



CITY OF HOBART

AGENDA

City Planning Committee Meeting

Open Portion

Monday, 15 February 2021

at 5:00 pm

Council Chamber, Town Hall

THE MISSION

Working together to make Hobart a better place for the community.

THE VALUES

The Council is:

People	We care about people – our community, our customers and colleagues.
Teamwork	We collaborate both within the organisation and with external stakeholders drawing on skills and expertise for the benefit of our community.
Focus and Direction	We have clear goals and plans to achieve sustainable social, environmental and economic outcomes for the Hobart community.
Creativity and Innovation	We embrace new approaches and continuously improve to achieve better outcomes for our community.
Accountability	We are transparent, work to high ethical and professional standards and are accountable for delivering outcomes for our community.

ORDER OF BUSINESS

Business listed on the agenda is to be conducted in the order in which it is set out, unless the committee by simple majority determines otherwise.

APOLOGIES AND LEAVE OF ABSENCE

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City Planning Committee Meeting (Open Portion) held Monday, 15 February 2021 at 5:00 pm in the Council Chamber, Town Hall.

This meeting of the City Planning Committee is held in accordance with a Notice issued by the Premier on 3 April 2020 under section 18 of the *COVID-19 Disease Emergency (Miscellaneous Provisions) Act 2020*.

COMMITTEE MEMBERS

Deputy Lord Mayor Burnet (Chairman)
Briscoe
Harvey
Behrakis
Dutta
Coats

Apologies:

Leave of Absence: Nil

NON-MEMBERS

Lord Mayor Reynolds
Zucco
Sexton
Thomas
Ewin
Sherlock

1. CO-OPTION OF A COMMITTEE MEMBER IN THE EVENT OF A VACANCY

2. CONFIRMATION OF MINUTES

The minutes of the Open Portion of the City Planning Committee meeting held on [Monday, 1 February 2021](#) and the Special City Planning Committee meeting held on [Tuesday, 9 February 2021](#), are submitted for confirming as an accurate record.

3. CONSIDERATION OF SUPPLEMENTARY ITEMS

Ref: Part 2, Regulation 8(6) of the *Local Government (Meeting Procedures) Regulations 2015*.

Recommendation

That the Committee resolve to deal with any supplementary items not appearing on the agenda, as reported by the General Manager.

4. INDICATIONS OF PECUNIARY AND CONFLICTS OF INTEREST

Ref: Part 2, Regulation 8(7) of the *Local Government (Meeting Procedures) Regulations 2015*.

Members of the committee are requested to indicate where they may have any pecuniary or conflict of interest in respect to any matter appearing on the agenda, or any supplementary item to the agenda, which the committee has resolved to deal with.

5. TRANSFER OF AGENDA ITEMS

Regulation 15 of the *Local Government (Meeting Procedures) Regulations 2015*.

A committee may close a part of a meeting to the public where a matter to be discussed falls within 15(2) of the above regulations.

In the event that the committee transfer an item to the closed portion, the reasons for doing so should be stated.

Are there any items which should be transferred from this agenda to the closed portion of the agenda, or from the closed to the open portion of the agenda?

6. PLANNING AUTHORITY ITEMS - CONSIDERATION OF ITEMS WITH DEPUTATIONS

In accordance with the requirements of Part 2 Regulation 8(3) of the *Local Government (Meeting Procedures) Regulations 2015*, the General Manager is to arrange the agenda so that the planning authority items are sequential.

In accordance with Part 2 Regulation 8(4) of the *Local Government (Meeting Procedures) Regulations 2015*, the Committee by simple majority may change the order of any of the items listed on the agenda, but in the case of planning items they must still be considered sequentially – in other words they still have to be dealt with as a single group on the agenda.

Where deputations are to be received in respect to planning items, past practice has been to move consideration of these items to the beginning of the meeting.

RECOMMENDATION

That in accordance with Regulation 8(4) of the *Local Government (Meeting Procedures) Regulations 2015*, the Committee resolve to deal with any items which have deputations by members of the public regarding any planning matter listed on the agenda, to be taken out of sequence in order to deal with deputations at the beginning of the meeting.

7. COMMITTEE ACTING AS PLANNING AUTHORITY

In accordance with the provisions of Part 2 Regulation 25 of the Local Government (Meeting Procedures) Regulations 2015, the intention of the Committee to act as a planning authority pursuant to the Land Use Planning and Approvals Act 1993 is to be noted.

In accordance with Regulation 25, the Committee will act as a planning authority in respect to those matters appearing under this heading on the agenda, inclusive of any supplementary items.

The Committee is reminded that in order to comply with Regulation 25(2), the General Manager is to ensure that the reasons for a decision by a Council or Council Committee acting as a planning authority are recorded in the minutes.

7.1 APPLICATIONS UNDER THE HOBART INTERIM PLANNING SCHEME 2015

7.1.1 35 MELVILLE STREET, HOBART - PARTIAL DEMOLITION, ALTERATIONS, EXTENSION, SIGNAGE AND CHANGE OF USE TO HOTEL INDUSTRY PLN-20-723 - FILE REF: F21/10691

Address:	35 Melville Street, Hobart
Proposal:	Partial Demolition, Alterations, Extension, Signage and Change of Use to Hotel Industry
Expiry Date:	23 February 2021
Extension of Time:	Not applicable
Author:	Tristan Widdowson

RECOMMENDATION

That pursuant to the *Hobart Interim Planning Scheme 2015*, the City Planning Committee, in accordance with the delegations contained in its terms of reference, approve the application for partial demolition, alterations, extension, signage and change of use to hotel industry at 35 Melville Street, Hobart for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

GEN

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-20-723- 35 MELVILLE STREET HOBART TAS 7000 - Final Planning Documents except where modified below.

Reason for condition

To clarify the scope of the permit.

PLN 6

The use must not be open to the public outside of the following hours:

Monday - Thursday**Friday - Sunday****Garden 10:00am – 12:00am****11:00am – 12:00am****Lounge: 5:00pm – 12:00am****1:00pm – 12:00am**

Reason for condition

To ensure that non-residential use does not unreasonably impact on residential amenity.

ENG 12

A construction waste management plan must be implemented throughout construction.

A construction waste management plan must be submitted and approved, prior to commencement of work on the site. The construction waste management plan must include:

- **Provisions for commercial waste services for the handling, storage, transport and disposal of post-construction solid waste and recycle bins from the development; and**
- **Provisions for the handling, transport and disposal of demolition material, including any contaminated waste and recycling opportunities, to satisfy the above requirement.**

All work required by this condition must be undertaken in accordance with the approved construction waste management plan.

Reason for condition

To ensure that solid waste management from the site meets the Council's requirements and standards.

ENG sw1

All stormwater from the proposed development (including but not limited to: roofed areas, ag drains, retaining wall ag drains and impervious surfaces such as driveways and paved areas) must be drained to the Council's stormwater infrastructure prior to first occupation or commencement of use (whichever occurs first).

Advice:

Under section 23 of the Urban Drainage Act 2013 it is an offence for a property owner to direct stormwater onto a neighbouring property.

Reason for condition

To ensure that stormwater from the site will be discharged to a suitable Council approved outlet.

ENG 13

An ongoing waste management plan for all insert commercial waste and recycling must be implemented post construction.

A waste management plan must be submitted and approved, prior to commencement of work on the site. A waste management plan must:

- 1. include provisions for commercial waste services for the handling, storage, transport and disposal of domestic waste and recycle bins from the development.**

All work required by this condition must be undertaken in accordance with the approved waste management plan.

Reason for condition

To ensure that solid waste management from the site meets the Council's requirements and standards.

ENG tr2

A construction traffic and parking management plan must be implemented prior to the commencement of work on the site (including demolition).

The construction traffic (including cars, public transport vehicles, service vehicles, pedestrians and cyclists) and parking management plan must be submitted and approved, prior to commencement work (including demolition). The construction traffic and parking management plan must:

- 1. Be prepared by a suitably qualified person.**
- 2. Develop a communications plan to advise the wider community of the traffic and parking impacts during construction.**
- 3. Include a start date and finish dates of various stages of works.**
- 4. Include times that trucks and other traffic associated with the works will be allowed to operate.**
- 5. Nominate a superintendent, or the like, to advise the Council of the progress of works in relation to the traffic and parking management with regular meetings during the works.**

All work required by this condition must be undertaken in accordance with the approved construction traffic and parking management plan.

Reason for condition

To ensure the safety of vehicles entering and leaving the development and the safety and access around the development site for the general public and adjacent businesses.

ENG 3a

The access driveway, parking module (parking spaces, aisles and manoeuvring area) and loading/unloading areas must be designed and constructed in accordance with Australian Standard AS/NZS2890.1:2004 (including the requirement for vehicle safety barriers where required) and

AS2890.2:2002, or a Council approved alternate design certified by a suitably qualified engineer to provide a safe and efficient access, and enable safe, easy and efficient use.

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

ENG 3b

The access driveway, parking module (parking spaces, aisles and manoeuvring area) and loading/unloading area design must be submitted and approved, prior to the, issuing of any approval under the *Building Act 2016*.

The access driveway, parking module (parking spaces, aisles and manoeuvring area) and loading/unloading area design must:

- 1. Be prepared and certified by a suitably qualified engineer,**
- 2. Be generally in accordance with the Australian Standard AS/NZS2890.1:2004 and AS2890.2:2002,**
- 3. Where the design deviates from AS/NZS2890.1:2004 and AS2890.2:2002 the designer must demonstrate that the design will provide a safe and efficient access, and enable safe, easy and efficient use for all vehicles (including commercial vehicles) proposed to access the property,**
- 4. Provide a longitudinal section that shows the lowest vertical clearance from the access driveway surface to under eaves or other obstructions for the full length of the access driveway,**
- 5. Show the vehicle class for largest commercial vehicle capable of accessing the on site loading/unloading area for vertical clearance,**
- 6. Show the provision of signage that identifies the lowest vertical clearance for the full length of the access driveway,**
- 7. Show gradients of the parking spaces and loading/unloading area,**
- 8. Show the bicycle parking spaces for employees and customers, and**

9. **Show dimensions, levels, gradients & transitions and other details as Council deem necessary to satisfy the above requirement.**

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

ENG 3c

The access driveway, parking module (parking spaces, aisles and manoeuvring area) and loading/unloading area must be constructed in accordance with the design drawings approved by Condition ENG 3b.

Prior to the commencement of use, documentation by a suitably qualified engineer certifying that the access driveway and parking module has been constructed in accordance with the above drawings must be lodged with Council.

Advice:

Certification may be submitted to Council as part of the Building Act 2016 approval process or via condition endorsement (see general advice on how to obtain condition endorsement).

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

ENG 5

The minimum number of car parking spaces approved on the site, for use is seven (7).

All parking spaces must be delineated by means of white or yellow lines 80mm to 100mm wide, or white or yellow pavement markers in accordance with Australian Standards AS/NZS 2890.1 2004, prior to commencement of use.

Reason for condition

To ensure the provision of parking for the use is safe and efficient.

ENG 6

The minimum number of bicycle parking spaces approved on the site, for use is sixteen (16). All sixteen (16) bicycle parking spaces must be provided prior to the commencement of use.

Bicycle parking facilities are to be provided in accordance with Australian Standards AS/NZS 2890.3 or a Council City Planning Division approved alternate design, prior to commencement of use.

Advice:

Please contact Council's Traffic Engineer Unit to discuss approval of alternate designs.

Reason for condition

To ensure the provision of parking for the use is safe and efficient.

ENG 9

All car parking spaces for people with disabilities must be delineated to Australian/NZS Standard, Parking facilities Part 6: Off-street parking for people with disabilities AS/NZS 2890.6: 2009, prior to the commencement of the use.

Reason for condition

In the interests of vehicle user safety and the amenity of the development.

ENG 1

Any damage to council infrastructure resulting from the implementation of this permit, must, at the discretion of the Council:

1. **Be met by the owner by way of reimbursement (cost of repair and reinstatement to be paid by the owner to the Council); or**
2. **Be repaired and reinstated by the owner to the satisfaction of the Council.**

A photographic record of the Council's infrastructure adjacent to the subject site must be provided to the Council prior to any commencement of works.

A photographic record of the Council's infrastructure (e.g. existing property service connection points, roads, buildings, stormwater, footpaths, driveway crossovers and nature strips, including if any, pre-existing damage) will be relied upon to establish the extent of damage caused to the Council's infrastructure during construction. In the event that the owner/developer fails to provide to the Council a photographic record of the Council's infrastructure, then any damage to the Council's infrastructure found on completion of works will be deemed to be the responsibility of the owner.

Reason for condition

To ensure that any of the Council's infrastructure and/or site-related service connections affected by the proposal will be altered and/or reinstated at the owner's full cost.

ENV 1

Sediment and erosion control measures sufficient to prevent sediment from leaving the site must be installed prior to any disturbance of the site, and maintained until all areas of disturbance have been stabilized or re-vegetated.

Advice:

For further guidance in preparing a Soil and Water Management Plan – in accordance with Fact sheet 3 Derwent Estuary Program click [here](#).

Reason for condition

To avoid the sedimentation of roads, drains, natural watercourses, Council land that could be caused by erosion and runoff from the development, and to comply with relevant State legislation.

HER 11

The stone wall and capping stones along the Melville Street frontage, either side of the pedestrian entry and returns on the south west and north east must be retained and conserved in situ to the highest standard using lime rich mortar. Any nearby excavation or demolition must not damage the stone wall. Temporary and permanent bracing must be installed to ensure the stone wall does not collapse during or post construction.

Prior to the issue of any approval under the *Building Act 2016*, revised plans must be submitted and approved showing all conservation works and temporary and permanent bracing in accordance with the above requirement.

All work required by this condition must be undertaken in accordance with the approved documentation.

Advice:

The conservation of the wall must be to the highest standard. The construction method and of the wall degree of stability of the wall is not certain, such that all excavation must be undertaken with the supervision of a suitably qualified historic heritage expert. Should any variance to the design be required due to unexpected finds or site conditions, the entry and access should be redesigned. A separate planning approval may be required.

Reason for condition

To ensure that development at a heritage place is undertaken in a sympathetic manner which does not cause loss of historic cultural heritage significance.

HER 6

All onsite excavation and disturbance between the front stone wall and the existing building and elsewhere on site, must be monitored by a suitably qualified archaeologist. Should any features or deposits of an archaeological nature be discovered on the site during excavation or disturbance:

1. **All excavation and/or disturbance must stop immediately; and**
2. **A qualified archaeologist must be engaged to provide advice and assessment of the features and/or deposits discovered and make recommendations on further excavation and/or disturbance; and**
3. **All and any recommendations made by the archaeologist engaged in accordance with (2) above must be complied with in full; and**
4. **All features and/or deposits discovered must be reported to the Council with 1 days of the discovery; and**
5. **A copy of the archaeologists advice, assessment and recommendations obtained in accordance with paragraph (2) above must be provided to Council within 60 days of receipt of the advice, assessment and recommendations.**

Excavation and/or disturbance must not recommence unless and until approval is granted from the Council.

Reason for condition

To ensure that work is planned and implemented in a manner that seeks to understand, retain, protect, preserve and manage significant archaeological evidence.

HER 17a

The proposed palette of exterior colours, materials and finishes as described in drawing A106 revision i, 'Proposed Elevations' dated 12/01/221 and drawing A07, revisions G, 'Proposed Elevations', dated 01/12/20 are not approved and must be revised to be consistent and be complementary and sympathetic to the palette of colours, materials and finishes of the listed site.

Prior to the issue of any approval under the *Building Act 2016*, revised plans must be submitted and approved showing exterior colours, materials and finishes in accordance with the above requirement.

All work required by this condition must be undertaken in accordance with the approved plans.

Reason for condition

To ensure that development at a heritage place is undertaken in a sympathetic manner which does not cause loss of historic cultural heritage significance.

HER 20

The plantings shown in the submitted drawings Proposed Elevations, drawing A07, Rev G and Proposed Elevations, drawing A105, Rev i are not approved. The site must be landscaped with plants appropriate to the growing conditions and the historic setting. All landscaping shown in an approved landscaping plan must be undertaken prior to completion.

Prior to the issue of any approval under the *Building Act 2016*, a landscaping plan must be prepared by a suitably qualified landscape architect and be submitted and approved in accordance with the above requirements and include:

- 1. a scale, dimensions and north point;**
- 2. details of surface finishes of pathways and/or driveways;**
- 3. a planting schedule**
- 4. details of any irrigation systems and a corresponding assessment of the impact of the irrigation system so as to not create runoff, damp, salt attack and deterioration of the stone wall.**

All work required by this condition must be undertaken in accordance with the approved landscaping plan.

Reason for condition

To ensure that development at a heritage place is undertaken in a sympathetic manner which does not cause loss of historic cultural heritage significance.

HER s3

Revised and detailed plans prepared by a suitably qualified person in historic heritage must be submitted for the new front

steps, wheelchair lift, landings and handrail to be sympathetic and subservient to the historic cultural heritage significance of the place.

Prior to the issue of any approval under the *Building Act 2016*, revised plans must be submitted and approved in accordance with the above requirement.

All work required by this condition must be undertaken in accordance with the approved plans.

Reason for condition:

To ensure that development at a heritage place is undertaken in a sympathetic manner which does not cause loss of historic cultural heritage significance.

ENVHE 1

Recommendations in the report *Environmental Site Assessment, 35 Melville St, Hobart December 2020* prepared by GES must be implemented for the duration of the development of the site. This includes implementation of a soil and water management plan. A specific contamination management plan is not considered necessary.

Reason for condition

To ensure that the risk to future occupants of the building remain low and acceptable.

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

CONDITION ENDORSEMENT PLANNING

If any condition requires that further documents are submitted and approved, you will need to submit the relevant documentation to satisfy the condition via the Condition Endorsement Submission on Council's [online services e-planning portal](#).

Where building approval is also required, it is recommended that documentation for condition endorsement be submitted well before submitting documentation for building approval. Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.

Once approved, the Council will respond to you via email that the condition has been endorsed (satisfied). Detailed instructions can be found [here](#).

BUILDING PERMIT

You may need building approval in accordance with the *Building Act 2016*. Click [here](#) for more information.

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

PLUMBING PERMIT

You may need plumbing approval in accordance with the *Building Act 2016*, *Building Regulations 2016* and the National Construction Code. Click [here](#) for more information.

GENERAL EXEMPTION (TEMPORARY) PARKING PERMITS

You may qualify for a General Exemption permit for construction vehicles i.e. residential or meter parking/loading zones. Click [here](#) for more information.

PLANNING

Consideration should be given to implement measures to minimise noise emissions and potential light spill to the adjoining residential use.

STORMWATER

Please note that in addition to a building and/or plumbing permit, development must be in accordance with the Hobart City Council's Infrastructure By law. Click [here](#) for more information.

CBD AND HIGH VOLUME FOOTPATH CLOSURES

Please note that the City of Hobart does not support the extended closure of public footpaths or roads to facilitate construction on adjacent land.

It is the developer's responsibility to ensure that the proposal as designed can be constructed without reliance on such extended closures.

In special cases, where it can be demonstrated that closure of footpaths in the CBD and/or other high volume footpaths can occur for extended periods without unreasonable impact on other businesses or the general public, such closures may only be approved by the full Council.

For more information about this requirement please contact the Council's Traffic Engineering Unit on 6238 2804.

WORK PLACE HEALTH AND SAFETY

Appropriate occupational health and safety measures must be employed during the works to minimise direct human exposure to potentially-contaminated soil, water, dust and vapours. Click [here](#) for more information.

WASTE DISPOSAL

It is recommended that the developer liaise with the Council's Cleansing and Solid Waste Unit regarding reducing, reusing and recycling materials associated with demolition on the site to minimise solid waste being directed to landfill.




Further information regarding waste disposal can also be found on the Council's [website](#).

FEES AND CHARGES

Click [here](#) for information on the Council's fees and charges.

DIAL BEFORE YOU DIG

Click [here](#) for dial before you dig information.

- | | |
|---------------|--|
| Attachment A: | PLN-20-723 - 35 MELVILLE STREET HOBART
TAS 7000 - Planning Committee or Delegated
Report ↓  |
| Attachment B: | PLN-20-723- 35 MELVILLE STREET HOBART
TAS 7000 - CPC Agenda Documents ↓  |
| Attachment C: | PLN-20-723 - 35 MELVILLE STREET HOBART
TAS 7000 - Planning Referral Officer Cultural
Heritage Report ↓  |

**APPLICATION UNDER HOBART INTERIM PLANNING SCHEME 2015**

Type of Report:	Committee
Council:	22 February 2021
Expiry Date:	23 February 2021
Application No:	PLN-20-723
Address:	35 MELVILLE STREET , HOBART
Applicant:	Robert Beadle (JSA Consulting Engineers) Level 1, 119 Sandy Bay Road
Proposal:	Partial Demolition, Alterations, Extension, Signage and Change of Use to Hotel Industry
Representations:	Twenty Four (24)
Performance criteria:	Use, Potentially Contaminated Land Code, Parking and Access Code, Historic Heritage Code and Signs Code(Heritage)

1. Executive Summary

- 1.1 Planning approval is sought for Partial Demolition, Alterations, Extension, Signage and Change of Use to Hotel Industry at 35 Melville Street, Hobart.

1.2 More specifically the proposal is for:

- Change use of existing building to a Hotel Industry lounge bar style venue with outdoor garden bar area proposing to open for the following hours:

	Monday - Thursday	Friday – Sunday
Garden Bar:	10:00am – 12:00am	11:00am – 12:00am
Lounge:	5:00pm – 12:00am	1:00pm – 12:00am

- Partial demolition and alteration to the front section of the building to facilitate improved access and entrance platform lift, significant planting, a small entrance wall sign, decking areas with new timber balustrading and alterations to windows and doors responding to the internal layout. The exterior brick work is to feature a painted finish.
- Significant internal alterations and demolition to facilitate a new lounge bar area with booths on ground floor level with a kitchen, cool room and 25m² storeroom addition. The upper level is to be office spaces and a function room.
- The rear of the venue will feature a decked beer garden area bordered by planter boxes and substantially covered with an opening roof structure.
- The rear bitumen area of the site will include 7 car parking spaces, loading bay, 8 bike racks in addition to the 4 included in the storeroom.

1.3 The proposal relies on performance criteria to satisfy the following standards and codes:

- 1.3.1 Commercial Zone -Use
- 1.3.2 Potentially Contaminated Land Code
- 1.3.3 Parking and Access Code - Number of Parking Spaces
- 1.3.4 Historic Heritage Code - Heritage Place
- 1.3.5 Signs Code - Heritage

1.4 Twenty four (24) representations objecting the proposal were received within the statutory advertising period between 18 January to 2 February 2021.

1.5 The proposal is recommended for approval subject to conditions.

1.6 The final decision is delegated to the Senior Statutory Planner.

1.6 The final decision is delegated to the Council, because the application received 24 objections.

2. Site Detail

- 2.1 The 809m² site is in close proximity to midtown precinct of Elizabeth Street and contains an existing 1920s house that has been subject to various additions to the rear and most recently been used as office space. To the rear of the site is a large open bitumen parking area. The site to rear adjoins residential apartment blocks, to the north is a significant large scale heritage listed building used for offices and to the south private commercial parking area. Opposite the site is the under construction University of Tasmania Student Accommodation complex and vacant car park site.

2.2



Figure 1: GIS Map Image 1:2000

2.3

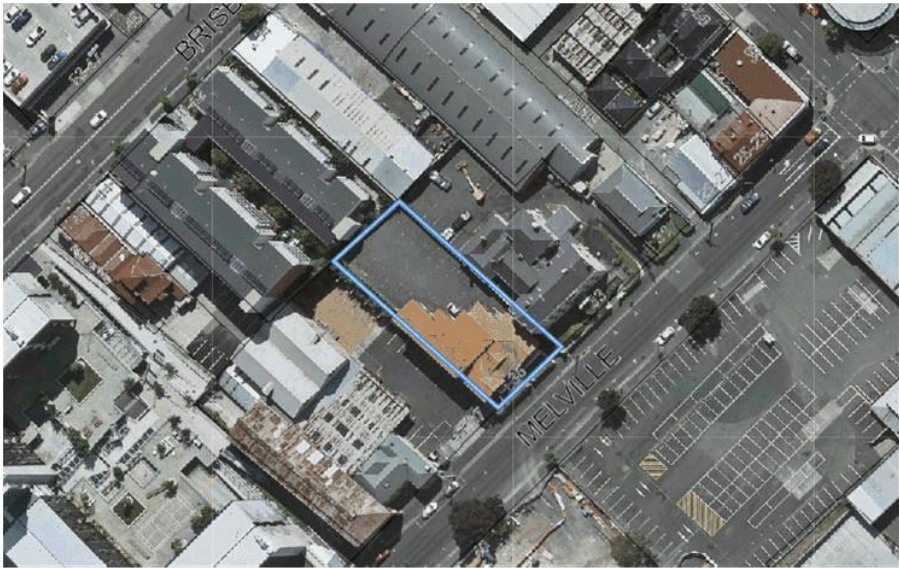


Figure 2: GIS Map Image 1:1000

2.4



Figure 3: Frontage of subject site

2.5



Figure 4: Rear of subject site

2.6



Figure 5: Rear of subject site looking towards Brisbane Street apartments

3. Proposal

3.1 Planning approval is sought for Partial Demolition, Alterations, Extension, Signage and Change of Use to Hotel Industry at 35 Melville Street, Hobart.

3.2 More specifically the proposal is for:

- Change use of existing building to a Hotel Industry lounge bar style venue with outdoor garden bar area proposing to open for the following hours:

	Monday - Thursday	Friday – Sunday
Garden Bar:	10:00am – 12:00am	11:00am – 12:00am
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- Partial demolition and alteration to the front section of the building to facilitate improved access and entrance platform lift, significant planting, a small entrance wall sign, decking areas with new timber balustrading and alterations to windows and doors responding to the internal layout. The exterior brick work is to feature a painted finish.
- Significant internal alterations and demolition to facilitate a new lounge bar area with booths on ground floor level with a kitchen, cool room and 25m² storeroom addition. The upper level is to be office spaces and a function room.
- The rear of the venue will feature a decked beer garden area bordered by planter boxes and substantially covered with an opening roof structure.
- The rear bitumen area of the site will include 7 car parking spaces, loading bay, 8 bike racks in addition to the 4 included in the storeroom.

3.3

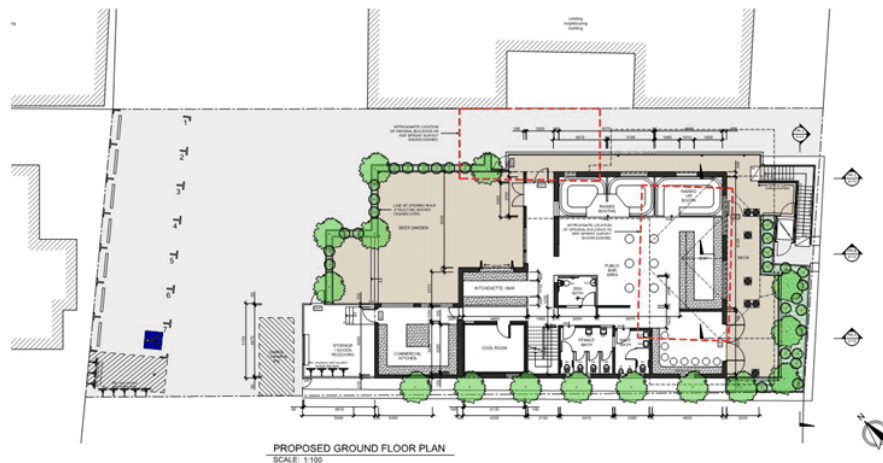


Figure 6: Proposed Ground Floor/Site Plan

4. Background

- 4.1 No applicable background in respect of the proposal.

5. Concerns raised by representors

- 5.1 Twenty four (24) representations objecting the proposal were received within the statutory advertising period between 18 January to 2 February 2021.
- 5.2 The following table outlines the concerns raised in the representations received. Those concerns which relate to a discretion invoked by the proposal are addressed in Section 6 of this report.

The bar and beer garden will result in a loss of amenity to the adjacent housing of single age pensioners, disability pensioners, single young families and pensioner couples.
Continuous noise after dark 7 days a week.
Vehicular movements at closing time and the associated goodbyes.
Outside lighting till all hours or all night.
Concern at impact from outdoor music in the beer garden.
Concern bottles and cans tossed over the fence as well waste and rubbish from patrons effecting the surrounding area.
Possibility of occasional urination on the fence.
Loss of privacy.
The proposal will result in endless complaints.
The possibility of imported violence to the area from for example Salamanca.
There are several pubs already existing in the area already.
It will add nothing to mix neighbourhood and restaurant and may have a negative impact on them.
Fumes from cooking equipment.
Potential signage that will intrude on the streetscape.
Renovations and landscaping do not appear to be sympathetic to the heritage value of the building.
The landscaping to the rear does not appear to screen the outdoor areas.
Illegal parking on adjoining site due to the limited available on site parking.
Security concern and need for a side boundary fence to at least 2.1m to avoid from patrons jumping the fence given the significant drop.
Approval of this small business would be at the expense of the community.

6. Assessment

- 6.1 The *Hobart Interim Planning Scheme 2015* is a performance based planning scheme. To meet an applicable standard, a proposal must demonstrate compliance with either an acceptable solution or a performance criterion. Where a proposal complies with a standard by relying on one or more performance criteria, the Council may approve or refuse the proposal on that basis. The ability to approve or refuse the proposal relates only to the performance criteria relied on.

- 6.2 The site is located within the Commercial Zone of the *Hobart Interim Planning Scheme 2015*.
- 6.3 The proposed use is for a Hotel Industry which is a discretionary use in the zone.
- 6.4 The proposal has been assessed against:
- 6.4.1 Part D - 23 Commercial Zone
 - 6.4.2 E2.0 Potentially Contaminated Land Code
 - 6.4.3 E5.0 Road and railway access code
 - 6.4.4 E6.0 Parking and Access Code
 - 6.4.5 E7.0 Stormwater Management Code
 - 6.4.6 E13.0 Historic Heritage Code
 - 6.4.7 E17.0 Signs Code
- 6.5 The proposal relies on the following performance criteria to comply with the applicable standards:
- 6.5.1 Commercial Zone - Use
 - 6.5.2 Potentially Contaminated Land Code
 - Excavation 2.6.2 P1*
 - 6.5.3 Parking and Access Code:
 - Number of Parking Spaces - E6.6.1 P1*
 - Vehicle Passing - E6.7.3 P1*
 - Facilities for Commercial Vehicles E6.7.13 P1*
 - 6.5.4 Historic Heritage Code:
 - Building and Works on a Listed Place - Demolition - Part E13.7.1 P1*
 - Building and Works on a Listed Place - Buildings and Works other than Demolition- Part E13.7.2 P1, P2, P3 and P4*

Development Standards for Places of Archeological Potential - Part E
13.10.1 P1

6.5.5 Signs Code:

Standards for signs on Heritage Places - Part E17.7.2 P1

6.6 Each performance criterion is assessed below.

6.7 Commercial Zone - Use

6.7.1 The proposed Hotel Industry Use is discretionary in the Zone and clause 8.10.2 of the Scheme requires consideration of the purpose of the zone, although there is Supreme Court authority which prevents any of the zone purpose statements from providing a separate basis to refuse an application. The zone purpose statements are as follows:

23.1.1 Zone Purpose Statements

23.1.1.1

To provide for large floor area retailing and service industries.

23.1.1.2

To provide for development that requires high levels of vehicle access and car parking for customers.

23.1.1.3

To provide for a diversity of generally non-residential uses reflecting the transition between the Central Business Zone and inner residential areas.

23.1.1.4

To allow for uses such as car yards, warehouse and showrooms in the areas of high traffic volume and high passing visibility.

23.1.1.5

To allow good quality building stock to be used for less land extensive central service uses such as offices and specialist wholesaling uses.

23.1.1.6

To allow for service industry uses such as motor repairs which provide a valuable service to users of the central area.

23.1.1.7

To provide for residential use primarily above ground floor level.

- 6.7.2 The site is adjacent to the Central Business Zone and contributes to the diversity of non-residential uses. Although the primary intent of the zone is for larger scale retail, service industries, car yards, warehouse and showrooms with high visibility, this focus is primarily on the Commercial zoned upper sections of Harrington and Murray Street as well sections of Campbell and Argyle Street. The Heritage values of the property, its ground floor level relative to the street frontage in combination with nature of the existing building, largely excludes the above mentioned types of uses. Also due to the site's central inner city location the Hotel Industry use of a bar restaurant style venue is a substantially more appropriate and relevant use, particularly due to its proposed operation within the permitted opening hours specific to the Hotel Industry Use in the zone. In addition to operating within the permitted hours the proposal also satisfies all relevant Use and Development Standards for the Commercial Zone. The proposal also does not preclude the future use and development of the site for above ground floor residential use, subject to heritage approval, particularly due the availability of developable area to the rear of the property.
- 6.7.3 The proposed use is not considered to compromise the intent of the Zone Purpose of the Commercial Zone.
- 6.8 Potentially Contaminated Land Code Part E 2.6.2 P1
- 6.8.1 The site is listed as potentially contaminated land.
- 6.8.2 There is no acceptable solution for Part E 2.6.2 A1.
- 6.8.3 There is no acceptable solution; therefore assessment against the performance criterion is relied on.
- 6.8.4 The performance criterion at clause (Part E 2.6.2 P1) provides as follows:

P1

Excavation does not adversely impact on health and the environment, having regard to:

(a) an environmental site assessment that demonstrates there is no evidence the land is contaminated; or

(b) a plan to manage contamination and associated risk to human health and the environment that includes:

- (i) an environmental site assessment;*
- (ii) any specific remediation and protection measures required to be implemented before excavation commences; and*
- (iii) a statement that the excavation does not adversely impact on human health or the environment.*

6.8.5 A preliminary Environmental Site Assessment and Contamination Management Plan was submitted for the site and the Council's Environmental Health Officer is satisfied that the proposal meets the relevant performance criteria subject to a condition requiring implementation of the recommendations in the assessment.

6.8.6 The proposal complies with the performance criterion.

6.9 Parking and Access Code - Number of Parking Spaces - E6.6.1 P1

6.9.1 The proposal does not meet the Acceptable Solution for Number of Parking Spaces Part E6.6.1 as it generates a requirement for 74 car parking spaces and the proposal provides 7 car parking spaces on site.

6.9.2 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.

6.9.3 The performance criterion at clause Part E6.6.1 P1 provides as follows:

P1

The number of on-site car parking spaces must be sufficient to meet the reasonable needs of users, having regard to all of the following:

- (a) car parking demand;*
- (b) the availability of on-street and public car parking in the locality;*
- (c) the availability and frequency of public transport within a 400m walking distance of the site;*
- (d) the availability and likely use of other modes of transport;*
- (e) the availability and suitability of alternative arrangements for car parking provision;*
- (f) any reduction in car parking demand due to the sharing of car parking spaces by multiple uses, either because of variation of car parking*

demand over time or because of efficiencies gained from the consolidation of shared car parking spaces;

(g) any car parking deficiency or surplus associated with the existing use of the land;

(h) any credit which should be allowed for a car parking demand deemed to have been provided in association with a use which existed before the change of parking requirement, except in the case of substantial redevelopment of a site;

(i) the appropriateness of a financial contribution in lieu of parking towards the cost of parking facilities or other transport facilities, where such facilities exist or are planned in the vicinity;

(j) any verified prior payment of a financial contribution in lieu of parking for the land;

(k) any relevant parking plan for the area adopted by Council;

(l) the impact on the historic cultural heritage significance of the site if subject to the Local Heritage Code;

(m) whether the provision of the parking would result in the loss, directly or indirectly, of one or more significant trees listed in the Significant Trees Code.

- 6.9.5 The Council's Development Engineer in conjunction with the Council's Traffic Engineer has provided the following assessment:

Performance Criteria - P1:

The number of on-site car parking spaces must be sufficient to meet the reasonable needs of users, having regard to all of the following:

(a) car parking demand; - There are 17 existing on site car parking spaces which are sufficient for the current use as office space therefore no existing deficiency. The proposed use reduces the number of on site car parking spaces to 7 (including one disability parking space). The proposed use requires 74 on site car parking spaces therefore resulting in a deficiency of 67 on site car parking spaces. A TIA has been provided by Hubble Traffic which comment that "during the weekday, local residents and employees from the surrounding businesses are expected to be the main customers. These customers are thought to walk to and from the venue and are not expected to create a parking demand. Evening customers are likely to travel using alternative transport modes, such as taxi and ride sharing facilities, while customers using private vehicles would be accustomed to share available on-street parking spaces located within the surrounding streets".

Council's Traffic Engineer has not expressed concerns regarding the

deficiency in on site parking for the proposed use as it is a premises for the consumption of alcohol and the deficiency in on site parking would discourage drink driving. Also the property is located near the CBD with on street and other parking facilities available as well as the availability of alternatively methods of transport.

(b) the availability of on-street and public car parking in the locality; - The TIA prepared by Hubble Traffic has stated " A parking survey of the on-street parking supply and demand has been undertaken along the street surrounding the development site. The survey found some 297 parking spaces are available during the day, and an additional 30 spaces become available after 6pm, when the loading zone time restrictions finish. The surveys found that at a minimum 100 parking spaces were vacant that could be shared with the proposed use. The survey demonstrated there is more than sufficient on-street parking available along the surrounding streets to easily meet the expected the demand generated by this change of use, without impacting other land-use developments".

(c) the availability and frequency of public transport within a 400m walking distance of the site; - Metro Tasmania operate regular bus services along Argyle and Elizabeth Streets which is within 400 metres of the subject site.

(d) the availability and likely use of other modes of transport; - The TIA prepared by Hubble Traffic has stated " Other modes of transport are more likely during weekends and evenings, with customers expected to arrive and depart using taxi and ride sharing facilities, as found at other bars and food venues with an inner-city location. Customers from inner-city residential apartments are expected to walk to and from the site, reducing the parking demand. Employees from local businesses are not expected to create a parking demand as they have alternative parking spaces associated with their works place, or use public transport to travel to and from their work place.

(e) the availability and suitability of alternative arrangements for car parking provision; - The Vodaphone public multi-storey car park is located within 300 metres of the development site, which is walking distance. The multi-storey car park provides off-street parking, and is open 24 hours, 7 days a week.

(f) any reduction in car parking demand due to the sharing of car parking spaces by multiple uses, either because of variation of car parking

demand over time or because of efficiencies gained from the consolidation of shared car parking spaces; - Not applicable.

(g) any car parking deficiency or surplus associated with the existing use of the land; - Not applicable.

(h) any credit which should be allowed for a car parking demand deemed to have been provided in association with a use which existed before the change of parking requirement, except in the case of substantial redevelopment of a site; - Not applicable.

(i) the appropriateness of a financial contribution in lieu of parking towards the cost of parking facilities or other transport facilities, where such facilities exist or are planned in the vicinity; - Not applicable.

(j) any verified prior payment of a financial contribution in lieu of parking for the land; - Not applicable.

(k) any relevant parking plan for the area adopted by Council; - Not applicable.

(l) the impact on the historic cultural heritage significance of the site if subject to the Local Heritage Code; - Not applicable.

(m) whether the provision of the parking would result in the loss, directly or indirectly, of one or more significant trees listed in the Significant Trees Code. - No impact.

Based on the above assessment and given the submitted documentation, the parking provision may be accepted under Performance Criteria P1:E6.6.1 of the Planning Scheme.

6.9.6 The proposal complies with the performance criterion.

6.10 Parking and Access Code - Vehicle Passing - E6.7.3 P1 & Facilities for Commercial Vehicles E6.7.13 P1

6.10.1 The proposal does not meet the Acceptable Solution in respect of the Vehicle Passing - E6.7.3 P1 & Facilities for Commercial Vehicles E6.7.13 P1.

6.10.2 The proposal does not comply with the acceptable solution; therefore

assessment against the performance criterion is relied on.

- 6.10.3 The performance criterion at clause E6.7.3 P1 and E6.7.13 P1 provides as follows:

P1

Vehicular passing areas must be provided in sufficient number, dimension and siting so that the access is safe, efficient and convenient, having regard to all of the following:

(a) avoidance of conflicts between users including vehicles, cyclists and pedestrians;

(b) avoidance of unreasonable interference with the flow of traffic on adjoining roads;

(c) suitability for the type and volume of traffic likely to be generated by the use or development;

(d) ease of accessibility and recognition for users.

P1

Commercial vehicle arrangements for loading, unloading or manoeuvring must not compromise the safety and convenience of vehicular traffic, cyclists, pedestrians and other road users.

- 6.10.5 The Council's Development Engineering Officer is satisfied that given the submitted documentation, the driveway configuration, the low volume of traffic and the provided facilities for commercial vehicles, the proposal meets the relevant performance criteria.

- 6.10.6 The proposal complies with the performance criterion.

6.11 Historic Heritage Code and Signs Code

- 6.11.1 The subject site is a listed property under the Historic Heritage Code and a Place of Archaeological Potential. The proposal therefore requires assessment against the provisions under Building and Works on a Listed Place, Development Standards for Places of Archeological Potential as

wells as the Signs Code in respect of the Standards for Signs on Heritage Places. Therefore assessment against the performance criterion is relied on.

- 6.11.2 The performance criterion at clause Part E13.7.1 P1, Part E13.7.2 P1, P2, P3, P4, Part E 13.10.1 P1 and Part E17.6.1 P1 provides as follows:

Demolition

P1

Demolition must not result in the loss of significant fabric, form, items, outbuildings or landscape elements that contribute to the historic cultural heritage significance of the place unless all of the following are satisfied;

(a) there are, environmental, social, economic or safety reasons of greater value to the community than the historic cultural heritage values of the place;

(b) there are no prudent and feasible alternatives;

(c) important structural or façade elements that can feasibly be retained and reused in a new structure, are to be retained;

(d) significant fabric is documented before demolition.

Buildings and Works other than Demolition

P1

Development must not result in any of the following:

(a) loss of historic cultural heritage significance to the place through incompatible design, including in height, scale, bulk, form, fenestration, siting, materials, colours and finishes;

(b) substantial diminution of the historic cultural heritage significance of the place through loss of significant streetscape elements including plants, trees, fences, walls, paths, outbuildings and other items that contribute to the significance of the place.

P2

Development must be designed to be subservient and complementary to the place through characteristics including:

(a) scale and bulk, materials, built form and fenestration;

- (b) setback from frontage;*
- (c) siting with respect to buildings, structures and listed elements;*
- (d) using less dominant materials and colours.*

P3

Materials, built form and fenestration must respond to the dominant heritage characteristics of the place, but any new fabric should be readily identifiable as such.

P4

Extensions to existing buildings must not detract from the historic cultural heritage significance of the place.

Places of Archaeological Potential

P1

Buildings, works and demolition must not unnecessarily impact on archaeological resources at places of archaeological potential, having regard to:

- (a) the nature of the archaeological evidence, either known or predicted;*
- (b) measures proposed to investigate the archaeological evidence to confirm predictive statements of potential;*
- (c) strategies to avoid, minimise and/or control impacts arising from building, works and demolition;*
- (d) where it is demonstrated there is no prudent and feasible alternative to impacts arising from building, works and demolition, measures proposed to realise both the research potential in the archaeological evidence and a meaningful public benefit from any archaeological investigation;*
- (e) measures proposed to preserve significant archaeological evidence 'in situ'.*

Standards for signs on Heritage Places

P1

A sign on a Heritage Place listed in the Historic Heritage Code or within a Heritage Precinct or Cultural Landscape Precinct must satisfy all of

the following:

- (a) be located in a manner that minimises impact on cultural heritage significance of the place or precinct;*
- (b) be placed so as to allow the architectural details of the building to remain prominent;*
- (c) be of a size and design that will not substantially diminish the cultural heritage significance of the place or precinct;*
- (d) be placed in a location on the building that would traditionally have been used as an advertising area if possible;*
- (e) not dominate or obscure any historic signs forming an integral part of a building's architectural detailing or cultural heritage values;*
- (f) have fixtures that do not damage historic building fabric, including but not restricted to attachments to masonry and wood, such as to using non-corrosive fixings inserted in mortar joints;*
- (g) not project above an historic parapet or roof line if such a projection impacts on the cultural heritage significance of the building;*
- (h) be of a graphic design that minimises modern trademark or proprietary logos not sympathetic to heritage character;*
- (i) not use internal illumination in a sign on a Heritage Place unless it is demonstrated that such illumination will not detract from the character and cultural heritage values of the building.*

6.11.3 The Council's Cultural Heritage Officer has provided the following assessment:

This place is heritage listed in Table E13.1 of the Historic Heritage Code and is listed in the General Description column as 'stone wall'. It is also located in a Place of Archaeological Potential.



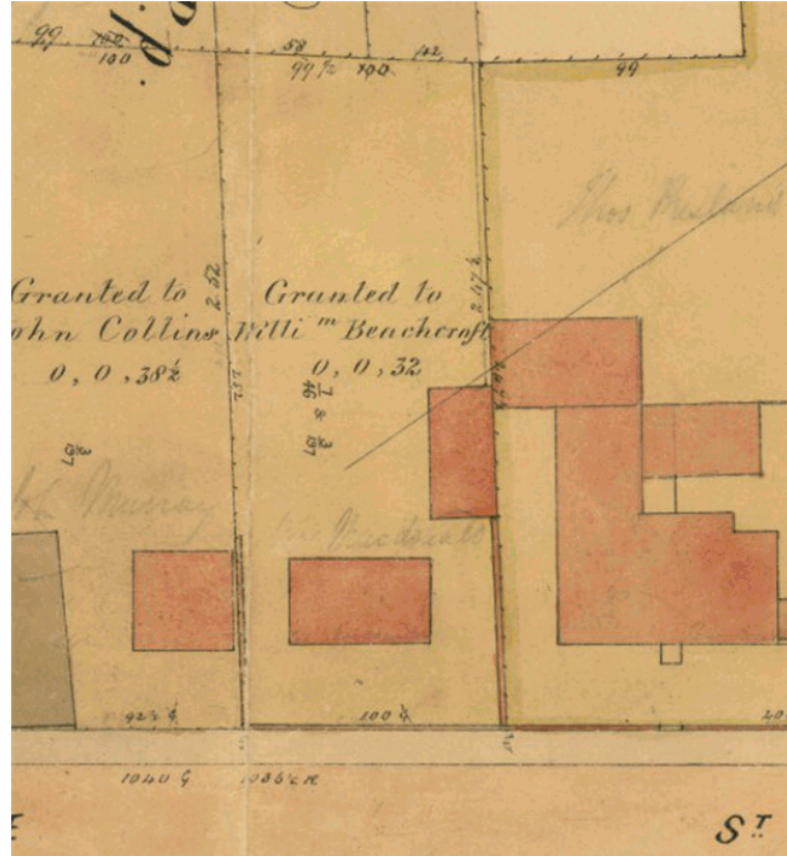
The subject property. The stone wall dates to c.1840 and the current house (c.1920) is positioned over the site of the c.1840 house.

Source: Council image

The proposal is for demolition and new works as well as a change of use. The demolition and works include changes to the entrance and front access/balcony to the property, internal and external demolition, a new beer garden, parking to the rear and landscaping. A small sign opposite the front gate is also proposed. This work must be assessed under the Historic Heritage Code of the Scheme under clause E13.7.1 P1, E13.7.2 P1, P2, P3, E13.10.1 and the Signs Code E17.7.2 P1 and satisfy all sub clauses (a) to (i).

The application is supported by a Statement of Archaeological Potential and Heritage Impact Statement by Cultural Heritage Management Australia, dated 17 Dec 2020.

Historical background:



Sprent's representation of the subject property.

The history of the site is dealt with briefly in the above heritage report. In summary, the property appears in Sprent's plans of Hobart from the c.1840s. It has been known at various stages as Farnham Cottage and was the home of John Heathorn who lived there in 1890 and died there in 1901. At this stage it was addressed as 39 Melville Street becoming 35 Melville St by about 1910. It was occupied by Maida Kerr who taught pianoforte lessons there between about 1905 and 1912 and by 1913, she had moved her business to other premises. In June 1911, 35 Melville St was sold as part of the Estate of Miss Louisa Heathorn, a property described as; " 'Farnham' now in the occupation of Mrs Kerr, containing 7 rooms, with outside kitchen and bathroom, large store and other outbuildings. It was these buildings that appear in the c.1840 plan. It was

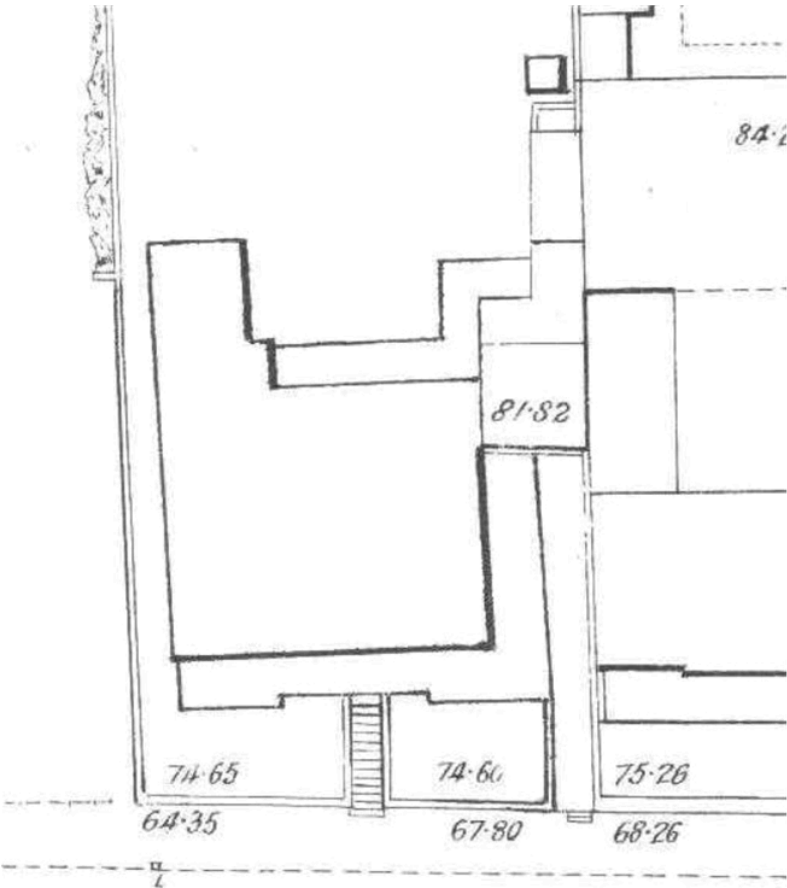
then owned by Mr Henry James till around 1925 and it was during this time that the earlier building was demolished and the Californian Bungalow brick house was constructed with a tile roof, projecting front gables and wide open front verandah. The land was described in 1911 sale as having a frontage of 66 ft with a depth of 165ft which is equivalent to the land parcel as it is today and also equivalent to the land parcel of c.1840. It operated as the Hillside Guest House from about 1938 to 1946.



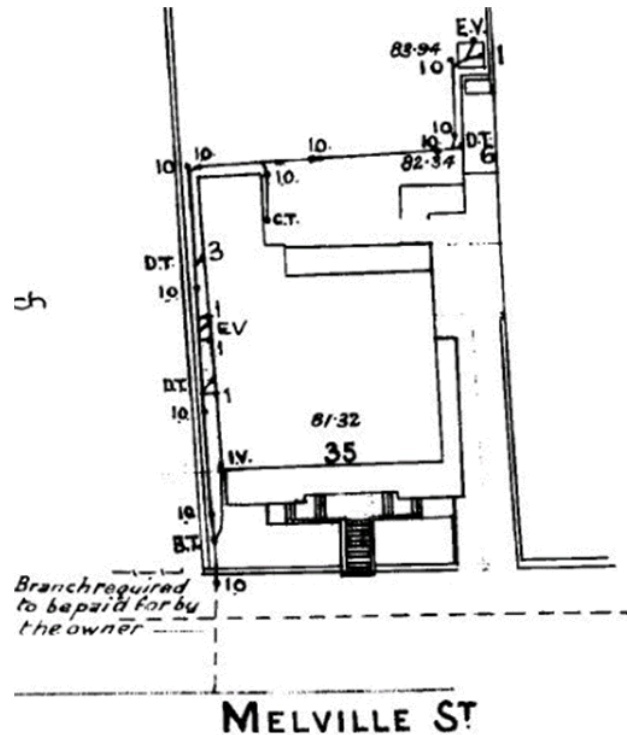
Part image of 35 Melville St (left of image) with Pressland House at 33 Melville Street to the right.

Source: Archives Office NS392-1-756

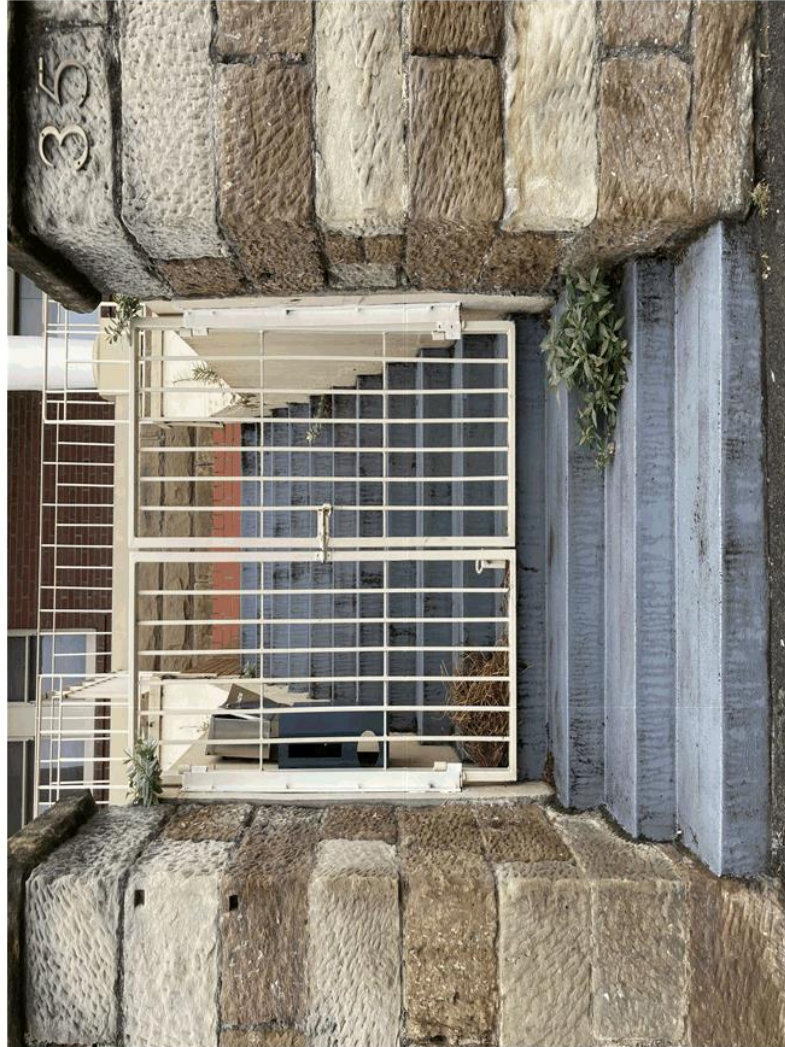
What has remained from its original iteration as a 19th century structure is the front retaining wall, returns on either side of the front steps and returns adjacent to 37 Melville Street and a slightly modified return adjacent to the current driveway, reflecting a traditional 19th century frontage of boundary walls to a house. This is also demonstrated in the following drainage plans:



Part image of Drainage Plan of when the property was number 39 Melville Street.



The above plans and historical photograph demonstrates that the wall was a retaining wall with an elevated garden behind leading to the front verandah and entry to the property. The building has undergone an evolution and is virtually in the same location as the c.1840 house. The major change occurred in c.1920 with the property was rebuilt in the Californian Bungalow style of house with terracotta roof and front gables and wide open verandahs. What is unclear from the submitted historical research is how much of the building was demolished given that no records exist with the exception of the c.1905 and 1919 drainage plans. As was often the case, it is likely that the c.1920 house was built in the same location, reusing some of the original building materials.



Entrance gate to front of 35 Melville Street. Source: Council image



Stone wall and frontage of 35 Melville Street. Source: Council image

The property was identified in the City Fringe Heritage Review Study.

It has the following setting description:

"This property is located on the northern side of Melville Street. The wall is located along the front (southern) boundary of 35 Melville Street. It contributes to the streetscape of the area, which is dominated by early and late nineteenth century buildings."

It has the following description:

"This high boundary wall is constructed of coursed random rubble that has

been roughly pecked. There is a front entrance at the centre of this section of walling which is defined by two high stone pillars constructed of light and dark coloured sandstone blocks."

It has the following history:

"The stone wall located along the Melville Street frontage of this allotment appears to date from the 1840s. The allotment, which the wall partially delineates, was formed and built upon by the 1840s. This 32 perch parcel of land was originally granted to William Benchcroft. Sprent's plan shows thick boundary walls running the length of the southern and eastern boundaries."

It has the following statements of significance:

"Historical Events and Processes

The wall at 35 Melville Street is of heritage significance because it has the ability to contribute to our understanding of the early settlement pattern of inner Hobart."

"Research Potential

The wall at 35 Melville Street has the potential to yield important information of an archaeological nature that may contribute to a greater understanding of Hobart's history, as it is seemingly all that remains of an earlier structure built on the site by the 1840s."

"Community Social Value

This wall makes a significant contribution to the streetscape of the area, and therefore is important to the community's sense of place. It contributes, in conjunction with its neighbours, to a relatively intact nineteenth century commercial streetscape."

The wall is described as predominantly intact with small sections having being rendered.

All new work and conservation of the wall must be to the highest standard.

At present there is a metal gate fixed into the pillars on either side. The plans do not indicate if the gates are to be removed or even changed and if so what remediation/conservation works are to be undertaken. It is recommended that a condition of permit could achieve greater clarity.

Representations:

Twenty four (24) representations were received. The following heritage related comment was received.

"Renovations and landscaping to the front of the building do not appear to be sympathetic to the heritage value of the building."

Assessment:

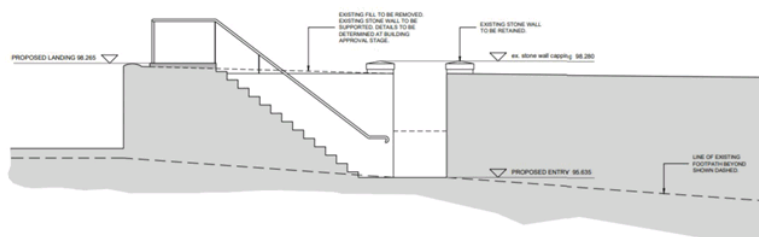
The proposal involves demolition and must be assessed against E13.7.1 P1.

E13.7.1 P1 states:

Demolition must not result in the loss of significant fabric, form, items, outbuildings or landscape elements that contribute to the historic cultural heritage significance of the place unless all of the following are satisfied;

- (a) there are, environmental, social, economic or safety reasons of greater value to the community than the historic cultural heritage values of the place;*
- (b) there are no prudent and feasible alternatives;*
- (c) important structural or façade elements that can feasibly be retained and reused in a new structure, are to be retained;*
- (d) significant fabric is documented before demolition.*

The demolition associated with the wall is the ground level and part of the return wall and the removal of the front concrete steps. The wall was originally built as a retaining wall, as is evident in the 19th century photos included in this report. (see photos above). It was never designed, conceived or built to be a free-standing wall. What is proposed is excavation behind the wall for the construction of an altered flight of stairs and a wheelchair platform, rising 13 steps to a landing, all parallel to the footpath behind the wall. A handrail is also proposed.



Drawing showing the area of excavation and modification for the return stairs. Source: Applicant's drawings

The drawings show the back of the wall and describe the work as the

removal of fill. However, what is not known, is what is behind the wall and as such it may not be loose, easy to remove fill. Given the early house sat high on the land, it is possible that there is rock or that the wall is constructed in a manner where the ground and stone work behind provides the structural integrity of the wall. At the very least, the back of the wall, was never designed to be exposed or revealed. As such, it is likely that significant works will be required to the stone wall to either reconstruct, support and at the very least, conserve the stone wall and a redesign of the access may be required.

In addition, given the existing front steps follow the alignment of the original steps to the 1840s house, it is possible that the original front steps, are in part underneath the concrete steps. Their protection and conservation should be considered under the assessment of the proposal for archaeological values.

The proposed demolition and reconstruction of the front access is considered to be heavy handed and overly complicated. A simplified and less intrusive access solution could be arrived at. However, on balance, conditions could be imposed on any permit limiting the degree of alteration to ensure the wall and all its parts and its historical integrity is retained.

Demolition is also proposed to the front of the house and while this work is unfortunate and unsympathetic, it is not the 1920s house that is identified within the datasheet as being of heritage value. The proposed demolition within the house is considered acceptable. With appropriate conditions of permit, the proposal satisfies E13.7.1 P1.

The new work includes the following:

- Painting of the red brick and sandstone lintels external walls in Watty 'Greyfriars' - a dark charcoal grey colour.
- Infill of the front windows
- Alterations to the 1920s style gable ends to remove the openness and infill the gable end with fibre cement sheet.
- Painting of the red tile roof in 'Admiralty Grey'
- New skillion front verandah extension and rear corrugated roof in 'Monument'.
- The front verandah to be extended outwards towards the street with a timber deck overlay and a timber balustrade that extends over the face of the sandstone.
- Front window formed into a new doorway.

The objective of Buildings and Works other than Demolition under E13.7.2 of the Historic Heritage Code is:

To ensure that development at a heritage place is:

- (a) undertaken in a sympathetic manner which does not cause loss of historic cultural heritage significance; and*
- (b) designed to be subservient to the historic cultural heritage values of the place and responsive to its dominant characteristics.*

Clause E13.7.2 P1 states:

Development must not result in any of the following:

- (a) loss of historic cultural heritage significance to the place through incompatible design, including in height, scale, bulk, form, fenestration, siting, materials, colours and finishes;*
- (b) substantial diminution of the historic cultural heritage significance of the place through loss of significant streetscape elements including plants, trees, fences, walls, paths, outbuildings and other items that contribute to the significance of the place.*

Clause E13.7.2 P2 states:

Development must be designed to be subservient and complementary to the place through characteristics including:

- (a) scale and bulk, materials, built form and fenestration;*
- (b) setback from frontage;*
- (c) siting with respect to buildings, structures and listed elements;*
- (d) using less dominant materials and colours.*

Clause E13.7.2 P3 states:

Materials, built form and fenestration must respond to the dominant heritage characteristics of the place, but any new fabric should be readily identifiable as such.

Clause E13.7.2 P4 states:

The removal of areas of landscaping between a dwelling and the street must not result in the loss of elements of landscaping that contribute to the historic cultural significance of the place.

The proposal to the area behind the stone wall including the new steps, wheelchair lift and handrail could be designed to be compatible and not result in loss of heritage significance, however this requires sensitive and sympathetic design and the submitted drawings do not offer a level of detail to demonstrate this. It is considered that a condition of permit for additional drawings to be provided at Building Permit stage.

The proposed alteration of the existing condition behind the wall (ie removal of the concrete top and excavation for the steps) is identified in the Heritage Impact Statement and the following recommendations are proposed:

- "Excavation works should be confined to a minimum distance of 0.3m from the internal edge of the stone wall.
- The stone wall should be appropriately braced to ensure that it does not collapse both during or post construction. Engineering plans should be developed which details the design and installation of this bracing system. These should be submitted to the HCC as part of the building application.
- The northern end of the wall, including the return running towards the house, was demolished in the 1960s as part of the widening of the driveway and was replaced by a concrete rendered section of wall. If fill material is required to be removed from this area, then this newer section of wall could be partially removed for this purpose. At the completion of works, this part of the wall should be repaired in keeping with the existing wall structure and the original sandstone capping stones replaced on top of the wall.
- During the course of the excavation works behind the wall, the works should be periodically inspected by a heritage specialist to ensure that the integrity of the wall has not been compromised."

In relation to excavations at the rear of the building where a c.1840 structure was located, the following recommendations are provided by Cultural Heritage Management Australia:

- "A heritage specialist should be present on-site during the soil excavation works in this area in order to monitor for the presence of archaeological features or objects.
- The procedures outlined in Practice Note No 2 issued by the Tasmanian Heritage Council, processes will be followed should any unexpected archaeological features and/or deposits be revealed during works."

In addition, consideration must be given to the development being subservient, sympathetic to and being complementary. Complementary means: "something that completes or makes perfect", "either of two parts or things needed to complete the whole." Sympathetic means " characterised by a natural affinity; congenial." Advice was provided to the applicant to 'work with the building', to make modest changes and 'do as much as necessary, but as little as possible'. The proposed changes are

somewhat heavy handed, but in the context of it not being a listed building are acceptable although still somewhat let down by the approach to the exaggerated approach to landscaping and needless transformation of the building to a monochromatic dark grey colour, a colour scheme that does not have a natural affinity with the stone wall or the existing early 20th century building. While painting of the building may be acceptable, the scheme has to be appropriate for a heritage listed place.

The notations describing the colours and finishes on drawing A106 revision i, 'Proposed Elevations' dated 12/01/221 are inconsistent with drawing A07, revisions G, 'Proposed Elevations', dated 01/12/20. It is recommended that a condition of permit be included for clarity and ensure the proposed colours, materials and finishes are appropriate for a heritage listed place.

The landscaping plan is somewhat deceptive showing palm trees while the proposed sections show planter boxes for landscaping which at a scale of 1:50 only measure less than 300 mm deep. This is not deep enough to support the large trees as shown in the proposed drawings. In consideration of this application, the indicative landscaping should not be considered as viable and it is recommended that a more realistic landscaping plan be provided as a condition of permit.

On balance, the proposal satisfies E13.7.2 P1, P2, P3, P4.

The Objective of Works within the a Place of Archaeological Potential under clause E13.10.1 is:

To ensure that building, works and demolition at a place of archaeological potential is planned and implemented in a manner that seeks to understand, retain, protect, preserve and otherwise appropriately manage significant archaeological evidence.

The proposed excavation must be assessed against clause E13.10.1 P1 which states:

Buildings, works and demolition must not unnecessarily impact on archaeological resources at places of archaeological potential, having regard to:

- (a) the nature of the archaeological evidence, either known or predicted;*
- (b) measures proposed to investigate the archaeological evidence to confirm predictive statements of potential;*
- (c) strategies to avoid, minimise and/or control impacts arising from building, works and demolition;*
- (d) where it is demonstrated there is no prudent and feasible alternative*

to impacts arising from building, works and demolition, measures proposed to realise both the research potential in the archaeological evidence and a meaningful public benefit from any archaeological investigation;

(e) measures proposed to preserve significant archaeological evidence 'in situ'.

The Statement of Archaeological Potential submitted states that the archaeological potential of the area of disturbance is 'negligible'. However, the analysis of the modification to the front steps and the original construction of the front wall do not take into account the underlying reality that during the 19th and early 20th century bulk excavation did not occur and that construction fitted into and within the existing topography, landscape often reusing and modifying existing historic fabric in situ. It is highly unlikely that the wall was built as a separate and independent structure with the ground raised and filled behind once construction was complete and in addition there is also the possibility that there is a large amount of rock behind. A precautionary approach is appropriate for all excavation to be monitored by a suitably qualified archaeologist and this can be achieved by a condition of permit. Any significant heritage elements should be retained and consequently the access proposal may need to be redesigned.

Given the uncertainty of the nature of the construction or stability of the wall and the fact that the conservation of the wall must be to the highest standard, it is recommended that a condition be included to achieve that end. The proposal satisfies E13.10.1 P1.

There is a sign proposed facing the Melville Street pedestrian gate opening. It is a backlit wall sign 1100mm x 700mm high that protrudes 50mm from the wall surface. It must be assessed against E17.7.2 P1 and satisfy all of the subclauses (a) to (i). The sign is located in a place that would have been traditionally used for signs, will not be fixed into historic fabric and is of a size and design that is acceptable. In this respect, the proposal satisfies E17.7.2 P1 (a) to (i) of the Signs Code, standards for signs on heritage places.

With appropriate conditions, the proposal is considered to satisfy the relevant provisions of the Historic Heritage Code of the Scheme.

6.11.4 The proposal complies with the performance criterion.

7. Discussion

- 7.1 Planning approval is sought for Partial Demolition, Alterations, Extension, Signage and Change of Use to Hotel Industry at 35 Melville Street, Hobart
- 7.2 The application was advertised and no representations were received.

- 7.2 The application was advertised and received twenty four (24) representations. The representations raised concerns primarily relating to the potential impact of the proposed bar and beer garden on the adjoining residential units to the rear. The concerns included noise and lighting impacts which may occur up to 12 midnight and 7 days a week, behavioural issues of patrons and rubbish affecting adjoining properties as well security concerns and potential for illegal parking on adjoining sites. Also the landscaping and works not appearing to be sympathetic to the heritage values of the building.

The concerns of the representors are acknowledged. However, the commercial zone does not provide protection of residential amenity except when in close proximity (50m) to a residential zone. The Scheme protects and does not inhibit the operation of commercial uses as it is the intended function of these zones. Further, since this application has proposed hours of operation which fall within the acceptable solution for a Hotel Industries use (23.3.8 A1), this application is not required to demonstrate that there is no unreasonable impact on the amenity of the surrounding uses through impacts such as noise, lightspill and some of the behavioural issues which have been raised by representors.

It is noted that the closest point of the outdoor area to the rear boundary is minimum of over 15m away with the closest point of the main internal bar area 28m away. The proximity should assist in mitigating potential impacts of the venue's operation. However, ultimately the proposed use and operation of a bar and restaurant venue to 12am in an inner city location is not considered to be an inappropriate use.

Despite the lack of specific controls in the Scheme, the owners of the venue are aware of the surroundings and are conscious of minimising and mitigating potential impacts of the use. There will also be advice included on the permit for the operators to consider measures to minimise noise emissions and potential lightspill.

In order to address concerns regarding ongoing waste generated by the proposed use, a condition is proposed (ENG 13) for a waste management plan to be submitted and approved.

The Cultural Heritage Officer has required a condition in respect of landscaping which will allow for fine-tuning of the concept to protect the heritage values of the property particularly in respect of the front boundary wall. In terms of the concern of potential illegal parking and security, they are issues beyond control of Planning Scheme. However the inner city location of the venue does not warrant a high number of on-site car parking spaces nor would it be feasible or desirable on the subject site. The significant drop between the properties will need to adequately managed however that is a matter to be addressed between the property owners.

- 7.3 The proposal has been assessed against the relevant provisions of the planning scheme and is considered to satisfy the relevant performance criteria in respect of its discretions under Use, Potentially Contaminated Land Code, Parking and Access Code, Historic Heritage Code and Signs Code.

In respect of the Hotel Industry use the proposal presents a unique reuse of the existing building. The assessment concluded that the proposed use is considered more appropriate than the primary uses intended for the zone of larger scale retail, service industries, car yards, warehouse and showrooms particularly considering the nature and heritage value of the property in combination of with inner city location of the site.

In respect of parking and access although the proposed car parking deficit is significant relevant to the Scheme requirement it is noted that the directly opposite the site is the Central Business Zone and there is in fact a requirement for no on-site car parking. The Council's Development Engineer in conjunction with Council's Traffic Engineer are satisfied that due to the nature of the use and inner city location the proposed car parking is considered acceptable as is the vehicle passing and commercial vehicle facilities.

The main feature of the properties Heritage listing is that of the front wall. The Council's Cultural Heritage Officer had some concern in respect of its protection due to the proposed works as well concern around the landscaping. Therefore conditions are proposed requiring retention and stabilisation measures for the wall as well as revised and more detailed landscaping plan. Other additional conditions related to archaeological issues as well the requirement of a palette of exterior colours, materials and finishes.

- 7.4 The proposal has been assessed by other Council officers, including the Council's Development Engineer, Cultural Heritage Officer, Council's Traffic Engineer and Environmental Health Officer. The officers have raised no objection to the proposal, subject to conditions.
- 7.5 The proposal is recommended for approval.

8. Conclusion

- 8.1 The proposed Partial Demolition, Alterations, Extension, Signage and Change of Use to Hotel Industry at 35 Melville Street, Hobart satisfies the relevant provisions of the *Hobart Interim Planning Scheme 2015*, and as such is recommended for approval.

9. Recommendations

That: Pursuant to the *Hobart Interim Planning Scheme 2015*, the City Planning Committee, in accordance with the delegations contained in its terms of reference, approve the application for Partial Demolition, Alterations, Extension, Signage and Change of Use to Hotel Industry at 35 Melville Street, Hobart for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

GEN

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-20-723- 35 MELVILLE STREET HOBART TAS 7000 - Final Planning Documents except where modified below.

Reason for condition

To clarify the scope of the permit.

PLN 6

The use must not be open to the public outside of the following hours:

	Monday Thursday	Friday – Sunday
Garden Bar:	10:00am – 12:00am	11:00am – 12:00am
Lounge:	5:00pm – 12:00am	1:00pm – 12:00am

Reason for condition

To ensure that non-residential use does not unreasonably impact on residential amenity.

ENG 12

A construction waste management plan must be implemented throughout construction.

A construction waste management plan must be submitted and approved, prior to commencement of work on the site. The construction waste management plan must include:

- **Provisions for commercial waste services for the handling, storage,**

- transport and disposal of post-construction solid waste and recycle bins from the development; and
- Provisions for the handling, transport and disposal of demolition material, including any contaminated waste and recycling opportunities, to satisfy the above requirement.

All work required by this condition must be undertaken in accordance with the approved construction waste management plan.

Reason for condition

To ensure that solid waste management from the site meets the Council's requirements and standards.

ENG sw1

All stormwater from the proposed development (including but not limited to: roofed areas, ag drains, retaining wall ag drains and impervious surfaces such as driveways and paved areas) must be drained to the Council's stormwater infrastructure prior to first occupation or commencement of use (whichever occurs first).

Advice: Under section 23 of the Urban Drainage Act 2013 it is an offence for a property owner to direct stormwater onto a neighbouring property.

Reason for condition

To ensure that stormwater from the site will be discharged to a suitable Council approved outlet.

ENG 13

An ongoing waste management plan for all insert commercial waste and recycling must be implemented post construction.

A waste management plan must be submitted and approved, prior to commencement of work on the site. A waste management plan must:

1. include provisions for commercial waste services for the handling, storage, transport and disposal of domestic waste and recycle bins from the development.

All work required by this condition must be undertaken in accordance with the

approved waste management plan.

Reason for condition

To ensure that solid waste management from the site meets the Council's requirements and standards.

ENG tr2

A construction traffic and parking management plan must be implemented prior to the commencement of work on the site (including demolition).

The construction traffic (including cars, public transport vehicles, service vehicles, pedestrians and cyclists) and parking management plan must be submitted and approved, prior to commencement work (including demolition). The construction traffic and parking management plan must:

- 1. Be prepared by a suitably qualified person.**
- 2. Develop a communications plan to advise the wider community of the traffic and parking impacts during construction.**
- 3. Include a start date and finish dates of various stages of works.**
- 4. Include times that trucks and other traffic associated with the works will be allowed to operate.**
- 5. Nominate a superintendent, or the like, to advise the Council of the progress of works in relation to the traffic and parking management with regular meetings during the works.**

All work required by this condition must be undertaken in accordance with the approved construction traffic and parking management plan.

Reason for condition

To ensure the safety of vehicles entering and leaving the development and the safety and access around the development site for the general public and adjacent businesses.

ENG 3a

The access driveway, parking module (parking spaces, aisles and manoeuvring area) and loading/unloading areas must be designed and constructed in accordance with Australian Standard AS/NZS2890.1:2004 (including the requirement for vehicle safety barriers where required) and

AS2890.2:2002, or a Council approved alternate design certified by a suitably qualified engineer to provide a safe and efficient access, and enable safe, easy and efficient use.

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

ENG 3b

The access driveway, parking module (parking spaces, aisles and manoeuvring area) and loading/unloading area design must be submitted and approved, prior to the, issuing of any approval under the *Building Act 2016*.

The access driveway, parking module (parking spaces, aisles and manoeuvring area) and loading/unloading area design must:

1. **Be prepared and certified by a suitably qualified engineer,**
2. **Be generally in accordance with the Australian Standard AS/NZS2890.1:2004 and AS2890.2:2002,**
3. **Where the design deviates from AS/NZS2890.1:2004 and AS2890.2:2002 the designer must demonstrate that the design will provide a safe and efficient access, and enable safe, easy and efficient use for all vehicles (including commercial vehicles) proposed to access the property,**
4. **Provide a longitudinal section that shows the lowest vertical clearance from the access driveway surface to under eaves or other obstructions for the full length of the access driveway,**
5. **Show the vehicle class for largest commercial vehicle capable of accessing the on site loading/unloading area for vertical clearance,**
6. **Show the provision of signage that identifies the lowest vertical clearance for the full length of the access driveway,**
7. **Show gradients of the parking spaces and loading/unloading area,**
8. **Show the bicycle parking spaces for employees and customers, and**
9. **Show dimensions, levels, gradients & transitions and other details as Council deem necessary to satisfy the above requirement.**

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

ENG 3c

The access driveway, parking module (parking spaces, aisles and manoeuvring area) and loading/unloading area must be constructed in accordance with the design drawings approved by Condition ENG 3b.

Prior to the commencement of use, documentation by a suitably qualified engineer certifying that the access driveway and parking module has been constructed in accordance with the above drawings must be lodged with Council.

Advice:

- *Certification may be submitted to Council as part of the Building Act 2016 approval process or via condition endorsement (see general advice on how to obtain condition endorsement).*

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

ENG 5

The minimum number of car parking spaces approved on the site, for use is seven (7).

All parking spaces must be delineated by means of white or yellow lines 80mm to 100mm wide, or white or yellow pavement markers in accordance with Australian Standards AS/NZS 2890.1 2004, prior to commencement of use.

Reason for condition

To ensure the provision of parking for the use is safe and efficient.

ENG 6

The minimum number of bicycle parking spaces approved on the site, for use is sixteen (16). All sixteen (16) bicycle parking spaces must be provided prior to the commencement of use.

Bicycle parking facilities are to be provided in accordance with Australian Standards AS/NZS 2890.3 or a Council City Planning Division approved alternate design, prior to commencement of use.

Advice:

Please contact Council's Traffic Engineer Unit to discuss approval of alternate designs.

Reason for condition

To ensure the provision of parking for the use is safe and efficient.

ENG 9

All car parking spaces for people with disabilities must be delineated to Australian/NZS Standard, Parking facilities Part 6: Off-street parking for people with disabilities AS/NZS 2890.6: 2009, prior to the commencement of the use.

Reason for condition

In the interests of vehicle user safety and the amenity of the development.

ENG 1

Any damage to council infrastructure resulting from the implementation of this permit, must, at the discretion of the Council:

1. **Be met by the owner by way of reimbursement (cost of repair and reinstatement to be paid by the owner to the Council); or**
2. **Be repaired and reinstated by the owner to the satisfaction of the Council.**

A photographic record of the Council's infrastructure adjacent to the subject site must be provided to the Council prior to any commencement of works.

A photographic record of the Council's infrastructure (e.g. existing property service connection points, roads, buildings, stormwater, footpaths, driveway crossovers and nature strips, including if any, pre-existing damage) will be relied upon to establish the extent of damage caused to the Council's infrastructure during construction. In the event that the owner/developer fails to provide to the Council a photographic record of the Council's infrastructure, then any damage to the Council's infrastructure found on completion of works will be deemed to be the responsibility of the owner.

Reason for condition

To ensure that any of the Council's infrastructure and/or site-related service

connections affected by the proposal will be altered and/or reinstated at the owner's full cost.

ENV 1

Sediment and erosion control measures sufficient to prevent sediment from leaving the site must be installed prior to any disturbance of the site, and maintained until all areas of disturbance have been stabilized or re-vegetated.

Advice: For further guidance in preparing a Soil and Water Management Plan – in accordance with Fact sheet 3 Derwent Estuary Program click [here](#).

Reason for condition

To avoid the sedimentation of roads, drains, natural watercourses, Council land that could be caused by erosion and runoff from the development, and to comply with relevant State legislation.

HER 11

The stone wall and capping stones along the Melville Street frontage, either side of the pedestrian entry and returns on the south west and north east must be retained and conserved in situ to the highest standard using lime rich mortar. Any nearby excavation or demolition must not damage the stone wall. Temporary and permanent bracing must be installed to ensure the stone wall does not collapse during or post construction.

Prior to the issue of any approval under the *Building Act 2016*, revised plans must be submitted and approved showing all conservation works and temporary and permanent bracing in accordance with the above requirement.

All work required by this condition must be undertaken in accordance with the approved documentation.

Advice:

The conservation of the wall must be to the highest standard. The construction method and of the wall degree of stability of the wall is not certain, such that all excavation must be undertaken with the supervision of a suitably qualified historic heritage expert. Should any variance to the design be required due to unexpected finds or site conditions, the entry and access should be redesigned. A separate planning approval may be required.

Reason for condition

To ensure that development at a heritage place is undertaken in a sympathetic manner which does not cause loss of historic cultural heritage significance.

HER 6

All onsite excavation and disturbance between the front stone wall and the existing building and elsewhere on site, must be monitored by a suitably qualified archaeologist. Should any features or deposits of an archaeological nature be discovered on the site during excavation or disturbance:

1. **All excavation and/or disturbance must stop immediately; and**
2. **A qualified archaeologist must be engaged to provide advice and assessment of the features and/or deposits discovered and make recommendations on further excavation and/or disturbance; and**
3. **All and any recommendations made by the archaeologist engaged in accordance with (2) above must be complied with in full; and**
4. **All features and/or deposits discovered must be reported to the Council with 1 days of the discovery; and**
5. **A copy of the archaeologists advice, assessment and recommendations obtained in accordance with paragraph (2) above must be provided to Council within 60 days of receipt of the advice, assessment and recommendations.**

Excavation and/or disturbance must not recommence unless and until approval is granted from the Council.

Reason for condition

To ensure that work is planned and implemented in a manner that seeks to understand, retain, protect, preserve and manage significant archaeological evidence.

HER 17a

The proposed palette of exterior colours, materials and finishes as described in drawing A106 revision i, 'Proposed Elevations' dated 12/01/221 and drawing A07, revisions G, 'Proposed Elevations', dated 01/12/20 are not approved and must be revised to be consistent and be complementary and sympathetic to the palette of colours, materials and finishes of the listed site.

Prior to the issue of any approval under the *Building Act 2016*, revised plans must be submitted and approved showing exterior colours, materials and finishes in accordance with the above requirement.

All work required by this condition must be undertaken in accordance with the approved plans.

Reason for condition

To ensure that development at a heritage place is undertaken in a sympathetic manner which does not cause loss of historic cultural heritage significance.

HER 20

The plantings shown in the submitted drawings Proposed Elevations, drawing A07, Rev G and Proposed Elevations, drawing A105, Rev i are not approved. The site must be landscaped with plants appropriate to the growing conditions and the historic setting. All landscaping shown in an approved landscaping plan must be undertaken prior to completion.

Prior to the issue of any approval under the *Building Act 2016*, a landscaping plan must be prepared by a suitably qualified landscape architect and be submitted and approved in accordance with the above requirements and include:

1. a scale, dimensions and north point;
2. details of surface finishes of pathways and/or driveways;
3. a planting schedule
4. details of any irrigation systems and a corresponding assessment of the impact of the irrigation system so as to not create runoff, damp, salt attack and deterioration of the stone wall.

All work required by this condition must be undertaken in accordance with the approved landscaping plan.

Reason for condition

To ensure that development at a heritage place is undertaken in a sympathetic manner which does not cause loss of historic cultural heritage significance.

HER s3

Revised and detailed plans prepared by a suitably qualified person in historic heritage must be submitted for the new front steps, wheelchair lift, landings and handrail to be sympathetic and subservient to the historic cultural heritage significance of the place.

Prior to the issue of any approval under the *Building Act 2016*, revised plans must be submitted and approved in accordance with the above requirement.

All work required by this condition must be undertaken in accordance with the approved plans.

Reason for condition:

To ensure that development at a heritage place is undertaken in a sympathetic manner which does not cause loss of historic cultural heritage significance.

ENVHE 1

Recommendations in the report *Environmental Site Assessment, 35 Melville St, Hobart December 2020* prepared by GES must be implemented for the duration of the development of the site. This includes implementation of a soil and water management plan. A specific contamination management plan is not considered necessary.

Reason for condition

To ensure that the risk to future occupants of the building remain low and acceptable.

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

CONDITION ENDORSEMENT PLANNING

If any condition requires that further documents are submitted and approved, you will need to submit the relevant documentation to satisfy the condition via the Condition Endorsement Submission on Council's [online services e-planning portal](#).

Where building approval is also required, it is recommended that documentation for condition endorsement be submitted well before submitting documentation for building approval. Failure to address condition endorsement requirements prior to submitting

for building approval may result in unexpected delays.

Once approved, the Council will respond to you via email that the condition has been endorsed (satisfied). Detailed instructions can be found [here](#).

BUILDING PERMIT

You may need building approval in accordance with the *Building Act 2016*. Click [here](#) for more information.

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

PLUMBING PERMIT

You may need plumbing approval in accordance with the *Building Act 2016*, *Building Regulations 2016* and the National Construction Code. Click [here](#) for more information.

GENERAL EXEMPTION (TEMPORARY) PARKING PERMITS

You may qualify for a General Exemption permit for construction vehicles i.e. residential or meter parking/loading zones. Click [here](#) for more information.

PLANNING

Consideration should be given to implement measures to minimise noise emissions and potential light spill to the adjoining residential use.

STORM WATER

Please note that in addition to a building and/or plumbing permit, development must be in accordance with the Hobart City Council's Infrastructure By law. Click [here](#) for more information.

CBD AND HIGH VOLUME FOOTPATH CLOSURES

Please note that the City of Hobart does not support the extended closure of public footpaths or roads to facilitate construction on adjacent land.

It is the developer's responsibility to ensure that the proposal as designed can be constructed without reliance on such extended closures.

In special cases, where it can be demonstrated that closure of footpaths in the CBD and/or other high volume footpaths can occur for extended periods without unreasonable impact on other businesses or the general public, such closures may only be approved by the full Council.

For more information about this requirement please contact the Council's Traffic Engineering Unit on 6238 2804.

WORK PLACE HEALTH AND SAFETY

Appropriate occupational health and safety measures must be employed during the works to minimise direct human exposure to potentially-contaminated soil, water, dust and vapours. Click [here](#) for more information.

WASTE DISPOSAL

It is recommended that the developer liaise with the Council's Cleansing and Solid Waste Unit regarding reducing, reusing and recycling materials associated with demolition on the site to minimise solid waste being directed to landfill.

Further information regarding waste disposal can also be found on the Council's [website](#).

FEES AND CHARGES

Click [here](#) for information on the Council's fees and charges.

DIAL BEFORE YOU DIG

Click [here](#) for dial before you dig information.



(Tristan Widdowson)

Development Appraisal Planner

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.



(Karen Abey)

Manager Development Appraisal

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

Date of Report: 9 February 2021

Attachment(s):

Attachment B - CPC Agenda Documents

Attachment C - Referral Officer Report Heritage

**PROPOSED PUBLIC BAR & BEER GARDEN
35 MELVILLE STREET,
HOBART, 7000,
TASMANIA**

INDEX

A000	INDEX & COVER SHEET
A001	EXISTING SITE PLAN
A002	PROPOSED SITE PLAN
A003	PROPOSED SITE WORKS PLAN
A101	EXISTING FLOOR PLANS
A102	DEMOLITION PLANS
A103	PROPOSED FLOOR PLANS
A104	EXISTING ELEVATIONS
A105	PROPOSED ELEVATIONS
A106	PROPOSED ELEVATIONS
A107	VEHICLE MOVEMENT PLANS - B85
A108	VEHICLE MOVEMENT PLANS - MRV
A109	PROPOSED EXTERNAL LIGHTING PLANS
A110	SITE SECTIONS
A111	SITE SECTIONS
A112	CONSTRUCTION DETAILS
A113	PHOTO LOCATION PLANS

IMPORTANT

ALL DRAWINGS TO BE READ IN CONJUNCTION WITH SPECIFICATION, SCHEDULES AND CONSULTANTS DRAWINGS. ALL CONSTRUCTION SUBJECT TO ON SITE VERIFICATION PRIOR TO EXECUTION OF WORK. MEASURED DIMENSIONS SHALL BE TAKEN IN PREFERENCE TO SCALING. ALL DISCREPANCIES TO BE REPORTED TO ENGINEER FOR INSTRUCTION BEFORE PROCEEDING.

SITE COVERAGE

SITE: 809m²
BUILDING AREA (TOTAL): 402.48m²
COVERAGE: 57.28%

GENERAL INFORMATION

LAND CERTIFICATE OF TITLE REFERENCE No. - VOL. 4639 / FOL. 1

CLIMATE ZONE FOR THERMAL DESIGN (building code of australia) - ZONE 7

CORROSION ENVIRONMENT - MODERATE (i.e. more than 100m from breaking surf or more than 100m from salt water not subject to breaking surf or non heavy industrial areas).

RESULTS OF THE GEOTECHNICAL ASSESSMENT CARRIED OUT BY 'JSA CONSULTING ENGINEERS' WERE AS FOLLOWS:

SOIL CLASSIFICATION - P

WIND LOAD CLASSIFICATIONS (AS4555-2011)

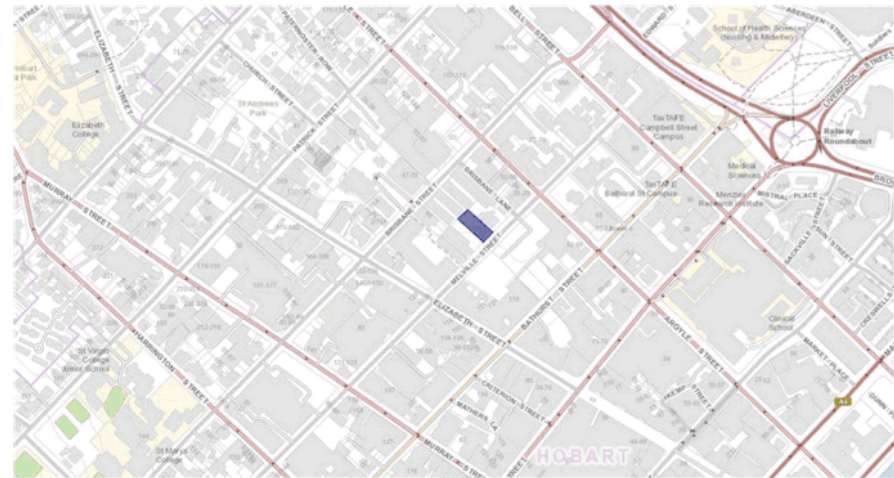
REGION - A

TERRAIN CATEGORY - TC3

SHIELD CLASSIFICATION - PS

TOPOGRAPHY CLASSIFICATION - TS

WIND CLASSIFICATION - W3



LOCALITY PLAN
SCALE: N.T.S.



REV	DESCRIPTION	BY	CHK	DATE	REV	DESCRIPTION	BY	CHK	DATE
01	FOR PRELIMINARY - CLIENT REVIEW	SA	SA	10/10/20					
02	FOR PRELIMINARY - AMENDMENTS TO CLIP FROM A BEER GARDEN	SA	SA	10/10/20					
03	FOR PRELIMINARY - AMENDMENTS TO ENTER A BEER GARDEN	SA	SA	10/10/20					
04	FOR PRELIMINARY - AMENDMENTS TO ENTER A BEER GARDEN	SA	SA	10/10/20					
05	FOR PRELIMINARY - AMENDMENTS TO ENTER A BEER GARDEN	SA	SA	10/10/20					
06	FOR PRELIMINARY - AMENDMENTS TO ENTER A BEER GARDEN	SA	SA	10/10/20					
07	FOR PRELIMINARY - AMENDMENTS TO ENTER A BEER GARDEN	SA	SA	10/10/20					
08	FOR PRELIMINARY - AMENDMENTS TO ENTER A BEER GARDEN	SA	SA	10/10/20					
09	FOR PRELIMINARY - AMENDMENTS TO ENTER A BEER GARDEN	SA	SA	10/10/20					
10	FOR PRELIMINARY - AMENDMENTS TO ENTER A BEER GARDEN	SA	SA	10/10/20					



Elberle House, Level 1, 119 Sandy Bay Road, Sandy Bay TAS 7005
Phone (011) 6224 5625 - www.jsaengineers.com.au

ENGINEER	M. HORSHAM CC5865	SCALE	AS SHOWN	SIZE	A1
DRAWN	R. BEADLE	CHECKED	R. BEADLE		
STATUS					
FOR PLANNING APPROVAL					

PROJECT	PROPOSED PUBLIC BAR & BEER GARDEN
35 MELVILLE STREET,	
HOBART, 7000	

DRAWING TITLE	INDEX & COVER SHEET
PROJECT NO	20E99-67
DRAW NO	A000
REV	i



 SCALE 1:200 AT A4 SHEET					
B	FOR PRELIMINARY - CLIENT REVIEW	REV	DATE	18/10/2019	
F	FOR PRELIMINARY - AMENDMENTS TO CARPARK & BEER GARDEN	REV	DATE	20/11/2019	
E	FOR PRELIMINARY - AMENDMENTS TO ENTRY & BEER GARDEN	REV	DATE	09/12/2019	
D	FOR PRELIMINARY - PROPOSED ACCESS ROADS	REV	DATE	29/12/2019	
C	FOR PLANNING APPROVAL	REV	DATE	17/01/2020	
A	FOR PRELIMINARY - CLIENT REVIEW	REV	DATE	18/01/2020	
REV	DESCRIPTION	BY	CHK	DATE	REV

JSA CONSULTING ENGINEERS

Electric House, Level 1, 119 Sandy Bay Road, Sandy Bay TAS 7006
Phone (01) 9224 1025 www.jsaengineers.com.au

ENGINEER		SCALE	DATE	PROJECT
M. HORSHAM CC5865	AS SHOWN		A1	PROPOSED PUBLIC BAR & BEER GARDEN
DESIGNED BY R. BEADLE	DRAWN BY R. BEADLE			
		35 MELVILLE STREET, HOBART, 7000		
FOR PLANNING APPROVAL				

DRAWING TITLE		PRIORITY NO.	ISSUE NO.	REV
EXISTING SITE PLAN		20E99-67	A001	i

KEY

- EXISTING DRIVEWAY TO BE RETAINED
REFER TO CIVIL DOCUMENTATION
- PROPOSED LANDSCAPING

LANDSCAPING (CLAUSE 63.7.2 HOBART INTERIM PLANNING SCHEME)

LANDSCAPING TO BE PROVIDED TO NOT LESS THAN 5% OF CAR PARKING AREA
SEALER ROAD, PARKING & CIRCULATION AREA = 432.0m²
LANDSCAPING AREA REQUIRED = 21.6m²
LANDSCAPING AREA PROVIDED = 23.9m²

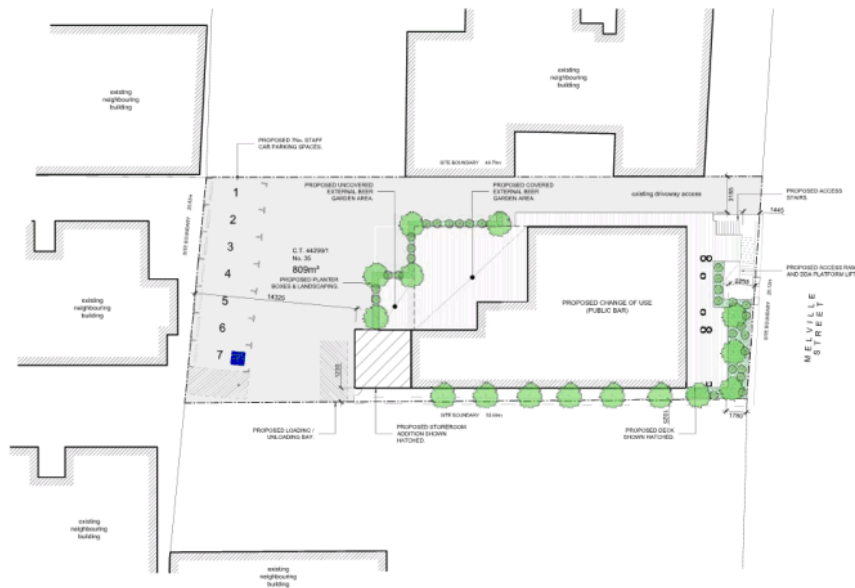
GENERAL TENANCY INFORMATION

INTENDED USE: LOUNGE AND GARDEN BAR

INTERNAL ALTERATIONS TO EXISTING BUILDING TO SUIT NEW PUBLIC BAR, LOUNGE AREA & KITCHEN. EXTERNAL ALTERATIONS TO THE EXISTING FRONT YARD AND ENTRY TO INCLUDE NEW DECK STRUCTURE BUILT OVER EX. STAIR AND ENTRY STRUCTURE. NEW ENTRY STAIRS AND WHEELCHAIR PLATFORM LIFT TO FRONT OF BUILDING. ALTERATIONS TO THE EXISTING CAR PARK AREA TO INCLUDE NEW EXTERNAL BEER GARDEN AND OPERABLE ROOF STRUCTURE. NEW STORAGE ROOM ADDITION TO REAR OF BUILDING

OPERATING HOURS

AREA	MONDAY - THURSDAY	FRIDAY - SUNDAY
GARDEN BAR	10:00am - 12:00am	11:00am - 12:00am
LOUNGE	9:00am - 12:00am	1:00pm - 12:00am



PROPOSED SITE PLAN
SCALE: 1:200



2000mm 0 2000 4000 6000 8000 10000mm
SCALE 1:200 AT A1 SHEET

B.	FOR PRELIMINARY - CLIENT REVIEW	SA	SA	10/1/2021							
F.	FOR PRELIMINARY - AMENDMENTS TO CAR PARK & BEER GARDEN	SA	SA	10/1/2021							
E.	FOR PRELIMINARY - AMENDMENTS TO ENTRY & BEER GARDEN	SA	SA	10/1/2021							
C.	FOR PRELIMINARY - CONCEPTS ADDED	SA	SA	10/1/2021							
D.	FOR PRELIMINARY - CLIENT REVIEW	SA	SA	10/1/2021							
B.	FOR PRELIMINARY - CLIENT REVIEW	SA	SA	10/1/2021							
A.	FOR PRELIMINARY - CLIENT REVIEW	SA	SA	10/1/2021							
REV.	DESCRIPTION	BY	CHK	DATE	REV	DESCRIPTION	BY	CHK	DATE	REV	



ENGINEER	M. HORSHAM CC5865 I	SCALE	AS SHOWN	SHEET	A1	PROJECT	PROPOSED PUBLIC BAR & BEER GARDEN
DRAWN	R. BEADLE	DESIGNED	R. BEADLE				35 MELVILLE STREET, HOBART, 7000
STATUS	FOR PLANNING APPROVAL						

DRAWING TITLE	PROPOSED SITE PLAN
PROJECT NO	20E99-67
2000 NO	A002
REV	i



1000mm 0 1000 2000 3000 4000 5000mm
SCALE 1:100 AT A1 SHEET

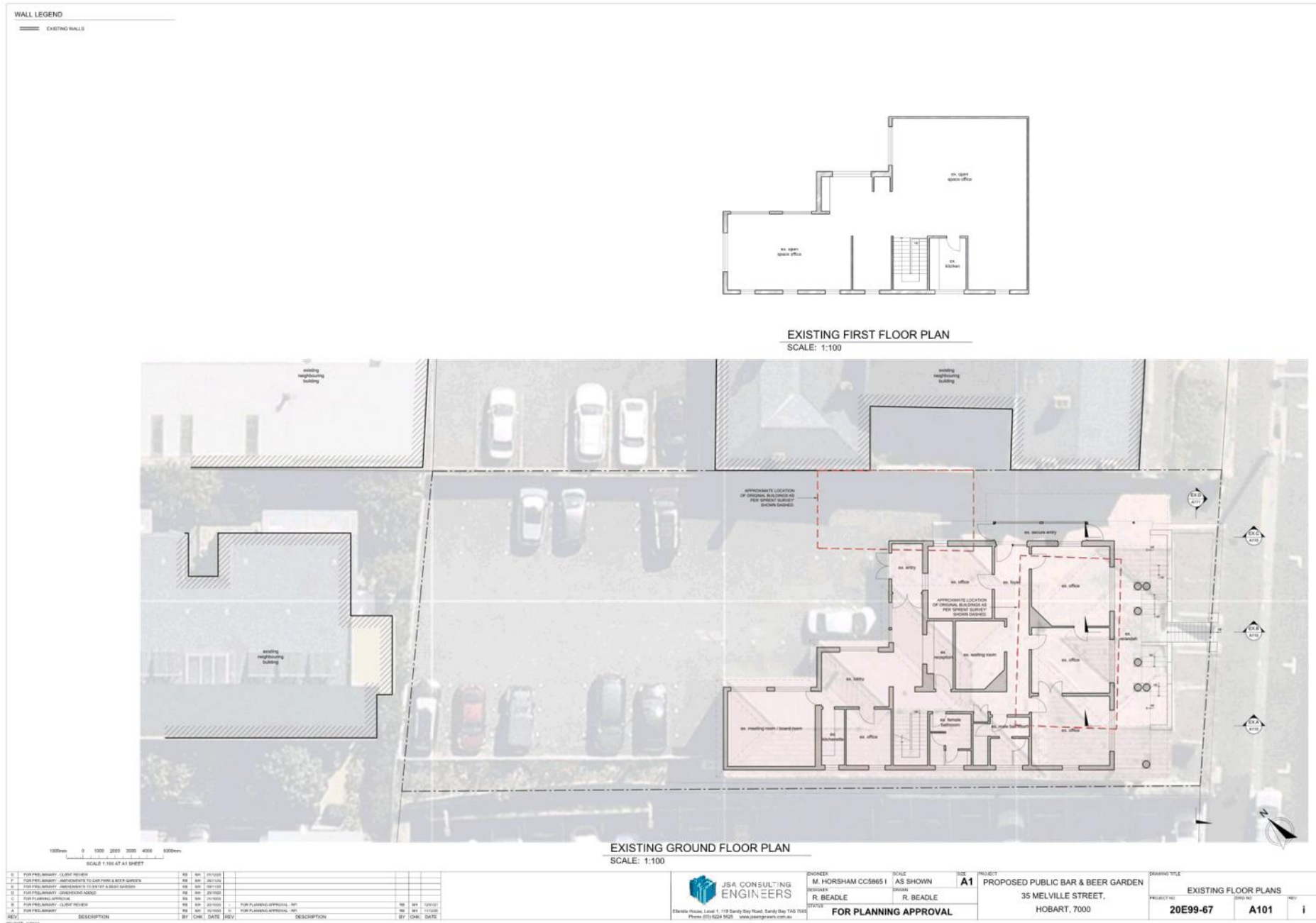
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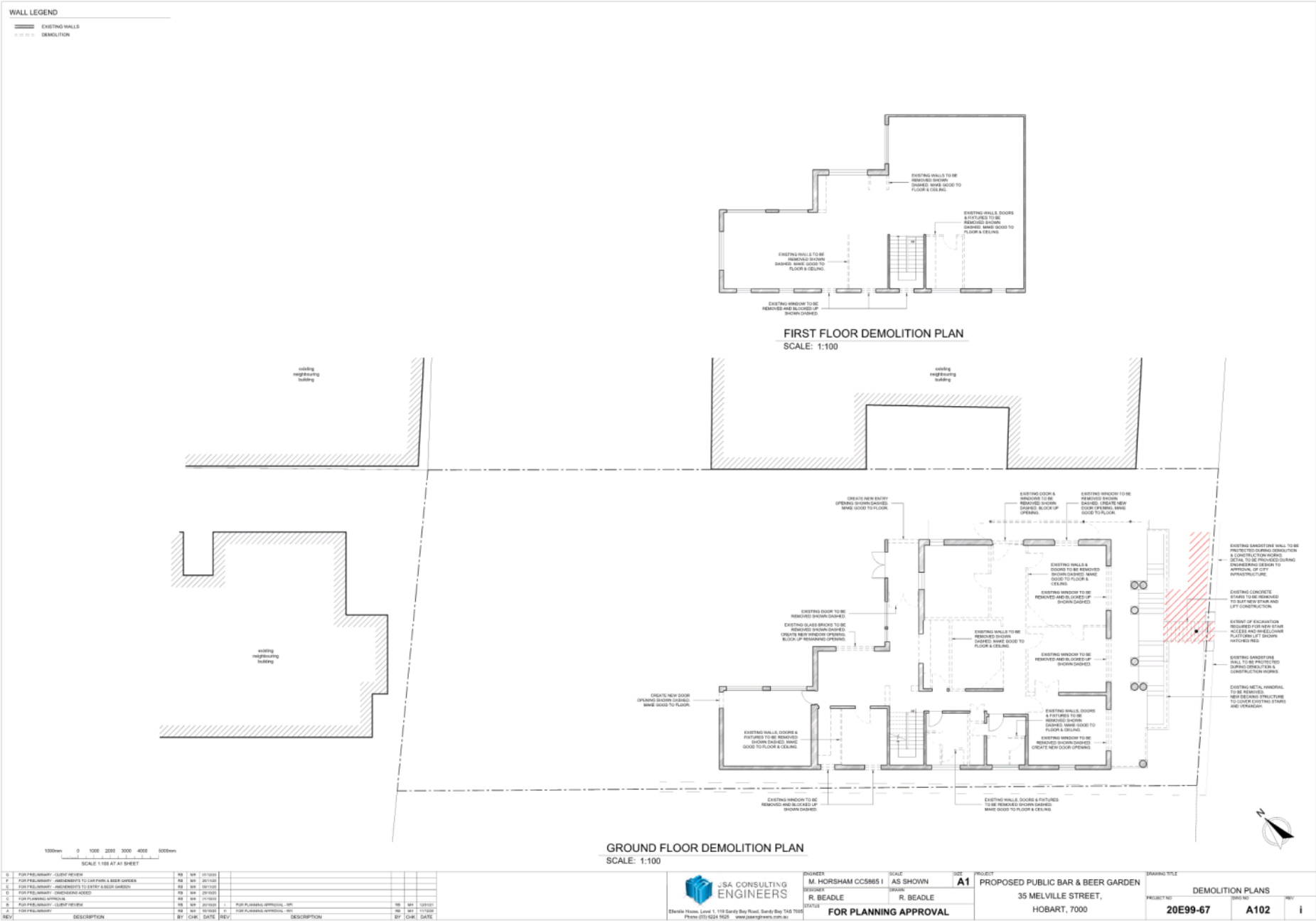
ENGINEER	M. HORSHAM CC5865 I	SCALE	AS SHOWN
DRAWN	R. BEADLE	CHECKED	R. BEADLE
STATUS	FOR PLANNING APPROVAL		

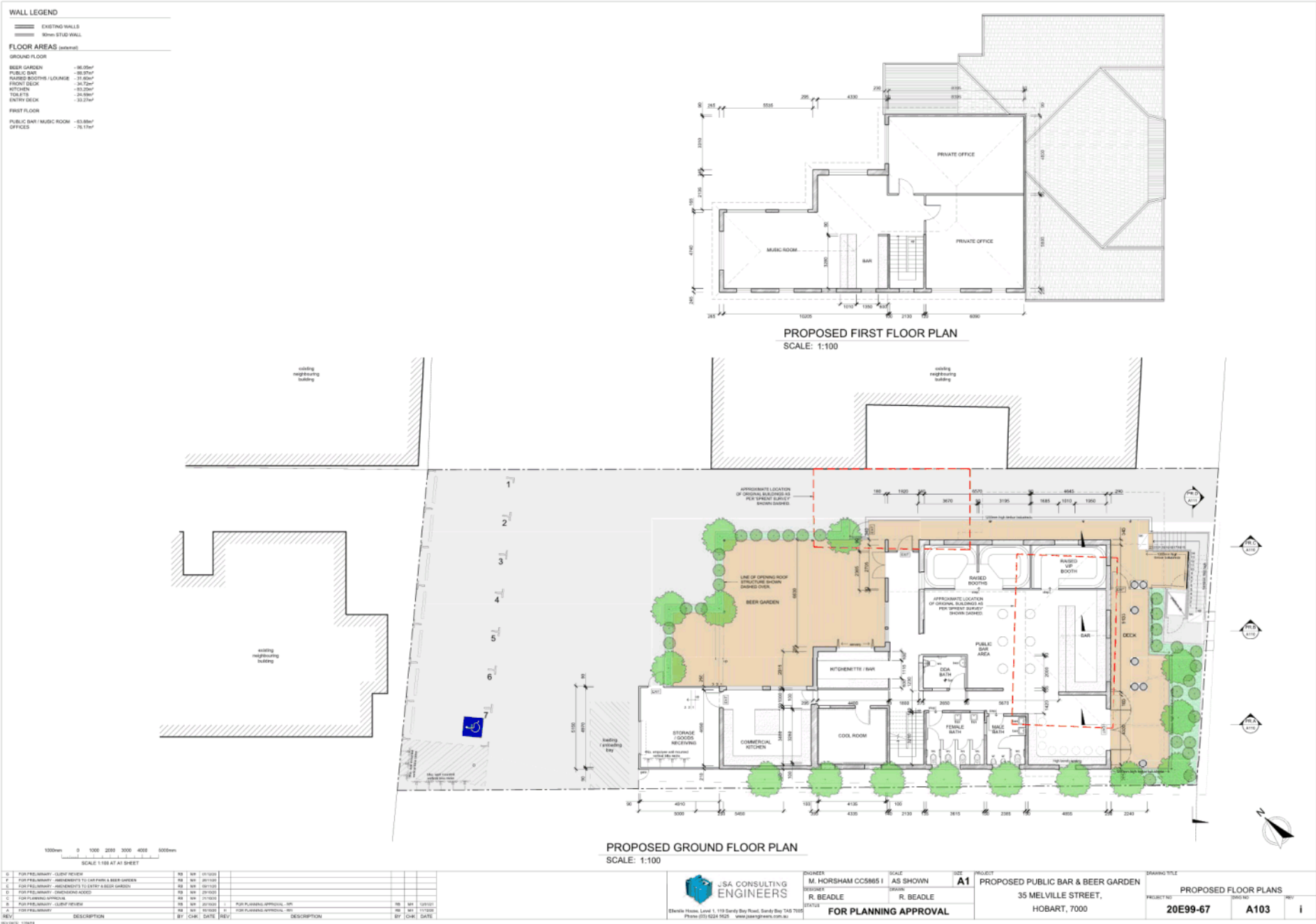
SIZE	PROJECT
A1	PROPOSED PUBLIC BAR & BEER GARDEN 35 MELVILLE STREET, HOBART, 7000

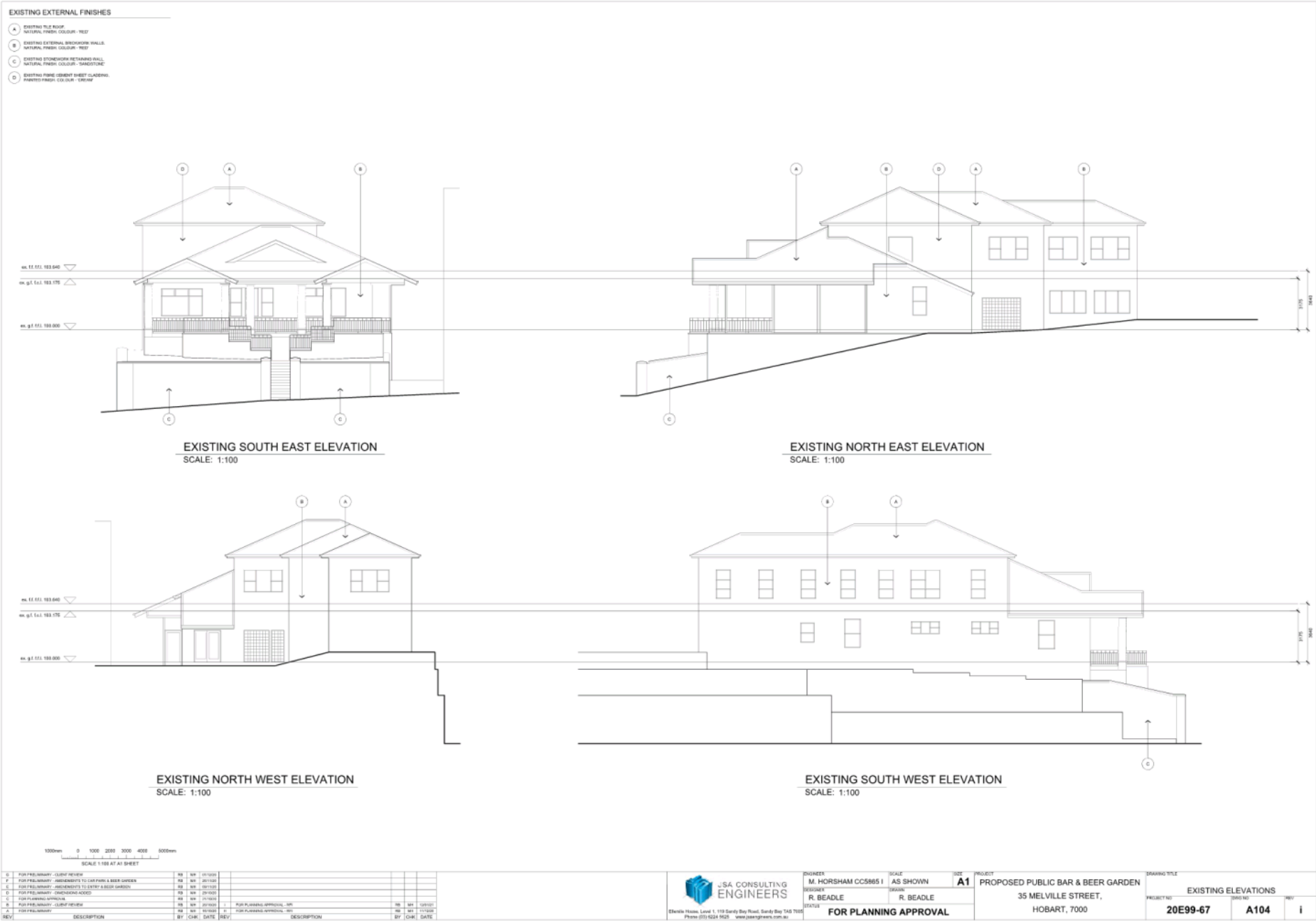
DRAWING TITLE		
SITE WORKS PLAN		
PROJECT NO	DWG NO	REV
20E99-67	A003	i

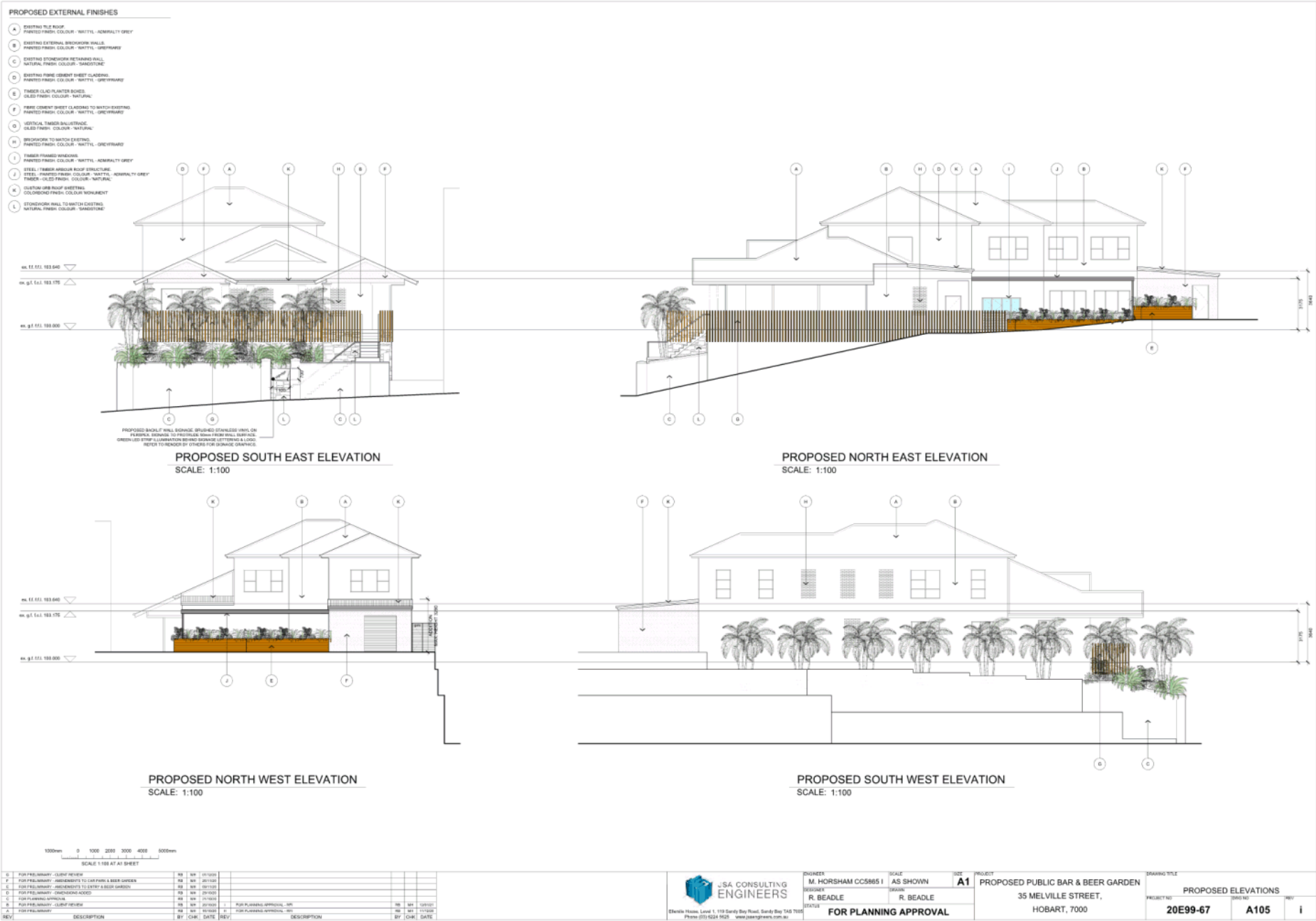








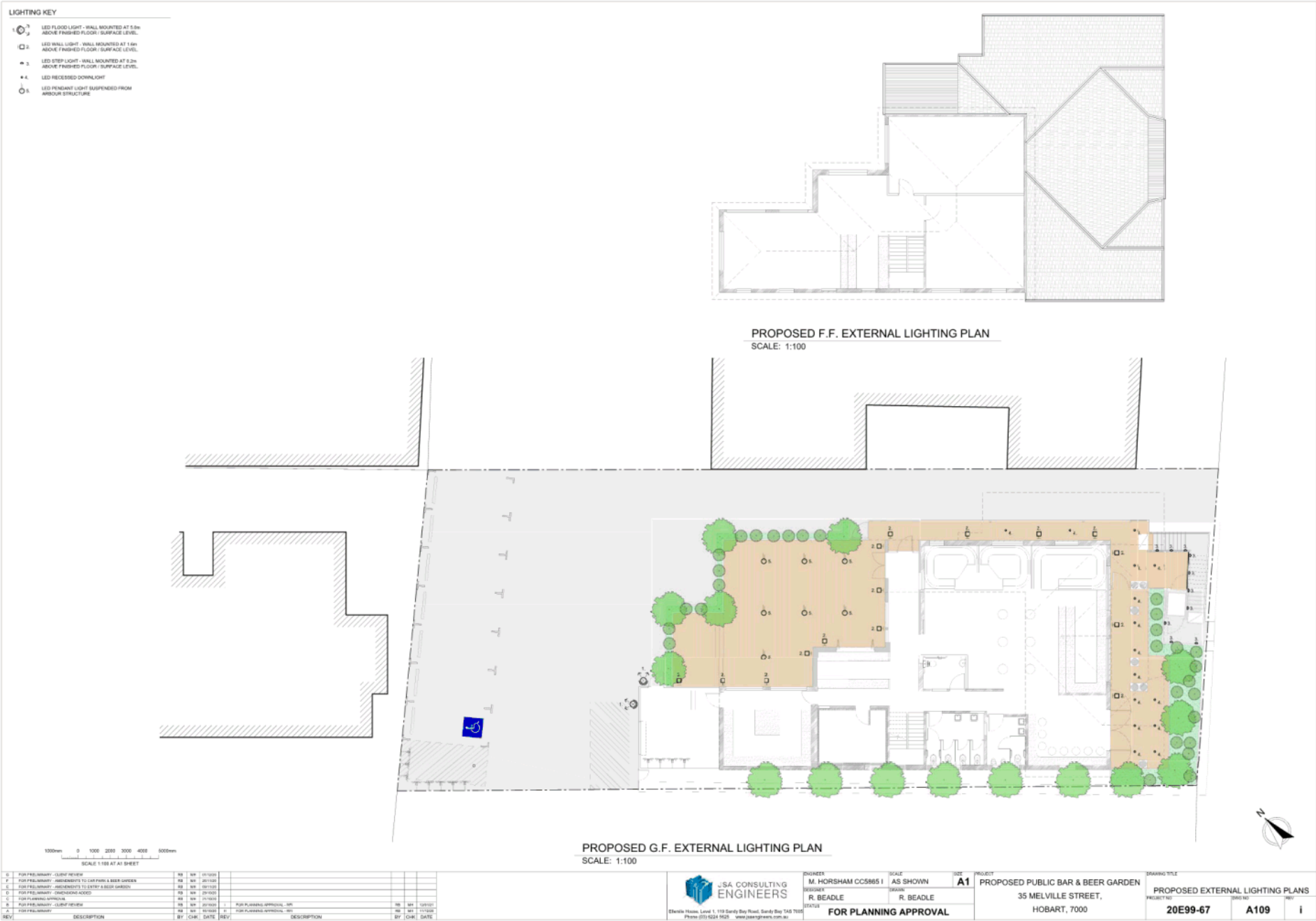




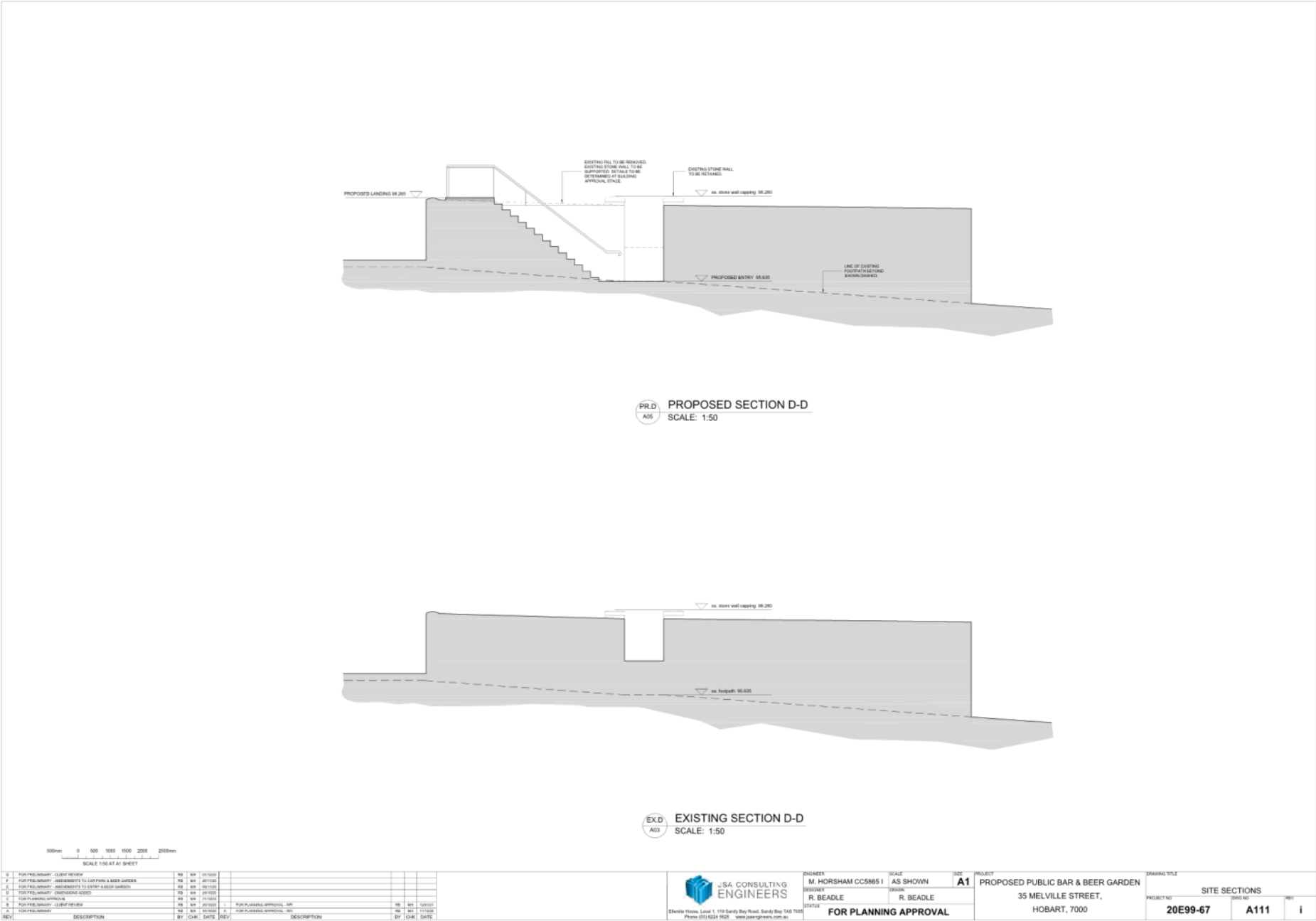


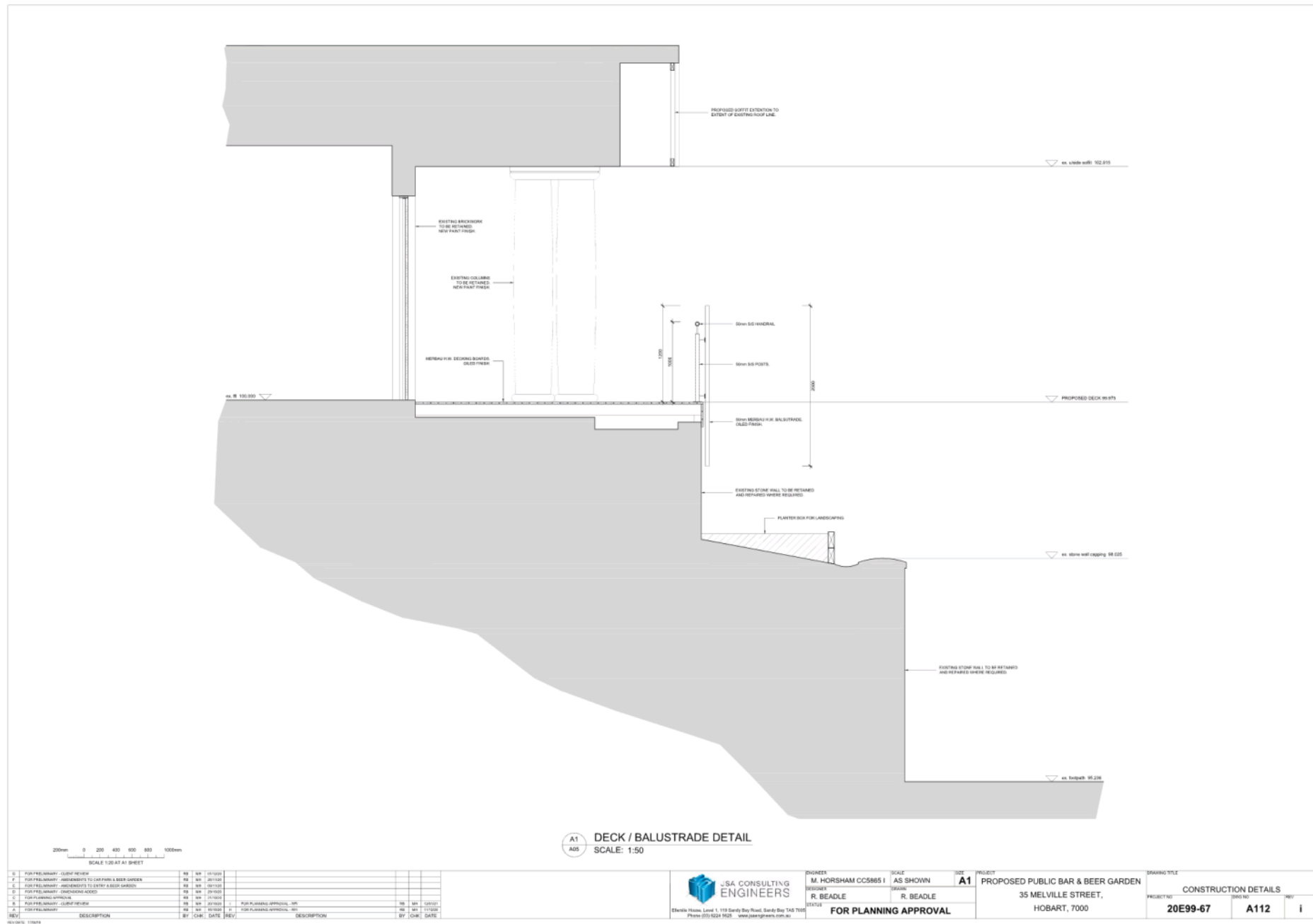


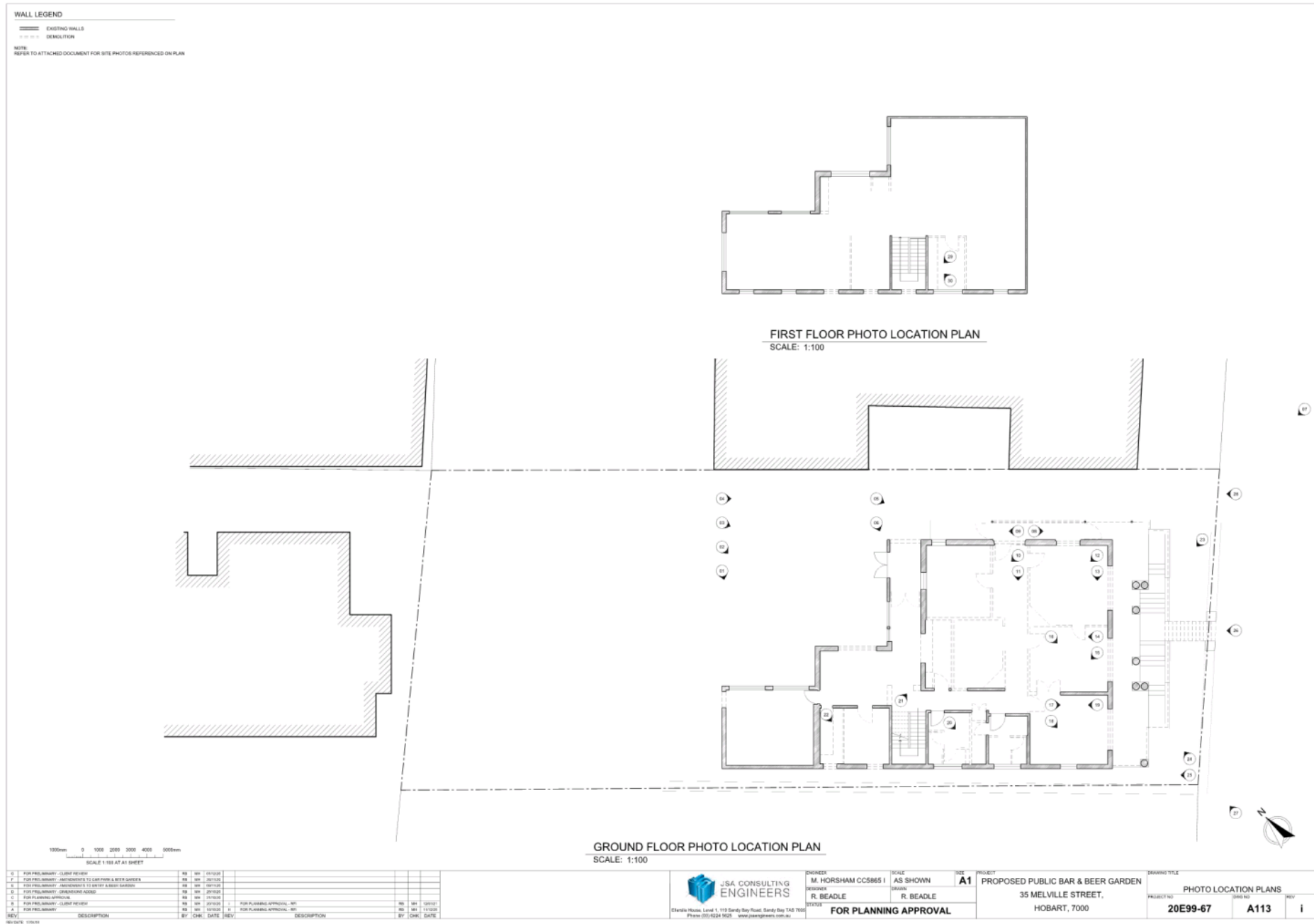












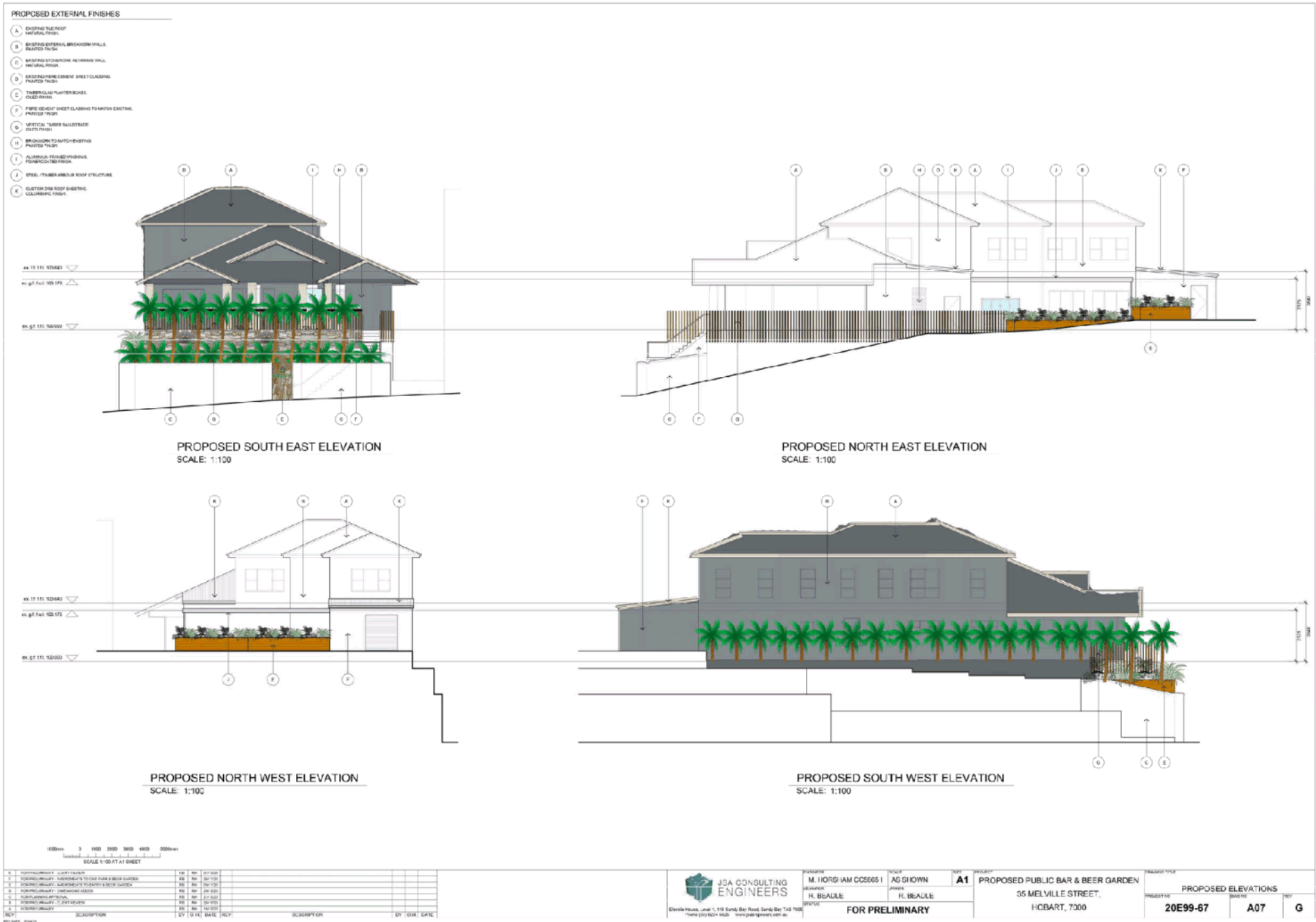






PHOTO 2















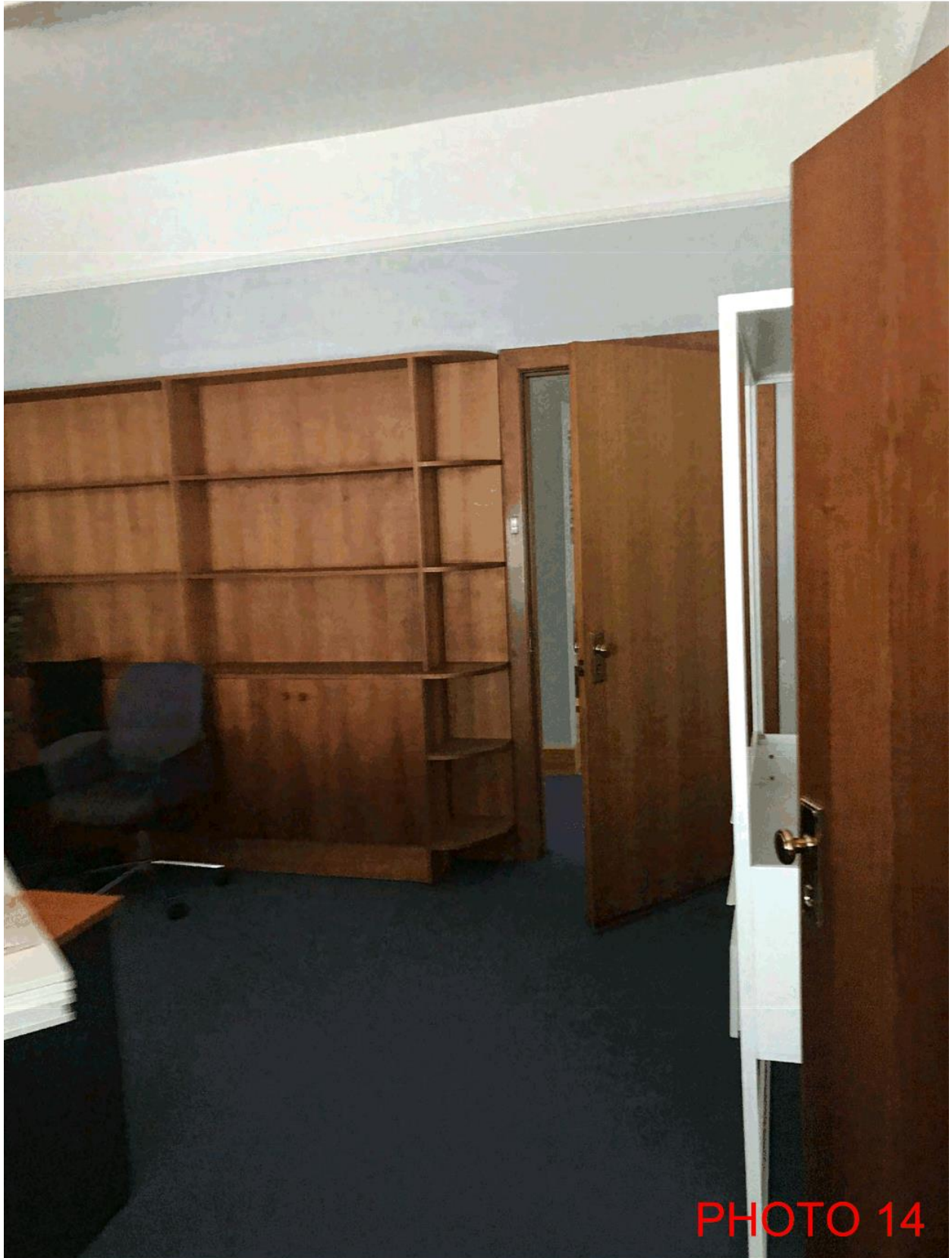




PHOTO 11









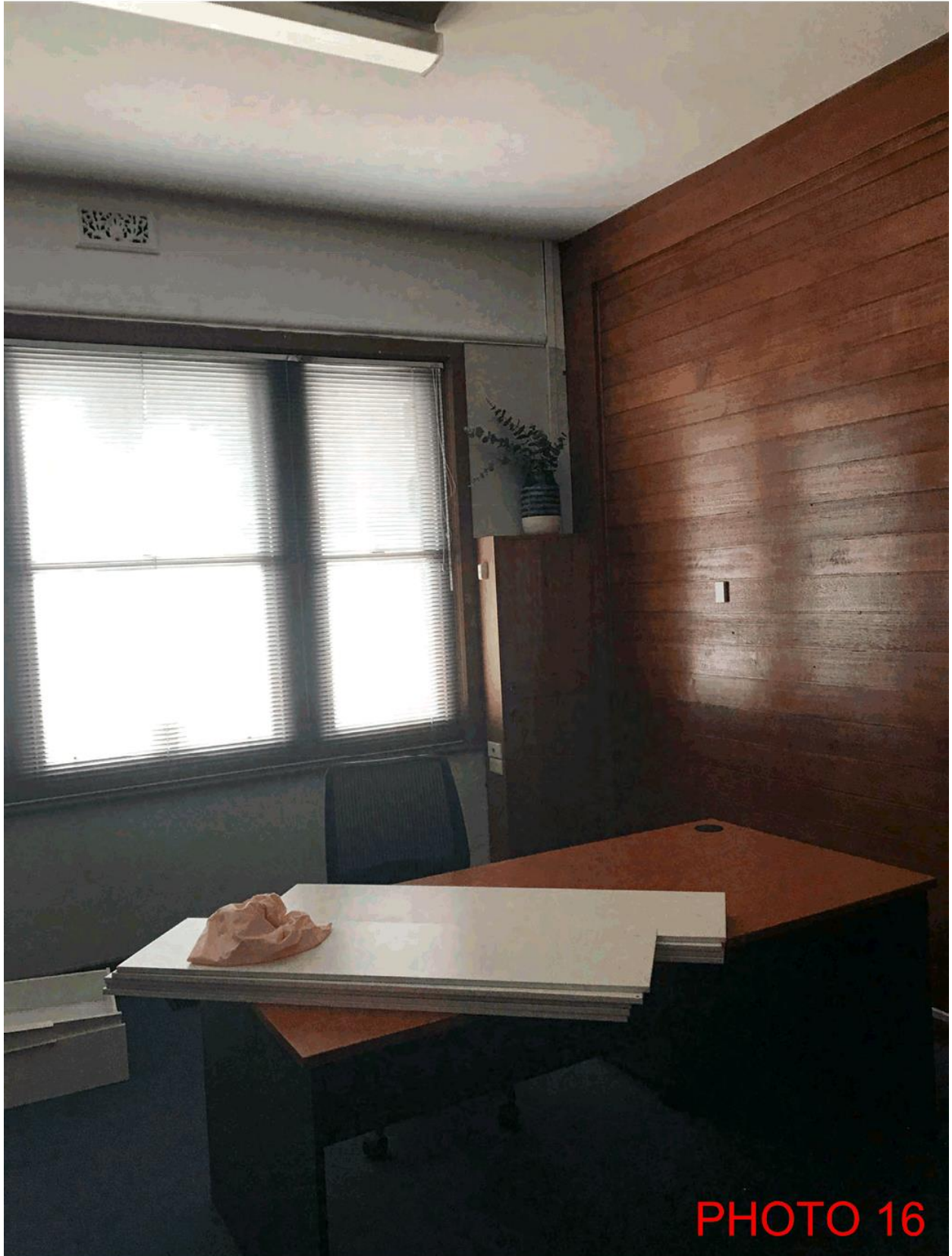


PHOTO 16



PHOTO 17



PHOTO 18















PHOTO 25



PHOTO 26











Mr Tristan Widdowson
Hobart City Council
16 Elizabeth Street,
Hobart TAS 7000

15 December 2020

JSA Reference: 20L99-67-2

Your reference: PLN-20-723

Dear Tristan,

RE: 35 Melville Street, Hobart

Partial Demolition, Alterations, Extension, and Change of Use to Hotel Industry.

Application No. PLN-20-723

In response to the request for further information dated 3rd November 2020, please refer below to additional information.

Request for information

Planning

Please provide a basic description of the intended use.

Response:

The intended use of the site is for a public lounge and garden bar.

The building will be modified internally to create lounge and bar areas along with a commercial kitchen and suitable toilet amenities. The front/Melville Street frontage will be modified externally to create a new entry way compliant with AS 1428.1-2009 Design for Access and Mobility. A new deck structure will be constructed over the existing front verandah allowing for an outdoor extension of the public bar/lounge area. A new beer garden area will be constructed at the rear of the building with an external servery from the kitchen area.

Request for information

Please provide the operating hours for the Hotel Industry Use and if it is intended to operate outside the hours of 7:00am to 12:00am the following will be required.

A 'Hotel Industry Impact Assessment' must be submitted addressing the following issues if relevant:

- a) A description of the proposed use, hours of operation and type and duration/frequency of music/entertainment;
- b) Location of music performance areas or speakers, external doors and windows, any other noise sources, and waste storage areas;
- c) Details of entry points, external areas for smokers and a waste management plan;
- d) The nature and location of surrounding uses, and for non residential uses their hours of operation, and a written description of the site context;
- e) Details of the proposed management of noise in relation to noise sensitive areas within audible range of the premises, including residential uses and accommodation and associated private open space;
- f) A summary of the consultation with immediate adjoining landowners/occupiers and proposed measures to address any concerns;

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Mr Matthew Horsham BE MIEAust CPEng NER CC58651

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- g) The location of lighting within the boundaries of the site, security lighting outside the licensed premise and any overspill of lighting;
- h) Impacts on traffic and parking;
- i) Crime Prevention Through Environmental Design (CPTED) Principles including:
 - i. Reducing opportunities for crime to occur;
 - ii. Providing safe, well designed buildings;
 - iii. Minimising the potential for vandalism and anti-social behaviour;
 - iv. Promotion safety on neighbouring public and private land;
 - v. Any other measure to be undertaken to ensure minimal amenity impacts from the licensed premises during and after opening hours.

Response:

The proposed operating hours for the Hotel Industry use are as follows:

	Monday – Thursday	Friday – Sunday
Garden Bar	10:00am – 12:00am	11:00am – 12:00am
Lounge	5:00pm – 12:00am	11:00pm – 12:00am

As the proposed hours are not intended to be outside of the hours of 7:00am to 12:00am a 'Hotel Industry Impact Assessment' is not required.

Request for information

Provide details of any potential lighting around the car parking areas and pathways as well as lighting around the public access from the carpark in accordance with Part D 23.4.4 Passive Surveillance of the Hobart Interim Planning Scheme 2015. Please note consideration should be given to putting a gate on the south-western laneway accessed via the car park in the interest of avoiding entrapment spaces.

Response:

Refer to the Proposed External Lighting Plans (Sheet A109) for details of the proposed external lighting of the deck, beer garden and car parking areas. A gate has been provided to prevent an entrapment space to the south-west laneway from the car park.

Request for information

Provide details of any signage proposed.

Response:

Refer to the Proposed Elevations (Sheets A106 & A107) for signage locations and sizes. Refer to Elevation Renders for proposed signage graphics. All signs to be wall mounted and backlit.

Request for information**HER Fi 1**

Prepare and submit a Statement of Archaeological Potential as defined in Table E13.3.1 of the Historic Heritage Code.

Response:

Refer to the Statement of Archaeological Potential and Heritage Impact Statement prepared by CHMA.

Request for information**HER Fi 2**

Prepare and submit a Heritage Impact Statement as defined in Table E13.3.1 of the Historic Heritage Code.

Response:

Refer to the Statement of Archaeological Potential and Heritage Impact Statement prepared by CHMA.

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*Request for information***HER Fi 3***Submit photographs showing all areas of proposed demolition**Response:*

Refer to the Statement of Archaeological Potential and Heritage Impact Statement prepared by CHMA.

*Request for information***HER Fi 4***Provide sections NW/SE and NE/SW through the front yard/entry area of the subject property showing all demolition and proposed changes in levels.**Response:*

Refer to Site Sections (Sheets A110 & A111) for sectional drawings through front yard/entry area showing all demolition and proposed changes in levels.

*Request for information***HER Fi 5***Provide dimensioned drawings showing all details of the proposed deck and balustrade to the front/Melville Street elevation.**Response:*

Refer to Proposed Elevations & Site Sections (Sheets A105, A106, A110 & A111) for details of the proposed deck and balustrade to the front/Melville Street elevation.

*Request for information***Parking and Access****PA 5***A break down of the following areas of the proposal so the car parking requirement can be determined for the development**Response:*

A break down of the Public Bar, Beer Garden, Lounge, Music Bar and Front Deck has been provided below. Please refer to Proposed Floor Plans (Sheet A103) and Traffic Impact assessment prepared by Hubble Traffic for further details.

Floor space allocation	Floor Area	Planning scheme requirements	Parking spaces
Garden bar	96.05m ²	1 space per 6m ²	16 spaces
Lower floor – public bar	88.97m ²	1 space per 3m ²	29 spaces
Lower floor – Lounge	31.6m ²	1 space per 8m ²	4 spaces
Upper floor – music bar	63.88m ²	1 space per 3m ²	21 spaces
Front deck	34.72m ²	1 space per 8m ²	4 spaces
Total	315.22m²		74 spaces

*Request for information***PA 6***1 for each 3m² of the public bar floor area and 1 space for each 6m² of beer garden area and 1 space for each 8m² of lounge or dining room floor area and 1 space for each 10m² of gaming room floor area and 1 space for each 30m² of bottleshop floor area and 1 space for each 2 bedrooms and 1 space for each accommodation unit.*

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Details of any proposed bicycle parking spaces noting the follow requirements under the Parking and Access Code:

Employee/resident bicycle parking requirement

1 for each 25m² bar floor area plus 1 for each 100m² lounge/beer garden area.

Visitor/customer/student bicycle parking requirement

1 for each 25m² bar floor area plus 1 for each 100m² lounge/beer garden area.

Refer to the Table E6.2 Number and Class of Bicycle Parking Spaces Required for the required class of parking.

Response:

Please refer to Proposed Floor Plans (Sheet A103) and the Traffic Impact Assessment Report prepared by Hubble Traffic for details on bicycle parking for the development.

Eight wall mounted wheel frame racks are provided for customers to the rear of the site, while wall mounted wheel frame racks have been provided in the lockable storage area for employees.

Request for information

PA 7

A traffic impact assessment prepared by a suitable qualified traffic engineer that identifies the deficiency in the number of on site car parking spaces that is required by the acceptable solution of clause E6.6.1 of the Parking and Access Code of the Hobart Interim Planning Scheme 2015 and specifically addresses whether or not the number of onsite car parking spaces proposed will be able to meet the reasonable needs of the users, having regard to all of the following:

- a) Car parking demand;
- b) The availability of on-street and public car parking in the locality;
- c) The availability and frequency of public transport within a 400m walking distance of the site;
- d) The availability and likely use of other modes of transport;
- e) The availability and suitability of alternative arrangements for car parking provision; and
- f) Will not adversely impact the road network and on-street parking.

Response:

Refer to the Traffic Impact Assessment Report prepared by Hubble Traffic for details on onsite car parking for the development.

Request for information

Potentially Contaminated Land Code

PCL 1

Confirmation that no more than 1m² of land (to any depth) is being disturbed. If more than 1m² of land is being disturbed, please provide the information required under PCL 2 below.

Response:

As more than 1m² of land (to any depth) is proposed to be disturbed the information required under PCL 2 has been provided. Refer to PCL 2 response below for details.

Request for information

PCL 2 Environmental Site Assessment

A contamination Environmental Site Assessment report prepared by a suitably qualified and experienced person in accordance with the procedures and practices detailed in the National Environment Protection (Assessment of Site Contamination) Measure 1999 (NEPM) as amended 2013 must be provided. The report must conclude:

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ENGINEERS

- Whether any site contamination presents a risk to the health of the users of the development in consideration of the proposed use.
- Whether any site contamination presents environmental risk.
- Whether any specific remediation and/or protection measures are required to be implemented before the proposed use commences.

Remediation and Protection Measures

If the Environmental Site Assessment report concluded that the remediation and/or protection measures are necessary to avoid risks to human health or the environment, a proposed remediation and/or management plan must be submitted. Any remediation or management plan involving soil disturbance must include a details soil and water management plan to prevent off-site transfer of potentially contaminated soil or stormwater.

Statement of Suitability

A statement based on the results of the Environmental Site Assessment that the proposed use of the land will not adversely impact on human health or the environment is to be provided (subject to implementation of any identified remediation and/or protection measures as required).

Response:

Refer to the Environmental Site Assessment prepared by GES for details on potential site contamination, necessary remediation and protection measures and the Statement of Suitability for the development.

Please contact Robert Beadle on 6224 5625 or robert@jsa.com.au if you require any further information.

Yours sincerely

Robert Beadle

Senior Technical Designer

Structural | Civil | Mechanical | Research | Energy | Environmental

Directors: Dr Jane Sargison BE DPhil FIEAust CPEng NER GAICD CC6193N

Mr Matthew Horsham BE MIEAust CPEng NER CC58651

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Traffic Impact Statement



Change of use
35 Melville Street, Hobart
Lounge and Garden Bars



Hubble Traffic

December 2020

Change of use at 35 Melville Street, Hobart

Introduction

A development application was submitted to the City of Hobart for 35 Melville Street Hobart, for a change of use from office space, to lounge and garden bars. In considering the application, the Council has requested additional information be submitted, to address clause E6.6.1 of the Parking and Access Code of the City of Hobart Interim Planning Scheme 2015 (planning scheme).

JSA Consulting Engineers has engaged Hubble Traffic to prepare a Traffic Impact Statement, to provide a response on the number of on-site car parking.

Land-use zoning

Under the planning scheme, 35 Melville Street is located within the commercial zone; however directly opposite this site and two properties to the west, the land-use is zoned as Central Business, which means this site is located on the fringe of the inner-city business precinct.

The diagram below is an extract from the zoning overlay of the planning scheme, with the highlighted blue area being the Central Business Zone, with the Commercial Zone highlighted in light purple.

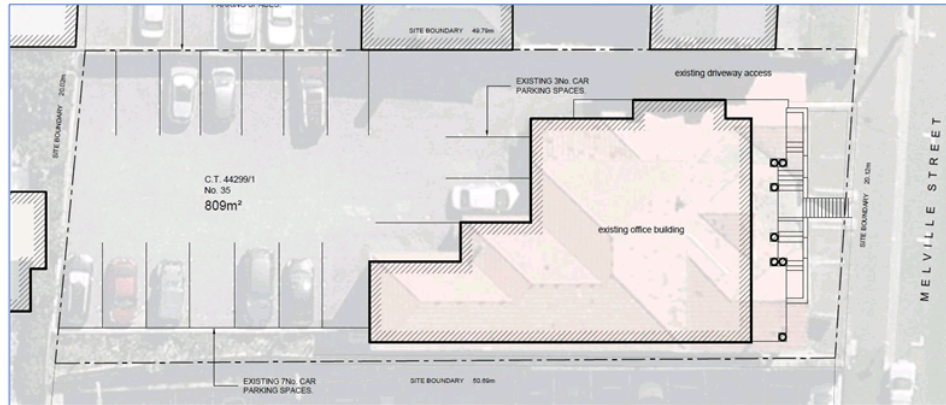


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Change of use at 35 Melville Street, Hobart

Development proposal

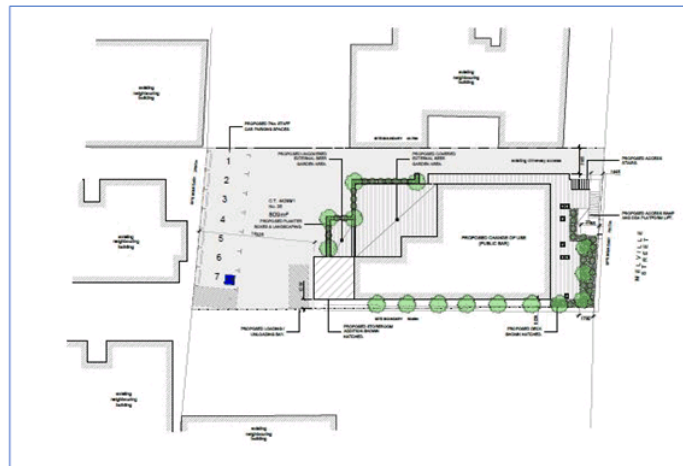
The building at 35 Melville Street is two storeys and currently operates as office space; with some 17 on-site parking spaces located at the rear of the building, with direct vehicular access to Melville Street, as shown in the site plan below.



To incorporate the garden bar, the rear space will be reconfigured to provide: six on-site parking spaces for staff parking, one disabled customer space, and one loading bay, while allowing sufficient space to accommodate loading and unloading of delivery vehicles.

With this change of use and reconfiguration of the rear parking area, the expected number of traffic movements generated from this property will be less than the current use.

The proposed on-site parking arrangement to incorporate the garden bar is shown below.

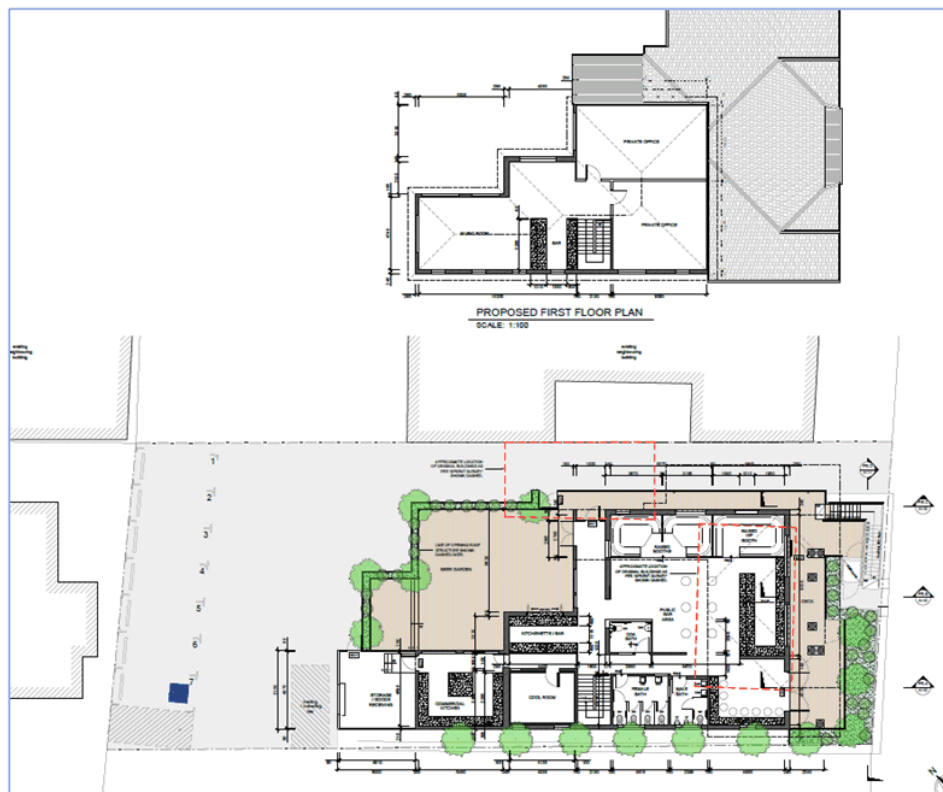


Change of use at 35 Melville Street, Hobart

The development site will include the following use and hours of operation:

- Garden bar 11am to midnight (7 days)
- Lounge bar 5pm to midnight (Monday to Thursday)
- Lounge bar 1pm to midnight (Friday to Sunday)

Proposed floor plans



Change of use at 35 Melville Street, Hobart

Required number of on-site parking spaces

Under the planning scheme E6 Parking and Access Code, with Hotel Industry as the user class, table E6.1 specifies:

- public bar - one parking space per 3 square metres of floor space
- beer garden - one parking space per 6 square metres of floor space, and
- lounge bar - one parking space per 8 square metres of floor space.

Floor space allocation	Floor Area	Planning scheme requirements	Parking spaces
Garden bar	96.05m ²	1 space per 6m ²	16 spaces
Lower floor – public bar	88.97m ²	1 space per 3m ²	29 spaces
Lower floor – Lounge	31.6m ²	1 space per 8m ²	4 spaces
Upper floor – music bar	63.88m ²	1 space per 3m ²	21 spaces
Front deck	34.72m ²	1 space per 8m ²	4 spaces
Total	315.22m²		74 spaces

Based on the above floor space allocation, the development requires 74 parking spaces under the planning scheme.

The two office space on the first floor will be used by staff associated with this development or used for storage, and not generate a further parking demand.

Expected customer travel mode

Having consideration to the development sites close proximity to the central business precinct, the expected demand for parking spaces is considered to be less than the planning scheme requirements. Development site patronage is expected to include local residents, and employees from various local businesses, with these users not expected to create a parking demand, as detailed below.

- Residents from inner-city apartments are expected to walk to and from the development site; with the number of inner-city apartments increasing, this could represent a significant proportion of the customer base.
- Employees from local businesses will also not create a parking demand, as they will have off-street parking at their workplace; with this type of customer expected during lunchtime, and immediately after work.
- Similarly, employees from local businesses who travel to work via public transport, will also not create a parking demand.

With residents and local businesses expected to be the main customer base during the weekdays, the weekday parking demand is expected to be low.

Evening customers are expected to be drawn from outside the immediate area, and generally use alternative transport methods; including public transport when arriving, and taxi and ride sharing facilities. They are also expected to share on-street parking spaces that become available after the daytime land-use has finished.



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Change of use at 35 Melville Street, Hobart

Availability of on-street car parking

It is important to consider the availability of current parking supply in the surrounding area, and to optimise these spaces, before considering the need for additional parking spaces. For inner city areas it is more sustainable to maximise the use of current parking capacity, rather than provide additional off-street parking, which is usually uneconomical for small developments.

Shared parking takes advantage of the fact that most on-street parking spaces are only used part time by a particular motorist or group, and many spaces become vacant after that use has finished. Parking spaces can be shared among different buildings and land-use activities, for example: offices, retail, professional services and banks, typically have a weekday peak, whereas restaurants, bars and cinemas have an evening peak.

Research from the Victorian Transport Policy Institute indicates that customers attending restaurants and bars will walk 350 metres (less than 5 minutes) to share on-street parking spaces.

To understand the availability of on-street parking spaces along the surrounding streets of the development site, a comprehensive on-street parking survey was conducted. The survey examined available spaces and parking demand located within 150 and 250 metres of the development site, with the following table summarising the collected parking data.

Streets	Number of parking spaces		Spaces available to be shared by another use			
	Metred Spaces	Spaces within loading zones	Friday 4.30pm	Friday 8pm	Saturday 1pm	Saturday 8pm
Within 150m	142	16	54	42	47	57
Between 150 and 250 metres	155	14	78	58	57	91
Total	297	30	132	100	104	148

During the day, the parking spaces are restricted to short term parking to cater for the local businesses, but these parking restrictions finish at 6pm for weekdays and Saturdays, while on Sundays the restrictions finish at 4pm. Similarly, spaces within the loading zones become available after the day time use has finish.

The surveys were undertaken during the expected busier peaks for the proposed business, and found within 250 metres of the development site, a total of 297 parking spaces, with an additional 30 spaces within the loading zones.

During each of the survey periods, there were a minimum of 100 vacant parking spaces that could be used by the proposed business.

The surveys found that there is sufficient parking available along the surrounding streets to easily meet the expected parking demand which the proposed business is expected to generate.



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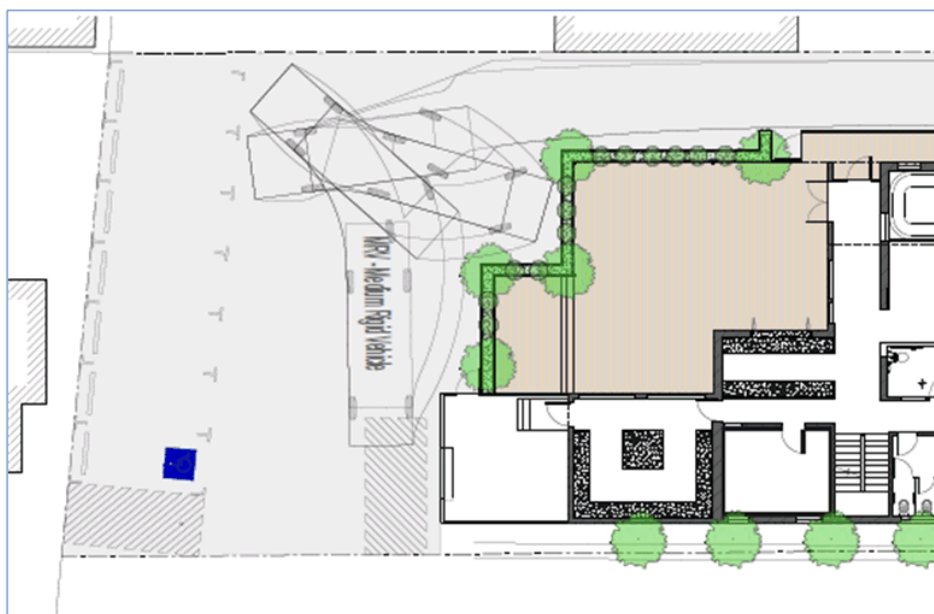
Change of use at 35 Melville Street, Hobart

Impact of additional parking

The additional parking demand generated by the proposed use is not expected to have any adverse impact on adjacent commercial land-use activities or businesses, as the current parking restrictions during the day ensures there is appropriate vehicle turn-over.

On-site parking manoeuvrability

A commercial parking space has been allocated at the rear of the property for deliveries. In the diagram below, Autoturn software demonstrates the vehicle swept path of a single unit vehicle (8.8 metres long), can manoeuvre into and out of the space, so that the vehicle can enter and leave the property in a forward position.



Change of use at 35 Melville Street, Hobart

The Autoturn software also demonstrates that a B85 vehicle can enter and leave the disabled parking space, even with a commercial vehicle parked in the delivery space. Manoeuvrability into and out of the other car parking spaces will be easier.

All vehicles can enter and leave the property in a forward driving position.

B85 vehicle entering and leaving the disable parking space



Change of use at 35 Melville Street, Hobart

Planning scheme**E5.5.1 Existing Road Access and Junctions**

The reconfiguration of the development site rear area to a garden bar, will change the on-site parking allocation to one customer disabled park, six staff parking and one delivery space; with the annual average daily traffic movements to and from the site expected to decrease from the current use. Therefore, the proposed use meets the acceptable solution A3, with Melville Street operating under the general default speed limit of 50 km/h.

E6.6.1 Number of Car Parking Spaces

Under the user class for hotel industry, table 6.1 specifies the required number of parking spaces based on floor area of the proposed use; with 74 parking spaces being calculated as the required number under this scheme.

As this development is not supported with on-site parking and reliant on sharing the available on-street parking spaces, it must be assessed against the performance criteria P1.

Performance criteria	Assessment
The number of on-site parking spaces must be sufficient to meet the reasonable needs of users, having regards to all of the following:	
a) car park demand;	Based on the proposed floor area, the planning scheme requires 74 parking spaces. During the weekday, local residents and employees from the surrounding businesses are expected to be the main customers. These customers are thought to walk to and from the venue and are not expected to create a parking demand. Evening customers are likely to travel using alternative transport modes, such as taxi and ride sharing facilities, while customers using private vehicles would be accustomed to share available on-street parking spaces located within the surrounding streets.
b) the availability of on-street and public car parking in the locality;	A parking survey of the on-street parking supply and demand has been undertaken along the streets surrounding the development site. The survey found some 297 parking spaces are available during the day, and an additional 30 spaces become available after 6pm, when the loading zone time restrictions finish. The surveys found that at a minimum 100 parking spaces were vacant that could be shared with the proposed use. The survey demonstrated there is more than sufficient on-street parking available along the surrounding streets to easily meet the expected demand generated by this change of use, without impacting other land-use developments.
c) the availability and frequency of public transport within 400 metres walking distance of the site;	Metro Tasmania currently operates regular bus services along both Argyle and Elizabeth Streets, with bus stops within 400 metres walking distance of the development site.



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Change of use at 35 Melville Street, Hobart

d) the availability and likely use of other modes of transport;	Other modes of transport are more likely during weekends and evenings, with customers expected to arrive and depart using taxi and ride sharing facilities, as found at other bars and food venues with an inner-city location. Customers from inner-city residential apartments are expected to walk to and from the site, reducing the parking demand. Employees from local businesses are not expected to create a parking demand as they have alternative parking spaces associated with their work place, or use public transport to travel to and from their work place.
e) The availability and suitability of alternative arrangements for car parking provision;	The Vodaphone public multi-storey car park is located within 300 metres of the development site, which is walking distance. The multi-storey car park provides off-street parking, and is open 24 hours, 7 days a week.
f) Any reduction in car parking demand due to the sharing of car parking spaces by multiple uses, either because of variation of car parking demand over time or because of efficiencies gained from the consolidation of shared parking spaces;	A comprehensive parking survey found that there is ample on-street parking spaces that can be shared between different land-uses. With the evening peak demand for this new use to occur outside the weekday demand generated by the current business activities.
g) Any car parking deficiencies or surplus associated with the existing use of the land;	None
h) Any credit which should be allowed for a car parking demand deemed to have been provided in association with a use which existed before the change or parking requirements, except in the case of substantial redevelopment of a site;	None
i) The appropriateness of a financial contribution in lieu of parking towards the cost of parking facilities or other transport facilities, where such facilities exist or are planned in the vicinity;	A financial contribution is not considered warranted, given this assessment found more than sufficient on-street parking is available in close proximity of the property to meet the demand.
j) Any verified prior payment of a financial contribution in lieu of parking for the land;	Not applicable.
k) Any relevant parking plan for the area adopted by Council;	Not aware of any Council parking plan covering this area.

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l) The impact on the historic cultural heritage significant or the site if subject to the Local Heritage Code;	Not applicable.
m) Whether the provision of the parking would result in the loss, directly or indirectly, of one of more significant trees listed in the Significant Trees Schedule.	Not applicable.

E6.2 Number and class of Bicycle parking spaces required

With the current floor area being extended to include the beer garden and front deck, the planning scheme requires on-site bicycle facilities to be provided for both employees and customers. Based on table 6.2, one bicycle parking area for each 25 square metres of bar floor area and one bicycle parking area for each 100 square metres of lounge or beer garden.

For employees, a locked compound with communal access using duplicate keys for bicycles will be provided on site at the rear of the building to meet the acceptable solution.

For customers, bicycle wheel frames suitable to cater for eight bicycles will be located at the rear of the site, to meet the acceptable solution.



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Conclusion:

On-site parking spaces to be provided at the rear of the building will include one customer disabled, six staff and one delivery; with vehicles able to enter and leave the property in a forward driving position.

With no customer parking located within the development site, customers will need to share on-street parking spaces with other land-use developments. Sharing on-street parking spaces between different land-uses is a sustainable way to optimise the current parking supply, without the need to consider additional spaces.

The majority of the surrounding land-uses generate a parking demand during the day, while the proposed use will generate its highest parking demand at evenings.

With the development site located on the fringe of the central business precinct, the main customer base during the day, is expected to be generated from local residents and employees from local businesses. This customer base is not expected to create a parking demand, as they are likely to walk to and from the venue.

A comprehensive parking and demand survey of the surrounding streets within 250 metres walking distance of the development site, found there is sufficient available parking spaces to meet the expected demand.

The change of use of the existing building at 35 Melville Street, to lounge and garden bars is not expected to create any adverse safety, traffic, or amenity impacts. This proposed use is not dissimilar to other bars and hotels located within the inner-city blocks of Hobart, who also operate successfully sharing on-street parking spaces.

Overall, this impact assessment has concluded this proposed development can be supported on traffic grounds, as it is not expected to create any adverse traffic or parking issues.



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Parking survey results

		Available on-street car parking space			Number vehicles parked				Available spaces			
		Number spaces	Loading zone spaces	Friday afternoon 4.30pm	Friday evening 8pm	Saturday 1pm	Saturday 8pm	Friday afternoon 4.30pm	Friday evening 8pm	Saturday 1pm	Saturday 8pm	
Brisbane St		Northern Side	10	2	4	12	7	8	6	0	3	4
		Southern Side	9	2	6	6	5	3	3	5	4	8
Elizabeth St	Brisbane to Melville	Western side	8	2	6	4	6	9	2	6	2	1
		Eastern side	11		7	11	11	10	4	0	0	1
	Melville to Bathurst	Western side	10	2	3	12	8	12	7	0	2	0
		Eastern side	10		4	9	3	5	6	1	7	5
Bathurst St	Elizabeth to Argyle	Northern Side	17	3	14	15	16	13	3	5	1	7
		Southern Side	16	4	12	17	11	12	4	3	5	8
Argyle St	Bathurst to Melville	Western side	7		7	5	7	3	0	2	0	4
		Eastern side	7		6	6	4	1	1	1	3	6
	Melville to Brisbane	Western side	3	1	3	3	3	4	0	1	0	0
		Eastern side	6		6	4	1	6	0	2	5	0
Melville St	Elizabeth to Argyle	Northern Side	18		4	8	5	5	14	10	13	13
		Southern Side	10		6	4	8	9	4	6	2	
			142	16	88	116	95	100	54	42	47	57
Melville St	Elizabeth to Murray	Northern side	5	2	4	7	5	4	1	0	0	3
		Southern side	3	2	3	5	5	4	0	0	-2	1
	Argyle to Campbell	Northern side										
		Southern side	8		3	8	4	3	5	0	4	5
Brisbane St	Elizabeth to Murray	Northern side	12	2	1	7	9	2	11	7	3	12
		Southern side	12		6	10	10	5	6	2	2	7
	Argyle to Campbell	Northern side	9	2	6	11	4	7	3	0	5	4
		Southern side	4		3	4	1	1	1	0	3	3
Elizabeth St	Brisbane to Patrick	Western	12	2	2	8	9	11	10	6	3	3
		Eastern	10	2	6	10	11	12	4	2	-1	0
Argyle St	Brisbane to Patrick	Western	9		6	2	9	5	3	7	0	4
		Eastern	13		7	6	11	4	6	7	2	9
Bathurst St	Argyle to Campbell	Northern side	15		9	15	4	4	6	0	11	11
		Southern side	11		6	7	2	4	5	4	9	7
Campbell St	Melville to Bathurst	Western	10		3	3	1	3	7	7	9	7
		Eastern	8	2	5	5	8	7	3	5	0	3
	Brisbane to Melville	Western	10		4	3	2	0	6	7	8	10
		Eastern	4		3	0	3	2	1	4	1	2
Total			155	14	77	111	98	78	78	58	57	91
Total for the two zones			297	30	165	227	193	178	132	100	104	148



**ENVIRONMENTAL SITE ASSESSMENT
35 MELVILLE STREET, HOBART TASMANIA**

December 2020



*Environmental Site Assessment – 35 Melville Street***DOCUMENT CONTROL**

Title	Version	Date	Author
<i>Environmental Site Assessment – 35 Melville Street</i>	Version 1	16/12/20	M Downie

Environmental Site Assessment – 35 Melville Street

EXECUTIVE SUMMARY

This report presents the findings from a limited scope Environmental Site Assessment undertaken by Geo-Environmental Solutions Pty. Ltd. (GES) at the 35 Melville Street, Hobart - hereby referred to as 'The Site'.

The objective of the limited scope Environmental Site Assessment was to satisfy the planning requirements of a Development Application submitted to Hobart City Council as the site is listed as a potentially contaminated site under the Interim Planning Scheme. GES was required to determine the suitability of the site for the intended use.

The scope of works of this limited scope Environmental Site Assessment was to:

- Conduct a desktop assessment.
- Conduct an invasive soil investigation in areas where site development and excavation works are proposed; dig two soil bores and collect samples from two locations (BH1 and BH2).
- Soil samples were sent with quality assurance/ quality control samples for analysis of petroleum hydrocarbons including total recoverable hydrocarbons, Benzene Toluene Ethylbenzene Xylene and Polynuclear Aromatic Hydrocarbons, plus a suite of 15 Metals to a National Association of Testing Authorities accredited laboratory;
- Compare soil analytical results against the NEPM 2013 guidelines and CRC CARE Technical Report 10 guidelines (Friebel & Nadebaum 2011);
- Determine the presence and level of site contamination;
- If deemed necessary, present recommendations for remediation and protection measures during development and for future land users.
- Report in a limited scope Environmental Site Assessment document the findings of the site investigation and if required provide a conceptual site model and contamination management recommendations.

From the desktop assessment, it is concluded that:

- The geology of the site is mapped as Jurassic dolerite and Triassic Sandstone.
- The site ranges in elevation from approximately 20 to 24 m AHD with a 5% gradient to the South.
- The surface of the site is covered almost entirely by concrete or bitumen with a large building occupying almost half of the property towards the street frontage. Rainfall flow onsite is directed from the roof via gutters and downpipes and the carpark area into storm water drains. The surrounding area is largely paved surfaces of bitumen on the roads, concrete footpaths and densely spaced building; thus opportunity for water to infiltrate the groundwater system is greatly limited.
- The hydrogeology of the area is likely to consist of groundwater moving parallel with slope towards the south, Elizabeth Street and the Hobart Rivulet and ultimately into the River Derwent at Sullivans Cove.
- The Hobart Rivulet is the closest ecological receptor which is approximately 350 m away and then the River Derwent at Sullivans, which is approximately 680 m away. It is unlikely that any potential impact from the site will impact downgradient ecosystem receptors, given the spatial separation and the comprehensive surface covering at the site.
- Based on a review of the historical aerial photographs ranging from 1957 to 1989; The site appears to have had little change over the past 60 years;
- Surrounding sites were identified as having potentially contaminating activities; however, due to the topography and the inferred groundwater contours it is unlikely that potential impact from these sites have migrated to the investigation area.
- Worksafe Tasmania do not hold any files regarding potentially contaminating activities at the site.
- The site has not hosted a known potentially contaminating activity for the past 60 years and the only potential concern is possible site fill and any leakage from parked cars.
- Given the urban setting there is the potential at the site for the following:
 - Uncontrolled historical site fill with building debris;
 - Historical buildings with leaded paint; and
 - PAH's in heating oil or old charcoal waste from fires
- Contaminants of potential concern that may have been present at the site and that were tested for in the soil analysis are listed in the scope of work.

Environmental Site Assessment – 35 Melville Street

From the soil assessment in the footprint of the redevelopment, it is concluded that:

- Low detections of PAHs and metals did not exceed human health guidelines. Therefore, a risk to human health has not been identified for either during construction for workers or post construction for future site users and future maintenance workers.
- Although there is ecological guideline exceedance for Benzo (a) pyrene, zinc and copper, for the following reasons, GES does not consider that there is a risk to ecological receptors:
 1. The soil at the site is covered by either concrete/asphalt, or building or both and will not be exposed to groundwater percolation; and
 2. The closest ecological receptor is the Hobart Rivulet which is spatially separated from the site by approximately 350 m.
 3. A soil and water management plan will be implemented for all excavation works to eliminate the pathway from potentially contaminated soil to environmental receptors (groundwater & surface water).
- Other than advice provided within the recommendations section of this report, it was not deemed necessary to provide a specific remediation or contamination management plan prior to the commencement of excavation works.

GES can confirm the following recommendations:

- No risk to workers involved in redevelopment of the site, or future users of the site, as a result of proposed excavation of the site has been identified.
- A soil and water management plan must be implemented prior to any excavation at the site to manage the potential environmental risk from excavation of potentially contaminated soil
- No specific remediation and/or protection measures are required to ensure the redevelopment does not adversely impact human health, however, standard personal protective equipment and comprehensive hand washing is recommended prior to eating or drinking during site works as with any construction site work.
- With regards to soil disposal, benzo(a)pyrene and selected heavy metals are slightly elevated classifying the material at the site as Level 2 and level 3 material. Therefore, it is recommended that all excavated soil at the site should be stockpiled and assessed against IB105 guidelines for Classification and Management of Contaminated Soil for Disposal before it is transported by a licensed operator to an appropriate disposal facility.

This report only applies to the site at 35 Melville Street and is limited to that area only. Any changes to the development or proposed site use, may trigger the need to reassess the analytical results against different investigation levels or conduct further onsite investigations.

If the recommendations are followed, the site is suitable for the proposed development in accordance with potentially contaminated land code of the Hobart Interim planning scheme.

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*Environmental Site Assessment – 35 Melville Street***ABREVIATIONS**

ALS	Analytical Laboratory Services
ANZECC	Australia and New Zealand Environment and Conservation Council
BGS	Below Ground Surface
BH	Borehole
BTEX	Benzene Toluene Ethylbenzene Xylene
COA	Certificate of Analysis
COC	Chain of Custody
COPC	Contaminant of Potential Concern
CRC CARE	Corporative Research Centre for Contamination Assessment and Remediation of the Environment
CSM	Conceptual Site Model
DQO	Data Quality Objectives
EPA	Environmental Protection Authority
ESA	Environmental Site Assessment
GES	Geo-Environmental Solutions Pty. Ltd.
HIL	Health Investigation Levels
HSL	Health Screening Levels
IL	Investigation Levels
LOR	Limits of Reporting
NATA	National Association of Testing Authorities
NEPM	National Environmental Protection Measure
NL	Non Limiting
NRMMC	Natural Resource Management Ministerial Council
PAH	Polynuclear Aromatic Hydrocarbons
PHC	Petroleum Hydrocarbons
PPA	Preferential (PVI) Pathways Assessment
TPH	Total Petroleum Hydrocarbons
TRH	Total Recoverable Hydrocarbons
USCS	Unified Soil Classification System

Environmental Site Assessment – 35 Melville Street

1 INTRODUCTION

1.1 General

This report presents the findings from a limited scope Environmental Site Assessment (ESA) undertaken by Geo-Environmental Solutions Pty. Ltd. (GES) at the 35 Melville Street, Hobart - hereby referred to as 'The Site'. The site location is presented in Figure 1 and an aerial photograph of the site and the surrounding area is presented in Plate 1. GES was commissioned by JSA Engineers (the 'Client') to conduct the limited scope ESA.

The limited scope ESA has been prepared by a suitably qualified and experience practitioner in accordance with procedures and practices detailed in National Environmental Protection Measure (NEPM, 2013) guidelines and key regulations and policies identified in the References section of this document. Personnel engaged in preparing this limited scope ESA are listed in Appendix 1 along with their relevant qualifications and years of experience.

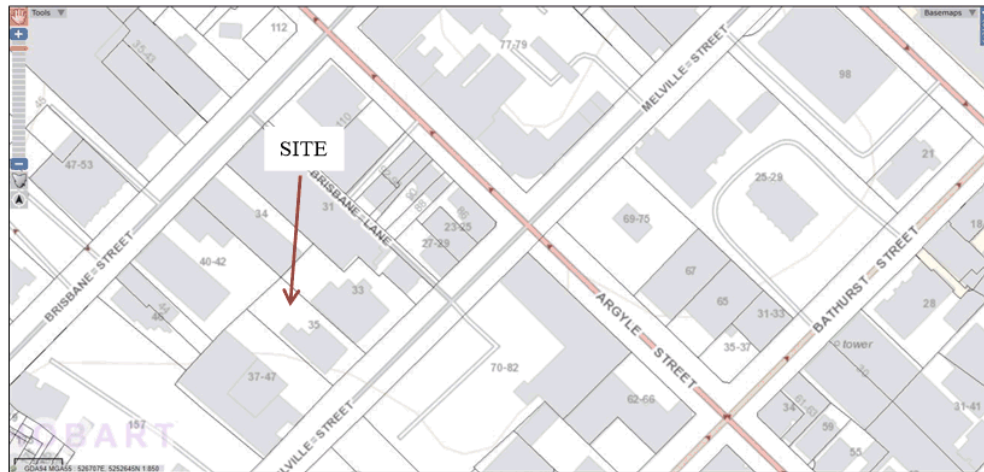


Figure 1 Site Location, site and surrounding area (LIST Image).



Plate 1 Aerial photograph, site and surrounding area (LIST Image).

Environmental Site Assessment – 35 Melville Street

1.2 Site Details

Site details are presented in Table 1.

Table 1 Site Details

Site Address
35 Melville Street, Hobart.
Current Title identification details
According to the Cadastral Parcels layer on the list, Property ID 5669635 CT 44299/1.
Current land use
Offices
Site total area
Approx 809m ² , existing office building approx. 450m ²
Current Ownership
35 Melville Street Pty Ltd
Zoning
Commercial – Tasmanian Interim Planning Scheme 2015
Local Council
Hobart City Council
Proposed Site Use
Public bar
Surrounding Land Use
The site is situated in the CBD of Hobart and is surrounded by commercial buildings and carparking.

1.3 Investigation Objectives

The objective of the limited scope Environmental Site Assessment was to satisfy the planning requirements of a Development Application submitted to Hobart City Council (HCC) as the site is listed as a potentially contaminated site under the Interim Planning Scheme. GES was required to determine the suitability of the site for the intended use and considered the following;

- Determine whether any site contamination presents a risk to workers involved in redevelopment of the site, or future users of the site because of proposed excavation of the site.
- Determine whether any site contamination presents an environmental risk from excavation conducted during redevelopment of the site.
- Determine whether any specific remediation and/or protection measures are required to ensure proposed excavation does not adversely impact human health or the environment before excavation occurs.
- Provide a statement of suitability based on the results of the assessment that the works will not impact human health or environment, and
- Provide remediation and protection measures (if the assessment concludes they are necessary).

1.4 Scope of Works

The scope of works of this limited scope ESA was to:

- Conduct a desktop assessment.
- Conduct an invasive soil investigation in areas where site development and excavation works are proposed; dig two soil bores and collect a total of 4 samples from two locations (BH1 and BH2).
- Soil samples were sent with quality assurance/ quality control (QA/QC) samples for analysis of total recoverable hydrocarbons (TRH) Benzene Toluene Ethylbenzene Xylene (BTEX), Polynuclear Aromatic Hydrocarbons (PAH) and 15 Metals to a National Association of Testing Authorities (NATA) accredited laboratory;

Environmental Site Assessment – 35 Melville Street

- Compare soil analytical results against the NEPM 2013 guidelines and CRC CARE Technical Report 10 guidelines (Friebel & Nadebaum 2011);
- Determine the presence and level of site contamination;
- If deemed necessary, present recommendations for remediation and protection measures during development and for future land users.
- Report in a limited scope ESA document the findings of the site investigation and if required provide a conceptual site model (CSM) and contamination management recommendations.

2 PLANNING

2.1 Zoning

The site is zoned commercial under the Tasmanian Interim Planning Scheme of 2015, see Figure 2. The land use surrounding the site is consistent with the zoning.

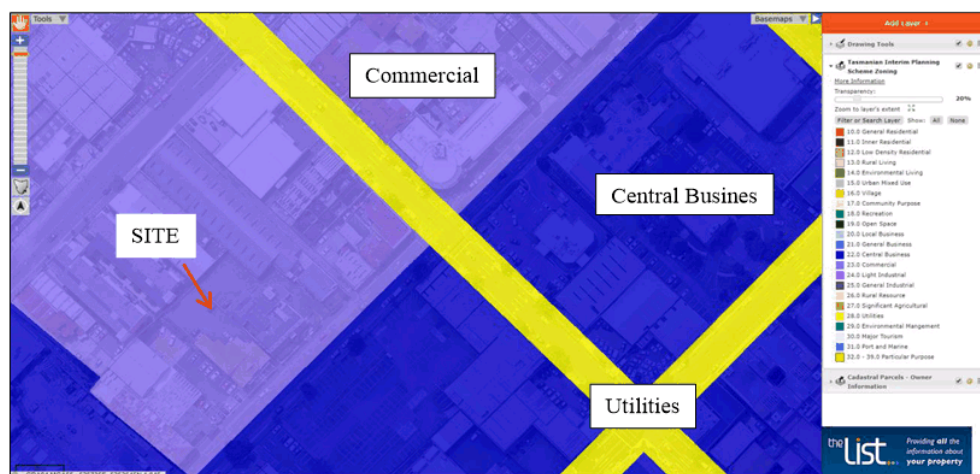


Figure 2 Council Planning Zones (2015)

2.2 Proposed Site Development Works

The proposed development involves alterations which will involve the installation of new access to the front of the building and the addition of a small storeroom to the rear of the building and change of use from offices to a bar. A carparking area will remain at the rear of the site, however part of the rear yard will be converted to a beer garden.

The existing building plan is presented in Figure 3 and the proposed redevelopment plans are presented in Figure 4.

2.3 Assessment Trigger

The need for the assessment is a requirement of any development that may take place on a potentially contaminated site.

As the history of the site suggests that potentially contaminating activities may have taken place adjacent to the site and there is proposed *excavation works* at the site, there are no acceptable solutions to proposed works, and therefore E2.6.2 P1 performance criteria are to be addressed.

Environmental Site Assessment – 35 Melville Street

E2.6.2 P1 Performance Criteria:

Excavation does not adversely impact on health and the environment, having regard to:

- (a) an environmental site assessment that demonstrates there is no evidence the land is contaminated; or
- (b) a plan to manage contamination and associated risk to human health and the environment that includes:
 - i. an environmental site assessment;
 - ii. any specific remediation and protection measures required to be implemented before excavation commences; and
 - iii. a statement that the excavation does not adversely impact on human health or the environment.

Environmental Site Assessment – 35 Melville Street

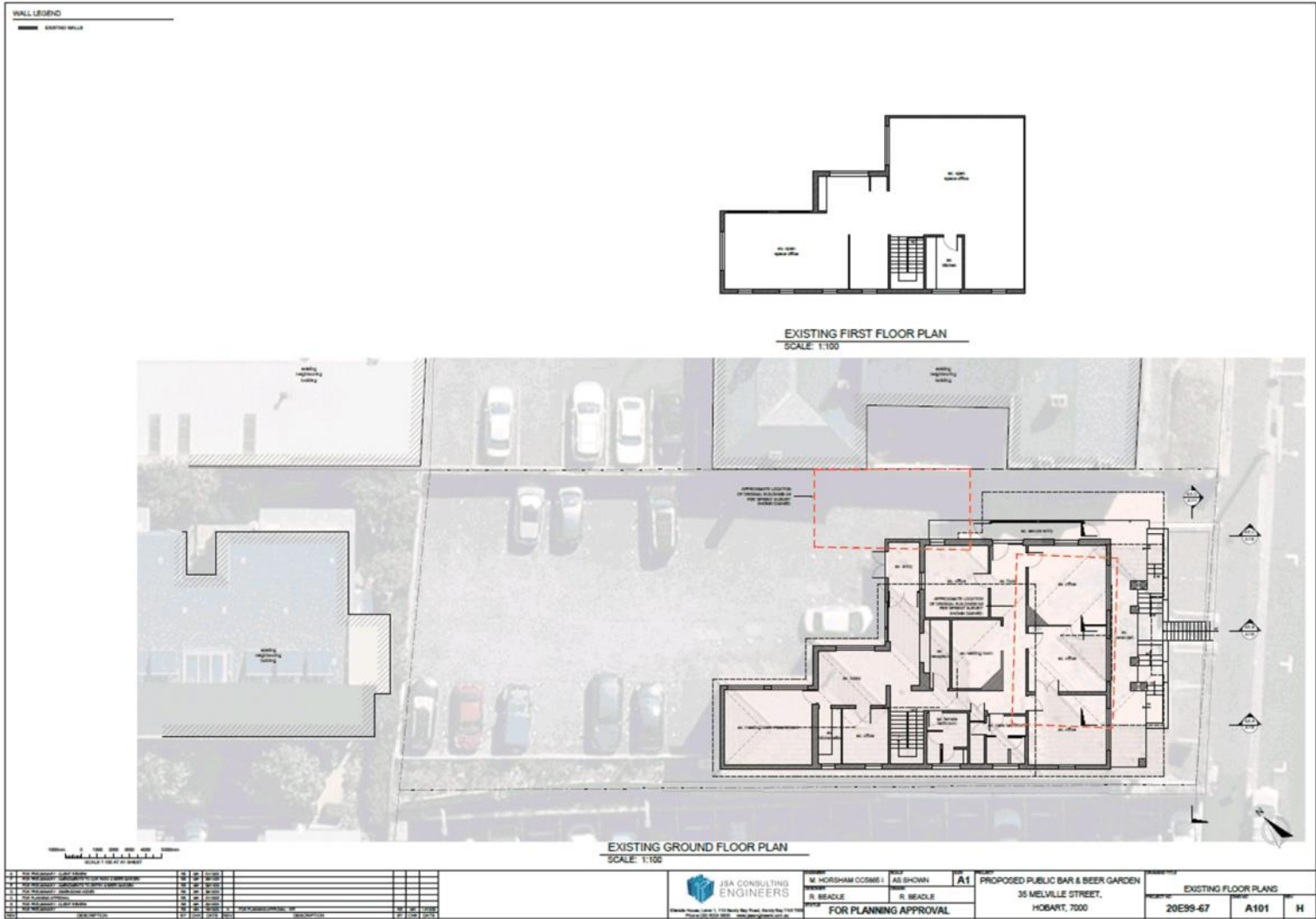


Figure 3 Existing floor plan

Environmental Site Assessment – 35 Melville Street

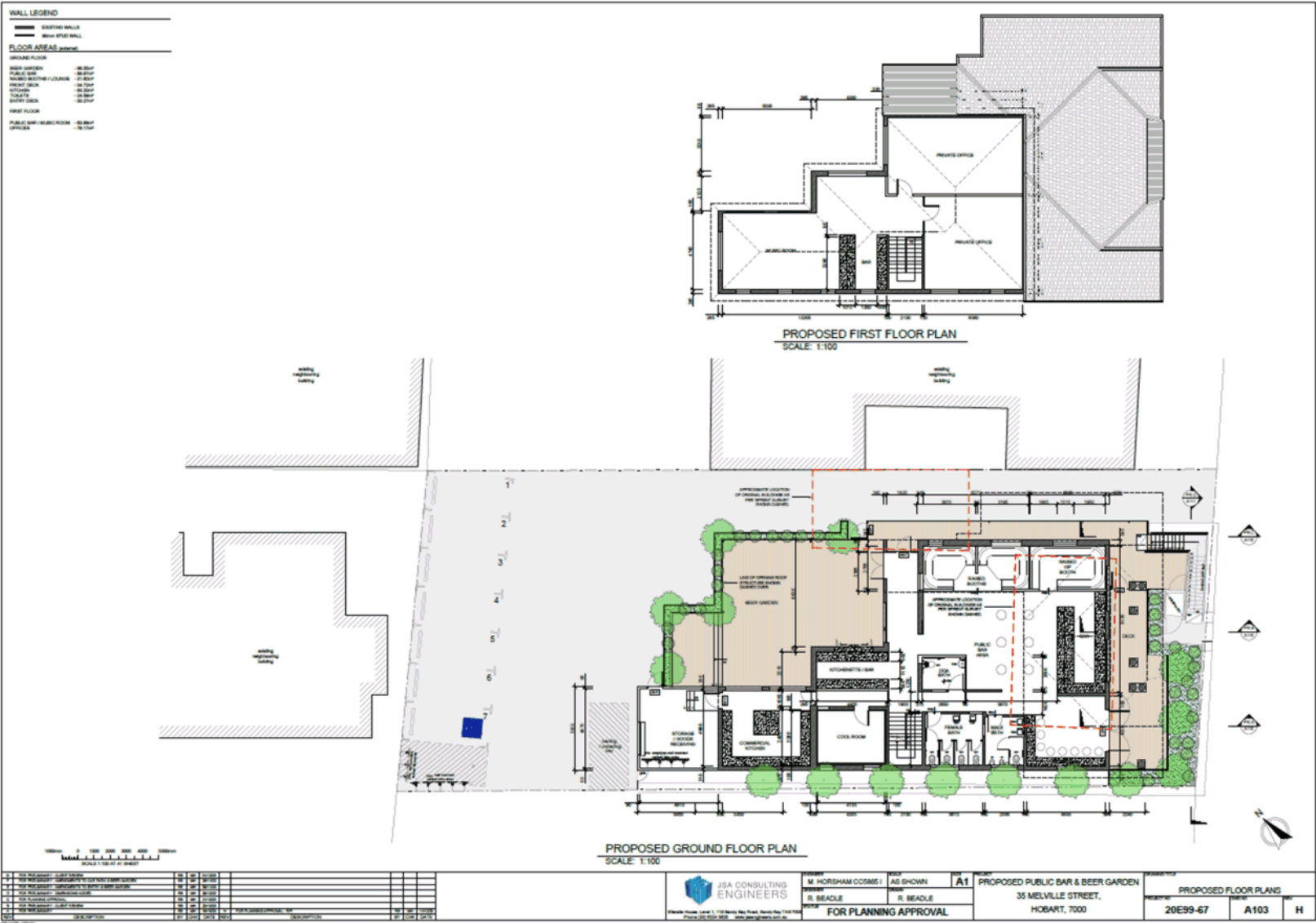


Figure 4 Proposed floor plan

Environmental Site Assessment – 35 Melville Street

3 DESKTOP STUDY

3.1 Site Walkover

A site walkover was completed by GES staff and site photographs are presented in Appendix 2.

3.1.1 Surface Coverings

The majority of the site is covered in either asphalt or concrete, with a small area of exposed soil/garden bed along the boundary with 37 Melville Street. The boundary with 37 Melville is distinguished by a high retaining wall as the property is located some 3 to 4m in elevation higher than number 37.

3.1.2 Signs of Contamination

Despite the use of the area of the property as a carpark for the offices, there are no signs of surface staining contamination that may suggest soil contamination has occurred. The soil excavated on site appeared relatively natural, with a trace of charcoal typical of inner-city Hobart areas.

3.2 MRT Geology Mapping

The geology of the site is mapped as Jurassic dolerite and Triassic sandstone see Figure .



Jd – Jurassic Dolerite, Jurassic igneous rocks, (tholeiitic) with locally developed granophyre.

R – Undifferentiated Upper Parmeener Supergroup Rocks

Rqph – Freshwater predominantly cross-bedded quartzose to feldspathic sandstone commonly with overturned cross-bedding subordinate siltstone with sparse plant and vertebrate fossils (knocklifty Formation)

Figure 5 Mineral Resources Tasmania 1:25000 Scale Mapping (The LIST).

3.3 Site Topography, Drainage & Hydrogeology

The site ranges in elevation from approximately 20 to 24 m AHD with a 5% gradient to the South. The surface of the site is almost entirely covered with asphalt and concrete plus the office building. Rainfall flow onsite is directed from the roof via gutters and downpipes and the carpark area into storm water drains. The surrounding area is largely paved surfaces of bitumen on the roads, concrete footpaths and densely spaced building; thus opportunity for water to infiltrate the groundwater system is limited.

The hydrogeology of the area is likely to consist of groundwater moving parallel with slope to the south from the site towards Elizabeth Street and the Hobart Rivulet and ultimately the River Derwent at Sullivans Cove. The inferred regional groundwater flow is illustrated in Figure 6.

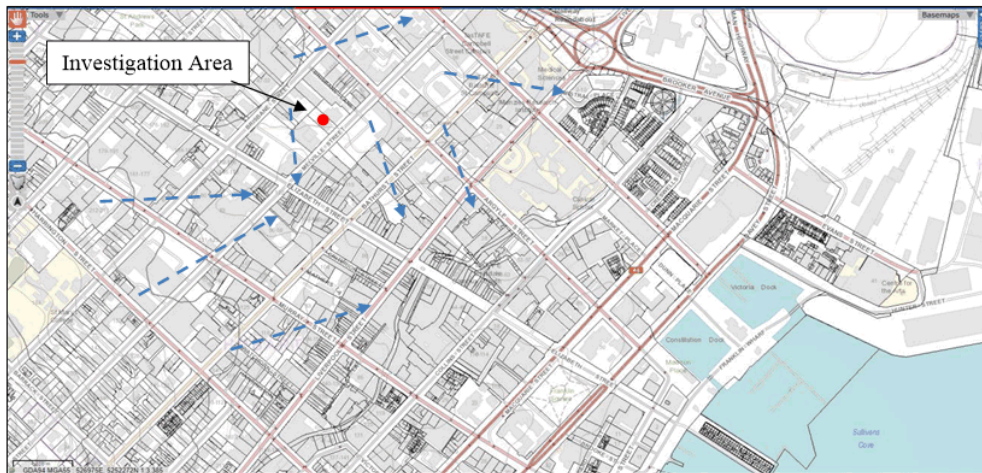
Environmental Site Assessment – 35 Melville Street

Figure 6 Inferred Groundwater Flow (blue dashed line)

3.4 Historical Aerial Photography Interpretation

The 1989, 1977 and 1957 historical aerial photograph were viewed as part of this limited scope ESA and they are presented in Plate 2 to 4. The site appears to have been offices for over 60 years and the carpark has also been used almost continuously. In the surrounding area there appears to be two former service stations, one on the corners of Melville Street and Argyle Street, 69-75 Argyle Street, Former Mobil Service Station which is now a McDonalds Restaurant. The second former service station is on the corner of Brisbane Street and Argyle Street at 98-110 Argyle Street, which is now a car sales room owned by Co-operative Motors company.

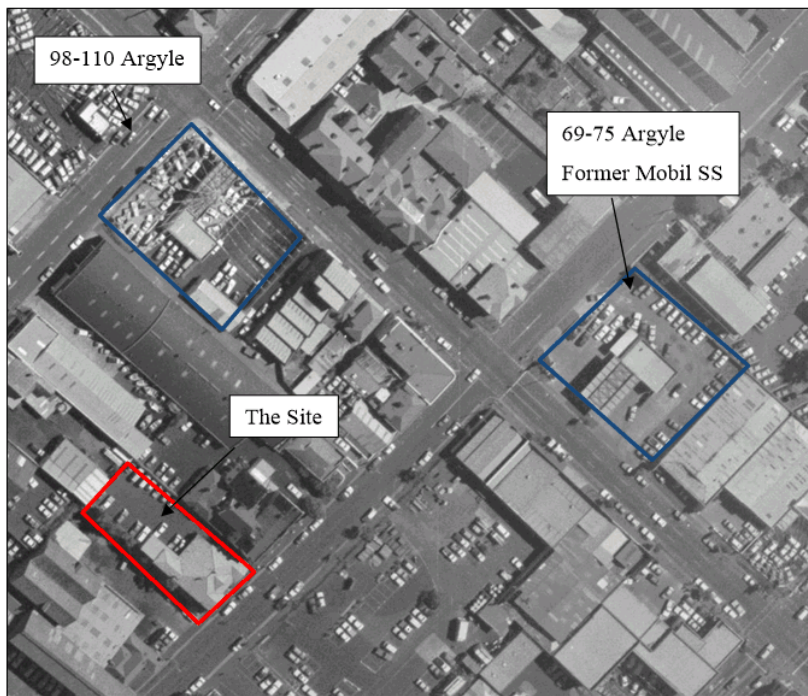


Plate 2 The 1989 Historical Aerial Photograph of the site (former service stations in Blue).

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Plate 3 The 1977 Historical Aerial Photograph of the site (former service stations in Blue).



Plate 4 The 1957 Historical Aerial Photograph of the site.

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3.5 Previous Site Investigations

GES is not aware of any previous site investigations for the site. GES is aware of the following investigations for neighboring properties:

- Pitt and Sherry, 2018 Phase I ESA for 40-44 Melville Street, Hobart
- GES, 2018a Limited Scope ESA for 27-29 Melville Street, Hobart.
- GES, 2018b Phase II ESA for 40-44 Melville Street, Hobart
- GES 2017, ESA 92-96 Argyle Street, Hobart
- GES 2019, ESA for 37-39 Melville Street, Hobart
- GES 2020, ESA for 72-80 Argyle Street, Hobart

It was the conclusion of the ESA reports for nearby properties that low level contamination in soil/fill is present in the general area consistent with inner city Hobart, and that no health risks for commercial land use were identified. Management of low-level contaminated soils was generally required during development works on the nearby properties.

3.6 Dangerous Goods Records (Workplace Standards)

It was confirmed with Worksafe Tasmania, that they do not hold any files for the site.

3.7 EPA Property Information Request

Due to COVID restrictions normal searches have been suspended, and public referred to the register of sites on the List map or to local council to obtain records. No registered contaminated sites are listed at the site or nearby.

3.8 Council Environmental Records

It was confirmed that HCC do not hold any contamination files for the site. However the following information regarding the site and neighboring properties was obtained from the Council's Potentially Contaminated Sites register.

- 37-47 Melville Street – Formally owned by Webster. Motor car dealers, engineers & garage, Iron/Steel works & Brewery operated on site and there may be possible hydrocarbons contamination. Site redeveloped into a gym.
- 70-82 Argyle Street – current carpark owned by UTAS, former fuel supplier and motor car, dealers, engineers and garages.
- 27-29 Melville Street – Former *Paul's Body Works*. Currently site has been redeveloped into office space.
- 47-53 Brisbane Street - *Honda Centre* – Vehicle servicing and sales.
- 35-43 Brisbane Street – Tilford – Vehicle servicing and sales.

3.9 Groundwater

3.9.1 Potential Up-Gradient Contamination Sources

The site is in the center of Hobart, as discussed in the previous sections of this report, there have been several potentially contaminating activities on sites close to the current site. The most likely potential source of upslope contamination is 98-110 Argyle Street, the former Ampol. However, soil testing at the former sheet metal works, Minties (92-96 Argyle street; GES, 2017) adjacent to that property confirmed that although there was low level metal contamination at that site (expected for that site use) there were no shallow detections of hydrocarbons. This suggests one of the following for the Minites site; groundwater is not contaminated; groundwater is traveling east away from Minites (and 35 Melville Street, as shown in Figure 6) or groundwater is contaminated but is at a sufficient depth that it is not impacting the site (Minties or 35 Melville Street)

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At the other proximal properties, the Fire Station, the former Mobil site, and 37-47 Melville Street; groundwater is likely to be traveling away from the current investigation area and has been discounted at a potential contaminating source for the site.

3.9.2 Downgradient Ecosystem Receptors

The surface of the site is sealed by concrete, asphalt and the existing building. Surface water/ groundwater from the site is likely to be captured by the storm water drains on the site and on Melville Street.

The closest ecological receptor is the Hobart Rivulet, approximately 350 m away and then the River Derwent at Sullivans, which is approximately 680 m away. It is unlikely that any potential impact from the site will impact downgradient ecosystem receptors, given the spatial separation and the comprehensive surface covering at the site.

3.9.3 Registered Water Bores

There are no Mineral Resources Tasmania Registered water bores within the central business district.

3.10 Potential Contamination Issues**3.10.1 Areas of Potential Concern**

The site has hosted office for over 50 years with a car park constructed sometime between 1957 and 1977 and therefore the carpark of the site is an area of potential concern from the drilling of oils or fluids from vehicles. Though it is thought that exposure to soil is limited, given sealed surface.

Given the urban setting there is the potential at the site for the following:

- Historical site fill;
- Historical building lead paint; and
- PAH's from possible old heating oils and in charcoal waste.

There is a very small possibility that activities on adjacent properties have impacted the soil and groundwater at the site.

3.10.2 Contaminants of Potential Concern

Contaminants Of Potential Concern (COPC) at the site could include the following:

- Total Petroleum/Recoverable Hydrocarbons (TPH/TRH);
- Mono Aromatic hydrocarbons: Benzene, Toluene, Ethylbenzene, Xylene, Naphthalene (BTEXN);
- Polynuclear Aromatic Hydrocarbons (PAHs); and
- Metals.

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4 FIELD INVESTIGATION PROCEDURES

4.1 Works Summary

One site visit was conducted on the 3rd of December 2020 and involved the hand auguring of two soil bores within the site. The soil bores were labeled as BH1 – BH2 and the approximate location of the soil bores is presented in Figure 7. The locations were chosen to be close to planned excavation for new access and the new storeroom.

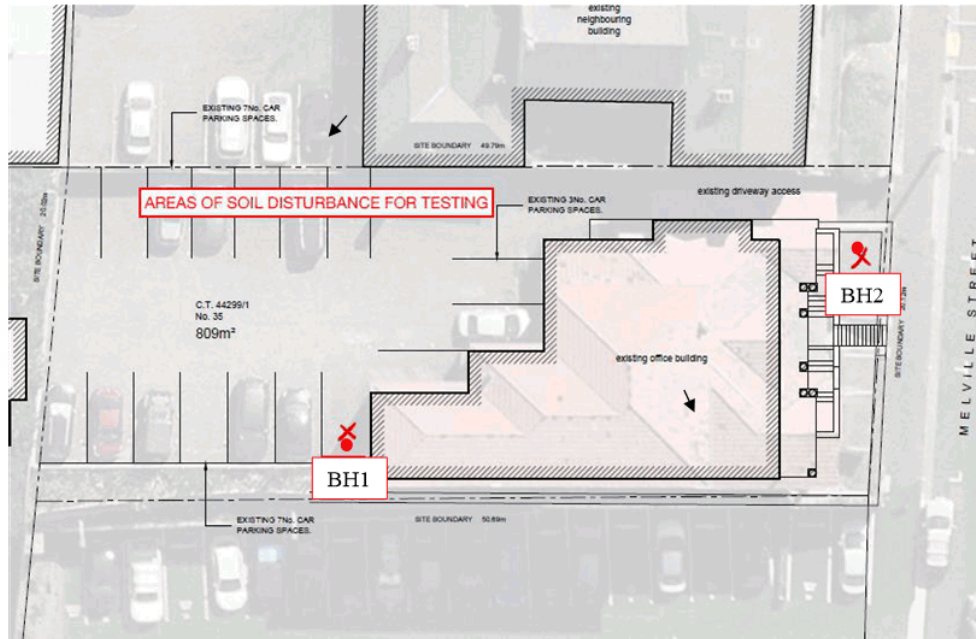


Figure 7 Borehole (BH1 to BH2) Investigation Areas

4.2 Soil Investigation

Site investigation works are summarised in Table 2.

Table 2 Summary of Site Investigation Works

Hole ID	Method of Investigation	Date of Sampling	Location Accuracy of sampling point
BH1 to BH2	Hand auger	3/12/20	Estimate with plans and site photographs

4.2.1 Borehole Drilling

At each of the bore locations, the following precautions were put in place to avoid disrupting underground service assets:

- Dial Before You Dig plans were obtained;

A total of two 65 mm diameter soil bores were hand augured for assessing site geology and sampling for any potential contamination impact.

4.2.2 Soil Sampling

Soil bore soil sampling was conducted per the National Environmental Protection Measure (NEPM 2013) and AS4482 sampling guidelines. Table 3 presents a summary of the soil assessment methodology adopted at the site.

*Environmental Site Assessment – 35 Melville Street***Table 3 Summary of Soil Sampling Methods**

Activity	Details / Comments
Drilling Method	Concrete was cored with a concrete corer and the soil bores were hand auger. Grab samples were collected.
Soil Logging	Logging the soil was conducted in accordance with the unified soil classification system (USCS) as detailed in AS1726 (1993).
Decontamination of Sampling Equipment	Quantum Clean Laboratory Detergent Decon 90 was used to decontaminate reusable sampling equipment which was triple rinsed, the final rinse was deionised water.
Laboratory Soil Sample Collection	In accordance with AS4482.2. All samples were collected using disposable nitrile gloves. A minimum number of samples were carefully selected which would provide sufficient information to identify hydrocarbon contamination in soils.
Sample preservation	Samples were placed into a jar for laboratory analysis. Soil jars were placed in a pre-chilled cool box with ice bricks.
Sample holding times	Sample holding times were within acceptable range (based on NEPM B3-2013) from collection to extraction.

4.2.3 Soil Analysis

Primary and QC samples were submitted to Analytical Laboratory Services (ALS) Springvale Avenue in Melbourne for analysis. A total of four samples were collected systematically for analysis. Analysis included TPH/TRH, PAH, BTEX and 15 Metals. One duplicate sample was also collected. Chain of Custody (COC) documentation was completed and is provided in Appendix 4.

Given that a full 15 metal suite was analysed, there was requirement to assess the following soil physical properties to determine soil threshold investigation levels:

- Soil grain class (sand/silt or clay)
- % Clay content;
- Cation exchange capacity; and
- Soil pH

The soil physical properties were assessed through site assessment and chemical properties were based on knowledge of similar soil types encountered around Hobart.

*Environmental Site Assessment – 35 Melville Street***5 QUALITY CONTROL**

All field and Laboratory Quality Assurance and Quality Control details are presented in Appendix 3.

5.1 Field

It is standard to expect up to 10% error in field duplication and up to 10% laboratory error. Therefore, in theory up to 20% error can be assumed on duplicate analysis. Some variation may exist in soil and groundwater because even though all efforts are made to split samples homogeneously, fragments of materials may bias samples in certain elements.

Relative Percentage Differences (RPDs) for the duplicate and triplicate samples where applicable are calculated using the method outlined below.

The acceptance criteria used for the RPDs depend on the levels of contaminants detected and the laboratory's Method Detection Limits (MDL). The closer the levels detected are to the MDL the greater the acceptable RPD.

RPDs are calculated as follows:

- RPD <50% for low level results (<20 * MDL)
- RPD <30% for medium level results (20-100 * MDL)
- RPD <15% for high level results (>100 * MDL)
- No limit applies at <2 * MDL

Field QA/QC procedures and compliance are summarised in Table 4.

Table 4 Field QA/QC procedures and Compliance

QA/QC Requirement	Completed	Comments
Appropriate sampling strategy used and representative samples collected	Yes	Sampling program was undertaken in accordance with AS4482.1-2005
Appropriate and well documented sample collection, handling, logging and transportation procedures.	Yes	Appropriate and well documented
Decontamination	Yes	Appropriate decontamination such as cleaning tools before sampling and between sample locations was undertaken
Chain-of-custody documentation completed	Yes	COC were completed in accordance with NEPM Schedule B2, Section 5.4.5 and transported under strict COC procedures. The signed COC documents are included in this report, which includes the condition report on arrival of samples to the Laboratory, cross checking of sample identification and paperwork and preservation method.
Required number of duplicate samples collected (1:20)	Yes	A single duplicate from 3 primary samples
QA/QC samples reported method detection limits within indicated guidelines.	Yes	RPD Exceedance for Cu, Mn, H and Chrysene (PAH).
Required numbers of field and rinse blank samples collected	No	One rinsate sample was collected. No field blank.
Samples delivered to the laboratory within sample holding times and with correct preservative	Yes	All samples were sent to the laboratory within holding times and correct preservative.

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5.2 Laboratory

Laboratory QA/QC procedures and compliance are summarised in Table 5.

Table 5 Laboratory QA/QC procedures

QA/QC Requirement	Compliance	Comments
All analyses NATA accredited	Yes	ALS Laboratories is NATA Accredited.
Appropriate analytical methods used, in accordance with Schedule B(3) of the NEPM	Yes	
Acceptable laboratory limits of reporting (LORs) adopted.	Yes	
Method Blanks: zero to <Practical Quantitation Limit (PQL)	Yes	There were no method blank value outliers.
Duplicate Samples: <30% to 50% RPD.	Yes	There were no Duplicate outliers for samples. Internal lab duplicate outliers for water for TRH not applicable to analysis results for soil.
Laboratory Control Samples: 70% to 130% recovery for soil; or 80% to 120% recovery for waters;	Yes	There were no Laboratory Control outliers.
Matrix spikes: 70% to 130% recovery for organics or 80%-120% recovery for inorganics	Yes	Spikes within limits.
Surrogates: 70% to 130% recovery	Yes	There were no surrogate recovery outliers for regular samples.
Analysis holding time outliers	Yes	No hold-time outliers exist.
Quality Control Sample Frequency Outliers	Yes	No outliers

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6 FIELD INVESTIGATION FINDINGS

6.1 Soil Bores

6.1.1 Geological Interpretation

The geology is consistent across the site and soil bore logs are presented in Appendix 6. Below the concrete or asphalt, is fill mixed with natural soil material, encountered to variable depths typically from 0.1metres below ground surface (mbgs) to 0.2mbgs; including a thin weak concrete slab in BH2. Below 0.2 m bgs is SILTY CLAY and in BH1 a CLAYEY SAND at 0.5mbgs. Both boreholes ceased at 0.6m bgs.

6.1.2 Grain Class Interpretation

Grain size classifications are applied to all soils at the site to determine threshold screening level concentrations for hydrocarbons (and chromium) to assess soil ecological and human health risks.

Grain class threshold values are determined based on either the:

- sample grain size (in the case of ecological screening levels or chromium limits); or
- average grain class overlying the sample point (when assessing petroleum vapour screening levels).

When assessing petroleum vapour intrusion screening levels, where soil is proposed to be excavated from the site, the excavated material is excluded from the grain class averaging.

All material is classified as CLAY, for the purposes of interpretation.

*Environmental Site Assessment – 35 Melville Street***7 SOIL ECOLOGICAL IMPACT ASSESSMENT****7.1 Protected Environmental Values**

The requirement for protecting soil from contaminated activities in Tasmania is managed under the Environmental Management and Pollution Control Act 1994 (EMPCA) which states in Part 5A:

(2) An area of land is a contaminated site if –

(a) there is in, on or under that area of land a pollutant in a concentration that –

(i) is above the background concentration; and

(ii) is causing or is likely to be causing serious or material environmental harm or environmental nuisance, or is likely to cause serious or material environmental harm or environmental nuisance in the future if not appropriately managed;

Potential soil impact at the site is assessed through application of the following environmental investigation guidelines.

7.2 NEPM (2013) Guidelines

The following ecological investigation guidelines are to be addressed to assess acceptable levels of risk to terrestrial ecosystems:

- NEPM (2013) Ecological Investigation Levels (EIL's) – have been developed for selected metal and organic substances. EIL's depend on specific soil and physicochemical properties and land use scenarios and generally apply to the top two (2) metres of the soil profile (NEPM 2013);
- NEPM (2013) Ecological Screening Levels (ESL's) – have been developed for selected petroleum hydrocarbon compounds and total petroleum hydrocarbon fractions. ESL's broadly apply to coarse and fine grained soils and various land use scenarios within the top two (2) metres of the soil profile (NEPM 2013).

Soil analytical results are compared against Ecological Screening Levels (ESL's) and Ecological Investigation Levels (EIL's) limits presented in Table 6.

Table 6 Summary of Soil Investigation Limits Considered at the Site based in NEPM (2013) ASC

Investigation Levels (IL)	Analytes Investigated						
	Hydrocarbons				Metals		DDT
	BTEX	TRH (F1 to F4)	Benzo(a) pyrene (PAH)	Naphthalene (PAH)	Zn, Cu, Cr(III), Ni & As	Lead	
ESL's	Analysed	Analysed	Analysed				
EIL's				Analysed	Analysed	Analysed	Not Analysed

*Environmental Site Assessment – 35 Melville Street***7.3 Guidelines****7.3.1 Ecological Screening Levels**

The following compounds were compared against NEPM (2013) Ecological Screening Levels (ESL's):

- BTEX;
- F1 to F4 TRH; and
- Benzo(a)pyrene

Selection of ESL threshold investigation limits are set out in the NEPM (2013) guidelines and require classification of the soil according to:

- Land use sensitivity:
 - Areas of ecological significance
 - Urban residential and public open space; and
 - Commercial and industrial.
- Dominant particle size passing through a 2 mm sieve into:
 - Coarse – sand sizes and greater; and
 - Fine – clay and silt sizes.

Adopted NEPM (2013) soil and land use classifications are presented below.

7.3.2 Ecological Investigation Levels

The following compounds were compared against Environmental Investigation Levels:

- Lead;
- Nickel;
- Chromium;
- Zinc;
- Copper;
- Arsenic; and
- Naphthalene.

There was a requirement to classify the soil according to physicochemical properties given that the above listed compounds. Adopted physicochemical parameters are presented in the results tables.

Selection of EIL threshold investigation limits are set out in the NEPM (2013) guidelines and require classification of the soil per specific soil and physicochemical properties which are presented in the results tables. The adopted land use scenarios are presented in Table 7, commercial and industrial guidelines were selected because it is more fitting for the current land use.

Table 7 Adopted Land Use Scenario For the Various Soil Bores

Land Use Scenario	Applicable Soil Bores
Areas of Ecological Significance	
Urban Residential & Public Open Space	
Commercial & Industrial	All soil bores

Based on a preliminary assessment of site soil conditions, the following physicochemical properties are applied to assess guideline EIL's:

- Clay content consistent with field observations;
- A cation exchange capacity (CEC) consistent with Table 8.

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Table 8 Cation Exchange, Clay content and pH, Adopted For the Site

USCS	Clay %	CEC	pH
R	0	10	4.5
GW	0	10	4.5
GP	0	10	4.5
GM	10	15	4.5
GC	30	20	4.5
SW	0	10	4.5
SP	0	10	4.5
SM	10	15	4.5
SC	20	20	4.5
ML	30	20	4.5
CL	100	35	4.5
OL	50	35	4.5
MH	30	35	4.5
CH	100	45	4.5
OH	100	60	4.5
PT	100	80	4.5
P	0	0	4.5
CL	100	35	4.5
CI	100	35	4.5

7.4 Findings

7.4.1 Ecological Screening Levels

Laboratory analytical results for soil are presented in Appendix 5. Table 9 compares all soil analytical results relevant to ESLs guideline limits. Concentrations which exceeded laboratory limits of reporting (LOR) are highlighted in bold, and ESL exceedances are highlighted with a colored cell.

Two samples exceeded the ESL guideline limits; in both samples Benzo (a) pyrene exceeded ESL limits in shallow soil collected from 0.2-0.6 m bgs.

Given the locations are currently under concrete or asphalt and it will not be exposed rain, there is a low risk that the soil will leach into the groundwater and cause offsite risks to the ecosystem unless excavated and left exposed.

Table 9 Summary of Soil Analytical Results Compared with Ecological Screening Level's

NEPM Ecological Screening Levels for Soil				BTEX				PAH	TRH			
Bold - Indicates LOR Exceedances X - Indicates Sample has been Excavated				Benzene	Toluene	Ethylbenzene	Xylenes	Benzo(a)pyrene	F1 (C6 - C10)	F2 (>C10 - C16)	F3 (>C16 - C34)	F4 (>C34 - C40)
Colour Shading - Indicates ESL Exceedances: >1 x, * 2-5 x, ** 5-20 x, *** 20-50 x, **** >50 x												
Sample ID	Sample Date	Soil Texture Class (fine / coarse)	Land Use									
				mg/kg LOR 0.2	mg/kg LOR 0.5	mg/kg LOR 0.5	mg/kg LOR 0.5	mg/kg LOR 0.5	mg/kg LOR 10	mg/kg LOR 50	mg/kg LOR 100	mg/kg LOR 100
BH1 0-0.2 X	3/12/20	F	COM/IND	<0.2	<0.5	<0.5	<0.5	0.6	<10	<50	<100	<100
BH1 0.5-0.6	3/12/20	F	COM/IND	<0.2	<0.5	<0.5	<0.5	2*	<10	<50	140	<100
BH2 0.3-0.5	3/12/20	F	COM/IND	<0.2	<0.5	<0.5	<0.5	5.3**	<10	<50	370	100

*Environmental Site Assessment – 35 Melville Street***7.4.2 Ecological Investigation Levels**

Laboratory analytical results are presented in Appendix 5. Table 10 compares all soil analytical results against relevant ecological investigation limits (EIL's) for commercial land use. Concentrations which exceeded laboratory LOR are detailed in the table and EIL exceedances would be highlighted with a colored cell. Zinc exceeded the EIL guideline limits in all sample and copper in one sample.

Table 10 Soil Analytical Results Compared Against Ecological Investigation Levels

NEPM Ecological Investigation Levels for Soil						Copper (CEC)	Copper (pH)	Nickel	Zinc	Chromium III	Lead	Arsenic	Naphthalene
Bold - Indicates LOR Exceedances													
X - Indicates Sample Within Inferred Excavation													
Colour Shading - Indicates EIL Exceedances: >1 x, * 2-5 x, ** 5-20 x, *** 20-50 x, **** >50 x													
Sample ID	Sample Date	EIL Land Use Sensitivity Class	Soil CEC (cmolc/kg)	Soil pH	Soil Texture Class (fine /coarse)	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg
BH1 0-0.2 X	3/12/20	COM/IND	35	4.5 (3)	F	32	32	6	233	7	80	<5	<1
BH1 0.5-0.6	3/12/20	COM/IND	35	4.5 (3)	F	64	64	8	269	6	90	6	<1
BH2 0.3-0.5	3/12/20	COM/IND	35	4.5 (3)	F	105	105	17	799*	21	400	33	<1

*Environmental Site Assessment – 35 Melville Street***8 SOIL HUMAN HEALTH DIRECT CONTACT ASSESSMENT****8.1 Guidelines**

Guidelines presented herein are based on potential exposure of human receptors to soil impact which may include:

- Trench workers repairing or building services (typically to 1 m bgs). This classification is not dependent on the land use class.
- Onsite inhabitants which may be exposed to potential shallow soil impact in non-paved areas of the site; and
- Onsite excavation works which may include potential swimming pools (up to 3 m bgs); basement carpark; and deep foundations.

8.1.1 Land Use Classification

The NEPM (2013) guidelines have been referenced to ensure that the correct land use and density category has been adopted for the site and the surrounding properties (where applicable). As per NEPM (2013) guidelines, the adopted land use class is dependent on the building density and the opportunity for soil access by site occupants (exposure to potentially impacted soil). Aspects needing to be considered include:

- Whether the site is of sensitive land use such as a childcare center, preschool, primary school or aged care facility in which case land use Class A is applicable;
- The percentage of paved area to determine direct contact exposure risk and therefore classification as low or high density; and
- Classification based on residential, recreational or commercial/industrial setting.

8.1.2 Adopted Land Use Classification

The adopted land use class is presented in Table 11.

Land use class is based on the opportunity for soil access as per NEPM (2013) guidelines. A land use class of D has been applied to all soil samples which is consistent with the surrounding setting with little opportunity for access to impacted soil.

Table 11 Summary of Land Use Setting and Density for Determining Exposure Risk

Soil Bores	Relevant Properties	Adopted Land Use Class
All soil bores	The site – commercial workers	D
All soil bores	The site – intrusive maintenance workers	D

8.1.3 Health Investigation & Screening Levels

The main exposure pathways and methods for assessing short term health risk from contaminated soils are presented in Table 12. Vapour inhalation risk is addressed in Section 10 of this report.

Table 12 Summary of Exposure Pathways and Preliminary (Tier 1) Methods for Assessing Human Exposure Risk

Exposure Scenario	Contaminant Type	Tier 1 Assessment Method	Reference
Vapour Inhalation (Petroleum Vapour Intrusion – PVI)	Petroleum Hydrocarbons	HSLs (addressed in PVI section)	CRC CARE (Friebel & Nadebaum, 2011)
Dermal Contact		HSLs	
Dust Inhalation	Metals PAHs Organochlorides Phenols Herbicides Other Pesticides	Health Investigation Levels (HILs)	NEPM (2013)
Soil Ingestion			

PVI – Petroleum Vapour Intrusion

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8.2 Findings

8.2.1 Dermal Contact - Petroleum Hydrocarbons

Laboratory analytical results are presented in Appendix 5. Table 13 presents soil hydrocarbon analytical results compared against CRC CARE (Friebel & Nadebaum, 2011) Health Screening Levels (HSL) guidelines for assessing dermal contact risk. Concentrations which exceeded laboratory LOR would be highlighted in bold, and HSL exceedances would be highlighted with a colored cell indicating the highest HSL land used class which is exceeded.

There were no exceedances above the HSL D guidelines for *commercial land use* for Dermal Contact.

Table 13 Soil Analytical Results Compared Against CRC CARE Guidelines for Dermal Contact

CRC CARE Health Screening Level		EP080: BTEXN					EP080/071: TRH			
		Benzene	Toluene	Ethylbenzene	Total Xylenes	Naphthalene	C6 - C10 Fraction	>C10 - C16 Fraction	>C16 - C34 Fraction	>C34 - C40 Fraction
Dermal Contact Hazard from Soil Hydrocarbons ¹										
Units		mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg
LOR		0.2	0.5	0.5	0.5	1	10	50	100	100
HSL D Commercial/Industrial		430	99000	27000	81000	11000	26000	20000	27000	38000
Intrusive Maintenance Worker		1100	120000	85000	130000	29000	82000	62000	85000	120000
Date	Sample									
3/12/2020	BH1 0-0.2 X	<0.2	<0.5	<0.5	<0.5	<1	<10	<50	<100	<100
3/12/2020	BH1 0.5-0.6	<0.2	<0.5	<0.5	<0.5	<1	<10	<50	140	<100
3/12/2020	BH2 0.3-0.5	<0.2	<0.5	<0.5	<0.5	<1	<10	<50	370	100

8.2.2 Dust Inhalation & Soil Ingestion

Laboratory analytical results are presented in Appendix 5. Soil analytical results are compared against combined dust inhalation and soil ingestion risk is assessed through the application of NEPM (2013) Health Investigation Levels (HILs) for exposure to soil contaminants are presented in Table 14. Concentrations which exceeded laboratory LOR would be highlighted in bold except for the metals, and HIL exceedances would be highlighted with a colored cell indicating the highest HIL land used class which is exceeded.

There are no perceived exposure pathways for dust inhalation and soil ingestion for *commercial land use* at the site and there were no HIL D guidelines exceedances.

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Table 14 Soil Analytical Results Compared Against NEPM (2013) Health Investigation Limit Guidelines

Bold - Indicates LOR Exceedance in Non Metallic Compounds		EA055: Moisture Content	EG005T: Total Metals by ICP-AES														EG035T: Total Recoverable Mercury by FIMS	EP075(SIM)B: Polynuclear Aromatic Hydrocarbons																			
NEPM Health Investigation Levels (HIL's)		Moisture Content	Arsenic	Barium	Beryllium	Boron	Cadmium	Chromium Total	Cobalt	Copper	Lead	Manganese	Nickel	Selenium	Vanadium	Zinc	Mercury	Naphthalene	Acenaphthylene	Acenaphthene	Fluorene	Phenanthrene	Anthracene	Fluoranthene	Pyrene	Benz(a)anthracene	Chrysene	Benz(b)fluoranthene	Benz(k)fluoranthene	Benz(a)pyrene	Indeno(1,2,3-cd)pyrene	Dibenz(a,h)anthracene	Benz(g,h,i)perylene	PAHs	Benz(a)pyrene TEQ (WHO)		
Dust Inhalation and Soil Ingestion Assessment			mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	
X - Indicates Sample Within Proposed Excavation Zone			%	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg
Units			%	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg
LOR		1	5	10	1	50	1	2	2	5	5	5	2	5	5	5	0.1	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5	
HIL D Commercial/Industrial	<input checked="" type="checkbox"/> HIL D		3000		500	300000	900		4000	240000	1500	60000	6000	10000		400000	730																	4000	40		
Sample date: Sample ID																																					
3/12/2020 BH1 0-0.2 X		4.6	<5	70	<1	<50	<1	7	7	32	80	185	6	<5	30	233	<0.1	<0.5	<0.5	<0.5	<0.5	1.1	<0.5	1.2	1.3	0.6	0.6	0.6	<0.5	0.6	<0.5	<0.5	<0.5	6	0.7		
3/12/2020 BH1 0.5-0.6		4.5	6	80	<1	<50	<1	6	12	64	90	285	8	<5	50	269	0.1	0.6	1.0	<0.5	<0.5	7.8	1.5	6.0	6.1	2.3	2.0	2.2	0.7	2.0	0.9	<0.5	1.1	34	2.6		
3/12/2020 BH2 0.3-0.5		13.7	33	240	<1	<50	1	21	12	105	400	366	17	<5	38	799	0.3	<0.5	0.8	<0.5	<0.5	3.2	0.7	7.0	7.2	3.6	3.2	5.6	1.2	5.3	2.9	0.7	4.0	45	7.4		

*Environmental Site Assessment – 35 Melville Street***9 INDOOR INHABITANT PVI ASSESSMENT – HSL's**

This PVI assessment has been conducted in accordance with relevant CRC CARE Technical Documentation and NEPM 2013 guidelines presented in references section of this report. The HSL assessment approach is generally the first (Tier 1) investigation phase adopted for assessing PVI risk at petroleum hydrocarbon (PHC) impacted sites. HSL guidelines have been applied for samples collected from the site to account for risks that may be associated with volatile hydrocarbon vapour intrusion into confined spaces where there may be an inhalation risk through longer term exposure. This does not constitute a full vapour risk assessment but provides additional information from which to further quantify any risk.

A detailed investigation (Tier 2 to 3) is recommended over an HSL assessment where an acute risk has been identified at the site (CRC CARE 2013) because of:

- Migrating product on surface soils beneath buildings;
- Strong PHC odors;
- Flammable risk in confined spaces; and/or
- Health complaints from occupants.

Based on the preliminary site visit, none of the above conditions have been identified at the site. If the outcome of this Tier 1 assessment reveals HSL exceedances for hydrocarbon vapour intrusion, a more detailed (Tier 2) assessment will be required to further evaluate the human health risk.

PVI risk is initially interpreted through the development of HSL threshold limits from the following classifications:

- The geology and or hydrogeology of the investigation point; and
- Land use sensitivity:

The resulting HSL threshold limits are compared with laboratory analytical results.

9.1 Land Use Class

For surrounding properties, the potential PVI risk is characterized through application of CRC CARE HSL's for each individual properties based on their existing land use (NEPM 2013; Friebe & Nadebaum 2010). The CRC CARE guidelines have been referenced to ensure that the correct land use and density category has been adopted for surrounding land use to ensure health risks are consistent with the HSL models. Aspects considered include the:

- Sensitivity of the existing or potential land use;
- Percentage of paved area for defining potential vapour migration risk;
- Type of basement garage which may influence the confinement of PHC vapors;
- Presence of a slab or cavity for discerning vapour intrusion risk.

Site land use class and land use class of downgradient receptors (where onsite HSL exceedances have been identified) are indicated in Table 15.

Table 15 Summary of Land Use Setting and Density for Determining Exposure Risk

Property	Land Use Class	Land Use Density	Paved Area	Sensitive Land Use
35 Melville Street	D	High	100%	No

*Environmental Site Assessment – 35 Melville Street***9.2 Selected Media for Assessing PVI Risk**

Table 16 presents a summary of the preferred HSL approach to assessing PVI risk.

Table 16 Preferred Methods for Determining Site PVI Risk

Media Analysed	Method	Limitations	Order of Preference
Soil Gas	Concentrations of a soil gas through a soil vapor probe	This approach provides the most reliable data in interpreting PVI risk, although direct modelling should be applied if concentrations exceed HSL threshold limits.	Primary
Groundwater	Concentrations of PHC in groundwater through deployment of monitoring wells	Determining PVI risk based on groundwater is inherently conservative when interpreting vapour risk to account for not readily discernable preferential pathways. Reference may be drawn to alternative assessment approaches: 1) Application of site specific conditions to the CRC CARE model for assessing PVI risk 2) Soil gas interpretation for areas where a PVI risk is identified from groundwater analysis.	Secondary
Soil	Concentrations of PHC in soil	Concentrations in soil may be subject variability due to soil moisture, organic content and oxygen ingress all which create significant bias in threshold values. Reliance is place on utilizing groundwater analysis over soil.	Tertiary

9.3 Soil**9.3.1 Guidelines**

Soil HSL's are specific to each soil sample and involves characterisation based on the following variables:

- Land use class;
- Dominant grain size class of material at the soil sample depth or based on the dominant grain class of the backfill material based on US Agriculture Soil Classification System (SCS) and partitioning into either sand, silt or clay; and
- Classifying soil according to depth ranges: 0 to 1 m; 1 to 2 m; 2 to 4 m; and greater than 4 m;

Table 17 summarises soil bores and land use classification used to characterise PVI risk for various properties near the site.

Table 17 Classification Used to Assess Petroleum Vapour Intrusion Risk to Local Receptors from Soil

Property	Soil Bores	Land Use Class
35 Melville Street	All bores	D

9.3.2 Findings

Laboratory analytical results are presented in Appendix 5. Table 18 presents soil hydrocarbon analytical results compared against NEPM (2013) health screening levels (HSL). Concentrations which exceeded laboratory LOR would be highlighted in bold, and HSL exceedances would be highlighted with a colored cell indicating the highest HSL land used class which is exceeded.

There were no HSL D exceedances, indicating a low PVI risk to commercial occupants at the site.

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Table 18 Soil Analytical Results Compared Against HSL D

Soil Hydrocarbon HSL's for Assessing Indoor Vapour Intrusion (NEPM 2013)					EP080: BTEXN					EP080/071: TRH	
Soil Sample Analysis					Benzene	Toluene	Ethylbenzene	Total Xylenes	Naphthalene	F1	F2
Bold - Indicates LOR Exceedances											
Colour Shading - Indicates HSL Exceedances: >1 x, * 2-5 x, ** 5-20 x, *** 20-50 x, **** >50 x											
Sample ID	Sample Date	Depth Class	Grain Class	HSL	mg/kg LOR 0.2	mg/kg LOR 0.5	mg/kg LOR 0.5	mg/kg LOR 0.5	mg/kg LOR 1	mg/kg LOR 10	mg/kg LOR 50
BH1 0-0.2	3/12/2020	>SLAB/CUT RL	CLAY	D	<0.2	<0.5	<0.5	<0.5	<1	<10	<50
BH1 0.5-0.6	3/12/2020	0 - 1	CLAY	D	<0.2	<0.5	<0.5	<0.5	<1	<10	<50
BH2 0.3-0.5	3/12/2020	0 - 1	CLAY	D	<0.2	<0.5	<0.5	<0.5	<1	<10	<50

10 TRENCH WORKER PVI ASSESSMENT – HSL's

10.1 Classification

The following Health Screening Assessment is based on hydrocarbon vapour intrusion risk to subsurface excavation workers within excavations. This is assessed through analysis of vapors from soil and soil vapours. Groundwater is generally not used to assess risk as threshold limits for all depth and grain classes are non-limiting. Land use classes are not applicable when assessing vapour intrusion into trenches.

Soil and soil vapour HSL's for assessing hydrocarbon risk to maintenance workers are based on CRC CARE Technical Report 10 guidelines (Friebel & Nadebaum 2011) and the following variables:

- Dominant grain size class of material at the soil sample depth or based on the dominant grain class of the backfill material based on US Agriculture Soil Classification System (SCS) and partitioning into either sand, silt or clay; and
- Classifying soil according to depth ranges: 0 to 2 m; 2 to 4 m; 4 to 8 m; and greater than 8 m;

10.2 Findings

Laboratory analytical results are presented in Appendix 5. Table 19 Summary of Soil Analytical Results Compared against HSL's for Assessing PVI Risk to Trench Workers. If concentrations exceeded laboratory LOR they would be highlighted in bold, and if there were any HSL exceedances they would be highlighted with a colored cell. There were no results above the laboratory LOR and there were no exceedances of the CRC CARE HSL guidelines for Assessing PVI Risk to Trench Workers.

Table 19 Summary of Soil Analytical Results Compared against HSL's for Assessing PVI Risk to Trench Workers

CRC CARE Health Screening Level Assessment for PHC Inhalation Risk To Trench Workers From Soil Sample Analysis					EP080: BTEXN					EP080/071: TRH	
Bold - Indicates LOR Exceedances Dark Grey Shading - Indicates HSL Exceedances: >1 x, * 2-5 x, ** 5-20 x, *** 20-50 x, **** >50 x					Benzene	Toluene	Ethylbenzene	Total Xylenes	Naphthalene	C6 - C10 Fraction	>C10 - C16 Fraction
Sample ID	Sample Date	Depth Class	Grain Class	HSL							
BH1 0-0.2	3/12/2020	4 to 8m	CLAY	D	<0.2	<0.5	<0.5	<0.5	<1	<10	<50
BH1 0.5-0.6	3/12/2020	0 to 2m	CLAY	D	<0.2	<0.5	<0.5	<0.5	<1	<10	<50
BH2 0.3-0.5	3/12/2020	0 to 2m	CLAY	D	<0.2	<0.5	<0.5	<0.5	<1	<10	<50

*Environmental Site Assessment – 35 Melville Street***11 SOIL DISPOSAL ASSESSMENT****11.1 Guidelines**

Soil which is excavated from the site for landfill disposal is to be assessed against Information Bulletin 105 (IB105) for Classification and Management of Contaminated Soil for Disposal. The Environmental Protection Authority (EPA) uses 4 categories to classify contaminated soil as per Table 10:

- (Level 1) Fill Material;
- (Level 2) Low Level Contaminated Soil;
- (Level 3) Contaminated Soil; and
- (Level 4) Contaminated Soil.

Fixed numerical values are presented for soil concentrations and leachable fraction concentrations.

Table 10 Summary of IB105 Classification Guidelines

	Classification (with reference to Table 2)	Controlled Waste¹	Comments
Fill Material² (Level 1)	Soil that exhibits levels of contaminants below the limits defined under <i>Fill Material</i> in Table 2.	Unlikely	Soil classified as <i>Fill Material</i> can still be a 'pollutant' under the <i>Environmental Management and Pollution Control Act 1994</i> and needs to be responsibly managed.
Low Level Contaminated Soil (Level 2)	Soil that exhibits levels of contaminants above the limits defined under <i>Fill Material</i> but below the limits defined under <i>Low Level Contaminated Soil</i> in Table 2.	Likely	Where leachable concentrations have not been prescribed, maximum total concentrations will be used to classify the soil.
Contaminated Soil (Level 3)	Soil that exhibits levels of contaminants above the limits defined under <i>Low Level Contaminated Soil</i> but below the limits defined under <i>Contaminated Soil</i> in Table 2.	Yes	Where leachable concentrations have not been prescribed, maximum total concentrations will be used to classify the soil.
Contaminated Soil for Remediation (Level 4)	Soil that exhibits levels of contaminants above the limits defined under <i>Contaminated Soil</i> in Table 2 (regardless of the maximum total concentrations) is generally not considered acceptable for off-site disposal without prior treatment.	Yes	Soil that contains contaminants that do not have criteria for leachable concentrations (e.g. petroleum hydrocarbons), and the levels of contaminants exceed the maximum total concentrations listed in <i>Contaminated Soil</i> , are generally classified as <i>Contaminated Soil for Remediation</i> .
¹ Controlled Waste is defined in the <i>Environmental Management and Pollution Control Act 1994</i> .			
² Criteria for <i>Fill Material</i> are the limits set by the Director for the purposes of R.9(2)(a)(ii) in the <i>Regulations</i> .			

11.2 Findings

The soil samples were compared against IB105 guidelines for soil disposal, see Table 11. All material tested are classified as Level 2 Material; except for Benzo(a)pyrene and PAH in BH2 which is at level 3 for total concentrations.

As a precaution, any soil excavated from the site should be managed in accordance with IB 105 to ensure that does not pose a risk to human health or the environment. This must include adequate stockpiling, sampling and testing for disposal by licensed contractors.

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Table 11 Soil Analytical Results Compared Against IB105 Investigation Limits for soil Disposal

Information Bulletin 105 Classification and Management of Contaminated Soil For Disposal		Arsenic	Barium	Beryllium	Cadmium	Chromium Total	Copper	Cobalt	Lead	Manganese	Mercury	Nickel	Selenium	Zinc	Benzo(a)pyrene	C6 - C9 Fraction	C10 - C36 Fraction (sum)	Sum of polycyclic aromatic hydrocarbons	Benzene	Toluene	Ethylbenzene	Total Xylenes
Unit		mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg	mg/kg
LOR		5	10	1	1	2	5	2	5	5	0.1	2	5	5	0.5	10	50	0.5	0.2	0.5	0.5	0.5
Investigation Level Selected																						
IB105 Level 1		<20	<300	<2	<3	<50	<100	<100	<300	<500	<1	<60	<10	<200	<0.08	<65	<1000	<20	<1	<1	<3	<14
IB105 Level 2		20	300	2	3	50	100	100	300	500	1	60	10	200	0.08	65	1000	20	1	1	3	14
IB105 Level 3		200	3000	40	40	500	2000	200	1200	5000	30	600	50	14000	2	650	5000	40	5	100	100	180
IB105 Level 4		750	30000	400	400	5000	7500	1000	3000	25000	110	3000	200	50000	20	1000	10000	200	50	1000	1080	1800
3/12/2020	BH1 0-0.2 X	<5	70	<1	<1	7	32	7	80	185	<0.1	6	<5	233	0.6	<10	<50	6	<0.2	<0.5	<0.5	<0.5
3/12/2020	BH1 0.5-0.6	6	80	<1	<1	6	64	12	90	285	0.1	8	<5	269	2	<10	110	34.2	<0.2	<0.5	<0.5	<0.5
3/12/2020	BH2 0.3-0.5	33	240	<1	1	21	105	12	400	366	0.3	17	<5	799	5.3	<10	430	45.4	<0.2	<0.5	<0.5	<0.5

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12 CONCEPTUAL SITE MODEL

It should be noted that the area onsite investigated was limited to the footprint of the redevelopment. Any changes to the development or proposed site uses, may trigger the need to reassess the analytical results against different investigation levels or conduct further onsite investigations.

12.1 Potential & Identified Sources of Contamination

12.1.1 Potential onsite Contamination

The primary potential sources of contamination impact in the urban setting of the investigation area includes the following, though probably limited exposure given the site is sealed by concrete/asphalt:

- The urban setting – heavy metals from historical building or historical site fill – low level detections within safe guideline levels for Human Health; and
- PAHs from heating oil tanks/ coal or charcoal burning – low level detections within safe guideline levels for Human Health.

Given the historical use of the site there may have been other areas at the site where potentially contaminating activities have occurred. GES is not aware of any other such activities at the time this report was written.

12.1.2 Confirmed Primary Source

No primary source of contamination have been identified on site with the exception of low level metal contamination.

12.1.3 Potential Primary Sources

There may be unknown potential sources of onsite or offsite impact (outside of the sampling areas) which GES are unaware of and therefore have not been investigated within this assessment.

12.1.4 Potential Offsite Contamination

Potentially contaminating activities may have occurred at the following locations;

- 69-75 Argyle Street; Former Mobil Service Station – if contaminated groundwater is present it is unlikely to impact the site, as groundwater is likely travelling east away from the site;
- 77-79 Argyle Street; Fire Station with known USTs – if contaminated groundwater is present it is unlikely to impact the site, as groundwater is likely travelling east away from the site;
- 98-110 Argyle Street; Co-operative Motors (Former Ampol Service Station). (GES, 2017 confirmed that there was not hydrocarbon impact affecting 92-96 Argyle Street so it is likely to assume that no impact from 98-110 Argyle street is impacting the current site.
- 37-47 Melville street, former webster vehicle workshop, located down gradient of the site, the site is now redeveloped and known soil contamination removed. Considered very unlikely to impact the site.
- 27 Melville Street, former bodyworks, site now redeveloped into offices, no contamination identified of concern during redevelopment.

Given the site has been in an urban setting for over 150 years, there may be residual low level contamination from building and or road surfacing materials such as paints and asphalt mix as well as contamination from leaded fuel exhaust fallout.

12.1.5 Potential Secondary Sources of Contamination

No secondary sources of contamination has been identified.

12.2 Potential Receptors

The following presents a summary of all potential receptors considered in the assessment.

Environmental Site Assessment – 35 Melville Street

12.2.1 Potential Future Onsite Users

Although contamination has not exceeded guideline limits, potential future onsite receptors are presented in

Table 123.

Table 123 Summary of Potential Future Onsite Receptors

Medium	Specific Onsite Receptor
Soil Impact	Future site commercial workers involved soil removal – redevelopment phase
	Future trench workers - ongoing
	Future onsite inhabitants (grounds and maintenance workers) - ongoing
	Ecological receptors

12.2.2 Excluded Ecological Receptors

Despite low level detections of B(a)p and heavy metals for ESL and EIL guidelines, all ecological receptors have been excluded for the following reasons:

1. The soil at the site is covered by either concrete, asphalt, or building or both and will not be exposed to groundwater percolation following redevelopment; and
2. The closest ecological receptor is the Hobart Rivulet which is spatially separated from the site by approximately 350 m.
3. This conclusion is based upon implementation of a soil and water management plan (SWMP) for all excavation works.

12.2.3 Potential Offsite Human Receptors

No human health risks have been identified and therefore it is very unlikely any potential impact from the site would impact offsite human receptors.

12.3 Transport Mechanisms and Exposure Routes

Figure 5 illustrates the potential pathways, receptors and exposure pathways of contamination between those sources and receptors. No plausible contamination or contamination exposure pathways have been identified.

12.3.1 Incomplete Contaminant Exposure Pathways

No contamination has been identified that would adversely impact human health. Therefore, all exposure pathways are currently incomplete.

12.3.2 Potential Pathways

As the heavy metal impacted soil does not exceed commercial guideline limits therefore a risk to site development workers is not apparent.

12.3.3 Plausible Contaminant Exposure Pathway Details

Plausible exposure pathways have not been identified at the site for soil or groundwater contamination.

Environmental Site Assessment – 35 Melville Street

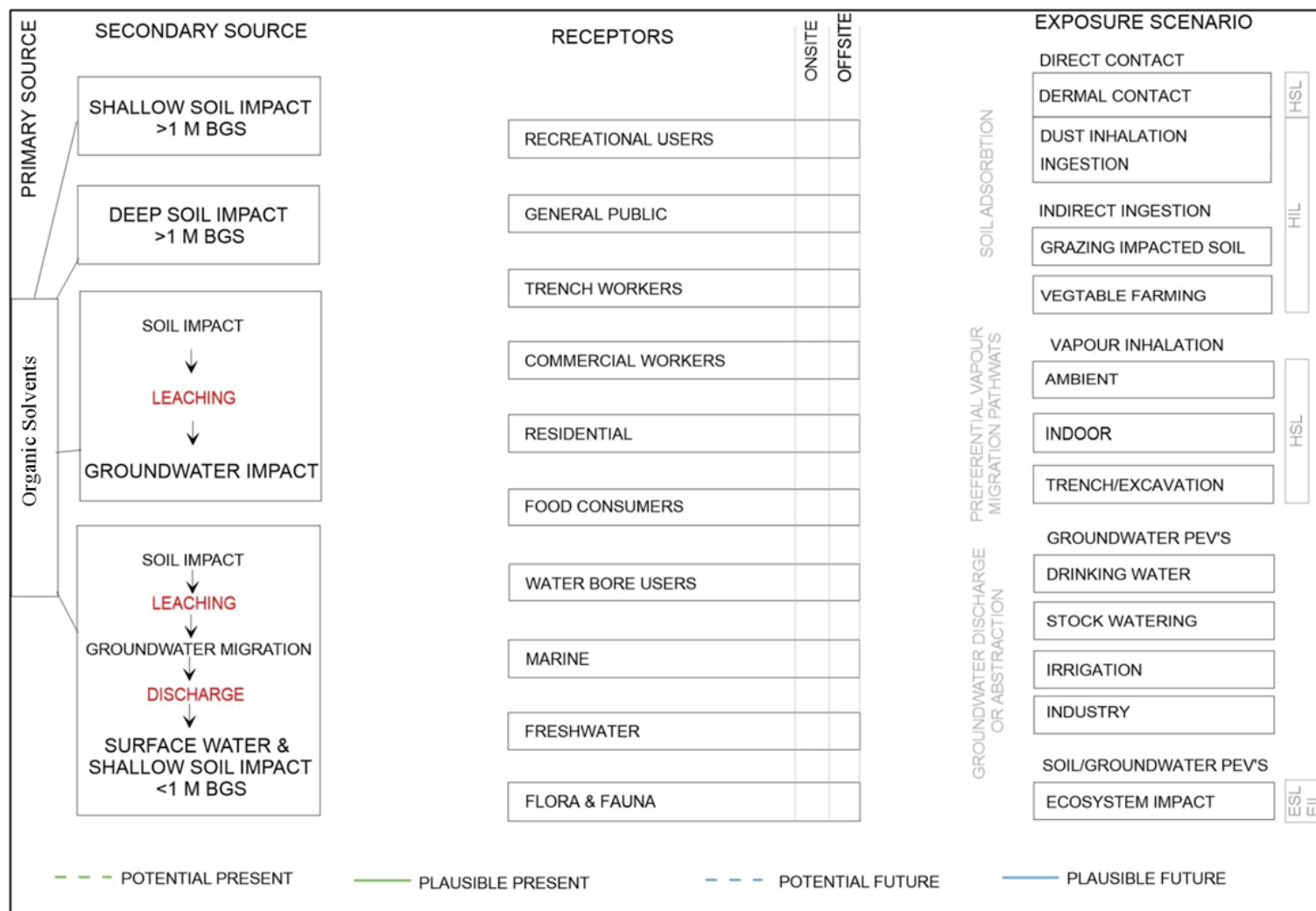


Figure 5 Conceptual Site Model Identifying Contamination Source, Receptors and Transport Mechanisms/Exposure Routes

13 CONCLUSIONS

13.1 Desktop Assessment

From the desktop assessment, it is concluded that:

- The geology of the site is mapped as Jurassic dolerite and Triassic sandstone.
- The site ranges in elevation from approximately 20 to 24 m AHD over 26 m with a 5% gradient to the South.
- The surface of the site is almost entirely covered by concrete, asphalt, and the existing building. Rainfall flow onsite is directed from the roof via gutters and downpipes and the carpark area into storm water drains. The surrounding area is largely paved surfaces of bitumen on the roads, concrete footpaths and densely spaced building; thus opportunity for water to infiltrate the groundwater system is greatly limited.
- The hydrogeology of the area is likely to consist of groundwater moving parallel with slope to the south from the site towards Elizabeth Street and the Hobart Rivulet and ultimately the River Derwent at Sullivans Cove.
- The Hobart Rivulet is the closest ecological receptor which is approximately 350 m away and then the River Derwent at Sullivans, which is approximately 680 m away. It is unlikely that any potential impact from the site will impact downgradient ecosystem receptors, given the spatial separation and the comprehensive surface covering at the site.
- Based on a review of the historical aerial photographs ranging from 1957 to 1989; The site appears to have had little change over the past 60 years;
- Surrounding sites were identified as having potentially contaminating activities; however, due to the topography and the inferred groundwater contours it is unlikely that potential impact from these sites have migrated to the investigation area.
- Worksafe Tasmania do not hold any files regarding potentially contaminating activities at the site.
- The site has not hosted a known potentially contaminating activity for the past 60 years and the only potential concern is possible site fill and any leakage from parked cars.
- Given the urban setting there is the potential at the site for the following:
 - Uncontrolled historical site fill with building debris;
 - Historical buildings with leaded paint; and
 - PAH's in heating oil or old charcoal waste from fires
- Contaminants of potential concern that may have been present at the site and that were tested for in the soil analysis are listed in the scope of work.

13.2 Adopted Land Use Settings

The following investigation limits of land use guidelines were adopted for the site:

- Ecosystem – commercial/ Industrial use;
- Future land users access to soil – limited soil access in commercial space (The footprint of the workshop extension will be 100% paved) therefore:
 - HIL D for soil ingestion and inhalation and
 - HSL D for dermal contact;
- Future land users vapour inhalation risk – HSL D for commercial workers
- Site development works:
 - HSL D for vapour intrusion risk based on commercial land use;
 - Standard guidelines for assessing dermal contact risk; and
 - HIL D for assessing dust inhalation and soil ingestion risk
- Contamination exposure to trench workers:
 - HSL D for vapour intrusion risk based on commercial land use;
 - Standard guidelines for assessing dermal contact risk; and
 - HIL D for assessing dust inhalation and soil ingestion risk

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13.3 Invasive Soil Assessment

From the soil assessment in the footprint of the redevelopment, it is concluded that:

- Low detections of PAHs and metals did not exceed human health guidelines. Therefore, a risk to human health has not been identified for either during construction for workers or post construction for future site users and future maintenance workers.
- Although there ecological guideline exceedance for Benzo (a) pyrene, zinc and copper, for the following reasons, GES does not consider that there is a risk to ecological receptors:
 1. The soil at the site is covered by either concrete/asphalt, or building or both and will not be exposed to groundwater percolation; and
 2. The closest ecological receptor is the Hobart Rivulet which is spatially separated from the site by approximately 350 m.
 3. A soil and water management plan will be implemented for all excavation works to eliminate the pathway from potentially contaminated soil to environmental receptors (groundwater & surface water).
- Other than advice provided within the recommendations section of this report, it was not deemed necessary to provide specific remediation and protection measures prior to the commencement of excavation works.

14 RECOMMENDATIONS

GES can confirm the following recommendations:

- No risk to workers involved in redevelopment of the site, or future users of the site, as a result of proposed excavation of the site has been identified.
- A soil and water management plan must be implemented prior to any excavation at the site to manage the potential environmental risk from excavation of potentially contaminated soil
- No specific remediation and/or protection measures are required to ensure the redevelopment does not adversely impact human health, however, standard personal protective equipment and comprehensive hand washing is recommended prior to eating or drinking during site works as with any construction site work.
- With regards to soil disposal, benzo(a)pyrene and selected heavy metals are slightly elevated classifying the material at the site as Level 2 and level 3 material. Therefore, it is recommended that all excavated soil at the site should be stockpiled and assessed against IB105 guidelines for Classification and Management of Contaminated Soil for Disposal before it is transported by a licensed operator to an appropriate disposal facility.

This report only applies to the site at 35 Melville Street and is limited to that area only. Any changes to the development or proposed site uses, may trigger the need to reassess the analytical results against different investigation levels or conduct further onsite investigations.

If the recommendations are followed, the site is suitable for the proposed development in accordance with potentially contaminated land code of the Hobart Interim planning scheme.

Yours faithfully,



Mark Downie BAgSc
Soil Scientist

*Environmental Site Assessment – 35 Melville Street***15 LIMITATIONS STATEMENT**

This limited scope ESA Report has been prepared in accordance with the scope of services between Geo-Environmental Solutions Pty. Ltd. (GES) and JSA (the Client'). To the best of GES's knowledge, the information presented herein represents the Client's requirements at the time of printing of the Report. However, the passage of time, manifestation of latent conditions or impacts of future events may result in findings differing from that described in this Report. In preparing this Report, GES has relied upon data, surveys, analyses, designs, plans and other information provided by the Client and other individuals and organisations referenced herein. Except as otherwise stated in this Report, GES has not verified the accuracy or completeness of such data, surveys, analyses, designs, plans and other information.

The scope of this study does not allow for the review of every possible soil and groundwater contaminant over the whole area of the site. Samples collected from the investigation area are assumed to be representative of the areas from where they were collected and indicative of the contamination status of the site at that point in time. The conclusions described within this report are based on these samples, the results of their analysis and an assessment of their contamination status.

This report does not purport to provide legal advice. Readers of the report should engage professional legal practitioners for this purpose as required.

No responsibility is accepted for use of any part of this report in any other context or for any other purpose by third party.

Environmental Site Assessment – 35 Melville Street

16 REFERENCES

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Environmental Site Assessment – 35 Melville Street

Appendix 1 GES Staff

GES is a specialist geotechnical and environmental consultancy providing advice on all aspects of soils, geology, hydrology, and soil and groundwater contamination across a diverse range of industries.

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- 18 years' experience in environmental contamination assessment and site remediation.

Ms Sarah Joyce BSc (Hons)

- Senior Environmental Scientist
- Honours in Geography and Environmental Science at the University of Tasmania in 2003;
- Undergraduate Degree Double Major in Geology and Geography & Environmental Science
- 15 years professional work experience and 7 years contaminated site assessment

GES STAFF – WITH CONTAMINATED SITES EXPERIENCE

Mr Aaron Plummer (Cert. IV)

- Soil Technician
- 5 years' experience in hydrocarbon and heavy metal contamination sampling of soils and groundwater.

Mr Grant McDonald (Adv. cert. hort.)

- Soil Technician
- 10 years' experience in hydrocarbon and heavy metal contamination sampling of soils and groundwater.

Mr Mark Downie B.Agr.Sc (Hons)

- Soil Scientist
- 8 Years experience in contamination assessment and reporting of soils and groundwater.

Ms Peri Lucas B.Agr.Sc (Hons)

- Soil Scientist
- 2 Year experience in contamination assessment and reporting of soils and groundwater.

Environmental Site Assessment – 35 Melville Street

Appendix 2 Site Photographs



Environmental Site Assessment – 35 Melville Street



Environmental Site Assessment – 35 Melville Street

Appendix 3 Laboratory Chain of Custody

[illegible]

Environmental Site Assessment – 35 Melville Street

Appendix 4 Quality Assurance and Quality Control Documentation

Soil Duplicate

[illegible]

Environmental Site Assessment – 35 Melville Street

QA/QC Compliance Assessment to assist with Quality Review

Work Order	: EM2021552	Page	: 1 of 8
Client	: GEO-ENVIRONMENTAL SOLUTIONS	Laboratory	: Environmental Division Melbourne
Contact	: DR JOHN PAUL CUMMING	Telephone	: +6138549 9630
Project	: Melville	Date Samples Received	: 04-Dec-2020
Site	: ----	Issue Date	: 09-Dec-2020
Sampler	: JPC	No. of samples received	: 5
Order number	: ----	No. of samples analysed	: 5

This report is automatically generated by the ALS LIMS through interpretation of the ALS Quality Control Report and several Quality Assurance parameters measured by ALS. This automated reporting highlights any non-conformances, facilitates faster and more accurate data validation and is designed to assist internal expert and external Auditor review. Many components of this report contribute to the overall DQO assessment and reporting for guideline compliance.

Brief method summaries and references are also provided to assist in traceability.

Summary of Outliers

Outliers : Quality Control Samples

This report highlights outliers flagged in the Quality Control (QC) Report.

- NO Method Blank value outliers occur.
- NO Duplicate outliers occur.
- NO Laboratory Control outliers occur.
- NO Matrix Spike outliers occur.
- For all regular sample matrices, NO surrogate recovery outliers occur.

Outliers : Analysis Holding Time Compliance

- NO Analysis Holding Time Outliers exist.

Outliers : Frequency of Quality Control Samples

- Quality Control Sample Frequency Outliers exist - please see following pages for full details.

Environmental Site Assessment – 35 Melville Street

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Project : Melville



Outliers : Frequency of Quality Control Samples

Matrix: **WATER**

Quality Control Sample Type	Count		Rate (%)		Quality Control Specification
Method	QC	Regular	Actual	Expected	
Laboratory Duplicates (DUP)					
PAH/Phenols (GC/MS - SIM)	0	3	0.00	10.00	NEPM 2013 B3 & ALS QC Standard
TRH - Semivolatile Fraction	0	9	0.00	10.00	NEPM 2013 B3 & ALS QC Standard
Matrix Spikes (MS)					
PAH/Phenols (GC/MS - SIM)	0	3	0.00	5.00	NEPM 2013 B3 & ALS QC Standard
TRH - Semivolatile Fraction	0	9	0.00	5.00	NEPM 2013 B3 & ALS QC Standard

Analysis Holding Time Compliance

If samples are identified below as having been analysed or extracted outside of recommended holding times, this should be taken into consideration when interpreting results.

This report summarizes extraction / preparation and analysis times and compares each with ALS recommended holding times (referencing USEPA SW 846, APHA, AS and NEPM) based on the sample container provided. Dates reported represent first date of extraction or analysis and preclude subsequent dilutions and reruns. A listing of breaches (if any) is provided herein.

Holding time for leachate methods (e.g. TCLP) vary according to the analytes reported. Assessment compares the leach date with the shortest analyte holding time for the equivalent soil method. These are: organics 14 days, mercury 28 days & other metals 180 days. A recorded breach does not guarantee a breach for all non-volatile parameters.

Holding times for VOC in soils vary according to analytes of interest. Vinyl Chloride and Styrene holding time is 7 days; others 14 days. A recorded breach does not guarantee a breach for all VOC analytes and should be verified in case the reported breach is a false positive or Vinyl Chloride and Styrene are not key analytes of interest/concern.

Matrix: **SOIL**

Evaluation: ✖ = Holding time breach ; ✔ = Within holding time.

Method	Sample Date	Extraction / Preparation			Analysis		
Container / Client Sample ID(s)		Date extracted	Due for extraction	Evaluation	Date analysed	Due for analysis	Evaluation
EA055: Moisture Content (Dried @ 105-110°C)							
Soil Glass Jar - Unpreserved (EA055)							
BH1 0-0.2, BH2 0.3-0.5, Duplicate	03-Dec-2020	---	---	---	04-Dec-2020	17-Dec-2020	✓
EG005(ED093)T: Total Metals by ICP-AES							
Soil Glass Jar - Unpreserved (EG005T)							
BH1 0-0.2, BH2 0.3-0.5, Duplicate	03-Dec-2020	04-Dec-2020	01-Jun-2021	✓	04-Dec-2020	01-Jun-2021	✓
EG035T: Total Recoverable Mercury by FIMS							
Soil Glass Jar - Unpreserved (EG035T)							
BH1 0-0.2, BH2 0.3-0.5, Duplicate	03-Dec-2020	04-Dec-2020	31-Dec-2020	✓	07-Dec-2020	31-Dec-2020	✓
EP075(SIM)B: Polynuclear Aromatic Hydrocarbons							
Soil Glass Jar - Unpreserved (EP075(SIM))							
BH1 0-0.2, BH2 0.3-0.5, Duplicate	03-Dec-2020	07-Dec-2020	17-Dec-2020	✓	07-Dec-2020	16-Jan-2021	✓

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Matrix: SOIL			Evaluation: ✖ = Holding time breach ; ✔ = Within holding time.					
Method	Container / Client Sample ID(s)	Sample Date	Extraction / Preparation			Analysis		
			Date extracted	Due for extraction	Evaluation	Date analysed	Due for analysis	Evaluation
EP080/071: Total Petroleum Hydrocarbons								
Soil Glass Jar - Unpreserved (EP080)								
BH1 0-0.2, BH2 0.3-0.5,	BH1 0.5-0.6, Duplicate	03-Dec-2020	04-Dec-2020	17-Dec-2020	✔	04-Dec-2020	17-Dec-2020	✔
Soil Glass Jar - Unpreserved (EP071)								
BH1 0-0.2, BH2 0.3-0.5,	BH1 0.5-0.6, Duplicate	03-Dec-2020	07-Dec-2020	17-Dec-2020	✔	07-Dec-2020	16-Jan-2021	✔
EP080/071: Total Recoverable Hydrocarbons - NEPM 2013 Fractions								
Soil Glass Jar - Unpreserved (EP080)								
BH1 0-0.2, BH2 0.3-0.5,	BH1 0.5-0.6, Duplicate	03-Dec-2020	04-Dec-2020	17-Dec-2020	✔	04-Dec-2020	17-Dec-2020	✔
Soil Glass Jar - Unpreserved (EP071)								
BH1 0-0.2, BH2 0.3-0.5,	BH1 0.5-0.6, Duplicate	03-Dec-2020	07-Dec-2020	17-Dec-2020	✔	07-Dec-2020	16-Jan-2021	✔
EP080- BTEXN								
Soil Glass Jar - Unpreserved (EP080)								
BH1 0-0.2, BH2 0.3-0.5,	BH1 0.5-0.6, Duplicate	03-Dec-2020	04-Dec-2020	17-Dec-2020	✔	04-Dec-2020	17-Dec-2020	✔
Matrix: WATER								
			Evaluation: ✖ = Holding time breach ; ✔ = Within holding time.					
Method	Container / Client Sample ID(s)	Sample Date	Extraction / Preparation			Analysis		
			Date extracted	Due for extraction	Evaluation	Date analysed	Due for analysis	Evaluation
EG020F: Dissolved Metals by ICP-MS								
Clear Plastic Bottle - Filtered; Lab-acidified (EG020A-F)								
Rinsate		03-Dec-2020	---	---	---	07-Dec-2020	01-Jun-2021	✔
EG035F: Dissolved Mercury by FIMS								
Clear Plastic Bottle - Filtered; Lab-acidified (EG035F)								
Rinsate		03-Dec-2020	---	---	---	07-Dec-2020	31-Dec-2020	✔
EP075(SIM)B: Polynuclear Aromatic Hydrocarbons								
Amber Glass Bottle - Unpreserved (EP075(SIM))								
Rinsate		03-Dec-2020	04-Dec-2020	10-Dec-2020	✔	07-Dec-2020	13-Jan-2021	✔
EP080/071: Total Petroleum Hydrocarbons								
Amber Glass Bottle - Unpreserved (EP071)								
Rinsate		03-Dec-2020	04-Dec-2020	10-Dec-2020	✔	07-Dec-2020	13-Jan-2021	✔
Amber VOC Vial - Sulfuric Acid (EP080)								
Rinsate		03-Dec-2020	04-Dec-2020	17-Dec-2020	✔	05-Dec-2020	17-Dec-2020	✔
EP080/071: Total Recoverable Hydrocarbons - NEPM 2013 Fractions								
Amber Glass Bottle - Unpreserved (EP071)								
Rinsate		03-Dec-2020	04-Dec-2020	10-Dec-2020	✔	07-Dec-2020	13-Jan-2021	✔
Amber VOC Vial - Sulfuric Acid (EP080)								
Rinsate		03-Dec-2020	04-Dec-2020	17-Dec-2020	✔	05-Dec-2020	17-Dec-2020	✔

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Matrix: WATER		Evaluation: ✖ = Holding time breach ; ✔ = Within holding time.					
Method	Sample Date	Extraction / Preparation			Analysis		
		Date extracted	Due for extraction	Evaluation	Date analysed	Due for analysis	Evaluation
EP080: BTEXN							
Amber VOC Vial - Sulfuric Acid (EP080)							
Rinsate	03-Dec-2020	04-Dec-2020	17-Dec-2020	✔	05-Dec-2020	17-Dec-2020	✔

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Quality Control Parameter Frequency Compliance

The following report summarises the frequency of laboratory QC samples analysed within the analytical lot(s) in which the submitted sample(s) was(were) processed. Actual rate should be greater than or equal to the expected rate. A listing of breaches is provided in the Summary of Outliers.

Matrix: SOIL		Evaluation: ✖ = Quality Control frequency not within specification ; ✔ = Quality Control frequency within specification.					
Quality Control Sample Type		Count		Rate (%)			Quality Control Specification
Analytical Methods	Method	QC	Regular	Actual	Expected	Evaluation	
Laboratory Duplicates (DUP)							
Moisture Content	EA055	4	40	10.00	10.00	✔	NEPM 2013 B3 & ALS QC Standard
PAH/Phenols (SIM)	EP075(SIM)	1	6	16.67	10.00	✔	NEPM 2013 B3 & ALS QC Standard
Total Mercury by FIMS	EG035T	2	14	14.29	10.00	✔	NEPM 2013 B3 & ALS QC Standard
Total Metals by ICP-AES	EG005T	2	20	10.00	10.00	✔	NEPM 2013 B3 & ALS QC Standard
TRH - Semivolatile Fraction	EP071	1	4	25.00	10.00	✔	NEPM 2013 B3 & ALS QC Standard
TRH Volatiles/BTEX	EP080	2	15	13.33	10.00	✔	NEPM 2013 B3 & ALS QC Standard
Laboratory Control Samples (LCS)							
PAH/Phenols (SIM)	EP075(SIM)	1	6	16.67	5.00	✔	NEPM 2013 B3 & ALS QC Standard
Total Mercury by FIMS	EG035T	1	14	7.14	5.00	✔	NEPM 2013 B3 & ALS QC Standard
Total Metals by ICP-AES	EG005T	1	20	5.00	5.00	✔	NEPM 2013 B3 & ALS QC Standard
TRH - Semivolatile Fraction	EP071	1	4	25.00	5.00	✔	NEPM 2013 B3 & ALS QC Standard
TRH Volatiles/BTEX	EP080	1	15	6.67	5.00	✔	NEPM 2013 B3 & ALS QC Standard
Method Blanks (MB)							
PAH/Phenols (SIM)	EP075(SIM)	1	6	16.67	5.00	✔	NEPM 2013 B3 & ALS QC Standard
Total Mercury by FIMS	EG035T	1	14	7.14	5.00	✔	NEPM 2013 B3 & ALS QC Standard
Total Metals by ICP-AES	EG005T	1	20	5.00	5.00	✔	NEPM 2013 B3 & ALS QC Standard
TRH - Semivolatile Fraction	EP071	1	4	25.00	5.00	✔	NEPM 2013 B3 & ALS QC Standard
TRH Volatiles/BTEX	EP080	1	15	6.67	5.00	✔	NEPM 2013 B3 & ALS QC Standard
Matrix Spikes (MS)							
PAH/Phenols (SIM)	EP075(SIM)	1	6	16.67	5.00	✔	NEPM 2013 B3 & ALS QC Standard
Total Mercury by FIMS	EG035T	1	14	7.14	5.00	✔	NEPM 2013 B3 & ALS QC Standard
Total Metals by ICP-AES	EG005T	1	20	5.00	5.00	✔	NEPM 2013 B3 & ALS QC Standard
TRH - Semivolatile Fraction	EP071	1	4	25.00	5.00	✔	NEPM 2013 B3 & ALS QC Standard
TRH Volatiles/BTEX	EP080	1	15	6.67	5.00	✔	NEPM 2013 B3 & ALS QC Standard
Matrix: WATER							
		Evaluation: ✖ = Quality Control frequency not within specification ; ✔ = Quality Control frequency within specification.					
Quality Control Sample Type		Count		Rate (%)			Quality Control Specification
Analytical Methods	Method	QC	Regular	Actual	Expected	Evaluation	
Laboratory Duplicates (DUP)							
Dissolved Mercury by FIMS	EG035F	2	18	11.11	10.00	✔	NEPM 2013 B3 & ALS QC Standard
Dissolved Metals by ICP-MS - Suite A	EG020A-F	2	20	10.00	10.00	✔	NEPM 2013 B3 & ALS QC Standard
PAH/Phenols (GC/MS - SIM)	EP075(SIM)	0	3	0.00	10.00	✖	NEPM 2013 B3 & ALS QC Standard
TRH - Semivolatile Fraction	EP071	0	9	0.00	10.00	✖	NEPM 2013 B3 & ALS QC Standard
TRH Volatiles/BTEX	EP080	2	20	10.00	10.00	✔	NEPM 2013 B3 & ALS QC Standard
Laboratory Control Samples (LCS)							
Dissolved Mercury by FIMS	EG035F	1	18	5.56	5.00	✔	NEPM 2013 B3 & ALS QC Standard

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Matrix: **WATER** Evaluation: ✖ = Quality Control frequency not within specification ; ✔ = Quality Control frequency within specification.

Quality Control Sample Type	Method	Count		Rate (%)		Evaluation	Quality Control Specification
Analytical Methods		QC	Regular	Actual	Expected		
Laboratory Control Samples (LCS) - Continued							
Dissolved Metals by ICP-MS - Suite A	EG020A-F	1	20	5.00	5.00	✔	NEPM 2013 B3 & ALS QC Standard
PAH/Phenols (GC/MS - SIM)	EP075(SIM)	1	3	33.33	5.00	✔	NEPM 2013 B3 & ALS QC Standard
TRH - Semivolatile Fraction	EP071	1	9	11.11	5.00	✔	NEPM 2013 B3 & ALS QC Standard
TRH Volatiles/BTEX	EP080	1	20	5.00	5.00	✔	NEPM 2013 B3 & ALS QC Standard
Method Blanks (MB)							
Dissolved Mercury by FIMS	EG035F	1	18	5.56	5.00	✔	NEPM 2013 B3 & ALS QC Standard
Dissolved Metals by ICP-MS - Suite A	EG020A-F	1	20	5.00	5.00	✔	NEPM 2013 B3 & ALS QC Standard
PAH/Phenols (GC/MS - SIM)	EP075(SIM)	1	3	33.33	5.00	✔	NEPM 2013 B3 & ALS QC Standard
TRH - Semivolatile Fraction	EP071	1	9	11.11	5.00	✔	NEPM 2013 B3 & ALS QC Standard
TRH Volatiles/BTEX	EP080	1	20	5.00	5.00	✔	NEPM 2013 B3 & ALS QC Standard
Matrix Spikes (MS)							
Dissolved Mercury by FIMS	EG035F	1	18	5.56	5.00	✔	NEPM 2013 B3 & ALS QC Standard
Dissolved Metals by ICP-MS - Suite A	EG020A-F	1	20	5.00	5.00	✔	NEPM 2013 B3 & ALS QC Standard
PAH/Phenols (GC/MS - SIM)	EP075(SIM)	0	3	0.00	5.00	✖	NEPM 2013 B3 & ALS QC Standard
TRH - Semivolatile Fraction	EP071	0	9	0.00	5.00	✖	NEPM 2013 B3 & ALS QC Standard
TRH Volatiles/BTEX	EP080	1	20	5.00	5.00	✔	NEPM 2013 B3 & ALS QC Standard

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Brief Method Summaries

The analytical procedures used by the Environmental Division have been developed from established internationally recognized procedures such as those published by the US EPA, APHA, AS and NEPM. In house developed procedures are employed in the absence of documented standards or by client request. The following report provides brief descriptions of the analytical procedures employed for results reported in the Certificate of Analysis. Sources from which ALS methods have been developed are provided within the Method Descriptions.

Analytical Methods	Method	Matrix	Method Descriptions
Moisture Content	EA055	SOIL	In house: A gravimetric procedure based on weight loss over a 12 hour drying period at 105-110 degrees C. This method is compliant with NEPM Schedule B(3).
Total Metals by ICP-AES	EG005T	SOIL	In house: Referenced to APHA 3120; USEPA SW 846 - 6010. Metals are determined following an appropriate acid digestion of the soil. The ICPAES technique ionises samples in a plasma, emitting a characteristic spectrum based on metals present. Intensities at selected wavelengths are compared against those of matrix matched standards. This method is compliant with NEPM Schedule B(3)
Total Mercury by FIMS	EG035T	SOIL	In house: Referenced to AS 3550, APHA 3112 Hg - B (Flow-injection (SnCl ₂) (Cold Vapour generation) AAS) FIM-AAS is an automated flameless atomic absorption technique. Mercury in solids are determined following an appropriate acid digestion. Ionic mercury is reduced online to atomic mercury vapour by SnCl ₂ which is then purged into a heated quartz cell. Quantification is by comparing absorbance against a calibration curve. This method is compliant with NEPM Schedule B(3)
TRH - Semivolatile Fraction	EP071	SOIL	In house: Referenced to USEPA SW 846 - 8015 Sample extracts are analysed by Capillary GC/FID and quantified against alkane standards over the range C10 - C40. Compliant with NEPM Schedule B(3).
PAH/Phenols (SIM)	EP075(SIM)	SOIL	In house: Referenced to USEPA SW 846 - 8270. Extracts are analysed by Capillary GC/MS in Selective Ion Mode (SIM) and quantification is by comparison against an established 5 point calibration curve. This method is compliant with NEPM Schedule B(3)
TRH Volatiles/BTEX	EP080	SOIL	In house: Referenced to USEPA SW 846 - 8260. Extracts are analysed by Purge and Trap, Capillary GC/MS. Quantification is by comparison against an established 5 point calibration curve. Compliant with NEPM Schedule B(3) amended.
Dissolved Metals by ICP-MS - Suite A	EG020A-F	WATER	In house: Referenced to APHA 3125; USEPA SW846 - 6020, ALS QWI-EN/EG020. Samples are 0.45µm filtered prior to analysis. The ICPMS technique utilizes a highly efficient argon plasma to ionize selected elements. Ions are then passed into a high vacuum mass spectrometer, which separates the analytes based on their distinct mass to charge ratios prior to their measurement by a discrete dynode ion detector.
Dissolved Mercury by FIMS	EG035F	WATER	In house: Referenced to AS 3550, APHA 3112 Hg - B (Flow-injection (SnCl ₂)(Cold Vapour generation) AAS) Samples are 0.45µm filtered prior to analysis. FIM-AAS is an automated flameless atomic absorption technique. A bromate/bromide reagent is used to oxidise any organic mercury compounds in the filtered sample. The ionic mercury is reduced online to atomic mercury vapour by SnCl ₂ which is then purged into a heated quartz cell. Quantification is by comparing absorbance against a calibration curve. This method is compliant with NEPM Schedule B(3).
TRH - Semivolatile Fraction	EP071	WATER	In house: Referenced to USEPA SW 846 - 8015 The sample extract is analysed by Capillary GC/FID and quantification is by comparison against an established 5 point calibration curve of n-Alkane standards. This method is compliant with the QC requirements of NEPM Schedule B(3)
PAH/Phenols (GC/MS - SIM)	EP075(SIM)	WATER	In house: Referenced to USEPA SW 846 - 8270 Sample extracts are analysed by Capillary GC/MS in SIM Mode and quantification is by comparison against an established 5 point calibration curve. This method is compliant with NEPM Schedule B(3)

*Environmental Site Assessment – 35 Melville Street***Appendix 5 Soil Analytical Results - Certificate of Analysis****CERTIFICATE OF ANALYSIS**

Work Order	: EM2021552	Page	: 1 of 9
Client	: GEO-ENVIRONMENTAL SOLUTIONS	Laboratory	: Environmental Division Melbourne
Contact	: DR JOHN PAUL CUMMING	Contact	: Shirley LeCornu
Address	: 29 KIRKSWAY PLACE BATTERY POINT TASMANIA, AUSTRALIA 7004	Address	: 4 Westall Rd Springvale VIC Australia 3171
Telephone	: +61 03 6223 1839	Telephone	: +6138549 9630
Project	: Melville	Date Samples Received	: 04-Dec-2020 10:00
Order number	: ----	Date Analysis Commenced	: 04-Dec-2020
C-O-C number	: ----	Issue Date	: 09-Dec-2020 15:16
Sampler	: JPC		
Site	: ----		
Quote number	: EN/222		
No. of samples received	: 5		
No. of samples analysed	: 5		



Accreditation No. 825
Accredited for compliance with
ISO/IEC 17025 - Testing

This report supersedes any previous report(s) with this reference. Results apply to the sample(s) as submitted, unless the sampling was conducted by ALS. This document shall not be reproduced, except in full.

This Certificate of Analysis contains the following information:

- General Comments
- Analytical Results
- Surrogate Control Limits

Additional information pertinent to this report will be found in the following separate attachments: Quality Control Report, QA/QC Compliance Assessment to assist with Quality Review and Sample Receipt Notification.

Signatories

This document has been electronically signed by the authorized signatories below. Electronic signing is carried out in compliance with procedures specified in 21 CFR Part 11.

Signatories	Position	Accreditation Category
Dilani Fernando	Senior Inorganic Chemist	Melbourne Inorganics, Springvale, VIC
Nancy Wang	2IC Organic Chemist	Melbourne Inorganics, Springvale, VIC
Nancy Wang	2IC Organic Chemist	Melbourne Inorganics, Springvale, VIC
Nikki Stepniewski	Senior Inorganic Instrument Chemist	Melbourne Inorganics, Springvale, VIC
Xing Lin	Senior Organic Chemist	Melbourne Inorganics, Springvale, VIC

RIGHT SOLUTIONS | RIGHT PARTNER

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**General Comments**

The analytical procedures used by ALS have been developed from established internationally recognised procedures such as those published by the USEPA, APHA, AS and NEPM. In house developed procedures are fully validated and are often at the client request.

Where moisture determination has been performed, results are reported on a dry weight basis.

Where a reported less than (<) result is higher than the LOR, this may be due to primary sample extract/digestate dilution and/or insufficient sample for analysis.

Where the LOR of a reported result differs from standard LOR, this may be due to high moisture content, insufficient sample (reduced weight employed) or matrix interference.

When sampling time information is not provided by the client, sampling dates are shown without a time component. In these instances, the time component has been assumed by the laboratory for processing purposes.

Where a result is required to meet compliance limits the associated uncertainty must be considered. Refer to the ALS Contact for details.

Key : CAS Number = CAS registry number from database maintained by Chemical Abstracts Services. The Chemical Abstracts Service is a division of the American Chemical Society.
LOR = Limit of reporting
^ = This result is computed from individual analyte detections at or above the level of reporting
@ = ALS is not NATA accredited for these tests.
~ = Indicates an estimated value.

- EG005T: EM2021552-003 Total metal results have been confirmed by re-digestion and re-analysis
- EP075 (SIM): Where reported, Benzo(a)pyrene Toxicity Equivalent Quotient (TEQ) per the NEPM (2013) is the sum total of the concentration of the eight carcinogenic PAHs multiplied by their Toxicity Equivalence Factor (TEF) relative to Benzo(a)pyrene. TEF values are provided in brackets as follows: Benz(a)anthracene (0.1), Chrysene (0.01), Benzo(b+j) & Benzo(k)fluoranthene (0.1), Benzo(a)pyrene (1.0), Indeno(1,2,3-cd)pyrene (0.1), Dibenz(a,h)anthracene (1.0), Benzo(g,h,i)perylene (0.01). Less than LOR results for 'TEQ Zero' are treated as zero.
- Benzo(a)pyrene Toxicity Equivalent Quotient (TEQ) per the NEPM (2013) is the sum total of the concentration of the eight carcinogenic PAHs multiplied by their Toxicity Equivalence Factor (TEF) relative to Benzo(a)pyrene. TEF values are provided in brackets as follows: Benz(a)anthracene (0.1), Chrysene (0.01), Benzo(b+j) & Benzo(k)fluoranthene (0.1), Benzo(a)pyrene (1.0), Indeno(1,2,3-cd)pyrene (0.1), Dibenz(a,h)anthracene (1.0), Benzo(g,h,i)perylene (0.01). Less than LOR results for 'TEQ Zero' are treated as zero, for 'TEQ 1/2LOR' are treated as half the reported LOR, and for 'TEQ LOR' are treated as being equal to the reported LOR. Note: TEQ 1/2LOR and TEQ LOR will calculate as 0.6mg/Kg and 1.2mg/Kg respectively for samples with non-detects for all of the eight TEQ PAHs.
- EP080: Where reported, Total Xylenes is the sum of the reported concentrations of m&p-Xylene and o-Xylene at or above the LOR.
- EP075(SIM): Where reported, Total Cresol is the sum of the reported concentrations of 2-Methylphenol and 3- & 4-Methylphenol at or above the LOR.
- EG020-F : EM2021552 #5 results for dissolved Barium have been confirmed by re-preparation and re-analysis.

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Analytical Results

Sub-Matrix: SOIL (Matrix: SOIL)				Sample ID	BH1 0-0.2	BH1 0.5-0.6	BH2 0.3-0.5	Duplicate	----
Sampling date / time					03-Dec-2020 00:00	03-Dec-2020 00:00	03-Dec-2020 00:00	03-Dec-2020 00:00	----
Compound	CAS Number	LOR	Unit		EM2021552-001	EM2021552-002	EM2021552-003	EM2021552-004	-----
					Result	Result	Result	Result	----
EA055: Moisture Content (Dried @ 105-110°C)									
Moisture Content	----	1.0	%		4.6	4.5	13.7	13.4	----
EG005(ED093)T: Total Metals by ICP-AES									
Arsenic	7440-38-2	5	mg/kg		<5	6	33	33	----
Barium	7440-39-3	10	mg/kg		70	80	240	200	----
Beryllium	7440-41-7	1	mg/kg		<1	<1	<1	<1	----
Boron	7440-42-8	50	mg/kg		<50	<50	<50	<50	----
Cadmium	7440-43-0	1	mg/kg		<1	<1	1	1	----
Chromium	7440-47-3	2	mg/kg		7	6	21	23	----
Cobalt	7440-48-4	2	mg/kg		7	12	12	16	----
Copper	7440-50-8	5	mg/kg		32	64	105	106	----
Lead	7439-92-1	5	mg/kg		80	90	400	385	----
Manganese	7439-96-5	5	mg/kg		185	285	366	352	----
Nickel	7440-02-0	2	mg/kg		6	8	17	18	----
Selenium	7782-49-2	5	mg/kg		<5	<5	<5	<5	----
Vanadium	7440-02-2	5	mg/kg		30	50	38	41	----
Zinc	7440-06-6	5	mg/kg		233	269	799	825	----
EG035T: Total Recoverable Mercury by FIMS									
Mercury	7439-97-6	0.1	mg/kg		<0.1	0.1	0.3	0.3	----
EP075(SIM)B: Polynuclear Aromatic Hydrocarbons									
Naphthalene	91-20-3	0.5	mg/kg		<0.5	0.6	<0.5	<0.5	----
Acenaphthylene	208-96-8	0.5	mg/kg		<0.5	1.0	0.8	0.8	----
Acenaphthene	83-32-9	0.5	mg/kg		<0.5	<0.5	<0.5	<0.5	----
Fluorene	86-73-7	0.5	mg/kg		<0.5	<0.5	<0.5	<0.5	----
Phenanthrene	85-01-8	0.5	mg/kg		1.1	7.8	3.2	3.5	----
Anthracene	120-12-7	0.5	mg/kg		<0.5	1.5	0.7	0.8	----
Fluoranthene	206-44-0	0.5	mg/kg		1.2	6.0	7.0	7.8	----
Pyrene	129-00-0	0.5	mg/kg		1.3	6.1	7.2	8.1	----
Benzo(a)anthracene	56-55-3	0.5	mg/kg		0.6	2.3	3.6	4.0	----
Chrysene	218-01-9	0.5	mg/kg		0.6	2.0	3.2	3.7	----
Benzo(b)fluoranthene	205-99-2	0.5	mg/kg		0.6	2.2	5.6	6.1	----
Benzo(k)fluoranthene	207-08-9	0.5	mg/kg		<0.5	0.7	1.2	2.4	----
Benzo(a)pyrene	50-32-8	0.5	mg/kg		0.6	2.0	5.3	6.2	----
Indeno(1,2,3-cd)pyrene	193-39-5	0.5	mg/kg		<0.5	0.9	2.9	3.4	----
Dibenz(a,h)anthracene	53-70-3	0.5	mg/kg		<0.5	<0.5	0.7	0.8	----

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Analytical Results

Sub-Matrix: SOIL (Matrix: SOIL)				Sample ID	BH1 0-0.2	BH1 0.5-0.6	BH2 0.3-0.5	Duplicate	----
Sampling date / time					03-Dec-2020 00:00	03-Dec-2020 00:00	03-Dec-2020 00:00	03-Dec-2020 00:00	----
Compound	CAS Number	LOR	Unit		EM2021552-001	EM2021552-002	EM2021552-003	EM2021552-004	-----
				Result	Result	Result	Result	Result	----
EP075(SIM)B: Polynuclear Aromatic Hydrocarbons - Continued									
Benzo(g,h,i)perylene	191-24-2	0.5	mg/kg	<0.5	1.1	4.0	4.6	---	---
^ Sum of polycyclic aromatic hydrocarbons	----	0.5	mg/kg	6.0	34.2	45.4	52.2	---	---
^ Benzo(a)pyrene TEQ (zero)	----	0.5	mg/kg	0.7	2.6	7.4	8.7	---	---
^ Benzo(a)pyrene TEQ (half LOR)	----	0.5	mg/kg	1.0	2.9	7.4	8.7	---	---
^ Benzo(a)pyrene TEQ (LOR)	----	0.5	mg/kg	1.3	3.1	7.4	8.7	---	---
EP080/071: Total Petroleum Hydrocarbons									
C6 - C9 Fraction	----	10	mg/kg	<10	<10	<10	<10	---	---
C10 - C14 Fraction	----	50	mg/kg	<50	<50	<50	<50	---	---
C15 - C28 Fraction	----	100	mg/kg	<100	110	210	210	---	---
C29 - C36 Fraction	----	100	mg/kg	<100	<100	220	220	---	---
^ C10 - C36 Fraction (sum)	----	50	mg/kg	<50	110	430	430	---	---
EP080/071: Total Recoverable Hydrocarbons - NEPM 2013 Fractions									
C6 - C10 Fraction	C6_C10	10	mg/kg	<10	<10	<10	<10	---	---
^ C6 - C10 Fraction minus BTEX (F1)	C6_C10-BTEX	10	mg/kg	<10	<10	<10	<10	---	---
>C10 - C16 Fraction	----	50	mg/kg	<50	<50	<50	<50	---	---
>C16 - C34 Fraction	----	100	mg/kg	<100	140	370	380	---	---
>C34 - C40 Fraction	----	100	mg/kg	<100	<100	100	100	---	---
^ >C10 - C40 Fraction (sum)	----	50	mg/kg	<50	140	470	480	---	---
^ >C10 - C16 Fraction minus Naphthalene (F2)	----	50	mg/kg	<50	<50	<50	<50	---	---
EP080: BTEXN									
Benzene	71-43-2	0.2	mg/kg	<0.2	<0.2	<0.2	<0.2	---	---
Toluene	108-88-3	0.5	mg/kg	<0.5	<0.5	<0.5	<0.5	---	---
Ethylbenzene	100-41-4	0.5	mg/kg	<0.5	<0.5	<0.5	<0.5	---	---
meta- & para-Xylene	108-38-3 106-42-3	0.5	mg/kg	<0.5	<0.5	<0.5	<0.5	---	---
ortho-Xylene	95-47-8	0.5	mg/kg	<0.5	<0.5	<0.5	<0.5	---	---
^ Sum of BTEX	----	0.2	mg/kg	<0.2	<0.2	<0.2	<0.2	---	---
^ Total Xylenes	----	0.5	mg/kg	<0.5	<0.5	<0.5	<0.5	---	---
Naphthalene	91-20-3	1	mg/kg	<1	<1	<1	<1	---	---
EP075(SIM)S: Phenolic Compound Surrogates									
Phenol-d6	13127-88-3	0.5	%	92.4	91.2	90.4	90.6	---	---
2-Chlorophenol-D4	93951-73-8	0.5	%	93.5	93.1	93.2	93.3	---	---
2,4,6-Tribromophenol	118-79-8	0.5	%	74.2	77.9	85.9	87.7	---	---

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Analytical Results

Sub-Matrix: SOIL (Matrix: SOIL)				Sample ID	BH1 0-0.2	BH1 0.5-0.6	BH2 0.3-0.5	Duplicate	----
Sampling date / time					03-Dec-2020 00:00	03-Dec-2020 00:00	03-Dec-2020 00:00	03-Dec-2020 00:00	----
Compound	CAS Number	LOR	Unit	EM2021552-001	EM2021552-002	EM2021552-003	EM2021552-004	-----	
				Result	Result	Result	Result	----	
EP075(SIM)T: PAH Surrogates									
2-Fluorobiphenyl	321-60-8	0.5	%	97.0	98.7	98.5	99.2	----	
Anthracene-d10	1719-06-8	0.5	%	108	103	106	105	----	
4-Terphenyl-d14	1718-51-0	0.5	%	101	96.0	94.0	93.6	----	
EP080S: TPH(V)/BTEX Surrogates									
1,2-Dichloroethane-D4	17060-07-0	0.2	%	84.6	89.0	85.1	81.3	----	
Toluene-D8	2037-26-5	0.2	%	85.6	89.9	87.2	84.9	----	
4-Bromofluorobenzene	480-00-4	0.2	%	85.7	88.4	83.6	79.0	----	

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Analytical Results

Sub-Matrix: WATER (Matrix: WATER)		Sample ID		Rinsate	----	----	----	----
		Sampling date / time		03-Dec-2020 00:00	----	----	----	----
Compound	CAS Number	LOR	Unit	EM2021552-005	-----	-----	-----	-----
				Result	---	---	---	---
EG020F: Dissolved Metals by ICP-MS								
Arsenic	7440-38-2	0.001	mg/L	<0.001	---	---	---	---
Boron	7440-42-8	0.05	mg/L	<0.05	---	---	---	---
Barium	7440-39-3	0.001	mg/L	0.002	---	---	---	---
Beryllium	7440-41-7	0.001	mg/L	<0.001	---	---	---	---
Cadmium	7440-43-9	0.0001	mg/L	<0.0001	---	---	---	---
Cobalt	7440-48-4	0.001	mg/L	<0.001	---	---	---	---
Chromium	7440-47-3	0.001	mg/L	<0.001	---	---	---	---
Copper	7440-50-8	0.001	mg/L	<0.001	---	---	---	---
Manganese	7439-96-5	0.001	mg/L	<0.001	---	---	---	---
Nickel	7440-02-0	0.001	mg/L	<0.001	---	---	---	---
Lead	7439-92-1	0.001	mg/L	<0.001	---	---	---	---
Selenium	7782-49-2	0.01	mg/L	<0.01	---	---	---	---
Vanadium	7440-62-2	0.01	mg/L	<0.01	---	---	---	---
Zinc	7440-66-8	0.005	mg/L	<0.005	---	---	---	---
EG035F: Dissolved Mercury by FIMS								
Mercury	7439-97-8	0.0001	mg/L	<0.0001	---	---	---	---
EP075(SIM)B: Polynuclear Aromatic Hydrocarbons								
Naphthalene	91-20-3	1.0	µg/L	<1.0	---	---	---	---
Acenaphthylene	208-96-8	1.0	µg/L	<1.0	---	---	---	---
Acenaphthene	83-32-9	1.0	µg/L	<1.0	---	---	---	---
Fluorene	86-73-7	1.0	µg/L	<1.0	---	---	---	---
Phenanthrene	85-01-8	1.0	µg/L	<1.0	---	---	---	---
Anthracene	120-12-7	1.0	µg/L	<1.0	---	---	---	---
Fluoranthene	206-44-0	1.0	µg/L	<1.0	---	---	---	---
Pyrene	129-00-0	1.0	µg/L	<1.0	---	---	---	---
Benz(a)anthracene	56-55-3	1.0	µg/L	<1.0	---	---	---	---
Chrysene	218-01-9	1.0	µg/L	<1.0	---	---	---	---
Benzo(b+j)fluoranthene	205-99-2 205-82-3	1.0	µg/L	<1.0	---	---	---	---
Benzo(k)fluoranthene	207-08-9	1.0	µg/L	<1.0	---	---	---	---
Benzo(a)pyrene	50-32-8	0.5	µg/L	<0.5	---	---	---	---
Indeno(1,2,3-cd)pyrene	193-39-5	1.0	µg/L	<1.0	---	---	---	---
Dibenz(a,h)anthracene	53-70-3	1.0	µg/L	<1.0	---	---	---	---
Benzo(g,h,i)perylene	191-24-2	1.0	µg/L	<1.0	---	---	---	---
^ Sum of polycyclic aromatic hydrocarbons		0.5	µg/L	<0.5	---	---	---	---

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Analytical Results

Sub-Matrix: WATER (Matrix: WATER)				Sample ID	Rinsate	----	----	----	----
				Sampling date / time	03-Dec-2020 00:00	----	----	----	----
Compound	CAS Number	LOR	Unit	EM2021552-005	-----	-----	-----	-----	-----
				Result	----	----	----	----	----
EP075(SIM)B: Polynuclear Aromatic Hydrocarbons - Continued									
^ Benzo(a)pyrene TEQ (zero)		----	0.5	µg/L	<0.5	----	----	----	----
EP080/071: Total Petroleum Hydrocarbons									
C6 - C9 Fraction		----	20	µg/L	<20	----	----	----	----
C10 - C14 Fraction		----	50	µg/L	<50	----	----	----	----
C15 - C28 Fraction		----	100	µg/L	<100	----	----	----	----
C29 - C36 Fraction		----	50	µg/L	<50	----	----	----	----
^ C10 - C36 Fraction (sum)		----	50	µg/L	<50	----	----	----	----
EP080/071: Total Recoverable Hydrocarbons - NEPM 2013 Fractions									
C6 - C10 Fraction		C6_C10	20	µg/L	<20	----	----	----	----
^ C6 - C10 Fraction minus BTEX (F1)		C6_C10-BTEX	20	µg/L	<20	----	----	----	----
>C10 - C16 Fraction		----	100	µg/L	<100	----	----	----	----
>C16 - C34 Fraction		----	100	µg/L	<100	----	----	----	----
>C34 - C40 Fraction		----	100	µg/L	<100	----	----	----	----
^ >C10 - C40 Fraction (sum)		----	100	µg/L	<100	----	----	----	----
^ >C10 - C16 Fraction minus Naphthalene (F2)		----	100	µg/L	<100	----	----	----	----
EP080: BTEXN									
Benzene		71-43-2	1	µg/L	<1	----	----	----	----
Toluene		108-88-3	2	µg/L	<2	----	----	----	----
Ethylbenzene		100-41-4	2	µg/L	<2	----	----	----	----
meta- & para-Xylene		108-38-3 106-42-3	2	µg/L	<2	----	----	----	----
ortho-Xylene		95-47-6	2	µg/L	<2	----	----	----	----
^ Total Xylenes		----	2	µg/L	<2	----	----	----	----
^ Sum of BTEX		----	1	µg/L	<1	----	----	----	----
Naphthalene		91-20-3	5	µg/L	<5	----	----	----	----
EP075(SIM)S: Phenolic Compound Surrogates									
Phenol-d6		13127-88-3	1.0	%	34.6	----	----	----	----
2-Chlorophenol-D4		93951-73-6	1.0	%	71.0	----	----	----	----
2,4,6-Tribromophenol		118-79-6	1.0	%	63.6	----	----	----	----
EP075(SIM)T: PAH Surrogates									
2-Fluorobiphenyl		321-60-8	1.0	%	81.0	----	----	----	----
Anthracene-d10		1719-06-8	1.0	%	79.1	----	----	----	----
4-Terphenyl-d14		1718-51-0	1.0	%	86.6	----	----	----	----

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**Analytical Results**

Sub-Matrix: WATER (Matrix: WATER)				Sample ID	Rinsate	----	----	----	----
				Sampling date / time	03-Dec-2020 00:00	----	----	----	----
Compound	CAS Number	LOR	Unit	EM2021552-005	-----	-----	-----	-----	-----
				Result	---	---	---	---	---
EP080S: TPH(V)/BTEX Surrogates									
1,2-Dichloroethane-D4	17060-07-0	2	%	104	----	----	----	----	----
Toluene-D8	2037-28-5	2	%	99.7	----	----	----	----	----
4-Bromofluorobenzene	480-00-4	2	%	97.4	----	----	----	----	----

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Surrogate Control Limits

Sub-Matrix: SOIL		Recovery Limits (%)	
Compound	CAS Number	Low	High
EP075(SIM)S: Phenolic Compound Surrogates			
Phenol-d6	13127-88-3	54	125
2-Chlorophenol-D4	93951-73-6	85	123
2,4,6-Tribromophenol	118-79-6	34	122
EP075(SIM)T: PAH Surrogates			
2-Fluorobiphenyl	321-80-8	61	125
Anthracene-d10	1719-06-8	62	130
4-Terphenyl-d14	1718-51-0	67	133
EP080S: TPH(V)/BTEX Surrogates			
1,2-Dichloroethane-D4	17060-07-0	51	125
Toluene-D8	2037-26-5	55	125
4-Bromofluorobenzene	460-00-4	56	124
Sub-Matrix: WATER		Recovery Limits (%)	
Compound	CAS Number	Low	High
EP075(SIM)S: Phenolic Compound Surrogates			
Phenol-d6	13127-88-3	10	46
2-Chlorophenol-D4	93951-73-6	23	104
2,4,6-Tribromophenol	118-79-6	28	130
EP075(SIM)T: PAH Surrogates			
2-Fluorobiphenyl	321-80-8	36	114
Anthracene-d10	1719-06-8	51	119
4-Terphenyl-d14	1718-51-0	49	127
EP080S: TPH(V)/BTEX Surrogates			
1,2-Dichloroethane-D4	17060-07-0	73	129
Toluene-D8	2037-26-5	70	125
4-Bromofluorobenzene	460-00-4	71	129



35 Melville Street, Hobart

Statement of Archaeological Potential
and Heritage Impact Statement

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CLIENT: JSA Consulting Engineers
and Derek Rolls

17.12.2020

CULTURAL
HERITAGE
MANAGEMENT
AUSTRALIA

35 Melville Street Hobart: Statement of Archaeological Potential and Heritage Impact Statement
CHMA 2020

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Executive Summary

Project Background

JSA Consulting Engineers (JSA) have been engaged to prepare designs and prepare Planning Approvals applications for proposed works at 35 Melville Street, Hobart (the study area). The existing site and building is currently being used as serviced offices with parking to the rear of the building, which is accessed via a driveway along the northern boundary of the site. Figure 1 shows the location of the study area, with Figure 2 showing the site boundaries.

The proponent is proposing to change the use to a public bar with a beer garden to the rear of the building. This will involve alterations to the existing building and site, as well as a change in use to Hotel Industry.

JSA has submitted a Development application for the proposed works at 35 Melville Street to the Hobart City Council (HCC). The HCC has responded with a request for additional information (dated 3-11-2020). The HCC advised that the property is located within a designated zone of Archaeological Potential and is also heritage listed in Table E13.1 of the Historic Heritage Code. In order to assess the application in relation to the relevant provisions of the Historic Heritage Code of the *Hobart Interim Planning Scheme 2015* (HIPS 2015), the HCC has requested (among other things), the preparation of a Statement of Archaeological Potential and Heritage Impact Statement as defined in Table E'13.3.1 of the Historic Heritage Code. A copy of the response provided by the HCC is provided in Appendix 2.

CHMA Pty Ltd has been engaged by JSA to prepare a Statement of Archaeological Potential and Heritage Impact Statement for the development proposal at 35 Melville Street. This report presents this information.

Statement of Archaeological Potential Heritage Impact Statement and Management Recommendations

Table i below provides a summary of the Statement of Archaeological Potential, the Heritage Impacts Statement and management recommendations for 35 Melville Street. The detailed statements and recommendations are presented in sections 5 and 6 of this report. Section 2 of the report provides an overview of the legislative and statutory framework that is relevant to the project. Section 3 provides an historic background for the study area, with specific focus on the key phases of development at 35 Melville Street. A statement of significance for heritage features is provided in section 4 of the report.

35 Melville Street Hobart: Statement of Archaeological Potential and Heritage Impact Statement
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Table i: Summary Statement of Archaeological Potential, Heritage Impact Statement and Management Recommendations

Heritage Feature	Work Proposal	Statement of Archaeological Potential	Heritage Impact Statement and Management Recommendations
Stone Wall on Melville Street Frontage	Construction of new stair access to buildings	Low to Very Low Excavation works to be focused in area where there is a deep deposit of existing modern fill and concrete.	Stone wall feature will not be directly impacted by works. Management procedures have been put in place to ensure the integrity of the wall is not compromised during construction works.
Suspected Front 1840s Dwelling Foundations	Internal and external renovation works not involving soil disturbance.	Very Low Any associated foundations are likely to have been destroyed and no earth works planned for this area.	Negligible potential for any impacts. No Requirements.
Suspected 1840s Dwelling Foundations on side boundary	Excavation works proposed just to the west of the suspected location of the feature	Low-Moderate The suspected location of the dwelling is under the existing driveway access. There is the possibility for foundation features still to survive in this area.	The proposed excavation works are situated just to the west of the suspected location of the foundations. Therefore there is a minimal potential for impacts. Monitoring of initial earth disturbances recommended as a precautionary measure.
Existing Building Front Face	Minor extension of roof, painting and landscaping.	Not applicable	Proposed works will have minimal impacts on heritage values of the front of the building. No additional requirements.
Remaining Building Area	Internal and external modifications not involving major soil disturbances	Not applicable	Proposed works will have no impacts on heritage values.

1.0 Project Background

1.1 Project Description

JSA Consulting Engineers (JSA) have been engaged to prepare designs and prepare Planning Approvals applications for proposed works at 35 Melville Street, Hobart (the study area). The existing site and building is currently being used as serviced offices with parking to the rear of the building, which is accessed via a driveway along the northern boundary of the site. Figure 1 shows the location of the study area, with Figure 2 showing the site boundaries.

The proponent is proposing to change the use to a public bar with a beer garden to the rear of the building. This will involve alterations to the existing building and site, as well as a change in use to Hotel Industry.

JSA has submitted a Development application for the proposed works at 35 Melville Street to the Hobart City Council (HCC). The HCC has responded with a request for additional information (dated 3-11-2020). The HCC advised that the property is located within a designated zone of Archaeological Potential and is also heritage listed in Table E13.1 of the Historic Heritage Code. In order to assess the application in relation to the relevant provisions of the Historic Heritage Code of the *Hobart Interim Planning Scheme 2015* (HIPS 2015), the HCC has requested (among other things), the preparation of a Statement of Archaeological Potential and Heritage Impact Statement as defined in Table E'13.3.1 of the Historic Heritage Code. A copy of the response provided by the HCC is provided in Appendix 2.

CHMA Pty Ltd has been engaged by JSA to prepare a Statement of Archaeological Potential and Heritage Impact Statement for the development proposal at 35 Melville Street. This report presents this information.

1.2 Project Methodology

This assessment has been implemented in three broad stages.

Stage 1 (Background Research and Project Liaison)

Contact with Heritage Tasmania and Hobart City Council

Heritage Tasmania (HT) was contacted to seek advice regarding any specific heritage requirements for the assessment. The primary contact person at Heritage Tasmania was Russell Dobie (Regional Heritage Advisor). Russell Dobie provided advice (via email dated 17-11-2020) that 35 Melville Street is not listed on the Tasmanian Heritage Register (THR), and therefore HT has no formal interest in this project. It was noted that the properties either side of 35 Melville Street (33 Melville Street and 37-47 Melville Street) are listed on the THR. The boundary stone wall that runs along the east boundaries of all three properties does not appear to be included on the THR.

On the 26-11-2020, Zoe Smith (CHMA) contacted Sarah Waight, the Senior Cultural Heritage Officer from the Hobart City Council. As part of this initial contact, an on-site meeting was organised to discuss the details of the project proposal.

Collation of Background Information

As part of Stage 1 the following research was carried out and background information collated for this project.

- A review of the relevant heritage registers and the collation of information pertaining to heritage register entries for the study area and surrounds.
- Historic literature, site plans and records for the study area.
- Documentation and plans relating to the proposed installation of infrastructure associated with the Project.
- Planning and Regulatory requirements for heritage sites in Tasmania and the Hobart City Council Municipality.

Detailed historical research was also undertaken to understand the historical context of the study area, its growth and development over time. Resources were utilised from:

- National Library of Australia
- Trove online collections
- Tasmanian Archives
- LINC Tasmania

Stage 2 (Field Inspection and On-Site meeting)

Stage 2 entailed the fieldwork component of the Assessment. The field inspection was undertaken on the 16-11-2020 and the 2-12-2020 by Stuart Huys (CHMA archaeologist). The primary purpose of the field inspection was to confirm the proposed extent of renovation works at 35 Melville Street, to document any heritage features associated with the property, to ascertain the extent of potential impacts that these installations may have on heritage values, and to determine the potential archaeological sensitivity of these works.

On the 2-12-2020, an on-site meeting was held at 35 Melville Street. Present at this meeting were representatives from JSA, the HCC, CHMA and the proponent. The primary purpose of this meeting was to discuss the details of the proposed renovation works, with specific emphasis on the potential impacts of these works on the heritage values of the property.

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Stage 3 (Preparation of Report)

Stage three of the project involved the production of this report which details the findings of the assessment and includes a Statement of Archaeological Potential for the proposed scope of works specified in section 1.1. The report has been prepared by Stuart Huys and Zoe Smith from CHMA Pty Ltd.

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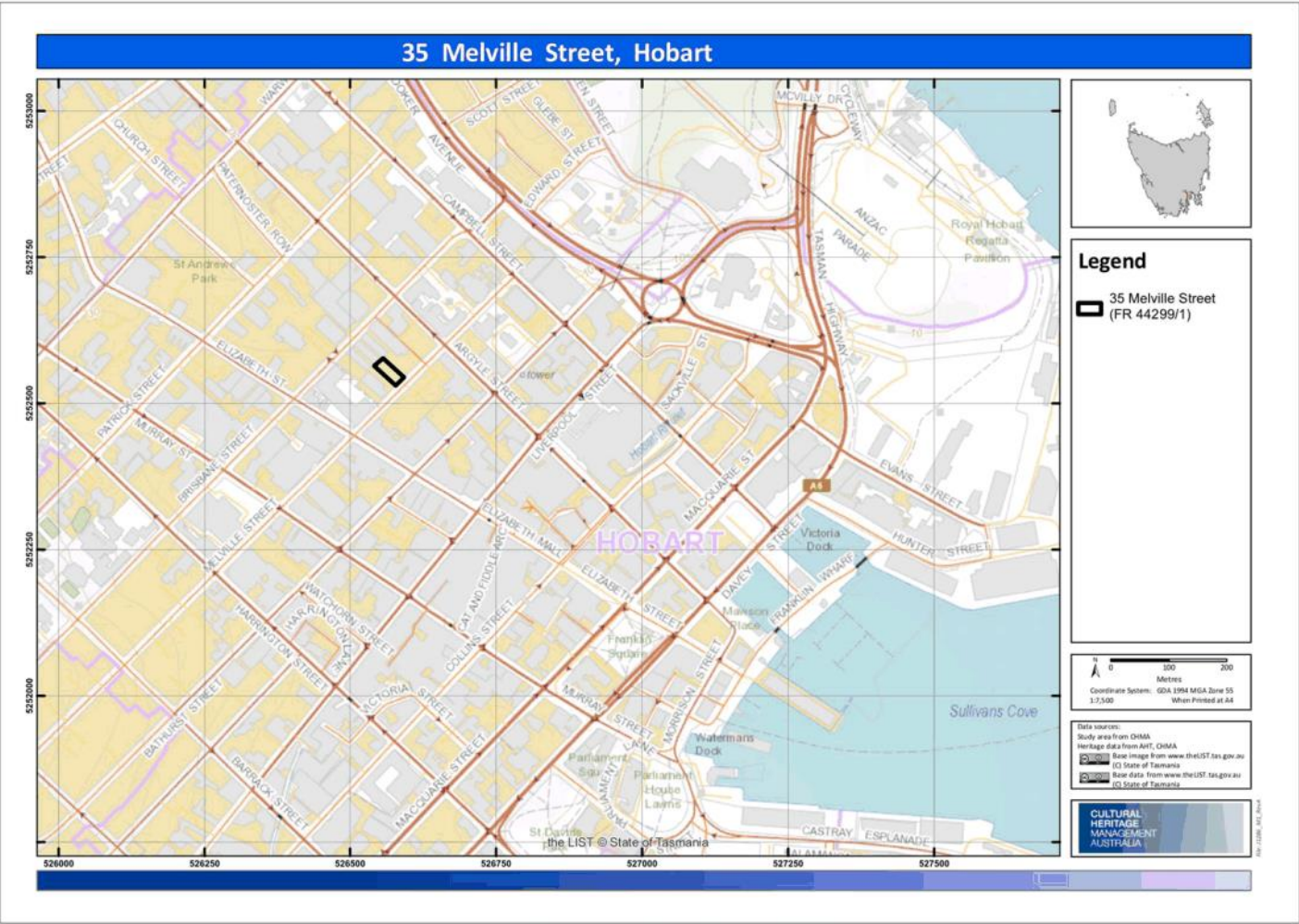


Figure 1: Topographic map showing the location of 35 Melville Street, Hobart

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Figure 2: Aerial image showing the site boundaries of 35 Melville Street, Hobart

2.0 Statutory Controls and Legislative Requirements

The following provides a summary overview of the various legislative instruments and statutory requirements relating to historic heritage in Tasmania. The review is presented in order to provide the proponent with a basic understanding of the statutory frameworks and procedures relating to heritage in Tasmania.

It should be noted that development activities in Hobart is governed by two planning schemes: *The Hobart Interim Planning Scheme 2015* (HIPS) and *the Sullivans Cove Planning Scheme* (SCPS). Both schemes are overseen by the Hobart City Council. The HIPS is the most relevant to this project and is summarised in section 2.4.

2.1 State Legislation

Land Use Planning and Approvals Act 1993

This Act (LUPAA) is the cornerstone of the State Resource Management and Planning System (RMPS). It establishes the legitimacy of local planning schemes and regulates land use planning and development across Tasmania. With regard to historic heritage, LUPAA requires that planning authorities will work to conserve those buildings, areas or other places which are of scientific, aesthetic, architectural or historical interest, or otherwise of special cultural value" [Schedule 1 Part 2(g)].

Resource Planning and Development Commission Act 1997

The Resource Planning and Development Commission (now referred to as the Tasmanian Planning Commission) is responsible for overseeing Tasmania's planning system, approving planning schemes and amendments to schemes and assessing Projects of State Significance. In terms of heritage management, the TPC will consider the establishment of heritage overlays, precincts or areas as part of the creation of planning schemes.

Resource Management and Planning Appeal Tribunal Act 1993

The Resource Management and Planning Appeal Tribunal determine planning appeals and enforce the Acts within the RMPS. The Tribunal plays an important role in the management of heritage places through its determinations on proposed development on, or near to, places of heritage significance.

Historic Cultural Heritage Act 1995

The Historic Cultural Heritage Act 1995 (HCH Act) is the key piece of Tasmanian legislation for the identification, assessment and management of historic cultural heritage places. The stated purpose of the HCH Act is to promote the identification, assessment, protection and conservation of places having historic cultural heritage significance and to establish the Tasmanian Heritage Council". The HCH Act also includes the requirements to:

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- establish and maintain the Tasmanian Heritage Register (THR);
- provide for a system for a system of approvals for work on places on the Register;
- provide for Heritage Agreements and assistance to property owners;
- provide for protection of shipwrecks;
- provide for control mechanisms and penalties for breaches of the Act.

Under the HCH Act, "conservation" in relation to a place is defined as:

- the retention of the historic cultural heritage significance of the place; and
- any maintenance, preservation, restoration, reconstruction and adaption of the place.

The definition of "place" under the HCH Act includes:

- a site, precinct or parcel of land;
- any building or part of a building;
- any shipwreck;
- any item in or on, or historically or physically associated or connected with, a site precinct or parcel of land where the primary importance of the item derives in part from its association with that site, precinct or parcel of land; and
- any equipment, furniture, fittings, and articles in or on, or historically or physically associated or connected with any building or item.

The Act created the Tasmanian Heritage Council (THC), which came into existence in 1997 and operates within the State RMPS. The THC is a statutory body, separate from government, which is responsible for the administration of the HCH Act and the establishment of the Tasmanian Heritage Register (THR), which lists all places assessed as having heritage values of state significance. The THC also assesses works that may affect the heritage significance of places and provides advice to state and local government on heritage matters. The primary task of the THC is as a resource management and planning body, which is focused on heritage conservation issues. Any development on heritage-listed places requires the approval of the THC before works can commence.

Heritage Tasmania (HT), which is part of the Department of Primary Industry, Parks, Water and the Environment, also plays a key role in fulfilling statutory responsibilities under the HCH Act. HT has three core roles:

- co-ordinating historic heritage strategy and activity for the State Government;
- supporting the Tasmanian Heritage Council to implement the HCH Act; and
- facilitating the development of the historic heritage register.

Works to places included in the THR require approval, either through a Certificate of Exemption for works which will have no or negligible impact, or through a discretionary permit for those works which may impact on the significance of the place.

Discretionary permit applications are lodged with the relevant local planning authority. On receipt, the application is sent to the Heritage Council, which will firstly decide whether they have an interest in determining the application. If the Heritage Council has no interest in the matter, the local planning authority will determine the application.

If the Heritage Council has an interest in determining the application, a number of matters may be relevant to its decision. This includes the likely impact of the works on the significance of the place; any representations; and any regulations and works guidelines issued under the HCH Act. The Heritage Council may also consult with the planning authority when making a decision.

In making a decision, the Heritage Council will exercise one of three options: consent to the discretionary permit being granted; consent to the discretionary permit being granted subject to certain conditions; or advise the planning authority that the discretionary permit should be refused. The Heritage Council's decision is then forwarded to the planning authority, which will incorporate the decision into any planning permit

Works Guidelines for Historic Heritage Places 2015

The Tasmanian Heritage Council and Heritage Tasmania have issued Works Guidelines for Historic Heritage Places. The guidelines provide a general reference for the types of works which may be exempt, or those where a permit will be required. They also define appropriate outcomes for a range of different works and development scenarios. Although specifically designed for places included in the THR, the guidelines provide useful advice for the management of heritage places generally.

As noted in section 1 of this report, CHMA contacted Heritage Tasmania (HT) to advise them as to the scope of works for this project, and to seek advice regarding any specific heritage requirements for the assessment. The primary contact person at Heritage Tasmania was Russell Dobie (Regional Heritage Advisor). Russell Dobie has provided advice (via email dated 17-11-2020) that because the proposed works are not sited within the boundaries of any Heritage Listed places or properties, there are no requirements for Tasmanian Heritage Council (THC) approvals.

2.2 Local Planning Schemes

In accordance with the requirements of the *Land Use Planning and Approvals Act 1993* (LUPAA), Local Planning Schemes have been established throughout Tasmania in accordance with regional divisions of the state.

Development activities in Hobart is governed by two planning schemes: *the Hobart Interim Planning Scheme 2015* (HIPS 2015) and *the Sullivans Cove Planning Scheme 1997* (SCPS 1997). Both schemes are overseen by the Hobart City Council. The property at 35 Melville Street is situated within land that is governed by the HIPS 2015).

The Hobart Interim Planning Scheme 2015 (HIPS)

Notice of the declaration of the Hobart Interim Planning Scheme 2015 was published in the Tasmanian Government Gazette on 13 May 2015 and it came into operation on Wednesday 20 May 2015. The Minister for Planning has declared that the HIPS applies to all of the land in the City of Hobart except for that covered by *the Sullivans Cove Planning Scheme 1997*.

Historic heritage within the City of Hobart is addressed by the Historic Heritage Code (HIPS clause E13). The Purpose of the Historic Heritage Code is:

To recognise and protect the historic cultural heritage significance of places, precincts, landscapes and areas of archaeological potential by regulating development that may impact on their values, features and characteristics (13.1.1).

This code applies to development involving land defined in this code as any of the following:

- (a) a Heritage Place;
- (b) a Heritage Precinct;
- (c) a Cultural Landscape Precinct;
- (d) a Place of Archaeological Potential.

A Heritage Place

The stone wall along the east boundary of 35 Melville Street is heritage listed in Table E13.1 of the Historic Heritage Code. Information is provided on Data Collection Sheet F115. The HIPS 2015, Part C Special Provisions, Part 9.5 Change of Use of a Heritage Place stipulates:

9.5.1 An application for a use of a Heritage Place listed in the Historic Heritage Code or a place on the Tasmanian Heritage Register that would otherwise be prohibited is discretionary.

9.5.2 The planning authority may approve such an application if it would facilitate the restoration, conservation and future maintenance of the historic cultural heritage significance of the place.

9.5.3 In determining an application the planning authority must have regard to all of the following:

- (a) a statement of significance, as defined in the Historic Heritage Code;
- (b) a heritage impact statement and a conservation plan, as defined in the Historic Heritage Code, written with regard to the proposed use;
- (c) the degree to which the restoration, conservation and future maintenance of the historic cultural heritage significance dependent upon the commencement of the proposed use;
- (d) the extent to which the proposal provides for the active use or re-use of any heritage fabric;

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(e) the likely impact of the proposed use on the residential amenity of the area if within a residential area.

The objective of development in heritage places is stated in section E13.7.2

To ensure that development at a heritage place is:

- (a) undertaken in a sympathetic manner which does not cause loss of historic cultural heritage significance*
- (b) designed to be subservient to the historic cultural heritage values of the place and responsive to its dominant characteristics.*

The table below summarises the performance criteria and accepted solutions for addressing the stated objectives.

Table 1: Summary of performance Criteria and Acceptable Solutions for a Heritage Place

Acceptable Solutions:	Performance Criteria:
A1 No Acceptable Solution.	P1 Development must not result in any of the following: loss of historic cultural heritage significance to the place (a) through incompatible design, including in height, scale, bulk, form, fenestration, siting, materials, colours and finishes; substantial diminution of the historic cultural heritage significance of the place through loss of significant streetscape (b) elements including plants, trees, fences, walls, paths, outbuildings and other items that contribute to the significance of the place.
A2 No Acceptable Solution.	P2 Development must be designed to be subservient and complementary to the place through characteristics including: (a) scale and bulk, materials, built form and fenestration; (b) setback from frontage; (c) siting with respect to buildings, structures and listed elements; (d) using less dominant materials and colours.
A3 No Acceptable Solution.	P3 Materials, built form and fenestration must respond to the dominant heritage characteristics of the place, but any new fabric should be readily identifiable as such.
A4	P4

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No Acceptable Solution.	Extensions to existing buildings must not detract from the historic cultural heritage significance of the place.
A5 New front fences and gates must accord with original design, based on photographic, archaeological or other historical evidence.	P5 New front fences and gates must be sympathetic in design, (including height, form, scale and materials), to the style, period and characteristics of the building to which they belong.
A6 Areas of landscaping between a dwelling and the street must be retained.	P6 The removal of areas of landscaping between a dwelling and the street must not result in the loss of elements of landscaping that contribute to the historic cultural significance of the place.

A Place of Archaeological Potential

Table E13.4 lists Central Hobart, the extent of which is shown in Figure 3 (Plan E13.4.1), as a Place of Archaeological Potential. The property at 35 Melville Street is situated within this Place of Archaeological Potential.

The Objective of the Development Standard as it relates to Places of Archaeological Potential is 'to ensure that building, works and demolition at a place of archaeological potential is planned and implemented in a manner that seeks to understand, retain, protect, preserve and otherwise appropriately manage significant archaeological evidence' (HIPS clause E13.10.1). Acceptable solutions and performance criteria are shown in Table 2 below.

Places of Archaeological Potential are covered by the Historic Heritage Code (HIPS clause E13). The Purpose of the Historic Heritage Code is:

To recognise and protect the historic cultural heritage significance of places, precincts, landscapes and areas of archaeological potential by regulating development that may impact on their values, features and characteristics (13.1.1).

Table 2: Summary of performance Criteria and Acceptable Solutions for a Place of Archaeological Potential

Acceptable Solutions:	Performance Criteria:
A1 Building and works do not involve excavation or ground disturbance.	P1 Buildings, works and demolition must not unnecessarily impact on archaeological resources at places of archaeological potential, having regard to: (a) the nature of the archaeological evidence, either known or predicted; (b) measures proposed to investigate the archaeological evidence to confirm predictive statements of potential;

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	<p>(c) strategies to avoid, minimise and/or control impacts arising from building, works and demolition;</p> <p>(d) where it is demonstrated there is no prudent and feasible alternative to impacts arising from building, works and demolition, measures proposed to realise both the research potential in the archaeological evidence and a meaningful public benefit from any archaeological investigation;</p> <p>(e) measures proposed to preserve significant archaeological evidence 'in situ'.</p>
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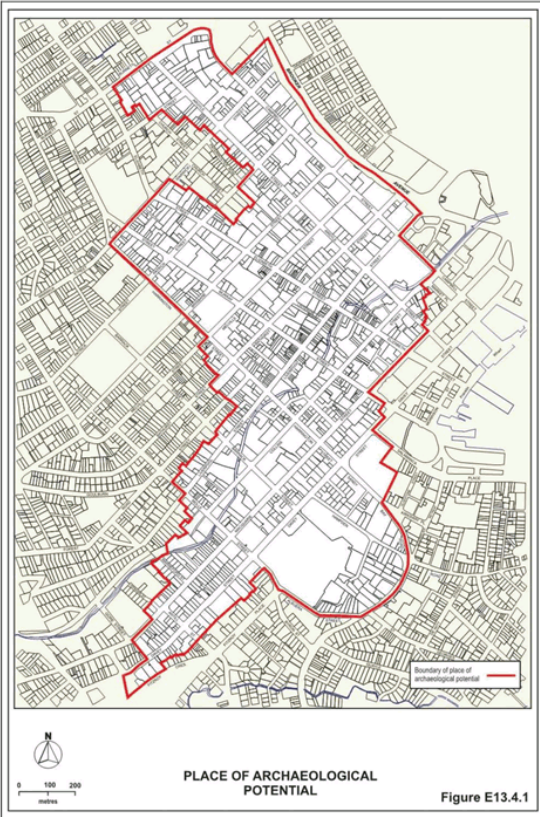


Figure 3: The designated boundaries of Place of Archaeological Potential in the Hobart City Council Area

3.0 A Brief Historic Overview for 35 Melville Street

3.1 Summary Overview

The following provides a brief historic overview for the Hobart CBD area, with specific focus of the early planning and development of the property at 35 Melville Street. The historic overview is aimed at providing a historic context for assessing the archaeological potential and heritage significance of the property. A broad range of archival records were accessed, including postal records, drainage plans, Town Grant Plans and deeds of Titles. However, it is acknowledged that there was limited information available for the occupation phase pre-dating the 1960s. Despite these limitations, it is possible, through the available information, to ascertain the key phases of development and occupation of 35 Melville Street. Table 3 provides a summary overview of the key phases of occupation and development of the property, with section 3.1 providing a more detailed overview.

Table 3: Summary overview of the key phases of development and occupation of 35 Melville Street

Period	Description
Circa 1838	Original block owner William Beachcroft
Circa 1840	Two dwelling constructed on property
Circa 1890	Evidence of a least one of the original Old Colonial Cottage still on site
1905-1913	Mrs Eliza Kerr occupies property and establishes a private school. Possible modifications to original dwelling
1913-1925	Mr Henry Johns occupies property. Major demolition works and construction of new dwelling is undertaken during this period.
1965	Conversion to an office building (owner Mrs Jack). Notable changes: widening of the driveway (column removal), car parking for multiple vehicles, removal of the front gate, front entry and stair return changes from right to the left side of the building and single sex toilets.
1968-1969	Extension at the rear of the building by the owner Mr Jackson Wayne.
	Renovation of the building for office spaces by the Australian Hotels Association. Mostly internal renovations.
Post 1990	Addition of second storey extension at rear of building.

3.2 The Development of 35 Melville Street

The central roads in Hobart are generally formed in a grid pattern. The early planning maps for Hobart show that this grid pattern was laid out quite early in the development period of Hobart. As Robertson (1919) noted:

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By 1811 Governor Macquarie had seen proof, in Sydney, of the need of a rectangular system of "town planning" for business purposes, and he came prepared to adopt that system in Hobart as far as possible... (1919:2).

The current grid alignment of the major streets in the Hobart CBD, including Melville Street is much the same as that shown in the early planning maps. However, the notable exception is that the planning maps show that the original alignment of Elizabeth Street terminated at the junction of Macquarie Street. It was only later in the mid 1800s that Elizabeth Street was extended down to the Franklin Wharf.

The early roads were also wide which has allowed for the formation of the current road network. As Robertson (1919) explained:

'[a]n early Government Regulation compelled Hobart owners, in their building operations, to set back their erections to a greater distance from the kerb than now prevails in Hobart' (1919:3).

A search of the archival records shows that the original owner of 35 Melville Street (then known as 39 Melville Street) was William Beachcroft, who was granted the land in the 1830s Figure 4 shows the Town Grant Chart for 1838, with William Beachcroft as the property owner. Figure 5 provides the original deeds of the land grant.



Figure 4: Town Grant Chart showing property of owner of the study area as William Beachcroft (The List Map: Overlay Town Grant Chart)

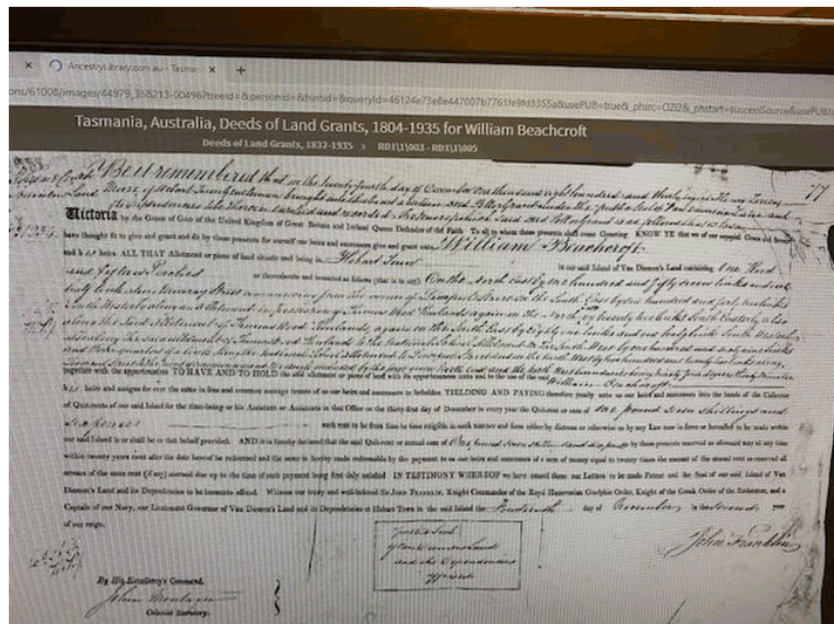
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Figure 5: Information and Deed for William Beachcroft's Town Land Grant (TAHO: Ancestor.com)

It was the surveyor, James Sprent, who provided the first accurate and triangulated map of Hobart Town. Sprent created 76 pages of maps between 1841 and 1858 of Hobart Town. These maps are currently available online at Tasmanian Government's site LISTMap (<https://maps.thelist.tas.gov.au/listmap/app/list/map>). Sprent's map for Melville Street shows two structures present on the 35 Melville Street property (see Figure 6). There are no details available describing the two dwellings, besides the outline of the size and shape on the plans. There is some evidence to indicate that at least one of these structures (the front structure) was most likely a cottage (see below), and it is possible that the second structure on the boundary was the same. This being the case, they were probably constructed from wood or brick (Godden Mackay Logan 2000:31).

The stone wall that currently runs along the frontage of 35 Melville Street probably dates to the early 1840s development of the block and the adjacent properties.

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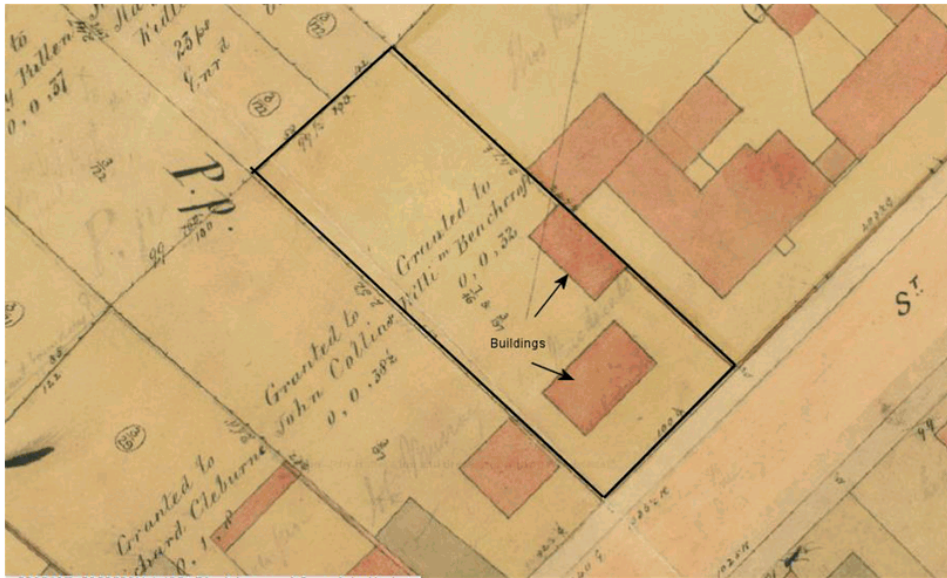


Figure 6: James Sprent's Map showing two dwelling on the study area prior to 1841-1858 (The List Map: Overlay Sprent's Book)

Precisely how long these original dwellings on 35 Melville Street survived is not clear. Photographs taken in the 1880s to 1890s of the adjacent Pressland House (33 Melville Street) shows glimpses of what appears to be the original cottage at the front of the block at 35 Melville Street (see Plates 1 and 2). Drainage plans dating from 1905 show the outline of what may be the original cottage at the front of the block. The dwelling on the side boundary appears to have been removed by this point (see Figure 7). This correlates with the period that Mrs Eliza Kerr occupied the site and operated the Farnham Private School (Period from 1905 to 1913).

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Plate 1: Showing Pressland House and the front wall of 35 Melville Street (TAHO: photographic collection Anson Brothers c.1887)



Plate 2: The two chimney's, roof and window of 35 Melville Street are sited to left of Pressland House (UTAS Walker dated c.1881)



Figure 7: Excerpt from the Metropolitan Drainage Board's 1905 plan – study area is numbered 39 not 35 (TAHO: Detail Plan no 7)

From 1913 to around 1925, Mr Henry Johns, the co-proprietor of the Derwent Inn (former Jolly Hatter Inn in 1911) occupies 35 Melville Street. It is during this period that the substantial demolition and rebuilding works on the site appear to have occurred. The available evidence indicates that the original cottage at the front of the block was demolished during this period, and a new residence constructed.

In 1919 William Graham Robertson created a record of Hobart's streets. An excerpt from Robertson's Journal makes reference to a dwelling on 35 Melville Street having been demolished.

"Cottage just removed next Pressland House, was, in 'the forties', the residence of Mister Corrie, who went in the sixties to Queensland". (Robertson 1919:33)

At around this same time, the drainage plans for 35 Melville Street shows a substantially increased building footprint, with the driveway also apparently widened (see Figure 8). Unfortunately, no building plans prior to 1965 were archived for 35 Melville Street (in particular, nothing associated with the 1919 drainage plan).

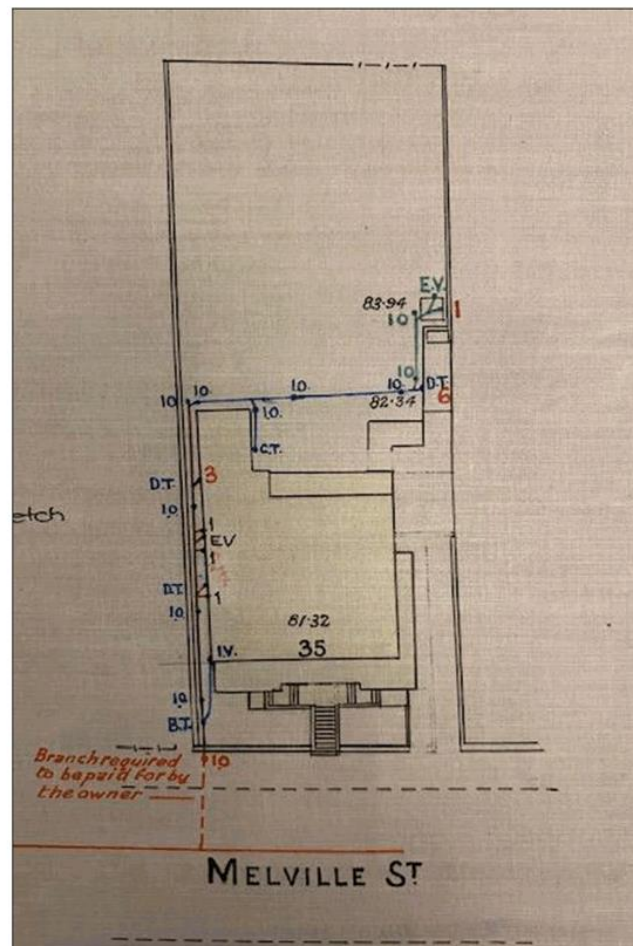


Figure 8: Excerpt from the 1919 Drainage Plan for Mr James, 35 Melville Street (Hobart City Council)

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The dwelling built on the site in the late 1910s to early 1920s in part still survives today, albeit with substantial modifications and extensions. The present front façade of the dwelling provides the best surviving evidence of what this dwelling was. It appears to have been a single storey bungalow with front balcony, built in the style of what is best described as an inter-war Georgian Revival Federation Bungalow. The inter-war refers to the period between 1918 to 1940, with the stylised and substantial front columns or pillars providing the Georgian Revival component (see Plate 3).

It is interesting to note that although the original 1840s cottage was demolished, the original stone wall along the frontage of the property was retained, and the access point through the wall to the front of the house as well as the side entrance remained largely unchanged (see Plate 3).



Plate 3: View of the frontage of the existing dwelling at 35 Melville Street, showing the inter-war Georgian Revival Federation Bungalow style and the stone wall frontage

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The Hobart City Council has archived its building records (House Plans) from 1919 – 1990 at the Tasmanian Archive and Heritage Office (TAHO). There are three records for 35 Melville Street that were available, dated 1965 (record 20133), 1968-69 (record 80127) and 1980 (record 8645). These records show that substantial modifications and extensions occurred at the property during these periods.

In 1965 the owner, Mrs D. A. Jack, had architectural plans drawn up by I. D. L. Abbott which changed the building to a commercial space. These plans allowed for the widening off the driveway (and associated amendments to the house), car parking for multiple vehicles, removal of the front gate, creation of new front entry and changed stair return, and single sex toilets. A new retaining wall was planned for the driveway, from the front wall to the main building, and capping stones were marked for possible reuse on the plan (see Figures 9 and 10).

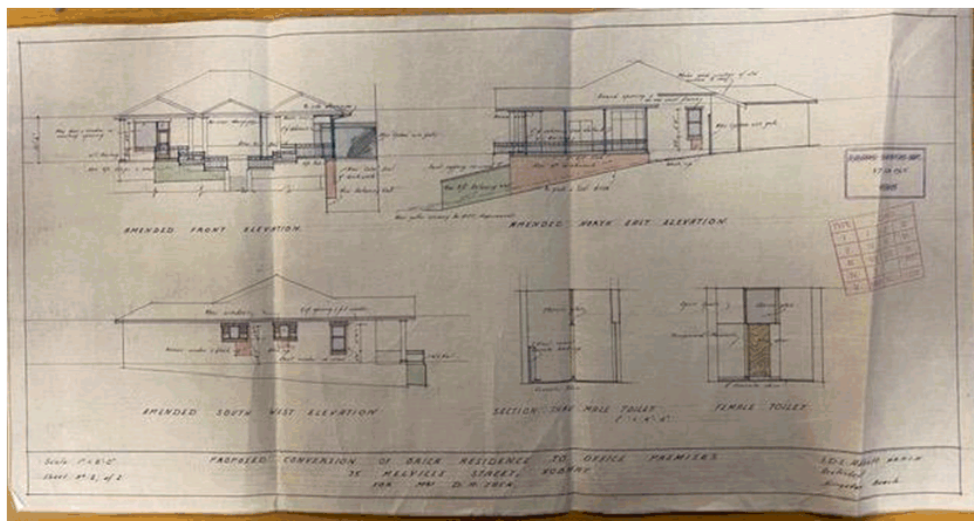


Figure 9: Architectural Plans for 1965: Note extension of the driveway (TAHO: building application record 20133)

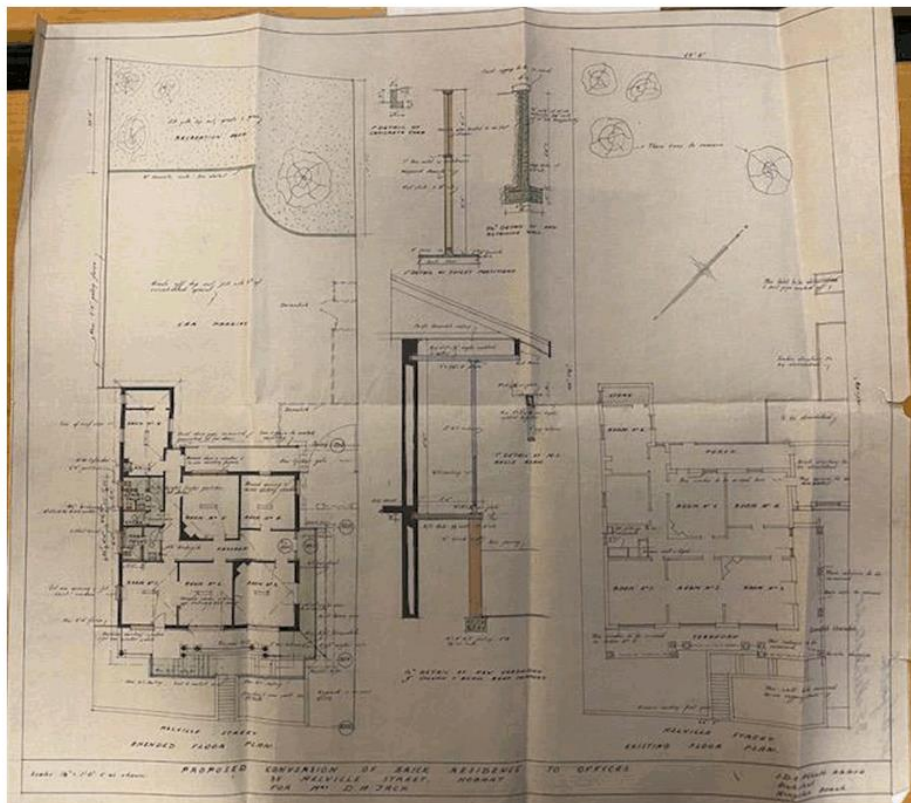
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Figure 10: Architectural Plans for 1965: Note removal of part of the front wall and details of column removal (TAHO: building application record 20133)

In 1968 the then owner, Mr Jackson Wayne, had architectural plans drawn up by Johnston Crawford & de Bavay Architects to extend the rear of the building (see Figure 11). The proposed cost was \$2,2000 to \$3,300 and the builder was D. Williams. Building approval was given in 1969. The building was being used by St Johns Hospital.

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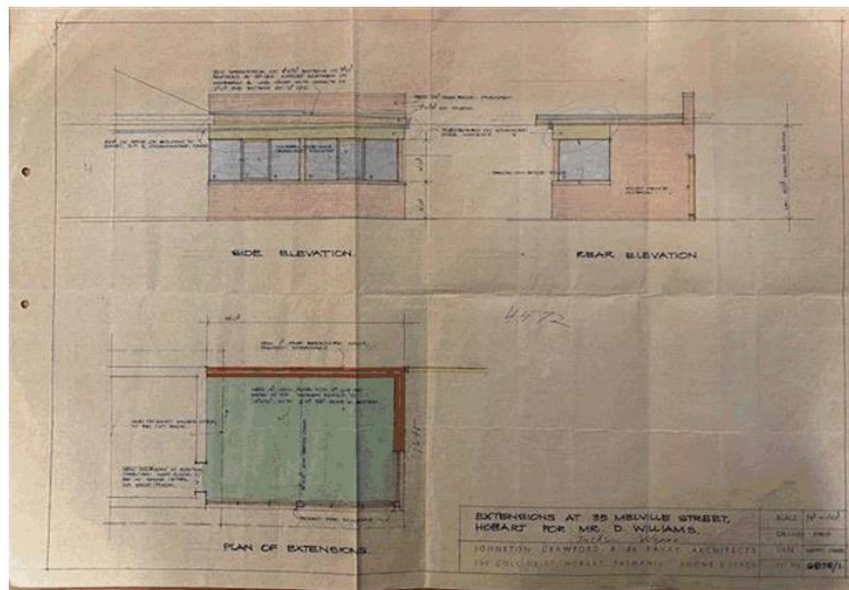


Figure 11: Architectural plan for 1968-69: Extension at the rear of the building (TAHO: building application record 69138)



Plate 4: The extension at the rear of the building built in 1969

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In 1980 the building was owned by the Australian Hotels Association. During this period, renovations of the building was undertaken for office spaces. These renovations involved substantial modifications to the internal components of the building (see Figure 12). The builder who undertook the work was Brian Freeman Pty Ltd at an estimated cost of \$38,000. The proposed use of the building was listed as 'offices'.

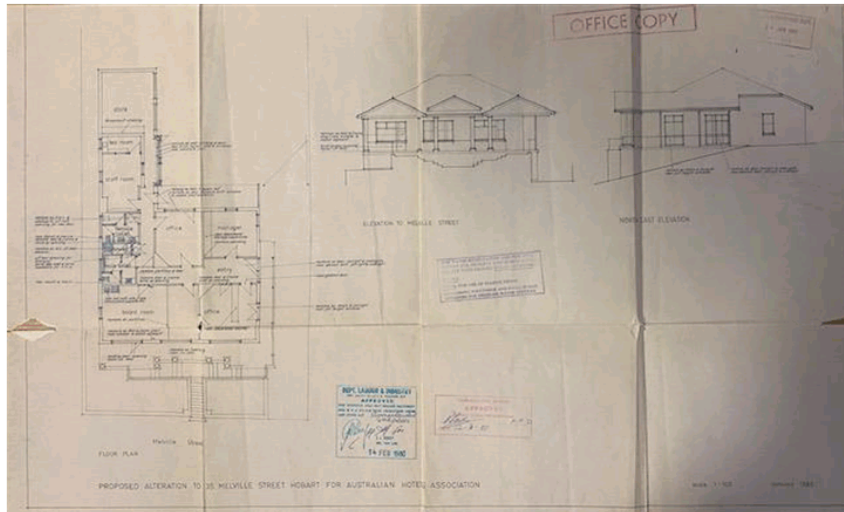


Figure 12: Renovation plans for the 1980s (TAHO: building application record 8645)

Post 1990 there appears to have been a second storey brick extension added to the rear of the building (see Plate 5). After 1990 all building plans belong to the Hobart City Council, and as such, the plans for this extension were not able to be accessed through the archives.

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Plate 5: View of the south side of the building showing the post 1990 second storey extension

4.0 Statement of Significance

4.1 The Stone Wall Feature

The heritage significance of 35 Melville Street relates primarily to the Victorian Georgian stone wall that runs along the frontage of the property, on the northern side of Melville Street. The stone wall is listed in Table E13.1 of the Historic Heritage Code of the HIPS 2015. The data collection sheet for the listing (F115) refers solely to the wall, and does not mention any other buildings or features on the site. The wall is described as being

“located along the Melville Street frontage of this allotment and appears to date from the 1840s. The allotment, which the wall partially delineates, was formed and built upon by the 1840s. This 32 perch parcel of land was originally granted to William Benchcroft. Sprent's plan shows thick boundary walls running the length of the southern and eastern boundaries. This high boundary wall is constructed of coursed random rubble that has been roughly pecked. There is a front entrance at the centre of this section of walling which is defined by two high stone pillars constructed of light and dark coloured sandstone blocks”.

The wall is noted to contribute to the streetscape of the area, which is dominated by early and late nineteenth century buildings. According to the data collection sheet, the wall has been assessed as being of local significance on the basis of historic associations and research potential. The statements of significance provided on the data collection sheet is presented below.

(a)-Historical:

The wall at 35 Melville Street is of heritage significance because it has the ability to contribute to our understanding of the early settlement pattern of inner Hobart.

c)-Research Potential:

The wall at 35 Melville Street has the potential to yield important information of an archaeological nature that may contribute to a greater understanding of Hobart's history, as it is seemingly all that remains of an earlier structure built on the site by the 1840s

A copy of the data collection sheet is provided in Appendix 1 of this report.

The research undertaken as part of this current assessment, together with the on-site inspections, confirms the details presented in the data collection sheet. The section of the wall fronting 35 Melville Street is constructed of coarse, roughly pecked sandstone blocks and internally packed and filled with smaller rubble features. On top of the wall there is a row of rectangular sandstone capping blocks (see Plate 6). There is a front entrance in the centre of the wall which is delineated by columns made of sandstone (see plate 7). This appears to have been the original front entrance to the property, dating back to the 1840s. It should be noted that while the entrance is original, the stairs leading up to the front of the existing house is not original, but rather is a product of later

35 Melville Street Hobart: Statement of Archaeological Potential and Heritage Impact Statement
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developments (see Plate 7). Additionally, the area between the existing building and the wall has been heavily modified, with fill material and concrete covering this area.

The wall itself is largely intact and is in reasonable condition. It is noted that the northern end of the wall, including the return running towards the house, was demolished in the 1960s as part of the widening of the driveway and was replaced by a concrete rendered section of wall. The original capping stones appear to have been placed on top of this replacement section of the wall (see Plate 8). These minor impacts to the wall do little to diminish the significance values of the feature. The assessment of the wall being of local significance for the reasons outlined in the data collection sheet is supported.

The register searches undertaken for the property shows that the wall feature is not currently listed on the Tasmanian Heritage Register (THR). The advice from Heritage Tasmania (HT) is that there are no current proposals to list the wall feature on the THR. As such, the wall has not been officially assessed as being of State significance. Based on the current evidence and information, it is assessed that the wall feature is unlikely to meet the threshold requirements for State significance.



Plate 6: View of the section of the heritage listed stone wall feature fronting 35 Melville Street

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Plate 7: The original sandstone column entrance at the centre of the wall, with the later addition of the concrete stairs



Plate 8: The section of the wall demolished during the 1960s for the widening of the driveway and the concrete section of replacement

4.2 The Original Building 1840s Buildings

As noted in section 3 of this report and further discussed in section 5, the Sprent plans for Melville Street shows two structures present on the 35 Melville Street property (see Figure 6). The two dwellings, identified by Sprent, on the site would most likely have been cottages classified as being from 'The Old Colonial Period' from 1803 - c.1840.

These two structures have subsequently been demolished and the areas re-developed. It is assessed that there is a limited potential for any features (such as foundations) associated with these two dwellings to still survive (see section 5 for details). However, if it was to be subsequently confirmed that such features were still present, then, depending on the intact nature of these features and the inherit research potential, they may be of local and possible State significance. This is of course speculative at this point in time.

4.3 The Existing Building

The existing building on 35 Melville Street originally dates to the late 1910s to early 1920s. The present front façade of the dwelling provides the best surviving evidence of what this dwelling was. It appears to have been a single storey bungalow with front balcony, built in the style of what is best described as an inter-war Georgian Revival Federation Bungalow. The building has subsequently been extensively renovated (both externally and internally) and has a number of extensions (see section 3 of this report).

Because of the extensive modifications to the dwelling, the significance of the building is very limited. The front façade of the building, which still retains some of the original features may have a low level of local significance (based on the representation of this era and style of bungalow), however, is unlikely to meet the threshold requirements for inclusion on Table E13.1 of the Historic Heritage Code of the HIPS 2015. This is consistent with the current status of the data collection sheet listing for the property (F115) which refers solely to the wall and does not mention any other buildings or features on the site. It is noted that there are far better representative examples of this period and style of bungalow within the Hobart CBD area that have not been as extensively modified.

5.0 Statement of Archaeological Potential

As described previously, the Sprent plans for Melville Street, prepared circa 1840 to 1850, shows two structures present on the 35 Melville Street property. At least one of these structures was likely to have been a cottage dating from the Old Colonial Period' from 1803 - c.1840. The second structure on the boundary of the property is of a similar size (based on the Sprent Plan) and may have been a similar dwelling or could have served another purpose.

Both suspected 1840s structures that were once present on the site are known to have been destroyed, most likely in the early 1900s (pre-1920). The stone wall that runs along the frontage of 35 Melville Street is believed to have been constructed roughly at the same time as these structures and is the only known surviving feature on the site from this 1840s period. The two structures and the stone wall are the primary focus of the Statement of Archaeological Potential.

The Sprent Plans are known to be reasonably accurate. This means that if we overlay the Sprent Plan for Melville Street onto the site plan for the existing block, we can get a reasonable idea as to the location of these 1840s structures in relation to the existing development footprint. Figure 13 shows the original plan prepared by Sprent for Melville Street, with Figure 14 showing the overlay of this plan onto the existing development footprint on the site. Figure 15 shows the overlay of the two structures in relation to the soil disturbing excavation works that are proposed to take place as part of the new development application.

As can be seen from Figure 14, the overlay shows that the footprint for the front dwelling is situated directly within the footprint of the existing building on the property. This tallies with other evidence presented in section 3 of this report, which suggests that the original cottage was demolished around 1920, in order to build the new house. Realistically, there is very little potential for any sub-surface archaeological features such as foundation footings to have survived this redevelopment. If features are present, they are covered over by the foundations of the existing building, in an area where no earth disturbing works are proposed to be undertaken as part of the present development proposal and therefore are not under any threat of impact (see Figure 15).

The footprint for the second dwelling, abutting the boundary of the property appears to be situated where the existing driveway providing access to the rear of the property is located. Only the southern edge appears to be situated underneath the footprint of the existing building (see Figure 14 and Plate 9). The driveway is built on a layer of fill and bitumen material, with the depth of fill material unknown at this stage. However, there is a reasonable potential that some or all of the foundations associated with this original dwelling may have survived. This of course is dependent on how much original soil deposit was removed to create the driveway. Figure 15 shows the location of this

structure in relation to the site excavation works that are proposed to be undertaken as part of the current development application. The earth disturbing works at the rear of the building are confined to the west of the footprint of this structure. There is therefore a low potential for archaeological remains to be encountered. Nonetheless, there is some level of risk, and this would warrant the monitoring of initial earth disturbing works in this area in case archaeological features are present (see section 6 of this report for further details).

The area between the existing stone wall fronting Melville Street and the footprint of the original 1840s front cottage was likely to have been a small walled cottage garden, with a path leading from the main entrance through the wall to the front entrance of the cottage. This area has been heavily modified through the development of the 1920s building and subsequent extensions and modifications. Whilst the stone wall and original pillared entrance to the wall are still intact, the stairs leading to the existing building has been replaced with concrete stairs, and the area between the wall and the building has been filled with concrete and fill up to the height of the wall, which is approximately 2m (see Plates 10 and 11). Any features associated with the original 1840s cottage garden area, or other archaeological remains from this period are likely to be destroyed or covered over by concrete and fill. The archaeological potential of this area is assessed as being negligible.

The proposed development plans for this area shows that a new set of stairs will be constructed to provide access to the building. The new access will utilise the existing main access point through the stone wall and will then branch off to the north from the existing stairs. The construction of the new stairs will require the removal of some existing concrete and fill material in the area between the stone wall and the existing building. However, the wall itself will not be directly impacted. Figure 15 shows the proposed excavation area for the stairs, with Plate 11 showing the extent of existing concrete and fill in this area. Given that the excavations will be confined to within the fill material, there is little to no potential for archaeological remains to be encountered. Precautionary management procedures have been put in place to ensure the integrity of the stone wall structure is not compromised during construction (see section 6 of this report).

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Figure 13: James Sprent's Map showing two dwelling on the study area prior to 1841-1858 (The List Map: Overlay Sprent's Book)



Figure 14: The two 1840s structures overlaid onto the existing development footprint at 35 Melville Street

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Figure 15: The overlay of the two structures in relation to the soil excavation works that are proposed to take place as part of the new development application



Plate 9: The indicative location of the second 1840s structure on the site, under the existing driveway

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Plate 10: The main entrance through the stone wall feature showing the original sandstone pillars on the wall entrance and the later addition of the concrete stairs



Plate 11: The area behind the wall where the new stair access is proposed to be constructed. Note the extent of concrete in this area, to the height of the wall.

6.0 Heritage Impact Statement and Management Recommendations

The Stone Wall Feature

The existing Stone Wall that runs along the frontage of Melville Street is believed to date to the 1840s and is listed in Table E13.1 of the Historic Heritage Code of the HIPS 2015. The wall is noted to contribute to the streetscape of the area, which is dominated by early and late nineteenth century buildings. According to the data collection sheet (F115), the wall has been assessed as being of local significance on the basis of historic associations and research potential.

The wall itself is largely intact and is in reasonable condition. It is noted that the northern end of the wall, including the return running towards the house, was demolished in the 1960s as part of the widening of the driveway and was replaced by a concrete rendered section of wall. The stone wall is the main feature of significance on the site and all necessary precautions should be taken to ensure that the integrity of the wall is not compromised by the development proposal.

As detailed in section 5 of this report, the proposed construction of the new stair access to the building will not directly impact on the stone wall. However, some fill material and concrete from behind the wall will need to be removed in order to construct the new stairs. In order to ensure that the stability and integrity of the wall is not compromised during these works, the following management procedures should be implemented.

- Excavation works should be confined to a minimum distance of 0.3m from the internal edge of the stone wall.
- The stone wall should be appropriately braced to ensure that it does not collapse both during or post construction. Engineering plans should be developed which details the design and installation of this bracing system. These should be submitted to the HCC as part of the building application.
- The northern end of the wall, including the return running towards the house, was demolished in the 1960s as part of the widening of the driveway and was replaced by a concrete rendered section of wall. If fill material is required to be removed from this area, then this newer section of wall could be partially removed for this purpose. At the completion of works, this part of the wall should be repaired in keeping with the existing wall structure and the original sandstone capping stones replaced on top of the wall.
- During the course of the excavation works behind the wall, the works should be periodically inspected by a heritage specialist to ensure that the integrity of the wall has not been compromised.

The Suspected 1840s Dwelling Features

The Spent plans show two suspected 1840s dwellings were present on the site. These two structures are believed to have been demolished some time in the early 1900s and the areas re-developed.

As detailed in the Statement of Archaeological Potential (section 5), the front dwelling is situated directly within the footprint of the existing building on the property. It has been assessed that there is very little potential for any sub-surface archaeological features such as foundation footings to have survived this redevelopment. If features are present, they are covered over by the foundations of the existing building, in an area where no earth disturbing works are proposed to be undertaken as part of the present development proposal and therefore are not under any threat of impact. It is advised that there should be no further management requirements that apply for this area.

The footprint for the second dwelling, abutting the boundary of the property appears to be situated where the existing driveway providing access to the rear of the property is located. Only the southern edge appears to be situated underneath the footprint of the existing building. It has been assessed that there is a reasonable potential that some or all of the foundations associated with this original dwelling may have survived.

The earth disturbing works at the rear of the building are confined to the west of the footprint of this structure and it has been assessed that there is a low potential for archaeological remains to be encountered in this area. However, as a precautionary measure, the following management procedures should be implemented.

- A heritage specialist should be present on-site during the soil excavation works in this area in order to monitor for the presence of archaeological features or objects.
- The procedures outlined in Practice Note No 2 issued by the Tasmanian Heritage Council, processes will be followed should any unexpected archaeological features and/or deposits be revealed during works.

The Existing Building

The existing building on 35 Melville Street originally dates to the late 1910s to early 1920s. The present front façade of the dwelling provides the best surviving evidence of what this dwelling was. It appears to have been a single storey bungalow with front balcony, built in the style of what is best described as an inter-war Georgian Revival Federation Bungalow. The building has subsequently been extensively renovated (both externally and internally) and has a number of extensions (see section 3 of this report).

Because of the extensive modifications to the dwelling, the significance of the building is very limited. The front façade of the building, which still retains some of the original features may have a low level of local significance (based on the representation of this era and style of bungalow), however, is unlikely to meet the threshold requirements for inclusion on Table E13.1 of the Historic Heritage Code of the HIPS 2015.

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The proposed development plans show that there are some proposed modifications to the front of the existing building. This includes an extension to a section of the existing roof line, landscaping and the painting of exterior walls. It is assessed that these proposed modifications in their current form will have a minimal impact on the heritage values of the front exterior of the house. The main distinguishing heritage features of the front of the house are the balcony and the columns, and these will remain largely unchanged. The proposed extension to the roof line is minor in scale and will not adversely alter the overall style and look of the roof. The proposed colour schemes for the exterior walls and roof are in keeping with existing colour schemes.

Besides the front face of the house, the remaining parts of the existing building retain little to no heritage values or significance, and it is assessed that the proposed works will not adversely impact on heritage values.

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https://eprints.utas.edu.au/2336/5/Walchs_almanac1889_sml.jpg. Accessed 24 November 2020.

Legislation

HIPS - The Hobart Interim Planning Scheme 2015

http://www.hobartcity.com.au/Development/Planning/Planning_Schemes/Hobart_Interim_Planning_Scheme_2015, sourced 21-11-2020

<http://iplan.tas.gov.au/pages/plan/book.aspx?exhibit=hobips>, sourced 21-11-2020

Places of Archaeological Potential in the Hobart City Council Area

<http://iplan.tas.gov.au/pages/plan/book.aspx?exhibit=hobips>, sourced 21-11-2020

Historic Cultural Heritage Act 1995

Historic Cultural Heritage Act 1995

Works Guidelines for Historic Heritage Places, Nov 2015

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Appendix 1

Data Collection Sheet F115

Data Collection Sheet

F115

Name:	Stone Wall		
	35	Melville Street	Hobart
Type:	<i>Other</i>	Feature Type:	
Use:	<i>Other</i>	Archit. Style:	<i>Victorian Georgian</i>
Walls:	<i>Sandstone</i>	Roof:	<i>n/a</i>
Floors:	<i>n/a</i>	Integrity:	<i>Externally predominantly intact. Small sections of the wall have been rendered.</i>
Attic:	<input type="checkbox"/>	Basement:	<input type="checkbox"/> Nominated By: HCC
Visual Relationships	<i>This property is located on the northern side of Melville Street. The wall is located along the front (southern) boundary of 35 Melville Street. It contributes to the streetscape of the area, which is dominated by early and late nineteenth century buildings.</i>		
Historical Relationship:	<i>The stone wall located along the Melville Street frontage of this allotment appears to date from the 1840s. The allotment, which the wall partially delineates, was formed and built upon by the 1840s. This 32 perch parcel of land was originally granted to William Benchcroft. Sprent's plan shows thick boundary walls running the length of the southern and eastern boundaries.</i>		
Description:	<i>This high boundary wall is constructed of coursed random rubble that has been roughly pecked. There is a front entrance at the centre of this section of walling which is defined by two high stone pillars constructed of light and dark coloured sandstone blocks.</i>		

STATEMENTS OF SIGNIFICANCE

(a)-Historical:

The wall at 35 Melville Street is of heritage significance because it has the ability to contribute to our understanding of the early settlement pattern of inner Hobart.

(b)-Rarity:

(e)-Creative / Technical:

(f)-Community:

This wall makes a significant contribution to the streetscape of the area, and therefore is important to the community's sense of place. It contributes, in conjunction with its neighbours, to a relatively intact nineteenth century commercial streetscape.

(c)-Research Potential:

(g)-Association:

The wall at 35 Melville Street has the potential to yield important information of an archaeological nature that may contribute to a greater understanding of Hobart's history, as it is seemingly all that remains of an earlier structure built on the site by the 1840s.

(d)-Representative of:

No Significance?:

Supported: ☐Not Supported: ☐Refer: ☐

Signed: _____

03/09/2010

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CHMA 2020

Appendix 2

Copy of Response Letter from HCC

Planning: #216248

Property

35 MELVILLE STREET HOBART TAS 7000

People

Applicant
=
JSA Consulting Engineers
Robert Beadle
Level 1, 119 Sandy Bay Road
SANDY BAY TAS 7005
0362245625
mail@jsa.com.au

Owner
=
35 Melville Street Pty Ltd

Unit 1
37 Ascot Drive
HUNTINGFIELD TAS 7055
0409 042 434
samm@sjmpropertydevelopments.com.au

Entered By
ROBERT BEADLE
119 SANDY BAY ROAD
SANDY BAY TAS 7005
03 6224 5625
robert@jsa.com.au

Use

Other

Details

Have you obtained pre application advice?

• No

If YES please provide the pre application advice number eg PAE-17-xx

Are you applying for permitted visitor accommodation as defined by the State Government Visitor Accommodation Standards? Click on help information button for definition. If you are not the owner of the property you MUST include signed confirmation from the owner that they are aware of this application.
=

• No

Is the application for SIGNAGE ONLY? If yes, please enter \$0 in the cost of development, and you must enter the number of signs under Other Details below.

☒ - No

If this application is related to an enforcement action please enter Enforcement Number

Details

What is the current approved use of the land / building(s)?

Office

Please provide a full description of the proposed use or development (i.e. demolition and new dwelling, swimming pool and garage)

Proposed Public Bar and Beer Garden

Estimated cost of development

250000.00

Existing floor area (m2)	Proposed floor area (m2)	Site area (m2)
469.82	643.64	809

Carparking on Site

Total parking spaces	Existing parking spaces	N/A
7	17	<input type="checkbox"/> Other (no selection chosen)

Other Details

Does the application include signage?

☒ No

How many signs, please enter 0 if there are none involved in this application?

0

Tasmania Heritage Register

Is this property on the Tasmanian Heritage Register?

☒ No

Documents

Required Documents

Title (Folio text and Plan and Schedule of Easements)

20E99-67 - Title.pdf

Plans (proposed, existing)

20E99-67 - Architectural Sheet Set - Rev C.pdf

**RESULT OF SEARCH**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

SEARCH OF TORRENS TITLE

VOLUME 44299	FOLIO 1
EDITION 10	DATE OF ISSUE 16-Jul-2020

SEARCH DATE : 21-Oct-2020

SEARCH TIME : 07.54 AM

DESCRIPTION OF LAND

City of HOBART

Lot 1 on Diagram 44299

Derivation : Whole of 32 Perches Gtd. to W. Beachcroft

Prior CT 4666/11

SCHEDULE 1

M810363 TRANSFER to 35 MELVILLE STREET PTY LTD Registered
16-Jul-2020 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

M827542 MORTGAGE to Murdoch Clarke Mortgage Management
Limited Registered 16-Jul-2020 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

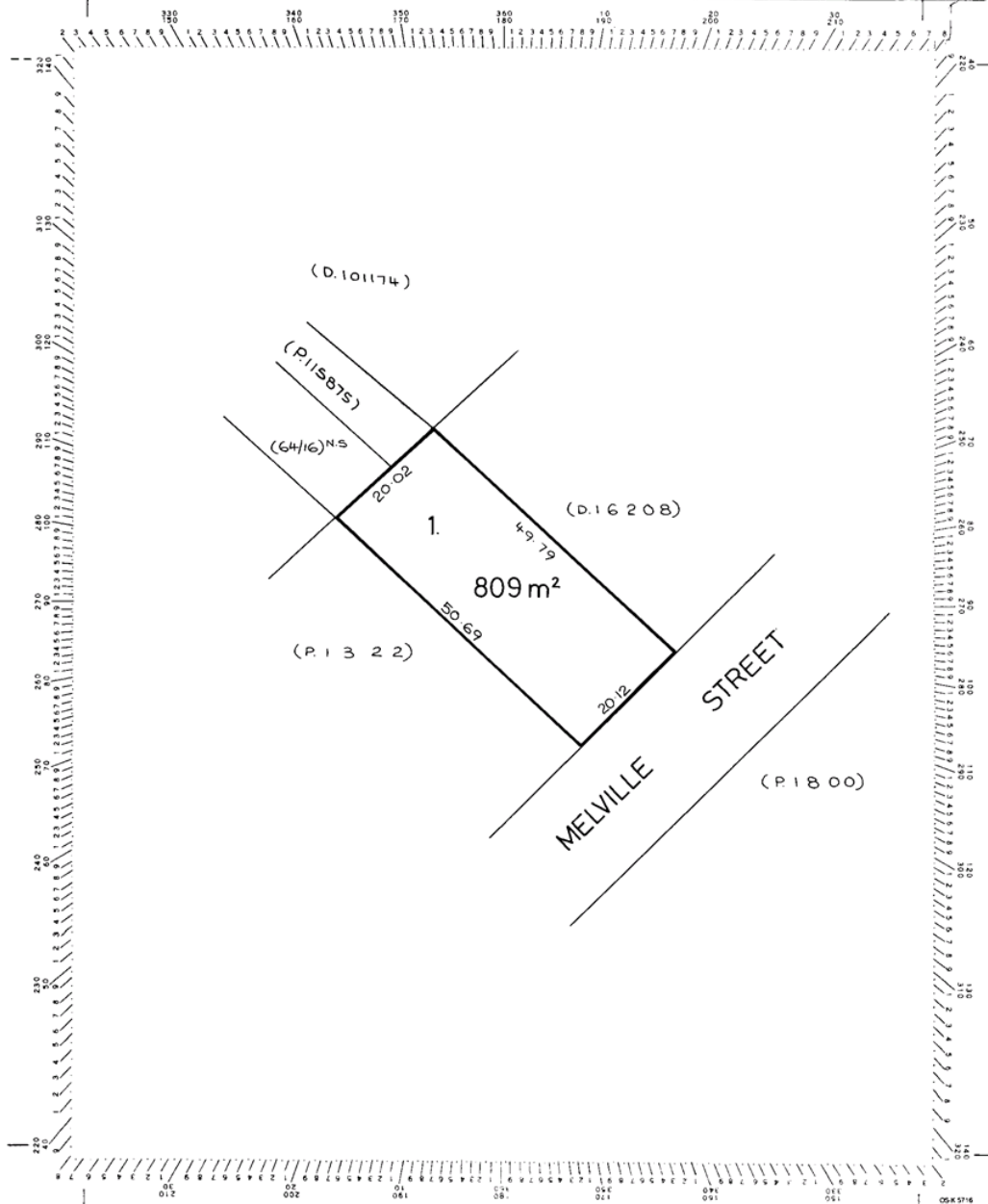
**FOLIO PLAN**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



Owner: L . T . ACT 1980.	PLAN OF SURVEY of land situated in the	Registered Number: D.44299
Title Reference Y.11835	CITY OF HOBART (SEC. PP)	Approved: <i>[Signature]</i>
Grantee: WHOLE OF 0-0-32 GTD. TO WILLIAM BEACHCROFT.	COMPILED FROM: 7/46 HOB LO	Recorder of Titles
SCALE 1: 600 MEASUREMENTS IN METRES		



	Sarah Waight
	35 MELVILLE STREET, HOBART
	Partial Demolition, Alterations, Extension, Signage and Change of Use to Hotel Industry
	PLN-20-723
	Tristan Widdowson,

This place is heritage listed in Table E13.1 of the Historic Heritage Code and is listed in the General Description column as 'stone wall'. It is also located in a Place of Archaeological Potential.

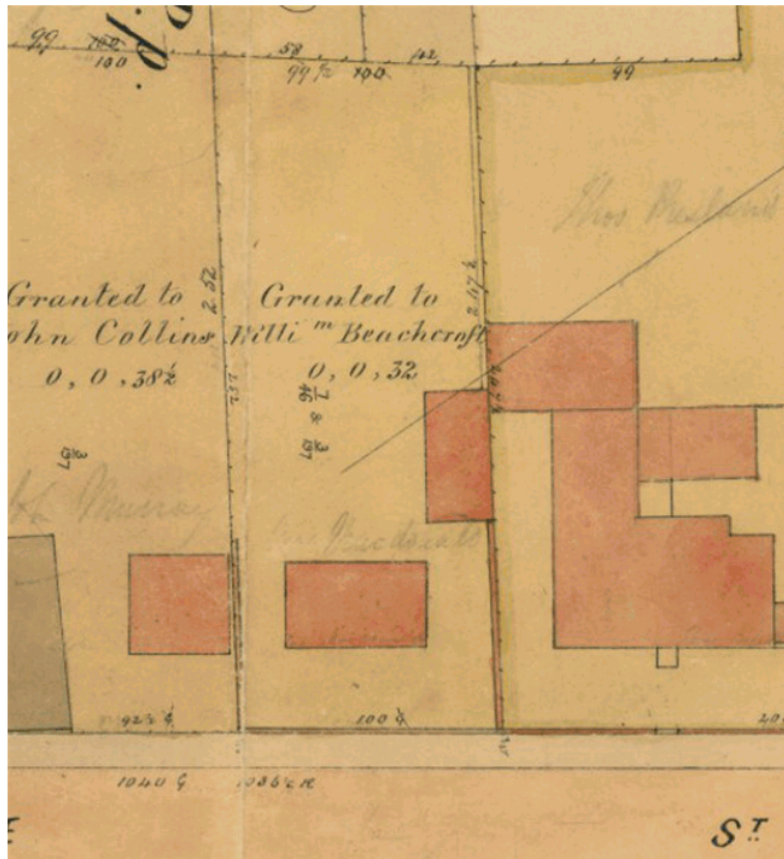


The subject property. The stone wall dates to c.1840 and the current house (c.1920) is positioned over the site of the c.1840 house.

Source: Council image

The proposal is for demolition and new works as well as a change of use. The demolition and works include changes to the entrance and front access/balcony to the property, internal and external demolition, a new beer garden, parking to the rear and landscaping. A small sign opposite the front gate is also proposed. This work must be assessed under the Historic Heritage Code of the Scheme under clause E13.7.1 P1, E13.7.2 P1, P2, P3, E13.10.1 and the Signs Code E17.7.2 P1 and satisfy all sub clauses (a) to (i).

The application is supported by a Statement of Archaeological Potential and Heritage Impact Statement by Cultural Heritage Management Australia, dated 17 Dec 2020.



Sprent's representation of the subject property.

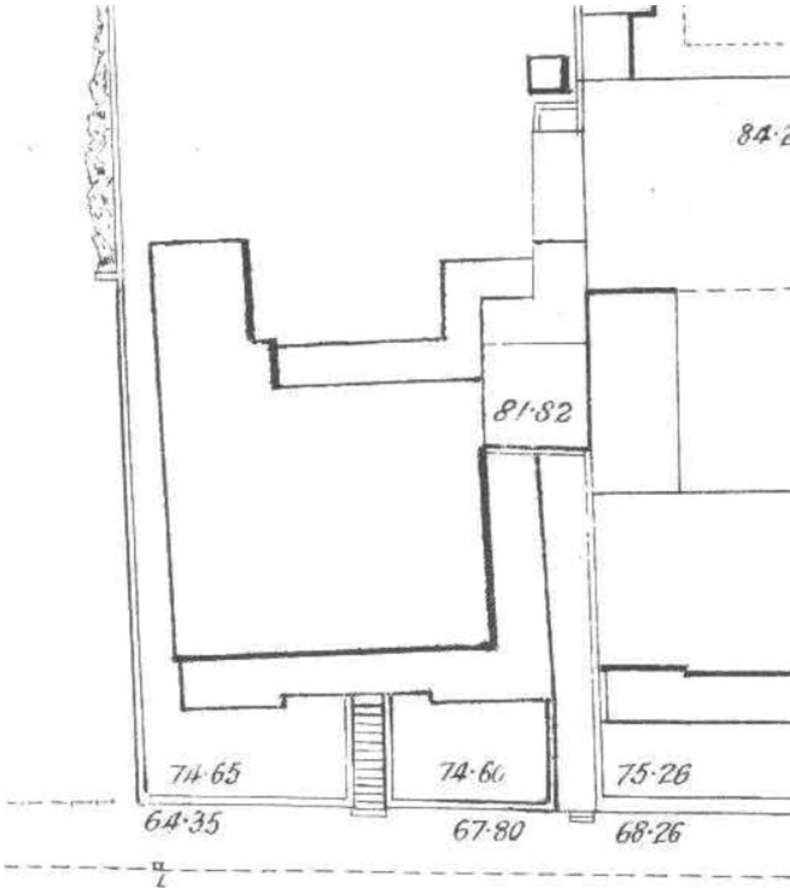
The history of the site is dealt with briefly in the above heritage report. In summary, the property appears in Sprent's plans of Hobart from the c.1840s. It has been known at various stages as Farnham Cottage and was the home of John Heathorn who lived there in 1890 and died there in 1901. At this stage it was addressed as 39 Melville Street becoming 35 Melville St by about 1910. It was occupied by Maida Kerr who taught pianoforte lessons there between about 1905 and 1912 and by 1913, she had moved her business to other premises. In June 1911, 35 Melville St was sold as part of the Estate of Miss Louisa Heathorn, a property described as; " 'Farnham' now in the occupation of Mrs Kerr, containing 7 rooms, with outside kitchen and bathroom, large store and other outbuildings. It was these buildings that appear in the c.1840 plan. It was then owned by Mr Henry James till around 1925 and it was during this time that the earlier building was demolished and the Californian Bungalow brick house was constructed with a tile roof, projecting front gables and wide open front verandah. The land was described in 1911 sale as having a frontage of 66 ft with a depth of 165ft which is equivalent to the land parcel as it is today and also equivalent to the land parcel of c.1840. It operated as the Hillside Guest House from about 1938 to 1946.



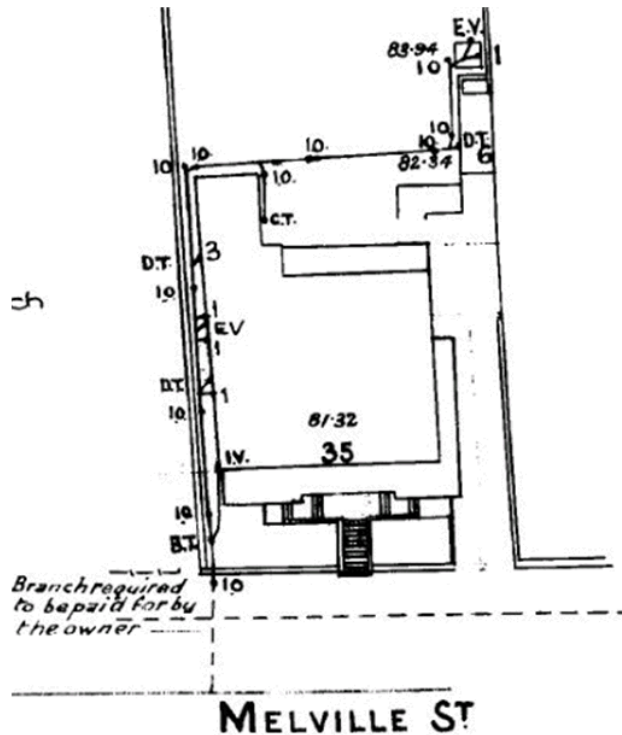
Part image of 35 Melville St (left of image) with Pressland House at 33 Melville Street to the right.

Source: Archives Office NS392-1-756

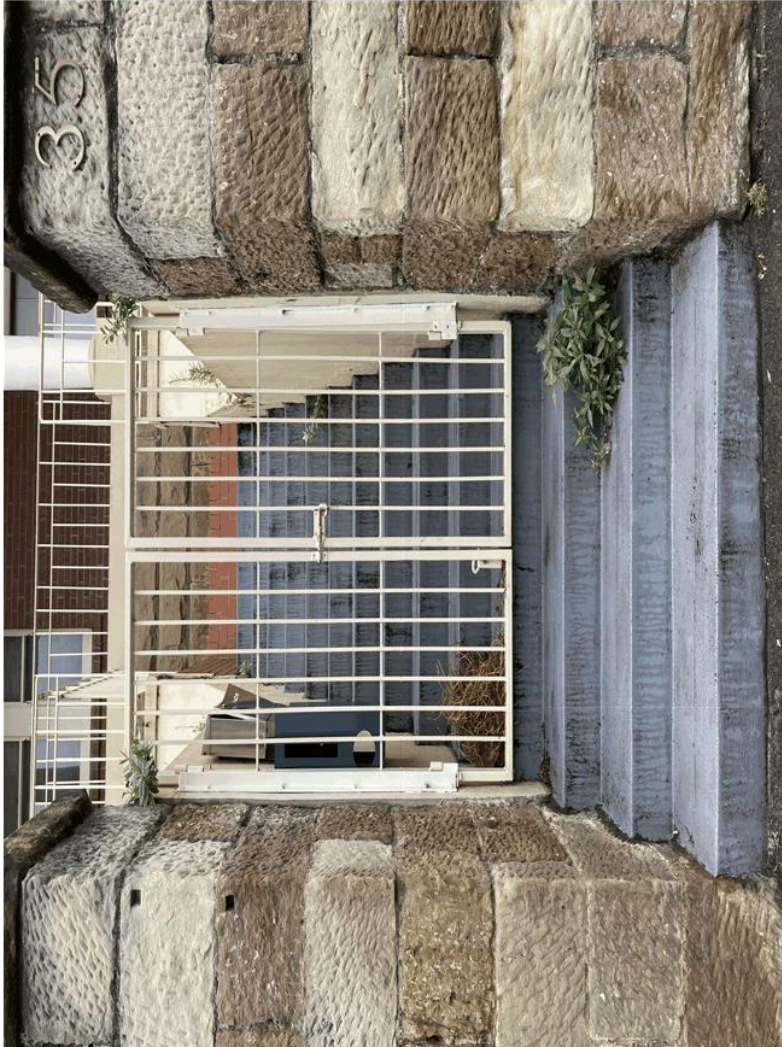
What has remained from its original iteration as a 19th century structure is the front retaining wall, returns on either side of the front steps and returns adjacent to 37 Melville Street and a slightly modified return adjacent to the current driveway, reflecting a traditional 19th century frontage of boundary walls to a house. This is also demonstrated in the following drainage plans:



Part image of Drainage Plan of when the property was number 39 Melville Street.



The above plans and historical photograph demonstrates that the wall was a retaining wall with an elevated garden behind leading to the front verandah and entry to the property. The building has undergone an evolution and is virtually in the same location as the c.1840 house. The major change occurred in c.1920 with the property was rebuilt in the Californian Bungalow style of house with terracotta roof and front gables and wide open verandahs. What is unclear from the submitted historical research is how much of the building was demolished given that no records exist with the exception of the c.1905 and 1919 drainage plans. As was often the case, it is likely that the c.1920 house was built in the same location, reusing some of the original building materials.



Entrance gate to front of 35 Melville Street. Source: Council image



Stone wall and frontage of 35 Melville Street. Source: Council image

The property was identified in the City Fringe Heritage Review Study.

It has the following setting description:

"This property is located on the northern side of Melville Street. The wall is located along the front (southern) boundary of 35 Melville Street. It contributes to the streetscape of the area, which is dominated by early and late nineteenth century buildings."

It has the following description:

"This high boundary wall is constructed of coursed random rubble that has been roughly pecked. There is a front entrance at the centre of this section of walling which is defined by two high stone pillars constructed of light and dark coloured sandstone blocks."

It has the following history:

"The stone wall located along the Melville Street frontage of this allotment appears to date from the 1840s. The allotment, which the wall partially delineates, was formed and built upon by the 1840s. This 32 perch parcel of land was originally granted to William Benchcroft. Spent's plan

shows thick boundary walls running the length of the southern and eastern boundaries."

It has the following statements of significance:

"Historical Events and Processes

The wall at 35 Melville Street is of heritage significance because it has the ability to contribute to our understanding of the early settlement pattern of inner Hobart."

"Research Potential

The wall at 35 Melville Street has the potential to yield important information of an archaeological nature that may contribute to a greater understanding of Hobart's history, as it is seemingly all that remains of an earlier structure built on the site by the 1840s."

"Community Social Value

This wall makes a significant contribution to the streetscape of the area, and therefore is important to the community's sense of place. It contributes, in conjunction with its neighbours, to a relatively intact nineteenth century commercial streetscape."

The wall is described as predominantly intact with small sections having being rendered.

All new work and conservation of the wall must be to the highest standard.

At present there is a metal gate fixed into the pillars on either side. The plans do not indicate if the gates are to be removed or even changed and if so what remediation/conservation works are to be undertaken. It is recommended that a condition of permit could achieve greater clarity.

Twenty three (23) representations were received. The following heritage related comment was received.

"Renovations and landscaping to the front of the building do not appear to be sympathetic to the heritage value of the building,"

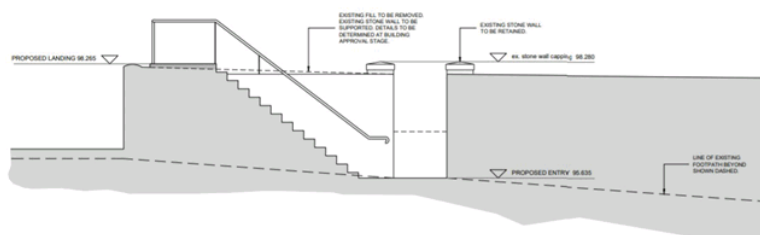
The proposal involves demolition and must be assessed against E13.7.1 P1.

E13.7.1 P1 states:

Demolition must not result in the loss of significant fabric, form, items, outbuildings or landscape elements that contribute to the historic cultural heritage significance of the place unless all of the following are satisfied;

- (a) there are, environmental, social, economic or safety reasons of greater value to the community than the historic cultural heritage values of the place;*
- (b) there are no prudent and feasible alternatives;*
- (c) important structural or façade elements that can feasibly be retained and reused in a new structure, are to be retained;*
- (d) significant fabric is documented before demolition.*

The demolition associated with the wall is the ground level and part of the return wall and the removal of the front concrete steps. The wall was originally built as a retaining wall, as is evident in the 19th century photos included in this report. (see photos above). It was never designed, conceived or built to be a free-standing wall. What is proposed is excavation behind the wall for the construction of an altered flight of stairs and a wheelchair platform, rising 13 steps to a landing, all parallel to the footpath behind the wall. A handrail is also proposed.



Drawing showing the area of excavation and modification for the return stairs. Source: Applicant's drawings

The drawings show the back of the wall and describe the work as the removal of fill. However, what is not known, is what is behind the wall and as such it may not be loose, easy to remove fill. Given the early house sat high on the land, it is possible that there is rock or that the wall is constructed in a manner where the ground and stone work behind provides the structural integrity of the wall. At the very least, the back of the wall, was never designed to be exposed or revealed. As such, it is likely that significant works will be required to the stone wall to either reconstruct, support and at the very least, conserve the stone wall and a redesign of the access may be required.

In addition, given the existing front steps follow the alignment of the original steps to the 1840s house, it is possible that the original front steps, are in part underneath the concrete steps. Their protection and conservation should be considered under the assessment of the proposal for archaeological values.

The proposed demolition and reconstruction of the front access is considered to be heavy handed and overly complicated. A simplified and less intrusive access solution could be arrived at. However, on balance, conditions could be imposed on any permit limiting the degree of alteration to ensure the wall and all its parts and its historical integrity is retained.

Demolition is also proposed to the front of the house and while this work is unfortunate and unsympathetic, it is not the 1920s house that is identified within the datasheet as being of heritage value. The proposed demolition within the house is considered acceptable. With appropriate conditions of permit, the proposal satisfies E13.7.1 P1.

The new work includes the following:

- Painting of the red brick and sandstone lintels external walls in Watty 'Greyfriars' - a dark charcoal grey colour.
- Infill of the front windows
- Alterations to the 1920s style gable ends to remove the openness and infill the gable end with fibre cement sheet.
- Painting of the red tile roof in 'Admiralty Grey'
- New skillion front verandah extension and rear corrugated roof in 'Monument'.
- The front verandah to be extended outwards towards the street with a timber deck overlay and a timber balustrade that extends over the face of the sandstone.
- Front window formed into a new doorway.

The objective of Buildings and Works other than Demolition under E13.7.2 of the Historic Heritage Code is:

To ensure that development at a heritage place is:

(a) undertaken in a sympathetic manner which does not cause loss of historic cultural

*heritage significance; and
(b) designed to be subservient to the historic cultural heritage values of the place and responsive to its dominant characteristics.*

Clause E13.7.2 P1 states:

Development must not result in any of the following:

*(a) loss of historic cultural heritage significance to the place through incompatible design, including in height, scale, bulk, form, fenestration, siting, materials, colours and finishes;
(b) substantial diminution of the historic cultural heritage significance of the place through loss of significant streetscape elements including plants, trees, fences, walls, paths, outbuildings and other items that contribute to the significance of the place.*

Clause E13.7.2 P2 states:

Development must be designed to be subservient and complementary to the place through characteristics including:

*(a) scale and bulk, materials, built form and fenestration;
(b) setback from frontage;
(c) siting with respect to buildings, structures and listed elements;
(d) using less dominant materials and colours.*

Clause E13.7.2 P3 states:

Materials, built form and fenestration must respond to the dominant heritage characteristics of the place, but any new fabric should be readily identifiable as such.

Clause E13.7.2 P4 states:

The removal of areas of landscaping between a dwelling and the street must not result in the loss of elements of landscaping that contribute to the historic cultural significance of the place.

The proposal to the area behind the stone wall including the new steps, wheelchair lift and handrail could be designed to be compatible and not result in loss of heritage significance, however this requires sensitive and sympathetic design and the submitted drawings do not offer a level of detail to demonstrate this. It is considered that a condition of permit for additional drawings to be provided at Building Permit stage.

The proposed alteration of the existing condition behind the wall (ie removal of the concrete top and excavation for the steps) is identified in the Heritage Impact Statement and the following recommendations are proposed:

- "Excavation works should be confined to a minimum distance of 0.3m from the internal edge of the stone wall.
- The stone wall should be appropriately braced to ensure that it does not collapse both during or post construction. Engineering plans should be developed which details the design and installation of this bracing system. These should be submitted to the HCC as part of the building application.
- The northern end of the wall, including the return running towards the house, was demolished in the 1960s as part of the widening of the driveway and was replaced by a concrete rendered section of wall. If fill material is required to be removed from this area, then this newer section of wall could be partially removed for this purpose. At the completion of works, this part of the wall should be repaired in keeping with the existing wall structure and the original sandstone capping stones replaced on top of the wall.
- During the course of the excavation works behind the wall, the works should be periodically inspected by a heritage specialist to ensure that the integrity of the wall has not been compromised."

In relation to excavations at the rear of the building where a c.1840 structure was located, the

following recommendations are provided by Cultural Heritage Management Australia:

- "A heritage specialist should be present on-site during the soil excavation works in this area in order to monitor for the presence of archaeological features or objects.
- The procedures outlined in Practice Note No 2 issued by the Tasmanian Heritage Council, processes will be followed should any unexpected archaeological features and/or deposits be revealed during works."

In addition, consideration must be given to the development being subservient, sympathetic to and being complementary. Complementary means: "something that completes or makes perfect", "either of two parts or things needed to complete the whole." Sympathetic means "characterised by a natural affinity; congenial." Advise was provided to the applicant to 'work with the building', to make modest changes and 'do as much as necessary, but as little as possible'. The proposed changes are somewhat heavy handed, but in the context of it not being a listed building are acceptable although still somewhat let down by the approach to the exaggerated approach to landscaping and needless transformation of the building to a monochromatic dark grey colour, a colour scheme that does not have a natural affinity with the stone wall or the existing early 20th century building. While painting of the building may be acceptable, the scheme has to be appropriate for a heritage listed place.

The notations describing the colours and finishes on drawing A106 revision i, 'Proposed Elevations' dated 12/01/221 are inconsistent with drawing A07, revisions G, 'Proposed Elevations', dated 01/12/20. It is recommended that a condition of permit be included for clarity and ensure the proposed colours, materials and finishes and appropriate for a heritage listed place.

The landscaping plan is somewhat deceptive showing palm trees while the proposed sections show planter boxes for landscaping which at a scale of 1:50 only measure less than 300 mm deep. This is not deep enough to support the large trees as shown in the proposed drawings. In consideration of this application, the indicative landscaping should not be considered as viable and it is recommended that a more realistic landscaping plan be provided as a condition of permit.

On balance, the proposal satisfies E13.7.2 P1, P2, P3, P4.

The Objective of Works within the a Place of Archaeological Potential under clause E13.10.1 is:

To ensure that building, works and demolition at a place of archaeological potential is planned and implemented in a manner that seeks to understand, retain, protect, preserve and otherwise appropriately manage significant archaeological evidence.

The proposed excavation must be assessed against clause E13.10.1 P1 which states:
Buildings, works and demolition must not unnecessarily impact on archaeological resources at places of archaeological potential, having regard to:

- (a) the nature of the archaeological evidence, either known or predicted;*
- (b) measures proposed to investigate the archaeological evidence to confirm predictive statements of potential;*
- (c) strategies to avoid, minimise and/or control impacts arising from building, works and demolition;*
- (d) where it is demonstrated there is no prudent and feasible alternative to impacts arising from building, works and demolition, measures proposed to realise both the research potential in the archaeological evidence and a meaningful public benefit from any archaeological investigation;*
- (e) measures proposed to preserve significant archaeological evidence 'in situ'.*

The Statement of Archaeological Potential submitted states that the archaeological potential of

the area of disturbance is 'negligible'. However, the analysis of the modification to the front steps and the original construction of the front wall do not take into account the underlying reality that during the 19th and early 20th century bulk excavation did not occur and that construction fitted into and within the existing topography, landscape often reusing and modifying existing historic fabric in situ. It is highly unlikely that the wall was built as a separate and independent structure with the ground raised and filled behind once construction was complete and in addition there is also the possibility that there is a large amount of rock behind. A precautionary approach is appropriate for all excavation to be monitored by a suitably qualified archaeologist and this can be achieved by a condition of permit. Any significant heritage elements should be retained and consequently the access proposal may need to be redesigned.

Given the uncertainty of the nature of the construction or stability of the wall and the fact that the conservation of the wall must be to the highest standard, it is recommended that a condition be included to achieve that end. The proposal satisfies E13.10.1 P1.

There is a sign proposed facing the Melville Street pedestrian gate opening. It is a backlit wall sign 1100mm x 700mm high that protrudes 50mm from the wall surface. It must be assessed against E17.7.2 P1 and satisfy all of the subclauses (a) to (i). The sign is located in a place that would have been traditionally used for signs, will not be fixed into historic fabric and is of a size and design that is acceptable. In this respect, the proposal satisfies E17.7.2 P1 (a) to (i) of the Signs Code, standards for signs on heritage places.

With appropriate conditions, the proposal is considered to satisfy the relevant provisions of the Historic Heritage Code of the Scheme.

Sarah Waight
Senior Cultural Heritage Officer
5 February 2021




**7.1.2 14 GOULBURN STREET, HOBART - SIGNAGE AND FENCING
PLN-20-717 - FILE REF: F21/10177**

Address: 14 Goulburn Street, Hobart
Proposal: Signage and Fencing
Expiry Date: 27 February 2021
Extension of Time: Not applicable
Author: Helen Ayers

RECOMMENDATION

That pursuant to the *Hobart Interim Planning Scheme 2015*, the Council refuse the application for signage and fencing, at 14 Goulburn Street, Hobart for the following reasons:

- 1 The proposal does not meet the acceptable solution or the performance criterion with respect to clause E6.7.5 A1 and P1 of the *Hobart Interim Planning Scheme 2015* because the layout of car parking spaces, access aisles, circulation roadways and ramps is not safe and does not ensure ease of access, egress and manoeuvring on-site.
- 2 The proposal does not meet the acceptable solution or the performance criterion with respect to clause E13.7.2 A5 or P5 of the *Hobart Interim Planning Scheme 2015* because the new front fences are not sympathetic in design to the style, period and characteristics of the building to which they belong.

Attachment A: PLN-20-717 - 14 GOULBURN STREET HOBART
TAS 7000 - Planning Committee or Delegated
Report 
Attachment B: PLN-20-717 - 14 GOULBURN STREET HOBART
TAS 7000 - Planning Referral Officer Development
Engineering Report 
Attachment C: PLN-20-717 - 14 GOULBURN STREET HOBART
TAS 7000 - Planning Referral Officer Cultural
Heritage Report 

**APPLICATION UNDER HOBART INTERIM PLANNING SCHEME 2015**

Type of Report: Committee
Council: 1 February 2021
Expiry Date: 27 February 2021
Application No: PLN-20-717
Address: 14 GOULBURN STREET , HOBART
Applicant: Rod West
12 Turnip Fields Road
Proposal: Signage and Fencing
Representations: None
Performance criteria: Zone Development Standards - Fencing 22.4.7 (a)
Parking and Access Code

1. Executive Summary

- 1.1 Planning approval is sought for Signage and Fencing, at 14 Goulburn Street, Hobart.
- 1.2 More specifically the proposal includes the construction of a new sign, two new fences, a raised garden bed, and the resultant changes to the car parking for the site.
- 1.3 The proposal relies on performance criteria to satisfy the following standards and codes:
 - 1.3.1 Central Business Zone - Fencing
 - 1.3.2 Parking and Access Code - Layout of Parking Areas
 - 1.3.3 Historic Heritage Code - Heritage Place
 - 1.3.4 Signage Code - Standards for Signs, Standards for Signs on Heritage Places
- 1.4 No representations were received during the statutory advertising period between 6 and 20 January 2021.
- 1.5 The proposal is recommended for refusal.

- 1.6 The final decision is delegated to the Council, because the application is not supported by officers.

2. Site Detail

- 2.1 The application site is a regularly shaped 278m² lot on the south eastern side of Goulburn Street. There is an existing three storey building on the site which includes visitor accommodation on the first floor, and a dwelling and possibly a massage parlour (approval status unclear) on the ground and basement levels. There is also a second dwelling in the rear yard. There is historically approval for car parking for two vehicles within the front of the property, though there was never any defined location for these vehicles to be parked.
- 2.2 The site is surrounded by a variety of uses and developments, including residential, commercial, offices, restaurants and cafes, and beauty services.

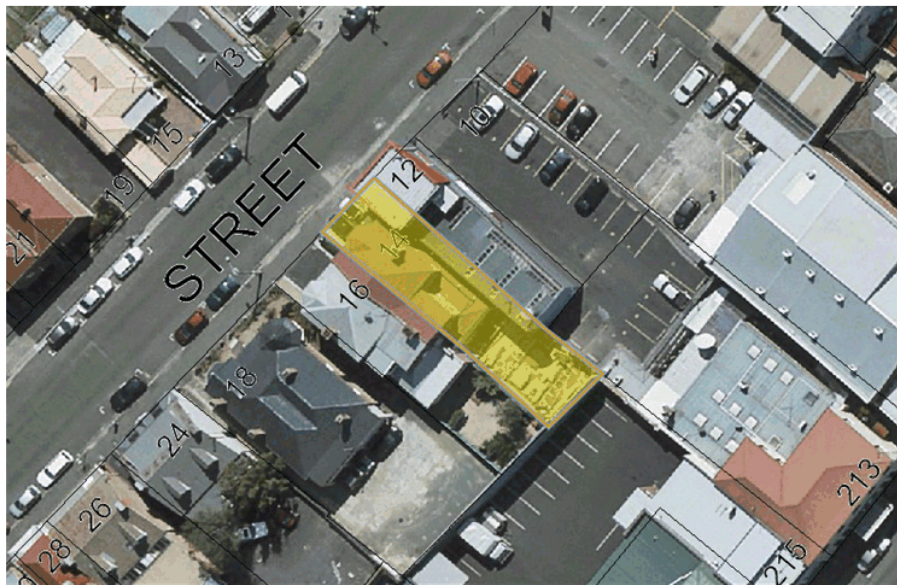


Figure 1: The location of the application site is highlighted in yellow

3. Proposal

- 3.1 Planning approval is sought for Signage and Fencing, at 14 Goulburn Street, Hobart.

3.2 More specifically the proposal is for:

- The construction of a new pole sign on the south western boundary. Whilst there is inconsistency within the drawings, the applicant has confirmed that the sign does not extend beyond the front boundary, and as such the 'north fence elevation' is taken to show the correct location of the sign. The sign is 1.22m wide, 0.5m high, and has a maximum height of 2.7m above the natural ground level, with a clearance of 2.2m beneath it.
- The construction of a new side boundary fence on the south western boundary between the road and the building. The fence is constructed on a newly raised garden bed, and has a maximum height of 1.79m above the natural ground level.
- The construction of a new fence 1.25m from the north eastern side boundary between the road and the building. The fence has a maximum height of 1.93m above the natural ground level.
- The car parking at the front of the property is altered as a result of the proposed fencing.

4. Background

- 4.1 The new fences, Sign and raised garden bed were installed without any consultation with or approval from Council. The works associated with this also included the removal of a mosaic tile pathway to the front door, the removal of a portion of the sandstone front step, and resurfacing of the remaining front step. Council became aware of the works and has subsequently commenced compliance action to ensure that all appropriate approvals are sought for the works, and if not obtained, the site is restored to its original condition.
- 4.2 Review of all available information (including Council photographs and Streetview images) shows that the car parking area has been modified. The parking area used to slope down gradually to the left, with no drop off to delineate the alleged pathway. Now there is a step down to the created pathway, with the area which is being relied upon for car parking having been levelled up to the house. The new fence on the left side has been constructed on the car parking side of the this level change. This change of grades of the car parking area constitutes works to the car parking area and as such further triggers the need for the car parking as constructed to be assessed under the current planning scheme provisions when assessing this application.

5. Concerns raised by representors

- 5.1 No representations were received during the statutory advertising period between 6 and 20 January 2021.

6. Assessment

- 6.1 The *Hobart Interim Planning Scheme 2015* is a performance based planning scheme. To meet an applicable standard, a proposal must demonstrate compliance with either an acceptable solution or a performance criterion. Where a proposal complies with a standard by relying on one or more performance criteria, the Council may approve or refuse the proposal on that basis. The ability to approve or refuse the proposal relates only to the performance criteria relied on.
- 6.2 The site is located within the Central Business Zone of the *Hobart Interim Planning Scheme 2015*.
- 6.3 There is no change proposed to the existing use of the site. The application is made only for the (development) construction of the new fence and sign, and resulting changes to the car parking configuration for the site.
- 6.4 The proposal has been assessed against:
- 6.4.1 Part D - 22.0 Central Business Zone
 - 6.4.2 Part E - E6.0 Parking and Access Code
 - 6.4.3 Part E - E13.0 Historic Heritage Code
 - 6.4.4 Part E - E17.0 Signs Code
- 6.5 The proposal relies on the following performance criteria to comply with the applicable standards:
- 6.5.1 Central Business Zone:
Fencing – Part D 122.4.7 P1
 - 6.5.2 Parking and Access Code:
Layout of Parking Areas - E6.7.5 P1
 - 6.5.3 Historic Heritage Code:

Demolition - E13.7.1 P1

Building and Works other than Demolition - E13.7.2 P5 and P6

6.5.4 Signs Code:

Standards for Signs - E17.7.1

Standards for signs on Heritage Places subject to the Heritage Code or within Heritage Precincts or Cultural Landscape Precincts - E17.7.2

6.6 Each performance criterion is assessed below.

6.7 Fencing - Part D 22.4.7 P1

6.7.1 The acceptable solution at clause 22.4.7 A1 requires fences within 1.5m of the front boundary to have a maximum height of 1.5m.

6.7.2 The proposal includes a 1.53m high fence within 1.5m of the front boundary.

6.7.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.

6.7.4 The performance criterion at clause 22.4.7 P1 provides as follows:

Fencing must contribute positively to the streetscape and not have an unreasonable adverse impact upon the amenity of land in a residential zone which lies opposite or shares a common boundary with a site, having regard to all of the following:

(a) the height of the fence;

(b) the degree of transparency of the fence;

(c) the location and extent of the fence;

(d) the design of the fence;

(e) the fence materials and construction;

(f) the nature of the use;

(g) the characteristics of the site, the streetscape and the locality, including fences;

(h) any Desired Future Character Statements provided for the area.

- 6.7.5 The application site is not adjacent to or opposite any residentially zoned land. As such, there can be no negative impact to the amenity of residences within such a zone.
- 6.7.6 The street is largely characterised by development either adjacent to or close to the street front property boundary. Typically, the buildings to the south west are one to two storeys in height, with the building immediately adjacent to the north east a three storey commercial building. As such, whilst the fences are not replicated nearby in the street, the scale of the fences is not out of character with the surrounding streetscape, particularly as the fences, whilst within the front setback, function as side fences, so are less prominent from the street.
- 6.7.7 The proposal complies with the performance criterion.
- 6.8 Layout of Parking Areas - E6.7.5 P1
- 6.8.1 The acceptable solution at clause E6.7.5 A1 requires the layout of car parking spaces to comply with the relevant Australian Standard.
- 6.8.2 The proposal includes alterations to the car parking area which result in new car parking spaces that do not comply with the relevant Australian Standard.
- 6.8.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.
- 6.8.4 The performance criterion at clause E6.7.5 P1 provides as follows:
- The layout of car parking spaces, access aisles, circulation roadways and ramps must be safe and must ensure ease of access, egress and manoeuvring on-site.*
- 6.8.5 The application has been assessed by Council's Development Engineer, who has provided the following comment:
- The layout of car parking spaces, access aisles, circulation roadways and ramps must be safe and must ensure ease of access, egress and manoeuvring on-site.- Car parks exceed the property boundary and are deemed unsafe to pedestrians. The*

parking spaces are not considered to enable safe use. The proposal does not meet the performance criteria.

The two proposed parking spaces are 1.6 m shorter than the required minimum length and will clearly place any B85 vehicle outside the property boundary and into the road reservation (SEE FIGURE 1).

The car park plans provided 15/12/2021 show a width of 5.9 m wide x 3.8 m long. Minimum size requirements for a standard 90 degree parking space, user class 1 (general/all day parking) according to AS 2890.1 is 2.4 m wide x 5.4 m long (SEE FIGURE 2). Figure 3 shows an aerial view of the vehicles extending from the property boundary.

6.8.6 The proposal does not comply with the performance criterion.

6.9 Historic Heritage Code - Works to Heritage Places - Part E E13.7.1 P1 and E13.7.2 P5 and P5

6.9.1 There are no acceptable solutions for E13.7.1 A1 or E13.7.2 P5 and P6.

6.9.2 The proposal includes demolition of the existing fence and sign, and the construction of two new fences and a new pole sign.

6.9.3 There are no acceptable solutions; therefore assessment against the performance criterion is relied on.

6.9.4 The performance criterion at clauses E13.7.1 P1 and E13.7.2 P5 and P6 provide as follows:

E13.7.1

P1 - Demolition must not result in the loss of significant fabric, form, items, outbuildings or landscape elements that contribute to the historic cultural heritage significance of the place unless all of the following are satisfied;

(a) there are, environmental, social, economic or safety reasons of greater value to the community than the historic cultural heritage values of the place;

(b) there are no prudent and feasible alternatives;

(c) important structural or façade elements that can feasibly be retained and reused in a new structure, are to be retained;

(d) significant fabric is documented before demolition.

E13.7.2

P5 - New front fences and gates must be sympathetic in design, (including height, form, scale and materials), to the style, period and characteristics of the building to which they belong.

P6 - The removal of areas of landscaping between a dwelling and the street must not result in the loss of elements of landscaping that contribute to the historic cultural significance of the place.

- 6.9.5 The application has been assessed by Council's Cultural Heritage Officer. Whilst assessing the application, Council's Cultural Heritage Officer has identified works beyond the scope of the application that have occurred on site as part of the works that are part of the application. These additional works include the demolition of a mosaic tile front path and its sandstone boarder, demolition (removal) if a front sandstone step, alterations to the front side garden bed, and alterations to the car parking and how the associated hardstand meets the dwelling. The Cultural Heritage Officer Comments on all of the works identified as as follows:

Demolition

The applicant is proposing the demolition of 19th century sandstone and tessellated tile landscape elements. Tessellated tiles with edging is typical of 19th century houses and gardens. The pathway, evident in photographs attached to this report, show a typical late Victorian design, featuring a diagonal two-tone design motif. The pathway is original to the house and demonstrates the extent of the former garden and is considered to be significant. The applicant has not provided, as part of this application, any environmental, social, economic or safety reasons of greater values to the community than the historic heritage values of the place (a). A prudent and feasible alternative would be to refurbish the tessellated tile pathway (c) and the pathway was not documented prior to demolition (d). The proposed demolition of the tessellated tile pathway with edging fails to satisfy E 13.7.2 P1 (a) (c) and (d) and therefore the proposed demolition is recommended for refusal.

Works

The applicant is proposing two new sections of front fencing which are over 1.5m in height. The fences feature horizontal timber slats and vertical steel posts. The proposed front fence does not demarcate the street edge, rather only boundaries perpendicular to the street are manifested. This is not the typical arrangement for a front fence of an late Victorian house. Typically an late Victorian house would have a fence at the street edge. Metropolitan Drainage Board Plans, held by Council, show just such an arrangement was present in the 1940s. It is likely this house originally had either a timber or wrought iron front fence. The proposed front fence has been designed to facilitate vehicles crossing into the space in front of the building, and parking in the former front garden. This is considered an incompatible design in terms of siting. The space in front of an late Victorian house is typically a modest, fenced front garden. The applicant appears to have removed an area of tessellated tile paving with sandstone margin and this equates to the loss of elements of landscaping which are of historic cultural heritage significance. The proposed front fence is not of a height, form, scale or material related to the style, period and characteristics of the building to which it belongs. Landscape elements are proposed to be removed which are considered significant. The proposed works fail to satisfy E 13.7.2 P5 and P6 and the proposed works are recommended for refusal.

- 6.9.6 Whilst some of the identified works are found to be unsupportable, these works do not all form part of the current application. Notwithstanding this, the proposed fencing is not supported in the above assessment.
- 6.9.7 The proposal does not comply with the performance criterion.
- 6.10 Standards for Signs - Part E E 17.7.1 P1
 - 6.10.1 The acceptable solution at clause E17.7.1 A1 requires pole signs to have a minimum 2.4m clearance above the natural ground level.
 - 6.10.2 The proposal includes a pole sign with a 2.2m clearance above the natural ground level..
 - 6.10.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.

6.10.4 The performance criterion at clause E17.7.1 P1 provides as follows:

A sign not complying with the standards in Table E17.2 or has discretionary status in Table E17.3 must satisfy all of the following:

(a) be integrated into the design of the premises and streetscape so as to be attractive and informative without dominating the building or streetscape;

(b) be of appropriate dimensions so as not to dominate the streetscape or premises on which it is located;

(c) be constructed of materials which are able to be maintained in a satisfactory manner at all times;

(d) not result in loss of amenity to neighbouring properties;

(e) not involve the repetition of messages or information on the same street frontage;

(f) not contribute to or exacerbate visual clutter;

(g) not cause a safety hazard.

6.10.5 The proposed sign replaces a similar sign for the property. Given the size, scale, and location, it is considered to integrate will onto the site.

6.10.6 As there are no other approved signs for the building there is no repetition of message, or visual clutter created or exacerbated by the proposed sign.

6.10.7 Whilst the elevations are not consistent, the applicant has clarified that the sign is proposed to be contained wholly within the property boundary. As such, it will not pose a safety hazard to footpath or road users.

6.10.8 The proposal complies with the performance criterion.

6.11 Standards for signs on Heritage Places subject to the Heritage Code or within Heritage Precincts or Cultural Landscape Precincts - Part E E17.7.2 P1

6.11.1 There is no acceptable solution for E17.7.2 A1.

6.11.2 The proposal includes a new pole sign at the front of the property.

6.11.3 There is no acceptable solution; therefore assessment against the performance criterion is relied on.

6.11.4 The performance criterion at clause E17.7.2 P1 provides as follows:

A sign on a Heritage Place listed in the Historic Heritage Code or within a Heritage Precinct or Cultural Landscape Precinct must satisfy all of the following:

(a) be located in a manner that minimises impact on cultural heritage significance of the place or precinct;

(b) be placed so as to allow the architectural details of the building to remain prominent;

(c) be of a size and design that will not substantially diminish the cultural heritage significance of the place or precinct;

(d) be placed in a location on the building that would traditionally have been used as an advertising area if possible;

(e) not dominate or obscure any historic signs forming an integral part of a building's architectural detailing or cultural heritage values;

(f) have fixtures that do not damage historic building fabric, including but not restricted to attachments to masonry and wood, such as to using non-corrosive fixings inserted in mortar joints;

(g) not project above an historic parapet or roof line if such a projection impacts on the cultural heritage significance of the building;

(h) be of a graphic design that minimises modern trademark or proprietary logos not sympathetic to heritage character;

(i) not use internal illumination in a sign on a Heritage Place unless it is demonstrated that such illumination will not detract from the character and cultural heritage values of the building.

6.11.5 The application has been assessed by Council's Cultural Heritage Officer. In assessing the application, the officer has identified a further

two signs that do not appear to have previous approval which are affixed to the building. The officer has provided no objection to the pole sign that is the subject of the current application.

6.11.6 The proposal complies with the performance criterion.

7. Discussion

- 7.1 Planning approval is sought for Signage and Fencing, at 14 Goulburn Street, Hobart.
- 7.2 The application was advertised and no representations were received.
- 7.3 The proposal has been assessed against the relevant provisions of the planning scheme and is considered to not perform well.
- 7.4 The proposal has been assessed by other Council officers, including the Council's Development Engineer and Cultural Heritage Officer. The Development Engineer has raised objection to the proposal.
- 7.5 The proposal is recommended for refusal.

8. Conclusion

- 8.1 The proposed Signage and Fencing, at 14 Goulburn Street, Hobart does not satisfy the relevant provisions of the *Hobart Interim Planning Scheme 2015*, and as such is recommended for refusal.

9. Recommendations

That: Pursuant to the *Hobart Interim Planning Scheme 2015*, the Council refuse the application for Signage and Fencing, at 14 Goulburn Street, Hobart for the following reasons:

- 1 The proposal does not meet the acceptable solution or the performance criterion with respect to clause E6.7.5 A1 and P1 of the *Hobart Interim Planning Scheme 2015* because the layout of car parking spaces, access aisles, circulation roadways and ramps is not safe and does not ensure ease of access, egress and manoeuvring on-site.
- 2 The proposal does not meet the acceptable solution or the performance criterion with respect to clause E13.7.2 A5 or P5 of the *Hobart Interim Planning Scheme 2015* because the new front fences are not sympathetic in design to the style, period and characteristics of the building to which they belong.



(Helen Ayers)

Development Appraisal Planner

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.



(Karen Abey)

Manager Development Appraisal

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

Date of Report: 2 February 2021

Attachment(s):

Attachment B - CPC Agenda Documents (use for committee reports)

Attachment C - Referral Officer Report (Development Engineer and Cultural Heritage Officer)

Application Referral Development Engineering - Response

From:	David Morely reassigned from Stefan Gebka
Recommendation:	Proposal is unacceptable.
Date Completed:	
Address:	14 GOULBURN STREET, HOBART
Proposal:	Signage and Fencing
Application No:	PLN-20-717
Assessment Officer:	Helen Ayers,

Referral Officer comments:

SUMMARY:

PLN-20-717 - 14 GOULBURN STREET
Signage and Fencing

CODE E5 and E7 Not Triggered

Previously 2 car spaces were permitted at 14 Goulburn Street. The additional paths along the boundary have resulted in the car parking spaces proposed to become non compliant with the Australian Standards. While parking is not required to be provided in the central business zone off street parking in the area is limited. The removal of the properties car spaces will only increase the parking difficulties in the area.

Therefore **DE will not accept car park spaces shown on plans provided and will recommending refusal..**

DISTCRETIONS:

CODE E6.7.5 Parking and access

ACCEPTABLE SOLUTION - A1

The layout of car parking spaces, access aisles, circulation roadways and ramps must be designed and constructed to comply with section 2 "Design of Parking Modules, Circulation Roadways and Ramps" of AS/NZS 2890.1:2004 Parking Facilities Part 1: Off-street car parking and must have sufficient headroom to comply with clause 5.3 "Headroom" of the same Standard.- **NOT MET**

PERFORMANCE CRITERIA - P2

The layout of car parking spaces, access aisles, circulation roadways and ramps must be safe and must ensure ease of access, egress and manoeuvring on-site.- Car parks exceed the property boundary and are deemed unsafe to pedestrians. The parking spaces are not considered to enable safe use. **The proposal does not meet the performance criteria.**

The two proposed parking spaces are 1.6 m shorter than the required minimum length and will clearly place any B85 vehicle outside the property boundary and into the road reservation (SEE FIGURE 1).

The car park plans provided 15/12/2021 show a width of 5.9 m wide x 3.8 m long. Minimum size requirements for a standard 90 degree parking space, user class 1 (general/all day parking) according to AS 2890.1 is 2.4 m wide x 5.4 m long (SEE FIGURE 2). Figure 3 shows an aerial view of the vehicles extending from the property boundary.

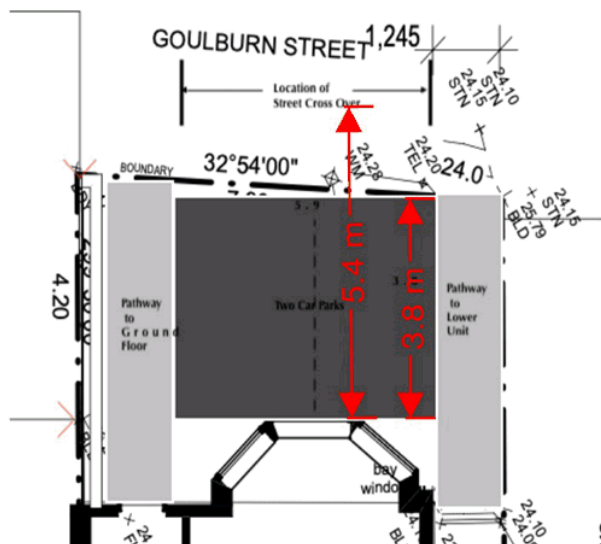


FIGURE 1: length way comparison of a car park that meets the Australian Standards and the proposed car park.

(c) Bays at 60°

(d) Bays at 90°

	3A	2.6	3.00	5.7	5.1	6.0	5.1
4	(See Note 5)						

User class (Note 1)	A (Note 3)	B	C ₁	C ₂	C ₃	Aisle width (Note 4)
1	2.4	2.4	5.4	4.8	5.4	6.2
1A	2.4	2.4	5.4	4.8	5.4	5.8
2	2.5	2.5	5.4	4.8	5.4	5.8
3	2.6	2.6	5.4	4.8	5.4	5.8
3A	2.6	2.6	5.4	4.8	5.4	6.6
3A	2.7	2.7	5.4	4.8	5.4	6.2
4	(See Note 5)					

*Dimension C is selected as follows (see Note 6):

C1—where parking is to a wall or high kerb not allowing any overhang.

C2—where parking is to a low kerb which allows 600 mm overhang in accordance with Clause 2.4.1(a)(i).

C3—where parking is controlled by wheelstops installed at right angles to the direction of parking, or where the ends of parking spaces form a sawtooth pattern, e.g. as shown in the upper half of Figure 2.4(b).

For Notes—see over.

DIMENSIONS IN METRES

FIGURE 2.2 LAYOUTS FOR ANGLE PARKING SPACES

FIGURE 2: Excerpt from AS 2890.1 detailing the required dimensions.

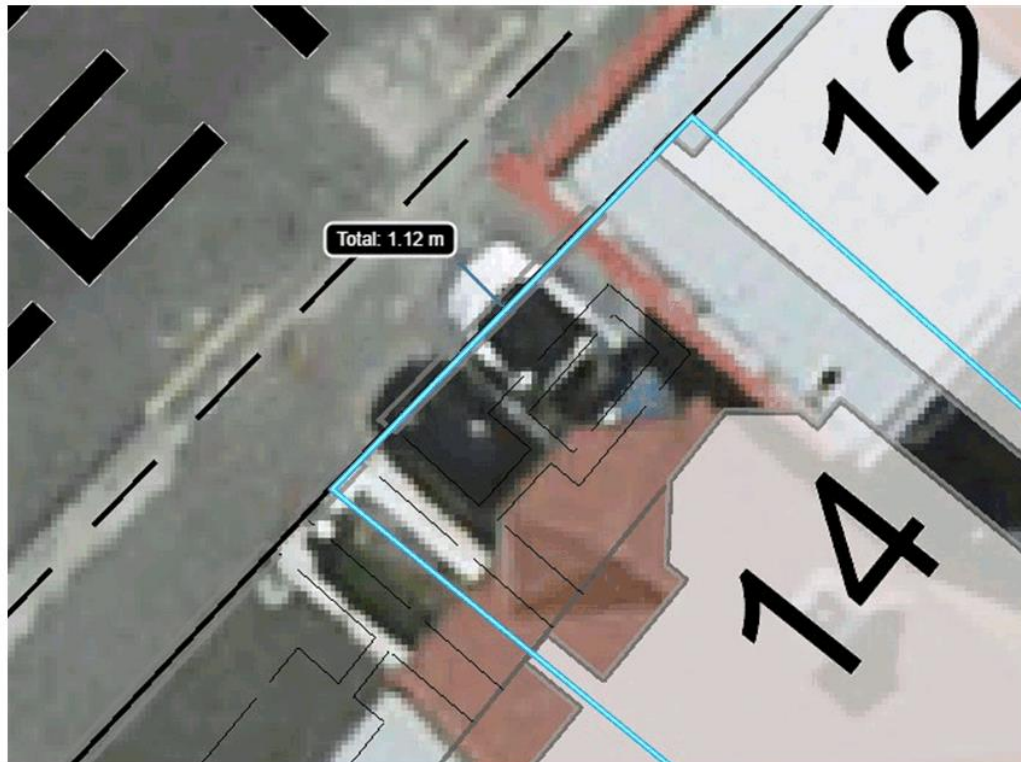


FIGURE 3: Right hand vehicle parked approximately 1.2 meters outside the boundary.

Application Referral Cultural Heritage - Response

From:	Megan Baynes
Recommendation:	Proposal is acceptable without conditions.
Date Completed:	
Address:	14 GOULBURN STREET, HOBART
Proposal:	Signage and Fencing
Application No:	PLN-20-717
Assessment Officer:	Helen Ayers,

Referral Officer comments:

Background

This property is Heritage Listed in Table E 13.1 of the Hobart Interim Planning Scheme.

14 Goulburn Street is a double storey, masonry, Late Victorian era, conjoined terrace house. The house has bay windows and has been painted white. The house has intact timber apertures. Photographs held in Council's collection, and also Google street view, indicate that a terracotta tessellated pathway with sandstone margins extends, between the verandah, on the alignment of the front door, to the footpath. Parking is occurring in front of the building line, to the left, and the traditional front fence and garden was removed quite some time ago. The traditional spatial arrangements of a terrace house with a front fence and garden are not intact.

This application involves demolition including:

- removal of sandstone front step
- tessellated tile front path
- bitumen surface

Also works including:

- low garden edging
- sign and pole and two small signs on the front of the building 'Luxe' and 'Celestial Suite'
- two fences - 1.5m in height
- new front paving (dark grey pavers)
- new front verandah/porch surface and,
- new front path (sandstone coloured pavers)

The work has been undertaken. The applicant is applying for a permit retrospectively.

Assessment against the Planning Scheme:

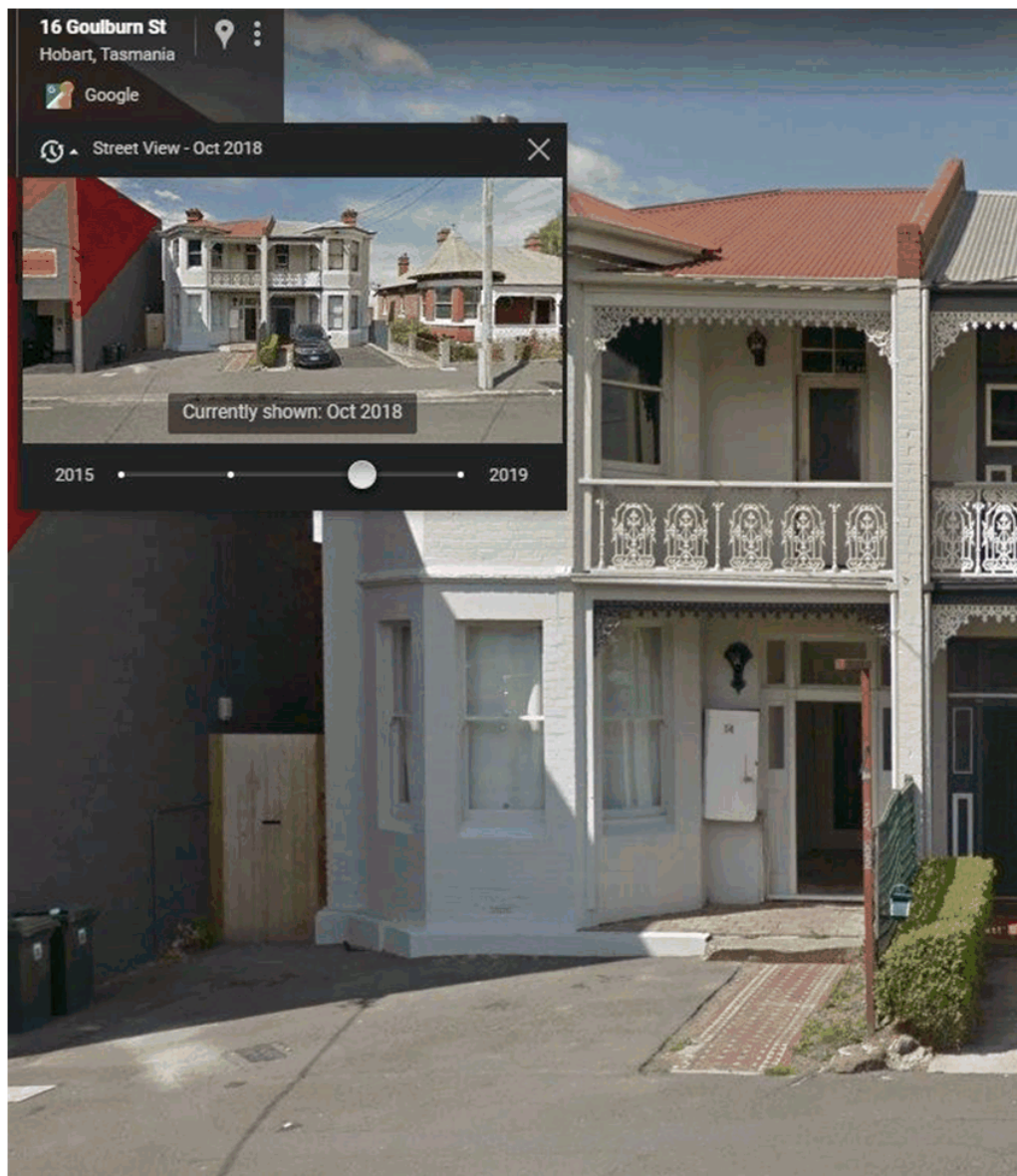
Demolition

From the Historic Heritage Code of the Hobart Interim Planning Scheme (E 13.7.1 P1):

"Demolition must not result in the loss of significant fabric, form, items, outbuildings or landscape elements that contribute to the historic cultural heritage significance of the place unless all of the following are satisfied;

- (a) there are, environmental, social, economic or safety reasons of greater value to the community than the historic cultural heritage values of the place;
- (b) there are no prudent and feasible alternatives;

- (c) important structural or façade elements that can feasibly be retained and reused in a new structure, are to be retained;
(d) significant fabric is documented before demolition."



The applicant is 'proposing' the demolition of 19th century sandstone and tessellated tile landscape elements. Tessellated tiles with edging is typical of 19th century houses and gardens. The pathway, evident in photographs attached to this report, show a typical late Victorian design, featuring a diagonal two-tone design motif. The pathway is original to the house and demonstrates the extent of the former garden and is considered to be significant. The applicant has not provided, as part of this application, any environmental, social, economic or safety reasons of greater values to the community than the historic heritage values of the place (a). A prudent and feasible alternative would be to refurbish the tessellated tile pathway (c) and the pathway was not documented prior to demolition (d). The proposed demolition of

the tessellated tile pathway with edging fails to satisfy E 13.7.2 P1 (a) (c) and (d) and would be unacceptable.

Works

From the Planning Scheme (E 13.7.2):

P5 New front fences and gates must be sympathetic in design, (including height, form, scale and materials), to the style, period and characteristics of the building to which they belong.

P6 The removal of areas of landscaping between a dwelling and the street must not result in the loss of elements of landscaping that contribute to the historic cultural significance of the place.

The applicant is proposing two new sections of front fencing which are over 1.5m in height. The fences feature horizontal timber slats and vertical steel posts. The proposed front fence does not demarcate the street edge, rather only boundaries perpendicular to the street are manifested. This is not the typical arrangement for a front fence of an late Victorian house. Typically an late Victorian house would have a fence at the street edge. Metropolitan Drainage Board Plans, held by Council, show just such an arrangement was present in the 1940s. It is likely this house originally had either a timber or wrought iron front fence. The proposed front fence has been designed to facilitate vehicles crossing into the space in front of the building, and parking in the former front garden. This is considered an incompatible design in terms of siting. The space in front of an late Victorian house is typically a modest, fenced front garden. The applicant appears to have removed an area of tessellated tile paving with sandstone margin and this equates to the loss of elements of landscaping which are of historic cultural heritage significance. The proposed front fence is not of a height, form, scale or material related to the style, period and characteristics of the building to which it belongs. Landscape elements are proposed to be removed which are considered significant. The proposed works fail to satisfy E 13.7.2 P5 and P6 and would be unacceptable.

Signs

The applicant is seeking approval for signs. Two would be attached to the building facade whilst another is freestanding on a pole. The signs are proposed in traditional locations, adjacent the front door and at property boundaries. The signs need to be considered against E 17.7.2:

"A sign on a Heritage Place listed in the Historic Heritage Code or within a Heritage Precinct or Cultural Landscape Precinct must satisfy all of the following:

- (a) be located in a manner that minimises impact on cultural heritage significance of the place or precinct;
- (b) be placed so as to allow the architectural details of the building to remain prominent;
- (c) be of a size and design that will not substantially diminish the cultural heritage significance of the place or precinct;
- (d) be placed in a location on the building that would traditionally have been used as an advertising area if possible;
- (e) not dominate or obscure any historic signs forming an integral part of a building's architectural detailing or cultural heritage values;
- (f) have fixtures that do not damage historic building fabric, including but not restricted to attachments to masonry and wood, such as to using non-corrosive fixings inserted in mortar joints;
- (g) not project above an historic parapet or roof line if such a projection impacts on the cultural heritage significance of the building;
- (h) be of a graphic design that minimises modern trademark or proprietary logos not sympathetic to heritage character;
- (i) not use internal illumination in a sign on a Heritage Place unless it is demonstrated that such

illumination will not detract from the character and cultural heritage values of the building.”

Assessment of signs

- (a) Two of the signs, small plaques, would be located in a traditional manner, near the front door, in such a way that minimises impact on cultural heritage significance of the place. A third sign, would be on a pole and in the vicinity of the property boundary is located within the height of the first floor of the building. This is considered to be modest and traditional in design.
- (b) The signs would be placed so as to allow the architectural details of the building to remain prominent;
- (c) The signs would be of a size and design that will not substantially diminish the cultural heritage significance of the place;
- (d) The signs would be placed in a location on the building that would traditionally have been used as an advertising;
- (e) The signs would not dominate or obscure any historic signs forming an integral part of a building’s architectural detailing or cultural heritage values;
- (f) There is no evidence to suggest that the fabric of the house would be damaged by the placement of small plaques on the masonry facade.
- (g) The signs would not project above an historic parapet or roof line if such a projection impacts on the cultural heritage significance of the building;
- (h) The signs would be of a graphic design that minimise modern trademark or proprietary logos not sympathetic to heritage character;
- (i) The signs would not be illuminated.

The signs are considered acceptable from a cultural heritage perspective. **E 17.7.2 is satisfied.**

Archaeology

14 Goulburn Street is located in a zone of archaeological potential. The applicant has repaved an area in front of, and to the side of the house. The application does not contain a report from a qualified Archaeologist, stating the likelihood or otherwise of significant deposits being anticipated. Given that repaving is a surface change, rather than deep excavation for footings for example, it is *unlikely* that significant archaeological deposits would have been impacted. Given that the area where surface disturbance occurred was previously disturbed (eg the front fence and garden had been removed some years ago), **E 13.10.1 P1 is considered satisfied.**

Recommendation

The application involves the loss of significant landscape elements including late Victorian era tessellated tile path with edging. This fails to satisfy E 13.7.1 P1 (demolition). The proposed front fence is considered incompatible design in terms of its height and siting, form and materials. The proposed works fails to satisfy E 13.7.2 P5 and P6 (works). **This application is recommended for refusal.**

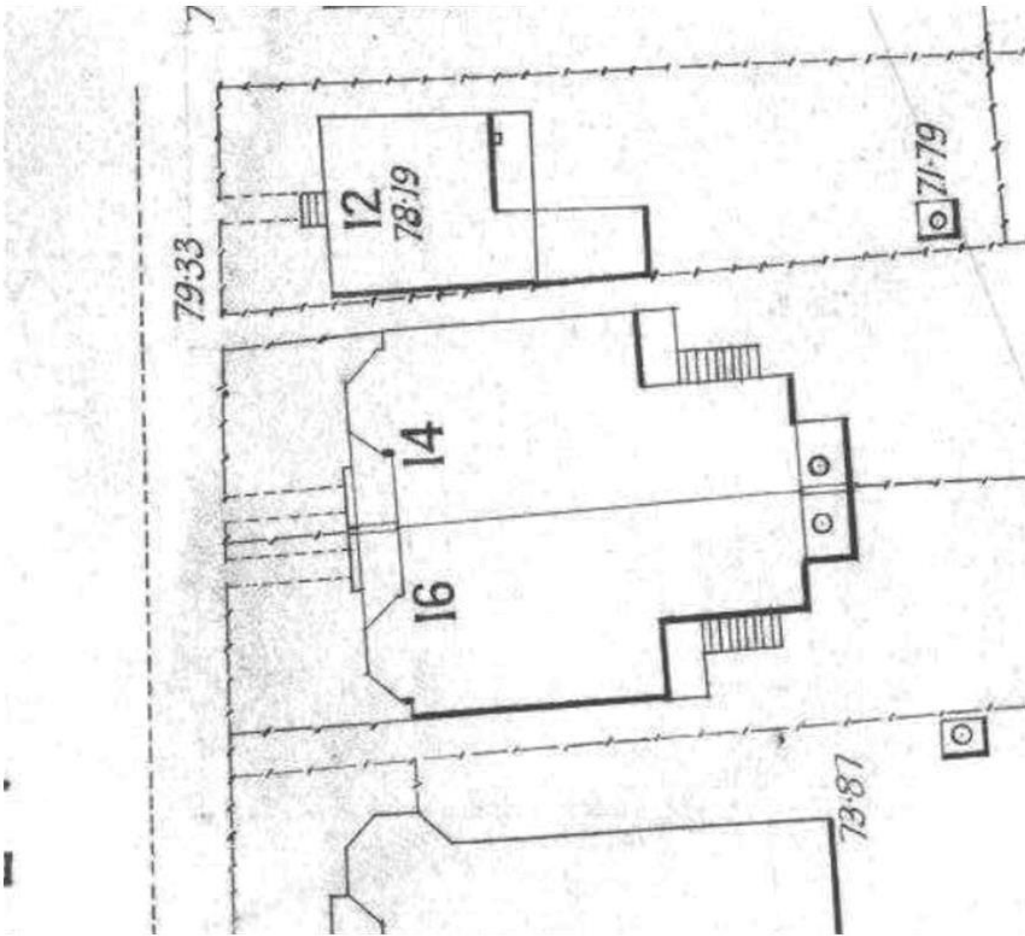
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Advice

It is possible to provide advice to the applicant that the reinstatement of a modest front garden and front fence of no more than 1.2m would be exempt from planning approval and a good conservation outcome for the listed place.

Image source: Hobart City Council Collection, Metropolitan drainage Board Plans 1905-

1947. Plans show the House at No. 14 Goulburn Street with a front fence and path.



**7.1.3 7 RIBBON GUM COURT, MOUNT NELSON - PARTIAL
DEMOLITION, ALTERATIONS AND EXTENSION
PLN-20-830 - FILE REF: F21/8289**

Address: 7 Ribbon Gum Court, Mount Nelson

Proposal: Partial Demolition, Alterations and Extension

Expiry Date: 1 March 2021

Extension of Time: Not applicable

Author: Cameron Sherriff

RECOMMENDATION

That pursuant to the *Hobart Interim Planning Scheme 2015*, the Council approve the application for partial demolition, alterations and extension, at 7 Ribbon Gum Court, Mount Nelson for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

GEN

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-20-830 - 7 RIBBON GUM COURT MOUNT NELSON TAS 7007 - Final Planning Documents except where modified below.

Reason for condition

To clarify the scope of the permit.

ENG sw1

All stormwater from the proposed development (including but not limited to: roofed areas, ag drains, retaining wall ag drains and impervious surfaces such as driveways and paved areas) must be drained to the Council's stormwater infrastructure prior to first occupation or commencement of use (whichever occurs first).

Advice:

Under section 23 of the Urban Drainage Act 2013 it is an offence for a property owner to direct stormwater onto a neighbouring property.

Reason for condition

To ensure that stormwater from the site will be discharged to a suitable Council approved outlet.

ENG 3a

The access driveway, and parking module (parking spaces, aisles and manoeuvring area) must be designed and constructed in accordance with Australian Standard AS/NZS 2890.1:2004 (including the requirement for vehicle safety barriers where required), or a Council approved alternate design certified by a suitably qualified engineer to provide a safe and efficient access, and enable safe, easy and efficient use.

Advice:

It is advised that designers consider the detailed design of the access and parking module prior to finalising the Finished Floor Level (FFL) of the parking spaces (especially if located within a garage incorporated into the dwelling), as failure to do so may result in difficulty complying with this condition.

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

ENG 4

The access driveway and parking module (car parking spaces, aisles and manoeuvring area) approved by this permit must be constructed to a sealed standard (spray seal, asphalt, concrete, pavers or equivalent Council approved) and surface drained to the Council's stormwater infrastructure prior to the commencement of use.

Reason for condition

To ensure the safety of users of the access driveway and parking module, and that it does not detract from the amenity of users, adjoining occupiers or the environment by preventing dust, mud and sediment transport.

ENG 1

Any damage to council infrastructure resulting from the implementation of this permit, must, at the discretion of the Council:

- 1. Be met by the owner by way of reimbursement (cost of repair and reinstatement to be paid by the owner to the Council); or**
- 2. Be repaired and reinstated by the owner to the satisfaction of the Council.**

A photographic record of the Council's infrastructure adjacent to the subject site must be provided to the Council prior to any commencement of works.

A photographic record of the Council's infrastructure (e.g. existing property service connection points, roads, buildings, stormwater, footpaths, driveway crossovers and nature strips, including if any, pre-existing damage) will be relied upon to establish the extent of damage caused to the Council's infrastructure during construction. In the event that the owner/developer fails to provide to the Council a photographic record of the Council's infrastructure, then any damage to the Council's infrastructure found on completion of works will be deemed to be the responsibility of the owner.

Reason for condition

To ensure that any of the Council's infrastructure and/or site-related service connections affected by the proposal will be altered and/or reinstated at the owner's full cost.

ENV 1

Sediment and erosion control measures sufficient to prevent sediment from leaving the site must be installed prior to any disturbance of the site, and maintained until all areas of disturbance have been stabilized or re-vegetated.

Advice:

For further guidance in preparing a Soil and Water Management Plan – in accordance with Fact sheet 3 Derwent Estuary Program click [here](#).

Reason for condition

To avoid the sedimentation of roads, drains, natural watercourses, Council land that could be caused by erosion and runoff from the development, and to comply with relevant State legislation.

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

BUILDING PERMIT

You may need building approval in accordance with the *Building Act 2016*. Click [here](#) for more information.

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

PLUMBING PERMIT

You may need plumbing approval in accordance with the *Building Act 2016*, *Building Regulations 2016* and the National Construction Code. Click [here](#) for more information.

STORMWATER




Please note that in addition to a building and/or plumbing permit, development must be in accordance with the Hobart City Council's Infrastructure By law. Click [here](#) for more information.

FEES AND CHARGES

Click [here](#) for information on the Council's fees and charges.

DIAL BEFORE YOU DIG

Click [here](#) for dial before you dig information.

- | | |
|---------------|---|
| Attachment A: | PLN-20-830 - 7 RIBBON GUM COURT MOUNT
NELSON TAS 7007 - Planning Committee or
Delegated Report ↓  |
| Attachment B: | PLN-20-830 - 7 RIBBON GUM COURT MOUNT
NELSON TAS 7007 - CPC Agenda Documents ↓
 |
| Attachment C: | PLN-20-830 - 7 RIBBON GUM COURT MOUNT
NELSON TAS 7007 - Revised Building Envelope
Plan and Additional Shadow Diagrams ↓  |

**APPLICATION UNDER HOBART INTERIM PLANNING SCHEME 2015**

Type of Report:	Committee
Committee:	15 February 2021
Expiry Date:	1 March 2021
Application No:	PLN-20-830
Address:	7 RIBBON GUM COURT , MOUNT NELSON
Applicant:	DANIELLA ANNE POLITA 7 RIBBON GUM COURT
Proposal:	Partial Demolition, Alterations and Extension
Representations:	Three (3)
Performance criteria:	Setbacks and Building Envelope; Site Coverage and Private Open Space

1. Executive Summary

- 1.1 Planning approval is sought for Partial Demolition, Alterations and Extension, at 7 Ribbon Gum Court, Mount Nelson.
- 1.2 More specifically the proposal includes:
 - An extension to the northern side, ground level of the dwelling, adding a new dining area to the side of the living room, and displacing part of a paved area and carport to the side of the dwelling. This extension has a separate, skillion roof form abutting the hipped roof form of the existing single storey dwelling and is clad in coloured cement sheet cladding.
 - A two storey extension to the western, front corner of the dwelling adding a ground level garage for one vehicle and an upper level master bedroom with walk in robe and ensuite. This extension has a skillion roof form with coloured cement sheet cladding for the upper level and vertical timber cladding for the lower level.
 - The proposed extensions increase the floor area of the dwelling by 56m² to 170m².
 - The existing driveway is to be extended with new hardstand sweeping to the right to allow access to the new garage.
- 1.3 The proposal relies on performance criteria to satisfy the following standards and codes:

1.3.1 Low Density Residential Zone - Building Envelope; Site Coverage

- 1.4 Three (3) representations objecting to the proposal were received within the statutory advertising period between 17/12/2020 and 07/01/2021.
- 1.5 The proposal is recommended for approval subject to conditions.
- 1.6 The final decision is delegated to the City Planning Committee, because the proposal received three objecting representations during the statutory advertising period and is recommended for approval.

2. Site Detail



Fig 1: Aerial view of the subject property and surrounds (Source: HCC Geocortex).

- 2.1 7 Ribbon Gum Court, Mount Nelson is a 754m² residential property occupied by a single storey dwelling set centrally on the site. The property is set amongst other similar, recently developed residential lots within one of the newer subdivisions of Mount Nelson. The surrounding area has a residential character in a semi-bushland setting at the top of Mount Nelson. The dwelling as it currently exists in the streetscape can be seen in Plate 1, below.



Plate 1: The existing dwelling on the subject site (Planner's photo).

3. Proposal

- 3.1 Planning approval is sought for Partial Demolition, Alterations and Extension, at 7 Ribbon Gum Court, Mount Nelson.
- 3.2 More specifically the proposal is for:
- An extension to the northern side, ground level of the dwelling, adding a new dining area to the side of the living room, and displacing part of a paved area and carport to the side of the dwelling. This extension has a separate, skillion roof form abutting the hipped roof form of the existing single storey dwelling and is clad in coloured cement sheet cladding.
 - A two storey extension to the western, front corner of the dwelling adding a ground level garage for one vehicle and an upper level master bedroom with walk in robe and ensuite. This extension has a skillion roof form with coloured cement sheet cladding for the upper level and vertical timber cladding for the lower level.
 - The proposed extensions increase the floor area of the dwelling by 56m² to 170m².
 - The existing driveway is to be extended with new hardstand sweeping to the right to allow access to the new garage.



Fig 2: Excerpt from submitted site plan (Source: Formation Design & Drafting).

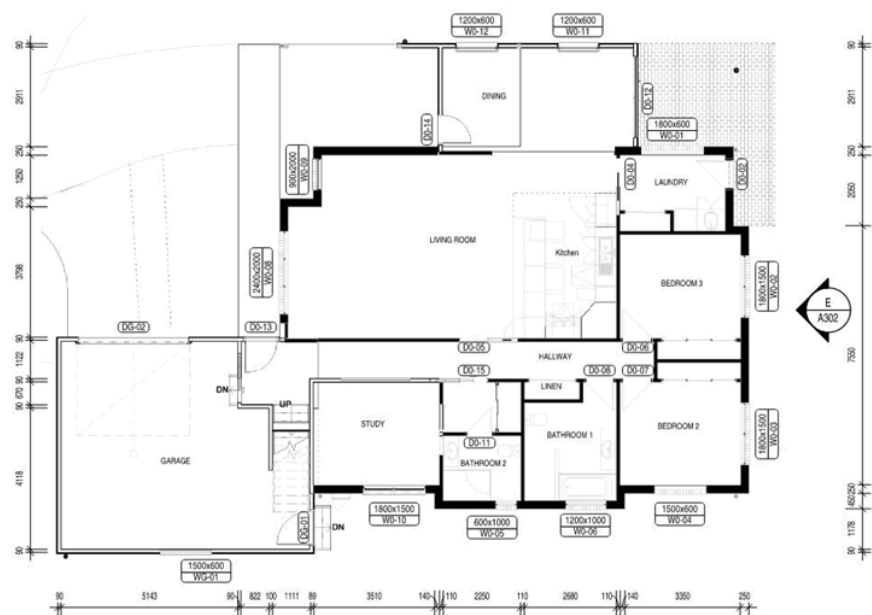


Fig 3: Excerpt from submitted proposed ground floor plan (Source: Formation Design & Drafting).

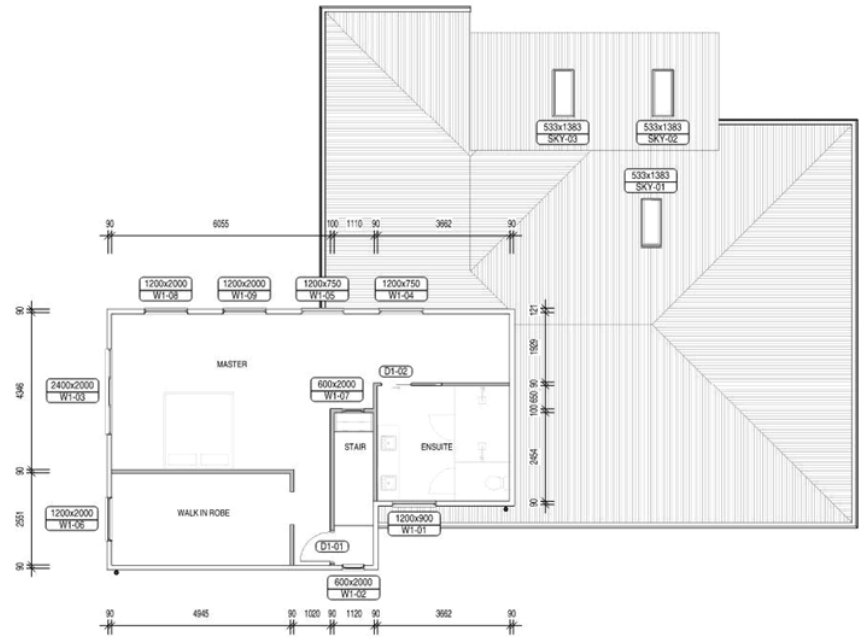


Fig 4: Excerpt from submitted proposed upper floor plan (Source: Formation Design & Drafting).

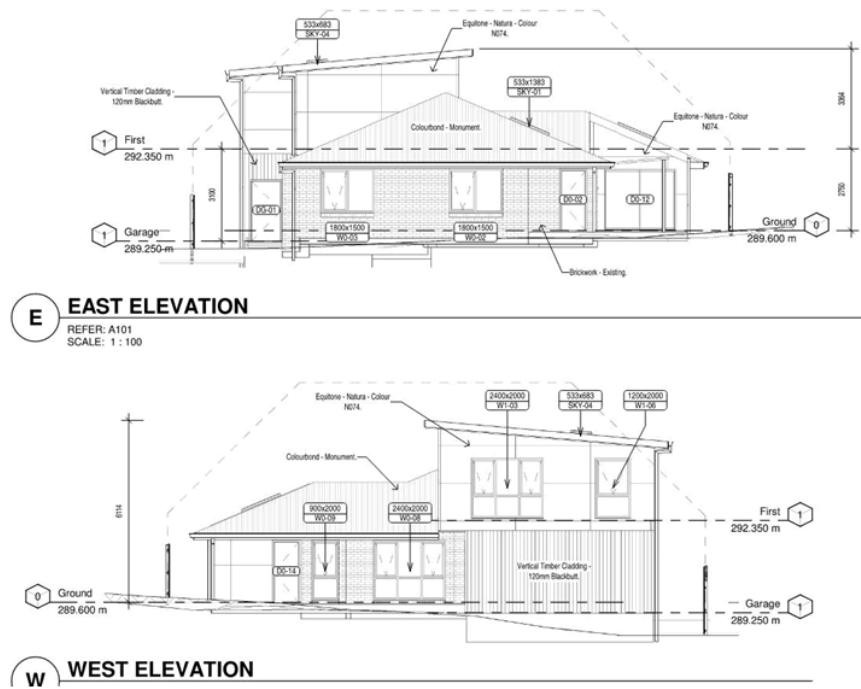


Fig 5: Excerpt from submitted proposed east and west elevation plans. Note the building envelope shown is incorrect - refer Assessment and Discussion sections for explanation (Source: Formation Design & Drafting).

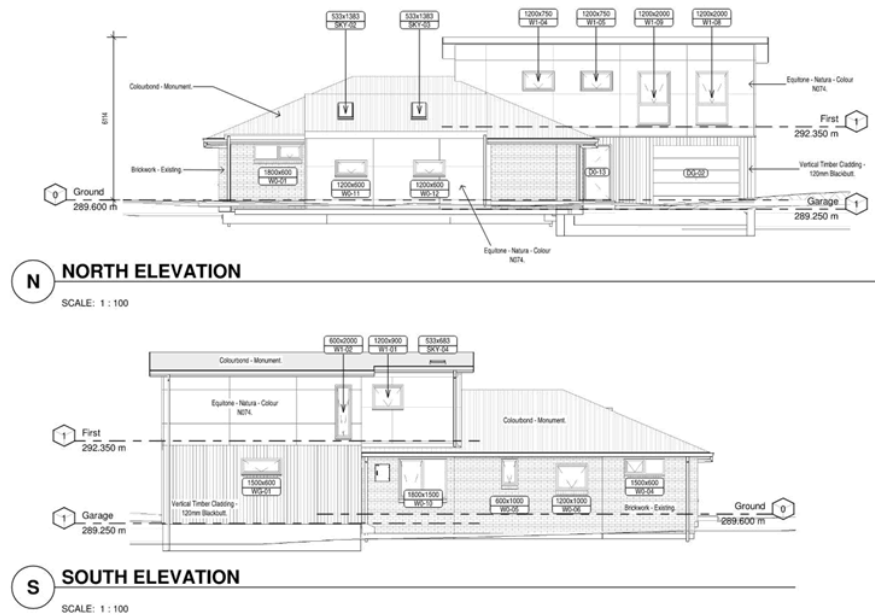


Fig 6: Excerpt from submitted proposed north and south elevation plans (Source: Formation Design & Drafting).

4. Background

- 4.1 The dwelling on the subject site was approved by Council in April 2016.

5. Concerns raised by representors

- 5.1 Three (3) representations objecting to the proposal were received within the statutory advertising period between 17/12/2020 and 07/01/2021.
- 5.2 The following table outlines the concerns raised in the representations received. Those concerns which relate to a discretion invoked by the proposal are addressed in Section 6 of this report.

<p>The negative impacts of overshadowing, reduction of natural light and sunlight entering adjacent, passive solar dwellings and in turn affecting the amenity of residents.</p> <ul style="list-style-type: none"> - Impacts on upper level office and bedroom. - Impacts on lower level living rooms, either directly or indirectly via other rooms/a hallway. - Main living rooms have western facing windows which get limited sunlight in winter. - Passive solar design for heating will be compromised. - Shading of private open space. - Shading of clothes drying areas. - Increase in frost and ice formation creating a safety risk.
The front extension is imposing and will obstruct vision of nearby dwellings from the street and passive surveillance opportunities.
The height of the two storey extension will produce an unreasonable alley way effect.
Unreasonable affect on amenity by way of poor design.
Non compliance with planning scheme standards justifies refusal of the application.
Neighbours have not been consulted to inform the design and the design of adjacent dwellings has not been considered.
The development is out of character with the balance of development in the street, and impacts the existing streetscape form by having its bulk towards the front, which is poor design practice
<p>The proposal does not comply with planning scheme standards, including:</p> <ul style="list-style-type: none"> - front setback - garage setback - building envelope - the building envelope shown is incorrect - private open space - multiple dwelling sunlight and overshadowing - privacy

6. Assessment

- 6.1 The *Hobart Interim Planning Scheme 2015* is a performance based planning scheme. To meet an applicable standard, a proposal must demonstrate compliance with either an acceptable solution or a performance criterion. Where a proposal complies with a standard by relying on one or more performance criteria, the Council may approve or refuse the proposal on that basis. The ability to approve or refuse the proposal relates only to the performance criteria relied on.

- 6.2 The site is located within the Low Density Residential Zone of the *Hobart Interim Planning Scheme 2015*.
- 6.3 The existing use is Residential (Single Dwelling). The proposal continues this use. A Residential (Single Dwelling) use is a No Permit Required use in the zone.
- 6.4 The proposal has been assessed against:
- 6.4.1 Part D - 12 Low Density Residential Zone
 - 6.4.2 E6.0 Parking and Access Code
 - 6.4.3 E7.0 Stormwater Management Code
 - 6.4.4 E10.0 Biodiversity Code
- 6.5 The proposal relies on the following performance criteria to comply with the applicable standards:
- 6.5.1 Low Density Residential Zone:
 - Setbacks and Building Envelope – Part D 12.4.2 P3*
 - Site Coverage and Private Open Space - Part D 12.4.3 P1*
- 6.6 Each performance criterion is assessed below.
- 6.7 Setbacks and Building Envelope – Part D 12.4.2 P3
- 6.7.1 The acceptable solution A3 at clause E12.4.2 requires development to fit within the shape produced by the acceptable building envelope as it is influenced by the characteristics of the site, with a maximum height of 8.5m and a minimum side setback of 1.5m.
 - 6.7.2 The proposal includes the upper edge of the extension along its southern side extending outside of the 45 degree tangent of the envelope. The development extends to approximately 1.8m horizontally and 1.6m vertically outside of the envelope shape. It should be noted that the extent of encroachment outside the envelope has been shown incorrectly on the submitted plans as the envelope has not been based on natural ground level on the southern side of the property. As a result of this, the proposed extension is further outside of the envelope than shown (approximately 0.7m to 0.9m more). This matter is detailed further in the Discussion

section of this report.

- 6.7.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.

- 6.7.4 The performance criterion P3 at clause D12.4.2 provides as follows:

The siting and scale of a dwelling must:

(a) not cause unreasonable loss of amenity by:

(i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining lot; or

(ii) overshadowing the private open space of a dwelling on an adjoining lot; or

(iii) overshadowing of an adjoining vacant lot; or

(iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining lot; and

(b) provide separation between dwellings on adjoining lots that is compatible with that prevailing in the surrounding area.

- 6.7.5 The recent Tribunal decision of *McCullagh v Glamorgan Spring Bay Council and Ors*, which specifically considered this clause, determined that once a proposal extends outside the acceptable solution building envelope, a detailed assessment of the performance criterion must be carried out, without reference to the acceptable solution. That is, the permitted building envelope does not provide the test of 'reasonableness' against which a discretionary application is assessed. Instead, the development must be assessed on its merits against the provisions of the performance criterion; that is, (a) does the development cause an unreasonable loss of amenity to neighbours by reduction in sunlight to a habitable room (other than a bedroom), overshadowing of private open space, or visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining lot, and (b) does the development provide separation between dwellings on adjoining lots that is compatible with that prevailing in the vicinity?

Shadow diagrams included with the application show that the proposed extension would add to the current level of shadow cast to the adjacent

property to the south, which is occupied by two multiple dwellings which have ground level living rooms facing the street with a west/north-west orientation on their southern sides, with the rear dwelling having a recently constructed upper level extension housing a bedroom. Open space areas for these dwellings are between the dwelling and the street for the front dwelling and around the southern side of the rear dwelling. Direct shadow cast by the proposed development does not directly or materially impact the living rooms of the two adjacent dwellings - it is shown to be either cast in a different direction from the orientation of the living room windows or is cast on an acute angle and not extending far enough to have any real influence.

The front dwelling on the adjacent property at 9 Ribbon Gum Court has two bedroom windows and an inset partially glazed front entrance under an extended eave facing the subject site, and corresponding with the area of the proposed extension. Building plans indicate that behind and inside this entrance there is a corridor of around 4.6m before the living/dining area on the southern side of this dwelling. The driveway for 9 Ribbon Gum Court, a narrow landscape border and a side boundary fence lie in between this dwelling and the subject site. The rear dwelling on this adjacent site has no side windows facing the subject site that correspond with the existing dwelling or the proposed extension to its front. The side windows in this adjacent dwelling correspond with the rear open space of the dwelling on the subject site.

As shown at 9am on June 21, shadow cast extends further over the top and beyond the front adjacent dwelling to the street, which has an additional effect in covering the open space at the front of this property. By midday the front of this property is clear of shadow, which is now cast further onto the roof of this dwelling and its side bedroom windows, and marginally more than existing onto a small part of the open space of the adjacent dwelling to the rear. By 3pm, the shadow is mostly clear of the front dwelling and extends further onto the property to the rear of the adjacent site, reaching the bottom corner but not directly enveloping nor unreasonably impacting the ground level living room window, and not to the extent that it reaches the upper level bedroom window. The rear dwelling's open space is also shown to be mostly clear of additional shadow.

Shadow diagrams provided for March 21 indicate minimal impact having little influence on the adjacent dwellings that could not be considered to be unreasonable. Given known sun angles at other times of the year shadowing would have less than or no greater impact upon the adjacent

property than that shown in the submitted diagrams. In an overall sense, given the existing shadowing experienced by the adjacent dwellings, the already limited ability for the adjacent dwellings, particularly their living rooms, to receive direct and therefore quality sunlight, and the extent of increased shadow caused by the proposed development noting that this extent is reduced during all other times of the year around June 21, the proposed development is not considered to be unreasonable in terms of impact upon residential amenity in this regard.

Returning to the alignment and outlook of the adjacent dwellings and position of the proposed extension, the front adjacent dwelling at 9 Ribbon Gum Court includes one highlight and one standard size bedroom window, and the partially glazed and inset and covered entrance opposite the location of the proposed development. The adjacent dwelling to the rear on 9 Ribbon Gum Court does not correspond with the proposed extension, and has two bedroom windows, a bathroom window and a carport mostly corresponding with the rear yard of the subject property. In this dwelling's upper level there is a bedroom window and bathroom window facing the subject property. Between the front adjacent dwelling at 9 Ribbon Gum Court and the subject site there is a shared driveway for the two dwellings on this site. The proposed extension only marginally overlaps with the open space located between the front dwelling and the street as this front dwelling is already situated closer to the front boundary with a setback of approximately 5.8m. There are limited spaces or areas of significance on the adjacent 9 Ribbon Gum Court, whose outlook is normally considered significant or overly worthy of protection, that provide direct views to the proposed development. Main living area and open space outlooks to the west, north-west on this adjacent site are preserved with no direct blocking or impingement caused. The use of different materials, including both vertical timber and cement sheet cladding for the lower and upper levels of the main extension will assist in breaking up the scale of the development, particularly when viewed from the adjacent property at 9 Ribbon Gum Court. From other adjoining properties (5 Ribbon Gum Court to the north and 512 Nelson Road to the east), the proposed development would have less of an immediate impact as it would be further separated than it would be from number 9.

The resultant separation between dwellings, whilst being reduced along the southern side of the subject property where the proposed extension is located, is still more than the acceptable 1.5m in the Low Density Residential Zone. Typical side setbacks in the immediate area in Ribbon Gum Court vary between less than one metre (both sides at 9 Ribbon Gum Court, northern side of the subject property), to 1.5m and up to 5m in

several instances. The proposed setbacks are not without precedent in the area and as such are considered to be compatible.

For context with the above assessment images of the adjacent property at 9 Ribbon Gum Court follow below:



Plate 2: The site of the proposed development at the front of the existing building, with the adjacent front dwelling at 9 Ribbon Gum Court behind the side boundary fence. In this side of the adjacent dwelling are, from right to left, two bedroom windows, the 'front' door (partially obscured) and a carport (Planner's photo).



Plate 3: The side boundary between the subject property and 9 Ribbon Gum Court, noting the rear adjacent dwelling with its upper level addition (Planner's photo).



Plate 4: Looking up the driveway of 9 Ribbon Gum Court with the site of the proposed development to the left in front of the existing brown brick dwelling on the subject site (Planner's photo).



Plate 5: Looking towards the subject site from the head of the cul-de-sac on Ribbon Gum Court with the adjacent property at 9 Ribbon Gum Court in the centre of the image. The living room windows of this dwelling can be seen to its right-hand and front side, with its private open space area between it and the front fence (Planner's photo).

6.7.6 The proposal complies with the performance criterion.

6.8 Site Coverage and Private Open Space - Part D 12.4.3 P1

6.8.1 The acceptable solution A1(a) at clause D12.4.3 requires a maximum site coverage of 25% for development in the Low Density Residential Zone.

6.8.2 The proposal includes an extension to the applicable building envelope which results in a site coverage of 29.%, up from an existing 20.8% site coverage.

6.8.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.

6.8.4 The performance criterion P1 at clause D12.4.3 provides as follows:

Dwellings must have:

(a) private open space that is of a size and dimensions that are

appropriate for the size of the dwelling and is able to accommodate:

(i) outdoor recreational space consistent with the projected requirements of the occupants; and

(ii) operational needs, such as clothes drying and storage; and

(b) have reasonable space for the planting of gardens and landscaping.

(c) not be out of character with the pattern of development in the surrounding area; and

(d) not result in an unreasonable loss of natural or landscape values.

- 6.8.5 The proposed extension is to the front of the property and as such does not displace the existing approximately 285m² area of private open space at the rear of the site. Some minimal additional shadow is cast onto this area however this is not significantly different to what is already experienced.

There are no natural or landscape values unreasonably impacted by the proposed development.

In terms of the character of the area, the proposal does not represent an unusually large footprint of development on the site such that it is significantly different to development that has already been established in Ribbon Gum Court. Many of the recently constructed dwellings in the Ribbon Gum Court subdivision exceed the acceptable solution for site coverage with some also two storeys in nature. The adjacent dwelling at 5 Ribbon Gum Court (748m²) was approved with a 30% site coverage. The two multiple dwellings at 9 Ribbon Gum Court (746m², one of two storeys) approved with a combined site coverage of 37.4%; 3 Ribbon Gum Court (911m²) at 31%; 8 Ribbon Gum Court (924m²) approved at 38%; 6 Ribbon Gum Court (932m²) approved at 26.4%; 1 Ribbon Gum Court (909m², two storeys) 28%; 11 Ribbon Gum Court (1132m², two storeys - not yet constructed) previously approved at 28%, revised proposed at 28.8%. 4 Ribbon Gum Court is a two storey dwelling but is below 25% site coverage. The dwelling at 2 Ribbon Gum Court has a site coverage of 24.3%. In terms of the immediately surrounding area, the proposed development is not considered to be out of character. Further, the introduction of the skillion roof form of the proposed extension, combined with the hipped roof forms retained over the existing part of the dwelling are consistent with those incorporated into the roof forms of the existing dwellings in Ribbon Gum Court.

6.8.6 The proposal complies with the performance criterion.

7. Discussion

- 7.1 Planning approval is sought for Partial Demolition, Alterations and Extension, at 7 Ribbon Gum Court, Mount Nelson.
- 7.2 The application was advertised and received three (3) representations. The representations raised concerns including the proposal's impact upon amenity by way of overshadowing, reduction of sunlight, privacy and overlooking, height and visual bulk, passive surveillance; its poor design; lack of consultation with neighbours to inform design; lack of conformity with local character and streetscape; non-compliance with residential scheme standards.
- 7.3 Where relevant to the proposal, the matter of amenity impacts generated by the proposal's non-compliance with the acceptable building envelope have been addressed in detail in this report, with the conclusion being that they are not unreasonable. A number of the elements of non-compliance claimed by one of the representations are incorrect - the proposal complies with front setback standards; garage setback standards; private open space standards and privacy standards, and as a single dwelling use, standards regarding multiple dwellings are not relevant to the assessment - they can't be applied to a single dwelling related development just because multiple dwellings are present on adjoining lots.

- 7.4 It should be noted that one of the representations queried the accuracy of the building envelope shown on the submitted plans, in terms of how it had been applied to natural ground level. This matter was reviewed and it was determined that the envelope had been shown incorrectly on the west and east elevations, where instead of being taken from natural ground level at the southern side of the dwelling, it has been shown commencing from ground floor level on this side. From the opposite side, the envelope has been shown correctly from natural ground level. This issue was raised with the applicant, who confirmed that they had indeed shown the envelope incorrectly, and who subsequently provided a revised plan after carrying out a laser scan of the property. Overall, the proposed development is unchanged. Natural ground level and therefore the height of the development has been accurately shown from the beginning and due to the error noted above it is only the degree of non-compliance with the building envelope that differs. Aside from this being misleading there is no impact on the ability for the proposal to be accurately assessed, particularly since once a proposal extends beyond the envelope, it is the impact of the entirety of the development that is considered, not just the degree of non-compliance. It was also confirmed by the applicant that submitted shadow diagrams were correct and accurately reflect the proposed development. From the subsequent laser scan of the property however, additional, more detailed shadow diagrams were submitted, which complement those previously submitted and advertised. These additional diagrams assist to confirm but do not change the recommendation. The updated documents can be seen at Attachment C.
- 7.5 The proposal has been assessed against the relevant provisions of the planning scheme and is considered to perform well.
- 7.6 The proposal has been assessed by other Council officers, including the Council's Development Engineer and Environmental Development Planner. The officers have raised no objection to the proposal, subject to conditions.
- 7.7 The proposal is recommended for approval.

8. Conclusion

- 8.1 The proposed Partial Demolition, Alterations and Extension, at 7 Ribbon Gum Court, Mount Nelson satisfies the relevant provisions of the *Hobart Interim Planning Scheme 2015*, and as such is recommended for approval.

9. Recommendations

That: Pursuant to the *Hobart Interim Planning Scheme 2015*, the Council approve the application for Partial Demolition, Alterations and Extension, at 7 Ribbon Gum Court, Mount Nelson for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

GEN

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-20-830 - 7 RIBBON GUM COURT MOUNT NELSON TAS 7007 - Final Planning Documents except where modified below.

Reason for condition

To clarify the scope of the permit.

ENG sw1

All stormwater from the proposed development (including but not limited to: roofed areas, ag drains, retaining wall ag drains and impervious surfaces such as driveways and paved areas) must be drained to the Council's stormwater infrastructure prior to first occupation or commencement of use (whichever occurs first).

Advice: Under section 23 of the Urban Drainage Act 2013 it is an offence for a property owner to direct stormwater onto a neighbouring property.

Reason for condition

To ensure that stormwater from the site will be discharged to a suitable Council approved outlet.

ENG 3a

The access driveway, and parking module (parking spaces, aisles and manoeuvring area) must be designed and constructed in accordance with Australian Standard AS/NZS2890.1:2004 (including the requirement for vehicle safety barriers where required), or a Council approved alternate design certified by a suitably qualified engineer to provide a safe and efficient access,

and enable safe, easy and efficient use.

Advice:

- *It is advised that designers consider the detailed design of the access and parking module prior to finalising the Finished Floor Level (FFL) of the parking spaces (especially if located within a garage incorporated into the dwelling), as failure to do so may result in difficulty complying with this condition.*

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

ENG 4

The access driveway and parking module (car parking spaces, aisles and manoeuvring area) approved by this permit must be constructed to a sealed standard (spray seal, asphalt, concrete, pavers or equivalent Council approved) and surface drained to the Council's stormwater infrastructure prior to the commencement of use.

Reason for condition

To ensure the safety of users of the access driveway and parking module, and that it does not detract from the amenity of users, adjoining occupiers or the environment by preventing dust, mud and sediment transport.

ENG 1

Any damage to council infrastructure resulting from the implementation of this permit, must, at the discretion of the Council:

1. **Be met by the owner by way of reimbursement (cost of repair and reinstatement to be paid by the owner to the Council); or**
2. **Be repaired and reinstated by the owner to the satisfaction of the Council.**

A photographic record of the Council's infrastructure adjacent to the subject site must be provided to the Council prior to any commencement of works.

A photographic record of the Council's infrastructure (e.g. existing property service connection points, roads, buildings, stormwater, footpaths, driveway

crossovers and nature strips, including if any, pre-existing damage) will be relied upon to establish the extent of damage caused to the Council's infrastructure during construction. In the event that the owner/developer fails to provide to the Council a photographic record of the Council's infrastructure, then any damage to the Council's infrastructure found on completion of works will be deemed to be the responsibility of the owner.

Reason for condition

To ensure that any of the Council's infrastructure and/or site-related service connections affected by the proposal will be altered and/or reinstated at the owner's full cost.

ENV 1

Sediment and erosion control measures sufficient to prevent sediment from leaving the site must be installed prior to any disturbance of the site, and maintained until all areas of disturbance have been stabilized or re-vegetated.

Advice: For further guidance in preparing a Soil and Water Management Plan – in accordance with Fact sheet 3 Derwent Estuary Program click [here](#).

Reason for condition

To avoid the sedimentation of roads, drains, natural watercourses, Council land that could be caused by erosion and runoff from the development, and to comply with relevant State legislation.

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

BUILDING PERMIT

You may need building approval in accordance with the *Building Act 2016*. Click [here](#) for more information.

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

PLUMBING PERMIT

You may need plumbing approval in accordance with the *Building Act 2016*, *Building Regulations 2016* and the National Construction Code. Click [here](#) for more information.

STORM WATER

Please note that in addition to a building and/or plumbing permit, development must be in accordance with the Hobart City Council's Infrastructure By law. Click [here](#) for more information.

FEES AND CHARGES

Click [here](#) for information on the Council's fees and charges.

DIAL BEFORE YOU DIG

Click [here](#) for dial before you dig information.



(Cameron Sherriff)

Development Appraisal Planner

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.



(Karen Abey)

Manager Development Appraisal

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

Date of Report: 28 January 2021

Attachment(s):

Attachment B - CPC Agenda Documents

Attachment C - Revised Building Envelope Plan and Additional Shadow Diagrams

Planning: #218488

Property

7 RIBBON GUM COURT MOUNT NELSON TAS 7007

People

Applicant

*

DANIELLA ANNE POLITA

0411 818 446

daniella@rehabalive.com.au

Owner

*

DANIELLA ANNE POLITA

0411 818 446

daniella@rehabalive.com.au

Entered By

DANIELLA ANNE POLITA

0411 818 446

daniella@rehabalive.com.au

Use

Single dwelling

Details

Have you obtained pre application advice?

☒ No

If YES please provide the pre application advice number eg PAE-17-xx

Are you applying for permitted visitor accommodation as defined by the State Government Visitor Accommodation Standards? Click on help information button for definition. If you are not the owner of the property you MUST include signed confirmation from the owner that they are aware of this application.

*

☒ No

Is the application for SIGNAGE ONLY? If yes, please enter \$0 in the cost of development, and you must enter the number of signs under Other Details below.

*

☒ No

If this application is related to an enforcement action please enter Enforcement Number

Details

What is the current approved use of the land / building(s)?

*

Residential

Please provide a full description of the proposed use or development (i.e. demolition and new dwelling, swimming pool and garage)

*

Dwelling Extension and Garage

Estimated cost of development

*

200000.00

Existing floor area (m2)

Proposed floor area (m2)

Site area (m2)

114.00

56.00

741

Carparking on Site

N/A

Total parking spaces

Existing parking spaces

☐ Other (no selection chosen)**Other Details**

Does the application include signage?

*

☐ No

How many signs, please enter 0 if there are none involved in this application?

*

0

Tasmania Heritage Register

Is this property on the Tasmanian Heritage Register?

• ☐ No**Documents****Required Documents**

Title (Folio text and Plan and Schedule of Easements)

*

FolioPlan-169578-9.pdf

Title (Folio text and Plan and Schedule of Easements)

*

FolioText-169578-9.pdf

Title (Folio text and Plan and Schedule of Easements)

*

ScheduleOfEasements-169578-9.pdf

Plans (proposed, existing)

*

20001-A000-A402_RevA-ForDA (1).pdf

Part 5 (Subdivision)

CCF19022015_0001.pdf

**RESULT OF SEARCH**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

SEARCH OF TORRENS TITLE

VOLUME 169578	FOLIO 9
EDITION 2	DATE OF ISSUE 13-Jul-2015

SEARCH DATE : 25-Nov-2020

SEARCH TIME : 12.33 PM

DESCRIPTION OF LAND

City of HOBART

Lot 9 on Sealed Plan 169578

Derivation : Parts of 507 Acres & 1000 Acres Gtd. to R L Murray

Prior CT 166315/1

SCHEDULE 1

M525723 TRANSFER to DANIELLA ANNE POLITA Registered
13-Jul-2015 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
SP169578 EASEMENTS in Schedule of Easements
SP169578 FENCING PROVISION in Schedule of Easements
D150541 AGREEMENT pursuant to Section 71 of the Land Use
Planning and Approvals Act 1993 Registered
10-Dec-2014 at noon
M511375 MORTGAGE to MyState Bank Limited Registered
13-Jul-2015 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

**FOLIO PLAN**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



OWNER Penny Smith		PLAN OF SURVEY BY SURVEYOR H.A.CLEMENT of PDA Surveyors 127 BATHURST STREET, HOBART LOCATION CITY OF HOBART SCALE: 1:1250 LENGTHS IN METRES SURVEYORS REF: S872U-1		REGISTERED NUMBER SP169578
FOLIO REFERENCE FR 166315/1	GRANTEE Part of 507 Acres & Part of 1000 Acres Gtd. to Robert Lathop Murray			APPROVED EFFECTIVE FROM - 2 JUN 2015 <i>Alice Kawa</i> Recorder of Titles
MAPSHEET MUNICIPAL CODE No. 114 (5224-22)	LAST UPI No.	LAST PLAN No. P166315	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	

INDEX PLAN

The index plan shows a street layout with Nelson Road at the top and 101 Road running vertically. To the right of 101 Road are parcels numbered 1 through 12. To the left of 101 Road are parcels numbered 1 through 6. Various survey numbers (SP, STR, D, P) are labeled around the parcels. A drainage easement is shown on the left side, labeled 'DRAINAGE EASEMENT 2.00 WIDE (CREATED BY D4230)'. A north arrow is in the top left corner.

[Signature]
COUNCIL DELEGATE

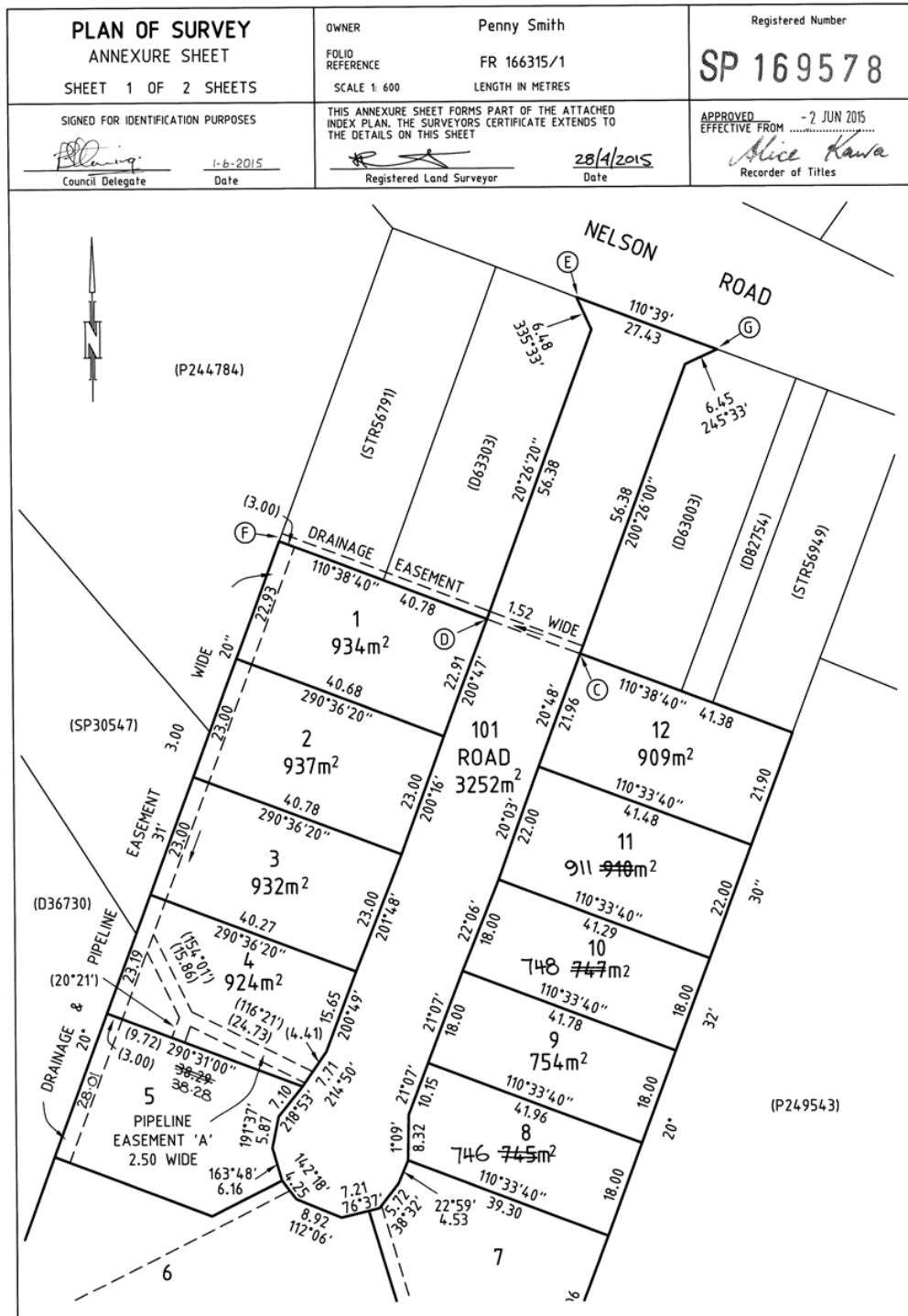
1-6-2015
DATE



FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

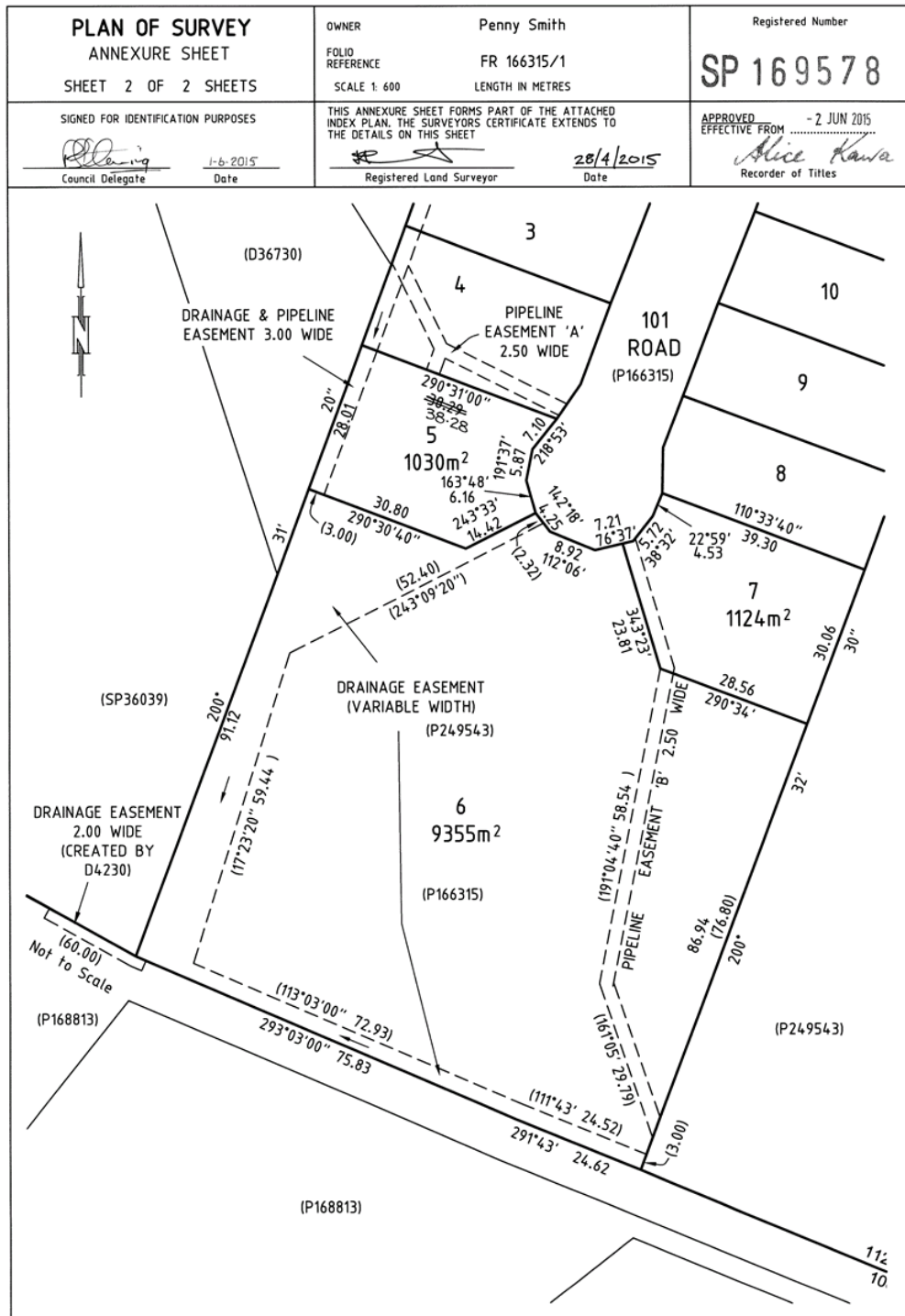




FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



**SCHEDULE OF EASEMENTS**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 169578

PAGE 1 OF 4 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Lots 1-12 & 101 are each together with a right of drainage of the land marked DRAINAGE EASEMENT 2.00 WIDE on the plan

Lots 1-5 are each subject to a right of drainage (in favour of Hobart City Council) over the land marked DRAINAGE & PIPELINE EASEMENT 3.00 WIDE passing through such lot on the plan

(hereinafter defined)

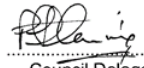
Lots 1-5 are each subject to a pipeline & service easement^A (in favour of TasWater) over the land marked DRAINAGE & PIPELINE EASEMENT 3.00 WIDE passing through such lot on the plan

Lots 4 is subject to a pipeline & service easement (in favour of TasWater) over the land marked PIPELINE EASEMENT "A" 2.50 WIDE passing through that lot on the plan

Lot 6 is subject to a right of drainage (in favour of Hobart City Council) over the land marked DRAINAGE EASEMENT (VARIABLE WIDTH) passing through that lot on the plan

Lot 6 & 7 are subject to a pipeline & service easement (in favour of TasWater) over the land marked PIPELINE EASEMENT "B" 2.50 WIDE passing through such lot on the plan

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: PENNY SMITH FOLIO REF: 166315/1 SOLICITOR & REFERENCE: GOODMAN CONVEYANCING	PLAN SEALED BY: HOBART CITY COUNCIL DATE: 1-6-2015 PLN-08-00538-01 REF NO. D707-51  Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

**SCHEDULE OF EASEMENTS**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



<p align="center">ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p align="center">PAGE 2 OF 4 PAGES</p>	<p align="center">Registered Number</p> <p align="center">SP 169578</p>
<p>SUBDIVIDER: XPENNY SMITH FOLIO REFERENCE: 166315/1</p>	

The portion of lot 101 marked "CDEG" is together with a right of drainage over the land marked DRAINAGE EASEMENT "DF" 1.52 WIDE on the plan

Lot 101 is subject to a right of drainage (appurtenant to lots 1 & 2 on Diagram 63303) over the land marked DRAINAGE EASEMENT "CD" 1.52 WIDE passing through that lot on the plan

FENCING PROVISION

In respect to the lots on the plan the vendor (Penny Smith) shall not be required to fence

INTERPRETATION

"TasWater" means the Tasmanian Water and Sewerage Corporation Pty Ltd

"Pipeline and Service Easement" means the full right and liberty for TasWater at any time to:

- (1) Enter and remain upon the land marked "Drainage & Pipeline Easement 3.00 Wide, Pipeline Easement "A" 2.50 Wide & Pipeline Easement "B" 2.50 Wide" on the plan ("the Easement Land") with or without employees, contractors, agents and all other persons duly authorised by it and with or without machinery, vehicles, plant and equipment;
- (2) Investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) Install, retain, operate, modify, relocate, maintain, inspect, cleanse and repair the Infrastructure;
- (4) Remove and replace the Infrastructure;
- (5) Run and pass sewage and water through and along the Infrastructure
- (6) Do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - a) without doing unnecessary damage to the Easement Land; and
 - b) leaving the Easement Land in a clean and tidy condition; and

Penny Smith:

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

**SCHEDULE OF EASEMENTS**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



<p align="center">ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p align="center">PAGE 3 OF 4 PAGES</p>	<p align="center">Registered Number</p> <p align="center">SP 169578</p>
<p>SUBDIVIDER: APENNY SMITH FOLIO REFERENCE: 166315/1</p>	

- (7) If the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and all other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any then existing vehicle entry and cross the Lot to the Easement Land; and
- (8) Use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

PROVIDED ALWAYS THAT:

- (1) The registered proprietors of the Lot in the folio of the Register ("the Owner") must not without the written consent of TasWater first had and obtained and only in compliance with any conditions which form the consent:
- Alter, excavate, plough, drill or otherwise penetrate the ground level of the Easement Land;
 - Install, erect or plant any building, structure, fence, pit, well, footing, pipeline, paving, tree, shrub or other object on or in the Easement Land;
 - Remove any thing that supports, protects or covers and Infrastructure on or in the Easement Land;
 - Do anything which will or might damage or contribute to damage to any of the Infrastructure on or in the Easement Land;
 - In any way prevent or interfere with the proper exercise and benefit of the Easement Land by TasWater or its employees, contractors, agents and all other persons duly authorised by it; or
 - Permit or allow any action which the Owner must not do or acquiesce in that action
- (2) TasWater is not required to fence any part of the Easement Land
- (3) The Owner may erect a fence across the Easement Land at the boundaries of the Lot.
- (4) The owner may erect a gate across any part of the Easement Land subject to these conditions:
- The Owner must provide TasWater with a key to any lock which would prevent the opening of the gate; and
 - If the Owner does not provide TasWater with that key or the key provided does not fit the lock, TasWater may cut the lock from the gate.
- (5) If the Owner causes damage to any of the Infrastructure, the Owner is liable for the actual cost to TasWater of the repair of the Infrastructure damaged.
- (6) If the Owner fails to comply with any of the preceding conditions, without forfeiting any right of action, damages or otherwise against the Owner, TasWater may:
- Reinstate the ground level of the Easement Land; or

Penny Smith:

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

**SCHEDULE OF EASEMENTS**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 4 PAGES	Registered Number SP 169578
SUBDIVIDER: SPENNY PENNY SMITH FOLIO REFERENCE: 166315/1	

- b) Remove from the Easement Land any building, structure, pit, well, footing, pipeline, paving, tree, shrub or other object; or
- c) Replace anything that supported, protected or covered the Infrastructure.

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- a) Sewer pipes and water pipes and associated valves;
- b) Telemetry and monitoring devices;
- c) Inspection and access pits;
- d) Markers or signs indicating the location of the Easement Land, the Infrastructure or any warnings or restrictions with respect to the Easement Land or Infrastructure;
- e) Anything responsibly required the support, protect or cover any of the Infrastructure;
- f) Any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water through the Easement Land or monitoring or managing that activity; and
- g) Where the context permits, any part of the Infrastructure

Signed by the said ~~SPENNY~~ PENNY SMITH in the presence of-)

Witness: )

Full name:

Address:

Kathryn Mavis Goodman
 Licenced Conveyancer
 Level 9, 39 Murray Street,
 Hobart, Tas.



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PROPOSAL:

EXTENSION & RENOVATION

PROJECT ADDRESS:

7 RIBBON GUM COURT, MOUNT NELSON TAS 7030

SCHEDULE OF PAGES

A000	COVER PAGE
A011	SITE
A021	GROUND FLOOR - EXISTING
A022	ROOF - EXISTING
A031	GROUND FLOOR - DEMO
A032	ROOF - DEMO
A101	GROUND FLOOR - OVERVIEW
A111	FIRST FLOOR - OVERVIEW
A121	ROOF - EXISTING MODS
A122	ROOF - OVERVIEW
A131	SHADOW-DIAGRAMS
A301	NORTH & SOUTH ELEVATION
A302	EAST & WEST ELEVATIONS
A401	WINDOW SCHEDULE
A402	DOOR SCHEDULE

DOCUMENTS BY OTHERS: *TO BE READ IN CONJUNCTION WITH BUILDING PLANS*

- FORM 35 - CERTIFICATE OF RESPONSIBLE DESIGNER
FORMATION DESIGN & DRAFTING - JANE HADLEY

GENERAL NOTES:

- BUILDERS, TRADESMEN, SUB-CONTRACTORS AND PREFABRICATORS TO VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCING ANY BUILDING WORKS. USE WRITTEN DIMENSION ONLY. DO NOT SCALE FROM DRAWINGS.
- SURVEYOR TO VERIFY ALL DIMENSIONS, SET-OUTS, LEVELS, LOCATION OF SERVICES, EASEMENTS AND ANY OTHER INFORMATION RELEVANT TO THE PROPOSED BUILDING WORKS.
- ENGINEER TO PROVIDE ALL STRUCTURAL CERTIFICATES AS REQUIRED BY LOCAL COUNCIL AND RELEVANT AUTHORITIES. ENGINEERING DETAILS TO OVERRIDE ARCHITECTURAL DRAWING AND SPECIFICATION.
- ALL CONSTRUCTION WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE PLANNING AND BUILDING PERMITS, MATERIALS AND WORKMANSHIP TO CONFORM WITH THE STATE BUILDING REGULATIONS, LOCAL COUNCIL BY-LAWS AND RELEVANT CURRENT EDITIONS OF BCA CODES, AUSTRALIAN STANDARDS, PLANS, SPECIFICATIONS AND MANUFACTURER'S WRITTEN INSTRUCTIONS.
- BUILDER AND SURVEYOR TO REPORT TO THE DESIGNER ALL RELEVANT DISCREPANCIES, VARIATIONS AND CHANGES PRIOR TO ANY WORKS COMMENCING. 24 HOURS MINIMUM REQUIRED FOR DRAWINGS TO BE AMENDED.
- CONFIRMATION OF ANY CHANGES BY THE BUILDER, CLIENT, OR BUILDING SURVEYOR MUST BE IN WRITING AND CONFIRMED BY THE DESIGNER.
- ALL WORKS ARE TO FOLLOW THE 'DIAL-BEFORE-YOU-DIG' PROCESS IN ORDER TO OBTAIN INFORMATION ON EXISTING INFRASTRUCTURE AND UNDERGROUND SERVICES.

SITE INFORMATION

ADDRESS: 7 RIBBON GUM CRT MT NELSON
 TITLE: 169578/9

LAND AREA: 741.74m²±
 HOUSE SIZE EXISTING: 114.37m²±
 NEW EXTENSIONS: 56.85m²

SITE COVERAGE
 EXISTING: 15.41%
 NEW: 23.08%

ENERGY RATING: TBC

COUNCIL: HOBBART CITY COUNCIL
 ZONING: 12.0 LOW DENSITY RESIDENTIAL

DEVELOPMENT CLASS: 1

WIND SPEED: N3

CLIMATE ZONE: 7

SOIL CLASSIFICATION: M

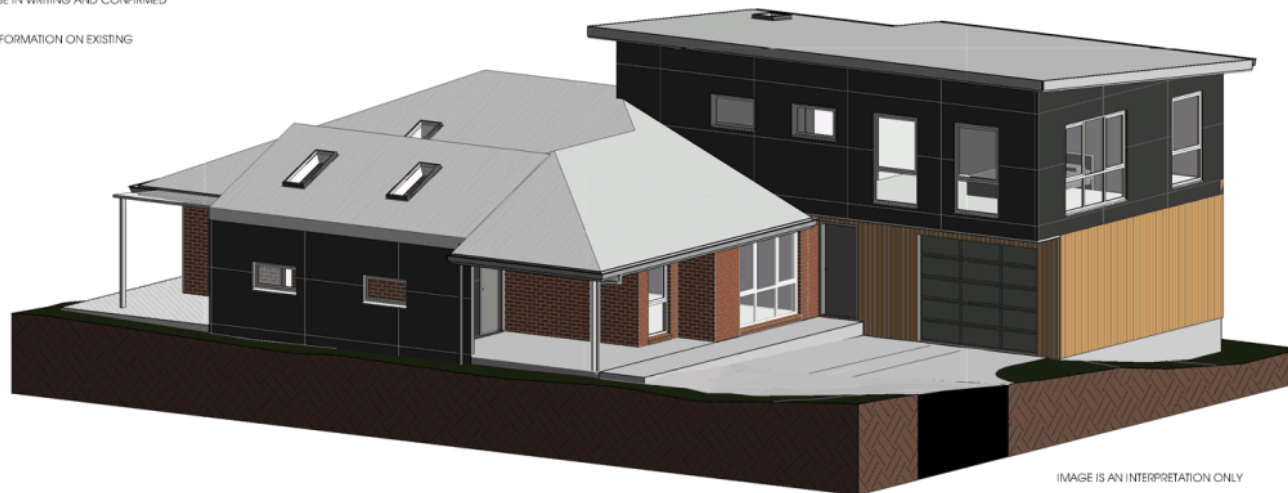


IMAGE IS AN INTERPRETATION ONLY



FORMATION
 DESIGN & DRAFTING

JANE HADLEY
 BUILDING DESIGNER (DOMESTIC)
 LICENSE NUMBER 924704307

LEVEL 1, 11A MURRAY STREET
 M: 0492 597 960
 E: jane@formationdrafting.com.au



DO NOT SCALE DRAWINGS.
 USE WRITTEN DIMENSIONS ONLY.
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 AND VERIFY ALL DIMENSION AND LEVELS
 PRIOR TO STARTING ANY WORK ON SITE.
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PROPOSAL:
 EXTENSION & RENOVATION

Client:

DANIELLA POLITA

PROJECT ADDRESS:
 7 RIBBON GUM COURT MOUNT
 NELSON TAS 7030

REVISION #	DESCRIPTION	DATE
A	DEVELOPMENT APPLICATION	16/11/20

Phase: DEVELOPMENT APPLICATION

Sheet: COVER PAGE

Drawn: J.ROBERTS

Scale: 1 : 1

Size: A3 **Date:** 10/11/20

0 500 1000 2500

SCALE: 1:100

Project:
 20001

Sheet: A000
Rev:

SITE INFORMATION

ADDRESS: 7 RIBBON GUM CRT MT NELSON
TITLE: 169579/9

LAND AREA: 741.74m²±
HOUSE SIZE EXISTING: 114.37m²±
NEW EXTENSIONS: 56.85m²

SITE COVERAGE
EXISTING: 15.41%
NEW: 23.08%

ENERGY RATING: TBC

COUNCIL: HOBBART CITY COUNCIL
ZONING: 12.0 LOW DENSITY RESIDENTIAL

DEVELOPMENT CLASS: 1

WIND SPEED: N3

CLIMATE ZONE: 7

SOIL CLASSIFICATION: M



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PROPOSAL:
EXTENSION & RENOVATION

Client:
DANIELLA POLITA

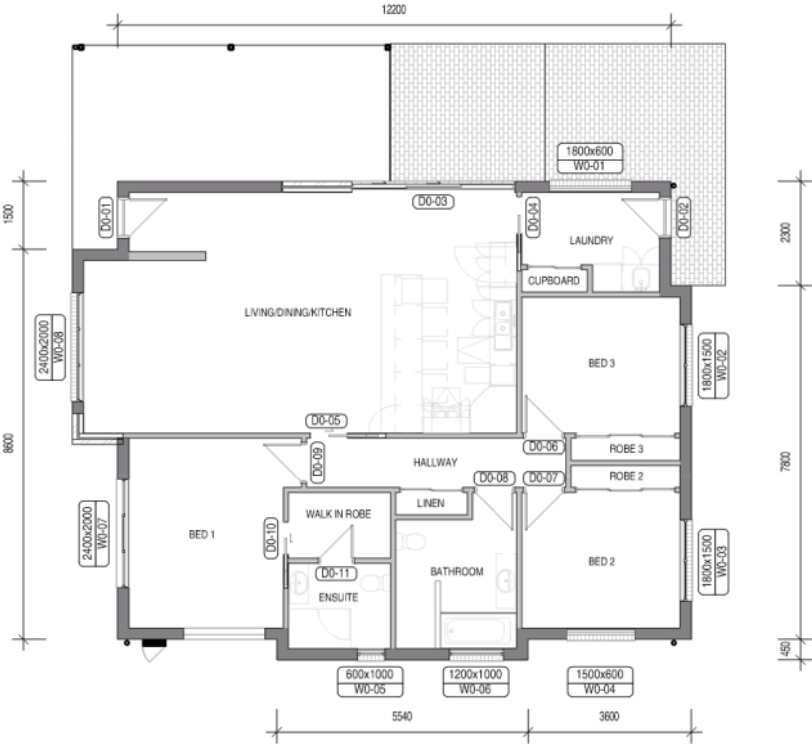
PROJECT ADDRESS:
7 RIBBON GUM COURT MOUNT
NELSON TAS 7030

REVISION #	DESCRIPTION	DATE
A	DEVELOPMENT APPLICATION	16/11/20

Phase: DEVELOPMENT APPLICATION
Sheet: SITE
Drawn: J.ROBERTS
Scale: As Indicated **Size:** A3 **Date:** 10/11/20

0 500 1000 2500
SCALE: 1:100

Project: 20001
Sheet: A011
Rev:



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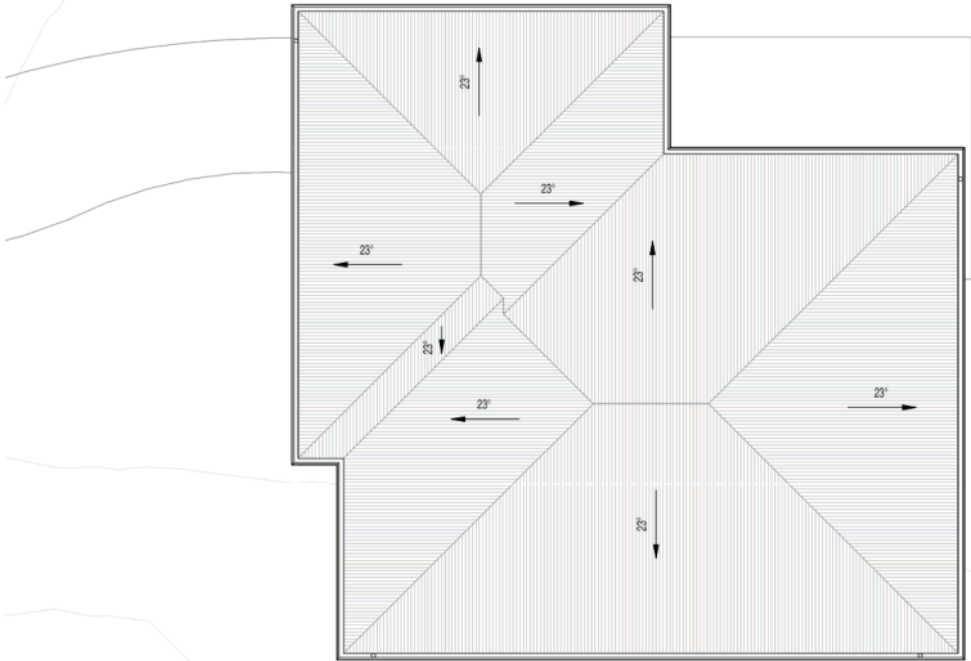
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PROPOSAL:
EXTENSION & RENOVATION

Client:
DANIELLA POLITA
PROJECT ADDRESS:
7 RIBBON GUM COURT MOUNT
NELSON TAS 7030

REVISION #	DESCRIPTION	DATE
A	DEVELOPMENT APPLICATION	16/11/20

Phase: DEVELOPMENT APPLICATION
Sheet: GROUND FLOOR - EXISTING
Drawn: J.ROBERTS
Scale: 1 : 100
Size: A3 **Date:** 10/11/20
Project: 20001
Sheet: A021
Rev:



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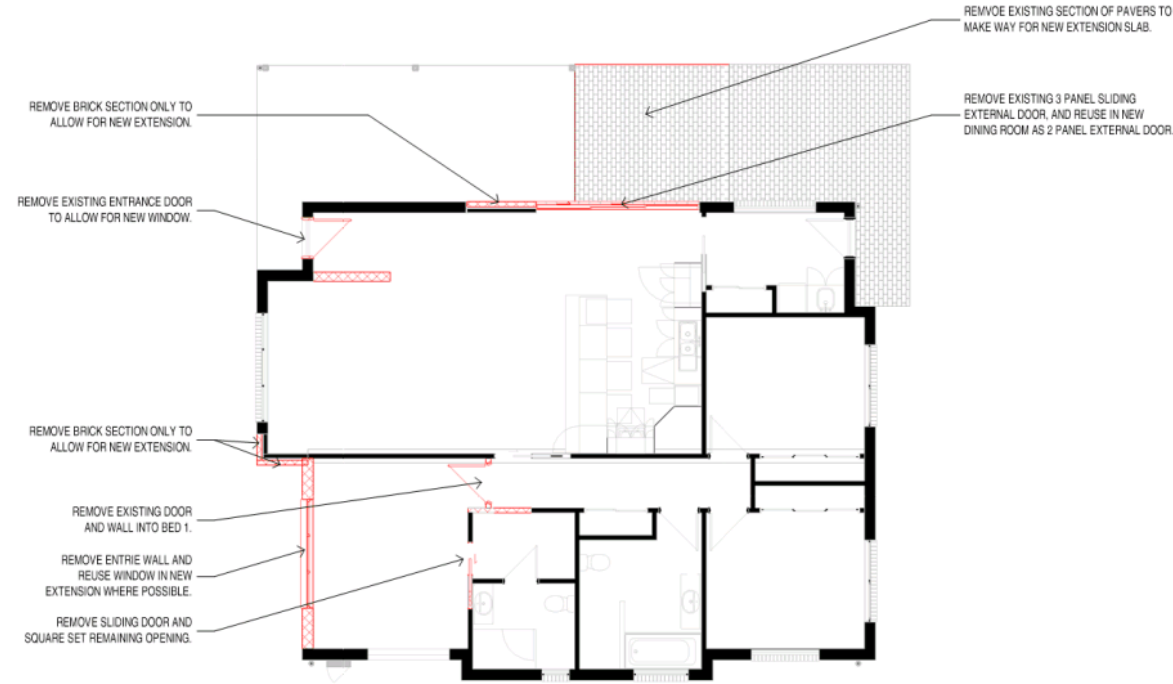


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PROPOSAL:
EXTENSION & RENOVATION
Client:
DANIELLA POLITA
PROJECT ADDRESS:
7 RIBBON GUM COURT MOUNT
NELSON TAS 7030

REVISION #	DESCRIPTION	DATE
A	DEVELOPMENT APPLICATION	16/11/20

Phase: DEVELOPMENT APPLICATION
Sheet: ROOF - EXISTING
Drawn: J.ROBERTS
Scale: 1 : 100
Size: A3 **Date:** 10/11/20
Project: 20001
Sheet: A022 **Rev:**



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PROPOSAL:
EXTENSION & RENOVATION

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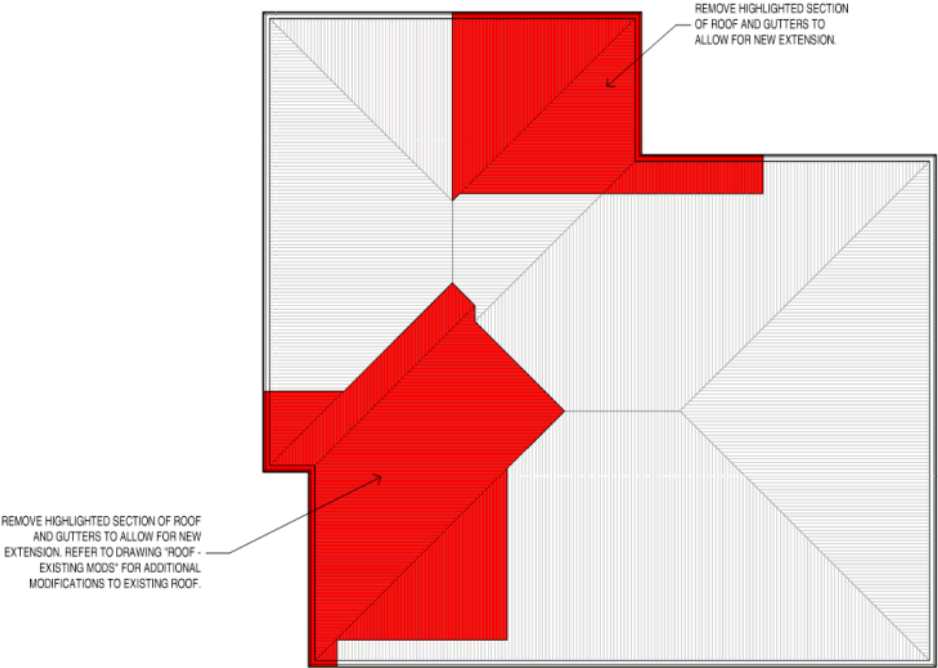
PROJECT ADDRESS:
7 RIBBON GUM COURT MOUNT
NELSON TAS 7030

REVISION #	DESCRIPTION	DATE
A	DEVELOPMENT APPLICATION	16/11/20

Phase: DEVELOPMENT APPLICATION
Sheet: GROUND FLOOR - DEMO
Drawn: J.ROBERTS
Scale: 1 : 100
Size: A3 **Date:** 10/11/20

0 500 1000 2500
SCALE: 1:100

Project: 20001
Sheet: A031
Rev:



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PROPOSAL:
EXTENSION & RENOVATION

Client:
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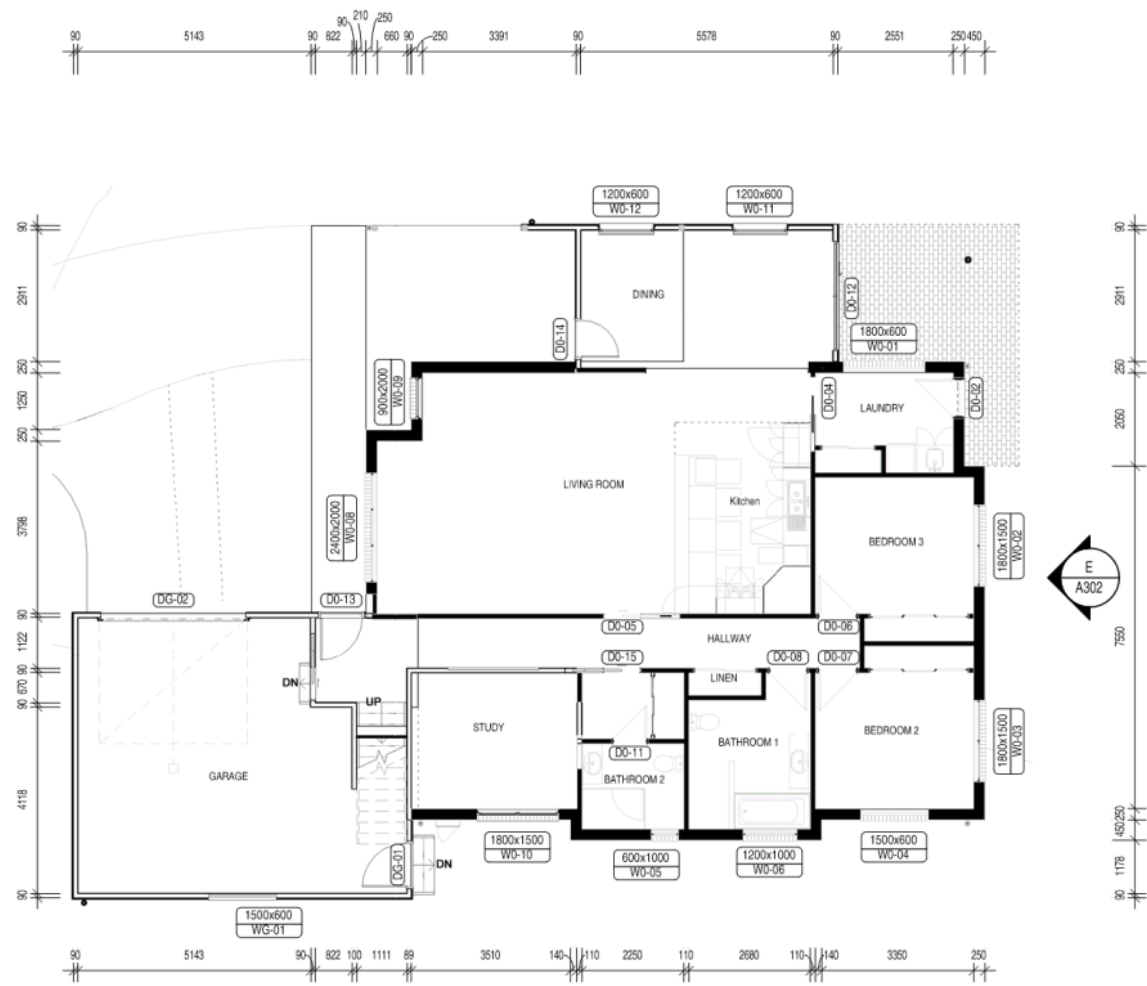
PROJECT ADDRESS:
7 RIBBON GUM COURT MOUNT
NELSON TAS 7030

REVISION #	DESCRIPTION	DATE
A	DEVELOPMENT APPLICATION	16/11/20

Phase: DEVELOPMENT APPLICATION
Sheet: ROOF - DEMO
Drawn: J.ROBERTS
Scale: 1 : 100
Size: A3 **Date:** 10/11/20

0 500 1000 2500
SCALE: 1:100

Project: 20001
Sheet: A032
Rev:



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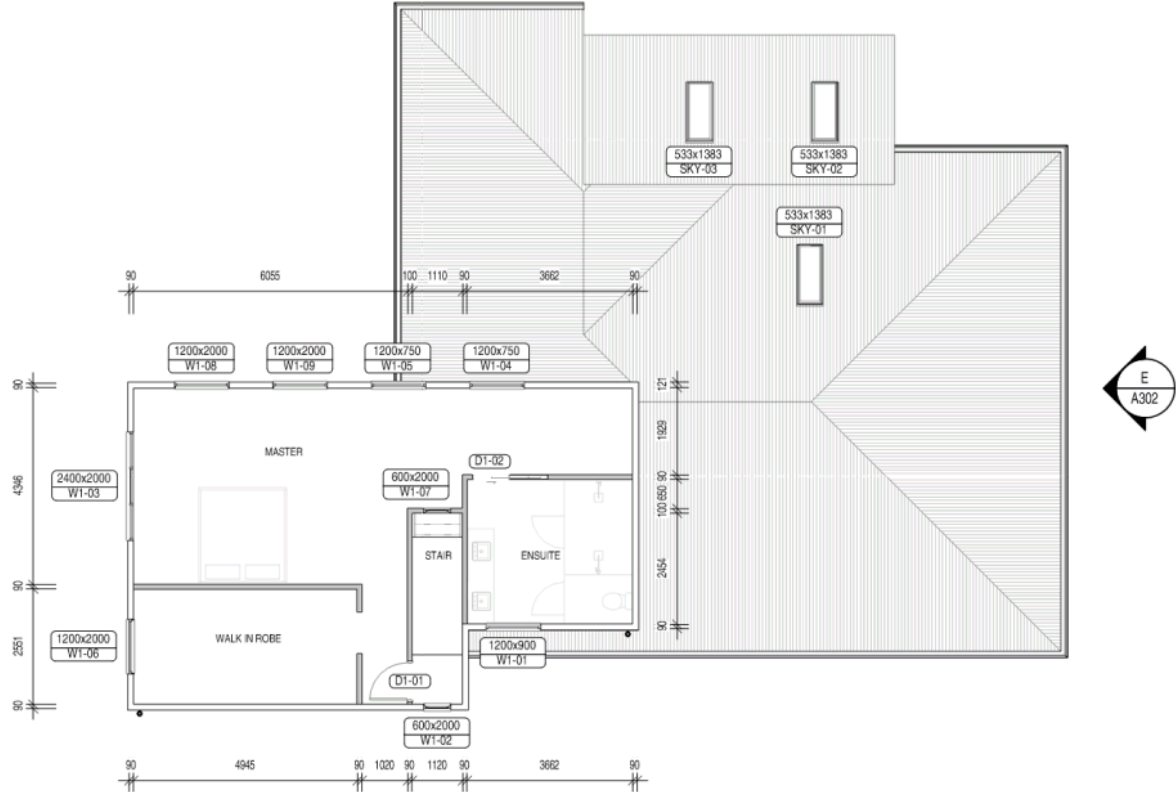


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PROPOSAL:
EXTENSION & RENOVATION
Client:
DANIELLA POLITA
PROJECT ADDRESS:
7 RIBBON GUM COURT MOUNT
NELSON TAS 7030

REVISION #	DESCRIPTION	DATE
A	DEVELOPMENT APPLICATION	16/11/20

Phase: DEVELOPMENT APPLICATION
Sheet: GROUND FLOOR - OVERVIEW
Drawn: J.ROBERTS
Scale: 1 : 100
Size: A3 **Date:** 10/11/20
Project: 20001
Sheet: A101
Rev:



FORMATION
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PROPOSAL:
EXTENSION & RENOVATION
Client:
DANIELLA POLITA
PROJECT ADDRESS:
7 RIBBON GUM COURT MOUNT
NELSON TAS 7030

REVISION #	DESCRIPTION	DATE
A	DEVELOPMENT APPLICATION	16/11/20

Phase: DEVELOPMENT APPLICATION
Sheet: FIRST FLOOR - OVERVIEW
Drawn: J.ROBERTS
Scale: 1 : 100
Size: A3 **Date:** 10/11/20
Project: 20001
Sheet: A111
Rev:



FORMATION
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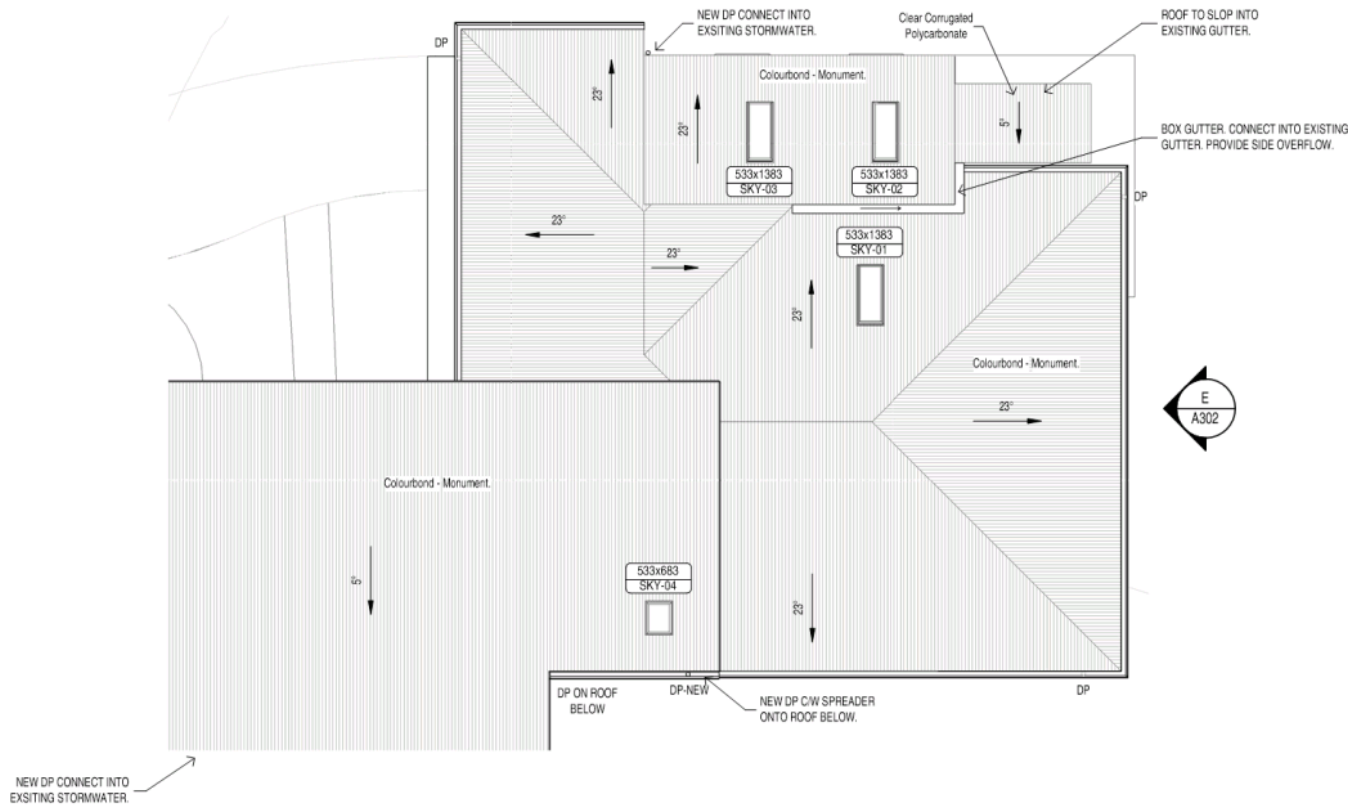


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PROPOSAL:
EXTENSION & RENOVATION
Client:
DANIELLA POLITA
PROJECT ADDRESS:
7 RIBBON GUM COURT MOUNT
NELSON TAS 7030

REVISION #	DESCRIPTION	DATE
A	DEVELOPMENT APPLICATION	16/11/20

Phase: DEVELOPMENT APPLICATION
Sheet: ROOF - EXISTING MODS
Drawn: J.ROBERTS
Scale: 1 : 100
Size: A3 **Date:** 10/11/20
Project: 20001
Sheet: **Rev:** A121



FORMATION
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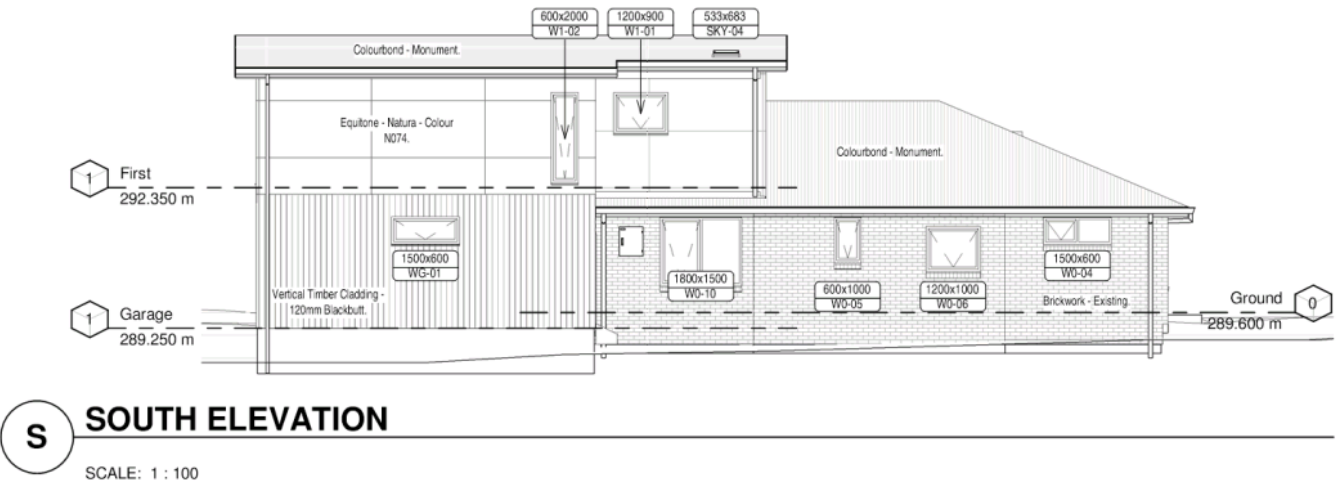
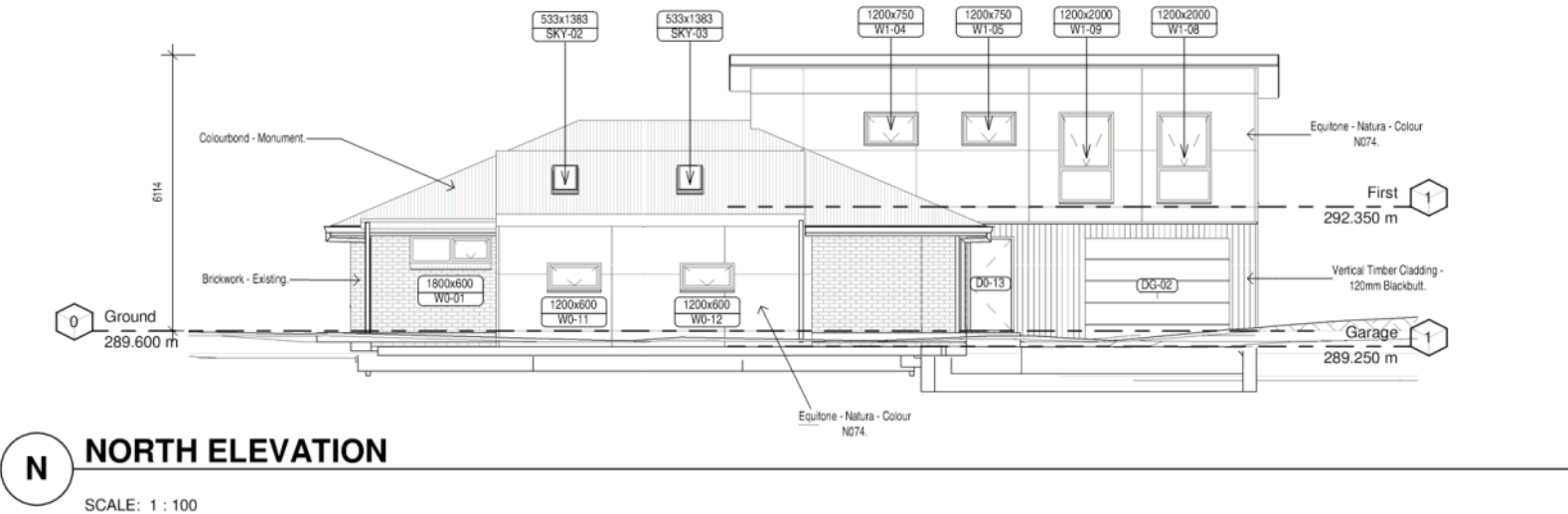


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PROPOSAL:
EXTENSION & RENOVATION
Client:
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PROJECT ADDRESS:
7 RIBBON GUM COURT MOUNT
NELSON TAS 7030

REVISION #	DESCRIPTION	DATE
A	DEVELOPMENT APPLICATION	16/11/20

Phase: DEVELOPMENT APPLICATION
Sheet: ROOF - OVERVIEW
Drawn: J.ROBERTS
Scale: 1 : 100
Size: A3 **Date:** 10/11/20
Project: 20001
Sheet: A122
Rev:



FORMATION
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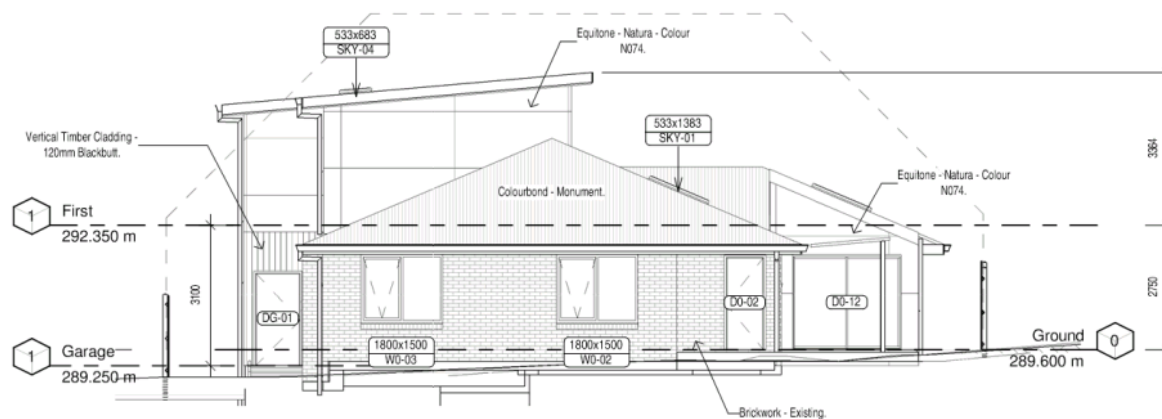
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PROPOSAL:
EXTENSION & RENOVATION

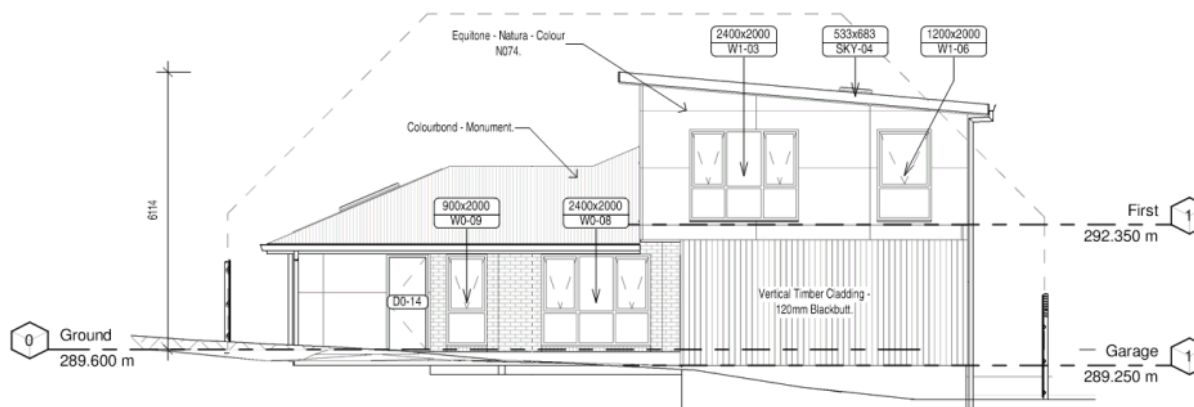
Client:
DANIELLA POLITA
PROJECT ADDRESS:
7 RIBBON GUM COURT MOUNT
NELSON TAS 7030

REVISION #	DESCRIPTION	DATE
A	DEVELOPMENT APPLICATION	16/11/20

Phase: DEVELOPMENT APPLICATION
Sheet: NORTH & SOUTH ELEVATION
Drawn: J.ROBERTS
Scale: 1 : 100
Size: A3 **Date:** 10/11/20
Project: 20001
Sheet: A301
Rev:



REFER: A101
SCALE: 1 : 100



SCALE: 1 : 100



FORMATION
DESIGN & DRAFTING

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PROPOSAL:
EXTENSION & RENOVATION

Client:

DANIELLA POLITA

PROJECT ADDRESS:
7 RIBBON GUM COURT MOUNT
NELSON TAS 7030

REVISION #	DESCRIPTION	DATE
A	DEVELOPMENT APPLICATION	16/11/20

Phase: DEVELOPMENT APPLICATION

Sheet: EAST & WEST ELEVATIONS

Drawn: J.ROBERTS

Size: A3 Date: 10/11/20

Scale: 1 : 100
0 500 1000 2500

SCALE: 1:100

Project:
20001

Sheet: Rev:
A302

WINDOW SCHEDULE

Level	IDENTITY		Manufacturer	Model	SIZE		Phase Created	Phase Demolished
	Mark	Description			H	W		
Roof Existing	SKY-01		VELUX	FS	1420	568	New Construction	None
Roof Dining	SKY-02		VELUX	FS	1420	568	New Construction	None
Roof Dining	SKY-03		VELUX	FS	1420	568	New Construction	None
Roof Extension	SKY-04		VELUX	FS	720	568	New Construction	None
Ground	W0-01	Window - Awning suite, 600 x 1800mm (HxW)			600	1800	Existing	None
Ground	W0-02	Window - Awning suite, 1500 x 1800mm (HxW)			1500	1800	Existing	None
Ground	W0-03	Window - Awning suite, 1500 x 1800mm (HxW)			1500	1800	Existing	None
Ground	W0-04	Window - Awning suite, 600 x 1500mm (HxW)			600	1500	Existing	None
Ground	W0-05	Window - Awning, 1000 x 600mm (HxW)			1000	600	Existing	None
Ground	W0-06	Window - Awning, 1000 x 1200mm (HxW)			1000	1200	Existing	None
Ground	W0-07	Window - Awning suite, 2000 x 2400mm (HxW)			2000	2400	Existing	New Construction
Ground	W0-08	Window - Awning suite, 2000 x 2400mm (HxW)			2000	2400	Existing	None
Ground	W0-09	Window - Awning suite, 2000 x 900mm (HxW)			2000	900	New Construction	None
Ground	W0-10	Window - Awning suite, 1500 x 1800mm (HxW)			1500	1800	New Construction	None
Ground	W0-11	Window - Awning, 600 x 1200mm (HxW)			600	1200	New Construction	None
Ground	W0-12	Window - Awning, 600 x 1200mm (HxW)			600	1200	New Construction	None
Ground	W0-13	Window - Awning, 400 x 1200mm (HxW)			400	1200	New Construction	None
First	W1-01	Window - Awning, 900 x 1200mm (HxW)			900	1200	New Construction	None
First	W1-02	Window - Awning, 2000 x 600mm (HxW)			2000	600	New Construction	None
First	W1-03	Window - Awning suite, 2000 x 2400mm (HxW)			2000	2400	New Construction	None
First	W1-04	Window - Awning, 750 x 1200mm (HxW)			750	1200	New Construction	None
First	W1-05	Window - Awning, 750 x 1200mm (HxW)			750	1200	New Construction	None
First	W1-06	Window - Awning suite, 2000 x 1200mm (HxW)			2000	1200	New Construction	None
First	W1-07	Window - Awning, 2000 x 600mm (HxW)			2000	600	New Construction	None
First	W1-08	Window - Awning suite, 2000 x 1200mm (HxW)			2000	1200	New Construction	None
First	W1-09	Window - Awning suite, 2000 x 1200mm (HxW)			2000	1200	New Construction	None
Garage	WG-01	Window - Awning, 600 x 1500mm (HxW)			600	1500	New Construction	None



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 LICENSE NUMBER 924704307
 LEVEL 1, 11A MURRAY STREET
 M: 0492 597 960
 E: jane@formationdrafting.com.au



DO NOT SCALE DRAWINGS.
 USE WRITTEN DIMENSIONS ONLY.
 BUILDERS & CONTRACTORS TO CHECK
 AND VERIFY ALL DIMENSION AND LEVELS
 PRIOR TO STARTING ANY WORK ON SITE.
 ANY DISCREPANCIES NEED TO BE REPORTED
 TO FORMATION DESIGN & DRAFTING.

PROPOSAL:
 EXTENSION & RENOVATION

Client:

DANIELLA POLITA
PROJECT ADDRESS:
 7 RIBBON GUM COURT MOUNT
 NELSON TAS 7030

REVISION #	DESCRIPTION	DATE
A	DEVELOPMENT APPLICATION	16/11/20

Phase: DEVELOPMENT APPLICATION
Sheet: WINDOW SCHEDULE
Drawn: J.ROBERTS
Scale: 1:100
Size: A3 **Date:** 10/11/20
Project: 20001
Sheet: A401
Rev:

DOOR SCHEDULE

Level	Location Mark	Door Type Description	Manufacturer	Model	Leaf dimension s		Phase Created	Phase Demolished
					W	H		
Ground	D0-01	Door - Single Leaf, Swing			820	2040	Existing	New Construction
Ground	D0-02	Door - Single Leaf, Swing			820	2040	Existing	None
Ground	D0-03	External Sliding Door					Existing	New Construction
Ground	D0-04	Cavity Slider - 820					Existing	None
Ground	D0-05	Cavity Slider - 820					Existing	None
Ground	D0-06	Door - Single Leaf, Swing			820	2040	Existing	None
Ground	D0-07	Door - Single Leaf, Swing			820	2040	Existing	None
Ground	D0-08	Door - Single Leaf, Swing			820	2040	Existing	None
Ground	D0-09	Door - Single Leaf, Swing			820	2040	Existing	New Construction
Ground	D0-10	Cavity Slider - 720					Existing	New Construction
Ground	D0-11	Door - Single Leaf, Swing			720	2040	Existing	None
Ground	D0-12	Existing External Sliding Door Re-Used minus 1 Panel					New Construction	None
Ground	D0-13	Door - Single Leaf, Swing			920	2040	New Construction	None
Ground	D0-14	Door - Single Leaf, Swing			820	2040	New Construction	None
Ground	D0-15	Cavity Slider - 820					New Construction	None
Ground	D0-16	Cavity Slider - 720					New Construction	None
First	D1-01	Door - Single Leaf, Swing			820	2040	New Construction	None
First	D1-02	Cavity Slider - 820					New Construction	None
First	D1-03	Opening					New Construction	None
Garage	DG-01	Door - Single Leaf, Swing			970	2040	New Construction	None
Garage	DG-02	Sectional Overhead Door	B&D Doors	Panelift® Icon™ - Nullarbor™			New Construction	None



FORMATION
 DESIGN & DRAFTING
JANE HADLEY
 BUILDING DESIGNER (DOMESTIC)
 LICENSE NUMBER 924704307
 LEVEL 1, 11A MURRAY
 STREET
 M: 0492 597 960
 E: jane@formationdrafting.com.au



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PROPOSAL:
 EXTENSION & RENOVATION

Client:
 DANIELLA POLITA
PROJECT ADDRESS:
 7 RIBBON GUM COURT MOUNT
 NELSON TAS 7030

REVISION #	DESCRIPTION	DATE
A	DEVELOPMENT APPLICATION	16/11/20

Phase: DEVELOPMENT APPLICATION
Sheet: DOOR SCHEDULE
Drawn: J.ROBERTS
Scale: 0 500 1000 2500
 SCALE: 1:100
Project: 20001
Size: A3 **Date:** 10/11/20
Sheet: A402 **Rev:**

Daniella Anne Polita
7 Ribbon Gum Court
Mount Nelson TAS 7007

3rd of December 2020

Cameron Sherriff

City of Hobart
GPO Box 503
Hobart TAS 7001

Dear Cameron,

7 Ribbon Gum Court, Mount Nelson Application PLN-20-830

In response to your letter dated the 2nd of December 2020.

PLN Fi6: To enable the Council to assess the application against the development standards for buildings & works in the Low Density Residential Zone of the Hobart Interim Planning Scheme 2015.

Item 2.0

Solar Access diagrams showing the sunlight to habitable rooms (excluding bedrooms) of any dwelling on adjoining lots at 9.00 am , 12:00 pm and 3:00 pm on March and June 21st , with the proposed development and with the existing development on the site.

Response:

As per the Shadow Diagrams provided for the 21st of June & 21st of March. We confirm that these drawings correctly locate of the adjoining dwellings locations of the Habitable spaces (excluding bedrooms).

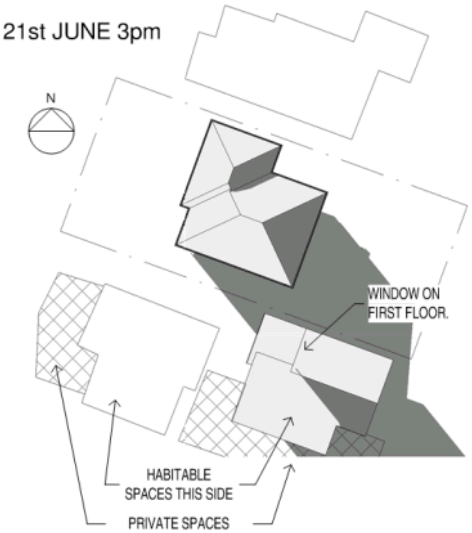
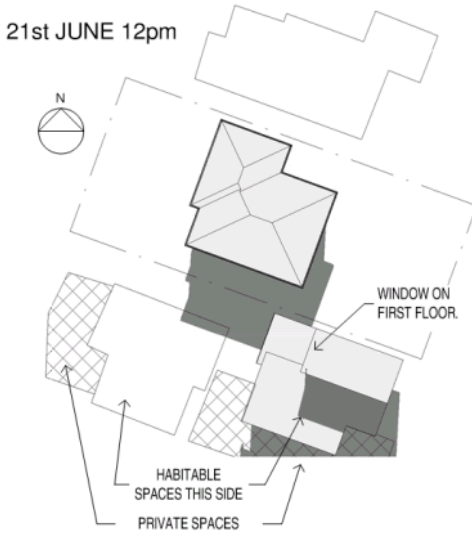
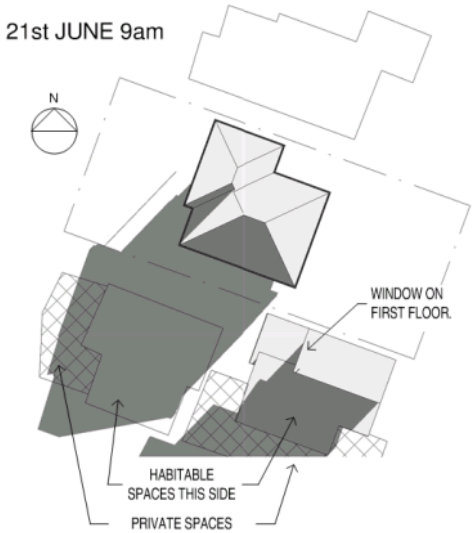
We appreciate your time to discuss the matter with Rick on the 3rd of December.

Yours Faithfully,

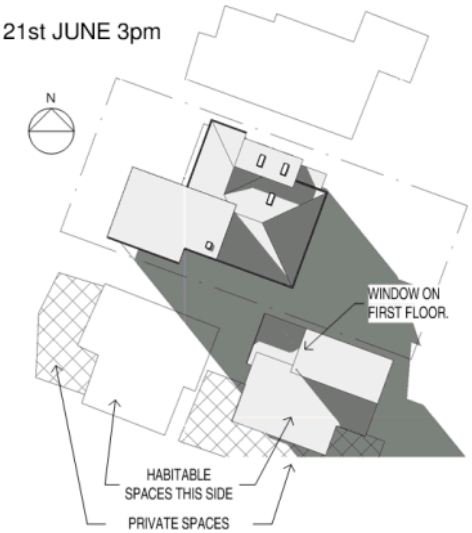
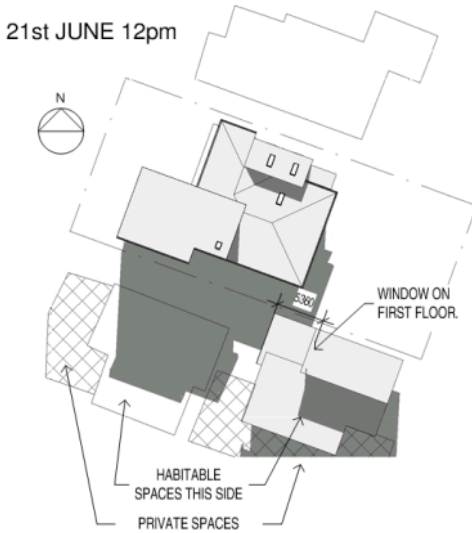
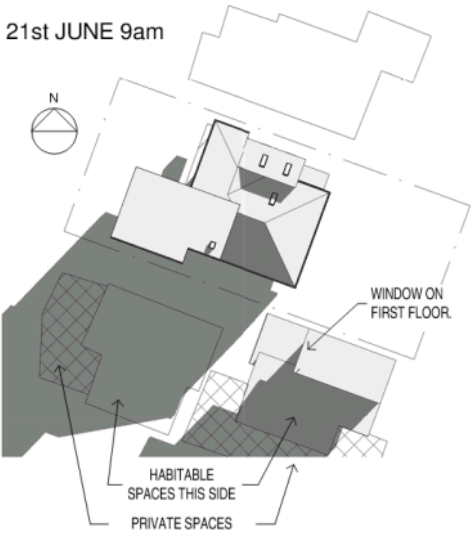


Daniella Polita

EXISTING



PROPOSED



FORMATION
DESIGN & DRAFTING
JANE HADLEY
BUILDING DESIGNER (DOMESTIC)
LICENSE NUMBER 924704307
LEVEL 1, 11A MURRAY STREET
M: 0492 597 960
E: jane@formationdrafting.com.au

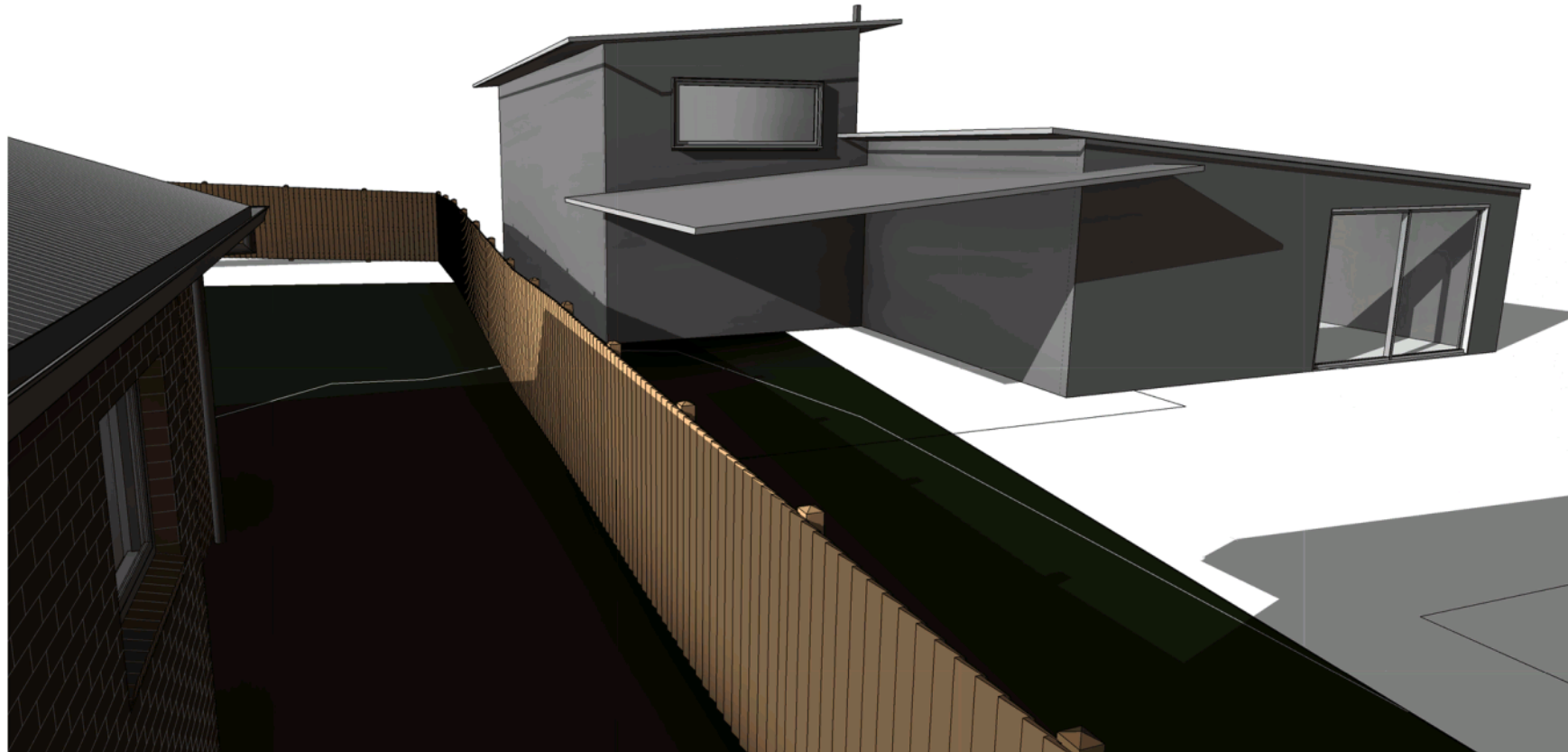


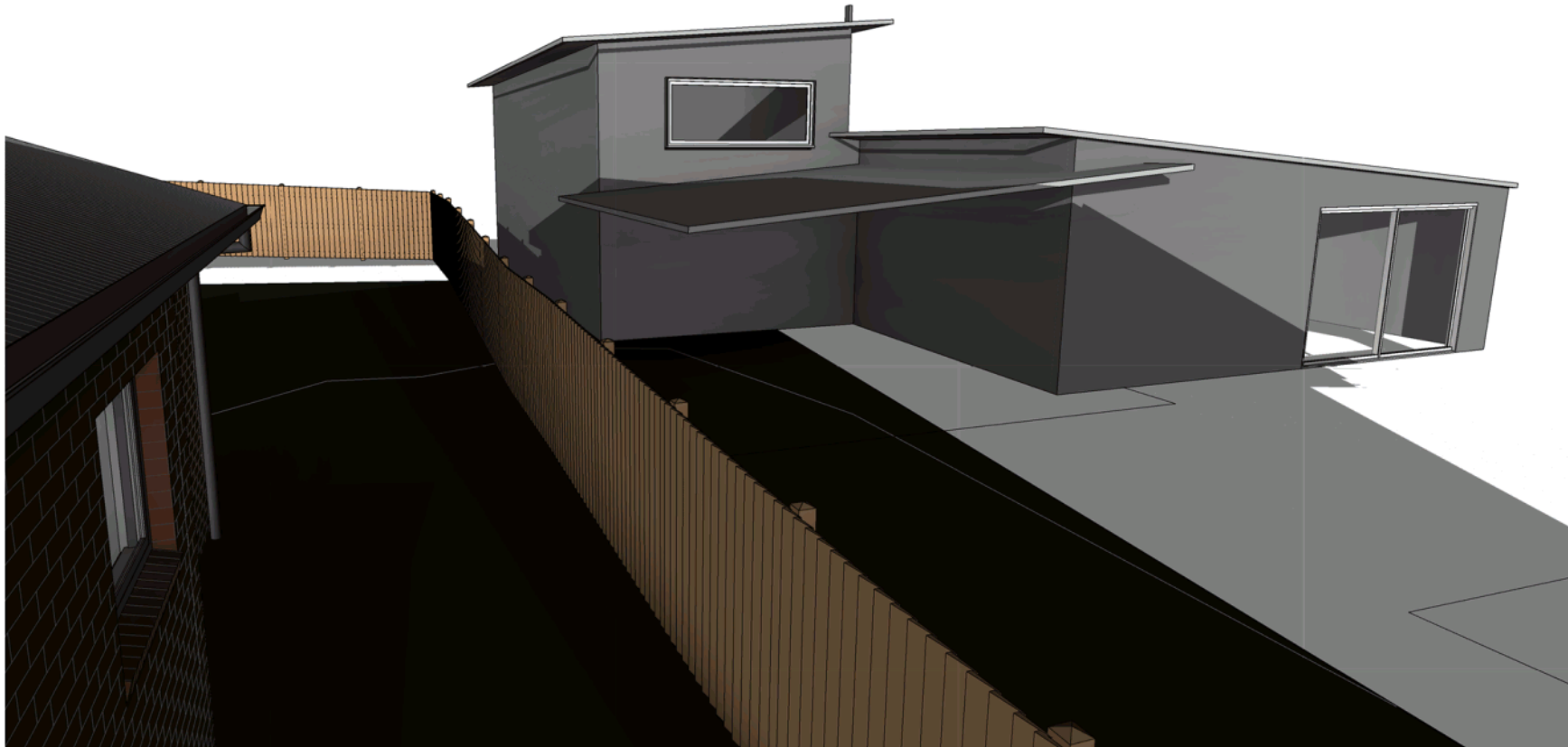
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PROPOSAL:
EXTENSION & RENOVATION
Client:
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7 RIBBON GUM COURT MOUNT
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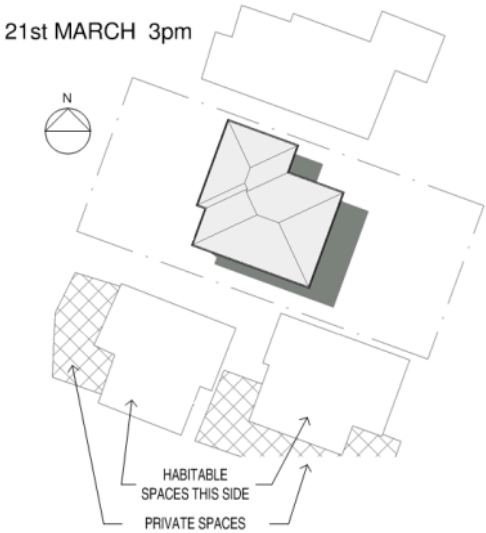
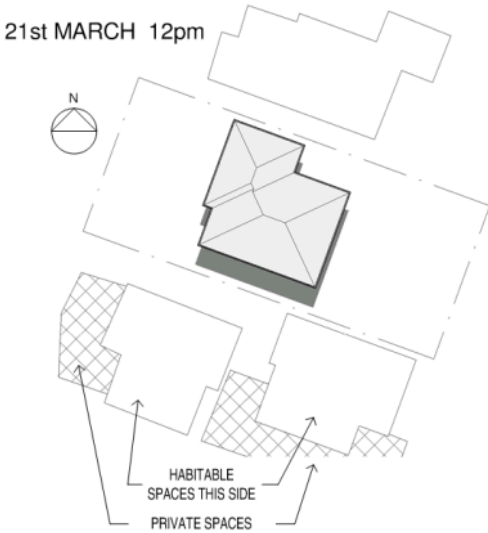
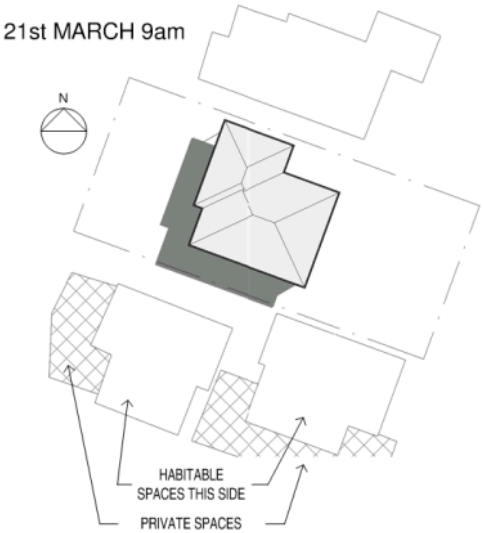
REVISION #	DESCRIPTION	DATE
A	DEVELOPMENT APPLICATION	16/11/20
B	ADDITIONAL DA INFORMATION	14/12/20

Phase: DEVELOPMENT APPLICATION
Sheet: SHADOW-DIAGRAMS-JUNE
Drawn: J.ROBERTS
Scale: 1 : 500
0 500 1000 2500
SCALE: 1:100
Project: 20001
Size: A3
Date: 14/12/20
Sheet: A131
Rev: B

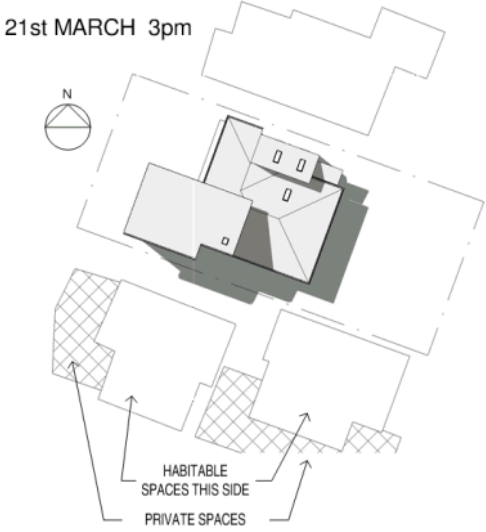
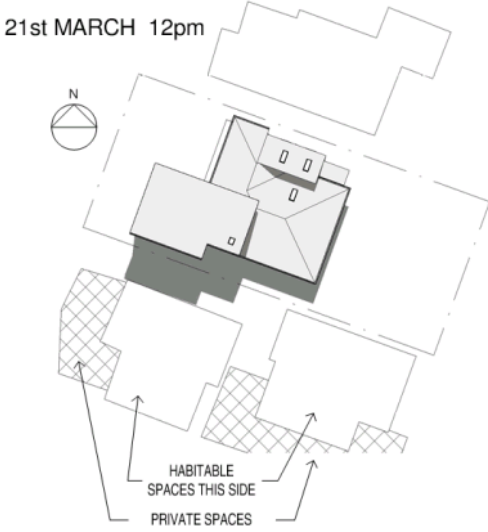
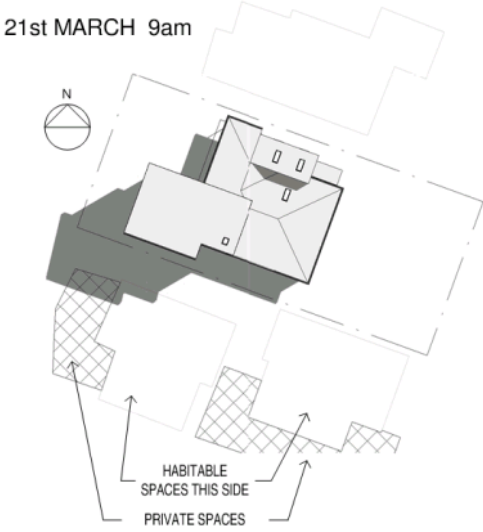




EXISTING



PROPOSED



FORMATION
DESIGN & DRAFTING
JANE HADLEY
BUILDING DESIGNER (DOMESTIC)
LICENSE NUMBER 924704307
LEVEL 1, 11A MURRAY STREET
M: 0492 597 960
E: jane@formationdrafting.com.au



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PROPOSAL:
EXTENSION & RENOVATION

Client:
DANIELLA POLITA
PROJECT ADDRESS:
7 RIBBON GUM COURT MOUNT
NELSON TAS 7030

REVISION #	DESCRIPTION	DATE
A	ADDITIONAL DA INFORMATION	03/12/20

Phase: DEVELOPMENT APPLICATION
Sheet: SHADOW-DIAGRAMS-MARCH
Drawn: Author
Scale: 1 : 500
0 500 1000 2500
SCALE: 1:100
Project: 20001
Size: A3 **Date:** 03/12/20
Sheet: A132 **Rev:**



Enquiries to: Kirsten Turner
☎: 6238 2454
✉: turnerk@hobartcity.com.au
Our Ref: 56263877
PV000463
KT:TC
(partv agreement partvowner 9048374)

4 December 2014

JOHN SMITH &
PENNY SMITH
502 NELSON ROAD
MOUNT NELSON TAS 7007

Dear Sir

**PART 5 AGREEMENT
502 NELSON ROAD MOUNT NELSON**

Please find attached a copy of the executed Part 5 Agreement for your records.

Thank you for your co-operation in this matter.

Yours sincerely

(Tracey Cordwell)
**ADMINISTRATIVE OFFICER
DEVELOPMENT AND ENVIRONMENTAL SERVICES DIVISION**

Enclosure: *Copy of Agreement*

Deed - Part 5 Agreement**Land Use Planning and Approvals Act 1993****Date:** 3 DECEMBER, 2014**Parties:**

1. **Hobart City Council**, a body corporate incorporated under the provisions of the *Local Government Act* 1993, of 16 Elizabeth Street HOBART in Tasmania (the **Planning Authority**).
2. **John Smith & Penny Smith** of 502 Nelson Road MOUNT NELSON Tasmania (the **Owner**)

Recitals:

- A. The Owner is the registered proprietor of an estate in fee simple of the Land.
- B. The Hobart City Council is the Planning Authority under the Act and for the purposes of the Planning Scheme.
- C. The Owner has submitted the Planning Application to the Planning Authority and the Planning Authority has issued the Planning Permit.
- D. Conditions 2 and 5 of the Planning Permit require:
 - (a) the Owner to covenant with the Planning Authority in relation to the Land as specified more fully in condition 3 of this deed; and
 - (b) this deed be entered into by the parties.
- E. The Owner acknowledges that:
 - (a) the Land is subject to the Planning Scheme;
 - (b) this deed is being entered into pursuant to Part 5 of the Act and for the purpose of satisfying the condition stated in recital D;
 - (c) the Planning Authority will register this deed pursuant to the provisions of the *Land Titles Act* 1980 and that the effect of registration will be that the burden and benefit of any covenant contained in this deed will run with the Land as if it were a covenant to which section 102 (2) of the *Land Titles Act* 1980 applies; and
 - (d) this deed must be registered on the title to the Land prior to the Planning Authority sealing the final Plan of Survey for the Development.

SIMMONS WOLFHAGEN

Operative Provisions:**1. Interpretation****1.1 Definitions**

In this deed, unless the contrary intention appears:

Act means *Land Use Planning and Approvals Act 1993*.

Bushfire Management Plan means the plan entitled '*502 Nelson Road – Subdivision, 11 Lots and Balance Bushfire Management*' in relation to the Land, a copy of which is attached and marked "B", but as amended and/or replaced from time to time as deemed necessary by Tasmania Fire Service and/or the Planning Authority.

Development means the use and development of the Land for the purpose of Subdivision - 12 Lots as more fully specified in the Planning Application.

Land means the Land known as "502 Nelson Road, Mount Nelson in Tasmania" and being more particularly described in Certificate of Title Volume 166315 Folio 1.

Owner means the person or persons specified in this deed and include the person or persons from time to time registered or entitled to be registered by the Recorder of Titles as proprietor or proprietors of an estate in fee simple in the Land or any part of the Land and include a mortgagee in possession.

Planning Application means application number PLN-08-00538-01 lodged with the Planning Authority.

Planning Permit means the permit dated 22 February 2012 approving the Planning Application subject to certain conditions and restrictions as contained in the permit a copy of which is attached hereto and marked "A".

Planning Scheme means the City of Hobart Planning Scheme 1982.

Wildlife Protection Measures means the bird collision mitigation measures outlined in WWF – Australian publication, *Minimising The Swift Parrot Collision Threat: Guidelines and Recommendations for parrot safe building design (2008)* a copy of which is attached hereto and marked "C".

1.2 Rules for interpreting this deed

In this deed, unless the contrary intention appears:

- (a) one gender includes the other;
- (b) the singular number include the plural and vice versa;
- (c) a reference to a person includes a corporation, unincorporated body or authority;
- (d) clause headings are inserted for convenience only and will be ignored in the interpretation of this deed;
- (e) where any word or phrase is given a defined meaning, any other part of speech or other grammatical form of that word or phrase has a corresponding meaning;
- (f) the schedule and annexures to this deed form part of this deed; and
- (g) a party includes its successors, assigns, executors and administrators.

2. Confirmation of recitals

Each of the parties to this deed confirms the recitals that relate to that party.

SIMMONS WOLFHAGEN

3. Covenants by Owner

In consideration of the Planning Authority granting the Planning Permit, the Owner hereby covenants with the Planning Authority to:

- (a) implement the Bushfire Management Plan prior to the occupation of any dwelling on the Land;
- (b) maintain the Bushfire Management Plan in relation to the Land for the life of any dwelling on the Land;
- (c) ensure that any dwelling, building or structure on the Land is constructed in accordance with the Wildlife Protection Measures.

4. Effect of the deed upon registration**4.1 Covenants to run with Land**

The parties agree and declare that the obligations imposed on the Owner under this deed are intended to take effect as covenants:

- (a) the burden of which will run with the Land as if they were covenants to which section 102 (2) of the *Land Titles Act 1980* applies; and
- (b) which shall bind the Owner, its successors, transferees and permitted assigns, and the registered proprietor or proprietors for the time being of the Land.

4.2 Agreement Under Section 71 of Part 5 of the Act

The parties agree that without limiting or restricting the respective powers to enter into this deed and, in so far as it can be so treated, this deed is made pursuant to section 71 of the Act.

4.3 Commencement of Agreement

This deed shall commence on the day that the deed is signed by all parties.

5. Registration & costs

The Owner agrees that:

- (a) an application, pursuant to section 78 of the Act shall be made by the Planning Authority to the Recorder of Titles for the registration of this deed on the folio of the Register constituting the title to the Land (and any other land to which this deed relates); and
- (b) the Owner must bear the costs and disbursements associated with the preparation, negotiation and registration of this deed including any costs or disbursements incurred or to be incurred by the Planning Authority.

6. No fettering of the Planning Authority's powers

The parties acknowledge and agree that this deed does not fetter or restrict the power or discretion of the Planning Authority in any way, including to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification of any plans of subdivision relating to the Land or relating to any use or development of the Land.


7. Notices

Any notice under this deed may be served by delivering, either personally or by registered mail, to the parties.

SIMMONS WOLFHAGEN

Execution:

Executed as a deed.

The Common Seal of the Hobart City Council was
hereunto affixed in the presence of:

Lord Mayor

Deputy General ManagerSIGNED BY John Smith
in the presence of:

Signature of Witness

SignaturePATRICK FRANK HALL (ARTIST)
Name & Occupation of witness19 ROSLYN AV. KINGSTON
Address of WitnessSIGNED BY Penny Smith
in the presence of:

Signature of Witness

SignaturePATRICK FRANK HALL (ARTIST)
Name & Occupation of witness19 ROSLYN AV. KINGSTON
Address of Witness

DES-F-0102-67
21/06/2011

"A"

**City of Hobart Planning Scheme 1982****Land Use Planning and Approvals Act 1993**

Planning Permit

APPLICATION NO	PLN-08-00538-01
ADDRESS	502 Nelson Road, MOUNT NELSON
PROPOSAL	Subdivision (12 lots)
PERMIT DATE	22 February 2012

The following conditions and restrictions apply to this permit:

The use/development of the land for the purpose of Subdivision (12 lots) subject to the following conditions and restrictions.

1. That the use and development must be substantially in accordance with the documents and drawings that comprise the Planning Application No. PLN-08-00538-01 as outlined in attachment A to this permit except where modified below.

Reason for condition

To clarify the scope of the permit.

2. Prior to sealing of the final plan, an amended bushfire hazard management plan (BHMP) must be submitted and approved by the Council's Senior Statutory Planner. The amended plan does not require Tasmania Fire Service endorsement. The required amendments are:
 - (a) The proposed Fuel Modified Buffer Zone (FMBZ) is to include the following vegetation management prescription:
"Promote the natural recruitment of *E. ovata* within the FMBZ and encourage the establishment of any offset plantings of this species in this zone in accordance with the management prescriptions found in the Tasmanian Fire Service's *Guidelines for development in bushfire prone areas of Tasmania*."
 - (b) Future dwellings must comply with the construction requirements for BAL-12.5 as specified in AS3959-2009 *Construction of Buildings in Bushfire Prone Areas*.
 - (c) The prescriptions for the creation and maintenance of building protection zones and fuel modified buffer zones (as specified in the Tasmania Fire Service document *Guidelines for Development in Bushfire Prone Areas of Tasmania*) must be shown on the plan.

The final approved BHMP must be implemented by the property owner(s) prior to occupation of the first new dwelling constructed on any of the lots, and must be maintained for the life of all dwellings on the lots. Compliance with the final approved BHMP must also be required via a Part 5 Agreement with Council pursuant to section 71 of the *Land Use Planning and Approvals Act 1993*. The Agreement must be registered on the Titles for the new lots at the time the new Titles are issued. The Council will have its solicitors prepare the Agreement for signing by property owners. The Council will then lodge the Agreement with the Lands Titles Office. The cost of preparing the Agreement and registration with the Land Titles Office is to be met by the applicant. Please contact the Development Appraisal Planner to initiate preparation of the Agreement.

Reason for condition

To ensure the bushfire hazard is minimised and managed, and so that the Bushfire Hazard Management Plan is readily available to be implemented by present and future owners of the property

3. A landscaping plan detailing proposed street tree plantings, offset plantings, landscaping of batters/embankments, and weed control measures to be prepared by a qualified landscape architect must be submitted to and approved by the Council's Director Development and Environmental Services prior to sealing of the final plan. The landscaping plan must include the following details:
 - (i) A planting schedule of all proposed trees, shrubs and ground covers including botanical names, common names, sizes at maturity and quantities of each plant.
 - (ii) Description of any vegetation to be retained or removed within proposed nature strips.
 - (iii) Width of nature strip must be a minimum width of 5 metres to accommodate street tree plantings.
 - (iv) Width of footpaths.
 - (iv) Details of plant spacings, setback distances to proposed building envelopes, and when it is intended to establish the planting.
 - (v) Ensure services are being avoided with plantings.
 - (vi) The treatment of nature strips/batters such as use of grass cover and trees, shrubs, or use of native grasses.

- (vii) The plan should address lot accesses and locate trees in locations that will not conflict with driveway accesses.
- (viii) Details of surface finishes of paths and driveways.
- (ix) The method of irrigation to be used in all areas.
- (x) Any steep banked nature strips should be dealt with differently with the use of mulches rather than grass that will be difficult to maintain. Need to consider appropriate gradients for use of mulches as opposed to grass cover, which requires mowing.
- (xi) Weed management prescriptions to control and prevent the spread of declared weeds must also be included in the landscaping management plan (see advice regarding preparation of weed management prescriptions).
- (xii) The landscape plan shall be prepared in accordance with the advice Vegetation Management in Bushfire Prone Areas below.

Once approved, the landscaping plan will form part of this permit and must be complied with.

The plan must be implemented 3 months after the civil works have been completed or if the subdivision is staged, 3 months after each stage of the subdivision.

Reason for the condition

In the interest of establishing trees to provide a visual screen to the proposed infrastructure works, eradicate declared weeds and increased public amenity.

4. Prior to the commencement of works on site, a Soil and Water Management Plan (SWMP) detailing sediment and erosion control measures must be submitted to and approved by the Council's Director Development and Environmental Services. Once approved, the Soil and Water Management Plan will form part of this permit and must be complied with. The approved control measures must be installed prior to any disturbance of soil or vegetation, be regularly inspected and maintained during the construction/ demolition period to prevent soil and other materials entering the local stormwater system, roadways or adjoining properties. The approved control measures must remain in place until such time as all disturbed areas have been stabilised using vegetation and/or restored or sealed to the satisfaction of the Director Development and Environmental Services.

Advice: For guidance on preparing the Soil and Water Management Plan, the Derwent Estuary Program has published Soil and Water Management on Building and Construction Sites fact sheets (2008). These are available from Council or online at www.derwentestuary.org.au

Reason for Condition

To avoid the pollution and sedimentation of roads, drains and natural watercourses that could be caused by erosion and runoff from the development, and to comply with relevant State legislation.

5. The property owner(s) must enter into a Part 5 Agreement pursuant to section 71 of the *Land Use Planning and Approvals Act 1993* requiring all future buildings and structures erected on the land to be consistent with the bird collision mitigation measures outlined in the WWF-Australia publication *Minimising The Swift Parrot Collision Threat: Guidelines and recommendations for parrot-safe building design* (2008) to the satisfaction of the Council. Such agreement must be made under the provisions of Part 5 of the *Land Use Planning and Approvals Act 1993*, registered with the Recorder of Titles and drafted to the satisfaction of the Council's Director Development and Environmental Services.

The Council will have its solicitors prepare the Agreement for signing by property owner(s). The Council will then lodge the Agreement with the Lands Titles Office together with the final subdivision plan. The cost of preparing the Agreement and registration with the Land Titles Office is to be met by the applicant. Please contact the Development Appraisal Planner to initiate preparation of the Agreement.

Reason for condition

To ensure that bird collision risks associated with future development of the land are minimised.

6. All power lines must be underground and within the road reserve.

Reason for condition

To prevent death and injury of birds due to collisions, in particular the Swift Parrot, a species listed as vulnerable under the TTSPA 1995 and endangered under the EPBCA 1999.

7. In accordance with Section 117 of the Local Government (Building and Miscellaneous Provisions) Act 1993, the developer must pay a cash contribution to the Council equal to 5% of the undeveloped value of Lots 1 - 11 comprised in the plan of subdivision in lieu of the provision of public open space within the subdivision. The value is to be determined by a registered valuer commissioned by the Council at the developer's cost.

Reason for condition

Approval of the subdivision would create further demand upon Hobart's Public Open Space System. The funds obtained will be used for future expenditure on the purchase or improvement of land for public open space in Hobart.

8. Prior to the commencement of work on site, the developer must lodge with the Council an Infrastructure Protection Bond in the form of a cash/cheque deposit or a bank guarantee from an approved financial institution, for an amount of \$5,000, as security for the protection from damage of the Council's infrastructure during the construction of the development. The bond will be released once the works are completed should no damage have occurred.

Advice: Once the Certificate of Occupancy/Completion for the development has been issued and/or the works are completed, please contact the Council's Project and Development Inspector on phone (03) 62 382 967, or on mobile 0417 604 725 to arrange an inspection prior to the release of the Council's Infrastructure Protection Bond.

Reason for condition

To ensure the protection of the Council's infrastructure.

9. Prior to the sealing of the final plan, all lots must be provided with adequate stormwater service connections to the Council mains/systems (at the developer's cost and in accordance with the Municipal Standard Drawings and the relevant standards and regulations) to the satisfaction of the Council's Director Infrastructure Services.

Advice: Note that the lots will also require adequate water and sewer service connections to Southern Water mains/systems. Check the Southern Water conditions located in the Appendix.

Reason for condition

To ensure that all works are done to the Council's standards.

10. Prior to the approval of stormwater engineering drawings an assessment of the proposed stormwater drainage system (including the stormwater main), must be prepared by a qualified and experienced professional engineer and submitted to and approved by the Council's Director Infrastructure Services. This stormwater assessment must include a site plan indicating the current catchment conditions and the path of the existing watercourse.

The stormwater assessment must assess three scenarios:

- (i) Stormwater flows from the current catchment conditions.
- (ii) Stormwater flows from a future catchment assuming the proposed subdivision at no 502 Nelson Road is fully developed
- (iii) Stormwater flows from a future fully-developed catchment (i.e. assuming the entire up-stream catchment has been developed to the maximum permitted density standards in the Planning Scheme).

Once approved, the assessment must be used to inform the design of the proposed stormwater drainage system.

Advice: The Council is able to assist with investigations to determine what other properties, or what parts of the properties, drain into the existing watercourse. The developer's engineer should contact the Council's Hydraulic Engineer, Darren Carlson, on 6238 2128 for assistance.

Reason for condition

To ensure the proposed stormwater drainage system and main has adequate capacity for the current and future developed catchments

11. The proposed stormwater drainage system (see Advice below) must be sized to accommodate the estimated 1 in 100 year Annual Recurrence Interval (ARI) flow based on a possible future fully-developed catchment. The stormwater mains must be sized to accommodate at least the estimated 1 in 20 year ARI flow based on a possible future fully-developed catchment. Prior to the approval of the stormwater engineering drawings, detailed plans prepared by an appropriately qualified person detailing the proposed stormwater drainage system must be submitted to and approved by the Council's Director Infrastructure Services. Once approved, the plans will form part of this permit and must be complied with.

Advice: The stormwater drainage system includes the stormwater mains. It can also include a clearly designated floodpath that will allow for any possible overland flow. The floodpath areas must be free of any buildings or major obstacles, and there are strict limitations on any large scale earthworks that could affect overland flow. Floodpaths may be difficult to accommodate through proposed building lots and it may be desirable to use bigger pipe sizes for the storm water mains than the minimum 1 in 20 year ARI flow capacity to minimise the risk of any overland flow occurring. The developer's engineer should contact the Council's Stormwater Engineer to discuss possible alternatives for the layout of the drainage system – in particular to help determine the best way of collecting and draining the runoff from the catchment upstream of the property at no.502 Nelson Road. Note that the Council recommends avoiding having open watercourses in any of the residential house lots such as lots 6, 7 and 8.

Reason for condition

To ensure the proposed stormwater drainage system has adequate capacity for the current and future fully-developed catchments.

12. The developer will be responsible for the costs of the construction of the stormwater drainage system (including a new stormwater main along the existing watercourse) that is sized to accommodate the 1 in 100 year ARI flow based on flows from the current upstream catchment conditions and the fully developed subdivision at no.502 Nelson Road. If a bigger drainage system and/or larger pipe sizes are required to accommodate the future fully-developed upstream catchment, then the Council will pay the additional cost. The actual apportionment of these costs is to be agreed upon by both the Council and the developer prior to the start of construction works for the stormwater drainage system.

Reason for Condition

To ensure a fair allocation of costs for the construction of the stormwater drainage system including the main along the natural watercourse.

13. Prior to the commencement of works on site, engineering drawings of the proposed stormwater mains in both plan and long-section, as well as the associated calculations and catchment area plans, must be submitted to and approved by the Council's Director Infrastructure Services. These engineering drawings must include, at a minimum, connections, clearances, cover, grade, sizing, velocities, material, easements, inspection openings, overland flow paths, outfall design and erosion protection. Once approved, the engineering drawings will form part of this permit and must be complied with.

Reason for Condition

To ensure Council's hydraulic infrastructure meets acceptable standards.

14. Written consent from the owner of No. 492 Nelson Road to the proposed construction of a stormwater main across that property must be submitted to and approved by the Council's Director Infrastructure Services prior to the approval of the stormwater engineering drawings.

Reason for condition

To ensure that the owner of No. 492 Nelson Road has provided written landlord consent to the construction of a public stormwater main over the property discharging into the natural water course.

15. Prior to the commencement of works on site, details of the proposed pre-treatment for the stormwater runoff from the new paved road area must be submitted to and approved by the Council's Director Infrastructure Services. The details must include estimations of contaminant removal and a maintenance plan and must clearly state all assumptions. Once approved, the details will form part of this permit and must be complied with. Pre-treatment for the stormwater runoff from the new paved road areas must be installed prior to sealing of the final plans to the satisfaction of the Council's Director Infrastructure Services

Advice: Hobart City Council's Water Sensitive Urban Design Site Development Guidelines and Practice Notes is available from Council's website. For further details, Council refers the applicant to Water Sensitive Urban Design: Engineering Procedures for Stormwater Management in Southern Tasmania, available from <http://www.derwentestuary.org.au/folder.php?id=242>. Please note that current best practice for stormwater treatment include an 80% removal of total suspended solids, a 45% removal of total nitrogen, and a 45% removal of total phosphorous. Council recommends submission of a MUSIC model or similar, with any alterations from the default values explained.

Reason for condition

To avoid the possible pollution of drainage systems and natural watercourses, and to comply with relevant State legislation.

16. Prior to the sealing of the final plan, demonstrate to the satisfaction of the Director Development and Environmental Services that all lots on the plan of subdivision can be provided with fire protection as required by the current Tasmania Fire Service Guidelines for development in bushfire prone areas of Tasmania (or as amended).

Reason for Condition

To ensure all lots are provided with adequate fire protection.

17. A detailed services plan prepared by a civil engineer (or equivalent suitably qualified person) showing the existing and proposed private services, Council mains and accesses to each lot must be submitted to and approved by the Council's Director Infrastructure Services prior to the commencement of any construction work on site.

The services plan must show that each lot has separate private sewer, stormwater and water services/connections. The services plan must clearly distinguish between private and public infrastructure, and must clearly identify the position of any services that may be affected by the subdivision.

Once approved, the services plan will form part of this permit and must be complied with.

Advice: Note that the lots will also require adequate water and sewer service connections to Southern Water mains/systems. The services plan must clearly show the existing/ proposed water, sewer and stormwater service connections for each lot. Check the Southern Water conditions located in the Appendix.

Reason for condition

To ensure that each lot is serviced separately.

18. An as-built services plan must be submitted to and approved by the Council's Director Infrastructure Services prior to the sealing of the final plan. The as-built services plan must clearly indicate the location and details of all relevant built services. The as-built services plan must be accompanied by a statement from a civil engineer (or equivalent suitably qualified person) that all relevant services required to be built have been built, and that the as-built services plan accurately reflects the as-built services.

Reason for condition

To ensure that the Developer provides the Council with clear written confirmation that the separation of services is complete.

19. The developer must pay the cost of any alterations and/or reinstatement to the Council's infrastructure incurred as a result of the proposed development works.

Reason for condition

To ensure that any Council Infrastructure affected by the proposal will be reinstated at the Developer's full cost.

20. The final plan and schedule of easements are to include, to the satisfaction of the Council's Director Infrastructure Services, Drainage Easements in favour of the Hobart City Council over the storm water system (including any overland flow paths and natural water courses) passing through the lots shown on the plan. The drainage easement covering the stormwater main servicing the proposed western Lots must be extended to the boundary of 498 Nelson Rd.

Reason for condition

To enable maintenance of Council's infrastructure and to alert potential purchasers to their existence, and to ensure the site/ layout does not make stormwater drainage unduly expensive, improve the local drainage network and protect future development.

21. The final plan and schedule of easements are to include, to the satisfaction of the Council's Director Infrastructure Services, Drainage Easements in favour the Tasmanian Water and Sewerage Corporation (Southern Region Pty Ltd) over any proposed or existing sewer mains passing through the lots shown on the plan.

Reason for condition

To enable maintenance of Southern Water's infrastructure and to alert potential purchasers to the existence of Southern Water's mains.

22. The Final Plan must be notated in accordance with the provisions of Section 83(5)(a)(ii) of the Local Government (Building and Miscellaneous Provisions) Act 1993 to the satisfaction of the Council's Manager Surveying Services to the effect that the Hobart City Council cannot provide a means of gravity reticulated stormwater disposal from lot 6 below a specified reduced level. The specified reduced level is to be provided by the owner's Registered Land Surveyor who must supply the Council's Manager Surveying Services with the invert levels (on State Datum) of the stormwater connection that will be constructed to serve Lots 6.

Reason for condition

To ensure that the limitation in Council's ability to provide a means of gravity reticulated stormwater disposal to Lot 6 is noted on the Final Plan.

23. The "proposed road" is to be shown as a Lot on the Final Plan and must be transferred to the Council for nominal consideration. Prior to the sealing of the Final Plan, the applicant must provide the Council an executed Memorandum of Transfer together with the required Land Titles Office registration fees.

Advice: The applicant will need to prepare and execute a Land Titles Office transfer and partial discharge of mortgage for the road lot, attend to the assessment and payment of Stamp Duty with the Commissioner of Taxes and forward the stamped instruments together with the associated Land Titles Office registration fees (Cheque made payable to the Recorder of Titles for \$131-00 (Transfer) and \$106-00 (Partial Discharge of Mortgage) and a completed notice of sale, to the Council's Manager Surveying Services prior to the sealing of the final plan of survey.

Reason for condition

To ensure that title to the proposed Road lot issues in the Hobart City Council.

24. Prior to the sealing of the final plan, a copy of the surveyor's field notes prepared to accompany the final plan must be provided to the Council's Director Infrastructure Services.

Reason for Condition

To enable Council to accurately update cadastral layers on the corporate Geographic Information System.

25. Prior to the commencement of works on site, road engineering drawings detailing the construction of the proposed access road, must be submitted to and approved by the Council's Director Infrastructure Services. In particular:

- (i) Road design details must comply with the Standard for Subdivisions (IPWEA) standard drawing SD 1001 Urban Roads – typical cross section (18.3m wide road reservation)
- (ii) Footpath design must comply with the Tasmanian Standard for Subdivisions (IPWEA) standard drawing SD 1006 Urban Roads – Footpath Details - concrete footpaths
- (iii) Cul-De-Sac design must comply with the Tasmanian Standard for Subdivisions (IPWEA) standard drawing SD 1011 - Urban type Cul-De-Sac
- (iv) Kerb ramps must be provided at end of footpath at access to future road lot. Ramps to be provided in accordance with Councils Standard for Subdivisions (IPWEA) standard drawing SD 1004 Urban Roads – Kerb Ramps.

Once approved, the road engineering drawings will form part of this permit and must be complied with.

Advice: The road engineering drawings must include but not be limited to the following information:

- (i) *Fully dimensioned horizontal and vertical geometry, including the intersection with Nelson Road (plan view and long section)*
- (ii) *Construction details in typical cross section(s)*
- (iii) *Drainage details, cross falls, kerb lines, spot levels, pits and reticulation details, pipe material, class and gradients*
- (iv) *Traffic management signage*
- (v) *Footpath details*
- (vi) *Kerb ramp locations*
- (vii) *Road lighting installation to include standard Aurora Energy supplied poles and standard Aurora Energy energy efficient road light fittings.*

Reason for condition

To ensure that all works are done to the Council's standards.

26. Prior to the commencement of any work within the road reservation, a Road Opening Permit (pursuant to section 46 of the Local Government (Highways) Act 1982) must be obtained from the Council's Project and Development Inspector. The application for the Road Opening Permit must include items such as hours of work, road safety, reinstatement, soil and water management, etc.

Reason for condition

To ensure that the works in the highway reservation are legally carried out.

27. Prior to the commencement of any works on site, plans of the proposed driveways, including crossovers, prepared by a civil engineer (or an equivalent suitably qualified person) must be submitted to and approved by the Council's Director Infrastructure Services. Once approved, the plans will form part of this permit and must be complied with.

Reason for condition

To ensure adequate and satisfactory access to the subject lots.

28. Prior to the sealing of the final plan, the developer must construct and pay the full cost of a vehicle crossover (in accordance with the Tasmanian Councils Standard for Subdivisions (IPWEA) standard drawing SD 1003 Urban Roads – Typical Vehicle Crossing) and a minimum 3.0m wide sealed concrete driveway from the roadway to the boundary of any new lots not already served by an existing crossover, to the satisfaction of the Council's Development Engineer and the Project and Development Inspector.

Reason for condition

To ensure adequate and satisfactory access to the subject lots.

29. Any construction of public infrastructure (which will be taken over by the Council) must be carried out either by the Council or by a Council-approved person in accordance with the conditions set out in the document "Guidelines for Public Infrastructure Construction by the Private Sector". A copy of this document is appended to this permit. Note that live works such as connections to existing mains must be carried out by the Council (Civic Solutions).

Reason for condition

To ensure that public works are carried out to the required standards.

30. Prior to the issuing of any Council-approved engineering drawings, any developer intending to build public infrastructure that is part of this development must first obtain a Permit to Construct Public Infrastructure from the Council's Project and Development Inspector (phone (03) 62 382 967, or on mobile 0417 604 725). Developers must read the document "Guidelines for Public Infrastructure Construction by the Private Sector" and fill in an application form. Contact the Project and Development Inspector for more information.

Reason for condition

To ensure that public works are carried out to the required standards.

31. A 52 week defects liability period applies to all infrastructure required under this permit commencing on the date a completion of works certificate is issued by the Council. During the defects liability period, the developer must undertake any remedial action to any constructed public infrastructure deemed as necessary by the Council's Director Infrastructure Services. The remedial action must be completed to the satisfaction of the Council's Director Infrastructure Services prior to the issue of the final certificate.

Advice: Further advice regarding the construction of public infrastructure can be found in the document 'Guidelines for Public Infrastructure Construction by the Private Sector'.

Reason for condition

To ensure that public works are carried out to the required standards.

32. The Council's Project and Development Inspector must be contacted on phone (03) 62 382 967, or on mobile 0417 604 725 at least 24 hours prior to the commencement of any work relating to:
- (i) Public infrastructure that is built by the developer;
 - (ii) New roadworks;
 - (iii) New vehicle crossovers;
 - (iv) New driveway works or parking areas; and
 - (v) New hydraulic service connections.

The services plan required in condition 17 above, and other relevant engineering drawings, must be notated in accordance with the above to ensure that developers are made aware of this requirement.

Reason for condition

To ensure that all works are done to the Council's standards.

33. Prior to the issuing of the approved engineering drawings for the development, a development engineering fee of 1.5% of the value of the approved engineering works (roads, driveways and stormwater drainage systems) must be paid to the Council. An estimate of the value of the engineering works must accompany the draft engineering drawings. .

Reason for condition

To help meet the cost of approving engineering drawings and carrying out site inspections.

34. Prior to sealing of the plan of survey by council the developer must obtain from Southern Water a Certificate of Approval for the Plan of Survey.
35. Prior to commencement of any works on site, the developer must apply to Southern Water for Engineering Design Approval and a Permit to Construct new Southern Water infrastructure.
36. Upon completion of new infrastructure, the developer must apply to Southern Water for connection of newly created works to Southern Water's existing infrastructure. This work is to be undertaken by Southern Water at the developer's cost.
37. Water and sewerage infrastructure must be constructed in accordance with Engineering Design Approval issued by Southern Water.
38. The Final Plan of Survey must note, pursuant to Section 83 of the Local Government Act that Southern Water cannot provide a means of sewerage for all effluent to Lot 5.

Advice: Connection of Lot 5 to the Southern Water sewerage system could be made by means of a pump system installed, operated and maintained by the landowner as part of a future building proposal. As a standard sewerage connection cannot be provided to Lot 5, the property will fall outside of Southern Water's serviced land boundary for sewerage. Furthermore, payment of the developer headworks charge for sewerage for Lot 5 is not required to seal the final plan of survey for the subdivision. In the event that a connection is required to Lot 5 in the future, the owner or applicant, as the case may be, will be liable for a connection charge equivalent to the applicable developer charge for one (1) Equivalent Tenement (ET) at the time that the connection is to be made and subsequent annual service charges comparable to those applicable to serviced land.

39. Engineering designs must generally be in accordance with the drawings and documents listed in the Schedule of Drawings and any additional requirements included in these conditions.

40. All existing, redundant and/or proposed property services must comply with the following requirements:
- a) One sewer and one water property service connection must be provided to each lot, but excluding sewer service connection to Lot 5.
 - b) The property water service for each serviced lot must be minimum 20mm nominal bore with a 20mm meter, supplied by Southern Water at the developer's cost, installed just inside the property boundary at the road frontage.
 - c) The sewer property service connections for each serviced Lot must be minimum 100mm nominal bore and must be located at the low point of the lot just inside the property boundary.
 - d) The developer is responsible for locating the existing connection(s) and clearly showing details on the drawings. Any existing connection(s) that cannot be located may be located by Southern Water at the developer's cost;
 - e) Redundant connection(s) must be shown to be cut and sealed;
 - f) All private water and sewerage service pipes must be separated so that they are wholly contained within the lot they service.
 - g) All modifications and additions to property services which connect directly onto Southern Water mains must be carried by Southern Water at the developer's cost.
41. Prior to applying for a Permit to Construct new Southern Water infrastructure, the developer must obtain Engineering Design Approval from Southern Water for new Southern Water infrastructure. The application for Engineering Design Approval must include engineering design plans prepared by a registered professional engineer - showing the hydraulic servicing requirements for water and sewerage. The engineering design plans must comply with the Sewerage Code of Australia, the Sewage Pump Station Code of Australia and the Water Code of Australia - Melbourne Retail Water Agencies Integrated Code version(s) published by the Water Services Association of Australia, and as amended by Southern Water's Supplements, and must be to the approval of Southern Water. The engineering design plans must notate and describe all work that is to be performed by Southern Water.
42. The Developer must engage a registered land surveyor to progressively collect As Constructed details of the infrastructure to be transferred to Southern Water to the requirements of Southern Water's data specification.

43. At practical completion of the subdivisional works, the developer must apply to Southern Water for a Certificate of On-Maintenance for the newly constructed infrastructure that will be transferred to Southern Water. To obtain a Certificate of On-Maintenance the developer must:
- a) Provide written confirmation that the works have been completed in accordance with the plans and specifications and that the appropriate level of workmanship have been achieved.
 - b) Provide As-Constructed details of the works certified by a registered land surveyor in Southern Water's data specification format for approval by Southern Water.
 - c) Request a joint on site inspection with Southern Water's authorised representative.
 - d) Lodge security with Southern Water as required for a twelve (12) month maintenance period. The security is to be 10% of the value of the Southern Water infrastructure. Such security shall be in the form of a bank guarantee.
44. A 12 month maintenance period shall apply to infrastructure covered by the Certificate of On-Maintenance from the date of issue of the Certificate. During this period all defects must be rectified at the developer's cost and to the satisfaction of Southern Water. A further 12 month maintenance period may be applied to defects after rectification. Southern Water may, at its own discretion, undertake rectification of any defects at the developer's cost. The maintenance period will be deemed to be complete on issue of a Final Certificate from Southern Water.
45. Upon satisfactory completion of the maintenance period for the newly constructed infrastructure that will be transferred to Southern Water, the developer must request Southern Water to issue a Final Certificate. Upon receipt of this request Southern Water shall issue a Final Certificate and the new infrastructure shall be transferred to Southern Water.

46. Prior to Southern Water issuing a Certificate of Approval for the Plan of Survey, Pipeline Easements must be created over all existing and proposed water and sewerage pipelines in accordance with Southern Water's standard pipeline easement conditions. Minimum width of easements shall be;
- i) 3.0 metres for sewer and stormwater pipeline in a common easement; and
 - ii) 2.5 metres for sewer pipeline only.
47. Prior to Southern Water issuing a Certificate of Approval for the Plan of Survey, the applicant or landowner as the case may be, must pay a headworks charge totaling \$22,198.00 to Southern Water for water infrastructure for ten (10) additional Equivalent Tenements, indexed quarterly at the Consumer Price Index, All Groups Hobart rate from the date of this permit until the date it is paid to Southern Water.

Advice: Headworks calculations are provided under the Explanation of Headworks Charges below

48. Prior to Southern Water issuing a Certificate of Approval for the Plan of Survey, the applicant or landowner as the case may be, must pay a headworks charge totaling \$26,110.00 to Southern Water for sewerage infrastructure for ten (10) additional Equivalent Tenements, indexed quarterly at the Consumer Price Index, All Groups Hobart rate from the date of this permit until the date it is paid to Southern Water.

Advice: Headworks calculations are provided under the Explanation of Headworks Charges below.

49. For staged development, payment of headworks charges must be made to Southern Water prior to the issue of each separate Southern Water Plan of Survey Certificate of Approval for each individual stage based on the number of lots to be created in that stage.
50. The developer must protect Southern Water assets and any damage to Southern Water's assets must be promptly reported to Southern Water and shall be repaired by Southern Water at the developer's cost.
51. Following issue of a certificate of On-Maintenance, ground levels over Southern Water infrastructure must not be altered without written approval of Southern Water.
52. The applicant or landowner as the case may be, must pay the following fee(s) to Southern Water for this proposal:

53. All fees quoted in this permit shall be indexed quarterly at the Consumer Price Index, All Groups Hobart rate from the date of this document until invoiced by Southern Water.
54. In the event that development is to be undertaken in stages, the fees reflecting the relevant fee categories pertaining to each stage will be assessed at the time each Application for Certificate of Approval for Final Plan Sealing is made.
55. Payment terms are 30 days from the date of the invoice. Southern Water will not issue a Certificate of Approval for Final Plan Sealing until outstanding fees have been paid.

Description of Fee (GST Inclusive)	Fee	Date from which the Southern Water
Assessment for development (subdivision)	\$946.55	The date of the Response to the Council
Application for engineering design	\$1,639.00	The date of Engineering Design
Application for Permit to Construct (Asset)	\$3,278.00	The date of the Permit to Construct
Final Plan Sealing	\$141.35	The date of the Southern Water Certificate

ADVICE

i. Locating Southern Water's Infrastructure

The developer is responsible for arranging to locate existing Southern Water infrastructure and clearly showing it on any drawings. Existing Southern Water infrastructure may be located by Southern Water (call 136 992) on site at the developer's cost, alternatively a surveyor and/or a private contractor may be engaged at the developers cost to locate the infrastructure.

ii. Southern Water Forms

Application forms and information can be found under the 'Your Development' tab on the Southern Water internet page:- <http://www.southernwatertas.com.au>

iii. Explanation of Fees

This proposed development has been assessed as Major in accordance with the Southern Water Development Assessment Services – Fee Schedule as posted on the Southern Water Web site for the whole development.

The fee for the Application for the Permit to Construct does not apply if the developer engages Southern Water to carry out the whole of the work covered by Engineering Design Approval.

iv. Explanation of Headworks Charges

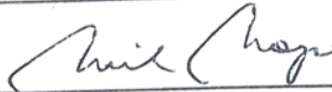
- (a) Southern Water's Developer Charges Policy provides for infrastructure contribution (Headworks charge) based on the burden expressed as Equivalent Tenements (ETs) the proposed development will place on Southern Water's infrastructure. A copy of the policy can be found on Southern Water's website at: <http://www.southernwatertas.com.au>

- (b) The calculation of Headworks charges is based on the following criteria:

Water headwork charge/Equivalent Tenements (ETs)	\$2,018.00 (Hobart)
Sewer headwork charge/ Equivalent Tenements	\$2,611.00 (Blinking Billy)
Total number of lots (ETs) created	12
Total number of lots (ETs) credited (water)	1 (Parent title)
Net number of lots (ETs) created (water)	11
Total number of lots (ETs) credited (sewer)	2 (Parent title and Lot
Net number of lots (ETs) created (sewer)	10
Water headworks charge	\$22,198.00
Sewer headworks charge	\$26,110.00
Total headworks charge	\$48,308.00

22/2/2012

Date



Director Development and Environmental Services

ATTACHMENT A**Documents and Drawings that comprise Planning Application Number**

PLN-08-00538-01

DEVELOPMENT ADDRESS: 502 Nelson Road,
MOUNT NELSON**LIST OF DOCUMENTATION:**

Description	Plan No. Where Relevant	Date of Lodgement
Application form		28/5/2008
Title		28/5/2008
Documentation: Subdivision Planning Submission		28/05/2008
Flora and Fauna Survey		10/06/2008
Bushfire and Tree Removal Letters		10/10/2008
Plans: Subdivision Plan		28/05/2008
Subdivision Detail Plan	Sheet 1 of 1	10/10/2008
Detail Plan showing Street Layout		10/10/2008
Elevation Plan of 500 and 504 Nelson Road		10/10/2008
Bushfire Hazard Management Plan		10/10/2008

IMPORTANT INFORMATION ABOUT THE ATTACHED PERMIT

WHAT HAS BEEN DECIDED?

The Council has granted a permit subject to conditions.

WHEN DOES A PERMIT TAKE EFFECT?

If there is a right of appeal against the granting of a permit, the permit takes effect at the end of 14 days from the day on which notice of the granting of the permit was served on the person who has a right of appeal.

Where an appeal is instituted against the Council's decision to grant a permit, the permit does not take effect until the determination or abandonment of the appeal.

Where any other approvals are required under the Land Use Planning and Approvals Act 1993 or any other Act, the permit cannot be enacted until all of those approvals have been granted.

WHEN DOES A PERMIT LAPSE?

A permit lapses after a period of 2 years from the date on which it was granted, if the use or development for which it was granted is not substantially commenced within that period. An application can be made for an extension of the planning permit for a further 2 years provided that application is made prior to the expiry date.

WHAT ABOUT APPEALS?

An applicant for a permit may appeal against Council's decision to grant a permit subject to conditions or restrictions, within 14 days after the day on which notice of Council's decision was served on them.

Any person who has made a representation during the period of 14 days commencing on the date on which notice of the application was given (or such further notice period as Council may have allowed) may appeal against the grant of a permit within 14 days after the day on which notice of the granting of the permit was served on them.

An appeal may only be lodged with the Resource Management and Planning Appeal Tribunal. Please note that the Tribunal will not directly notify representors if an appeal is lodged. You may either look for the notice of appeal, which will be published in The Mercury; or contact the Tribunal directly.

Details about appeals and the fees payable can be obtained from the Tribunal.

The Tribunal's contact details are as follows:

Telephone No: (03) 6233 6464

Postal Address:

GPO Box 2036
HOBART 7001

Email address:

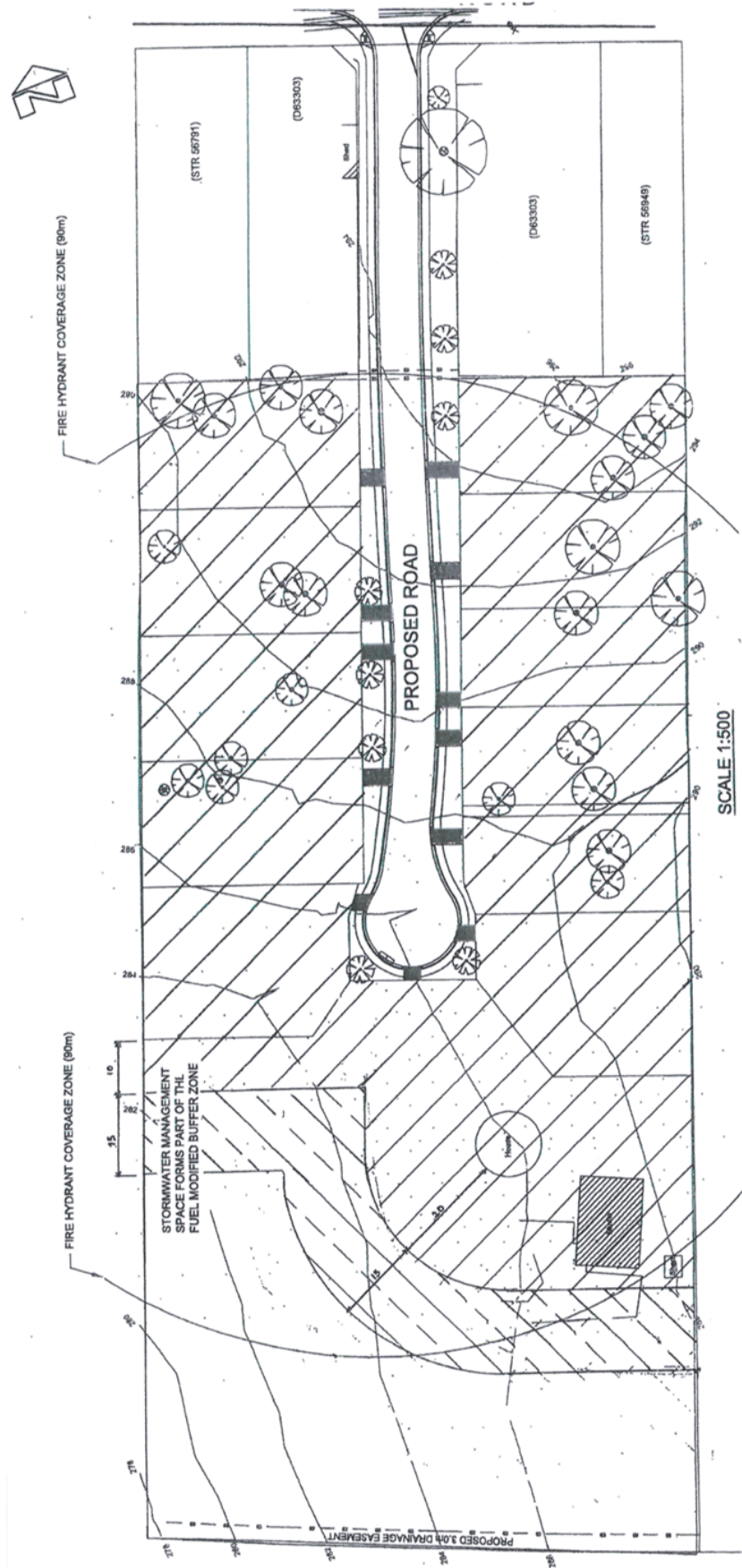
RMPAT@justice.tas.gov.au

Facsimile No: (03) 6224 0825

Street Address:

Floor 1
144-148 Macquarie Street
HOBART

Web page: www.rmpat.tas.gov.au



NOTES

1. THE FUEL MODIFIED BUFFER ZONE SHALL HAVE VEGETATION MANAGED TO "PROMOTE THE NATURAL RECRUITMENT OF E.OVATA WITHIN THE FIREZ AND ENCOURAGE THE ESTABLISHMENT OF ANY OFFSET PLANTINGS OF THIS SPECIES IN THIS ZONE IN ACCORDANCE WITH THE MANAGEMENT PRESCRIPTIONS FOUND IN THE TASMANIA FIRE SERVICE'S GUIDELINES FOR DEVELOPMENT IN BUSHFIRE PRONE AREAS OF TASMANIA."

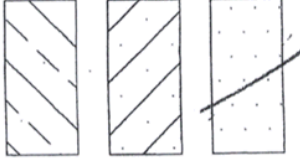
2. ALL ASPECTS AND REQUIREMENTS OF THE BUSHFIRE MANAGEMENT PLAN ARE TO BE IMPLEMENTED PRIOR TO THE CONSTRUCTION OF ANY NEW DWELLINGS WITHIN THE PROPOSED DEVELOPMENT.

3. ALL PRESCRIPTIONS UNDER THE GUIDELINES FOR DEVELOPMENT IN BUSHFIRE PRONE AREAS FOR BUILDING PROTECTION ZONES AND FUEL MODIFIED BUFFER ZONES ARE TO BE ADHERED TO WITH PARTICULAR ATTENTION TO UNDER-STORY MANAGEMENT AND VEGETATION SELECTION.

FUEL MODIFIED BUFFER ZONE.
25m OFFSET FROM EXISTING STRUCTURES IN ACCORDANCE WITH TASFIRE GUIDELINES 'FOR DEVELOPMENT IN BUSHFIRE PRONE AREAS OF TASMANIA' FOR SITES OF 5° SLOPE AND FOREST COVER

BUILDING PROTECTION ZONE.
20m OFFSET FROM EXISTING STRUCTURES IN ACCORDANCE WITH TASFIRE GUIDELINES 'FOR DEVELOPMENT IN BUSHFIRE PRONE AREAS OF TASMANIA' FOR SITES OF 5° SLOPE

HYDRANT COVERAGE ZONE BASED ON 90m HOSE RUN FROM FIXED HYDRANT. DOES NOT TAKE INTO ACCOUNT FUTURE FENCE LINES OR OTHER OBSTRUCTIONS THAT MAY IMPEDE DIRECT ACCESS.

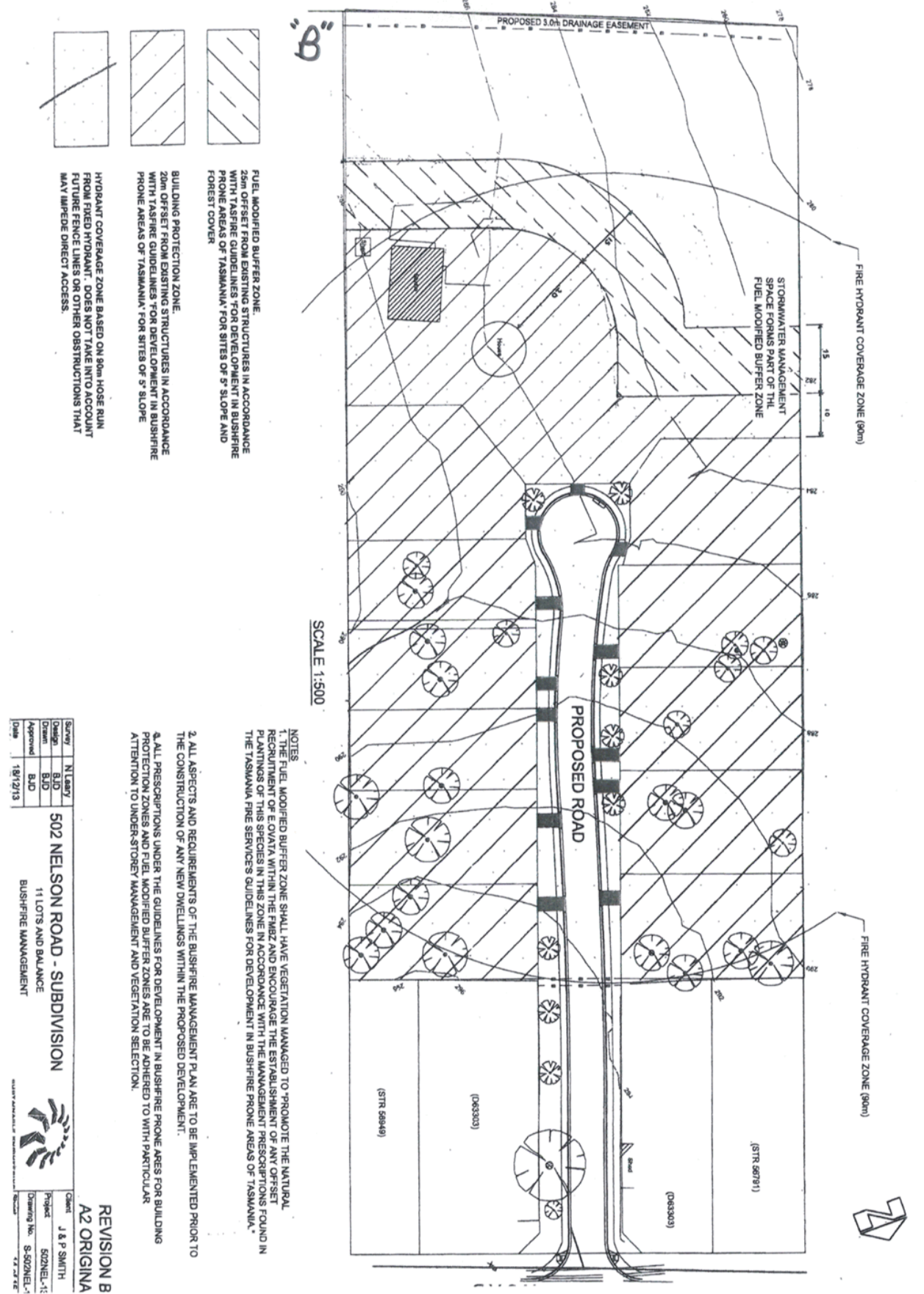


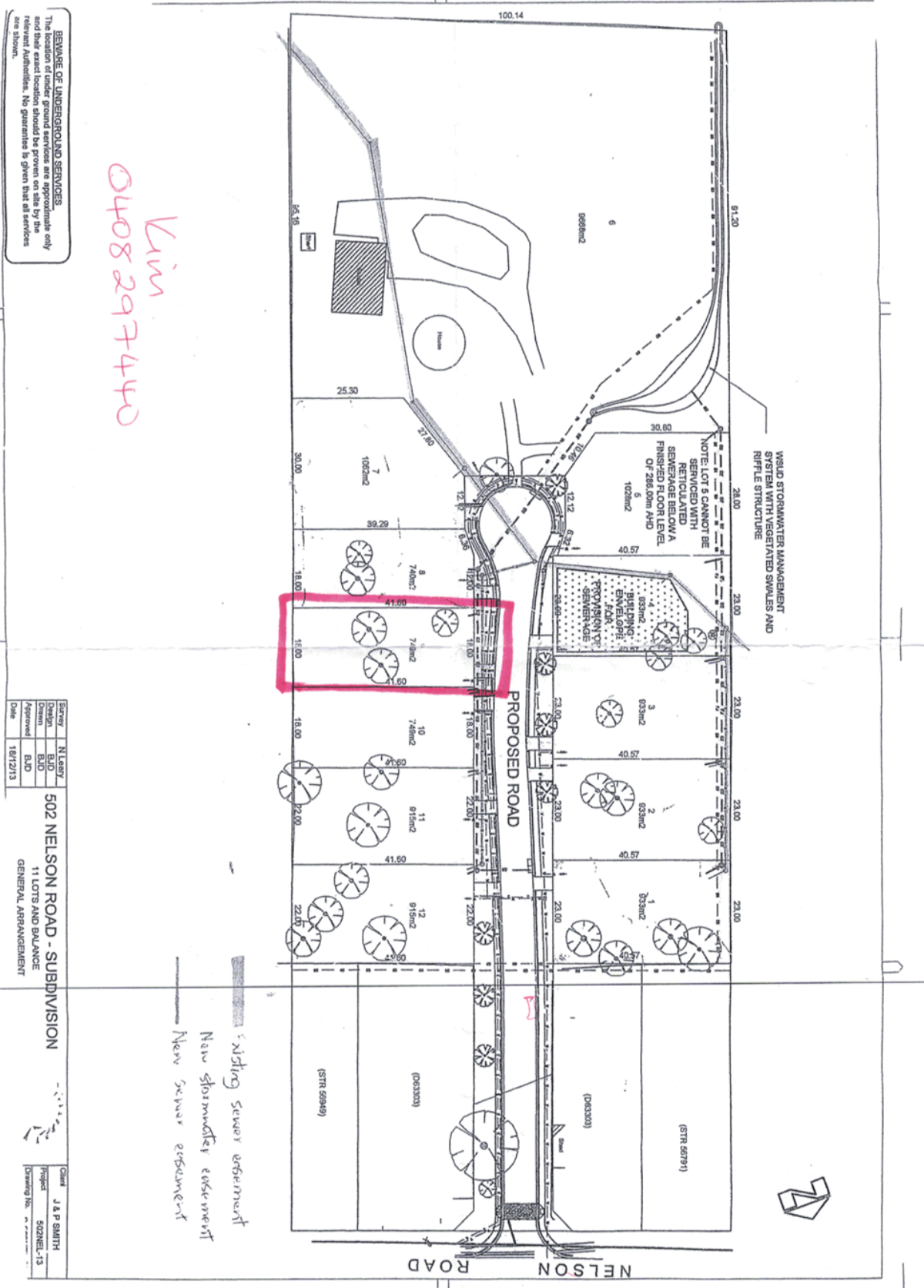
502 NELSON ROAD - SUBDIVISION
11 LOTS AND BALANCE
BUSHFIRE MANAGEMENT

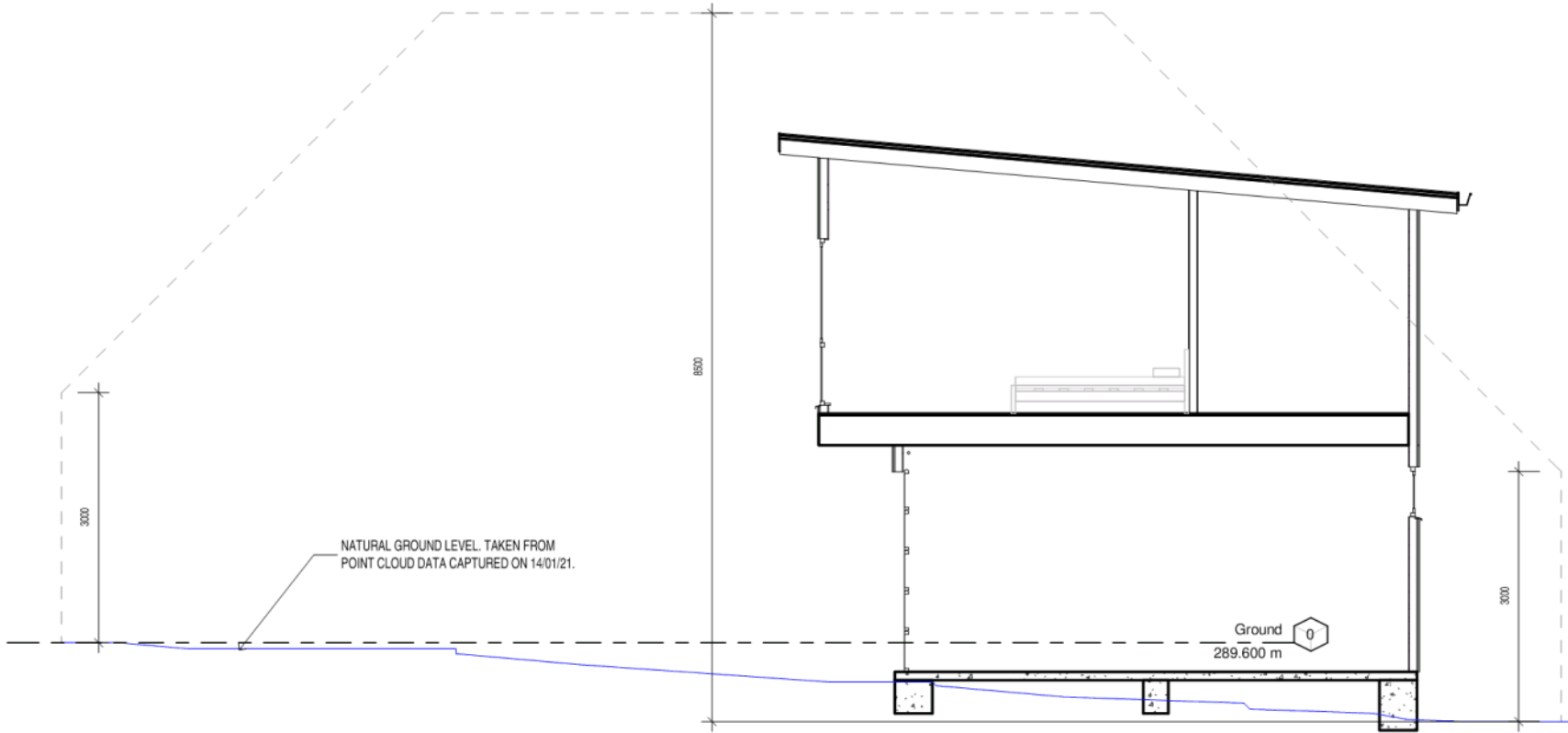
Survey	N Laury
Design	BJD
Drawn	BJD
Approved	BJD
Date	18/12/13

REVISION B
A2 ORIGINAL

Client	J & P SMITH
Project	502NEL-11
Drawing No.	S-502NEL-1
Scale	1:500







FORMATION
DESIGN & DRAFTING

JANE HADLEY
BUILDING DESIGNER (DOMESTIC)
LICENSE NUMBER 924704307

LEVEL 1, 11A MURRAY STREET
M: 0492 597 960
E: jane@formationdrafting.com.au



DO NOT SCALE DRAWINGS.
USE WRITTEN DIMENSIONS ONLY.
BUILDERS & CONTRACTORS TO CHECK
AND VERIFY ALL DIMENSION AND LEVELS
PRIOR TO STARTING ANY WORK ON SITE.
ANY DISCREPANCIES NEED TO BE REPORTED
TO FORMATION DESIGN & DRAFTING.

PROPOSAL:
EXTENSION & RENOVATION

Client:
DANIELLA POLITA

PROJECT ADDRESS:
7 RIBBON GUM COURT MOUNT
NELSON TAS 7030

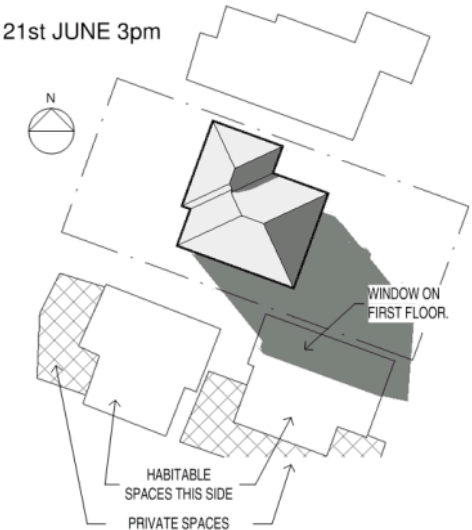
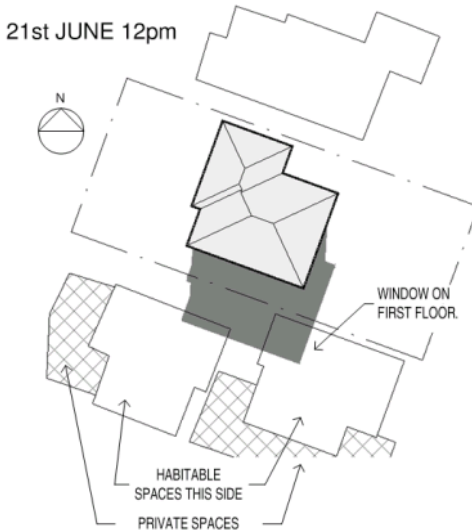
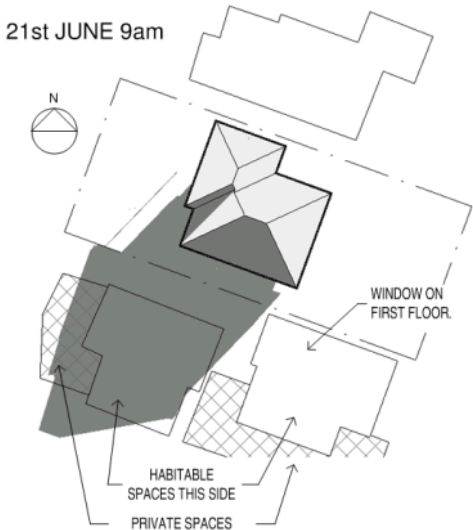
REVISION #	DESCRIPTION	DATE
A	POINT CLOUD ADDED	18/01/21

Phase: DEVELOPMENT APPLICATION
Sheet: SECTION - BUILDING ENVELOPE
Drawn: J.ROBERTS
Scale: 1 : 50
Size: A3 **Date:** 14/12/20

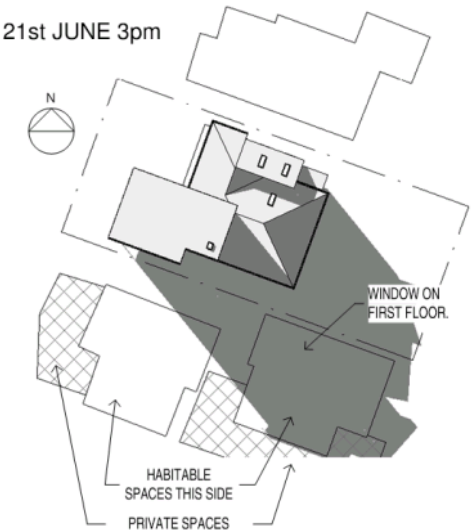
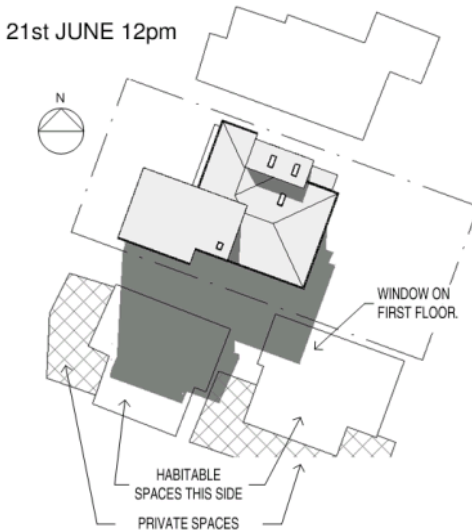
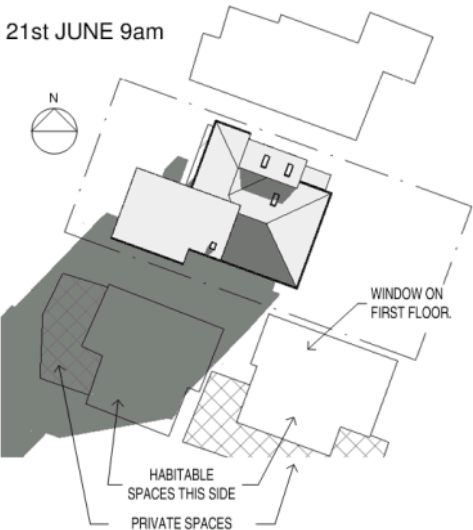
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Project: 20001
Sheet: A290
Rev: A

EXISTING



PROPOSED



FORMATION
DESIGN & DRAFTING
JANE HADLEY
BUILDING DESIGNER (DOMESTIC)
LICENSE NUMBER 924704307
LEVEL 1, 11A MURRAY STREET
M: 0492 597 960
E: jane@formationdrafting.com.au



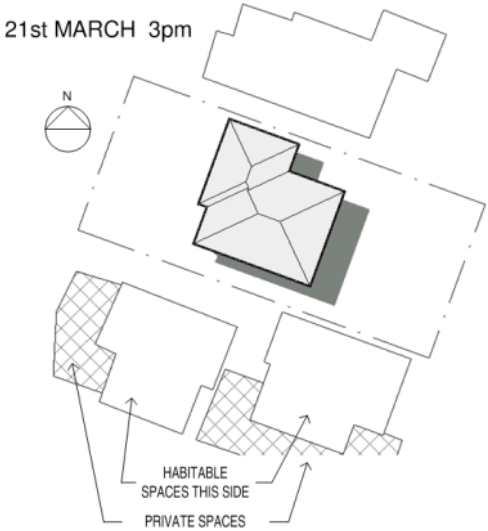
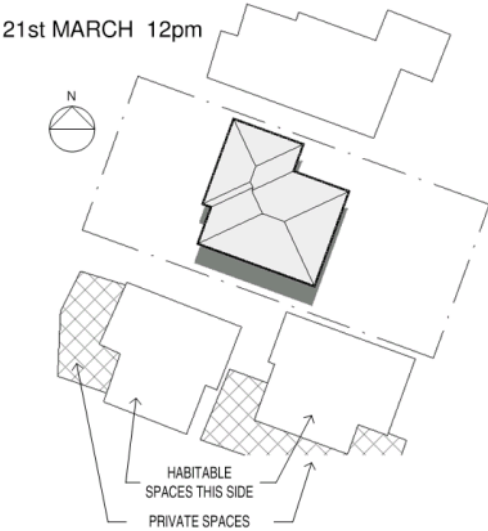
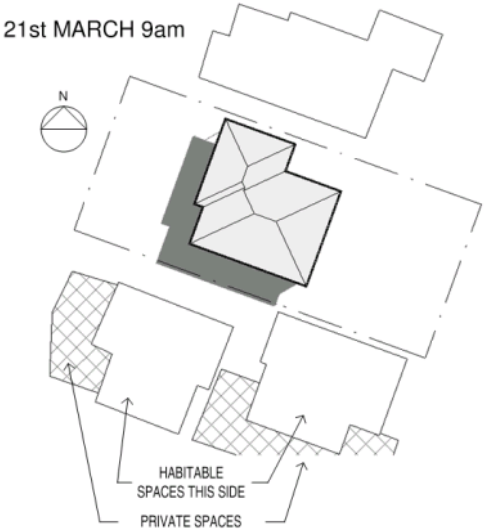
DO NOT SCALE DRAWINGS.
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PROPOSAL:
EXTENSION & RENOVATION
Client:
DANIELLA POLITA
PROJECT ADDRESS:
7 RIBBON GUM COURT MOUNT
NELSON TAS 7030

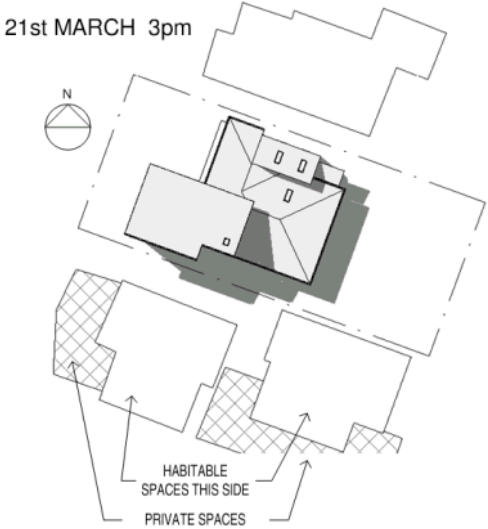
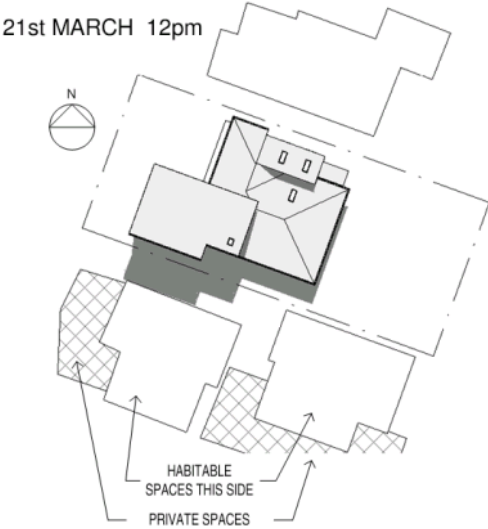
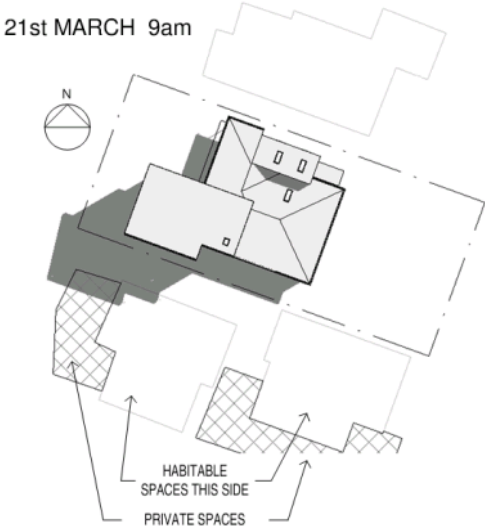
REVISION #	DESCRIPTION	DATE
A	DEVELOPMENT APPLICATION	16/11/20
B	ADDITIONAL DA INFORMATION	14/12/20
C	POINT CLOUD ADDED	18/01/21

Phase: DEVELOPMENT APPLICATION
Sheet: SHADOW-DIAGRAMS-JUNE
Drawn: J.ROBERTS
Scale: 1 : 500
0 500 1000 2500
SCALE: 1:100
Project: 20001
Size: A3
Date: 14/12/20
Sheet: A131
Rev: C

EXISTING



PROPOSED



FORMATION
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PROPOSAL:
EXTENSION & RENOVATION

Client:
DANIELLA POLITA
PROJECT ADDRESS:
7 RIBBON GUM COURT MOUNT
NELSON TAS 7030

REVISION #	DESCRIPTION	DATE
A	ADDITIONAL DA INFORMATION	03/12/20
B	POINT CLOUD ADDED	18/01/21

Phase: DEVELOPMENT APPLICATION
Sheet: SHADOW-DIAGRAMS-MARCH
Drawn: Author
Scale: 1 : 500
0 500 1000 2500
SCALE: 1:100
Project: 20001
Size: A3 **Date:** 14/12/20
Sheet: A132 **Rev:** B

JUNE 21ST



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PROPOSAL:
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Client:
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PROJECT ADDRESS:
7 RIBBON GUM COURT MOUNT
NELSON TAS 7030

REVISION #	DESCRIPTION	DATE
A	POINT CLOUD ADDED	18/01/21

Phase: DEVELOPMENT APPLICATION
Sheet: UNIT 9A - EXISTING SHADOWS - 9am
Drawn: J.ROBERTS
Scale: 0 500 1000 2500
SCALE: 1:100
Project: 20001
Size: A3 **Date:** 14/12/20
Sheet: A951 **Rev:** A

JUNE 21ST



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REVISION #	DESCRIPTION	DATE
A	POINT CLOUD ADDED	18/01/21

Phase: DEVELOPMENT APPLICATION
Sheet: UNIT 9A - EXISTING SHADOWS - 12pm
Drawn: J.ROBERTS
Scale: 0 500 1000 2500
SCALE: 1:100
Project: 20001
Size: A3 **Date:** 14/12/20
Sheet: A952 **Rev:** A

JUNE 21ST



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REVISION #	DESCRIPTION	DATE
A	POINT CLOUD ADDED	18/01/21

Phase: DEVELOPMENT APPLICATION
Sheet: UNIT 9A - EXISTING SHADOWS - 3pm
Drawn: J.ROBERTS
Scale: 0 500 1000 2500
SCALE: 1:100
Project: 20001
Size: A3 **Date:** 14/12/20
Sheet: A953 **Rev:** A

JUNE 21ST



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Phase: DEVELOPMENT APPLICATION
Sheet: UNIT 9A - NEW SHADOWS - 9am
Drawn: J.ROBERTS
Scale: **Size:** A3 **Date:** 14/12/20
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SCALE: 1:100
Project: 20001
Sheet: A954 **Rev:** A

JUNE 21ST



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REVISION #	DESCRIPTION	DATE
A	POINT CLOUD ADDED	18/01/21

Phase: DEVELOPMENT APPLICATION
Sheet: UNIT 9A - NEW SHADOWS - 12pm
Drawn: J.ROBERTS
Scale: 0 5000 10000 25000
SCALE: 1:100
Project: 20001
Size: A3 **Date:** 14/12/20
Sheet: A955 **Rev:** A

JUNE 21ST



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7 RIBBON GUM COURT MOUNT
NELSON TAS 7030

REVISION #	DESCRIPTION	DATE
A	POINT CLOUD ADDED	18/01/21

Phase: DEVELOPMENT APPLICATION
Sheet: UNIT 9A - NEW SHADOWS - 3pm
Drawn: J.ROBERTS
Scale: **Size:** A3 **Date:** 14/12/20
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SCALE: 1:100
Project: 20001
Sheet: A956 **Rev:** A

JUNE 21ST



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7 RIBBON GUM COURT MOUNT
NELSON TAS 7030

REVISION #	DESCRIPTION	DATE
A	POINT CLOUD ADDED	18/01/21

Phase: DEVELOPMENT APPLICATION
Sheet: UNIT 9B - EXISTING SHADOWS - 9am
Drawn: J.ROBERTS
Scale: 0 500 1000 2500
SCALE: 1:100
Project: 20001
Size: A3 **Date:** 14/12/20
Sheet: A957 **Rev:** A

JUNE 21ST



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PROPOSAL:
EXTENSION & RENOVATION

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REVISION #	DESCRIPTION	DATE
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Phase: DEVELOPMENT APPLICATION
Sheet: UNIT 9B - EXISTING SHADOWS - 12pm
Drawn: J.ROBERTS
Scale: **Size:** A3 **Date:** 14/12/20
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SCALE: 1:100
Project: 20001
Sheet: A958 **Rev:** A

JUNE 21ST



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REVISION #	DESCRIPTION	DATE
A	POINT CLOUD ADDED	18/01/21

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Sheet: UNIT 9B - EXISTING SHADOWS - 3pm
Drawn: J.ROBERTS
Scale: 0 500 1000 2500
SCALE: 1:100
Project: 20001
Size: A3 **Date:** 14/12/20
Sheet: A959 **Rev:** A

JUNE 21ST



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7 RIBBON GUM COURT MOUNT
NELSON TAS 7030

REVISION #	DESCRIPTION	DATE
A	POINT CLOUD ADDED	18/01/21

Phase: DEVELOPMENT APPLICATION
Sheet: UNIT 9B - NEW SHADOWS - 9am
Drawn: J.ROBERTS
Scale: **Size:** A3 **Date:** 14/12/20
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SCALE: 1:100
Project: 20001
Sheet: A960 **Rev:** A

JUNE 21ST



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PROPOSAL:
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PROJECT ADDRESS:
7 RIBBON GUM COURT MOUNT
NELSON TAS 7030

REVISION #	DESCRIPTION	DATE
A	POINT CLOUD ADDED	18/01/21

Phase: DEVELOPMENT APPLICATION
Sheet: UNIT 9B - NEW SHADOWS - 12pm
Drawn: J.ROBERTS
Scale: **Size:** A3 **Date:** 14/12/20
0 500 1000 2500
SCALE: 1:100
Project: 20001
Sheet: **Rev:**
A961 A

JUNE 21ST



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7 RIBBON GUM COURT MOUNT
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REVISION #	DESCRIPTION	DATE
A	POINT CLOUD ADDED	18/01/21

Phase: DEVELOPMENT APPLICATION
Sheet: UNIT 9B - NEW SHADOWS - 3pm
Drawn: J.ROBERTS
Scale: **Size:** A3 **Date:** 14/12/20
0 500 1000 2500
SCALE: 1:100
Project: 20001
Sheet: A962 **Rev:** A

**7.1.4 1/1A FISHER AVENUE, SANDY BAY ADJACENT ROAD RESERVE -
PARTIAL DEMOLITION, ALTERATIONS AND EXTENSION
PLN-20-713 - FILE REF: F21/8923**

Address: 1/1A Fisher Avenue, Sandy Bay and Adjacent Road Reserve

Proposal: Partial Demolition, Alterations and Extension

Expiry Date: 17 March 2021

Extension of Time: Not applicable

Author: Michael McClenahan

RECOMMENDATION

That pursuant to the *Hobart Interim Planning Scheme 2015*, the City Planning Committee, in accordance with the delegations contained in its terms of reference, approve the application for partial demolition, alterations and extension, at 1/1A Fisher Avenue, Sandy Bay and adjacent road reserve for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

GEN

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-20-713 - 1 1A FISHER AVENUE SANDY BAY TAS 7005 - Final Planning Documents except where modified below.

Reason for condition

To clarify the scope of the permit.

ENG sw1

All stormwater from the proposed development (including but not limited to: roofed areas, ag drains, retaining wall ag drains and impervious surfaces such as driveways and paved areas) must be drained to the Council's stormwater infrastructure prior to first occupation or commencement of use (whichever occurs first).

Advice:

Under section 23 of the Urban Drainage Act 2013 it is an offence for a property owner to direct stormwater onto a neighbouring property.

Reason for condition

To ensure that stormwater from the site will be discharged to a suitable Council approved outlet.

ENG 3a

The access driveway, and parking module (parking spaces, aisles and manoeuvring area) must be designed and constructed in accordance with Australian Standard AS/NZS2890.1:2004 (including the requirement for vehicle safety barriers where required), or a Council approved alternate design certified by a suitably qualified engineer to provide a safe and efficient access, and enable safe, easy and efficient use.

Advice:

It is advised that designers consider the detailed design of the access and parking module prior to finalising the Finished Floor Level (FFL) of the parking spaces (especially if located within a garage incorporated into the dwelling), as failure to do so may result in difficulty complying with this condition.

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

ENG 4

The access driveway and parking module (car parking spaces, aisles and manoeuvring area) approved by this permit must be constructed to a sealed standard (spray seal, asphalt, concrete, pavers or equivalent Council approved) and surface drained to the Council's stormwater infrastructure prior to the commencement of use.

Reason for condition

To ensure the safety of users of the access driveway and parking module, and that it does not detract from the amenity of users, adjoining occupiers or the environment by preventing dust, mud and sediment transport.

ENG 1

Any damage to council infrastructure resulting from the implementation of this permit, must, at the discretion of the Council:

- 1. Be met by the owner by way of reimbursement (cost of repair and reinstatement to be paid by the owner to the Council); or**
- 2. Be repaired and reinstated by the owner to the satisfaction of the Council.**

A photographic record of the Council's infrastructure adjacent to the subject site must be provided to the Council prior to any commencement of works.

A photographic record of the Council's infrastructure (e.g. existing property service connection points, roads, buildings, stormwater, footpaths, driveway crossovers and nature strips, including if any, pre-existing damage) will be relied upon to establish the extent of damage caused to the Council's infrastructure during construction. In the event that the owner/developer fails to provide to the Council a photographic record of the Council's infrastructure, then any damage to the Council's infrastructure found on completion of works will be deemed to be the responsibility of the owner.

Reason for condition

To ensure that any of the Council's infrastructure and/or site-related service connections affected by the proposal will be altered and/or reinstated at the owner's full cost.

ENG r1

The excavation and/or earth-retaining structures (ie embankments, cuttings, retaining walls) within or supporting the highway reservation must not undermine the stability and integrity of the highway reservation and its infrastructure.

Detailed design drawings, structural certificates of the proposed retaining structure within the Fisher Avenue highway reservation must be submitted and approved, prior to any approval under the *Building Act 2016* or the commencement of work (whichever occurs first) and must:

- 1. Be prepared and certified by a suitable qualified person and experienced engineer;**
- 2. Not undermine the stability of the highway reservation;**
- 3. Be designed in accordance with AS4678, with a design life in accordance with table 3.1 typical application major public infrastructure works;**
- 4. Take into account any additional surcharge loadings as required by relevant Australian Standards;**
- 5. Detail the design and location of the footing adjacent to Fisher Avenue highway reservation;**
- 6. Include structure certificate which notes the proposed retaining structure can support the ground above sufficiently and will not undermine the stability and integrity of the highway reservation and its infrastructure; and**
- 7. The structure certificated and/or drawings should note accordingly the above.**

All work required by this condition must be undertaken in accordance with the approved select design drawing and structural certificates.

Advice:

The applicant is required submit detailed design documentation to satisfy this condition via Council's planning condition endorsement process (noting there is a fee associated with condition endorsement approval of engineering drawings [see general advice on how to obtain condition endorsement and for fees and charges]). This is a

separate process to any building approval under the Building Act 2016.

Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.

Reason for condition

To ensure that the stability and integrity of the Council's highway reservation is not compromised by the development.

ENV 1

Sediment and erosion control measures sufficient to prevent sediment from leaving the site must be installed prior to any disturbance of the site, and maintained until all areas of disturbance have been stabilized or re-vegetated.

Advice:

For further guidance in preparing a Soil and Water Management Plan – in accordance with Fact sheet 3 Derwent Estuary Program click [here](#).

Reason for condition

To avoid the sedimentation of roads, drains, natural watercourses, Council land that could be caused by erosion and runoff from the development, and to comply with relevant State legislation.

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

CONDITION ENDORSEMENT ENGINEERING

All engineering drawings required to be submitted and approved by this planning permit must be submitted to the City of Hobart as a CEP (Condition Endorsement) via the City's [Online Service Development Portal](#). When lodging a CEP, please reference the PLN number of the associated Planning Application. Each CEP must also include an estimation of the cost of works shown on the submitted engineering drawings. Once that estimation has been confirmed by the City's Engineer, the following fees are payable for each CEP submitted and must be paid prior to the City of Hobart commencing assessment of the engineering drawings in each CEP:

Value of Building Works Approved by Planning Permit Fee:

Over \$20,000: 2% of the value of the works as assessed by the City's Engineer per assessment.

These fees are additional to building and plumbing fees charged under the Building and Plumbing Regulations.

Once the CEP is lodged via the [Online Service Development Portal](#), if the value of building works approved by your planning permit is over \$20,000, please contact the City's Development Engineer on 6238 2715 to confirm the estimation of the cost of works shown on the submitted engineering drawings has been accepted.

Once confirmed, please call one of the City's Customer Service Officers on 6238

2190 to make payment, quoting the reference number (ie. CEP number) of the Condition Endorsement you have lodged. Once payment is made, your engineering drawings will be assessed.

BUILDING PERMIT

You may need building approval in accordance with the *Building Act 2016*. Click [here](#) for more information.

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

PLUMBING PERMIT

You may need plumbing approval in accordance with the *Building Act 2016*, *Building Regulations 2016* and the National Construction Code. Click [here](#) for more information.

OCCUPATION OF THE PUBLIC HIGHWAY

You may require a permit for the occupation of the public highway for construction or special event (e.g. placement of skip bin, crane, scissor lift etc). Click [here](#) for more information.

You may require an occupational license for structures in the Hobart City Council highway reservation, in accordance with conditions to be established by the Council. Click [here](#) for more information.

You may require a Permit to Open Up and Temporarily Occupy a Highway (for work in the road reserve). Click [here](#) for more information.

STORMWATER

Please note that in addition to a building and/or plumbing permit, development must be in accordance with the Hobart City Council's Infrastructure By law. Click [here](#) for more information.

WORK WITHIN THE HIGHWAY RESERVATION

Please note development must be in accordance with the Hobart City Council's Infrastructure By law. Click [here](#) for more information.

DRIVEWAY SURFACING OVER HIGHWAY RESERVATION

If a coloured or textured surface is used for the driveway access within the Highway Reservation, the Council or other service provider will not match this on any reinstatement of the driveway access within the Highway Reservation required in the future.

COUNCIL RESERVES

This permit does not authorise any works on the adjoining Council land. Any act that causes, or is likely to cause, damage to Council's land may be in breach of Council's Public Spaces By-law and penalties may apply. A permit is required for works on Council land. The by-law is available [here](#).

WEED CONTROL

Effective measures are detailed in the Tasmanian Washdown Guidelines for Weed and Disease Control: Machinery, Vehicles and Equipment (Edition 1, 2004). The guidelines can be obtained from the Department of Primary Industries, Parks, Water and Environment [website](#).

WORK PLACE HEALTH AND SAFETY

Appropriate occupational health and safety measures must be employed during the works to minimise direct human exposure to potentially-contaminated soil, water, dust and vapours. Click [here](#) for more information.

NOISE REGULATIONS

Click [here](#) for information with respect to noise nuisances in residential areas.

WASTE DISPOSAL

It is recommended that the developer liaise with the Council's Cleansing and Solid Waste Unit regarding reducing, reusing and recycling materials associated with demolition on the site to minimise solid waste being directed to landfill.



Further information regarding waste disposal can also be found on the Council's [website](#).

FEES AND CHARGES

Click [here](#) for information on the Council's fees and charges.

DIAL BEFORE YOU DIG

Click [here](#) for dial before you dig information.

- | | |
|---------------|---|
| Attachment A: | PLN-20-713 - 1/1A FISHER AVENUE SANDY BAY
TAS 7005 - Planning Committee or Delegated
Report ↓  |
| Attachment B: | PLN-20-713 - 1/1A FISHER AVENUE SANDY BAY
TAS 7005 - CPC Agenda Documents ↓  |

**APPLICATION UNDER HOBART INTERIM PLANNING SCHEME 2015**

Type of Report: Committee

Committee: 15 February 2021

Expiry Date: 17 March 2021

Application No: PLN-20-713

Address: 1 / 1 A FISHER AVENUE , SANDY BAY
ADJACENT ROAD RESERVE

Applicant: Richard Loney (Dock 4 Architects)
level 2, 100 Collins St
level 2, 100 Collins St

Proposal: Partial Demolition, Alterations and Extension

Representations: Zero

Performance criteria: General Residential Zone Development Standards
Parking and Access Code

1. Executive Summary

- 1.1 Planning approval is sought for Partial Demolition, Alterations and Extension, at 1/1A Fisher Avenue, Sandy Bay and Adjacent Road Reserve.
- 1.2 More specifically the proposal includes:
- Removal of existing driveway and partial demolition of ground floor entry
 - Excavation to create sub-floor carport and construction of new driveway
 - Construction of new retaining wall in the Fisher Avenue Road Reserve
 - Construction of ground floor extension on south east and north west elevations to create gym, laundry, atrium, and new entry
 - Internal alterations to upper floor
 - Landscaping to create terrace and courtyard to the rear of the existing dwelling
- 1.3 The proposal relies on performance criteria to satisfy the following standards and codes:
- 1.3.1 General Residential Zone -Setbacks and Building Envelope
 - 1.3.2 Parking and Access Code -Design of Vehicular Accesses

- 1.4 No representations were received during the statutory advertising period between 14/01/21 - 29/01/21.
- 1.5 The proposal is recommended for approval subject to conditions.
- 1.6 The final decision is delegated to the City Planning Committee, because the proposal includes works in the Adjacent Road Reserve

2. Site Detail

- 2.1 The subject site is located at 1/1A Fisher Avenue, Sandy Bay and comprises a detached two storey multiple dwelling which forms part of a large strata complex of five (5) other multiple dwellings. The site features a primary frontage with Sandy Bay Road to the north and a secondary frontage to Fisher Avenue to the south east, which also features two vehicle crossovers providing access to the site. The subject site is approximately 391m² in size with the common property encompassing a total of 769m² of area. The surrounding area is characterised by primarily residential uses in the immediate area to the east, south and west with public recreation grounds to the north at Sandown Park, and commercial uses and restaurants to the north east in the area adjoining Long Beach.

A site inspection was not undertaken due to the availability of desktop resources.



Figure 1: Aerial image of the subject site (highlighted in yellow) and common title boundary (in blue) in context of immediate surrounding area.

3. Proposal

- 3.1 Planning approval is sought for Partial Demolition, Alterations and Extension, at 1/1A Fisher Avenue, Sandy Bay and Adjacent Road Reserve.

3.2 More specifically the proposal is for:

- Removal of existing driveway and partial demolition of ground floor entry
- Excavation to create sub-floor carport and construction of new driveway
- Construction of new retaining wall in the Fisher Avenue Road Reserve
- Construction of ground floor extension on south east and north west elevations to create gym, laundry, atrium, and new entry
- Internal alterations to upper floor
- Landscaping to create terrace and courtyard to the rear of the existing dwelling

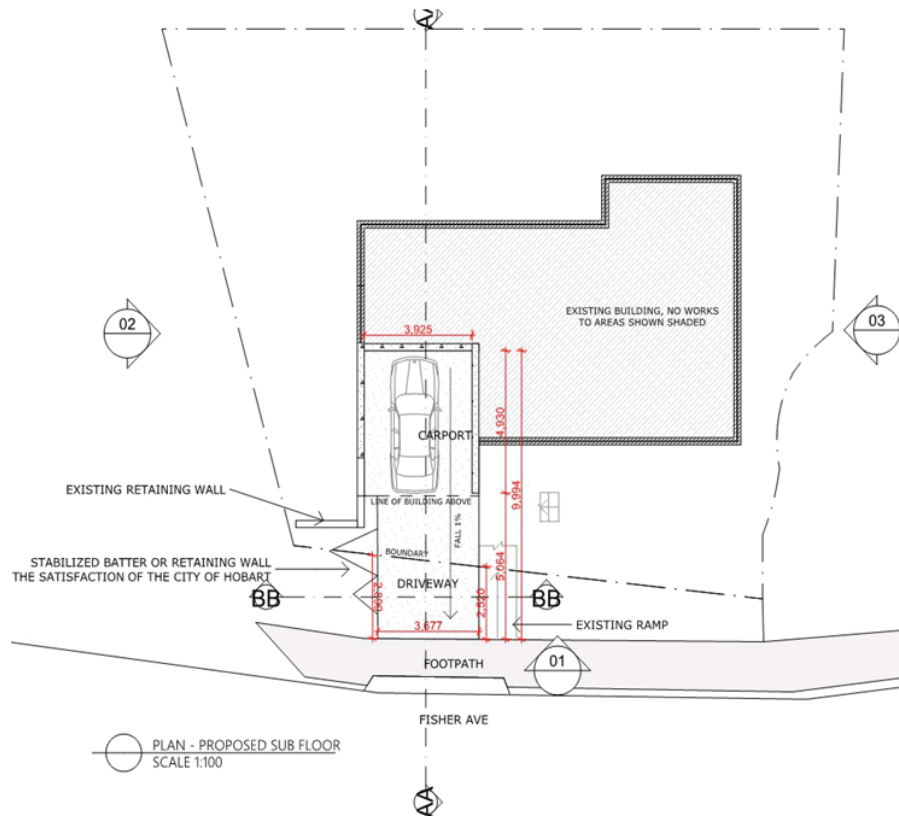


Figure 2: Proposed sub-floor plan illustrating proposed works in the Road Reserve.

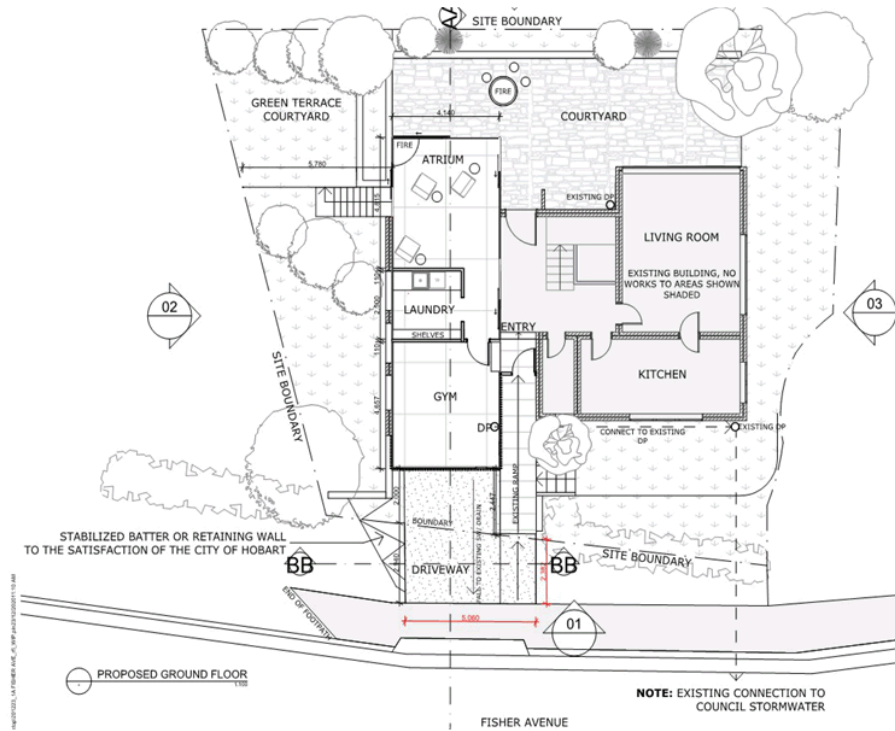


Figure 3: Proposed ground floor plan.

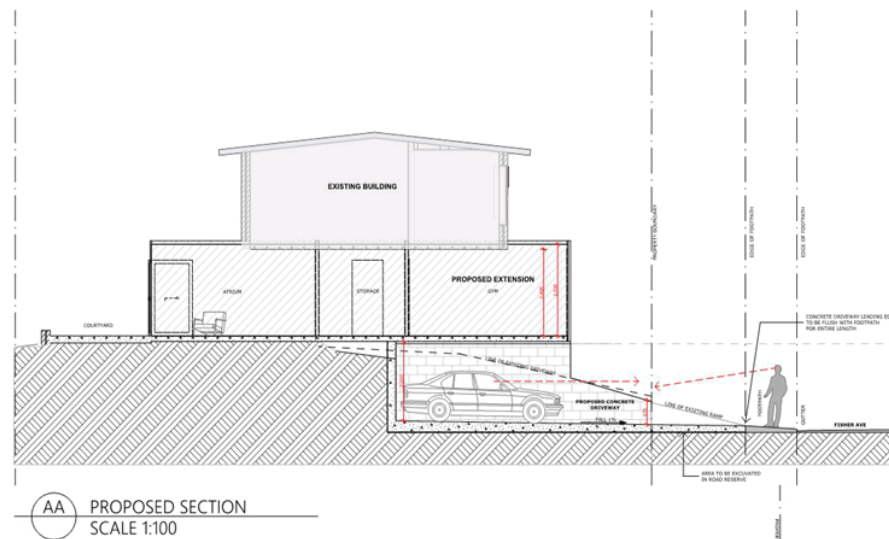


Figure 4: Section of subject site illustrating proposed excavation and extension.

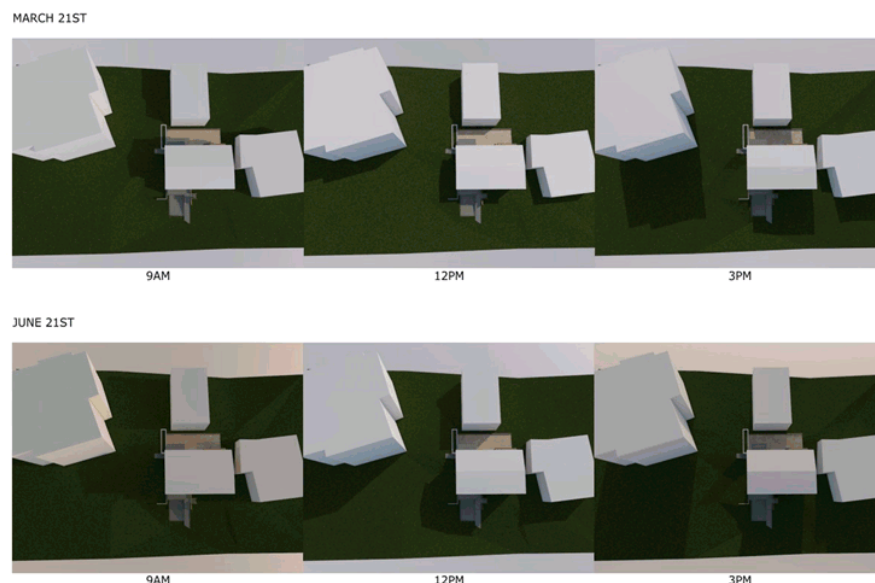


Figure 5: Shadow diagrams from dwelling and proposed extension on March and June 21st.

4. Background

- 4.1 There is no relevant background for this application.

5. Concerns raised by representors

- 5.1 No representations were received during the statutory advertising period between 14/01/21 - 29/01/21.

6. Assessment

- 6.1 The *Hobart Interim Planning Scheme 2015* is a performance based planning scheme. To meet an applicable standard, a proposal must demonstrate compliance with either an acceptable solution or a performance criterion. Where a proposal complies with a standard by relying on one or more performance criteria, the Council may approve or refuse the proposal on that basis. The ability to approve or refuse the proposal relates only to the performance criteria relied on.
- 6.2 The site is located within the General Residential Zone of the *Hobart Interim*

Planning Scheme 2015.

- 6.3 The existing use is Residential (multiple dwelling). There is no proposed change of use. The existing use is a permitted use in the zone.
- 6.4 The proposal has been assessed against:
- 6.4.1 D10.0 General Residential Zone
 - 6.4.2 E6.0 Parking and Access Code
 - 6.4.3 E7.0 Stormwater Management Code
- 6.5 The proposal relies on the following performance criteria to comply with the applicable standards:
- 6.5.1 General Residential Zone:
Setbacks and Building Envelope – D10.4.2 P1: P3
 - 6.5.2 Parking and Access Code:
Design of Vehicular Accesses - E6.7.2 P1
- 6.6 Each performance criterion is assessed below.
- 6.7 Setback and Building Envelope D10.4.2 P1
- 6.7.1 The acceptable solution at clause 10.4.2 A1 requires a dwelling must have a setback of at least 3m from a frontage that is not a primary frontage.
 - 6.7.2 The proposal includes work that will see a setback of 2m from the Fisher Avenue frontage, which is the site's secondary frontage.
 - 6.7.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.
 - 6.7.4 The performance criterion at clause 10.4.2 P1 provides as follows:
A dwelling must:

(a) have a setback from a frontage that is compatible with the existing dwellings in the street, taking into account any topographical constraints; and

(b) if abutting a road identified in Table 10.4.2, include additional design elements that assist in attenuating traffic noise or any other detrimental impacts associated with proximity to the road.

6.7.5 The neighbouring building on the same common lot which has a setback of approximately 2.3m from the Fisher Avenue frontage. The dwelling opposite the subject site, 601 Sandy Bay Road, also features a frontage setback of approximately 2m. These examples in the immediate proximity demonstrates that the proposed frontage setback will remain compatible with the existing dwellings on the street.

6.7.6 The proposal complies with the performance criterion.

6.8 Setback and Building Envelope D10.4.2 P3

6.8.1 The acceptable solution at clause 10.4.2 A3 requires a dwelling must be contained within a building envelope determined by a distance equal to the frontage setback which is 3m for a frontage that is not a primary frontage.

6.8.2 The proposed extension will have a setback of 2m from the Fisher Avenue frontage.

6.8.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.

6.8.4 The performance criterion at clause 10.4.2 P3 provides as follows:

The siting and scale of a dwelling must:

(a) not cause unreasonable loss of amenity by:

(i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining lot; or

(ii) overshadowing the private open space of a dwelling on an adjoining lot; or

(iii) overshadowing of an adjoining vacant lot; or

(iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining lot; and

(b) provide separation between dwellings on adjoining lots that is compatible with that prevailing in the surrounding area.

- 6.8.5 The recent Tribunal decision of *McCullagh v Glamorgan Spring Bay Council and Ors*, which specifically considered this clause, determined that once a proposal extends outside the acceptable solution building envelope, a detailed assessment of the performance criterion must be carried out, without reference to the acceptable solution. That is, the permitted building envelope does not provide the test of 'reasonableness' against which a discretionary application is assessed. Instead, the development must be assessed on its merits against the provisions of the performance criterion; that is, (a) does the development cause an unreasonable loss of amenity to neighbours by reduction in sunlight to a habitable room (other than a bedroom), overshadowing of private open space, or visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining lot, and (b) does the development provide separation between dwellings on adjoining lots that is compatible with that prevailing in the vicinity?

Shadow diagrams provided by the applicant illustrate that overshadowing from the dwelling and proposed extensions on March 21st and June 21st (Figure 5) illustrate that the projected shadows will only impact upon the front garden area of the adjacent property, to the west, at 3 Fisher Avenue. The greatest extent of overshadowing will be at 9:00am on June 21st with shadows extending across the front garden area. This shadow will reduce to smaller extent by 12:00pm and be almost entirely clear of the adjoining lot by 3:00pm. No overshadowing will impact the dwelling and therefore will not cause a reduction in sunlight to a habitable room. Whilst some gardens and open space will be overshadowed the area impacted is considered only a small proportion of the total private open space on the site and for a period only in the morning hours. Given such impacts it is assessed that the impacts are not considered to be to an extent that would represent an unreasonable loss of amenity.

With respect to visual impacts, the proposed extension to the front and rear of the dwelling will be only a single storey level and therefore remain proportionate with the existing dwelling. The design will not be out of scale and not present any increased form or bulk along the side boundaries. When viewed from the adjoining lots it is considered that the proposed extensions will not cause visual impacts that would result in an unreasonable loss of amenity.

The proposed extensions will not alter the existing setbacks between

dwelling and therefore the provided separation is assessed as remaining compatible with that prevailing in the surrounding area.

6.8.6 The proposal complies with the performance criterion.

6.9 Design of Vehicular Accesses - E6.7.2 P1

6.9.1 The acceptable solution at clause 6.7.2 A1 requires that in the case of non-commercial vehicle access, the location, sight distance, width and gradient of an access must be designed and constructed to comply with section 3 – “Access Facilities to Off-street Parking Areas and Queuing Areas” of AS/NZS 2890.1:2004 Parking Facilities Part 1: Off-street car parking;”.

6.9.2 The proposal includes an update vehicle access to Fisher Avenue which does not comply with the Australian Standards.

6.9.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.

6.9.4 The performance criterion at clause 6.7.2 P1 provides as follows:

Design of vehicle access points must be safe, efficient and convenient, having regard to all of the following:

(a) avoidance of conflicts between users including vehicles, cyclists and pedestrians;

(b) avoidance of unreasonable interference with the flow of traffic on adjoining roads;

(c) suitability for the type and volume of traffic likely to be generated by the use or development;

(d) ease of accessibility and recognition for users.

6.9.5 Referral was made to Council's Development Engineer who has provided the following assessment:

Based on the above assessment and given the submitted documentation, sight lines that may be accepted under Performance Criteria P1:E6.7.2 of the Planning Scheme. Given the location of the access and driveway, and the low volume of traffic on the road from which the property gains

access.

6.9.6 The proposal complies with the performance criterion.

7. Discussion

- 7.1 Planning approval is sought for Partial Demolition, Alterations and Extension, at 1/1A Fisher Avenue, Sandy Bay and Adjacent Road Reserve.
- 7.2 The application was advertised and no representations were received.
- 7.3 The proposal has been assessed against the relevant provisions of the planning scheme and is considered to perform well.
- 7.4 The proposal has been assessed by other Council officers, including the Council's Development Engineer, and Roads Engineer. The officers have raised no objection to the proposal, subject to conditions.
- 7.5 The proposal is recommended for approval.

8. Conclusion

- 8.1 The proposed Partial Demolition, Alterations and Extension, at 1/1A Fisher Avenue, Sandy Bay and Adjacent Road Reserve satisfies the relevant provisions of the *Hobart Interim Planning Scheme 2015*, and as such is recommended for approval.

9. Recommendations

That: Pursuant to the *Hobart Interim Planning Scheme 2015*, the City Planning Committee, in accordance with the delegations contained in its terms of reference, approve the application for Partial Demolition, Alterations and Extension, at 1/1A Fisher Avenue, Sandy Bay and Adjacent Road Reserve for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

GEN

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-20-713 - 1 1A FISHER AVENUE SANDY BAY TAS 7005 - Final Planning Documents except where modified below.

Reason for condition

To clarify the scope of the permit.

ENG sw1

All stormwater from the proposed development (including but not limited to: roofed areas, ag drains, retaining wall ag drains and impervious surfaces such as driveways and paved areas) must be drained to the Council's stormwater infrastructure prior to first occupation or commencement of use (whichever occurs first).

Advice: Under section 23 of the Urban Drainage Act 2013 it is an offence for a property owner to direct stormwater onto a neighbouring property.

Reason for condition

To ensure that stormwater from the site will be discharged to a suitable Council approved outlet.

ENG 3a

The access driveway, and parking module (parking spaces, aisles and manoeuvring area) must be designed and constructed in accordance with Australian Standard AS/NZS2890.1:2004 (including the requirement for vehicle safety barriers where required), or a Council approved alternate design

certified by a suitably qualified engineer to provide a safe and efficient access, and enable safe, easy and efficient use.

Advice:

- *It is advised that designers consider the detailed design of the access and parking module prior to finalising the Finished Floor Level (FFL) of the parking spaces (especially if located within a garage incorporated into the dwelling), as failure to do so may result in difficulty complying with this condition.*

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

ENG 4

The access driveway and parking module (car parking spaces, aisles and manoeuvring area) approved by this permit must be constructed to a sealed standard (spray seal, asphalt, concrete, pavers or equivalent Council approved) and surface drained to the Council's stormwater infrastructure prior to the commencement of use.

Reason for condition

To ensure the safety of users of the access driveway and parking module, and that it does not detract from the amenity of users, adjoining occupiers or the environment by preventing dust, mud and sediment transport.

ENG 1

Any damage to council infrastructure resulting from the implementation of this permit, must, at the discretion of the Council:

1. **Be met by the owner by way of reimbursement (cost of repair and reinstatement to be paid by the owner to the Council); or**
2. **Be repaired and reinstated by the owner to the satisfaction of the Council.**

A photographic record of the Council's infrastructure adjacent to the subject site must be provided to the Council prior to any commencement of works.

A photographic record of the Council's infrastructure (e.g. existing property

service connection points, roads, buildings, stormwater, footpaths, driveway crossovers and nature strips, including if any, pre-existing damage) will be relied upon to establish the extent of damage caused to the Council's infrastructure during construction. In the event that the owner/developer fails to provide to the Council a photographic record of the Council's infrastructure, then any damage to the Council's infrastructure found on completion of works will be deemed to be the responsibility of the owner.

Reason for condition

To ensure that any of the Council's infrastructure and/or site-related service connections affected by the proposal will be altered and/or reinstated at the owner's full cost.

ENG r1

The excavation and/or earth-retaining structures (ie embankments, cuttings, retaining walls) within or supporting the highway reservation must not undermine the stability and integrity of the highway reservation and its infrastructure.

Detailed design drawings, structural certificates of the proposed retaining structure within the Fisher Avenue highway reservation must be submitted and approved, prior to any approval under the *Building Act 2016* or the commencement of work (whichever occurs first) and must:

1. Be prepared and certified by a suitable qualified person and experienced engineer;
2. Not undermine the stability of the highway reservation
3. Be designed in accordance with AS4678, with a design life in accordance with table 3.1 typical application major public infrastructure works
4. Take into account any additional surcharge loadings as required by relevant Australian Standards.
5. Detail the design and location of the footing adjacent to Fisher Avenue highway reservation
6. Include structure certificate which notes the proposed retaining structure can support the ground above sufficiently and will not undermine the stability and integrity of the highway reservation and its infrastructure
7. The structure certificated and/or drawings should note accordingly the above

All work required by this condition must be undertaken in accordance with the approved select design drawing and structural certificates.

Advice:

- *The applicant is required submit detailed design documentation to satisfy this condition via Council's planning condition endorsement process (noting there is a fee associated with condition endorsement approval of engineering drawings [see general advice on how to obtain condition endorsement and for fees and charges]). This is a separate process to any building approval under the Building Act 2016.*
- *Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.*

Reason for condition

To ensure that the stability and integrity of the Council's highway reservation is not compromised by the development.

ENV 1

Sediment and erosion control measures sufficient to prevent sediment from leaving the site must be installed prior to any disturbance of the site, and maintained until all areas of disturbance have been stabilized or re-vegetated.

Advice: For further guidance in preparing a Soil and Water Management Plan – in accordance with Fact sheet 3 Derwent Estuary Program click [here](#).

Reason for condition

To avoid the sedimentation of roads, drains, natural watercourses, Council land that could be caused by erosion and runoff from the development, and to comply with relevant State legislation.

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

CONDITION ENDORSEMENT ENGINEERING

All engineering drawings required to be submitted and approved by this planning permit must be submitted to the City of Hobart as a CEP (Condition Endorsement) via the City's [Online Service Development Portal](#). When lodging a CEP, please reference the PLN number of the associated Planning Application. Each CEP must also include an estimation of the cost of works shown on the submitted engineering drawings. Once that estimation has been confirmed by the City's Engineer, the following fees are payable for each CEP submitted and must be paid prior to the City of Hobart commencing assessment of the engineering drawings in each CEP:

Value of Building Works Approved by Planning Permit Fee:

- Over \$20,000: 2% of the value of the works as assessed by the City's Engineer per assessment.

These fees are additional to building and plumbing fees charged under the Building and Plumbing Regulations.

Once the CEP is lodged via the [Online Service Development Portal](#), if the value of building works approved by your planning permit is over \$20,000, please contact the City's Development Engineer on 6238 2715 to confirm the estimation of the cost of works shown on the submitted engineering drawings has been accepted.

Once confirmed, please call one of the City's Customer Service Officers on 6238 2190 to make payment, quoting the reference number (ie. CEP number) of the Condition Endorsement you have lodged. Once payment is made, your engineering drawings will be assessed.

BUILDING PERMIT

You may need building approval in accordance with the *Building Act 2016*. Click [here](#) for more information.

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

PLUMBING PERMIT

You may need plumbing approval in accordance with the *Building Act 2016*, *Building Regulations 2016* and the National Construction Code. Click [here](#) for more information.

OCCUPATION OF THE PUBLIC HIGHWAY

You may require a permit for the occupation of the public highway for construction or

special event (e.g. placement of skip bin, crane, scissor lift etc). Click [here](#) for more information.

You may require an occupational license for structures in the Hobart City Council highway reservation, in accordance with conditions to be established by the Council. Click [here](#) for more information.

You may require a Permit to Open Up and Temporarily Occupy a Highway (for work in the road reserve). Click [here](#) for more information.

STORM WATER

Please note that in addition to a building and/or plumbing permit, development must be in accordance with the Hobart City Council's Infrastructure By law. Click [here](#) for more information.

WORK WITHIN THE HIGHWAY RESERVATION

Please note development must be in accordance with the Hobart City Council's Infrastructure By law. Click [here](#) for more information.

DRIVEWAY SURFACING OVER HIGHWAY RESERVATION

If a coloured or textured surface is used for the driveway access within the Highway Reservation, the Council or other service provider will not match this on any reinstatement of the driveway access within the Highway Reservation required in the future.

COUNCIL RESERVES

This permit does not authorise any works on the adjoining Council land. Any act that causes, or is likely to cause, damage to Council's land may be in breach of Council's Public Spaces By-law and penalties may apply. A permit is required for works on Council land. The by-law is available [here](#).

WEED CONTROL

Effective measures are detailed in the Tasmanian Washdown Guidelines for Weed and Disease Control: Machinery, Vehicles and Equipment (Edition 1, 2004). The guidelines can be obtained from the Department of Primary Industries, Parks, Water and Environment [website](#).

WORK PLACE HEALTH AND SAFETY

Appropriate occupational health and safety measures must be employed during the works to minimise direct human exposure to potentially-contaminated soil, water, dust and vapours. Click [here](#) for more information.

NOISE REGULATIONS

Click [here](#) for information with respect to noise nuisances in residential areas.

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It is recommended that the developer liaise with the Council's Cleansing and Solid Waste Unit regarding reducing, reusing and recycling materials associated with demolition on the site to minimise solid waste being directed to landfill.

Further information regarding waste disposal can also be found on the Council's [website](#).

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DIAL BEFORE YOU DIG

Click [here](#) for dial before you dig information.



(Michael McClenahan)
Assistant Planner

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.



(Karen Abey)
Manager Development Appraisal

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

Date of Report: 2 February 2021

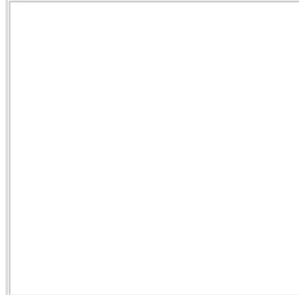
Attachment(s):

Attachment B - CPC Agenda Documents

Planning: #215986

Property

1/1A FISHER AVENUE SANDY BAY TAS 7005

**People**

Applicant

*

Dock 4 Architects
Richard Loney
level 2, 100 Collins St
level 2, 100 Collins St
HOBART TAS 7000
62310469
richard@dock4.com.au

Owner

*

Alexandra Pitt
1A Fisher Avenue
SANDY BAY TAS 7005
0437245588
pitta@fahan.tas.edu.au

Entered By

GEORGINA EAST
62310469
georgina@dock4architects.com.au

Use

Single dwelling

Details

Have you obtained pre application advice?

☐ No

If YES please provide the pre application advice number eg PAE-17-xx

Are you applying for permitted visitor accommodation as defined by the State Government Visitor Accommodation Standards? Click on help information button for definition. If you are not the owner of the property you MUST include signed confirmation from the owner that they are aware of this application.

*

☐ No

Is the application for SIGNAGE ONLY? If yes, please enter \$0 in the cost of development, and you must enter the number of signs under Other Details below.

*

☐ No

If this application is related to an enforcement action please enter Enforcement Number

Details

What is the current approved use of the land / building(s)?

*

Residential

Please provide a full description of the proposed use or development (i.e. demolition and new dwelling, swimming pool and garage)

*

Additions and alterations to existing dwelling and landscaping

Estimated cost of development

*

250000.00

Existing floor area (m2) Proposed floor area (m2) Site area (m2)

0.00 0.00

Carparking on Site

N/A

☐ Other (no selection chosen)

Total parking spaces Existing parking spaces

Other Details

Does the application include signage?

*

☐ No

How many signs, please enter 0 if there are none involved in this application?

*

0

Tasmania Heritage Register

Is this property on the Tasmanian Heritage Register?

• ☐ No

Documents

Required Documents

Title (Folio text and Plan and Schedule of Easements)

*

FolioText-59233-1.pdf

Title (Folio text and Plan and Schedule of Easements)

*

FolioTextCommonLot-59233-1.pdf

Title (Folio text and Plan and Schedule of Easements)

*

FolioPlan-59233-1.pdf

Plans (proposed, existing)

*

201016_1A FISHER AVE_DA.pdf

**RESULT OF SEARCH**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

SEARCH OF TORRENS TITLE

VOLUME 59233	FOLIO 0
EDITION 3	DATE OF ISSUE 12-Apr-1999

SEARCH DATE : 10-Jun-2020

SEARCH TIME : 01.42 PM

DESCRIPTION OF LAND

City of HOBART

The Common Property for Strata Scheme 59233 (formerly being STR575)

Derivation : Part of 38A-0R-12Ps Gtd to W. St. Paul Gellibrand
Prior CT 3136/49SCHEDULE 1

STRATA CORPORATION NO. 59233, 1 & 1A FISHER AVE., HOBART

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

A39798 CONDITIONS in Transfer

C788304 ORDER FOR RELIEF by the Recorder of Titles

Registered 15-Jul-2008 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

**RESULT OF SEARCH**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

SEARCH OF TORRENS TITLE

VOLUME	FOLIO
59233	1
EDITION	DATE OF ISSUE
8	23-Apr-2015

SEARCH DATE : 10-Jun-2020

SEARCH TIME : 01.42 PM

DESCRIPTION OF LAND

City of HOBART

Lot 1 on Strata Plan 59233 (formerly being STR575) and a
general unit entitlement operating for all purposes of the
Strata Scheme being a 27 undivided 1/100 interest

Derived from Strata Plan 59233

Derivation : Part of 38A-0R-12Ps Gtd to W. St. Paul Gellibrand
Prior CT 3591/80SCHEDULE 1M508333 TRANSFER to ALEXANDRA JANE MEREDITH PITT Registered
23-Apr-2015 at noonSCHEDULE 2Reservations and conditions in the Crown Grant if any
The registered proprietor holds the lot and unit entitlement
subject to any interest noted on common property
Folio of the Register volume 59233 folio 0

A39798 CONDITIONS in Transfer

D159399 MORTGAGE to Commonwealth Bank of Australia
Registered 23-Apr-2015 at noonUNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



Conveyancing and Law of Property Act 1884

STRATUM PLAN

REGISTERED NUMBER

No. 575

Sheet 1 of 6 Sheets

City of Town HOBART

59233

Locality SANDY BAY

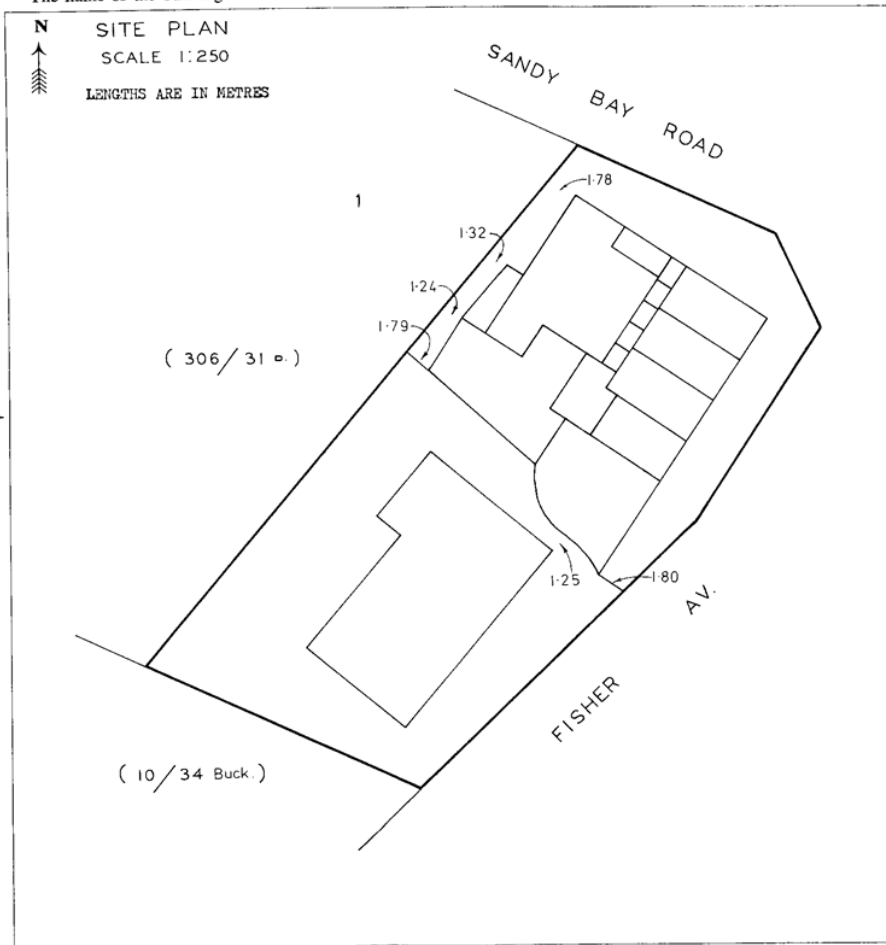
Reference to Title 3136 - 49 c. t.

Site comprises the whole portion of Lot 2 on Plan Diagram No. 306/31 in the

Lands Titles Office

The name of the building is N° 1 & 1A FISHER AV. HOBART

External
surface
boundaries of
the site and
the location of
the building
in relation
thereto to
be delineated
in this space

REGISTERED this 22ND day of MARCH 1977, No. 575

This plan is lodged for registration by

MRS. P. A. BAILEY

Recorder of Titles

DL 1335

FOLIO PLAN

RECORDED OF TITLES

Issued Pursuant to the Land Titles Act 1980



Sheet 2 of 6 Sheets

Town Clerk/Council Clerk

FLAT 1 IS THE BUILDING WHICH OCCUPIES THE WHOLE OF THE HATCHURED AREA SOUTH WEST OF THE LINE MARKED A. B. C. D. (HEREINAFTER CALLED THE BOUNDARY) AND NO PART OF THE SAID BUILDING IS COMMON PROPERTY.

THE PORTION OF THE SITE MARKED A B C D E F WHICH IS SURROUNDED BY A HEAVY UNBROKEN LINE,
AND THE BRICK WALL; TO THE CENTRE, MARKED BC, ARE COMMON PROPERTY.

THE BOUNDARY IS AS FOLLOWS:-

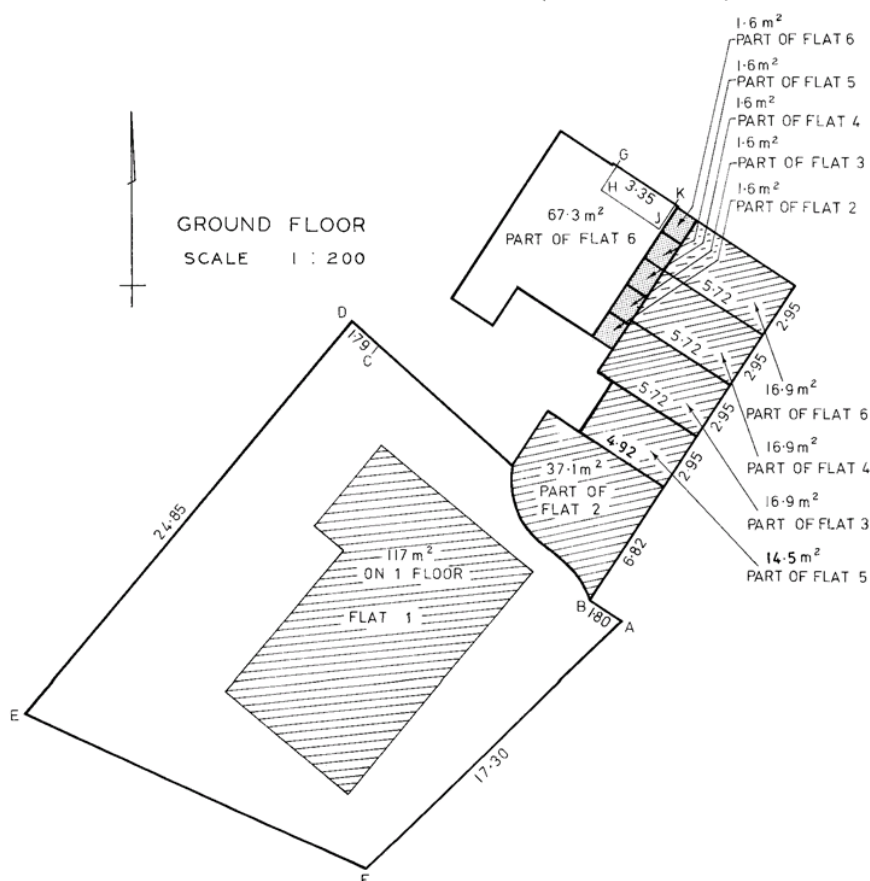
THE POINTS A AND D ARE FIXED BY MEASUREMENT.

THE LINES MARKED AB AND CD ARE OPEN AND DEFINED BY MEASUREMENT.

THE LINE MARKED BC IS THE CENTRE OF A BRICK WALL.

WHILE THE BUILDING EXISTS, THE OCCUPIER OF FLAT 1 HAS THE RIGHT TO THE EXCLUSIVE ENJOYMENT

(Continued on Sheet 4)





FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



If further sheets are required to illustrate the flats, the sheets should be pinned here. Further sheets must be of paper supplied for the purpose by the Recorder of Titles and bearing his seal, and be numbered consecutively, commencing from sheet 4.

Sheet 3 of ... 6 ... Sheets

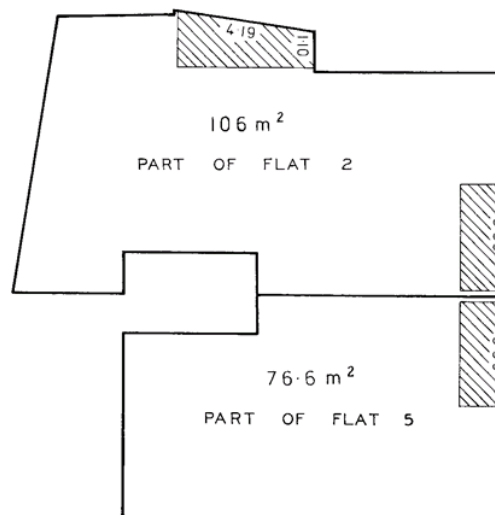
Town Clerk/Council Clerk

ALL HORIZONTAL FLAT BOUNDARIES ARE SHOWN BY HEAVY UNBROKEN LINES.

ALL BOUNDARIES ARE THE CENTRES OF WALLS, FLOORS AND CEILINGS UNLESS OTHERWISE STATED.

THE BOUNDARIES DESCRIBED BY MEASUREMENT ARE OPEN.

THE HACHURED PORTIONS OF THE FLATS ARE TERRACES AND EXTEND VERTICALLY FROM THE SURFACE OF THE FLOOR TO THE UNDERSIDE OF THE ROOF ABOVE.



SECOND FLOOR
SCALE 1 : 125



FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



Sheet 4 of 6 Sheets

STRATUM PLAN

of N° 1 & 1A FISHER AV. HOBART
Tony Clerk Council Clerk (insert here name of the building)

Continued from Sheet 2 -

OF THAT PART OF THE SITE SOUTH WEST OF THE BOUNDARY.

AS RELATES TO FLATS 2 TO 6 HEREON:-

ALL HORIZONTAL FLAT BOUNDARIES ARE SHOWN BY HEAVY UNBROKEN LINES.

ALL BOUNDARIES ARE THE CENTRES OF WALLS, FLOORS AND CEILINGS UNLESS OTHERWISE STATED.

THE BOUNDARIES DESCRIBED BY MEASUREMENT ARE OPEN.

THE SHADED PORTIONS OF FLATS 2 TO 6 ARE CUPBOARD SPACES AND EXTEND VERTICALLY FROM THE SURFACE OF THE FLOOR TO THE UNDERSIDE OF THE ROOF ABOVE.

THE HACHURED PORTIONS OF FLATS 2 TO 6 ARE CARPORTS AND EXTEND VERTICALLY FROM THE SURFACE OF THE FLOOR TO THE UNDERSIDE OF THE ROOF ABOVE.

THE PORTION OF FLAT 6 WITHIN THE AREA MARKED G H J K IS A TERRACE AND EXTENDS VERTICALLY FROM THE SURFACE OF THE FLOOR TO THE UNDERSIDE OF THE ROOF ABOVE.

73424



FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



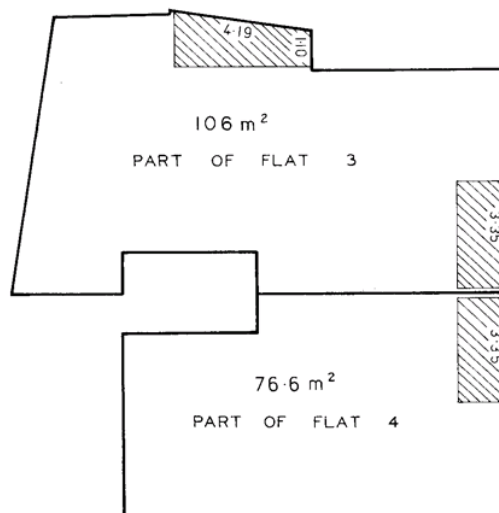
Sheet 5 of 6 Sheets

STRATUM PLAN

Town Clerk/Council Clerk

 of N° 1 & 1A FISHER AV. HOBART
 (insert here name of the building)


ALL HORIZONTAL FLAT BOUNDARIES ARE SHOWN BY HEAVY UNBROKEN LINES.
 ALL BOUNDARIES ARE THE CENTRES OF WALLS FLOORS AND CEILINGS UNLESS OTHERWISE STATED.
 THE BOUNDARIES DESCRIBED BY MEASUREMENT ARE OPEN.
 THE HACHURED PORTIONS OF THE FLATS ARE TERRACES AND EXTEND VERTICALLY FROM THE SURFACE
 OF THE FLOOR TO THE UNDERSIDE OF THE ROOF ABOVE.


 FIRST FLOOR
 SCALE 1 : 125

73424



FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



Sheet 6 of 6 Sheets

Town Clerk/Council Clerk

The address for service of notices on the company is:—

Pharmaceuticals Pty Ltd
11/111 Bailey Street
Hobart TAS 7005

UNIT ENTITLEMENTS

Flat	Unit Entitlement	FOR OFFICE USE ONLY
1	27	3591-80
2	17	81
3	17	82
4	14	83
5	14	84
6	11	85
TOTAL	100	

SURVEYOR'S CERTIFICATE

I, LIONEL ALEXANDER SIMPSON
of HOBART
a surveyor registered under the Land Surveyor's
Act 1909, hereby certify that the building
erected on the site described and delineated on
sheet 1 of this plan is within the external bound-
aries of the title stated on sheet 1.

Dated this 22nd day of January 1977
L. Simpson
Registered Surveyor

COUNCIL CLERK'S CERTIFICATE

I certify that the subdivision shown in this plan
has been approved by the

HOBART CITY Council
Dated this 16th day of MARCH 1977

Town Clerk/Council Clerk

FOR OFFICE USE ONLY

1A FISHER AVE, SANDY BAY

for

Alex Pitt & Miles Callahan

Project Number: 200610 Date: Wednesday, 23 December 2020

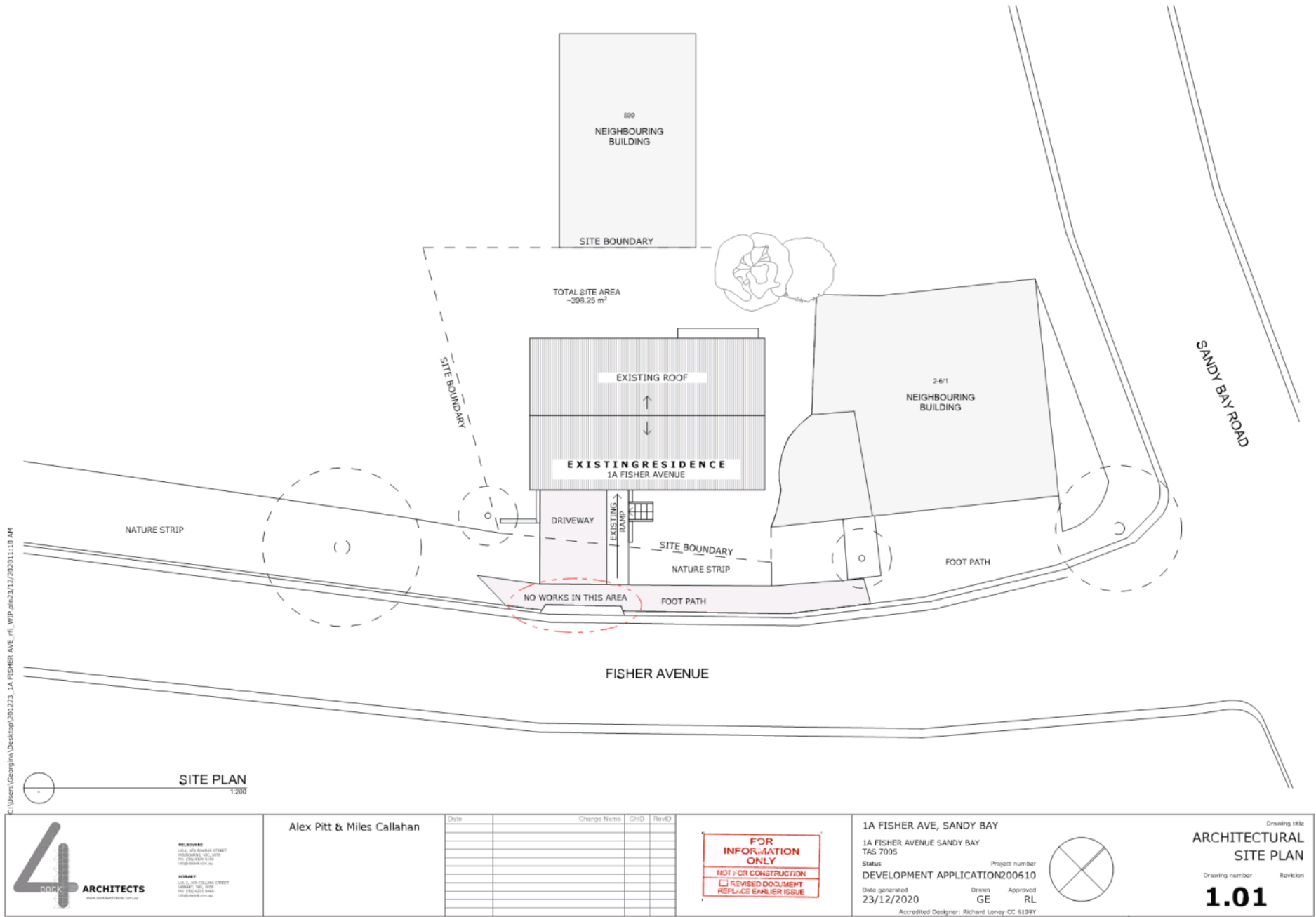
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DEVELOPMENT APPLICATION

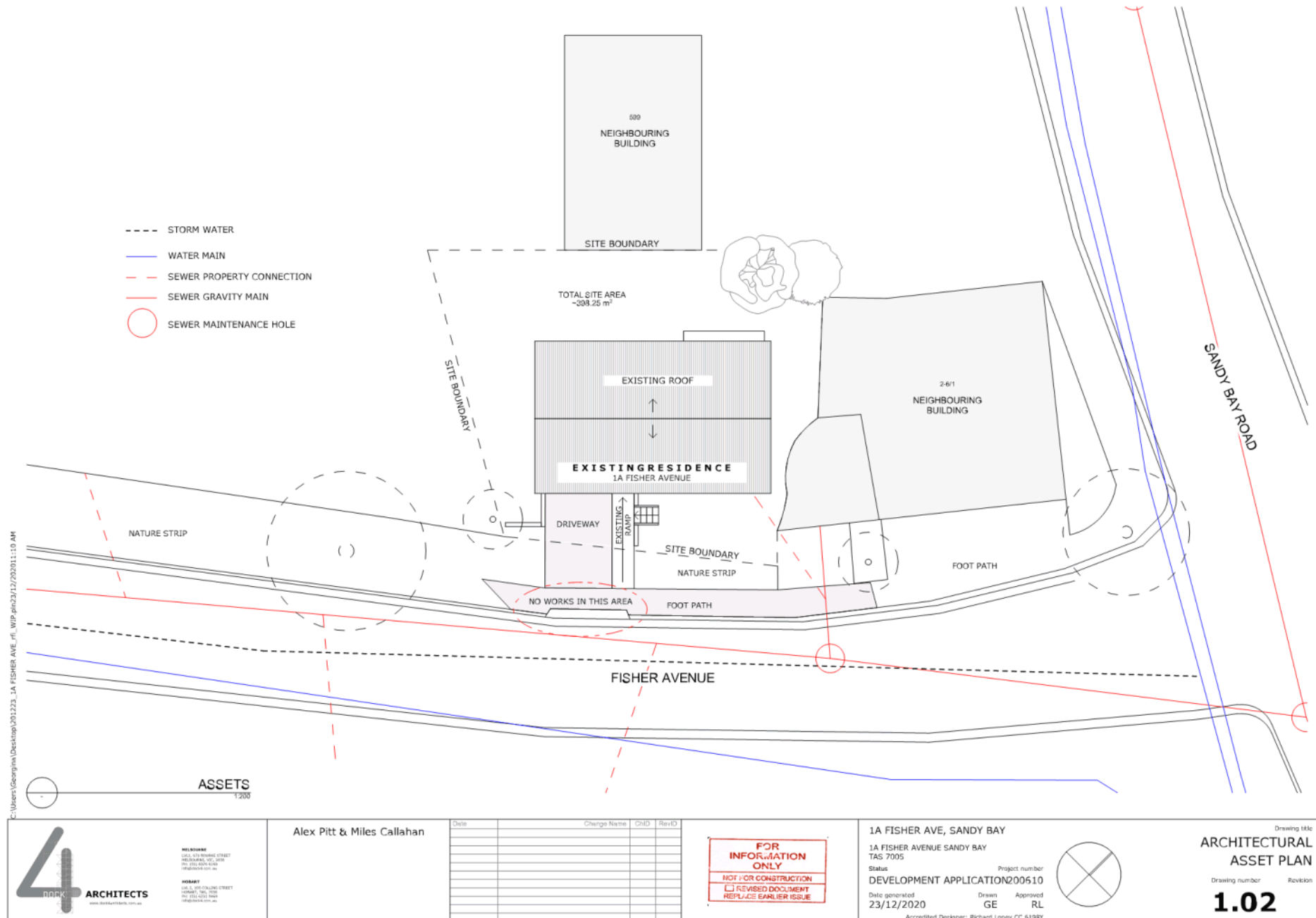
ID	SHEET	REV.
1.01	SITE PLAN	
1.02	ASSET PLAN	
1.03	DEMOLITION PLAN	
1.04	PROPOSED SUB-FLOOR	
1.05	PROPOSED GROUND PLAN	
1.06	PROPOSED FIRST FLOOR	
1.07	RESERVATION	
1.08	SECTIONS	
1.09	ELEVATION	
1.10	ELEVATION	
1.11	ELEVATION	
1.12	ELEVATION	
1.13	SUN STUDY	

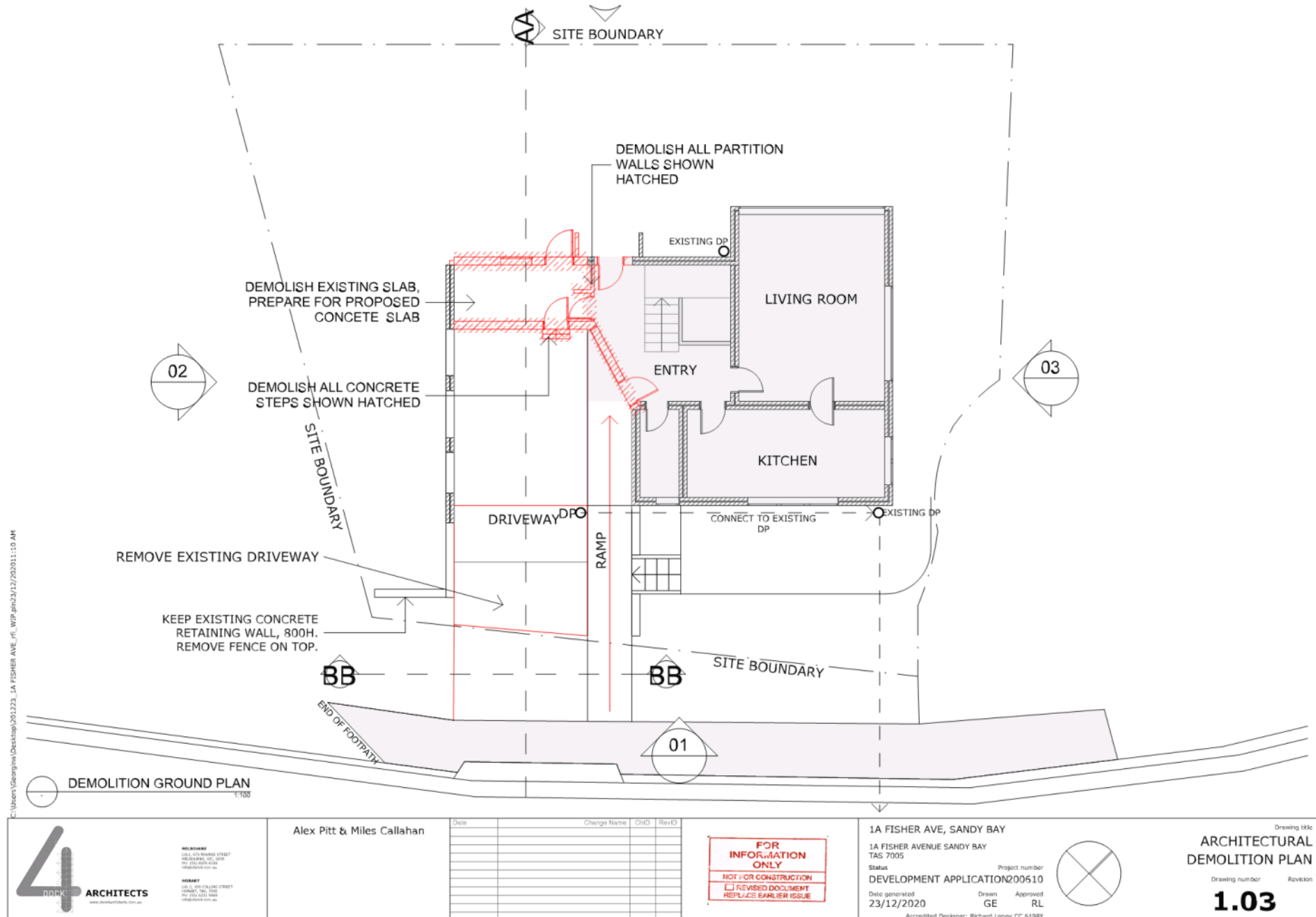


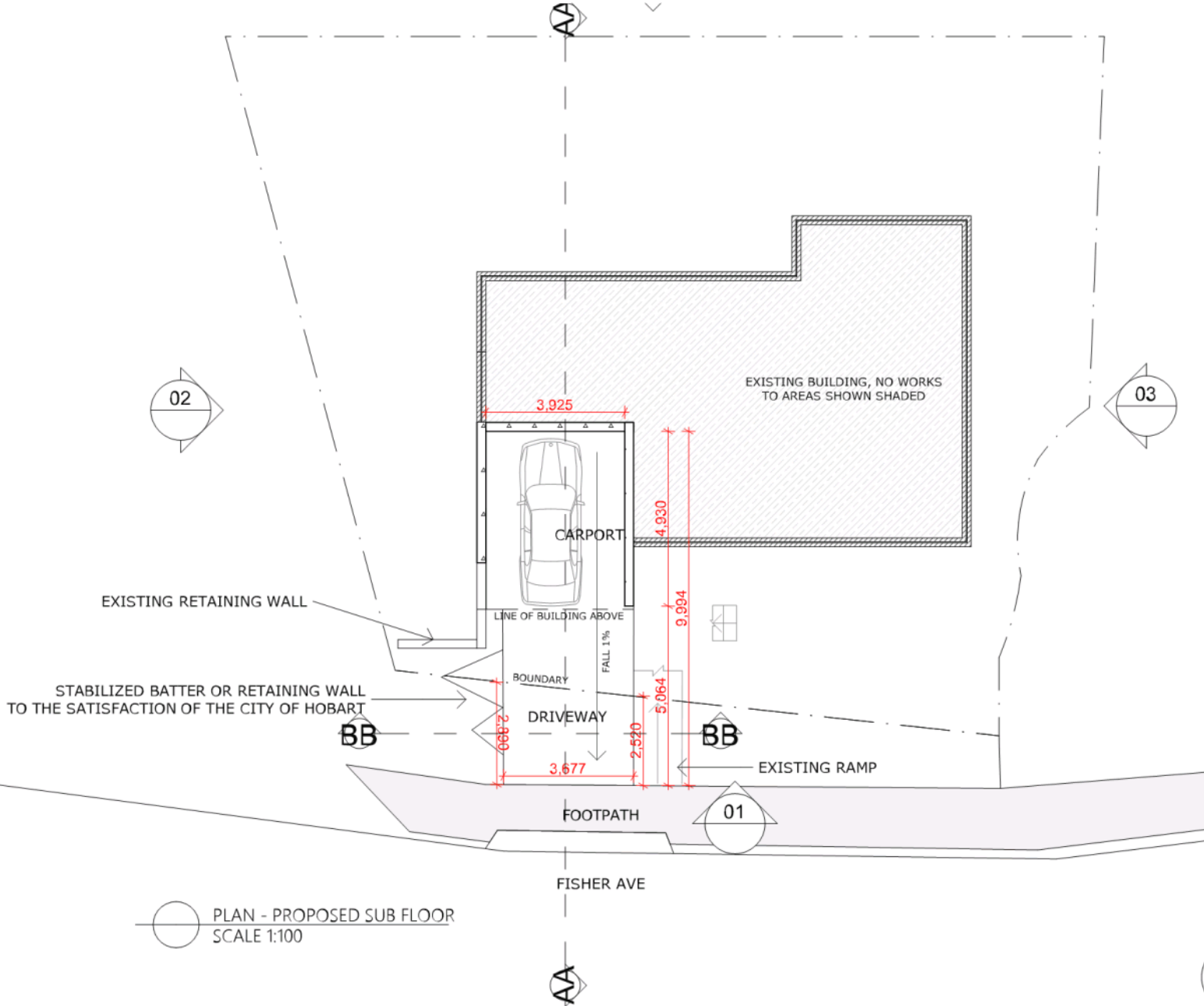
MELBOURNE
1/11, 401 BOURKE STREET
MELBOURNE, VIC 3000
PH: (03) 8078 8180
info@dark4.com.au

HOBART
1/11, 401 BOURKE STREET
HOBART, TAS 7000
PH: (03) 8078 8180
info@dark4.com.au









Date	Change Name	CHD	RevID



WILSONS
10/11/2020 10:00 AM
10/11/2020 10:00 AM
10/11/2020 10:00 AM
10/11/2020 10:00 AM

Alex Pitt & Miles Callahan

FOR
INFORMATION
ONLY
NOT FOR CONSTRUCTION
DO NOT REPRODUCE
WITHOUT PERMISSION

1A FISHER AVE, SANDY BAY

1A FISHER AVENUE
SANDY BAY TAS 7005

Project number
200610
Date generated
23/12/2020
Drawn
GE
Approved
RL

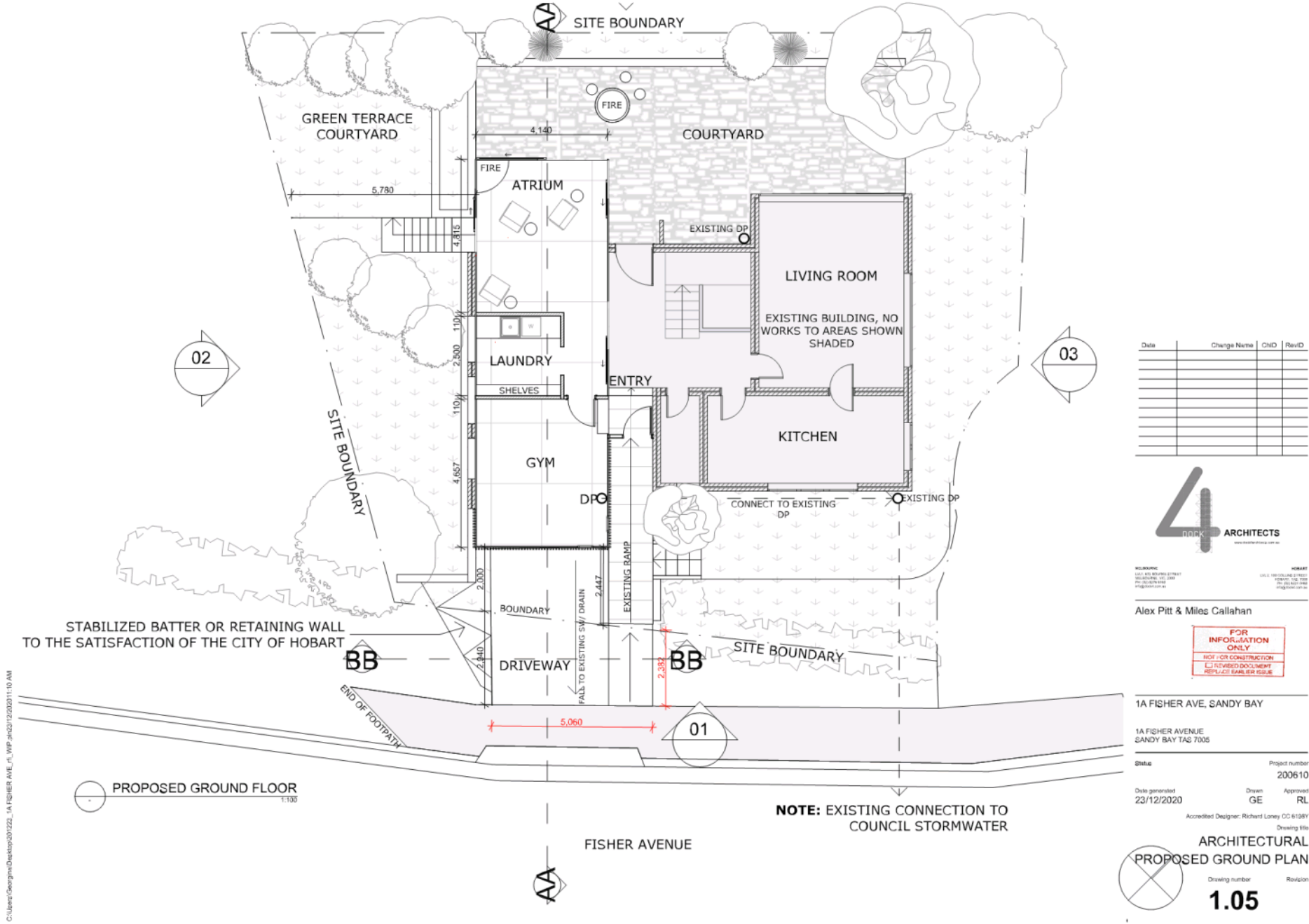
Accredited Designer: Richard Loney CC 6198Y

Drawing title

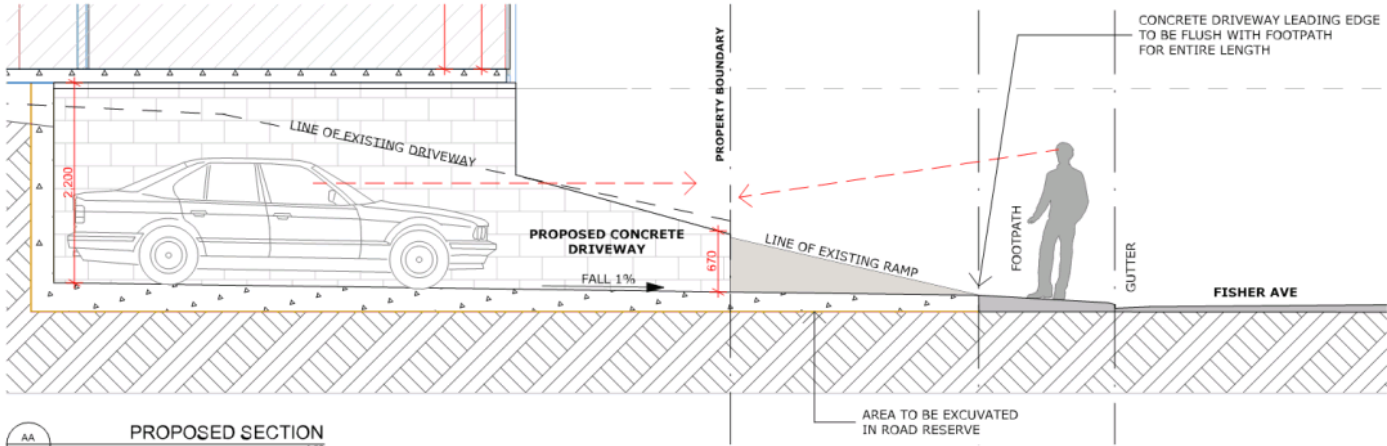
ARCHITECTURAL
PROPOSED SUB-FLOOR

Drawing number
Revision

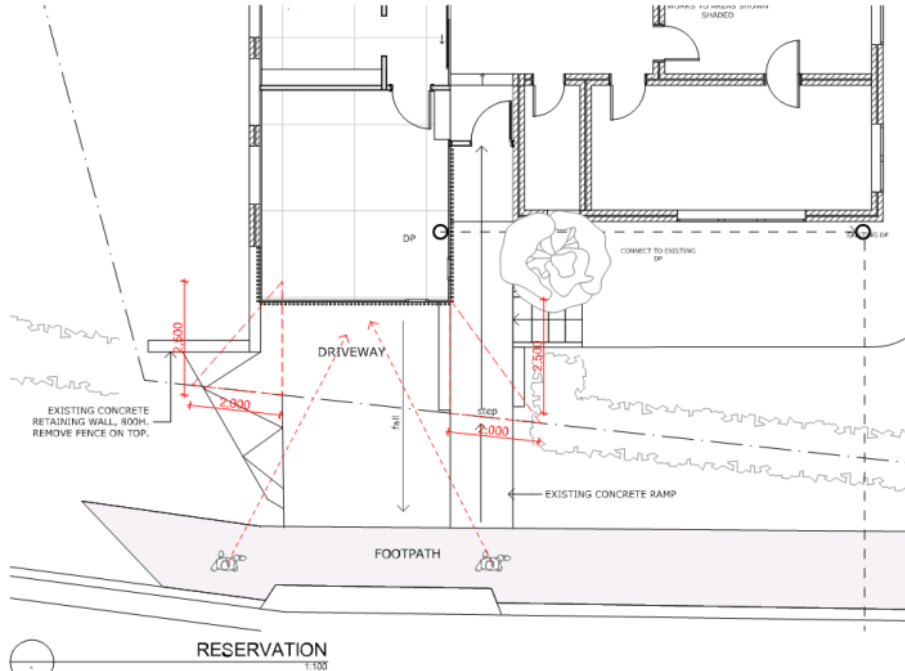
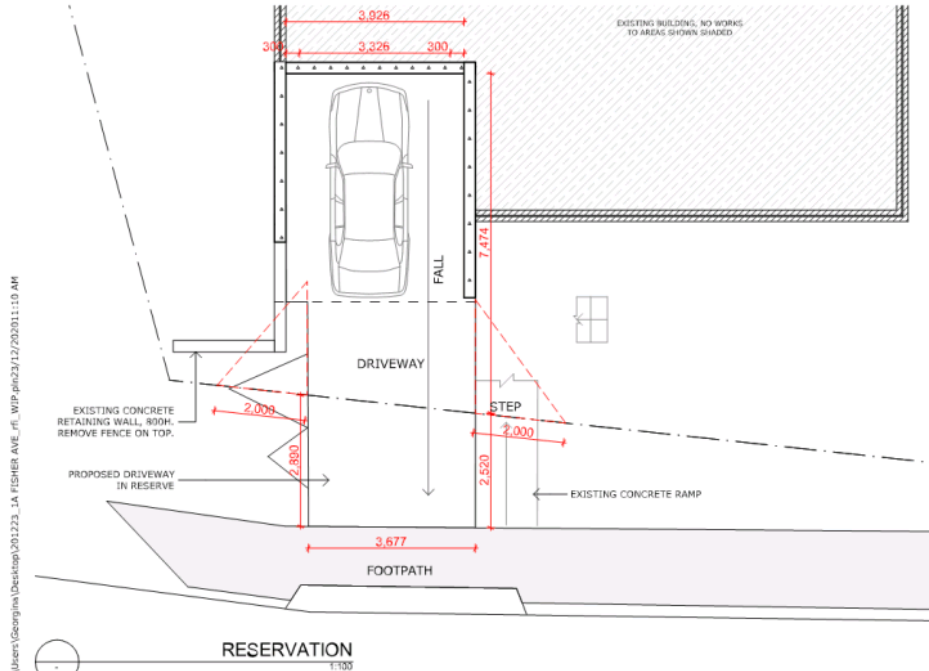
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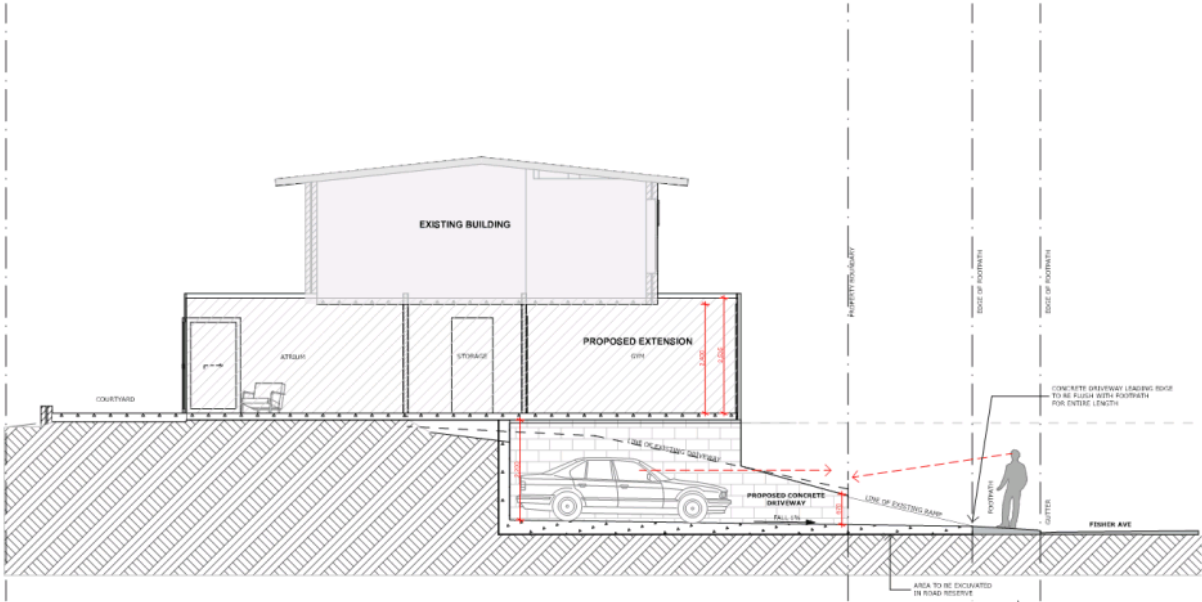




The scope of the proposed works within the reservation include the excavation of the existing driveway to allow for a new driveway with a 1% fall in its place. Concrete driveway leading edge to be flush with footpath for entire length. Stabilized batter or retaining wall next to the proposed driveway to the satisfaction of the city of Hobart. Note that the existing ramp within the reservation is to be retained.

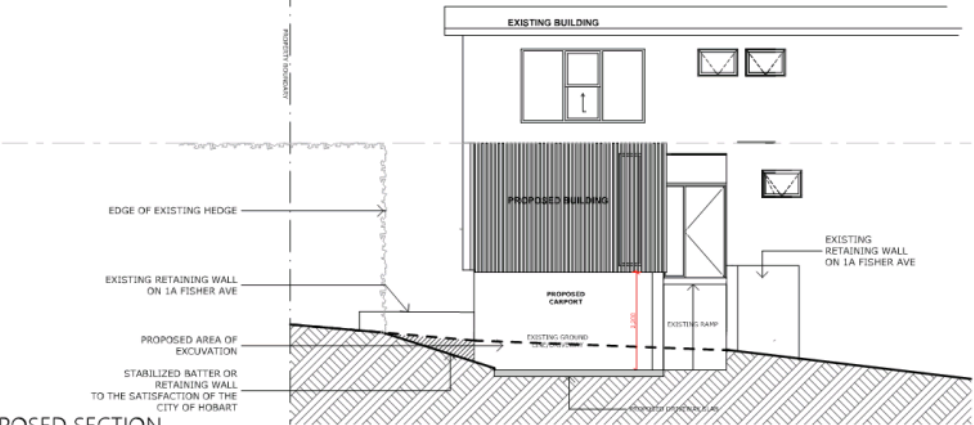


 4 ROCK ARCHITECTS www.4rockarchitects.com.au	RELINQUISH LOCAL 413 ROBINSON STREET HOBART TAS 7005 PH: 03 6233 1535 OFF: 03 6233 1535	HOBART LOCAL 413 ROBINSON STREET HOBART TAS 7005 PH: 03 6233 1535 OFF: 03 6233 1535	Alex Pitt & Miles Callahan			Date	Change Name	CHD	RevID				
<div><div>FOR INFORMATION ONLY</div><div>NOT FOR CONSTRUCTION</div><div>REVISOR DOCUMENT</div><div>REPLACE EARLIER ISSUE</div></div>						1A FISHER AVE, SANDY BAY TAS 7005 Status DEVELOPMENT APPLICATION 200510 Date generated 23/12/2020 Accredited Designer: Richard Loney CC 5198Y				Project number 200510 Drawn GE Approved RL			ARCHITECTURAL RESERVATION Drawing number Revision 1.07



NOTE
ALL WORKS WITHIN THE HIGHWAY RESERVATION WILL BE
IN ACCORDANCE WITH THE REQUIREMENTS OF THE
TASMANIAN STANDARD DRAWINGS

AA PROPOSED SECTION
SCALE 1:100





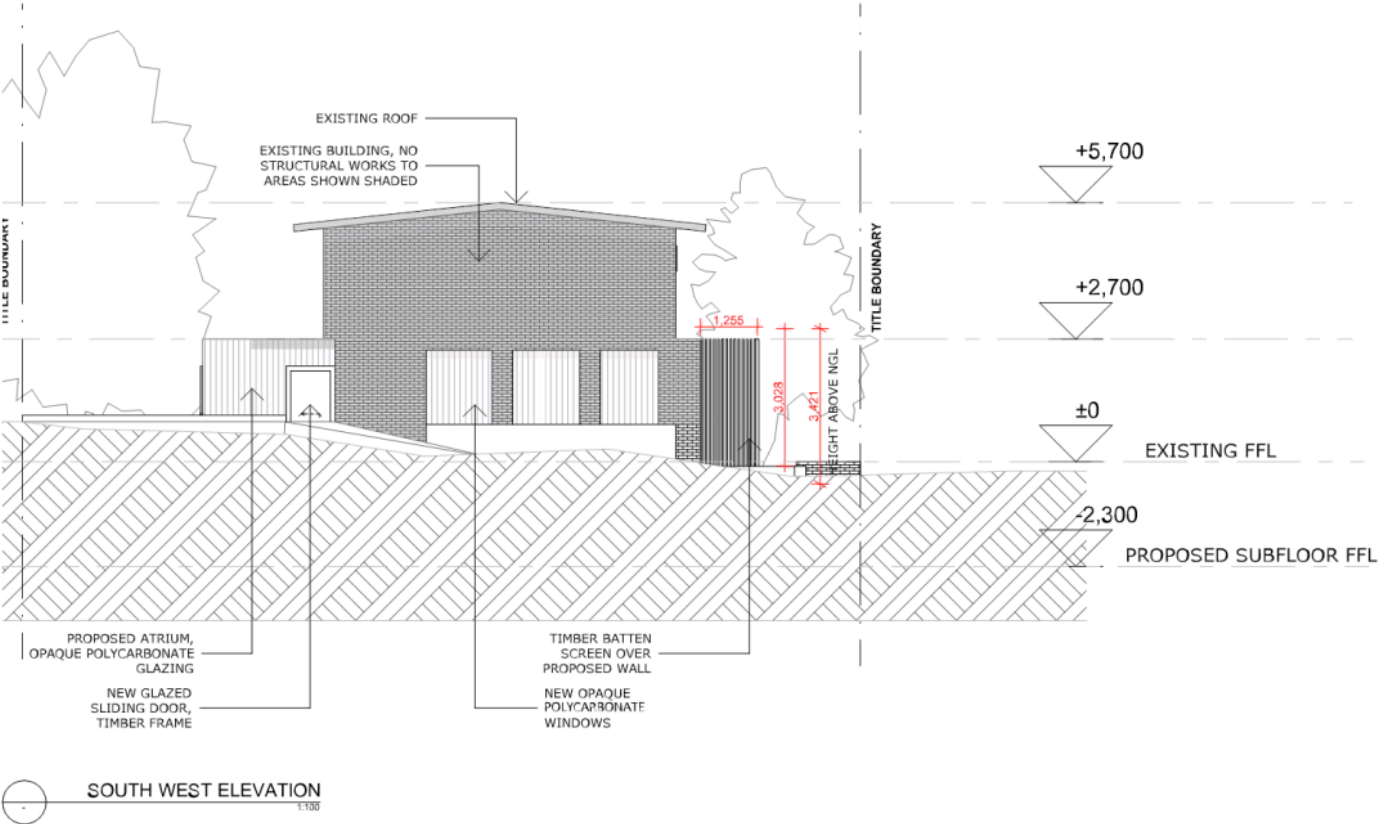
BB PROPOSED SECTION
SCALE 1:100

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 <p>ROCK ARCHITECTS www.rockarchitects.com.au</p>	<p>Alex Pitt & Miles Callahan</p>	<table border="1"><thead><tr><th>Date</th><th>Change Name</th><th>CHD</th><th>RevID</th></tr></thead><tbody><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr></tbody></table>	Date	Change Name	CHD	RevID																																					<div><div>FOR INFORMATION ONLY</div><div>NOT FOR CONSTRUCTION</div><div>REVISOR'S DOCUMENT</div><div>REPLACE EARLIER ISSUE</div></div>	<p>1A FISHER AVE, SANDY BAY 1A FISHER AVENUE SANDY BAY TAS 7005</p> <p>Status: DEVELOPMENT APPLICATION 200610</p> <p>Date generated: 23/12/2020</p> <p>Accredited Designer: Richard Loney CC 6198Y</p>		<div><div>ARCHITECTURAL SECTIONS</div><div>Drawing number: 1.08</div><div>Revision: </div></div>
			Date	Change Name	CHD	RevID																																								
<p>NEWBURGH 100A NEWBURGH STREET NEWBURGH VIC 3809 PH: 03 5200 1530 INFO@ROCKARCH.COM.AU</p> <p>HOBART 100A NEWBURGH STREET HOBART TAS 7005 PH: 03 5200 1530 INFO@ROCKARCH.COM.AU</p>	<p>Project number: 200610</p> <p>Drawn: GE Approved: RL</p>																																													

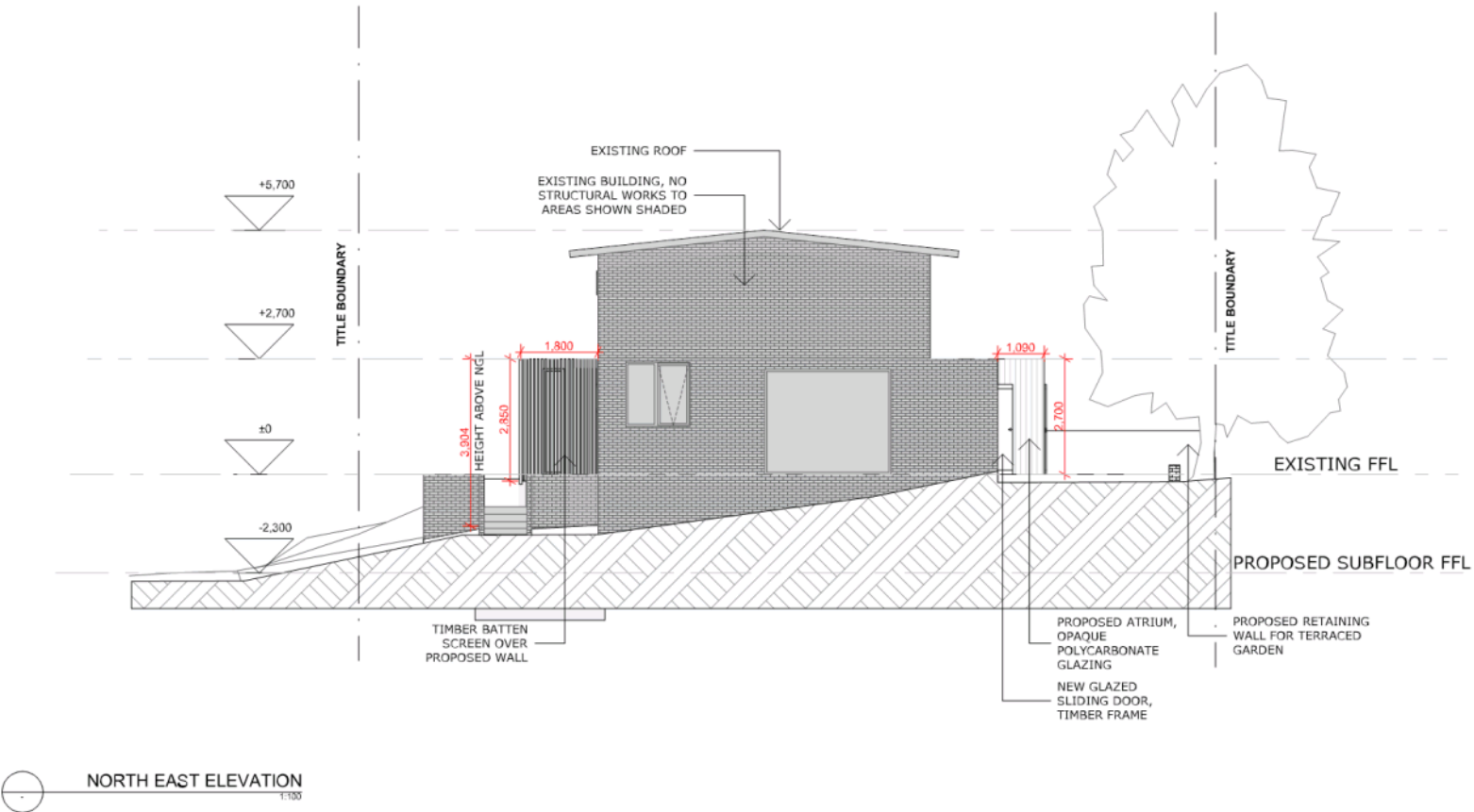


	Alex Pitt & Miles Callahan	Date	Change Name	CHD	Rev'd	<div style="border: 2px solid red; padding: 5px; margin: 0 auto; width: 100px;"> FOR INFORMATION ONLY NOT FOR CONSTRUCTION <input type="checkbox"/> REVISED DOCUMENT <input type="checkbox"/> REPLACE EARLIER ISSUE </div>	1A FISHER AVE, SANDY BAY 1A FISHER AVENUE SANDY BAY TAS 7005 Status: Project number DEVELOPMENT APPLICATION 00510 Date generated: Drawn Approved 23/12/2020 GE RL Accepted/Work Designer: Richard/Louise CC 6/1/2021		Drawing title ARCHITECTURAL ELEVATION Drawing number Revision <div style="font-size: 2em; font-weight: bold; margin-top: 10px;">1.09</div>
	RELAYHOUSE 1001, 1013, 1015A, 1016A STREET MOUNTAIN VIEW, VIC 3089 03 9594 2244 03 9594 2245 03 9594 2246 03 9594 2247	PROJECT 1001, 1013, 1015A, 1016A STREET MOUNTAIN VIEW, VIC 3089 03 9594 2244 03 9594 2245 03 9594 2246 03 9594 2247							




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 <p>ROCK ARCHITECTS www.rockarchitects.com.au</p>	<p>Alex Pitt & Miles Callahan</p>	<p>Date</p>	<p>Change Name</p>	<p>ChID</p>	<p>RevID</p>	<p>FOR INFORMATION ONLY NOT FOR CONSTRUCTION REVERSE DOCUMENT REPLACE EARLIER ISSUE</p>	1A FISHER AVE, SANDY BAY			<p>ARCHITECTURAL ELEVATION</p>	
							1A FISHER AVENUE SANDY BAY TAS 7005				<p>Drawing title</p>
							<p>Status</p>	<p>Project number</p>	<p>Drawing number</p>		<p>Revision</p>
							<p>DEVELOPMENT APPLICATION200610</p>	<p>200610</p>	<p>1.10</p>		
							<p>Date generated</p>	<p>Drawn</p>	<p>Approved</p>		
							<p>23/12/2020</p>	<p>GE</p>	<p>RL</p>		
							<p>Accredited Designer: Richard Loney CC 6198Y</p>				

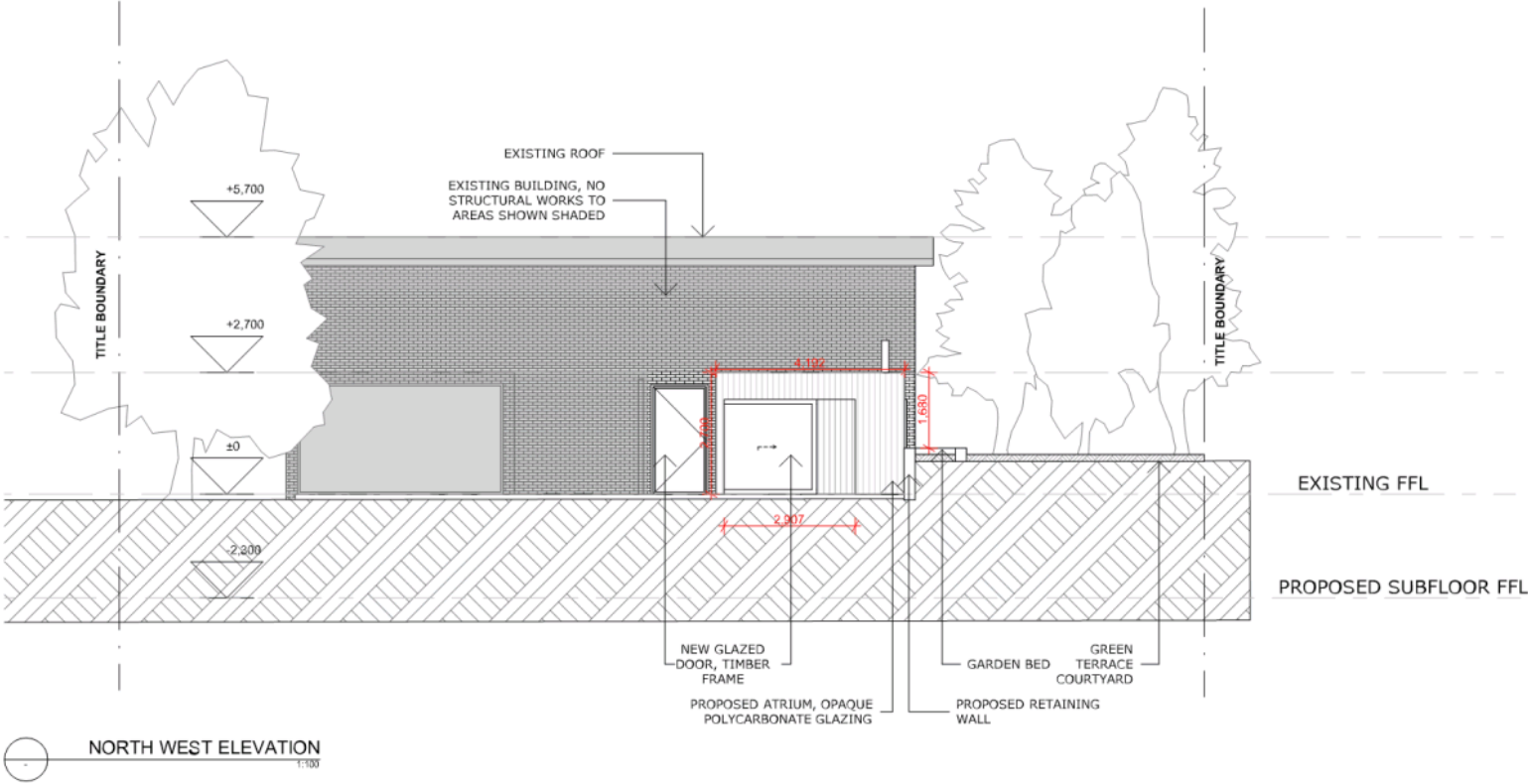


NORTH EAST ELEVATION
1:100

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 <p>ROCK ARCHITECTS www.rockarchitects.com.au</p>	<p>Alex Pitt & Miles Callahan</p>	<p>RELINQUISH 10/10/2020 10/10/2020 10/10/2020 10/10/2020</p>	<p>FOR INFORMATION ONLY NOT FOR CONSTRUCTION REVISED DOCUMENT REPLACE EARLIER ISSUE</p>	<p>1A FISHER AVE, SANDY BAY TAS 7005</p>			<p>ARCHITECTURAL ELEVATION</p>
				<p>Date generated 23/12/2020</p>	<p>Project number 200610</p>		

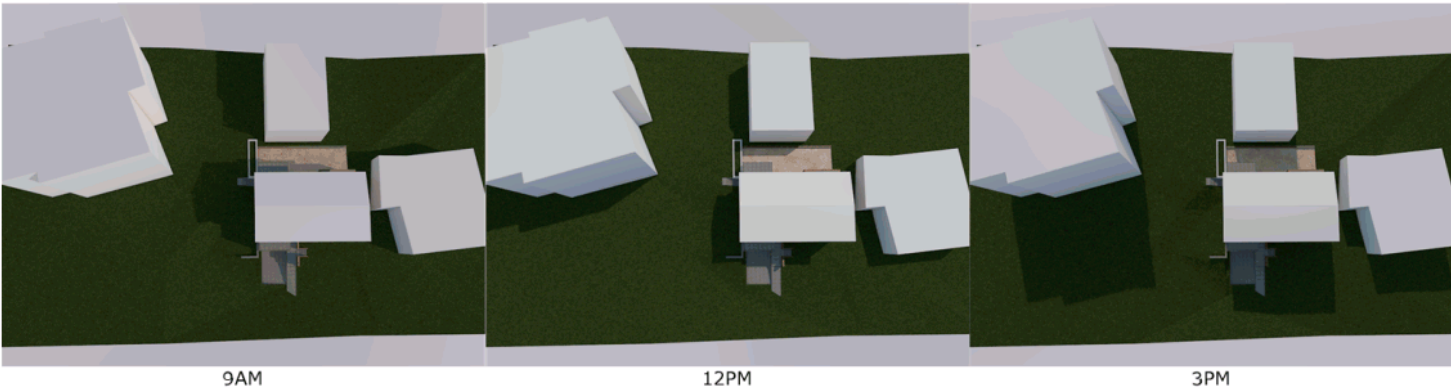
Accredited Designer: Richard Loney CC 6198Y



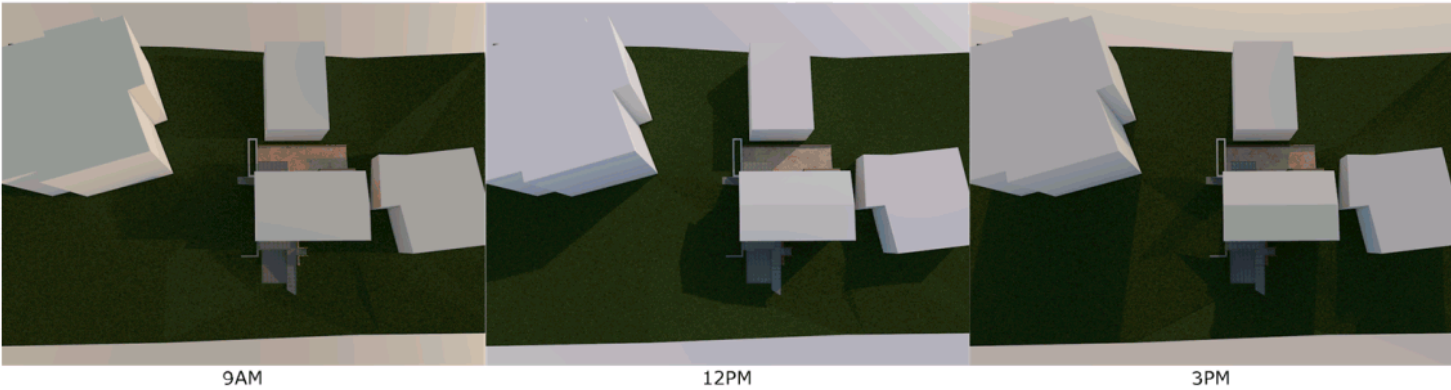
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 <p>ROCK ARCHITECTS www.rockarchitects.com.au</p>	<p>Alex Pitt & Miles Callahan</p>	<p>Date</p>	<p>Change Name</p>	<p>CHD</p>	<p>RevID</p>	<p>FOR INFORMATION ONLY NOT FOR CONSTRUCTION REVISOR DOCUMENT REPLACE EARLIER ISSUE</p>	1A FISHER AVE, SANDY BAY			Drawing title	
							1A FISHER AVENUE SANDY BAY TAS 7005			ARCHITECTURAL ELEVATION	
						Status		Project number		Drawing number	
						DEVELOPMENT APPLICATION 200610		200610		1.12	
						Date generated		Drawn		Approved	
						23/12/2020		GE		RL	
						Accredited Designer: Richard Loney CC 6198Y					

MARCH 21ST




JUNE 21ST



As shown in the shadow diagrams, from both March and June, the proposed extension does not cause any additional solar loss or overshadowing on adjacent lots.

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ROCK ARCHITECTS
www.rockarchitects.com.au

Alex Pitt & Miles Callahan

Date	Change Name	CHD	RevID

FOR INFORMATION ONLY

NOT FOR CONSTRUCTION

REVISOR DOCUMENT


REPLACE EARLIER ISSUE

1A FISHER AVE, SANDY BAY
1A FISHER AVENUE SANDY BAY
TAS 7005

Status: Development Application 200610

Date generated: 23/12/2020

Accredited Designer: Richard Loney CC 6198Y



Drawing title: ARCHITECTURAL SUN STUDY

Drawing number: 1.13

Revision: 1

Richard Loney
Dock4 Pty Ltd
Level 2, 100 Collins Street
HOBART, TAS 7000

23 December 2020

Town Hall, Macquarie St
GPO Box 503
Hobart, Tasmania, 7001

Dear Sir/Madam:

In response to the request for additional information for **1/1 A FISHER AVENUE, SANDY BAY.**
PLN20713

As shown in the shadow diagrams, from both March and June, the proposed extension does not cause any additional solar loss or overshadowing on adjacent lots.

The scope of the proposed works within the reservation include the excavation of the existing driveway to allow for a new driveway with a 1% fall in its place. Concrete driveway leading edge to be flush with footpath for entire length. Stabilized batter or retaining wall next to the proposed driveway to the satisfaction of the city of Hobart. Please note that the existing ramp within the reservation is to be retained.

The parking space is larger than required at 7.4m x 3.9m.

Sincerely,

A handwritten signature in black ink, appearing to be 'R. Loney', written over a horizontal line.

Richard Loney
Dock4 Pty Ltd



Enquiries to: City Planning
Phone: (03) 6238 2715
Email: coh@hobartcity.com.au

21 December 2020

Richard Loney (Dock4 Architects)
Level 1, 100 Collins Street
HOBART TAS 7000

mailto: richard@dock4.com.au

Dear Sir/Madam

**1 / 1 A FISHER AVENUE, SANDY BAY - WORKS IN ROAD RESERVE NOTICE OF
LAND OWNER CONSENT TO LODGE A PLANNING APPLICATION - GMC-20-80**

Site Address:

1/1A Fisher Avenue, Sandy Bay

Description of Proposal:

Partial Demolition, Alterations and Extension

Applicant Name:

Richard Loney
Dock4 Architects

PLN (if applicable):

PLN-20-713

I write to advise that pursuant to Section 52 of the *Land Use Planning and Approvals Act 1993*, I grant my consent on behalf of the Hobart City Council as the owner/administrator of the above land for you to make application to the City for a planning permit for the development described above and as per the attached documents.


Please note that the granting of the consent is only for the making of the application and in no way should such consent be seen as prejudicing any decision the Council is required to make as the statutory planning authority.

Hobart Town Hall
50 Macquarie Street
Hobart TAS 7000

Hobart Council Centre
16 Elizabeth Street
Hobart TAS 7000

City of Hobart
GPO Box 503
Hobart TAS 7001

T 03 6238 2711
F 03 6234 7109
E coh@hobartcity.com.au
W hobartcity.com.au

 CityofHobartOfficial
ABN 39 055 343 428
Hobart City Council

This consent does not constitute an approval to undertake any works and does not authorise the owner, developer or their agents any right to enter or conduct works on any Council managed land whether subject to this consent or not.

If planning approval is granted by the planning authority, you will be required to seek approvals and permits from the City as both landlord, land manager, or under other statutory powers (such as other legislation or City By-Laws) that are not granted with the issue of a planning permit under a planning scheme. This includes the requirement for you to reapply for a permit to occupy a public space under the City's Public Spaces By-law if the proposal relates to such an area.

Accordingly, I encourage you to continue to engage with the City about these potential requirements.

Yours faithfully

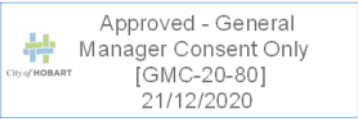


(N D Heath)

GENERAL MANAGER

Relevant documents/plans:

Plans by Dock 4 Architects dated 30 November 2020



1A FISHER AVE, SANDY BAY

for

Alex Pitt & Miles Callahan

Project Number: 200610

Date: Monday, 30 November 2020

Status
DEVELOPMENT APPLICATION

ID	SHEET	REV.
1.01	SITE PLAN	
1.02	ASSET PLAN	
1.03	DEMOLITION PLAN	
1.04	PROPOSED SUB-FLOOR	
1.05	PROPOSED GROUND PLAN	
1.06	PROPOSED FIRST FLOOR	
1.07	SECTIONS	
1.08	ELEVATION	
1.09	ELEVATION	
1.10	ELEVATION	
1.11	ELEVATION	
1.12	VISUALISATION	



MELBOURNE
1/11, 670 BOURKE STREET
MELBOURNE, VIC 3000
PH: (03) 8078 8180
info@4dark.com.au

HOBART
1/11, 670 BOURKE STREET
HOBART TAS 7000
PH: (03) 8078 8180
info@4dark.com.au



4

RINK

ARCHITECTS

www.alexandermiles.com.au

Alex Pitt & Miles Callahan

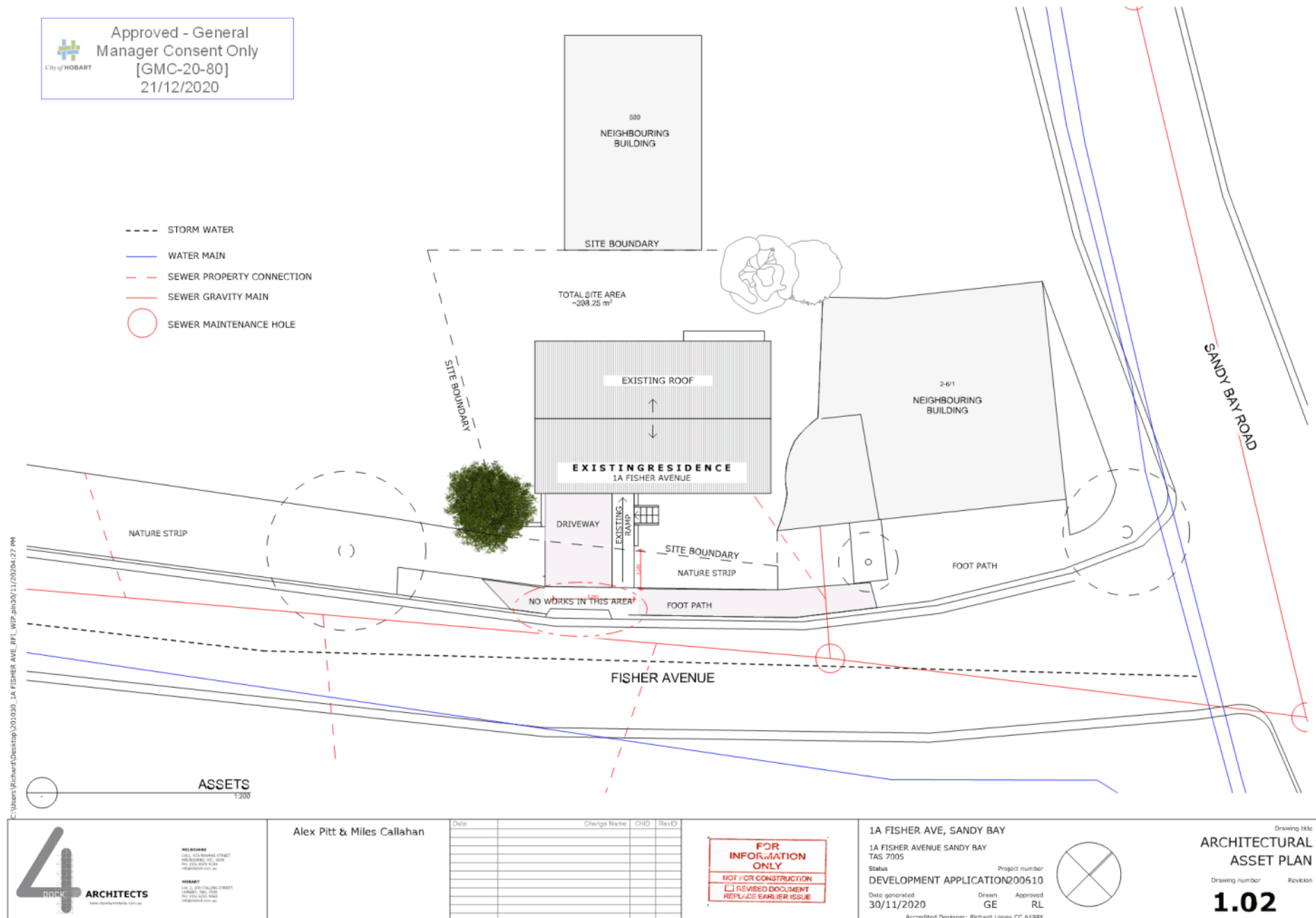
MELBOURNE

10/1, 470 BUNNARD STREET
MELBOURNE VIC 3006
PH 03 9439 1000
INFO@4RINK.COM.AU

FOREST

10/1, 470 BUNNARD STREET
PH 03 9439 1000
INFO@4RINK.COM.AU

Date	Change Name	ChID	RevID










Approved - General
Manager Consent Only
[GMC-20-80]
21/12/2020



PROPOSED FIRST FLOOR
1:50



4 ROCK ARCHITECTS
www.rockarchitects.com.au

Alex Pitt & Miles Callahan

Date	Change Name	ChID	RevID

FOR INFORMATION ONLY
NOT FOR CONSTRUCTION
REVISOR DOCUMENT
REPLACE EARLIER ISSUE

1A FISHER AVE, SANDY BAY
1A FISHER AVENUE SANDY BAY
TAS 7005

Status: DEVELOPMENT APPLICATION200610

Date generated: 30/11/2020

Drawn: GE
Approved: RL

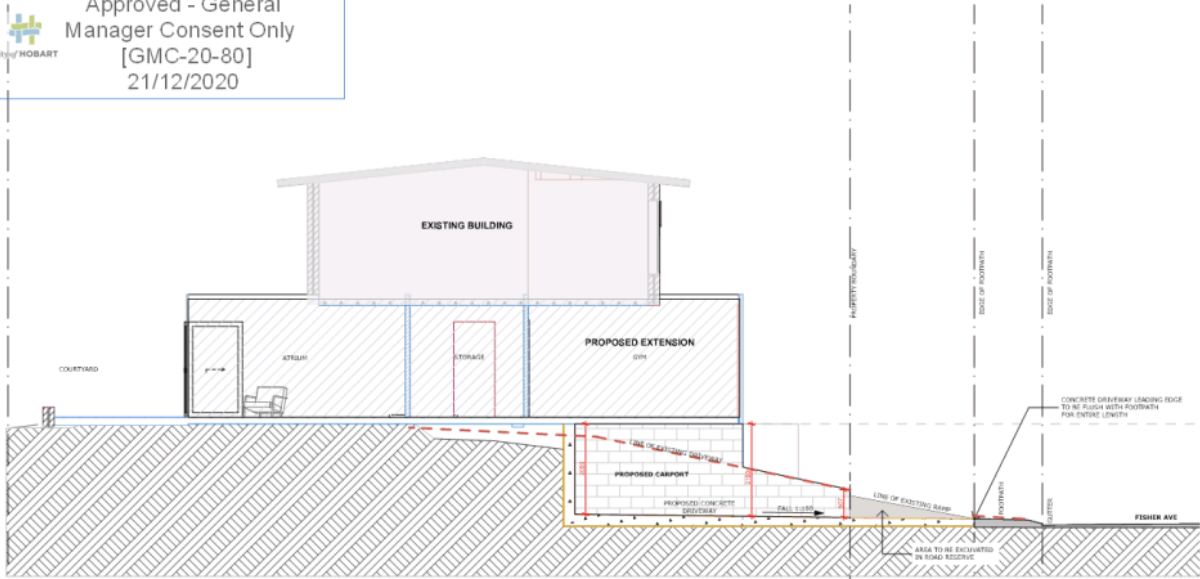
Accredited Designer: Richard Loney CC 6198Y

Drawing title:
**ARCHITECTURAL
PROPOSED FIRST FLOOR**

Drawing number:
1.06

Revision:

Approved - General
Manager Consent Only
[GMC-20-80]
21/12/2020



NOTE
ALL WORKS WITHIN THE HIGHWAY RESERVATION WILL BE
IN ACCORDANCE WITH THE REQUIREMENTS OF THE
TASMANIAN STANDARD DRAWINGS



AA PROPOSED SECTION
SCALE 1:100



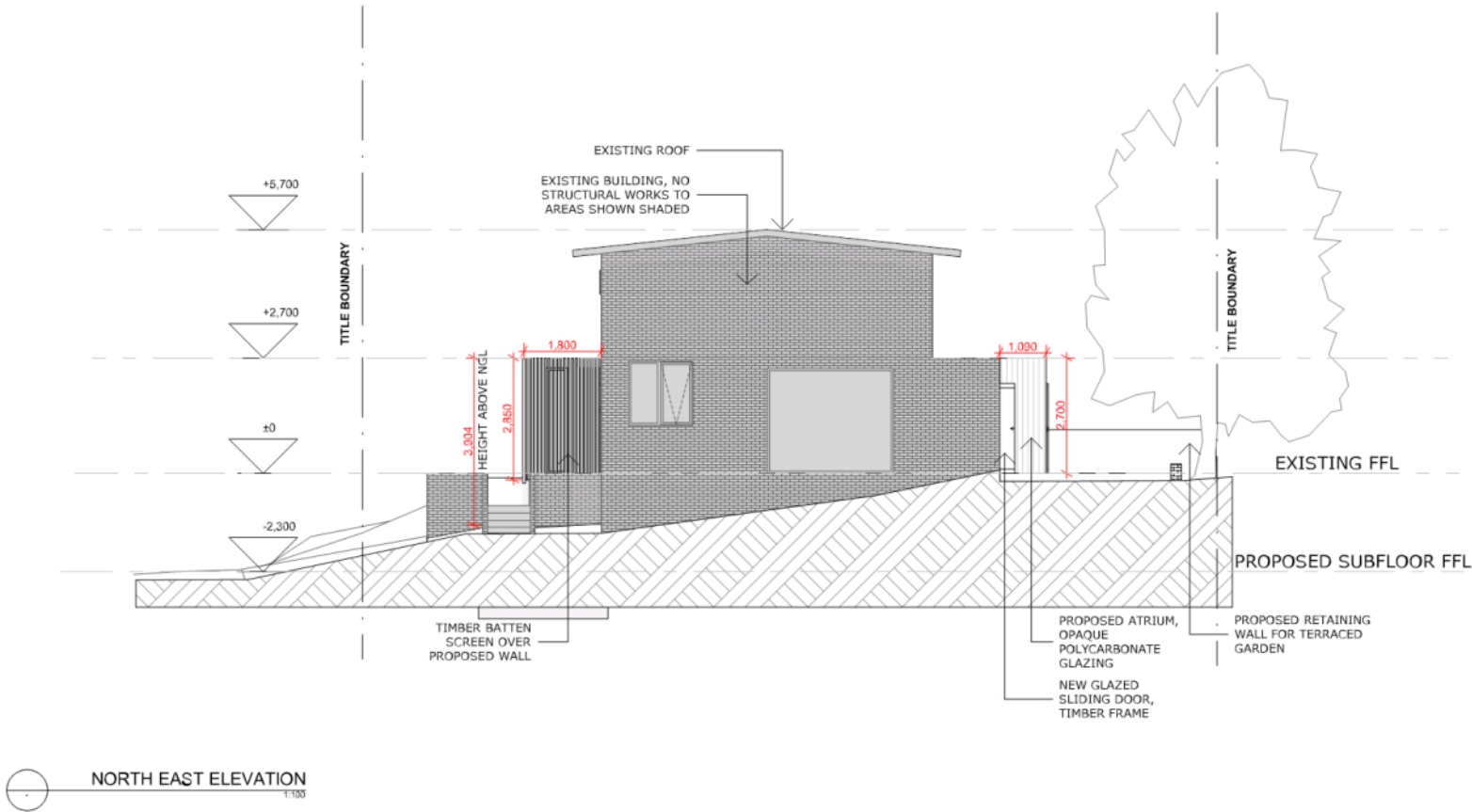
BB PROPOSED SECTION
SCALE 1:100

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 <p>ROCK ARCHITECTS www.rockarchitects.com.au</p>	<p>Alex Pitt & Miles Callahan</p>	<table border="1"><thead><tr><th>Date</th><th>Change Name</th><th>CHD</th><th>RevID</th></tr></thead><tbody><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr></tbody></table>	Date	Change Name	CHD	RevID																																					<div><div>FOR INFORMATION ONLY</div><div>NOT FOR CONSTRUCTION</div><div>REVISOR DOCUMENT</div><div>REPLACE EARLIER ISSUE</div></div>	<p>1A FISHER AVE, SANDY BAY 1A FISHER AVENUE SANDY BAY TAS 7005</p>			<p>ARCHITECTURAL SECTIONS</p>
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<p>RELATIONS 100A, 100B, 100C, 100D, 100E, 100F, 100G, 100H, 100I, 100J, 100K, 100L, 100M, 100N, 100O, 100P, 100Q, 100R, 100S, 100T, 100U, 100V, 100W, 100X, 100Y, 100Z, 100AA, 100AB, 100AC, 100AD, 100AE, 100AF, 100AG, 100AH, 100AI, 100AJ, 100AK, 100AL, 100AM, 100AN, 100AO, 100AP, 100AQ, 100AR, 100AS, 100AT, 100AU, 100AV, 100AW, 100AX, 100AY, 100AZ, 100BA, 100BB, 100BC, 100BD, 100BE, 100BF, 100BG, 100BH, 100BI, 100BJ, 100BK, 100BL, 100BM, 100BN, 100BO, 100BP, 100BQ, 100BR, 100BS, 100BT, 100BU, 100BV, 100BW, 100BX, 100BY, 100BZ, 100CA, 100CB, 100CC, 100CD, 100CE, 100CF, 100CG, 100CH, 100CI, 100CJ, 100CK, 100CL, 100CM, 100CN, 100CO, 100CP, 100CQ, 100CR, 100CS, 100CT, 100CU, 100CV, 100CW, 100CX, 100CY, 100CZ, 100DA, 100DB, 100DC, 100DD, 100DE, 100DF, 100DG, 100DH, 100DI, 100DJ, 100DK, 100DL, 100DM, 100DN, 100DO, 100DP, 100DQ, 100DR, 100DS, 100DT, 100DU, 100DV, 100DW, 100DX, 100DY, 100DZ, 100EA, 100EB, 100EC, 100ED, 100EE, 100EF, 100EG, 100EH, 100EI, 100EJ, 100EK, 100EL, 100EM, 100EN, 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<p>Accredited Designer: Richard Loney CC 5198Y</p>		<p>Date generated 30/11/2020</p>	<p>Drawn GE</p>	<p>Approved RL</p>																																											



	Alex Pitt & Miles Callahan	Date	Change Name	GND	Rev'd	<div style="border: 2px solid red; padding: 5px; margin: 10px auto; width: 100px;"> <p style="text-align: center; color: red; font-weight: bold;">FOR INFORMATION</p> <p style="text-align: center; color: red; font-weight: bold;">NOT FOR CONSTRUCTION</p> <p style="text-align: center; color: red; font-weight: bold;">REVISI REVISI REVISI</p> </div>	1A FISHER AVE, SANDY BAY 1A FISHER AVENUE SANDY BAY TAS 7005 Status Project number DEVELOPMENT APPLICATION200610 Date generated Drawn Approved 30/11/2020 GE RL Approved/Revised: Revised/Issued: FF: 6/1/2021		ARCHITECTURAL ELEVATION Drawing number Revision <div style="font-size: 2em; font-weight: bold; margin-top: 10px;">1.08</div>
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Approved - General
Manager Consent Only
[GMC-20-80]
21/12/2020



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	Alex Pitt & Miles Callahan	Date	Change Name	GND	Rev'd	<div style="border: 2px solid red; padding: 5px; margin: 10px auto; width: 100px;"> FOR INFORMATION ONLY NOT FOR CONSTRUCTION <input type="checkbox"/> REVIS'D DOCUMENT <input type="checkbox"/> REPLACE EARLIER ISSUE </div>	1A FISHER AVE, SANDY BAY 1A FISHER AVENUE SANDY BAY TAS 7005 Status Project number DEVELOPMENT APPLICATION 200610 Date generated Drawn Approved 30/11/2020 GE RL <small>Approved/Endorser: Building Liaison FF, 61/6/2020</small> 		ARCHITECTURAL ELEVATION Drawing number Revision <div style="font-size: 2em; font-weight: bold;">1.11</div>
	MELBOURNE <small>1001, 1002, 1003, 1004 STREET MELBOURNE VIC 3000 TEL: 03 9439 1000 WWW.4ARCHITECTS.COM.AU</small>								

**7.1.5 343 PARK STREET, NEW TOWN AND ADJACENT ROAD RESERVE
- PARTIAL DEMOLITION, SUBDIVISION (TWO ADDITIONAL LOTS)
AND ASSOCIATED WORKS
PLN-20-780 - FILE REF: F21/10350; 16/117**

Address: 343 Park Street, New Town and Adjacent to
Road Reserve

Proposal: Partial Demolition, Subdivision (Two Additional
Lots) and Associated Works

Expiry Date: 10 March 2021

Extension of Time: Not applicable

Author: Richard Bacon

RECOMMENDATION

That pursuant to the *Hobart Interim Planning Scheme 2015*, the City Planning Committee, in accordance with the delegations contained in its terms of reference, approve the application for a partial demolition, subdivision (two additional lots) and associated works at 343 Park Street New Town 7008 and adjacent road reserve, for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

GEN

The use and/or development must be substantially in accordance with the documents and drawings that comprise 343 PARK STREET AND ADJACENT ROAD RESERVE, NEW TOWN TAS 7008 - Final Planning Documents except where modified below.

Reason for condition

To clarify the scope of the permit.

TW

The use and/or development must comply with the requirements of TasWater as detailed in the form Submission to Planning Authority Notice, Reference No. TWDA 2020/02133-HCC dated 22/12/2020 as attached to the permit.

Reason for condition

To clarify the scope of the permit.

THC

The use and/or development must comply with the requirements of the Tasmanian Heritage Council as detailed in the Notice of Heritage Decision, THC Works Ref: 6437 dated 4 February 2020 (sic) which was provided to the Council on 4 February 2021, as attached to the permit.

Reason for condition

To clarify the scope of the permit.

ENG sw1

All stormwater from the proposed development (including but not limited to: roofed areas, ag drains, retaining wall ag drains and impervious surfaces such as driveways and paved areas) must be drained to the Council's stormwater infrastructure prior to first occupation or commencement of use (whichever occurs first).

Any private or private shared stormwater system passing through third-party land must have sufficient receiving capacity.

Advice:

Under section 23 of the Urban Drainage Act 2013 it is an offence for a property owner to direct stormwater onto a neighbouring property.

Reason for condition

To ensure that stormwater from the site will be discharged to a suitable Council approved outlet.

ENG 1

Any damage to council infrastructure resulting from the implementation of this permit, must, at the discretion of the Council:

1. **Be met by the owner by way of reimbursement (cost of repair and reinstatement to be paid by the owner to the Council); or**
2. **Be repaired and reinstated by the owner to the satisfaction of the Council.**

Any damage must be immediately reported to Council.

A photographic record of the Council's infrastructure adjacent to the subject site must be provided to the Council prior to any commencement of works.

A photographic record of the Council's infrastructure (e.g. existing property service connection points, roads, buildings, stormwater, footpaths, driveway crossovers and nature strips, including if any, pre-existing damage) will be relied upon to establish the extent of damage caused to the Council's infrastructure during construction. In the event that the owner/developer fails to provide to the Council a photographic record of the Council's infrastructure, then any damage to the Council's infrastructure found on completion of works will be deemed to be the responsibility of the owner.

Reason for condition

To ensure that any of the Council's infrastructure and/or site-related service connections affected by the proposal will be altered and/or reinstated at the owner's full cost.

ENV 1

Sediment and erosion control measures sufficient to prevent sediment from leaving the site must be installed prior to any disturbance of the site, and maintained until all areas of disturbance have been stabilized or re-vegetated.

Advice:

For further guidance in preparing a Soil and Water Management Plan – in accordance with Fact sheet 3 Derwent Estuary Program click [here](#).

Reason for condition

To avoid the sedimentation of roads, drains, natural watercourses, Council land that could be caused by erosion and runoff from the development, and to comply with relevant State legislation.

OPS s1

Compensation will be required to be paid to the Council, in accordance with its Tree Amenity Formula, for the loss of the street tree in Bishop Street; the *Syzygium smithii* (common lilly pilli). A replacement tree will also be required, to the satisfaction of the Director City Amenity. The removal of the tree is to be undertaken by the developer who is responsible for acquiring all required permits. The developer will bear the cost of the street tree removal and pay for a replacement tree, and pay the amenity value of the tree to be removed.

Advice:

The amenity value has been calculated at \$2,003, using the City of Hobart Tree Amenity Formula. The cost for a replacement tree is \$400, for the City of Hobart to purchase, plant and establish a new tree. This results in a total compensation cost of \$2,403. The compensation will be required prior to removal of the street tree.

To arrange payment of this fee, please contact the Council's Open Space Planning

Team on 6238 2488.

Reason for condition

To maintain the amenity value of street trees as per the City of Hobart Street Tree Strategy and the amenity value calculation method endorsed by a meeting of the full Council on the 18th February 2019.

SURV 1

The applicant must submit to the Council a copy of the surveyor's survey notes at the time of lodging the final plan.

Reason for condition

To enable the Council to accurately update cadastral layers on the corporate

Geographic Information System.

SURV 3

The final plan and schedule of easements must be submitted and approved under section 89 of the *Local Government (Building & Miscellaneous Provisions) Act 1993*.

The final plan and schedule of easements must provide easements to the satisfaction of the Council:

- 1. Over any proposed or existing stormwater, water or sewer mains passing through the lots on the final plan, in favour of the Hobart City Council (minimum width of 2m) and/or TasWater (minimum width of 2.5m).**

Reason for condition

To ensure that there are no impediments to the provision of public and private services and access to the lots.

SURV 11

Lot 1 and Lot 2 on the final plan is to be notated to the effect that the subdivision shown in the plan is approved in accordance with the provisions of section 109(8) of the *Local Government (Building & Miscellaneous Provisions) Act 1993*, in that the *Hobart Interim Planning Scheme 2015* makes provision for the dimensions of Lot 1 and Lot 2.

Reason for condition

To record that the *Hobart Interim Planning Scheme 2015* has made provision for the dimensions and qualities of Lot 1 and Lot 2 and to comply with Part 3 of the *Local Government (Building & Miscellaneous Provisions) Act 1993*.

ENG 14

Access and services to each lot must be designed and installed to meet the needs of future development, prior to the sealing of the final plan.

Detailed engineering drawings must be submitted and approved prior to the commencement of work on the site. The drawings must be certified by a suitably qualified and experienced engineer and must:

- 1. be generally in accordance with Local Government Association of Tasmania: Tasmanian Municipal Standard Drawings (May 2020), as varied by the City of Hobart published departures from those drawings, and Tasmanian Subdivision Guidelines (October 2013);**
- 2. clearly distinguish between public and private infrastructure;**
- 3. show the final lot boundaries, with each lot serviced separately by the Hobart City Council infrastructure and all private plumbing contained within each lot;**
- 4. show the proposed location, level and size of each lot connection such that the majority of the lot, including all hardstand areas, can be adequately drained via gravity;**
- 5. show the location of all existing connections and all stormwater from the existing development drained to Council infrastructure. Existing redundant connections must be abandoned and fully reinstated;**
- 6. show in plan, cross-section and long-section the proposed stormwater infrastructure, including but not limited to, connections, flows, velocities, hydraulic grade lines, clearances from structures, boundaries and other services, cover, gradients, sizing, material, pipe class, easements and inspection openings**

A structural condition assessment and visual record (ie CCTV and report) of the new public infrastructure must be submitted prior to issue of practical completion.

All work required by this condition must be constructed in accordance with the approved engineering drawings. All services must be installed prior to the sealing of the final plan.

Advice:

Council generally requires mains in the road to be DN300 and running under the kerb to a side entry pit, if practicable.

A single lot connection at the lowest point of the lot is generally allowed under the Urban Drainage Act. Council notes the Lot has multiple existing connections (including one on Bishop Street where the private downpipe may be outside the property boundary), however none able to serve the existing access. A new connection and some consolidation/ abandonment of existing connections for the Balance Lot is required.

Once the engineering drawings have been approved the Council will issue a condition endorsement.

Please note that once the condition endorsement has been issued you will need to contact Council's City Amenity Division to obtain a [Permit to Construct Public Infrastructure](#). A 12 month maintenance period, bond and CCTV will be required.

Reason for condition

To ensure that the subdivision of land provides adequate services to meet the projected needs of future development.

ENG 16

Prior to the sealing of the final plan, private sewer, stormwater (including surface drainage) and water services/connections are to be entirely separate to each lot and contained wholly within the lots served.

Reason for condition

To ensure that each lot is services separately.

ENG 17

Prior to the sealing of the final plan, the developer must verify compliance with condition ENG 16 by supplying the Council with an as-installed services plan clearly indicating the location and details of all relevant services (entirely contained within their respective lots or appropriate easements). The as-installed services plan must be accompanied by certification from a suitably qualified person that all engineering work required by this permit has been completed.

Advice:

Any final plan submitted for sealing will not be processed unless it is accompanied by documentation by a suitably qualified person that clearly certifies that this condition has been satisfied and that all the work required by this condition has been completed. A 'suitably qualified person' must be a professional engineer or professional surveyor or other persons acceptable to the Council.

Reason for condition

To ensure that the developer provides the Council with clear written confirmation that the separation of services is complete.

OPS 1

The owner must pay a cash contribution to the Council for contribution to public open space, prior to sealing of the final plan.

The open space contribution is equal to 5% of the undeveloped value of Lots 1 and 2 comprised in the final plan, in lieu of the provision of public open space within the subdivision.

Advice:

The value is to be determined by a registered valuer commissioned by the Council at the developer's cost. Please contact the Council's Development Appraisal Unit on 6238 2715 to instigate the valuation process.

Reason for condition

Approval of the subdivision will create further demand upon Hobart's Public Open Space System. The funds obtained will be used for future expenditure on the purchase or improvement of land for public open space in Hobart.

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

BUILDING PERMIT

You may need building approval in accordance with the *Building Act 2016*. Click [here](#) for more information.

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

PLUMBING PERMIT

You may need plumbing approval in accordance with the *Building Act 2016*, *Building Regulations 2016* and the National Construction Code. Click [here](#) for more information.

OCCUPATION OF THE PUBLIC HIGHWAY

You may require a Permit to Open Up and Temporarily Occupy a Highway (for work in the road reserve). Click [here](#) for more information.

PERMIT TO CONSTRUCT PUBLIC INFRASTRUCTURE

You may require a permit to construct public infrastructure, with a 12 month maintenance period and bond (please contact the Hobart City Council's City Amenity Division to initiate the permit process).

NEW SERVICE CONNECTION

Please contact the Hobart City Council's City Amenity Division to initiate the application process for your [new stormwater connection](#).

PLANNING

Tree Health

Please follow the advice under the submitted qualified arborist report with regard to the potential impact on the health of the large cypress tree on site, concerning the potential impact of any proposed excavation or other works in the vicinity of that tree with regard to the subdivision, and potential impact with regard to any proposed future development.

WORK WITHIN THE HIGHWAY RESERVATION

Please note development must be in accordance with the Hobart City Council's Infrastructure By law. Click [here](#) for more information.

DRIVEWAY SURFACING OVER HIGHWAY RESERVATION




If a coloured or textured surface is used for the driveway access within the Highway Reservation, the Council or other service provider will not match this on any reinstatement of the driveway access within the Highway Reservation required in the future.

FEES AND CHARGES

Click [here](#) for information on the Council's fees and charges.

DIAL BEFORE YOU DIG

Click [here](#) for dial before you dig information.

- | | |
|---------------|---|
| Attachment A: | PLN-20-780 - 343 PARK STREET NEW TOWN
TAS 7008 - Planning Committee or Delegated
Report ↓  |
| Attachment B: | PLN-20-780 - 343 Park Street New Town TAS 7008
- CPC Agenda Documents ↓  |
| Attachment C: | PLN-20-780 - 343 PARK STREET NEW TOWN
TAS 7008 - Planning Referral Officer Cultural
Heritage Report ↓  |

**APPLICATION UNDER HOBART INTERIM PLANNING SCHEME 2015**

Type of Report:	Committee
Committee:	22 February 2021
Expiry Date:	10 March 2021
Application No:	PLN-20-780
Address:	343 PARK STREET , NEW TOWN ADJACENT ROAD RESERVE
Applicant:	(PDA Surveyors) 127 Bathurst Street
Proposal:	Partial Demolition, Subdivision (Two Additional Lots) and Associated Works
Representations:	TWO
Performance criteria:	Development Standards - Subdivision, Heritage

1. Executive Summary

- 1.1 Planning approval is sought for a partial demolition, subdivision (two additional lots) and associated works at 343 Park Street and Adjacent Road Reserve, New Town TAS 7008.
- 1.2 More specifically the proposal includes:
 - Subdivision to provide two additional lots at the large corner lot at 343 Park Street.
 - The balance lot would remain at 539 square metres. Lots 1 and 2 would measure 343 square metres and 297 square metres respectively.
 - Minor demolition is involved.
 - The two new lots would front Park Street and Bishop Street respectively.
 - Works are proposed within the Bishop Street road reservation, with regard to stormwater and with regard to the removal of a street tree.
- 1.3 The proposal relies on performance criteria to satisfy the following standards and codes:
 - 1.3.1 Inner Residential Zone - Subdivision
 - 1.3.2 Historic Heritage Code - Heritage Precinct and Heritage Place

- 1.4 Two representations raising concern with regard to the proposal were received within the statutory advertising period between the 6th and 20th January 2021.
- 1.5 The proposal is recommended for approval subject to conditions.
- 1.6 The final decision is delegated to the Committee, because a two lot subdivision is proposed with works within the Council road reservation.

2. Site Detail

2.1 The site is within the Inner Residential Zone.

2.2 The site was visited dated the 18th January 2021.



Figure 1 above: location plan with site to lower centre of image.



Figure 2 above: aerial photograph with site in centre of image.



Figure 3 above: Bishop Street frontage of site.



Figure 4 above: Park Street frontage of site.

3. Proposal

- 3.1 Planning approval is sought for a partial demolition, subdivision (two additional lots) and associated works at 343 Park Street and Adjacent Road Reserve, New Town TAS 7008.
- 3.2 More specifically the proposal is for:
- Subdivision to provide two additional lots at the large corner lot at 343 Park Street.
 - The balance lot would remain at 539 square metres. Lots 1 and 2 would measure 343 square metres and 297 square metres respectively.
 - Minor demolition is involved.
 - The two new lots would front Park Street and Bishop Street respectively.
 - Works are proposed within the Bishop Street road reservation, with regard to stormwater and with regard to the removal of a street tree.

4. Background

- 4.1 There appears no recent background under Council's records (Trim).

5. Concerns raised by representors

- 5.1 Two representations raising concern with regard to the proposal were received within the statutory advertising period between the 6th and 21st January 2021.
- 5.2 The following table outlines the concerns raised in the representations received. Those concerns which relate to a discretion invoked by the proposal are addressed in Section 6 of this report.

<p>Heritage</p> <p>New Town is one of the oldest suburbs in Hobart, overtime the property sizes have been reduced. The ability to see it as an area which originally developed from semi-rural properties with large stately homes among them has been eroded with development, this was to be foreseen but the ability to retain what remains exists and should be taken. The Park Street Toll house along with the streets comprising Bishop Street, Park Street and Harbroe Ave are of significance as they show the interwar period development which has not been eroded by subdivision. The intact plan is a rarity and a new subdivision will change the pattern of this area. A new subdivision and in this case the future building of two extra houses on this block will compromise the streetscape in terms of the siting of buildings. Conservation of the character of the area and the Heritage Precinct overlay should be maintained in this instance by rejection of the above proposal.</p>

Parking and Access, and Traffic Danger

There is little street parking available on Park Street, with bus routes and heavy traffic. Further development in this area, particularly around the intersection of Park Street and Bishop Street would be adding to congestion and possible danger. It is already difficult to navigate around parked cars on this street. The attempts at slowing traffic down and diverting it to other streets has meant that cars now speed down

Bishop Street. Adding further development to this area could put pedestrians and vehicles at risk of damage.

It is currently not uncommon to see cars damaged from high speeding traffic, my own vehicle has had its side mirrors removed through speeding traffic misjudging the road gap and learner drivers in Bishop Street. It is often congested round the bus stop area on Park street and further negotiation of an additional driveway and associated traffic/sightlines increases risk to the area, particularly given the high volume of buses with children that frequent the Toll House stop.

Difficulty of Access Concern

Reversing from the driveways will be difficult, particularly from the Park Street block in peak traffic times, navigating a heavily used road with frequent buses. There already is a fair amount of congestion in this area and the development does not allow for any turning area in its driveway. Residents in majority of the Harbroe Estates Development have rear access to the park area which allows them to turn their vehicle around and exit via Harbroe avenue which is the safest option in peak traffic times.

Trees

The tree located on the property, noted in the application as a cypress is not on the historic registrations but should be. This omission should be corrected, its presence is depicted in the Toll Tokens dating 1855 (notably much smaller then but still quite large!). The ability of the tree to withstand the development is of great concern. The proposed pipeline and services for the development will affect the root structure of this tree. The tree has been outlined on the development application and the notes show that a development will be very close to and at some points encroach on the maximum tolerable to the tree, this is the maximum, so it is without a doubt that the tree will be affected. Given that majority of house owners do not tolerate large tree limbs overhanging their houses, it is foreseeable that the tree will be subject

to applications for reduction. Overtime, this will affect the integrity of the tree structure and its health.

The actual building of houses will impact on the tree as there will be large vehicles on the blocks for the build and stressing the tree, due to loads on the structural root zones. It is difficult to ensure that the tree will not be damaged. There is also going to be an impact on the aesthetics of the tree, given that limbs will be removed for the development. In the documents given for this development, it has been reported that large damage to the roots will potentially decay the structural root framework, which in turn will affect stability. Water available to the tree will also be affected with development.

The buildings which could be placed on the new lots will be potentially much larger than those of the older bungalow style which comprise the rest of the buildings in the Harbroe Avenue Estate Heritage development. This change of style and overshadowing will degrade the appeal of the area.

Although not of the highest concern, compared to the large cypress, the pear tree has been noted to be removed with this development application. This would be a shame as there have been many large fruit trees removed from properties in the area and having spoken to old residents, they have commented on having spent a large amount of time in this yard during their childhoods, with playgroups/friends and the swapping of fruit and canning that occurred in the past. Elderly residents have remarked memories of climbing the cypress tree and it would be a loss to impact this tree when it has many years remaining of growth. Residents to the area do share fruit when in abundance and this sharing has added to the sense of community and "Garden Feel" which the in the local area is noted for. There is also a Native Gum on the property located on the Bishop Street side which is not too common species in suburbia and this would also be lost likely during development. The rear yard is a substantial element to New Town properties.

Sewer (TasWater) and Stormwater concern
The aging of the sewage lines in this area are of concern and alterations may impact on other properties in the vicinity. The additional impact of buildings and its effect on stormwater to Bishop street should be examined further. The runoff will be more significant if the development occurs as there will be much less open space for runoff absorption.

Concern at sewer provision with regard to the proposal.

(The representation has been forwarded for the attention of TasWater).

Other comment

The property and attached land which relates to the above planning application is of cultural significance to the New Town area and the history of Hobart. The Park Street Toll House and its accompanying land parcel history have been well documented. The Tollhouse block with its large yard, significant tree and architecturally interesting build is a local landmark, given that it has largely remained intact from its inception, the loss of any elements relating to this parcel is of great concern. Local history is part of the fabric of communities and New Town is blessed to have the Toll House with its original parcel of land intact, The Park Street Tollhouse is featured on tokens such as the 1855 which are highly prized by collectors. One of the token impressions which feature the house and its significant tree with gardens can be seen here:
<https://levenantiques.com.au/coins-%26-tokens-1>

Changes to the block layout and potential loss of the significant tree are to my mind too great a risk of loss of heritage and character for the suburb and for Hobart. Retaining this property as it currently is will ensure the character of the precinct and the contributing factors for local history is not lost. Division of Harbroe Estate would be a great loss, given it has survived intact for so long.

6. Assessment

- 6.1 The *Hobart Interim Planning Scheme 2015* is a performance based planning scheme. To meet an applicable standard, a proposal must demonstrate compliance with either an acceptable solution or a performance criterion. Where a proposal complies with a standard by relying on one or more performance criteria, the Council may approve or refuse the proposal on that basis. The ability to approve or refuse the proposal relates only to the performance criteria relied on.
- 6.2 The site is located within the Inner Residential Zone of the *Hobart Interim Planning Scheme 2015*.
- 6.3 The existing use is dwelling. The proposed use is a subdivision. The existing use is a permitted use in the zone. The proposed use is a permitted use in the zone.
- 6.4 The proposal has been assessed against:
- 6.4.1 Part D - 11 Inner Residential Zone
 - 6.4.2 E6.0 Parking and Access Code
 - 6.4.3 E7.0 Stormwater Management Code
 - 6.4.4 E13.0 Historic Heritage Code
- 6.5 The proposal relies on the following performance criteria to comply with the applicable standards:
- 6.5.1 Inner Residential Zone:
Subdivision – Part D 11.5.1 P2, P3, P5
 - 6.5.2 Historic Heritage Code:
Building and Works on a Listed Place - E13.7.1, E13.7.2, E13.7.3, E13.8.1, E13.8.2, E13.8.3
- 6.6 Each performance criterion is assessed below.
- 6.7 Subdivision Part D 11.5.1 P2
- 6.7.1 There is no acceptable solution for 11.5.1 A2.
 - 6.7.2 The proposal includes a 2 lot subdivision.

6.7.3 There is no acceptable solution; therefore assessment against the performance criterion is relied on.

6.7.4 The performance criterion at clause 11.5.1 P2 provides as follows:

The design of each lot must contain a building area able to satisfy all of the following:

- (a) be reasonably capable of accommodating residential use and development at a density of no lower than one dwelling unit per 250 m² of site area;
- (b) meets any applicable standards in codes in this planning scheme;
- (c) enables future development to achieve reasonable solar access, given the slope and aspect of the land and the intention for density of development higher than that for the General Residential Zone.

6.7.5 Assessment of the performance criterion follows.

The proposal would result in two additional lots measuring 343 square metres (lot 1) and 297 square metres (lot 2).

The proposal would comply with the lot size requirements under Table 11.1 within the Inner Residential Zone, which specifies a minimum and maximum lot size (not including balance lots) of 250 square metres and 400 square metres respectively.

It is relevant to quote the residential density provision within the Inner Residential Zone under Clause 11.4.1 A1, which states 'multiple dwellings must have a site area per dwelling of not less than 200m² and not more than 400m²'.

Subject to separate future applications, the proposed lots would provide for a single dwelling each in accordance with the Acceptable Solution under Clause 11.4.1 A1.

While a single dwelling per lot would result in a density lower than the permitted 250 square metre threshold, the proposal is considered to result in a level of density reasonably compatibly with that of the surrounding neighbourhood.

Council's Development Engineer and Cultural Heritage Officer have not raised concerns with regard to codes under the Planning Scheme, specifically the Parking and Access Code, the Stormwater Management

Code and the Historic Heritage Code.

Lastly, in terms of solar access, the proposed lots 1 and 2 would have northerly aspects to their respective north facing sides. The prevailing slope also faces north. Solar access for any future proposed dwellings and their rear open space on the respective lots is likely to achieve a reasonable standard.

The proposal is considered to comply with the performance criteria.

6.7.6 The proposal complies with the performance criterion.

6.8 Subdivision Part 11.5.1 P3

6.8.1 There is no acceptable solution for 11.5.1 A3.

6.8.2 The proposal includes a 2 lot subdivision.

6.8.3 There is no acceptable solution; therefore assessment against the performance criterion is relied on.

6.8.4 The performance criterion at clause 11.5.1 P3 provides as follows:

The frontage of each lot must satisfy all of the following:

(a) provides opportunity for practical and safe vehicular and pedestrian access;

(b) is no less than 6 m except if an internal lot.

6.8.5 Assessment of the performance criterion follows.

The Park Street frontage of lot 1 would measure 23.8 metres. The Bishop Street frontage of lot 2 would measure 17.4 metres.

In terms of parking and access, Council's Development Engineer recommends approval of the proposal subject to conditions.

6.8.6 The proposal complies with the performance criterion.

6.9 Subdivision Part 11.5.1 P5

6.9.1 There is no acceptable solution for clause 11.5.1 A5.

- 6.9.2 The proposal includes a 2 lot subdivision.
- 6.9.3 There is no acceptable solution; therefore assessment against the performance criterion is relied on.
- 6.9.4 The performance criterion at clause 11.5.1 P5 provides as follows:

Arrangement and provision of lots must satisfy all of the following;

- (a) have regard to providing a higher net density of dwellings along;*
- (i) public transport corridors;*
- (ii) adjoining or opposite public open space, except where the public open space presents a hazard risk such as bushfire;*
- (iii) within 200 m of business zones and local shops;*
- (b) will not compromise the future subdivision of the entirety of the parent lot to the densities envisaged for the zone;*
- (c) staging, if any, provides for the efficient and ordered provision of new infrastructure;*
- (d) opportunity is optimised for passive surveillance between future residential development on the lots and public spaces;*
- (e) is consistent with any applicable Local Area Objectives or Desired Future.*

- 6.9.5 Assessment of the performance criterion follow.

Park Street is a public transport (Metro bus) route and a bus stop is located near the frontage of lot 1.

The major Metro bus route and local shops along New Town Road are some 400 metres distant 'as the crow flies' but some 650 metres distant using local roads including Roope Street.

The nearest 'business zone and local shops' being the nearest edge of the Urban Mixed Use Zone (along New Town Road) is 320 metres distant at its closest point. Again, as stated above, the practicable distance to those nearest commercial uses is some 650 metres using local roads including Roope Street.

The respective frontages of the proposed lots would be similar to the pattern existing along Park and Bishop Street, and is likely to provide a reasonable potential for passive surveillance from any future dwellings.

Lastly, while there are no Local Area Objectives or Desired Future Character Statements, the Zone Purpose Statements for the Inner

Residential Zone under Clause 11.1.1 states as follows.

11.1.1.1

To provide for a variety of residential uses and dwelling types close to services and facilities in inner urban and historically established areas, which uses and types respect the existing variation and pattern in lot sizes, set back, and height.

11.1.1.3

To encourage residential development at higher densities in locations within walkable distance of services, facilities, employment and high frequency public transport corridors.

11.1.1.4

To encourage residential development that respects the neighbourhood character.

11.1.1.5

To provide a high standard of residential amenity.

The proposal is not considered likely to conflict with the above Purpose Statements.

The proposal is considered acceptable under the Performance Criteria.

6.9.6 The proposal complies with the performance criterion.

6.10 Heritage Part E 13.7.1, E13.7.2, E13.7.3, E13.8.1, E13.8.2, E13.8.3.

6.10.1 There is no acceptable solution for clauses E13.7.1, E13.7.2, E13.7.3, E13.8.1, E13.8.2, E13.8.3.

6.10.2 The proposal includes a 2 lot subdivision of a heritage listed site within a heritage precinct.

6.10.3 There is no acceptable solution; therefore assessment against the performance criterion is relied on.

6.10. The performance criteria at clauses E13.7.1, E13.7.2, E13.7.3, E13.8.1, E13.8.2, E13.8.3 provide as follows:

E13.7.1 P1

Demolition must not result in the loss of significant fabric, form, items, outbuildings or landscape elements that contribute to the historic cultural heritage significance of the place unless all of the following are satisfied;

- (a) there are, environmental, social, economic or safety reasons of greater value to the community than the historic cultural heritage values of the place;*
- (b) there are no prudent and feasible alternatives;*
- (c) important structural or façade elements that can feasibly be retained and reused in a new structure, are to be retained;*
- (d) significant fabric is documented before demolition.*
- (a) there are, environmental, social, economic or safety reasons of greater value to the community than the historic cultural heritage values of the place;*
- (b) there are no prudent or feasible alternatives.*

E13.7.2 P1

Development must not result in any of the following:

- (a) loss of historic cultural heritage significance to the place through incompatible design, including in height, scale, bulk, form, fenestration, siting, materials, colours and finishes;*
- (b) substantial diminution of the historic cultural heritage significance of the place through loss of significant streetscape elements including plants, trees, fences, walls, paths, outbuildings and other items that contribute to the significance of the place.*

E13.7.3 P1

A proposed plan of subdivision must show that historic cultural heritage significance is adequately protected by complying with all of the following:

- (a) ensuring that sufficient curtilage and contributory heritage items (such as outbuildings or significant plantings) are retained as part of any title containing heritage values;*
- (b) ensuring a sympathetic pattern of subdivision;*
- (c) providing a lot size, pattern and configuration with building areas or other development controls that will prevent unsympathetic development on lots adjoining any titles containing heritage values, if required.*

E13.8.1 P1

Demolition must not result in the loss of any of the following:

- (a) buildings or works that contribute to the historic cultural heritage significance of the precinct;*

(b) fabric or landscape elements, including plants, trees, fences, paths, outbuildings and other items, that contribute to the historic cultural heritage significance of the precinct;
unless all of the following apply;
(i) there are, environmental, social, economic or safety reasons of greater value to the community than the historic cultural heritage values of the place;
(ii) there are no prudent or feasible alternatives;
(iii) opportunity is created for a replacement building that will be more complementary to the heritage values of the precinct.

E13.8.2 P1

Design and siting of buildings and works must not result in detriment to the historic cultural heritage significance of the precinct, as listed in Table E13.2.

E13.8.3 P1

Subdivision must not result in any of the following:
(a) detriment to the historic cultural heritage significance of the precinct, as listed in Table E13.2;
(b) a pattern of subdivision unsympathetic to the historic cultural heritage significance of the precinct;
(c) potential for a confused understanding of the development of the precinct;
(d) an increased likelihood of future development that is incompatible with the historic cultural heritage significance of the precinct.

- 6.10.5 Assessment of the performance criterion by Council's Cultural Heritage Officer follows.

Number 343 Park Street is a listed place in Table E13.1 of the Hobart Interim Planning Scheme 2015, and located within the New Town 11 Heritage Precinct. The proposal must be assessed against E13.7 Development Standards for Heritage Places and E13.8 Development Standards for Heritage Precincts.

Introduction:

Historically New Town held a strategic location as the main northern route in and out of Hobart, this saw the establishment of four toll houses operating in the New Town area during the mid-19th century. The Park Street Toll House was constructed in 1863 to prevent the evasion of government road tolls, tolls were collected by the resident gatekeeper who resided in the toll house. The system proved to be inefficient and by 1880

road tolls were abolished. Since 1880 the Park Street Toll House has largely been a private residence, with the address of 343 Park Street. The residence is positioned on a triangular parcel on the corner of Park and Bishop Street.

The residence is located in the New Town 11 Heritage Precinct which originally formed part of the estate of John Harbroe, the land was purchased by the War Service Homes Commission in 1920. A new subdivision was created that divided 46 lots over 7 acres to be developed into War Service Homes for the settlement of returned WW1 soldiers. The master plan followed a unique design, including a triangular piece of land in the middle of the settlement to be laid out as a reserve. The majority of houses were completed by 1923 with all houses reflecting strong consistent characteristics, and architectural styles. The Toll House is the only building from the Victorian era located within this Inter-War subdivision.

The Harbroe Avenue New Town 11 Heritage Precinct is significant for reasons including:

1. This precinct reflects the links between the development and extension public transport lines and land sales, house building and the historical patterns of suburban growth.
2. This precinct represents a cohesive collection of residential buildings in the Interwar Californian Bungalow style developed by the War Services Homes Commission of 46 houses between 1920 and 1924.
3. These places within this precinct have a high degree of integrity and consistency, many in original condition with strong consistent character in terms of size, height, materials, setback, bulk, garden setting and fencing.
4. This precinct shows a strong and consistent streetscape representing with a high degree of integrity and a reflection of garden suburb ideals with a triangular central park onto which houses back.

Assessment

Representations:

There were two representations received during the advertising period, one cited heritage concerns which are summarized and discussed below.

- Retaining this property as it currently is will ensure the character of the precinct and the contributing factors for local history is not lost.

- The Tollhouse block with its large yard, significant tree, and architecturally interesting building is a landmark, and given that the site has remained largely intact from its inception.
- Division of Harbroe Estate would be a great loss, given it has survived intact for so long.
- The Park Street Street Toll house along with the street comprising of Bishop Street, Park Street, and Harbroe Avenue are of significance as they show the Inter-War period of development which has not been eroded by subdivision. The intact plan is a rarity and a new subdivision will change the pattern of this area.
- A new subdivision and the future building of two extra houses on the block will compromise the streetscape in terms of the siting of buildings.

It should be noted that no trees or vegetation on site are on Council's significant tree register, and the property is not identified in the significant garden study. It is however acknowledged that the large Cypress tree contributes to the wider streetscape and precinct and its retention in the Toll House lot is seen as adequate protection for the tree.

It is also considered that any future development on the site would need to satisfy the heritage precinct provisions, which are informed by the statements of significance for the precinct, which make reference to the streetscape that is of a 'consistent character in terms of size, height, materials, setback, bulk, garden setting and fencing'. Any proposed new buildings on the subdivided lots would need to reflect the consistent character of the precinct.

E13.7 Development Standards for Heritage Places

E13.7.3 Subdivision

Objective:

To ensure that subdivision of part of a heritage place maintains cohesion between the elements that collectively contribute to an understanding of historic cultural heritage values, and protects those elements from future incompatible development.

Performance Criteria 1

A proposed plan of subdivision must show that historic cultural heritage significance is adequately protected by complying with all of the following:

- (a) ensuring that sufficient curtilage and contributory heritage items (such as outbuildings or significant plantings) are retained as part of any title containing heritage values;
- (b) ensuring a sympathetic pattern of subdivision;

(c) providing a lot size, pattern and configuration with building areas or other development controls that will prevent unsympathetic development on lots adjoining any titles containing heritage values, if required.

The Cypress tree is not currently listed as on the significant tree register, however it does have contributory values to the place and wider streetscape, and planning documents state that the mature Cypress tree is to be included within the proposed toll house residential lot, this is considered to be sufficient and adequate protection for the tree.

A mature pear tree is proposed for removal whilst unfortunate it is recognised that this tree is also not on Council's significant tree register. There are no outbuildings or other items of significance on the proposed subdivided parcels of the property. It is considered that the proposed curtilage provided is sympathetic to the listed residence.

343 Park Street is positioned in an area with a strong subdivision pattern dating from 1920, the subdivision pattern consists of back to back lots, with frontages onto either Bishop or Park Street. The proposed subdivision pattern will follow this arrangement with one lot proposed with a frontage to Park Street, and one lot proposed with a frontage to Bishop Street. The Toll House lot will remain as the prominent corner lot. It is considered that the historic cultural heritage significance of the Toll House will be adequately protected and the proposal satisfies Performance Criteria 1 of E13.7.3

E13.8 Development Standards for Heritage Precincts

E13.8.3 Subdivision

Objective:

To ensure that subdivision within a Heritage Precinct is consistent with historic patterns of development and does not create potential for future incompatible development.

Performance Criteria 1

Subdivision must not result in any of the following:

(a) detriment to the historic cultural heritage significance of the precinct, as listed in Table E13.2;

(b) a pattern of subdivision unsympathetic to the historic cultural heritage significance of the precinct;

(c) potential for a confused understanding of the development of the precinct;

(d) an increased likelihood of future development that is incompatible with the historic cultural heritage significance of the precinct.

The New Town 11 Heritage Precinct is described as being clearly identifiable as a predominantly single storey townscape with an identifiable pattern of development. It is considered that any new development would need to consider these qualities, and be of a design that is consistent with the precinct character in terms of size, height, materials, setback, bulk, garden setting and fencing.

It is considered that the proposed two new lots will not result in a confused understanding of the development of the precinct and will not result in a unsympathetic pattern of subdivision, the 1921 subdivision pattern will remain highly legible, and the 1863 Toll House will remain as the prominent corner residence that pre dates the Inter-war subdivision. Performance Criteria 1 of E13.8.3 is considered satisfied.

In conclusion the proposal satisfies the relevant provisions of the E13 Historic Heritage of HIPS 2015

6.10.6 The proposal complies with the performance criterion.

7. Discussion

- 7.1 Planning approval is sought for a partial demolition, subdivision (two additional lots) and associated works at 343 Park Street and Adjacent Road Reserve, New Town TAS 7008.
- 7.2 The application was advertised and received two representations. The representation raised concern with regard to heritage, trees, parking and access and TasWater sewer provision.
- 7.3 The proposal has been assessed against the relevant provisions of the planning scheme and is considered acceptable.

- 7.4 The proposal has been assessed by other Council officers, including the Council's Development Engineer, Cultural Heritage Officer, Manager Surveying Services, Stormwater Services Engineer, Technical Officer Roads, Park Planner and Arborist. The officers have raised no objection to the proposal, subject to conditions.
- 7.5 The applicant has granted an extension of time to allow Council consideration of the proposal.
- 7.6 The proposal is recommended for approval.

8. Conclusion

- 8.1 The proposed partial demolition, subdivision (two additional lots) and associated works at 343 Park Street and Adjacent Road Reserve, New Town TAS 7008 satisfies the relevant provisions of the *Hobart Interim Planning Scheme 2015*, and as such is recommended for approval.

9. Recommendations

That: Pursuant to the *Hobart Interim Planning Scheme 2015*, the City Planning Committee, in accordance with the delegations contained in its terms of reference, approve the application for for a partial demolition, subdivision (two additional lots) and associated works at 343 Park Street and Adjacent Road Reserve, New Town TAS 7008 for the reasons outlined in the officer's report and a permit containing the following conditions be issued:r

GEN

The use and/or development must be substantially in accordance with the documents and drawings that comprise 343 PARK STREET AND ADJACENT ROAD RESERVE, NEW TOWN TAS 7008 - Final Planning Documents except where modified below.

Reason for condition

To clarify the scope of the permit.

TW

The use and/or development must comply with the requirements of TasWater as detailed in the form Submission to Planning Authority Notice, Reference No. TWDA 2020/02133-HCC dated 22/12/2020 as attached to the permit.

Reason for condition

To clarify the scope of the permit.

THC

The use and/or development must comply with the requirements of the Tasmanian Heritage Council as detailed in the Notice of Heritage Decision, THC Works Ref: 6437 dated 4 February 2020 (sic) which was provided to the Council on 4 February 2021, as attached to the permit.

Reason for condition

To clarify the scope of the permit.

ENG sw1

All stormwater from the proposed development (including but not limited to: roofed areas, ag drains, retaining wall ag drains and impervious surfaces such as driveways and paved areas) must be drained to the Council's stormwater infrastructure prior to first occupation or commencement of use (whichever occurs first).

Any private or private shared stormwater system passing through third-party land must have sufficient receiving capacity.

Advice: Under section 23 of the Urban Drainage Act 2013 it is an offence for a property owner to direct stormwater onto a neighbouring property.

Reason for condition

To ensure that stormwater from the site will be discharged to a suitable Council approved outlet.

ENG 1

Any damage to council infrastructure resulting from the implementation of this permit, must, at the discretion of the Council:

1. **Be met by the owner by way of reimbursement (cost of repair and reinstatement to be paid by the owner to the Council); or**
2. **Be repaired and reinstated by the owner to the satisfaction of the Council.**

Any damage must be immediately reported to Council.

A photographic record of the Council's infrastructure adjacent to the subject site must be provided to the Council prior to any commencement of works.

A photographic record of the Council's infrastructure (e.g. existing property service connection points, roads, buildings, stormwater, footpaths, driveway crossovers and nature strips, including if any, pre-existing damage) will be relied upon to establish the extent of damage caused to the Council's infrastructure during construction. In the event that the owner/developer fails to provide to the Council a photographic record of the Council's infrastructure, then any damage to the Council's infrastructure found on completion of works will be deemed to be the responsibility of the owner.

Reason for condition

To ensure that any of the Council's infrastructure and/or site-related service

connections affected by the proposal will be altered and/or reinstated at the owner's full cost.

ENV 1

Sediment and erosion control measures sufficient to prevent sediment from leaving the site must be installed prior to any disturbance of the site, and maintained until all areas of disturbance have been stabilized or re-vegetated.

Advice: For further guidance in preparing a Soil and Water Management Plan – in accordance with Fact sheet 3 Derwent Estuary Program click [here](#).

Reason for condition

To avoid the sedimentation of roads, drains, natural watercourses, Council land that could be caused by erosion and runoff from the development, and to comply with relevant State legislation.

OPS s1

Compensation will be required to be paid to the Council, in accordance with its Tree Amenity Formula, for the loss of the street tree in Bishop Street; the *Syzygium smithii* (common lilly pilly). A replacement tree will also be required, to the satisfaction of the Director City Amenity. The removal of the tree is to be undertaken by the developer who is responsible for acquiring all required permits. The developer will bear the cost of the street tree removal and pay for a replacement tree, and pay the amenity value of the tree to be removed.

Advice:

The amenity value has been calculated at \$2,003, using the CoH Tree Amenity Formula. The cost for a replacement tree is \$400, for CoH to purchase, plant and establish a new tree. This results in a total compensation cost of \$2,403. The compensation will be required prior to removal of the street tree.

To arrange payment of this fee, please contact Council's Open Space Planning Team on 6238 2488.

Reason for condition

To maintain the amenity value of street trees as per the City of Hobart Street Tree Strategy and the amenity value calculation method endorsed by a meeting of the full Council on the 18th February 2019.

SURV 1

The applicant must submit to the Council a copy of the surveyor's survey notes at the time of lodging the final plan.

Reason for Condition

To enable the Council to accurately update cadastral layers on the corporate Geographic Information System.

SURV 3

The final plan and schedule of easements must be submitted and approved under section 89 of the *Local Government (Building & Miscellaneous Provisions) Act 1993*.

The final plan and schedule of easements must provide easements to the satisfaction of the Council:

1. Over any proposed or existing stormwater, water or sewer mains passing through the lots on the final plan, in favour of the Hobart City Council (minimum width of 2m) and/or TasWater (minimum width of 2.5m).

Reason for Condition

To ensure that there are no impediments to the provision of public and private services and access to the lots.

SURV 11

Lot 1 and Lot 2 on the final plan is to be notated to the effect that the subdivision shown in the plan is approved in accordance with the provisions of section 109(8) of the *Local Government (Building & Miscellaneous Provisions) Act 1993*, in that the Hobart Interim Planning Scheme 2015 makes provision for the dimensions of Lot 1 and Lot 2

Reason for condition

To record that the Hobart Interim Planning Scheme 2015 has made provision for the dimensions and qualities of Lot 1 and Lot 2 and to comply with Part 3 of the *Local Government (Building & Miscellaneous Provisions) Act 1993*.

ENG 14

Access and services to each lot must be designed and installed to meet the needs of future development, prior to the sealing of the final plan.

Detailed engineering drawings must be submitted and approved prior to the commencement of work on the site. The drawings must be certified by a suitably qualified and experienced engineer and must:

- 1. be generally in accordance with Local Government Association of Tasmania: Tasmanian Municipal Standard Drawings (May 2020), as varied by the City of Hobart published departures from those drawings, and Tasmanian Subdivision Guidelines (October 2013);**
- 2. clearly distinguish between public and private infrastructure;**
- 3. show the final lot boundaries, with each lot serviced separately by the Hobart City Council infrastructure and all private plumbing contained within each lot;**
- 4. show the proposed location, level and size of each lot connection such that the majority of the lot, including all hardstand areas, can be adequately drained via gravity;**
- 5. show the location of all existing connections and all stormwater from the existing development drained to Council infrastructure. Existing redundant connections must be abandoned and fully reinstated;**
- 6. show in plan, cross-section and long-section the proposed stormwater infrastructure, including but not limited to, connections, flows, velocities, hydraulic grade lines, clearances from structures, boundaries and other services, cover, gradients, sizing, material, pipe class, easements and inspection openings**

A structural condition assessment and visual record (ie CCTV & report) of the new public infrastructure must be submitted prior to issue of practical completion.

All work required by this condition must be constructed in accordance with the approved engineering drawings. All services must be installed prior to the sealing of the final plan.

Advice:

Council generally requires mains in the road to be DN300 and running under the kerb to a side entry pit, if practicable.

A single lot connection at the lowest point of the lot is generally allowed under the Urban Drainage Act. Council notes the Lot has multiple existing connections (including one on Bishop St where the private downpipe may be outside the property

boundary), however none able to serve the existing access. A new connection and some consolidation/ abandonment of existing connections for the Balance Lot is required.

Once the engineering drawings have been approved the Council will issue a condition endorsement.

Please note that once the condition endorsement has been issued you will need to contact Council's City Amenity Division to obtain a [Permit to Construct Public Infrastructure](#). A 12 month maintenance period, bond and CCTV will be required.

Reason for condition

To ensure that the subdivision of land provides adequate services to meet the projected needs of future development.

ENG 16

Prior to the sealing of the final plan, private sewer, stormwater (including surface drainage) and water services/connections are to be entirely separate to each lot and contained wholly within the lots served.

Reason for condition

To ensure that each lot is services separately.

ENG 17

Prior to the sealing of the final plan, the developer must verify compliance with condition ENG 16 by supplying the Council with an as-installed services plan clearly indicating the location and details of all relevant services (entirely contained within their respective lots or appropriate easements). The as-installed services plan must be accompanied by certification from a suitably qualified person that all engineering work required by this permit has been completed.

Advice: Any final plan submitted for sealing will not be processed unless it is accompanied by documentation by a suitably qualified person that clearly certifies that this condition has been satisfied and that all the work required by this condition has been completed. A 'suitably qualified person' must be a Professional Engineer or Professional Surveyor or other persons acceptable to Council.

Reason for condition

To ensure that the Developer provides the Council with clear written confirmation that the separation of services is complete.

OPS 1

The owner must pay a cash contribution to the Council for contribution to public open space, prior to sealing of the final plan.

The open space contribution is equal to 5% of the undeveloped value of Lots 1 and 2 comprised in the final plan, in lieu of the provision of public open space within the subdivision.

Advice: The value is to be determined by a registered valuer commissioned by the Council at the developer's cost. Please contact the Council's Development Appraisal Unit on 6238 2715 to instigate the valuation process.

Reason for condition

Approval of the subdivision will create further demand upon Hobart's Public Open Space System. The funds obtained will be used for future expenditure on the purchase or improvement of land for public open space in Hobart.

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

BUILDING PERMIT

You may need building approval in accordance with the *Building Act 2016*. Click [here](#) for more information.

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

PLUMBING PERMIT

You may need plumbing approval in accordance with the *Building Act 2016*, *Building Regulations 2016* and the National Construction Code. Click [here](#) for more information.

OCCUPATION OF THE PUBLIC HIGHWAY

You may require a Permit to Open Up and Temporarily Occupy a Highway (for work in the road reserve). Click [here](#) for more information.

PERMIT TO CONSTRUCT PUBLIC INFRASTRUCTURE

You may require a permit to construct public infrastructure, with a 12 month maintenance period and bond (please contact the Hobart City Council's City Amenity Division to initiate the permit process).

NEW SERVICE CONNECTION

Please contact the Hobart City Council's City Amenity Division to initiate the application process for your [new stormwater connection](#).

PLANNING

Tree Health

Please follow the advice under the submitted qualified arborist report with regard to the potential impact on the health of the large cypress tree on site, concerning the potential impact of any proposed excavation or other works in the vicinity of that tree with regard to the subdivision, and potential impact with regard to any proposed future development.

WORK WITHIN THE HIGHWAY RESERVATION

Please note development must be in accordance with the Hobart City Council's Infrastructure By law. Click [here](#) for more information.

DRIVEWAY SURFACING OVER HIGHWAY RESERVATION

If a coloured or textured surface is used for the driveway access within the Highway Reservation, the Council or other service provider will not match this on any reinstatement of the driveway access within the Highway Reservation required in the future.

FEES AND CHARGES

Click [here](#) for information on the Council's fees and charges.

DIAL BEFORE YOU DIG

Click [here](#) for dial before you dig information.



(Richard Bacon)

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.



(Karen Abey)

Manager Development Appraisal

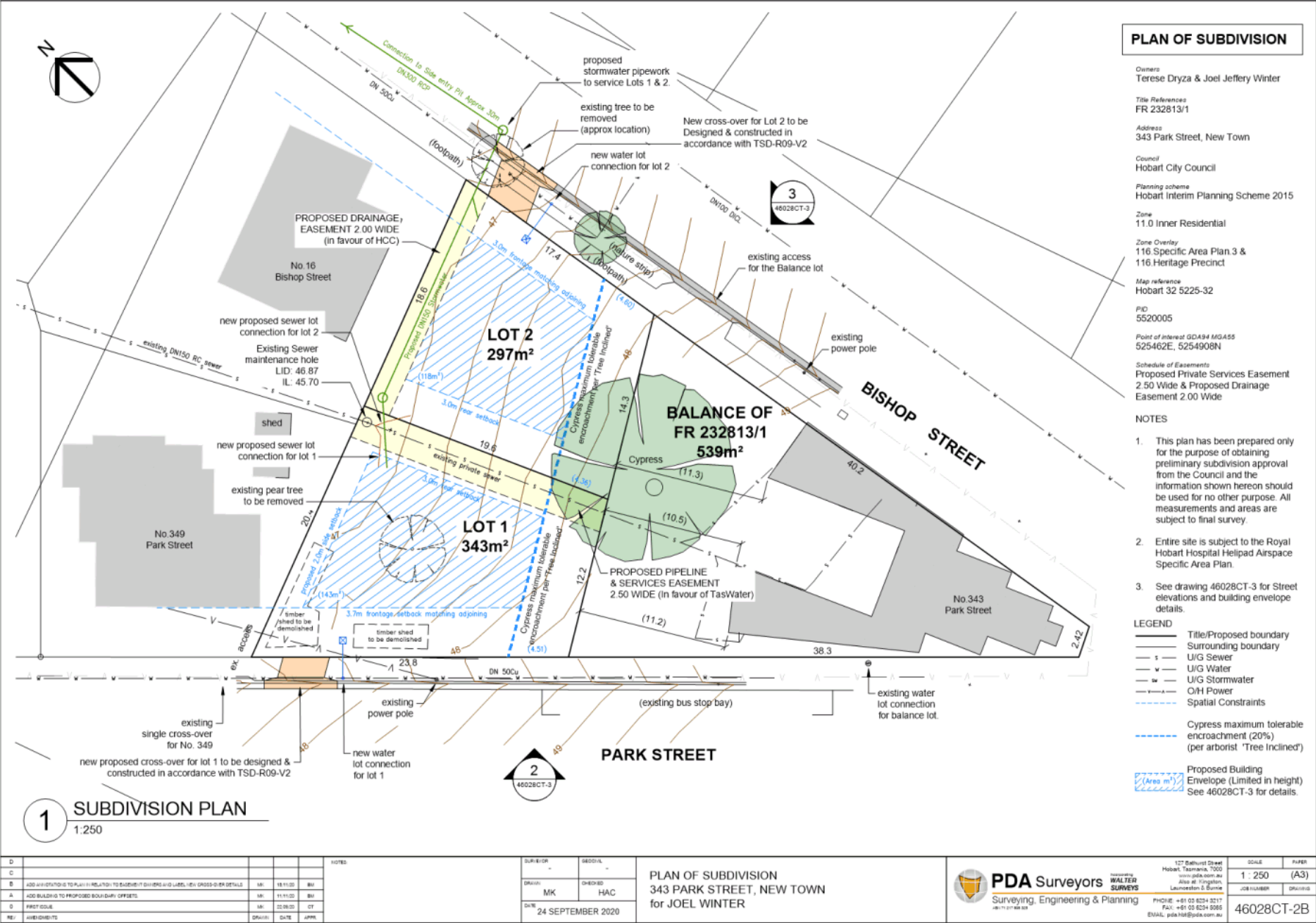
As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

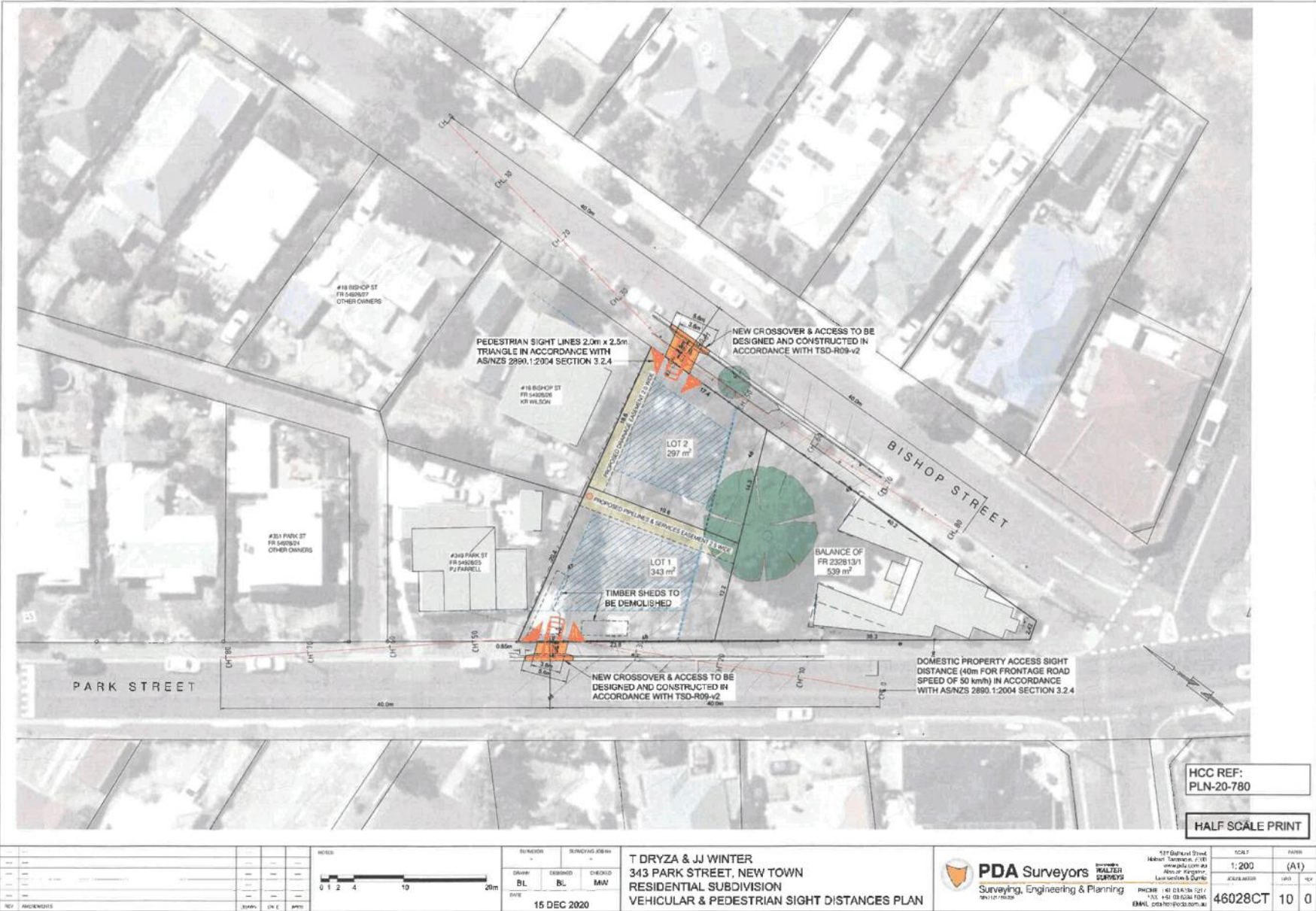
Date of Report: 4 February 2021

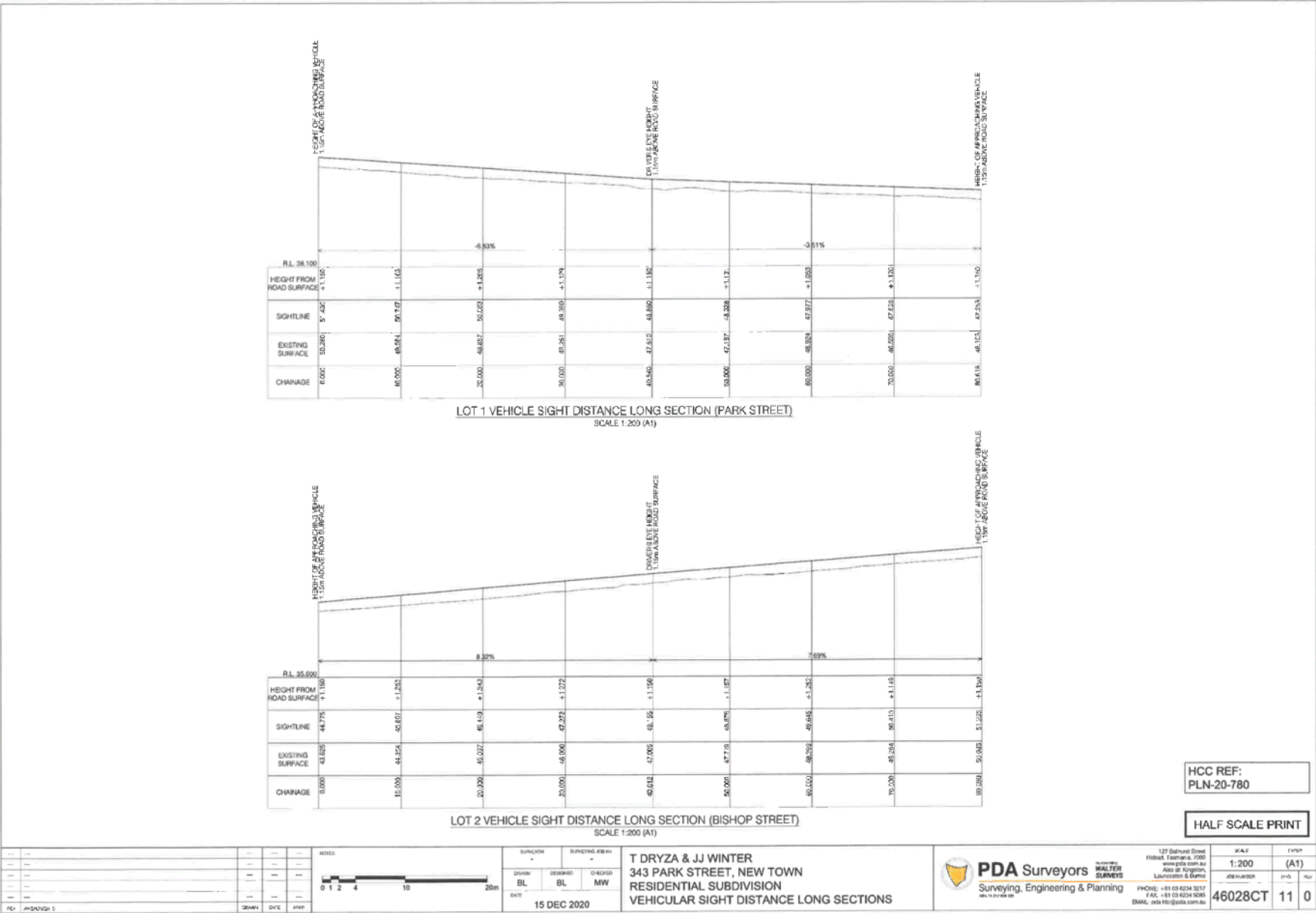
Attachment(s):

Attachment B - CPC Agenda Documents

Attachment C - Referral Officer Report (heritage)







Craig Terry

From: Craig Terry
Sent: Tuesday, 15 December 2020 4:39 PM
To: 'baconr@hobartcity.com.au'
Cc: 'Tess Dryza'; 'joelwinterhome@gmail.com'
Subject: PLN-20-780 343 Park Street New Town
Attachments: 46028CT-10-11.pdf; 46028CT-2B (Plan of Subdivision).pdf

Dear Richard

We refer to your RFI of 14/12/20 and respond as per the below.

PA 2.2 Scaled and dimensioned drawing(s) demonstration vehicular and pedestrian sight distances.

Attached are our drawings 46028CT-10 and 11 showing the required information. Noting that this is a residential street with a speed limit of 50km/h requires sight lines of 40m per AS/NZS 2890.1:2004

ENGr 1. State on the plan that the driveway crossover within Bishop Street and Park Street highway reservation will be designed and constructed in accordance with TSD-R09-V2

2. Show the width of the proposed crossovers and the width of the kerb left between the neighbouring property crossover after widening (min 500mm).

Refer to the attached plan 46028CT -10 for additional notes and detail as requested.

Other matters:

- a) Please refer to Plan of Subdivision 46028-2B for note re easement through Lot 1. "PROPOSED PIPELINE & SERVICES EASEMENT 2.50WIDE (in favour of TasWater)"
- b) Please refer to Plan of Subdivision 46028-2B for note re easement through Lot 2. "PROPOSED DRAINAGE EASEMENT 2.00 WIDE (in favour of HCC)"
- c) Please refer to Plan of Subdivision 46028-2B for note re the proposed new access's to lots 1 and 2.

The above will posted to your portal today.

We believe that the above now satisfies your RFI of 14/12/2020.

Kind Regards

Craig M. Terry B.Surv.(Tas), M. SSSI
Managing Director and Registered Land Surveyor
PHONE: +61 3 6234 3217
MOB: 0409 311 563
craig.terry@pda.com.au
127 Bathurst Street, Hobart, 7000
www.pda.com.au



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SURVEYS**

Surveying, Engineering & Planning

ABN 71 217 806 325

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*Our office will close on Friday 18th December 2020 at 12 noon
and re-open on Monday 4th January 2021 at 8.30 am
Partners and staff extend to you the compliments of the season.*



Enquiries to: City Planning
Phone: (03) 6238 2715
Email: coh@hobartcity.com.au

24 November 2020

Bronwyn Mellor (PDA Surveyors)
127 Bathurst Street
HOBART TAS 7000

mailto: Bronwyn.Mellor@pda.com.au

Dear Sir/Madam

**343 PARK STREET, NEW TOWN - WORKS IN ROAD RESERVE AND STORMWATER
MAIN EXTENSION WITHIN PROPOSED SUBDIVIDED LOT NOTICE OF LAND OWNER
CONSENT TO LODGE A PLANNING APPLICATION - GMC-20-76**

Site Address:

343 Park Street, New Town

Description of Proposal:

Partial Demolition, Subdivision (Two Additional Lots) and Associated Works including works in Road Reserve and Stormwater main extension within proposed subdivided lot

Applicant Name:

Bronwyn Mellor
PDA Surveyors

PLN (if applicable):

PLN-20-780

I write to advise that pursuant to Section 52 of the *Land Use Planning and Approvals Act 1993*, I grant my consent on behalf of the Hobart City Council as the owner/administrator of the above land for you to make application to the City for a planning permit for the development described above and as per the attached documents.

Please note that the granting of the consent is only for the making of the application and in no way should such consent be seen as prejudicing any decision the Council is required to make

Hobart Town Hall
50 Macquarie Street
Hobart TAS 7000

Hobart Council Centre
16 Elizabeth Street
Hobart TAS 7000

City of Hobart
GPO Box 503
Hobart TAS 7001

T 03 6238 2711
F 03 6234 7109
E coh@hobartcity.com.au
W hobartcity.com.au

CityofHobartOfficial
ABN 39 055 343 428
Hobart City Council

as the statutory planning authority.

This consent does not constitute an approval to undertake any works and does not authorise the owner, developer or their agents any right to enter or conduct works on any Council managed land whether subject to this consent or not.

If planning approval is granted by the planning authority, you will be required to seek approvals and permits from the City as both landlord, land manager, or under other statutory powers (such as other legislation or City By-Laws) that are not granted with the issue of a planning permit under a planning scheme. This includes the requirement for you to reapply for a permit to occupy a public space under the City's Public Spaces By-law if the proposal relates to such an area.

Accordingly, I encourage you to continue to engage with the City about these potential requirements.

Yours faithfully

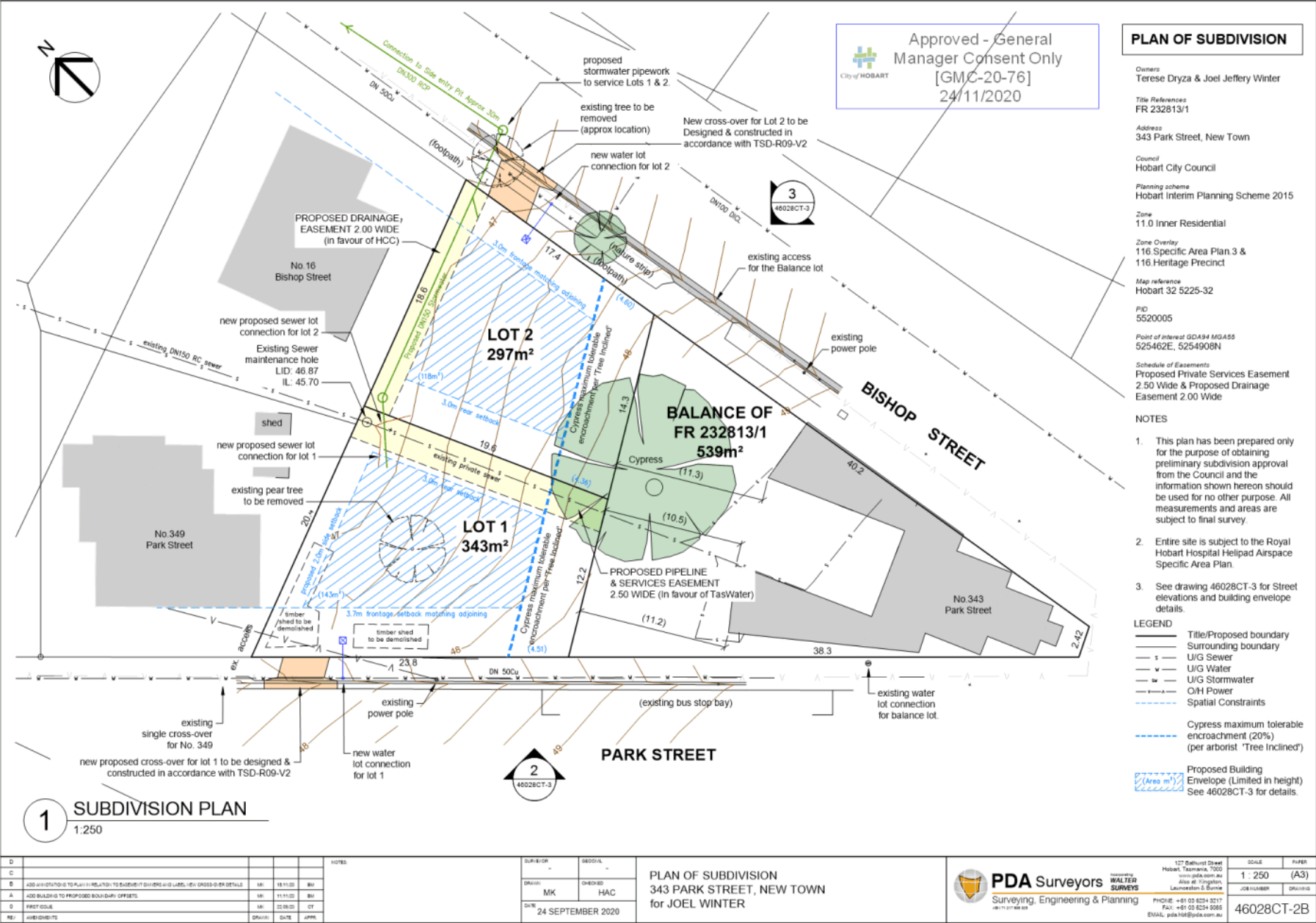


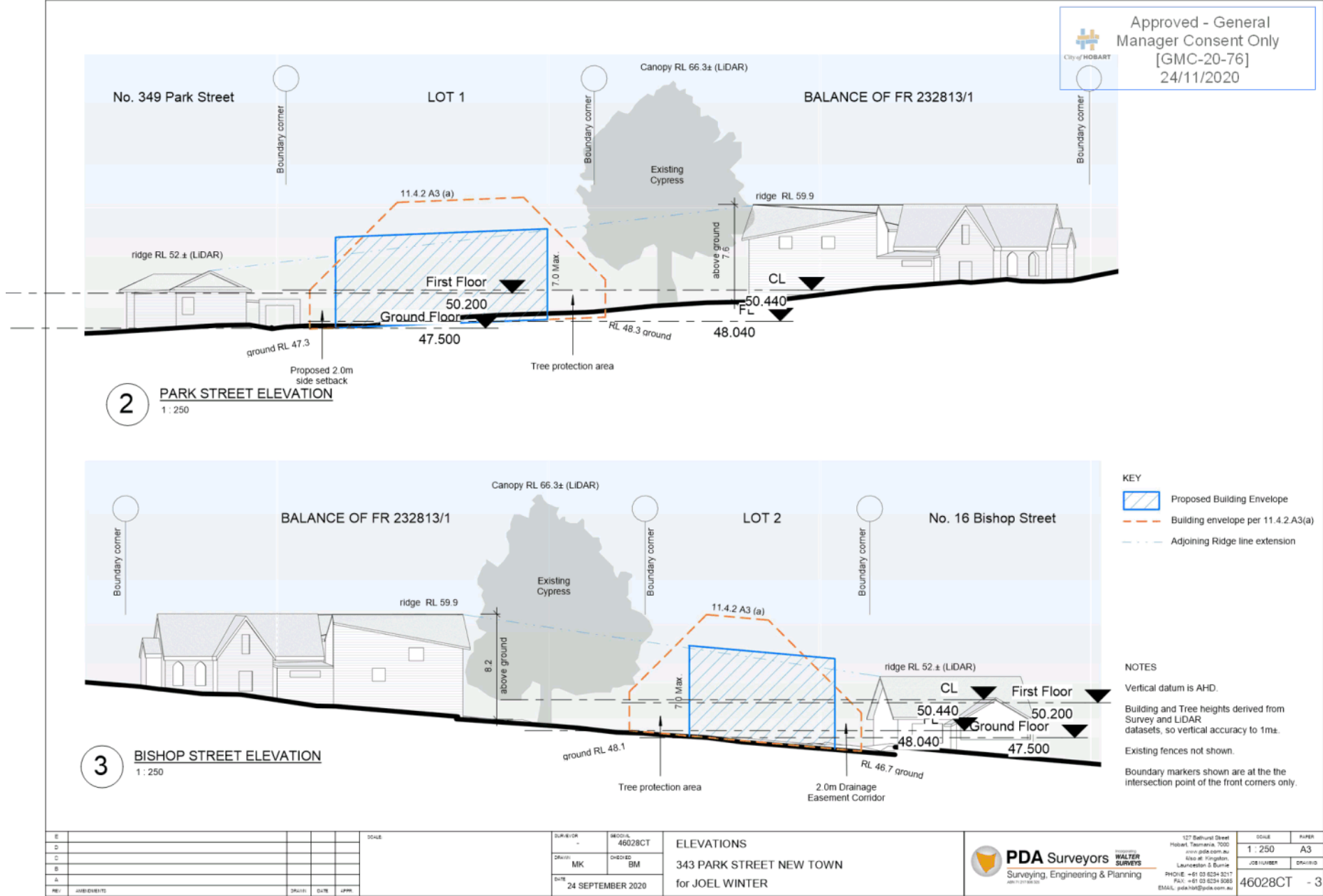
(N D Heath)

GENERAL MANAGER

Relevant documents/plans:

Plans by PDA Surveyors
Plan of Subdivision - 46028CT-2B
Elevations - 46028CT-3





HOBART
C.M. Terry, B. SURV. (Tas.), M.SSI. (Director)
H. Clement, B. SURV. (Tas.), M.SSI. (Director)
M.S.G. Denholm, B. GEOM. (Tas.), M.SSI. (Director)
T.W. Walter, Dip. Surv & Map. (Director)
A.M. Peacock, B. APP. SC. (SURV), M.SSI. (Consultant)
D. Panton, B.E. M.I.E. AUST., C.P.ENG. (Consultant)
A. Collins, Ad. Dip. Surv & Map. (Senior Associate)
L.H. Kiely, Ad. Dip. Civil Eng. Cert IV I.T., (Associate)
KINGSTON
A.P. (Lex) McIndoe, B. SURV. (Tas.), M.SSI. (Director)
LAUNCESTON
J.W. Dent, OAM, B. SURV. (Tas.), M.SSI. (Director)
M.B. Reid, B. GEOM.(HONS) (Tas.), M.SSI. (Director)
BURNIE/DEVONPORT
A.W. Eberhardt, B. GEOM. (Tas.), M.SSI. (Director)
A.J. Hudson, B. SURV. (Tas.), M.SSI. (Consultant)



PDA Surveyors
Surveying, Engineering & Planning
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Incorporating
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SURVEYS**

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Hobart Tasmania, 7000
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Email: pda.hbt@pda.com.au
www.pda.com.au

Our Ref: 46028CT
Council Ref: PLN-20-780

11 November 2020

The General Manager
Hobart City Council

Sent via: Online Application Portal

Dear Sir/Madam

**Planning Permit Application for 3 lot subdivision
Land at: 343 Park Street, New Town (FR232813/1)**

In response to Council's letter of the 10th November 2020, more particularly the foreshadowed further information that may be required on page 2 of the letter, the following response is now provided:

1. The Plan of Subdivision has been prepared so that a 1:250 scale from an A3 size sheet can determine distances on the plan. Notwithstanding existing scale dimensions set for the plan, the plan has now been revised to add dimensioned setbacks from the existing dwelling to the proposed boundary as requested.
2. The primary reason the "pear tree" is identified in the preliminary arborists report is that the original subdivision proposal that was being developed was a 2 lot subdivision (as shown on the Detail Survey Plan attached to this letter).

This former proposal is not a discretionary application under the Inner Residential Zone and did not proceed past a conceptual stage.

The pear tree and its immediate surrounds were intended to form the rear yard of the 2nd lot, with the active lot frontage proposed to face Bishop Street in the former 2 lot subdivision concept.

The only reason the preliminary arborist report identified the tree was to provide information to the landowner whether the tree was viable to retain for aesthetic reasons.

The preliminary arborist report does not identify the pear tree as significant in any manner.

The preliminary arborist report has only been provided with the current application to support the justification for the design response of the subdivision with regard to the mature and significant Cypress Tree on the site.

OFFICES ALSO AT:

- 6 Freeman Street, Kingston, 7050 (03) 6229 2131
- 8/16 Main Road, Huonville, 7109 (03) 6264 1277
- 3/23 Brisbane Street, Launceston, 7250 (03) 6331 4099

- 16 Emu Bay Road, Deloraine, 7304 (03) 6362 2993
- 6 Queen Street, Burnie, 7320 (03) 6431 4400
- 77 Gunn Street, Devonport, 7310 (03) 6423 6875

The pear tree is not listed as a contributory item of the Heritage Precinct in the Planning Scheme, any HCC policy document, or any other conservation policy document that is available.

It is noted and important to understand that the Cypress Tree is not currently listed as an individual item of significance or in the heritage precinct description under the Historic Heritage Code or the Heritage Tasmania registration.

The Cypress Tree has been incorporated into the design of the subdivision in good faith by the landowner because it provides a contribution to the streetscape/urban environment as a visual landmark.

The Cypress Tree is however mentioned in the HCC Local Heritage Precincts Description, Statement of Local Historic Heritage Significance and Design Criteria / Conservation Policy (Jan, 2019), so there is a reasonable expectation that the Cypress Tree may have some contributory fabric to the precinct. Please note that the Cypress Tree is mentioned in this policy document as a "Bhutan Pine", which is not consistent with the arborists report species identification of the tree.

Now that the proposal includes 3 lots and not 2 as was previously proposed, there is no scope for the Pear Tree to be retained. However there has been provision made for building envelope frontage setbacks on each new lot to ensure that a garden setting can be established to assist in integrating new development into the surrounding heritage precinct.

Given the above, the proposal plan has not been revised to retain the pear tree, as the tree has no significance to the heritage precinct.

Given the scope of the arborist report with regard to the pear tree there is no further need to revise this report as a supporting document for this application as the pear tree is now irrelevant to any planning merit for this application.

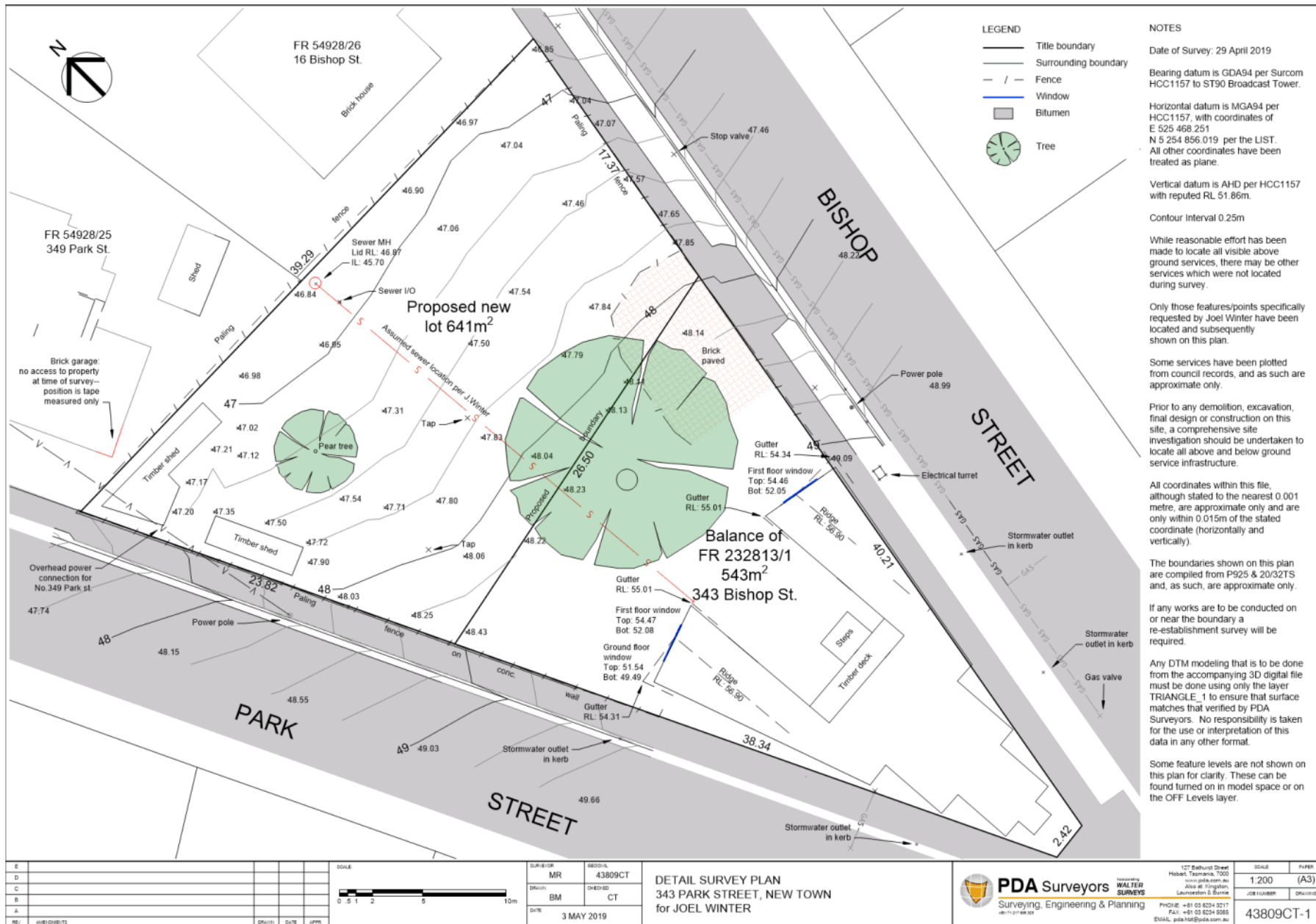
3. During the preparation of this letter and review of the application, it has become apparent that there has been an omission made in the Planning Assessment Report originally submitted in regard to the RHH Helipad Airspace Specific Area Plan. A revised Planning Assessment Report is now provided with a minor variation to resolve this omission.

Please contact me further should any clarification be needed.

Yours faithfully
PDA Surveyors

Per: 

Bronwyn Mellor
Senior Planner



**City of Hobart Local Heritage Precincts
Description, Statement of Local Historic Heritage Significance and
Design Criteria / Conservation Policy
January 2019**

**HOB-C6.2.8.12
Harbroe Avenue – New Town**



DESCRIPTION**Component streets:**

Bishop Street
Park Street
Harbroe Avenue

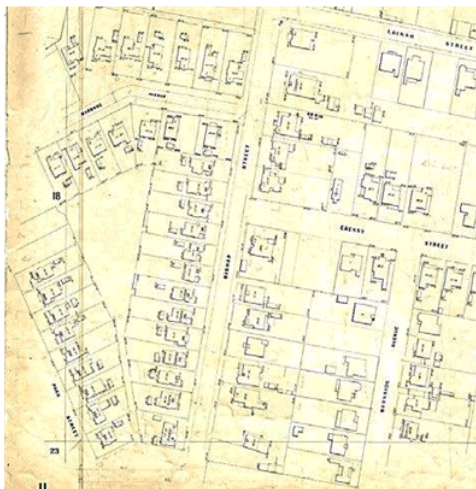
Historical background:

The precinct originally formed part of the estate of John Harbroe, a government official and the Collector of Customs in Hobart. Following Harbroe's death in 1918 the land was purchased by the War Service Homes Commission in 1920. The plan for a 46-lot housing project named Harbroe Estate was lodged by Geoffrey Payne, a Hobart surveyor who by 1921 was part of the Commonwealth Surveyor-General's staff. The plan divided 46 lots on over 7 acres to be developed into War Service Homes for the settlement of returned WW1 soldiers. The master plan followed a unique design, including a triangular piece of land in the middle of the settlement to be laid out as a reserve and children's playground with residents responsible for keeping the space tidy.

The majority of houses were completed by 1923 with all houses reflecting strong consistent characteristics, and architectural styles but with subtly varied details that indicate the attempts to create variety and avoid monotony in the designs. The Harbroe Estate plan also reflected the 'Garden City Movement' that was popular during this period, and reflected the overall philosophy of the Commission which intended to bring together war veterans, war widows, and their families into estates where they could live surrounded by compatriots in a somewhat communal lifestyle.

Ownership of the public land in the centre of Harbroe Estate was taken over by Hobart City Council in 1982 when the War Service Homes Commission was disbanded.

The earliest building within the precinct is the Former Toll House, which is positioned on the corner of Park and Bishop Street. In December, 1863, the government advertised that they were setting up a new toll house in Park Street to prevent the evasion of the tolls along the main road in New Town. The Toll House building has survived to this day and sits in a prominent position on the corner of Bishop and Park Street.



Hobart City Council Drainage Board map of New Town
c. 1947. Sheet 11 (AOT: SD_ILS:553788)



New Town Toll House on corner of Park and Bishop
Street. C. 1920 (AOT PH:3015137)

Precinct character and features:***Streetscape and townscape*****Design and topography**

The precinct is bounded by Harbroe Avenue, Bishop, and Park Streets, with a triangular parcel of land in the middle, houses back onto this reserve area, which includes vehicle access from Park Street 349 and 351, and Harbroe Avenue between numbers 12 and 14. Streets within the precinct are relatively narrow and straight, with Park Street and Bishop Streets running on a slight downwards gradient to intersect with Bellevue Parade and Risdon Road.

Vegetation

There is a prominent and listed Bhutan pine in the rear garden of 343 Park Street that provides a landmark within the streetscape. There are a large number of street plantings along Bishop Street, including hedges, native gum trees, pepper trees, and waratah shrubs. Harbroe Avenue and Bishop Street feature grassed nature strips set in front of residences, whilst the central reserve of the precinct features maintained grass and a small number of young trees.

Views and vistas

Park Street features views north east towards, and the intersection of Park and Bishop Street presents views towards the Queens Domain. Bishop Street and Harbroe Avenue captures vistas of kunanyi / Mount Wellington. Whilst from Harbroe Ave looking towards the intersection of Park Street the vista along the streetscape is dominated by the landmark Victorian mansion *Louisville* at 35 Bay Road.

Built form**Materials**

Buildings within the precinct are a mixture of timber weatherboard, and brick dwellings with a mixture of finishes including roughcast render, painted, and exposed. Roofing material is almost exclusively corrugated iron, with a very small number of houses that have been re roofed with tiles.

Architectural styles and scales

Houses are of a modest scale and are single storey. Houses within the precinct were primarily constructed within the late Federation and early Inter-War period. Styles featured within the precinct include Federation Bungalows some with Arts and Crafts detailing, and Inter-War Californian Bungalows. The Toll House at 343 Park Street is a Victorian Rustic Gothic building.

Orientation

Houses are orientated at a straight angle facing towards the street. The residences follow a consistent setback off the street with front yards providing a buffer from the road.

Building stock

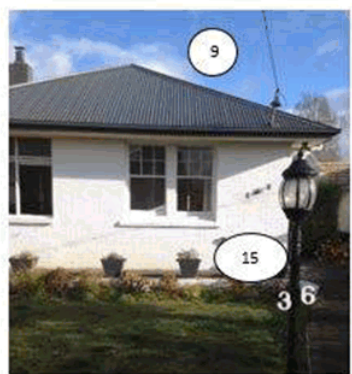
The Toll House at 343 Park Street is a single storey, weatherboard Victorian Rustic Gothic building on a corner plot, with a corrugated iron gabled roof, boxed eaves and chimneys with moulded tops. There are several projecting gabled wings. One of the gables has a double-hung window with large panes to the attic. Another, facing the corner, holds an enclosed porch with a separate gabled roof and detailed bargeboards. The 46 War Service houses built between 1920 and 1924 have consistent features and share architectural details, and styles, creating an intact grouping of houses from this period.

Fencing

The desired fencing type is low-level Federation timber picket, or Federation brick fencing. There are also a number of Inter-War brick and iron fences within the precinct.

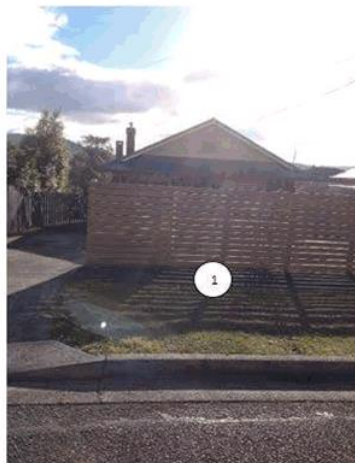
Contributory elements

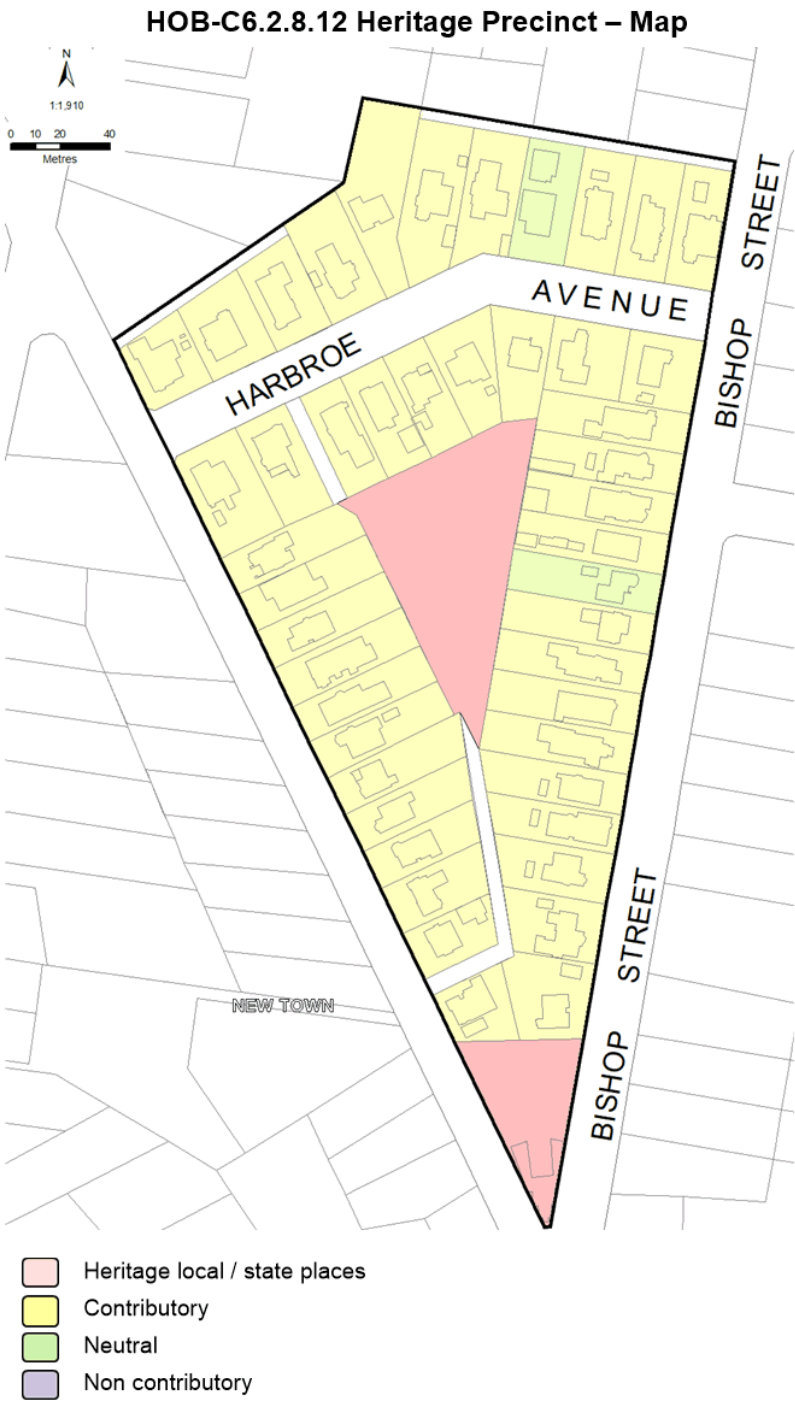
- | | |
|----------------------------------|---------------------------------|
| 1. Rough cast finishes | 9. Corrugated iron roofing |
| 2. Low level fencing | 10. Neutral colours |
| 3. Visible rafters under eaves | 11. Bay windows |
| 4. Public reserve | 12. Contrasting textures |
| 5. Original chimneys | 13. Street trees and vegetation |
| 6. Decorative gable infill | 14. Distant landscape views |
| 7. Well maintained front gardens | 15. Brick residences |
| 8. Timber weatherboard | 16. Double fronted gables |



Non contributory elements

1. High fences constructed of unsympathetic material with minimal transparency obscure houses and gardens
2. Garages set close to street frontage
3. Unsympathetic additions to buildings
4. Non-traditional colours and materials that do not compliment to the character of the precinct.
5. Buildings that have been altered to a point that they no longer present significant details of an architectural style or period.





STATEMENT OF LOCAL HISTORIC HERITAGE SIGNIFICANCE

Significance because of the collective heritage value of individual places as a group for their streetscape or townscape values and the precinct's role in, representation of, or potential for contributing to the understanding of:

For contributing to the understanding of local history:

- The precinct reflects the historical links between the development of public transport routes and the patterns of suburban growth within the New Town area.
- The precinct represents one of several soldier settlement estates set up in Australia after World War One. The precinct exemplifies the provisions of the Commonwealth Government subsidised housing for returned ex-servicemen in Tasmania, the intact housing within the precinct demonstrates the type and style of houses constructed by the War Services Housing Commission during this period.

For the representation of aesthetic characteristics:

- Housing within the precinct has a high degree of integrity and consistency, residences in intact condition with strong consistent character in terms a uniform single storey scale, original materials, and constant setback and bulk.
- This precinct shows a strong and consistent streetscape, with a high degree of integrity and a reflection of garden suburb ideals with a triangular central park onto which houses back.

For the representation of a class of building or place:

- This precinct represents a cohesive collection of 46 residential buildings in the Federation Bungalow, and Interwar Californian Bungalow style developed by the War Services Homes Commission between 1920 and 1924.

DESIGN CRITERIA / CONSERVATION POLICY

1. Elements which contribute to the precinct must be retained.
2. Non contributory elements may be removed to enhance the character of the precinct.
3. Alterations and additions are not to dominate or detract from the original building.
4. New buildings, extensions or structures must be compatible with and sympathetic to the height, bulk, setback, materials and finishes, and general character of contributory and heritage listed places.
5. New buildings and extensions to contributory and heritage listed buildings must be compatible and visually subservient when viewed from any road or public open space.

6. Fences and gates should be appropriate in form, scale, height and materials appropriate to the architecture of the main building. Styles include Federation/Victorian timber picket, Inter-War masonry, brick and ironwork fences and gates. Detailed design guidance may be found in City of Hobart publication, New fences for old houses.
7. Alterations and additions are to respect the uniformity of properties which form part of a consistent row, semi-pair or group of buildings.
8. Established and/or significant planted garden settings, public parks, hedges, and visually prominent trees must be retained.
9. Unpainted and unrendered masonry and brick exterior surfaces must remain as such.
10. Garages, carports, and ancillary structures are to be setback from the principal facade to enable the original building form to remain unobscured and prominent within the streetscape.
11. Driveways and hard stand areas are to be located at the side of the house.
12. New development must not interrupt building patterns where a subdivision pattern has resulted in a distinctive built form.
13. Lot boundary changes should not occur in areas where the original subdivision pattern is significant and remains intact.
14. Maintain a curtilage/usable open space to provide an appropriate setting to the scale of the house.

References

Archives Office of Tasmania Subject Index, AOT, Hobart.

Doyle, S, et al, 2002, New Town A Social History, Prepared for Hobart City Council, Hobart.

GHD, 2007, New Town Heritage Review Volume 2: Inventory, Prepared for Hobart City Council, Hobart.

PLANNING ASSESSMENT REPORT

PROPOSAL: SUBDIVISION (TWO ADDITIONAL LOTS)
THE LAND: 343 PARK STREET, NEW TOWN
OWNER: JOEL WINTER

THE LAND AND SURROUNDS

The subject land is identified as 343 Park Street, New Town (FR232813/1). The land contains a single existing dwelling, an established garden containing mature trees at the rear of the site; with the land having an active frontage to both Park Street and Bishop Street creating a triangular shape lot. The dwelling uniquely being designed to fit snugly into the triangular head of the lot on the point/corner of the land. The land slopes from the highest point (street corner intersection) towards the northern boundary in a gentle consistent manner, with a gradual crossfall from Park Street to Bishop Street frontage, resulting in the lowest point of the land being the north eastern corner of the land.

HARBROE ESTATE

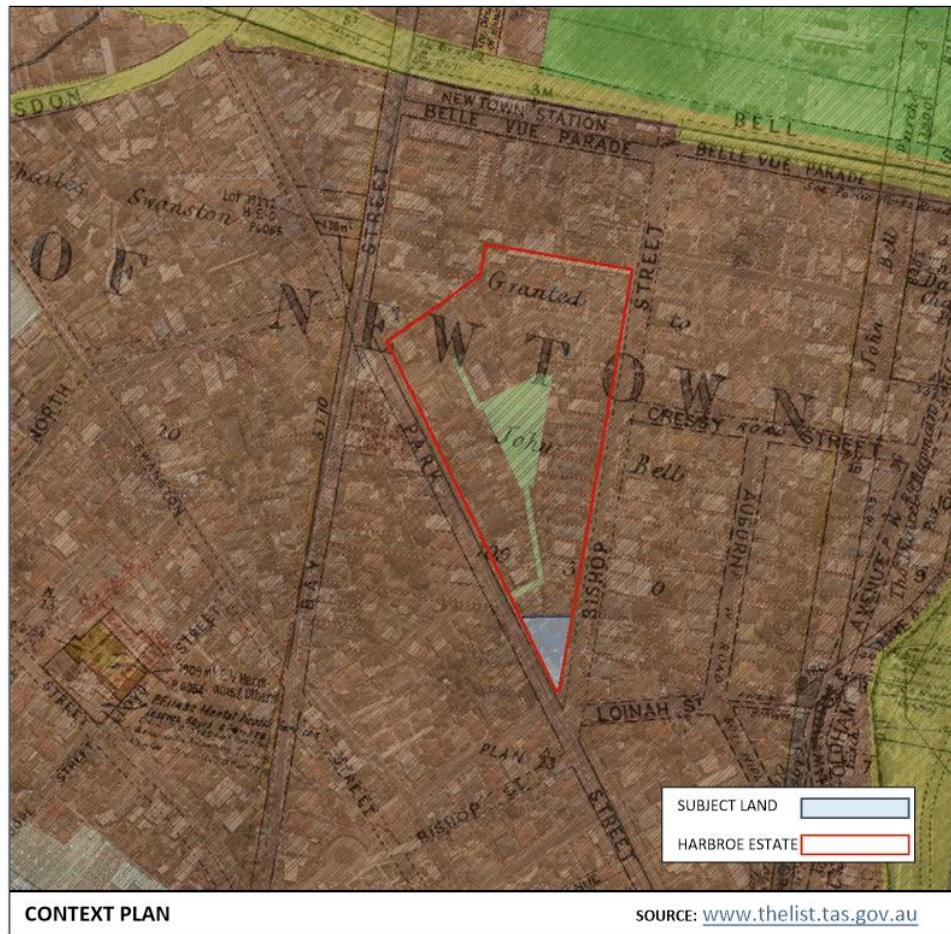
The surrounding area is part of a larger subdivision which was established as part of a Government subdivision undertaken by the War Service Homes Commission in 1920 with the estate name 'Harbroe' named after John Harbroe (former owner) who was a Government Official and Customs Collector in Hobart. Prior to those ownerships, the land was part of an original Town Grant of 109 acres/3 perches first granted to John Bell c.1820 (see plan below).

The two primary design philosophies of the Commission for the Harbroe Estate subdivision were:

- To reflect the populist 'Garden City Movement' of the period; and
- The intent of the Commission to bring together war veterans, war widows, and their families into estates where they could live surrounded by compatriots in a somewhat communal lifestyle.

The garden city design principle is reflected in the unique layout of the Harbroe Estate including a triangular piece of land in the middle of the lots that was set aside as a reserve (open court) with residents responsible for keeping the reserve tidy.

The well-known urban design philosophy "Garden City", was developed by Ebenezer Howard in 1898 aimed to capture the primary benefits of a countryside environment and a city environment. His concept was to plan whole areas which included boulevards (roads), public spaces, planned in regular patterns on a larger scale, normally being concentric patterns in the strictest sense. The most commonly known and more recent 'Garden City' being the city of Canberra, ACT.



TOLL HOUSE AND CYPRESS TREE

The subject land has a unique and specific history aside from the particular design features of the larger subdivision, and that is the existing building that is sited on the corner of Park and Bishop Streets (subject land), commonly known as the Toll House.

The outward appearance would seem to be that of a small chapel, however the building that was constructed c.1863 was constructed as part of a system of Toll Houses to collect tolls to maintain and improve the major road between Hobart and Launceston, following continued fare evasion at an earlier built Toll House on Main Road, New Town.

THE PROPOSAL

This application proposes to subdivide the land at 343 Park Street by creating two additional lots and the balance lot. The balance lot will contain the existing dwelling and the mature Cypress Tree that is centrally located in the rear yard.

The two new lots being created are located in the northern extent of the backyard, with Lot 1 having frontage to Park Street and Lot 2 having frontage to Bishop Street.

The two new lots are proposed with a building envelope to guide future residential development to ensure that:

- The vertical and horizontal scale of new buildings are consistent with surrounding built form;
- The setback of new buildings are consistent with surrounding development patterns;
- The location of buildings limits impact to the significant Cypress Tree on the land;
- The construction methods of future dwellings (not including garages or carports) are built using pier footings as a preference to limit impact to the Cypress Tree; and
- Sufficient area is provided for future development for modern living on smaller compact lots.

The vision for this proposal is to provide an additional infill residential lot within an inner residential area; that has good connections to established transport routes, that is capable of providing for high quality future residential development and is able to conserve/maintain the heritage significance of existing heritage fabric (dwelling and Cypress Tree) and contributory aspects of the Harbroe Avenue Heritage Precinct.

The principle design response for the subdivision has been to take advantage of the natural slope the area and other site constraints on the land by creating:

- The vertical alignment of the building envelopes being formed by using a horizontal plane between existing residential buildings resulting in a consistent vertical scale;
- The horizontal scale of the building envelopes has been primarily formed by using the design constraint of the tree protection zone setback as the alignment for the southern boundary of both building envelopes;
- The intersecting boundary between the new lots and the balance lot was established so as to contain the Cypress Tree within the balance lot to retain the tree and the former Toll House on the same lot; and
- Reticulated services for sewer and stormwater being aligned so as to fall to the lowest point of the land and away from the tree protection zone of the Cypress Tree.

HOBART INTERIM PLANNING SCHEME 2015

The land is located in the Inner Residential Zone in the Hobart Interim Planning Scheme 2015 and is also subject to the:

- Heritage Precinct Overlay (Harbroe Avenue - NT11); and
- Specific Area Plan (Royal Hobart Hospital Helipad Airspace - Outer Area 100m AHD).

INNER RESIDENTIAL ZONE

Relevant to the proposal, the purpose of the Inner Residential Zone is:

- To provide for a variety of residential uses and dwelling types close to services and facilities in inner urban and historically established areas, which uses and types respect the existing variation and pattern in lot sizes, set back, and height.
- To encourage residential development at higher densities in locations within walkable distance of services, facilities, employment and high frequency public transport corridors.
- To encourage residential development that respects the neighbourhood character.
- To provide a high standard of residential amenity.

There are no specific Local Area Objectives or Desired Future Character Statements for this Zone.

The following assessment provides a design response to all relevant acceptable solutions or performance criteria as set out at Clause 11.5.1, 11.5.3 & 11.5.4 including Table 11.1.

11.5.1 LOT DESIGN**A1**

The proposal meets the lot size requirements of the Acceptable Solution and Table 11.1 of the Zone:

- Lot 1 and 2 are 343m² and 297m² respectively; and
- The Balance Lot meets the minimum lot size.

P2

The proposal complies with the performance criteria in the following manner:

- a) The residential density of no less than one dwelling per 250m² is met by both lots with their respective lot sizes being above the minimum measure;
- b) This report has detailed that the proposal is consistent with the applicable standards in any relevant Codes; and
- c) Both the new lots are directly located along the northern boundary of the subject land and have an equal share of the northern boundary, therefore maximising solar access for each lot.

P3

The proposal complies with the performance criteria in the following manner:

- a) The alignment and location of each new vehicle crossover for the new lots as shown on the proposal plan has a 2m setback to the northern boundary that will enable safe and practical vehicular access and pedestrian safety, particularly with regard to site distance for vehicle and also pedestrian spaces.
- b) All lots have a minimum frontage of more than 6 metres.

A4

No lot is an internal lot.

P5

The proposal complies with the performance criteria in the following manner:

- a) The subject land is directly adjacent to a public transport corridor (Park Street).
- b) All lots are consistent with the preferred residential density of 250m² or greater.
- c) The subdivision is not being staged.
- d) Each of the new lots has an active and direct frontage to a street, with both building envelopes long axis running parallel to the frontage of each lot maximising opportunities for passive surveillance.
- e) There are no Local Area Objectives or Desired Future Character Statements for the Zone.

11.5.3 WAYS AND PUBLIC OPEN SPACE**P1**

Most of the performance criteria is not applicable to this type of application as there is no public open space being provided. It is expected that the Council will apply a condition to any permit that it may grant requiring a 5% cash contribution of the unimproved value of the new lots, not including the balance lot in line with Council's existing policy.

11.5.4 SERVICES**A1**

Reticulated water supply is provided from existing infrastructure in both Park and Bishop Street via a new and existing connections.

A2

Reticulated sewer connection is provided from existing infrastructure in on site via a centrally located sewer main adjacent to the northern boundary.

A3

The two new lots will be connected to a gravity stormwater system as shown on the proposal plan, which includes a substantial length of new connection/extension in the Bishop Street road formation as it is the closest viable connection via a gravity system. Connection to the Park Street stormwater system is not considered viable because of the difference in land contour and heights.

A4

No new roads being created.

CODES**E5.0 ROAD AND RAILWAY ACCESS CODE****E5.6.2 ROAD ACCESSES AND JUNCTIONS****A2**

Each lot has a single access that provides entry and exit with a road speed limit of less than 60kms p/hr.

E5.6.4 SIGHT DISTANCE AT ACCESSES**A1**

The existing vehicle access is not being altered and will serve the Balance Lot only. The new vehicle accesses have sight distances in excess of 80m to the north and south along both Park and Bishop Street as required by Table E5.1.

E6.0 PARKING AND ACCESS CODE**E6.7.1 NUMBER OF VEHICLE ACCESSES****A1**

Each lot has 1 vehicle crossover only.

E6.7.2 DESIGN OF VEHICULAR ACCESSES**A1**

Driveway width for the new lots will be at least 3m (Table 3.2). Sight distances along both streets (north and south) are not inhibited and are able to achieve the site distances listed in Clause 3.2.4. Clear sight lines can be provided for pedestrians to the south, and a setback of two metres from the northern boundary has been provided to the new vehicle crossovers to ensure sufficient pedestrian sight distances are provided to the slightly obscured northern boundary. Gradient estimation is between 1.5 to 7%.

E6.7.4 ONSITE TURNING**A1**

The Acceptable Solution requires that on-site turning is necessary for multiple dwelling lots or higher volume road accesses. The Acceptable Solution does not require on-site turning arrangements for lots with single dwellings as stated in the exemption in the Standard. The proposal is consistent with the exemption and there meets the Acceptable Solution.

E6.7.14 ACCESS TO A ROAD**A1**

The new vehicle crossovers will be constructed to Council's satisfaction as the road authority.

E7.0 STORMWATER MANAGEMENT CODE**A1**

All new lots are proposed to be connected to a gravity stormwater system as shown on the proposal plan.

A2

There is no requirement for this scale of development to use water sensitive urban design principles.

A3

Given the consistent slope and crossfall of the land there are very few design constraints in achieving a new gravity fed stormwater connection for both new lots. As detailed on the proposal plan, the new lot connections, infrastructure dimensions and easements demonstrate in sufficient conceptual detail that the subdivision can meet this Acceptable Solution. Detail design plans will be submitted to the drainage authority where necessary prior to construction.

E13.0 HISTORIC HERITAGE CODEE13.8.1 DEMOLITION**P1**

The small cluster of outbuildings in the rear yard are proposed to be demolished and are of no consequence to the heritage significance of the subject site or larger heritage precinct. The outbuildings are recently constructed and used in conjunction with the current residential use of the land.

E13.8.2 BUILDINGS AND WORKS OTHER THAN DEMOLITION**P4**

The subject land is currently established with typical lap style timber fencing at both side and rear boundaries that is approximately 1.6-1.8 metres in height. This application is not proposing any works to the existing fencing as part of this subdivision.

It is noted that there are exemptions from a planning permit being required for boundary fences adjoining a road frontage for a height of up to 1.2 metres from natural ground level and within 4.5 metres of that frontage, and rear or side boundaries of up to 2.1 metres.

A5

The creation of the two new lots will not create the need to remove or alter any existing garden setting immediately surrounding the existing dwelling on the site. The proposal through its design seeks to protect the mature and significant Cypress Tree that is centrally located in the rear yard on the basis that it provides a substantial element to the residential/urban setting and could even have a connection with the establishment of the dwelling on the land.

E13.8.3 SUBDIVISION**P1 a)**

Table E13.2 states that the precinct is significant for the following reasons:

1. This precinct reflects the links between the development and extension public transport lines and land sales, house building and the historical patterns of suburban growth.
2. This precinct represents a cohesive collection of residential buildings in the Interwar Californian Bungalow style developed by the War Services Homes Commission of 46 houses between 1920 and 1924.
3. These places within this precinct have a high degree of integrity and consistency, many in original condition with strong consistent character in terms of size, height, materials, setback, bulk, garden setting and fencing.
4. This precinct shows a strong and consistent streetscape representing with a high degree of integrity and a reflection of garden suburb ideals with a triangular central park onto which houses back.

There are three distinct themes in the above reasons for significance of the precinct. The first being the intact and cohesive development of Interwar Californian Bungalow housing stock and streetscapes. The second being the unique layout and original purpose of the Harbroe Estate subdivision. The third being a more broad theme where the precinct reflects links to the progression of public transport, land sales, house building and historic patterns of suburban growth.

This report has already demonstrated that the creation of the new lots with the addition of building envelopes will ensure that new development will not adversely impact on the heritage significance of the precinct as the height, size, setback, bulk and mass are consistent with the cohesive pattern of development in the Harbroe Estate. The building envelopes are proposed to be used as a future encumbrance on new titles to give effect to these design outcomes.

The infill addition of two new lots has been purposeful in that the new lots needed to reflect the pattern of lots in the larger subdivision. The Harbroe Estate lots have a regular rectangle shape lots of varying sizes, regular and consistent lot frontages, a substantial garden setting in the frontage of lots, all lots have an active frontage to the street and all have a single detached dwelling on each lot. The two new lots continues this regular lot pattern through:

- Providing an active frontage to each street so as to avoid the rear of a lot facing the street;
- Creating a consistent lot frontage of 15-20 metres;
- The building envelopes front setbacks will ensure that a garden setting is able to be provided; and
- By the inherent higher density lots, the new lots will only contain a single dwelling on each lot.

The original subdivision reflects a link to historic patterns of suburban growth by having the subdivision pattern be reflective of a garden movement style of development, house building and land sales. The above design parameters demonstrate that the new lots do not adversely impact on the unique pattern of the subdivision and the individual significance of the collection of Interwar housing. The effective consolidation/separation of the Toll House on the Balance Lot ensures that the link to "the progression of public transport" as the Toll House was at the head of a historic public transport link/road between Hobart and Launceston.

P1 b)

As described above, the pattern of the new lots being created is consistent with the original subdivision in the Harbroe Estate, through consistent lot frontages, rectangular shape, active frontage to each street and the like.

P1 c)

Even though the proposal adds two additional infill lots in the precinct, it is considered that because of the cohesion in pattern and provision for controls/limitations on future development, that the proposal provides a complementary addition within the shape and pattern of the original subdivision. In summary, the historic pattern and design of the subdivision will continue to be evident by the internal public open space area and the cohesive Interwar building stock on the original lots.

P1 d)

The use of the building envelopes as an encumbrance to titles for the two new lots will ensure that future development is consistent in scale with the significant building stock in the precinct.

P2

This report has detailed compliance with the content in Table E13.2 in suitable detail in previous sections.

SPECIFIC AREA PLAN (SAP)**Royal Hobart Hospital Helipad Airspace**

The purpose of this SAP is to ensure that flight paths for the Royal Hobart Hospital does not obstruct safe air navigation of aircraft approaching and departing the Royal Hobart Hospital helipad. The subject land is located in the 'outer' area of this SAP, which requires all buildings to be below 100m AHD.

There are no specific subdivision standards listed in the SAP, however the building envelopes proposed, along with the levels shown on the plan (based on a Detail Survey – AHD measure) demonstrate that the maximum height that any building would be between 54.5m and 55.1m AHD. The proposal is consistent with the SAP.

OTHER MATTERS**HERITAGE TASMANIA (PERMANENT REGISTRATION) & CYPRESS TREE SIGNIFICANCE**

The Heritage Tasmania registration only contains detail about the Toll House building and its Victorian Rustic Gothic architectural style as being significant. There is no detail about its garden setting or any link to the mature Cypress Tree in the rear yard.

Notwithstanding the isolated statement of significance to the architectural style of the Toll House, there are a number of existing documents that identify the Cypress Tree as having a potential contribution not only to the urban setting but also to the garden setting that is evidenced in the surrounding precinct and therefore may have some historic significance. Whether this is progressed in the future is yet to be determined, but it is considered that there is value in its retention from an urban setting and urban design perspective as described and as a backdrop and green setting for new development on the two new lots.

GENERAL MANAGER CONSENT

Please note that General Manager Consent (GM Consent) has already been submitted as required by Council, pursuant to S52 of the Land Use Planning and Approvals Act 1993.

Council determined that because of the extent of works within the Bishop Street road reserve that Consent was necessary to ensure compliance with the Act. The principal works that required consent are the removal of a single street tree to establish Lot 2's vehicle crossover and installation of stormwater infrastructure; and also the extension of the stormwater system to the existing infrastructure located further north in the Bishop Street road formation.

A detailed analysis has been prepared to justify these works being necessary to support the development of this subdivision and are attached as part of this application.

When GM Consent is granted by the Council, formal submission of the approved document will be undertaken.

CONCLUSION

As detailed in this report, it is considered that through the use of building envelopes on each new lot, consolidation of the Cypress Tree and the Toll House onto the Balance Lot and effectively limiting development within the tree protection zone of the Cypress Tree, that any impact to the significance of the precinct is reasonably mitigated.

The critical heritage fabric of the Toll House and its garden setting is contained and conserved within a singular lot, which in turn conserves the significance of the heritage precinct by protecting not only those contributory elements but also the broader streetscape.

Aside from strict interpretation regarding subdivision patterns, it is always important and best practice to consider adaptive re-use of heritage places so as to be able to conserve what is important. In this regard, the proposal to subdivide the land to provide opportunities for limited in-fill residential development, also provides an opportunity to better conserve existing heritage buildings.

The pattern of development will always remain, because the streets are not changing, the significant Interwar bungalow dwellings and the Toll House are not changing, and the Cypress Tree is being suitably protected.

It is also contended that the subdivision pattern of the precinct is not detrimentally impacted, because the cohesive and regular rectangular pattern is being replicated by the new lots. The Harbroe Estate subdivision pattern will continue to be recognisable, despite this proposal.

Based on the above we seek that Council support the proposal as it is currently proposed, subject to conditions that may be necessary for this type of subdivision.

For PDA Surveyors

Per: 

Bronwyn Mellor
PGDip, RurRegPlan MPIA
SENIOR PLANNER

DISCLAIMER:

All information contained in this report is only for the purpose of assessment of a planning proposal to develop the above mentioned land as stated and all information is current as at 9th November 2020. This information should not be used for any other purpose.



Impact of development on selected trees at 343 Park St, New Town.

- Preliminary assessment



Jerry Romanski

Arborist / Consultant
B.Sc (Hons),
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18 May 2019

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1. Terms of reference

- This preliminary assessment was prepared for Joel Winter of 343 Park St, New Town.
 - The report provides data about the current condition of trees to be retained during and post the subdivision and development of this property – a large pear tree in the western section of the new lot and the large landscape significant cypress – and outlines potential restrictions to the design and construction of new structures near the trees.
- Plan used to assist the assessment was:
 - Detail Survey Plan, 343 Park St, New Town, 3/05/2019 by PDA Surveyors.
- Ground based inspection of the trees was completed on 18/5/2019.

2. Background

343 Park Street includes the former Toll House constructed in the 1860 and is a permanently listed place on the Tasmania Heritage Register. The Toll House, beside a station for collecting fees was also a residence for the gatekeeper. The original house has long been incorporated into a more extensive private dwelling and garden. A very large cypress tree, likely to be in excess of 100 years old and possibly part of the very early garden plantings at the Toll House, towers over the centre of the property. The cypress is a historically important landmark tree with significant impact on the local landscape (Figure 1).

Figure 1. The cypress tree, view from Bishop St. This is one of the tallest and most prominent trees in the local landscape.



3. The proposed development

The northern section of 343 Park St is to be subdivided off the current holding and that parcel developed as a residential property.

Construction of a new dwelling, outbuildings and associate services are likely to impact on the fruit and ornamental trees currently growing in the northern section of the property (Figure 2), as well as potentially impact on the roots and crown of the large cypress. The cypress and a mature pear tree (Figure 3) are to be retained during and post the development of the property.



Figure 2. The western (left) and eastern (right) sections of the proposed new lot and existing trees.

Figure 3. The mature pear tree proposed for retention.



4. Potential impact of development on nearby trees

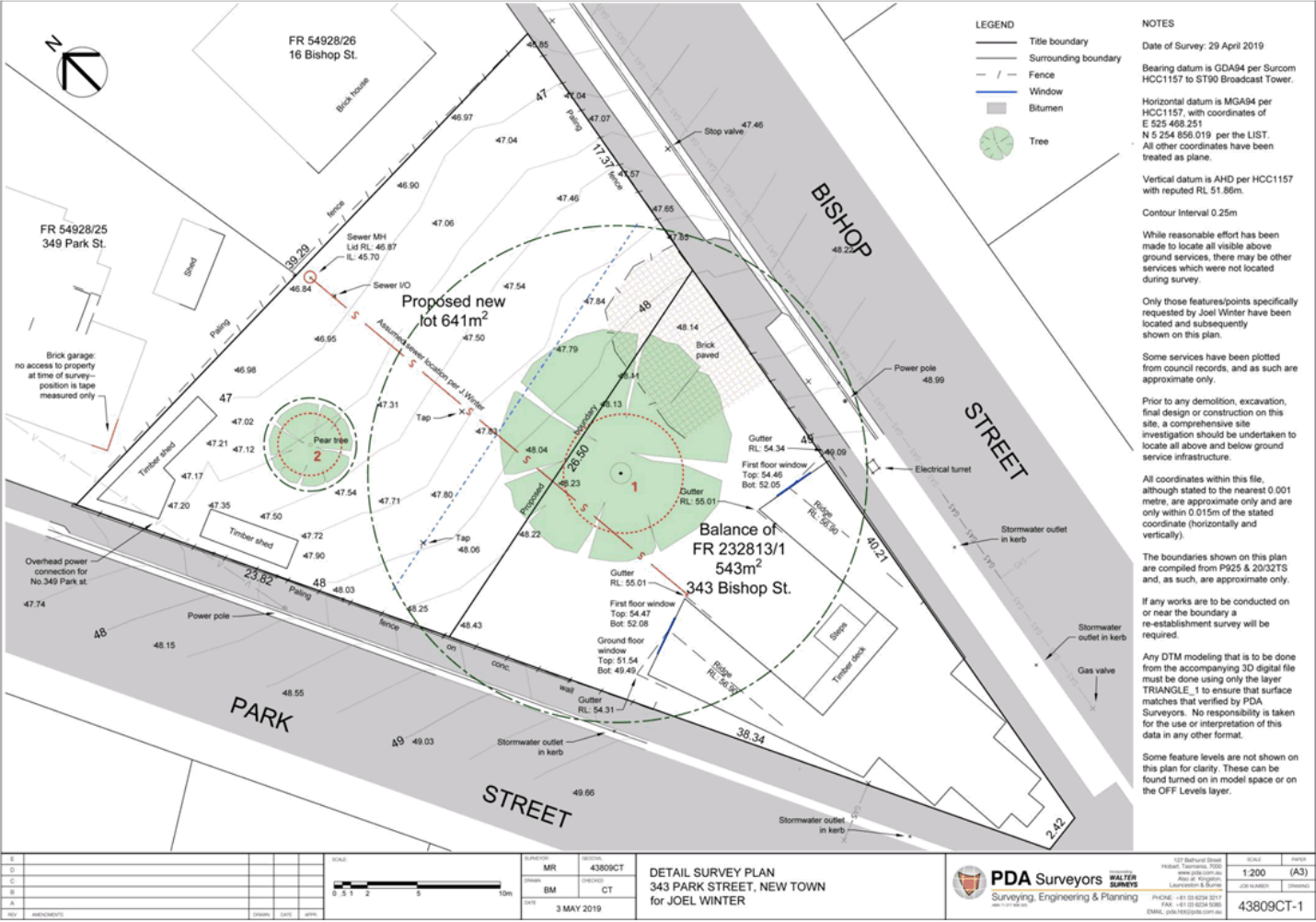


Figure 4. Survey Plan marked with standard SRZ (red) and TPZ zones Green for the cypress and pear tree.

Dashed blue line represents the maximum tolerable encroachment (20%) into the cypress tree's TPZ area.

Table 1. Data on selected trees

TREE	SPECIES	HGT	DAB	DBH	H/S	SRZ	TPZ	COMMENTS
1	Cupressus lusitanica x Cupressus arizonica	23	1.26	1.25	G/G	3.6	15.0	Broad spreading crown - 9.5m to N with a large scaffold approximately 3.5m above the ground. Considerable overhang above the proposed lot. The crown includes long branches with heavy heads. Historic and recent storm damage is apparent, particularly in the western crown section. Proposed lot boundary crosses over the structural root zone of this tree.
2	Pyrus cv.	5	0.27	0.23	G/G	1.9	2.8	Tri-leader from near ground level. Broad spreading low crown: 4 m diameter N-S and 6 m E-W.

Table 1 column headings:**TREE** - tree number as indicated on the Site Plan**SPECIES** - botanical name**HGT** - tree height (m)**DAB** - diameter of the lower trunk above root flare / base (m)**DBH** - diameter at breast height, 1.4m (m)**H/S** - Perceived Health and Structure status of the tree (G - good, F - fair, P - poor)**COMMENTS** - characteristics or features of the tree with bearing on maintenance feasibility in the modified landscape**SRZ** - Structural Root Zone radius (m), essential for tree stability, indicated where necessary only**TPZ** - Tree Protection Zone radius (m), considered essential to maintain tree health and long-term viability.

(SRZ and TPZ dimensions were guided by AS 4970-2009
Tree protection on Development Sites)

4.1 Project design considerations

TPZ

"A specified area above and below the ground and at a given distance from the trunk set aside for the protection of a tree's roots and crown to provide for the viability and structural stability of a tree... (AS 4970-2009)." Such areas are to exclude excavation, vehicular traffic, storage of materials and disposal of building waste.

The theoretical TPZ for the cypress extends over a large proportion of the proposed new lot. Encroachment of up to 10% is generally considered acceptable. However, I believe that this specimen could cope with an encroachment of up to 20% if necessary (7.5 m from the trunk centre), indicated by the blue dashed line in Figure 4. The encroachment could be compensated by rehabilitation of the current parking space and / or provision of additional water to the tree's extensive root zone within and outside of the new lot. The nature or plan shape of the encroachment need not follow that indicated by the blue line – the proportion of the TPZ is the more important consideration.

Encroachment of up to 30% would be possible for the pear with similar provision of irrigation. Pears are generally quite tolerant of disturbance and recover quickly from root or branch pruning.

Encroachment over the existing root zone of either tree should be minimised as much as possible. Generally, less root damage leads to lower short and long-term consequences associated with disturbance. Typical symptoms of root damage are similar to those of drought: loss of vigour, early leaf drop to crown dieback and higher incidence of storm damage or branch drop. Damage to large primary roots has the potential to introduce decay into the structural root framework impacting on stability.

The area has a slight northerly slope. Fortunately, development to the north of the tree is not going to impact on the current natural rainwater runoff or drainage patterns.

Tree crowns

Both trees have broad spreading low crowns. Considerable reduction of the pear crown is possible with a low impact on the tree's longevity, but a substantial impact on its currently natural and mature form. Heavy pruning will encourage strong regrowth that may need further training or pruning.

A low scaffold branch of the cypress extends to the north, approximately 3.5m above the ground and the new lot, with its extremity some 9.5m from the tree centre. This branch could be substantially reduced, as a maximum to an upright lateral approximately 6.5 m from the trunk centre (Figure 5). There are opportunities for more aesthetically pleasing and less severe reduction of this branch.

Figure 5. Maximum extent or reduction possible on the low cypress scaffold branch extending to the north. Less would be better.



Building design

While any footing design could be accommodated by the proposed encroachment levels, the impact on the tree roots and vitality and period of adjustment post construction could be much improved by the use of pier rather than strip footings or a slab. Pier footings are likely to require less, more discrete excavation and cause much reduced direct damage to the existing roots. Structures built on pier footings have a low direct impact on roots and allow gradual drying out of the soil below their footprint, giving trees time for adjustment to the new growing conditions by the growing new roots away from the drying soil.

Compaction is a slow killer of trees. Construction activities often lead to compaction of the upper layers of soil and substantially reducing water penetration and gas exchange between the soil and air above. Heavier, clay rich soils are particularly vulnerable and especially so when wet. Design and likely method of construction should minimise the need for heavy machinery trafficking over the site. Where this is likely to be unavoidable, soil compaction prevention measures may need to be adopted or developed, as necessary. While permitting some encroachment over the theoretical root system of the cypress, we need to be mindful not to unduly limit the potential for this tree to continue and grow roots over the site in general.

Consider permeable surface finished for the driveway or hardstand areas within the new lot.

HOBART

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Our Ref: 46028CT

9 November 2020

The General Manager
 Hobart City Council

Emailed via: Online Application Portal

Dear Sir/Madam,

**SUBDIVISION (TWO ADDITIONAL LOTS)
 343 PARK STREET, NEW TOWN (FR232813/1)**

In accordance with instructions from our client, this application for planning permit proposes the subdivision of land (creating 2 additional lots).

To support this application, the following is submitted:

- Planning Assessment Report;
- Plan of Subdivision & Streetscape Plan/Building Envelope Plans;
- Preliminary Arborist Report;
- Datasheet – Tasmanian Heritage Register;
- GM Consent application documents; and
- Current copy of title, plan and any relevant schedule of easements.

In accordance with section 52(i)(c) of the Land Use Planning and Approvals Act 1993 we advise that the owner has been notified of this application.

If any information needs to be clarified, please contact this office or email on pda.hbt@pda.com.au

Yours faithfully
 PDA Surveyors

Per:

Craig Terry
 Managing Director & Registered Land Surveyor

OFFICES ALSO AT:

- | | | | |
|--|----------------|------------------------------------|----------------|
| • 6 Freeman Street, Kingston, 7050 | (03) 6229 2131 | • 16 Emu Bay Road, Deloraine, 7304 | (03) 6362 2993 |
| • 8/16 Main Road, Huonville, 7109 | (03) 6264 1277 | • 6 Queen Street, Burnie, 7320 | (03) 6431 4400 |
| • 3/23 Brisbane Street, Launceston, 7250 | (03) 6331 4099 | • 63 Don Road, Devonport, 7310 | (03) 6423 6875 |

Tasmanian Heritage Register
Datasheet

103 Macquarie Street (GPO Box 618)
Hobart Tasmania 7001
Phone: 1300 850 332 (local call cost)
Email: enquiries@heritage.tas.gov.au
Web: www.heritage.tas.gov.au

Name: Former Tollhouse
Status: Permanently Registered
Tier: State

THR ID Number: 2716
Municipality: Hobart City Council

Location Addresses

343 PARK ST, NEW TOWN 7008 TAS

Title References

232813/1

Property Id

5520005



Untitled

Untitled

No copyright on file

No copyright on file

Setting: This is a significant element in the urban streetscape.

Description: An irregular, single storey, weatherboard building on a corner plot, with a corrugated iron gabled roof, boxed eaves and chimneys with moulded tops. There are several projecting gabled wings. One of the gables has a double-hung window with large panes to the attic. Another, facing the corner, holds an enclosed porch with a separate gabled roof and detailed bargeboards. Some of the windows are in pointed arch openings.

History: No Data Recorded

Statement of No Statement is provided for places listed prior to 2007

Significance:
(non-statutory
summary)

Significance:

The Heritage Council may enter a place in the Heritage Register if it meets one or more of the following criteria from the Historic Cultural Heritage Act 1995:

- a) The place is important to the course or pattern of Tasmania's history.
- b) The place possesses uncommon or rare aspects of Tasmania's history.
- c) The place has the potential to yield information that will contribute to an understanding of Tasmania's history.
- d) The place is important in demonstrating the principal characteristics of a class of place in Tasmania's history.
343 Park Street is of historic heritage significance because of its ability to demonstrate the principal characteristics of a single storey, weatherboard Victorian Rustic Gothic building.
- e) The place is important in demonstrating a high degree of creative or technical achievement.

- f) The place has a strong or special association with a particular community or cultural group for social or spiritual reasons.

This building is of historic heritage significance because its townscape associations are regarded as important to the community's sense of place.

- g) The place has a special association with the life or works of a person, or group of persons, of importance in Tasmania's history.

- h) The place is important in exhibiting particular aesthetic characteristics.

PLEASE NOTE This data sheet is intended to provide sufficient information and justification for listing the place on the Heritage Register. Under the legislation, only one of the criteria needs to be met. The data sheet is not intended to be a comprehensive inventory of the heritage values of the place, there may be other heritage values of interest to the Heritage Council not currently acknowledged.

HOBART
C.M. Terry, B. SURV. (Tas.), M.SSI. (Director)
H. Clement, B. SURV. (Tas.), M.SSI. (Director)
M.S.G. Denholm, B. GEOM. (Tas.), M.SSI. (Director)
T.W. Walter, Dip. Surv & Map. (Director)
A.M. Peacock, B. APP. SC. (SURV), M.SSI. (Consultant)
D. Panton, B.E. M.I.E. AUST., C.P.ENG. (Consultant)
A. Collins, Ad. Dip. Surv & Map. (Senior Associate)
L.H. Kiely, Ad. Dip. Civil Eng. Cert IV I.T., (Associate)
KINGSTON
A.P. (Lex) McIndoe, B. SURV. (Tas.), M.SSI. (Director)
LAUNCESTON
J.W. Dent, OAM, B. SURV. (Tas.), M.SSI. (Director)
M.B. Reid, B. GEOM.(HONS) (Tas.), M.SSI. (Director)
BURNIE/DEVONPORT
A.W. Eberhardt, B. GEOM. (Tas.), M.SSI. (Director)
A.J. Hudson, B. SURV. (Tas.), M.SSI. (Consultant)



PDA Surveyors
Surveying, Engineering & Planning
ABN 71 217 806 325

Incorporating
**WALTER
SURVEYS**

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Hobart Tasmania, 7000
Phone (03) 6234 3217

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Email: pda.hbt@pda.com.au
www.pda.com.au

Our Ref: 46028CT

30 October 2020

The General Manager
Hobart City Council

Sent via: coh@hobartcity.com.au

Dear Sir/Madam

GENERAL MANAGER CONSENT FOR PLANNING PERMIT APPLICATION

Planning Permit Application for a 3 lot subdivision At 343 Park Street, New Town (FR232813/1)

In response to a pre-application meeting for this proposal, it has been brought to our attention that Hobart City Council will require that General Manager (GM) Consent is obtained pursuant to S52 of the Land Use Planning and Approvals Act 1993 (LUPAA) for the above proposal.

This letter formally seeks GM Consent to make this application pursuant to S52 of LUPAA. Please note that the planning permit application has yet to be submitted and preparation of final reports are currently being prepared.

To assist Council in coming to a decision about the consent request the following information is provided:

- A description below as to what works are required on Council land/within the Highway Reservation and justification for the specific works;
- A Street Tree Analysis Plan;
- A Plan of Subdivision (PDA ref: 46028CT Drg:2 24th SEPT 2020); and
- A Preliminary Arborists Report.

In line with Council Officers advice, the primary reasons that this proposal now needs GM Consent has been determined on the basis of the extent of works in the Bishop Street road reserve, more specifically for the new stormwater connection and the removal of a street tree to facilitate the construction of a new crossover.

The primary justification for the works (tree removal and stormwater connection within the Bishop Street road reservation are summarised as follows.

OFFICES ALSO AT:

- 6 Freeman Street, Kingston, 7050 (03) 6229 2131
- 8/16 Main Road, Huonville, 7109 (03) 6264 1277
- 3/23 Brisbane Street, Launceston, 7250 (03) 6331 4099

- 16 Emu Bay Road, Deloraine, 7304 (03) 6362 2993
- 6 Queen Street, Burnie, 7320 (03) 6431 4400
- 77 Gunn Street, Devonport, 7310 (03) 6423 6875

STREET TREE REMOVAL**SITE/SIGNIFICANT TREE DESIGN OBJECTIVES AND CONSTRAINT ANALYSIS**

The two new lots being created by the subdivision are restricted in size and location to the northern portion of the site because of the central location of a mature and significant Cypress Tree on the land that has a historic connection to the existing dwelling and surrounding residential setting.

The design constraint that the Cypress Tree presents has multiple influences on the developable area of the new lots and as such has meant that the existing vehicle crossover at the Bishop Street frontage in its awkward location relative to the lot boundary alignment for Lot 2 is not particularly viable for safe and practical vehicular access and pedestrian safety to that lot. It is also considered that a preferred design outcome would be to further minimise continued vehicular intrusion within the tree protection zone for the Cypress Tree by reducing the volume of vehicles parking.

The preliminary Arborist Report that has been prepared for the site also recommends that pier footings occur for new development within the tree protection zone of the mature Cypress Tree. In this regard, typical construction requirements for a garage would not generally include pier footings, it would be more likely that strip or slab construction would be used for a garage floor and on this basis the new vehicle crossovers for each new lot have been purposely located away from the Cypress Tree and the southern boundaries of the new lots.

The other major design constraint/influence on the design of the subdivision is that of the minimum and maximum lot sizes required by the Inner Residential Zone set at 250-400m². Given the small size of the lots, this has created the need for the lots to maximise the area in their building envelopes that is used for siting a future dwelling and garage/parking to provide a viable and appropriate building footprint. In this regard it is considered ideal to guide the location of a future garage/parking area to one extremity of the building envelope to maximise the remaining area in the building envelope for a future residential building. This design outcome has been achieved for Lot 2, resulting in the location of the new vehicle crossover being located adjacent to the northern boundary of the building envelope.

It is important to note that the alignment and location of the new vehicle crossover as shown on the plan has a 2m setback location relative to the northern boundary that will enable safe and practical vehicular access and pedestrian safety.

BISHOP STREET - STREET TREES ANALYSIS

Notwithstanding the need to avoid the mature and significant Cypress Tree on the site, the closest adjacent street tree in Bishop Street to the new vehicle crossover for Lot 2 is expected to have to be removed, given its vicinity to the northern boundary of the land. A Street Tree and Streetscape Analysis Plan is also provided.

As a comparison to other street trees in Bishop Street the tree to be removed does not appear to be as mature as other vegetation in the street, albeit that the tree may make some contribution to the urban setting in the street.

The Bishop Street streetscape has a varied and somewhat haphazard collection of street tree species with irregular spacings in the thin naturestrip on both sides of the road formation, albeit that the trees do enhance the residential setting and provide light/shade to the street.

The street tree that is likely to be removed is understood to be a Lilly Pilly, approximately 2-3 metres in height, with an upright growth habit.

Whilst the tree appears to be in a healthy condition, there are limiting height constraints in terms of its future growth because of overhead power lines on this side of the street.

There is no specific master plan that is available that provides any strategic guidance in regard to future management of the Bishop Street street trees and what Council seeks as an ideal future for the street.

The overarching strategy document "Street Tree Strategy" that provides higher level strategic direction for Council details a list of additional work for Council for general street tree management.

In the absence of any existing specific direction for Bishop Street, the only certainty that is available is that the Street Tree Strategy provides general support and value in retaining all street trees in the Shire area.

Within the context of this proposal, the tree does not present as an individual tree of any particular significance in the streetscape because of its maturity, prominent location, or continuity with other plantings, although at most it probably provides some aesthetic value along with the collection of other street trees.

As already described and detailed in the Street Tree Analysis Plan, there is little cohesion in the type of species, the spacing and pattern of tree plantings along Bishop Street, albeit that there continues to be a concerted effort to maintain street trees in the nature strip on both sides of the street, which is evidenced by new plantings further to the north of the site.

On the basis that the subject tree is already located within the subject land frontage where there are other established trees clustered more closely together (three (3) less mature Lilly Pilly and two (2) mature Callistemon) it is considered that the removal of a singular tree will not adversely impact the overall amenity benefits that the street trees provide to the urban environment in Bishop Street. As an overall consideration, it is concluded that the removal of the subject tree will effectively rationalise and improve the spacing between each tree and balance of the types of street trees in the street as a whole.

NEW STORMWATER CONNECTION

Council has determined that the extent of works within the road reserve to establish a new connection to existing stormwater infrastructure in Bishop Street for the two new lots proposed requires GM Consent pursuant to S52 of Land Use Planning and Approvals Act 1993 (LUPAA).

As shown on the Plan of Subdivision, the new connection will connect to an existing side entry pit that is located approximately 30m north of the site in the Bishop Street road formation (adjacent to the frontage of 17 Bishop Street).

Given the consistent slope of the subject land towards Bishop Street and the consistent a meaningful fall between the subject land and the existing stormwater infrastructure, the new connection will be a gravity connection. It is anticipated that the works to establish this connection will be able to be undertaken within the road formation and therefore minimise substantial nature strip and footpath removal. Given the obvious ease of future construction because of the natural slope, it seems reasonable that detail design plans will be prepared and approved as a result of conditions on any planning permit that might be granted for the subdivision.

It is understood that the new stormwater connection will also involve and require the removal of the existing street tree assessed above as it will likely compromise the structural root zone of the street tree. However, because of the inherent slope on the land and associated and overarching site constraints there is no other design alternative for a new stormwater connection for this proposal.

Given the above, we seek the approval of this General Manager's (GM) Consent application pursuant to S52 of the LUPAA.

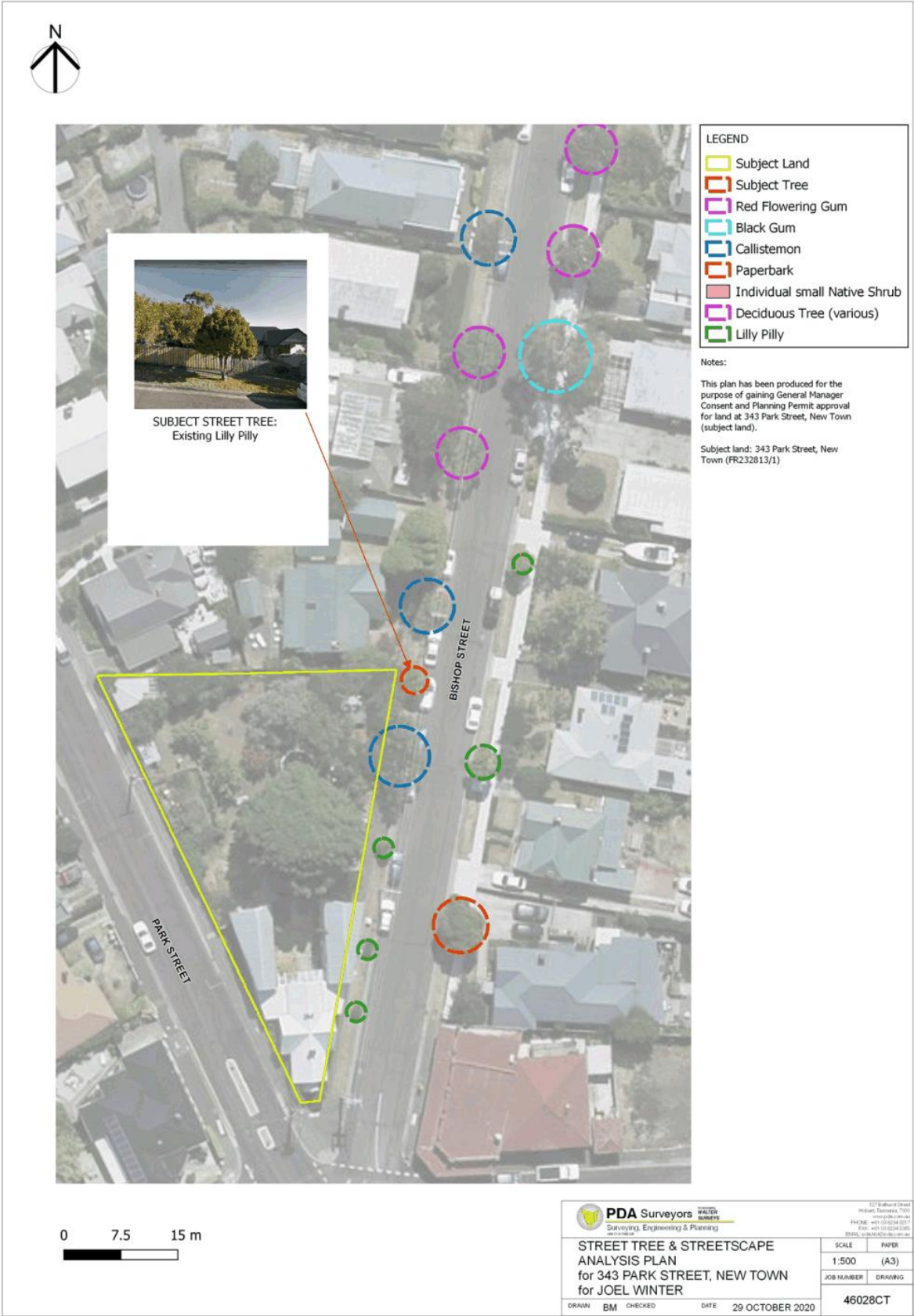
Please forward the completed GM Consent to this office as soon as it is finalised.

Please contact me further should any clarification be needed.

Yours faithfully
PDA Surveyors

Per: 

Bronwyn Mellor
SENIOR PLANNER





PLANNING ASSESSMENT REPORT

PROPOSAL: SUBDIVISION (TWO ADDITIONAL LOTS)
THE LAND: 343 PARK STREET, NEW TOWN
OWNER: JOEL WINTER

THE LAND AND SURROUNDS

The subject land is identified as 343 Park Street, New Town (FR232813/1). The land contains a single existing dwelling, an established garden containing mature trees at the rear of the site; with the land having an active frontage to both Park Street and Bishop Street creating a triangular shape lot. The dwelling uniquely being designed to fit snugly into the triangular head of the lot on the point/corner of the land. The land slopes from the highest point (street corner intersection) towards the northern boundary in a gentle consistent manner, with a gradual crossfall from Park Street to Bishop Street frontage, resulting in the lowest point of the land being the north eastern corner of the land.

HARBROE ESTATE

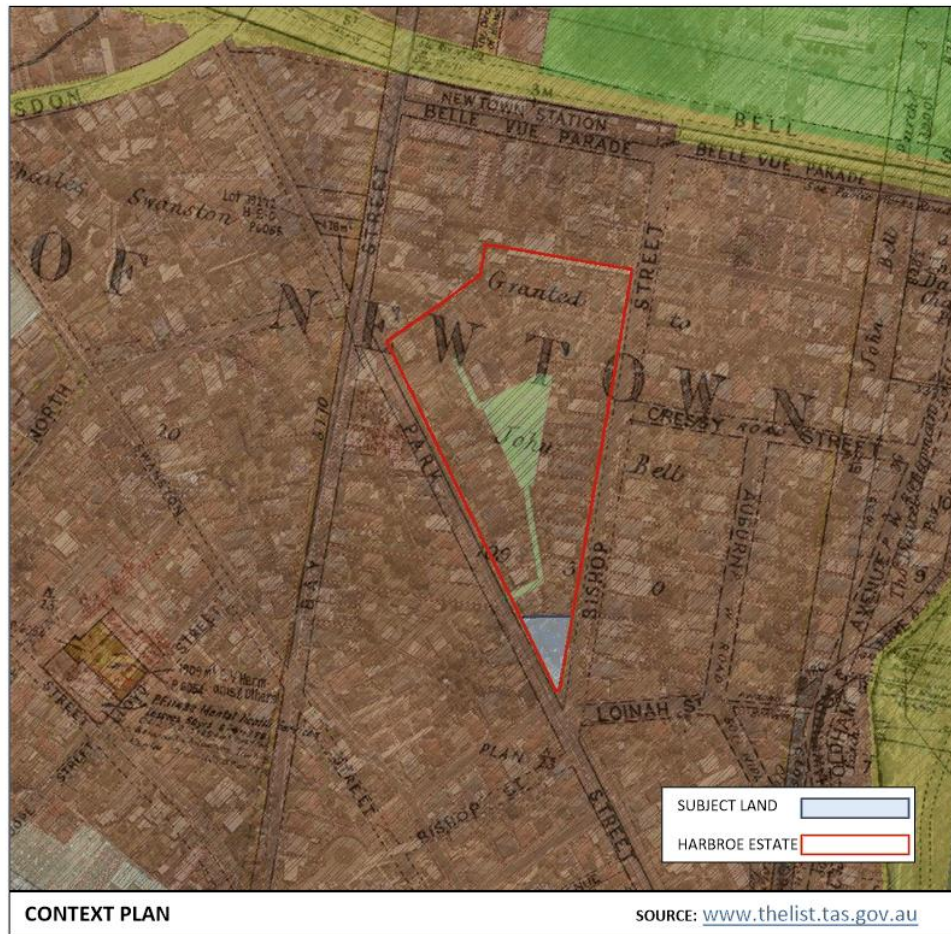
The surrounding area is part of a larger subdivision which was established as part of a Government subdivision undertaken by the War Service Homes Commission in 1920 with the estate name 'Harbroe' named after John Harbroe (former owner) who was a Government Official and Customs Collector in Hobart. Prior to those ownerships, the land was part of an original Town Grant of 109 acres/3 perches first granted to John Bell c.1820 (see plan below).

The two primary design philosophies of the Commission for the Harbroe Estate subdivision were:

- To reflect the populist 'Garden City Movement' of the period; and
- The intent of the Commission to bring together war veterans, war widows, and their families into estates where they could live surrounded by compatriots in a somewhat communal lifestyle.

The garden city design principle is reflected in the unique layout of the Harbroe Estate including a triangular piece of land in the middle of the lots that was set aside as a reserve (open court) with residents responsible for keeping the reserve tidy.

The well-known urban design philosophy "Garden City", was developed by Ebenezer Howard in 1898 aimed to capture the primary benefits of a countryside environment and a city environment. His concept was to plan whole areas which included boulevards (roads), public spaces, planned in regular patterns on a larger scale, normally being concentric patterns in the strictest sense. The most commonly known and more recent 'Garden City' being the city of Canberra, ACT.



TOLL HOUSE AND CYPRESS TREE

The subject land has a unique and specific history aside from the particular design features of the larger subdivision, and that is the existing building that is sited on the corner of Park and Bishop Streets (subject land), commonly known as the Toll House.

The outward appearance would seem to be that of a small chapel, however the building that was constructed c.1863 was constructed as part of a system of Toll Houses to collect tolls to maintain and improve the major road between Hobart and Launceston, following continued fare evasion at an earlier built Toll House on Main Road, New Town.

THE PROPOSAL

This application proposes to subdivide the land at 343 Park Street by creating two additional lots and the balance lot. The balance lot will contain the existing dwelling and the mature Cypress Tree that is centrally located in the rear yard.

The two new lots being created are located in the northern extent of the backyard, with Lot 1 having frontage to Park Street and Lot 2 having frontage to Bishop Street.

The two new lots are proposed with a building envelope to guide future residential development to ensure that:

- The vertical and horizontal scale of new buildings are consistent with surrounding built form;
- The setback of new buildings are consistent with surrounding development patterns;
- The location of buildings limits impact to the significant Cypress Tree on the land;
- The construction methods of future dwellings (not including garages or carports) are built using pier footings as a preference to limit impact to the Cypress Tree; and
- Sufficient area is provided for future development for modern living on smaller compact lots.

The vision for this proposal is to provide an additional infill residential lot within an inner residential area; that has good connections to established transport routes, that is capable of providing for high quality future residential development and is able to conserve/maintain the heritage significance of existing heritage fabric (dwelling and Cypress Tree) and contributory aspects of the Harbroe Avenue Heritage Precinct.

The principle design response for the subdivision has been to take advantage of the natural slope the area and other site constraints on the land by creating:

- The vertical alignment of the building envelopes being formed by using a horizontal plane between existing residential buildings resulting in a consistent vertical scale;
- The horizontal scale of the building envelopes has been primarily formed by using the design constraint of the tree protection zone setback as the alignment for the southern boundary of both building envelopes;
- The intersecting boundary between the new lots and the balance lot was established so as to contain the Cypress Tree within the balance lot to retain the tree and the former Toll House on the same lot; and
- Reticulated services for sewer and stormwater being aligned so as to fall to the lowest point of the land and away from the tree protection zone of the Cypress Tree.

HOBART INTERIM PLANNING SCHEME 2015

The land is located in the Inner Residential Zone in the Hobart Interim Planning Scheme 2015 and is also subject to the:

- Heritage Precinct Overlay (Harbroe Avenue - NT11); and
- Specific Area Plan (Royal Hobart Hospital Helipad Airspace - Outer Area 100m AHD).

INNER RESIDENTIAL ZONE

Relevant to the proposal, the purpose of the Inner Residential Zone is:

- To provide for a variety of residential uses and dwelling types close to services and facilities in inner urban and historically established areas, which uses and types respect the existing variation and pattern in lot sizes, set back, and height.
- To encourage residential development at higher densities in locations within walkable distance of services, facilities, employment and high frequency public transport corridors.
- To encourage residential development that respects the neighbourhood character.
- To provide a high standard of residential amenity.

There are no specific Local Area Objectives or Desired Future Character Statements for this Zone.

The following assessment provides a design response to all relevant acceptable solutions or performance criteria as set out at Clause 11.5.1, 11.5.3 & 11.5.4 including Table 11.1.

11.5.1 LOT DESIGN**A1**

The proposal meets the lot size requirements of the Acceptable Solution and Table 11.1 of the Zone:

- Lot 1 and 2 are 343m² and 297m² respectively; and
- The Balance Lot meets the minimum lot size.

P2

The proposal complies with the performance criteria in the following manner:

- a) The residential density of no less than one dwelling per 250m² is met by both lots with their respective lot sizes being above the minimum measure;
- b) This report has detailed that the proposal is consistent with the applicable standards in any relevant Codes; and
- c) Both the new lots are directly located along the northern boundary of the subject land and have an equal share of the northern boundary, therefore maximising solar access for each lot.

P3

The proposal complies with the performance criteria in the following manner:

- a) The alignment and location of each new vehicle crossover for the new lots as shown on the proposal plan has a 2m setback to the northern boundary that will enable safe and practical vehicular access and pedestrian safety, particularly with regard to site distance for vehicle and also pedestrian spaces.
- b) All lots have a minimum frontage of more than 6 metres.

A4

No lot is an internal lot.

P5

The proposal complies with the performance criteria in the following manner:

- a) The subject land is directly adjacent to a public transport corridor (Park Street).
- b) All lots are consistent with the preferred residential density of 250m² or greater.
- c) The subdivision is not being staged.
- d) Each of the new lots has an active and direct frontage to a street, with both building envelopes long axis running parallel to the frontage of each lot maximising opportunities for passive surveillance.
- e) There are no Local Area Objectives or Desired Future Character Statements for the Zone.

11.5.3 WAYS AND PUBLIC OPEN SPACE**P1**

Most of the performance criteria is not applicable to this type of application as there is no public open space being provided. It is expected that the Council will apply a condition to any permit that it may grant requiring a 5% cash contribution of the unimproved value of the new lots, not including the balance lot in line with Council's existing policy.

11.5.4 SERVICES**A1**

Reticulated water supply is provided from existing infrastructure in both Park and Bishop Street via a new and existing connections.

A2

Reticulated sewer connection is provided from existing infrastructure in on site via a centrally located sewer main adjacent to the northern boundary.

A3

The two new lots will be connected to a gravity stormwater system as shown on the proposal plan, which includes a substantial length of new connection/extension in the Bishop Street road formation as it is the closest viable connection via a gravity system. Connection to the Park Street stormwater system is not considered viable because of the difference in land contour and heights.

A4

No new roads being created.

CODES**E5.0 ROAD AND RAILWAY ACCESS CODE****E5.6.2 ROAD ACCESSES AND JUNCTIONS****A2**

Each lot has a single access that provides entry and exit with a road speed limit of less than 60kms p/hr.

E5.6.4 SIGHT DISTANCE AT ACCESSES**A1**

The existing vehicle access is not being altered and will serve the Balance Lot only. The new vehicle accesses have sight distances in excess of 80m to the north and south along both Park and Bishop Street as required by Table E5.1.

E6.0 PARKING AND ACCESS CODE**E6.7.1 NUMBER OF VEHICLE ACCESSES****A1**

Each lot has 1 vehicle crossover only.

E6.7.2 DESIGN OF VEHICULAR ACCESSES**A1**

Driveway width for the new lots will be at least 3m (Table 3.2). Sight distances along both streets (north and south) are not inhibited and are able to achieve the site distances listed in Clause 3.2.4. Clear sight lines can be provided for pedestrians to the south, and a setback of two metres from the northern boundary has been provided to the new vehicle crossovers to ensure sufficient pedestrian sight distances are provided to the slightly obscured northern boundary. Gradient estimation is between 1.5 to 7%.

E6.7.4 ONSITE TURNING**A1**

The Acceptable Solution requires that on-site turning is necessary for multiple dwelling lots or higher volume road accesses. The Acceptable Solution does not require on-site turning arrangements for lots with single dwellings as stated in the exemption in the Standard. The proposal is consistent with the exemption and there meets the Acceptable Solution.

E6.7.14 ACCESS TO A ROAD**A1**

The new vehicle crossovers will be constructed to Council's satisfaction as the road authority.

E7.0 STORMWATER MANAGEMENT CODE**A1**

All new lots are proposed to be connected to a gravity stormwater system as shown on the proposal plan.

A2

There is no requirement for this scale of development to use water sensitive urban design principles.

A3

Given the consistent slope and crossfall of the land there are very few design constraints in achieving a new gravity fed stormwater connection for both new lots. As detailed on the proposal plan, the new lot connections, infrastructure dimensions and easements demonstrate in sufficient conceptual detail that the subdivision can meet this Acceptable Solution. Detail design plans will be submitted to the drainage authority where necessary prior to construction.

E13.0 HISTORIC HERITAGE CODEE13.8.1 DEMOLITION**P1**

The small cluster of outbuildings in the rear yard are proposed to be demolished and are of no consequence to the heritage significance of the subject site or larger heritage precinct. The outbuildings are recently constructed and used in conjunction with the current residential use of the land.

E13.8.2 BUILDINGS AND WORKS OTHER THAN DEMOLITION**P4**

The subject land is currently established with typical lap style timber fencing at both side and rear boundaries that is approximately 1.6-1.8 metres in height. This application is not proposing any works to the existing fencing as part of this subdivision.

It is noted that there are exemptions from a planning permit being required for boundary fences adjoining a road frontage for a height of up to 1.2 metres from natural ground level and within 4.5 metres of that frontage, and rear or side boundaries of up to 2.1 metres.

A5

The creation of the two new lots will not create the need to remove or alter any existing garden setting immediately surrounding the existing dwelling on the site. The proposal through its design seeks to protect the mature and significant Cypress Tree that is centrally located in the rear yard on the basis that it provides a substantial element to the residential/urban setting and could even have a connection with the establishment of the dwelling on the land.

E13.8.3 SUBDIVISION**P1 a)**

Table E13.2 states that the precinct is significant for the following reasons:

1. This precinct reflects the links between the development and extension public transport lines and land sales, house building and the historical patterns of suburban growth.
2. This precinct represents a cohesive collection of residential buildings in the Interwar Californian Bungalow style developed by the War Services Homes Commission of 46 houses between 1920 and 1924.
3. These places within this precinct have a high degree of integrity and consistency, many in original condition with strong consistent character in terms of size, height, materials, setback, bulk, garden setting and fencing.
4. This precinct shows a strong and consistent streetscape representing with a high degree of integrity and a reflection of garden suburb ideals with a triangular central park onto which houses back.

There are three distinct themes in the above reasons for significance of the precinct. The first being the intact and cohesive development of Interwar Californian Bungalow housing stock and streetscapes. The second being the unique layout and original purpose of the Harbroe Estate subdivision. The third being a more broad theme where the precinct reflects links to the progression of public transport, land sales, house building and historic patterns of suburban growth.

This report has already demonstrated that the creation of the new lots with the addition of building envelopes will ensure that new development will not adversely impact on the heritage significance of the precinct as the height, size, setback, bulk and mass are consistent with the cohesive pattern of development in the Harbroe Estate. The building envelopes are proposed to be used as a future encumbrance on new titles to give effect to these design outcomes.

The infill addition of two new lots has been purposeful in that the new lots needed to reflect the pattern of lots in the larger subdivision. The Harbroe Estate lots have a regular rectangle shape lots of varying sizes, regular and consistent lot frontages, a substantial garden setting in the frontage of lots, all lots have an active frontage to the street and all have a single detached dwelling on each lot. The two new lots continues this regular lot pattern through:

- Providing an active frontage to each street so as to avoid the rear of a lot facing the street;
- Creating a consistent lot frontage of 15-20 metres;
- The building envelopes front setbacks will ensure that a garden setting is able to be provided; and
- By the inherent higher density lots, the new lots will only contain a single dwelling on each lot.

The original subdivision reflects a link to historic patterns of suburban growth by having the subdivision pattern be reflective of a garden movement style of development, house building and land sales. The above design parameters demonstrate that the new lots do not adversely impact on the unique pattern of the subdivision and the individual significance of the collection of Interwar housing. The effective consolidation/separation of the Toll House on the Balance Lot ensures that the link to "the progression of public transport" as the Toll House was at the head of a historic public transport link/road between Hobart and Launceston.

P1 b)

As described above, the pattern of the new lots being created is consistent with the original subdivision in the Harbroe Estate, through consistent lot frontages, rectangular shape, active frontage to each street and the like.

P1 c)

Even though the proposal adds two additional infill lots in the precinct, it is considered that because of the cohesion in pattern and provision for controls/limitations on future development, that the proposal provides a complementary addition within the shape and pattern of the original subdivision. In summary, the historic pattern and design of the subdivision will continue to be evident by the internal public open space area and the cohesive Interwar building stock on the original lots.

P1 d)

The use of the building envelopes as an encumbrance to titles for the two new lots will ensure that future development is consistent in scale with the significant building stock in the precinct.

P2

This report has detailed compliance with the content in Table E13.2 in suitable detail in previous sections.

OTHER MATTERS**HERITAGE TASMANIA (PERMANENT REGISTRATION) & CYPRESS TREE SIGNIFICANCE**

The Heritage Tasmania registration only contains detail about the Toll House building and its Victorian Rustic Gothic architectural style as being significant. There is no detail about its garden setting or any link to the mature Cypress Tree in the rear yard.

Notwithstanding the isolated statement of significance to the architectural style of the Toll House, there are a number of existing documents that identify the Cypress Tree as having a potential contribution not only to the urban setting but also to the garden setting that is evidenced in the surrounding precinct and therefore may have some historic significance. Whether this is progressed in the future is yet to be determined, but it is considered that there is value in its retention from an urban setting and urban design perspective as described and as a backdrop and green setting for new development on the two new lots.

GENERAL MANAGER CONSENT

Please note that General Manager Consent (GM Consent) has already been submitted as required by Council, pursuant to S52 of the Land Use Planning and Approvals Act 1993.

Council determined that because of the extent of works within the Bishop Street road reserve that Consent was necessary to ensure compliance with the Act. The principal works that required consent are the removal of a single street tree to establish Lot 2's vehicle crossover and installation of stormwater infrastructure; and also the extension of the stormwater system to the existing infrastructure located further north in the Bishop Street road formation.

A detailed analysis has been prepared to justify these works being necessary to support the development of this subdivision and are attached as part of this application.

When GM Consent is granted by the Council, formal submission of the approved document will be undertaken.

CONCLUSION

As detailed in this report, it is considered that through the use of building envelopes on each new lot, consolidation of the Cypress Tree and the Toll House onto the Balance Lot and effectively limiting development within the tree protection zone of the Cypress Tree, that any impact to the significance of the precinct is reasonably mitigated.

The critical heritage fabric of the Toll House and its garden setting is contained and conserved within a singular lot, which in turn conserves the significance of the heritage precinct by protecting not only those contributory elements but also the broader streetscape.

Aside from strict interpretation regarding subdivision patterns, it is always important and best practice to consider adaptive re-use of heritage places so as to be able to conserve what is important. In this regard, the proposal to subdivide the land to provide opportunities for limited in-fill residential development, also provides an opportunity to better conserve existing heritage buildings.

The pattern of development will always remain, because the streets are not changing, the significant Interwar bungalow dwellings and the Toll House are not changing, and the Cypress Tree is being suitably protected.

It is also contended that the subdivision pattern of the precinct is not detrimentally impacted, because the cohesive and regular rectangular pattern is being replicated by the new lots. The Harbroe Estate subdivision pattern will continue to be recognisable, despite this proposal.

Based on the above we seek that Council support the proposal as it is currently proposed, subject to conditions that may be necessary for this type of subdivision.

For PDA Surveyors

Per: 

Bronwyn Mellor
PGDip, RurRegPlan MPIA
SENIOR PLANNER

DISCLAIMER:

All information contained in this report is only for the purpose of assessment of a planning proposal to develop the above mentioned land as stated and all information is current as at 9th November 2020. This information should not be used for any other purpose.

**RESULT OF SEARCH**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

SEARCH OF TORRENS TITLE

VOLUME 232813	FOLIO 1
EDITION 8	DATE OF ISSUE 07-Nov-2018

SEARCH DATE : 03-Sep-2020

SEARCH TIME : 02.16 PM

DESCRIPTION OF LAND

City of HOBART

Lot 1 on Plan 232813

Derivation : Part of 109A-3R-0Ps. - Gtd. to J. Bell.

Prior CT 3142/51

SCHEDULE 1

C741491 TRANSFER to TERESE DRYZA and JOEL JEFFERY WINTER

Registered 23-Apr-2007 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



01-0123

ANNEXURE TO CERTIFICATE OF TITLE

VOL. 3142

FOL. 51

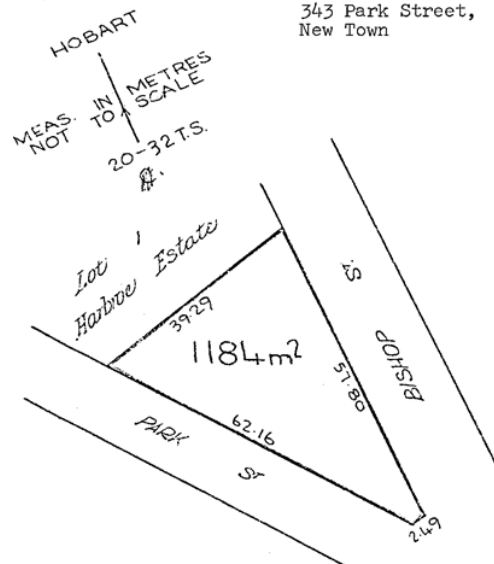
AGTING Recorder of Titles


REGISTERED NUMBER

232813

Lot 1 of this plan consists of all the
land comprised in the above-mentioned
cancelled folio of the Register.

PROPERTY ADDRESS

343 Park Street,
New Town



Tasmanian Heritage Council
GPO Box 618 Hobart Tasmania 7000
Tel: 1300 850 332
enquiries@heritage.tas.gov.au
www.heritage.tas.gov.au

PLANNING REF: PLN-20-780
THC WORKS REF: 6437
REGISTERED PLACE NO: 2716
FILE NO: 07-71-36THC
APPLICANT: Bronwyn Mellor (PDA Surveyors)
DATE: 4 February 2020

NOTICE OF HERITAGE DECISION

(*Historic Cultural Heritage Act 1995*)

The Place: Former Tollhouse, 343 Park Street, New Town.
Proposed Works: Partial demolition, subdivision (two additional lots) and associated works.

Under section 39(6)(a) of the *Historic Cultural Heritage Act 1995*, the Heritage Council gives notice that it consents to the discretionary permit being granted in accordance with the documentation submitted with Development Application PLN-20-780, advertised on 06/01/2021.

Advice

The applicant should note that all of the areas affected by the subdivision will remain entered in the Tasmanian Heritage Register (THR) as part of the original entry for the site, and that heritage works to the new lots shall require heritage approval pursuant to Part 6 of the *Historic Cultural Heritage Act 1995*.

Please note, due to the significant cypress tree adjacent to and overhanging the new lots, that all proposed development to the new lots will be carefully assessed by the Heritage Council, to ensure that potential impacts to the ongoing health and viability of the cypress tree are properly considered and minimised. Prospective owners and developers of the new lots should be advised of the heritage listed status of the new lots and of the requirement to protect the significant cypress tree.

Please also note that the owners of the new lots may request a review and amendment to the place's entry in the THR, once new residential development is completed on either or both lots.

Please ensure the details of this notice are included in any permit issued, including the advice, and please forward a copy of the permit or decision of refusal to the Heritage Council for our records.

Should you require clarification of any matters contained in this notice, please contact Deirdre Macdonald on 0419 589 283 or 1300 850 332.

A handwritten signature in purple ink, appearing to read 'Ian Boersma'.

Ian Boersma
Works Manager – Heritage Tasmania
Under delegation of the Tasmanian Heritage Council



Submission to Planning Authority Notice

Council Planning Permit No.	PLN-20-780	Council notice date	14/12/2020
TasWater details			
TasWater Reference No.	TWDA 2020/02133-HCC	Date of response	22/12/2020
TasWater Contact	Phil Papps	Phone No.	0474 931 272
Response issued to			
Council name	CITY OF HOBART		
Contact details	coh@hobartcity.com.au		
Development details			
Address	343 PARK ST, NEW TOWN	Property ID (PID)	5520005
Description of development	Partial demolition, subdivision (3 lots) and associated works		
Schedule of drawings/documents			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
PDA	Plan of Subdivision / 46028CT-2	0	22/09/2020
Conditions			
Pursuant to the <i>Water and Sewerage Industry Act 2008</i> (TAS) Section 56P(1) TasWater imposes the following conditions on the permit for this application:			
CONNECTIONS, METERING & BACKFLOW			
<p>1. A suitably sized water supply with metered connections and sewerage system and connections to each lot of the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit.</p> <p>Advice: <i>Water modelling may be required to demonstrate new water connections for proposed Lots 1 & 2 can be provided from existing undersize ID 50mm (Assets A387218 & A387214) water mains otherwise the new connections must be from suitably sized mains in Park and Bishop Streets.</i></p> <p>2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost.</p> <p>3. Prior to use of the development, any water connection utilised for the development must have a backflow prevention device and water meter installed, to the satisfaction of TasWater.</p>			
ASSET CREATION & INFRASTRUCTURE WORKS			
<p>4. A sewer main extension must be provided from existing sewer maintenance hole (Asset A631916) to service the proposed subdivision.</p> <p>Advice: <i>TasWater will not take over private drains as new TasWater assets.</i></p> <p>5. Plans submitted with the application for Engineering Design Approval must, to the satisfaction of TasWater show, all existing, redundant and/or proposed property services and mains.</p> <p>6. Prior to applying for a Permit to Construct new infrastructure the developer must obtain from TasWater Engineering Design Approval for the new TasWater infrastructure. The application for Engineering Design Approval must include engineering design plans prepared by a suitably qualified person showing the hydraulic servicing requirements for water and sewerage to TasWater's satisfaction.</p>			



7. Prior to works commencing, a Permit to Construct must be applied for and issued by TasWater. All infrastructure works must be inspected by TasWater and be to TasWater's satisfaction.
8. In addition to any other conditions in this permit, all works must be constructed under the supervision of a suitably qualified person in accordance with TasWater's requirements.
9. Prior to the issue of a Consent to Register a Legal Document all additions, extensions, alterations or upgrades to TasWater's water and sewerage infrastructure required to service the development are to be constructed at the expense of the developer to the satisfaction of TasWater, with live connections performed by TasWater.
10. After testing, to TasWater's requirements, of newly created works, the developer must apply to TasWater for connection of these works to existing TasWater infrastructure, at the developer's cost.
11. At practical completion of the water and sewerage works and prior to TasWater issuing a Consent to a Register Legal Document the developer must obtain a Certificate of Practical Completion from TasWater for the works that will be transferred to TasWater. To obtain a Certificate of Practical Completion:
 - a. Written confirmation from the supervising suitably qualified person certifying that the works have been constructed in accordance with the TasWater approved plans and specifications and that the appropriate level of workmanship has been achieved;
 - b. A request for a joint on-site inspection with TasWater's authorised representative must be made;
 - c. Security for the twelve (12) month defects liability period to the value of 10% of the works must be lodged with TasWater. This security must be in the form of a bank guarantee;
 - d. Work As Constructed drawings and documentation must be prepared by a suitably qualified person to TasWater's satisfaction and forwarded to TasWater.
12. After the Certificate of Practical Completion has been issued, a 12 month defects liability period applies to this infrastructure. During this period all defects must be rectified at the developer's cost and to the satisfaction of TasWater. A further 12 month defects liability period may be applied to defects after rectification. TasWater may, at its discretion, undertake rectification of any defects at the developer's cost. Upon completion, of the defects liability period the developer must request TasWater to issue a "Certificate of Final Acceptance". The newly constructed infrastructure will be transferred to TasWater upon issue of this certificate and TasWater will release any security held for the defects liability period.
13. The developer must take all precautions to protect existing TasWater infrastructure. Any damage caused to existing TasWater infrastructure during the construction period must be promptly reported to TasWater and repaired by TasWater at the developer's cost.

FINAL PLANS, EASEMENTS & ENDORSEMENTS

14. Prior to the Sealing of the Final Plan of Survey, a Consent to Register a Legal Document must be obtained from TasWater as evidence of compliance with these conditions when application for sealing is made.
Advice: Council will refer the Final Plan of Survey to TasWater requesting Consent to Register a Legal Document be issued directly to them on behalf of the applicant.
15. Pipeline easements, to TasWater's satisfaction, must be created over any existing or proposed TasWater infrastructure and be in accordance with TasWater's standard pipeline easement conditions.

DEVELOPMENT ASSESSMENT FEES



16. The applicant or landowner as the case may be, must pay a development assessment fee of \$351.28 and a Consent to Register a Legal Document fee of \$149.20 to TasWater, as approved by the Economic Regulator and the fees will be indexed, until the date paid to TasWater.

The payment is required within 30 days of the issue of an invoice by TasWater.

Advice

General

For information on TasWater development standards, please visit

<http://www.taswater.com.au/Development/Development-Standards>

For application forms please visit <http://www.taswater.com.au/Development/Forms>

Service Locations

Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure. The location of this infrastructure as shown on the GIS is indicative only.

- (a) A permit is required to work within TasWater's easements or in the vicinity of its infrastructure.
Further information can be obtained from TasWater
- (b) TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit www.taswater.com.au/Development/Service-location for a list of companies
- (c) TasWater will locate residential water stop taps free of charge
- (d) Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

Authorised by

Jason Taylor

Development Assessment Manager

TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au

Application Referral Cultural Heritage - Response

From:	Allie Costin
Recommendation:	Proposal is acceptable without conditions.
Date Completed:	
Address:	343 PARK STREET, NEW TOWN ADJACENT ROAD RESERVE
Proposal:	Partial Demolition, Subdivision (Two Additional Lots) and Associated Works
Application No:	PLN-20-780
Assessment Officer:	Richard Bacon,

Referral Officer comments:

Number 343 Park Street is a listed place in Table E13.1 of the Hobart Interim Planning Scheme 2015, and located within the New Town 11 Heritage Precinct. The proposal must be assessed against E13.7 Development Standards for Heritage Places and E13.8 Development Standards for Heritage Precincts.

Introduction:

Historically New Town held a strategic location as the main northern route in and out of Hobart, this saw the establishment of four toll houses operating in the New Town area during the mid-19th century. The Park Street Toll House was constructed in 1863 to prevent the evasion of government road tolls, tolls were collected by the resident gatekeeper who resided in the toll house. The system proved to be inefficient and by 1880 road tolls were abolished. Since 1880 the Park Street Toll House has largely been a private residence, with the address of 343 Park Street. The residence is positioned on a triangular parcel on the corner of Park and Bishop Street.

The residence is located in the New Town 11 Heritage Precinct which originally formed part of the estate of John Harbroe, the land was purchased by the War Service Homes Commission in 1920. A new subdivision was created that divided 46 lots over 7 acres to be developed into War Service Homes for the settlement of returned WW1 soldiers. The master plan followed a unique design, including a triangular piece of land in the middle of the settlement to be laid out as a reserve. The majority of houses were completed by 1923 with all houses reflecting strong consistent characteristics, and architectural styles. The Toll House is the only building from the Victorian era located within this Inter-War subdivision.

The Harbroe Avenue New Town 11 Heritage Precinct is significant for reasons including:

- 1. This precinct reflects the links between the development and extension public transport lines and land sales, house building and the historical patterns of suburban growth.*
- 2. This precinct represents a cohesive collection of residential buildings in the Interwar Californian Bungalow style developed by the War Services Homes Commission of 46 houses between 1920 and 1924*
- 3. These places within this precinct have a high degree of integrity and consistency, many in original condition with strong consistent character in terms of size, height, materials, setback, bulk, garden setting and fencing.*

4. *This precinct shows a strong and consistent streetscape representing with a high degree of integrity and a reflection of garden suburb ideals with a triangular central park onto which houses back.*

Assessment

Representations:

There were two representations received during the advertising period, one cited heritage concerns which are summarized and discussed below.

- *Retaining this property as it currently is will ensure the character of the precinct and the contributing factors for local history is not lost.*
- *The Tollhouse block with its large yard, significant tree, and architecturally interesting building is a landmark, and given that the site has remained largely intact from its inception.*
- *Division of Harbroe Estate would be a great loss, given it has survived intact for so long.*
- *The Park Street Street Toll house along with the street comprising of Bishop Street, Park Street, and Harbroe Avenue are of significance as they show the Inter-War period of development which has not been eroded by subdivision. The intact plan is a rarity and a new subdivision will change the pattern of this area.*
- *A new subdivision and the future building of two extra houses on the block will compromise the streetscape in terms of the siting of buildings.*

It should be noted that no trees or vegetation on site are on councils significant tree register, and the property is not identified in the significant garden study. It is however acknowledge that the large Cypress tree contributes to the wider streetscape and precinct and its retention in the Toll House lot is seen as adequate protection for the tree.

It is also considered that any future development on the site would need to satisfy the heritage precinct provisions, which are informed by the statements of significance for the precinct, which make reference to the streetscape that is of a 'consistent character in terms of size, height, materials, setback, bulk, garden setting and fencing'. Any proposed new buildings on the subdivided lots would need to reflect the consistent character of the precinct.

E13.7 Development Standards for Heritage Places

E13.7.3 Subdivision

Objective:

To ensure that subdivision of part of a heritage place maintains cohesion between the elements that collectively contribute to an understanding of historic cultural heritage values, and protects those elements from future incompatible development.

Performance Criteria 1

A proposed plan of subdivision must show that historic cultural heritage significance is adequately protected by complying with all of the following:

- (a) ensuring that sufficient curtilage and contributory heritage items (such as outbuildings or significant plantings) are retained as part of any title containing heritage values;*
- (b) ensuring a sympathetic pattern of subdivision;*
- (c) providing a lot size, pattern and configuration with building areas or other development controls that will prevent unsympathetic development on lots adjoining any titles containing heritage values, if required.*

The Cypress tree is not currently listed as on the significant tree register, however it does have contributory values to the place and wider streetscape, and planning documents state that the mature Cypress tree is to be included within the proposed toll house residential lot, this is considered to be sufficient and adequate protection for the tree.

A mature pear tree is proposed for removal whilst unfortunate it is recognised that this tree is also not on councils significant tree register. There are no outbuildings or other items of significance on the proposed subdivided parcels of the property. It is considered that the proposed curtilage provided is sympathetic to the listed residence.

343 Park Street is positioned in an area with a strong subdivision pattern dating from 1920, the subdivision pattern consists of back to back lots, with frontages onto either Bishop or Park Street. The proposed subdivision pattern will follow this arrangement with one lot proposed with a frontage to Park Street, and one lot proposed with a frontage to Bishop Street. The Toll House lot will remain as the prominent corner lot. It is considered that the historic cultural heritage significance of the Toll House will be adequately protected and the proposal satisfies Performance Criteria 1 of E13.7.3

E13.8 Development Standards for Heritage Precincts

E13.8.3 Subdivision

Objective:

To ensure that subdivision within a Heritage Precinct is consistent with historic patterns of development and does not create potential for future incompatible development.

Performance Criteria 1

Subdivision must not result in any of the following:

(a) detriment to the historic cultural heritage significance of the precinct, as listed in Table E13.2;

(b) a pattern of subdivision unsympathetic to the historic cultural heritage significance of the precinct;

(c) potential for a confused understanding of the development of the precinct;

(d) an increased likelihood of future development that is incompatible with the historic cultural heritage significance of the precinct.

The New Town 11 Heritage Precinct is described as being clearly identifiable as a predominantly single storey townscape with an identifiable pattern of development. It is considered that any new development would need to consider these qualities, and be of a design that is consistent with the precinct character in terms of size, height, materials, setback, bulk, garden setting and fencing.

It is considered that the proposed two new lots will not result in a confused understanding of the development of the precinct and will not result in a unsympathetic pattern of subdivision, the 1921 subdivision pattern will remain highly legible, and the 1863 Toll House will remain as the prominent corner residence that pre dates the Inter-war subdivision. Performance Criteria 1 of E13.8.3 is considered satisfied.

In conclusion the proposal satisfies the relevant provisions of the E13 Historic Heritage of HIPS 2015

Allie Costin
1st of February 2021

8. REPORTS

8.1 Delegated Decision Report (Planning) File Ref: F21/10223

Memorandum of the Director City Planning of 9 February 2021 and attachment.

Delegation: Committee



City of **HOBART**

MEMORANDUM: CITY PLANNING COMMITTEE

Delegated Decision Report (Planning)

Attached is the delegated planning decisions report for the period 25 January 2021 to 5 February 2021.

RECOMMENDATION

That:

- 1. That the information be received and noted.**

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

Neil Noye
DIRECTOR CITY PLANNING

Date: 9 February 2021
File Reference: F21/10223

Attachment A: Attachment - City Planning Committee - 15 February 2021 - Delegated Decision Report (Planning) ↓

9 February 2021

Delegated Decisions Report (Planning)

40 applications found.

Planning Description	Address	Works Value	Decision	Authority
PLN-19-5 Signage	232-242 LIVERPOOL STREET HOBART TAS 7000	\$ 0	Approved	Delegated
PLN-20-358 Alterations	14 KELLY STREET BATTERY POINT TAS 7004	\$ 28,000	Approved	Delegated
PLN-20-501 Dwelling	31 HILLCREST ROAD TOLMANS HILL TAS 7007	\$ 700,000	Approved	Delegated
PLN-20-765 Partial Demolition, Alterations, Extension and Garage	26 ALLAMBEE CRESCENT GLEBE TAS 7000	\$ 300,000	Approved	Delegated
PLN-20-766 Partial Demolition, Alterations and Extension for Three Multiple Dwellings (Two Existing, One New)	34 ROOPE STREET NEW TOWN TAS 7008	\$ 230,000	Approved	Delegated
PLN-20-782 Partial Demolition and Alterations	14/32A PILLINGER STREET DYNMYRNE TAS 7005	\$ 1,000	Approved	Delegated
PLN-20-804 Partial Demolition, Alterations and Extension	2/8 CAPRI DRIVE SANDY BAY TAS 7005	\$ 80,000	Approved	Delegated
PLN-20-833 Dwelling	5 WESTINWOOD ROAD LENAH VALLEY TAS 7008	\$ 450,000	Approved	Delegated
PLN-20-838 Partial Demolition, Alterations and Extension	50 LIPSCOMBE AVENUE SANDY BAY TAS 7005	\$500,000	Withdrawn	Applicant
PLN-20-841 Partial Demolition, Alteration and Extension	8 KIRBY COURT WEST HOBART TAS 7000	\$ 60,000	Approved	Delegated
PLN-20-852 Partial Demolition, Alterations and Extension	23 BRINSMEAD ROAD MOUNT NELSON TAS 7007	\$ 150,000	Approved	Delegated
PLN-20-864 Partial Demolition, Alterations and Extension	26 YORK STREET SANDY BAY TAS 7005	\$100,000	Approved	Delegated
PLN-20-866 Partial Demolition, Alterations, and Three Multiple Dwellings (One Existing, Two New)	25 PRINCES STREET SANDY BAY TAS 7005	\$ 800,000	Withdrawn	Applicant
PLN-20-873 Partial Demolition, Alterations and Front Fencing	24 SWAN STREET NORTH HOBART TAS 7000	\$ 25,000	Approved	Delegated
PLN-20-885 Partial Demolition, Alterations, and Change of Use to Educational and Occasional Care	143 LIVERPOOL STREET HOBART TAS 7000	\$ 350,000	Approved	Delegated
PLN-20-887 Partial Demolition, Alterations, and Extension	312 CHURCHILL AVENUE SANDY BAY TAS 7005	\$ 245,000	Approved	Delegated
PLN-20-895 Alterations	42 FOREST ROAD WEST HOBART TAS 7000	\$ 8,000	Approved	Delegated
PLN-20-901 Change of Use to Visitor Accommodation	15/1 PLIMSOLL PLACE SANDY BAY TAS 7005	\$ 0	Approved	Delegated
PLN-20-913 Alterations (Deck) to Previously Approved Development	14 STOKE STREET NEW TOWN TAS 7008	\$ 5,000	Approved	Delegated
PLN-21-10 Partial Demolition, Alterations, and Extension	34 COPLEY ROAD LENAH VALLEY TAS 7008	\$ 150,000	Not Required	Delegated
PLN-21-35 Alterations	5 EMMETT PLACE NEW TOWN TAS 7008	\$260,000	Approved	Delegated
PLN-21-7 Partial Demolition, Alterations and Extension	12 CROSS STREET NEW TOWN TAS 7008	\$ 250,000	Approved	Delegated

CITY OF HOBART

8.2 City Planning - Advertising Report
File Ref: F21/10557

Memorandum of the Director City Planning of 10 February 2021 and attachment.

Delegation: Committee



City of **HOBART**

MEMORANDUM: CITY PLANNING COMMITTEE

City Planning - Advertising Report

Attached is the advertising list for the period 25 January 2021 to 5 February 2021.

RECOMMENDATION

That:

- 1. That the information be received and noted.***

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

Neil Noye
DIRECTOR CITY PLANNING

Date: 10 February 2021
File Reference: F21/10557

Attachment A: City Planning - Advertising Report ↓

Application	Street	Suburb	Development	Works Value	Expiry Date	Referral	Proposed Delegation	Advertising Period Start	Advertising Period End
PLN-21-2	11 RIBBON GUM COURT	MOUNT NELSON	Dwelling	\$950,000	06/03/2021	ayersh	Director	05/02/2021	20/02/2021
PLN-19-768	49 MOLLE STREET	HOBART	Partial Demolition, Alterations, Partial Change of Use to Office and Two Multiple Dwellings, New Building for 45 Multiple Dwellings, Signage and Associated Works	\$8,000,000	24/02/2021	ikinb	Council (Council Land)	04/02/2021	19/02/2021
PLN-20-583	19 FREDERICK STREET	WEST HOBART	Partial Demolition, Alterations, Extension, Garage and Outbuilding (Studio)	\$180,000	22/02/2021	langd	Director	25/01/2021	10/02/2021
PLN-20-808	18 NURSERY COURT	LENAH VALLEY	Partial Demolition, Alterations, Extension, Ancillary Dwelling and Decks	\$150,000	22/02/2021	langd	Director	01/02/2021	16/02/2021
PLN-21-14	18 D'ARCY STREET	SOUTH HOBART	Partial Demolition, Alterations, Extension and Outbuilding	\$300,000	21/02/2021	langd	Director	01/02/2021	16/02/2021
PLN-20-479	41 BEAUMONT ROAD	LENAH VALLEY	Five Multiple Dwellings	\$1,200,000	26/02/2021	maxwellv	Director	28/01/2021	12/02/2021
PLN-21-23	49 - 57 LIVERPOOL STREET	HOBART	Partial Demolition and Alterations	\$300,000	27/02/2021	maxwellv	Director	04/02/2021	19/02/2021
PLN-20-898	2 CROSS STREET	NEW TOWN	Demolition, Addition and Alterations	\$2,500,000	26/02/2021	maxwellv	Director	05/02/2021	20/02/2021

Application	Street	Suburb	Development	Works Value	Expiry Date	Referral	Proposed Delegation	Advertising Period Start	Advertising Period End
PLN-21-31	410 ELIZABETH STREET	NORTH HOBART	Park Upgrade including Partial Demolition, Alterations, Landscaping, Furniture, and Lighting	\$400,000	03/03/2021	mcclenahan m	Council (Council Applicant)	01/02/2021	16/02/2021
PLN-21-20	32 DAVEY STREET	HOBART	Partial Demolition and Alterations	\$45,000	03/03/2021	mcclenahan m	Director	02/02/2021	17/02/2021
PLN-20-400	8 HAKEA DRIVE	TOLMANS HILL	Dwelling	\$535,000	02/04/2021	mcclenahan m	Director	04/02/2021	19/02/2021
PLN-20-612	249 A ELIZABETH STREET	NORTH HOBART	Signage	\$0	07/03/2021	mcclenahan m	Director	04/02/2021	19/02/2021
PLN-21-25	46 WILLIAM COOPER DRIVE	NEW TOWN	Dwelling	\$809,482	03/03/2021	mcclenahan m	Director	04/02/2021	19/02/2021
PLN-20-770	59 BEAUMONT ROAD	LENAH VALLEY	Dwelling	\$460,000	24/02/2021	nolanm	Director	25/01/2021	10/02/2021
PLN-20-910	59 A RED CHAPEL AVENUE	SANDY BAY	Partial Demolition, Alterations and Extension	\$150,000	25/02/2021	nolanm	Director	05/02/2021	20/02/2021
PLN-20-811	40 BEAUMONT ROAD	LENAH VALLEY	Dwelling	\$380,000	13/02/2021	sherriffc	Director	25/01/2021	10/02/2021
PLN-20-876	2 / 399 A SANDY BAY ROAD	SANDY BAY	Partial Demolition, Alterations and Carport	\$150,000	22/02/2021	smeea	Director	28/01/2021	12/02/2021
PLN-20-890	44 BEAUMONT ROAD	LENAH VALLEY	Dwelling	\$350,000	17/02/2021	smeea	Director	01/02/2021	16/02/2021
PLN-21-36	11 CLARE STREET	NEW TOWN	Partial Demolition and Alterations	\$675,000	06/03/2021	smeea	Director	02/02/2021	17/02/2021
PLN-21-50	13 JENNINGS STREET	NEW TOWN	Partial Demolition, Alterations and Change of Use to Single Dwelling	\$150,000	12/03/2021	smeea	Director	04/02/2021	19/02/2021

Application	Street	Suburb	Development	Works Value	Expiry Date	Referral	Proposed Delegation	Advertising Period Start	Advertising Period End
PLN-20-884	10 WILMOT STREET	HOBART	Change of Use to Business and Professional Services and Alterations	\$1,000	03/03/2021	widdowsont	Director	04/02/2021	19/02/2021
PLN-20-789	43 PROCTORS ROAD	DYNNYRNE	Alterations and Landscaping	\$16,000	05/03/2021	widdowsont	Director	05/02/2021	20/02/2021

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8.3 Building and Planning Statistics 1 January 2021 to 31 January 2021
File Ref: F21/10612

Memorandum of the Director City Planning of 10 February 2021 and attachments.

Delegation: Council



City of **HOBART**

MEMORANDUM: CITY PLANNING COMMITTEE

**Building and Planning Statistics 1 January 2021 to 31
January 2021**

Attached is the monthly building permits and planning permits issued statistics for the period 1 January 2021 – 31 January 2021.

RECOMMENDATION

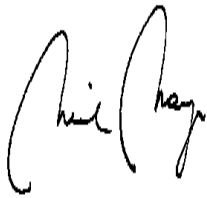
That:

1. During the period 1 January 2021 to 31 January 2021, 41 building permits were issued to the value of \$6,878,390 which included:
 - (i) 21 for Extensions/Alterations to Dwellings to the value of \$3,584,000;
 - (ii) 9 New Dwellings to the value of \$3,508,390; and
 - (iii) No Major Projects.

2. During the period 1 January 2020 to 31 January 2021, 36 building permits were issued to the value of \$9,774,648 which included:
 - (i) 16 for Extensions/Alterations to Dwellings to the value of \$1,796,647;
 - (ii) 6 New Dwellings to the value of \$2,924,500;
 - (iii) 2 Major Projects:
 - (a) 4 Glover Drive, Sandy Bay - New Buildings (House) - \$1,100,000;
and
 - (b) 85-99 Collins Street, Hobart - Commercial Internal Alterations -
\$2,896,000.









1. In the twelve months ending January 2021, 646 building permits were issued to the value of \$177,509,986 and
2. In the twelve months ending January 2020, 612 building permits were issued to the value of \$301,348,994.

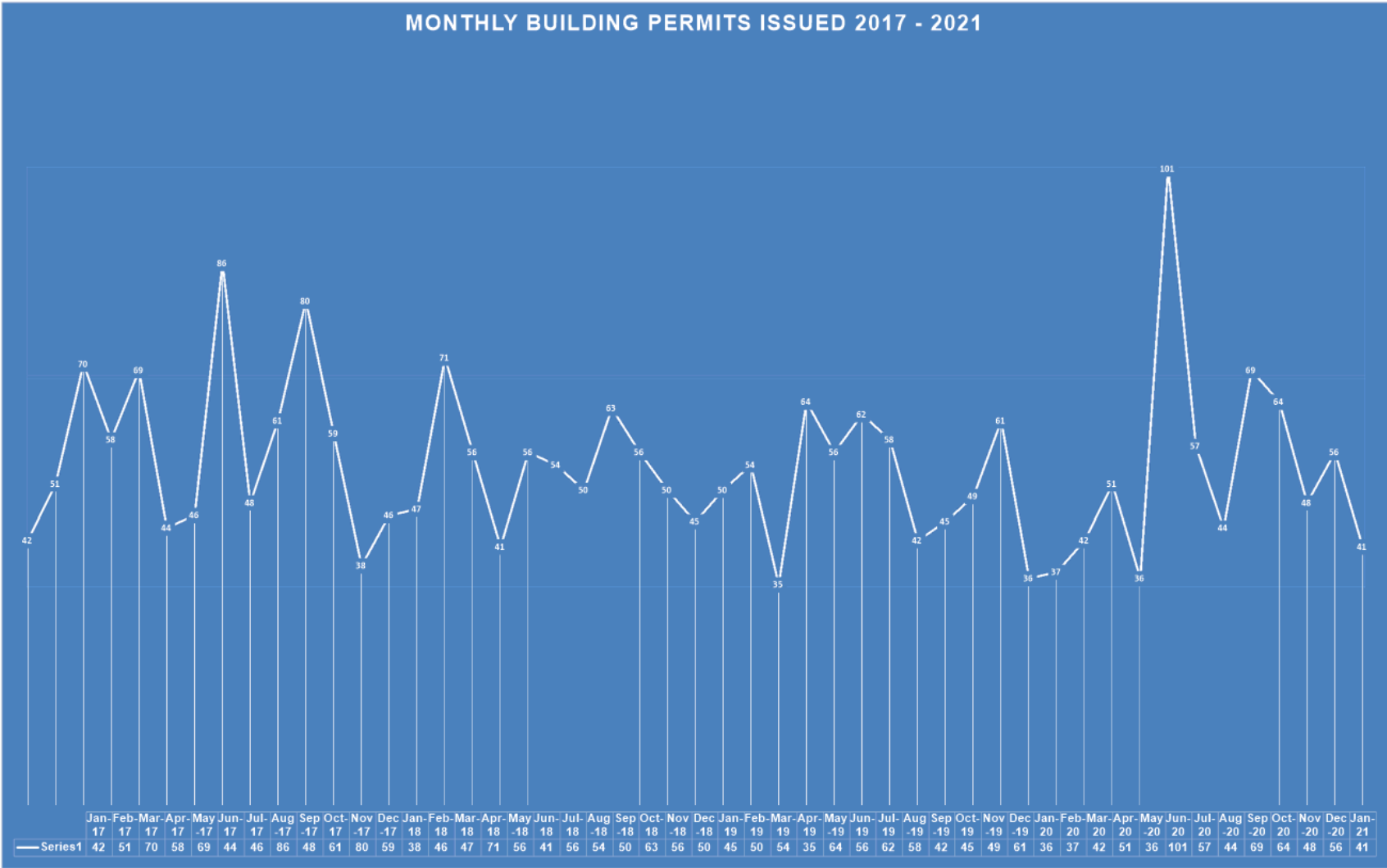
As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

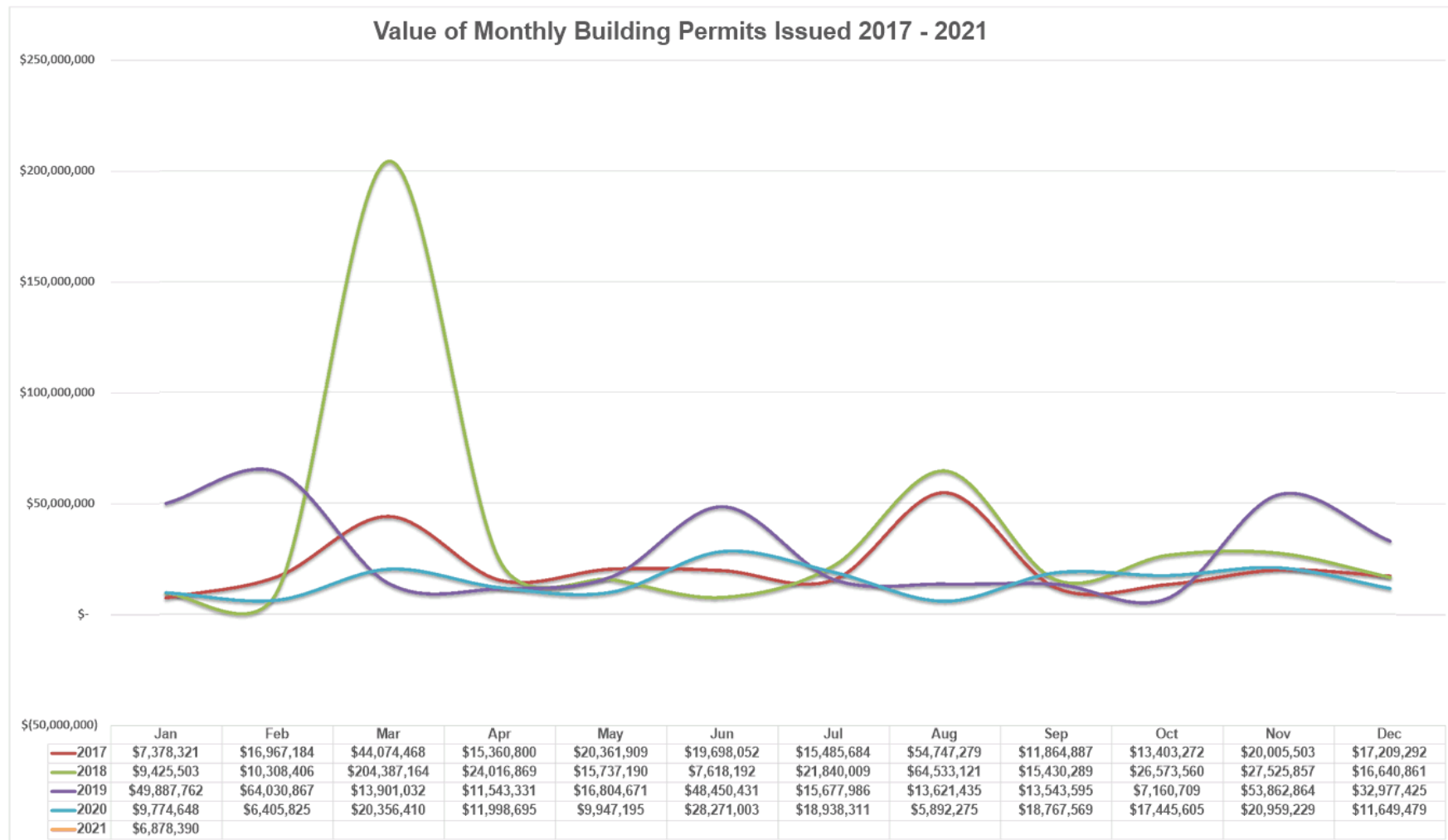


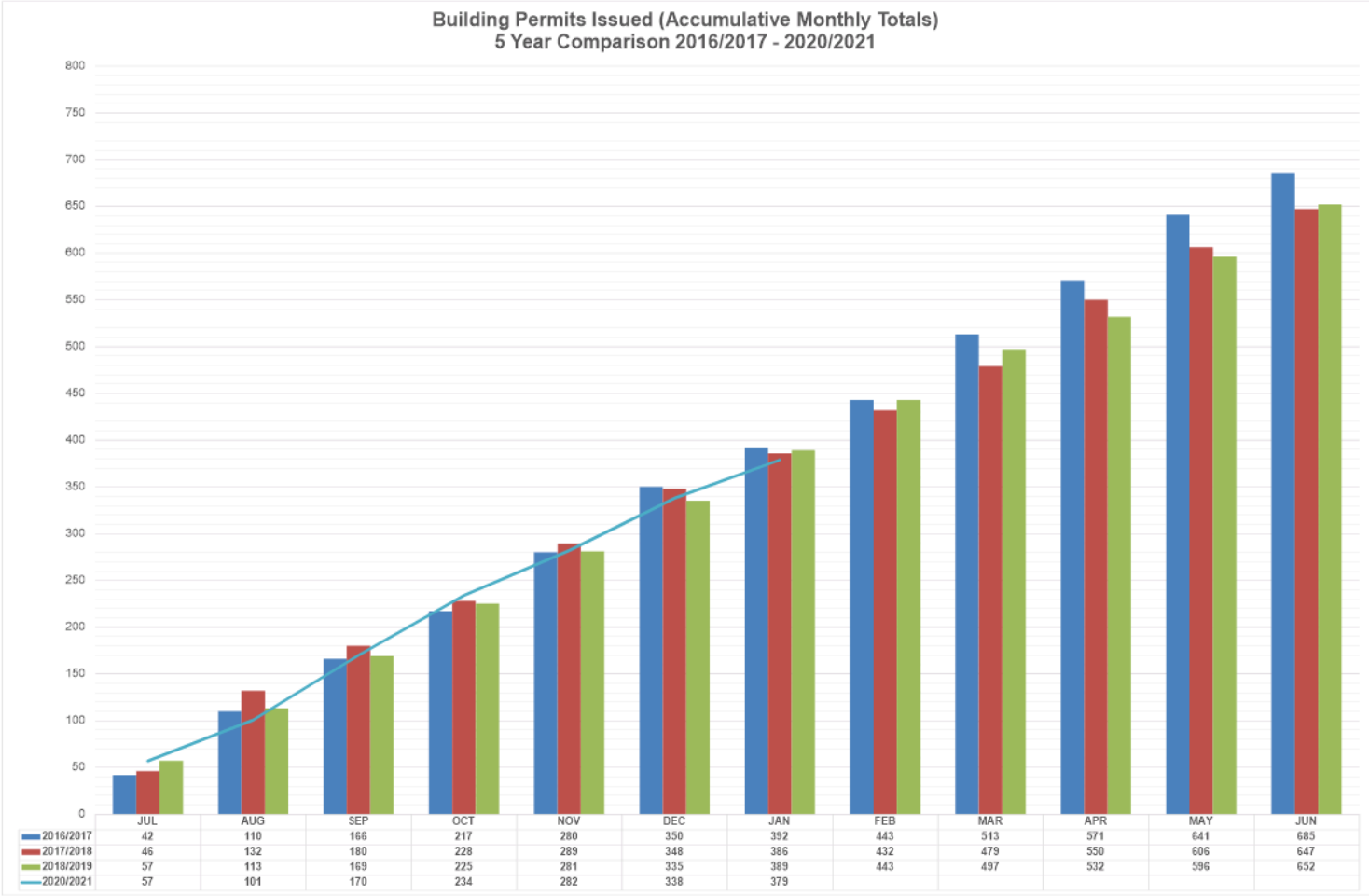
Neil Noye
DIRECTOR CITY PLANNING

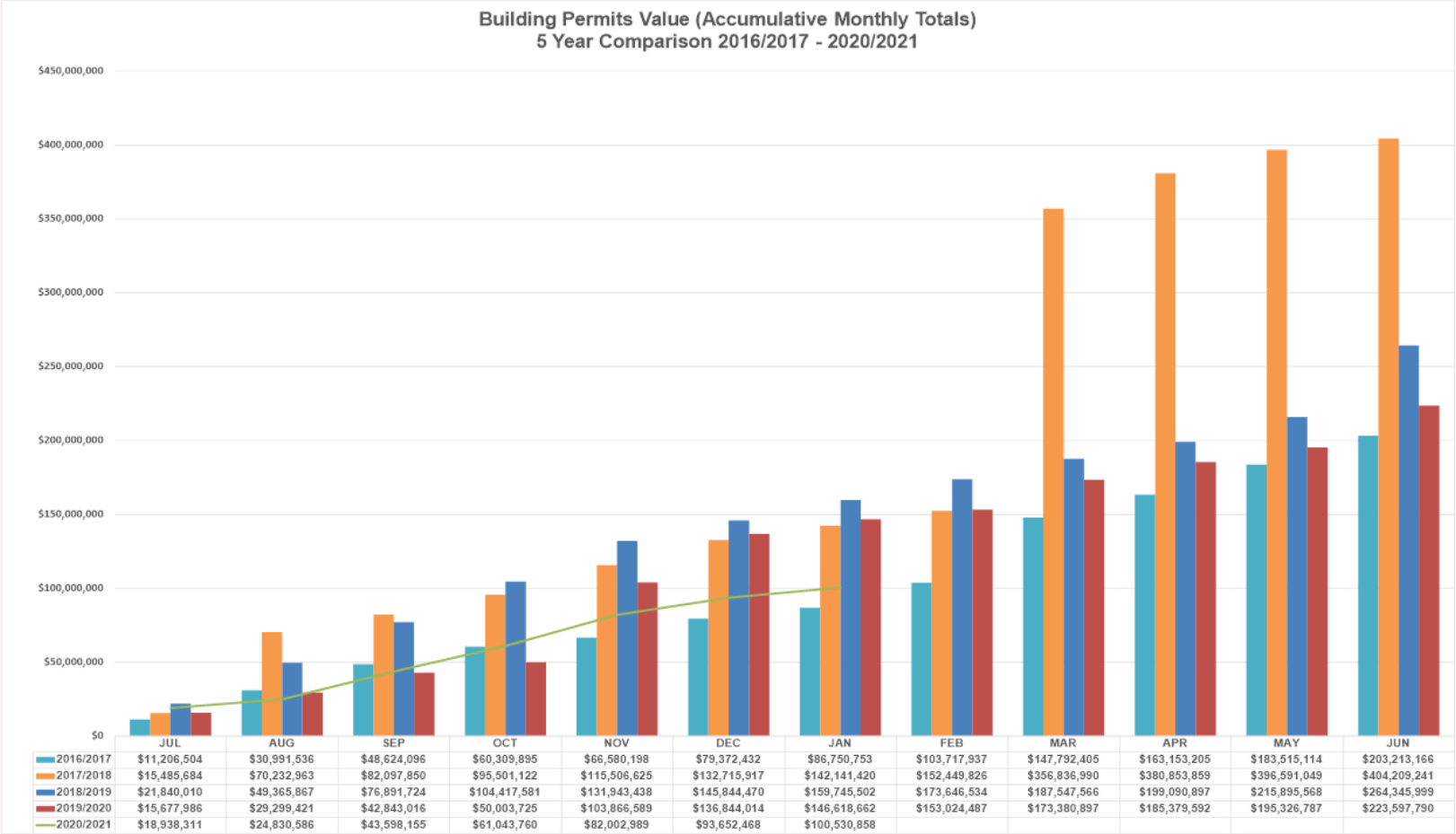
Date: 10 February 2021
File Reference: F21/10612

- Attachment A: Number of Building Permits Issued Line Graph 2021 ↓ 
- Attachment B: Value of Monthly Building Permits Line Graph 2021 ↓ 
- Attachment C: Monthly Building Permits 5 Year Comparison Bar Chart 2021 ↓ 
- Attachment D: Monthly Building Permits Value 5 Year Comparison Bar 2021 ↓ 
- Attachment E: Number of Planning Permit Issued Accumulative Monthly Comparison January 2021 ↓ 
- Attachment F: Value of Planning Permit Issued Accumulative Monthly Comparison January 2021 ↓ 
- Attachment G: Monthly Comparison Planning Approvals Value January 2021 ↓ 
- Attachment H: Monthly Comparison Number of Planning Permits Issued January 2021 ↓ 

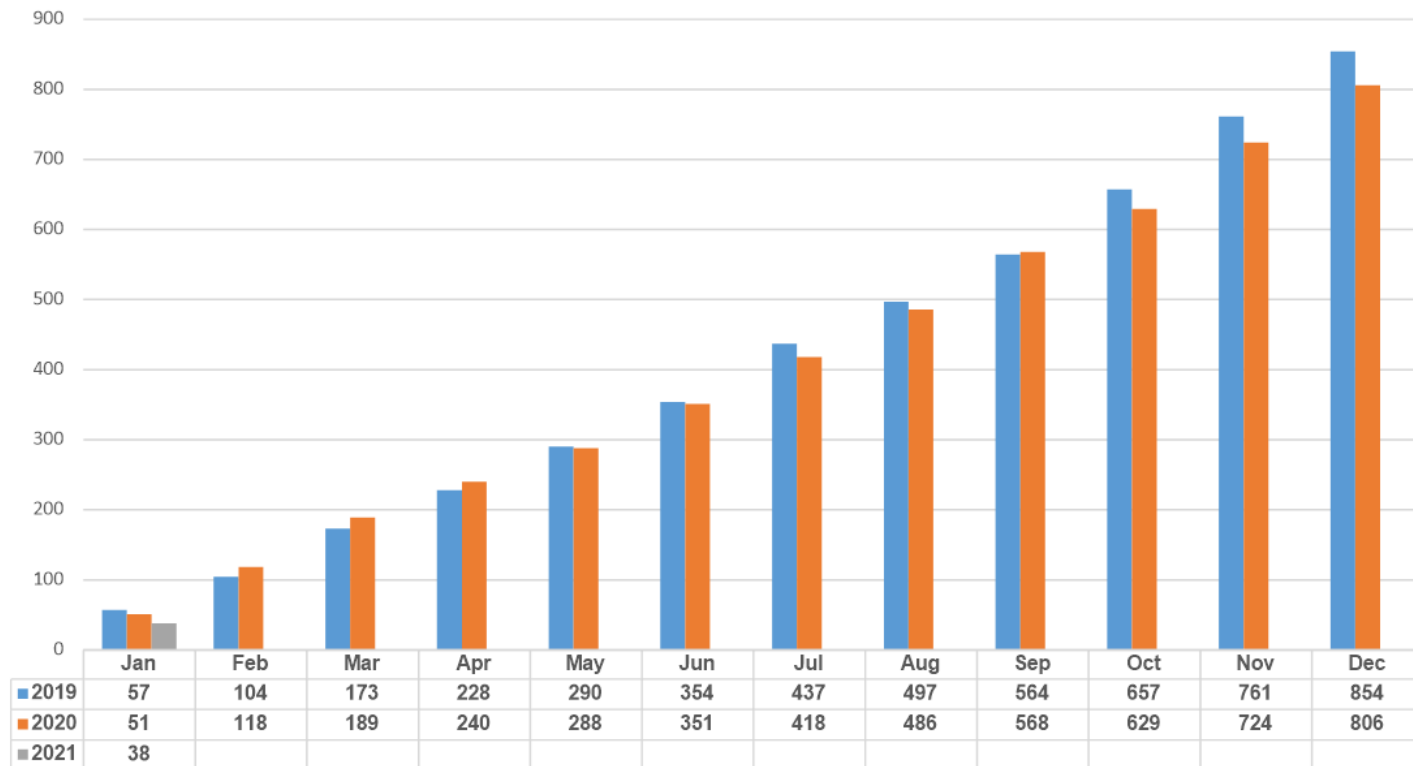


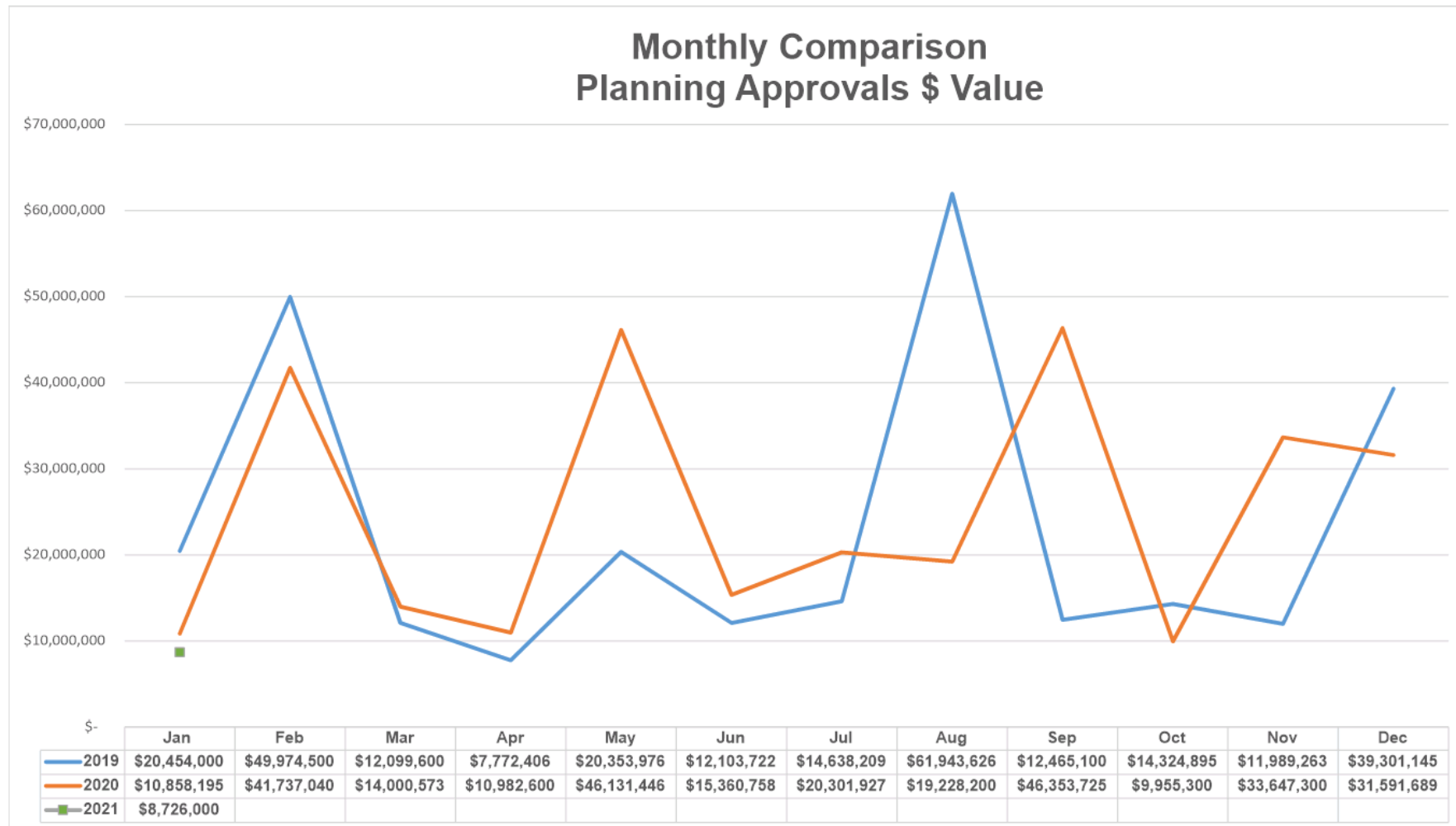


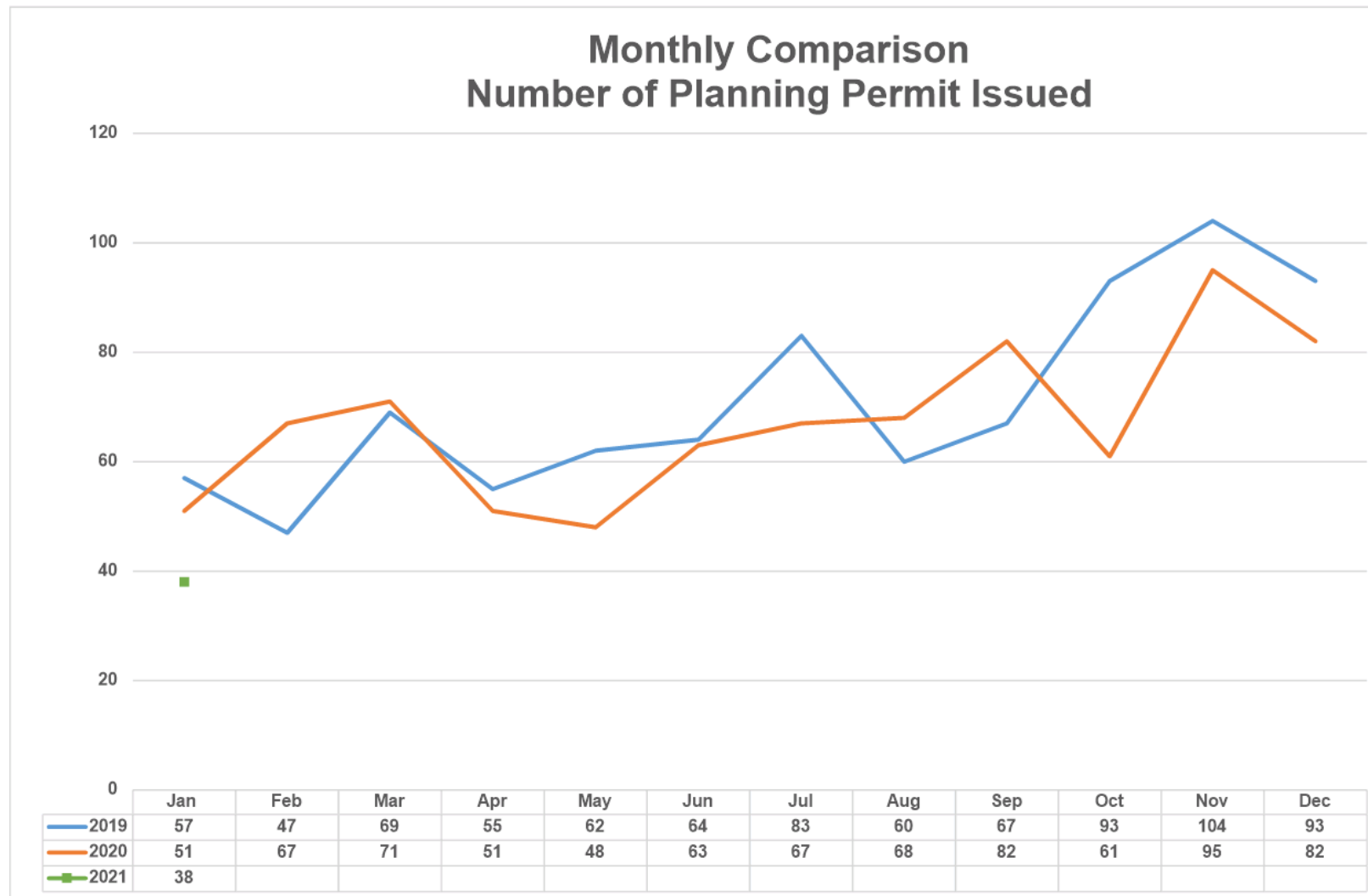




Number of Planning Permit Issued Accumulative Monthly Comparison







9. QUESTIONS WITHOUT NOTICE

Section 29 of the *Local Government (Meeting Procedures) Regulations 2015*.
File Ref: 13-1-10

An Elected Member may ask a question without notice of the Chairman, another Elected Member, the General Manager or the General Manager's representative, in line with the following procedures:

1. The Chairman will refuse to accept a question without notice if it does not relate to the Terms of Reference of the Council committee at which it is asked.
2. In putting a question without notice, an Elected Member must not:
 - (i) offer an argument or opinion; or
 - (ii) draw any inferences or make any imputations – except so far as may be necessary to explain the question.
3. The Chairman must not permit any debate of a question without notice or its answer.
4. The Chairman, Elected Members, General Manager or General Manager's representative who is asked a question may decline to answer the question, if in the opinion of the respondent it is considered inappropriate due to its being unclear, insulting or improper.
5. The Chairman may require a question to be put in writing.
6. Where a question without notice is asked and answered at a meeting, both the question and the response will be recorded in the minutes of that meeting.
7. Where a response is not able to be provided at the meeting, the question will be taken on notice and
 - (i) the minutes of the meeting at which the question is asked will record the question and the fact that it has been taken on notice.
 - (ii) a written response will be provided to all Elected Members, at the appropriate time.
 - (iii) upon the answer to the question being circulated to Elected Members, both the question and the answer will be listed on the agenda for the next available ordinary meeting of the committee at which it was asked, where it will be listed for noting purposes only.

10. CLOSED PORTION OF THE MEETING

That the Committee resolve by majority that the meeting be closed to the public pursuant to regulation 15(1) of the *Local Government (Meeting Procedures) Regulations 2015* because the items included on the closed agenda contain the following matters:

- Confirm the minutes of the Closed portion of the meeting
- Questions without notice in the Closed portion

The following items were discussed: -

- | | |
|------------|--|
| Item No. 1 | Minutes of the last meeting of the Closed Portion of the Council Meeting |
| Item No. 2 | Consideration of supplementary items to the agenda |
| Item No. 3 | Indications of pecuniary and conflicts of interest |
| Item No. 4 | Questions Without Notice |