

# SUPPORTING INFORMATION

# (VOLUME 2)

# **CITY PLANNING COMMITTEE MEETING**

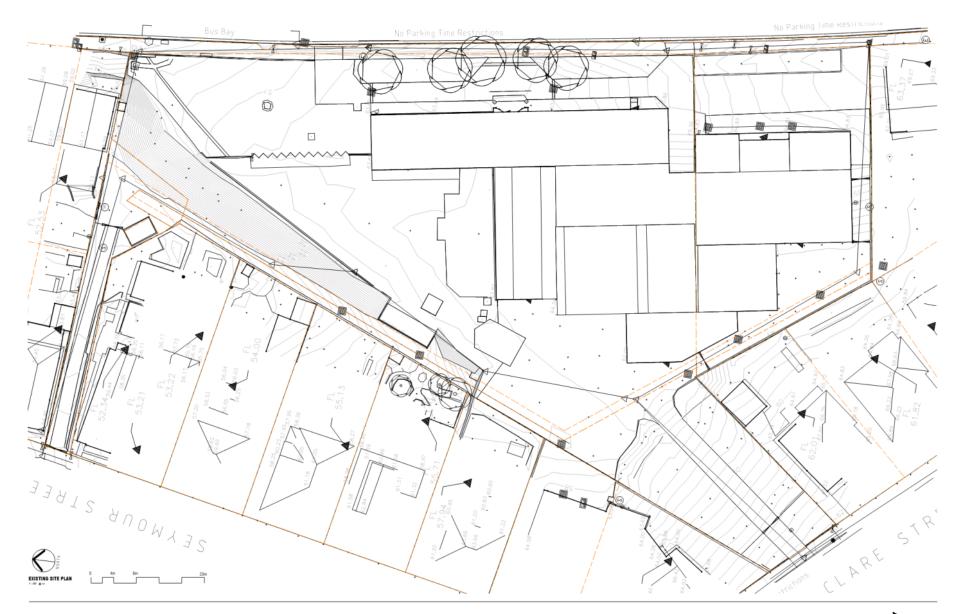
# **OPEN PORTION OF THE MEETING**

### MONDAY, 1 MARCH 2021 AT 5:00 PM VENUE: COUNCIL CHAMBER, TOWN HALL

## TABLE OF CONTENTS

- 7.1.1 48-50 New Town Road and 52 New Town Road and 46
  New Town Road and 7A Clare Street, New Town and Adjacent Road Reserve
  Demolition, New Building for Hospital Services, Business and Professional Services, and General Retail and Hire, Signage, and Associated Works

#### Page 2 ATTACHMENT F



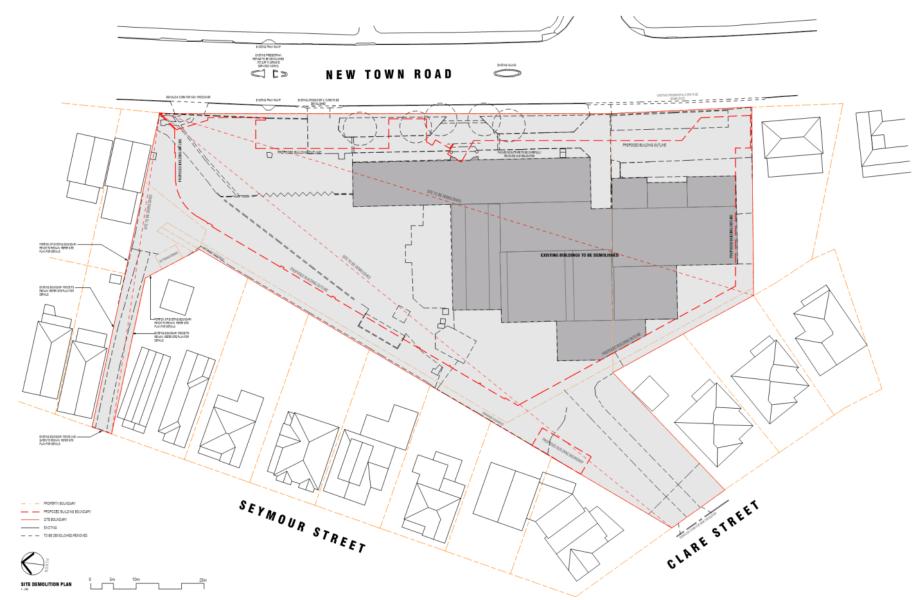
#### NEW TOWN MEDICAL CENTRE 48-52 NEW TOWN ROAD, NEW TOWN, HOBART, TASMANIA



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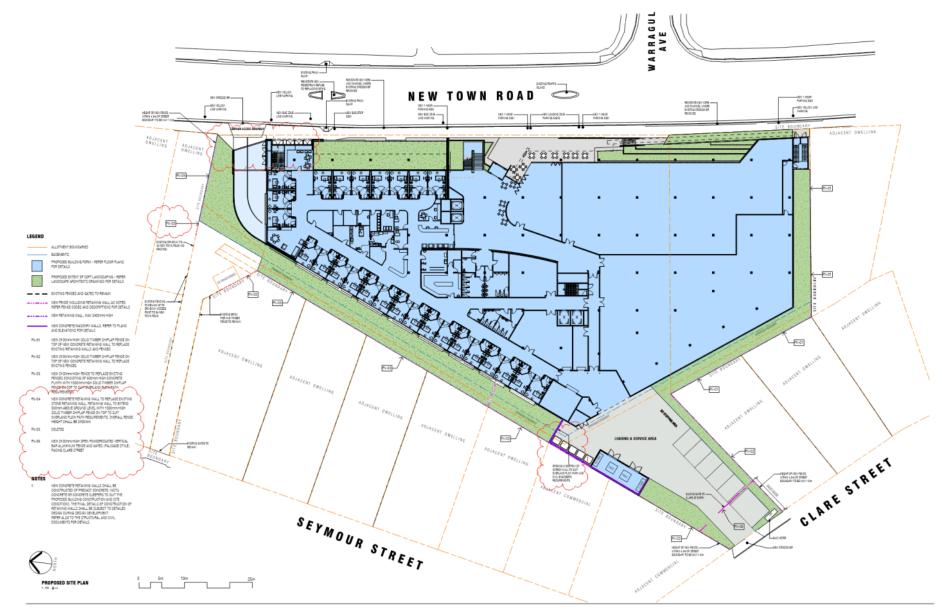
#### NEW TOWN MEDICAL CENTRE 48-52 New Town Road, New Town, Hobart, Tasmania



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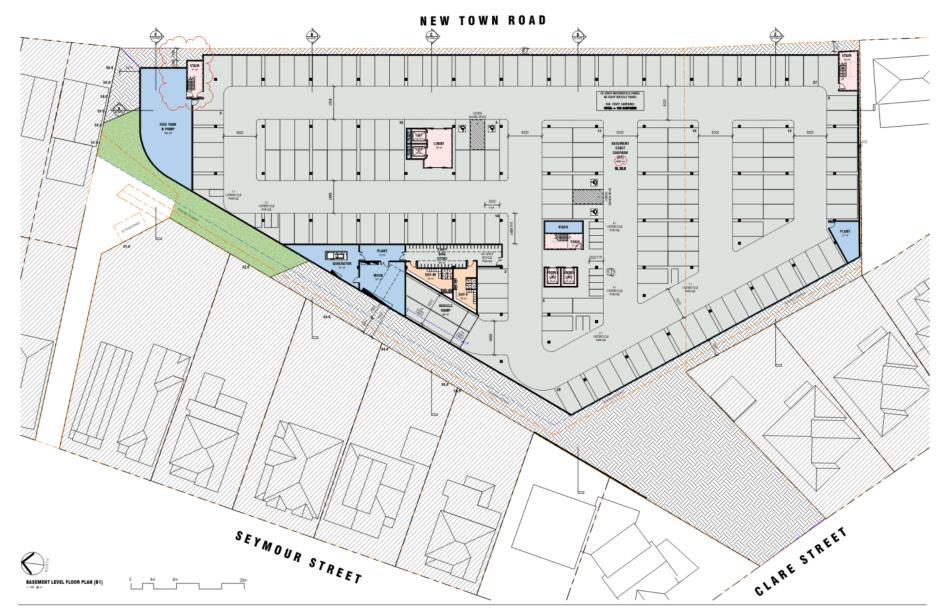
#### NEW TOWN MEDICAL CENTRE 48-52 New Town Road, New Town, Hobart, Tasmania



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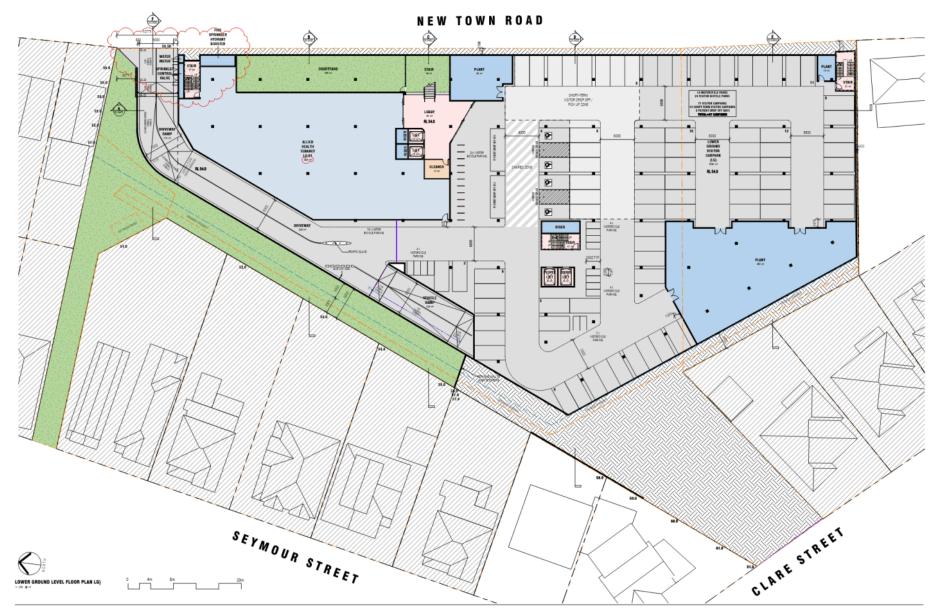
#### NEW TOWN MEDICAL CENTRE 48-52 NEW TOWN ROAD, NEW TOWN, HOBART, TASMANIA



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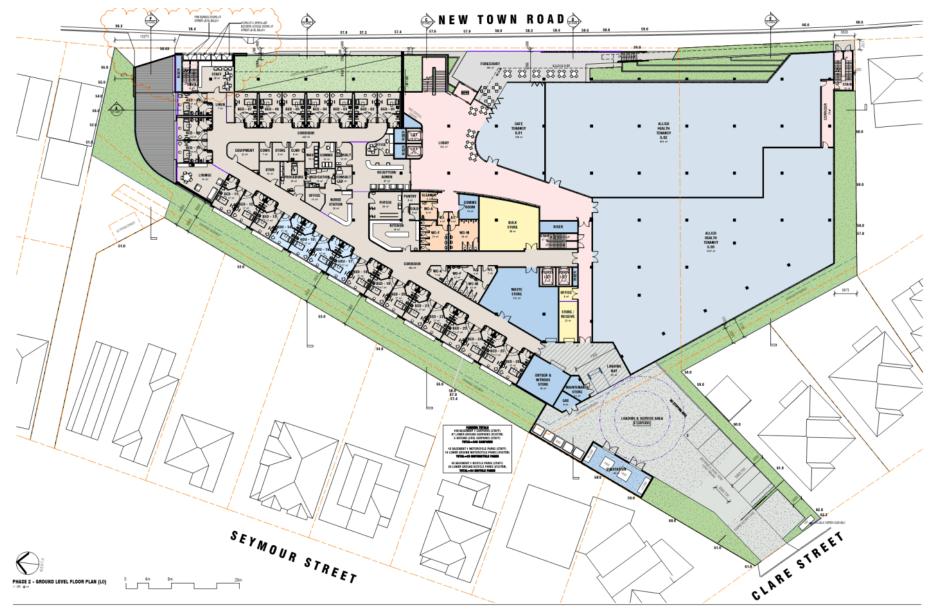


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#### NEW TOWN MEDICAL CENTRE 48-52 New Town Road, New Town, Hobart, Tasmania

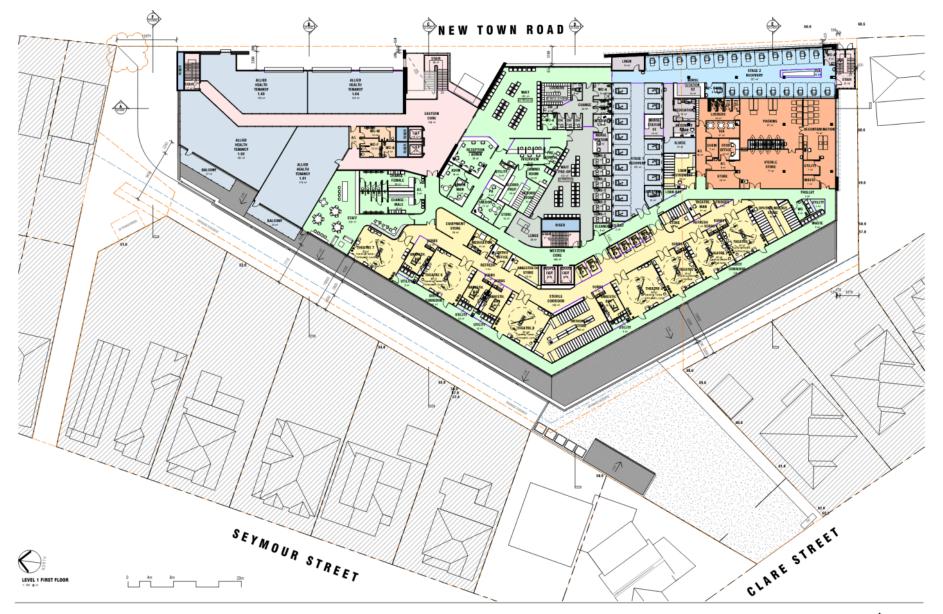


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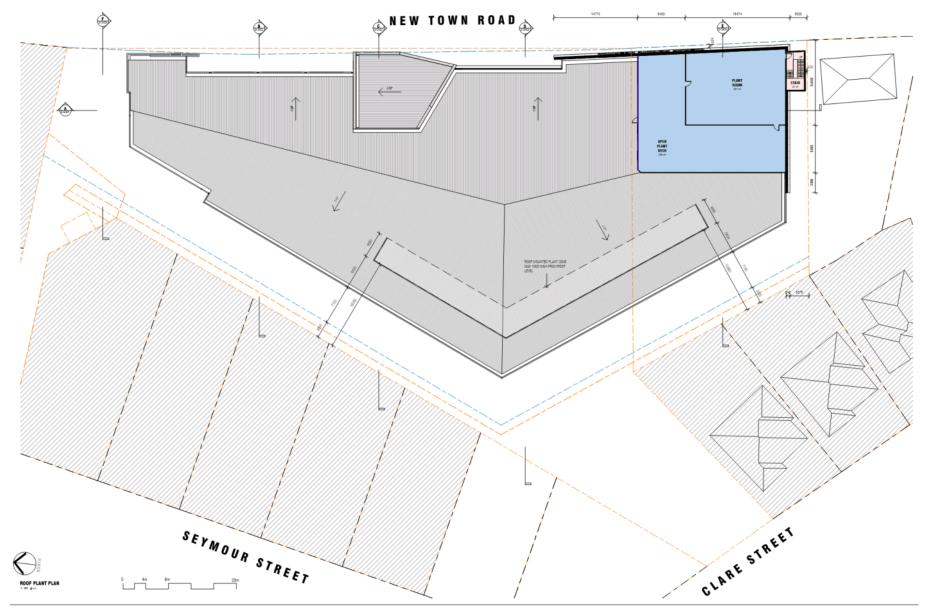


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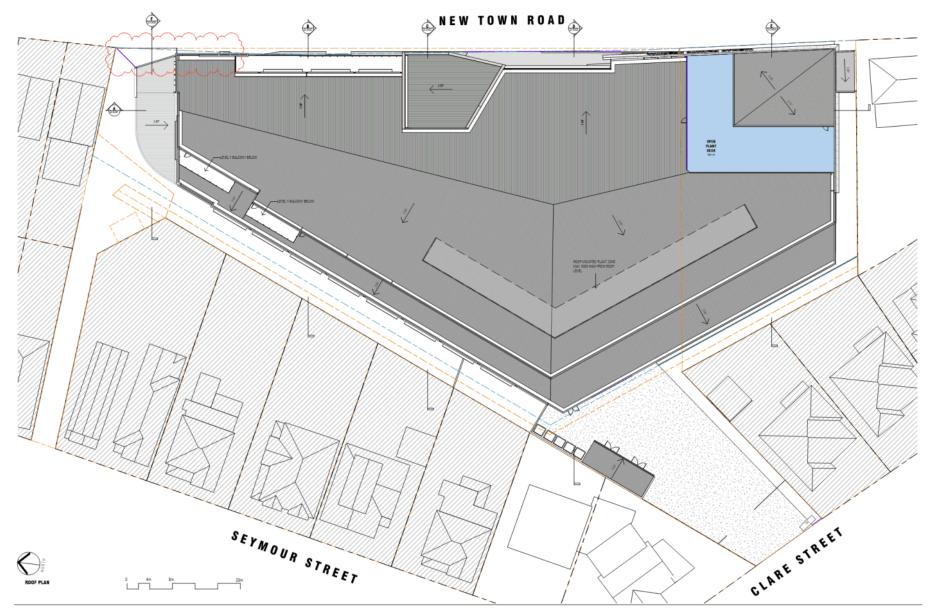
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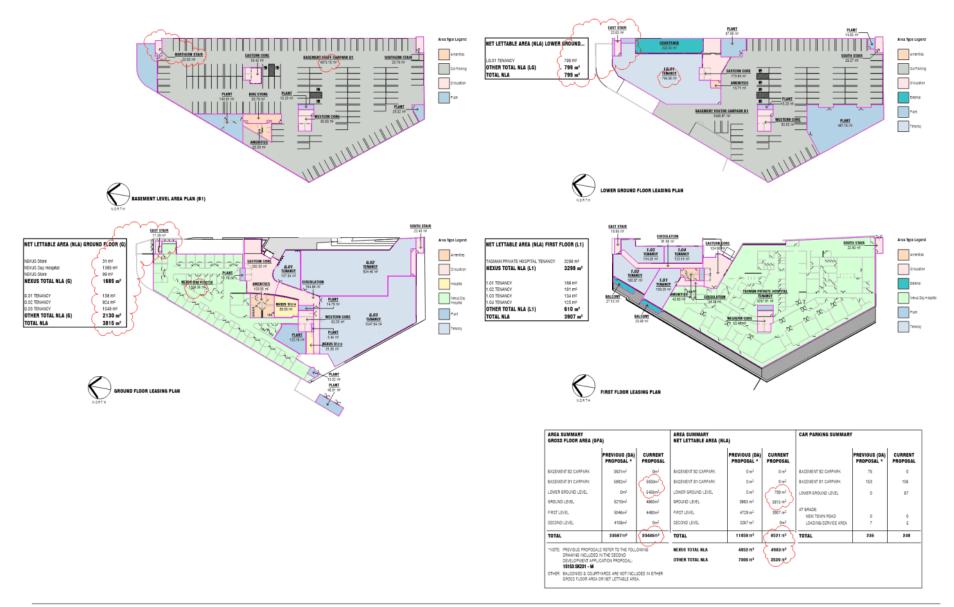


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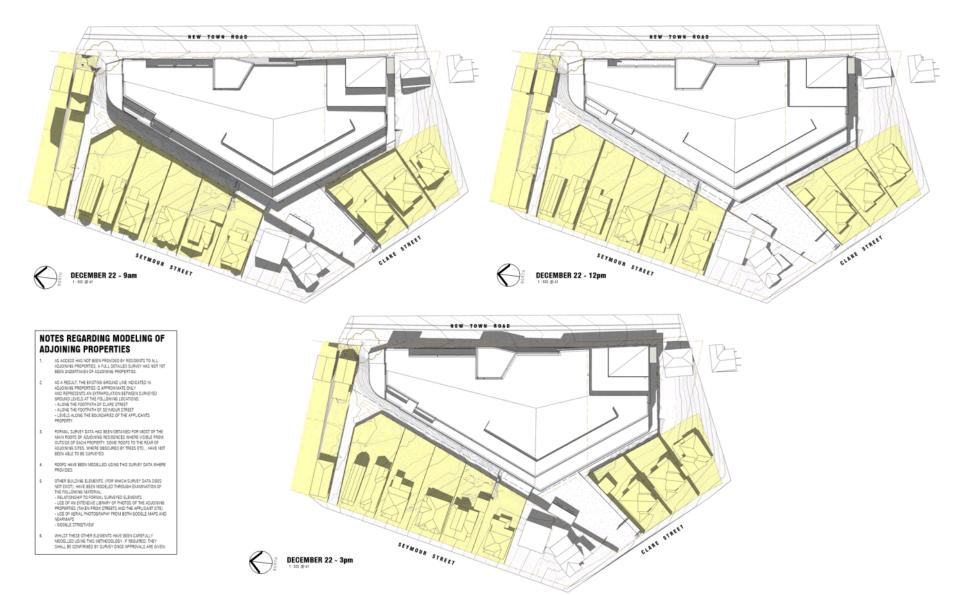
#### NEW TOWN MEDICAL CENTRE 48-52 New Town Road, New Town, Hobart, Tasmania

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#### NEW TOWN MEDICAL CENTRE 48-52 NEW TOWN ROAD, NEW TOWN, HOBART, TASMANIA



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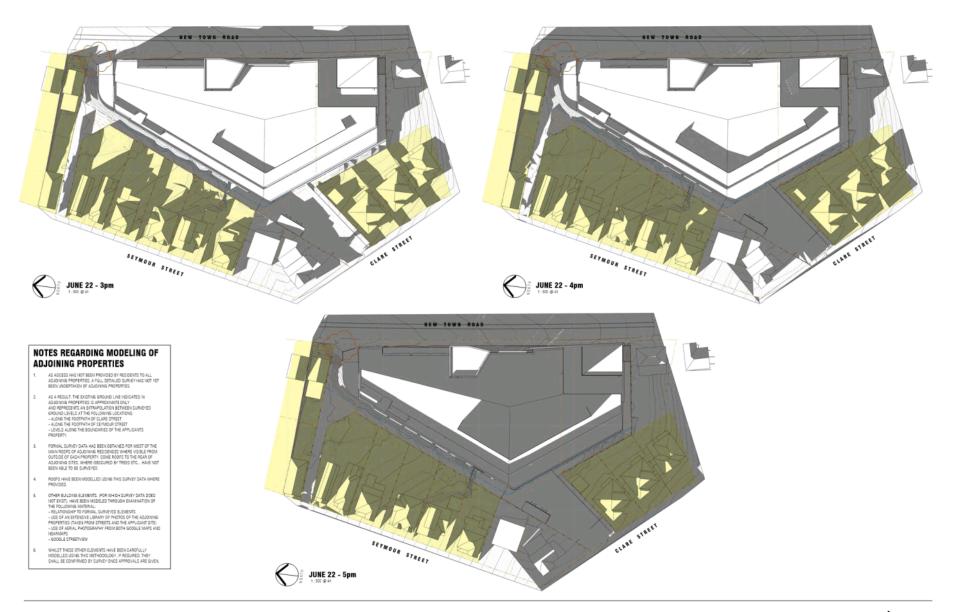


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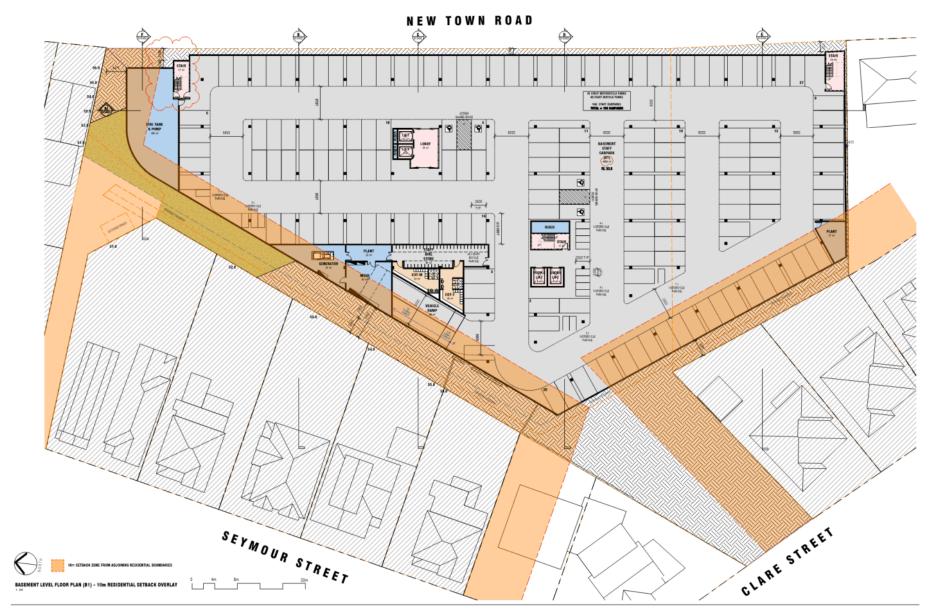
#### NEW TOWN MEDICAL CENTRE 48-52 New Town Road, New Town, Hobart, Tasmania



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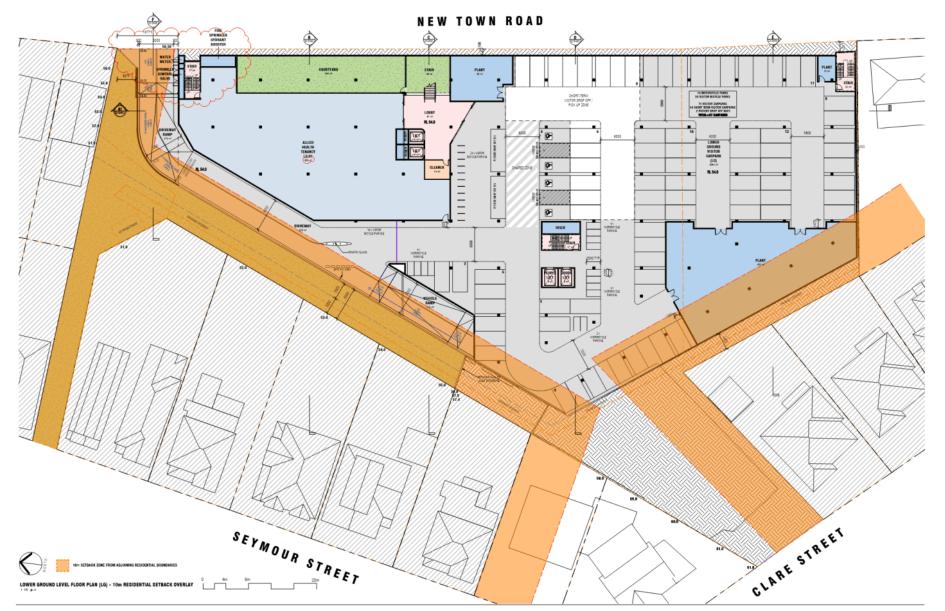
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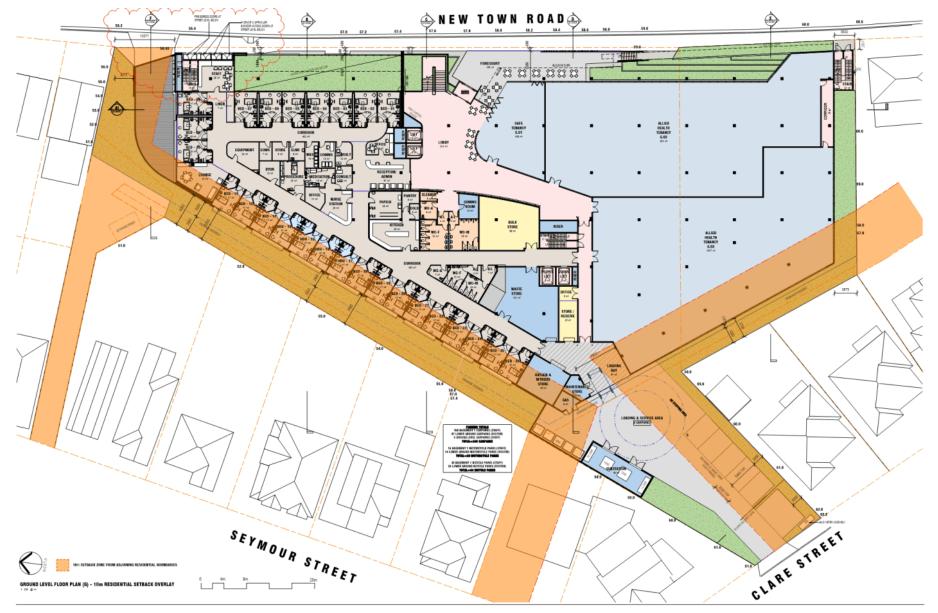
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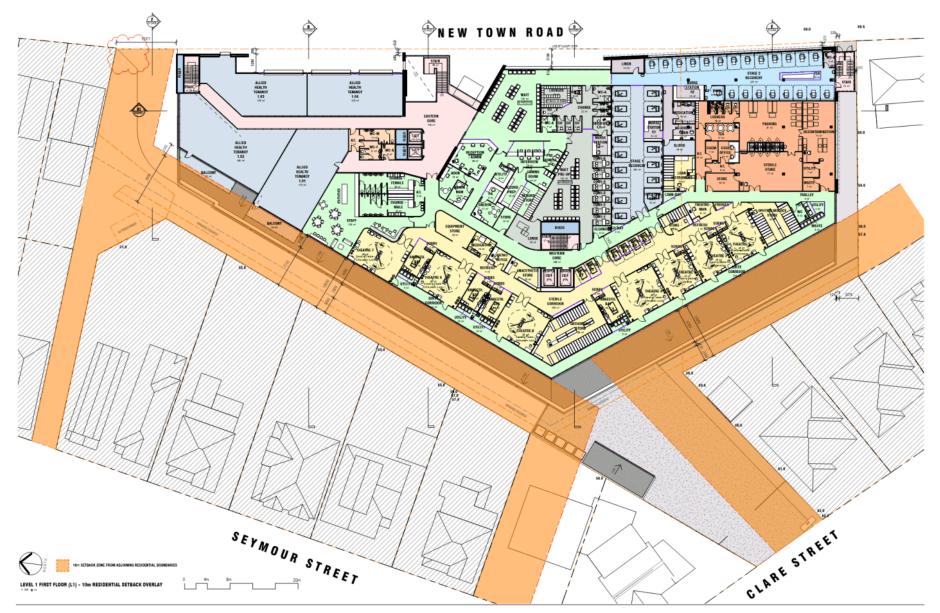
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#### NEW TOWN MEDICAL CENTRE 48-52 NEW TOWN ROAD, NEW TOWN, HOBART, TASMANIA

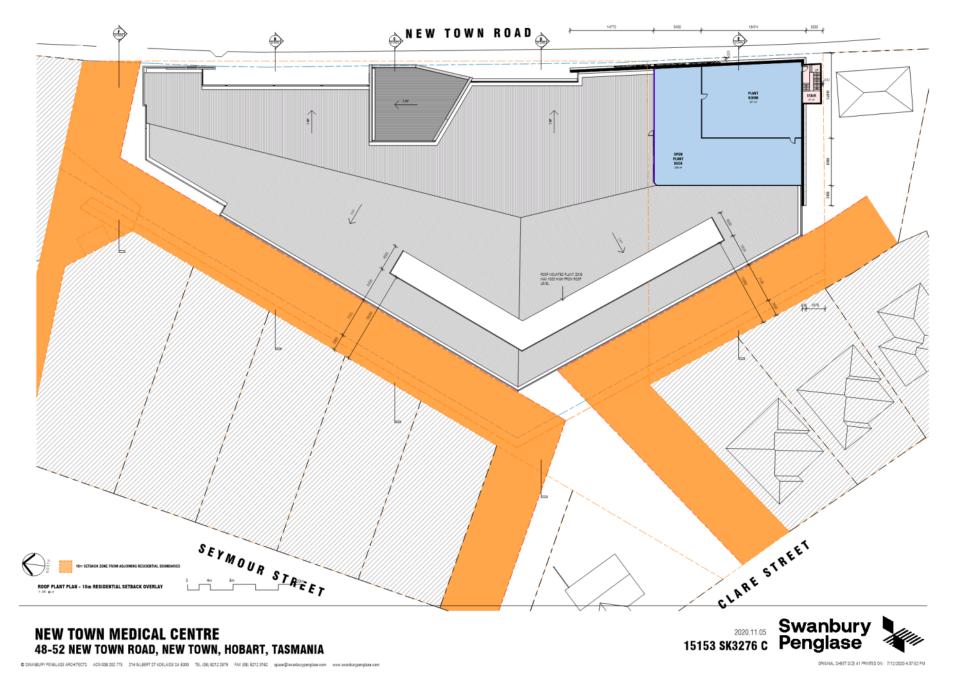


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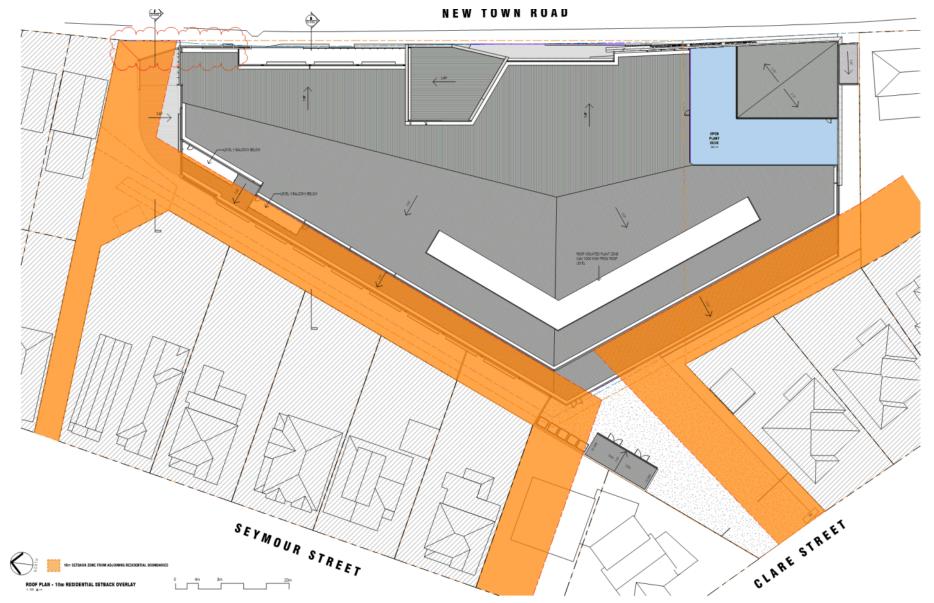
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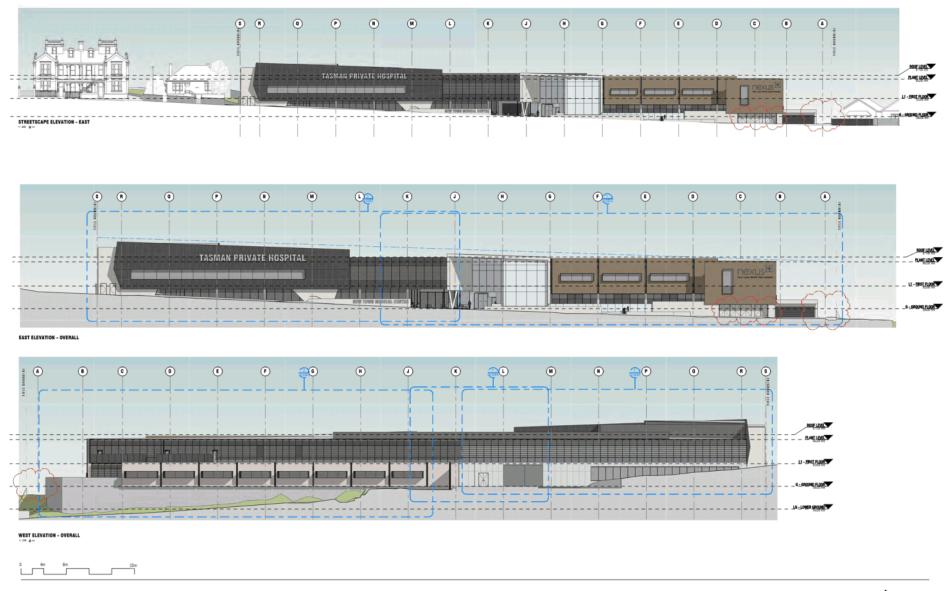


#### NEW TOWN MEDICAL CENTRE 48-52 New Town Road, New Town, Hobart, Tasmania



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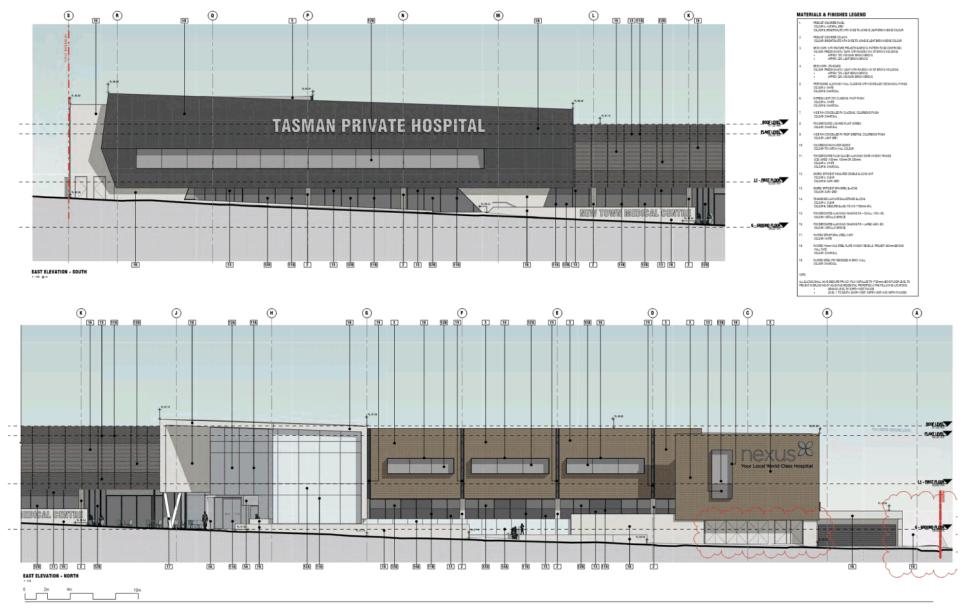
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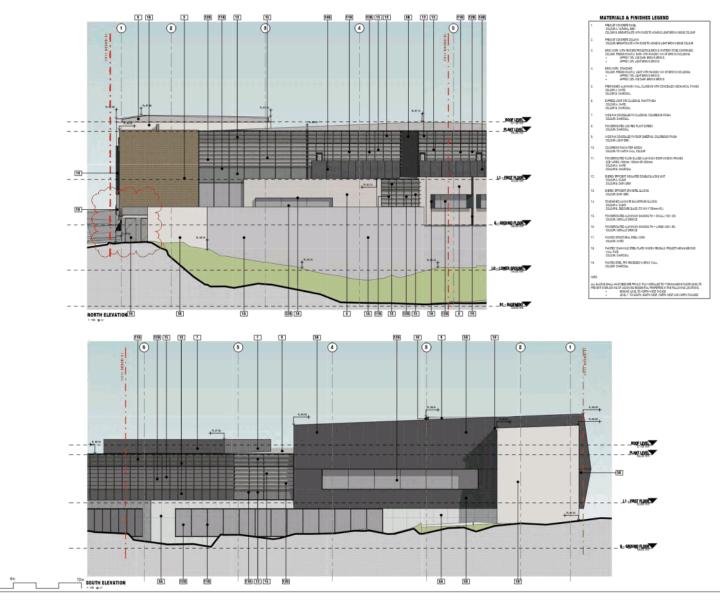
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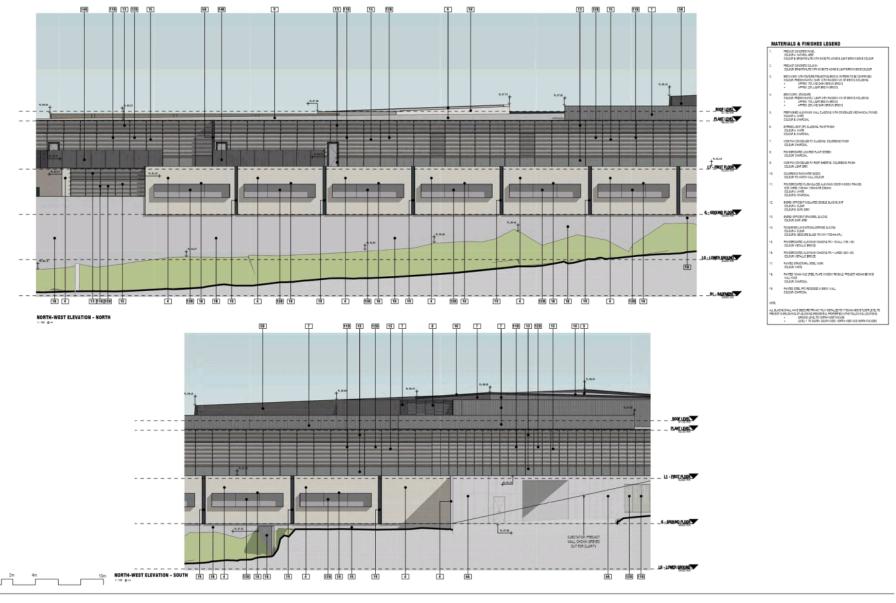
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#### NEW TOWN MEDICAL CENTRE 48-52 New Town Road, New Town, Hobart, Tasmania

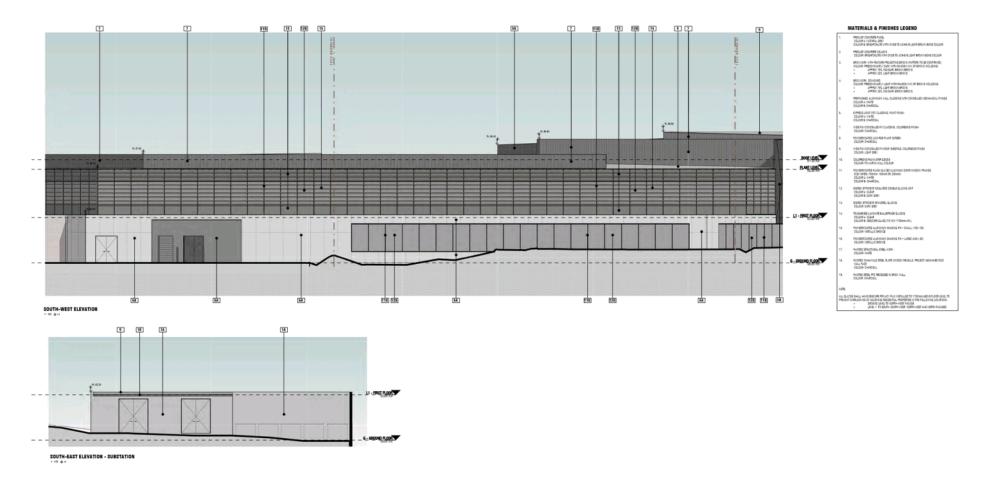


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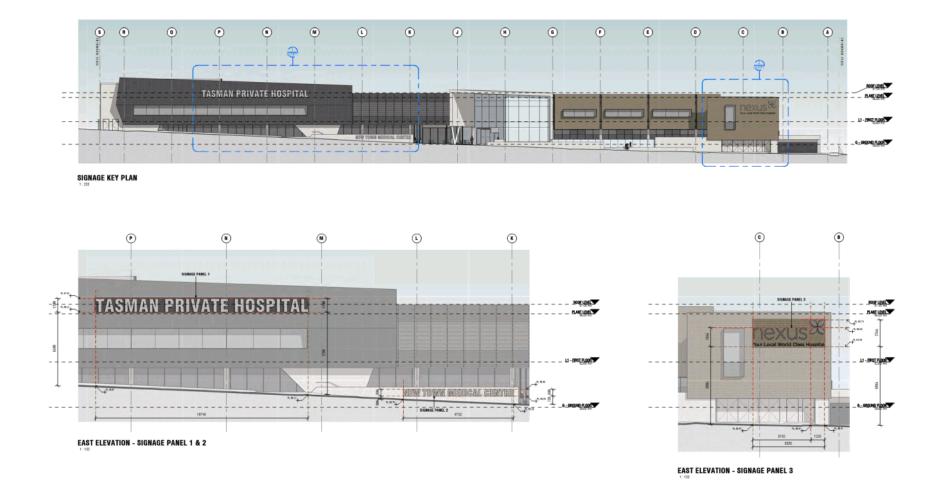
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#### NEW TOWN MEDICAL CENTRE 48-52 NEW TOWN ROAD, NEW TOWN, HOBART, TASMANIA



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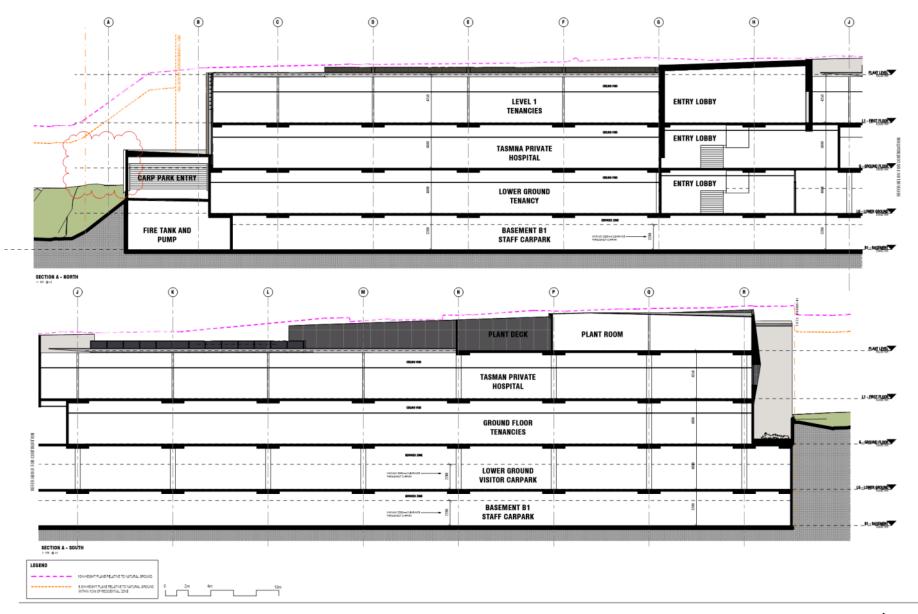






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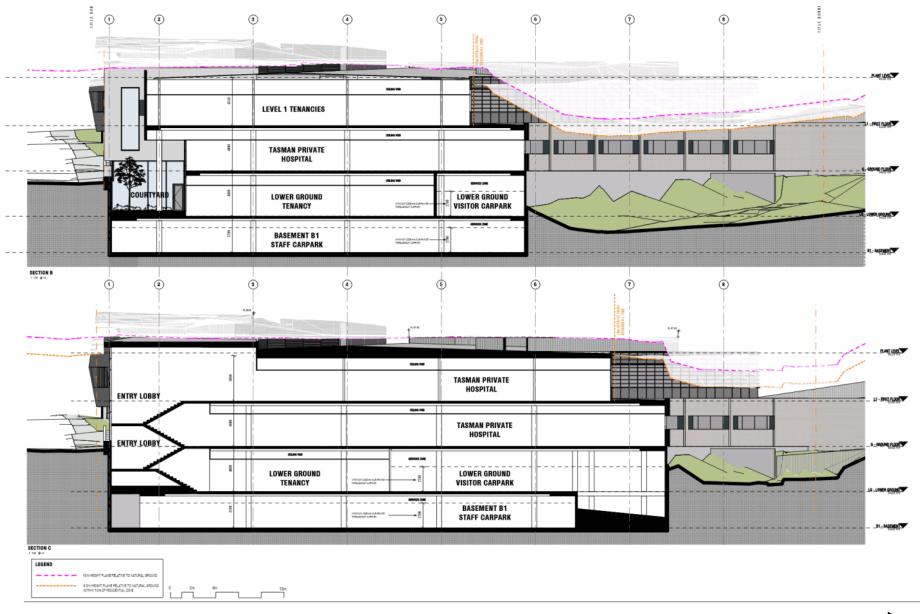


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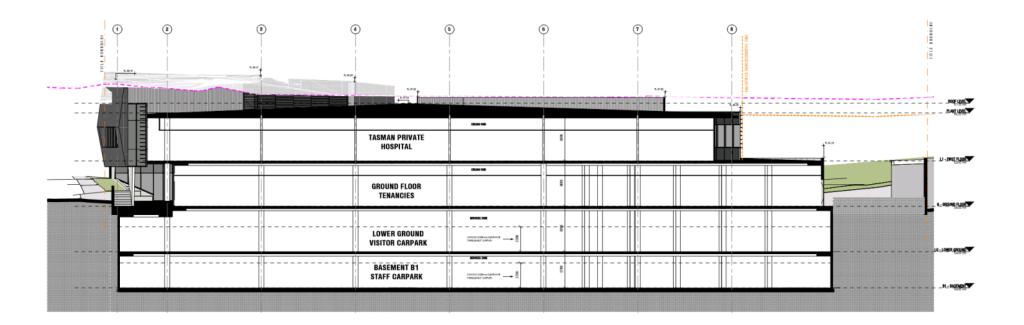


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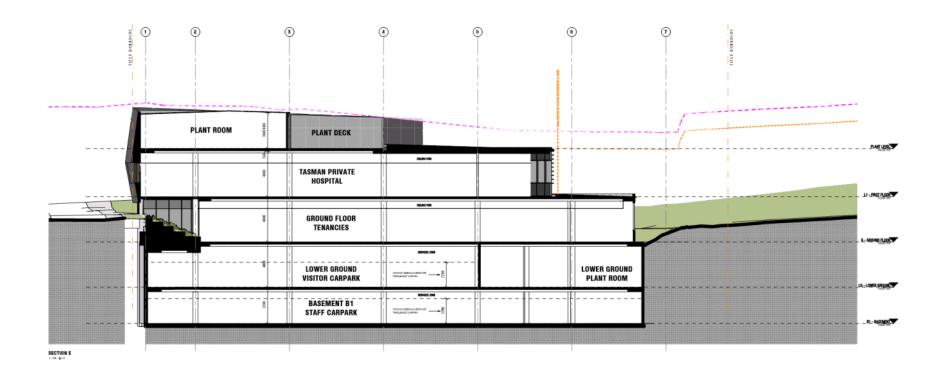
SECTION D

#### NEW TOWN MEDICAL CENTRE 48-52 NEW TOWN ROAD, NEW TOWN, HOBART, TASMANIA

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#### NEW TOWN MEDICAL CENTRE 48-52 NEW TOWN ROAD, NEW TOWN, HOBART, TASMANIA



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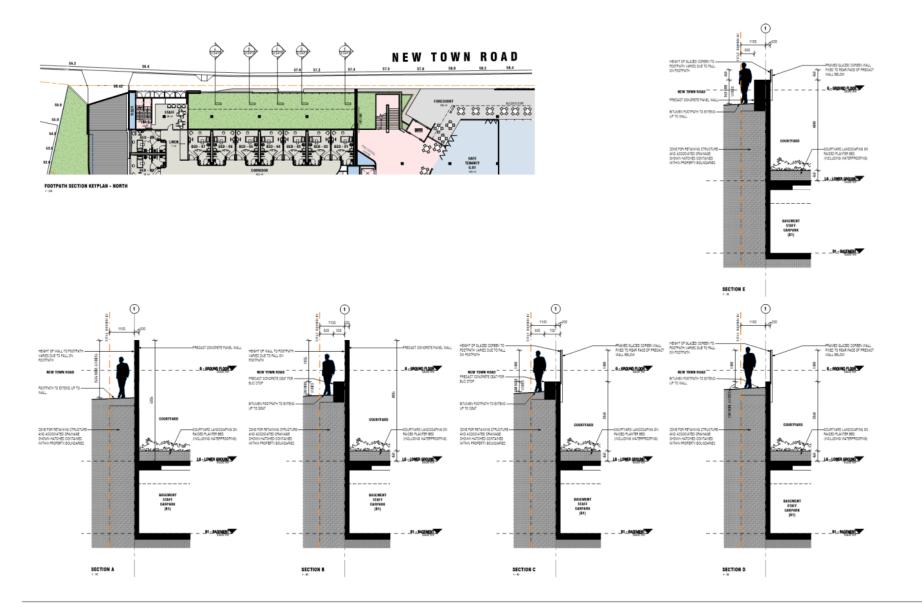


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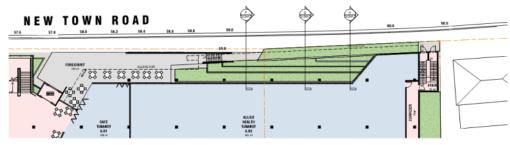


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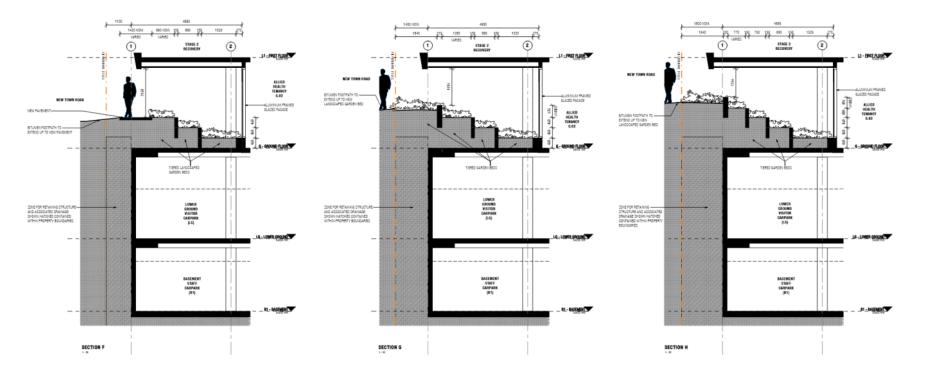


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FOOTPATH SECTION KEYPLAN - SOUTH

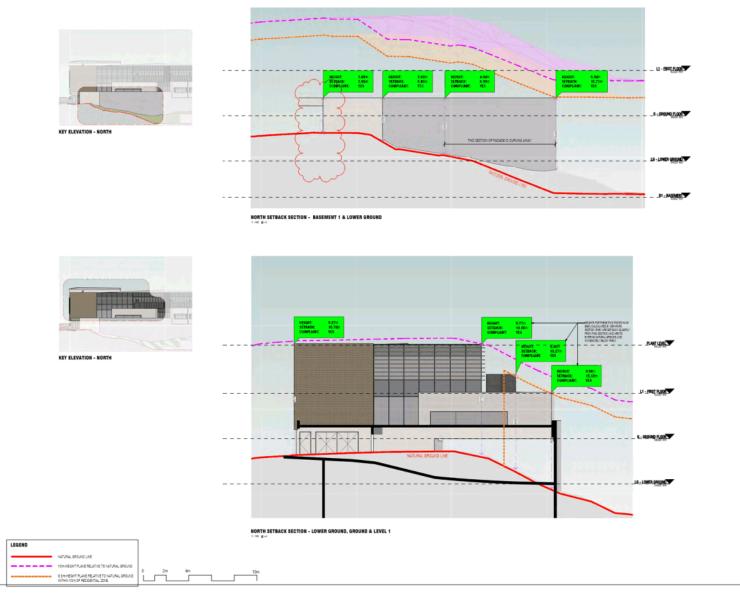






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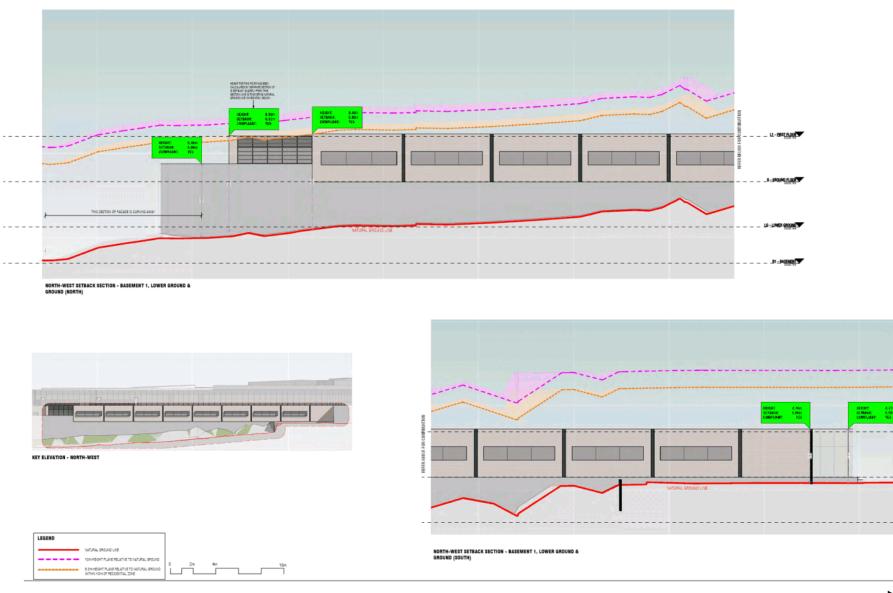
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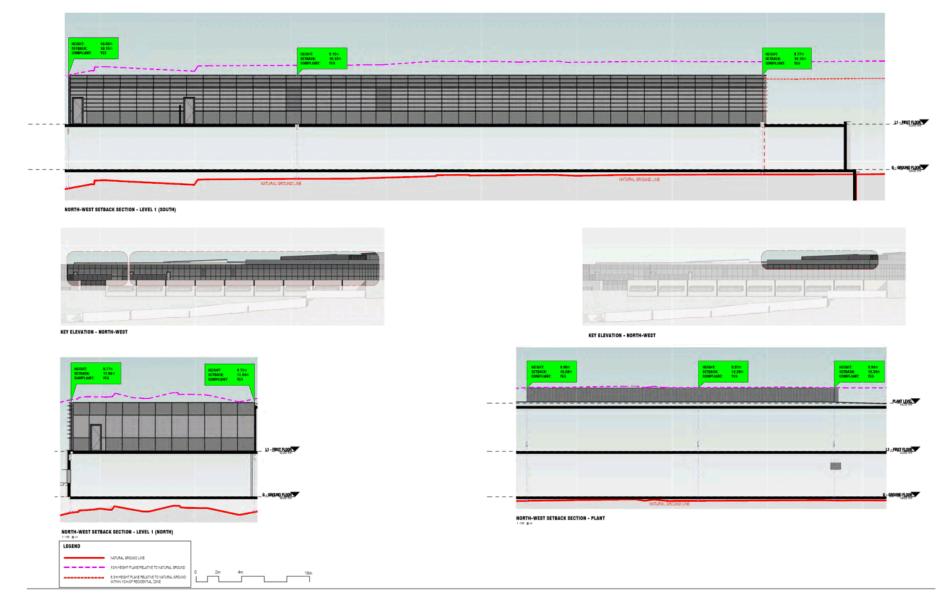


## NEW TOWN MEDICAL CENTRE 48-52 New Town Road, New Town, Hobart, Tasmania

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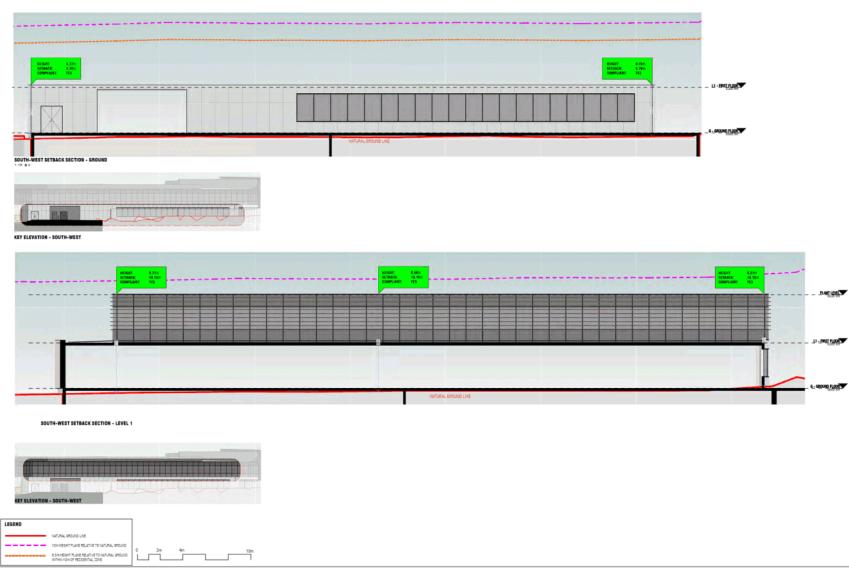


### NEW TOWN MEDICAL CENTRE 48-52 New Town Road, New Town, Hobart, Tasmania

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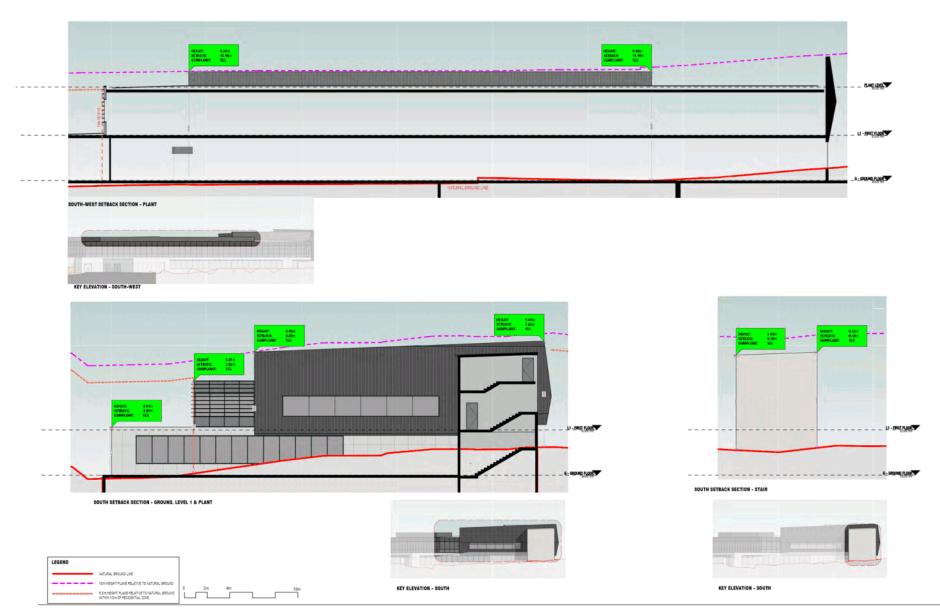


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EAST SETBACK SECTION - GROUND, LEVEL 1 & PLANT (SOUTH)



KEY ELEVATION - EAST



EAST SETBACK SECTION - GROUND, LEVEL 1 & PLANT (ENTRY)



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#### NEW TOWN MEDICAL CENTRE 48-52 NEW TOWN ROAD, NEW TOWN, HOBART, TASMANIA



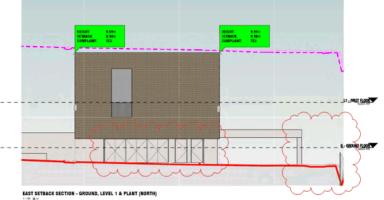
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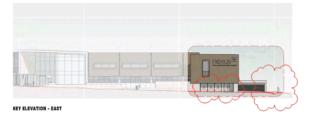
#### Page 42 ATTACHMENT F



EAST SETBACK SECTION - GROUND, LEVEL 1 & PLANT (CENTRE)









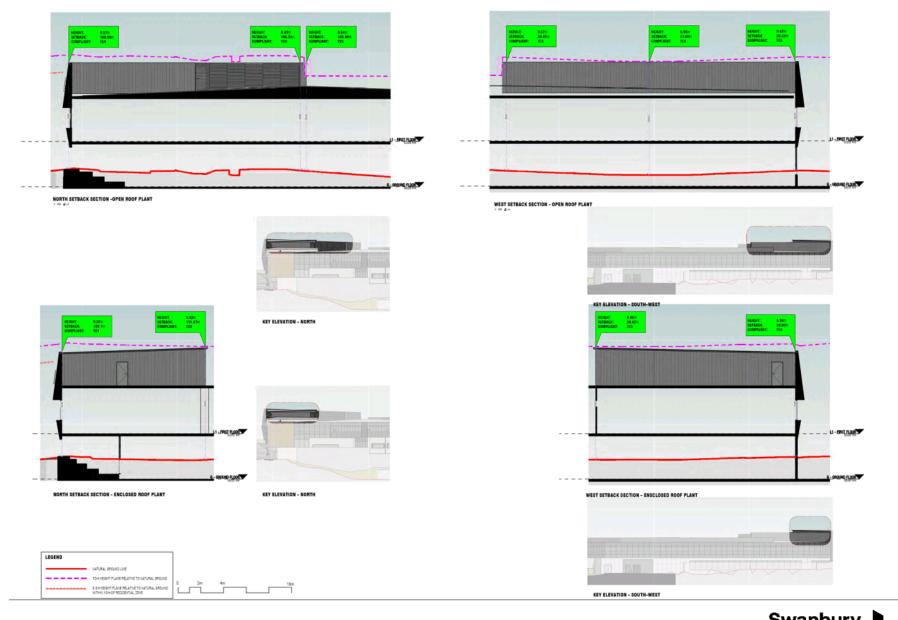
#### NEW TOWN MEDICAL CENTRE 48-52 New Town Road, New Town, Hobart, Tasmania

2020.12.07 Swanbury 15153 sk3427 D Penglase

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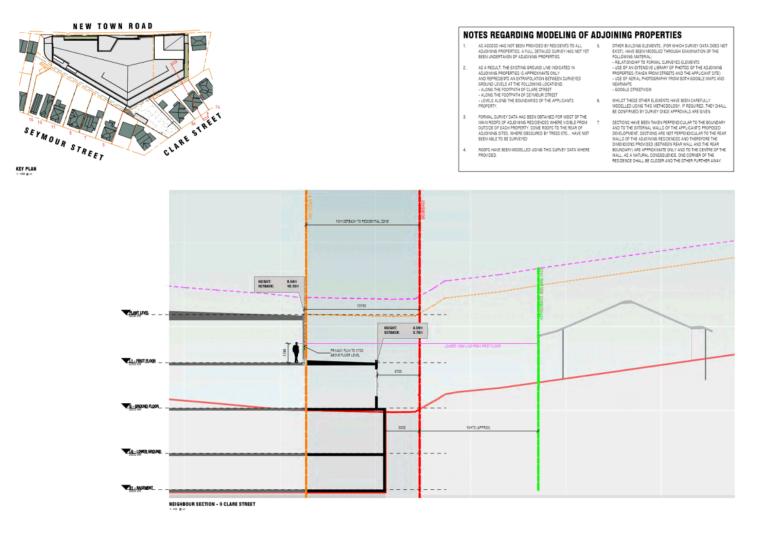




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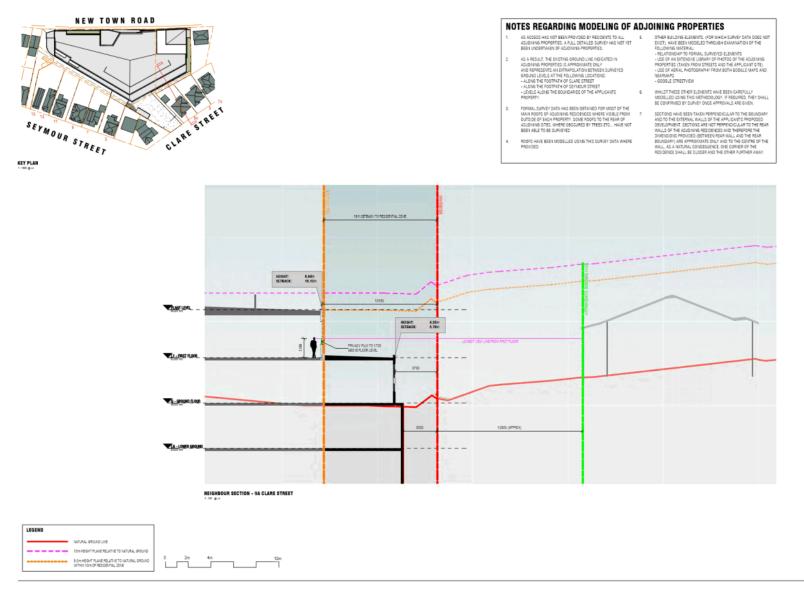
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#### NEW TOWN MEDICAL CENTRE 48-52 New Town Road, New Town, Hobart, Tasmania



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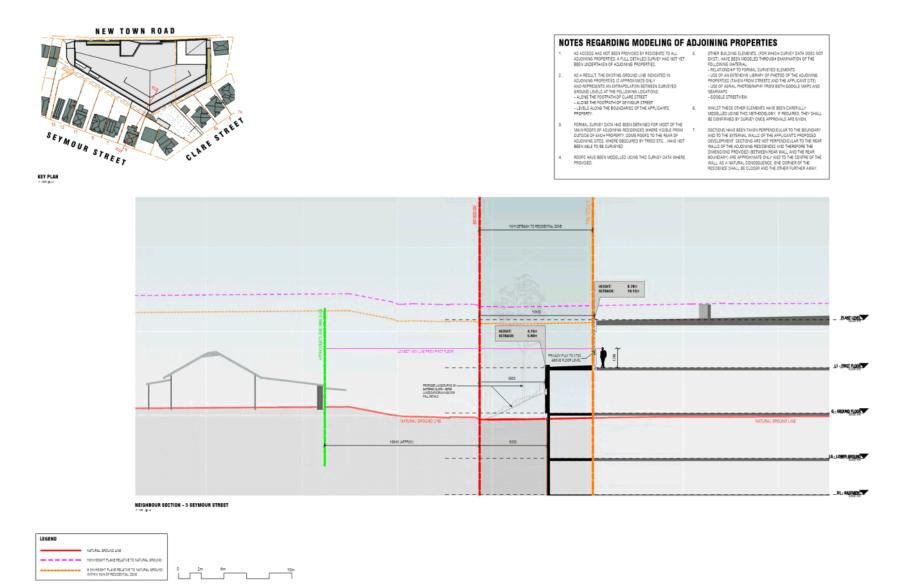


#### NEW TOWN MEDICAL CENTRE 48-52 New Town Road, New Town, Hobart, Tasmania



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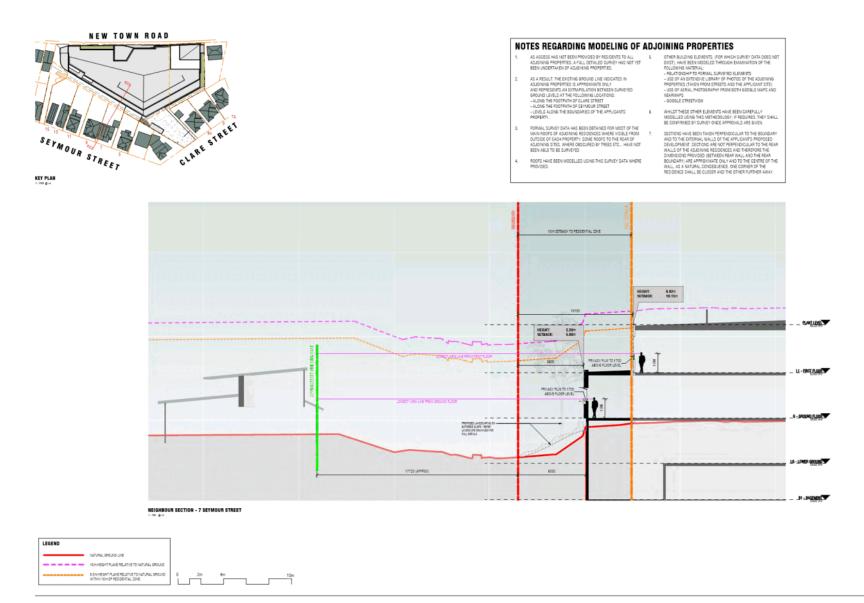


#### NEW TOWN MEDICAL CENTRE 48-52 NEW TOWN ROAD, NEW TOWN, HOBART, TASMANIA



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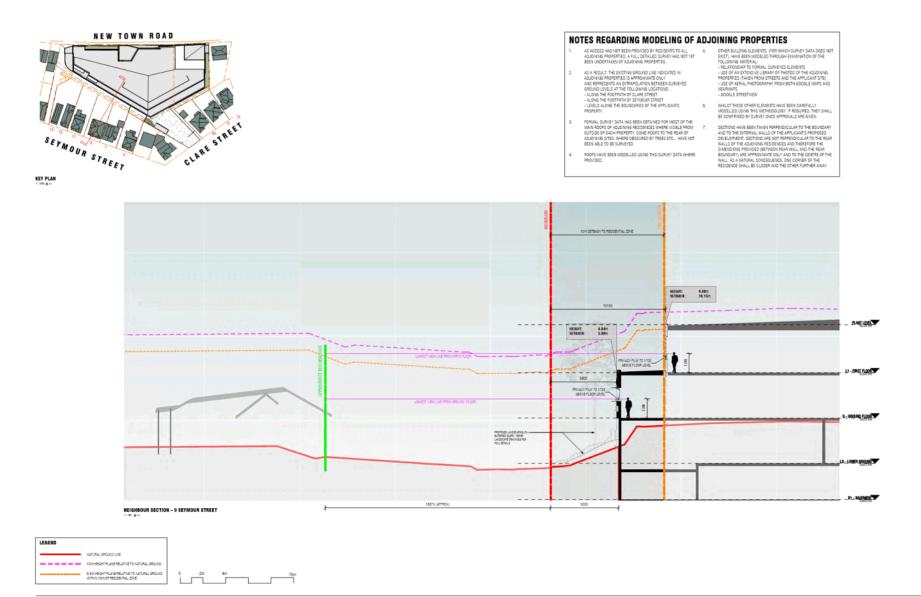
#### NEW TOWN MEDICAL CENTRE 48-52 New Town Road, New Town, Hobart, Tasmania



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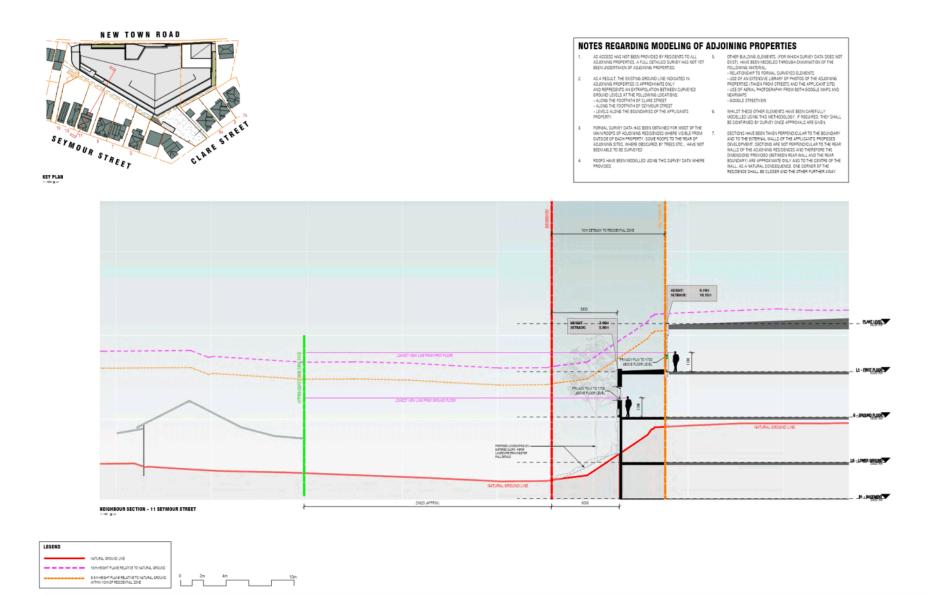


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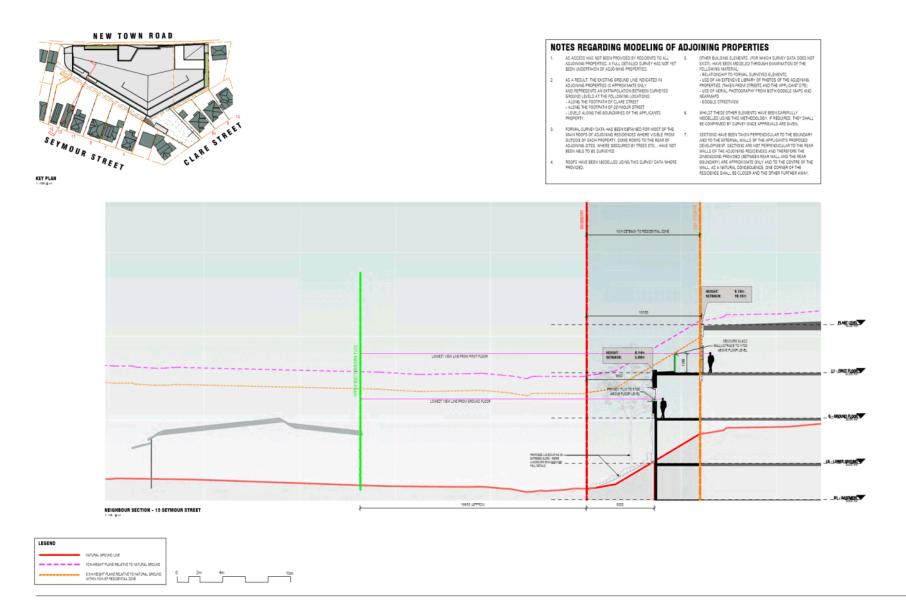


#### NEW TOWN MEDICAL CENTRE 48-52 NEW TOWN ROAD, NEW TOWN, HOBART, TASMANIA



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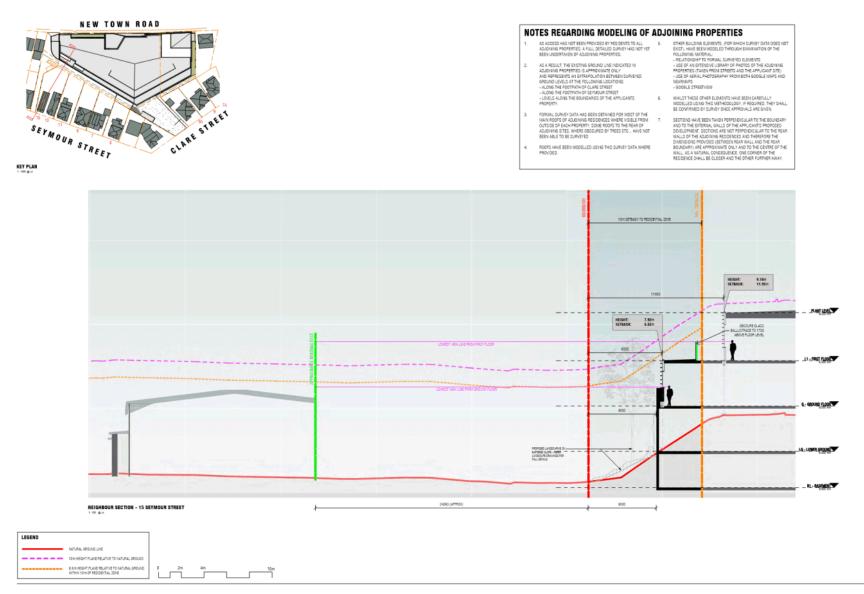


#### NEW TOWN MEDICAL CENTRE 48-52 New Town Road, New Town, Hobart, Tasmania



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# NEW TOWN MEDICAL CENTRE 48-52 NEW TOWN ROAD, NEW TOWN, HOBART, TASMANIA

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### NEW TOWN MEDICAL CENTRE 48-52 NEW TOWN ROAD, NEW TOWN, HOBART, TASMANIA

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# NEW TOWN MEDICAL CENTRE 48-52 NEW TOWN ROAD, NEW TOWN, HOBART, TASMANIA



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# NEW TOWN MEDICAL CENTRE 48-52 NEW TOWN ROAD, NEW TOWN, HOBART, TASMANIA



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**NEW TOWN MEDICAL CENTRE** 

48-52 NEW TOWN ROAD, NEW TOWN, HOBART, TASMANIA

## Supporting Information City Planning Committee Meeting - 1/3/2021

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### NEW TOWN MEDICAL CENTRE 48-52 NEW TOWN ROAD, NEW TOWN, HOBART, TASMANIA

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#### NEW TOWN MEDICAL CENTRE 48-52 NEW TOWN ROAD, NEW TOWN, HOBART, TASMANIA

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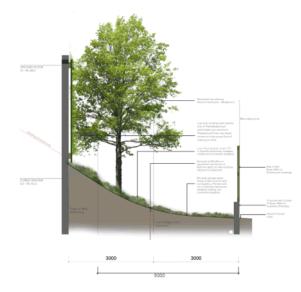
NEW TOWN MEDICAL CENTRE 48-52 New Town Road, New Town, Hobart, Tasmania

PROPOSED SEYMOUR STREET - MAGE 03

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New Town Medical Centre - Indicative Easement Batter Detail LO2

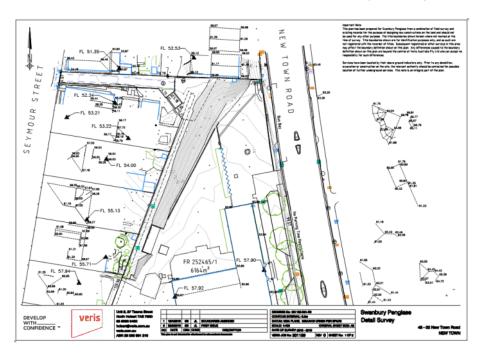
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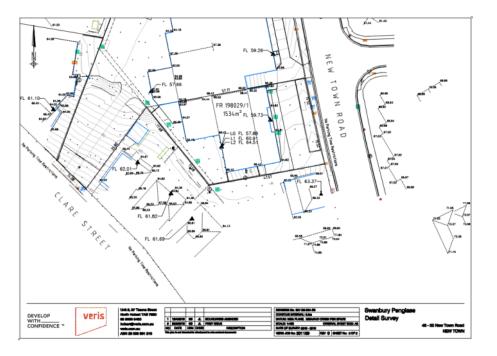
New Town Medical Centre - Landscape Elevation West (Rear) LO3
48-92 Nav Town Road, Helder I Development Application Revision D
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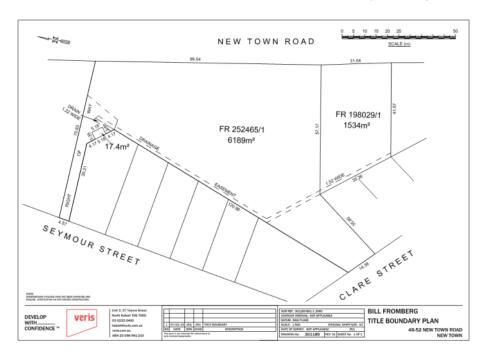
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# Page 66 ATTACHMENT F





# Page 68 ATTACHMENT F

PROPOSED NEW TOWN MEDICAL CENTRE 48-52 NEW TOWN ROAD, NEW TOWN, 7008, TAGMANIA	
TASMANIA           INCEX           INCE	
H120-02         PROPOSED STORMWATER PLAN (PRVATE - LOWER GROUND FLOCR) - 02           H120-03         PROPOSED STORMWATER PLAN (PRIVATE - LOWER GROUND FLOCR) - 03           H120-04         PROPOSED STORMWATER PLAN (PRIVATE - LOWER GROUND FLOCR) - 04           H130-00         STORMWATER (PRIVATE) - LOWER GROUND FLOCR) - 04	5 T 1 T 1 T 1 T 1 T 1 T 1 T 1 T 1 T 1 T 1
H140-00         OVERLAND FLOW PATH           H150-00         PROPOSED OVERALL STORMWATER PLAN (PRIVATE - BASEMENT B1)           H150-01         PROPOSED STORMWATER PLAN (PRIVATE - BASEMENT B1)           H150-02         PROPOSED STORMWATER PLAN (PRIVATE - BASEMENT B1)           H150-03         PROPOSED STORMWATER PLAN (PRIVATE - BASEMENT B1)           H150-04         PROPOSED STORMWATER PLAN (PRIVATE - BASEMENT B1)           H150-04         PROPOSED STORMWATER PLAN (PRIVATE - BASEMENT B1)	
H200-00       PROPOSED VIERAULIC PLAN - SEVER & NATER (PUBLIC)         H200-01       PROPOSED VIERAULIC PLAN - SEVER & AVATER (PUBLIC) - 01         H200-02       PROPOSED VIERAULIC PLAN - SEVER & AVATER (PUBLIC) - 02         H200-04       PROPOSED VIERAULIC PLAN - SEVER & AVATER (PUBLIC) - 03         H200-04       PROPOSED VIERAULIC PLAN - SEVER & AVATER (PUBLIC) - 03         H210-04       SEVER LONS GECTION - 01         H210-02       SEVER LONS GECTION - 02         H210-03       SEVER LONS GECTION - 02	AUGUSTATEROAD
H300 SPEL HYDROSYSTEM 1000 H400 EXISTING CATCHMENT PLAN	"SCALE: N.T.S.
H10 PROPOSED CATCHMENT PLAN H500 STORMWATER AND SEWER SECTION DETAIL	

0

#### CIVIL AND HYDRAULIC NOTES

#### GENERAL NOTES

- THE MAIN CONTRACTOR AND ALL SUB CONTRACTORS SHALL COMPLY WITH THE STATE WORK HEALTH AND SAFETY ACT AND ALL RELEVANT CODES OF PRACTICE
- ALL HYDRAULICS WORKS TO BE CARRIED OUT IN ACCORDANCE WITH IPWEA STANDARD DRAWINGS AND SPECIFICATIONS. (WSAA SEWERAGE
- ALL HYDRAULCS WORKS TO BE CARRIED OUT IN ACCORDANCE WITH IPWEA STANDARD DRAWINOS AND SPECIFICATIONS, (WSAA SEVERAGE CODE OF AUSTRALIA & WATER SUPPLY CODE OF AUSTRALIA) AND TO THE SATISFACTION OF COUNCIL'S DEVELOPHERT ENGINEER. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR CONTACTING TASHETWORKS TO APPLY FOR NEW CONNECTIONS ANDOR ADDITIONAL SUPPLY SUFFICIENT TIME FOR TASHETWORKS DESIGN AND REVIEW PROCESSES SHOLD DE ALLOWED FOR NO TOP SOL SHALL BE REMOVED FROM THE SITE WITHOUT THE CONSENT OF COUNCIL TOP SOL ISTURBED OR REMOVED AS A RESULT OF WORKS SHALL BE STOCK-PIED ON SITE AND LATER USED FOR REDRESSING AND FOOTPATHS SHALL BE DREADED ON SITE AND LATER USED FOR ROADWAYS AND FOOTPATHS SHALL BE DRESSED WITH IMPORTED FILL AND REVEGETATED TO THE SATISFACTION OF THE COUNCIL SOVELOPMENT CHINERY.

- REVENENTIED TO THE SATISFACTION OF THE COMMENDIES DEVELOPMENT ENGINEER. ALL EXISTING SERVICES TO BE LOCATED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS. ALL CONFICTIONS TO EXISTING STORIMMENTER MAINS TO BE CARRIED OUT BY COUNCL AT DEVELOPERS COST UNLESS APPROVED OTHERWISE, ALL CONNECTIONS TO SEVERWATER MAINS TO BE CARRIED OUT BY TASWATER AT DEVELOPERS COST UNLESS APPROVED OTHERWISE
- 9. GENERAL MATERIALS, INSTALLATION AND TESTING SHALL COMPLY WITH TASMANIAN MUNICIPAL STANDARDS PART 4. 10. EXCAVATED AND IMPORTED MATERIAL USED AS FILL TO BE AFTINE WITH THE MATTEN APPROVAL OF THE ENGINEER AND APPROVAL FROM THE 11. ANY DEPRIVINES FROM THE DESIGN DRAWINGS ARE TO BE AFTINE WITTEN APPROVAL OF THE ENGINEER AND APPROVAL FROM THE AUTHORITY, CHANGES INCLUDES CONFLICTS WITH EXISTING SERVICES.
- UNLESS NOTED OTHERWISE, THESE NOTES SHALL APPLY TO ALL DRAWINGS IN THE SET
- 13. BATTERS: MAX EMBANKMENT SLOPE 1:2.0 (LOOSE ROCK) 1:3.0 (SOIL) MAX CUTTING SLOPE

#### APPROVALS:

- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT A VALID BUILDING AND PLUMBING PERMIT IS IN PLACE FOR THE WORK AND THAT THE BUILDING SURVEYOR IS NOTIFIED OF ALL SITE INSPECTION REQUESTS.
- BUILDING SURVETOR IS NOTIFIED OF ALL STIE INSPECTION REQUESTS. THE APPLICANT SHALL NOT COMMENCE CIVIL CONSTRUCTION WORKS WITHIN A ROAD RESERVE UNTIL THE FOLLOWING REQUIREMENTS ARE MET: A "PERMIT TO CARRY OUT WORKS WITHIN A COUNCIL ROAD RESERVATION" HAS BEEN ISSUED BY THE COUNCIL AND THE ASSOCIATED FEE PAYMENT MADE
- TRAFFIC MANAGEMENT AND PEDESTRIAN PLAN HAS BEEN PRODUCED AND FOLLOWED IN ACCORDANCE WITH DEPARTMENT OF 4 INFRASTRUCTURE, ENERGY AND RESOURCES 'TRAFFIC CONTROL AT WORK SITES' CODE OF PRACTICE.

#### GENERAL HYDRAULICS NOTES:

- DURING CONSTRUCTION ANY OPEN PIPES TO BE SEALED TEMPORARILY DURING WORKS TO PREVENT ENTRY OF FOREIGN MATTER CONCEAL ALL PIPEWORK IN DUCTS, CELING SPACES, WALL CAVITIES UNLESS OTHERWISE NOTED CONFIRM ALL INVERT LEVELS PRIOR TO EXCAVATION.
- THE LOCATION OF EXISTING SERVICES SHOULD BE CONFIRMED ONSITE INCLUDING: MAINS WATER, GAS, TELECOMMUNICATIONS, POWER, SEWER STORM/ATER
- ALL PIPEWORK UNDER TRAFFICABLE AREAS TO BE BACKFILLED TO FULL DEPTH WITH DIER CLASS A 19MM FCR COMPACTED TO AS3798. FOR CLASS H AND E SITES, JOINTS IN PLUMBING SHALL BE ARTICULATED WITHIN 3M OF THE BUILDING UNDER CONSTRUCTION TO ACCOMMODATE
- GROUND MOVEMENT WITHOUT LEAKAGE ALL PIPEWORK SHALL BE ADEQUATELY SUPPORTED. SUPPORT SHALL ALLOW FOR EXPANSION AND BE FITTED AT THE TIME OF PIPE INSTALLATION WHERE PIPEWORK PENETRATES FIRE RATED WALL OR FLOORS A FIRE STOP COLLAR SHALL BE INSTALLED

#### SEWER NOTES:

- ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH WSAA SEWERAGE CODE OF AUSTRALIA WSA 02-2014-3.1 MRWA EDITION V2.0. TASWATERS SUPPLEMENT TO THIS CODE, ASSIO 2:2003 AND TO THE SATISFACTION OF TASWATER'S DEVELOPMENT ENGINEER ALL EXISTING SERVICES TO BE LOCATED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.
- ALL CONNECTIONS TO EXISTING MAINS TO BE CARRIED OUT BY TASWATER'S APPROVED CONTRACTOR AT DEVELOPERS COST UNLESS

- ALL SEWER MAINS TO BE PIPE CLASS SNR.
- PIPEWORK SHALL BE PRESSURE TESTED PROGRESSIVELY DURING INSTALLATION TO ENSURE ABSENCE OF LEAKS. ALL PIPEWORK SHALL BE INSTALLED AS CLOSE AS PRACTICABLE TO THE UNDERSIDE OF FLOORS.

#### STORMWATER NOTES:

DISCLAIMER

- ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH COUNCIL MUNICIPAL STANDARDS, AS3500 AND IPWEA (TAS) MUNICIPAL STANDARD DRAWINGS AND SPECIFICATIONS WHERE APPLICABLE AND TO THE SATISFACTION OF COUNCIL'S MUNICIPAL ENSIMEER ALL EXISTING SERVICES TO BE LOCATED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS. ALL CONNECTIONS TO EXISTING MAINS TO BE CARRIED OUT BY COUNCIL AT DEVELOPERS COST UNLESS APPROVED OTHERWISE. GENERAL MATERIALS, INSTALATION & TESTING SHALL COMPLY WITH TASMAIAN MUNICIPAL STANDARDS PART 4. PROVIDE 600mm MIN COVER TO
- ALL SERVICES.
- ALL PIPE WORK UNDER TRAFFICABLE AREAS INCLUDING DRIVEWAYS IS TO BE FILLED WITH FCR. LOT CONNECTIONS SHALL BE DMISD UPIC UNO MINIMAM PIPE CLASS TO BE CLASS SM, PIPE UNDER ROADS TO BE CLASS SM8. ALL MAINTENNICE HOLES DEEPER THAN IT FROM FINISHED SURFACE LEVEL TO MAINTENANCE HOLE BASE TO BE FITTED WITH APPROVED STEP
- IPWEA STANDARD DRAWINGS REFERENCED ARE THE MOST RECENT DRAWING SET UNO.

#### WATER NOTES:

- ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH WSAA WATER SUPPLY CODE OF AUSTRALIA WSA 03-2011-3.1 MRWA EDITION V2.0, TASWATERS

- ALL CONNECTIONS TO EXISTING MAINS TO BE CARGED OUT BY TASWATER AT DEVELOPER'S COST UNCESS APPROVED OTHERWISE. GENERAL MATERIALS INSTALLATION AND TESTING SHALL COMPLY WITH WAS 03-2011-31 AND TASWATER APPROVED PRODUCTS CATALOGUE. WATER MAIN TO BE OPYC SERIES 2 CLASS 16 OR APPROVED EQUIVALENT, WITH RODS AND CONNECTING BEING POLY PINIS PE100. THRUST BLOCKS SHALL BE INSTALLED AT ALL TEES, BLANK KINDS, VALVES, IFIER HYDRANTS, REDUCERS AND BEINS GREATER THAN 5'. INDIVIDUAL LOT CONNECTIONS TO BE MIN DAZS ID22 PINIS POLY UNO. DEVELOPER TO MAKE APPLICATION TO TASWATER FOR THE SUPPLY OF 20mm WATER METER AND BOX, PRIOR TO COMMENCEMENT OF WORKS ONSITE. METER TO BE INSTALLED AT ALL MAY ALL THE SUPPLY OF 20mm WATER METER AND BOX, PRIOR TO COMMENCEMENT OF WORKS ONSITE. METER TO BE INSTALLED BY PLUMBING CONTRACTOR. ALL SOLUTION VALVES SHALL BE INSTALLED TALLED ACCESSIBLE I CONTINUS. VALVES LOCATED IN WALLS OR DICITS SHALL BE ETTED WITH APPROVED.
- ALL ISOLATION VALVES SHALL BE INSTALLED IN ACCESSIBLE LOCATIONS. VALVES LOCATED IN WALLS OR DUCTS SHALL BE FITTED WITH APPROVED ACCESS COVERS
- INCESS GOVERS. INTERNAL PLUMBING SHALL BE CONSTRUCTED IN ACCORDANCE WITH AS3500 PARTS 1, 2 & 3 AND THE TASMANIAN PLUMBING CODE THE PLUMBER SHALL ARRANGE FOR ALL INSPECTIONS AND PRESSURE TESTING REQUIRED BY TASWATER OR THE LOCAL AUTHORITY PRIOR TO CONCEALMENT

- CONCEALMENT. ALL STOP VALVES TO BE CLOCKWISE CLOSING. ALL STOP VALVES TO BE CLOCKWISE CLOSING. STOP VALVES AND FIRE FUCKS SHALL BE MARKED IN ACCORDANCE WITH THE IPWEA FIRE HYDRANT GUIDELINES: TASMANIA DIVISION. FIRE FLUGS AND VALVE POSITIONS TO BE MARKED IN ACCORDANCE WITH HIMARK CONCRETE PAINT. PROVIDE LECTROMAGNETIC. METAL IMPRANTED THAT ALL CONTRETATION FOR THE MARKET AND ALL CONTRETE PAINT. ALL PROVERT CONTINUETIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH MIWRAW-110 AND MRWA-W-111 AND TASWATER STANDARD DRAWING THL STITUNGS TO BE FILE SHALL BE DAY SUBJ HOF FILE OF THE FILE ALL PROVERT CONTRECTIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH MRWA-W-110 AND MRWA-W-111 AND TASWATER STANDARD DRAWING THL STITUNGS TO BE FILE SHALL BE DAY.
- 18 ALL FITTINGS TO BE F B F
- ALL FUT INVOS TO BE F D.E. FIRE PLUGS TO HAVE 100mm RISERS WITH SPRING TYPE PLUGS. TASWATER TO WITNESS PRESSURE TEST TO 12000-PA PRIOR TO BACKFILL AT JOINTS. MAIN TO BE DISINFECTED PRIOR TO CONNECTION TO THE RETICULATION NETWORK. REFER TO WSA CODE FOR DETAILS.
- PLACEMENT OF WATER MAINS IN FILL REQUIRES THE CONTRACTOR TO PROVIDE DOCUMENTARY EVIDENCE INCLUDING, THE COMPOSITION OF FILL MATERIAL, VERIFYING THAT IT CONTAINS NO ORGANIC OR OTHER MATERIALS THAT DECOMPOSE OR OTHERWISE LEAD TO LONG TERM SETTLEMENT.
- ROAD NOTES:
- MINIMUM SUB BASE THICKNESS TO BE 200mm
- MINIMUM ON DE DECEMENT OF SUB BASE COURSE, PAVEMENT CUT IS TO BE ROLLED AND TESTED FOR CBR VALUES BY METHOD APPROVED BY THE SUPERINTENDENT. WHERE THE CBR VALUES ARE LESS THAN 5 WITHIN THE FIRST 200mm THEN ADDITIONAL TESTS WILL BE REQUIRED TO ALLOW SUPFICIENT DESIGN ALTERATIONS TO THE SUB BASE.
- PAVEMENT DESIGN BASED ON A CBR VALUE OF 3-4%. ROAD MARKINGS AND SIGNS AS PER AS1742. IF THE CBR VALUE IS LESS THAN 2 AT ANY DEPTH GREATER THAN 200mm THEN THE SUB BASE IS TO BE INCREASED GENERALLY ACCORDING TO THE FOLLOWING TABLE & CONSULT ENGINEER:

#### CBR VALUES: DESIGN:

- AS PER PAVEMENT DETAIL 3-4
- ADVISE & CONSULT ENGINEER. TYPICALLY INCREASE SUB BASE TO 400mm THICK (SUBGRADE REPLACEMENT) ADVISE & CONSULT ENGINEER. SPECIAL PAVEMENT DESIGN TO BE SPECIFIED.

#### DRIVEWAY NOTES

- EXCAVATED AND IMPORTED MATERIAL USED AS FILL IS TO BE APPROVED BY ENGINEER PRIOR TO INSTALLATION. FILL MATERIAL SHALL BE WELL GRADED AND FREE OF BOULDERS OR COBBLES EXCEEDING 150mm IN DUMETER UNLESS APPROVED OTHERWISE. FILL REQUIRED TO SUPPORT DRIVEWAYS INCLUDING FILL IN EMBANKMENTS THAT SUPPORT DRIVEWAYS SHALL BE INSTALLED IN ACCORDANCE
- WITH THE FOLLOWING REQUIREMENTS: TOP SOIL AND ORGANIC MATTER SHALL BE STRIPPED TO A MINIMUM OF 100mm. THE SUB GRADE SHALL BE CHECKED FOR A MINIMUM BEARING CAPACITY OF 50 kPa.

- FILL IN EMBANISMENTS SHALL BE KEYED 150mm INTO NATURAL GROUND. The FILL SHALL BE COMPACTED IN HORIZONTAL LAYERS OF NOT MORE THAN 200mm. THE FILL SHALL BE COMPACTED TO A MINIMUM DESITY RATIO OF 59%, IT IS THE BUILDERS RESPONSIBILITY TO ENSURE THAT THIS IS ACHIEVED
- ACHIEVED. WHERE THE ABOVE REQUIREMENTS CANNOT BE ACHIEVED THE ENGINEER SHALL BE CONSULTED AND THE FORMATION SHALL BE PROOF ROLLED (UNDER SUPERVISION OF THE ENGINEER) TO DEMONSTRATE COMPACTION PRIOR TO THE PLACEMENT OF BASE OR SUB-BASE COURSES. 10. UNREINFORCED CONCRETE KERBS AND CHANNELS SHALL HAVE TROWNELLED JOINTS AT NOT MORE THAN 3 ON CRS

#### CONTROLLED FILL:

- CONTROLLED FILL SHALL BE LAID IN STRICT ACCORDANCE WITH AS2870 AND AS3798 REQUIREMENTS. THE FOLLOWING METHOD IS APPROVED: FILL MATERIAL SHALL BE WELL GRADED FCR OR SITE ROCK REVIEWED DURING EXCAVATION.
- THE SUB GRADE SHALL BE CHECKED FOR BEARING CAPACITY WHICH IS A MINIMUM OF 50KPa FOR SLABS AND A MINIMUM OF 100kPa FOR
- FOOTINGS. THE FILL SHALL BE COMPACTED IN HORIZONTAL LAYERS OF NOT MORE THAN 150mm THE FILL SHALL BE COMPACTED TO A MINIMUM DENSITY FAILOR OF 95% FOR RESIDENTIAL APPLICATIONS. IT IS THE BUILDERS RESPONSIBILITY TO ENSURE THAT THIS LEVEL OF COMPACTION IS ACHEVED. IMPORTED MATERIAL, CONTRARY TO THE ABOVE SPECIFICATION, INTENDED FOR USE AS STRUCTURAL FILL SHALL BE APPROVED IN WRITING BY THE ENGINEER PRORT OUSE.

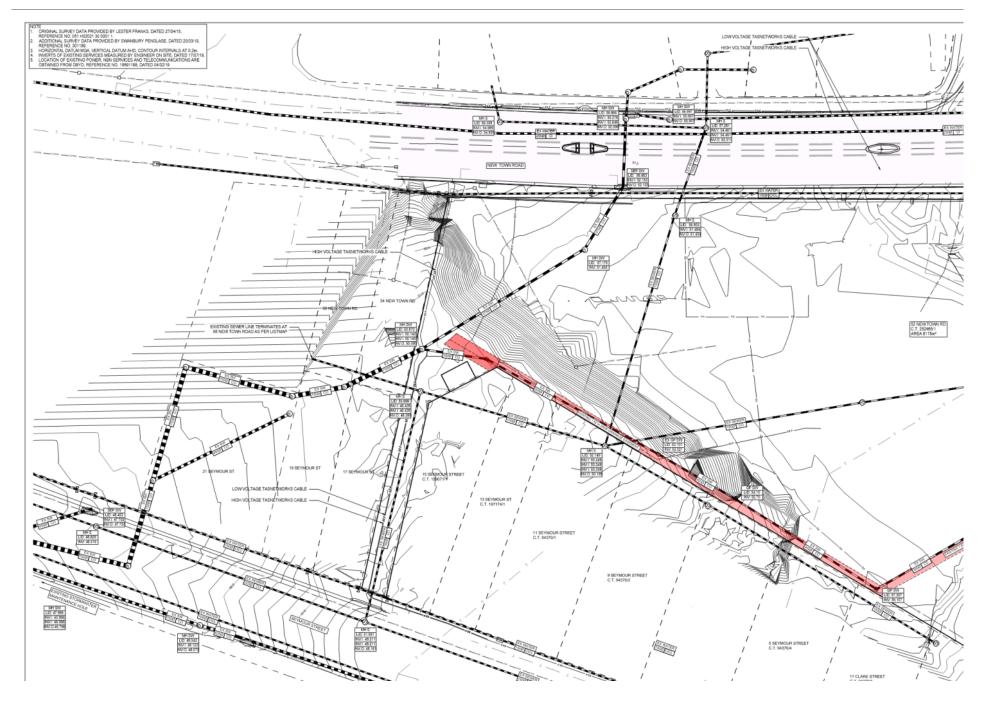
#### CONCRETE:

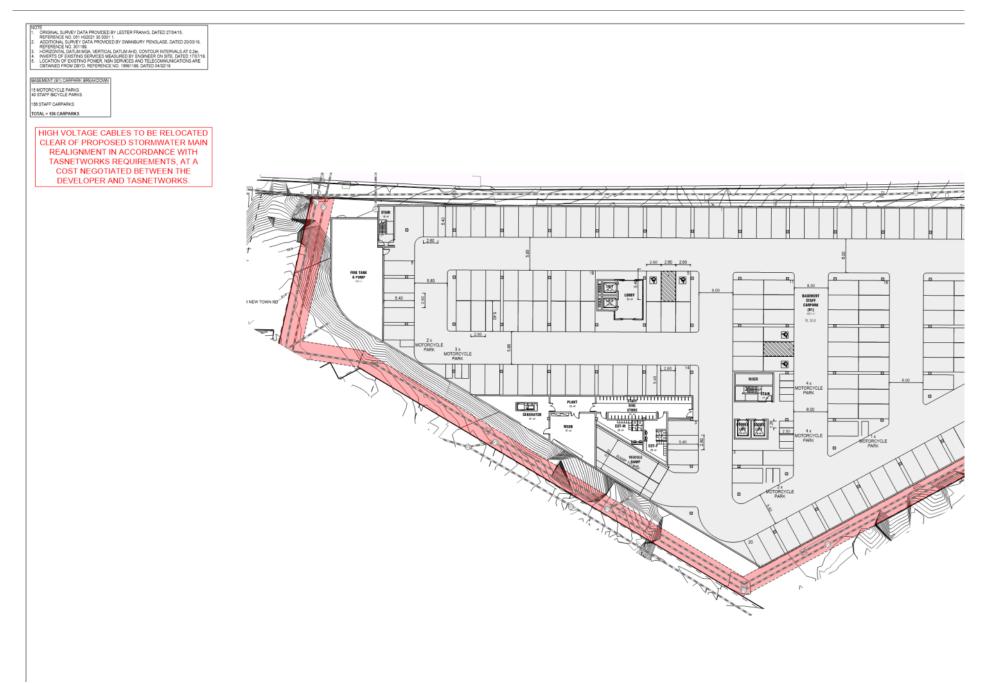
- CONCRETE SHALL BE NOT LESS THAN N25 GRADE, WITH 20mm NOMINAL MAXIMUM AGGREGATE SIZE, SLUMP SHALL BE SELECTED TO SUIT THE CONSTRUCTION CONDITIONS. UNLESS NOTED OTHERWISE THE MINIMUM APPROPRIATE SPECIFICATIONS FROM AS3600 AND AS2870 SHALL BE
- ADOPTED ADOF TED. SAWN CONTROL JOINTS SHALL BE CONSTRUCTED AS SOON AS POSSIBLE WITHOUT RAVELING THE JOINT, GENERALLY THIS SHALL BE WITHIN 24 HOURS.
- CONCRETE SHALL BE CURED FOR A MINIMUM OF 7 DAYS USING CURRENT BEST PRACTICE METHODS. SPRAY APPLIED CURING COMPOUNDS ARE 3 GENERALLY NOT DEEMED SATISFACTORY AS SOLE CURING METHOD. CONCRETE SHALL BE MECHANICALLY URBATED UN DO ADDITIONAL WATER SHALL NOT BE ADDED TO THE CONCRETE ON SITE UNLESS SIGNED BY THE DRIVER AND APPROVED BY THE SUPPLIER.

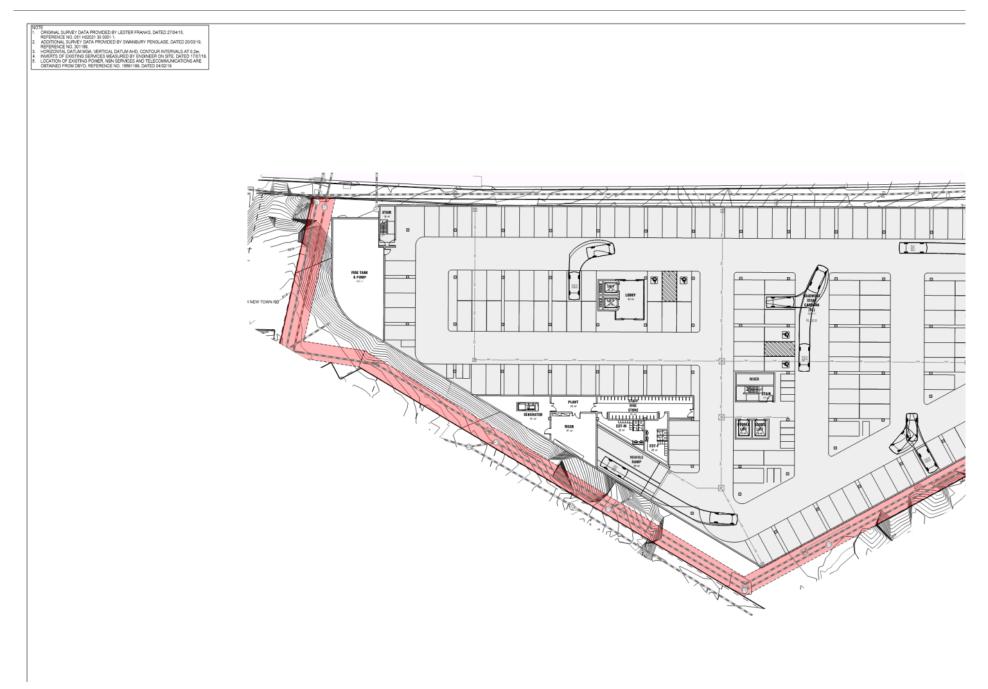
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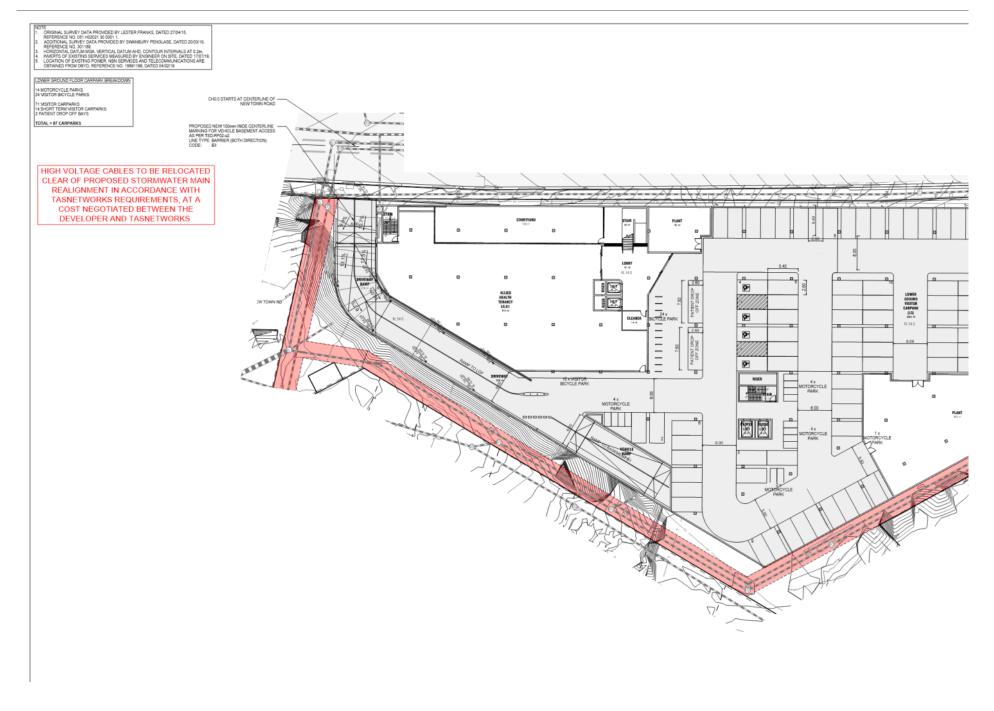
PIPE LEGEND		SY	SYMBOL LEGEND		HATCH LEGEND	
MARK	DESCRIPTION	MARK	DESCRIPTION	_ t	MARK	DESCRIPTION
A0	SLOTTED HDPE SN8 DRAINAGE PIPE		WATER CONNECTION + METER AS PER TW-SD-W-20 SERIES			PROPOSED CONCRETE DRIVEWAY SHOWN WITH 120 THICK, SL82 CENTRAL FINISH EXPOSED AGGREGATE
- sw	PROPOSED STORMWATER PIPE		GRATED PIT WITH TRAFFICABLE LID	- +	=	EXISTING CONCRETE SLAB & DRIVEWAY
	PROPOSED SEWER PIPE		GRATED FIT WITH TRAFFICABLE LID			EXISTING CONCRETE SCAB & DRIVEWAT
- KSW	PROPOSED RISING SEWER MAIN		CHANNEL DRAIN & INCLINE PIT		7//////	CONCRETE FOOTPATH
	PROPOSED PE PN16 WATER SUPPLY		WITH TRAFFICABLE GRATE		(//////	100 THICK SL72 CENTRAL
	PROPOSED PUBLIC STORMWATER MAIN		STORMWATER MAINTENANCE HOLE AS PER LGAT STANDARD DRAWING TSD-SW02-v1	6		RETAINING WALL
	PROPOSED PUBLIC SEWER MAIN				~~~~	
	PROPOSED PUBLIC WATER MAIN	S	SEWER MAINTENANCE HOLE TYPE P2 AS PER MRWA-S300 SERIES	[		SUSPENDED/CANTILEVERED DRIVEWAY
- *	POWER CIRCUIT		STORMWATER LOT CONNECTION	- 1		EASEMENT
T	COMMUNICATIONS	- 0	AS PER LGAT STANDARD DRAWINGS TSD-SW25-v1	[		
- 78	DN100 PVC-M PN16 PVC	- 1	SEWER LOT CONNECTION	7 5		
EX AD -	EXISTING SLOTTED AG DRAINAGE PIPE.	- 1	AS PER MRWA-S300 SERIES			
- 64 W -	EXISTING WATER SUPPLY	(FH)	FIRE HYDRANT AS PER MRWA-W-302		SUR	FACE LEGEND
_ EX.5 _	EXISTING SEWER PIPE			- L	001	
CX.REM	EXISTING RISING SEWER MAIN		ISOLATING VALVE AS PER MRWA-W-302		MARK	DESCRIPTION
EX SW -	EXISTING STORMWATER		THRUST BLOCK (CONCRETE)			PROPOSED FINISHED SURFACE LEVEL
EXP -	EXISTING POWER	$   \nabla$	AS PER MRWA-W-205A		FSL XXXXX	PROPOSED FINISHED SURFACE LEVEL
- 040	EXISTING GAS LINES		CONCRETE HEADWALL			HEIGHT OF PROPOSED SURFACE
- 10 -	EXISTING GRS LINES			_	∆ XXXXX	RELATIVE TO NATURAL SURFACE (FILL REQUIRED)
	EXISTING FIBER OFTIC CABLE		SIDE ENTRY PIT TYPE 5 AS PER TSD-SW12-v1		∆-xx.xx	HEIGHT OF PROPOSED SURFACE
1110000			SIDE ENTRY PIT TYPE 3	-  L		RELATIVE TO NATURAL SURFACE (CUT REQUIRED)
	EXISTING PUBLIC SEWER MAIN		AS PER TSD-SW09-v1			
	EXISTING PUBLIC WATER MAIN	PS-1	POWER SUBSTATION	-		
	DEMOLISHED MAIN WATER					
sw	DEMOLISHED STORMWATER		POWER TURRET			
	DEMOLISHED SEWER			_		
	DEMOLISHED WATER	P5	NBN PIT			
· > — > -	SWALE DRAIN		STREETLIGHT			
			STREELIONI			
	INE LEGEND					
	DESCRIPTION					
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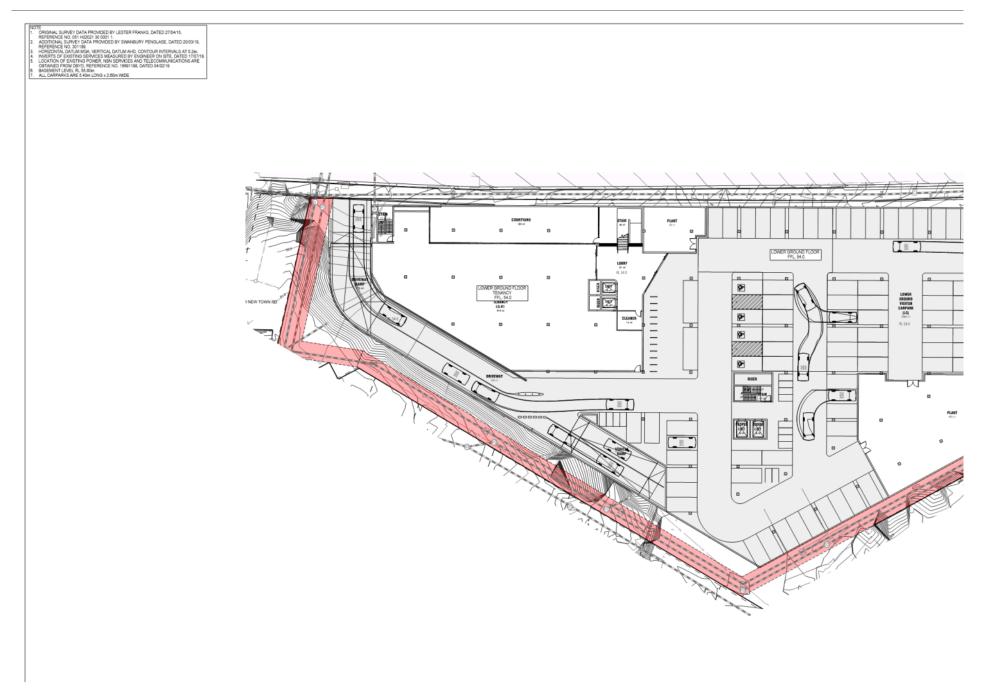
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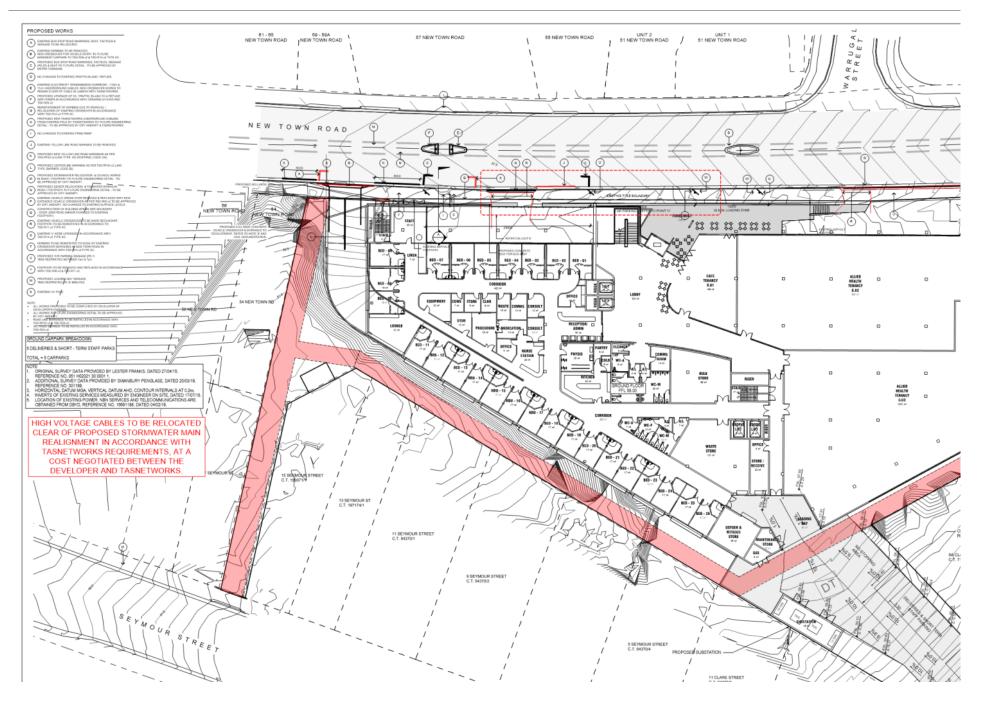




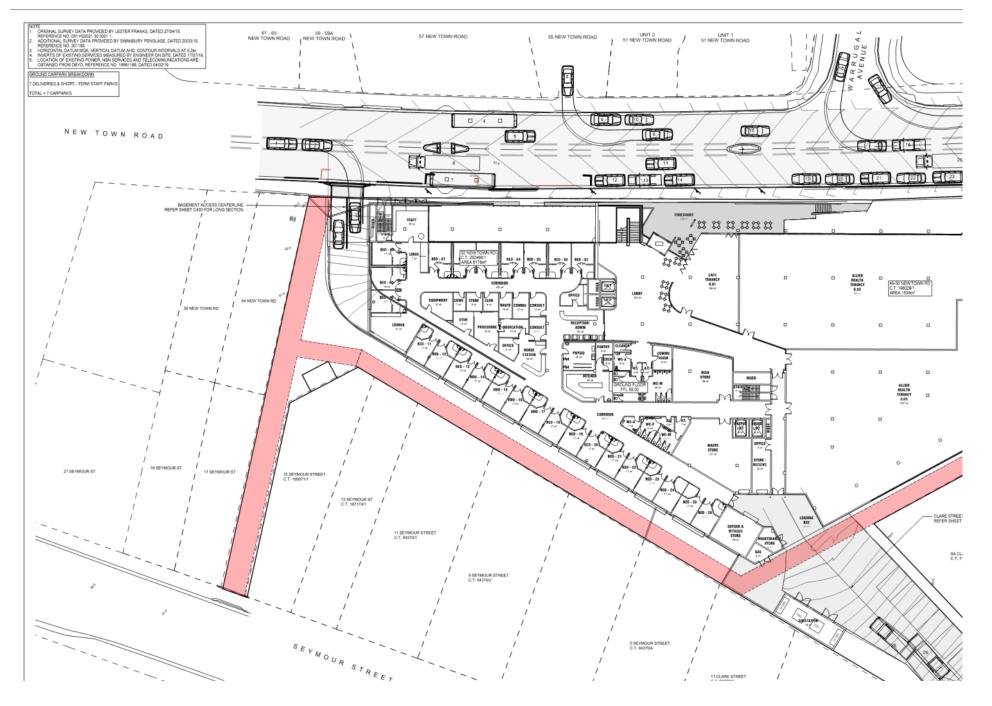


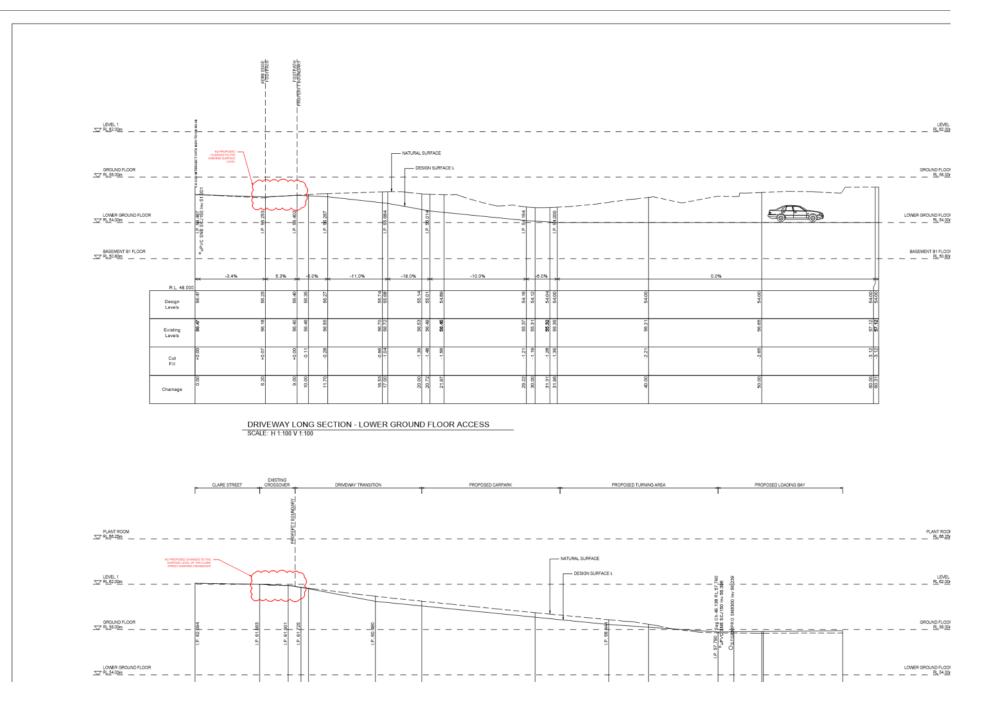


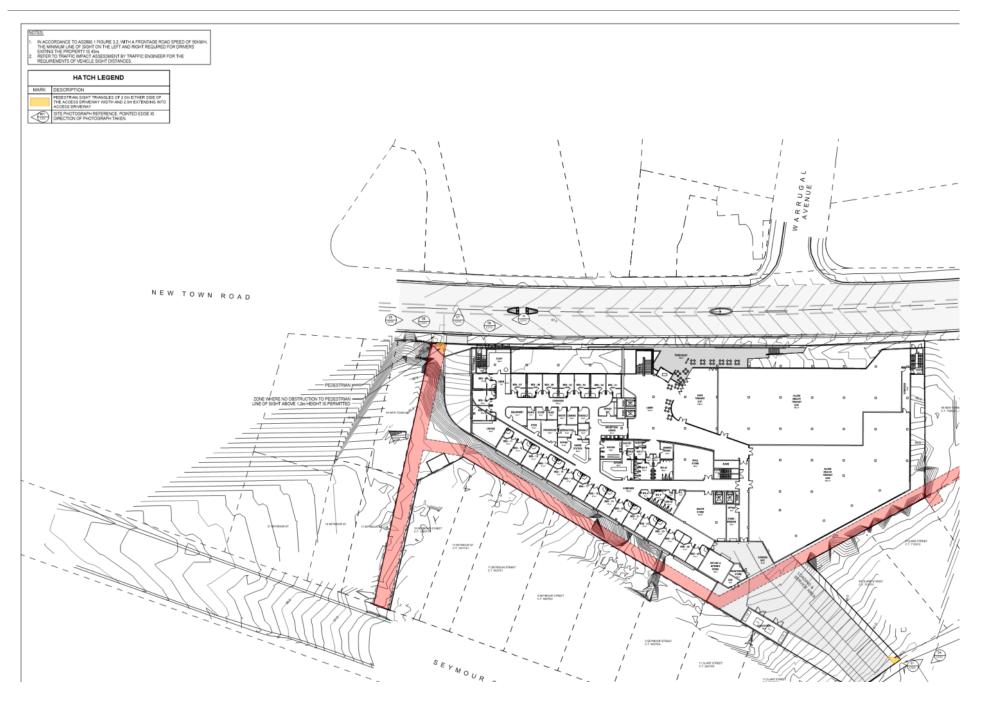
Item No. 7.1.1



Item No. 7.1.1







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#### NOTE THAT NTR REFERS TO NEW TOWN ROAD



CLARE STREET ENTRANCE - LEFT VIEW



CLARE STREET ENTRANCE - FRONT VIEW SCALE: N.T.S.



CLARE STREET ENTRANCE - RIGHT VIEW SCALE: N.T.S.



CLARE STREET ENTRANCE - PEDESTRIAN



00 NTR BASEMENT ENTRANCE - LEFT VIEW SCALE: N.T.S.



07 NTR BASEMENT ENTRANCE - FRONT VIEW SCALE: N.T.S.

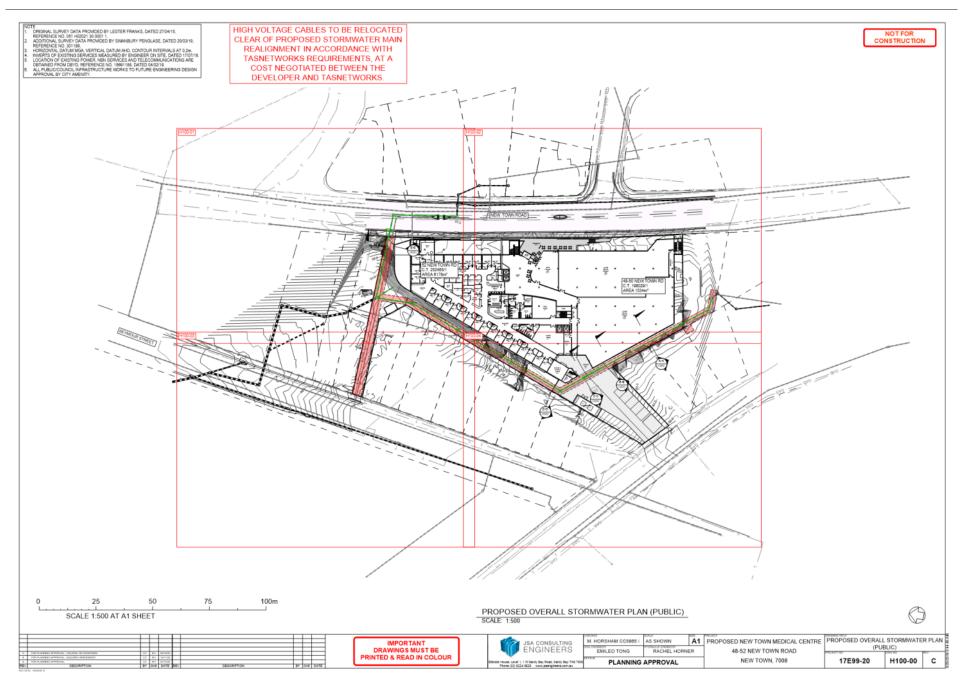


(10) NTR BASEMENT ENTRANCE - RIGHT VIEW SCALE: N.T.S.

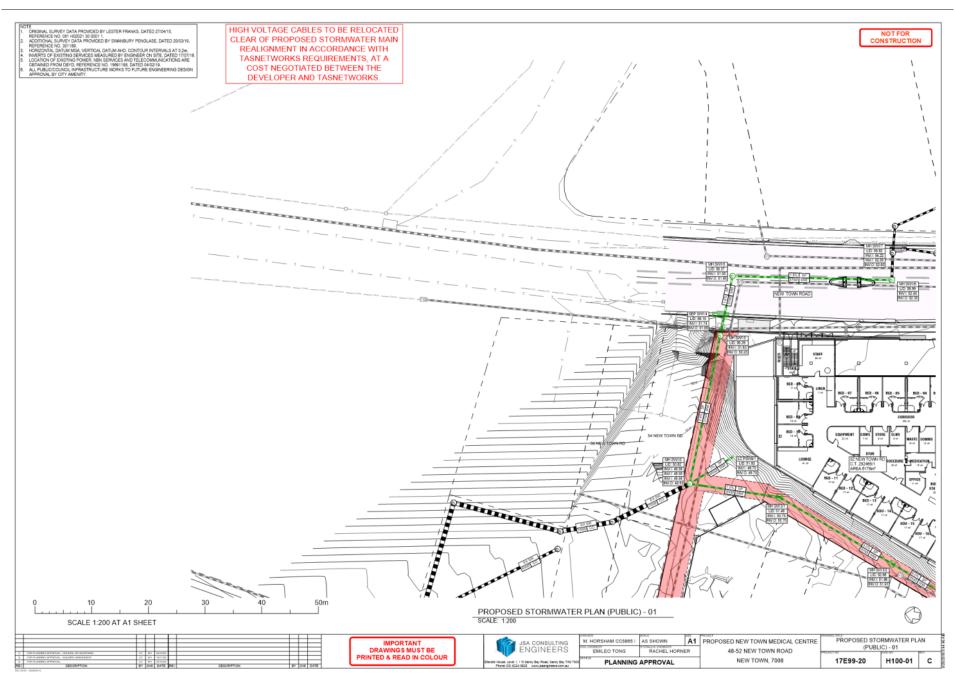


NTR BASEMENT ENTRANCE - PEDESTRIAN

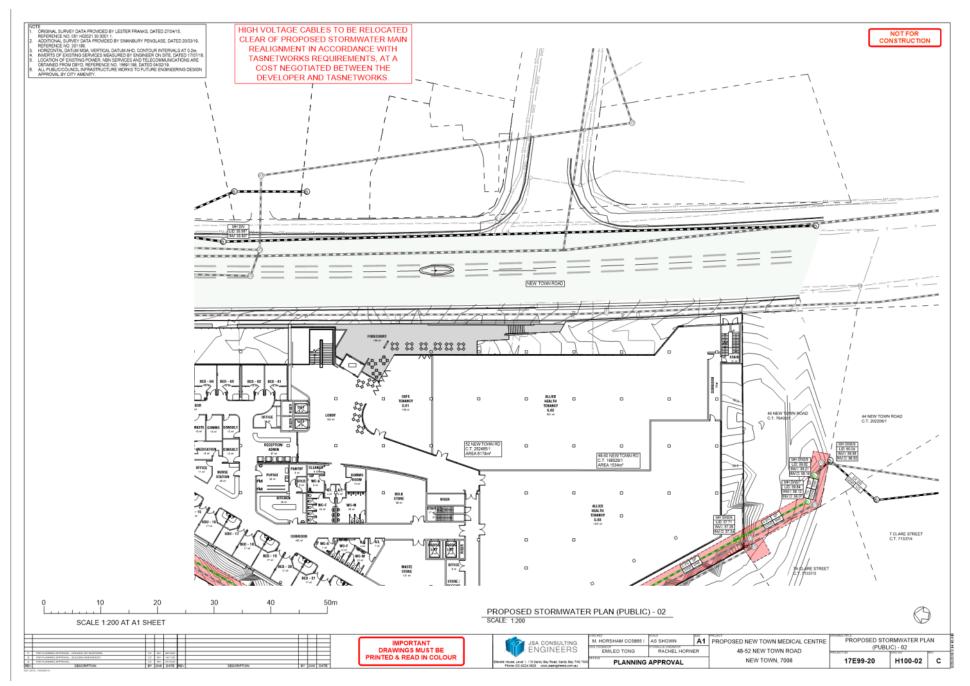
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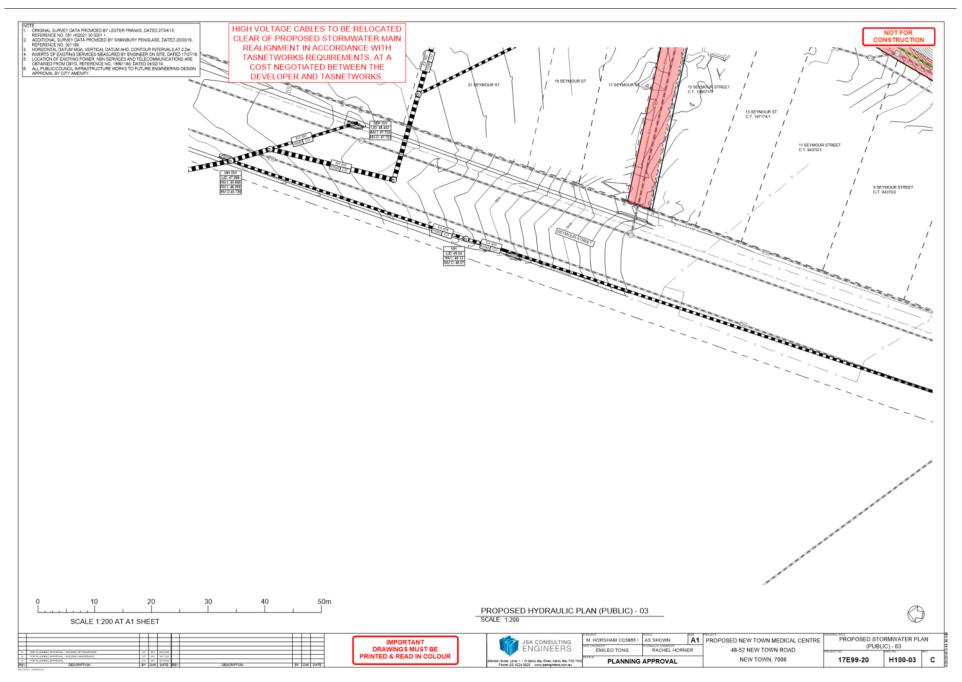
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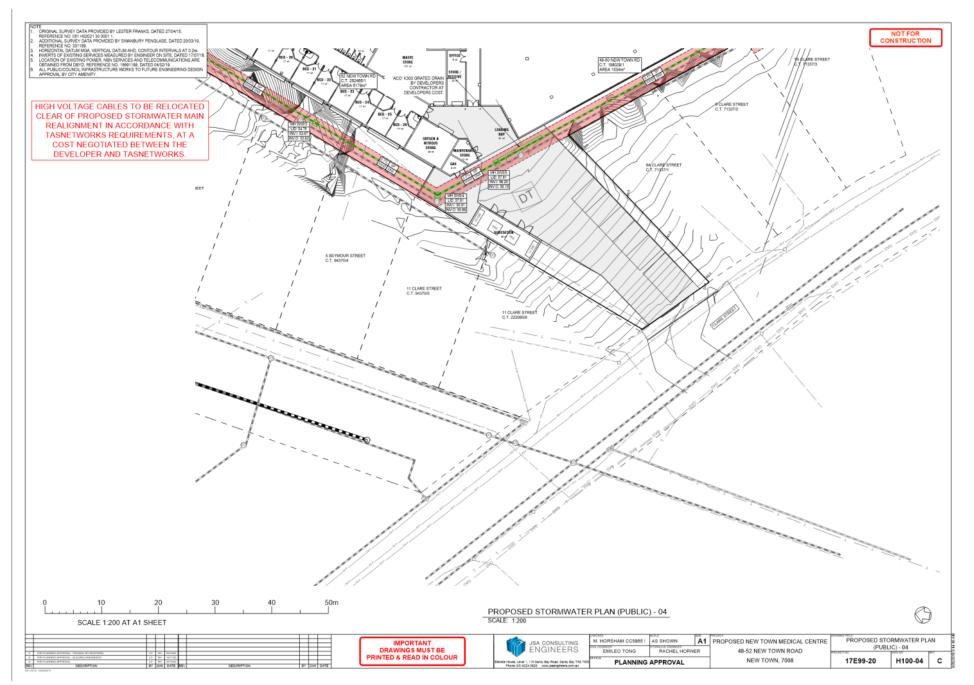
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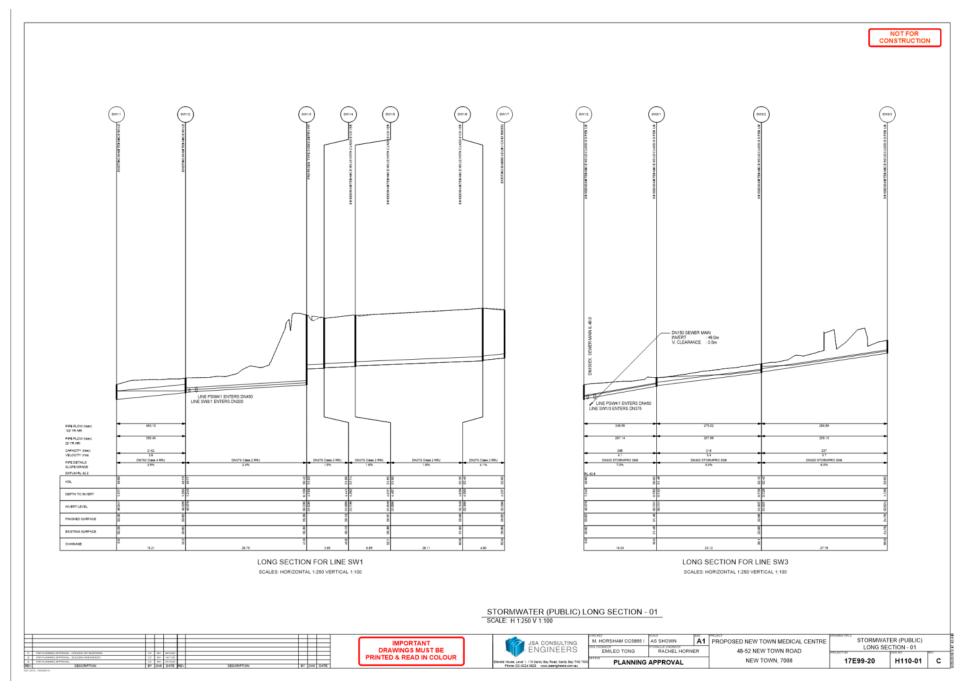
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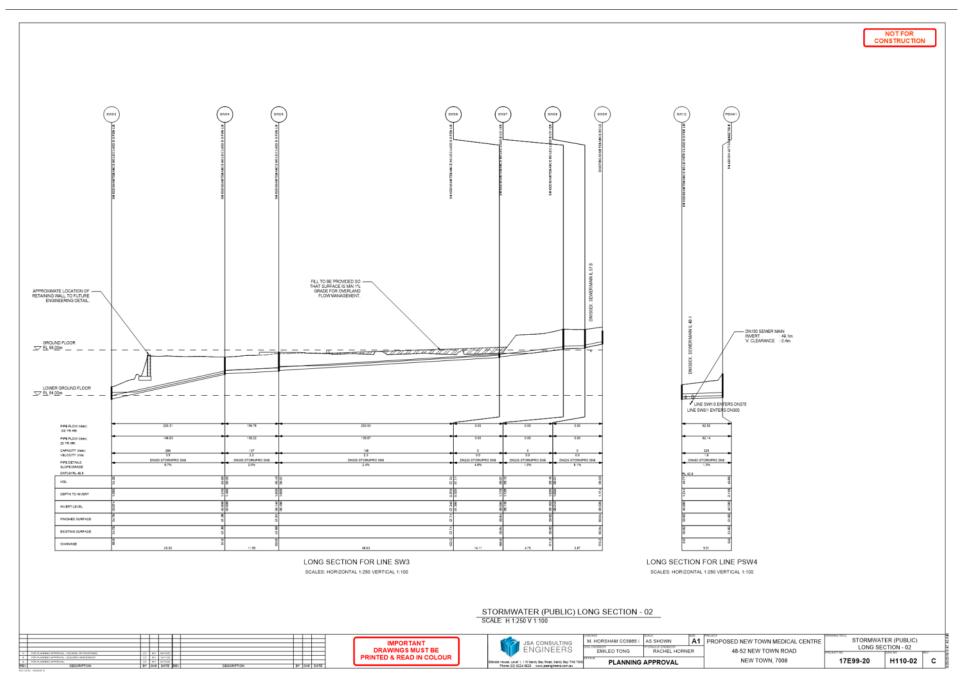
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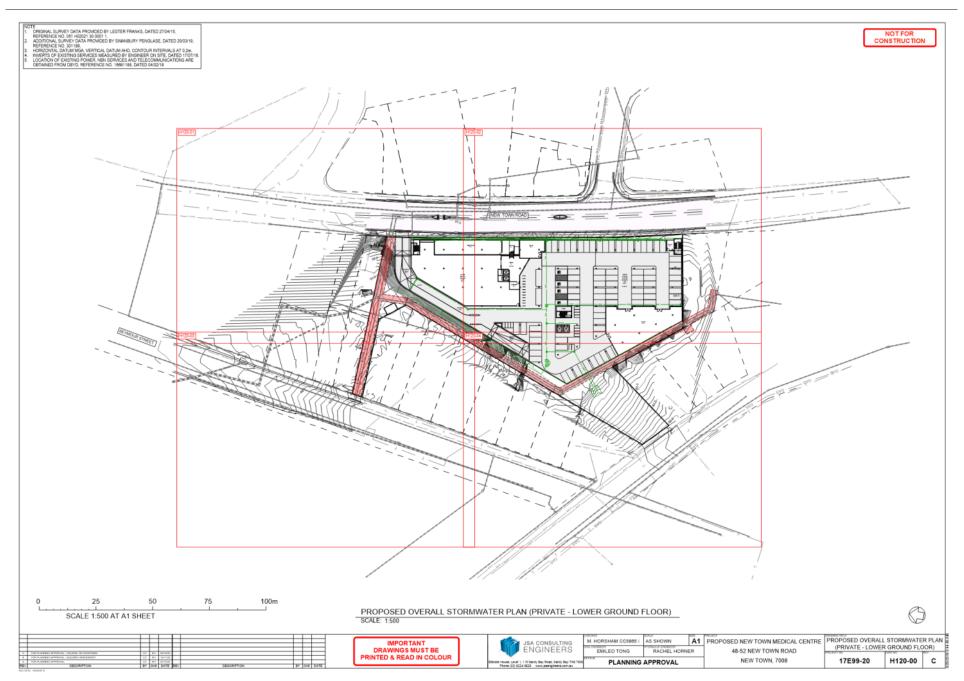
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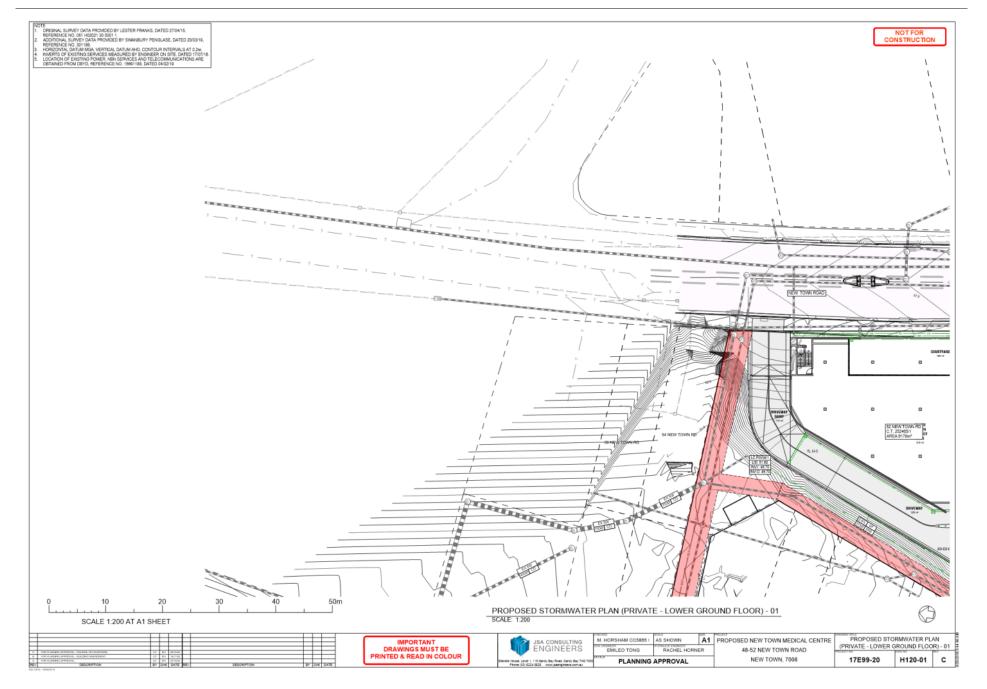


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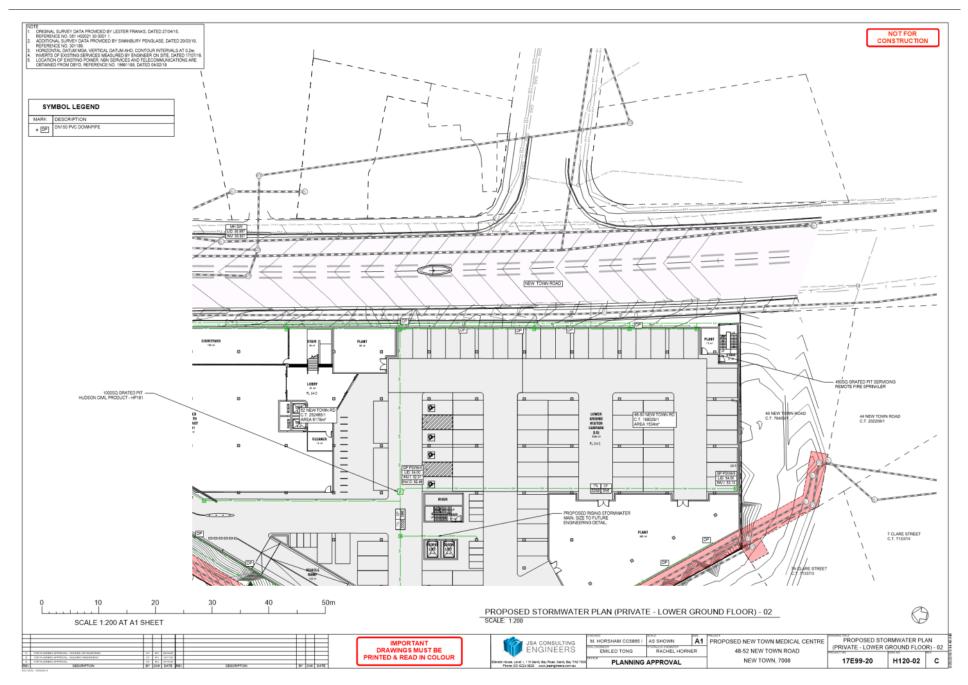
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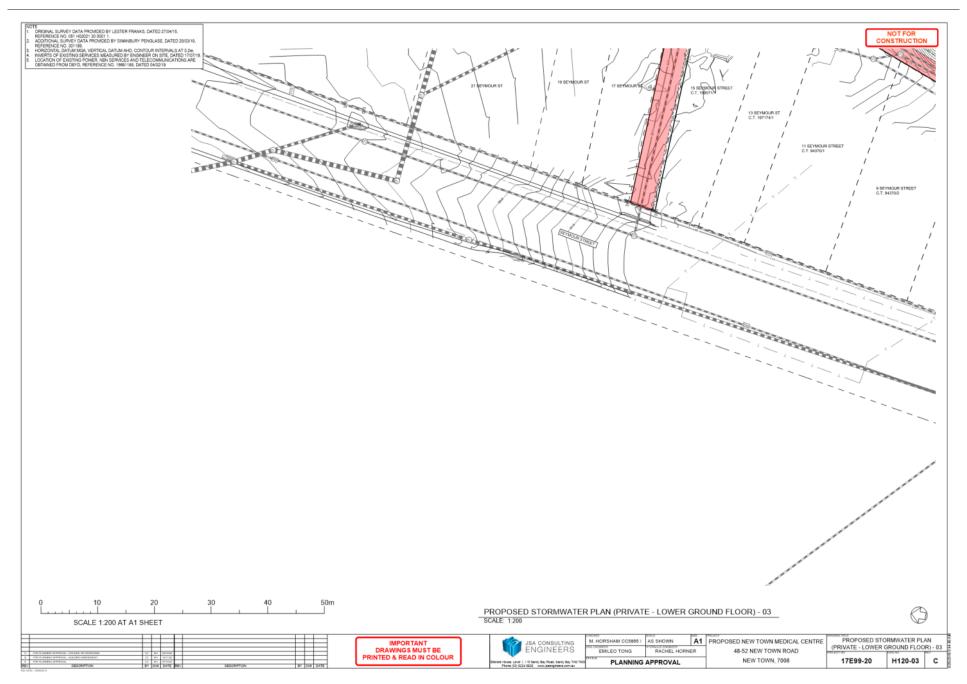


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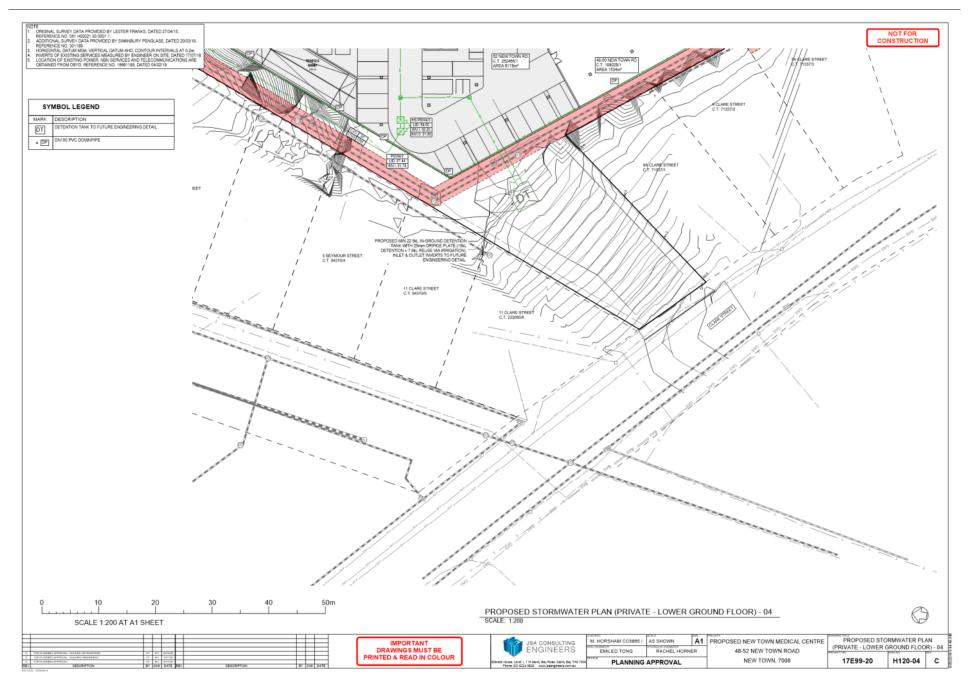
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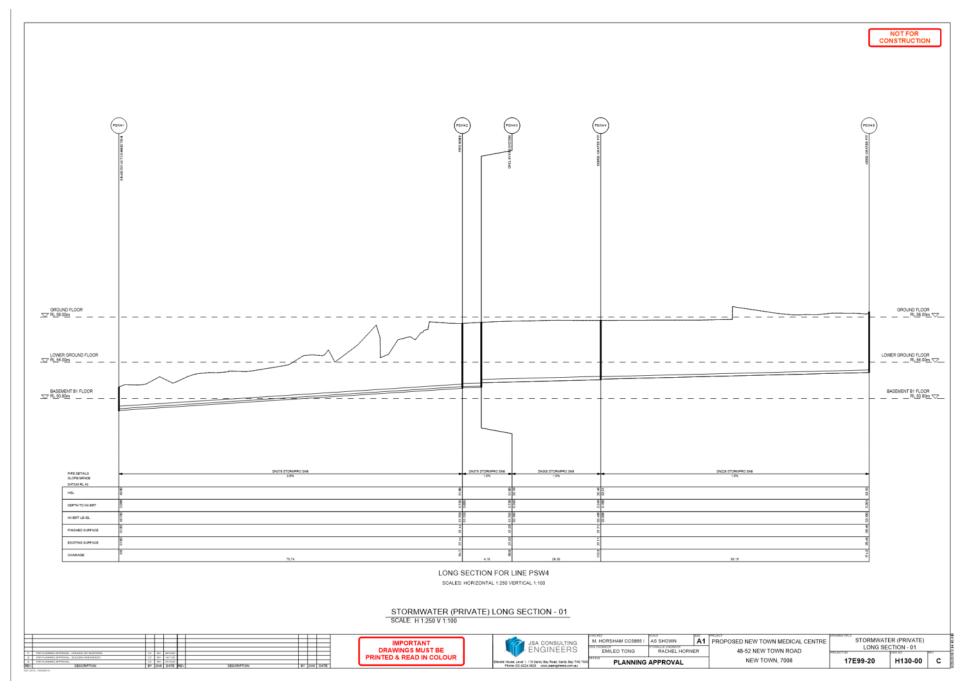
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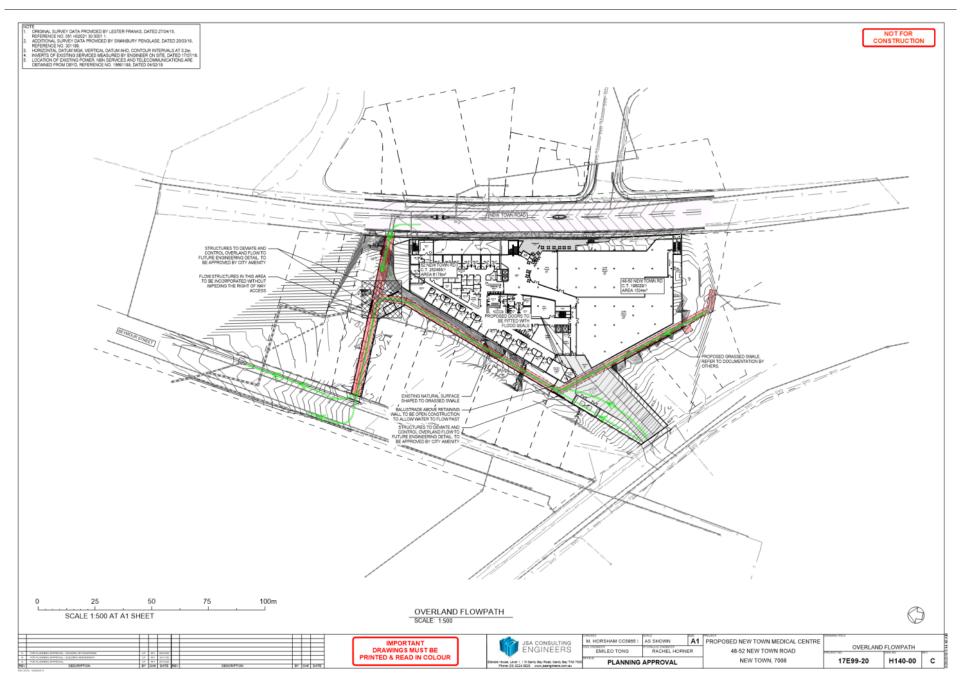
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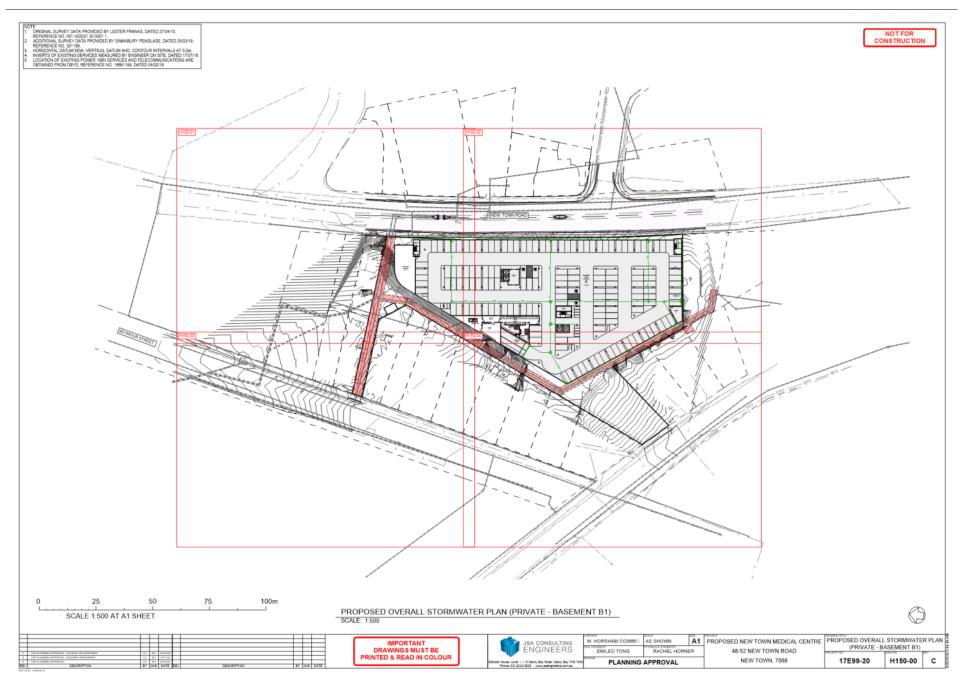
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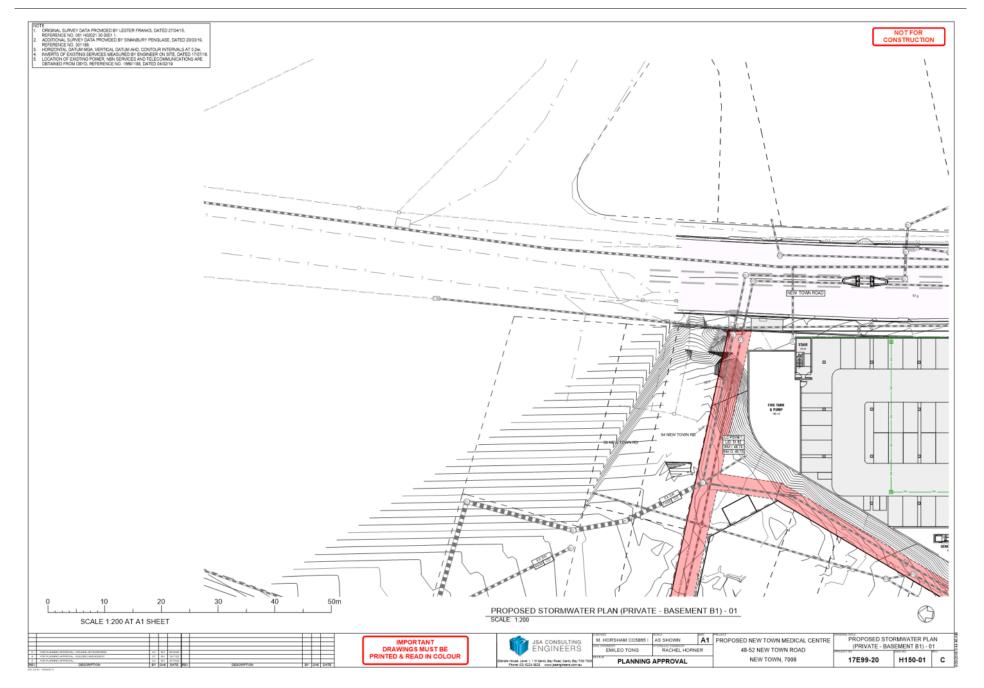


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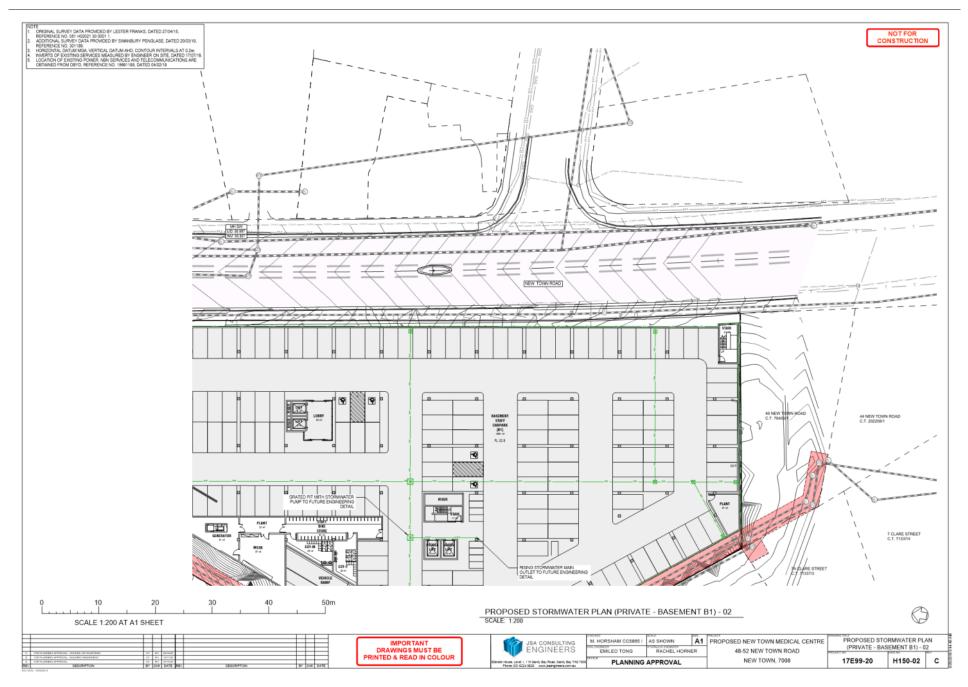


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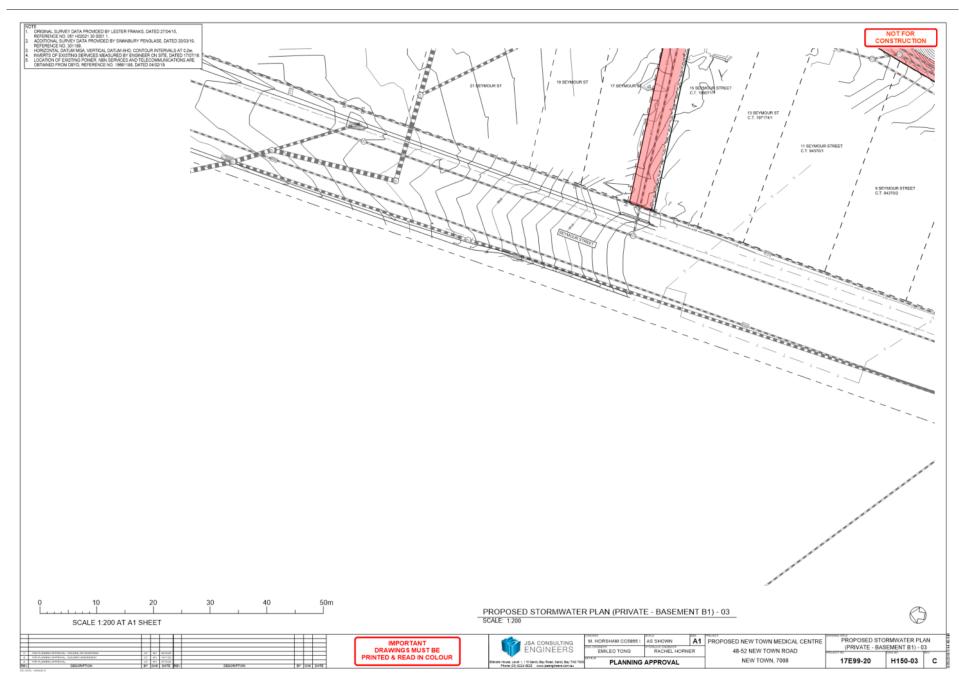




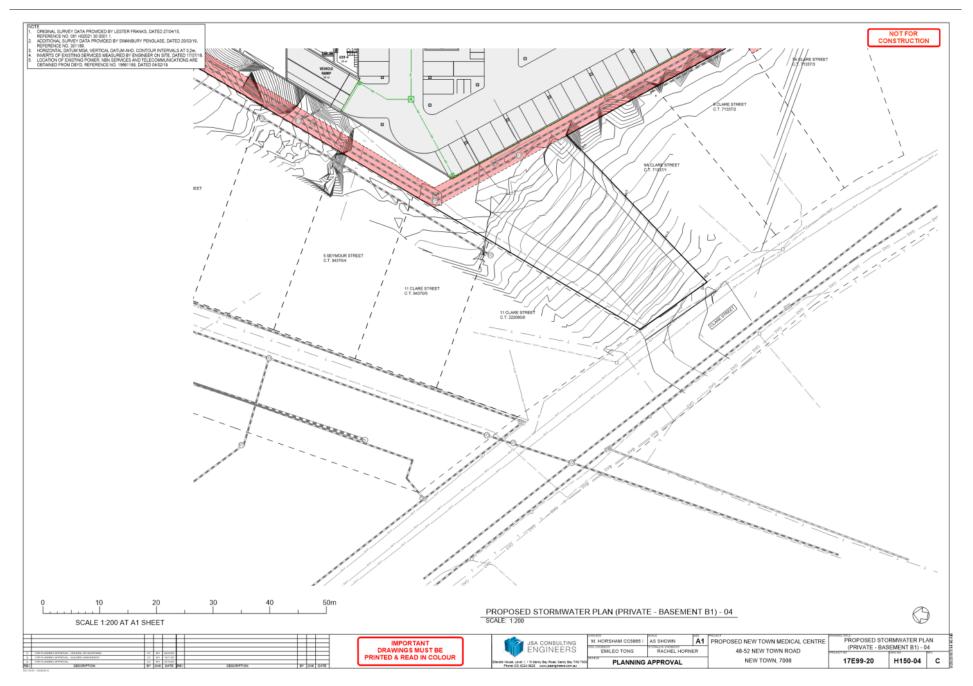
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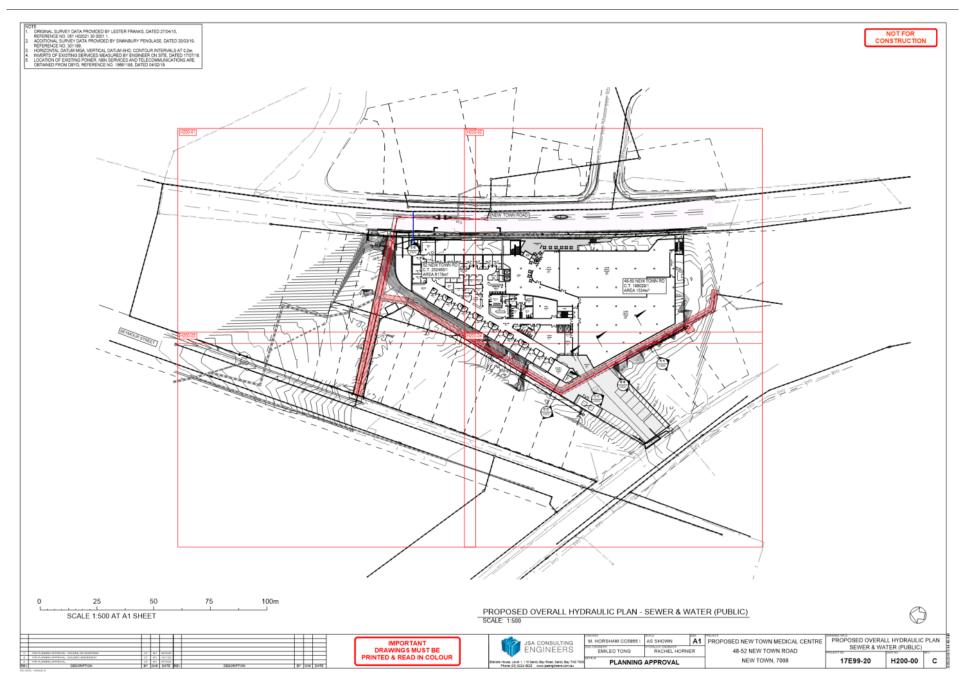
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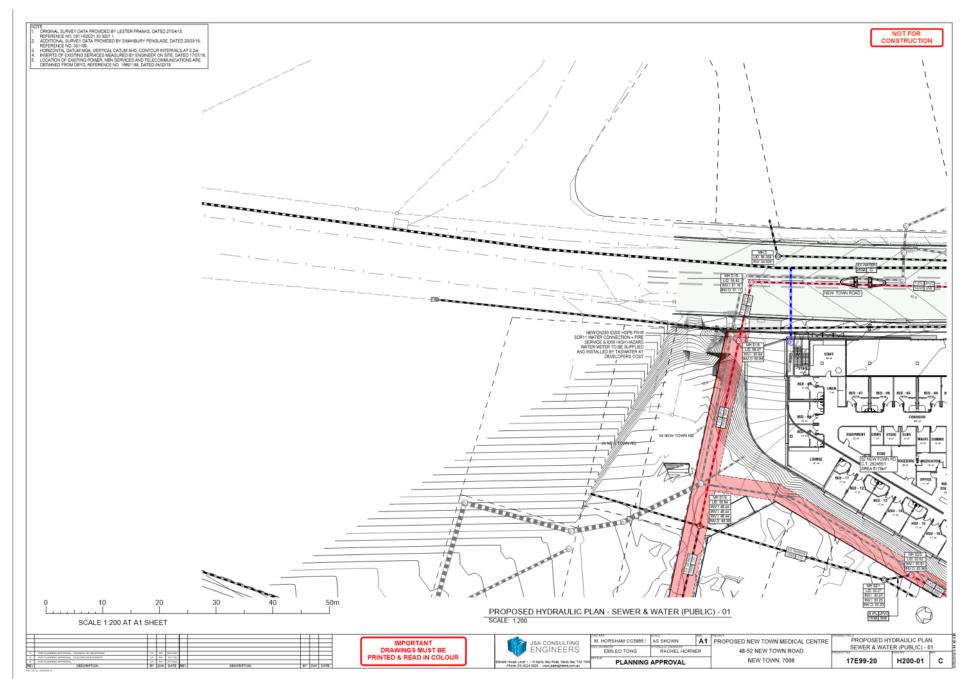


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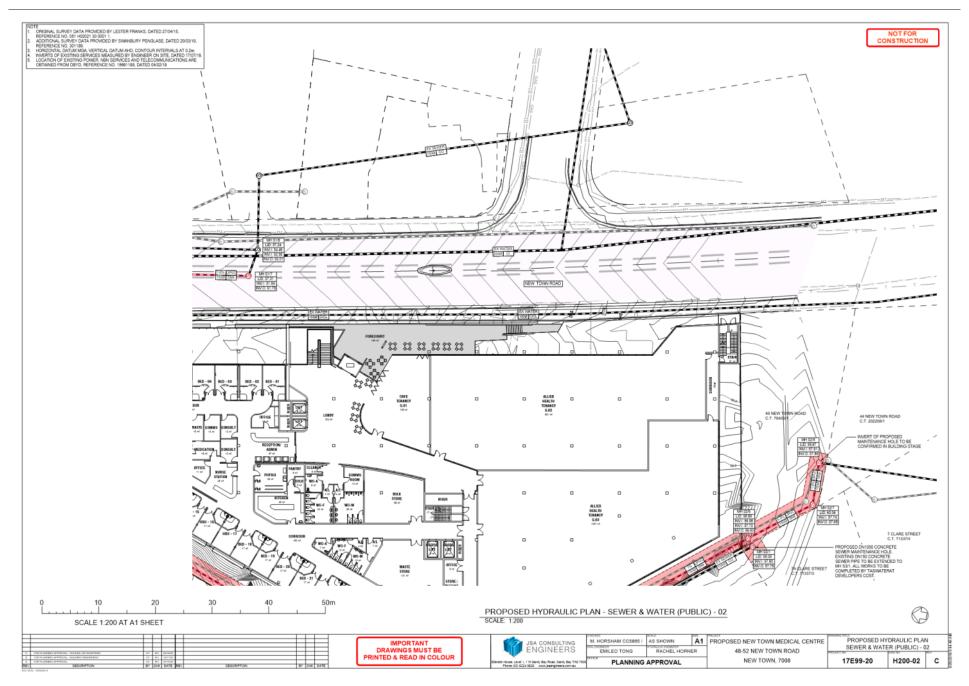
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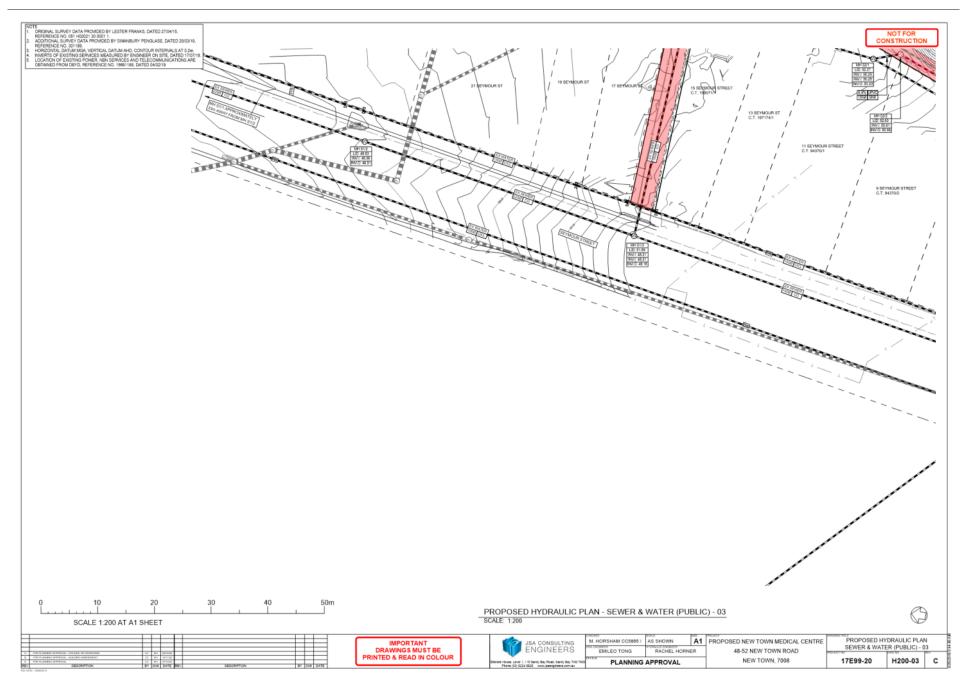


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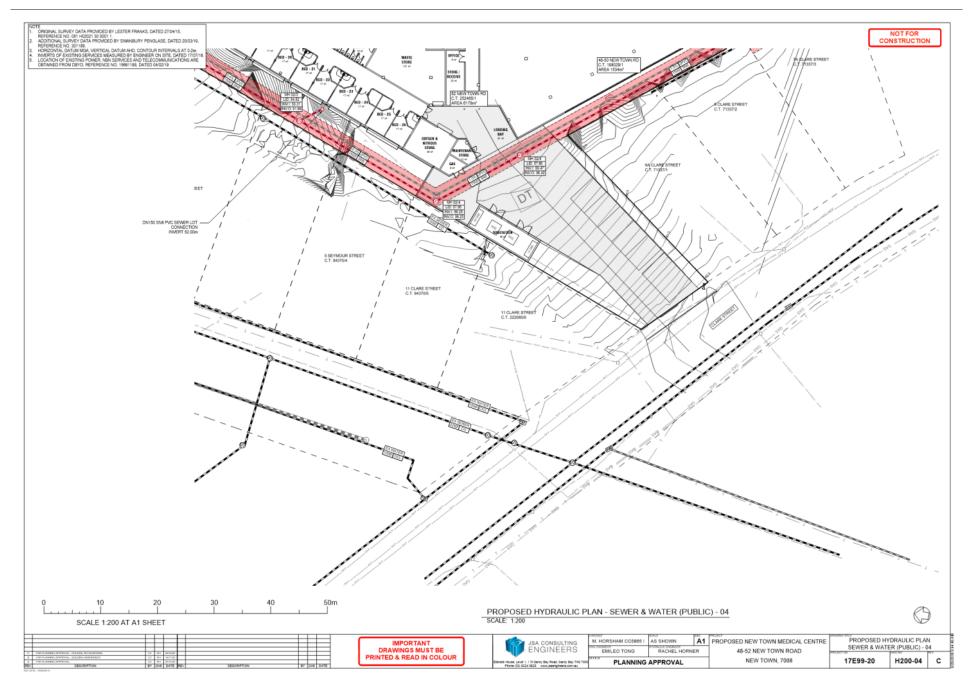
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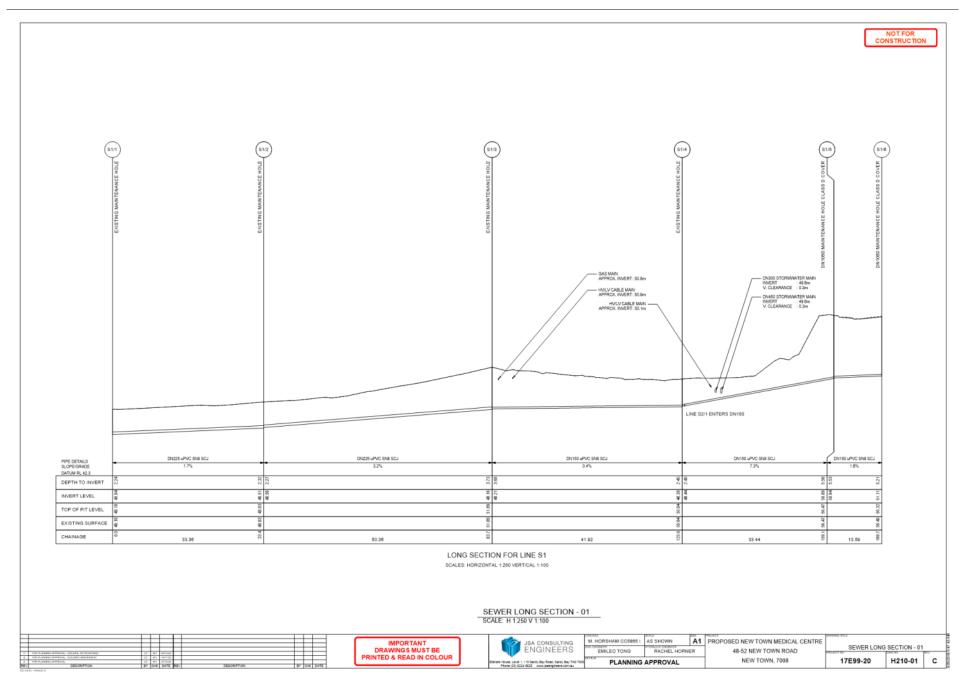
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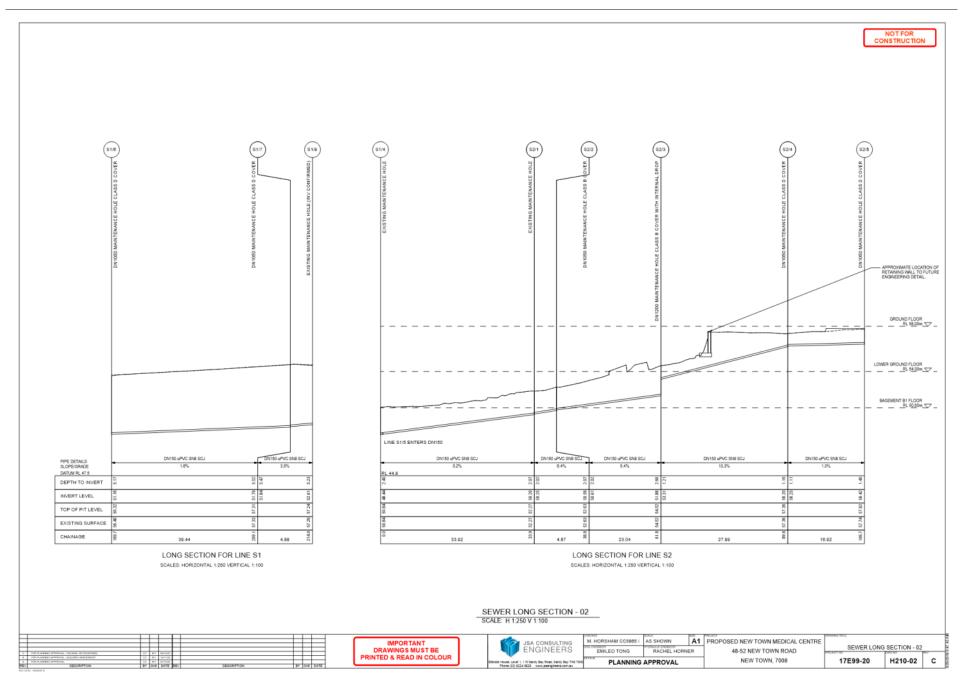
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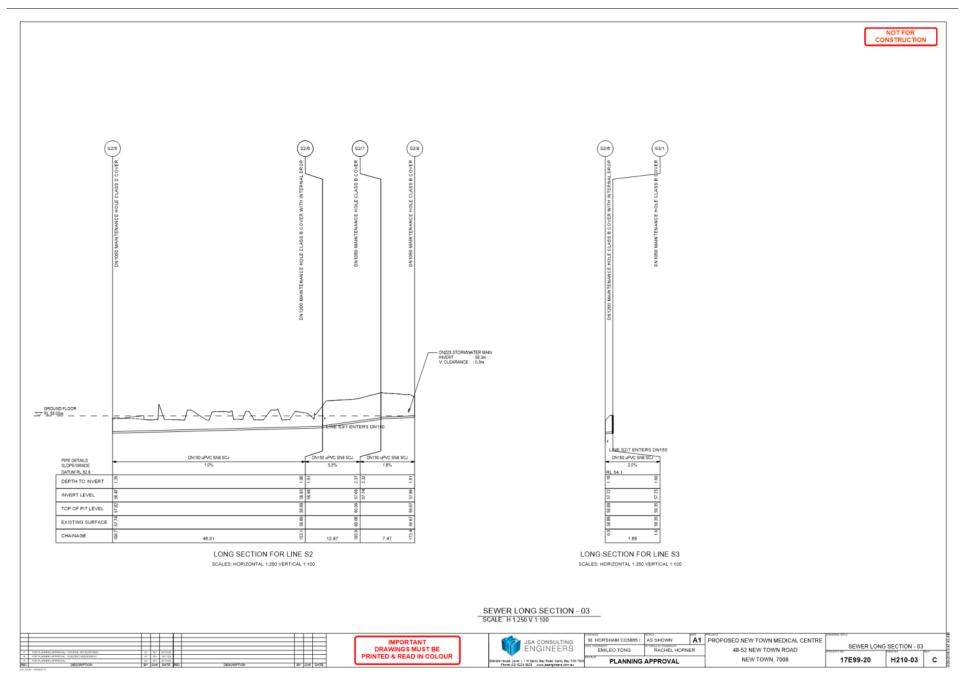
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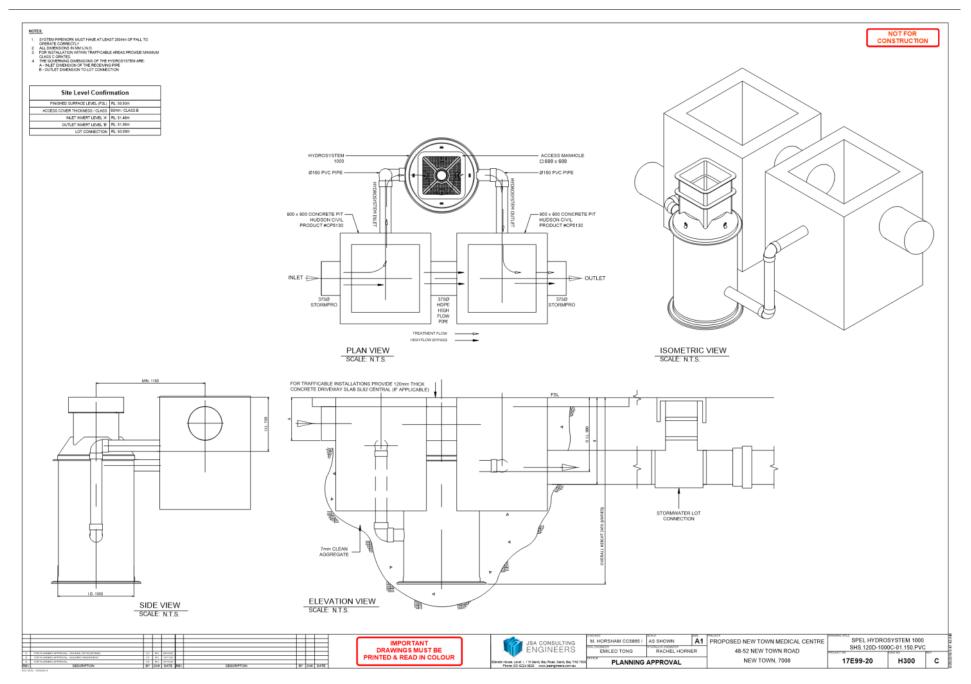
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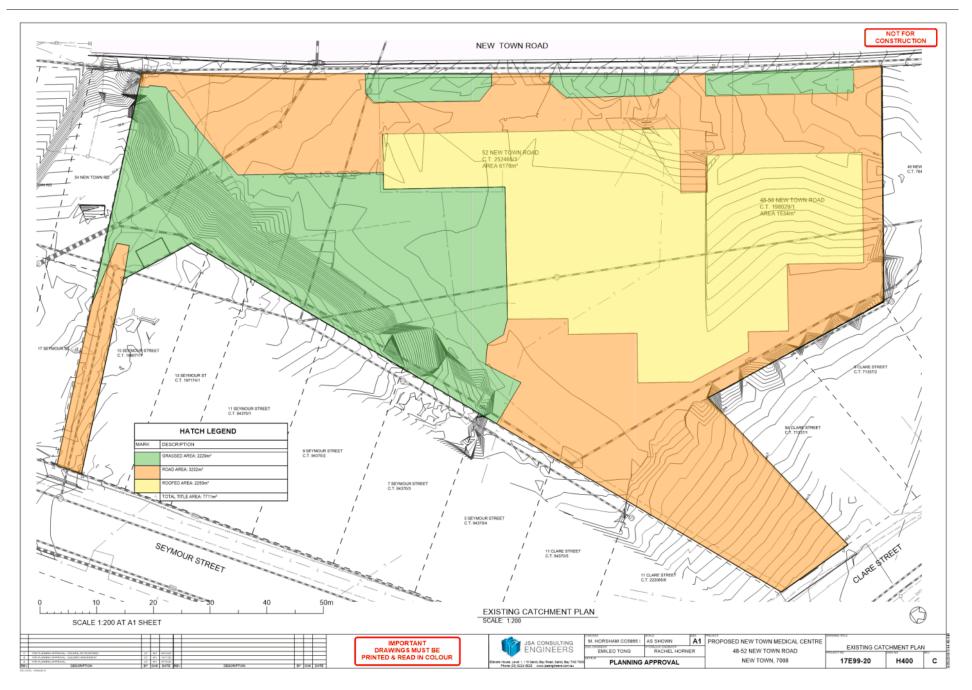
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### Supporting Information City Planning Committee Meeting - 1/3/2021

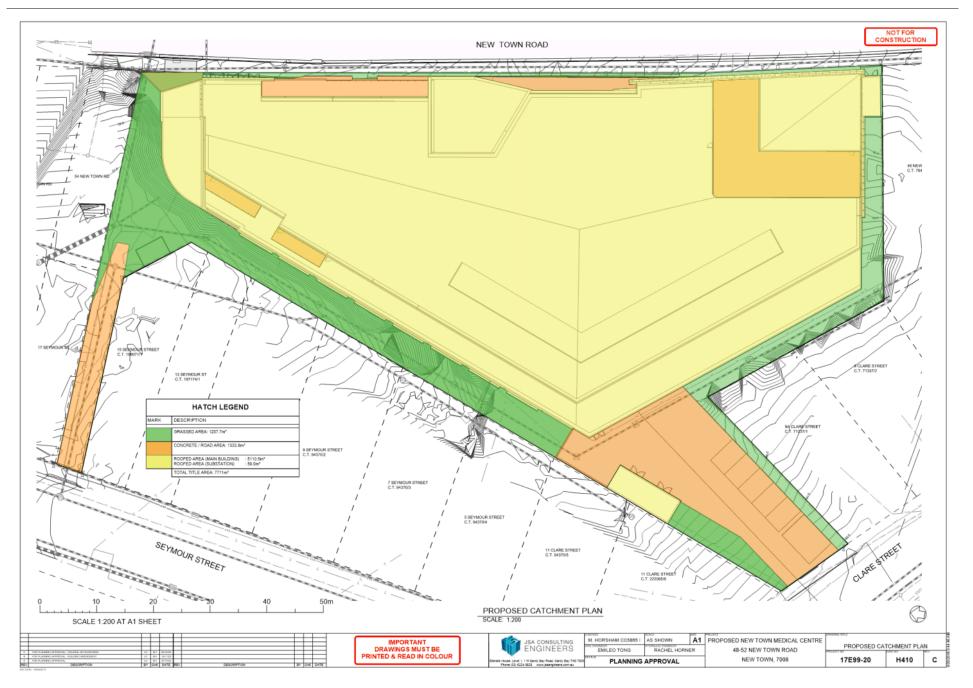
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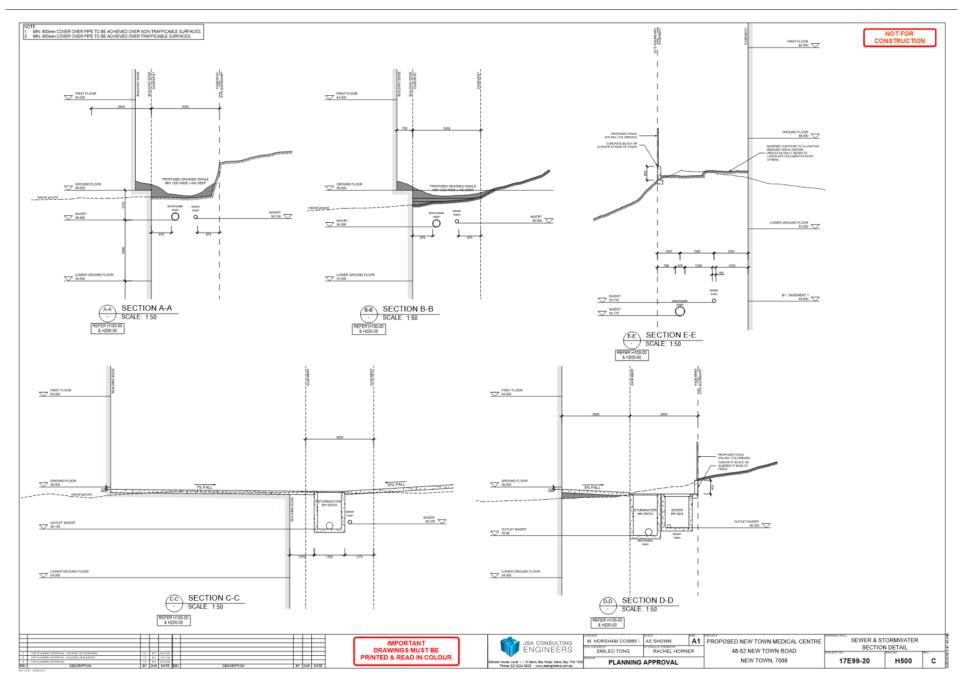
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Hobart City Council Via electronic submission

> JSA Reference: 17L99-20-1 Rev 4 Your reference: 48-52 New Town Rd

JSA CONSULTING

18 November 2020

RE: Contaminated fill and excavation assessment – 48-52 New Town Road

The property 48-52 New Town Road has been subject to a significant amount of fill applied to the site historically. The Environmental Site Assessment (ESA) by GES identified the proposed development site as contaminated, due to the composition of fill on the site. The SectemberGA Assessment alto by GES identified depth and georechnical assessment of fill and base material on the site per geotechnical boxe data.

Engineering drawings E101 – E115 (Appendix 5) have been prepared to summarise the excavation volume for the site, and to summarise the relevant volumes of B1 in accordance with the classes of constantiant classification from 1 to 4 in accordance with 10165 and the result of the environmental sub-assistment prepared by Geo-Environmental Schlaton RP LLI (CES). Drawings CMP01 – CMP12 (Appendix A) have been prepared solely with the contamination data in order to be sith integration the collection disbuffstion on the life.

This document sets out the methodology utilised to apply and interpret borehole data to the site as a whole, and to calculate estimated volumes of contaminated and clean fill and natural underlying soil and rock to be excavated from the site.

Contamination volume calculation methodology

Due to the ourrent use of the site, it was only possible to sample soils at borehole locations identified as BH01 – BH53. Seven locations were also subject to geotechnical assessment (GT01 - GT07).

On the basis of the locations of the available bonkhole data, the site was divided by area into regions, utilising a voron idagram method. Each bore region represents an area which includes all points which are close to that bore hele than any other bore hole. As such and region was interflied as including so with the same soil classifications as its central bore hole. Refer to CMPO2 (Appendix A) for the voron diagram of borehole regions.

In order to interpret the data in a systematic way, the votori diagram sections were digitised (reference, s 6 m grid. This grid method was utilised to enable practical interpretation of soil area and for use in site excavation management.

Subsequent to identifying the area regions, the Sm x Sm grid was integreted in 1m biose in depth by Ri, heights. Referring to CMIP64, the slot on RI, 05 – RI,09 includes a slot of the ste between these heights, including slot and the constance are being the rest. The slot area of the site between RIS and RIS are indentified by contamination distribution (Level 1, 2, etc or reasonal ground), and the balance of the site which is between the set of the site between RIS and RIS are indentified by contamination distribution (Level 1, 2, etc or reasonal ground), and the balance of the site which is between the slow file level is a constant and are ground level.

These slices wherein each grid square represents a 5m x 5m x 1m or 25m<sup>2</sup> block of soil are carried through the site on each page CMP04 – CMP12.

It should be noted that BH21-BH53 were resampled for leachate and re-classified (typically to Level 2), however BH01 – BH20 were unable to be resampled but would be reviewed on site once construction commences.

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The approach to classification of the 25m<sup>3</sup> block was conservative, in that each block was classified as wholly containing the highest lewel of containitation, and where a block was partially above NGL, the entire block was considered to be coll (n) top art i / soll).

Where borehole data could not be obtained to the full depth of contaminated fill due the fill depth exceeding the borehole, it was assumed that the fill would continue at the last classification to the depth of natural material below.

#### Excavation volume calculation methodology

The proposed excavation volume has been analysed with respect to the volume of fill material to be removed, and the total volume of excavation.

The set E101 – E115 by JSA Engineers (refer to Appendix B) summarises the excavation of material, collating the contaminated Bil and the geotechnical data, to determine the volume and classification level of material to be removed, for buils cities excavations, and preparation of stundations for the building.

The approach is conservative similarly to the contamination assessment in that a block is assumed to be excavated in entirely if more than 50% is included in the volume to be excavated.

The arrangement of material to be excavated by RL is set out in sheets E101 – E115 with each page representing a 1m deep slice of the site.

The bulk excavation is assumed to run through from surface level, to RL 50. The basement FRL is noted at RL50.8, but the full site excavation estimate to 50m conservatively allows for excavation associated with the footings around the perimter and allowance for excavation below the slab (potential sub-base).

From sheet E111 (PL50 – RL40) the excavation plan shows 2.5 x 2.5 m zone of excavation at each solurm location, which allows for the excavation of material associated with the foundation below each onlinm. This is a conservative estimate of excavations volume but allows for material required to be excavated below the lift core regions (which has not been separately iteritied).

These column foundation zones nun through to 1m into natural ground (to allow piers or piles through into solid material below the till), and once 1m into natural ground is achieved the excavation for that column is removed from the next 1m site diagram.

#### Summary of excavated material

A table summarising the conservative estimate of material to be removed from the site by for each RL 'slice' and classification is provided in Appendix C.

#### A summary of the total volumes of components excavated from the site is as follows:

Excavation Component:	Estimated Volume Removed (m <sup>7</sup> )	Notes
Contaminated fill material (Level 2 or greater)1	21,660	A
Non contaminated fill (Level 1)	9,762	8
Total volume of fill material	31,412	A+B
Total volume natural ground (below fill)	20.087	С
Total volume excavated	51,499	A+B+C

Structural (Chr) (Mechanical (Research (Brwsty) (Bishonmetial Direlots): Ch and Sargion RE Chris (Chrony REK COH3): M Matter Annual Re Michaul Complex Ref: Coh30 Elenial Hous, Lawi 1, 115 Land; Bang Bang, 103 Provid (B) 422 He2 Brail read@sa.com az John Constiting Dipenser Ry GL John Ke 156 S277 61



Please contact Jane Sargison on 5224 5625 or jane Sisa com au if you require any further information. Yours sincerely

Jargison Dr Jane Sargison

Director



APPENDIX A – Contamination plans







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# Page 118 ATTACHMENT F

Image: Control of the control of th	I KORIZONTAL DA' NHO, DONTOUR I LOCATIONICAND	TUM GDA, VERT INTERVALD AT C LEVELS OF BOI	TICAL DATUM 0.2m. REHOLES BH22.							,					,	,																FOR
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# Page 119 ATTACHMENT F

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# Page 120 ATTACHMENT F

TE HORIZONTAL DAT AHO, CONTOUR IN LOCATIONS AND L BHOS, BHOS, 0703, BHOS, BHOS, 0703, BHOS, BHOS, 0703, ACOUNTED,	UNIGEA, VERTI ITERVALD AT 0. EVELS OF BOR BHOL BHOL BR	CAL DATUM 2n. EHOLES BHC2.																													FOR UCTION
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-		+#	187	/ - /						ION OF S					A CONTRACT	21/32				2 BH		R1.57.72	H36				1111		4		12
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# Page 121 ATTACHMENT F

HORIZONTAL DA' AHO, CONTOUR I LIDCATIONS AND	TUM GDA, YE INTERVALO A LEVELO OF I	ERTICAL DATUM AT 0.2m. BORRHOLES BHO2. 4. ENTIC ENT. BHA3. 3. EH 27 & EH 31 AME																													FOR UCTION
BH45, BH51, BH51 ASSUMED.	A	3, 0H 37 & BH38 AME	С	D	E	F	G	Н		J	к	L	М	Ν	0	Р	Q	R	S	Т	U	V	W	x	Y	Z	AA	AB	AC	AD	
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8				-17									BH05			97.76			28.72 IB BH21	RL 5787	H50	1	1							1 1 7	8
9		11/1 11/1 11/1				1							T	H25	1-	9   BH45 			-	18 15 18 149		57.77	<u>г</u> –	-		12 25 BH41	57.71		ВН14		9
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R PLANNE APPR	OVAL DES	ORIFTION		CT ME 2504	en Rev		DESCRIPTION		87 0	K CATE						Elensie Hou Phor	M, Lavel 1, 119 Gand M (00) 6224 6625	GINEEF		E. TON		R. HOR		48	8 - 52 NEW NEW TO	TOWN RO WN, 7008	AD	17	E99-20	CMP	Nev Nev

# Page 122 ATTACHMENT F

TE HORIZONTAL DA AHO, CONTOLR LOCATIONS AND BHO2, BHO5, OT	NTUM GDA, VER INTERVALO AT D LEVELS OF BO	RTICAL DATUM T 0.2m. IDHT0.80 BH02. IBHT0.8H47. BH48. IBHT0.8H47. BH48.																												NOT F	FOR
BHHS, BHS1, BH ADDUMED.	A	B ST & BH30 AME	С	D	E	F	G	н	L	J	к	L	Μ	Ν	0	Р	Q	R	S	Т	U	V	W	X	Y	Ζ	AA	AB	AC	AD	
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2				ſ	R. 56.7	GT02/BH01	- al B	121		зноз	2	6	1		-8	BH08						58/83	59.15		r,	RL 59.98		1	GTO	I/BH13	2
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7			/1		100					HI CI	BH24	1	81.57.58	GT03	1	8H46		1	/			1.	81.57.78 BH38		Ŕ		·			1 1 H30	7
8				-17							1	1	BH05			1.76			18 BH5	87 RL 578;	H50	1	1	1		1				1 7 7	8
9			(r/		/	11		-2					T	125	1-	9 BH45			-	8 5 8 8 8 8 8 8 8		11.12				92.253 BH41	1		BH14	Ì	9
10			1. 1. 1.	1		1		7	7-					7:28	84.74			12	18-15 BH40	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	H48	1	H37				ВН15	1			10
11		17 1	1 610		/	/								ВНОВ	ВНОТ	7		a B	H18]	1 27.69	./	7.72	1		IN BHIE		1111				11
12	1	11:		10		NTAMIN LEVEL						$\overline{\gamma}$	2		to.	E BH35		1		BH	27.73	2.73	H36								12
13	1	1:		10	PL	AN REP									×	9			E 57.99	H28	BH27	GT04/	H20 \	K					Ĭ		13
14	N.	Ki/				11	H LEGE	ND	1/ /					1	/ /					S BHI	27.60	11	1.					$\overline{\langle}$	1		14
15	1	K /				ARK DES	- ABOVE NG				=/		//	//				1	1		ВН26		11	E F	BH34				1		15
16							CLASSIFICA					<u> </u>	, ', ', ', ', ', ', ', ', ', ', ', ', ',			1			1.	1.	111	1 /	R 50.28								16
17						FILL	CLASSIFICA	TION OF 3														11					3H32				17
18							URAL GROU							1	11								× ×	1-	E BH31		11	× />>			18
19													RI	57	0 - 1	RL 5	56.0								× / × / /		119	$\square$			19
20															1:200											50					20
				C1 M1 2954		I					I				I		JSA EN	CONSULTI GINEEF		HORSHAM HORSHAM E. TON	107	AS SHOW				EDICAL CE TOWN RO		DOWNS TILE	RL 57 BH ENVI	0 - RL 56.0 RONMENT/	AL
OH PLANNING AFT	10/4L DESC	RIPTION		ET MIT 2504 BY DHK DAT	o E REV		DEDCRIPTION		87 04	K DATE						Elensie Hou Phor	use, Lavel 1, 119 Gand the (D2) 6224 6626									WN, 7008		17	E99-20	CMP	07

# Page 123 ATTACHMENT F

DRIZONTAL D IO, CONTOUR CATIONS AN ED, BHOS. ST	ATUM GDA, VERT RINTERVALD AT C D. LEVIELS OF BOR D. BHOIL BHOL BHO C. BHOIL BHOL BHO C. BHOIL BHOL BHO	NCAL DATUM 2.2m. REHOLES BHG2.		1		_													1									1			OR JCTIO
NO, BHO', BH	A	B	С	D	E	F	G	Н		J	к	L	Μ	Ν	0	Р	Q	R	S	Т	U	V	W	X	Y	Ζ	AA	AB	AC	AD	
1		1	<i>(</i>				N -									82.28											1	/			1
2					PL 56.7	GT02/BH0	- B	121	Table of	H03	2	61	1		66.30	BHOS		18	1	1		58/83	59.18	29.63	·,	24,59.98	1	-,	GTO	/BH13	2
3					1			1		;	1					44		10 BH	3			ABH09	Б	IGW01	BH10	1 8	BH42	i,		F I	3
4		111111 111111 1111111				EI 8	BH22		100	1	98					1	$\overline{\langle}$		1 1		1			i iii	BH12	LI 20	вн11			}	4
5				Section		North Contraction			BH02		BH	23				1		ί,			·		N BH	39					RI-59.74	1	5
6							-100	+	ER BH04						78	$\rightarrow$		\	57.87	R157.87							<u> </u>		+	4	6
7									1 WI	RI 57.30	3H24]	//		S. GT03	- Jale	BH46			BH52		153	i	57.78	$\vdash$	$\langle \cdot \rangle$		·			4	7
د B			N	-77						1		B	45 H05	/ <u> </u>		i			48.1 <u>5 18</u> 1 BH51	RL 57.87		_   	ВНЗВ	1		·				H30 J	8
													63: 25 BH	25]	1-1	8 BH45			ВН51	1919 1919	150					21.75			92 15 TH BH14	1	
9					//	1		12.					Ą			$\frac{1}{2}$			57.87	BH49		RI 57	H37		[	BH41	12:25 BH15			, ,	9
10		1/1	1		/ /	1		ľ					j.	25 19 10 10 10 10 10 10 10 10 10 10 10 10 10	8 (BH07) ()		<u>\</u>	21:15	BH41		H48	/	1		52 20						10
11		V [/	187	/					IFICATIO							-1	Ň	- IIII	H18	2 BH1		RI 57.72	i I		IN BHIG		1911		11		11
12	./	$\left  \begin{array}{c} i \\ i \end{array} \right $		120	BY GE	LEVEL	INTERP	RETED	FROME	ESA BY	/		7.	N		ВНЗ5	Į	1		1	2. 15 BH27	57.73	H36	and the second s							12
13	1/-	1:/	[/	100		EP SEG			DATA F					$\sum_{i=1}^{n}$	22	1			E ST	128 00	/	GT04/E	H20 \								13
14	it-	11/			1		H LEGE						====		///					ВНТ	BH2	1/2	1.								14
15		ľ /	[//			ARK DES	- ABOVE NG				=/		1	11	1	Ę		1.		, '				17	ВН34				/		15
16	1	, . 					CLASSIFICA					-=	1_1		1				1	1.			12 00 29 BH3			No.			ł		16
17							CLASSIFICA															11	T		11	( I B	H32				17
18							URAL GROU							1											BH31			× ,>>			18
19													RL	56.	0 - F	RL £	55.0	~							× / /		11	$\triangleright$			19
20						<u> </u>									1:200											55	/				20
																Í		CONSULTI		HORSHAM (	107	AS SHOWN				DICAL CENTOWN ROA		DISONNO NELE	RL 56 BH ENVI	0 - RL 55.0 RONMENT/	
-CANNED AT	ntova, DESCRI	PTION		ET MI 2004	oo E REV		DESCRIPTION		87 04	CATE						Elensile Hou Pho	ae, Level 1, 119 Gent) ne (0) 6224 6625					PPROVAL		48	NEW TO			17	E99-20	CMP	08

# Page 124 ATTACHMENT F

I HORIZONTAL D HOL, DONTOUR LOCATIONS AN IHOL, BHOL OT	NTUM GDA, VERTIC INTERVALD AT 0.5 D LEVELS OF BORD 5. BH51, BH54, BH C, BH52, BH54, BH	CAL DATUM 2n. EHOLES BHC2.																		1										NOT F	FOR UCTION
AHAD, BHS'I, BH KOOUMED,	A	B	С	D	E	F	G	Н		J	к	L	М	N	0	Р	Q	R	s	Т	U	V	W	X	Y	Z		AB	AC	AD	
1		1					N.C									2.78										1-	1	<i></i>			1
2				í	RL 56.7	GT02/BH0	I I II	H21	A REAL	1	1	pi	1		- 8	EH08		ALL ALL		1		58/83	59.18	1 - 1	·,	8.59.98		1	Пато	1/BH13	2
3			4		T L	1 1		1			/		1		4	444		/ BH4	3			ВНОЭ	GTO	JGW01		1 18		5			3
4			4			EL S	BH22		57.18	2/	57.36		-			1			1 1				C BH4	I III	BH12	1	ВН11				4
5		47771477 14777477 14777477 14777477 14777777171		57700 57700			1		BH02			23				1	$\square$		 				BH						RI 59.74	1	5
6								=		4	\'	)/É		8				\ \ \	48.15 18 18H52	R1.57.87				×.			· · · · ·			-	6
7		91,,,,,,1 91,,,,,4 91,,,,,4								1 19	BH24		57.58	E GT03		BH46			7	7			BH38							1 1 H30]	7
8			/ // <	-1-7									BH05	1		92.			18-25-18 BH51	RL 5787	H50		10130				<u></u>				8
9					/								15 B	H25	/-	ВН45				18 15 BH49		57.77	 			92.25 BH41	57.71		BH14		9
10			11 14 15 - 1		<i>i</i>		1		7-					53.28	86.2	/ \		22	78.72 BH41	RL 57.87	1148		H37]			7	BH15	5			10
			1919 - 1919 - 1919		7									ВНОВ	Внот (	1	1	B	H18] /	RL 57.69		72	   		1 BH16		1111				11
12		$f_{i}$		1	BY	LEVEL			SSIFICAT					N.	K.	LE IBH35				BH	27.73	73 R1.57	H36						1		12
13	1/-			100	DE	AN REP			ie data 'Een the							17			E 57.95		BH27	GT04/E	H20	¢.							13
14	in J		1		RL	1/1	H LEGE											$\overline{\langle \cdot \rangle}$	Ţ	128 00 15 18H1	09:15		t.								14
15	:/ ],	/   /				ARK DE	SCRIPTION	1										17.	~~~		BH26			EL S	ВН34				/		15
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17						FILL	CLASSIFICA	ATION OF	3				<u> </u>			=====							ВНЗ			EL SUS					17
18					[ 		. CLASSIFICA TURAL GROU		4		-												1		KS B B B H31						18
19								-			F		PI	55	0		54.0	<u> </u>	/ / 								11				19
20								-							1:20		.0									55	1				20
																		CONSULTI		HORSHAM	107	AS SHOWN			POSED ME			DISONALS MICE	RL 55. BH ENVI	.0 - RL 54.0 RONMENT/	,
R DANNES AFT	DESCRIP	TION		UT MI 2004	n RRV		DESCRIPTION		BY.	DHK DATE						Elensie Hou Pho	ee, Level 1, 119 Gand no (00) 6224 6625			E. TON		R. HOR	ER	48	8 - 52 NEW NEW TO	TOWN RO WN, 7008	AD	17	E99-20	CMP	100

# Page 125 ATTACHMENT F

TE HORIZONTAL DI AND, CONTOLIR LICCATIONS AN BHO2, BHO5, GT	ATUM GDA, VE I INTERVALO A D LEVELS OF I D. BHDE BHD	ERTICAL DATUM AT 0.2m. BOREHOLES BH02. SI, BH17, BH48, SH48, SI, BH17, & BH37, BH48, SI, BH17, & BH37, BH48, SH48,																													FOR UCTION
BHHI, BHSI, BH ADDUMED.	A	IS, BHST & BHSH ARE	С	D	E	F	G	Н		J	к	L	М	Ν	0	Р	Q	R	S	Т	U	V	W	X	Y	Ζ	AA	AB	AC	AD	
1		1	1						6							7.38							1					<i></i>	7		1
2				ſ	R. 56.7	GT02/BH01	- al D	121	A A A A A A A A A A A A A A A A A A A	зноз	2	6	1		-8	BH08		·····································		1		58/83	59.15	1000	((	RL 59.98	1	-1	GTO	/BH13	2
3			1 T		Ľ	94				1	{					144		八日	43 /	1		BH09	GTO	5/GW01		1 8.6	1	5		1	3
4			1 Same			( I	вн22		111	- /	67.36					1			Í				-#		BH12	<u> </u>	вн11			}	4
5				Self.			5-		BH02			23 1				1	Ì	N.	Ĺ.				BH	39	/				RL 59.74	1	5
6									BH04			)/É		187 187	1.57 70	)			48.72 BH22	RL 57.87		Ĩ		X			·			1 1	6
7					1					19	BH24	1	15	GT03	-1	BH46		1	1				82.12 BH38		Ŕ	/				H30	7
8			1/1<	-17							1		BH05			1-1-		1	18-15-18 BH5	RL S7	H50	!	1	1					11	1 1	8
9			, r,		/	11		-2					T	125	1-	BH45				18 15 18 18 149						92.15 BH41	57.71		BH14		9
10			1. 1. 1.	11	/			1	7-					57.28	82.48	/		- 2	18-15 BH4	R.57.87	H48	1	H37				ВН15				10
11		11	100		/	/		/						ВНО		-)		- B	H18]	L57.69		172	1		IN BH16		1111				11
12	1	1/1/				ÓNTAMIN LEVEL					OIL				to.	ELS BH35		1		Н	27.73	2.73	нзб								12
13	/			100	PL	AN REP									~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~	3			L 1	H28]	BH27	GT04/	H20 \								13
14	N.	Ki/				11	H LEGE	ND	/ /	1/				1	///					S BHI	27.60	11	1.				Ŕ	$\overline{\mathbb{X}}$	1		14
15	//	K,				ARK DES	- ABOVE NG				=/		[//	//				1	11		ВН26			EL SO	ВН34				1		15
16	1-						CLASSIFICA						1			7			1	1.	111		1 50.2k								16
17						FILL	CLASSIFICA	TION OF 3											====			11	ВНЗ				H32				17
18							CLASSIFICA							1									× ×		E BH31		11	Y /Y /			18
19			-										RI	54	0 - 1	RL !	53.0								× <		11	$\square$	/		19
20															1:200											55					20
				C1 N1 2004									1		1	Ĵ	JSA EN	CONSULTI GINEEF		HORSHAM E. TON	107	AS SHOW				DICAL CENT TOWN RO		DISAMIS TITLE	RL 54 BH ENVI	0 - RL 53.0 RONMENT/	AL
CHIP, ANNAL APP	110/4L D#S	CORPTION		CT M1 2004 BY DHK DAT	a REV		DEDCRIPTION		BY CH	K DATE						Elensie Hou Pho	use, Lavel 1, 119 Gard me (D2) 6224 6625				NNING A			40		WN, 7008		171	E99-20	CMP	P10

# Page 126 ATTACHMENT F

TE HORIZONTAL D/ AND, CONTOUR LOCATIONS AND BHOS, BHOS, OT BHOS, BHOS, OT BHOS, BHOS, OT BHOS, BHOS, OT ADDUMED.	NTUM GDA, VER INTERVALO ATI D LEVELS OF BO	RICAL DATUM 10.2m. OREHOLES BH22.																													FOR
BHHS, BHS1, BH ADDUMED.	A	BH37 & BH38 ARE	С	D	E	F	G	Н	I	J	к	L	Μ	Ν	0	Р	Q	R	S	Т	U	V	W	x	Y	Z	AA	AB	AC	AD	
1		1					2		2	-						7.78							1			1		<i></i>	7.8		1
2				ſ	RL 56.7	GT02/BH01	- A B	-121	A A	зноз	2	61	- \		06.36	BHOB						28,83	59.18	1 - 1	·	RL 59.98	BH42	1	П	/BH13]	2
3			1 T		K	194				1	{		1		A.	144		行	43	1		ВНОЭ	GTO	5/GW01		1 80		5			3
4							вн22		57.18		57.36					1			1				343		ВН12		ВН11			}	4
5				S. C.		Charles	5-		8H02		- THE	23				1	Ì	1	ĺ.				BH	39					1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 -	1 H29]	5
6									BH04			)/L		18 18	1.57 7e				48'15'BH5	R 57.87	+53	Ĩ		X	1					4	6
7			K	27	1					- I	BH24	(	57.58	GT03	-1	BH46		1	1				RL 57.78 BH38		Ŕ	/				H30	7
8			//<										BH05			1-1-			18-15 BH5	97 R1.578	H50	!	1	1					11	<u>ן</u> 1 1	8
9			/r/			11		-2					T	+25	1	2  BH45 				8 16 18 18 18 18 18 18 18 18 18 18 18 19						92:25 BH41	57.71		BH14		9
10			1	11	/			1	1					57.28	84.48	/ \	1	- 2	RI 57.87	R.57.8	H48	- <u>-</u> =	H37				9 BH15				10
11		17 [:	100	/		/	1	/						ВНО		-)		- AL	н18] - <sup>-</sup>	1 22.6d		7.72	1		ВН16		111		S.		11
12	1	11		10		NTAMIN LEVEL					OIL /	7	2			LS BH35	]	1			8 57.73 G	17.73 RL5	H36	1111							12
13	1	1:/		100	PL	AN REP									1111	1			BL 57.95	H28		GT04/	3H20						Ĭ,		13
14	1/-	11/	1/			11	L – Ź H LEGE		1						11	A The second second				BHI	27.60	11	Į.						1		14
15	] [	K/				ARK DES	CRIPTION				=/		[]	11	1			1	11	1	ВН2				ВНЗ4			〇〇	1		15
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19													RL	53	0 - 1	RL 5	52.0										11	$\square$			19
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			1	E1 NU 2004			I	1			I	I			I			CONSULTI GINEEF		HORSHAM HORSHAM E. TON	10	AS SHOW			POSED ME			DISAWING TITLE	RL 53. BH ENVI	0 - RL 52.0 RONMENT/	AL
CH PLANARCAPT	DESCR	RATION		UT MIT 2014 BY DHK DAT	80 8 RBV		DESCRIPTION		87 0	K DATE						Elensie Hou Pho	uee, Level 1, 119 Sand Ine (D2) 6224 6626				NNING A			40		WN, 7008		17	E99-20	CMP	11

# Page 127 ATTACHMENT F

TE HORIZONTAL D AHD, DONTOUR LDOATIONG AN BHOS, BHOS, OT	ATUM GDA, VER EINTERIVALD AT D. LEVELD OF BO D. BHOL BHISLI	RICAL DATUM 10.2m INTERNUES BHD2. BHT0: BH127, BH132, BH132, BH137, & BH33, AME																													FOR UCTION
BHHI, BHSI, BH ADDUMED.	A	BHS7 & BHS8 AME	С	D	E	F	G	н		J	к	L	Μ	N	0	Р	Q	R	s	Т	U	V	W	x	Y	Z	AA	AB	AC	AD	
1		1	1				N -		6							7.78	1						1					/	7		1
2				Í	RL 56.7	GT02/BH0		121	A A A	зноз	2	6	1		- 8	BH08		and and				58(83	59.15	1 / / 1	·	RL 59.00	BH42	1	GTO	1/BH13	2
3			1		Ľ	194				1	(		1		-			江町	3			(BHO9	GT0	5/GW01		1 20	5	1		1	3
4			1 Same			E I	вн22	1	111		67.3e					1			1				- 43	E F	ВН12	- IE	ВН11			}	4
5			1700	S. C.					BH02	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~		23 1				1		1	ľ_				ВН	39	[				R1 59.74	1	5
6									BHD4			)/È		8	L 57 70				RI 57.8	BL 57.87		Ĩ		K	[]		·				6
7					124					BE	3H24		57.58	GT03	-1	(BH46)		1					RL57.78 BH38		$\overline{\langle}$	/				H30	7
8			// // <	-12							1	1	BH05			91.76			18-15 BH5	1 L	H50	!	1	1					L	н д	8
9			(r/		/	1	7	-2						H25	/	BH45				8 15 18 18 149	]	1	 I			92.253 BH41	57.71		ВН14	j,	9
10			1	1	/			1	7					57.28	84.10			- 2	18-15 BH4	RL57.8	148	, <del>"</del>	H37				BH15				10
11		17 L	1 610		/	/		/						ВНОБ	BH07	/		a B	H18]	St. 57.69		57.72	 		IN BHIG		111		SI,		11
12	1	11:		1		LEVEL			FROM I		OIL	7				LE IS IN BH35		1		- (BH	57.73	17.73 R1.5	H36	1111					1		12
13	1	1:/		100	PL	AN REP			DATA F EN THE						1111	17	1		L 1	H28	ВН27	GT04/E	H20 ,						Š.		13
14	N.	Ki/				17	H LEGE	ND	/ /				172		/ /	the second second				S IN BHI	27.60	11	1.								14
15	:/ [	K/			r F,	ARK DES	- ABOVE NG						//		/			12	1	1	ВН2			EL SO	ВН34				/		15
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17						FILL	CLASSIFICA	TION OF 3											====			11	П				внз2				17
18							URAL GROU													1							11	× />>			18
19													RI	52	0 - 1	RL !	51.0								× <		119	$\triangleright$	/		19
20														ALE:			1									55					20
											I	<u> </u>			<u> </u>			CONSULTI		HORSHAM E. TON	100	AS SHOWN			POSED ME 3 - 52 NEW			DRAWING MICE	RL 52 BH ENV	2.0 - RL 51.0 (RONMENT/	AL
CHIPLANNEND AP	MOVAL DESCR	RIPTION		ET MIT ENHI BY DHK DAT	a E REV		DESCRIPTION		87 04	K DATE						Elensie Hou Phor	Me, Lavel 1, 119 (Servi) Me (D) 6224 (6625 - 1	Bay Boat, Ganty J				PPROVAL		48	NEW TO			17	E99-20	CMP	912 A

TE HORIZONTAL D AHD, CONTOUR LOCATIONS AN	ATUM GDA, VERT INTERVALD AT CO D. LEVIELS OF BCC D. BHOIL BHSI. B C. BHSI. BHSI. B	NCAL DATUM 2.2m. REHOLES BHC2.																													
BHOL BHOS, OT BHHS, BHS1, BH ADDUMED.	A	B	С	D	E	F	G	Н		J	к	L	Μ	N	0			R	s	Т	U	V	W	x	Y	Z	AA	AB	AC	AD	
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# Page 130 ATTACHMENT F

HORIZONTAL D AHD, CONTOUR LOCATIONS AN	ATUM GDA, VERT INTERIVALO AT C LEVELS OF BOT D. BHOE, BHSI, B C, BHSI, BHSI, B	NCAL DATUM 0.2m REHOLES BHC2.																													FOR
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# Page 131 ATTACHMENT F

TE HORIZONTAL D AND, CONTOUR LOCATIONS AN BHOL BHOL OT	ATUM GDA, YEP I INTERVALD AT D LEVELS OF B	RTICAL DATUM F0.2m OREHOLES BH22. BH10, BH37, BH38, BH27, 6 BH39 ARE		,					,											,											
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#### Item No. 7.1.1

## Supporting Information City Planning Committee Meeting - 1/3/2021

# Page 132 ATTACHMENT F

E HORIZONTAL DAT AND, CONTOUR I LOCATIONS AND BHD, BHD, BHD, OTD BHD, BHD, BHD, BHD ADDUMED.	TUM GDA, VERTIC INTERIVALD AT 0.2 LEVELS OF BORE 3. BHOL BHOL BHOL	DAL DATUM Sm. ENOLES BHC2.																												NOT F	FOR UCTION
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# Page 133 ATTACHMENT F

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APPENDIX B – Excavation plans



Structural (Cri I (Mediunical (Research (Shergy) Ethiritorinettal Direttor: Gri Jane Stargion BE Chris (Celling BER COSTISH) Mi Matter Annotanto BE Matula Creating Beth CostIdes Elensia House, Leni I. 115 Sundy Ban Road, Sand Jan (1994) Provid (30) 4224 MAS Strait (nati <u>Galactori az</u> JAN Constantigo Typenes 79 (21) JAN (18.4 59 5277 61)

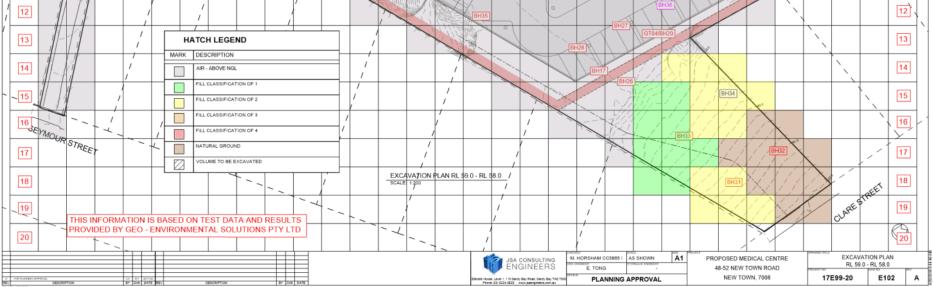
#### ALL PROPOSED BUILDINGS AND ADDOCKTE FLOOR LEVELS PROVIDED BY SHANBURY PENDLASE, DATED 16/01/2015, REFERENCE INTEREM VERSU NOT FOR CONSTRUCTION Α В С D Е F Н L J к L Μ Ν 0 Q S Т U V W X Y Ρ R Ζ AA AB AC AD NEW TOWN ROAD 1 1 T 2 2 4, 100 3 3 10 BH2 1 4 4 90 1 FIRE TANK Hi 9 GARD ARK (B1) 5 5 1 E, 1 6 6 7 7 -RISER 8 PLANT S BITS I 1 PLANT BH25 9 CHE CENTRAL C 9 Barry. 1 XX -1 $\vdash$ 10 1 10 Jee . 1 1 / 11 1 11 $\rightarrow$ 12 12 1 1 1 $\mathbf{i}$ 13 HATCH LEGEND 1 78 MARK DESCRIPTION 1 14 14 1 AIR - ABOVE NGL 1 1 FILL CLASSIFICATION OF 1 1 15 15 FILL CLASSIFICATION OF 2 1 16 SEYMOUR STREET FILL CLASSIFICATION OF 3 1 16 1 FILL CLASSIFICATION OF 4 $\sim$ 1 NATURAL GROUND VOLUME TO BE EXCAVATED $\square$ EXCAVATION PLAN RL 60.0 - RL 59.0 / 18 18 CLARE TREET ~ 1 1 19 19 1 THIS INFORMATION IS BASED ON TEST DATA AND RESULTS PROVIDED BY GEO - ENVIRONMENTAL SOLUTIONS PTY LTD 20 $\checkmark$ 20 ~ EXCAVATION PLAN RL 60.0 - RL 59.0 M. HORSHAM CC5865 I AS SHOWN A1 PROPOSED MEDICAL CENTRE JSA CONSULTING ENGINEERS E. TONG 48-52 NEW TOWN ROAD BY CHK DA NEW TOWN, 7008 17E99-20 E101 А

PLANNING APPROVAL

sile House, Level 1, 119 Sendy Bey Road, Sandy Bay T Phone (53) 6224 6626 www.jssengineers.com.s

REV.

#### OTE ALL PROPOSED BUILDINSE AND ASSOCIATI FLOOR LEVELS PROVIDED BY SHANBURY PENSLASE, BATED 16/01/2019, REFERENCE MILLION LEVEL NOT FOR CONSTRUCTION Α В С D Е F G Н L J к L Μ Ν 0 Q S Т U V W X Y Ρ R Ζ AA AB AC AD NEW TOWN ROAD 1 1 T 2 2 4, 100 3 3 72 ВН 1 4 4 1 FIRE TANK Ы ..... 5 5 1 E, 1 6 6 7 7 1 8 RISER PLANT Summer Sur 1 PLANT 9 CLE SERVICE 9 Reput, 1 1 10 1 10 100 1 1 / 11 1 11 $\rightarrow$ 12 1 1 1 $\mathbf{i}$ 13 HATCH LEGEND 1 18 MARK DESCRIPTION 1 14 1 AIR - ABOVE NGL 1 1 FILL CLASSIFICATION OF 1 1 BH34



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REV

48-52 NEW TOWN ROAD

NEW TOWN, 7008

PLANNING APPROVAL

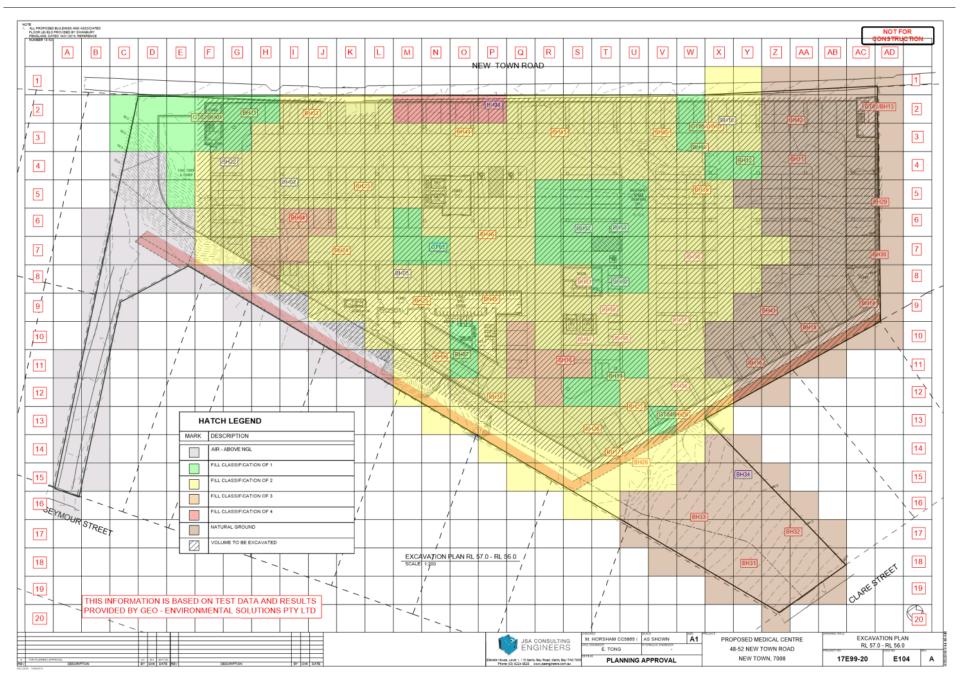
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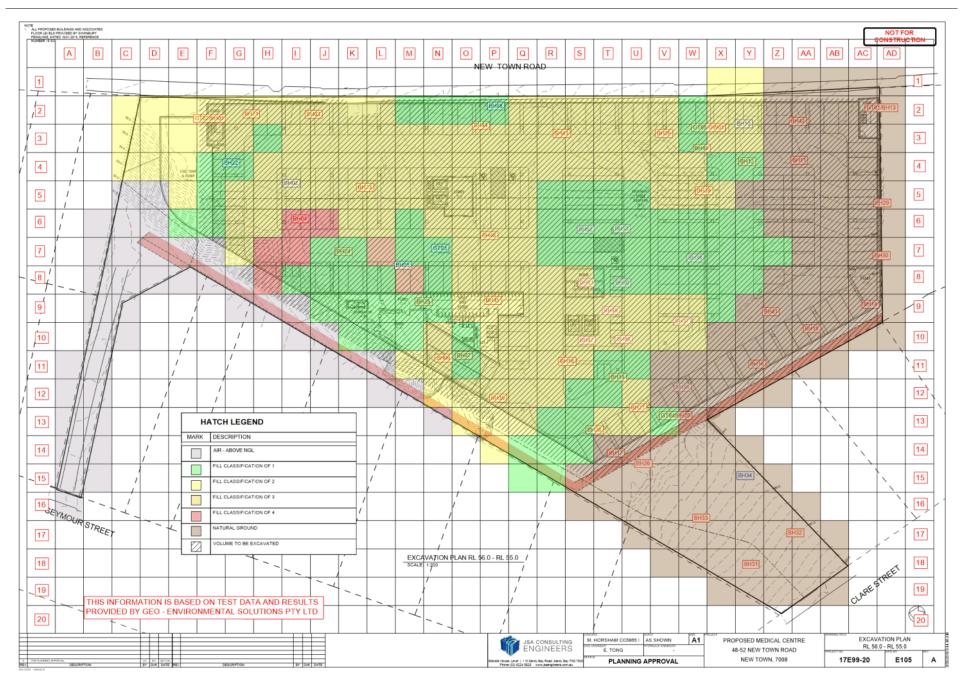
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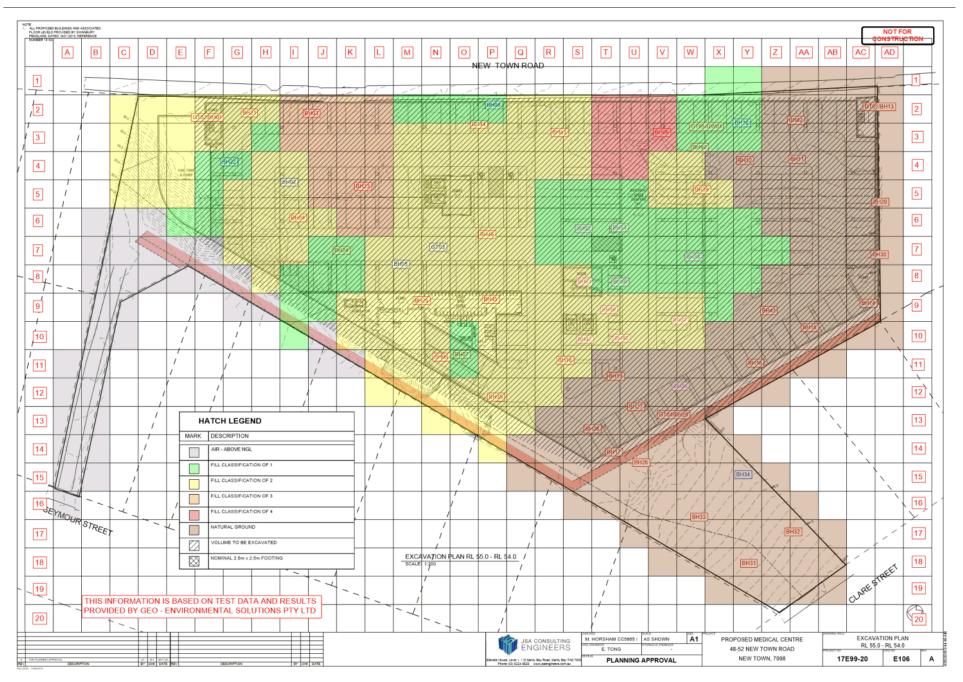




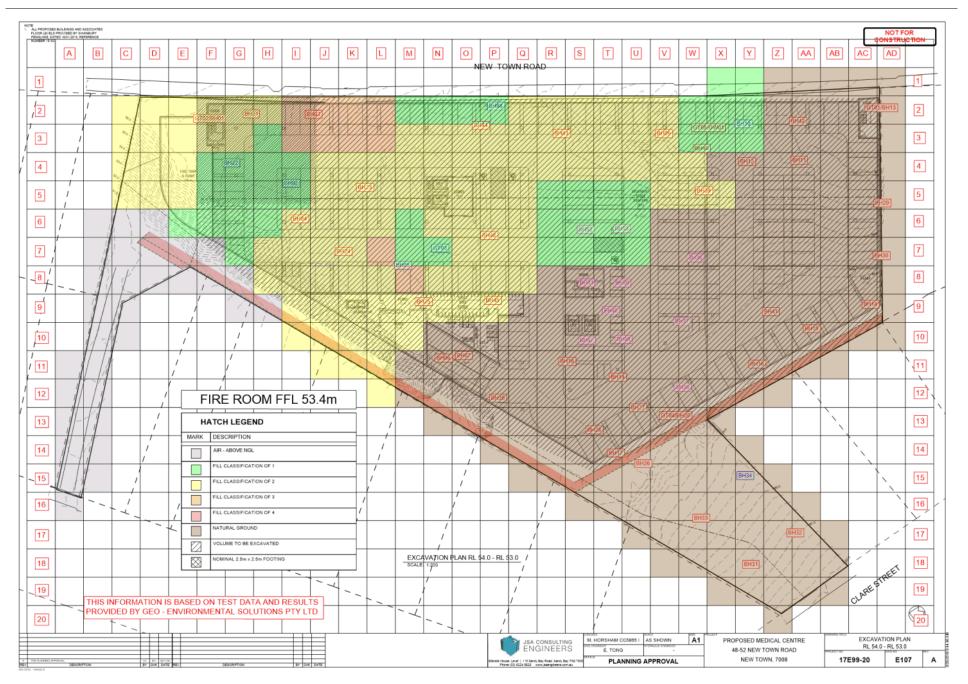
#### Page 139 ATTACHMENT F



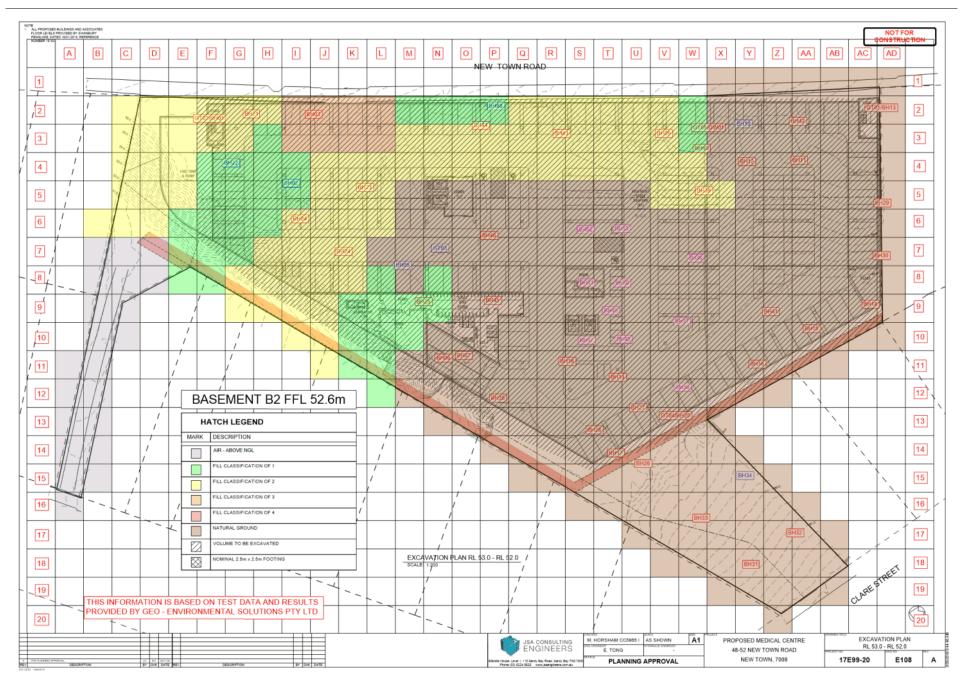




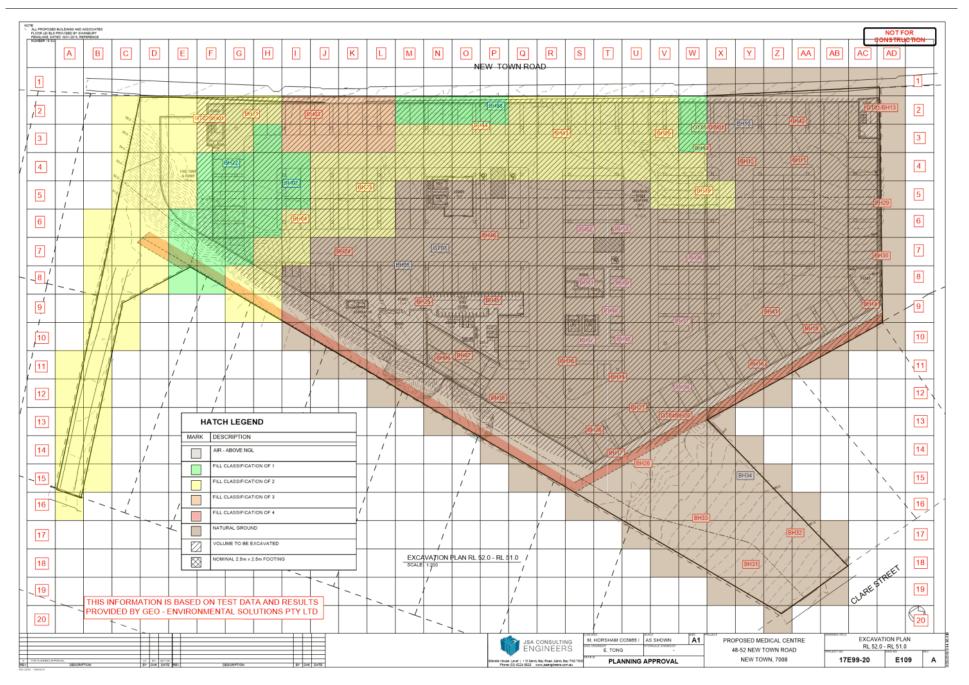
#### Page 141 ATTACHMENT F



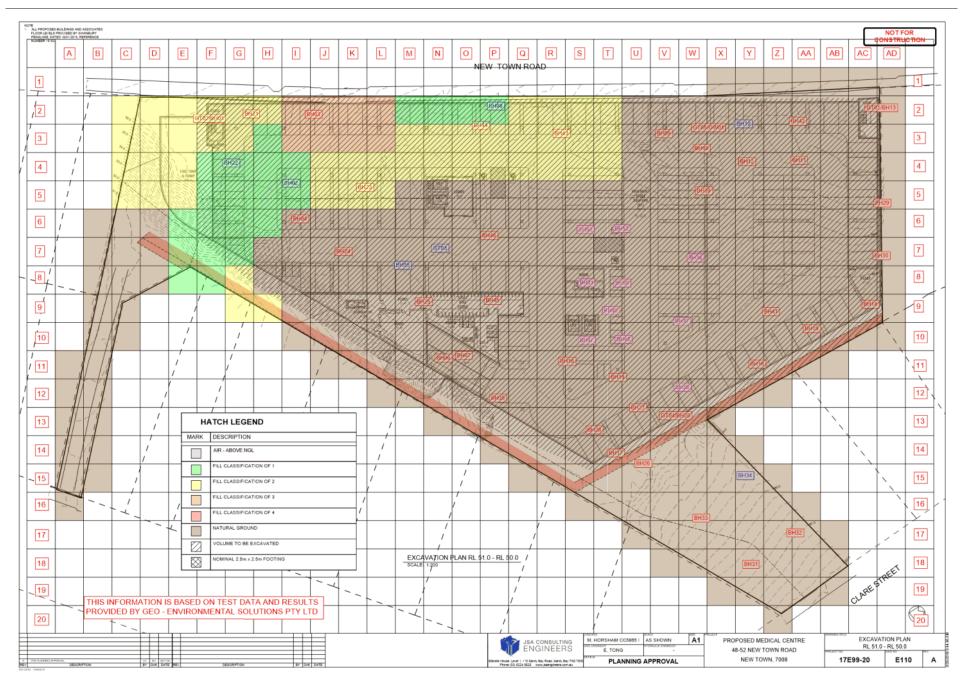
#### Page 142 ATTACHMENT F



#### Page 143 ATTACHMENT F



#### Page 144 ATTACHMENT F



#### IOTE ALL PROPOSED BUILDINGS AND ASSOCIATED FLOOR LEVELS PROVIDED BY GIVANDURY PENGLASE, DATED 1601/2015, REFERENCE FURDERS UNKERN NOT FOR CONSTRUCTION F Ν X Α В С Е J S U V Y D G Н L К L Μ 0 Р Q R Т W Ζ AA AB AD AC NEW TOWN ROAD 1 GT01/ 7-BH0 STAR STAR 8 2 2 當 $\bigotimes$ BH44 4 3 1

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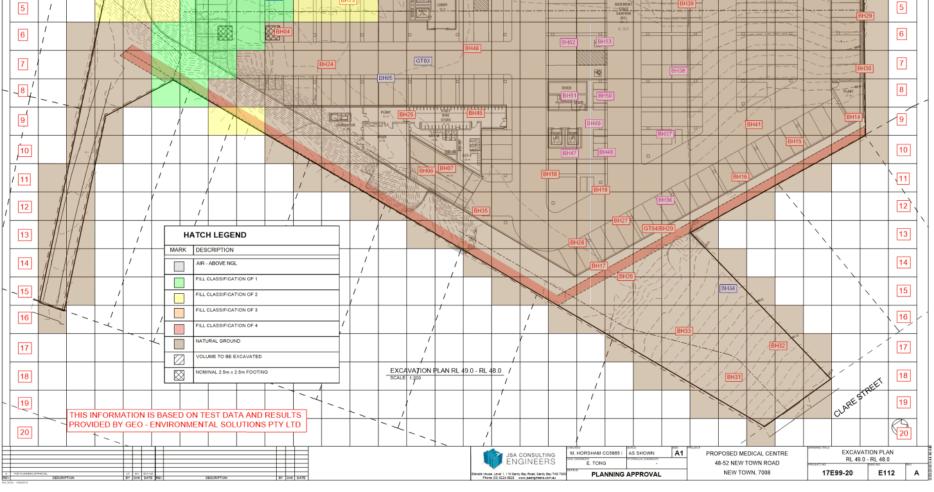
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#### ALL PROPOSED BUILDINGS AND ADDOCKTE FLOOR LEVELS PROVIDED BY SHANBURY PENDLASE, DATED 15/01/2015, REFERENCE INTEREM SERVICE NOT FOR CONSTRUCTION Α В С D Е F G Н L J К L Μ Ν 0 Q S Т U V W X Y Ρ R Ζ AA AB AC AD NEW TOWN ROAD 1 \* No. \*\*\* 2 tata. 繱 RIALA. 3 1 4 8 $\boxtimes$ 1 9 V 1 GARPARE (81) 5 1 Вно 1 6 GT03 7 1 RISER 8 PLANT BING CILI SEMISAR 9 BOWT 1 1 10 1000 1 1 44 1 11



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# Page 147 ATTACHMENT F

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#### ALL PROPOSED BUILDINGS AND ASSOCIAT FLOOR LEVELD PROVIDED BY GWANBURY PENGLADE, DATED 16/012615, REFERENCE EXCELENT TO 15/012615, REFERENCE NOT FOR CONSTRUCTION Α В С D Е F Н L J К L Μ Ν 0 Q S Т U V W X Y Ρ R Ζ AA AB AC AD NEW TOWN ROAD 1 T 2 ×. 2 $\boxtimes$ - 11 100 3 3 1 4 4 FIRE TANK H 1 if i a k 9 罴 GARPARK (B1) 5 5 1080T 1 ET, Вно 1 6 6 R Bł GT03 7 7 -RISER 8 PLANT BHO 1 9 CILL SERVICE 9 Boon . -日本 1 10 1 10 100 1 1 / 11 1 11 $\rightarrow$ 12 12 1 1 1 $\mathbf{i}$ 13 13 HATCH LEGEND 1 MARK DESCRIPTION 1 14 14 1 AIR - ABOVE NGL 1 1 FILL CLASSIFICATION OF 1 1 15 BH34 15 FILL CLASSIFICATION OF 2 1 FILL CLASSIFICATION OF 3 1 16 16 ~ 1 FILL CLASSIFICATION OF 4 1 NATURAL GROUND 17 17 / OLUME TO BE EXCAVATED $\square$ EXCAVATION PLAN RL 47.0 - RL 46.0 / 18 $\boxtimes$ VOMINAL 2.5m x 2.5m FOOTING 18 CLARES TREET BH31 1 1 19 19 1 THIS INFORMATION IS BASED ON TEST DATA AND RESULTS PROVIDED BY GEO - ENVIRONMENTAL SOLUTIONS PTY LTD 20 $\checkmark$ 20 ~ EXCAVATION PLAN M. HORSHAM CC5865 I AS SHOWN A1 PROPOSED MEDICAL CENTRE JSA CONSULTING RL 47.0 - RL 46.0 E. TONG

BY CHK DAT

48-52 NEW TOWN ROAD

NEW TOWN, 7008

PLANNING APPROVAL

role House, Level 1, 119 Sendy Bey Road, Sandy Bey TA Phone (D2) 6224 6625 www.josengineers.com.su

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#### ALL PROPOSED BUILDINGS AND ASSOCIATE FLOOR LEVELD PROVIDED BY GINANGURY PENGLAGE, CATED 16010215, REFERENCE FLOORED 111031 NOT FOR CONSTRUCTION Α в С D Е F Н L J К L Μ Ν 0 Q S Т U V W X Y Ρ R Ζ AA AB AC AD NEW TOWN ROAD 1 T 2 2 50 - 11 100 3 3 BH 1 4 4 Ъ 1 FIRE TANK -**9** / 9 1 BASEMENT STAFF CARPARE (81) 5 5 10807 1 EC, 1 6 6 GT03 7 7 1 RISER 8 PLANT BITS -1 9 CILL SEMISAR 9 Bonny. -+ 1 10 1 10 100 1 1 / 11 1 11 $\rightarrow$ 12 12 1 1 1 $\mathbf{i}$ 13 HATCH LEGEND 1 TH MARK DESCRIPTION 1 14 14 1 AIR - ABOVE NGL 1 1 FILL CLASSIFICATION OF 1 1 15 BH34 15 FILL CLASSIFICATION OF 2 1 FILL CLASSIFICATION OF 3 1 16 16 ~ 4 FILL CLASSIFICATION OF 4 1 NATURAL GROUND 17 17 / OLUME TO BE EXCAVATED $\square$ EXCAVATION PLAN RL 46.0 - RL 45.0 / 18 $\boxtimes$ VOMINAL 2.5m x 2.5m FOOTING 18 CLARES TREET BH31 1 1 19 19 1 THIS INFORMATION IS BASED ON TEST DATA AND RESULTS PROVIDED BY GEO - ENVIRONMENTAL SOLUTIONS PTY LTD 20 $\checkmark$ 20 ~ EXCAVATION PLAN M. HORSHAM CC5865 I AS SHOWN A1 PROPOSED MEDICAL CENTRE ISA CONSULTING RL 46.0 - RL 45.0 E. TONG 48-52 NEW TOWN ROAD BY CHK DAT NEW TOWN, 7008 17E99-20 E115 А

PLANNING APPROVAL

nie House, Level 1, 119 Sandy Bay Road, Bandy Bay TA Phone (DI) 6224 6625 www.jozangineers.com.au

# **Supporting Information** City Planning Committee Meeting - 1/3/2021

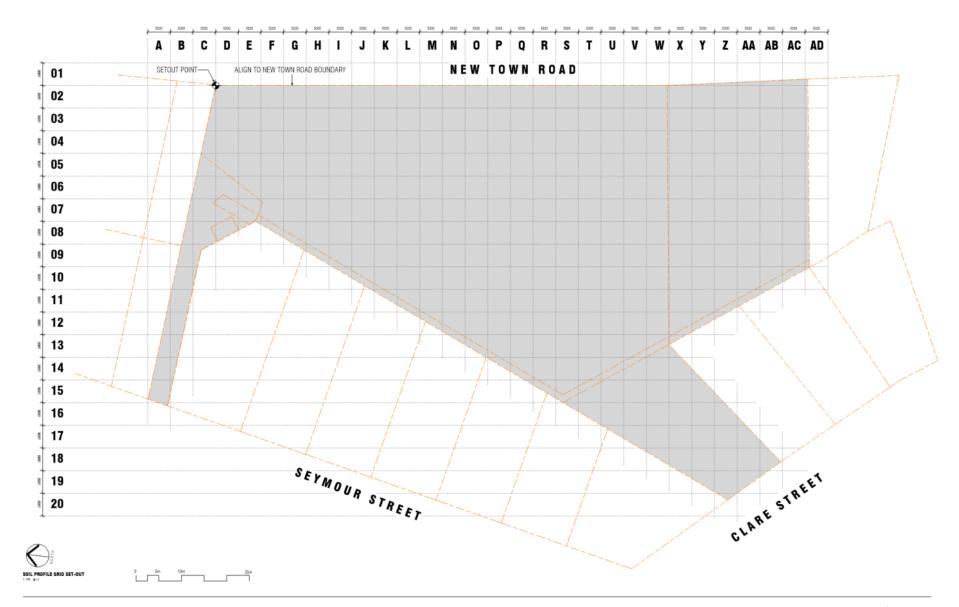
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APPENDIX C – Summary of excavation volumes





	Summary-	of results -	<b>Excavated</b>	relates by	25m3 bloc	k 18/13/38	ac .										
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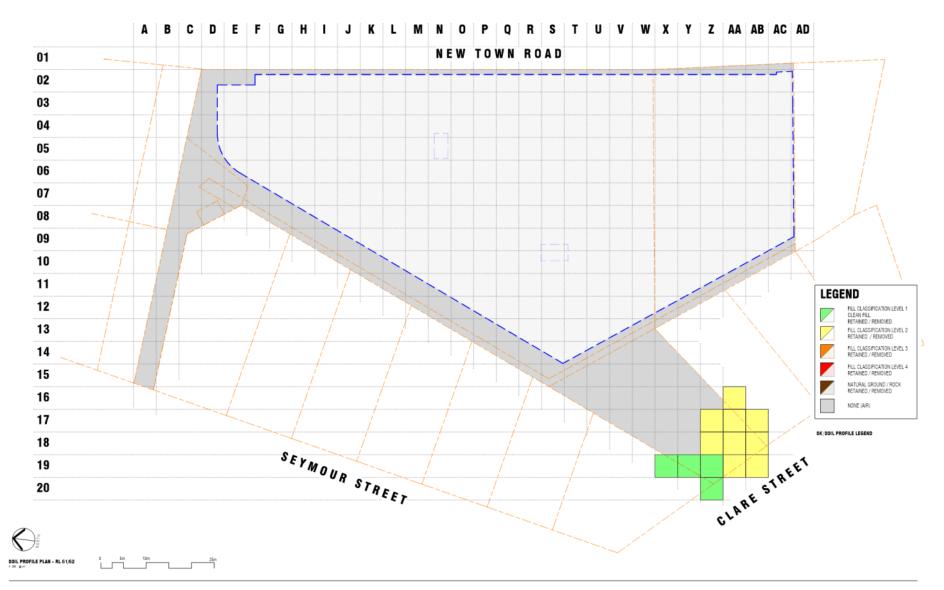


## NEW TOWN MEDICAL CENTRE 48-52 New Town Road, New Town, Hobart, Tasmania

C SWANBURY PENGLASE ARCHITECTS ACN 008 202 775 214 GLIBERT ST ADELADE SA 5000 TEL (06) 8212 2679 FAX (08) 8212 3162 apace@awarburypenglase.com www.swarburypenglase.com



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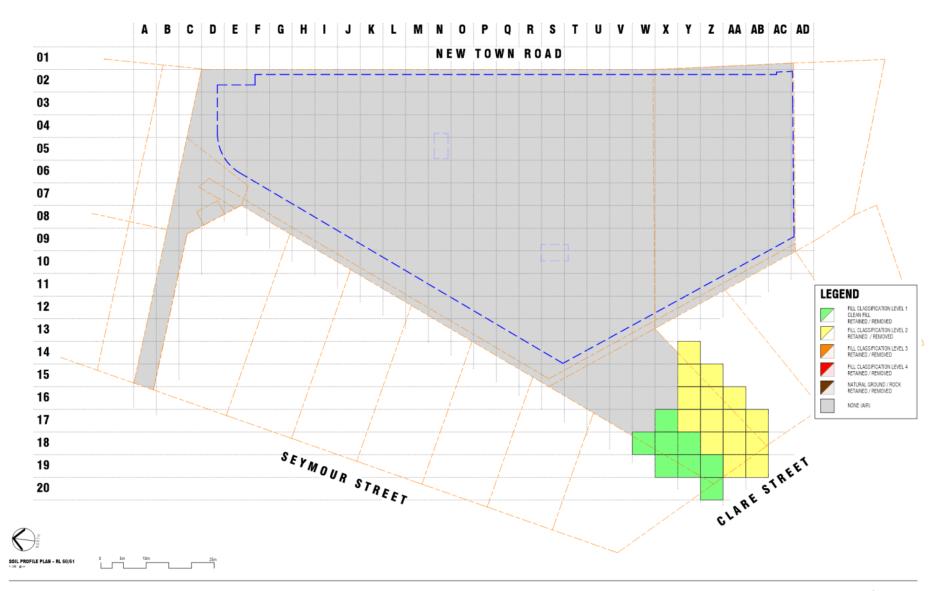


## NEW TOWN MEDICAL CENTRE 48-52 New Town Road, New Town, Hobart, Tasmania

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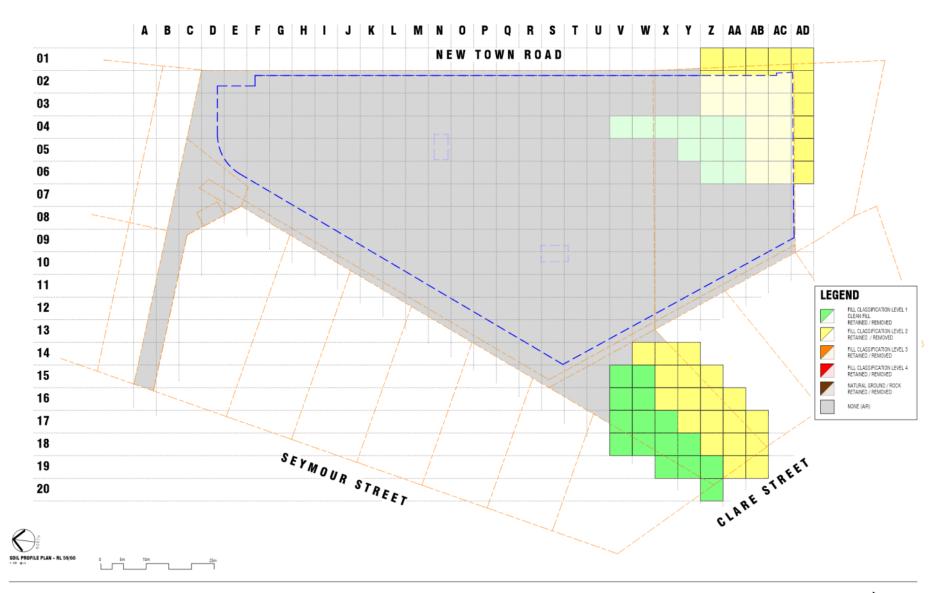


## NEW TOWN MEDICAL CENTRE 48-52 New Town Road, New Town, Hobart, Tasmania

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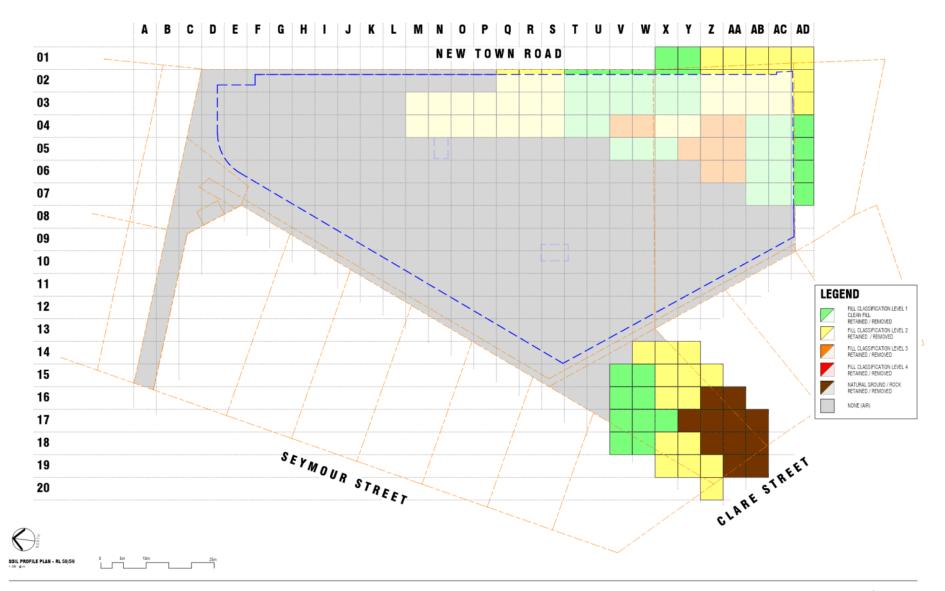


# NEW TOWN MEDICAL CENTRE 48-52 NEW TOWN ROAD, NEW TOWN, HOBART, TASMANIA



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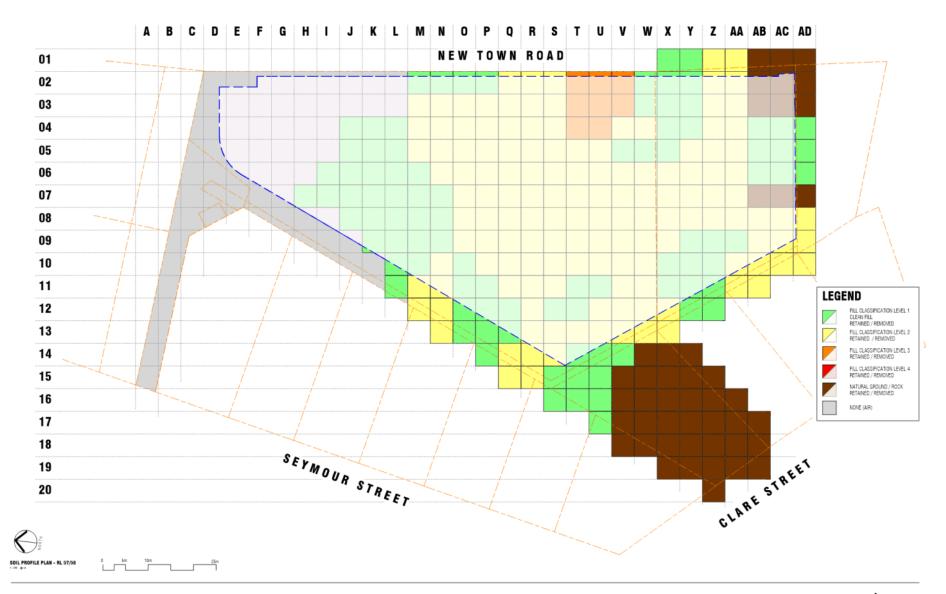


## NEW TOWN MEDICAL CENTRE 48-52 New Town Road, New Town, Hobart, Tasmania

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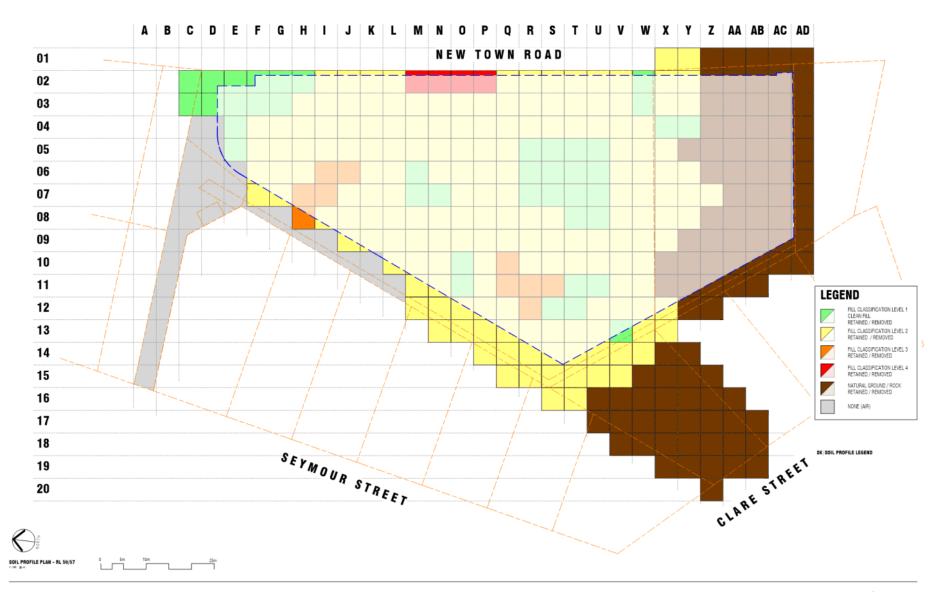


## NEW TOWN MEDICAL CENTRE 48-52 New Town Road, New Town, Hobart, Tasmania



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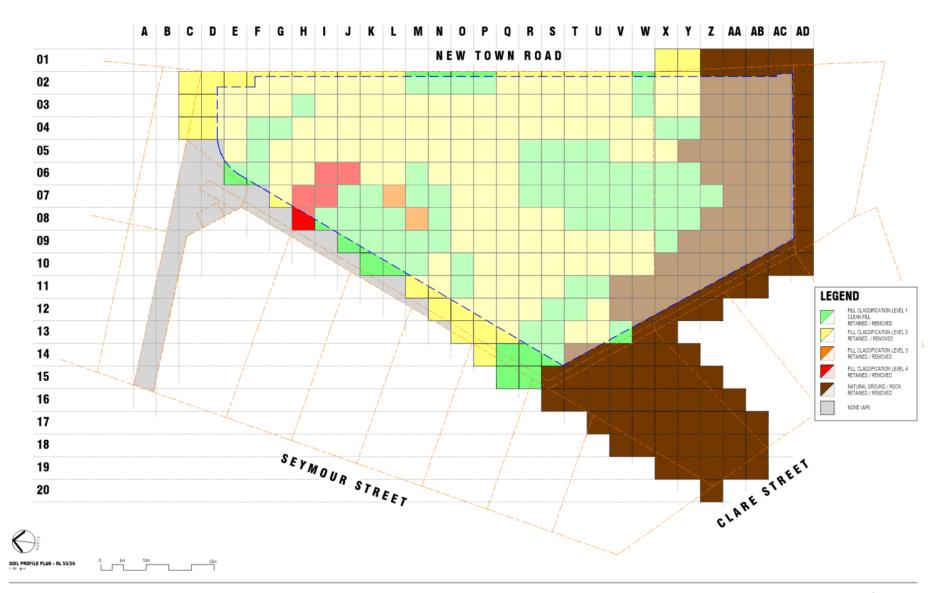


#### NEW TOWN MEDICAL CENTRE 48-52 New Town Road, New Town, Hobart, Tasmania



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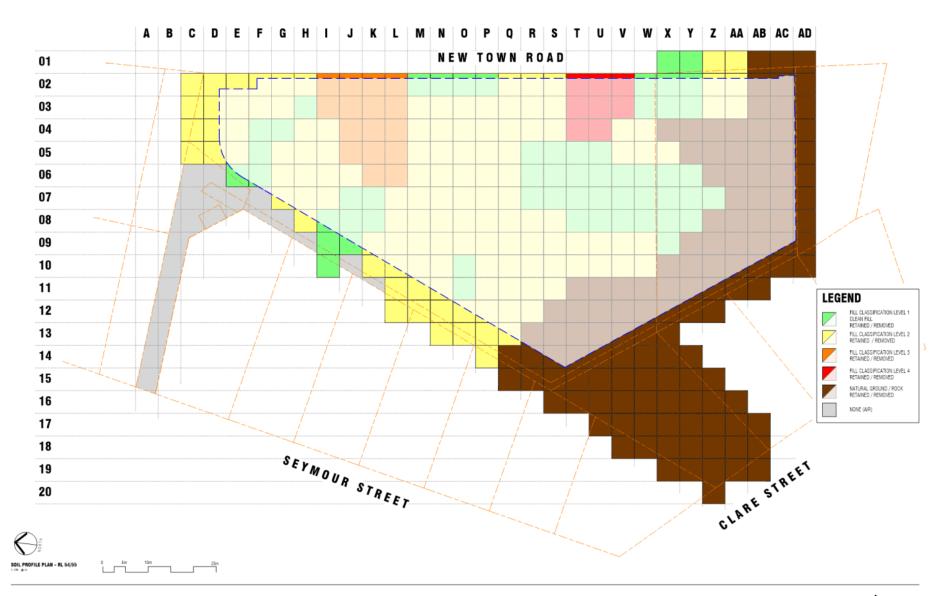


## NEW TOWN MEDICAL CENTRE 48-52 New Town Road, New Town, Hobart, Tasmania



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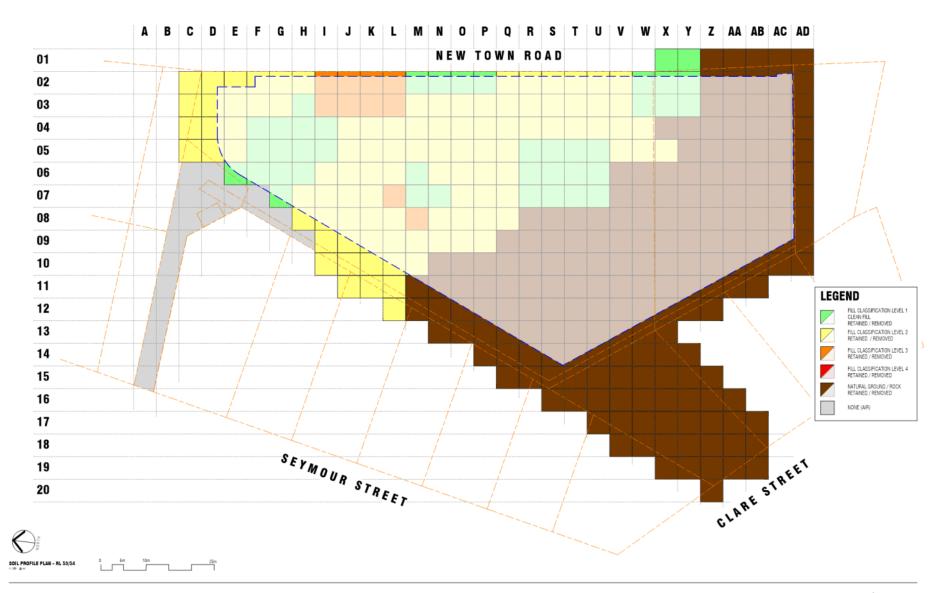


#### NEW TOWN MEDICAL CENTRE 48-52 NEW TOWN ROAD, NEW TOWN, HOBART, TASMANIA

O SWANBURY PENGLASE ARCHITECTS ACN 008 202 775 214 6 LIBERT ST ADELADE SA 5000 TEL (06) 8212 2879 FAX (08) 8212 3162 apace@awarburypenglase.com www.swarburypenglase.com



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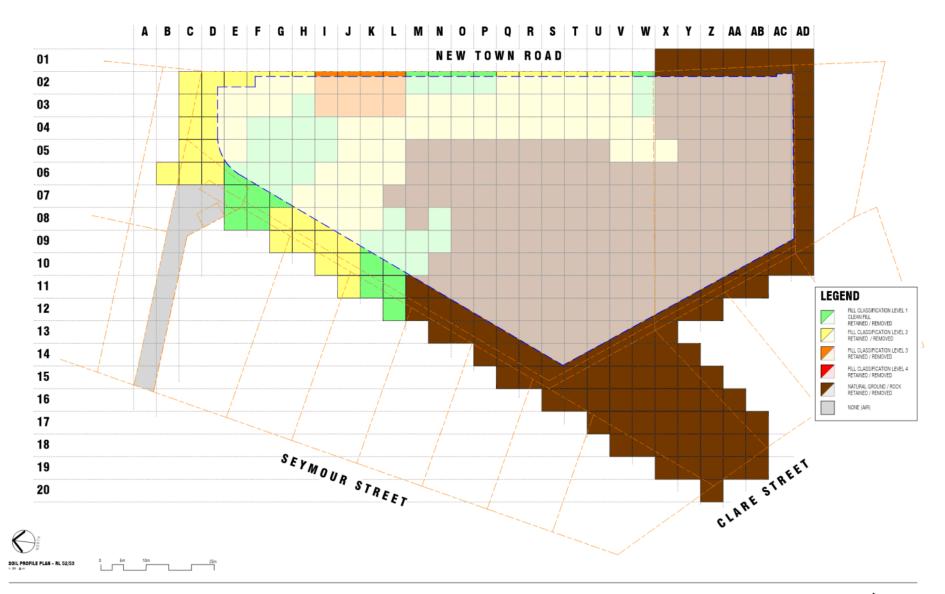


## NEW TOWN MEDICAL CENTRE 48-52 New Town Road, New Town, Hobart, Tasmania



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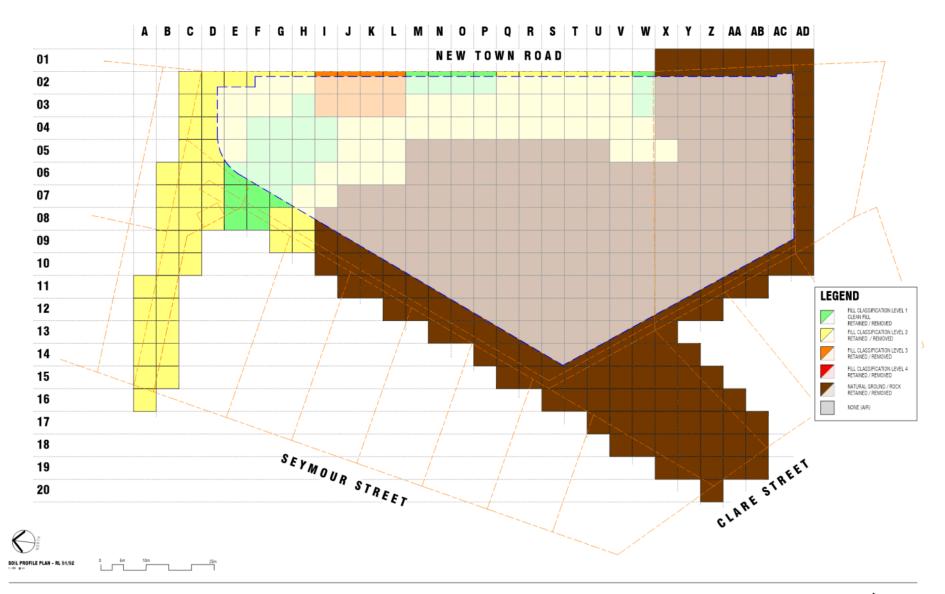


## NEW TOWN MEDICAL CENTRE 48-52 NEW TOWN ROAD, NEW TOWN, HOBART, TASMANIA



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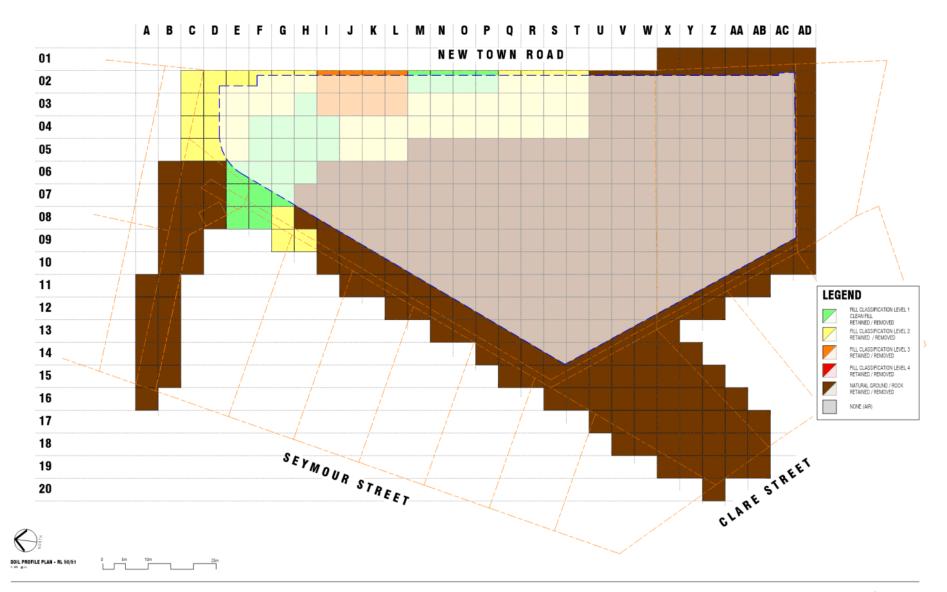


## NEW TOWN MEDICAL CENTRE 48-52 NEW TOWN ROAD, NEW TOWN, HOBART, TASMANIA

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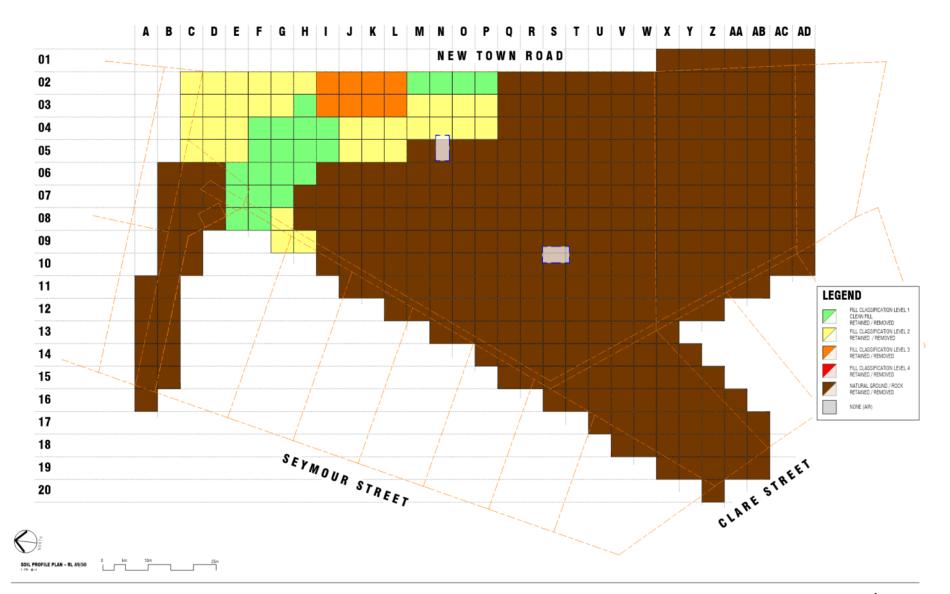


## NEW TOWN MEDICAL CENTRE 48-52 NEW TOWN ROAD, NEW TOWN, HOBART, TASMANIA

O SWANBURY PENGLASE ARCHITECTS ACN 008 202 775 214 6 LIBERT ST ADELADE SA 5000 TEL (06) 8212 2879 FAX (08) 8212 3162 apace@awarburypenglase.com www.swarburypenglase.com



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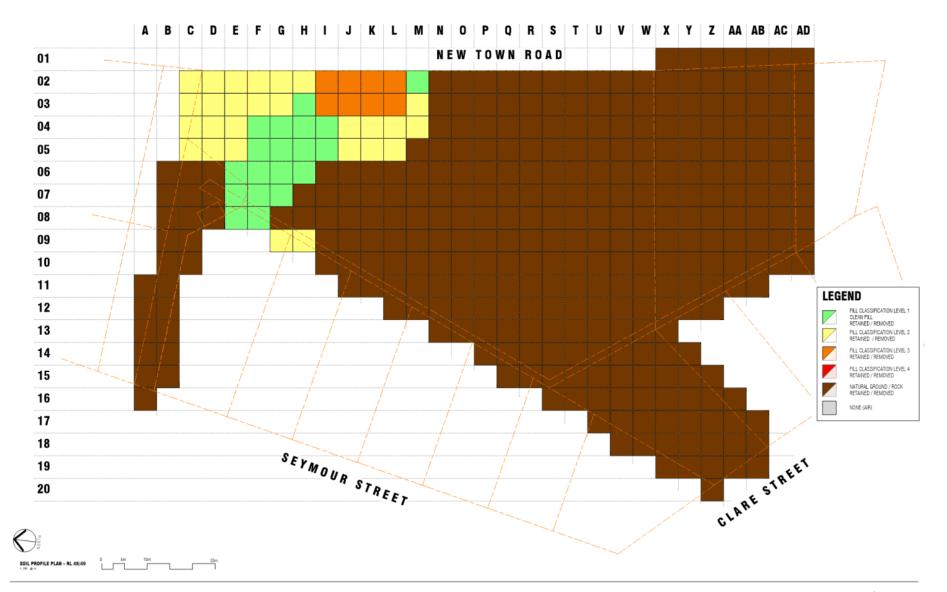


## NEW TOWN MEDICAL CENTRE 48-52 New Town Road, New Town, Hobart, Tasmania



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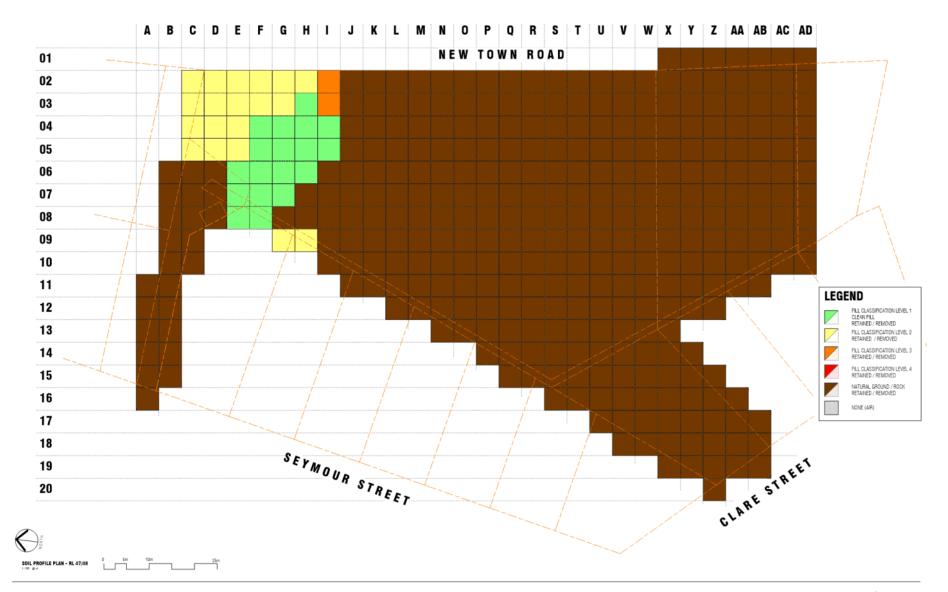


# NEW TOWN MEDICAL CENTRE 48-52 New Town Road, New Town, Hobart, Tasmania



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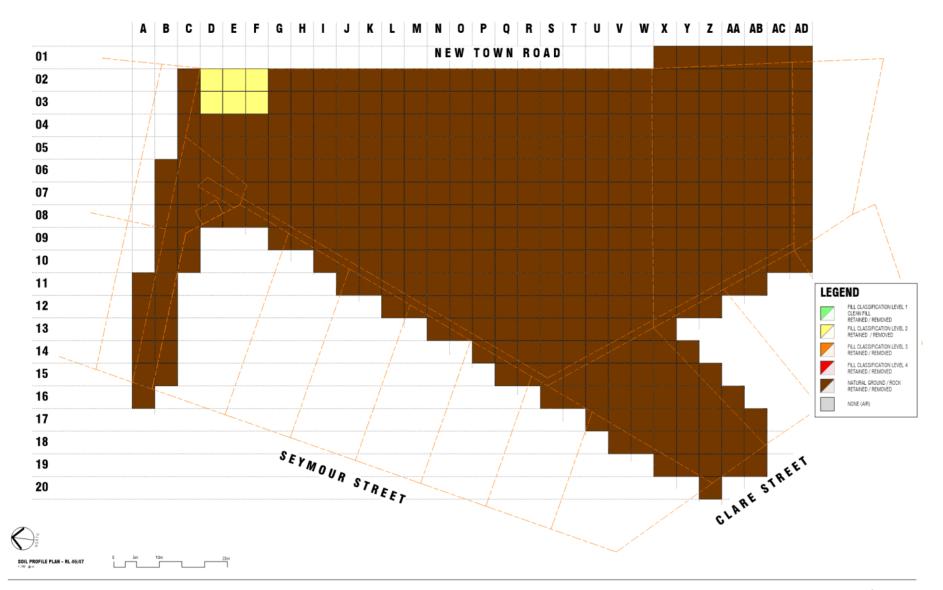


## NEW TOWN MEDICAL CENTRE 48-52 New Town Road, New Town, Hobart, Tasmania



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## NEW TOWN MEDICAL CENTRE 48-52 New Town Road, New Town, Hobart, Tasmania

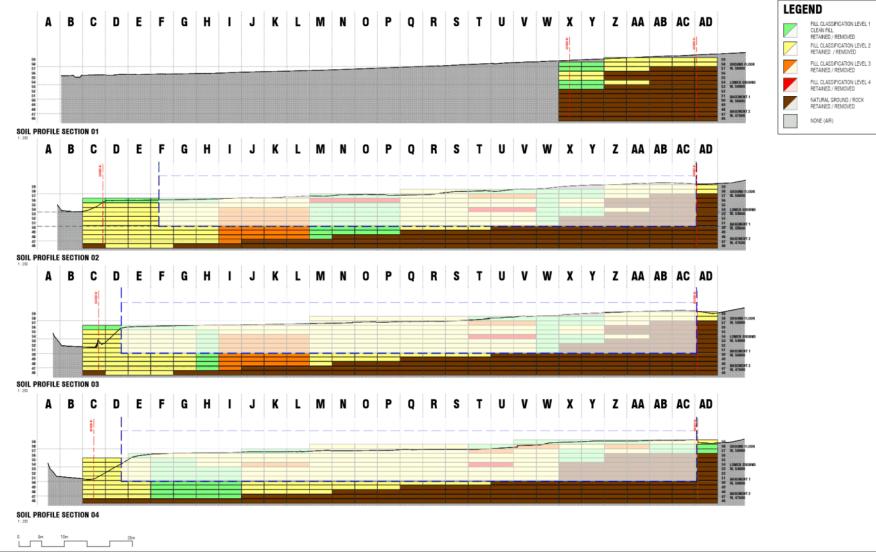


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O SWANBURY PENGLASE ARCHITECTS ACN 008 202 775 214 GILBERT ST ADELADE 0A 5000 TEL (06) 8212 2679 FAX (08) 8212 3162 apper@avarburypenglase.com www.swanburypenglase.com

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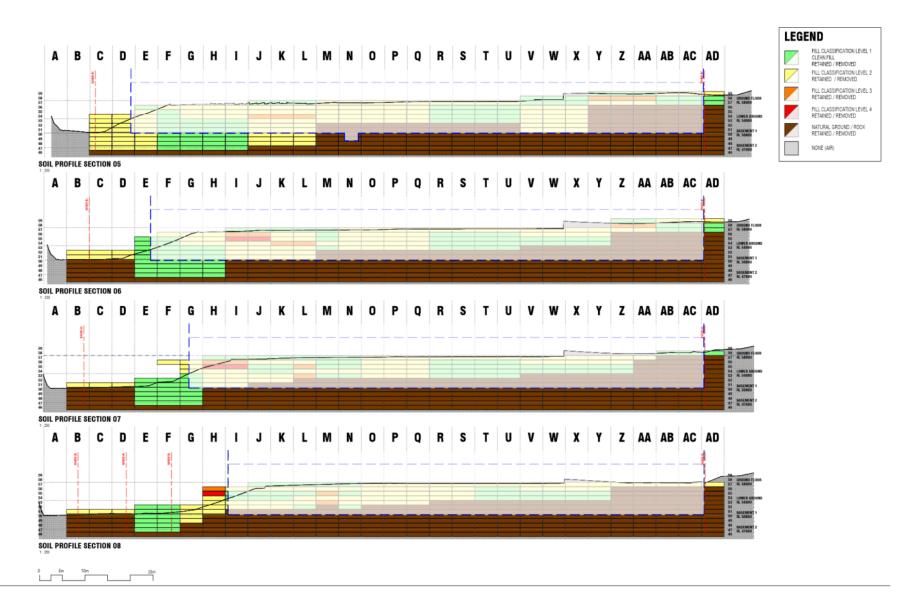
# NEW TOWN MEDICAL CENTRE 48-52 New Town Road, New Town, Hobart, Tasmania



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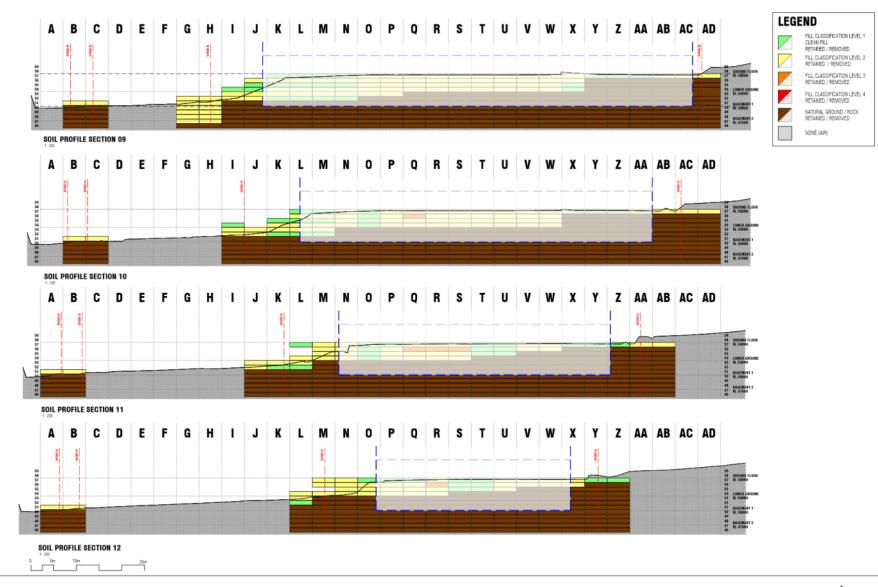
NEW TOWN MEDICAL CENTRE 48-52 New Town Road, New Town, Hobart, Tasmania



S SWAHBURY PENSLASE ARCHITECTS ACN 008 202 775 214 GLBERT ST ADELADE 5A 5000 TEL (08) 8212 2162 FAX (08) 8212 2162 space@pavatburypenglase.com www.swahburypenglase.com

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## NEW TOWN MEDICAL CENTRE 48-52 New Town Road, New Town, Hobart, Tasmania

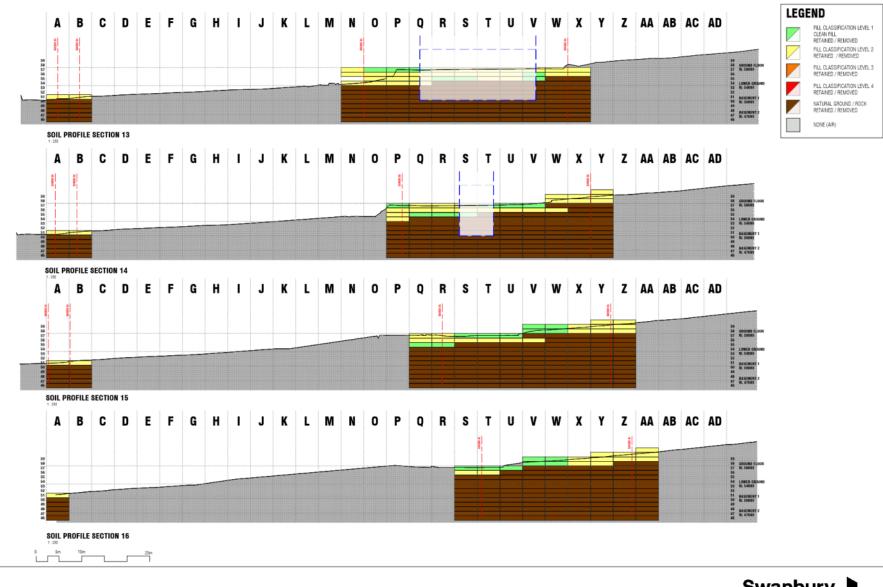


C SWANBURY PENGLASE ARCHITECTS ACN 008 202 775 214 GLBERT ST ADELAIDE SA 5000 TEL (06) 8212 2679 FAX (08) 8212 3162 quade@pavarburypenglase.com www.swanburypenglase.com

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#### Item No. 7.1.1

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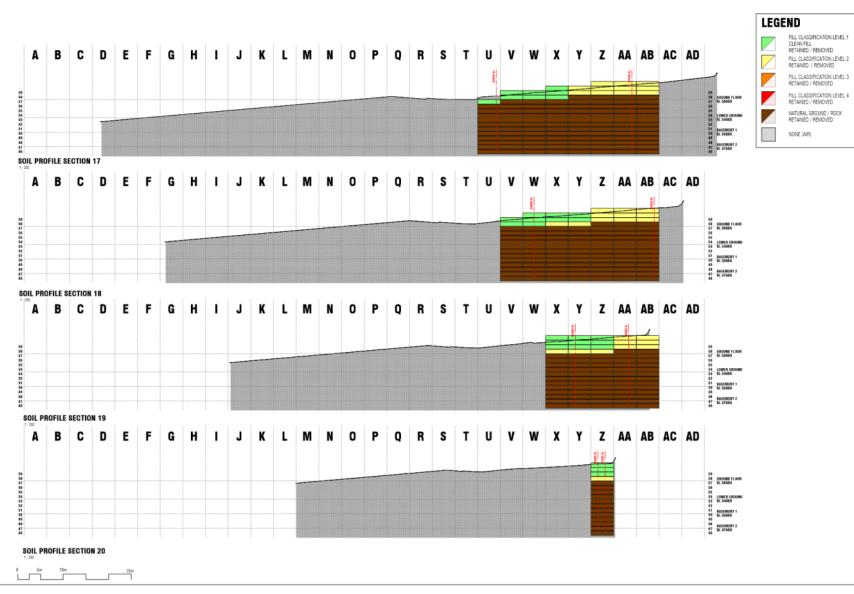
**NEW TOWN MEDICAL CENTRE** 48-52 NEW TOWN ROAD, NEW TOWN, HOBART, TASMANIA



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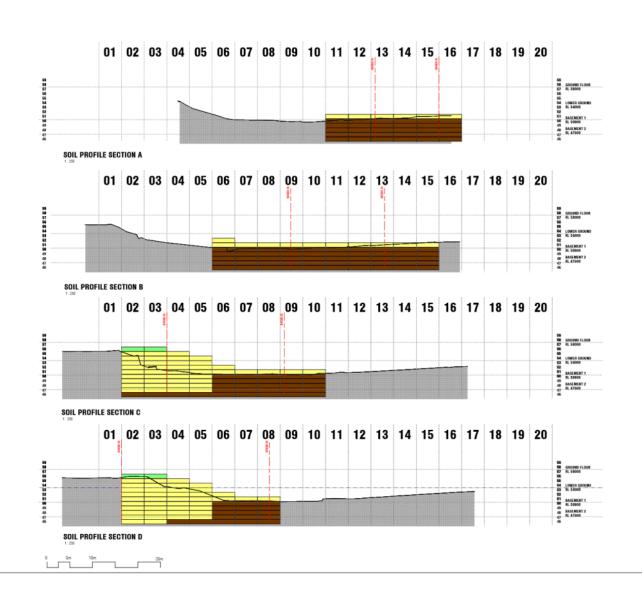
NEW TOWN MEDICAL CENTRE 48-52 NEW TOWN ROAD, NEW TOWN, HOBART, TASMANIA



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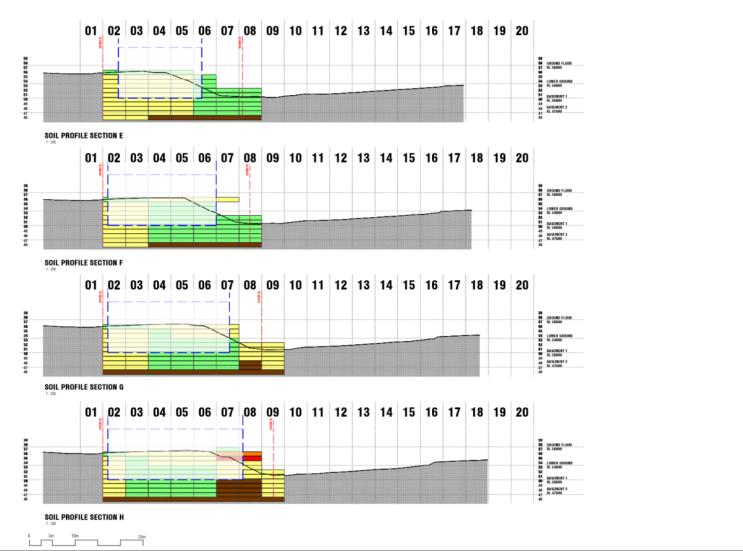


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48-52 NEW TOWN ROAD, NEW TOWN, HOBART, TASMANIA

**NEW TOWN MEDICAL CENTRE** 

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FILL CLASSIFICATION LEVEL 1 CLEAN FILL RETAINED / REMOVED

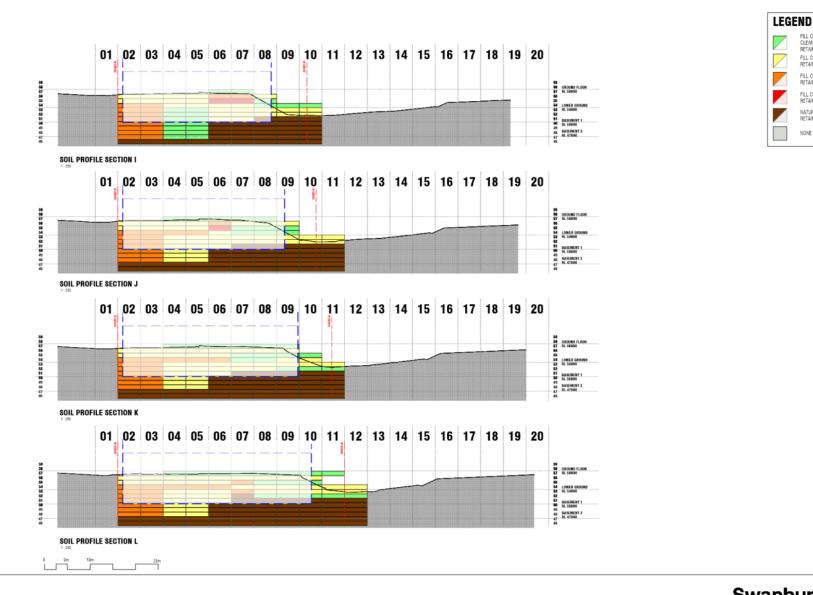
FILL CLASSIFICATION LEVEL 2 RETAINED / REMOVED

FILL CLASSIFICATION LEVEL 3 RETAINED / REMOVED

FILL CLASSIFICATION LEVEL 4 RETAINED / REMOVED

NATURAL GROUND / ROCK RETAINED / REMOVED

NONE (AIR)



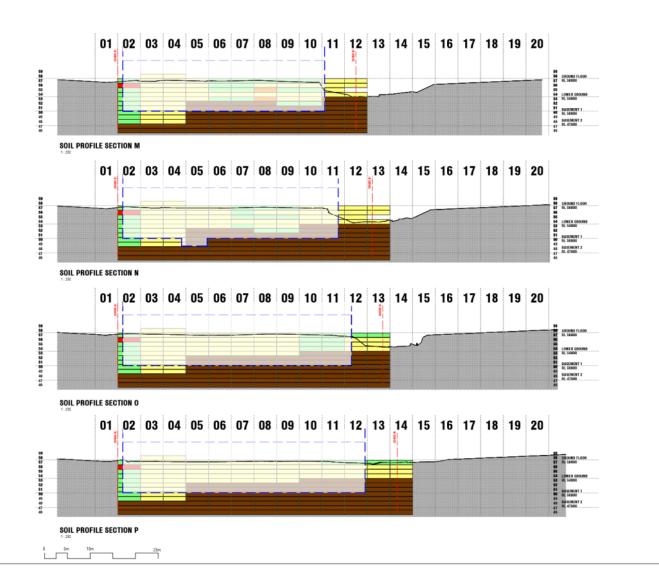


## **NEW TOWN MEDICAL CENTRE 48-52 NEW TOWN ROAD, NEW TOWN, HOBART, TASMANIA**

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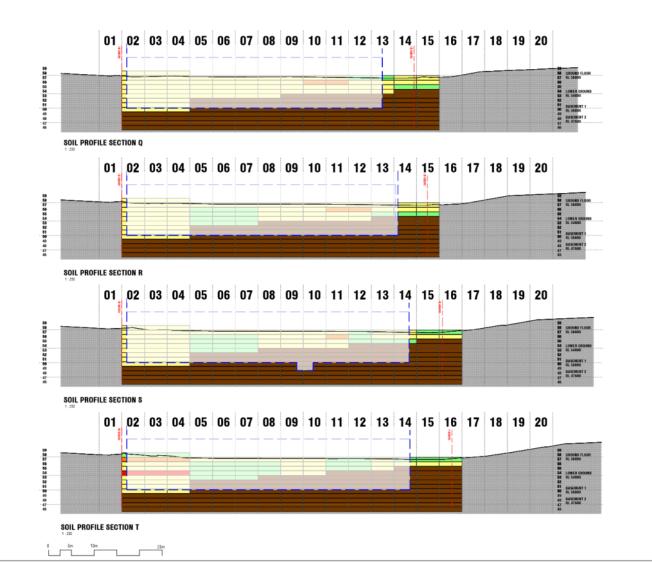
NEW TOWN MEDICAL CENTRE 48-52 New Town Road, New Town, Hobart, Tasmania

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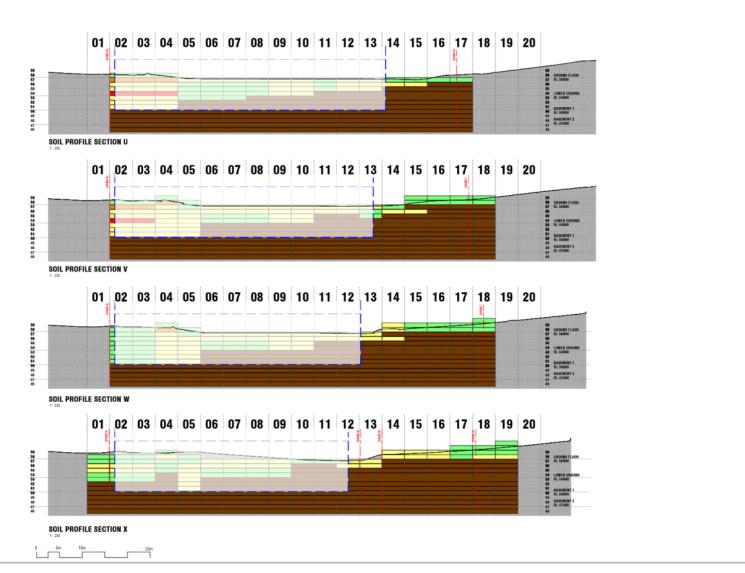
NEW TOWN MEDICAL CENTRE 48-52 NEW TOWN ROAD, NEW TOWN, HOBART, TASMANIA



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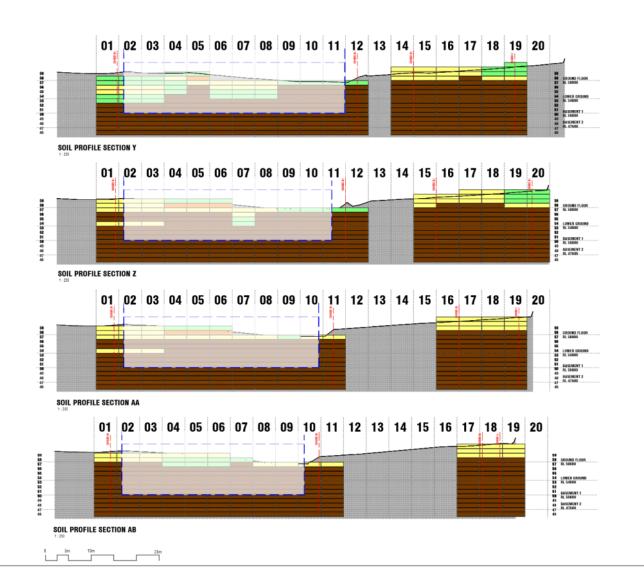
48-52 NEW TOWN ROAD, NEW TOWN, HOBART, TASMANIA

**NEW TOWN MEDICAL CENTRE** 

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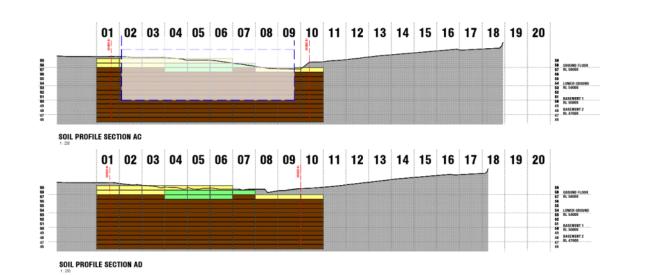


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## NEW TOWN MEDICAL CENTRE 48-52 New Town Road, New Town, Hobart, Tasmania

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## NEW TOWN MEDICAL CENTRE 48-52 NEW TOWN ROAD, NEW TOWN, HOBART, TASMANIA







Ju	philssion (		s Autilo	inty Notice						
Council Planning Permit No.	PLN-20-795			Council notice date	24/11/2020					
TasWater details										
TasWater Reference No.	TWDA 2020/0198	6-HCC		Date of response	04/12/2020					
TasWater Contact	Anthony Cengia		Phone No.	0474 933 293						
Response issued	to									
Council name	CITY OF HOBART									
Contact details	coh@hobartcity.co	om.au								
Development det	ails									
Address	52 NEW TOWN RD	, NEW TOWN	Property ID (PID)	5517180						
Description of	Demolition, New Building for Hospital Services, Business and Professional Services, an									
development	General Retail and Hire, Signage, and Associated Works									
Schedule of drawings/documents										
Prepa	red by	Drawing/doc	ument No.	Revision No.	Date of Issue					
JSA		17E99-20 Sheets	C000 to \$909	В	16/11/2020					
Swanbury Penglas	se Architects	15153 Sheets SK3 SK3151, SK3272, SK3274, SK3275	,	D	05/11/2020					
Swanbury Penglas	se Architects	15153 Sheets SK SK3204	3202, SK3203	, 1	05/11/2020					
Swanbury Penglas	se Architects	15153 Sheets SK	3205, SK3206	1	05/11/2020					
Swanbury Penglas	se Architects	15153 Sheet SK3	207	Н	05/11/2020					
Swanbury Penglas	e Architects	15153 Sheet SK3	231	F	05/11/2020					
Swanbury Penglas	se Architects	15153 Sheets SK3 SK3401, SK3402, SK3404, SK3405		. с	05/11/2020					
Swanbury Penglas	se Architects	15153 Sheets SK SK3303, SK3304,		' G	05/11/2020					
Conditions										

# Submission to Planning Authority Notice

#### SUBMISSION TO PLANNING AUTHORITY NOTICE OF PLANNING APPLICATION REFERRAL

Pursuant to the *Water and Sewerage Industry Act* 2008 (TAS) Section 56P(1) TasWater imposes the following conditions on the permit for this application:

#### CONNECTIONS, METERING & BACKFLOW

1. A suitably sized water supply with metered connections and sewerage connection to the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit.

**Advice**: TasWater will not accept direct fire boosting from the network unless it can be demonstrated that the periodic testing of the system will not have a significant negative effect on our network and the minimum service requirements of other customers serviced by the network. To this end break tanks may be required with the rate of flow into the break tank controlled so that peak flows to fill the tank do not also cause negative effect on the network.

Issue Date: August 2015

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- Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost.
- 3. Prior to commencing construction/use of the development, any water connection utilised for construction/the development must have a backflow prevention device and water meter installed, to the satisfaction of TasWater.

#### TRADE WASTE

- 4. Prior to the commencement of operation, the developer/property owner must obtain Consent to discharge Trade Waste from TasWater.
- 5. The developer must install appropriately sized and suitable pre-treatment devices prior to gaining Consent to discharge.
- 6. The Developer/property owner must comply with all TasWater conditions prescribed in the Trade Waste Consent

#### ASSET CREATION & INFRASTRUCTURE WORKS

- 7. Plans submitted with the application for Certificate(s) for Certifiable Work (Building and/or Plumbing) / Engineering Design Approval must, to the satisfaction of TasWater show, all existing, redundant and/or proposed property services and mains.
- 8. Prior to applying for a Permit to Construct new infrastructure the developer must obtain from TasWater Engineering Design Approval for new TasWater infrastructure. The application for Engineering Design Approval must include engineering design plans prepared by a suitably qualified person showing the hydraulic servicing requirements for water and sewerage to TasWater's satisfaction.
- 9. Prior to works commencing, a Permit to Construct must be applied for and issued by TasWater. All infrastructure works must be inspected by TasWater and be to TasWater's satisfaction.
- 10. In addition to any other conditions in this permit, all works must be constructed under the supervision of a suitably qualified person in accordance with TasWater's requirements.
- 11. Prior to the issue of a Certificate of Water and sewerage Compliance (Building and/or Plumbing) all additions, extensions, alterations or upgrades to TasWater's water and sewerage infrastructure required to service the development are to be constructed at the expense of the developer to the satisfaction of TasWater, with live connections performed by TasWater.
- 12. After testing to TasWater's requirements, of newly created works, the developer must apply to TasWater for connection of these works to existing TasWater infrastructure, at the developer's cost.
- 13. At practical completion of the water and sewerage works and prior to TasWater issuing a Certificate of Water and Sewerage Compliance (Building and/or Plumbing), the developer must obtain a Certificate of Practical Completion from TasWater for the works that will be transferred to TasWater. To obtain a Certificate of Practical Completion:
  - a. Written confirmation from the supervising suitably qualified person certifying that the works have been constructed in accordance with the TasWater approved plans and specifications and that the appropriate level of workmanship has been achieved;
  - b. A request for a joint on-site inspection with TasWater's authorised representative must be made;
  - c. Security for the twelve (12) month defects liability period to the value of 10% of the works must be lodged with TasWater. This security must be in the form of a bank guarantee;

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- d. As constructed drawings must be prepared by a suitably qualified person to TasWater's satisfaction and forwarded to TasWater.
- 14. After the Certificate of Practical Completion has been issued, a 12 month defects liability period applies to this infrastructure. During this period all defects must be rectified at the developer's cost and to the satisfaction of TasWater. A further 12 month defects liability period may be applied to defects after rectification. TasWater may, at its discretion, undertake rectification of any defects at the developer's cost. Upon completion, of the defects liability period the developer must request TasWater to issue a "Certificate of Final Acceptance". The newly constructed infrastructure will be transferred to TasWater upon issue of this certificate and TasWater will release any security held for the defects liability period.
- 15. The developer must take all precautions to protect existing TasWater infrastructure. Any damage caused to existing TasWater infrastructure during the construction period must be promptly reported to TasWater and repaired by TasWater at the developer's cost.
- 16. Ground levels over the TasWater assets and/or easements must not be altered without the written approval of TasWater.
- 17. A construction management plan must be submitted with the application for TasWater Engineering Design Approval. The construction management plan must detail how the new TasWater infrastructure will be constructed while maintaining current levels of services provided by TasWater to the community. The construction plan must also include a risk assessment and contingency plans covering major risks to TasWater during any works. The construction plan must be to the satisfaction of TasWater prior to TasWater's Engineering Design Approval being issued.

#### EASEMENTS & ENDORSEMENTS

- 18. Pipeline easements, to TasWater's satisfaction, must be created over any existing or proposed TasWater infrastructure and be in accordance with TasWater's standard pipeline easement conditions.
- Prior to the issue of a Certificate(s) for Certifiable Work (Building and/or Plumbing) / Engineering Design Approval from TasWater, the applicant must submit a copy of the completed Transfer for the provision of a Pipeline and Services Easement(s) to the benefit of TasWater over 46 NEW TOWN RD NEW TOWN (C.T. 76403/1) & 7A CLARE ST NEW TOWN (C.T. 71337/3) to cover proposed TasWater infrastructure.

#### 56W CONSENT

20. Prior to the issue of the Certificate for Certifiable Work (Building) and/or (Plumbing) by TasWater the applicant or landowner as the case may be must make application to TasWater pursuant to section 56W of the Water and Sewerage Industry Act 2008 for its consent in respect of that part of the development which is built within a TasWater easement or over or within two metres of TasWater infrastructure.

#### DEVELOPMENT ASSESSMENT FEES

The applicant or landowner as the case may be, must pay a development assessment fee of \$1,139.79, as approved by the Economic Regulator and the fee will be indexed, until the date paid to TasWater.

The payment is required within 30 days of the issue of an invoice by TasWater.

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## Advice General

For information on TasWater development standards, please visit

https://www.taswater.com.au/Development/Technical-Standards

For application forms please visit http://www.taswater.com.au/Development/Forms

#### Service Locations

Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.

- A permit is required to work within TasWater's easements or in the vicinity of its infrastructure. Further information can be obtained from TasWater
- TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit <u>www.taswater.com.au/Development/Service-location</u> for a list of companies
- TasWater will locate residential water stop taps free of charge
- Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.

#### Trade Waste

Prior to any Building and/or Plumbing work being undertaken, the applicant will need to make an application to TasWater for a Certificate for Certifiable Work (Building and/or Plumbing). The Certificate for Certifiable Work (Building and/or Plumbing) must accompany all documentation submitted to Council. Documentation must include a floor and site plan with:

Location of all pre-treatment devices

Schematic drawings and specification (including the size and type) of any proposed pre-treatment device and drainage design; and

Location of an accessible sampling point in accordance with the TasWater Trade Waste Flow Meter and Sampling Specifications for sampling discharge.

At the time of submitting the Certificate for Certifiable Work (Building and/or Plumbing) a Trade Waste Application together with the General Supplement form is also required.

If the nature of the business changes or the business is sold, TasWater is required to be informed in order to review the pre-treatment assessment.

The application forms are available at <u>http://www.taswater.com.au/Customers/Liquid-Trade-Waste/Commercial</u>.

#### 56W Consent

The plans submitted with the application for the Certificate for Certifiable Work (Building) and/or (Plumbing) will need to show footings of proposed buildings located over or within 2.0m from TasWater pipes and will need to be designed by a suitably qualified person to adequately protect the integrity of TasWater's infrastructure, and to TasWater's satisfaction, be in accordance with AS3500 Part 2.2 Section 3.8 to ensure that no loads are transferred to TasWater's pipes. These plans will need to also include a cross sectional view through the footings which clearly shows;

- (a) Existing pipe depth and proposed finished surface levels over the pipe;
- (b) The line of influence from the base of the footing must pass below the invert of the pipe and be clear of the pipe trench and;

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(c) A note on the plan indicating how the pipe location and depth were ascertained.

#### **Boundary Trap Area**

The proposed development is within a boundary trap area and the developer will need to provide a boundary trap that prevents noxious gases or persistent odours back venting into the property's sanitary drain. The boundary trap is to be be contained within the property boundaries and the property owner remains responsible for the ownership, operation and maintenance of the boundary trap.

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

Authorised by

Jason Taylor Development Assessment Manager

TasWater Contact Details										
Phone	13 6992	Email	development@taswater.com.au							
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au							

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