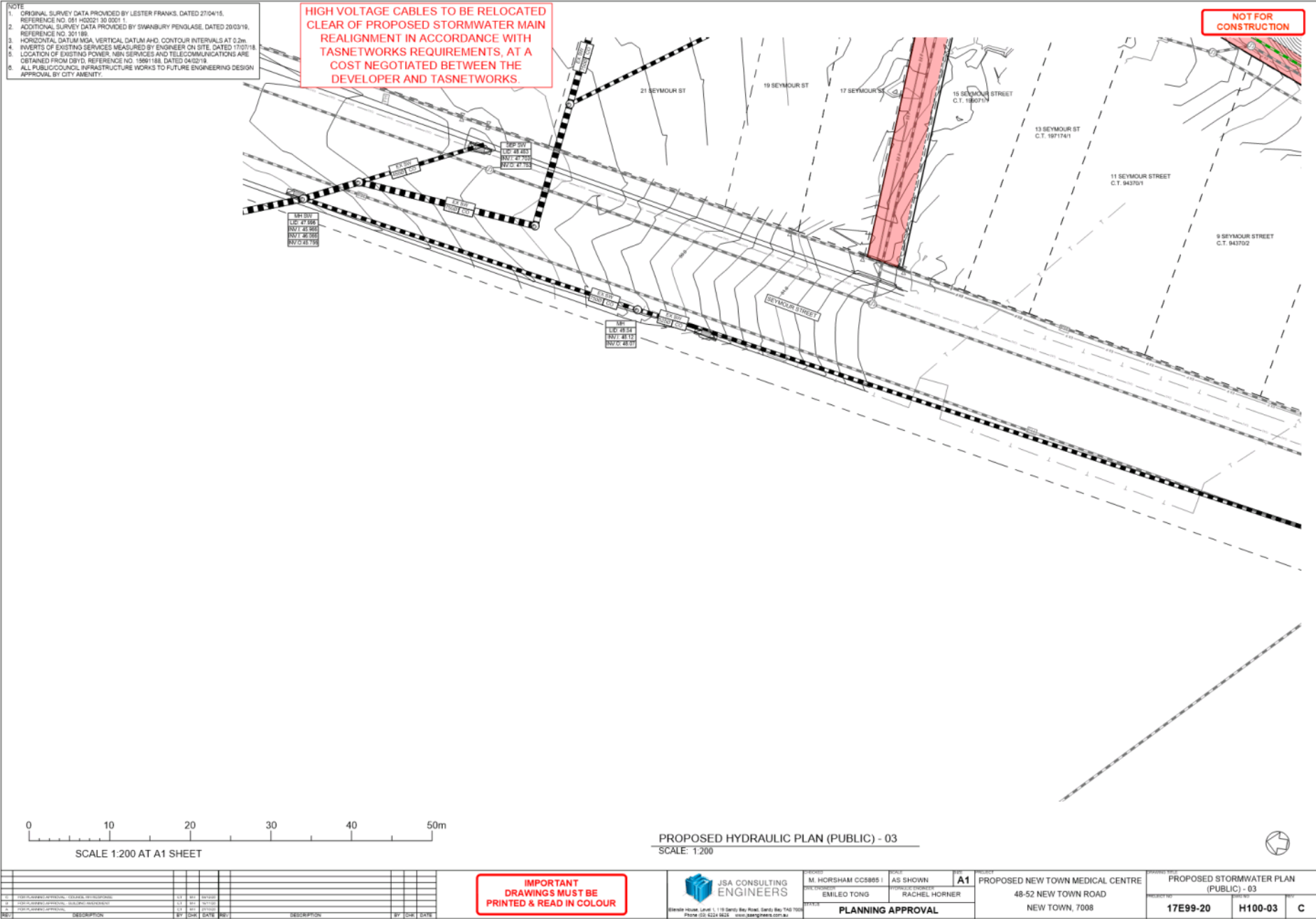
08  
NTR BASEMENT ENTRANCE - PEDESTRIAN  
SCALE: N.T.S.

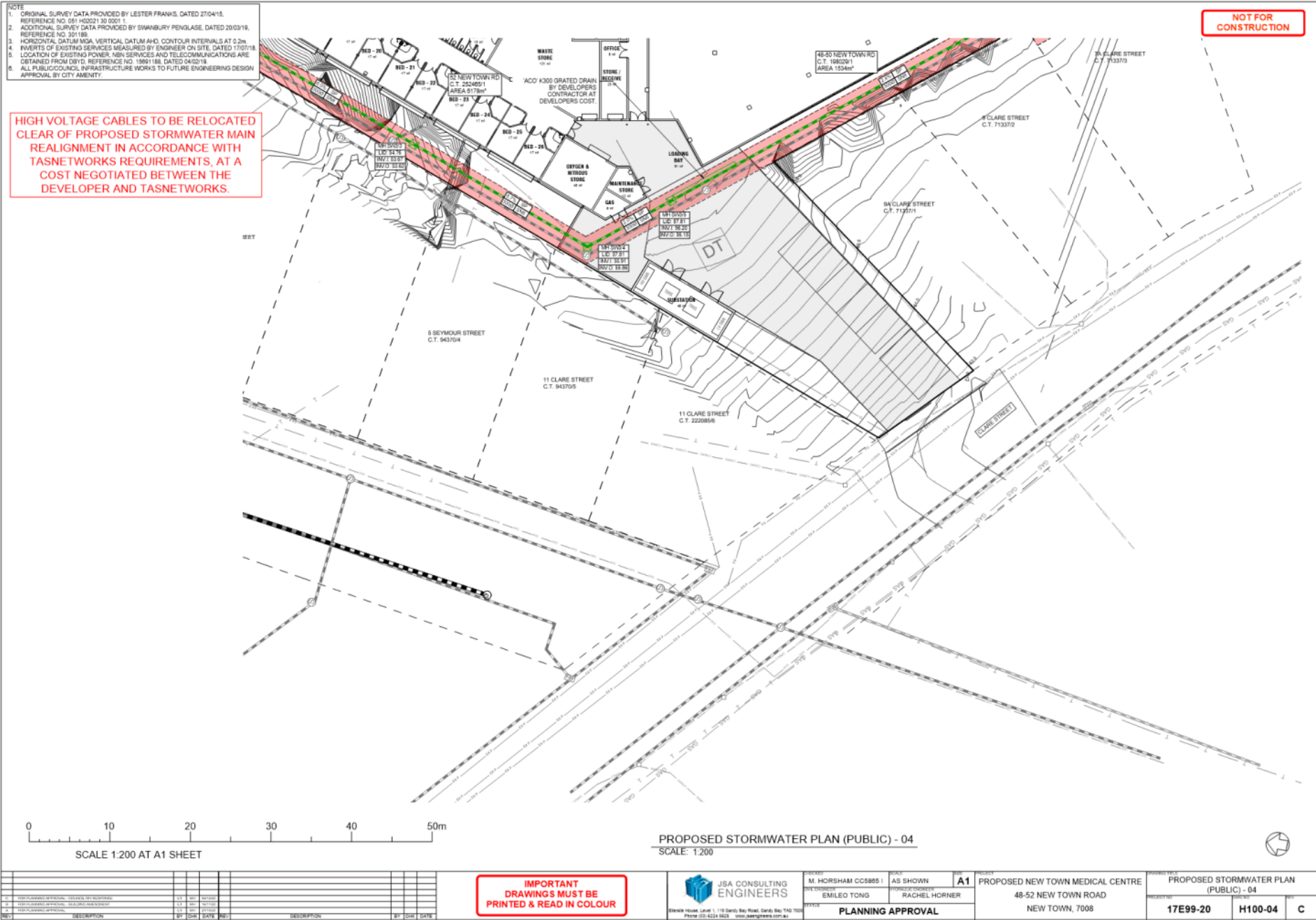






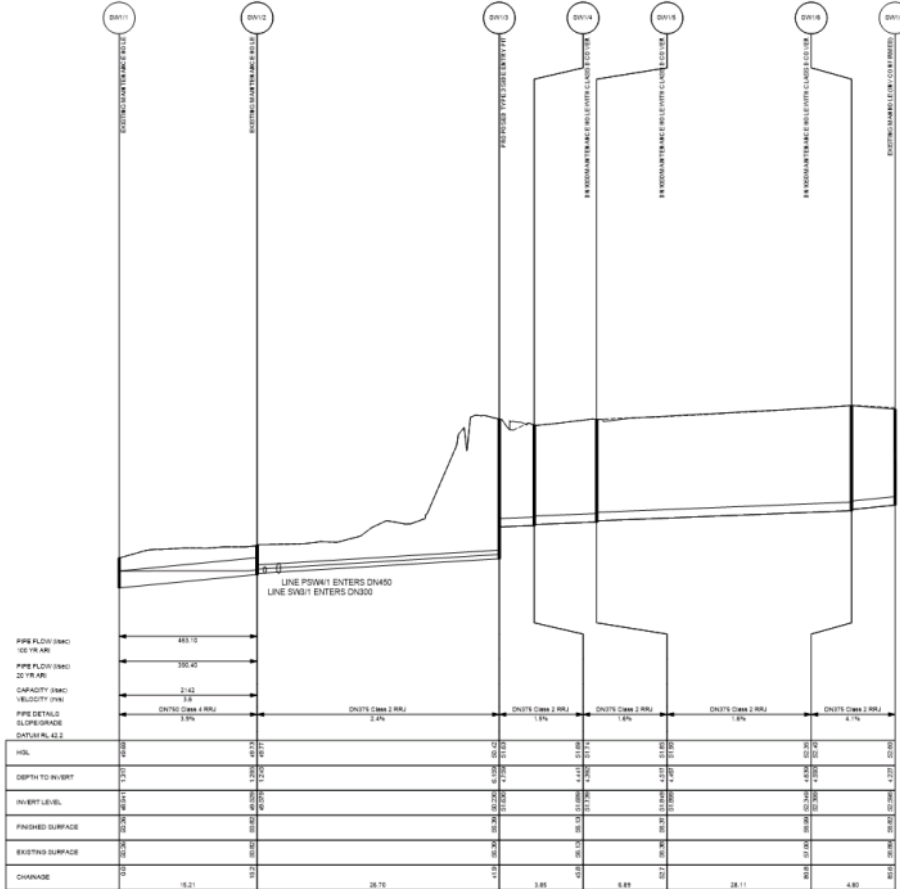




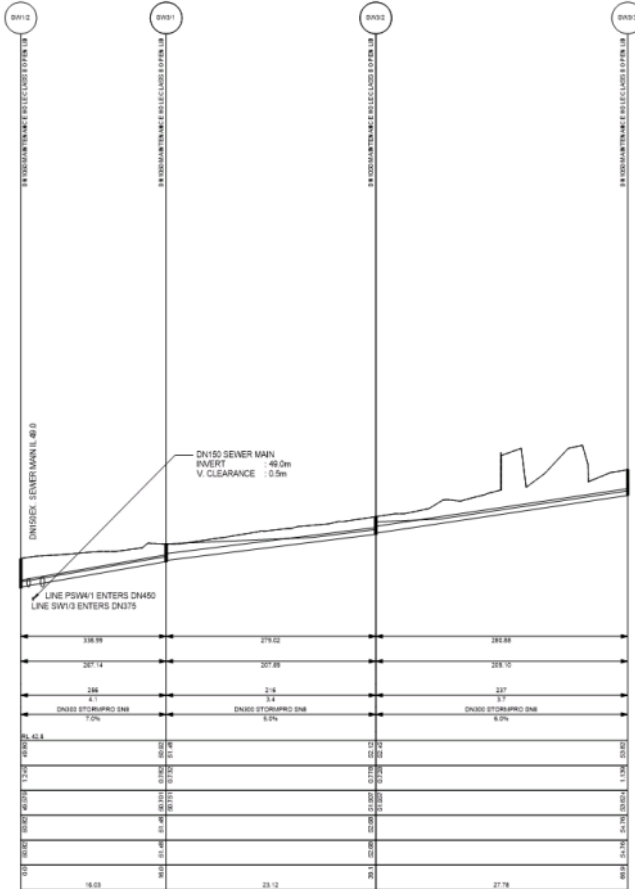




NOT FOR  
CONSTRUCTION



LONG SECTION FOR LINE SW1  
SCALE: HORIZONTAL 1:250 VERTICAL 1:100



LONG SECTION FOR LINE SW3  
SCALE: HORIZONTAL 1:250 VERTICAL 1:100

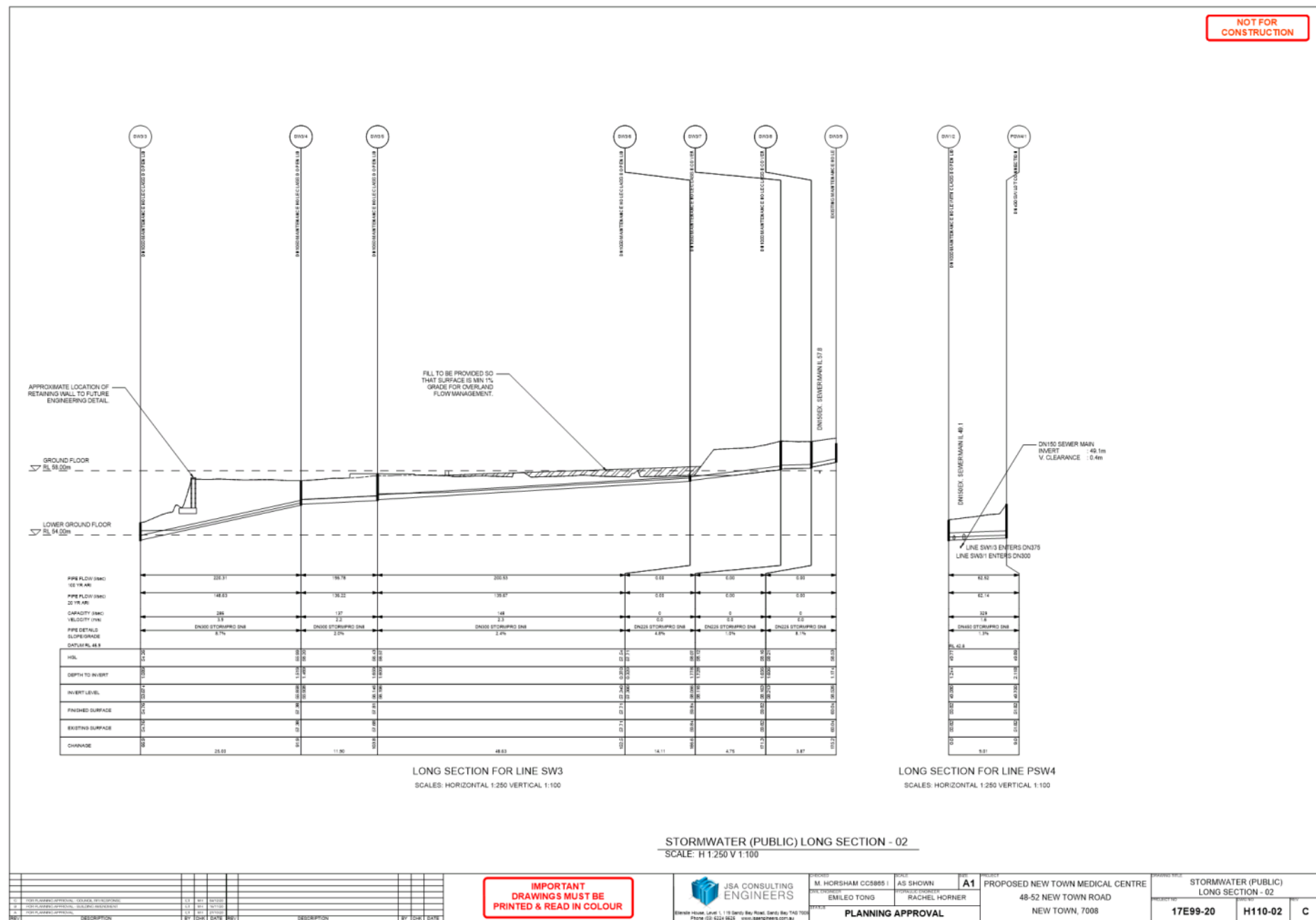
STORMWATER (PUBLIC) LONG SECTION - 01  
SCALE: H 1:250 V 1:100

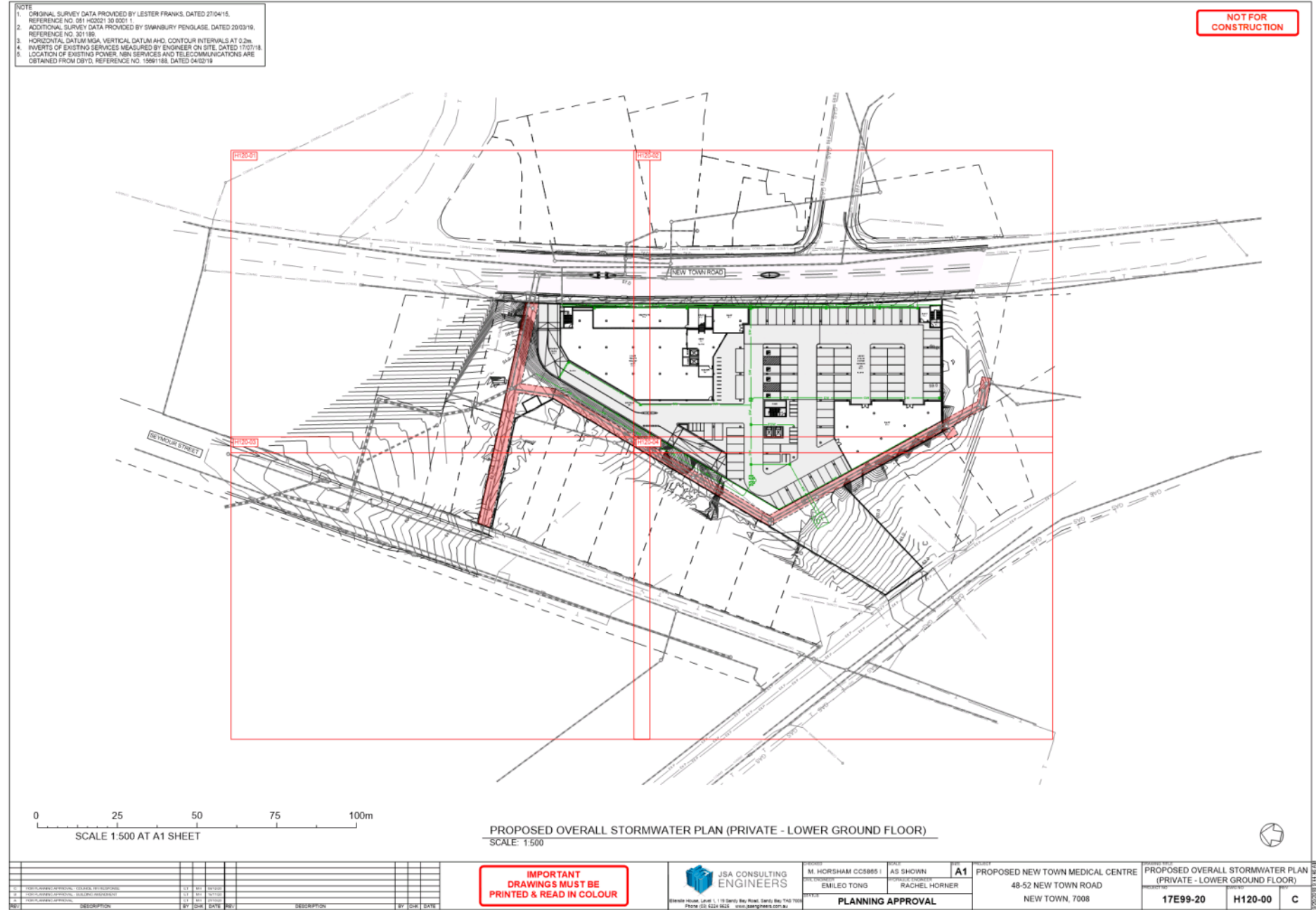
REVISIONS				REVISIONS			
NO.	DESCRIPTION	BY	DATE	NO.	DESCRIPTION	BY	DATE
1	ISSUED FOR APPROVAL	EMILIO TONG	10/12/20	1	ISSUED FOR APPROVAL	EMILIO TONG	10/12/20
2	ISSUED FOR APPROVAL	EMILIO TONG	10/12/20	2	ISSUED FOR APPROVAL	EMILIO TONG	10/12/20
3	ISSUED FOR APPROVAL	EMILIO TONG	10/12/20	3	ISSUED FOR APPROVAL	EMILIO TONG	10/12/20

**IMPORTANT**  
DRAWINGS MUST BE  
PRINTED & READ IN COLOUR

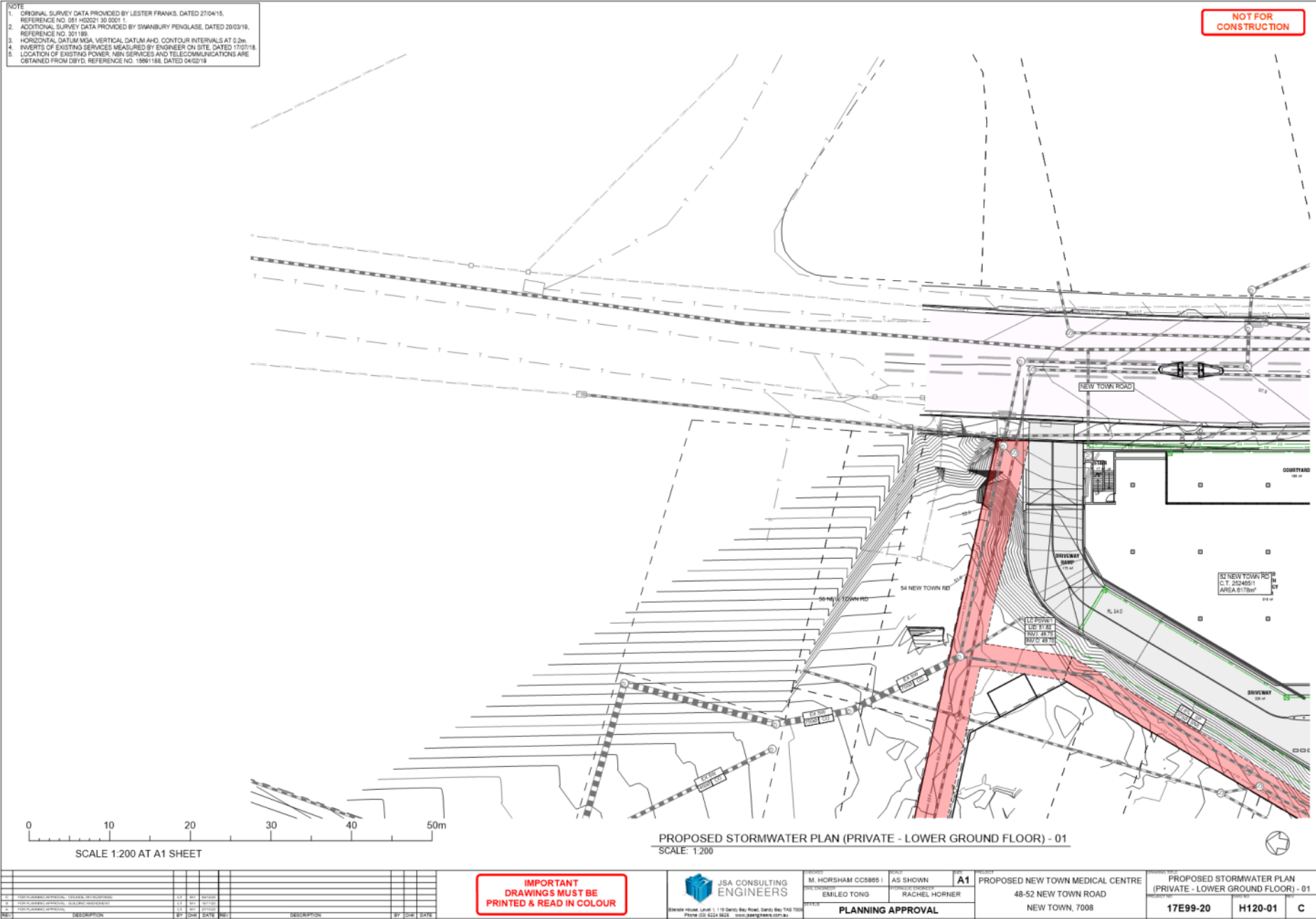
**JSA CONSULTING ENGINEERS**  
Stevie House, Level 1, 118 Sandy Bay Road, Sandy Bay TAS 7008  
Phone 03 6224 8626 www.jsaengineers.com.au

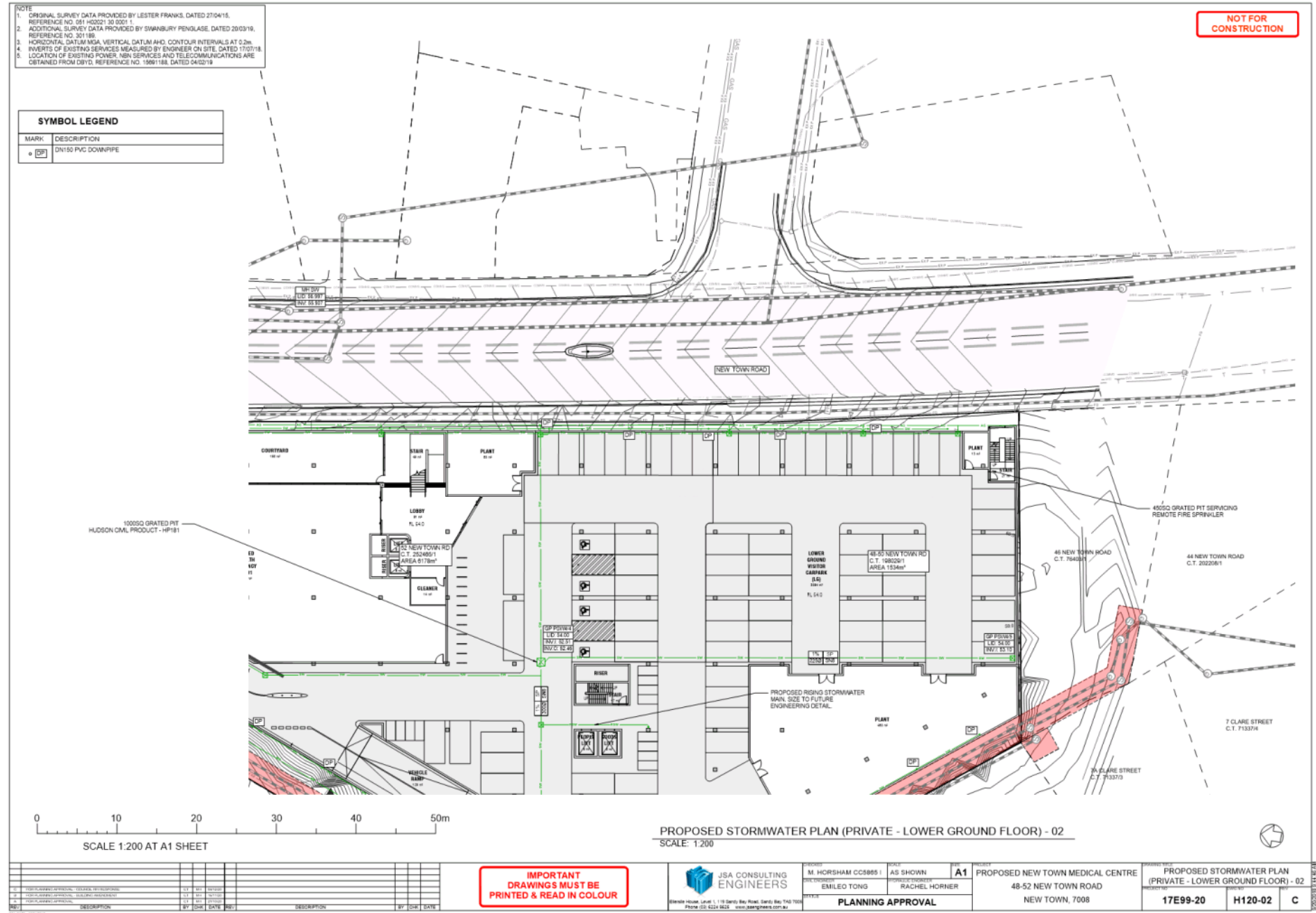
PROJECT	M. HORSHAM CC5895	AS SHOWN	A1	PROPOSED NEW TOWN MEDICAL CENTRE
DESIGNER	EMILIO TONG	PROJECT ENGINEER	RACHEL HORNER	48-52 NEW TOWN ROAD
DATE	10/12/20	DATE	10/12/20	NEW TOWN, 7008
PLANNING APPROVAL				STORMWATER (PUBLIC) LONG SECTION - 01
17E99-20				H110-01
C				

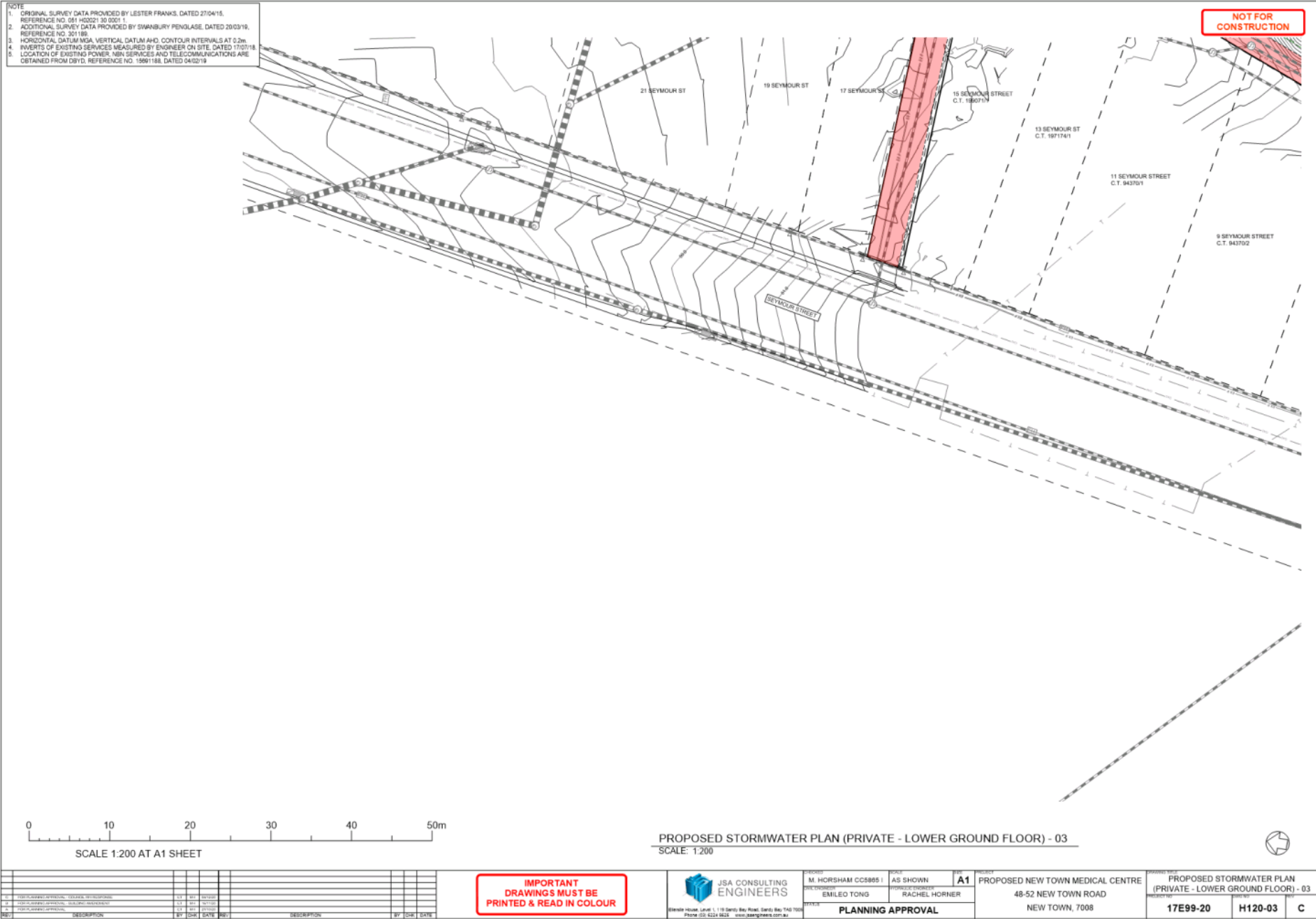




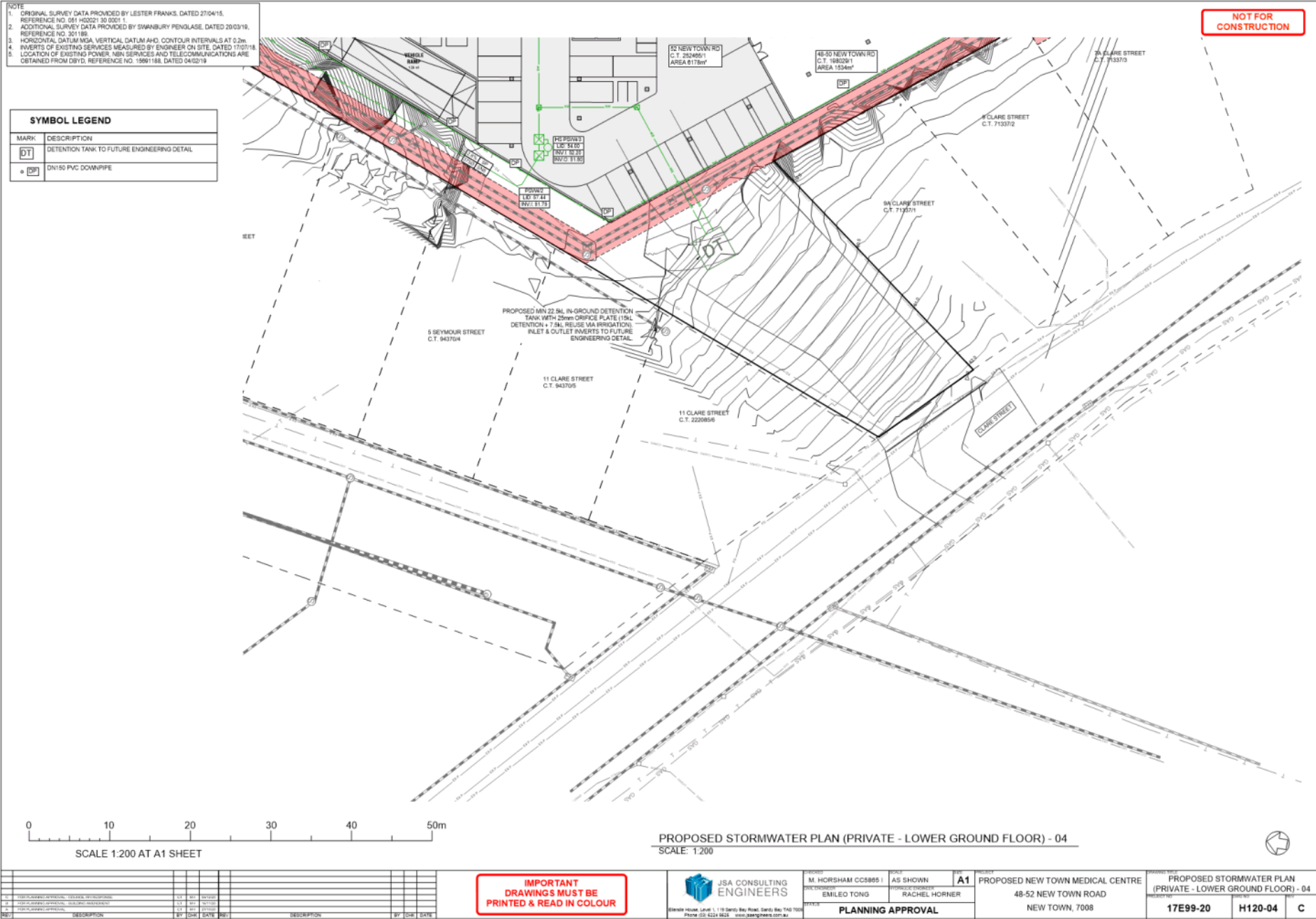


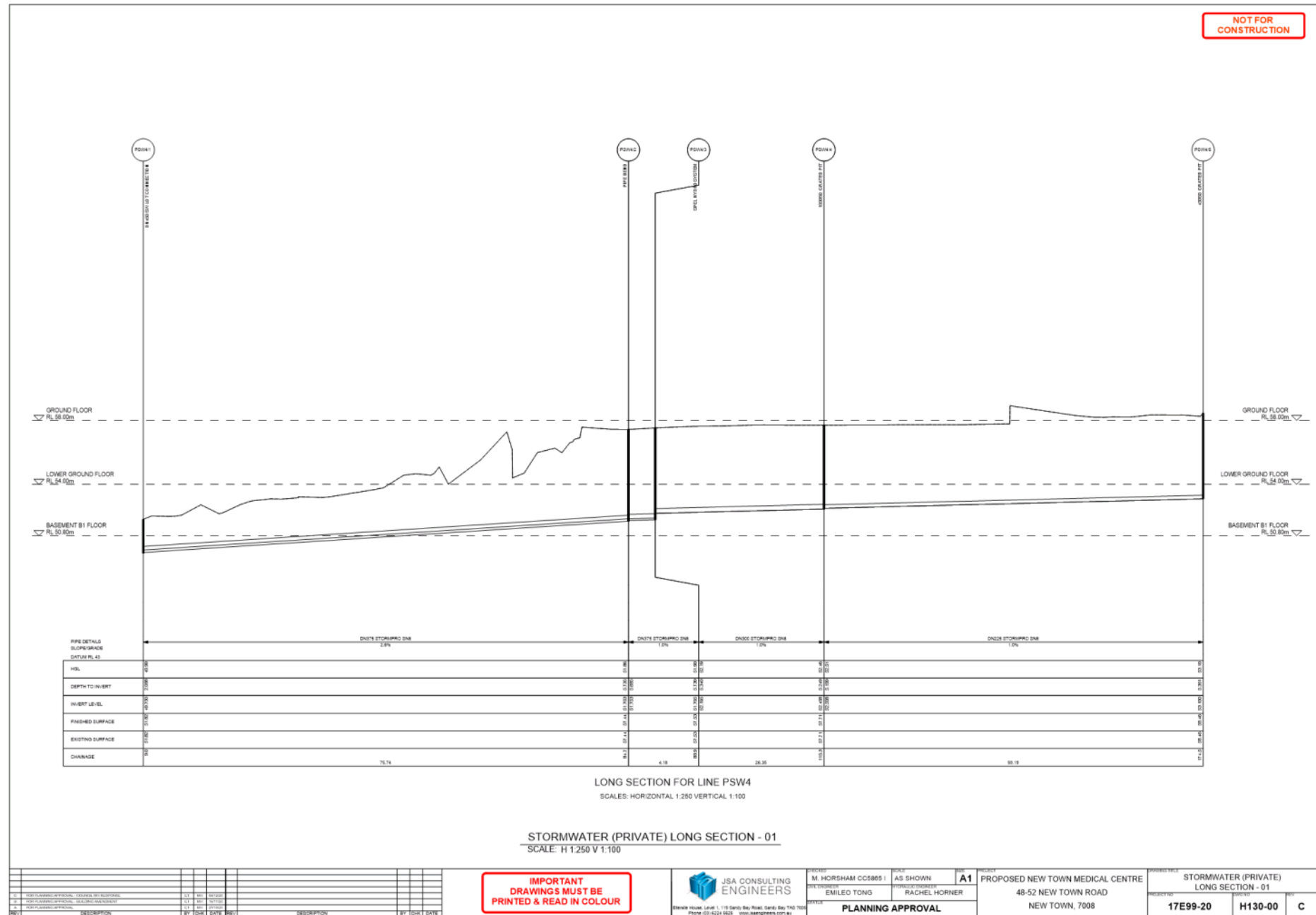


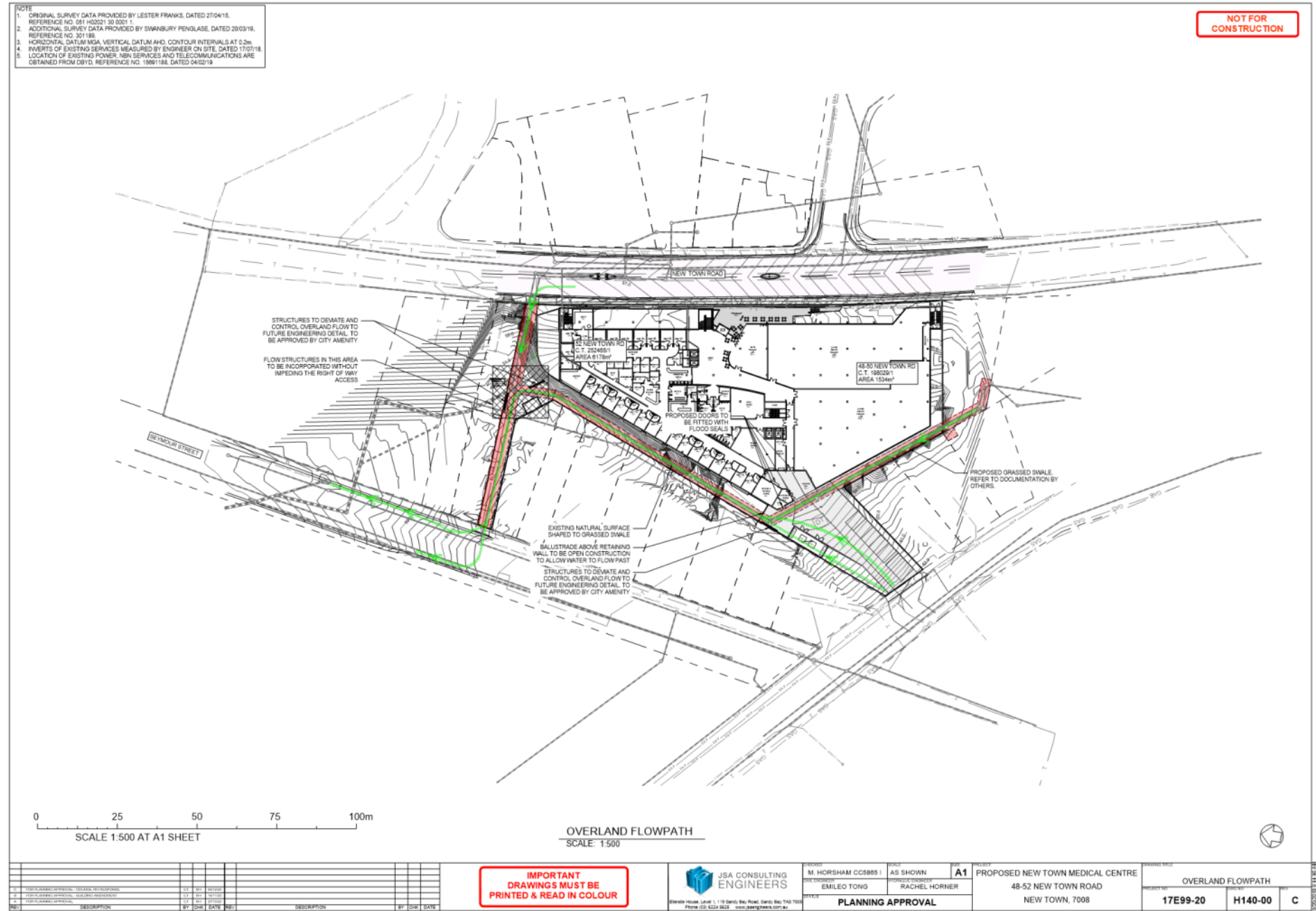








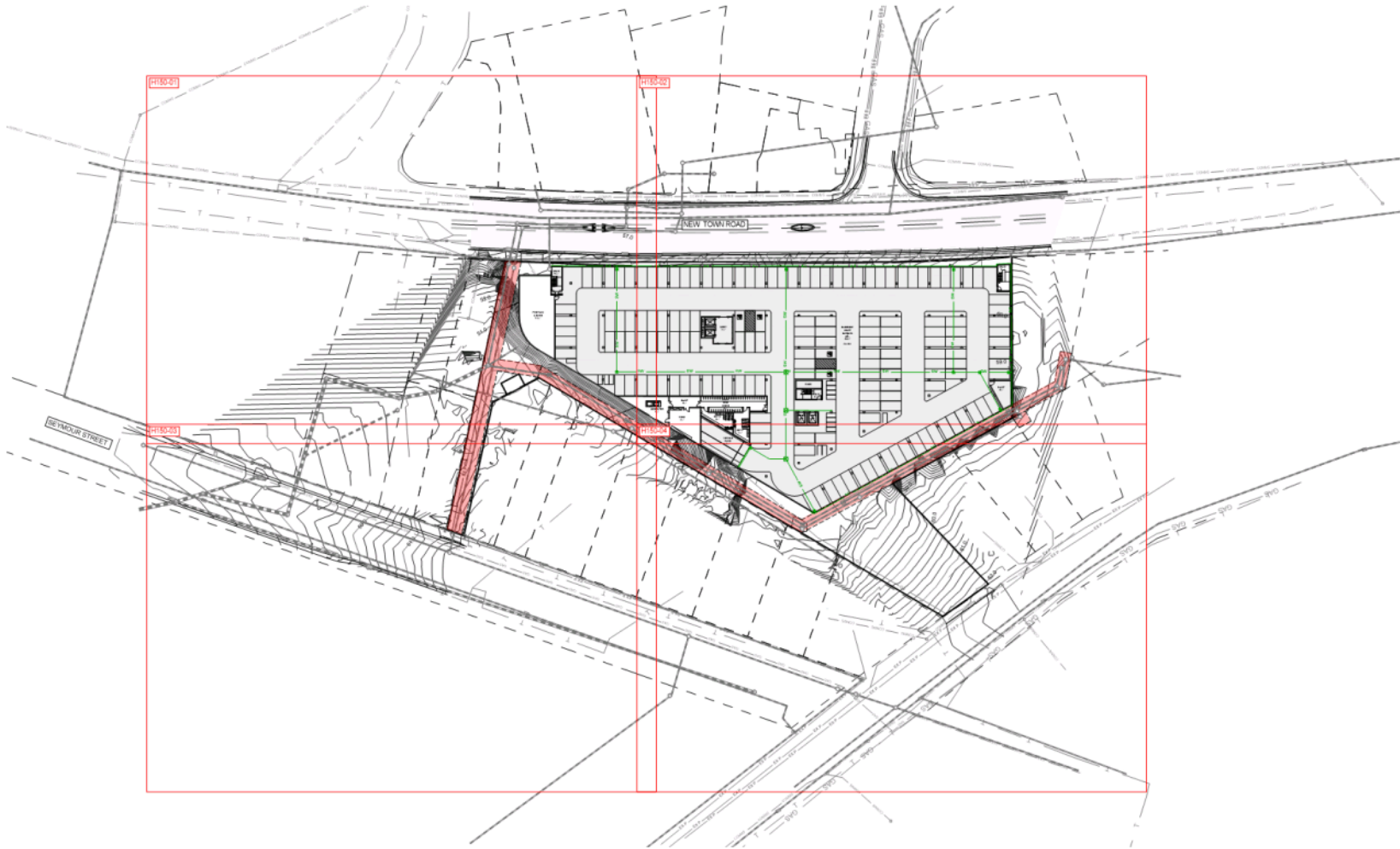






- NOTE
- 1. ORIGINAL SURVEY DATA PROVIDED BY LESTER FRANKS, DATED 27/04/15, REFERENCE NO. 051 H0221-30.0001.1.
  - 2. ADDITIONAL SURVEY DATA PROVIDED BY SWANBURY PENGLASE, DATED 20/03/19, REFERENCE NO. 201189.
  - 3. HORIZONTAL DATUM MGA, VERTICAL DATUM AHD, CONTOUR INTERVALS AT 0.2m.
  - 4. INVERTS OF EXISTING SERVICES MEASURED BY ENGINEER ON SITE, DATED 17/07/18.
  - 5. LOCATION OF EXISTING POWER, NBN SERVICES AND TELECOMMUNICATIONS ARE OBTAINED FROM DRYD, REFERENCE NO. 15601188, DATED 04/02/19.

NOT FOR  
CONSTRUCTION



0 25 50 75 100m  
SCALE 1:500 AT A1 SHEET

PROPOSED OVERALL STORMWATER PLAN (PRIVATE - BASEMENT B1)  
SCALE: 1:500



NO.	DESCRIPTION	BY	CHK	DATE	REV
1	PROPOSED OVERALL STORMWATER PLAN (PRIVATE - BASEMENT B1)	EMILEO TONG	RACHEL HORNER	17/07/18	1
2	PROPOSED OVERALL STORMWATER PLAN (PRIVATE - BASEMENT B1)	EMILEO TONG	RACHEL HORNER	17/07/18	2
3	PROPOSED OVERALL STORMWATER PLAN (PRIVATE - BASEMENT B1)	EMILEO TONG	RACHEL HORNER	17/07/18	3
4	PROPOSED OVERALL STORMWATER PLAN (PRIVATE - BASEMENT B1)	EMILEO TONG	RACHEL HORNER	17/07/18	4
5	PROPOSED OVERALL STORMWATER PLAN (PRIVATE - BASEMENT B1)	EMILEO TONG	RACHEL HORNER	17/07/18	5

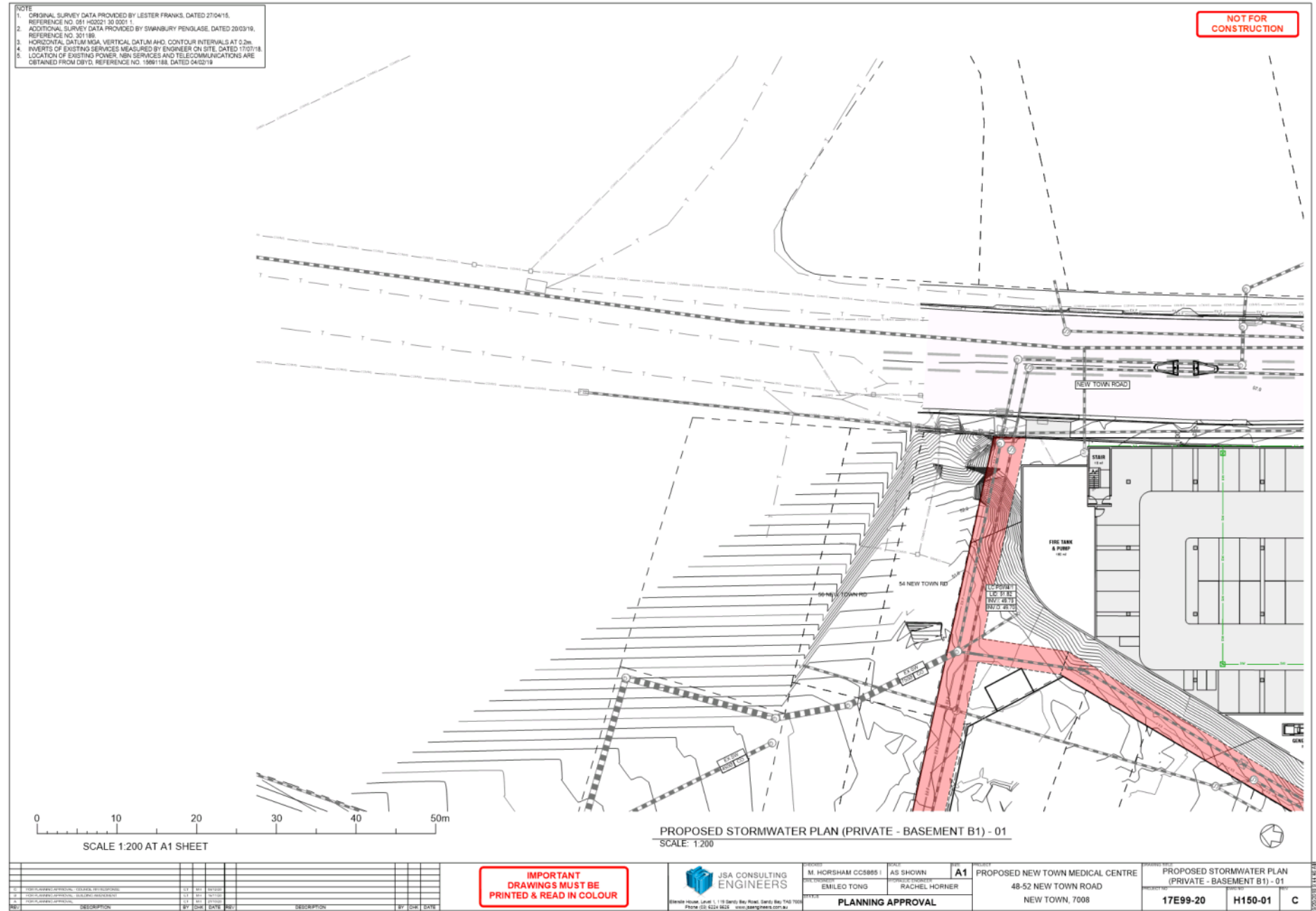
IMPORTANT  
DRAWINGS MUST BE  
PRINTED & READ IN COLOUR

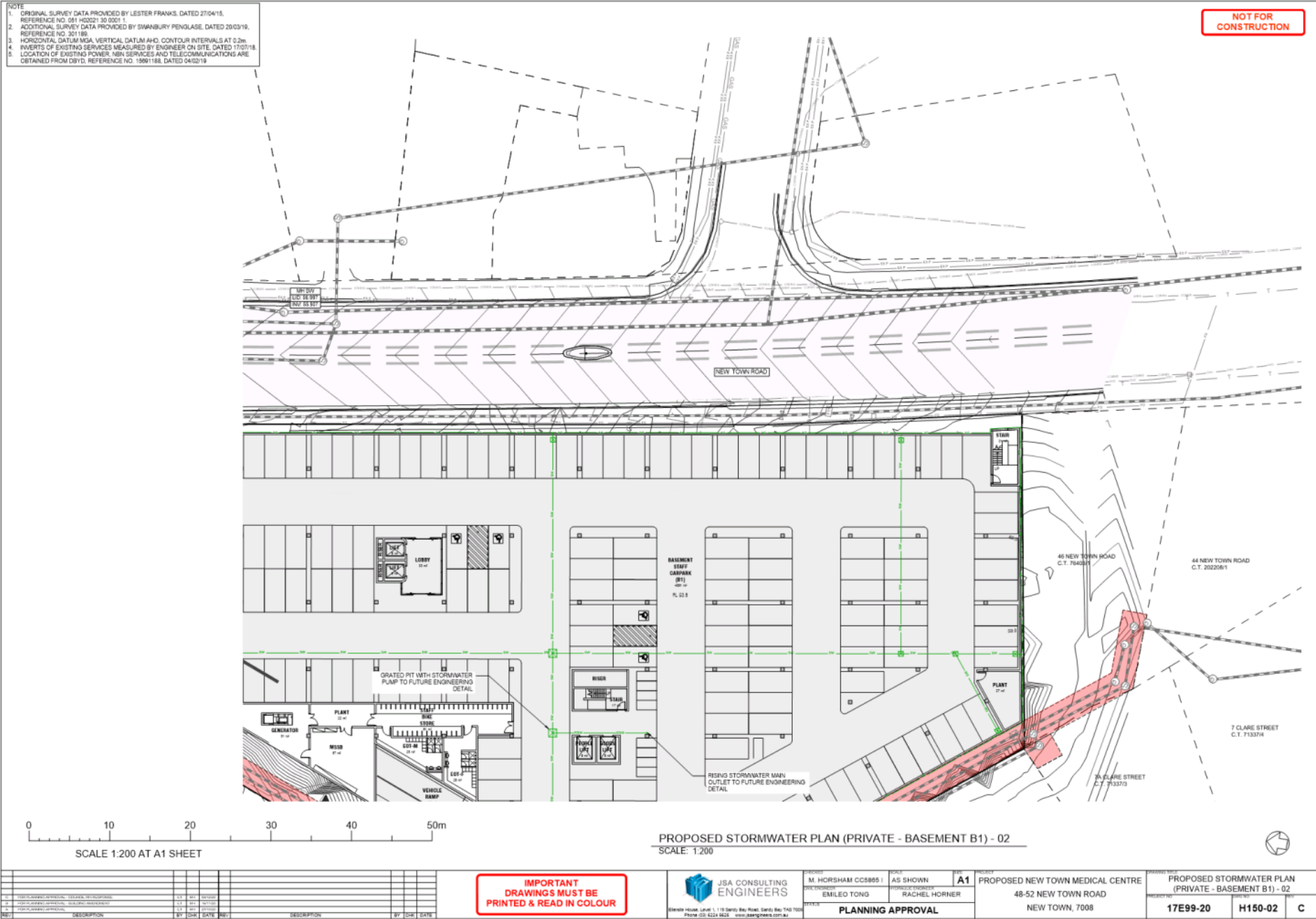


PROJECT	M. HORSHAM CC5895.1	AS SHOWN	A1
DESIGNER	EMILEO TONG	PROJECT ENGINEER	RACHEL HORNER
STATUS	PLANNING APPROVAL		

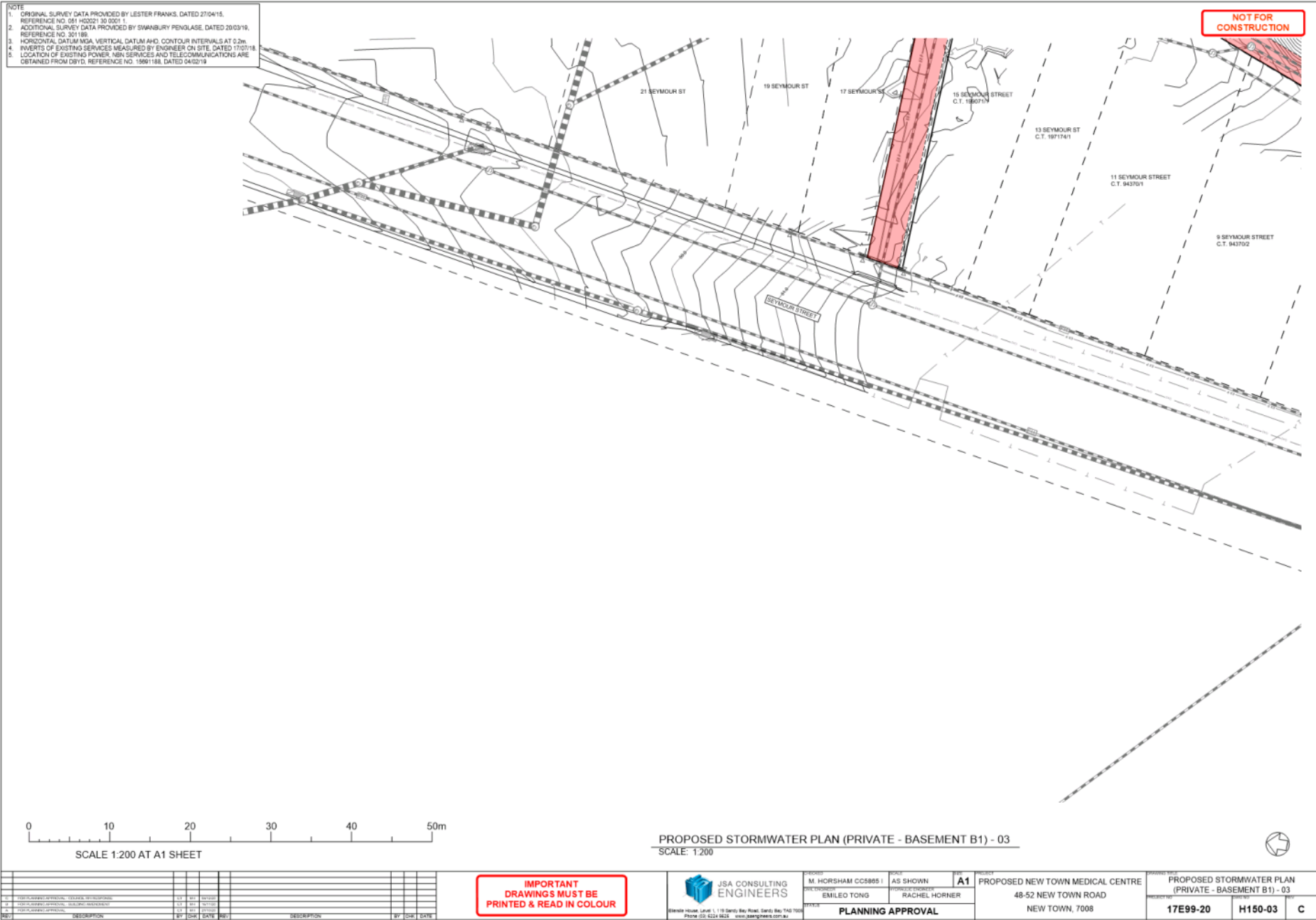
PROJECT NAME	PROPOSED NEW TOWN MEDICAL CENTRE
ADDRESS	48-52 NEW TOWN ROAD
CITY	NEW TOWN, 7008

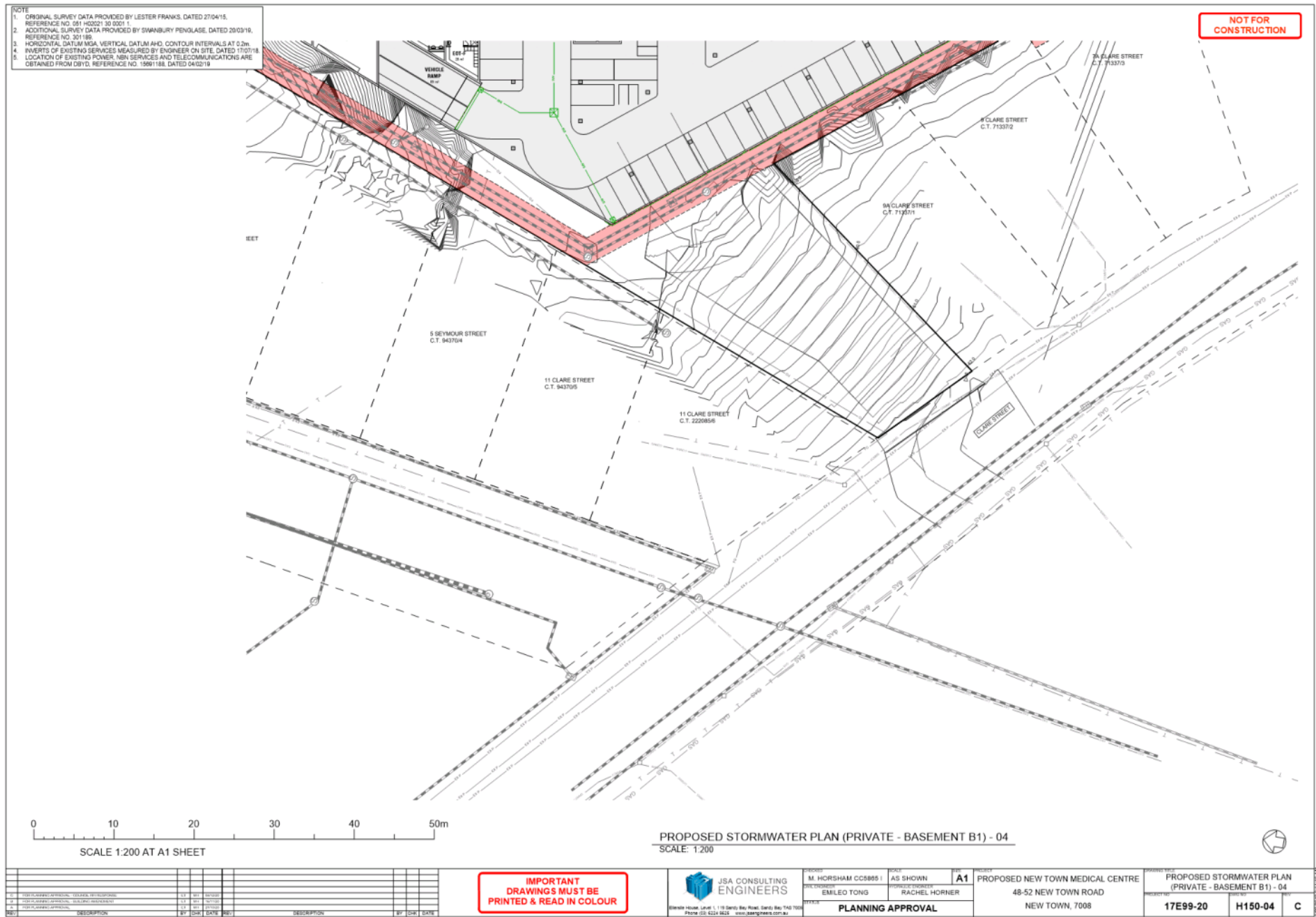
PROJECT NAME	PROPOSED OVERALL STORMWATER PLAN (PRIVATE - BASEMENT B1)
PROJECT NO.	17E99-20
DRAWING NO.	H150-00
REV	C

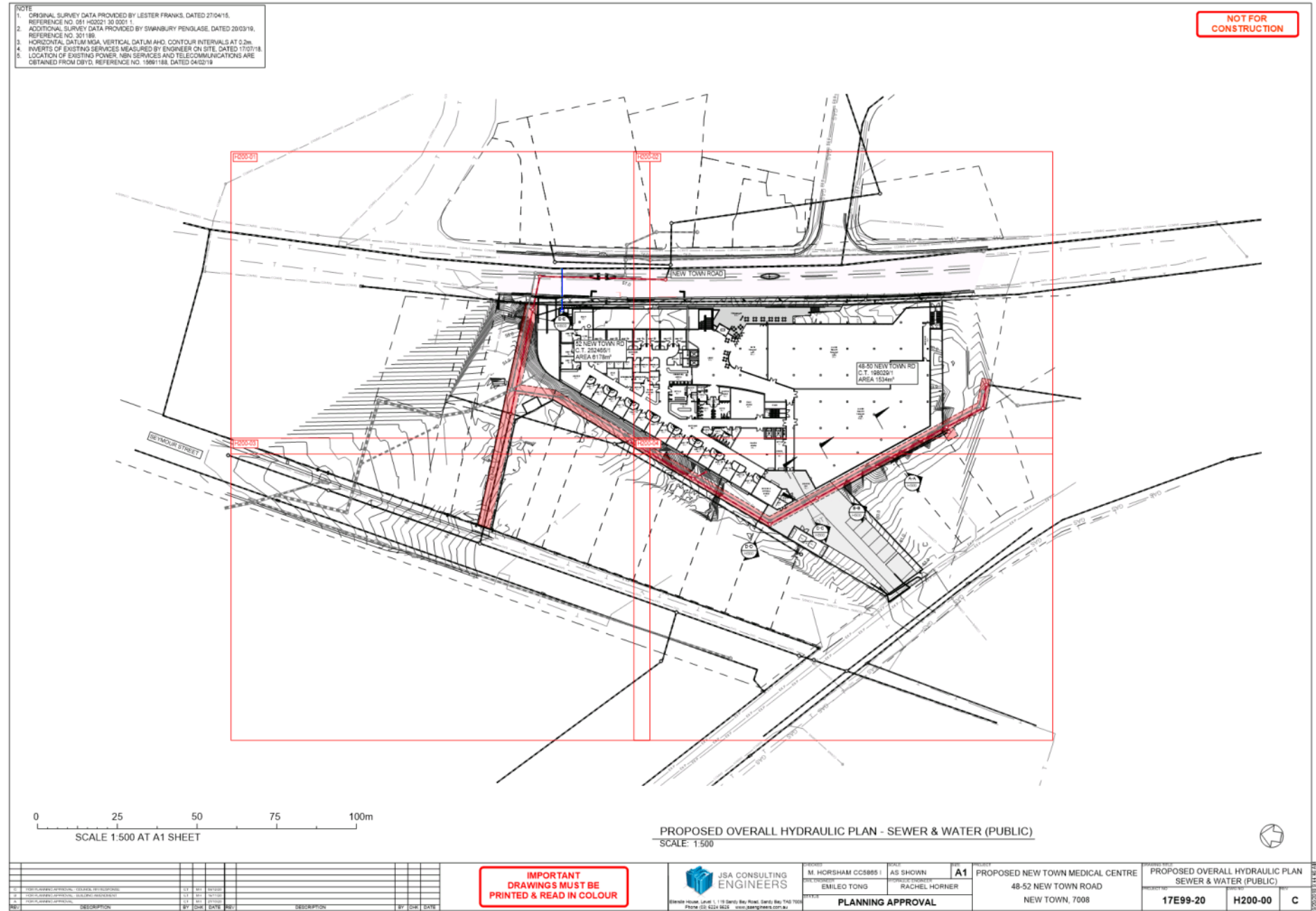




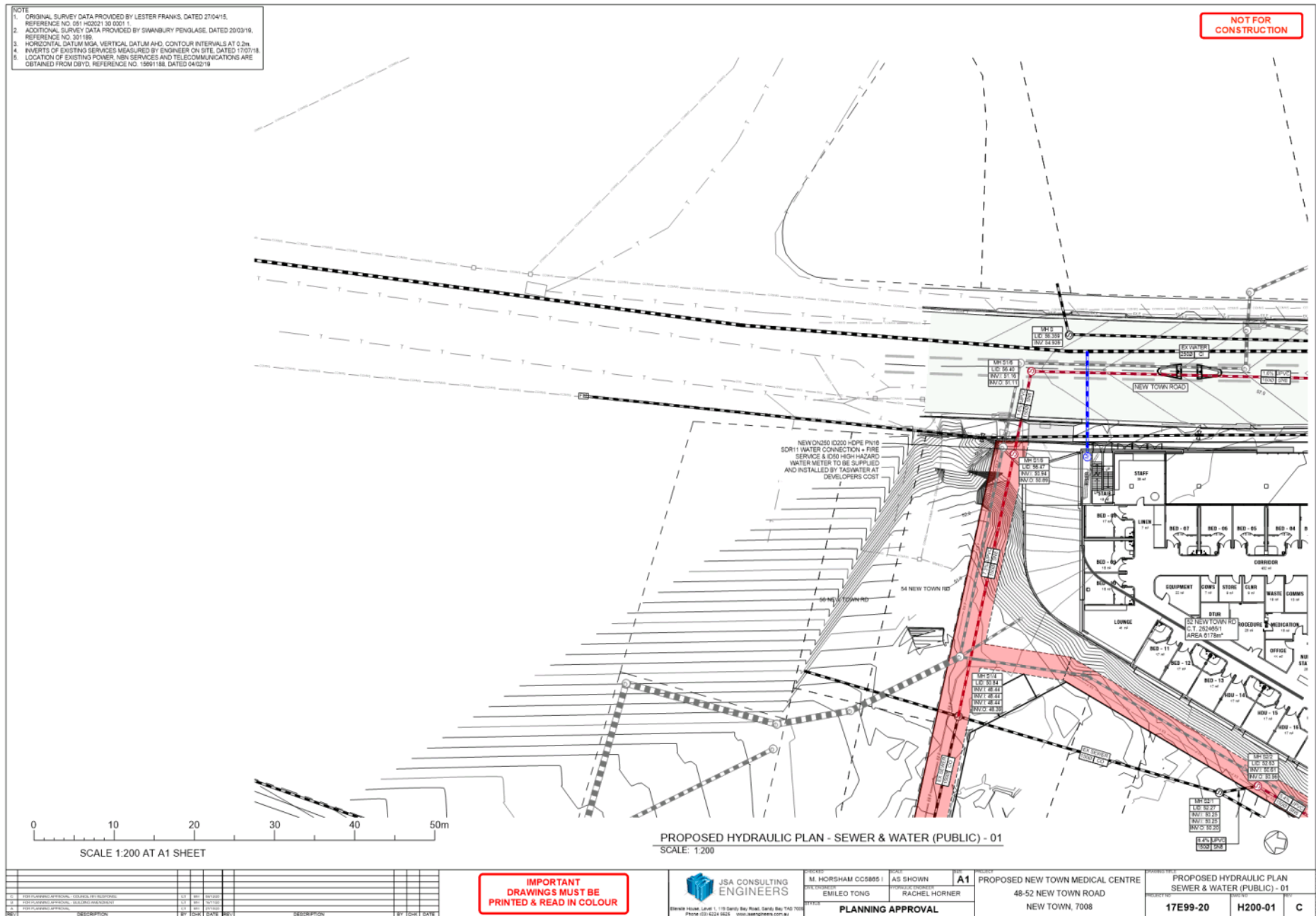


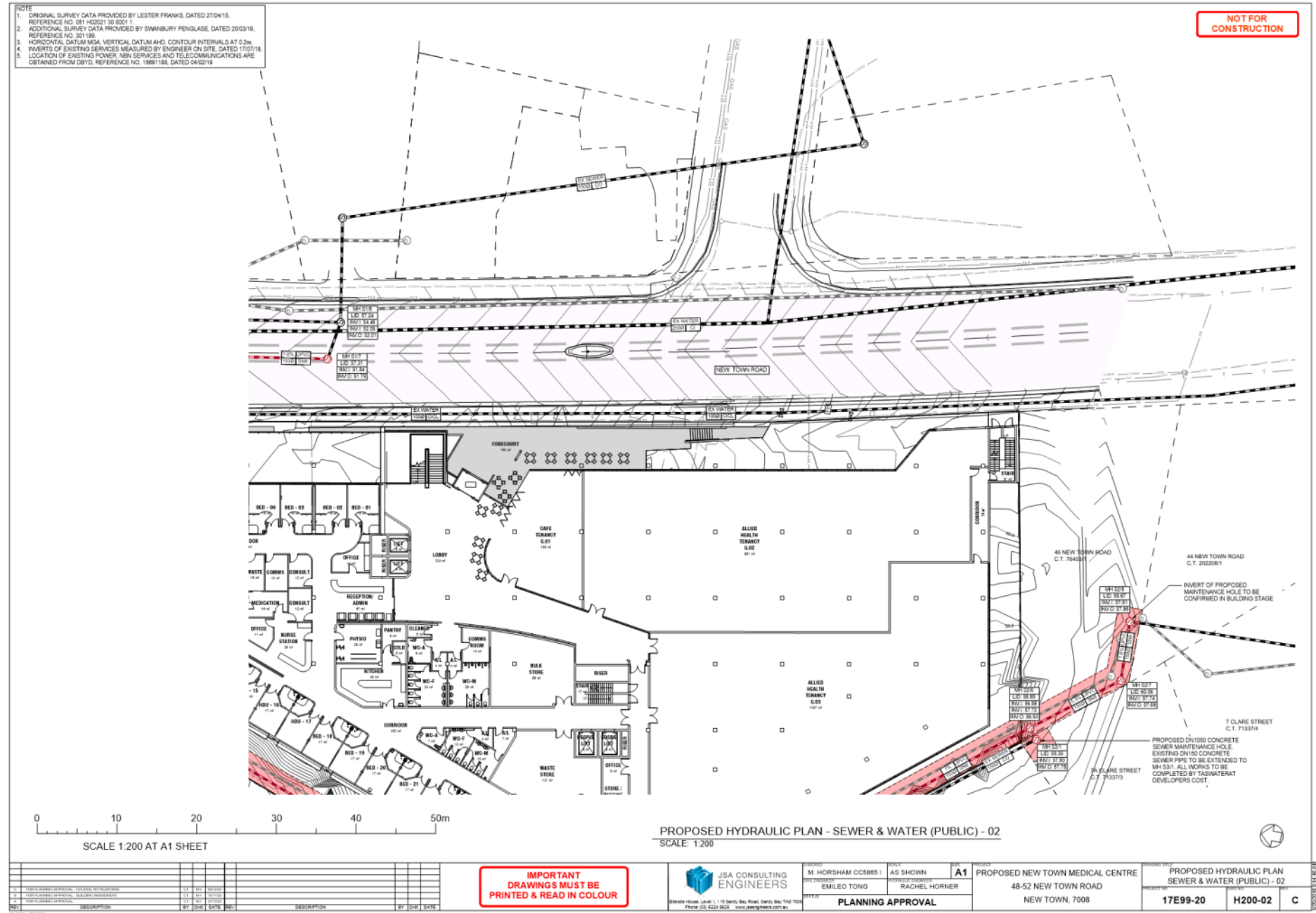


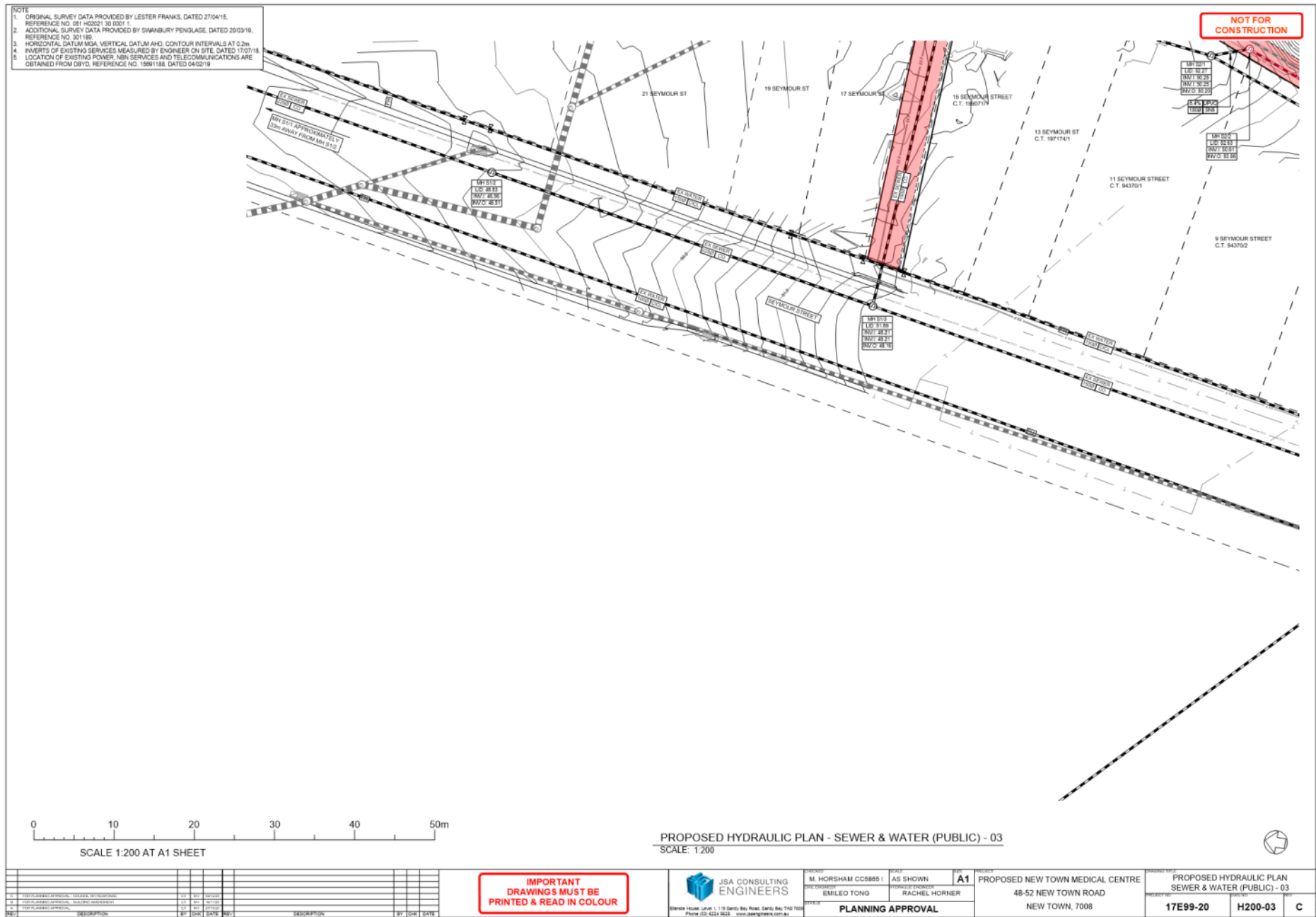




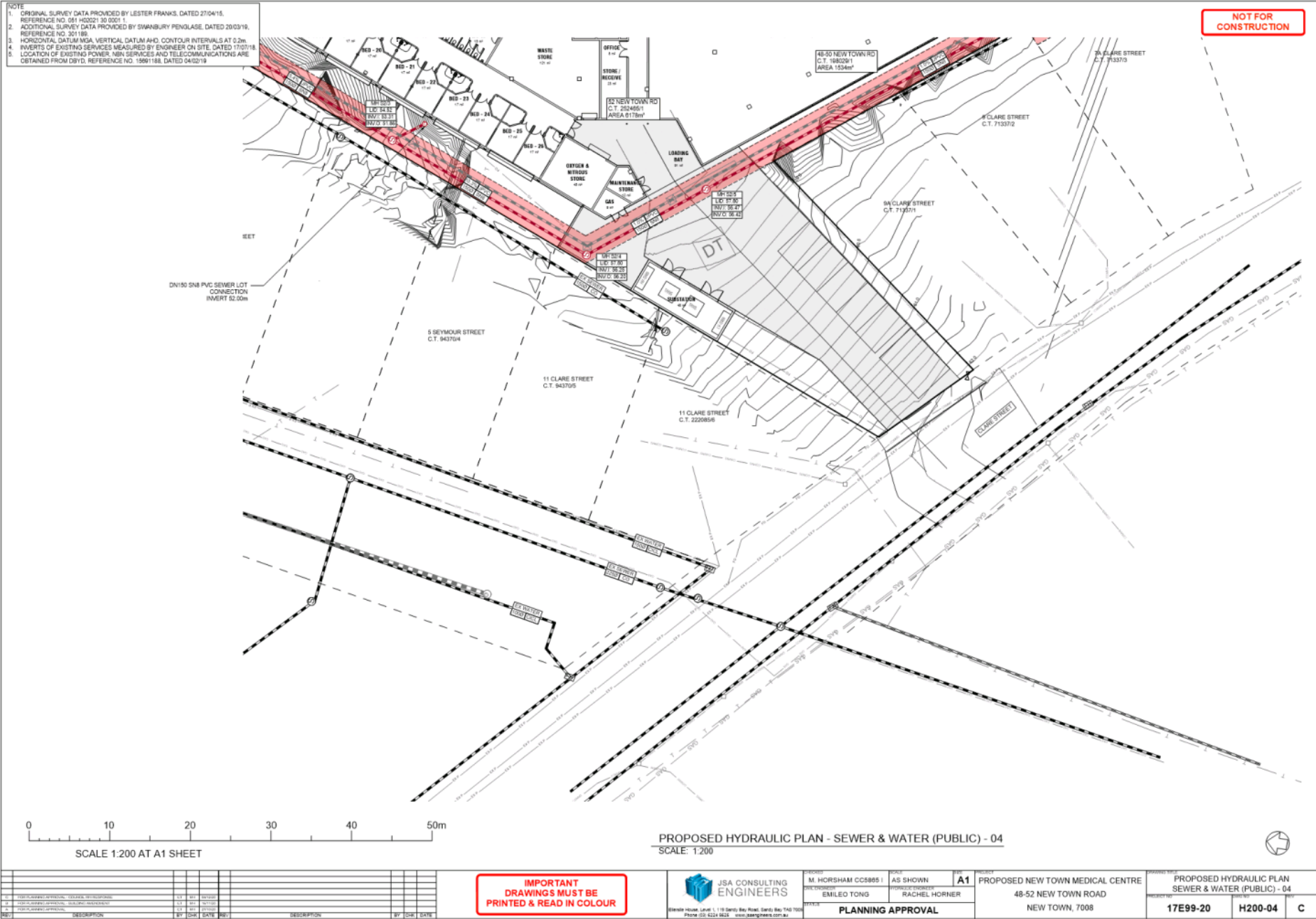




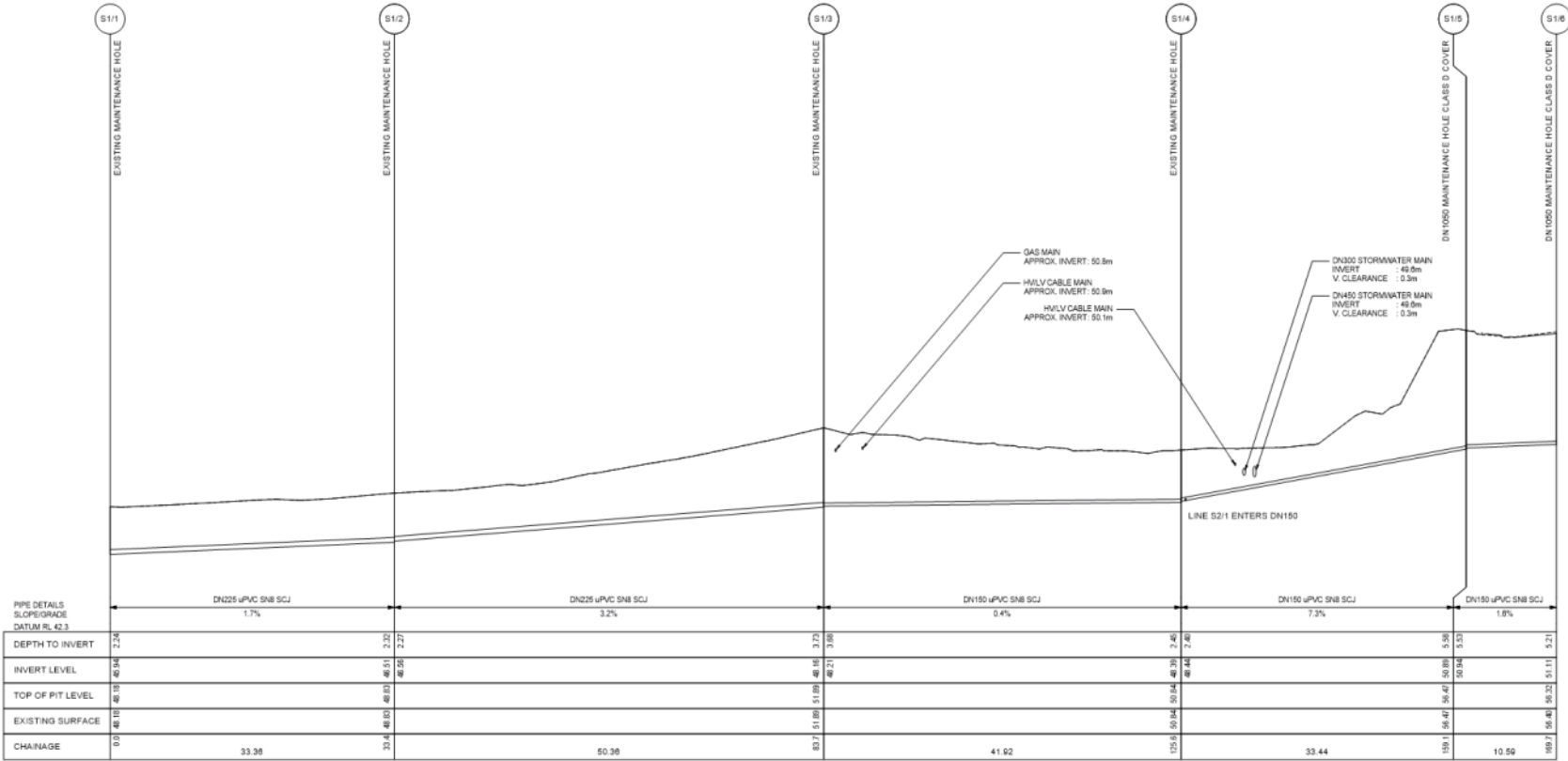








NOT FOR  
CONSTRUCTION



LONG SECTION FOR LINE S1  
SCALE: HORIZONTAL 1:250 VERTICAL 1:100

SEWER LONG SECTION - 01  
SCALE: H 1:250 V 1:100

NO.	DESCRIPTION	BY	CHK	DATE
1	DESIGN			
2	CHECK			
3	APPROVE			
4	REVISION			

IMPORTANT  
DRAWINGS MUST BE  
PRINTED & READ IN COLOUR

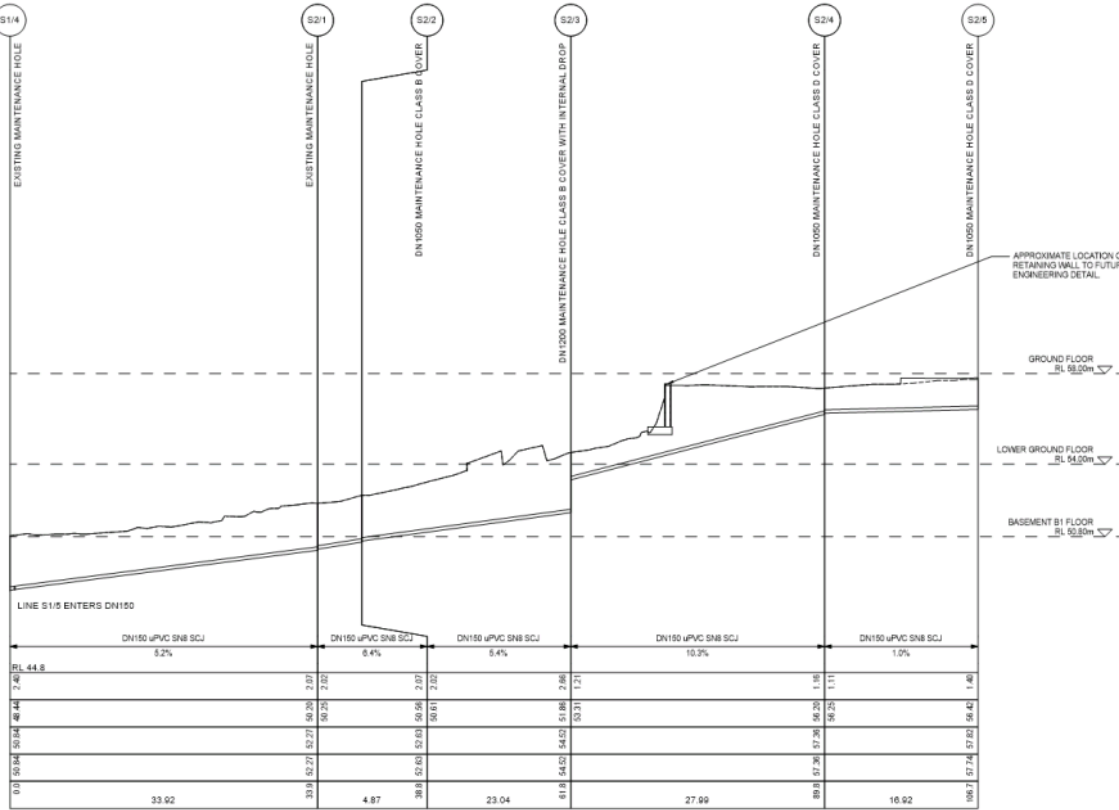
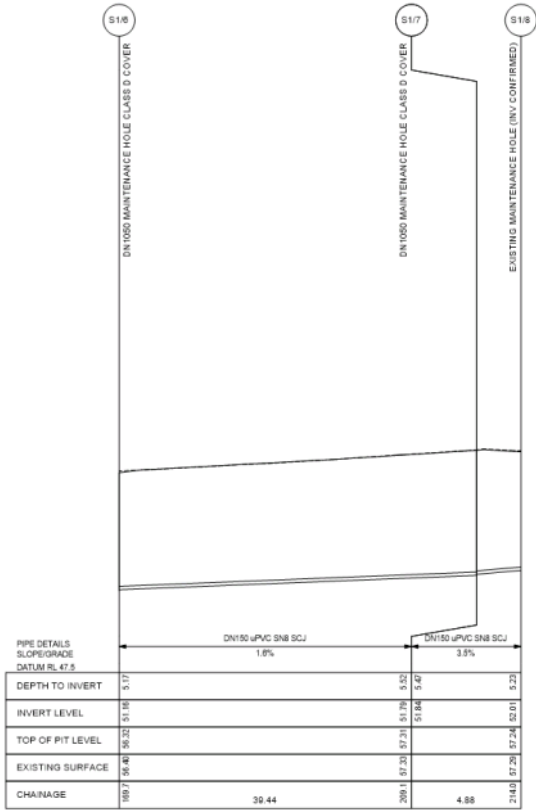


PROJECT	M. HORSHAM CC5895
CLIENT	EMILEO TONG
DESIGNER	RACHEL HORNER
DATE	17/09/20
SCALE	H 1:250 V 1:100

PROPOSED NEW TOWN MEDICAL CENTRE
48-52 NEW TOWN ROAD
NEW TOWN, 7008

SEWER LONG SECTION - 01
17E99-20
H210-01
C

NOT FOR  
CONSTRUCTION



SEWER LONG SECTION - 02  
SCALE: H 1:250 V 1:100

NO.	DESCRIPTION	BY	CHK	DATE
1	DESIGN	EM	TH	15/03/2021
2	CHECK	TH	EM	15/03/2021
3	APPROVE	TH	EM	15/03/2021

IMPORTANT  
DRAWINGS MUST BE  
PRINTED & READ IN COLOUR



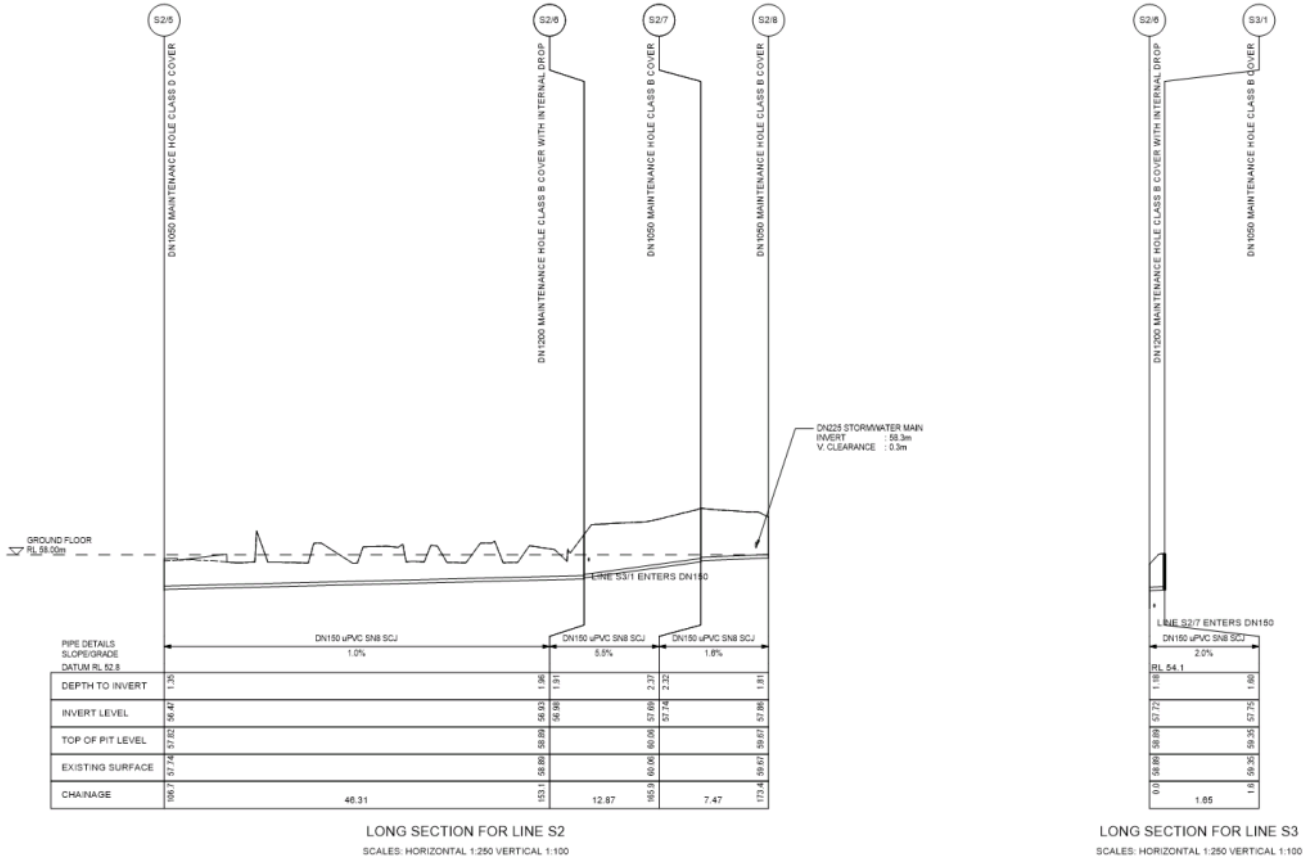
PROJECT	M. HORSHAM CC5895
DESIGNER	EMILEO TONG
CHECKER	RACHEL HORNER
APPROVAL	PLANNING APPROVAL

PROPOSED NEW TOWN MEDICAL CENTRE  
48-52 NEW TOWN ROAD  
NEW TOWN, 7008

PROJECT NO.	17E99-20
DRAWING NO.	H210-02
REV.	C



NOT FOR  
CONSTRUCTION



SEWER LONG SECTION - 03  
SCALE: H 1:250 V 1:100

NO.	DESCRIPTION	BY	CHK	DATE
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2	CHECK	TH	EM	15/12/20
3	APPROVE	TH	EM	16/12/20

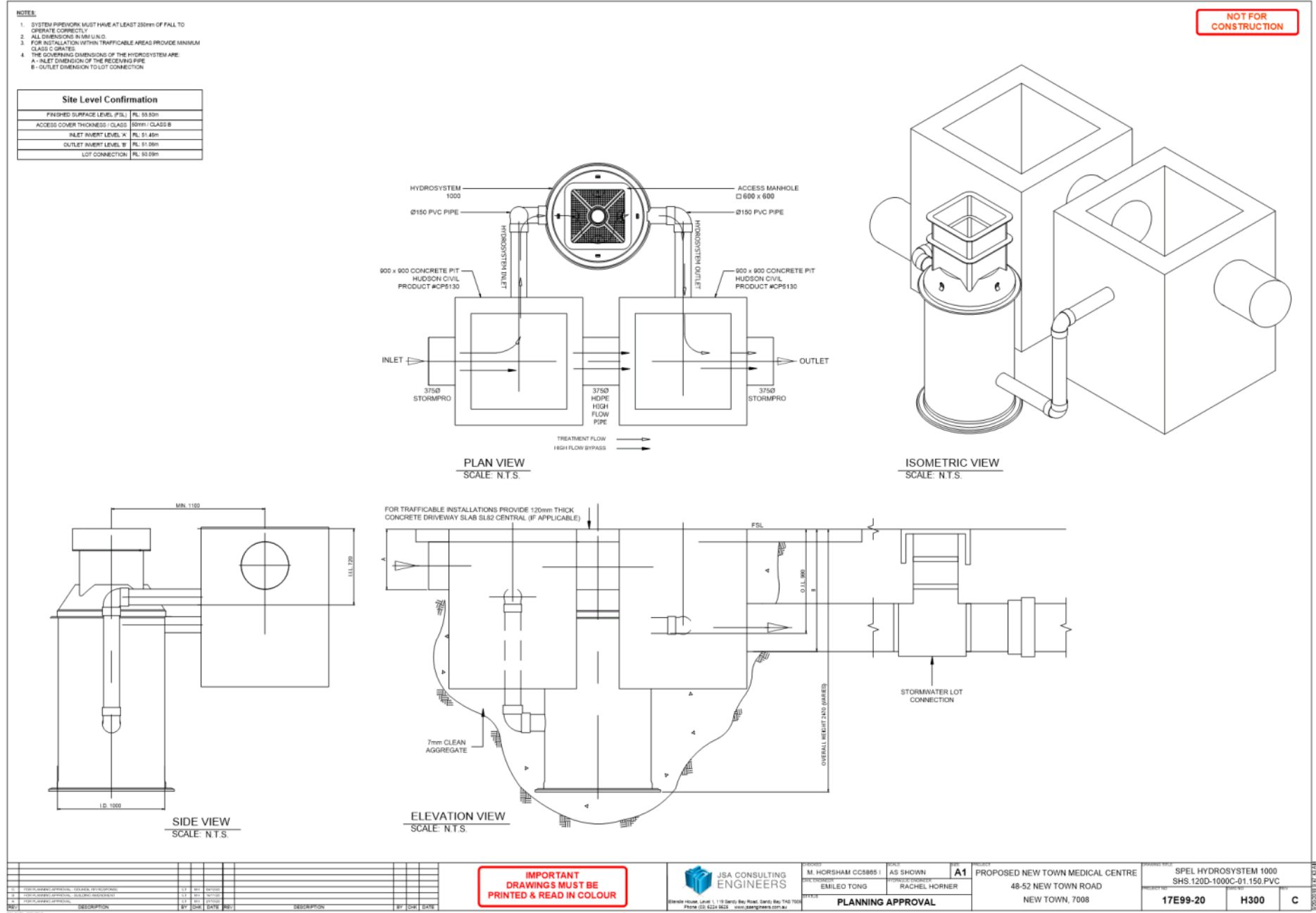
IMPORTANT  
DRAWINGS MUST BE  
PRINTED & READ IN COLOUR

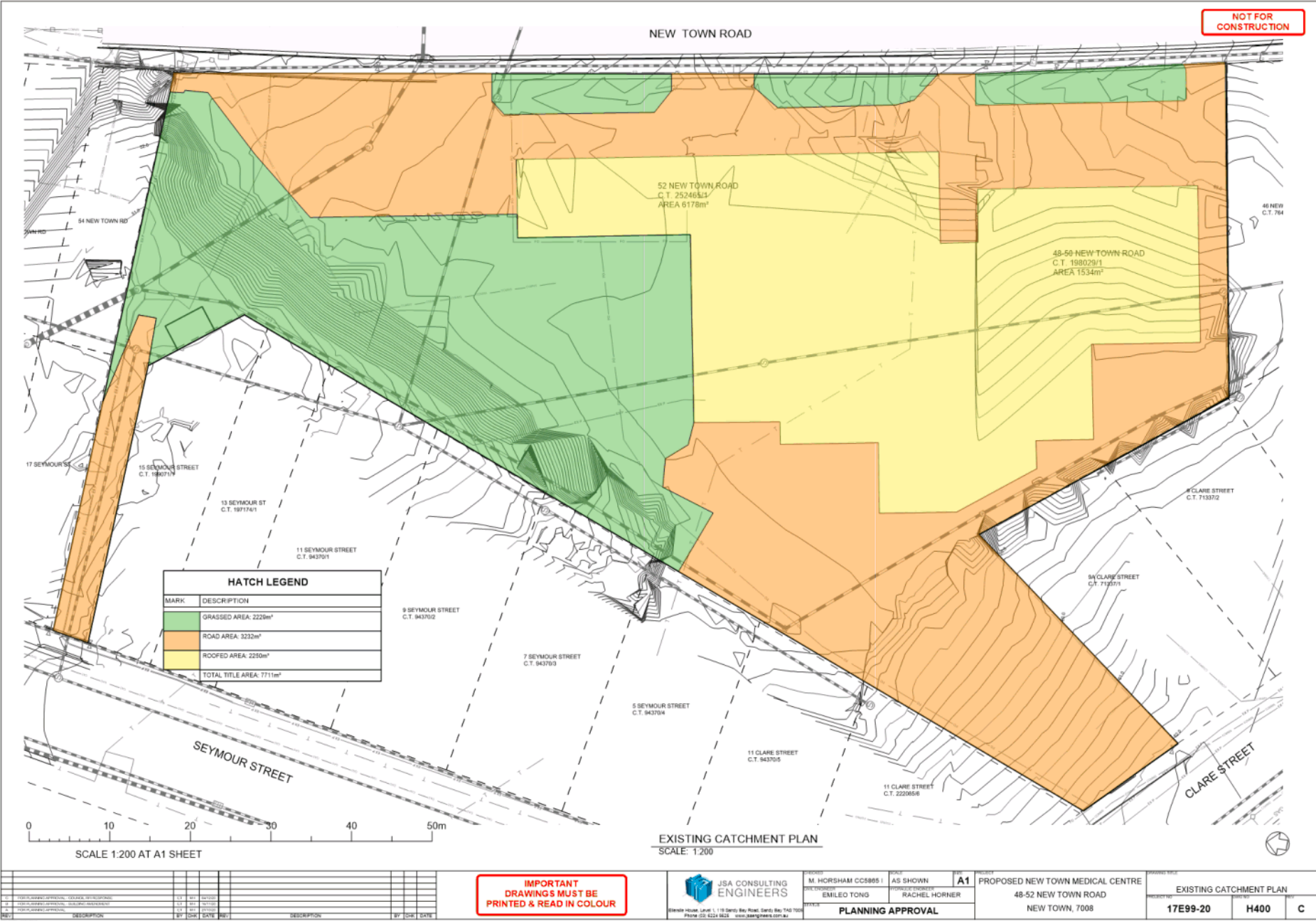


PROJECT	M. HORSHAM CC5895
DESIGNER	EMILEO TONG
CHECKER	RACHEL HORNER
APPROVAL	PLANNING APPROVAL

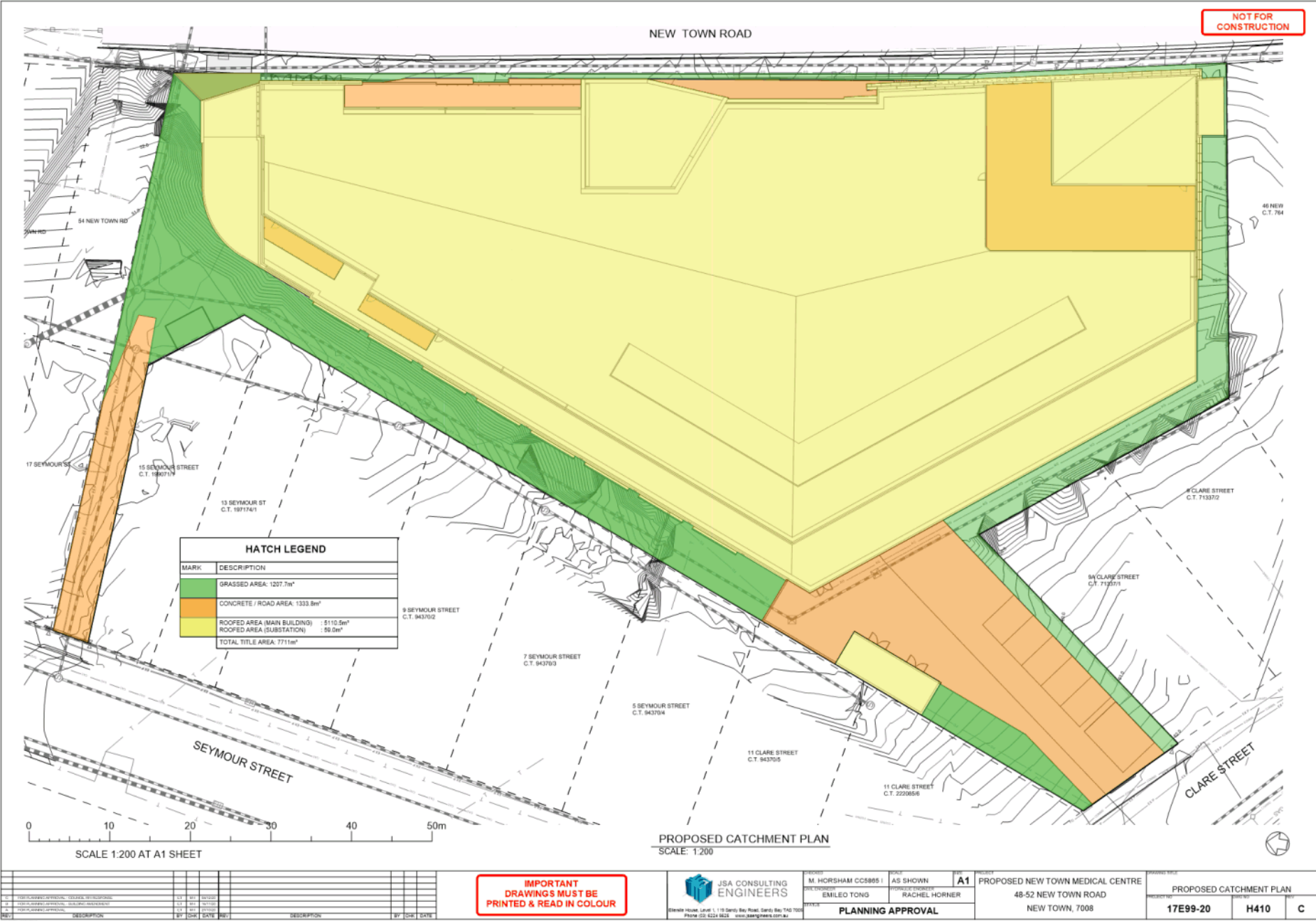
PROPOSED NEW TOWN MEDICAL CENTRE
48-52 NEW TOWN ROAD
NEW TOWN, 7008

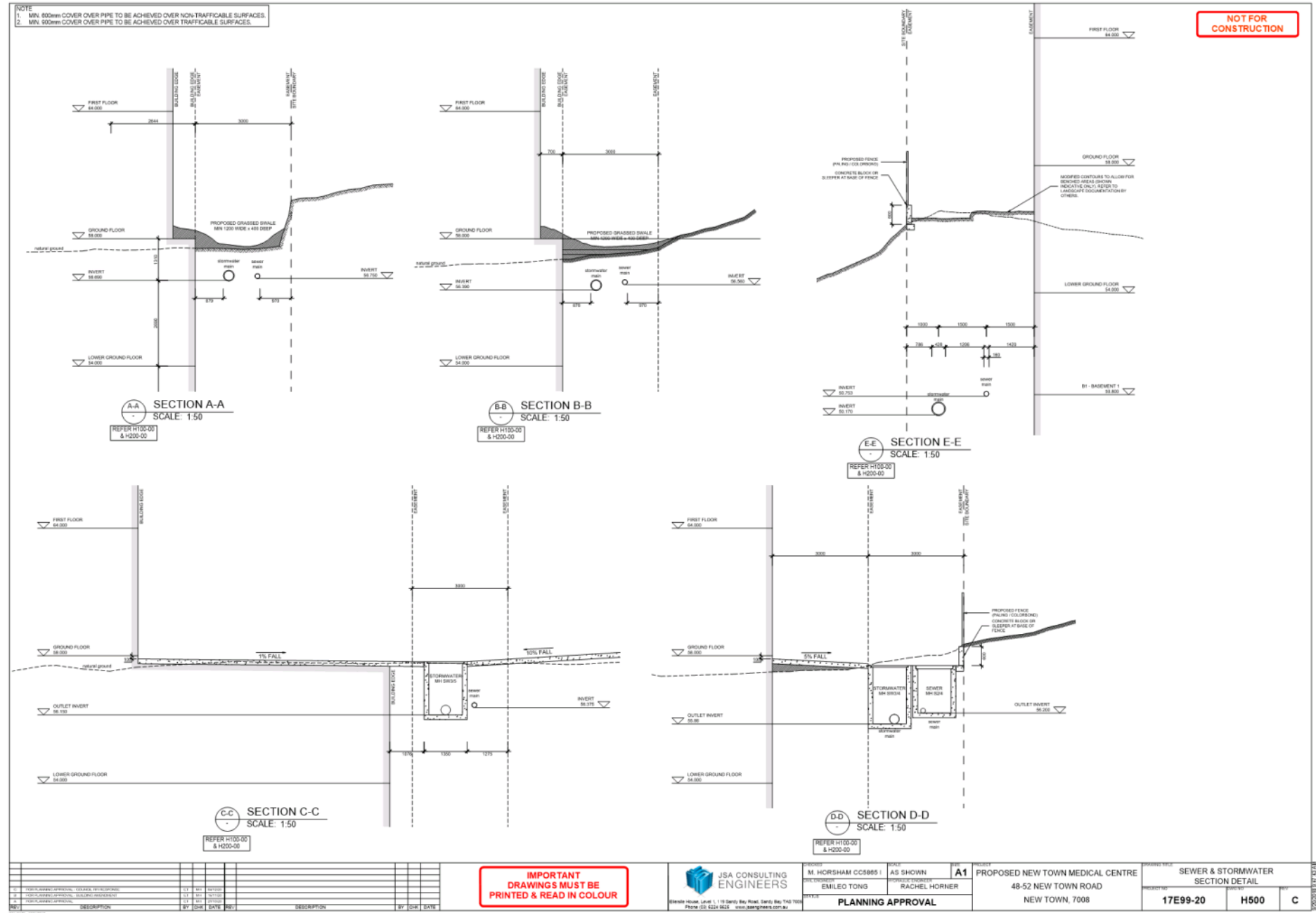
PROPOSED TITLE	SEWER LONG SECTION - 03
PROJECT NO.	17E99-20
DRAWING NO.	H210-03
REV.	C













Hobart City Council  
Via electronic submission

18 November 2020  
JSA Reference: 17L09-20-1 Rev 4  
Your reference: 48-52 New Town Rd

#### RE: Contaminated fill and excavation assessment – 48-52 New Town Road

##### Introduction

The property 48-52 New Town Road has been subject to a significant amount of fill applied to the site historically. The Environmental Site Assessment (ESA) by OES identified the proposed development site as contaminated, due to the composition of fill on the site. The Geotechnical Assessment also by OES identified depth and geotechnical assessment of fill and base material on the site per geotechnical bore data.

Engineering drawings E101 – E115 (Appendix B) have been prepared to summarise the excavation volume for the site, and to summarise the relevant volumes of fill in accordance with the clauses of contamination classification from 1 to 4 in accordance with B105 and the result of the environmental site assessment prepared by Geo-Environmental Solutions Pty Ltd (GES). Drawings CMP01 – CMP12 (Appendix A) have been prepared solely with the contamination data in order to best interpret the contamination distribution on the site.

This document sets out the methodology utilised to apply and interpret borehole data to the site as a whole, and to calculate estimated volumes of contaminated and clean fill and natural underlying soil and rock to be excavated from the site.

##### Contamination volume calculation methodology

Due to the current use of the site, it was only possible to sample soils at borehole locations identified as BH01 – BH03. Seven locations were also subject to geotechnical assessment (GT01 – GT07).

On the basis of the locations of the available borehole data, the site was divided by area into regions, utilising a voronoi diagram method. Each bore region represents an area which includes all points which are closer to that bore hole than any other bore hole. As such each region was identified as including soil with the same soil classifications as its central bore hole. Refer to CMP02 (Appendix A) for the voronoi diagram of borehole regions.

In order to interpret the data in a systematic way, the voronoi diagram sections were digitised (refer CMP 03) to a 5m x 5m grid. This grid method was utilised to enable practical interpretation of soil area and for use in site excavation management.

Subsequent to identifying the area regions, the 5m x 5m grid was interpreted in 1m 'slices' in depth by RL heights. Referring to CMP04, the slice from RL 60 – RL 59 includes a slice of the site between these heights, (noting that the site contours are between 51m and 51m RL). Those areas of the site between RL 59 and RL 60 are identified by contamination classification (Level 1, 2, etc or natural ground), and the balance of the site which is below this level is colour as 'Air' ie RL 59 is above natural ground level.

These slices wherein each grid square represents a 5m x 5m x 1m or 25m<sup>3</sup> block of soil are carried through the site on each page CMP04 – CMP12.

It should be noted that BH01-BH03 were resampled for leachate and re-classified (typically to Level 2), however BH01 – BH02 were unable to be resampled but would be reviewed on site once construction commences.

Structural | Civil | Mechanical | Research | Energy | Environmental

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JSA Consulting Engineers Pty Ltd (ABN 45 165 277 681)





The approach to classification of the 25m<sup>3</sup> block was conservative, in that each block was classified as wholly containing the highest level of contamination, and where a block was partially above NSL, the entire block was considered to be soil (not part air / soil).

Where borehole data could not be obtained to the full depth of contaminated fill due the fill depth exceeding the borehole, it was assumed that the fill would continue at the last classification to the depth of natural material below.

**Excavation volume calculation methodology**

The proposed excavation volume has been analysed with respect to the volume of fill material to be removed, and the total volume of excavation.

The set E101 – E115 by JSA Engineers (refer to Appendix B) summarises the excavation of material, collating the contaminated fill and the geotechnical data, to determine the volume and classification level of material to be removed, for bulk site excavation, and preparation of foundations for the building.

The approach is conservative similarly to the contamination assessment in that a block is assumed to be excavated in entirety if more than 50% is included in the volume to be excavated.

The arrangement of material to be excavated by RL is set out in sheets E101 – E115 with each page representing a 1m deep slice of the site.

The bulk excavation is assumed to run through from surface level, to RL 50. The basement FFL is noted at RL50.8, but the full site excavation estimate to 50m conservatively allows for excavation associated with the footings around the perimeter and allowance for excavation below the slab (potential sub-base).

From sheet E111 (RL50 – RL40) the excavation plan shows 2.5 x 2.5 m zone of excavation at each column location, which allows for the excavation of material associated with the foundation below each column. This is a conservative estimate of excavation volume but allows for material required to be excavated below the lift core regions (which has not been separately itemised).

These column foundation zones run through to 1m into natural ground (to allow piers or piles through into solid material below the fill), and once 1m into natural ground is achieved the excavation for that column is removed from the next 1m slice diagram.

**Summary of excavated material**

A table summarising the conservative estimate of material to be removed from the site by for each RL 'slice' and classification is provided in Appendix C.

A summary of the total volumes of components excavated from the site is as follows:

Excavation Component:	Estimated Volume Removed (m <sup>3</sup> )	Notes
Contaminated fill material (Level 2 or greater)	21,800	A
Non contaminated fill (Level 1)	8,782	B
Total volume of fill material	31,412	A+B
Total volume natural ground (below fill)	20,987	C
Total volume excavated	51,499	A+B+C

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1. Note that the contaminated material is predominantly level 2, and the small amount of material classified as 3 and 4 (approximately 2,412m<sup>3</sup> or 12%) will be reviewed during the bulk excavation to determine the classification with leachate testing. Should this material be deemed to remain at the initial classification it is likely to be contained on site by burying under the slab where it will be enclosed and controlled.

Please contact Jane Sargeon on 8224 8620 or [jane@jsa.com.au](mailto:jane@jsa.com.au) if you require any further information.

Yours sincerely

A handwritten signature in black ink, appearing to read 'Jane Sargeon'.

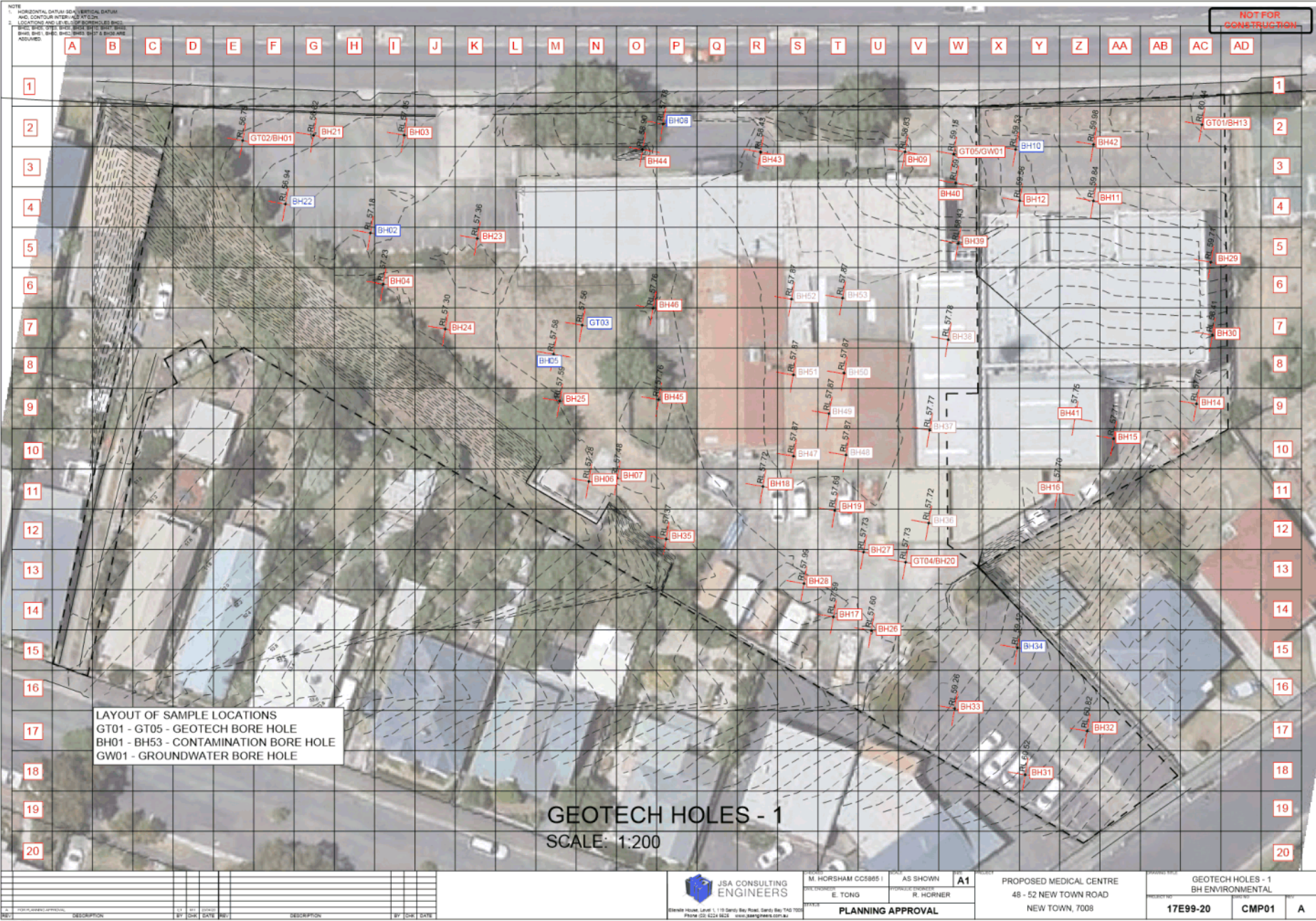
Dr Jane Sargeon

[Director](#)

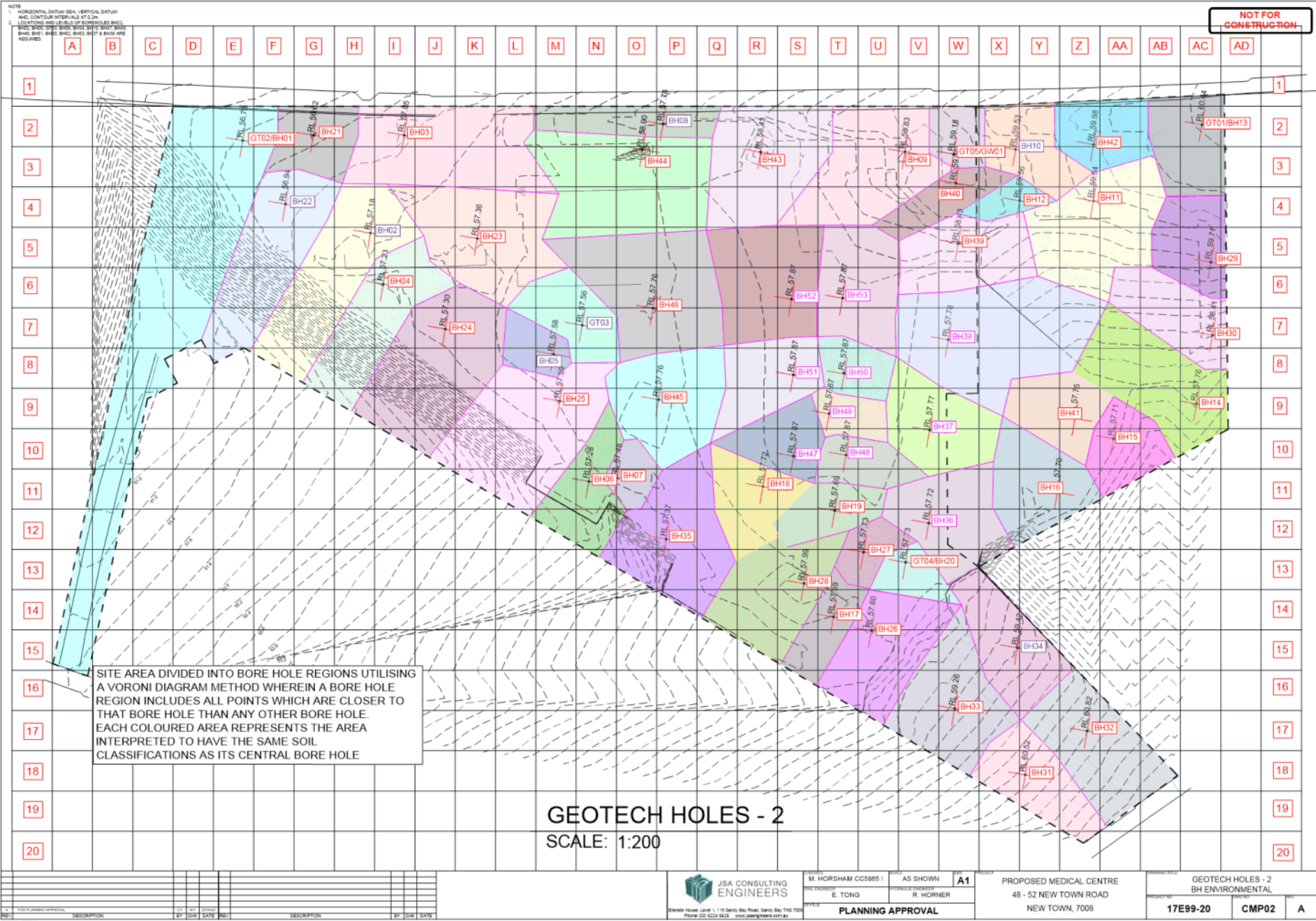
APPENDIX A – Contamination plans

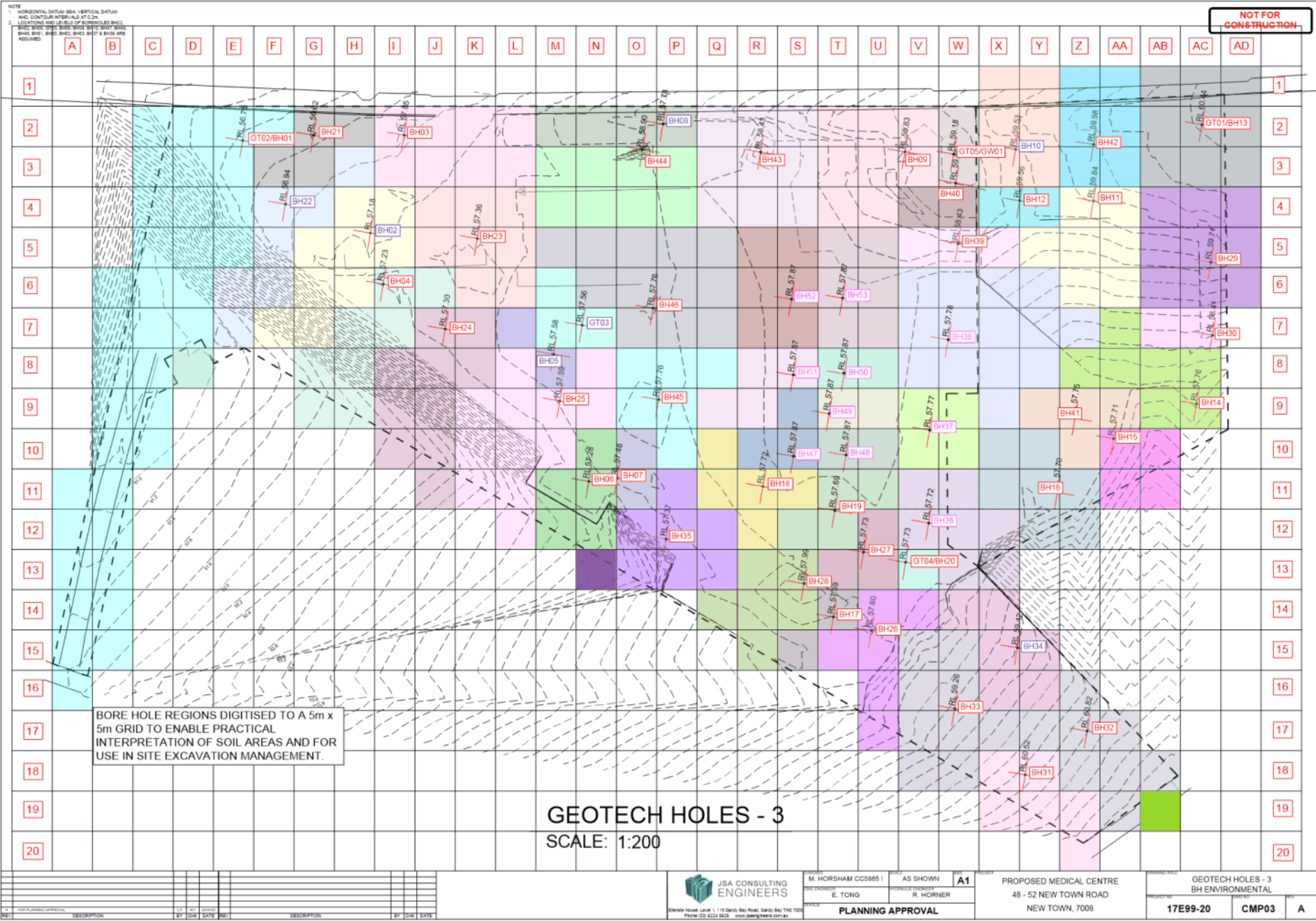




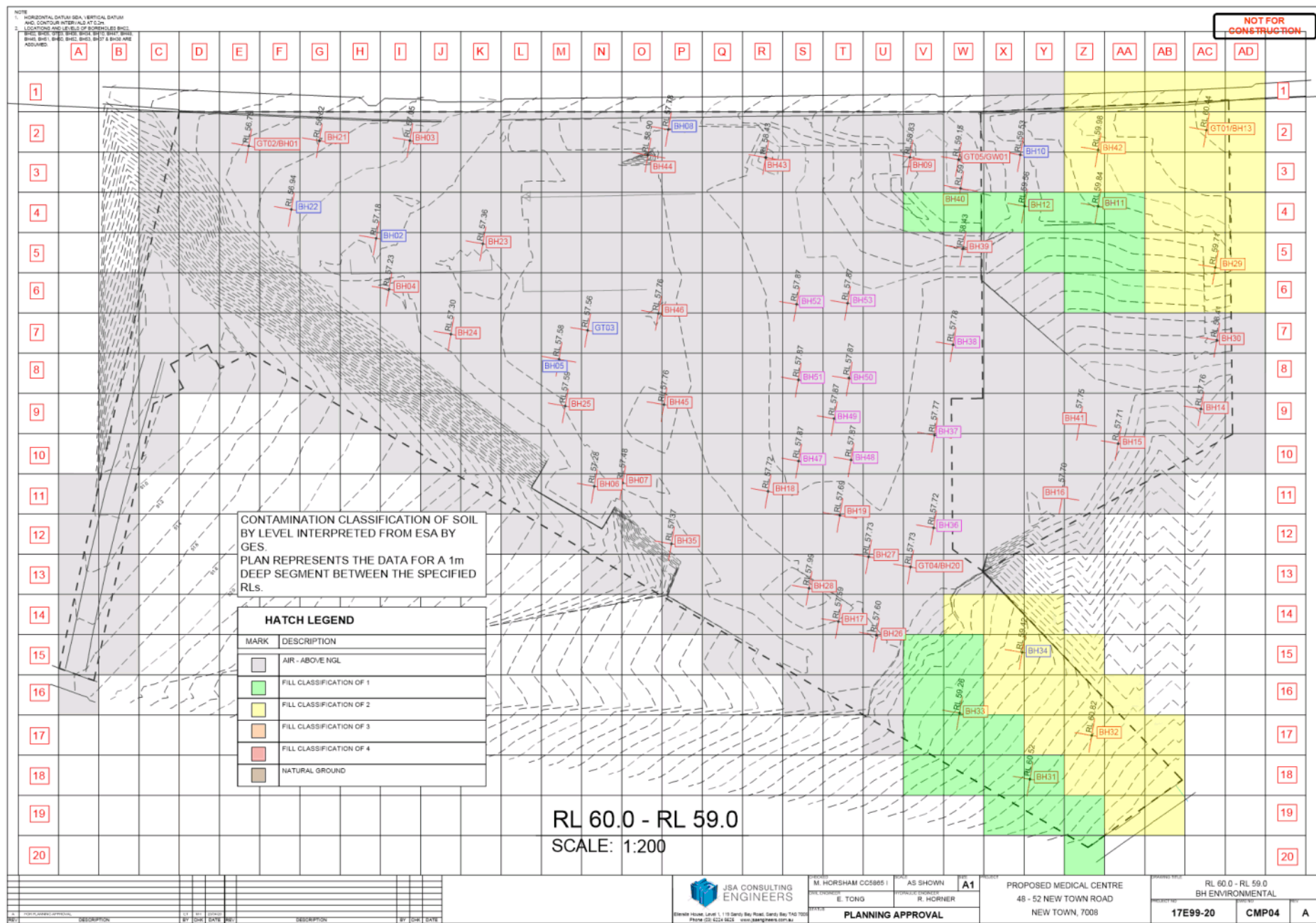


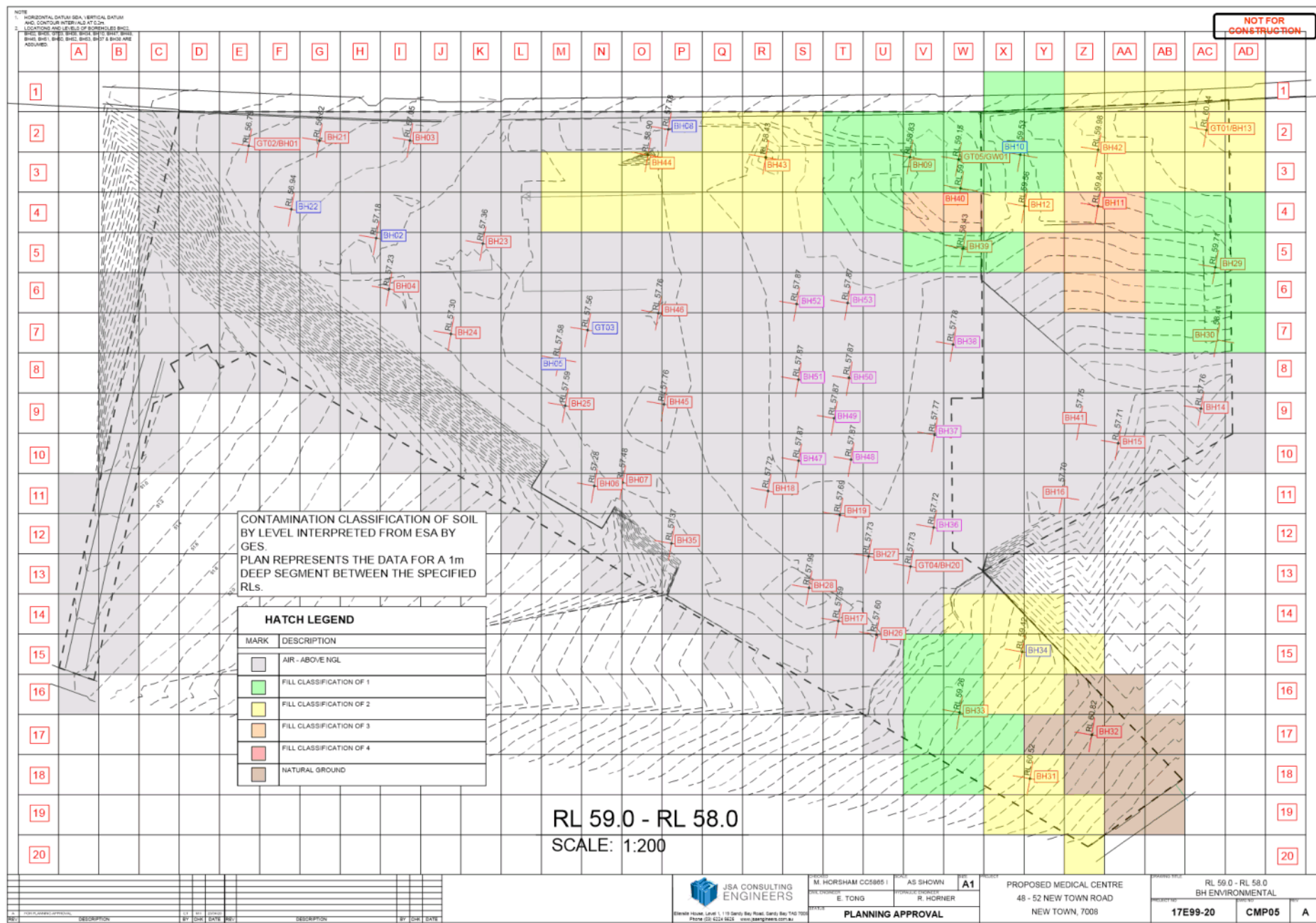


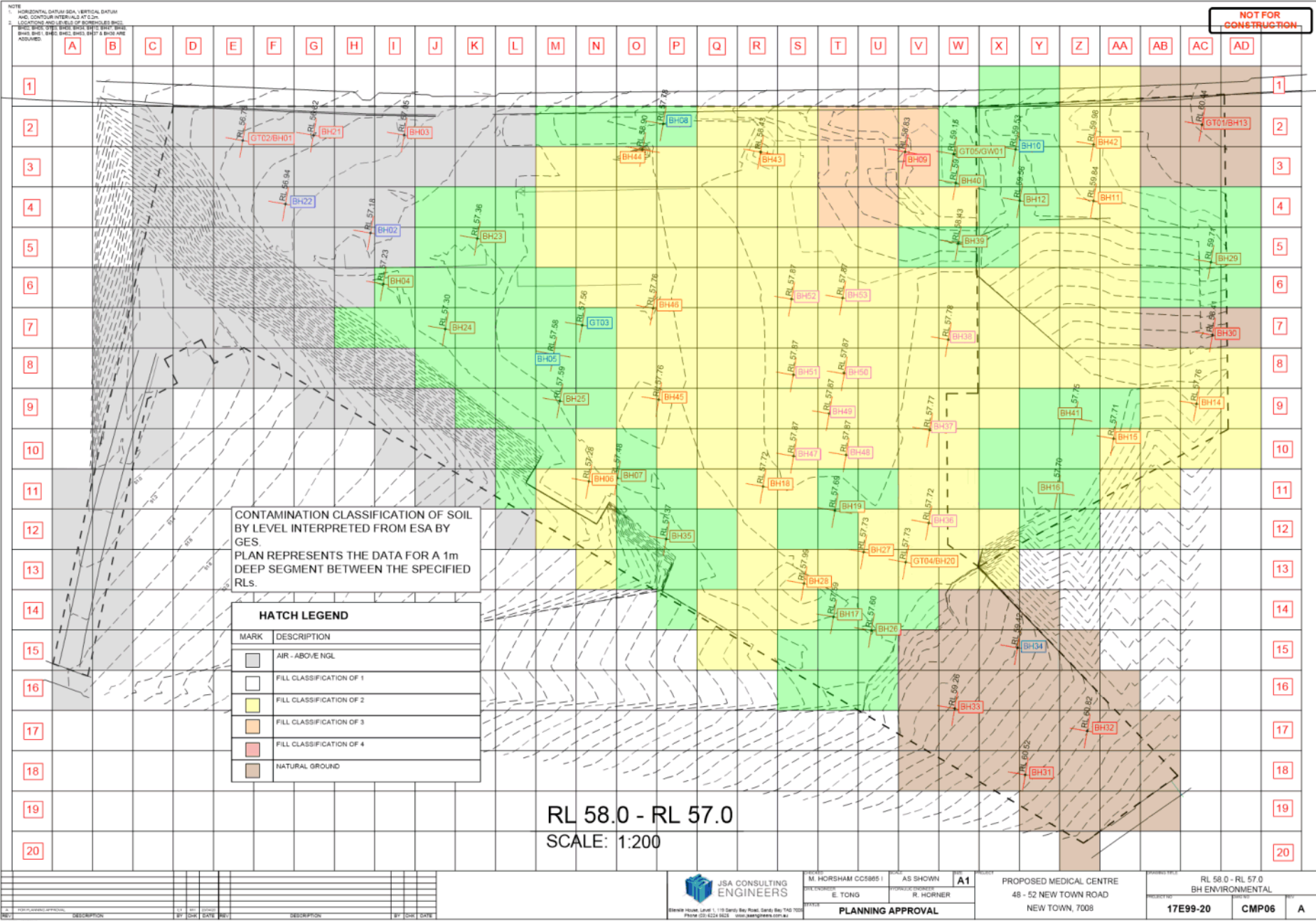




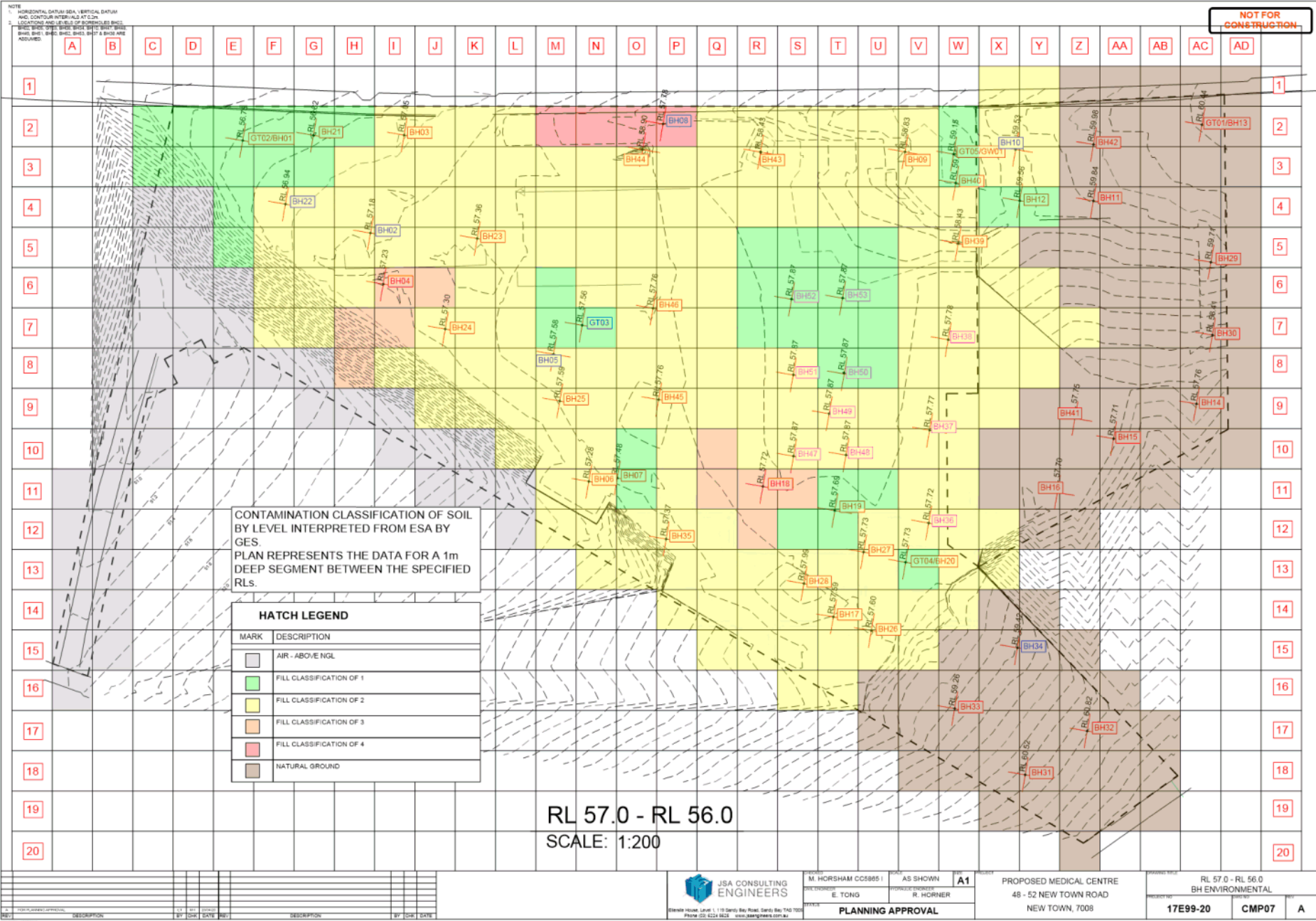


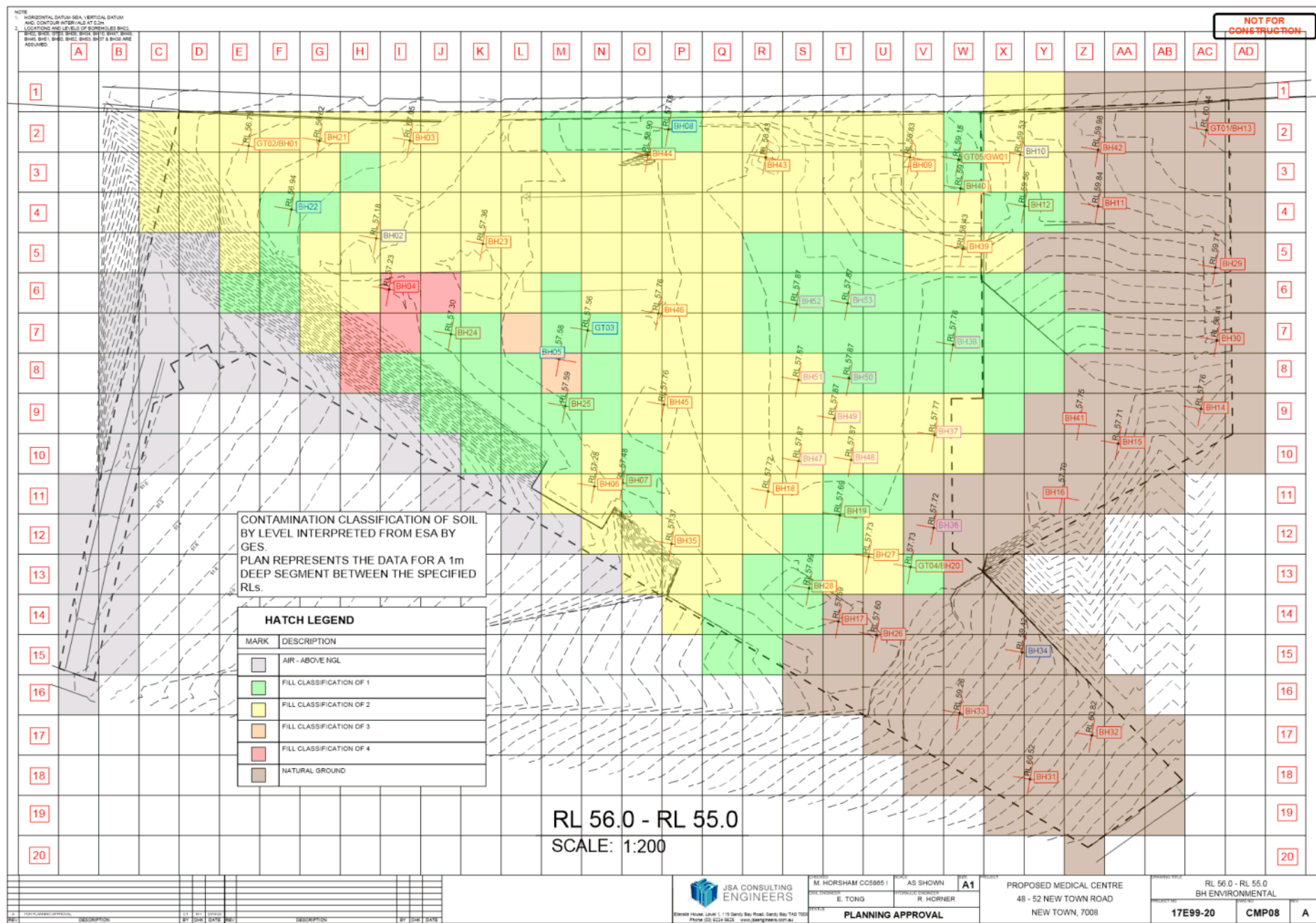


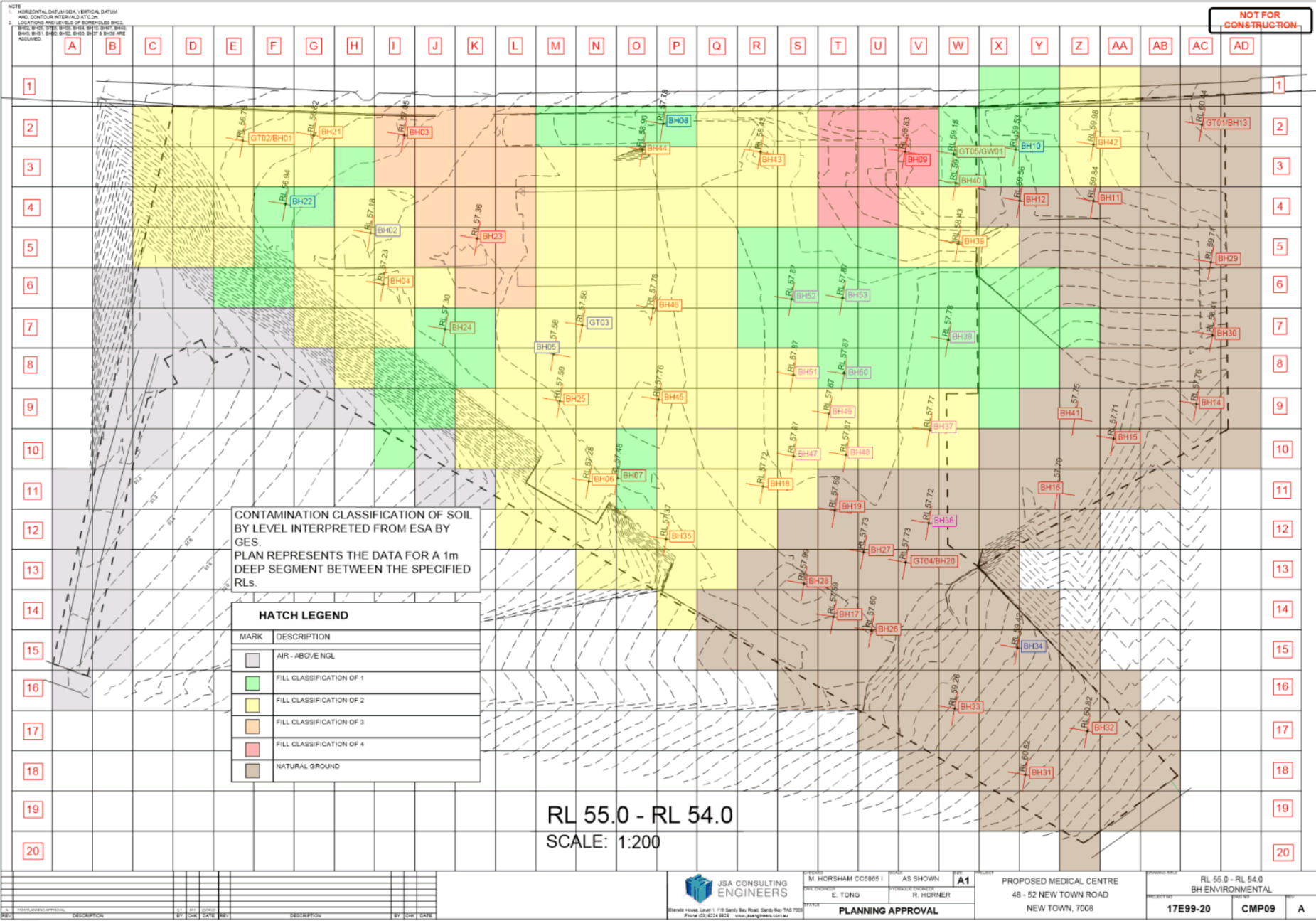




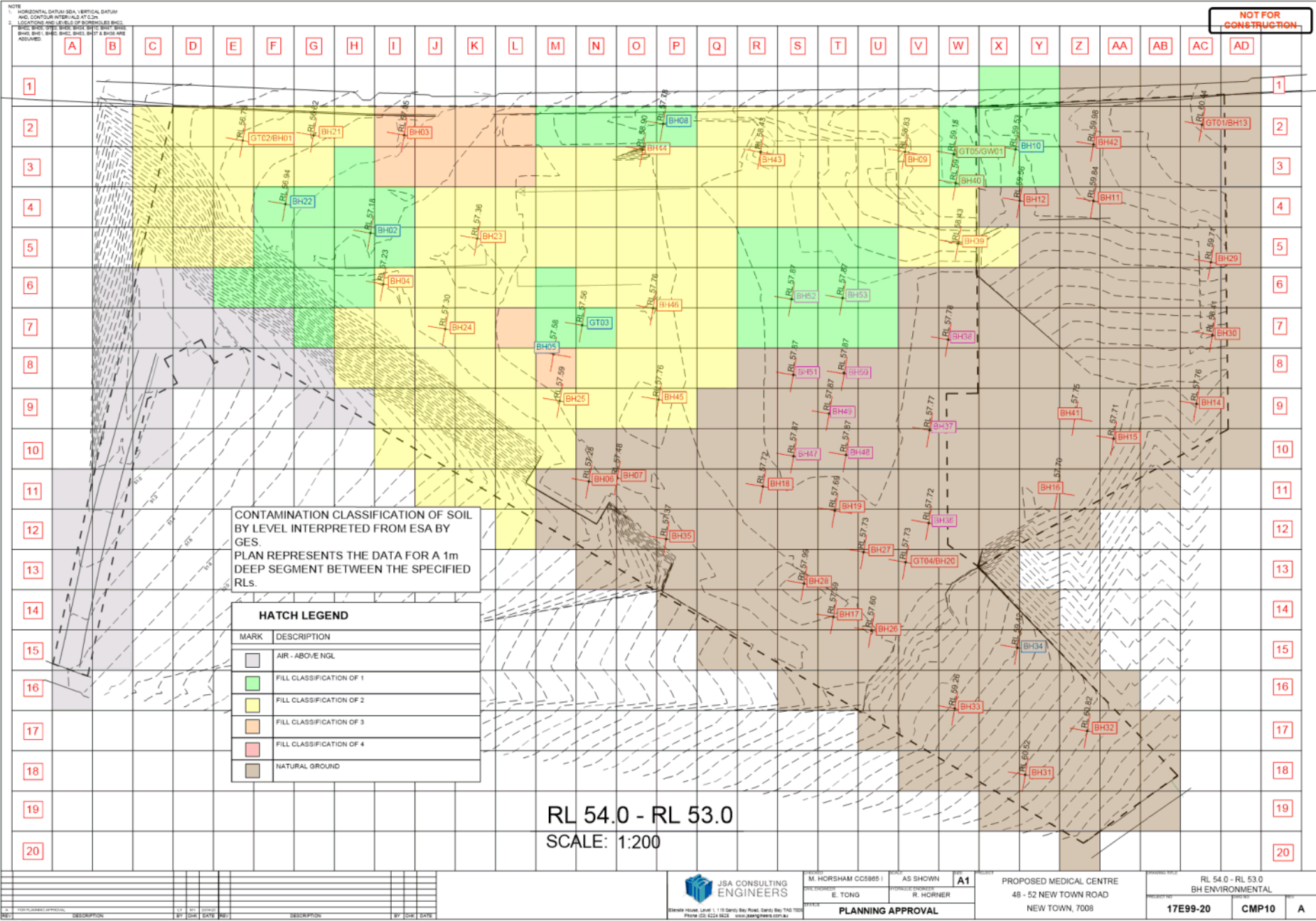


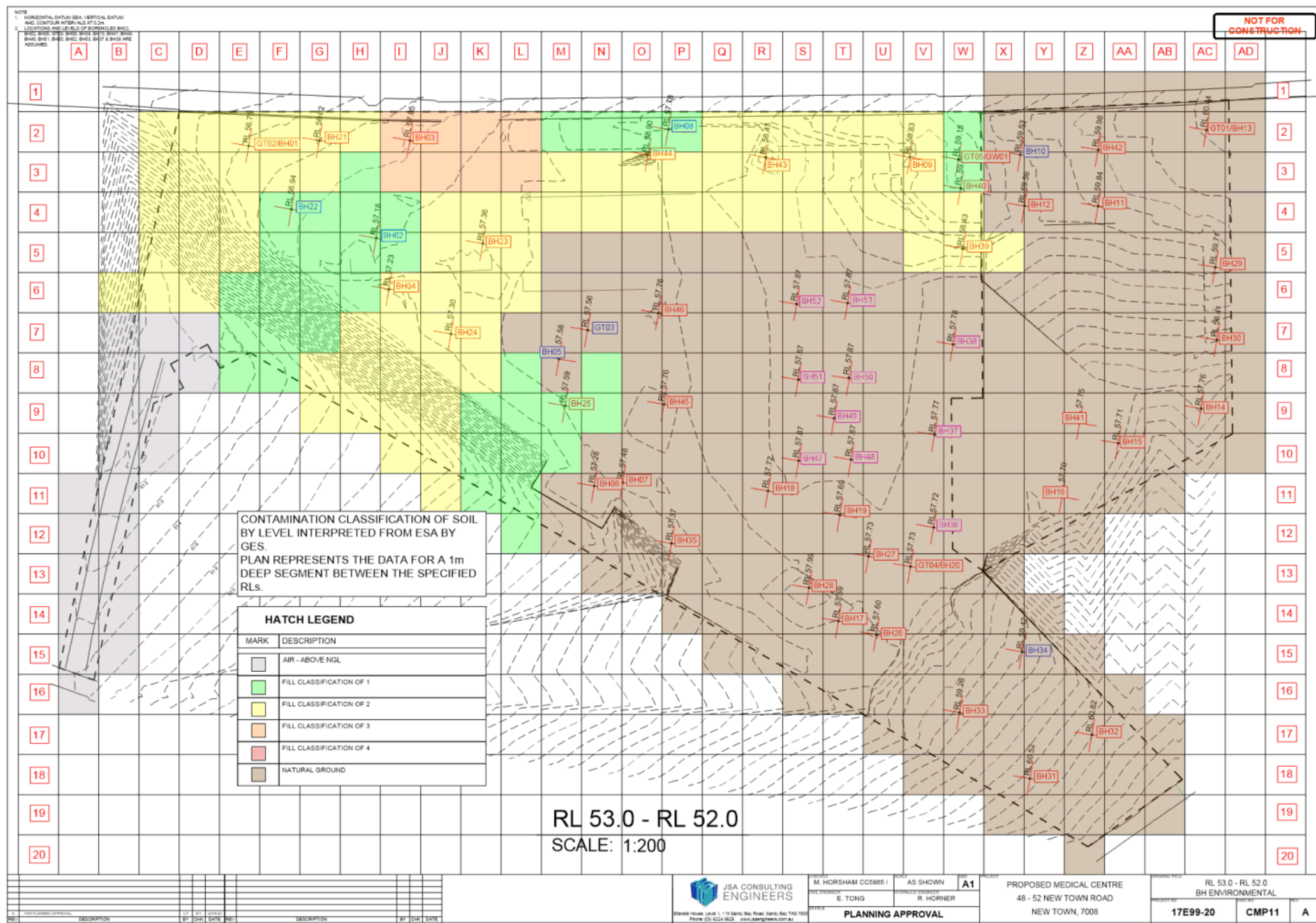


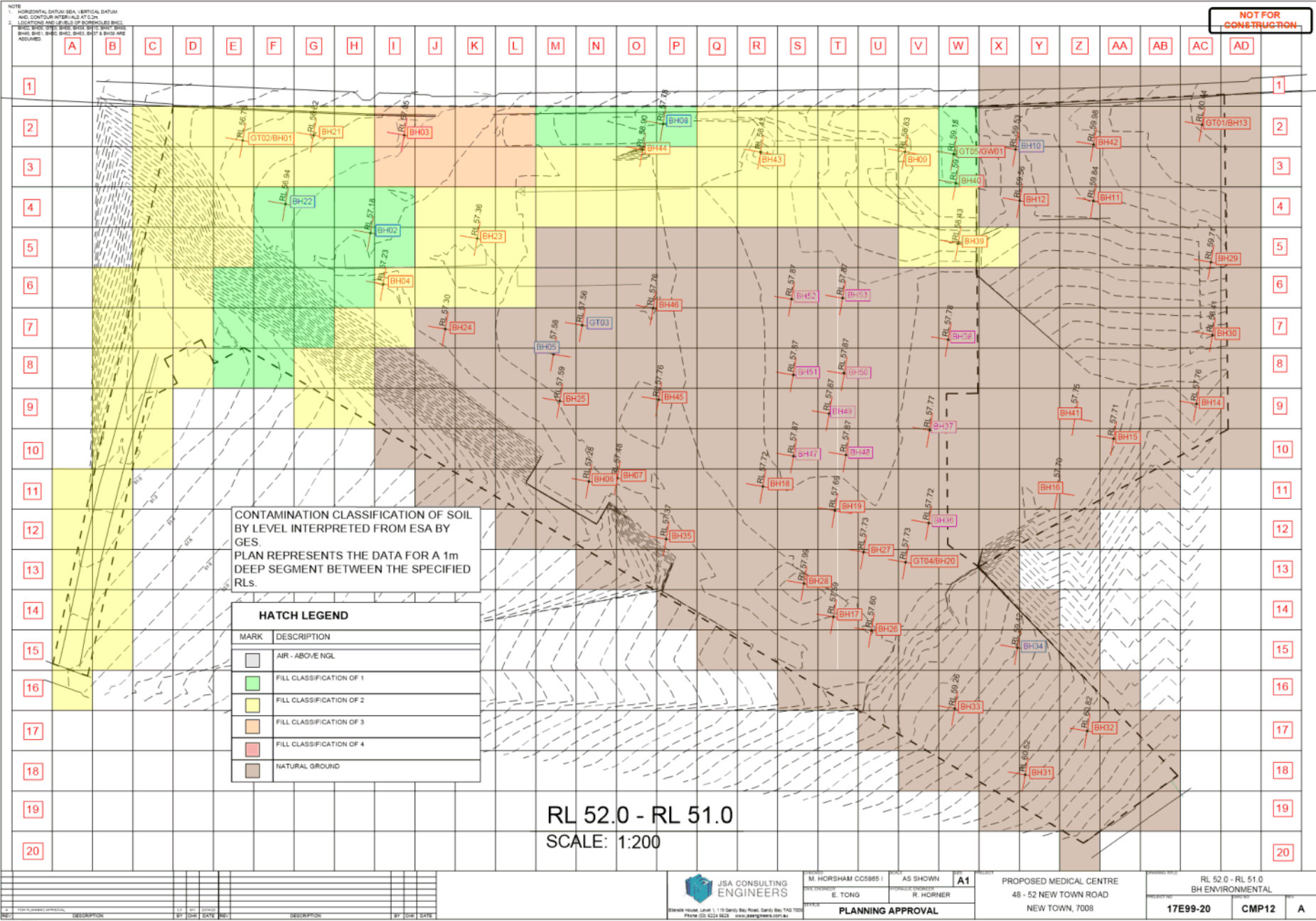




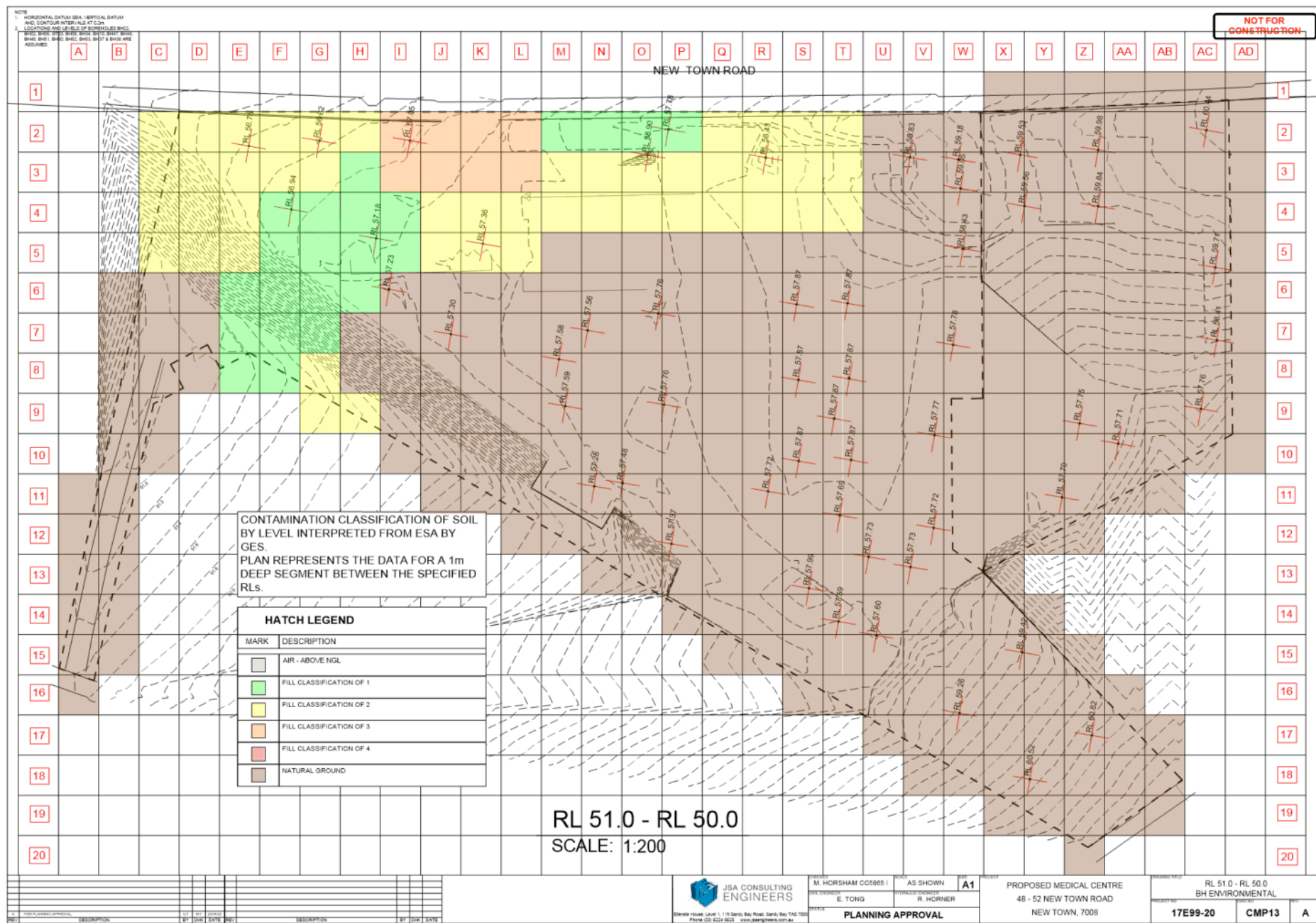


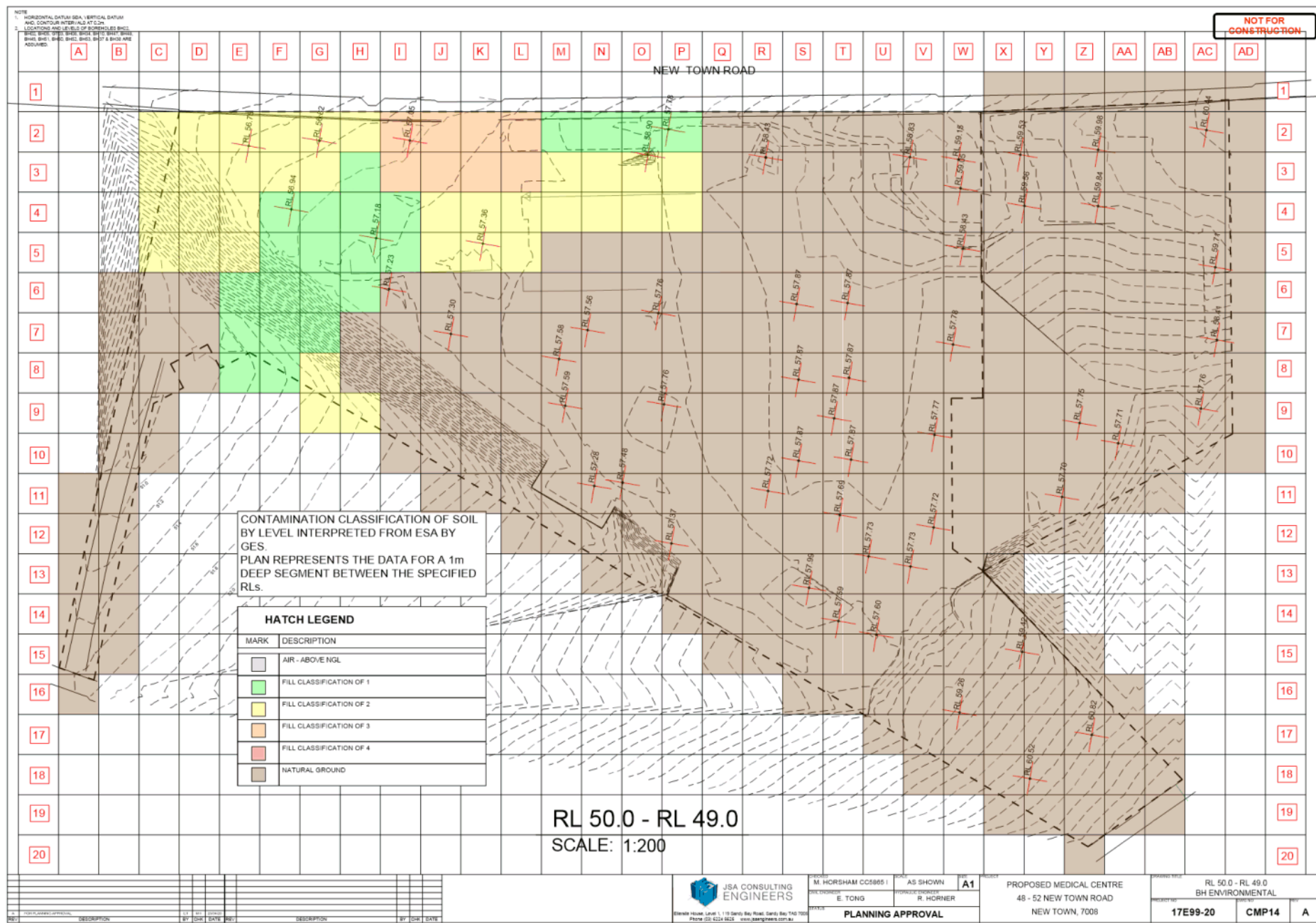


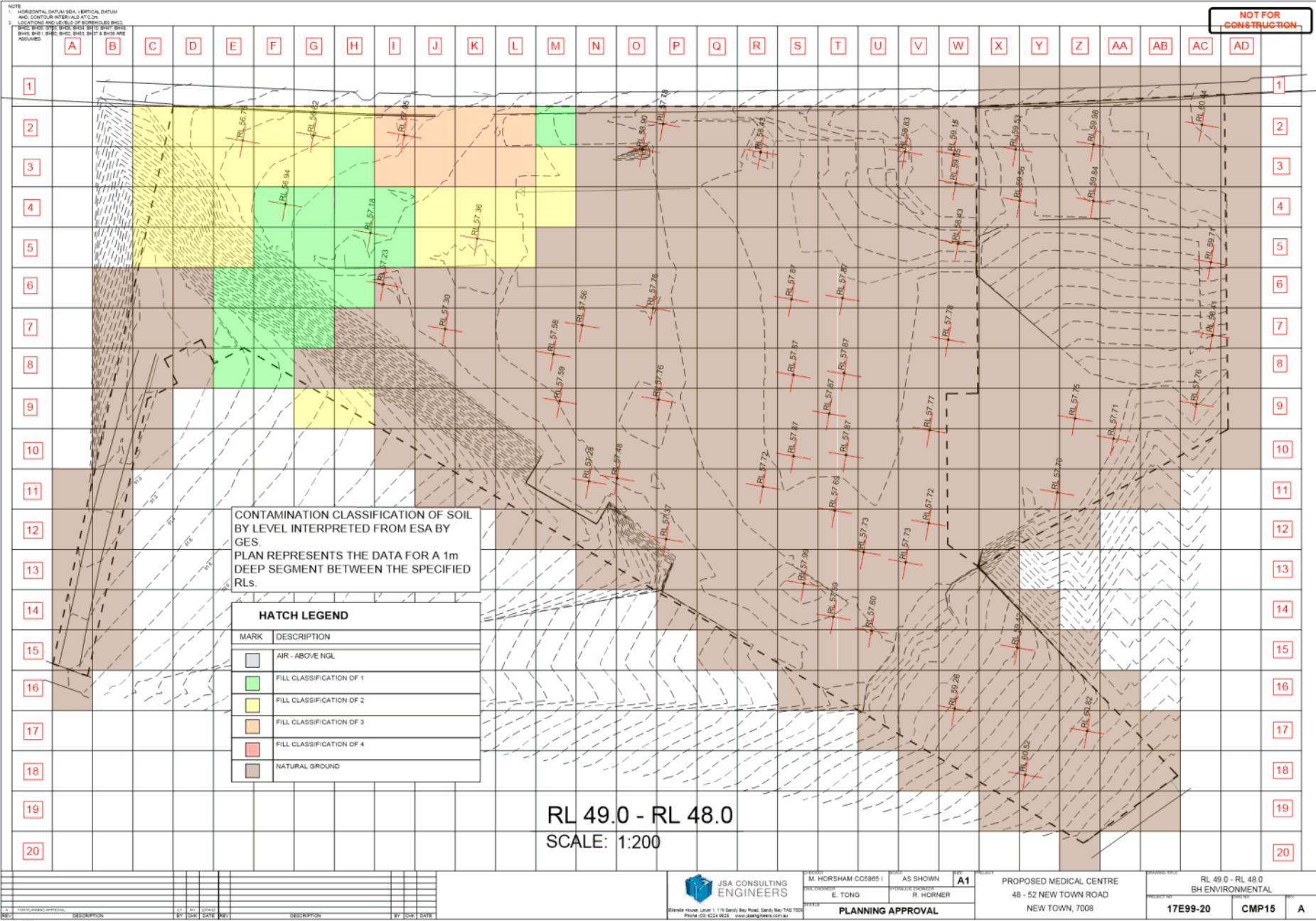




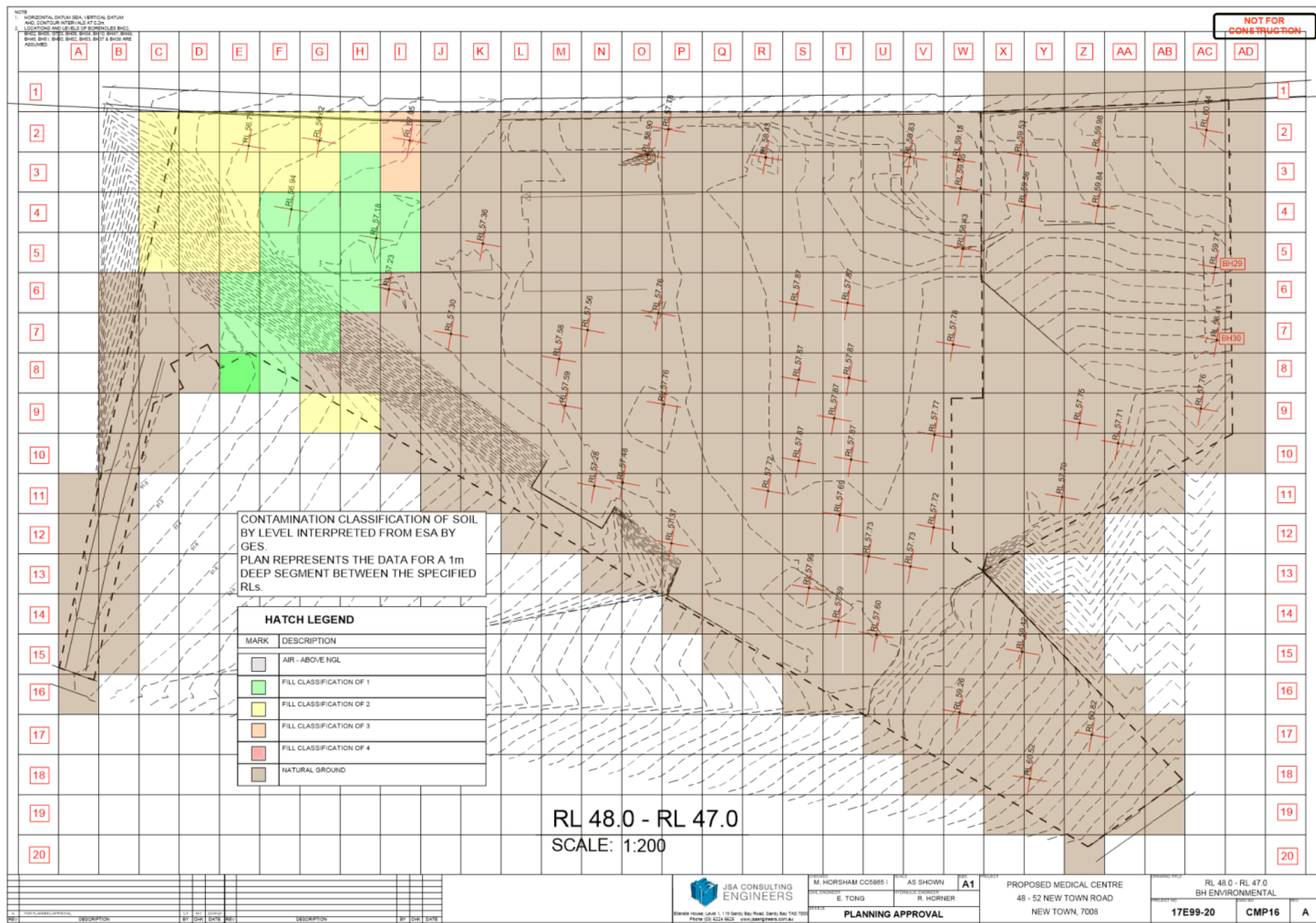


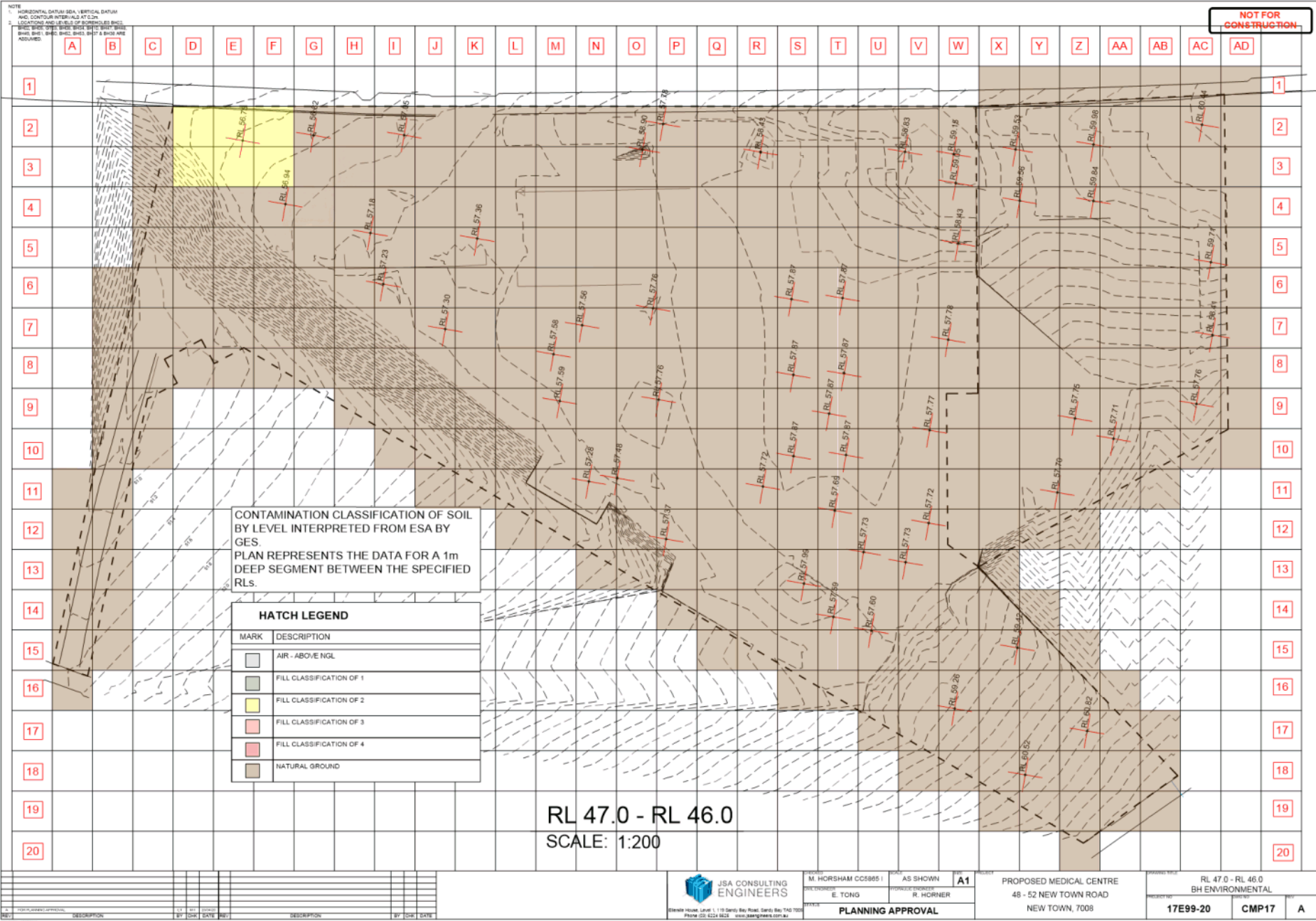


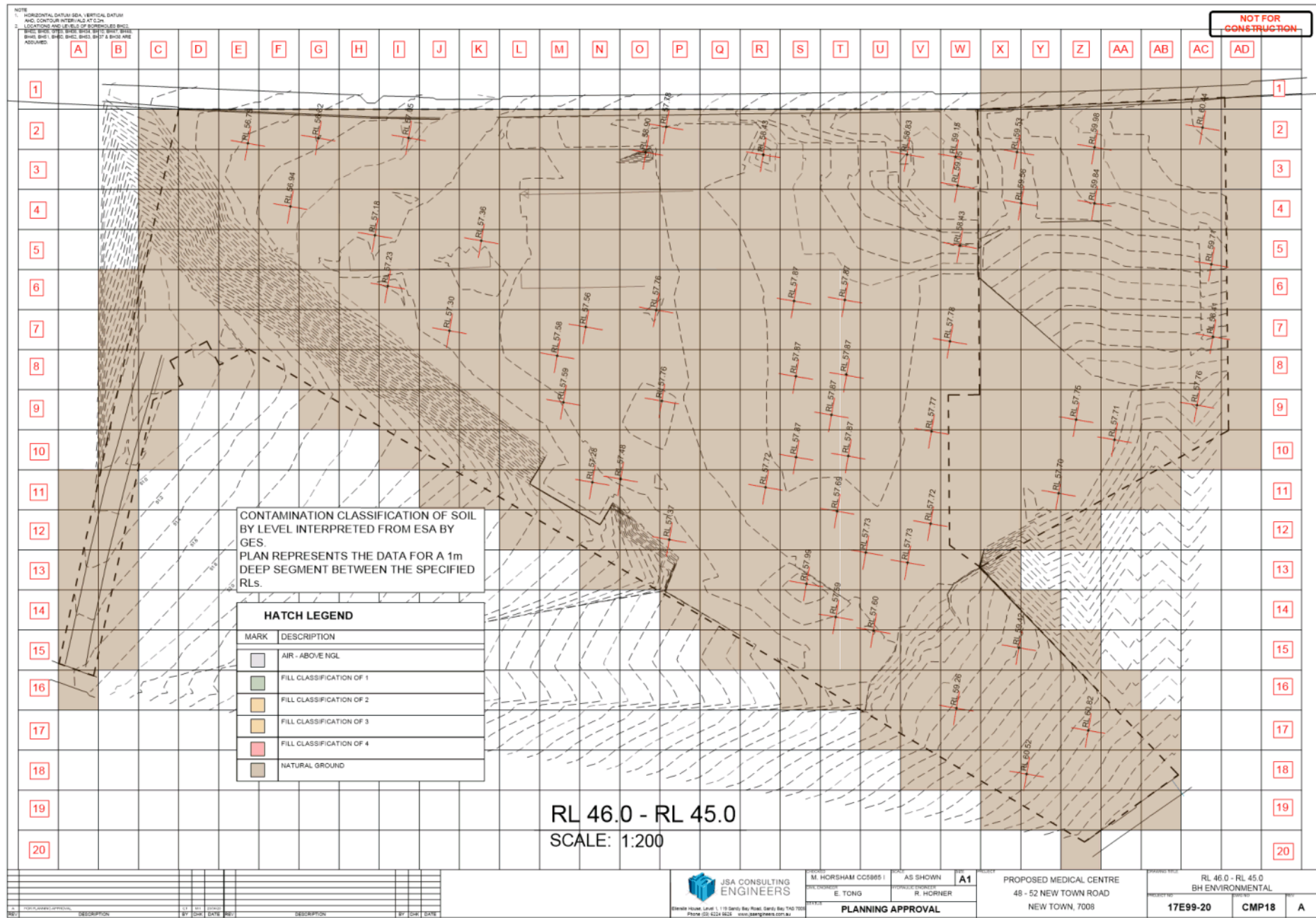








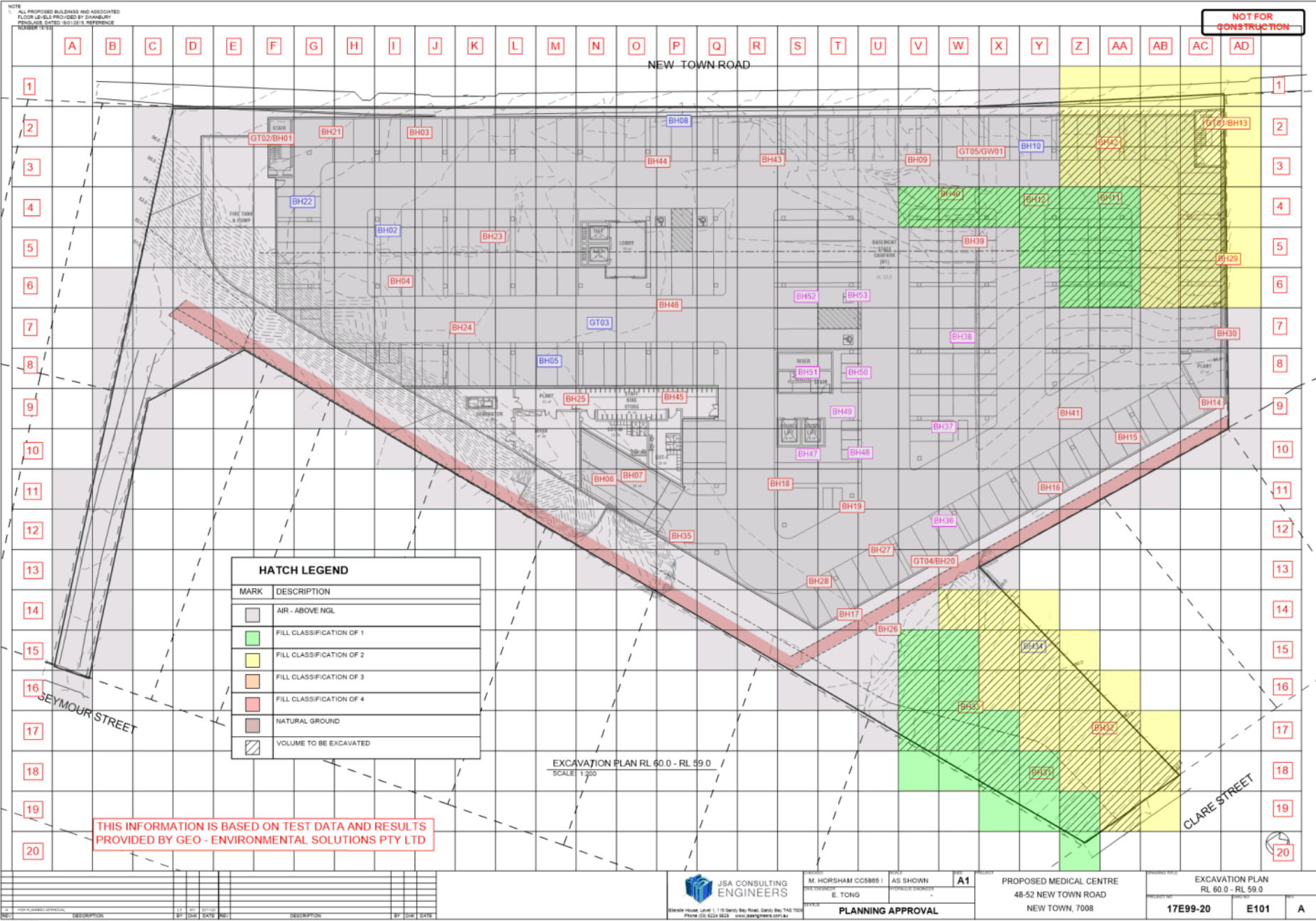


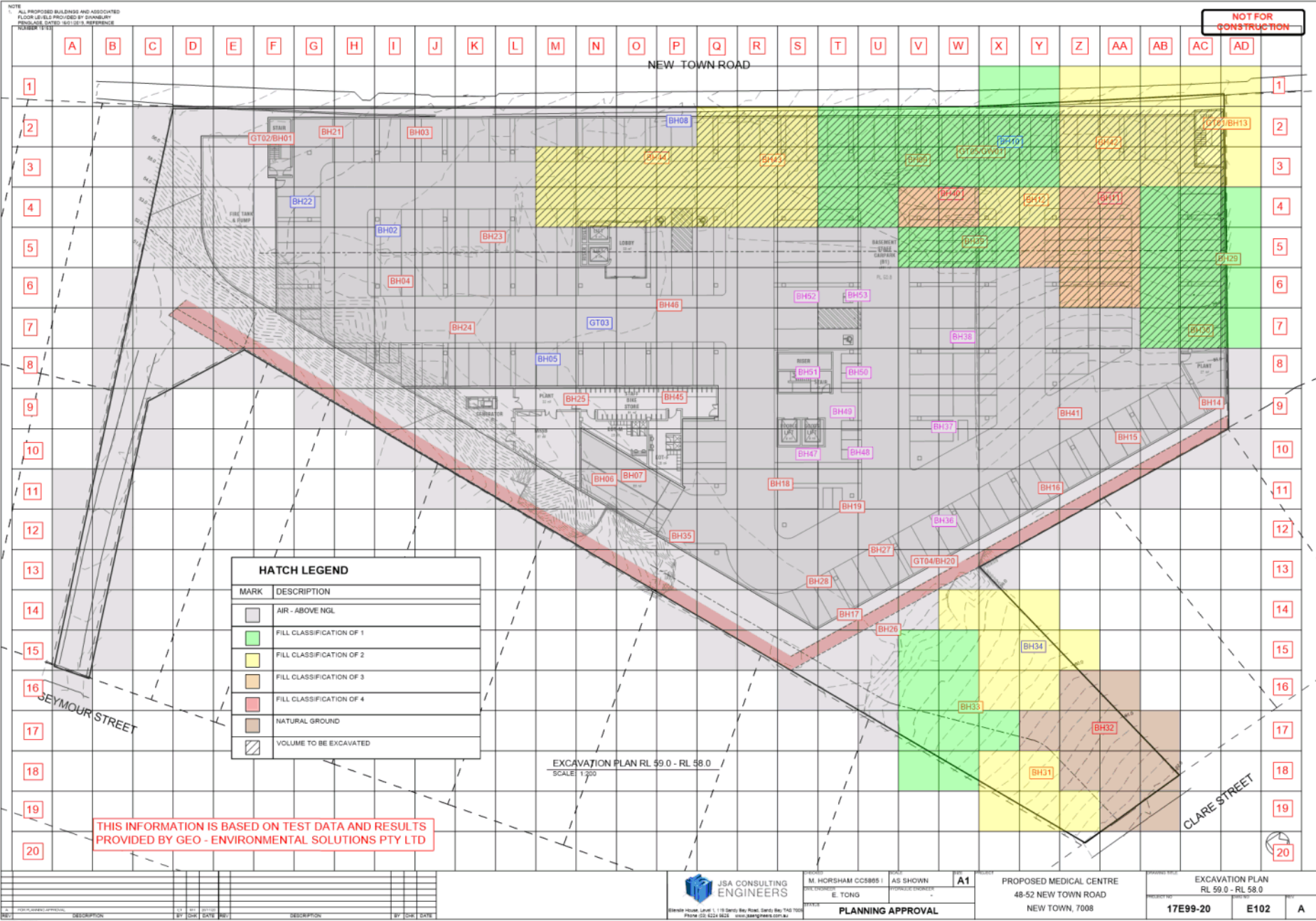




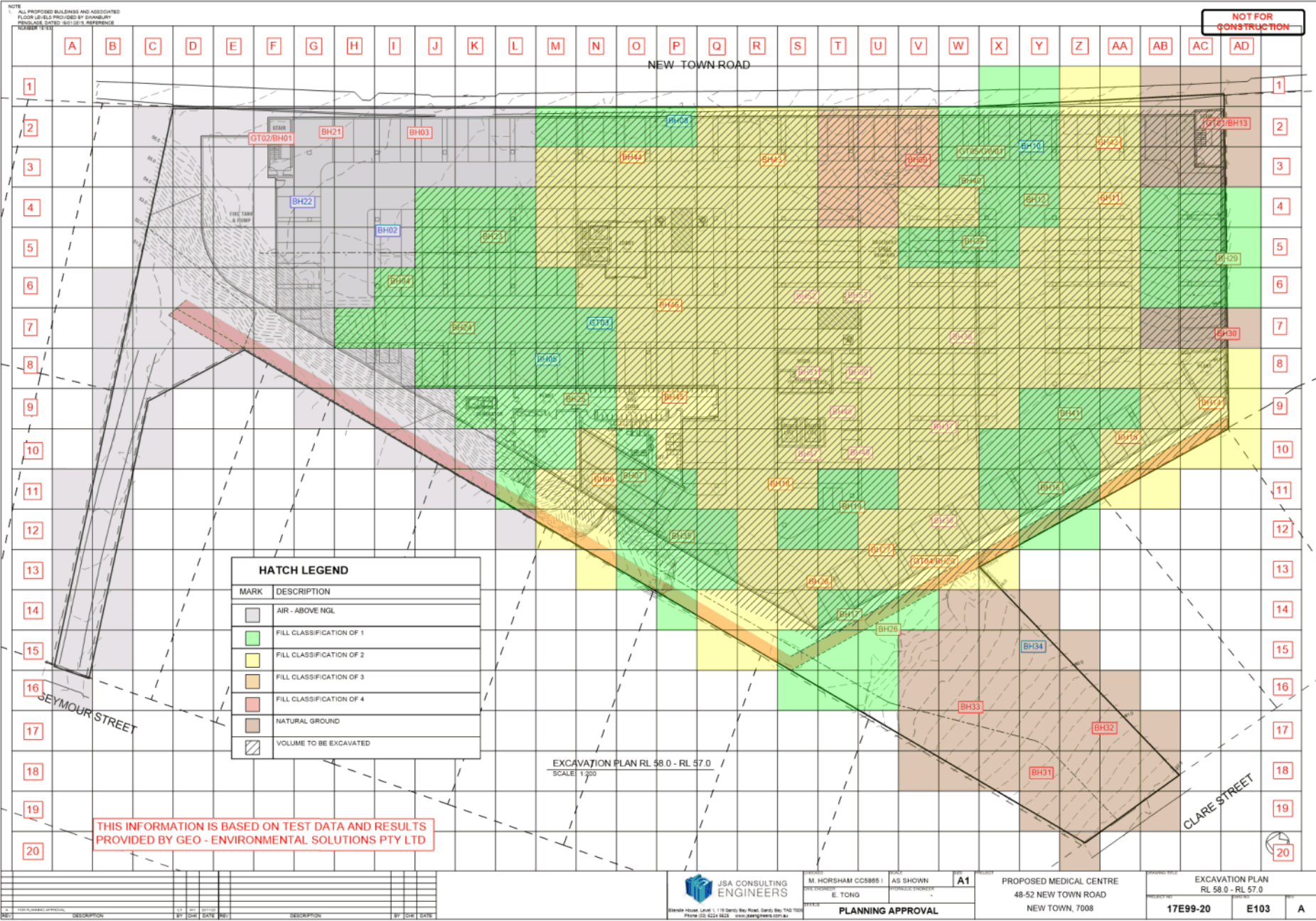
APPENDIX B – Excavation plans



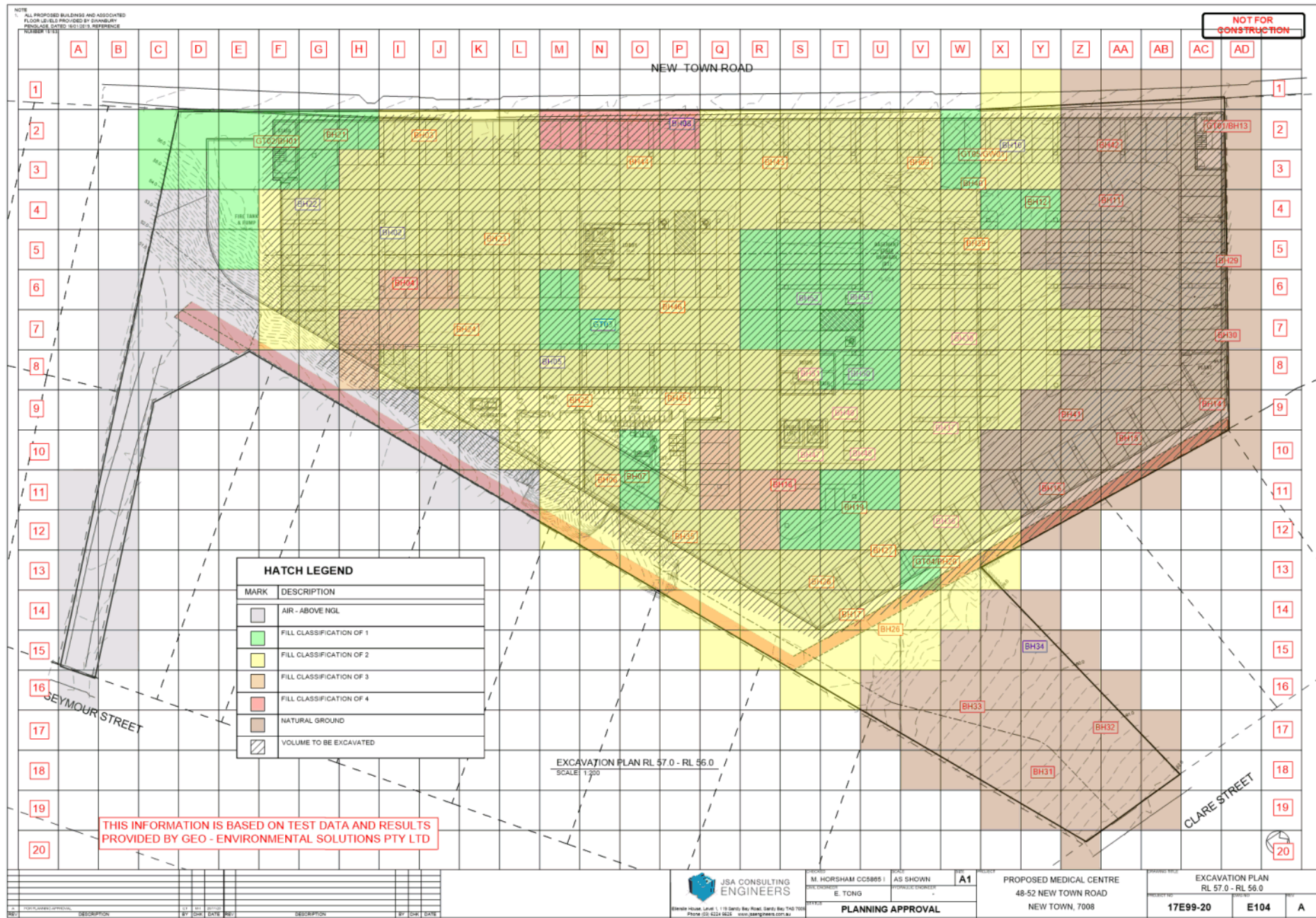




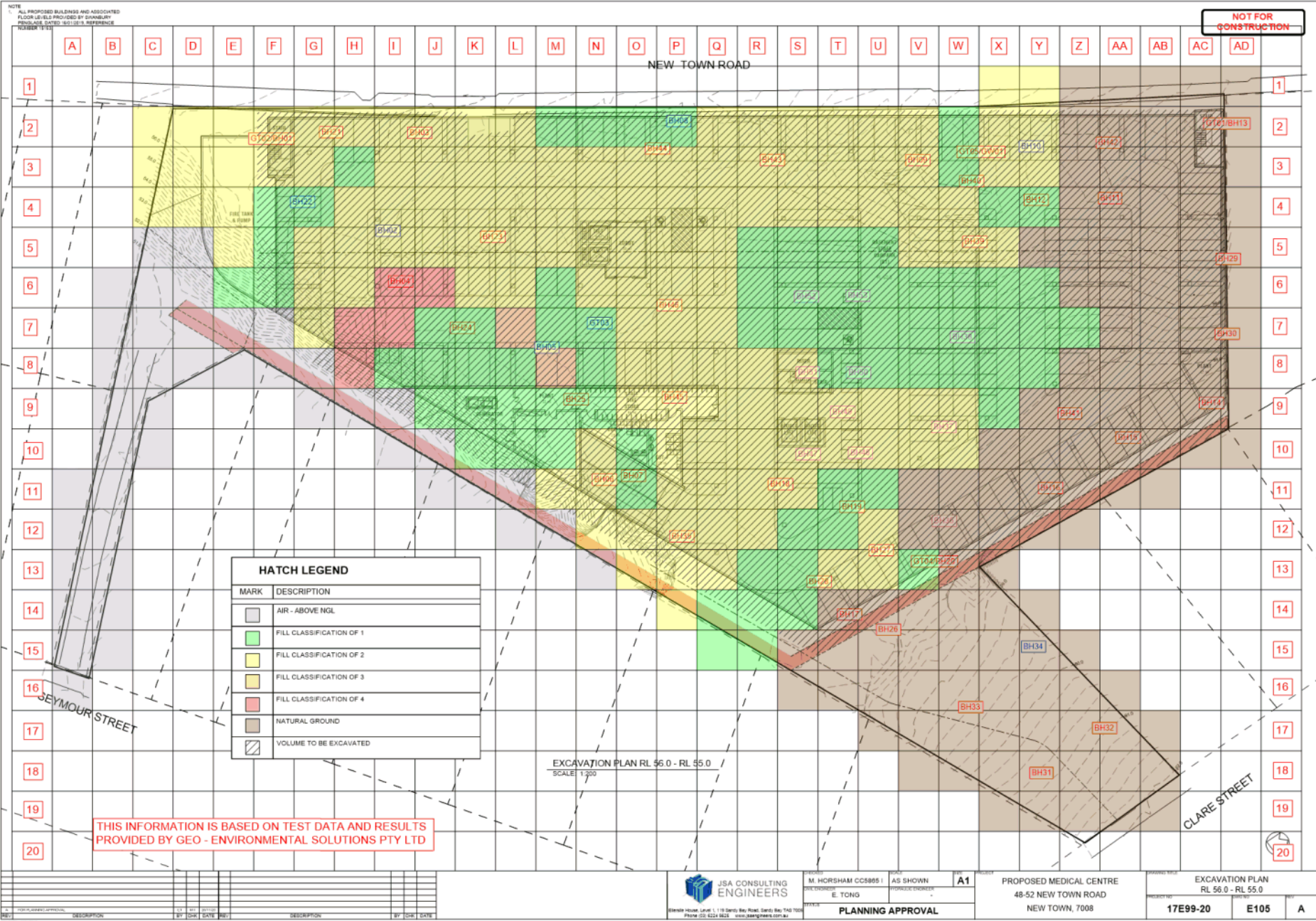




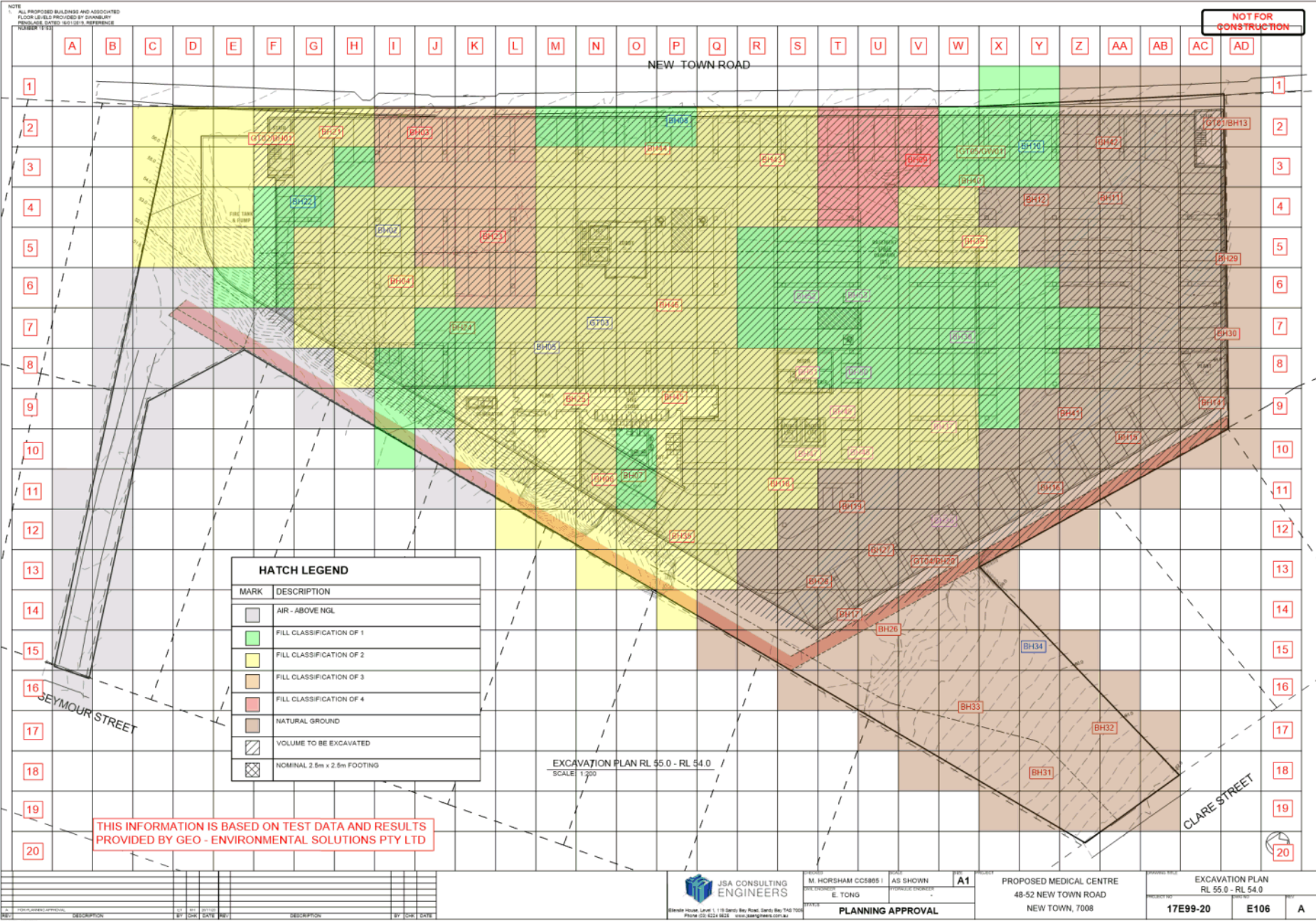




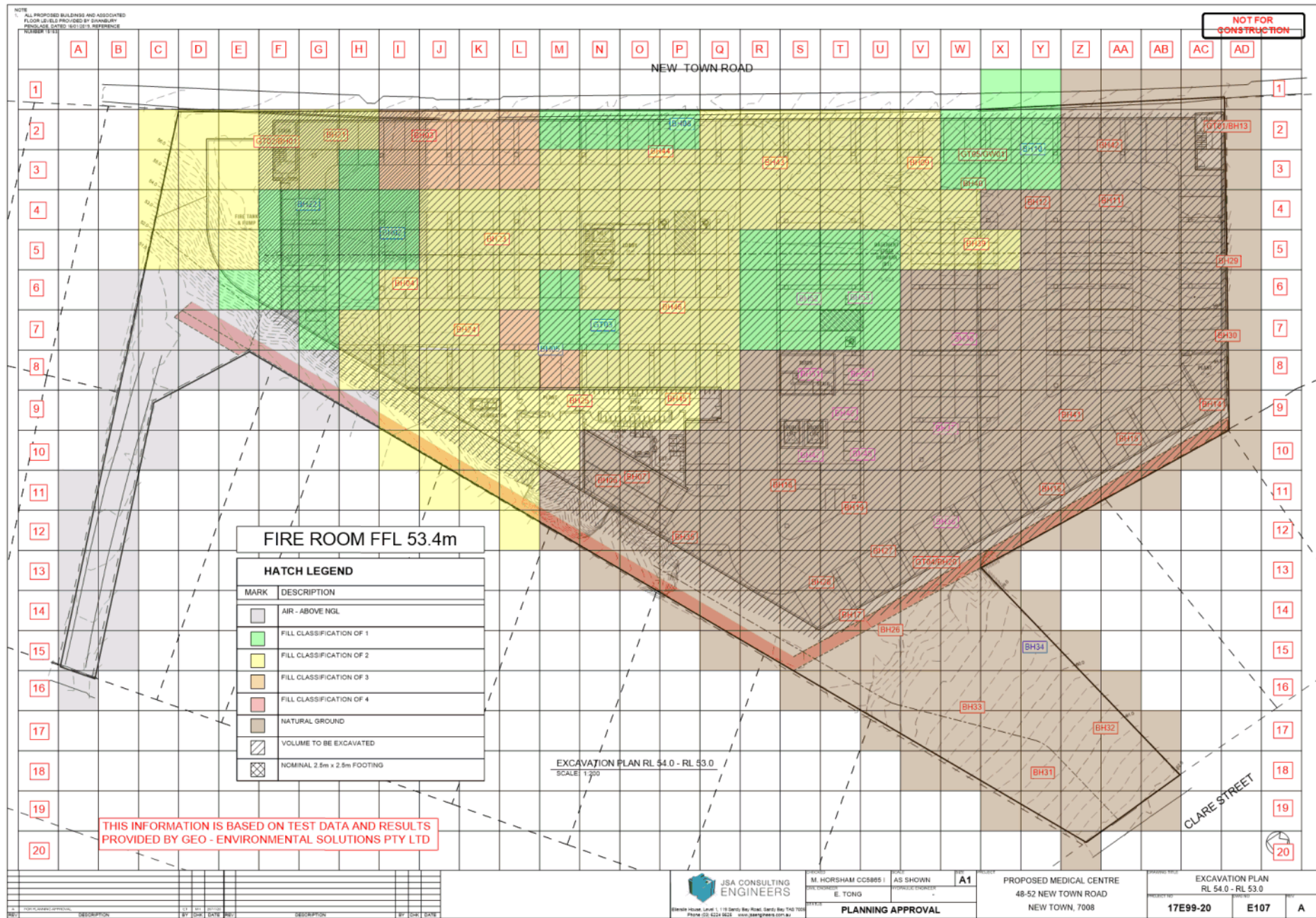




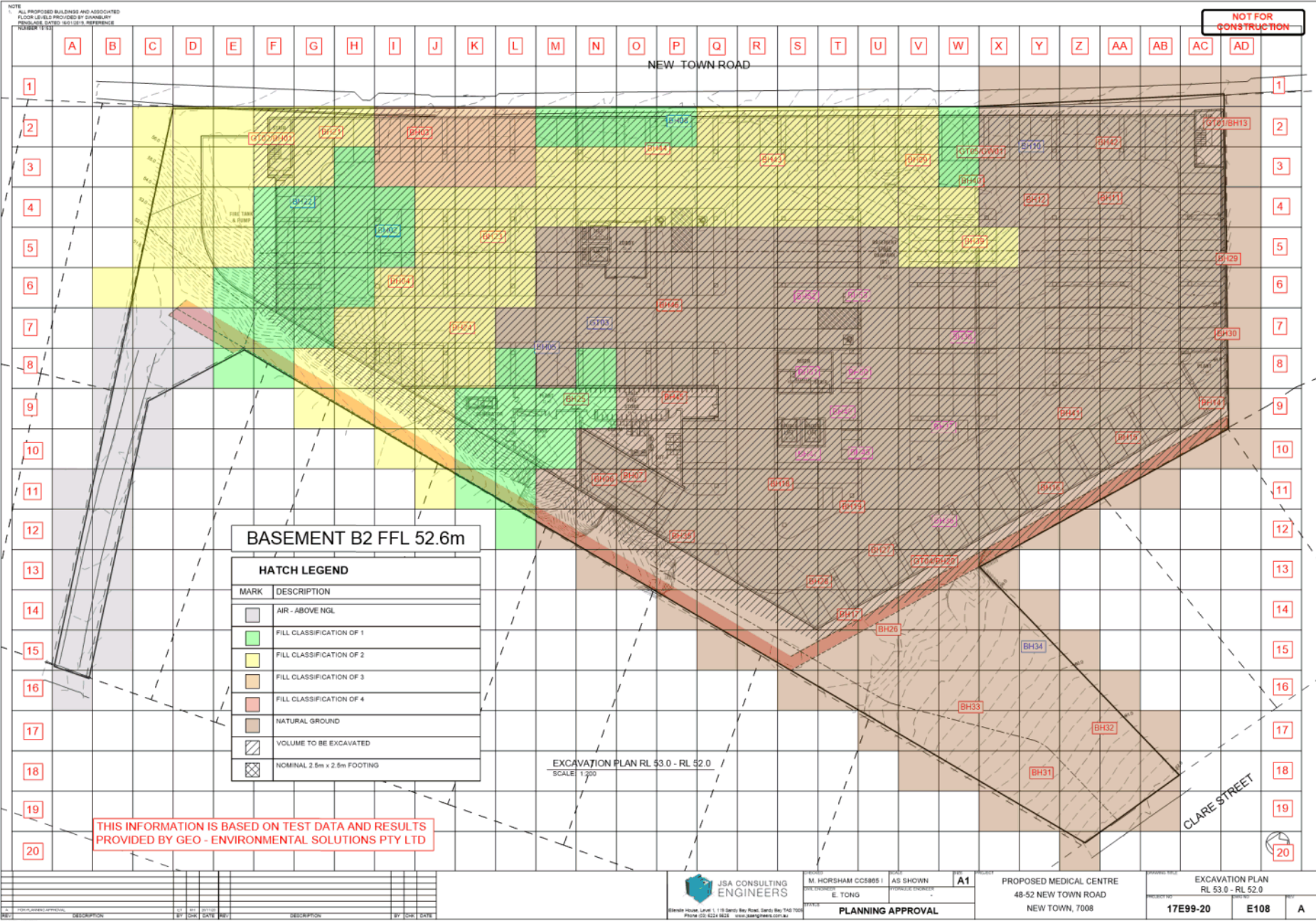




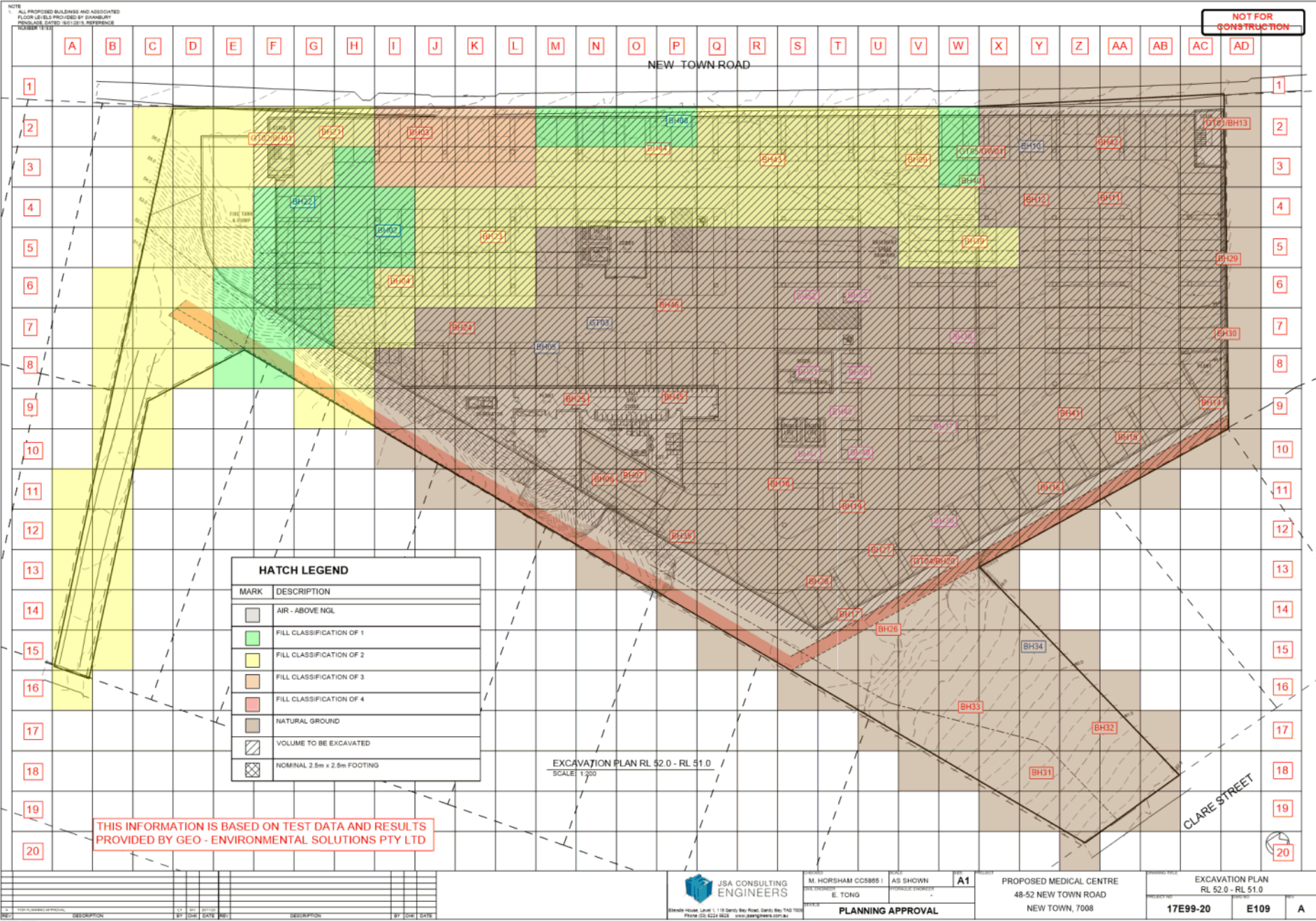




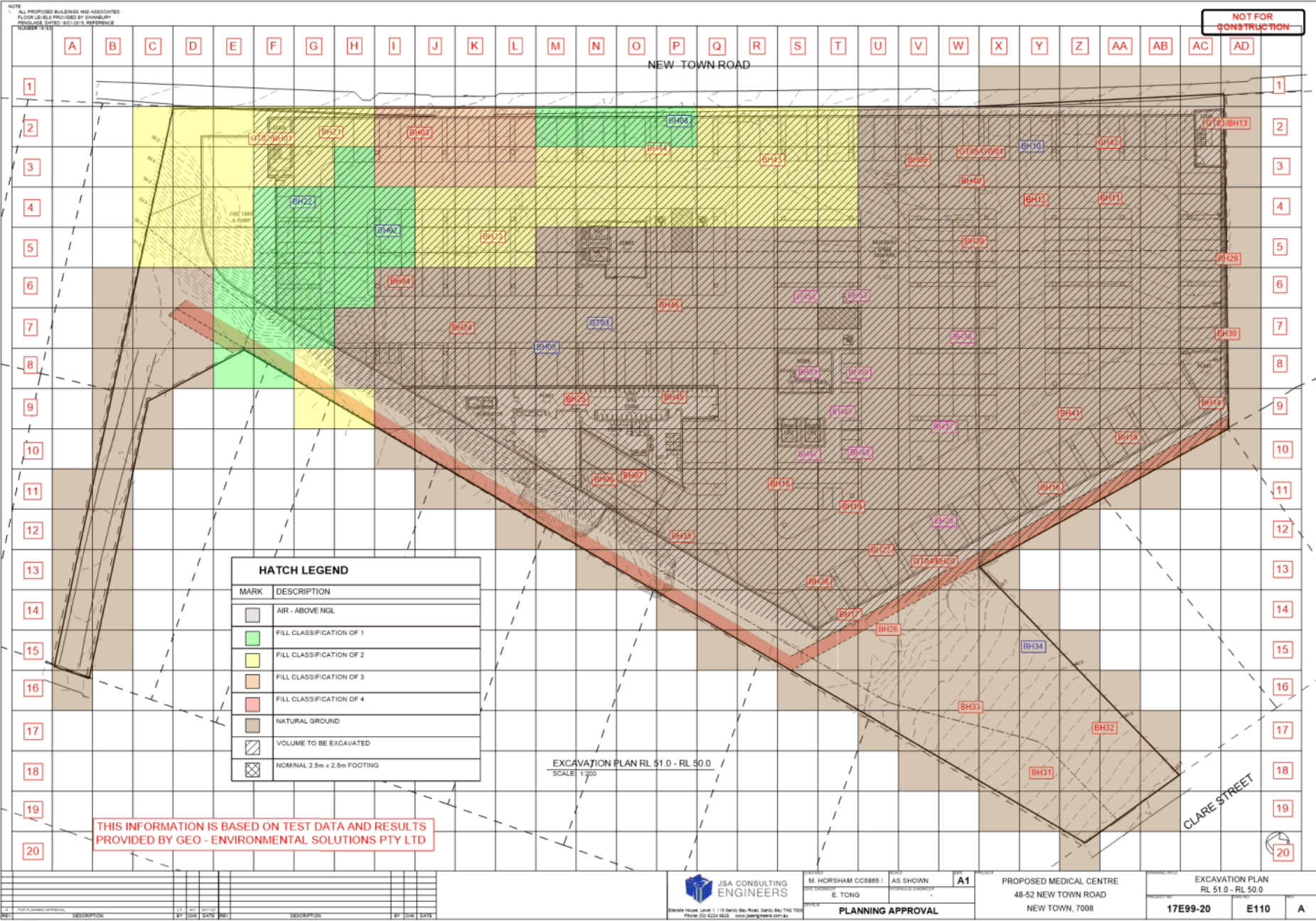


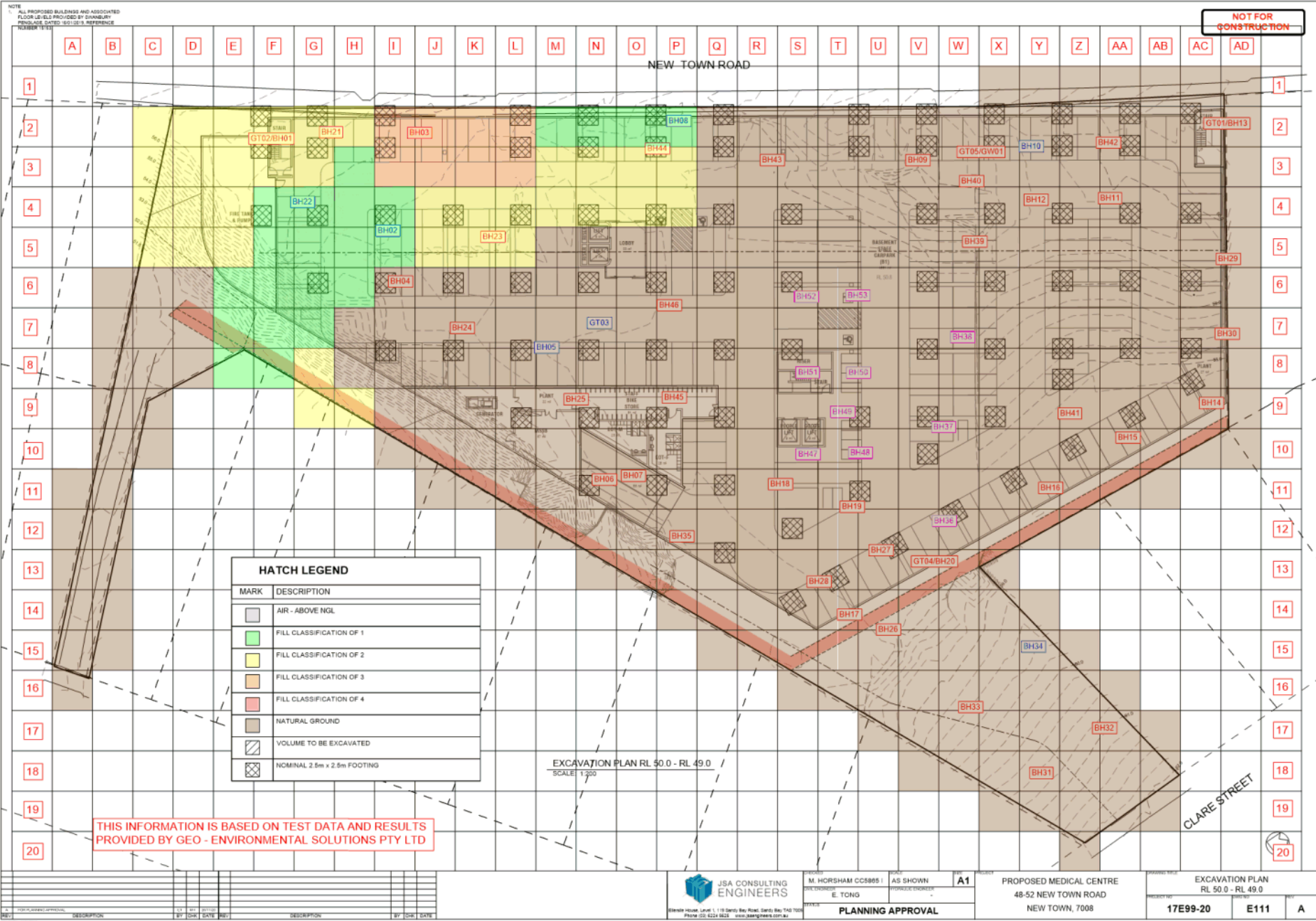




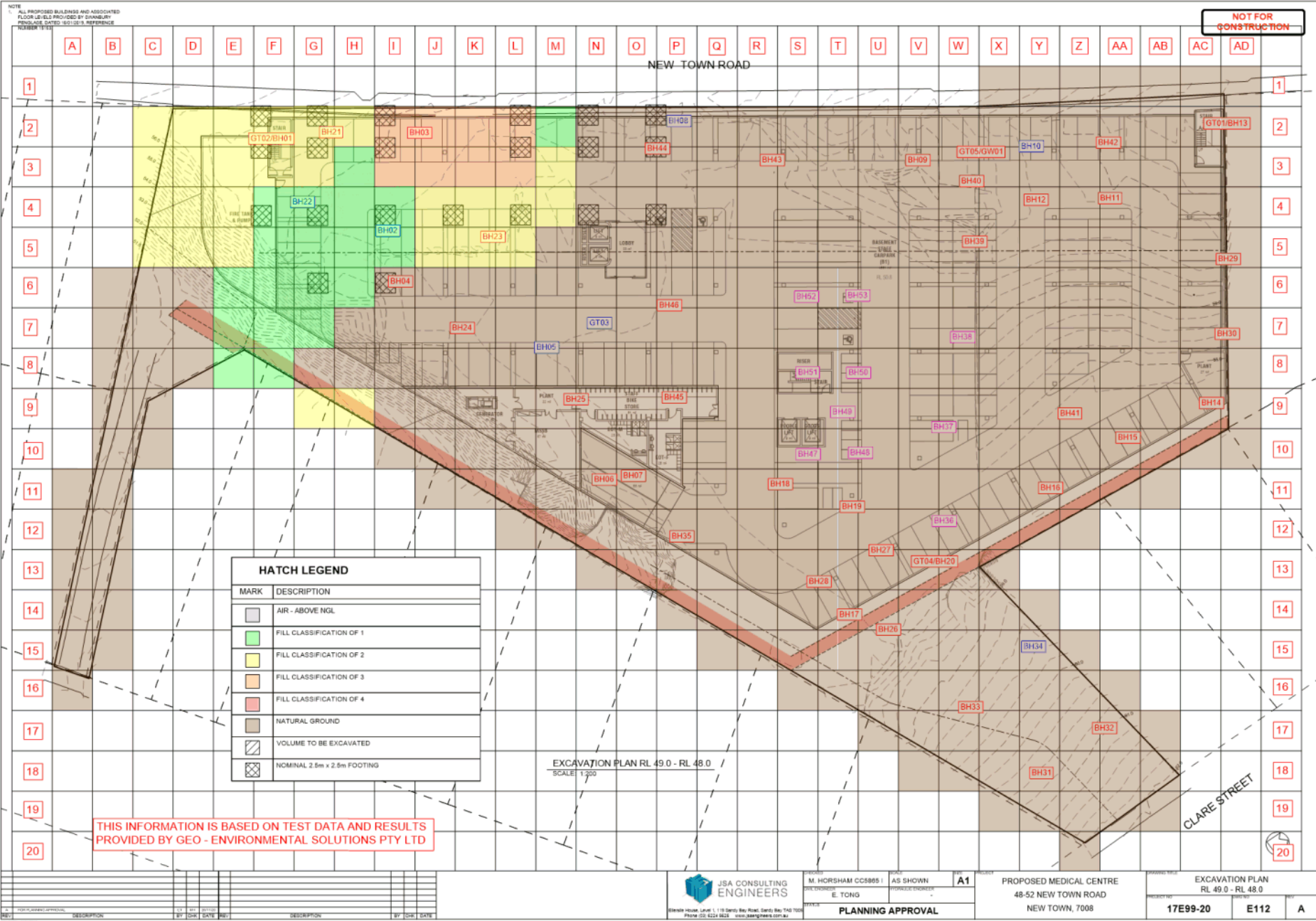


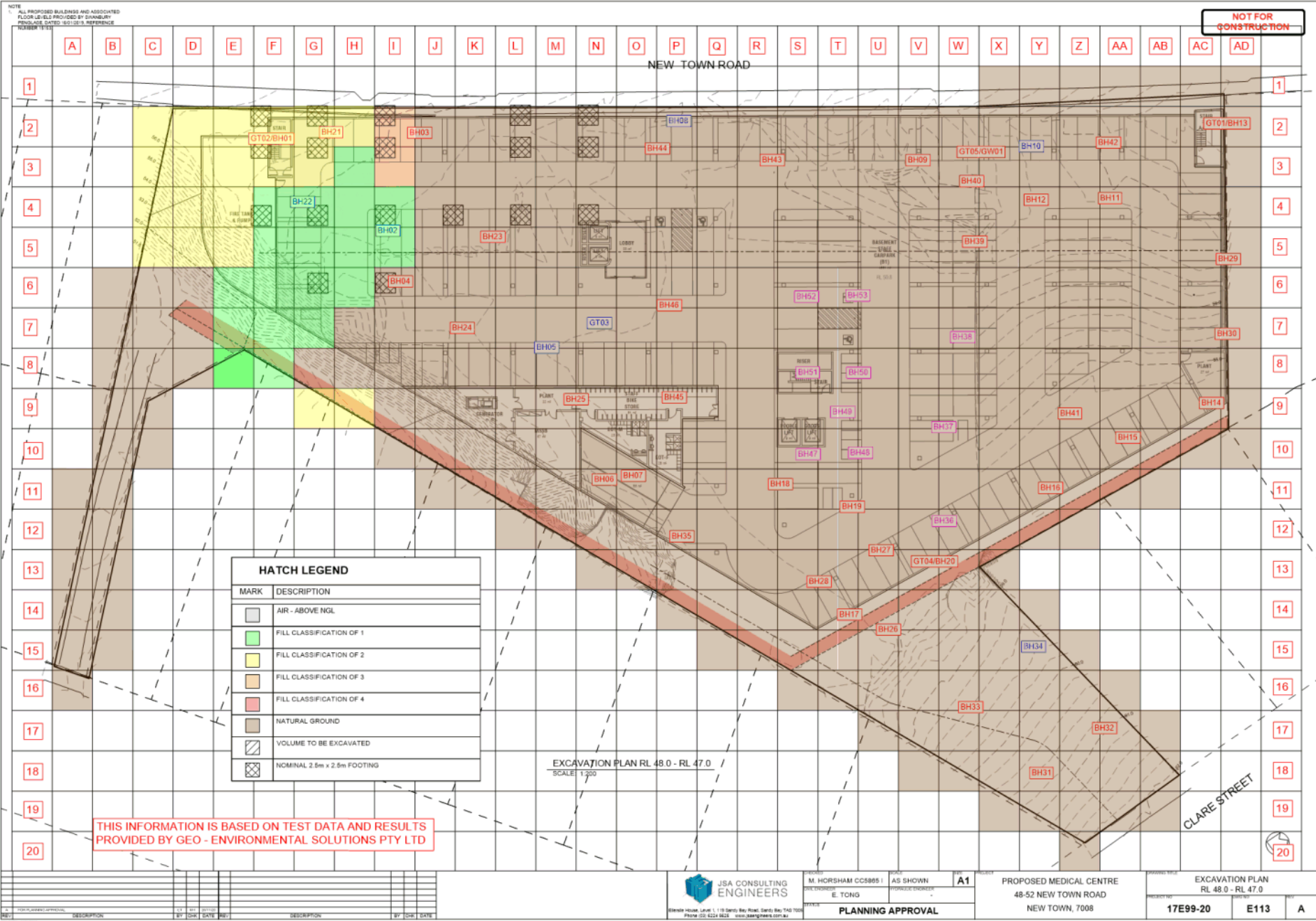


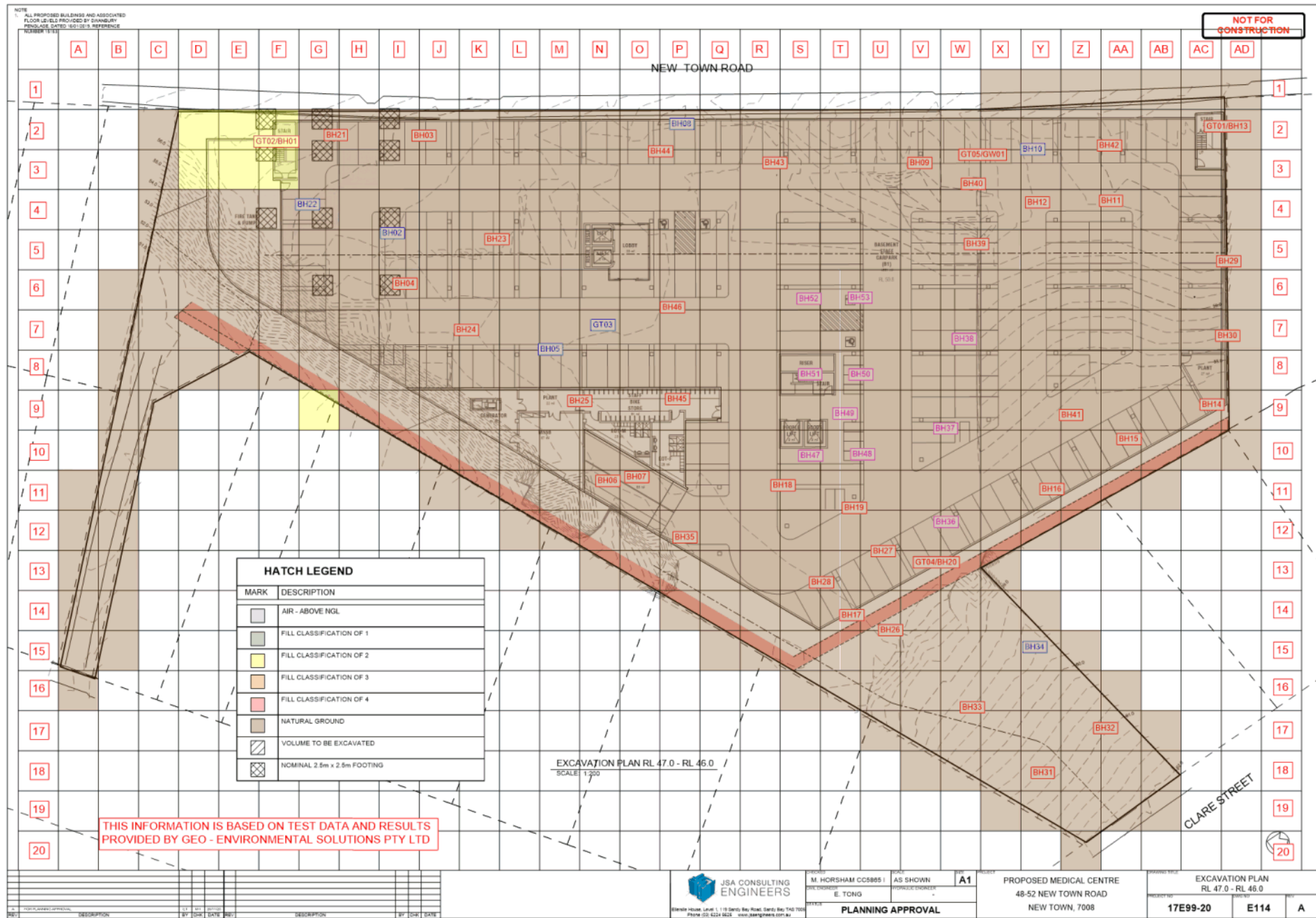




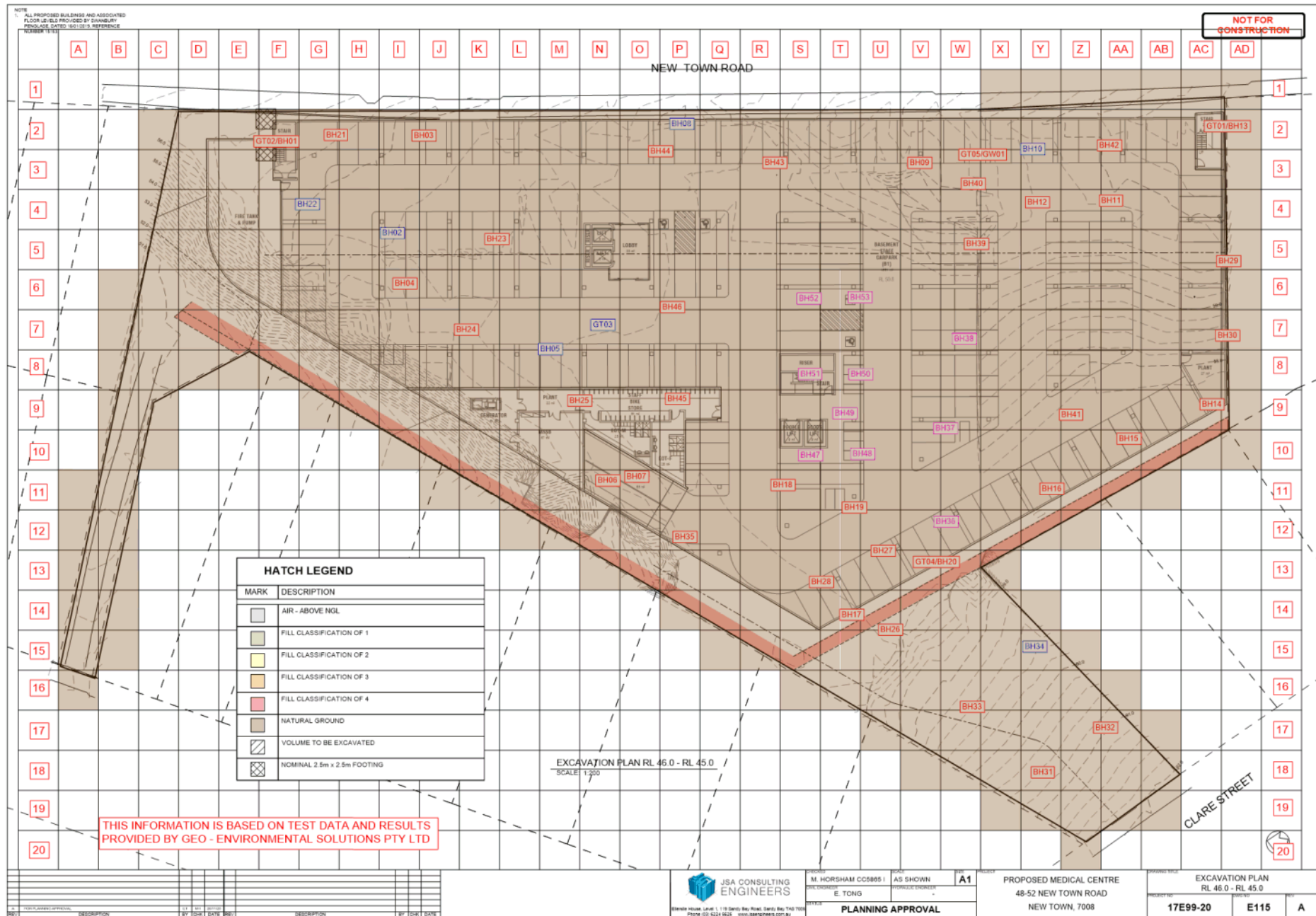










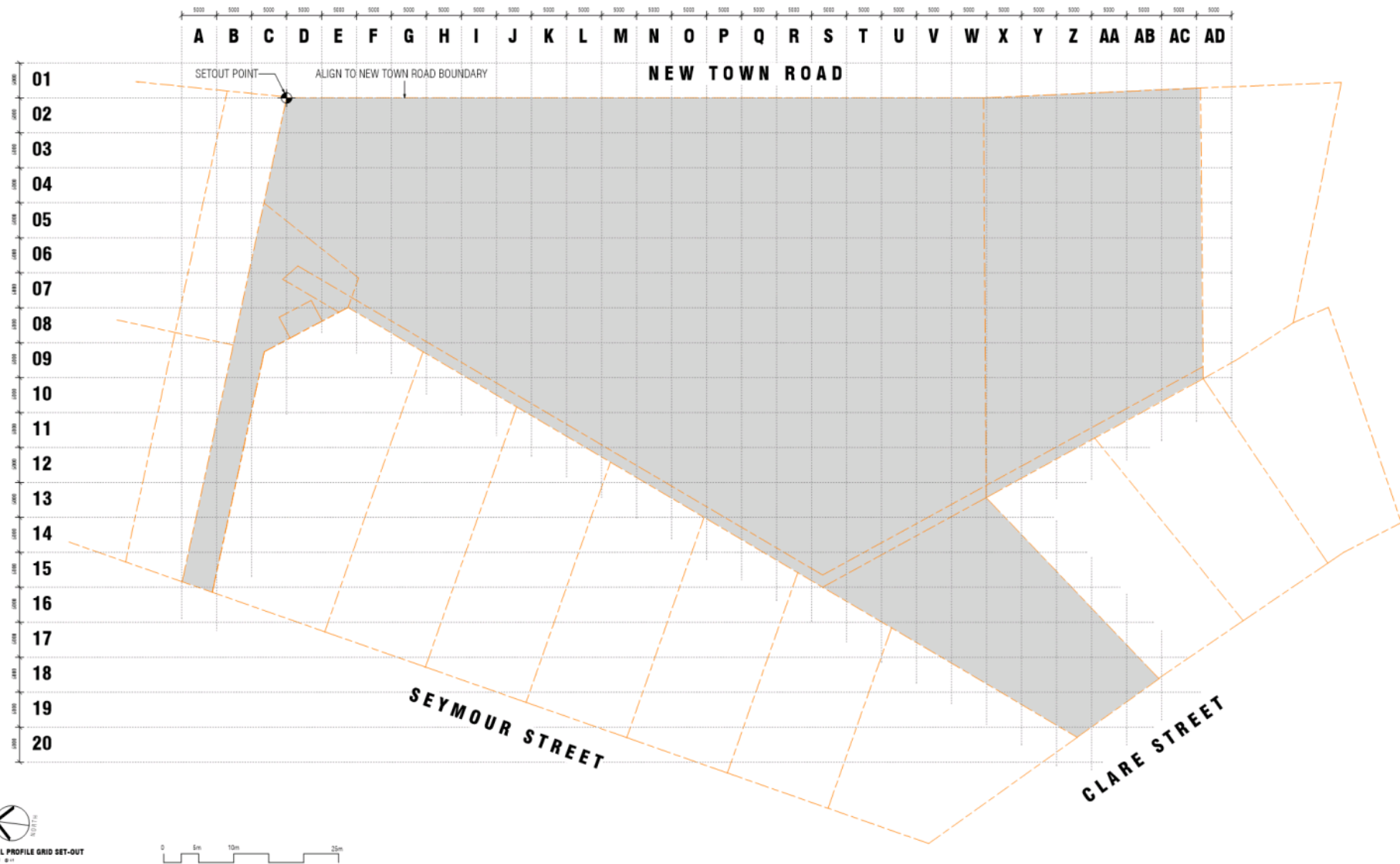




APPENDIX C – Summary of excavation volumes

Drawing sheet	Summary of results - Final test outcomes by 20th October 2013 (30/10/2013)																2013		2012		2011		2010		2009		2008		2007		2006		2005		2004		2003		2002		2001		2000		1999		1998		1997		1996		1995		1994		1993		1992		1991		1990		1989		1988		1987		1986		1985		1984		1983		1982		1981		1980		1979		1978		1977		1976		1975		1974		1973		1972		1971		1970		1969		1968		1967		1966		1965		1964		1963		1962		1961		1960		1959		1958		1957		1956		1955		1954		1953		1952		1951		1950		1949		1948		1947		1946		1945		1944		1943		1942		1941		1940		1939		1938		1937		1936		1935		1934		1933		1932		1931		1930		1929		1928		1927		1926		1925		1924		1923		1922																																																																																																																																																																																																																																																									
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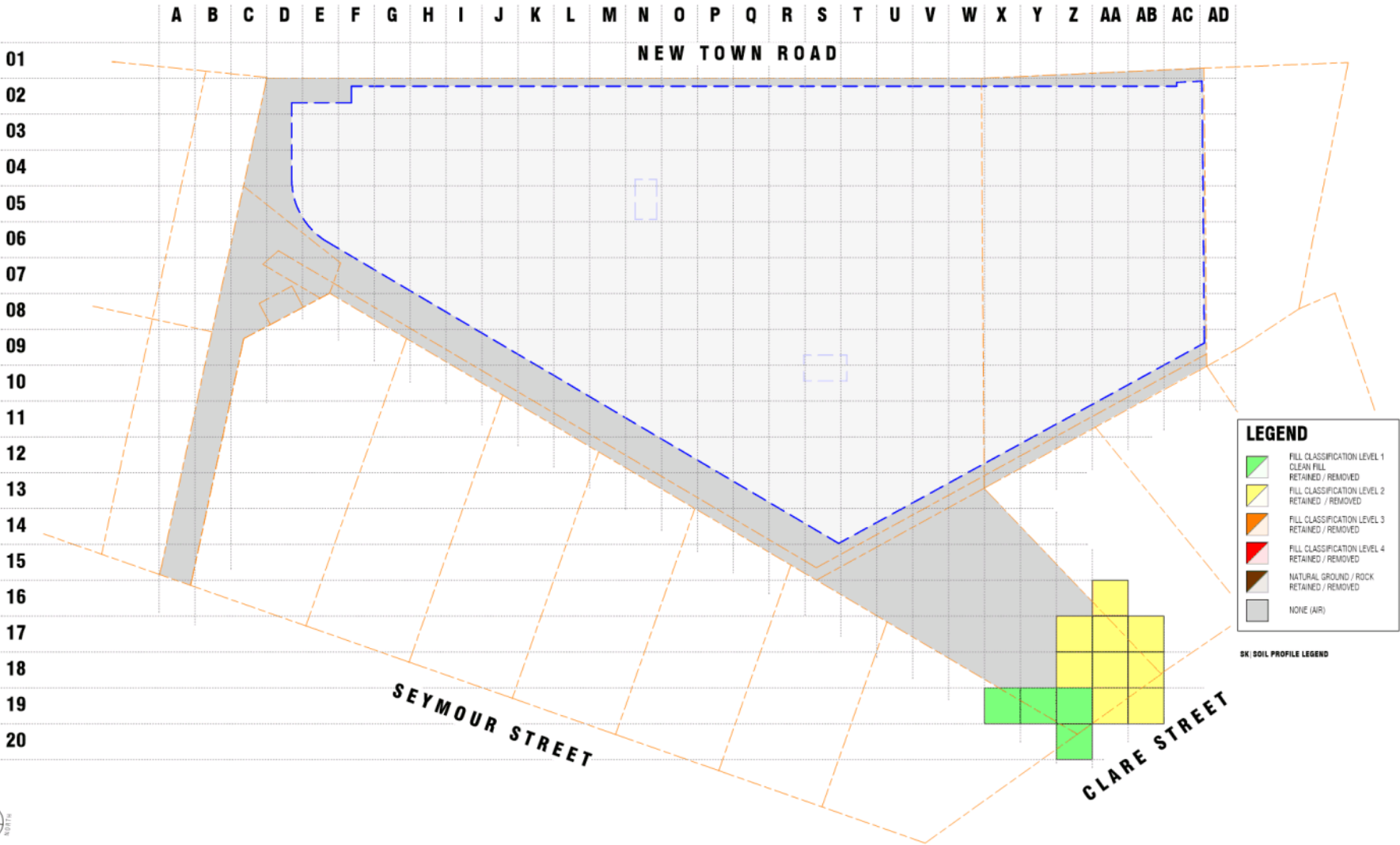


**NEW TOWN MEDICAL CENTRE**  
**48-52 NEW TOWN ROAD, NEW TOWN, HOBART, TASMANIA**

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SOIL PROFILE PLAN - RL 61/62

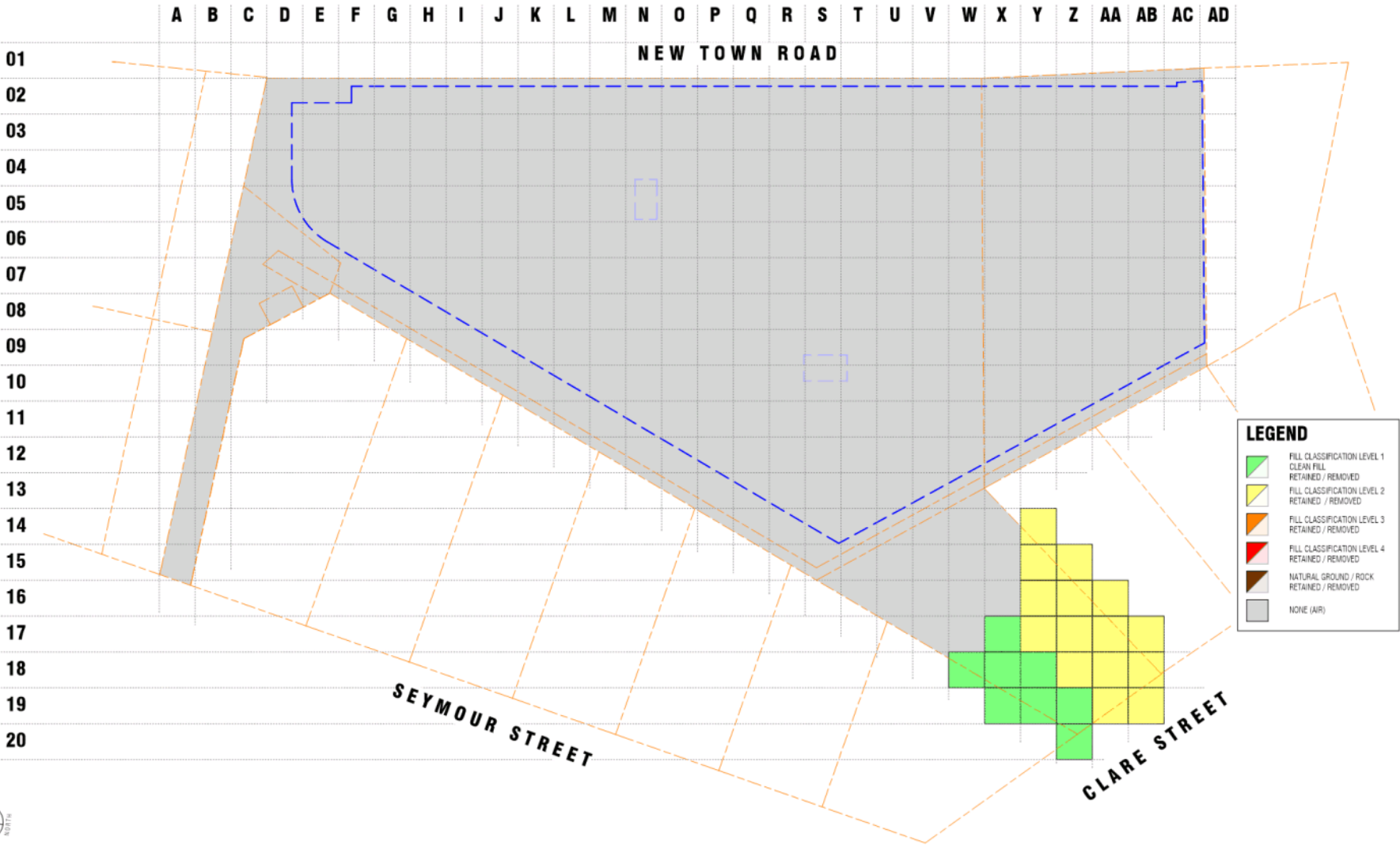


**NEW TOWN MEDICAL CENTRE**  
48-52 NEW TOWN ROAD, NEW TOWN, HOBART, TASMANIA

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SOIL PROFILE PLAN - RL 60/61  
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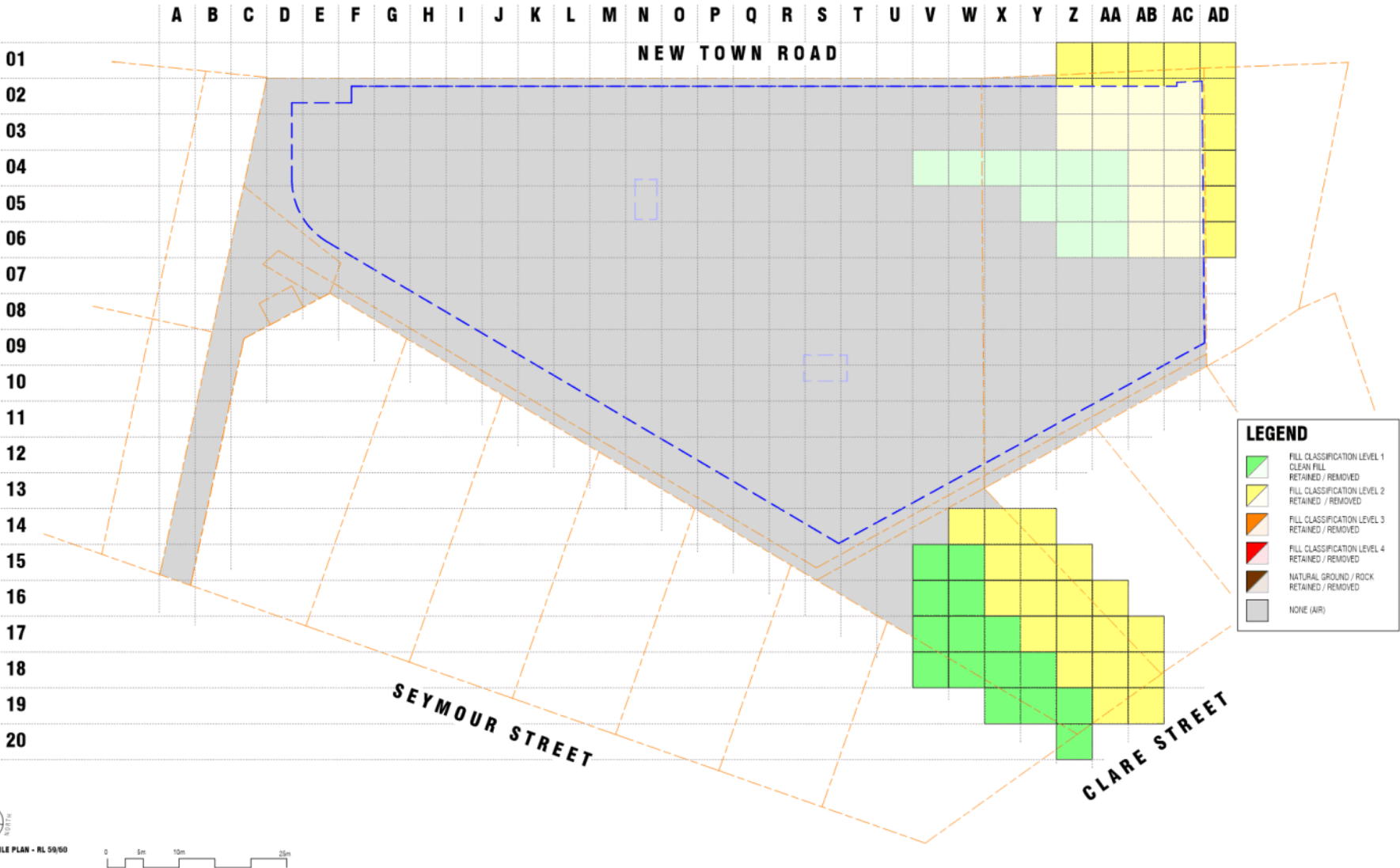
**NEW TOWN MEDICAL CENTRE**  
48-52 NEW TOWN ROAD, NEW TOWN, HOBART, TASMANIA

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2020.11.05  
15153 SK3113 D **Swanbury Pengglase**

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SOIL PROFILE PLAN - RL 59/60  
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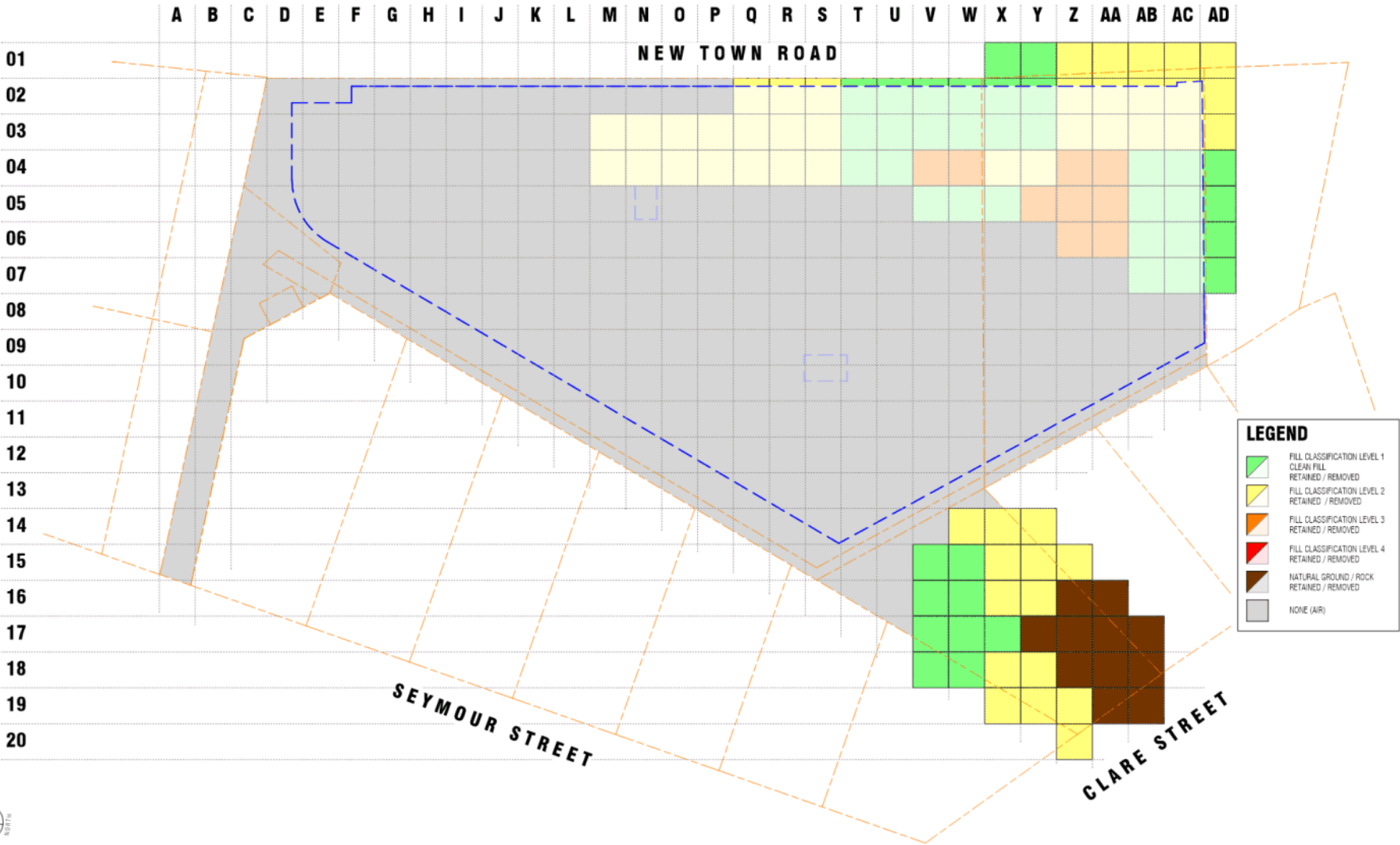
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2020.11.05  
15153 SK3114 D **Swanbury Pengglase**

ORIGINAL SHEET SIZE A1 PRINTED ON: 4/11/2020 9:24:39 PM



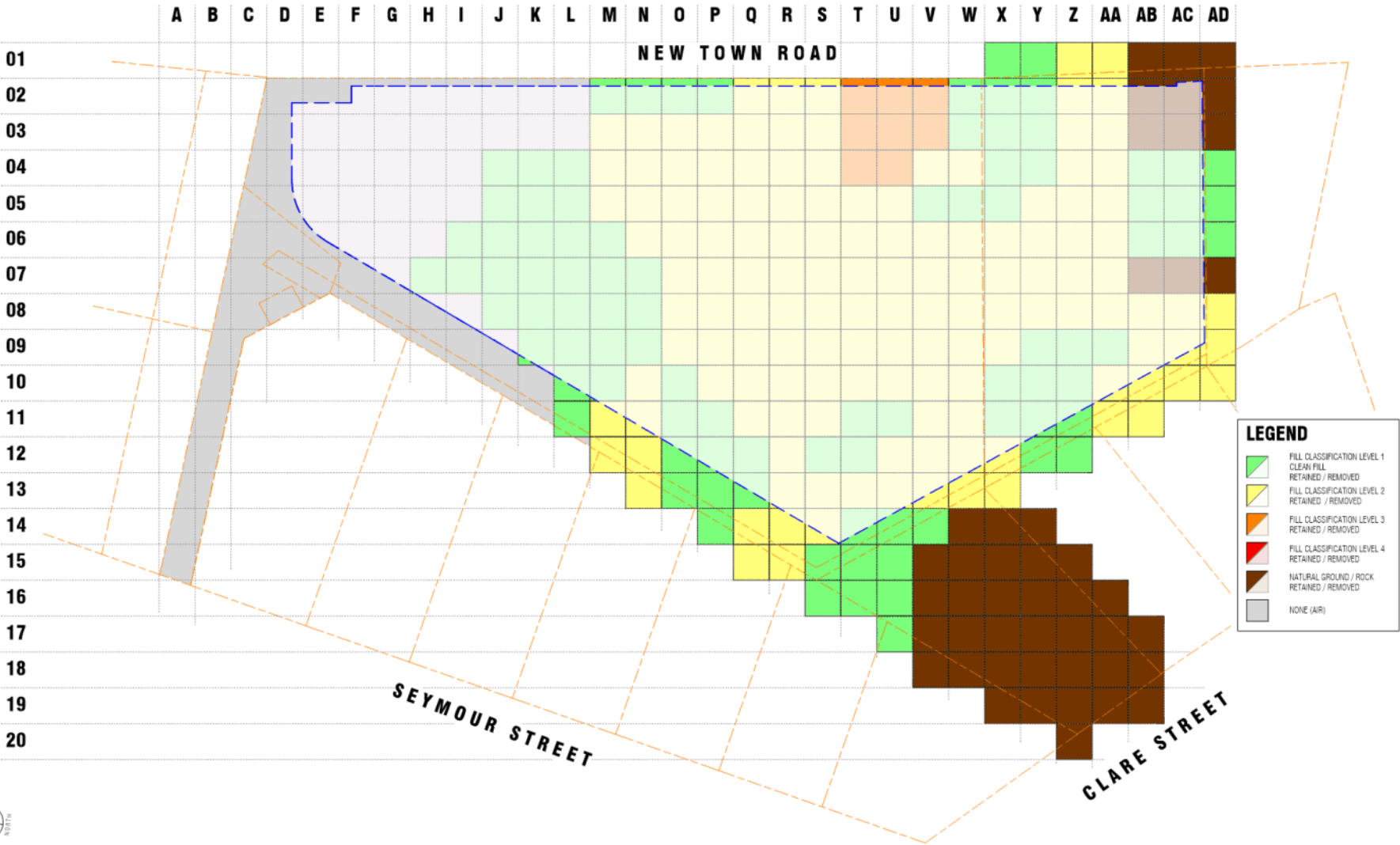
SOIL PROFILE PLAN - RL 58/59  
1:200 8/11

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2020.11.05  
15153 SK3115 D **Swanbury Pengglase**

ORIGINAL SHEET SIZE A1 PRINTED ON: 4/11/2020 9:24:44 PM



SOIL PROFILE PLAN - RL 97/98  
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0 5m 10m 25m

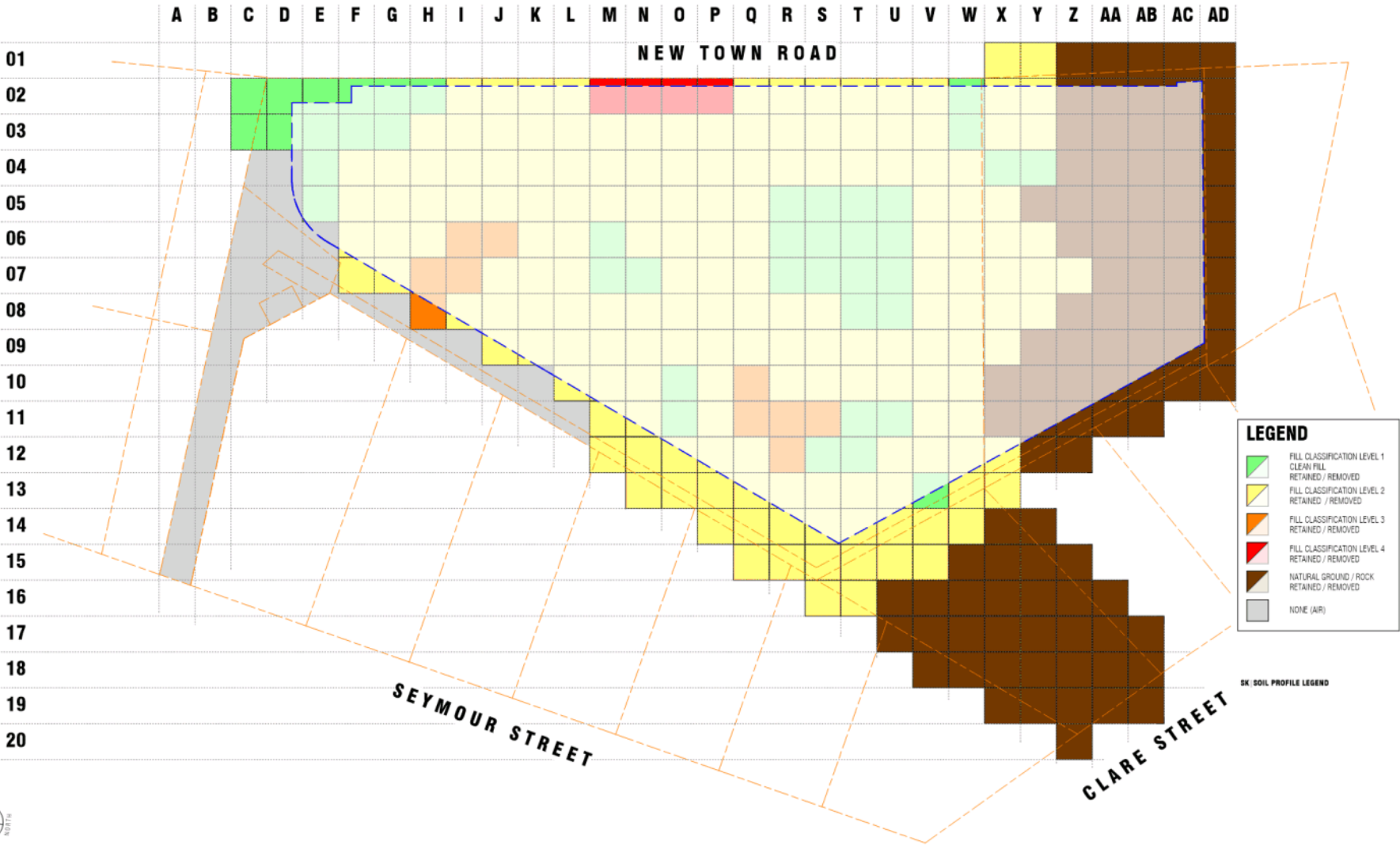
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2020.11.05  
15153 SK3116 D **Swanbury Pengglase**

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SOIL PROFILE PLAN - RL 56/57  
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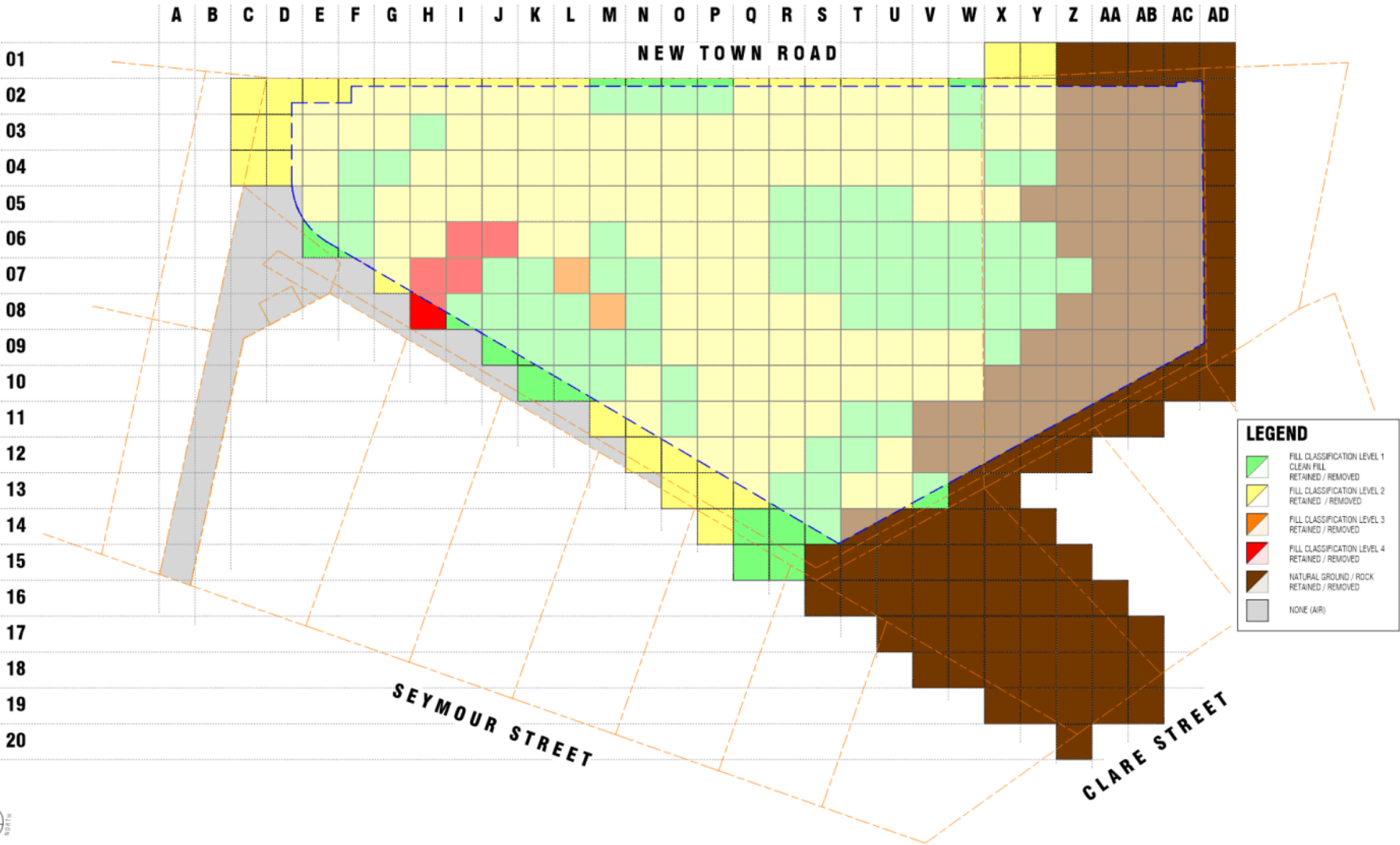
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48-52 NEW TOWN ROAD, NEW TOWN, HOBART, TASMANIA

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2020.11.05  
15153 SK3117 D **Swanbury Pengglase**

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SOIL PROFILE PLAN - RL 55/56  
1:200 08/18

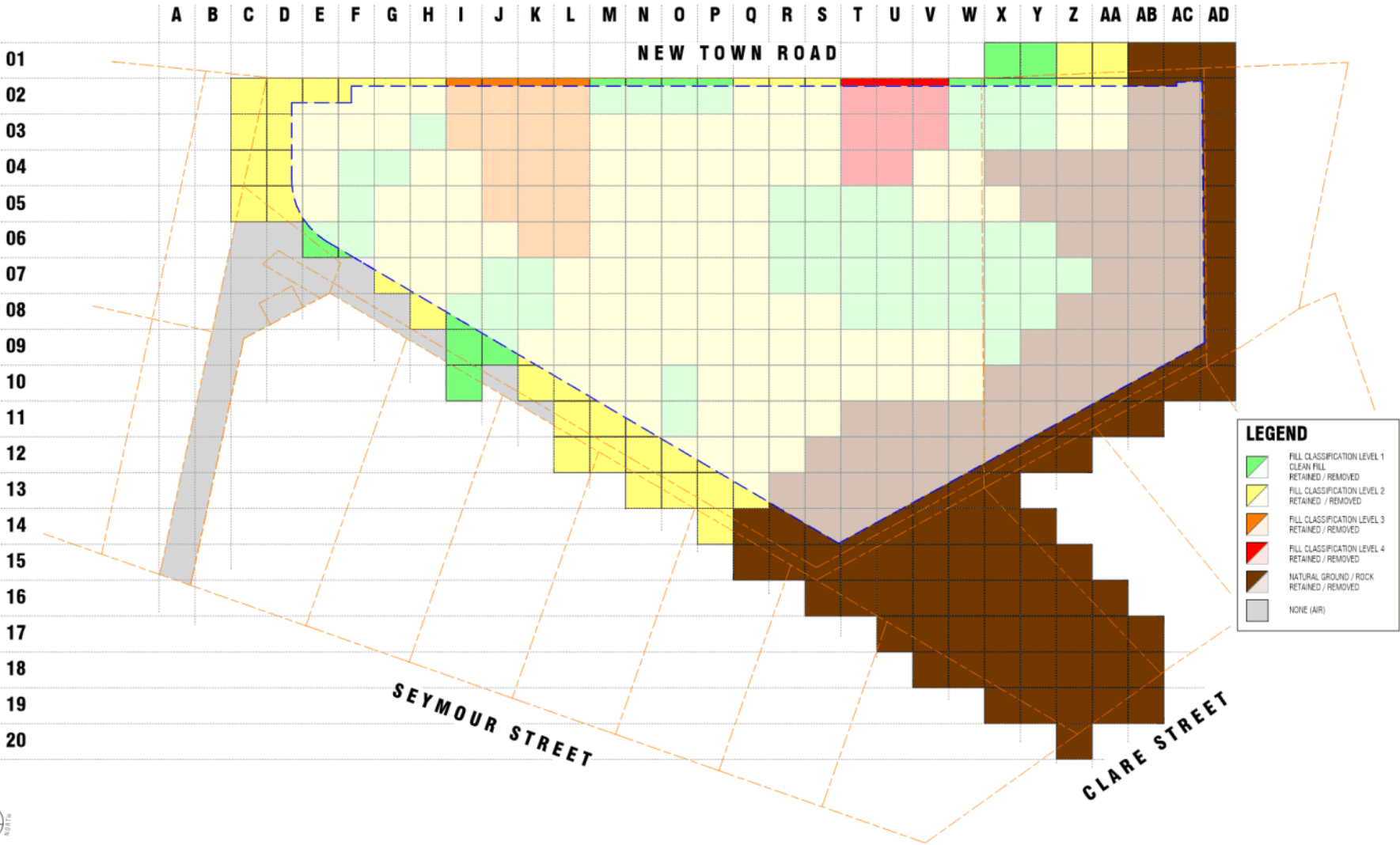
0 5m 10m 25m

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2020.11.05  
15153 SK3118 D **Swanbury Pengglase**

ORIGINAL SHEET SIZE A1 PRINTED ON: 4/11/2020 9:24:58 PM



SOIL PROFILE PLAN - RL 54/55



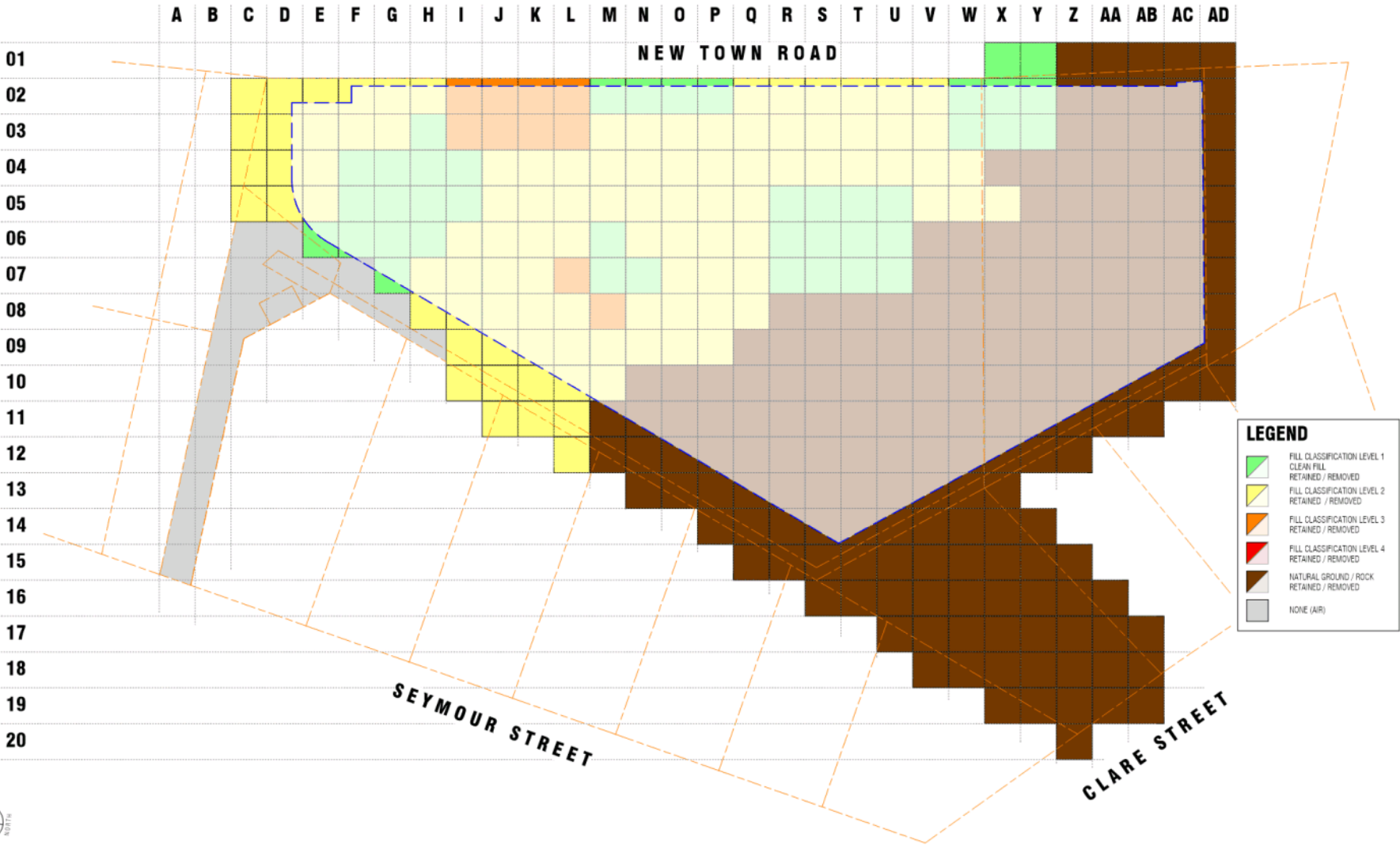
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2020.11.05  
15153 SK3119 D **Swanbury Pengglase**

ORIGINAL SHEET SIZE A1 PRINTED ON: 4/11/2020 9:25:03 PM





SOIL PROFILE PLAN - RL 55/54  
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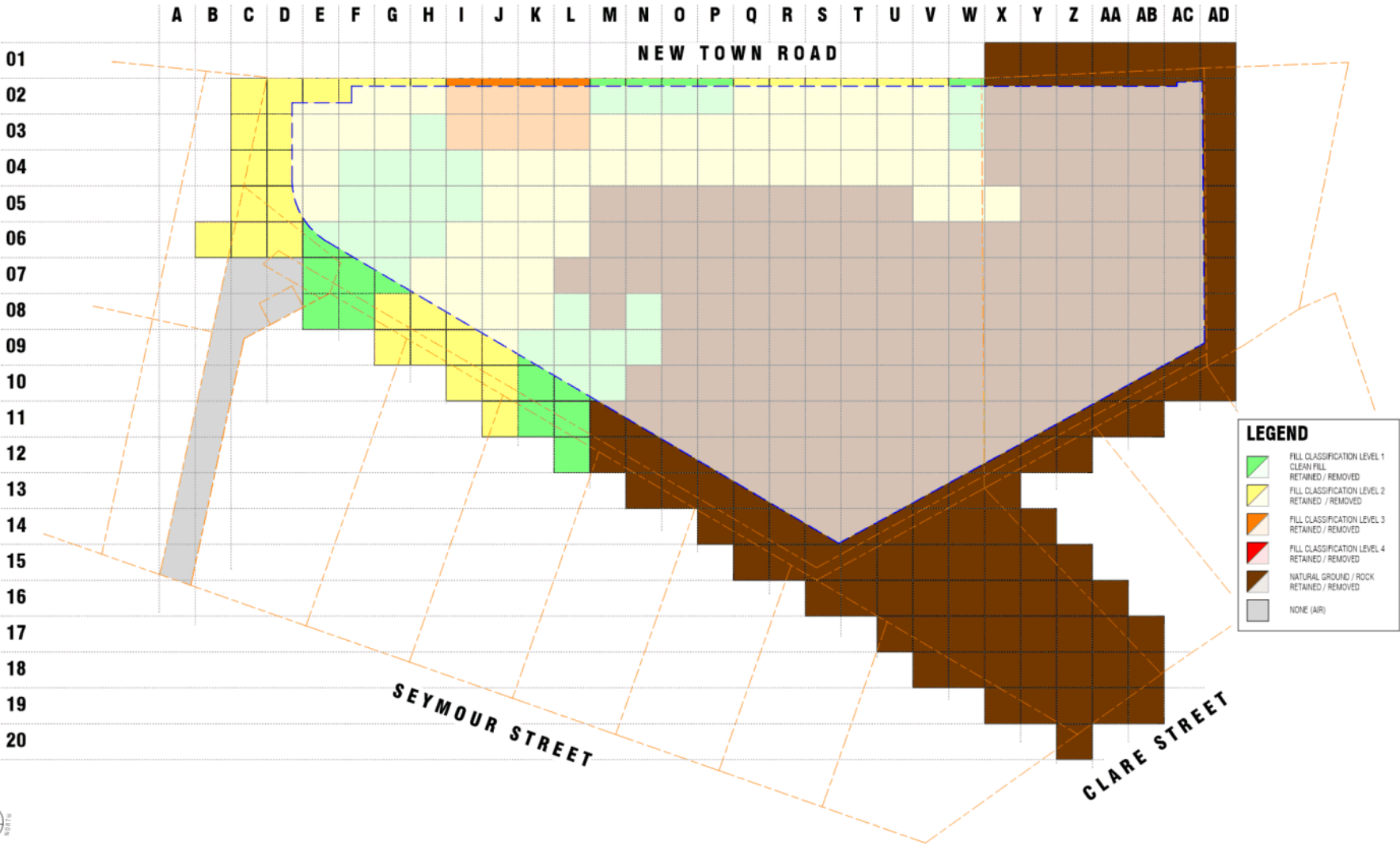


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2020.11.05  
15153 SK3120 D **Swanbury Pengglase**

ORIGINAL SHEET SIZE A1 PRINTED ON: 4/11/2020 9:25:08 PM

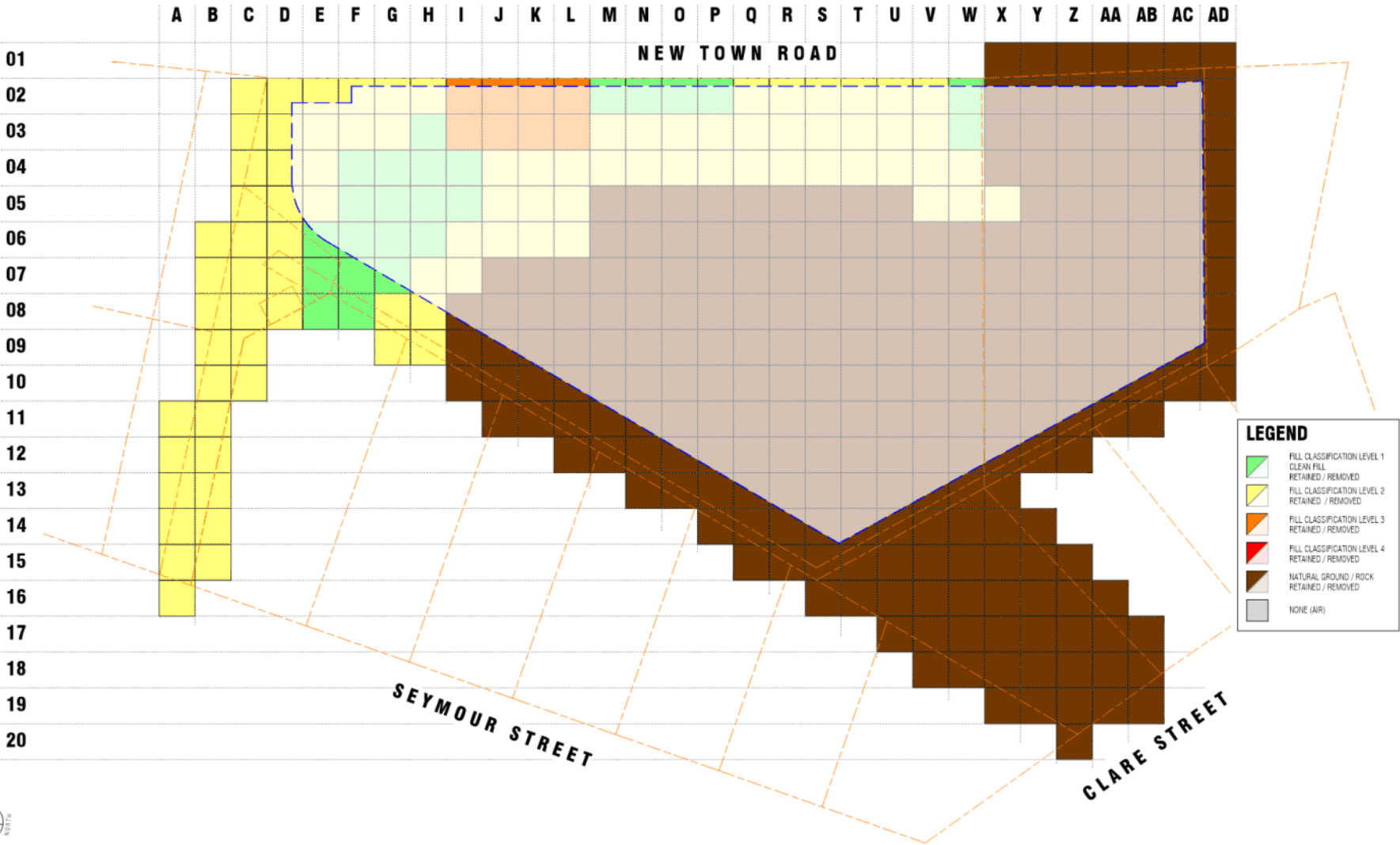


SOIL PROFILE PLAN - RL 52/53  
1:200 8/11



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SOIL PROFILE PLAN - RL 51/52



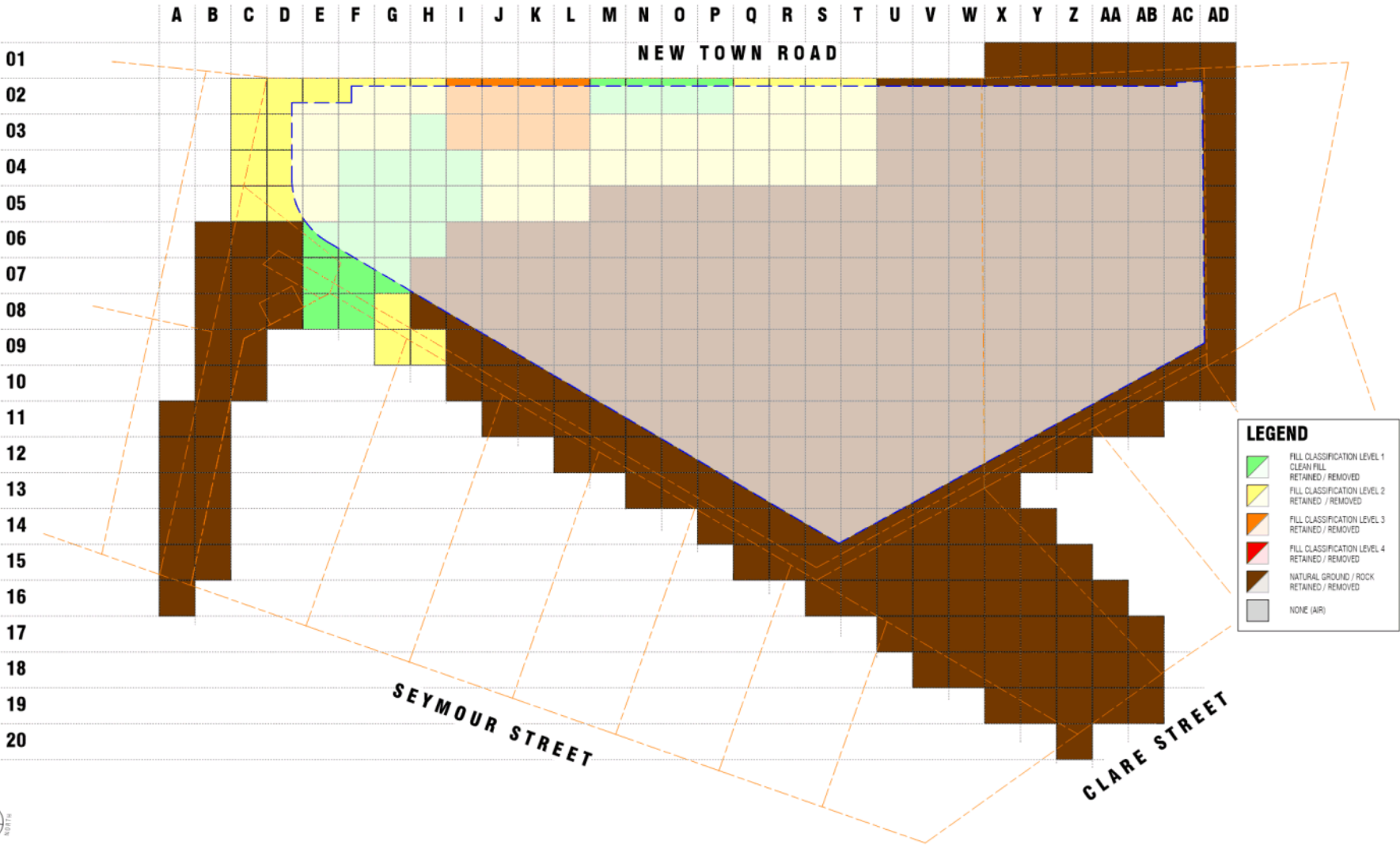
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2020.11.05  
15153 SK3122 D **Swanbury Pengglase**

ORIGINAL SHEET SIZE A1 PRINTED ON: 4/11/2020 9:25:18 PM





SOIL PROFILE PLAN - RL 50/51  
1:200

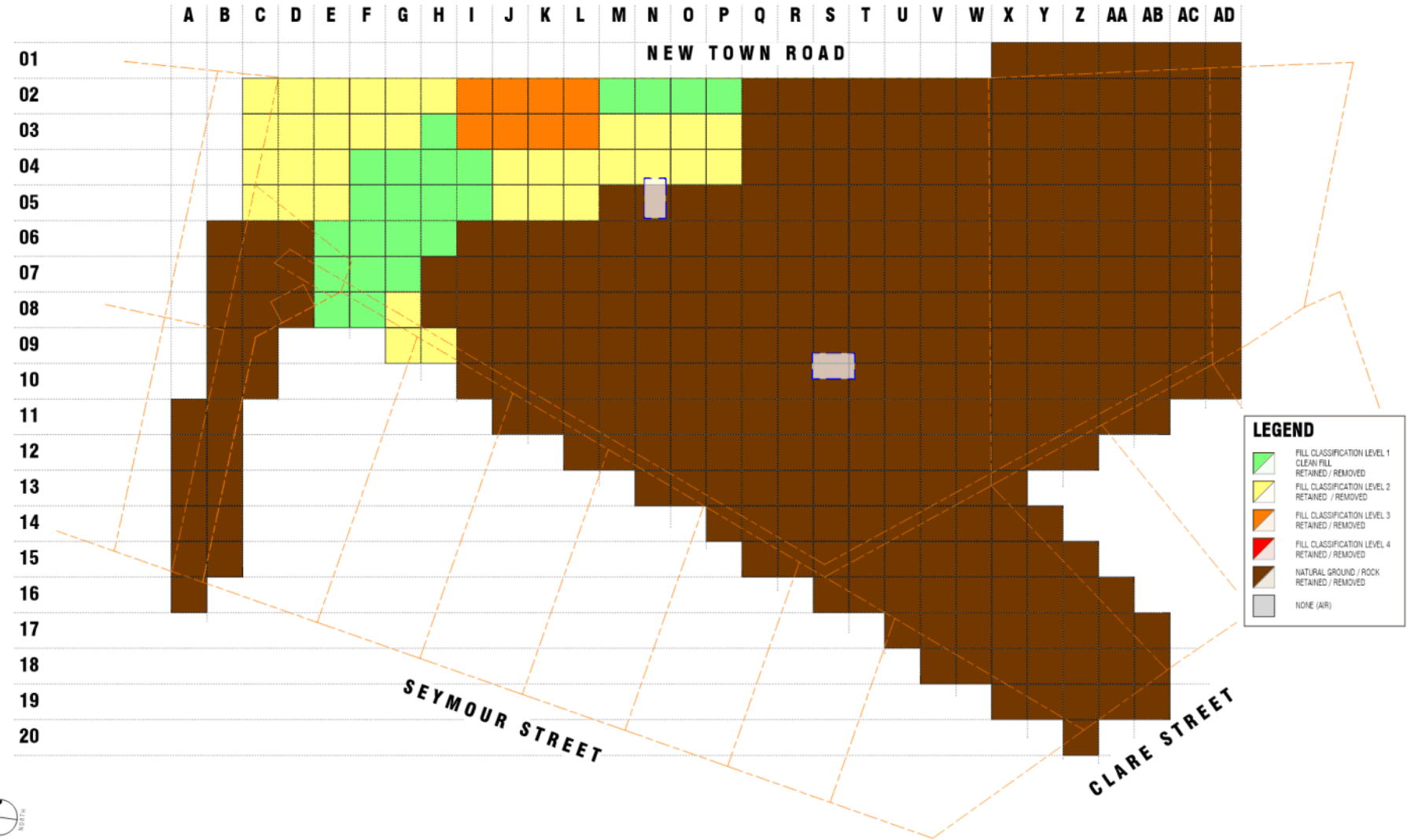


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15153 SK3123 D **Swanbury Pengglase**

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SOIL PROFILE PLAN - RL 49/50

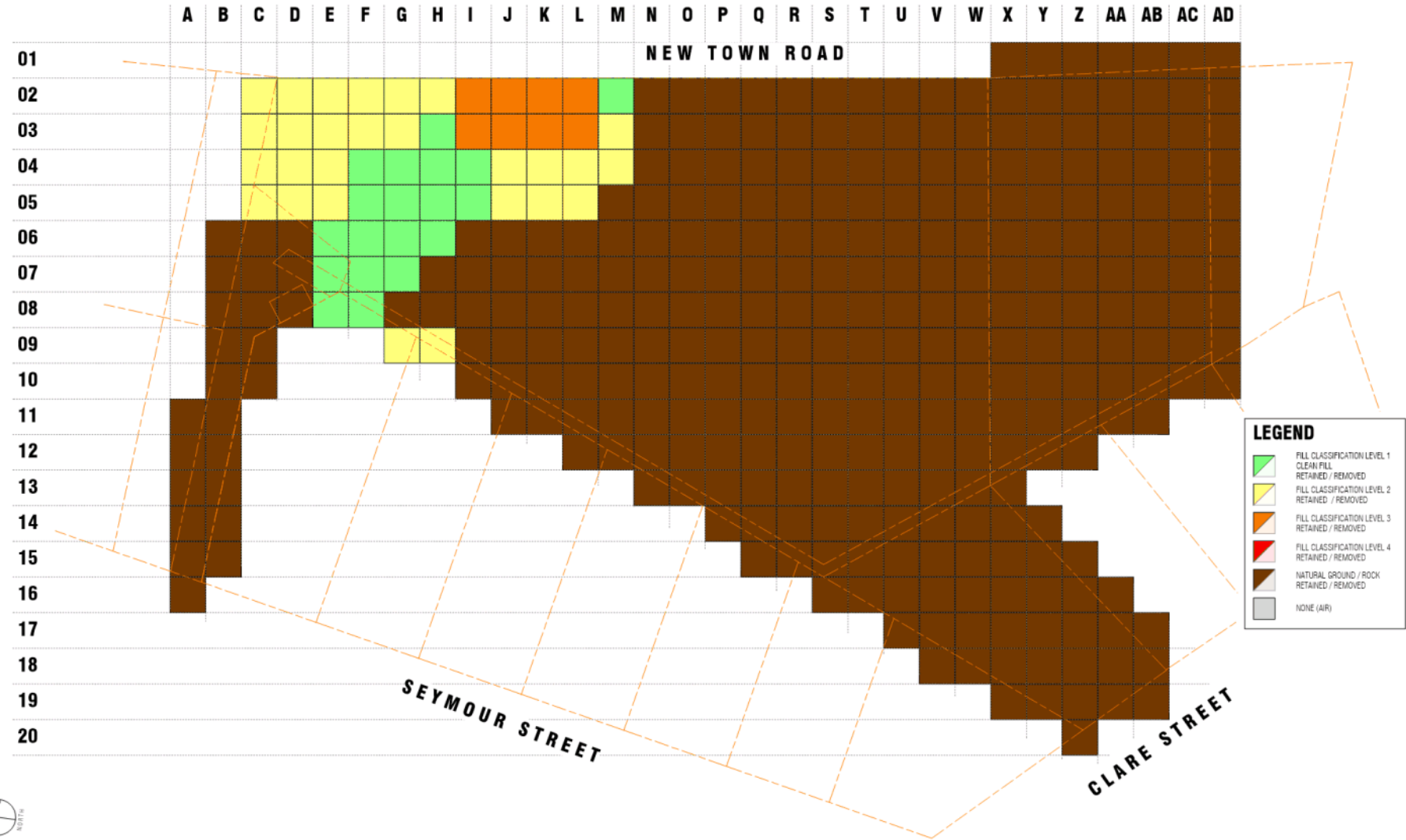


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15153 SK3124 D **Swanbury Pengglase**

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SOIL PROFILE PLAN - RL 48/49



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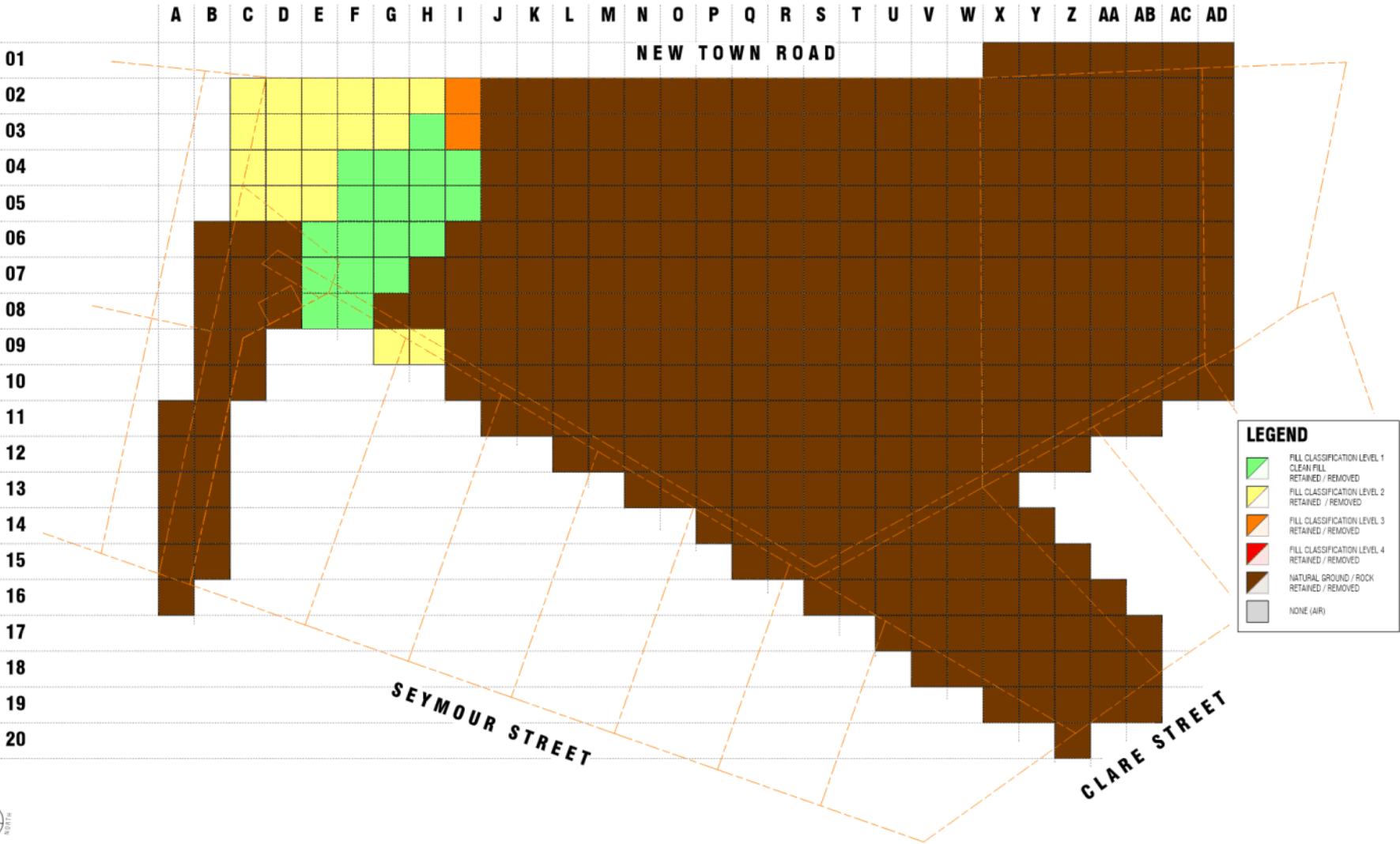
2020.11.05  
15153 SK3125 D

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SOIL PROFILE PLAN - RL 47/08

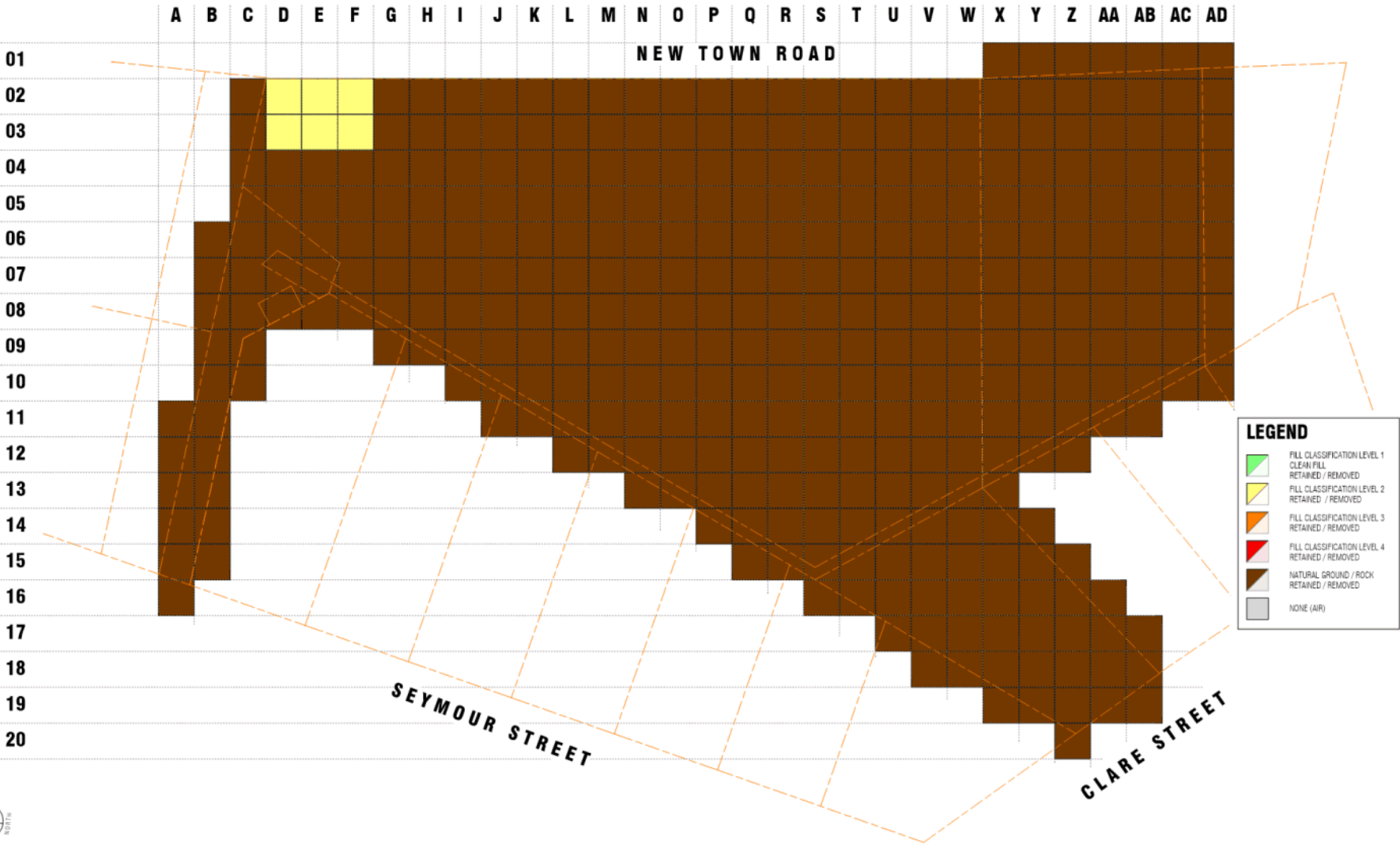


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15153 SK3126 D **Swanbury Pengglase**

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SOIL PROFILE PLAN - RL 66/17

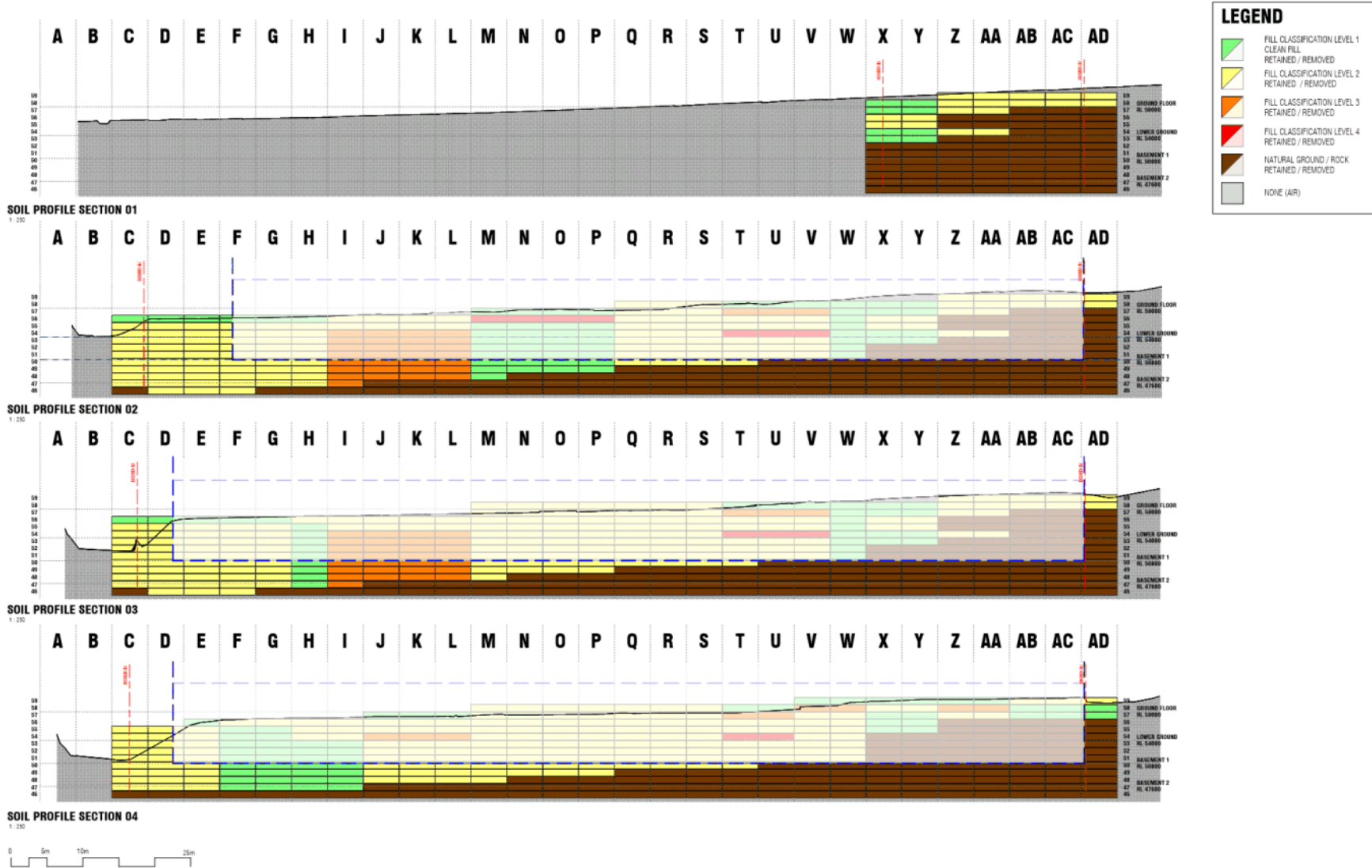


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2020.11.05  
15153 SK3127 D **Swanbury Pengglase**

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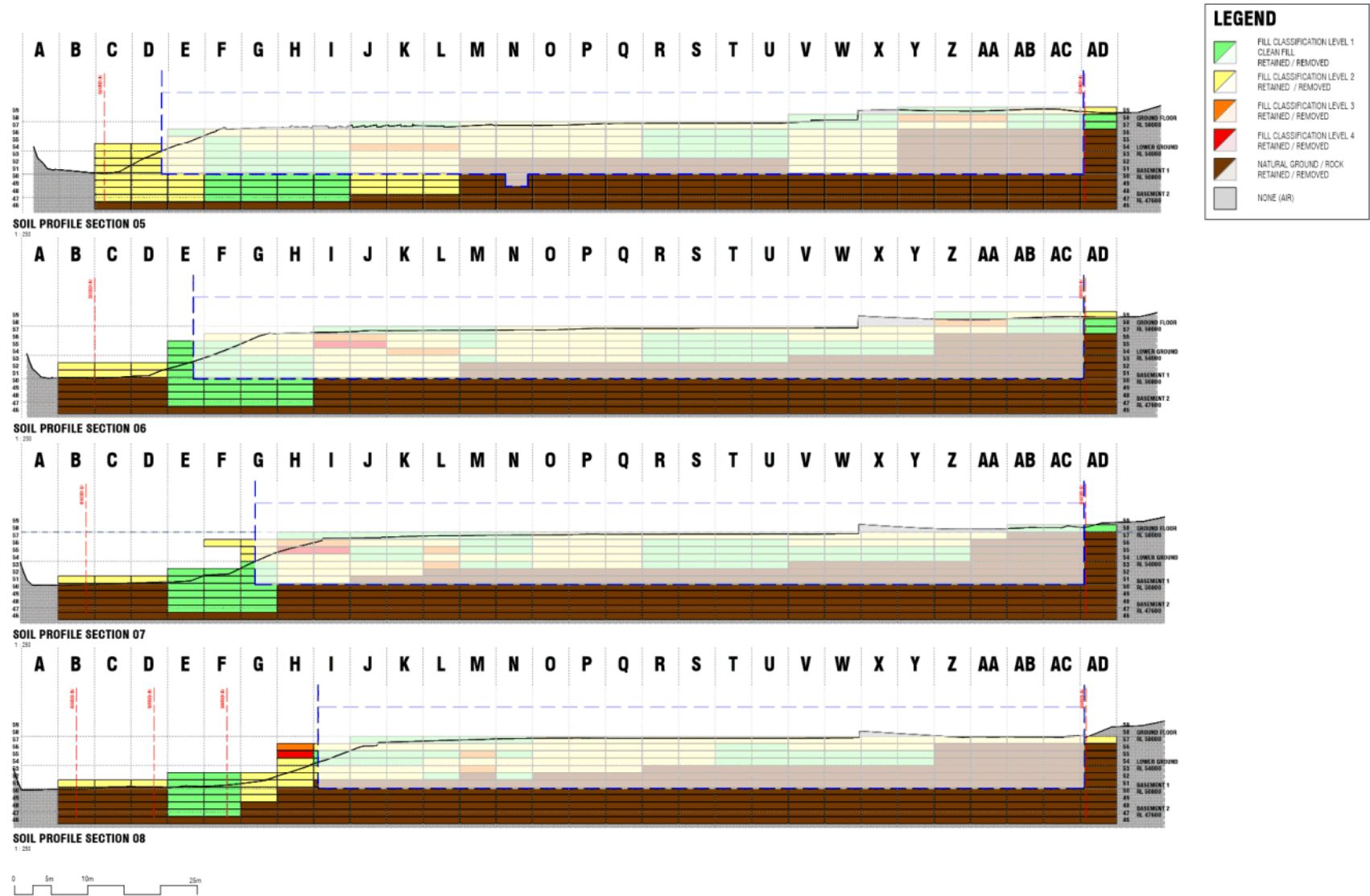
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2020.11.05  
15153 SK3131 D  
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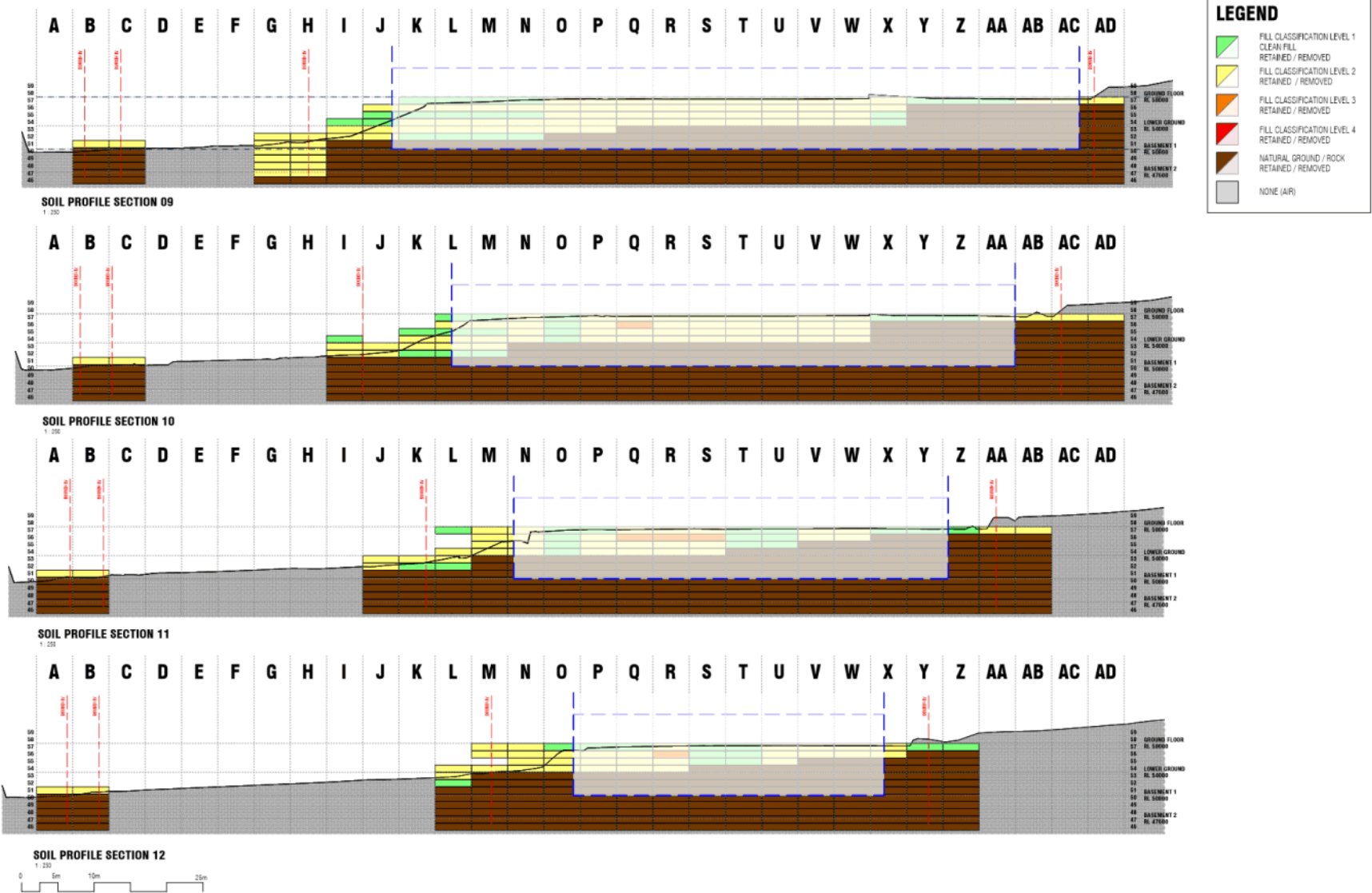


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15153 SK3132 D **Swanbury Pengglase**

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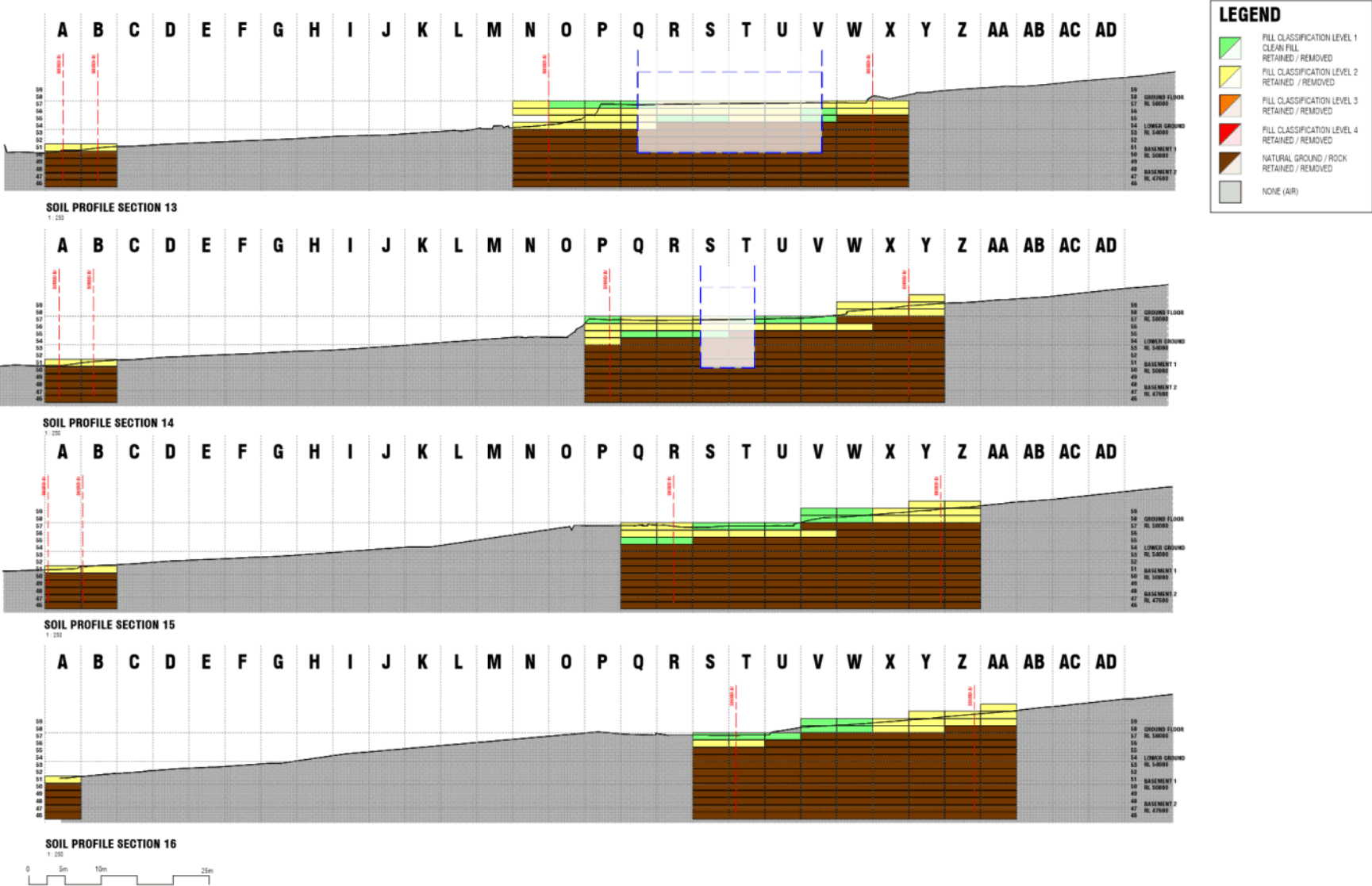


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15153 SK3133 D **Swanbury Pengglase**

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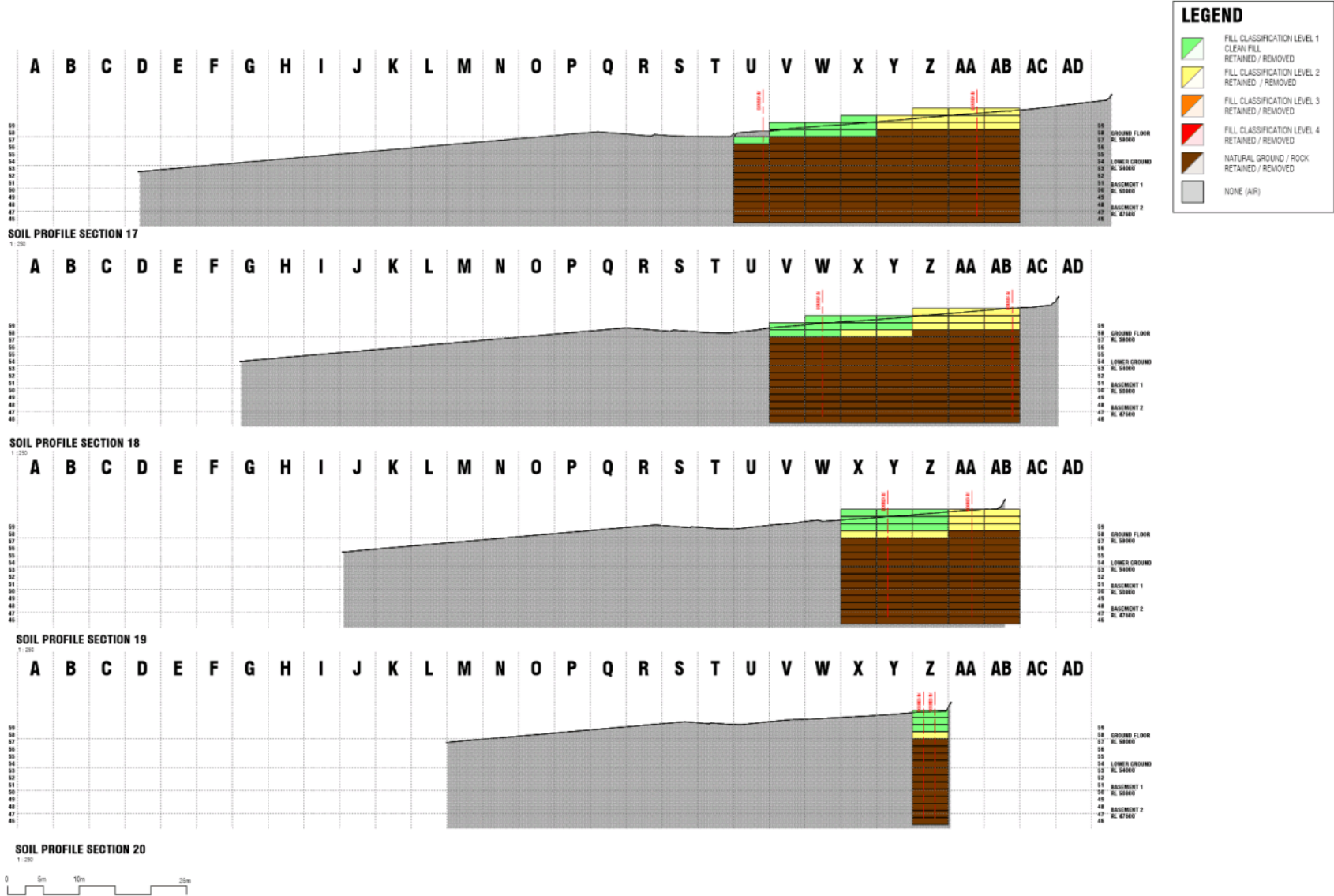
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15153 SK3134 D  
**Swanbury Pengglase**

ORIGINAL SHEET SIZE A1 PRINTED ON: 4/11/2020 9:28:13 PM



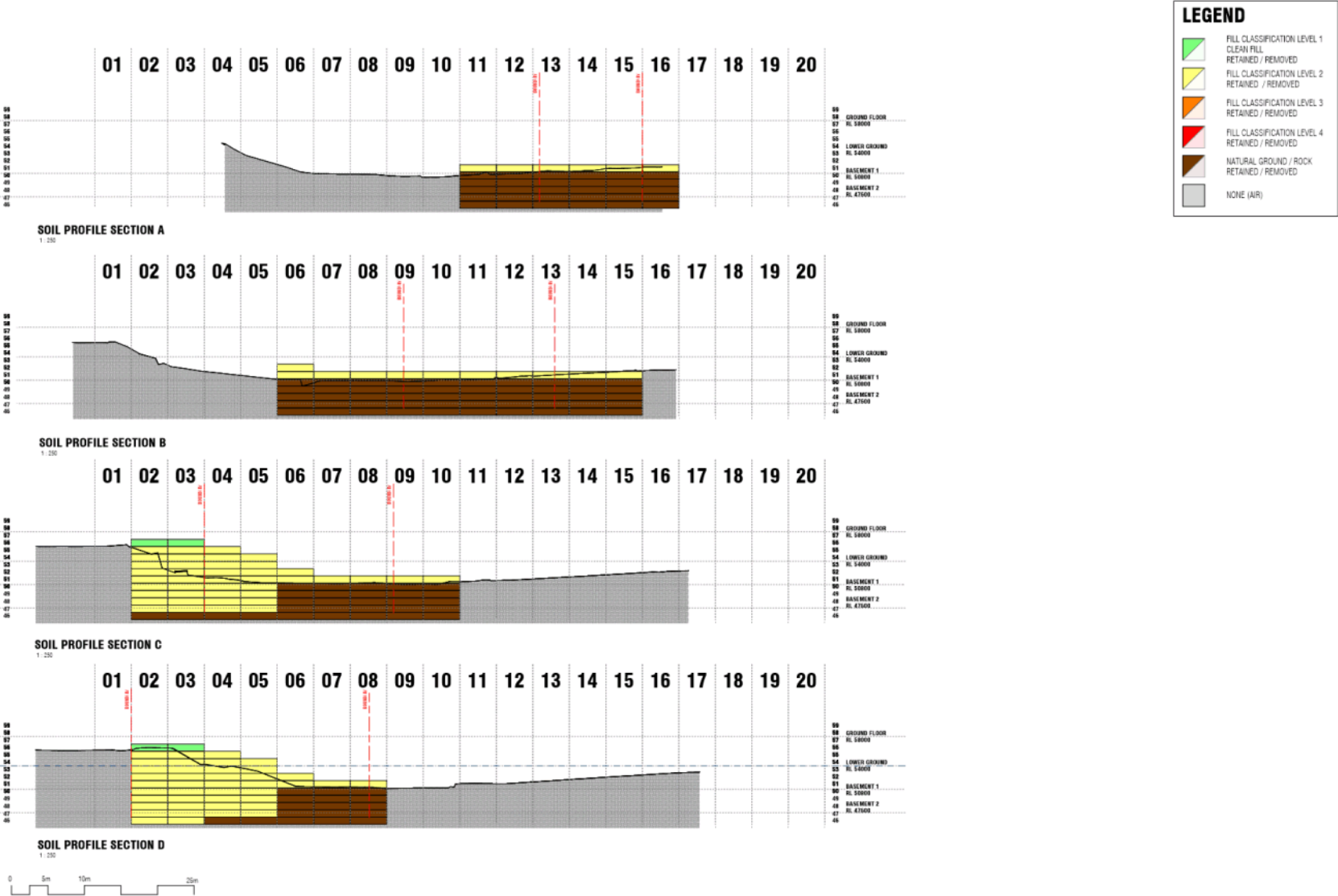


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2020.11.05  
15153 SK3135 D **Swanbury Pengglase**

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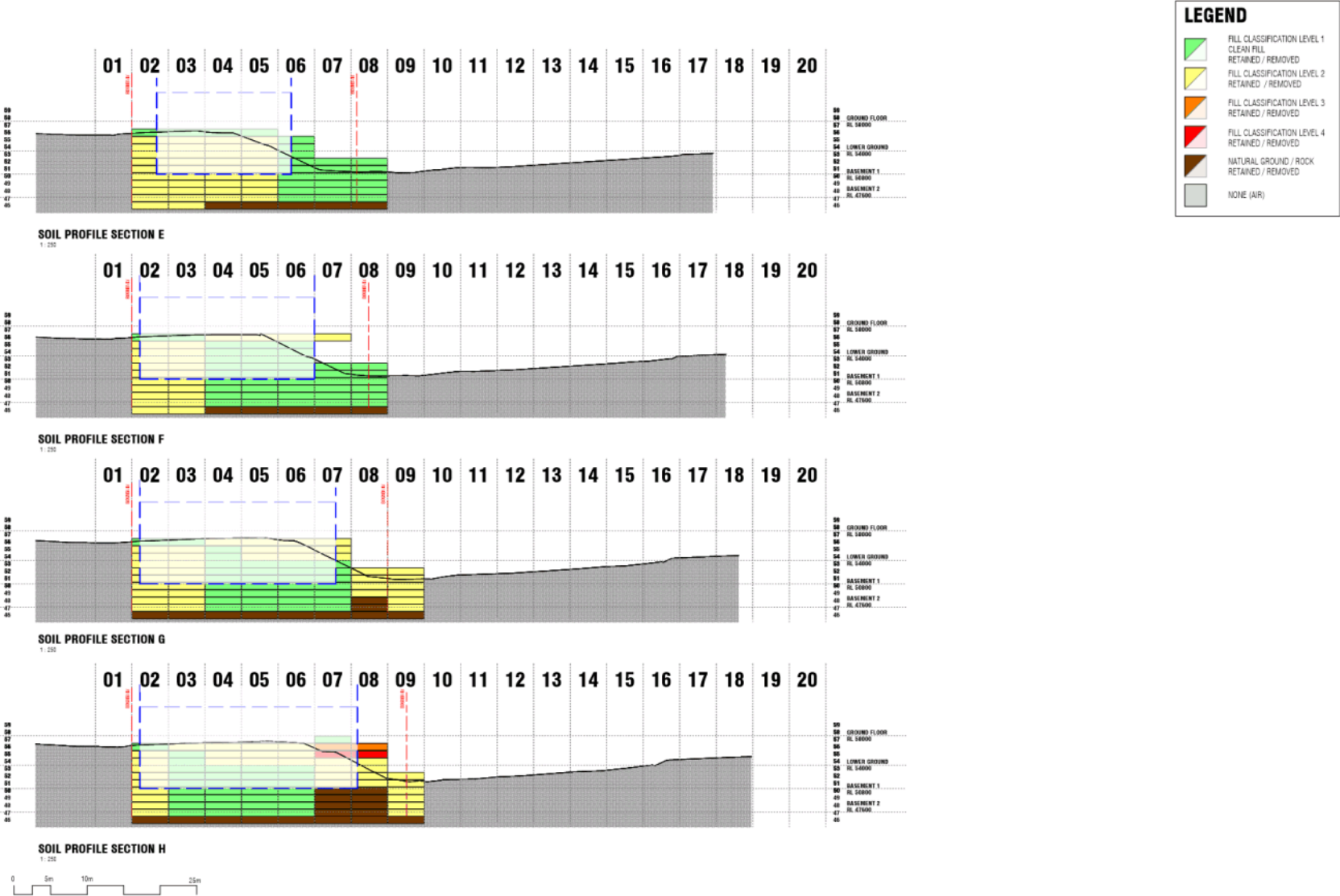


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2020.11.05  
15153 SK3136 D **Swanbury Pengglase**

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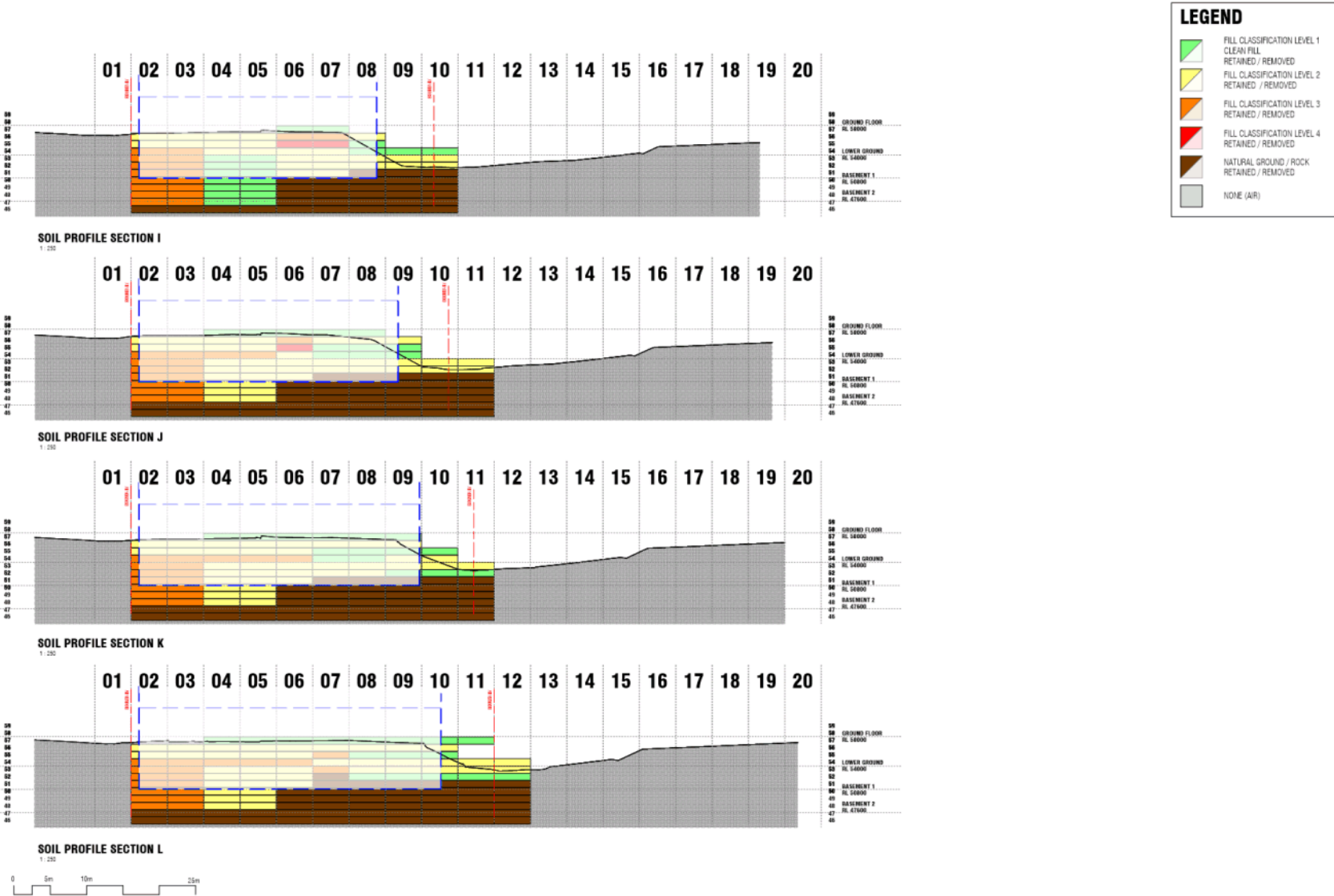
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2020.11.05  
15153 SK3137 D **Swanbury Pengglase**

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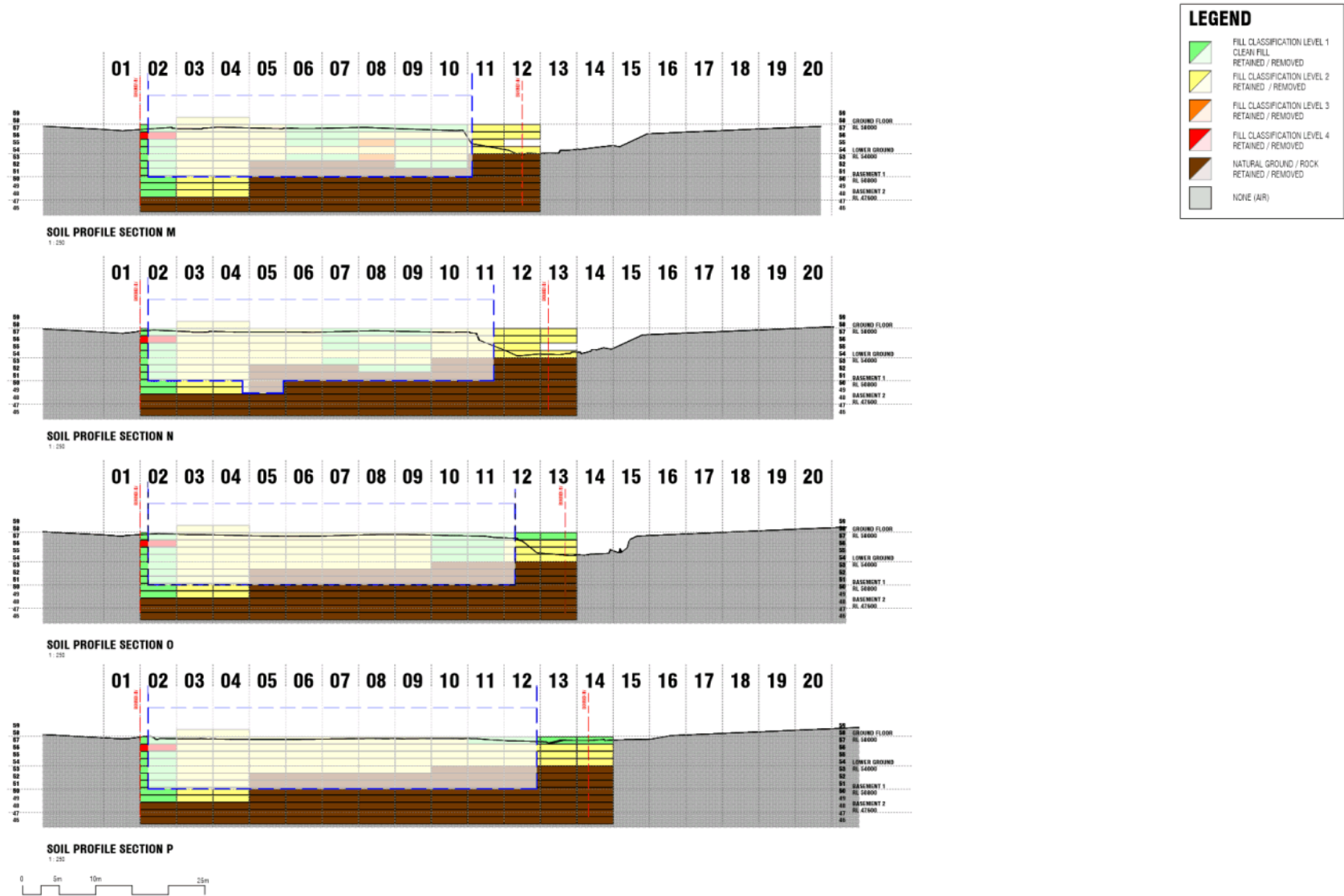


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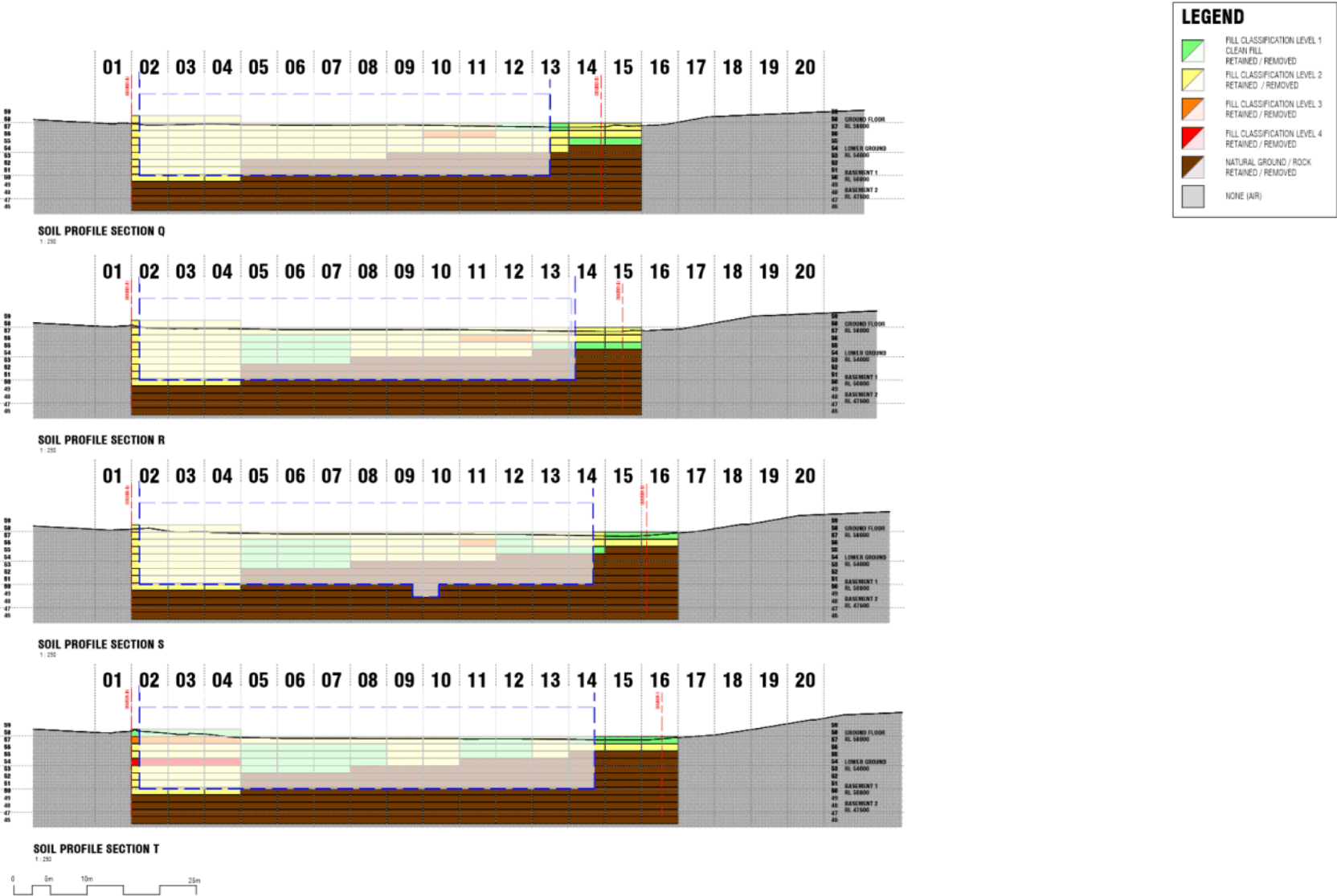
2020.11.05  
15153 SK3138 D **Swanbury Pengglase**

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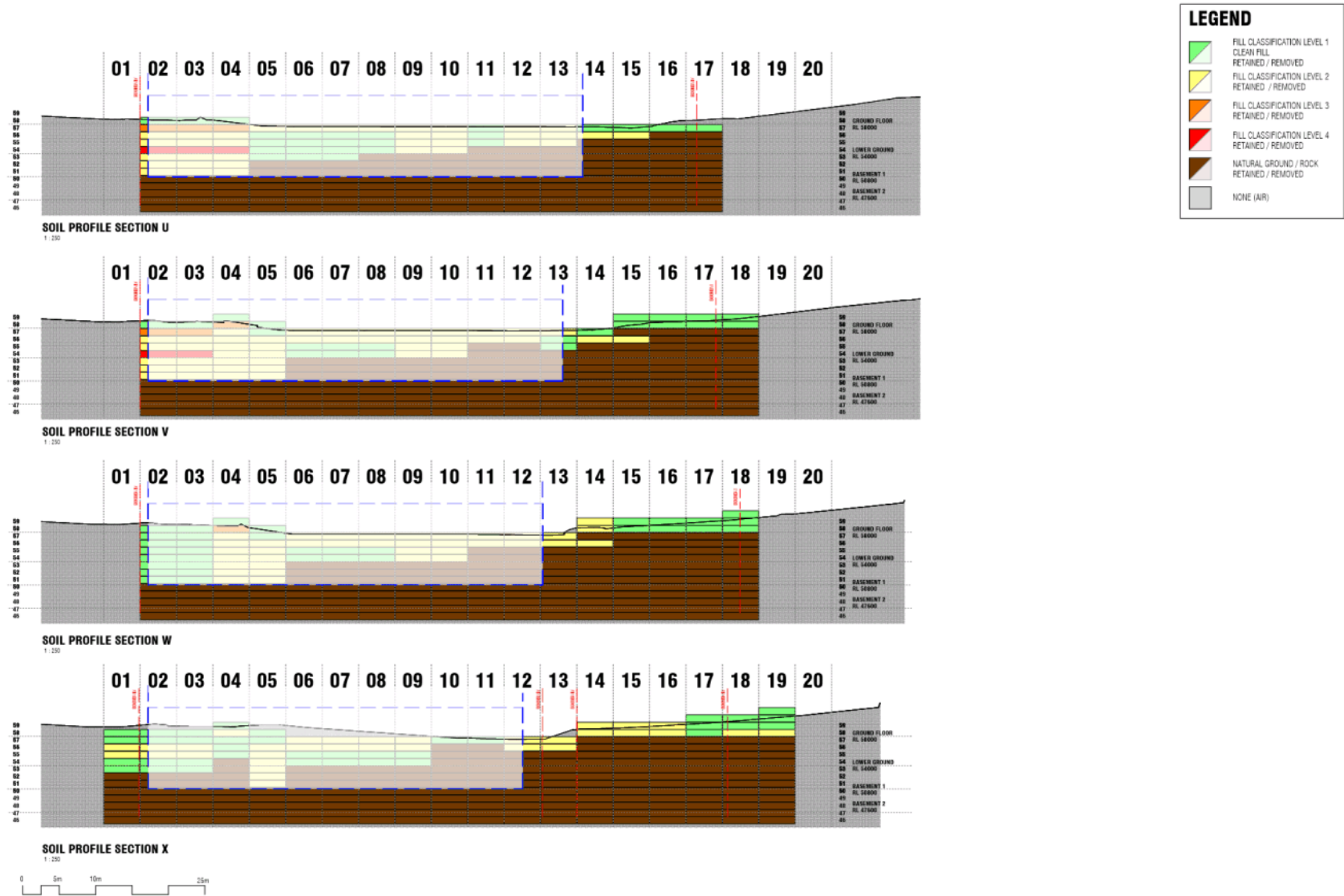
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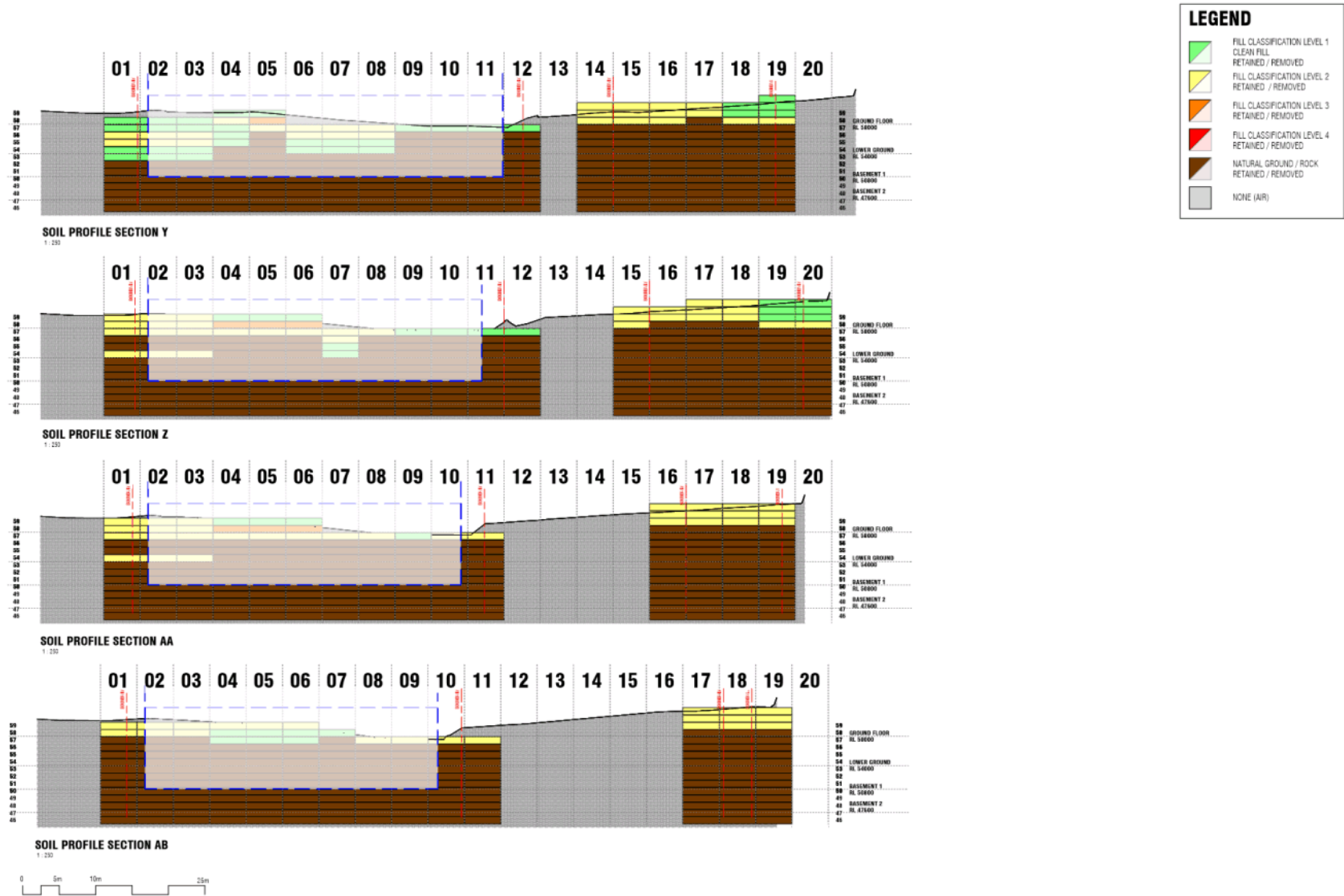
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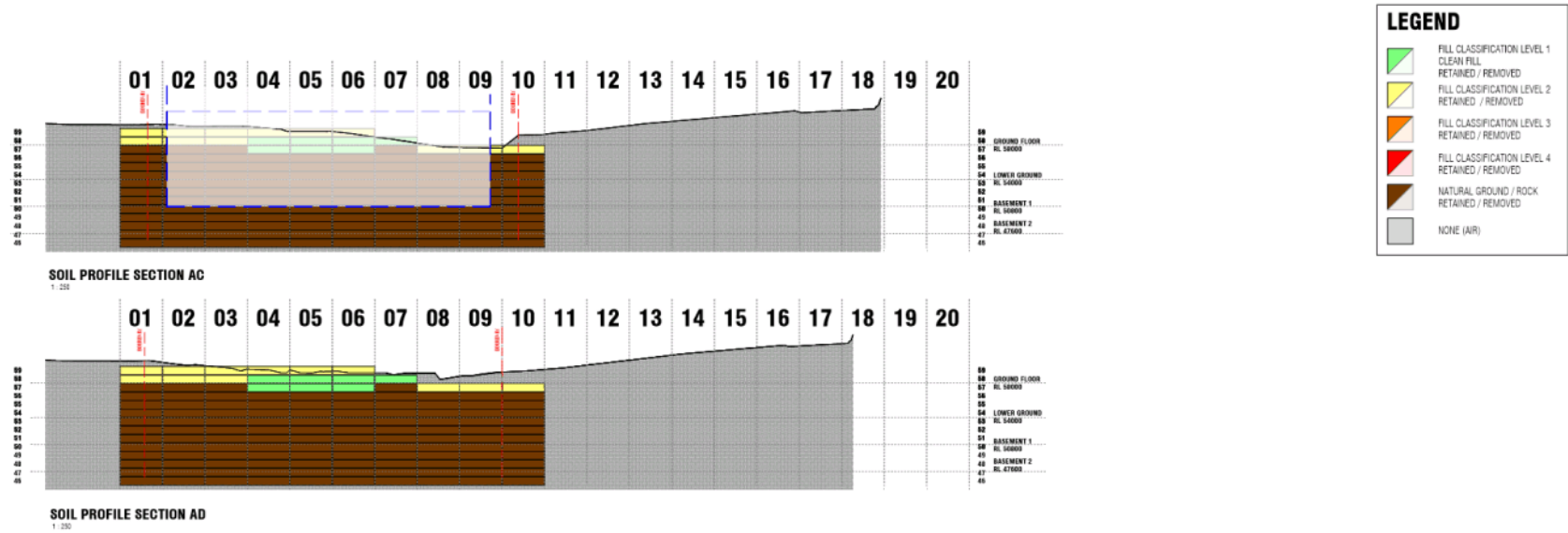
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2020.11.05  
15153 SK3143 D **Swanbury Pengglase**

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## Submission to Planning Authority Notice

Council Planning Permit No.	PLN-20-795	Council notice date	24/11/2020
<b>TasWater details</b>			
TasWater Reference No.	TWDA 2020/01986-HCC	Date of response	04/12/2020
TasWater Contact	Anthony Cengia	Phone No.	0474 933 293
<b>Response issued to</b>			
Council name	CITY OF HOBART		
Contact details	coh@hobartcity.com.au		
<b>Development details</b>			
Address	52 NEW TOWN RD, NEW TOWN	Property ID (PID)	5517180
Description of development	Demolition, New Building for Hospital Services, Business and Professional Services, and General Retail and Hire, Signage, and Associated Works		
<b>Schedule of drawings/documents</b>			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
JSA	17E99-20 Sheets C000 to S909	B	16/11/2020
Swanbury Penglase Architects	15153 Sheets SK3101, SK3102, SK3151, SK3272, SK3273, SK3274, SK3275	D	05/11/2020
Swanbury Penglase Architects	15153 Sheets SK3202, SK3203, SK3204	J	05/11/2020
Swanbury Penglase Architects	15153 Sheets SK3205, SK3206	I	05/11/2020
Swanbury Penglase Architects	15153 Sheet SK3207	H	05/11/2020
Swanbury Penglase Architects	15153 Sheet SK3231	F	05/11/2020
Swanbury Penglase Architects	15153 Sheets SK3276, SK3277, SK3401, SK3402, SK3403, SK3404, SK3405	C	05/11/2020
Swanbury Penglase Architects	15153 Sheets SK3301, SK3302, SK3303, SK3304, SK3305	G	05/11/2020
<b>Conditions</b>			
<b>SUBMISSION TO PLANNING AUTHORITY NOTICE OF PLANNING APPLICATION REFERRAL</b>			
Pursuant to the <i>Water and Sewerage Industry Act 2008</i> (TAS) Section 56P(1) TasWater imposes the following conditions on the permit for this application:			
<b>CONNECTIONS, METERING &amp; BACKFLOW</b>			
<p>1. A suitably sized water supply with metered connections and sewerage connection to the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit.</p> <p><b>Advice:</b> TasWater will not accept direct fire boosting from the network unless it can be demonstrated that the periodic testing of the system will not have a significant negative effect on our network and the minimum service requirements of other customers serviced by the network. To this end break tanks may be required with the rate of flow into the break tank controlled so that peak flows to fill the tank do not also cause negative effect on the network.</p>			



2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost.
3. Prior to commencing construction/use of the development, any water connection utilised for construction/the development must have a backflow prevention device and water meter installed, to the satisfaction of TasWater.

#### **TRADE WASTE**

4. Prior to the commencement of operation, the developer/property owner must obtain Consent to discharge Trade Waste from TasWater.
5. The developer must install appropriately sized and suitable pre-treatment devices prior to gaining Consent to discharge.
6. The Developer/property owner must comply with all TasWater conditions prescribed in the Trade Waste Consent

#### **ASSET CREATION & INFRASTRUCTURE WORKS**

7. Plans submitted with the application for Certificate(s) for Certifiable Work (Building and/or Plumbing) / Engineering Design Approval must, to the satisfaction of TasWater show, all existing, redundant and/or proposed property services and mains.
8. Prior to applying for a Permit to Construct new infrastructure the developer must obtain from TasWater Engineering Design Approval for new TasWater infrastructure. The application for Engineering Design Approval must include engineering design plans prepared by a suitably qualified person showing the hydraulic servicing requirements for water and sewerage to TasWater's satisfaction.
9. Prior to works commencing, a Permit to Construct must be applied for and issued by TasWater. All infrastructure works must be inspected by TasWater and be to TasWater's satisfaction.
10. In addition to any other conditions in this permit, all works must be constructed under the supervision of a suitably qualified person in accordance with TasWater's requirements.
11. Prior to the issue of a Certificate of Water and sewerage Compliance (Building and/or Plumbing) all additions, extensions, alterations or upgrades to TasWater's water and sewerage infrastructure required to service the development are to be constructed at the expense of the developer to the satisfaction of TasWater, with live connections performed by TasWater.
12. After testing to TasWater's requirements, of newly created works, the developer must apply to TasWater for connection of these works to existing TasWater infrastructure, at the developer's cost.
13. At practical completion of the water and sewerage works and prior to TasWater issuing a Certificate of Water and Sewerage Compliance (Building and/or Plumbing), the developer must obtain a Certificate of Practical Completion from TasWater for the works that will be transferred to TasWater. To obtain a Certificate of Practical Completion:
  - a. Written confirmation from the supervising suitably qualified person certifying that the works have been constructed in accordance with the TasWater approved plans and specifications and that the appropriate level of workmanship has been achieved;
  - b. A request for a joint on-site inspection with TasWater's authorised representative must be made;
  - c. Security for the twelve (12) month defects liability period to the value of 10% of the works must be lodged with TasWater. This security must be in the form of a bank guarantee;



- d. As constructed drawings must be prepared by a suitably qualified person to TasWater's satisfaction and forwarded to TasWater.
14. After the Certificate of Practical Completion has been issued, a 12 month defects liability period applies to this infrastructure. During this period all defects must be rectified at the developer's cost and to the satisfaction of TasWater. A further 12 month defects liability period may be applied to defects after rectification. TasWater may, at its discretion, undertake rectification of any defects at the developer's cost. Upon completion, of the defects liability period the developer must request TasWater to issue a "Certificate of Final Acceptance". The newly constructed infrastructure will be transferred to TasWater upon issue of this certificate and TasWater will release any security held for the defects liability period.
  15. The developer must take all precautions to protect existing TasWater infrastructure. Any damage caused to existing TasWater infrastructure during the construction period must be promptly reported to TasWater and repaired by TasWater at the developer's cost.
  16. Ground levels over the TasWater assets and/or easements must not be altered without the written approval of TasWater.
  17. A construction management plan must be submitted with the application for TasWater Engineering Design Approval. The construction management plan must detail how the new TasWater infrastructure will be constructed while maintaining current levels of services provided by TasWater to the community. The construction plan must also include a risk assessment and contingency plans covering major risks to TasWater during any works. The construction plan must be to the satisfaction of TasWater prior to TasWater's Engineering Design Approval being issued.
- EASEMENTS & ENDORSEMENTS**
18. Pipeline easements, to TasWater's satisfaction, must be created over any existing or proposed TasWater infrastructure and be in accordance with TasWater's standard pipeline easement conditions.
  19. Prior to the issue of a Certificate(s) for Certifiable Work (Building and/or Plumbing) / Engineering Design Approval from TasWater, the applicant must submit a copy of the completed Transfer for the provision of a Pipeline and Services Easement(s) to the benefit of TasWater over 46 NEW TOWN RD NEW TOWN (C.T. 76403/1) & 7A CLARE ST NEW TOWN (C.T. 71337/3) to cover proposed TasWater infrastructure.
- 56W CONSENT**
20. Prior to the issue of the Certificate for Certifiable Work (Building) and/or (Plumbing) by TasWater the applicant or landowner as the case may be must make application to TasWater pursuant to section 56W of the Water and Sewerage Industry Act 2008 for its consent in respect of that part of the development which is built within a TasWater easement or over or within two metres of TasWater infrastructure.
- DEVELOPMENT ASSESSMENT FEES**
21. The applicant or landowner as the case may be, must pay a development assessment fee of \$1,139.79, as approved by the Economic Regulator and the fee will be indexed, until the date paid to TasWater.
- The payment is required within 30 days of the issue of an invoice by TasWater.





## Advice

### General

For information on TasWater development standards, please visit

<https://www.taswater.com.au/Development/Technical-Standards>

For application forms please visit <http://www.taswater.com.au/Development/Forms>

### Service Locations

Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.

- A permit is required to work within TasWater's easements or in the vicinity of its infrastructure. Further information can be obtained from TasWater
- TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit [www.taswater.com.au/Development/Service-location](http://www.taswater.com.au/Development/Service-location) for a list of companies
- TasWater will locate residential water stop taps free of charge
- Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.

### Trade Waste

Prior to any Building and/or Plumbing work being undertaken, the applicant will need to make an application to TasWater for a Certificate for Certifiable Work (Building and/or Plumbing). The Certificate for Certifiable Work (Building and/or Plumbing) must accompany all documentation submitted to Council. Documentation must include a floor and site plan with:

Location of all pre-treatment devices

Schematic drawings and specification (including the size and type) of any proposed pre-treatment device and drainage design; and

Location of an accessible sampling point in accordance with the TasWater Trade Waste Flow Meter and Sampling Specifications for sampling discharge.

At the time of submitting the Certificate for Certifiable Work (Building and/or Plumbing) a Trade Waste Application together with the General Supplement form is also required.

If the nature of the business changes or the business is sold, TasWater is required to be informed in order to review the pre-treatment assessment.

The application forms are available at <http://www.taswater.com.au/Customers/Liquid-Trade-Waste/Commercial>.

### 56W Consent

The plans submitted with the application for the Certificate for Certifiable Work (Building) and/or (Plumbing) will need to show footings of proposed buildings located over or within 2.0m from TasWater pipes and will need to be designed by a suitably qualified person to adequately protect the integrity of TasWater's infrastructure, and to TasWater's satisfaction, be in accordance with AS3500 Part 2.2 Section 3.8 to ensure that no loads are transferred to TasWater's pipes. These plans will need to also include a cross sectional view through the footings which clearly shows;

- Existing pipe depth and proposed finished surface levels over the pipe;
- The line of influence from the base of the footing must pass below the invert of the pipe and be clear of the pipe trench and;



(c) A note on the plan indicating how the pipe location and depth were ascertained.

**Boundary Trap Area**

The proposed development is within a boundary trap area and the developer will need to provide a boundary trap that prevents noxious gases or persistent odours back venting into the property's sanitary drain. The boundary trap is to be contained within the property boundaries and the property owner remains responsible for the ownership, operation and maintenance of the boundary trap.

**Declaration**

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

**Authorised by**

A handwritten signature in black ink, appearing to read "J. Taylor".

**Jason Taylor**

Development Assessment Manager

**TasWater Contact Details**

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au