



CITY OF HOBART

AGENDA

City Planning Committee Meeting

Open Portion

Monday, 1 February 2021

at 5:00 pm

Council Chamber, Town Hall

THE MISSION

Working together to make Hobart a better place for the community.

THE VALUES

The Council is:

People	We care about people – our community, our customers and colleagues.
Teamwork	We collaborate both within the organisation and with external stakeholders drawing on skills and expertise for the benefit of our community.
Focus and Direction	We have clear goals and plans to achieve sustainable social, environmental and economic outcomes for the Hobart community.
Creativity and Innovation	We embrace new approaches and continuously improve to achieve better outcomes for our community.
Accountability	We are transparent, work to high ethical and professional standards and are accountable for delivering outcomes for our community.

ORDER OF BUSINESS

Business listed on the agenda is to be conducted in the order in which it is set out, unless the committee by simple majority determines otherwise.

APOLOGIES AND LEAVE OF ABSENCE

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City Planning Committee Meeting (Open Portion) held Monday, 1 February 2021 at 5:00 pm in the Council Chamber, Town Hall.

This meeting of the City Planning Committee is held in accordance with a Notice issued by the Premier on 3 April 2020 under section 18 of the *COVID-19 Disease Emergency (Miscellaneous Provisions) Act 2020*.

COMMITTEE MEMBERS

Deputy Lord Mayor Burnet (Chairman)
Briscoe
Harvey
Behrakis
Dutta
Coats

Apologies:

Leave of Absence: Nil.

NON-MEMBERS

Lord Mayor Reynolds
Zucco
Sexton
Thomas
Ewin
Sherlock

1. CO-OPTION OF A COMMITTEE MEMBER IN THE EVENT OF A VACANCY

2. CONFIRMATION OF MINUTES

The minutes of the Open Portion of the City Planning Committee meeting held on [Monday, 18 January 2021](#), are submitted for confirming as an accurate record.

3. CONSIDERATION OF SUPPLEMENTARY ITEMS

Ref: Part 2, Regulation 8(6) of the *Local Government (Meeting Procedures) Regulations 2015*.

Recommendation

That the Committee resolve to deal with any supplementary items not appearing on the agenda, as reported by the General Manager.

4. INDICATIONS OF PECUNIARY AND CONFLICTS OF INTEREST

Ref: Part 2, Regulation 8(7) of the *Local Government (Meeting Procedures) Regulations 2015*.

Members of the committee are requested to indicate where they may have any pecuniary or conflict of interest in respect to any matter appearing on the agenda, or any supplementary item to the agenda, which the committee has resolved to deal with.

5. TRANSFER OF AGENDA ITEMS

Regulation 15 of the *Local Government (Meeting Procedures) Regulations 2015*.

A committee may close a part of a meeting to the public where a matter to be discussed falls within 15(2) of the above regulations.

In the event that the committee transfer an item to the closed portion, the reasons for doing so should be stated.

Are there any items which should be transferred from this agenda to the closed portion of the agenda, or from the closed to the open portion of the agenda?

6. PLANNING AUTHORITY ITEMS - CONSIDERATION OF ITEMS WITH DEPUTATIONS

In accordance with the requirements of Part 2 Regulation 8(3) of the *Local Government (Meeting Procedures) Regulations 2015*, the General Manager is to arrange the agenda so that the planning authority items are sequential.

In accordance with Part 2 Regulation 8(4) of the *Local Government (Meeting Procedures) Regulations 2015*, the Committee by simple majority may change the order of any of the items listed on the agenda, but in the case of planning items they must still be considered sequentially – in other words they still have to be dealt with as a single group on the agenda.

Where deputations are to be received in respect to planning items, past practice has been to move consideration of these items to the beginning of the meeting.

RECOMMENDATION

That in accordance with Regulation 8(4) of the *Local Government (Meeting Procedures) Regulations 2015*, the Committee resolve to deal with any items which have deputations by members of the public regarding any planning matter listed on the agenda, to be taken out of sequence in order to deal with deputations at the beginning of the meeting.

7. COMMITTEE ACTING AS PLANNING AUTHORITY

In accordance with the provisions of Part 2 Regulation 25 of the Local Government (Meeting Procedures) Regulations 2015, the intention of the Committee to act as a planning authority pursuant to the Land Use Planning and Approvals Act 1993 is to be noted.

In accordance with Regulation 25, the Committee will act as a planning authority in respect to those matters appearing under this heading on the agenda, inclusive of any supplementary items.

The Committee is reminded that in order to comply with Regulation 25(2), the General Manager is to ensure that the reasons for a decision by a Council or Council Committee acting as a planning authority are recorded in the minutes.

7.1 APPLICATIONS UNDER THE SULLIVANS COVE PLANNING SCHEME 1997

7.1.1 53/1 COLLINS STREET, HOBART AND COMMON LAND OF PARENT TITLE - CHANGE OF USE TO VISITOR ACCOMMODATION PLN-20-762 - FILE REF: F21/6199

Address:	53/1 Collins Street, Hobart and Common Land of Parent Title
Proposal:	Change of Use to Visitor Accommodation
Expiry Date:	25 February 2021
Extension of Time:	Not applicable
Author:	Helen Ayers

RECOMMENDATION

That pursuant to the *Hobart Interim Planning Scheme 2015*, the City Planning Committee, in accordance with the delegations contained in its terms of reference, approve the application for change of use to visitor accommodation, at 53/1 Collins Street, Hobart for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

GEN

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-20-762 - 53/1 COLLINS STREET HOBART TAS 7000 - Final Planning Documents, except where modified below.

Reason for condition

To clarify the scope of the permit.

PLN 18

Prior to the commencement of the approved use, a management plan for the operation of the visitor accommodation must be submitted and approved, to the satisfaction of the Council's Director City Planning. The management plan must include

measures to limit, manage and mitigate unreasonable impacts upon the amenity of long term residents. These measures must include, but are not limited to, the following requirements:

- 1. To limit, manage, and mitigate noise generated as a result of the visitor accommodation.**
- 2. To limit, manage, and mitigate behavioural issues caused as a result of the visitor accommodation.**
- 3. To maintain the security of the building where the visitor accommodation would be located, including managing and/or limiting access to shared areas and facilities.**
- 4. To specify the maximum permitted occupancy of the visitor accommodation.**

Once approved, the management plan must be implemented prior to the commencement of the approved use and must be maintained for as long as the visitor accommodation is in operation. In the event that the property is sold, the management plan must be updated within 14 days of the transfer of ownership.

Reason for condition

To ensure that visitor accommodation does not cause an unreasonable loss of residential amenity.

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

BUILDING PERMIT

You may need building approval in accordance with the *Building Act 2016*. Click [here](#) for more information.

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

VISITOR ACCOMMODATION

More information on visitor accommodation, including when building approval is required, can be found [here](#).

In all cases, check with your insurance company that you have adequate cover.



If you are in a bushfire prone area there may be a need to create/review the Bushfire Management Hazard Plan for your property.

If you have a spa or a pool at your property then you are required to test for microbiological quality and chemical parameters on a monthly basis, under the *Public Health Act 1997*. If you have any questions about this then please call our Environmental Health team on 6238 2715.

If you are providing food for consumption on the property, you may require a food business registration in accordance with the Food Act 2003. Click [here](#) for more information, or call our Environmental Health team on 6238 2715.

You are encouraged to have in place a management plan for the operation of the visitor accommodation. The management plan should include measures to limit, manage and mitigate unreasonable impacts upon the amenity of permanent residents, including addressing issues like noise, waste management, customer behaviour, security, and maximum occupancy.

Visitor accommodation is also considered to be a commercial use and also not eligible to residential parking permits. Under the current policy for the issuing of residential parking permits, the proposed change of use to visitor accommodation would not entitle the property to a residential parking permit, or a transferable “bed and breakfast” parking permit.

- Attachment A: PLN-20-762 - 53/1 COLLINS STREET HOBART
TAS 7000  Planning Committee or Delegated
Report ↓
- Attachment B: PLN-20-762 - 53/1 COLLINS STREET HOBART
TAS 7000 - CPC Agenda Documents ↓ 

**APPLICATION UNDER SULLIVANS COVE PLANNING SCHEME 1997**

Type of Report: Committee
Council: 9 February 2021
Expiry Date: 25 February 2021
Application No: PLN-20-762
Address: 53 / 1 COLLINS STREET , HOBART
COMMON LAND OF PARENT TITLE
Applicant: David Michael (Tazkeys)
5 Brushy Creek Road
Proposal: Change of Use to Visitor Accommodation
Representations: Ten (10)
Performance criteria: Planning Directive No. 6 - Exemption and Standards for Visitor
Accommodation in Planning Schemes - Clause 3.3 (e)

1. Executive Summary

- 1.1 Planning approval is sought for Change of use to Visitor Accommodation, at 53/1 Collins Street, Hobart.
- 1.2 More specifically the proposal includes the complete change of the use of the unit from long term residential to short term visitor accommodation.
- 1.3 The proposal relies on performance criteria to satisfy the following Planning Directive provision:
 - 1.3.1 Planning Directive No. 6 - Exemption and Standards for Visitor Accommodation in Planning Schemes - Clause 3.3 (e)
- 1.4 Ten (10) representations objecting to the proposal were received within the statutory advertising period between 11 December 2020 and 4 January 2021.
- 1.5 The proposal is recommended for approval subject to conditions.
- 1.6 The final decision is delegated to the Council, because ten (10) representations were received.

2. Site Detail

- 2.1 The application site is one of 65 lots on the strata title for 1 Collins Street, Hobart, on the corner of Collins Street and Brooker Avenue. Of these lots there is one commercial lot, four visitor accommodation lots, and the remainder are residential. The subject dwelling has 2-3 bedrooms (two bedrooms and a study), an open kitchen dining living area, and a balcony for private open space. Access to the dwelling is via a common lobby and corridor area, with car parking provided in a shared, secure parking area at ground level.
- 2.2 The application site is predominantly residential, with the applicant advising that there are currently 3 other dwellings used for visitor accommodation.
- 2.3 A visit to the site was undertaken, however, due to security doors, this was only in the form of a walk around the perimeter of the complex, not an internal inspection of the dwelling and shared spaces.

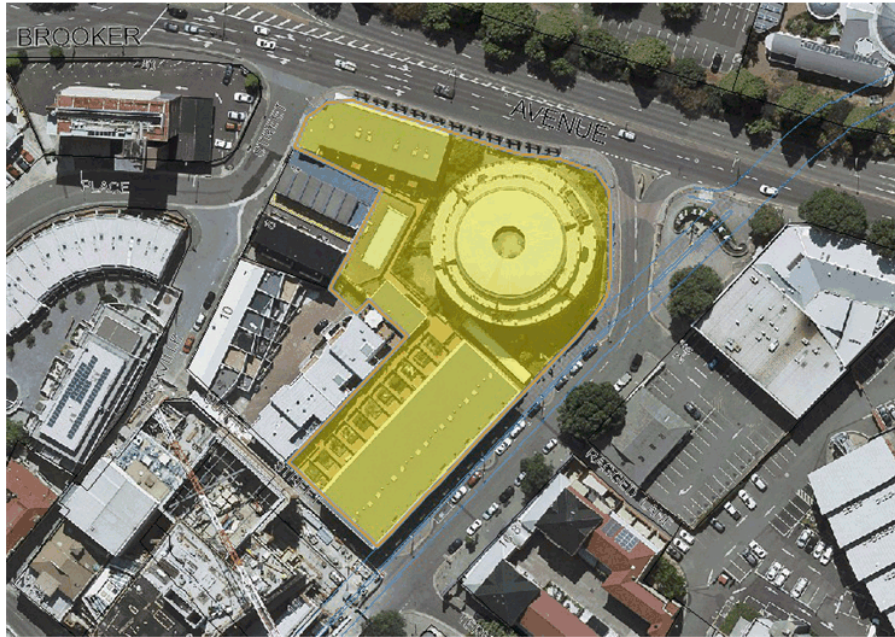


Figure 1: The location of the application site is highlighted in yellow

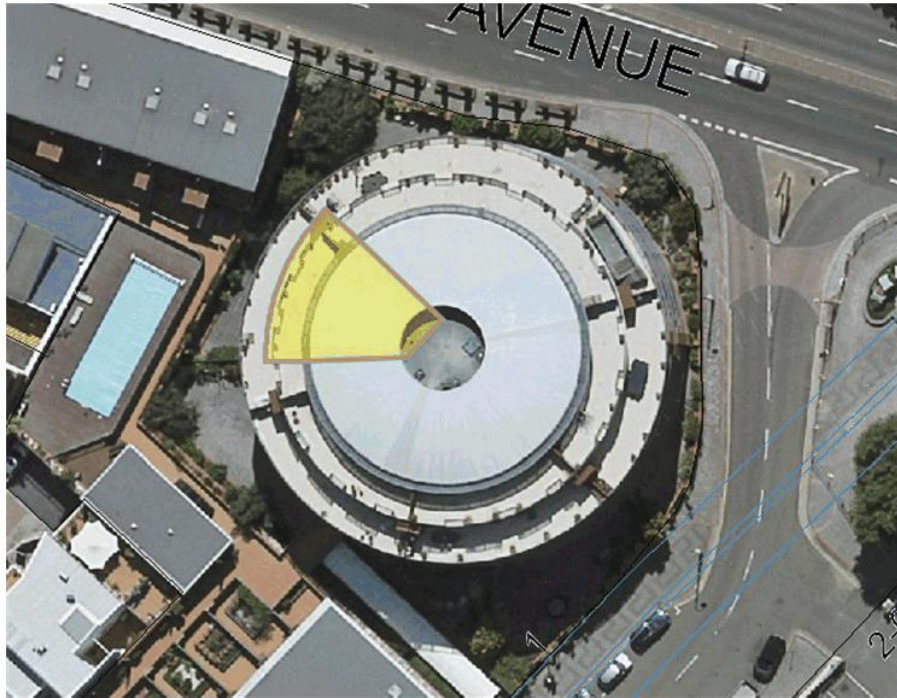


Figure 2: The specific unit that is the subject of this application is in the location shown above on the fifth floor of the building

3. Proposal

- 3.1 Planning approval is sought for Change of use to Visitor Accommodation, at 53/1 Collins Street, Hobart.
- 3.2 More specifically the proposal is for the complete change of the use of unit 53, 1 Collins Street from a long term accommodation multiple dwelling to a short term visitor accommodation unit. No development is proposed as part of this change of use application.

4. Background

- 4.1 Council has issued planning permits for visitor accommodation to operate within several other apartments on the property.

- 4.2 Three of these apartments are those at 8, 9, and 29 / 1 Collins Street (PLN-17-541, PLN-17-963, and PLN-18-250 respectively). All of these approvals were permitted and issued in accordance with section 58 of the Land Use Planning and Approvals Act 1993 when the previous Interim Planning Directive No. 2 - Exemption and Standards for Visitor Accommodation in Planning Schemes was in effect.
- 4.3 Council has also issued an approval for visitor accommodation to operate from 37 / 1 Collins Street (PLN-19-30). This approval was discretionary and issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993* under the current *Planning Directive 6 - Exemption and Standards for Visitor Accommodation in Planning Schemes*.
- 4.4 A further application to change the use of 35/1 Collins Street (PLN-18-513) remains on hold with Council subject to the provision of additional information from the applicant.

5. Concerns raised by representors

- 5.1 Ten (10) representations objecting to the proposal were received within the statutory advertising period between 11 December 2020 and 4 January 2021.
- 5.2 The following table outlines the concerns raised in the representations received. Those concerns which relate to a discretion invoked by the proposal are addressed in Section 6 of this report.

Noise:
Representors are concerned that visitor accommodation guests are not on site for long enough to show consideration for long term residents in their movements through the building, or in the noise they generate whilst in the dwelling itself. the residents have suggested that the likely noise disturbance is unacceptable to their residential amenity.
Representors are concerned that there will be loud music and noise from parties disturbing the residential amenity of the complex.
Garbage Disposal:
Several representors have expressed concern that visitor accommodation guests will not dispose of their rubbish in the appropriate location on site, with the potential for rubbish to be left in common areas on the site.

Representors are concerned that rubbish will be disposed of in incorrect bins, resulting in residents and cleaners having to clean up after the guests to enable council collection of rubbish.
Security:
One representor has expressed concerns with not feeling safe in their residence when there are multiple short term tenants of another residence in the building.
Representors are concerned that short stay guests do not adequately respect the security of the complex. The representors suggest that security gates are left open to allow for loading and unloading of luggage, or not closed properly when leaving the complex, potentially exposing all residents of the complex to theft and vandalism inside the secure unit complex.
Representors have indicated that the decision to purchase their property was made based on it being a secure residential complex. They have indicated a belief that the approval of visitor accommodation erodes the secure residential environment unacceptably.
Residents are concerned that there is no concierge at the entrances to the building to ensure that security is maintained by visitor accommodation guests.
Residential Character:
One representor has indicated that there is evidence of residents feeling forced to leave such complexes when the visitor accommodation present changes the character of the unit complex from residential to short stay given the behaviours of the visitor accommodation guests.
Representors are concerned that visitor accommodation guests will alter the character of the complex, eroding the residential amenity currently enjoyed by residents.
Housing Availability:
One representor has indicated that the shift from long term to short term accommodation is not a desirable outcome given the housing shortage in Greater Hobart.
Several representors have suggested that the location of this complex is more suited to city workers, such as arts, medical and emergency services workers, and as such the housing stock is too valuable to convert to short term visitor accommodation.

Car Parking:
Representors are concerned that visitor accommodation guests will not respect the car parking allocations and will park in inappropriate places within the strata complex.
Body Corporate:
Representors are concerned that visitor accommodation guests will ignore the body corporate by-laws, which limit the use of on-site facilities to long term residents only. The representors are concerned that the guests will use the facilities and not follow the required cleaning protocols.
Representors are concerned that visitor accommodation guests will not respect the speed limits imposed on common land.
Representors are concerned that visitors do not respect the common land in general, and will damage common property, such as walls and gates, and will potential leave the common areas untidy or dirty with spills and litter that a long term resident is more likely to clean up or rectify.
Precedent:
Representors are concerned that this application will set a precedent and encourage other owners to change the use of their units to visitor accommodation, thus altering the residential nature of the use of the units.
COVID-19:
One representor is concerned that the unit complex is not designed or equipped to cater to the potential quarantine requirements presented by the current Covid-19 pandemic. The representor is concerned that allowing short term visitors to the site will expose all long term residents to potential infection and associated health risks.
Previous Decisions:
Several representors have suggested that there was previous advice that the unit complex is now at capacity for visitor accommodation units. As such the representors do not support any further changes of use to visitor accommodation within the complex.

6. Assessment

- 6.1 The *Sullivans Cove Planning Scheme 1997* is a performance based planning scheme. This approach recognises that there are in many cases a number of ways in which a proposal can satisfy desired environmental, social and economic standards. In some cases a proposal will be 'permitted' subject to specific 'deemed to comply' provisions being satisfied. Performance criteria are established to provide a means by which the objectives of the planning scheme may be satisfactorily met by a proposal. Where a proposal relies on performance criteria, the Council's ability to approve or refuse the proposal relates only to the performance criteria relied on.
- 6.2 The site is located in the Inner City Residential (Wapping) Activity Area of the *Sullivans Cove Planning Scheme 1997*.
- 6.3 The existing use is Residential (Multiple Dwelling). The proposed use is Visitor Accommodation. The existing use is a permitted use in the Activity Area. The proposed use is a discretionary use in the Activity Area.
- 6.4 The proposal has been assessed against:
- 6.4.1 Planning Directive No. 6 - Exemption and Standards for Visitor Accommodation in Planning Schemes
- 6.5 The proposal relies on the following performance criteria to comply with the applicable standards:
- 6.5.1 Planning Directive No. 6 - Exemption and Standards for Visitor Accommodation in Planning Schemes - Clause 3.3 (e)
- 6.6 Each performance criterion is assessed below.
- 6.7 Planning Directive No. 6 - Exemption and Standards for Visitor Accommodation in Planning Schemes - Clause 3.3 (e)
- 6.7.1 The permitted standard at clause 3.3(d) allows a total of 200sqm of visitor accommodation use per parent strata lot.
- 6.7.2 The proposal includes the change of use of a 160sqm unit in Activity Area 1 of the *Sullivans Cove Planning Scheme* from Residential to Visitor Accommodation. There are three other units already operating as visitor accommodation use, and four approved, as such the floor area in use for visitor accommodation exceeds 200sqm.

6.7.3 The proposal does not comply with the permitted standard, and therefore assessment against the performance criterion is relied on.

6.7.4 The performance criterion at clause 3.3 (e) provides as follows:

Unless 3.3(a) applies, Bed and Breakfast Establishment and Visitor Accommodation that does not comply with the provisions in 3.3(d) is 'Discretionary' in Activity Area 1.0 Inner City Residential (Wapping) subject to the following conditions:

Bed and Breakfast Establishment and Visitor Accommodation must:

- (i) not cause an unreasonable loss of privacy to adjoining properties;*
- (ii) not likely to cause an unreasonable increase in noise;*
- (iii) be of a scale that respects the character and use of the area;*
- (iv) not adversely impact the safety and efficiency of the local road network;*
- (v) not unreasonably disadvantage owners and users of rights of way;*
- (vi) not be located on the same site as a dwelling providing long term residential accommodation, unless:*
 - a. it has a separate ground level pedestrian access to a road; or*
 - b. there is an existing mix of uses on the site;*

and the impact on the amenity of the long term residents within the site is not unreasonable.

6.7.5 Clause 3.3(a) of PD6 does not apply as the dwelling in question is not used by the owner as their main place of residence. The proposal does not comply with clause 3.3(d) as the proposal would result in there being a floor area used for visitor accommodation greater than 200m² on the lot. Therefore, the proposed visitor accommodation is discretionary and requires justification against the above conditions.

6.7.6 The proposed visitor accommodation would be contained within an existing apartment. No additional features that may affect privacy such as windows or elevated decks are proposed. Therefore, the proposal is considered unlikely to cause a loss of privacy. It is noted that the proposal may have an impact upon areas on the site such as lifts, corridors, and entry spaces. However, these spaces are already shared spaces that are not considered to provide privacy.

- 6.7.7 While it is recognised that some guests may use visitor accommodation in a manner that generates unreasonable noise, it is also considered that the use is fundamentally similar to a permanent residential use. Visitor accommodation provides for sleeping and occupancy in a similar manner as a permanent residence, albeit on a short term basis. It is also recognised that a permanent residence can also be used in a manner that generates unreasonable noise. Therefore, provided that arrangements are put in place to manage what are likely to be limited instances of increased noise, the proposed visitor accommodation is not considered likely to cause an overall unreasonable increase in noise. Notwithstanding this, given the representor concerns and the potential for impact upon long term residents, it is considered appropriate to require that a visitor accommodation management plan be implemented, providing contact details for residents should there be any issues arising from visitor accommodation guests.
- 6.7.8 There are 65 lots on the strata title for the site. Of these lots there is one commercial lot, four visitor accommodation lots, and the remainder are residential. Given this breakdown of the uses on the parent site, it is considered that the overall scale of visitor accommodation use on the site respects the residential character and use of the site. More broadly, there is a mixture of commercial residential, professional and visitor accommodation use in the surrounding area. As such, the scale of the proposed use is considered to respect the character and use of the area.
- 6.7.9 The building is existing, along with car parking allocated for the use of the individual residences. As such, there is limited scope for vehicles associated with the proposed visitor accommodation use. Given the vehicles associated with the existing approved residential use of the site, it is considered that there will be little or no impact on the safety and efficiency of the road networks resulting from the proposed change of use.
- 6.7.10 There are no rights of way relied upon to facilitate access to the site.
- 6.7.11 There is an existing mix of uses on the site, such that separate ground floor access is not required for the unit to facilitate it's proposed change of use.
- 6.7.12 The proposal complies with the performance criterion.

7. Discussion

- 7.1 Planning approval is sought for Change of use to Visitor Accommodation, at 53/1 Collins Street, Hobart.
- 7.2 The application was advertised and received ten (10) representations. The representations raised concerns including Noise, Garbage Disposal, Security, Residential Character, Housing Availability, Car Parking, Body Corporate, Precedent, COVID-19, and Previous Decisions.
- 7.3 The proposal has been assessed against the relevant provisions of the planning scheme and is considered to perform well.
- 7.4 The proposal has not been assessed by other Council officers.
- 7.5 The proposal is recommended for approval.

8. Conclusion

- 8.1 The proposed Change of use to Visitor Accommodation, at 53/1 Collins Street, Hobart satisfies the relevant provisions of the *Hobart Interim Planning Scheme 2015*, and as such is recommended for approval.

9. Recommendations

That: Pursuant to the *Hobart Interim Planning Scheme 2015*, the City Planning Committee, in accordance with the delegations contained in its terms of reference, approve the application for Change of use to Visitor Accommodation, at 53/1 Collins Street, Hobart for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

GEN

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-20-762 - 53/1 COLLINS STREET HOBART TAS 7000 - Final Planning Documents, except where modified below.

Reason for condition

To clarify the scope of the permit.

PLN 18

Prior to the commencement of the approved use, a management plan for the operation of the visitor accommodation must be submitted and approved, to the satisfaction of the Council's Director City Planning. The management plan must include measures to limit, manage and mitigate unreasonable impacts upon the amenity of long term residents. These measures must include, but are not limited to, the following requirements:

1. **To limit, manage, and mitigate noise generated as a result of the visitor accommodation.**
2. **To limit, manage, and mitigate behavioural issues caused as a result of the visitor accommodation.**
3. **To maintain the security of the building where the visitor accommodation would be located, including managing and/or limiting access to shared areas and facilities.**
4. **To specify the maximum permitted occupancy of the visitor accommodation.**

Once approved, the management plan must be implemented prior to the commencement of the approved use and must be maintained for as long as the visitor accommodation is in operation. In the event that the property is sold, the management plan must be updated within 14 days of the transfer of ownership.

Reason for condition

To ensure that visitor accommodation does not cause an unreasonable loss of residential amenity.

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

BUILDING PERMIT

You may need building approval in accordance with the *Building Act 2016*. Click [here](#) for more information.

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

VISITOR ACCOMMODATION

More information on visitor accommodation, including when building approval is required, can be found [here](#).

In all cases, check with your insurance company that you have adequate cover.

If you are in a bushfire prone area there may be a need to create/review the Bushfire Management Hazard Plan for your property.

If you have a spa or a pool at your property then you are required to test for microbiological quality and chemical parameters on a monthly basis, under the *Public Health Act 1997*. If you have any questions about this then please call our Environmental Health team on 6238 2715.

If you are providing food for consumption on the property, you may require a food business registration in accordance with the *Food Act 2003*. Click [here](#) for more information, or call our Environmental Health team on 6238 2715.

You are encouraged to have in place a management plan for the operation of the visitor accommodation. The management plan should include measures to limit, manage and mitigate unreasonable impacts upon the amenity of permanent residents, including addressing issues like noise, waste management, customer behaviour, security, and maximum occupancy.

Visitor accommodation is also considered to be a commercial use and also not eligible to residential parking permits. Under the current policy for the issuing of residential parking permits, the proposed change of use to visitor accommodation would not entitle the property to a residential parking permit, or a transferable "bed and breakfast" parking permit.



(Helen Ayers)

Development Appraisal Planner

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.



(Ben Ikin)

Senior Statutory Planner

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

Date of Report: 11 January 2021

Attachment(s):

Attachment B - CPC Agenda Documents

Planning: #217142

Property

53/1 COLLINS STREET HOBART TAS 7000

People

Applicant
=

Tazkeys
David Michael
5 Brushy Creek Road
LENAH VALLEY TAS 7008
0478 229 229
artfuliron@bigpond.com

Applicant
=

Tazkeys
David Michael
5 Brushy Creek Road
LENAH VALLEY TAS 7008
0478 229 229
artfuliron@bigpond.com

Owner
=

Robert Easther
1646 Forsyth st
Wagga Wagga Nsw 2650
0439476158
robert.easther@gmail.com

Entered By

DAVID CHARLES MICHAEL
0478 229 229
tazkeys@bigpond.com

Use

Visitor accomodation

Details

Have you obtained pre application advice?

No

If YES please provide the pre application advice number eg PAE-17-xx

Are you applying for permitted visitor accommodation as defined by the State Government Visitor Accommodation Standards? Click on help information button for definition, if you are not the owner of the property you MUST include signed confirmation from the owner that they are aware of this application.

☒ Yes

Is the application for SIGNAGE ONLY? If yes, please enter \$0 in the cost of development, and you must enter the number of signs under Other Details below.

☐ No

If this application is related to an enforcement action please enter Enforcement Number

Details

What is the current approved use of the land / building(s)?

Residential

Please provide a full description of the proposed use or development (i.e. demolition and new dwelling, swimming pool and garage)

Short term visitor accommodation

Estimated cost of development

100.00

Existing floor area (m2)	Proposed floor area (m2)	Site area (m2)
160.00	160.00	160

Carparking on Site

Total parking spaces Existing parking spaces Other (no selection chosen)

1 1

Other Details

Does the application include signage?

☐ No

How many signs, please enter 0 if there are none involved in this application?

0

Tasmania Heritage Register

Is this property on the Tasmanian Heritage Register?

☒ No

Documents

Required Documents

Title (Folio text and Plan and Schedule of Easements)

FolioText-143029-53.pdf

Plans (proposed, existing)

FolioPlan-143029-53.pdf

**RESULT OF SEARCH**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



SEARCH OF TORRENS TITLE

VOLUME 143029	FOLIO 0
EDITION 3	DATE OF ISSUE 29-Aug-2005

SEARCH DATE : 30-Oct-2020

SEARCH TIME : 11.50 AM

DESCRIPTION OF LAND

City of HOBART

The Common Property for Strata Scheme 143029

Derivation : For grantees see Sealed Plan No. 142611

Prior CT 142611/1

SCHEDULE 1

STRATA CORPORATION NUMBER 143029, ONE COLLINS

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 143029 FIRST BY-LAWS lodged with the strata plan
 SP 142611 EASEMENTS in Schedule of Easements
 SP 142611 COVENANTS in Schedule of Easements
 A164683 FENCING CONDITION in Transfer
 C579899 FENCING CONDITION in Transfer
 C606279 DECLARATION pursuant to Section 75CA of the
 Conveyancing and Law of Property Act 1884 Registered
 04-Jan-2005 at noon
 C559634 APPLICATION by body corporate to amend strata plan
 Registered 01-Mar-2005 at noon
 C617228 DECLARATION pursuant to Section 75CA of the
 Conveyancing and Law of Property Act 1884 Registered
 01-Mar-2005 at noon
 C628834 BURDENING EASEMENT: Pipeline Easement for the Hobart
 City Council over the Pipeline Easement shown on
 Strata Plan No.143029 Registered 29-Aug-2005 at noon
 C866786 APPLICATION by owners to amend strata plan 143029 by
 deleting area of Lot 100 and increasing area of Lot
 23 Registered 06-Aug-2009 at 12.01 PM
 C947677 APPLICATION by owners to amend strata plan 143029 by
 amending Lots 31 & 33 by exchanging car parks
 Registered 09-Jun-2010 at noon
 C987724 APPLICATION for registration of change of by-laws
 Registered 01-Nov-2010 at noon
 C949798 APPLICATION by owners to amend strata plan 143029 by
 decreasing area of Lot 100 & increasing areas of Lots

**RESULT OF SEARCH**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

39 & 58 Registered 25-May-2011 at noon
D110502 ORDER FOR RELIEF by the Recorder of Titles
Registered 10-Jan-2014 at noon
D160965 APPLICATION for registration of change of by-laws
Registered 14-Apr-2015 at noon
M526718 APPLICATION by owners to amend strata plan 143029 by
transferring car park space from Lot 23 to Lot 25
Registered 01-Dec-2015 at noon
E81379 ORDER of the Recorder of Titles under Part 9 Strata
Titles Act 1998 Registered 12-Apr-2017 at noon
C628684 APPLICATION to amend strata by adding new lots 20 to
59 Registered 29-Aug-2005 at noon
C630415 APPLICATION by lot owners to amend strata plan by
amending Lot 100 and adding Lots 68, 71 & 6970
Registered 13-Jan-2006 at noon
C728338 APPLICATION by body corporate to amend strata plan by
amending Lot 100, adding Lots 72 & 73 and increasing
common property Registered 06-Mar-2007 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



RESULT OF SEARCH

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



SEARCH OF TORRENS TITLE

VOLUME 143029	FOLIO 53
EDITION 4	DATE OF ISSUE 14-Jul-2017

SEARCH DATE : 25-Aug-2020

SEARCH TIME : 04.21 PM

DESCRIPTION OF LAND

City of HOBART

Lot 53 on Strata Plan 143029 and a general unit entitlement
operating for all purposes of the Strata Scheme being a 579
undivided 1/37910 interest

Derived from Strata Plan 143029

Derivation : For grantees see Sealed Plan No. 142611

SCHEDULE 1E97176 TRANSFER to MICHAEL JOHN GOSS Registered
14-Jul-2017 at 12.01 PMSCHEDULE 2Reservations and conditions in the Crown Grant if any
The registered proprietor holds the lot and unit entitlement
subject to any interest noted on common property
Folio of the Register volume 143029 folio 0

SP 142611 EASEMENTS in Schedule of Easements

SP 142611 COVENANTS in Schedule of Easements

A164683 FENCING CONDITION in Transfer

C579899 FENCING CONDITION in Transfer

E97111 MORTGAGE to Commonwealth Bank of Australia
Registered 14-Jul-2017 at 12.02 PMUNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



RESULT OF SEARCH

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



SEARCH OF TORRENS TITLE

VOLUME 143029	FOLIO 0
EDITION 3	DATE OF ISSUE 29-Aug-2005

SEARCH DATE : 25-Aug-2020

SEARCH TIME : 04.21 PM

DESCRIPTION OF LAND

City of HOBART
The Common Property for Strata Scheme 143029
Derivation : For grantees see Sealed Plan No. 142611
Prior CT 142611/1

SCHEDULE 1

STRATA CORPORATION NUMBER 143029, ONE COLLINS

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
143029 FIRST BY-LAWS lodged with the strata plan
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decreasing area of Lot 100 & increasing areas of Lots

**RESULT OF SEARCH**

RECORDER OF TITLES

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amending Lot 100, adding Lots 72 & 73 and increasing
common property Registered 06-Mar-2007 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



CITY/TOWN HOBART SUBURB/LOCALITY HOBART FOLIO REFERENCE C.T.142611/1 SITE COMPRISES THE WHOLE OF LOT 1 ON PLAN No. S.P.142611		STRATA PLAN NEW SHEET 1 OF 16		Registered Number 143029
		NAME OF STRATA SCHEME ONECOLLINS		STRATA TITLES ACT 1998 REGISTERED 14 JAN 2005 <i>Miss Kawa</i> Recorder of Titles.
MAPSHEET MUNICIPAL CODE No. 114 (5225-42)	LAST UPD No.	SCALE 1: 500	LENGTHS IN METRES	

SITE PLAN

NOTES: (i) ALL BUILDINGS ON THE SITE TO BE SHOWN ON SHEET 1.
(ii) BUILDING TO SITE BOUNDARY OFFSETS OF LESS THAN 2.00 METRES TO BE SHOWN ON SHEET 1.

STAGED/COMMUNITY DEVELOPMENT. SCHEME No. (IF APPLICABLE)	 Council Delegate 19/8/2005 Date	 Registered Land Surveyor 04/08/05 Date
---	---	--

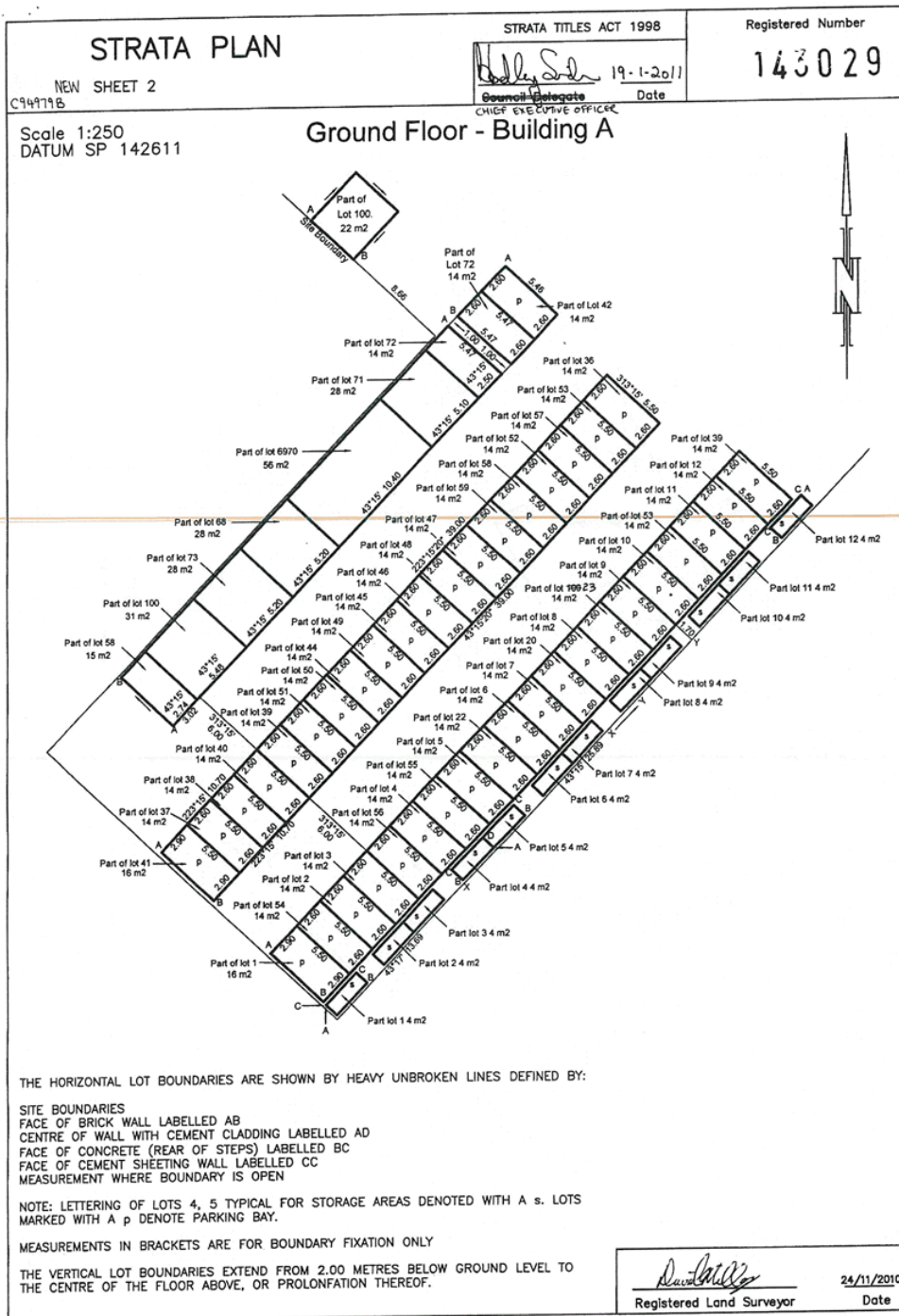
LODGED BY : Wong, McDermott & White



FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

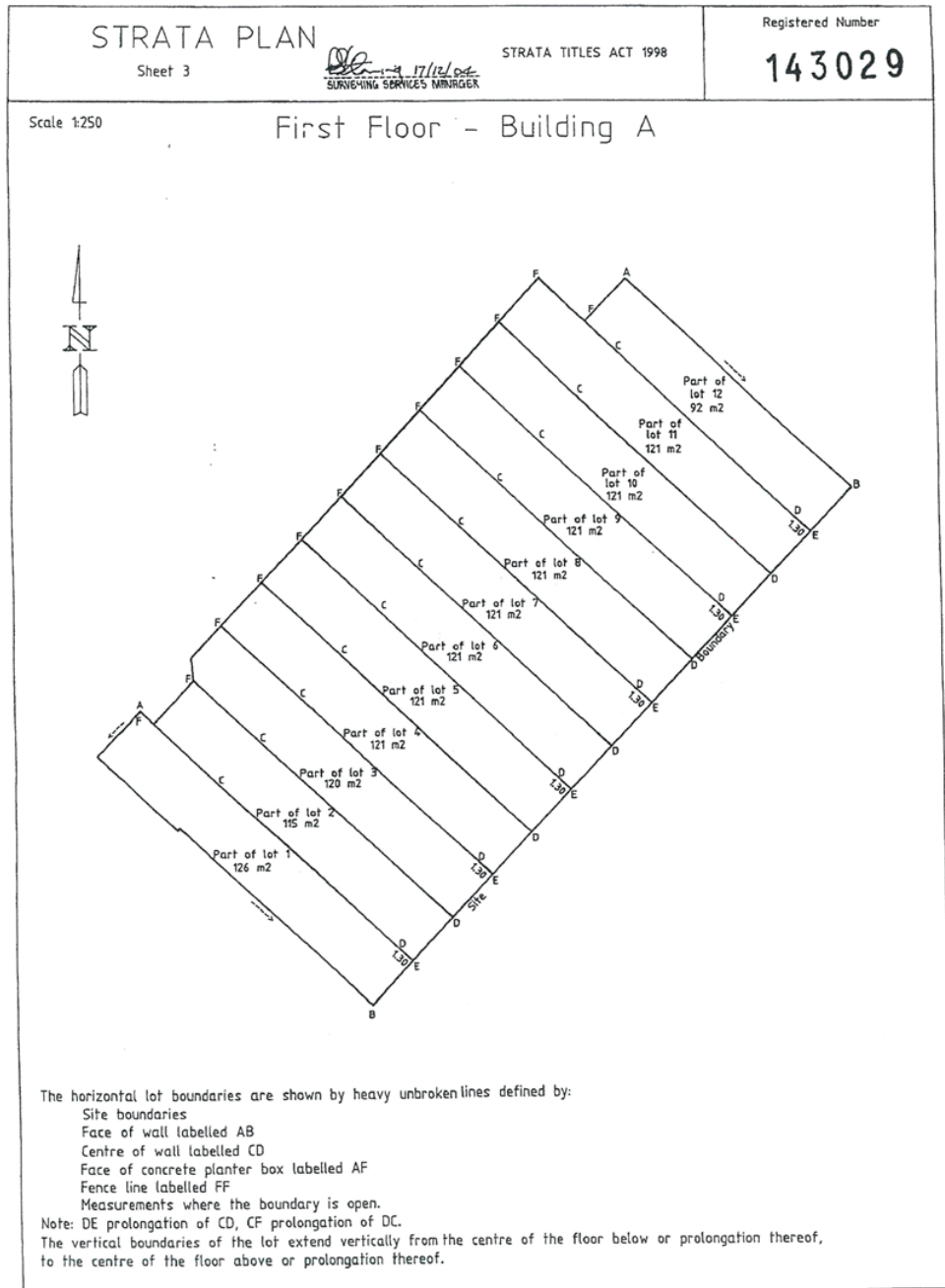




FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

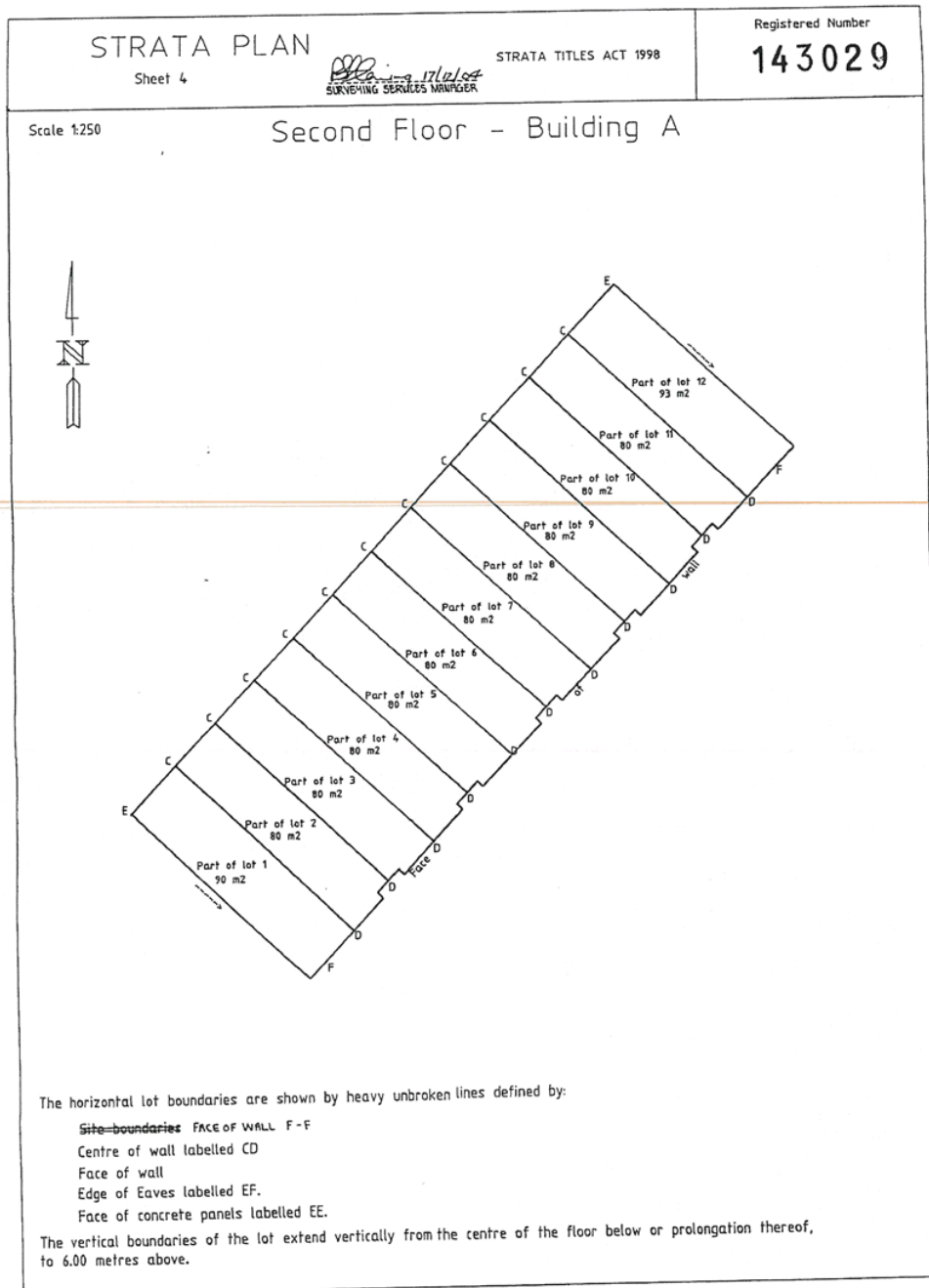




FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980





FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



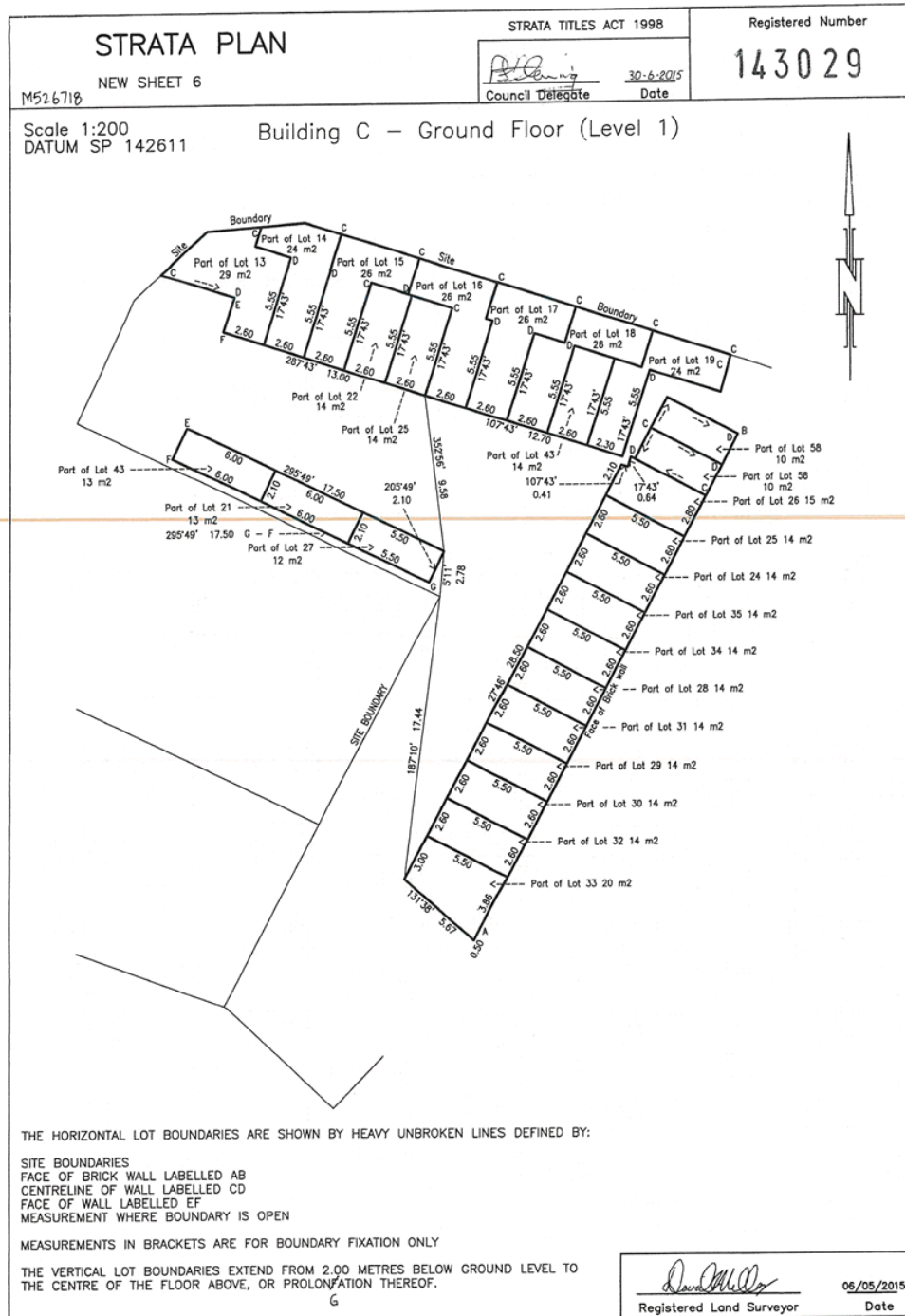
STRATA PLAN NEW SHEET 5 C 72833B		STRATA TITLES ACT 1998 Registered Number 143029					
NAME OF BODY CORPORATE: ONECOLLINS, STRATA CORPORATION No. 143029 ADDRESS FOR THE SERVICE OF NOTICES: The Body Corporate SP-143029 C/- Tas Strata & Property Group Pty Ltd Level 2/29 Salamanca Place Battery Point TAS 7004 MOONAH-TAS-3002		* The Body Corporate, Strata Plan No. 143029 C/- Tas Strata & Property Group Pty Ltd Level 2/29 Salamanca Place Battery Point TAS 7004					
SURVEYORS CERTIFICATE I, <u>Anthony Owen Carrick</u> of <u>Hobart</u> a surveyor registered under the Land Surveyors Act 1909 certify that the building erected on the site and drawn on sheet 1 of this plan is within the external boundaries of the folio stated on sheet 1. <u>Ray Bowick</u> 21/06/06 04244 Registered Land Surveyor Date Ref No.		Council Certificate I certify that the <u>Sullivan Cove Water Port Authority</u> has: (a) approved the lots shown in this plan and (b) issued this certificate of approval in accordance with section 31 of the Strata Titles Act 1998. <u>[Signature]</u> 21.07.06 Managing Surveying Services date ref no CHIEF EXECUTIVE					
GENERAL UNIT ENTITLEMENTS							
LOT	UNIT ENTITLEMENT	LOT	UNIT ENTITLEMENT	LOT	UNIT ENTITLEMENT	LOT	UNIT ENTITLEMENT
1.	480	18	469	35	379	52	496
2.	479	19	489	36	499	53	579
3	479	20	519	37	495	54	585
4	479	21	499	38	489	55	599
5	450	22	509	39	509	56	589
6	450	23	499	40	529	57	529
7	450	24	509	41	489	58	509
8	450	25	499	42	479	59	535
9	450	26	519	43	519		
10	450	27	395	44	489	68	1450
11	450	28	499	45	509	6970	2845
12	475	29	449	46	529	71	1495
13	389	30	459	47	539	72	1474
14	489	31	489	48	529	73	1598
15	469	32	499	49	519	100	2
16	469	33	509	50	489		
17	469	34	499	51	499		
TOTAL ENTITLEMENTS FOR STRATA PLAN = 37910							



FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980





FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



STRATA PLAN

SHEET 7

STRATA TITLES ACT 1998

Registered Number

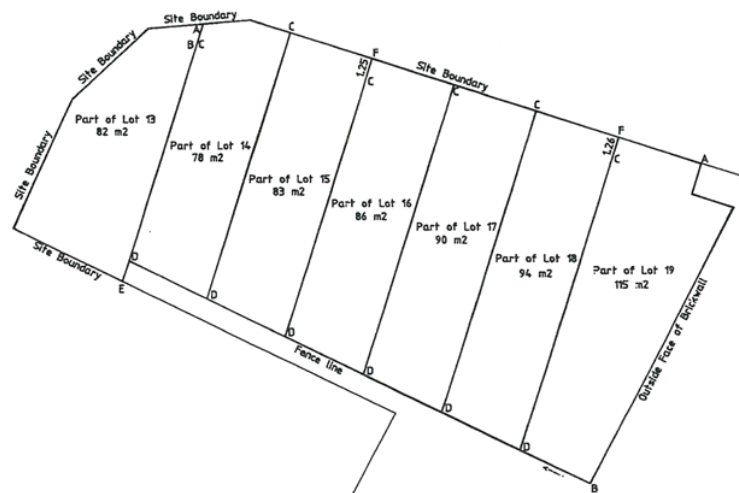
David Mills
Council Delegate

8/2/2005
Date

143029

Scale 1:200

Building C - First Floor (Level 2)



The horizontal lot boundaries are shown by heavy unbroken lines defined by:

- Site Boundaries
- Outside face of wall labelled AB
- Centreline of wall labelled CD
- Fence line labelled BE
- CF is the prolongation of DC

Measurements where the boundary is open.

The vertical boundaries of the lot extend vertically from the centre of the ceiling below or prolongation thereof to the centre of the ceiling above or the prolongation thereof

Measurements in brackets are for boundary fixation only.

Ley Lawick 12/6/05
Registered Land Surveyor Date



FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



STRATA PLAN SHEET 8	STRATA TITLES ACT 1998 <div style="display: flex; justify-content: space-between; align-items: center;"> <div style="text-align: center;"> <small>Council Delegate</small> </div> <div style="text-align: center;"> <small>8/2/2005</small> <small>Date</small> </div> </div>	Registered Number <div style="font-size: 1.5em; font-weight: bold;">143029</div>
-------------------------------	---	---

Scale 1:200 Building C - Second Floor (Level 3)

The horizontal lot boundaries are shown by heavy unbroken lines defined by:

- Face of wall
- Centreline of wall labelled CD
- Face of deck labelled DD

Measurements where the boundary is open.

The vertical boundaries of the lot extend vertically from the centre of the ceiling below or prolongation thereof to the centre of the ceiling above or the prolongation thereof

Measurements in brackets are for boundary fixation only.

Registered Land Surveyor

12/01/05
Date



FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



STRATA PLAN SHEET 9	STRATA TITLES ACT 1998 <div style="display: flex; justify-content: space-between;"> <div> <i>[Signature]</i> Council Delegate </div> <div> 8/12/2005 Date </div> </div>	Registered Number <div style="font-size: 1.5em; font-weight: bold;">143029</div>
<div style="display: flex; justify-content: space-between;"> Scale 1:200 Building C - Third Floor (Level 4) </div> <div style="text-align: right; margin-top: 20px;"> </div> <div style="text-align: center; margin-top: 100px;"> </div> <div style="margin-top: 20px;"> <p>The horizontal lot boundaries are shown by heavy unbroken lines defined by: Face of wall Centreline of wall Measurements where the boundary is open.</p> <p>The vertical boundaries of the lot extend vertically from the centre of the ceiling below or prolongation thereof to 6.00 metres above.</p> <p>Measurements in brackets are for boundary fixation only.</p> </div> <div style="text-align: right; margin-top: 20px;"> <div style="display: flex; justify-content: space-between;"> <div> <i>[Signature]</i> Registered Land Surveyor </div> <div> 12/01/05 Date </div> </div> </div>		

STRATA PLAN

NEW Sheet 10

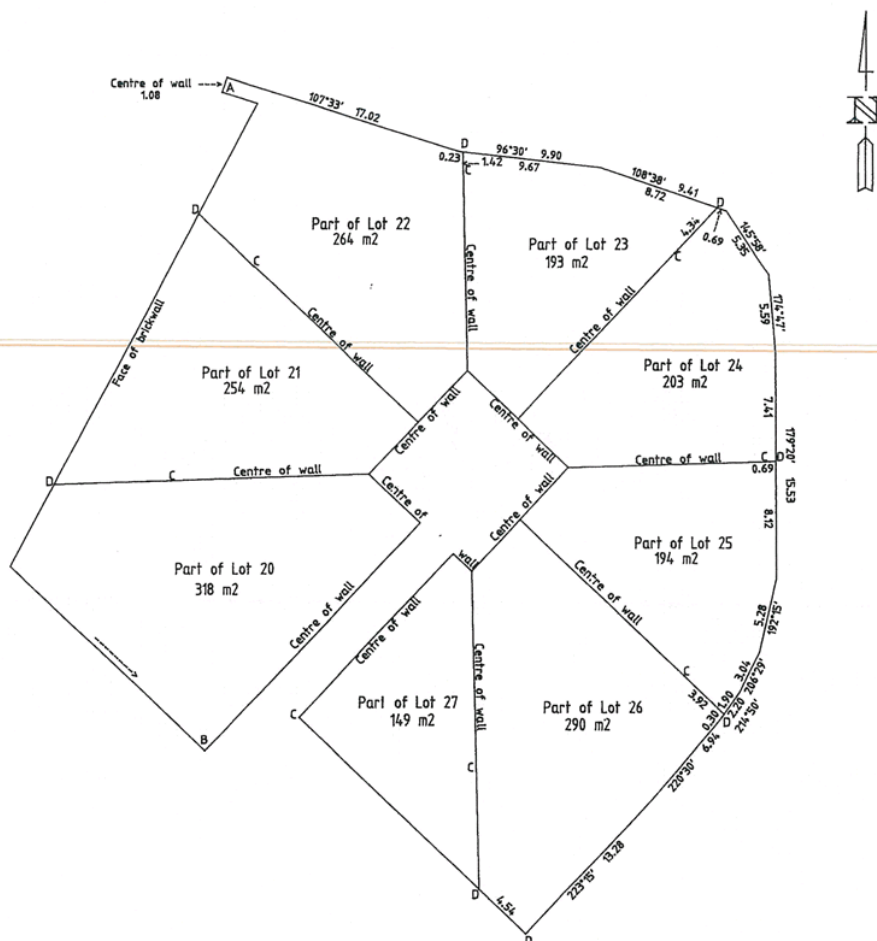
STRATA TITLES ACT 1998

Registered Number:

143029

Scale 1:250

Building B - Ground Floor - (Level 1)



The horizontal lot boundaries are shown by heavy unbroken lines defined by:

- Open boundary defined by bearing & distance.
- Face of brick wall labelled AB
- Centre of fence line labelled CD
- Centre of wall

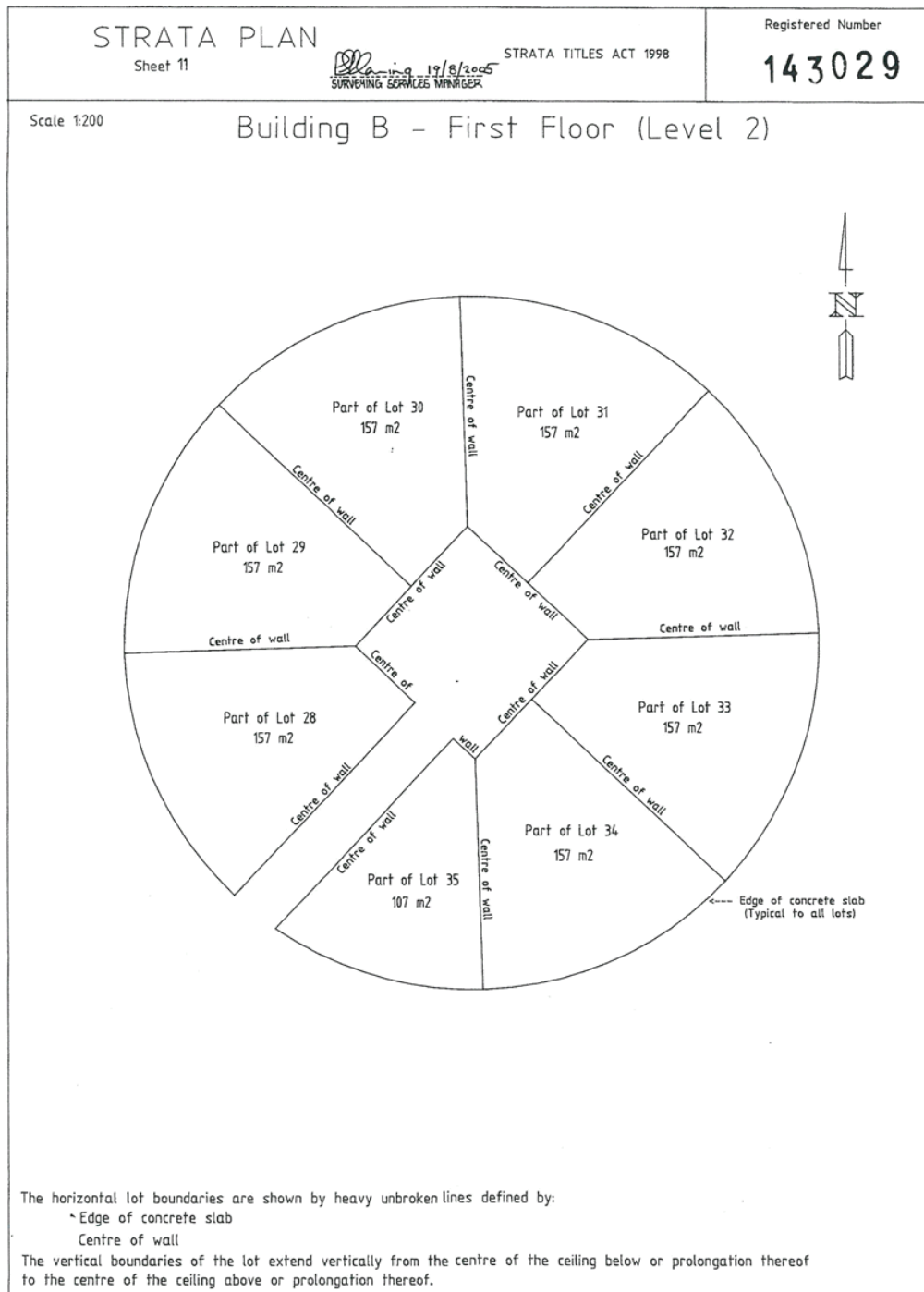
The vertical boundaries of the lot extend vertically from 2.00 metre below ground level to the centre of the floor, or prolongation thereof, above.



FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

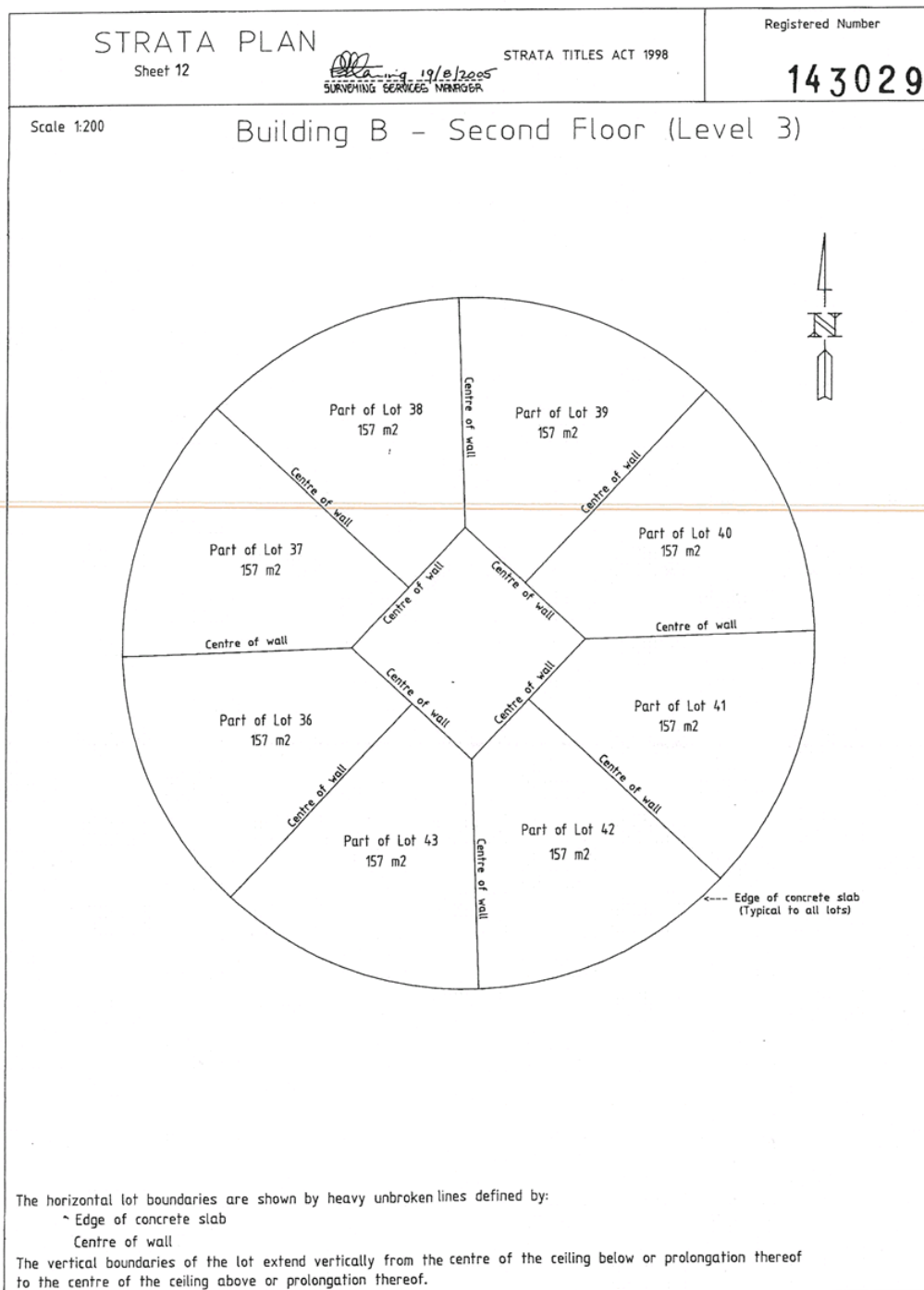




FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

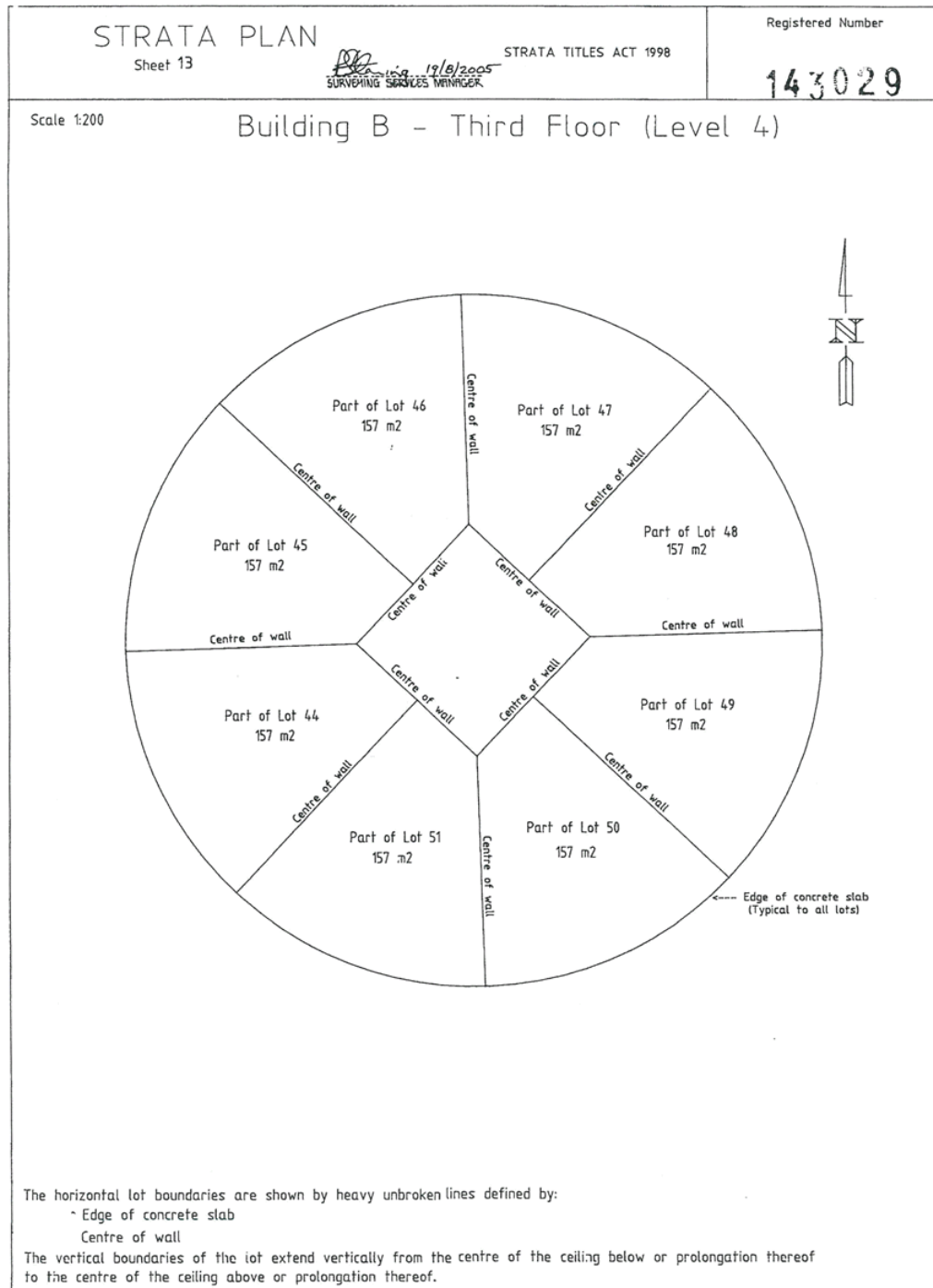




FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980





FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



STRATA PLAN

Sheet 14

19/01/2005
SOLICITOR GENERAL

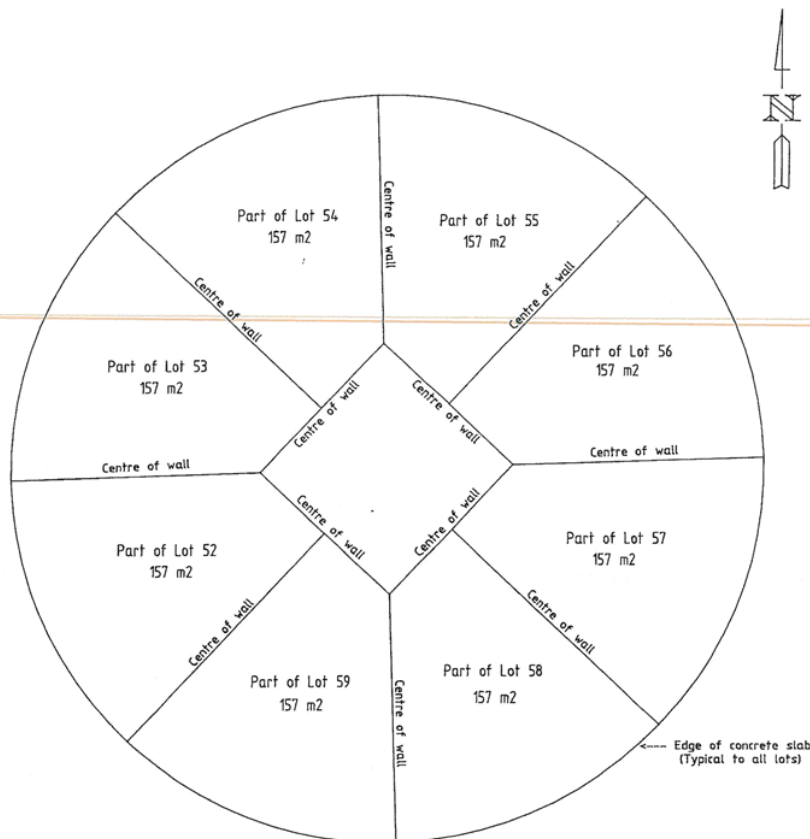
STRATA TITLES ACT 1998

Registered Number

143029

Scale 1:200

Building B - Fourth Floor (Level 5)



The horizontal lot boundaries are shown by heavy unbroken lines defined by:

~Edge of concrete slab

Centre of wall

The vertical boundaries of the lot extend vertically from the centre of the ceiling below or prolongation thereof to the centre of the ceiling above or prolongation thereof.



FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



STRATA PLAN

NEW SHEET 15

C 728338

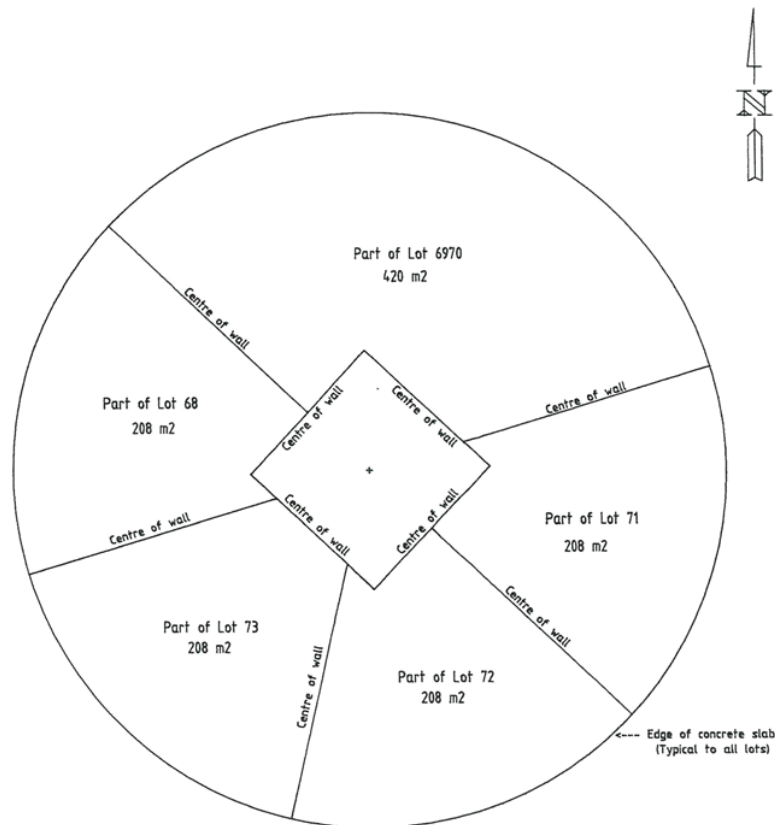
STRATA TITLES ACT 1998
[Signature] 31.07.21
 SCWA DELEGATE DATE

Registered Number

143029

Scale 1:200

Building B - Fifth Floor (Level 6)



The horizontal lot boundaries are shown by heavy unbroken lines defined by:
 Edge of concrete slab
 Centre of wall

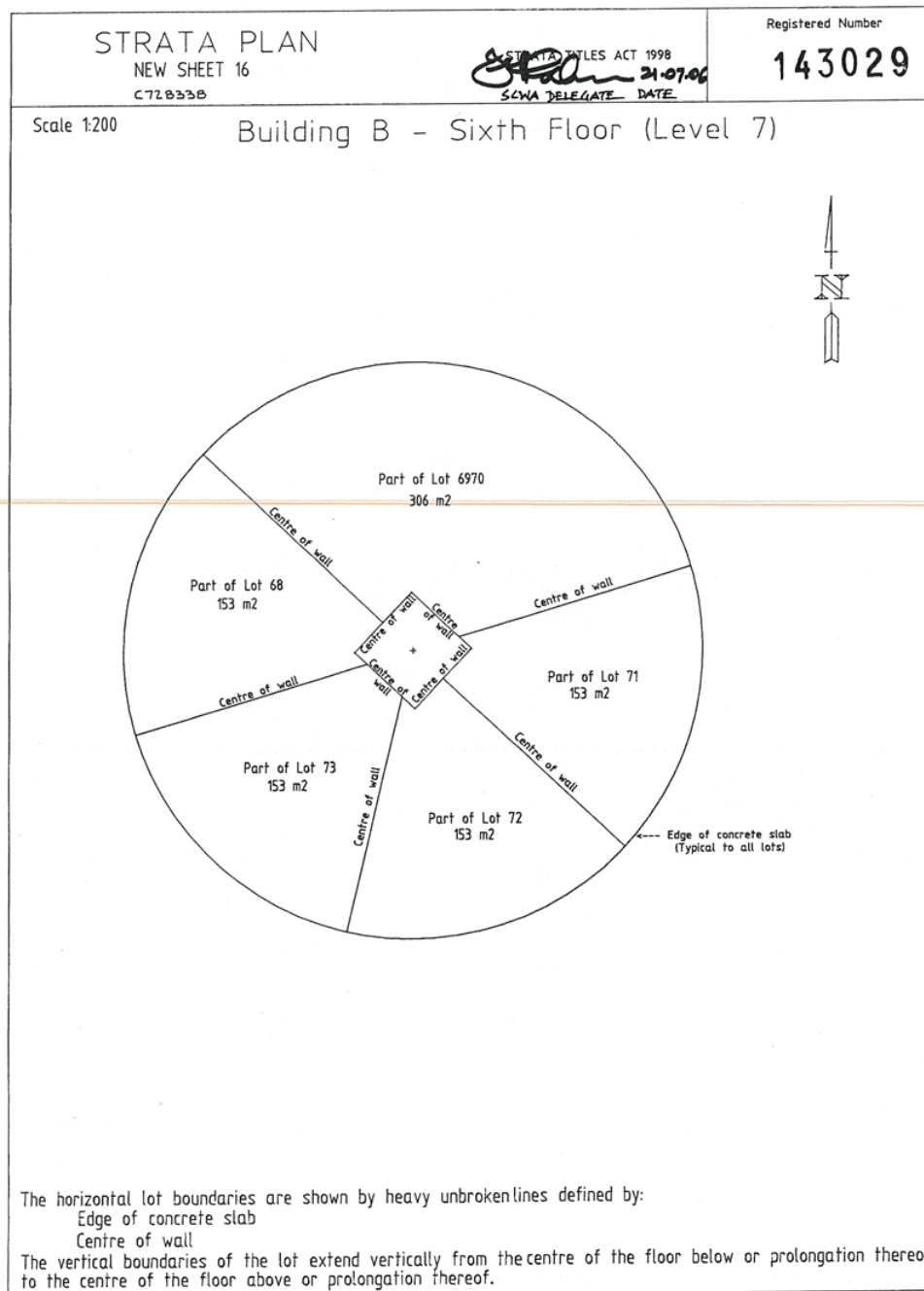
The vertical boundaries of the lot extend vertically from the centre of the floor below or prolongation thereof to the centre of the floor above or prolongation thereof.



FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



**SCHEDULE OF EASEMENTS**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



<p align="center">SCHEDULE OF EASEMENTS</p> <p>NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.</p>	<p align="center">Registered Number</p> <p align="center" style="font-size: 24px;">SP 142611</p>
<p>PAGE 1 of 2 PAGE/S</p>	
<p><u>EASEMENTS AND PROFITS</u></p> <p>Each lot on the plan is together with:-</p> <p>(1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and</p> <p>(2) any easements or profits a prendre described hereunder.</p> <p>Each lot on the plan is subject to:-</p> <p>(1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lots as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and</p> <p>(2) any easements or profits a prendre described hereunder.</p> <p>The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.</p> <p><u>EASEMENTS</u> Lot 1 on the plan is Subject To a Right of Footway (appurtenant to the land in Strata Plan No.132308) over the Right of Way (Private) 2.50 wide shown on the plan.</p> <p>Lot 1 on the Plan is</p> <p>SUBJECT to the right of carriageway over the Right of Way (Private) shown on the plan.</p> <p><u>COVENANT</u></p> <p>The Owner or owners of each lot on the plan covenant with the Hobart City Council to the intent that the burden of this covenant may run with and bind the covenantor's lots and any part thereof and the benefit shall be in favour of the Hobart City Council, to observe the following stipulation:</p> <p>Not without the written consent of the Hobart City Council to carry out any work or activity below natural surface level within the area shown on the plan, that may in any way compromise the structural integrity of the Hobart Rivulet chambers.</p> <p align="center">MARKED ABCDE</p> <p align="center">(USE ANNEXURE PAGES FOR CONTINUATION)</p>	
<p>SUBDIVIDER: Giameos Constructions & Developments Pty. Ltd. Hobart City Council</p> <p>FOLIO REF: C/T's 118416/1, 140132/1, 225610/1, 140876/1, 140311/3, 223349/1</p> <p>SOLICITOR Wong McDermott & White</p> <p>& REFERENCE: (Aloysius Wong, Solicitor)</p>	<p>PLAN SEALED BY: HOBART CITY COUNCIL</p> <p>DATE: 7TH DECEMBER 2004</p> <p>5600200</p> <p>REF NO. Council Delegate SURVEYING SERVICES MANAGER</p>
<p>NOTE: The Council Delegate must sign the Certificate for the purposes of identification.</p>	



SCHEDULE OF EASEMENTS

RECORDED OF TITLES

Issued Pursuant to the Land Titles Act 1980



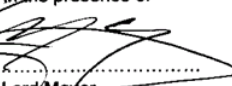
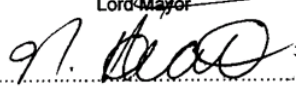
ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 2 PAGE/S	Registered Number SP142611
--	---

SUBDIVIDOR: Giameos Constructions & Developments Pty. Ltd.
 Hobart City Council
FOLIO REFERENCE: C.T.'s 118416/1, 140132/1, 225610/1, 140876/1, 140311/3, 223349/1

Executed by GIAMEOS CONSTRUCTIONS & DEVELOPMENTS PTY. LTD. (ACN 37 102 733 835) in accordance with Section 127(1) of the Corporations Act by George Giameos as Sole Director in the presence of:

WITNESS:
 FULL NAME: Aloysius Wong
 ADDRESS: 149B Macquarie St. Hobart
 OCCUPATION: Solicitor

The Common Seal of The HOBART CITY COUNCIL was hereunto affixed in the presence of


 Lord Mayor

 Director Executive Manager

Executed by BENDIGO BANK LIMITED (ACN 068 049 178) by being signed by its Attorneys

Ian Stanley Rasmussen
 Diane Barbara Fry
 who certify that they are the Manager Retail Loan Services respectively for the time being of the Bank under the Power of Attorney dated 24/11/98 registered Number 7346121 and the said Attorneys declare that they have received no notice of revocation of the said power in the presence of -

WITNESS: Leisa Gai Young
 FULL NAME: Leisa Gai Young
 ADDRESS: 78 BRISBANE ST IPSWICH.
 OCCUPATION: BANK OFFICER.

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

From: David Michael info@tazkeys.com.au 
Subject: Notice to apply for permit to HCC for short term letting of 53/1 Collins Street Hobart.
Date: 10 November 2020 at 10:06 am
To: info@taspropertygroup.com.au

DM

Dear Sir / Madam.

As is the requirement of the planning application I give notice to you of our intention to apply for a permit from Hobart City Council for the use of apartment 53 of 1 Collins street Hobart for short term letting.

Regards.
David Michael

0478 229 229
info@tazkeys.com.au



Flexible Airbnb Management Hobart, Tasmania

From: David Michael info@tazkeys.com.au 
Subject: Notice of intention to apply for permit for 53/1 Collins Street as short term accommodation.
Date: 10 November 2020 at 10:37 am
To: Robert Easter robert.easter@gmail.com



Hi Robert.

One of the councils requirements is for me to furnish them with proof that you are notified of my intention to apply on your behalf for a permit for short term accommodation of your apartment at 53/1 Collins Street, Hobart.

I declare to you that I am presently applying on your behalf for said permit for change of use of 53/1 Collins Street to short term accommodation.

Regards,
David Michael

0478 229 229
info@tazkeys.com.au



Flexible Airbnb Management Hobart, Tasmania

Application for 53/1 Collins Street to visitor accommodation PLN 20 760.

Total area to be used for visitor accommodation is 160 sqm.

There is no signage involved.

No portion of the building will be occupied for permanent residence.

No work is to be undertaken to enable the change of use.

1. Total area to be used by the visitor accommodation. It is noted that this refers to the whole of the building / strata complex, not just the individual strata lot you are seeking to change the use of. You may need to consult your body corporate if you are unclear what the current use of the other strata lots is as Council only have records of permits that have been granted, not of how the lots are currently being used.

There are 2 other apartments being used for visitor accommodation at 1 Collins Street Hobart. The 2 apartments in question numbers 9 and 37 are managed by Sullivan's Cove Apartments Hobart.

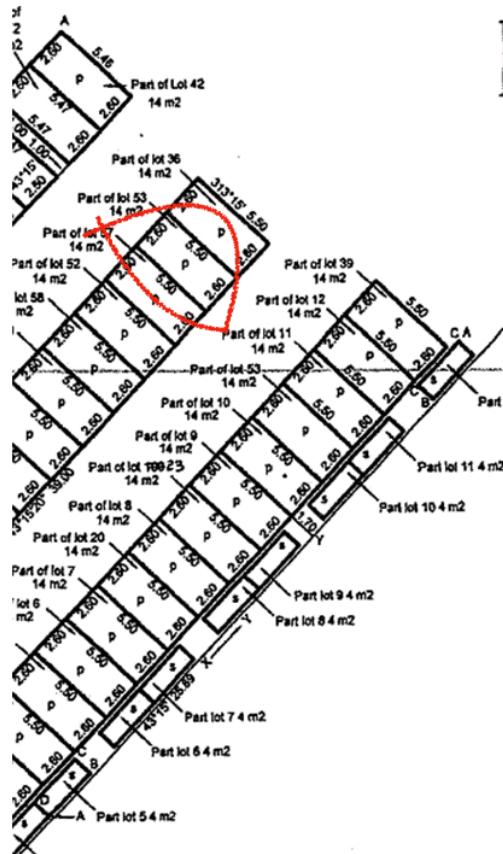
2. Will a portion of the building proposed as the visitor accommodation be occupied by permanent resident. It is noted that this refers to the whole of the building / strata complex, not just the individual strata lot you are seeking to change the use of. You may need to consult your body corporate if you are unclear what the current use of the other strata lots is.

The portion of the building proposed as the visitor accommodation will not be occupied by permanent resident

Dimensions of car park space for 53/1 Collins Street, Hobart.

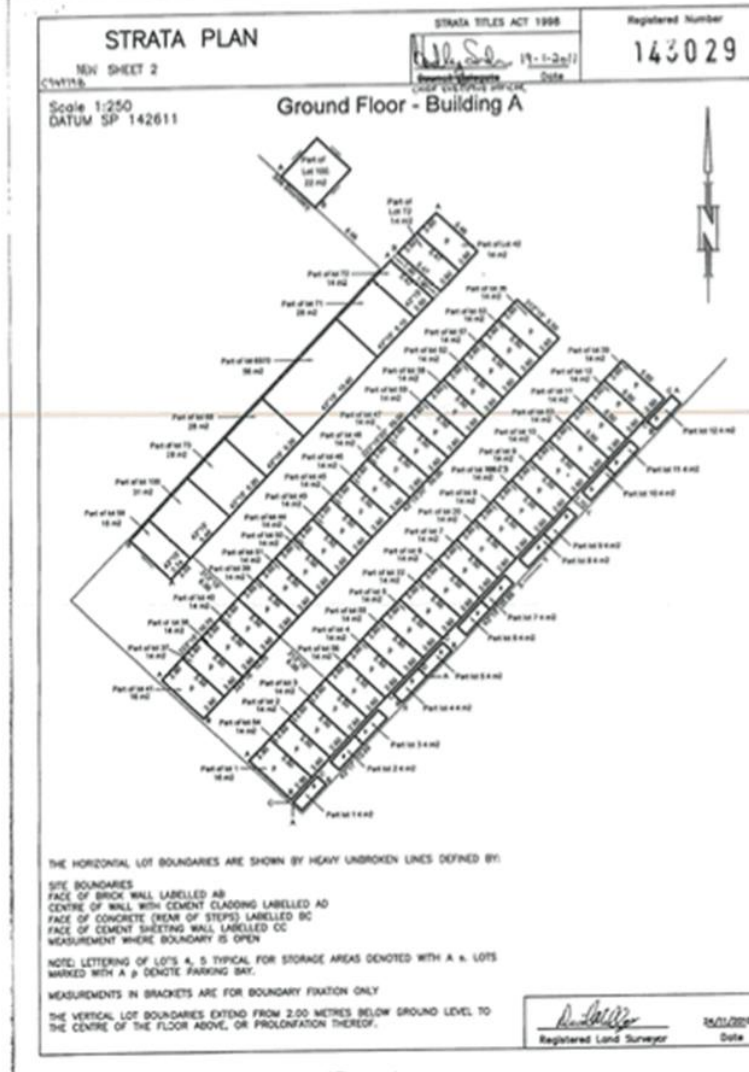
Size is. 5.5 x 2.6 metres.

- Building A

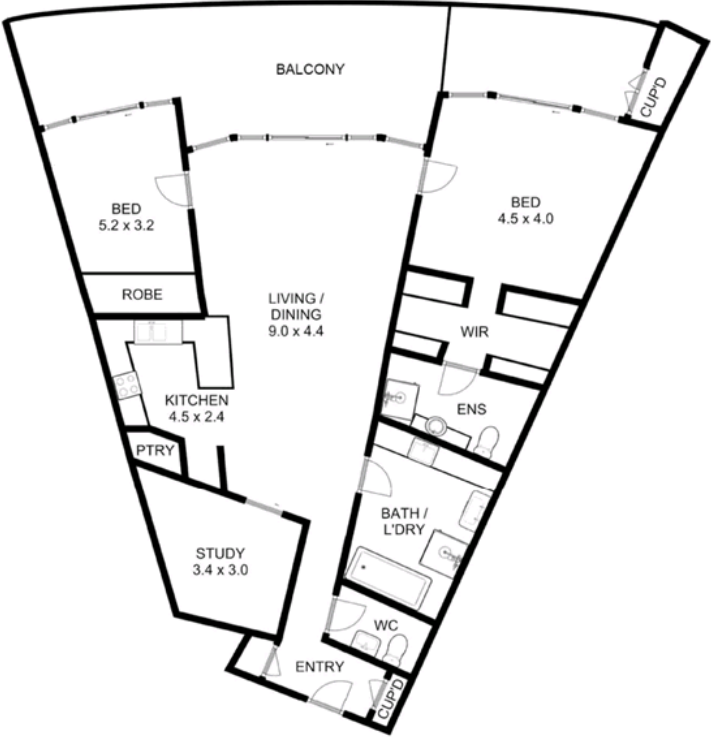




FOLIO PLAN
RECORDER OF TITLES
Issued Pursuant to the Land Titles Act 1980



53/1 COLLINS STREET
HOBART
Building Size: 160sqm



SCALE: 1:100 0 1 2 3 metres
IMPORTANT: Measurements area approximate
- interested parties need to verify

7.2 APPLICATIONS UNDER THE HOBART INTERIM PLANNING SCHEME 2015

7.2.1 29 HILLCREST ROAD, TOLMANS HILL AND ADJACENT ROAD RESERVE - DWELLING PLN-20-498 - FILE REF: F21/6496

Address:	29 Hillcrest Road, Tolmans Hill and Adjacent Road Reserve
Proposal:	Dwelling
Expiry Date:	4 February 2021
Extension of Time:	Not applicable
Author:	Michael McClenahan

RECOMMENDATION

That pursuant to the *Hobart Interim Planning Scheme 2015*, the City Planning Committee, in accordance with the delegations contained in its terms of reference, approve the application for a dwelling at 29 Hillcrest Road, Tolmans Hill and adjacent road reserve for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

GEN

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-20-498 - 29 HILLCREST ROAD TOLMANS HILL TAS 7007 - Final Planning Documents except where modified below.

Reason for condition

To clarify the scope of the permit.

TLAP 2

Landscaping of the site must be completed within 12 months of first occupation and maintained for the life of the building.

Prior to the issue of any consent under the *Building Act 2016*, a revised Landscaping Plan must be submitted and approved, to the satisfaction of the Directory City Planning. The revised Landscaping Plan must be generally in accordance with the Landscaping Plan in the Final Planning Documents, but also show additional landscaping on the northern side of the garage structure, to mitigate the visual impact of the proposal on the adjoining lot.

All work required by this condition must be undertaken in accordance with the approved revised Landscape Plan.

Reason for condition

In the interest of protection of the landscape value of the area, and to minimise the spread of weeds.

ENG sw1

All stormwater from the proposed development (including but not limited to: roofed areas, ag drains, retaining wall ag drains and impervious surfaces such as driveways and paved areas) must be drained to the Council's stormwater infrastructure prior to first occupation or commencement of use (whichever occurs first).

Advice:

Under section 23 of the Urban Drainage Act 2013 it is an offence for a property owner to direct stormwater onto a neighbouring property.

Reason for condition

To ensure that stormwater from the site will be discharged to a suitable Council approved outlet.

ENG 2a

Prior to first occupation or commencement of use (whichever occurs first), vehicular barriers compliant with the Australian

Standard AS/NZS 1170.1:2002 must be installed to prevent vehicles running off the edge of an access driveway or parking module (parking spaces, aisles and manoeuvring area) where the drop from the edge of the trafficable area to a lower level is 600mm or greater, and wheel stops (kerb) must be installed for drops between 150mm and 600mm. Barriers must not limit the width of the driveway access or parking and turning areas approved under the permit.

Advice:

The Council does not consider a slope greater than 1 in 4 to constitute a lower level as described in AS/NZS 2890.1:2004 Section 2.4.5.3. Slopes greater than 1 in 4 will require a vehicular barrier or wheel stop.

Designers are advised to consult the [National Construction Code 2016](#) to determine if pedestrian handrails or safety barriers compliant with the NCC2016 are also required in the parking module this area may be considered as a path of access to a building.

Reason for condition

To ensure the safety of users of the access driveway and parking module and compliance with the standard.

ENG 2b

Prior to the issue of any approval under the *Building Act 2016* or the commencement of works on site (whichever occurs first), a certified vehicle barrier design (including site plan with proposed location(s) of installation) prepared by a suitably qualified engineer, compliant with Australian Standard AS/NZS1170.1:2002, must be submitted to Council.

Advice:

If the development's building approval includes the need for a Building Permit from Council, the applicant is advised to submit detailed design of vehicular barrier as part of the Building Application.

If the development's building approval is covered under Notifiable Work the applicant is advised to submit detailed design of vehicular barrier as a condition endorsement of the planning permit condition. Once the certification has been accepted, the Council will issue a condition endorsement (see general advice on how to obtain condition endorsement).

Reason for condition

To ensure the safety of users of the access driveway and parking module and compliance with the standard.

ENG 2c

Prior to the first occupation, vehicular barriers must be inspected by a qualified engineer and certification submitted to the Council confirming that the installed vehicular barriers comply with the certified design and Australian Standard AS/NZS1170.1:2002.

Advice:

Certification may be submitted to the Council as part of the Building Act 2016 approval process or via condition endorsement (see general advice on how to obtain condition endorsement)

Reason for condition

To ensure the safety of users of the access driveway and parking module and compliance with the relevant standards.

ENG 3b

The access driveway, and parking module (parking spaces, aisles and manoeuvring area) design must be submitted and approved, prior to the issuing of any approval under the *Building Act 2016*.

The access driveway, and parking module (parking spaces, aisles and manoeuvring area) design must:

1. **Be prepared and certified by a suitably qualified engineer,**
2. **Be generally in accordance with the Australian Standard AS/NZS2890.1:2004,**
3. **Where the design deviates from AS/NZS2890.1:2004 the designer must demonstrate that the design will provide a safe and efficient access, and enable safe, easy and efficient use, and**
4. **Show dimensions, levels, gradients and transitions, and other details as Council deem necessary to satisfy the above requirement.**

Advice:

It is advised that designers consider the detailed design of the access and parking module prior to finalising the Finished Floor Level (FFL) of the parking spaces (especially if located within a garage incorporated into the dwelling), as failure to do so may result in difficulty complying with this condition.

Once the design has been approved, the Council will issue a condition endorsement (see general advice on how to obtain condition endorsement).

Where building approval is also required, it is recommended that documentation for condition endorsement be submitted well before submitting documentation for building approval. Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

ENG 3c

The access driveway, and parking module (parking spaces, aisles and manoeuvring area) must be constructed in accordance with the design drawings approved by Condition

ENG 3b.

Prior to the first occupation, documentation by a suitably qualified engineer certifying that the access driveway and parking module has been constructed in accordance with the above drawings must be lodged with Council.

Advice:

Certification may be submitted to Council as part of the Building Act 2016 approval process or via condition endorsement (see general advice on how to obtain condition endorsement)

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

ENG 4

The access driveway and parking module (car parking spaces, aisles and manoeuvring area) approved by this permit must be constructed to a sealed standard (spray seal, asphalt, concrete, pavers or equivalent Council approved) and surface drained to the Council's stormwater infrastructure prior to the first occupation.

Reason for condition

To ensure the safety of users of the access driveway and parking module, and that it does not detract from the amenity of users, adjoining occupiers or the environment by preventing dust, mud and sediment transport.

ENG 1

Any damage to council infrastructure resulting from the implementation of this permit, must, at the discretion of the Council:

- 1. Be met by the owner by way of reimbursement (cost of repair and reinstatement to be paid by the owner to the Council); or**
- 2. Be repaired and reinstated by the owner to the satisfaction of the Council.**

A photographic record of the Council's infrastructure adjacent to the subject site must be provided to the Council prior to any commencement of works.

A photographic record of the Council's infrastructure (e.g. existing property service connection points, roads, buildings, stormwater, footpaths, driveway crossovers and nature strips, including if any, pre-existing damage) will be relied upon to establish the extent of damage caused to the Council's infrastructure during construction. In the event that the owner/developer fails to provide to the Council a photographic record of the Council's infrastructure, then any damage to the Council's infrastructure found on completion of works will be deemed to be the responsibility of the owner.

Reason for condition

To ensure that any of the Council's infrastructure and/or site-related service connections affected by the proposal will be altered and/or reinstated at the owner's full cost.

ENG r1

The excavation, footings and suspended driveway within or supporting the highway reservation must not undermine the stability and integrity of the highway reservation and its infrastructure.

Detailed design drawings and design structural certificates of the suspended driveway supporting structure within the embankment easement must be submitted and approved, prior to issuing any approval under the *Building Act 2016* and must:

- 1. Be prepared and certified by a suitable qualified person and experienced engineer;**
- 2. Not undermine the stability of the embankment easement;**
- 3. Be designed in accordance with AS4678, with a design life in accordance with table 3.1 typical application major public infrastructure works;**

4. **Take into account any additional surcharge loadings as required by relevant Australian Standards;**
5. **Take into account and reference accordingly any Geotechnical findings; and**
6. **Include a structure certificate which notes the suspended driveway and the footings will not affect the stability of the embankment easement.**
- 7.

The structure certificated and/or drawings should note accordingly the above. All work required by this condition must be undertaken in accordance with the approved select design drawing and structural certificates.

Advice:

The applicant is required submit detailed design documentation to satisfy this condition via Council's planning condition endorsement process (noting there is a fee associated with condition endorsement approval of engineering drawings [see general advice on how to obtain condition endorsement and for fees and charges]). This is a separate process to any building approval under the Building Act 2016.

Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.

Reason for condition

To ensure that the stability and integrity of the Council's highway reservation is not compromised by the development.

ENV 1

Sediment and erosion control measures sufficient to prevent sediment from leaving the site must be installed prior to any disturbance of the site, and maintained until all areas of disturbance have been stabilized or re-vegetated.

Advice:

For further guidance in preparing a Soil and Water Management Plan – in accordance with Fact sheet 3 Derwent Estuary Program click [here](#).

Reason for condition

To avoid the sedimentation of roads, drains, natural watercourses, Council land that could be caused by erosion and runoff from the development, and to comply with relevant State legislation.

Part 5 r1

The owner(s) of the property must enter into an agreement with the Council pursuant to Part 5 of the *Land Use Planning and Approvals Act 1993* with respect to the protection of retaining walls, buildings adjacent to the Hillcrest Road highway reservation prior to the commencement of work.

The owner must not undertake any works at any time (including excavation and building) that will have any effect on the integrity of the Hillcrest Road highway reservation or any retaining structure adjacent to Hillcrest Road highway reservation or the road formation themselves or undermine the structural integrity of the highway reservation.

All costs for the preparation and registration of the Part 5 Agreement must be met by the owner.

The owner must comply with the Part 5 Agreement which will be placed on the property title.

Advice:

For further information with respect to the preparation of a Part 5 agreement please contact Council Development Engineering Staff.

Reason for condition

To ensure the protection of Council are retained.

SUB s1

The existing Embankment Easement created by E199662 must be amended pursuant to section 108 of the *Land Titles Act 1980* such that the Embankment Easement is clear of the

proposed development, to the satisfaction of the Council's Manager Surveying Services, prior to the issue of any building consent under the *Building Act 2016*.

Reason for condition

To ensure that the proposed development does not encroach into the Embankment

Easement over Lot 35 on Sealed Plan 178129

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

CONDITION ENDORSEMENT ENGINEERING

All engineering drawings required to be submitted and approved by this planning permit must be submitted to the City of Hobart as a CEP (Condition Endorsement) via the City's [Online Service Development Portal](#). When lodging a CEP, please reference the PLN number of the associated Planning Application. Each CEP must also include an estimation of the cost of works shown on the submitted engineering drawings. Once that estimation has been confirmed by the City's Engineer, the following fees are payable for each CEP submitted and must be paid prior to the City of Hobart commencing assessment of the engineering drawings in each CEP:

Value of Building Works Approved by Planning Permit Fee:

Over \$20,000: 2% of the value of the works as assessed by the City's Engineer per assessment.

These fees are additional to building and plumbing fees charged under the Building and Plumbing Regulations.

Once the CEP is lodged via the [Online Service Development Portal](#), if the value of building works approved by your planning permit is over \$20,000, please contact the City's Development Engineer on 6238 2715 to confirm the estimation of the cost of works shown on the submitted engineering drawings has been accepted.

Once confirmed, please call one of the City's Customer Service Officers on 6238 2190 to make payment, quoting the reference number (ie. CEP number) of the Condition Endorsement you have lodged. Once payment is made, your engineering drawings will be assessed.

BUILDING PERMIT

You may need building approval in accordance with the *Building Act 2016*. Click [here](#) for more information.

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

PLUMBING PERMIT

You may need plumbing approval in accordance with the *Building Act 2016*, *Building Regulations 2016* and the National Construction Code. Click [here](#) for more information.

TOLMANS HILL LOCAL AREA PLAN

The Tolmans Hill Local Area Plan (Stage 17BC) is available [here](#).

Front fences must not be erected on the property, and side boundary fences must be in accordance with the provisions of the relevant Tolmans Hill Local area Plan.

This approval and subsequent conditions are given in the knowledge that the Part 5 Agreement on the title (CT 178129/38) to the property is effective and binds the applicant to the restrictions and controls of the Local Area Plan.

Plant species listed in Council's Restricted Plant List: Potentially Invasive Species Generally Unsuitable for Planting in or Adjacent Bushland, Riparian and Coastal Areas (June 2011) must not be planted on the lot (available [here](#)).

OCCUPATION OF THE PUBLIC HIGHWAY

You may require a Permit to Open Up and Temporarily Occupy a Highway (for work in the road reserve). Click [here](#) for more information.

BUILDING OVER AN EASEMENT

In order to build over the service easement, you will require the written consent of the person on whose behalf the easement was created, in accordance with section 74 of the *Building Act 2016*.

STORM WATER

Please note that in addition to a building and/or plumbing permit, development must be in accordance with the Hobart City Council's Infrastructure By law. Click [here](#) for more information.

WORK WITHIN THE HIGHWAY RESERVATION

Please note development must be in accordance with the Hobart City Council's Infrastructure By law. Click [here](#) for more information.

DRIVEWAY SURFACING OVER HIGHWAY RESERVATION

If a coloured or textured surface is used for the driveway access within the Highway Reservation, the Council or other service provider will not match this on any reinstatement of the driveway access within the Highway Reservation required in the future.

ACCESS

Designed in accordance with LGAT- IPWEA – Tasmanian standard drawings. Click [here](#) for more information.

CROSS OVER CONSTRUCTION

The construction of the crossover can be undertaken by the Council or by a private contractor, subject to Council approval of the design. Click [here](#) for more information.

WEED CONTROL

Effective measures are detailed in the Tasmanian Washdown Guidelines for Weed and Disease Control: Machinery, Vehicles and Equipment (Edition 1, 2004). The guidelines can be obtained from the Department of Primary Industries, Parks, Water and Environment [website](#).

NOISE REGULATIONS


Click [here](#) for information with respect to noise nuisances in residential areas.


FEES AND CHARGES

Click [here](#) for information on the Council's fees and charges.

DIAL BEFORE YOU DIG

Click [here](#) for dial before you dig information.

Attachment A: PLN-20-498 - 29 HILLCREST ROAD TOLMANS
HILL TAS 7007 - Planning Committee or Delegated
Report ↓ 

Attachment B: PLN-20-498 - 29 HILLCREST ROAD TOLMANS
HILL TAS 7007 - CPC Agenda Documents ↓ 



APPLICATION UNDER HOBART INTERIM PLANNING SCHEME 2015

Type of Report:	Committee
Committee:	1 February 2021
Expiry Date:	4 February 2021
Application No:	PLN-20-498
Address:	29 HILLCREST ROAD , TOLMANS HILL ADJACENT ROAD RESERVE
Applicant:	ALEXANDER REED 26 / 93 SALAMANCA PLACE
Proposal:	Dwelling
Representations:	Zero
Performance criteria:	Low Density Residential Zone Development Standards; Tolmans Hill Local Area Plan Stage 17BC Development Standards; Parking and Access Cod

1. Executive Summary

- 1.1 Planning approval is sought for a Dwelling, at 29 Hillcrest Road, Tolmans Hill and Adjacent Road Reserve.
- 1.2 More specifically the proposal includes:
 - Construction of a two storey single dwelling with four bedrooms, five bathrooms, kitchen, dining room, sitting room, lounge, office, studio, rumpus, pool, two car internal garage, and outdoor decks.
 - Construction of suspended driveway and retaining walls.
 - Landscaping along Hillcrest road frontage.
 - Removal of six *Eucalyptus* trees.
- 1.3 The proposal relies on performance criteria to satisfy the following standards and codes:
 - 1.3.1 Low Density Residential Zone - Setbacks and Building Envelope, Site Coverage and Impervious Surfaces, Sunlight and Overshadowing, Privacy
 - 1.3.2 Tolmans Hill Local Area Plan Stage 17BC - Building Area, Colour and Finishes, Height, Vegetation and Landscaping
 - 1.3.3 Parking and Access Code -Design of Vehicular Accesses

- 1.4 No representations were received during the statutory advertising period between 06/01/21 - 20/01/2.
- 1.5 The proposal is recommended for approval subject to conditions.
- 1.6 The final decision is delegated to the City Planning Committee, because the proposal includes works in the Council's road reserve.

2. Site Detail

- 2.1 The subject site is located at 29 Hillcrest Road, Tolmans Hill and includes a rectangular shaped, single title vacant lot which is approximately 922m² in size. The site forms part of the Tolmans Hill residential subdivision, Stage 17BC, and is presently mostly cleared with only a small number of established trees remaining in the centre of the lot. The site slopes downhill, away from the Hillcrest Road frontage, to the south west. The surrounding area is characterised by vacant residential land and uncleared vegetated land to the immediate north, south and east as well as established residential uses further to the north and west.



Figure 1: Aerial image of the subject site (bordered in blue) and surrounding area.

3. Proposal

- 3.1 Planning approval is sought for a dwelling at 29 Hillcrest Road, Tolmans Hill and Adjacent Road Reserve.

3.2 More specifically the proposal is for:

- Construction of a two storey single dwelling with four bedrooms, five bathrooms, kitchen, dining room, sitting room, lounge, office, studio, rumpus, pool, two car internal garage, and outdoor decks.
- Construction of suspended driveway and retaining walls.
- Landscaping along Hillcrest road frontage.
- Removal of six *Eucalyptus* trees.

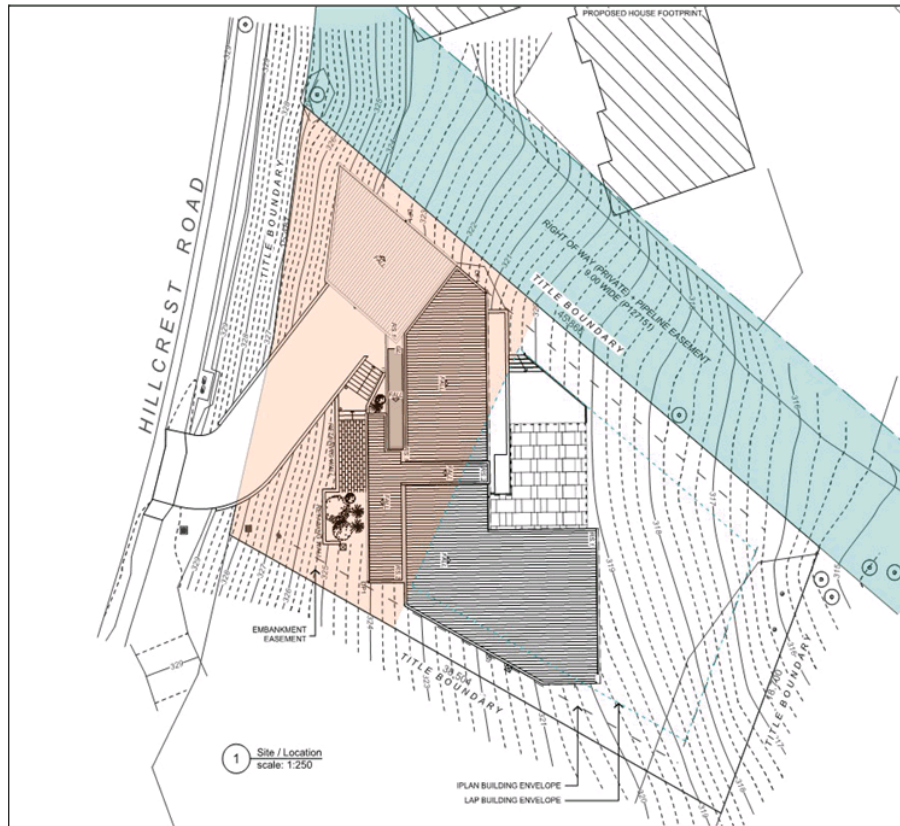


Figure 2: Site plan of proposed dwelling. The pink highlighted area is the extent of the existing embankment easement. The blue highlighted area is a right of way and pipeline easement, located within the adjoining property at 31 Hillcrest Road.

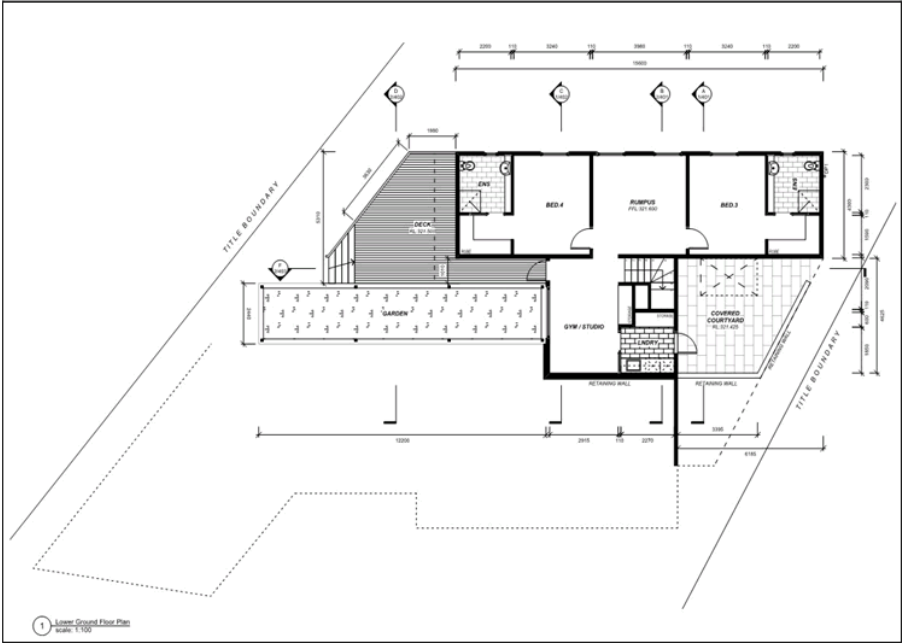


Figure 3: Proposed lower ground floor plan

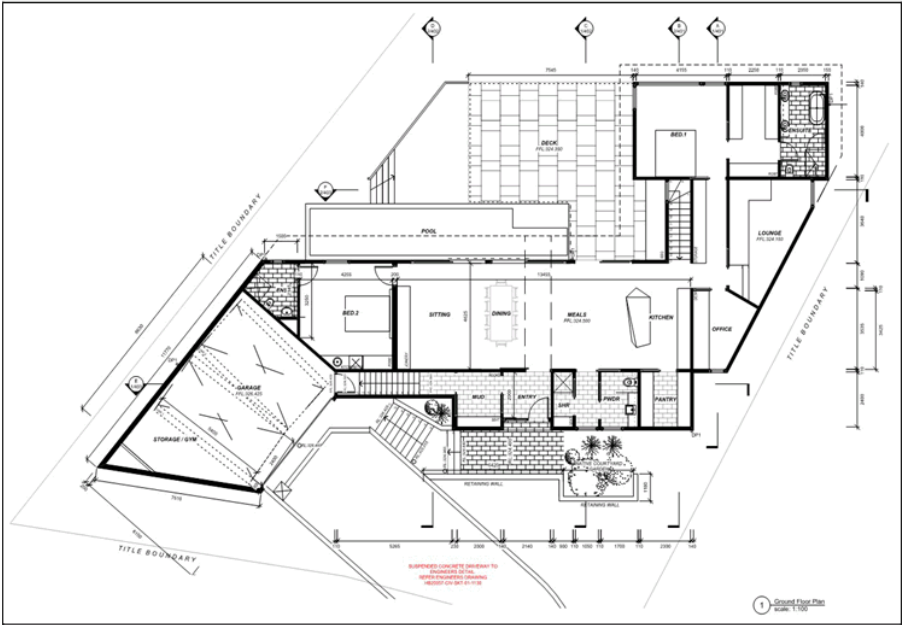


Figure 4: Proposed ground floor plan.

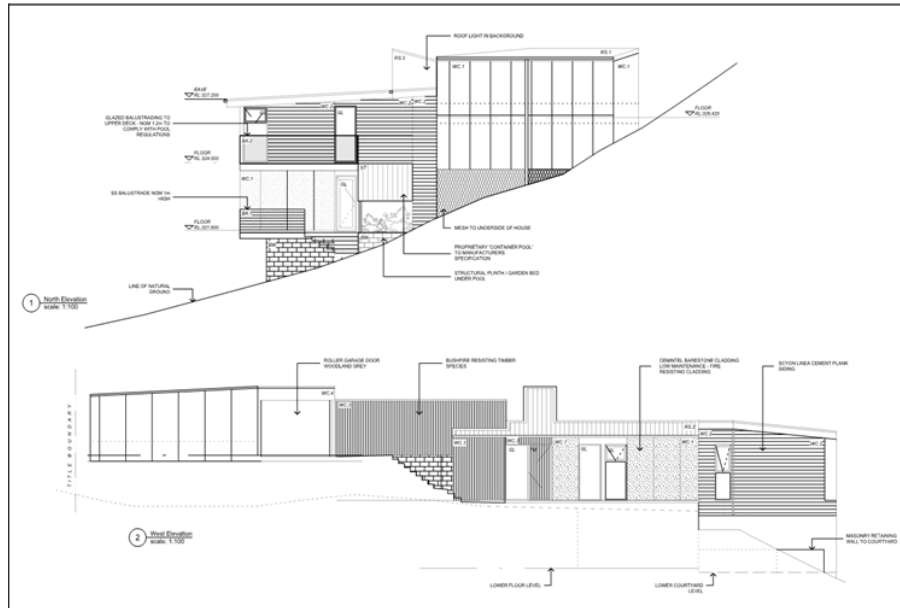


Figure 5: North and West elevations of proposed Dwelling.

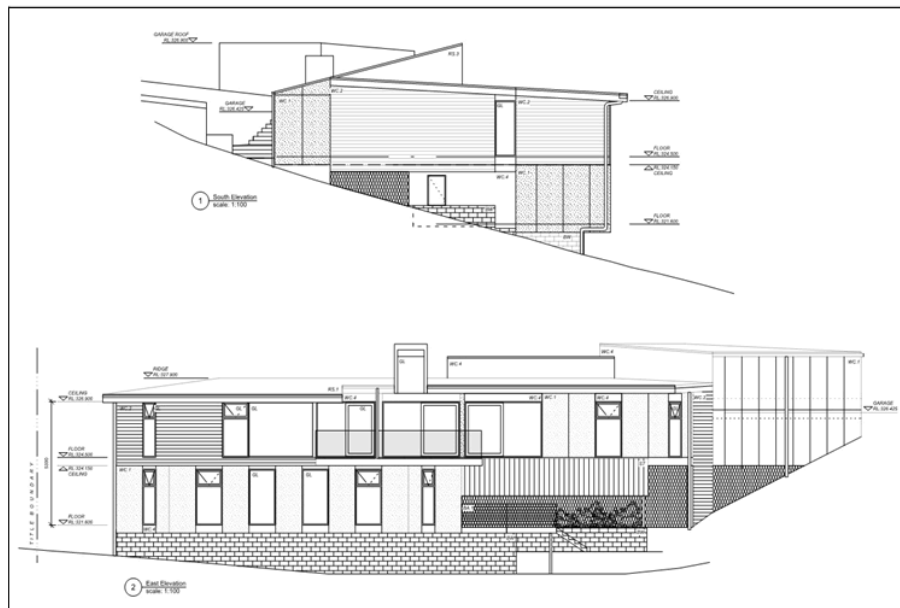


Figure 6: South and East elevations of proposed Dwelling.

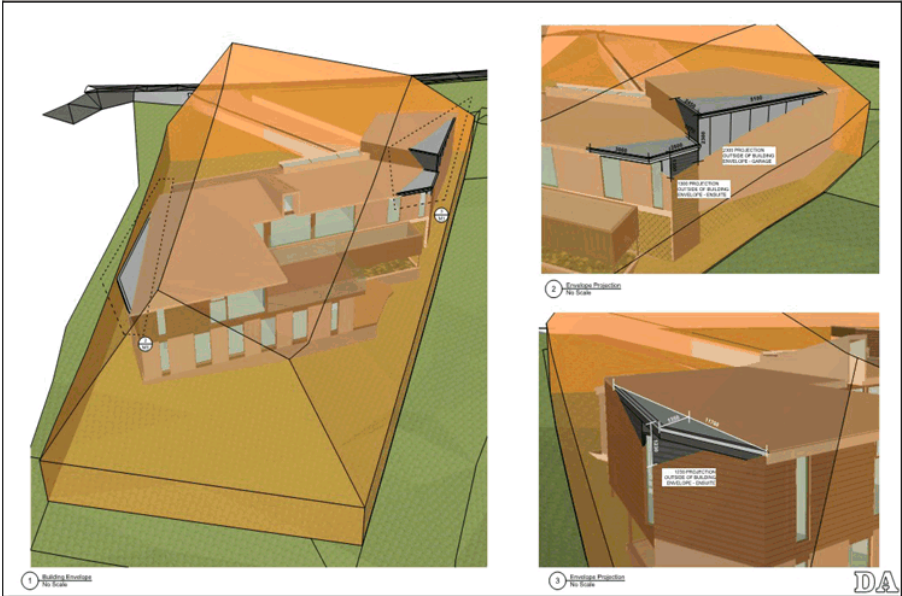


Figure 7: Protrusions of proposed dwelling from Low Density Residential Zone building envelope.

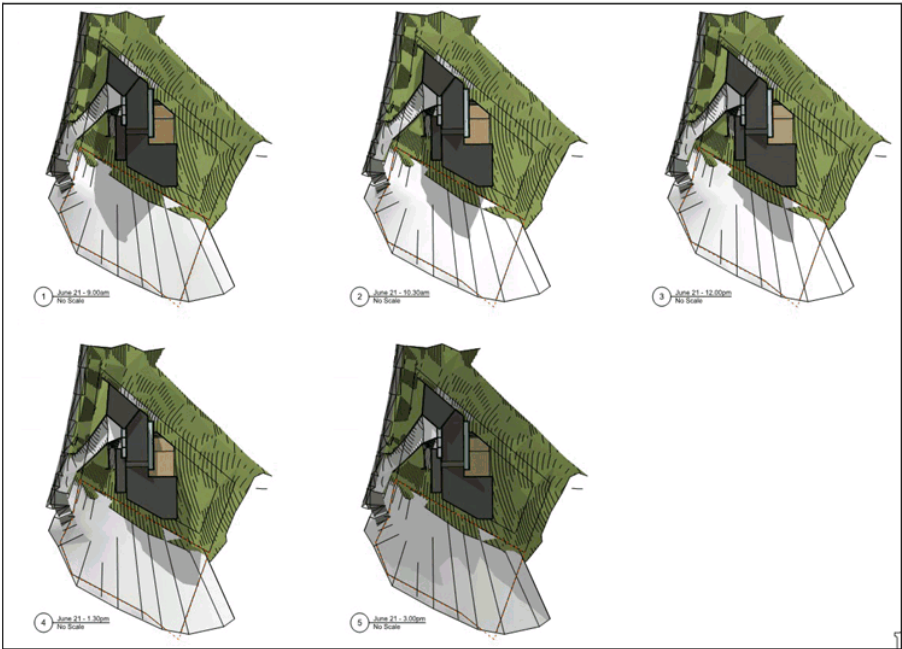


Figure 8:Shadow diagrams of proposed Dwelling at June 21.

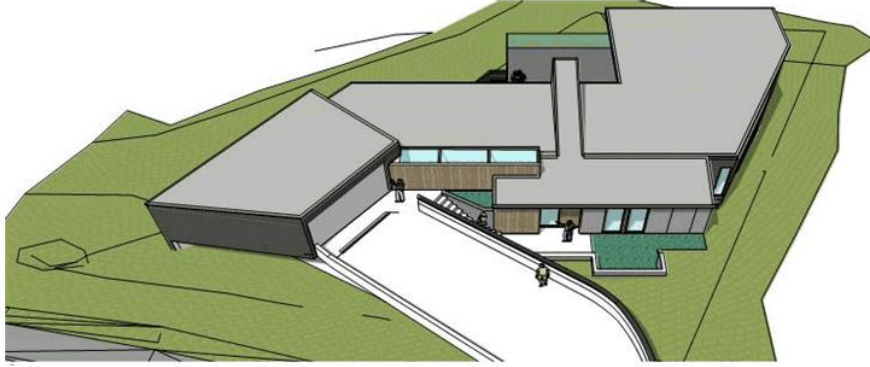


Figure 9: Model perspective showing the street elevation. Source McGrath Reed.



Figure 10: Model perspective showing the north elevation. Source McGrath Reed.



Figure 11: Model perspective showing the north elevation. Source McGrath Reed.

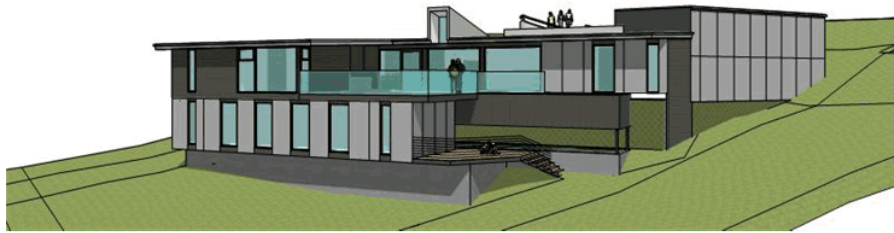


Figure 12: Model perspective showing the rear elevation. Source McGrath Reed.

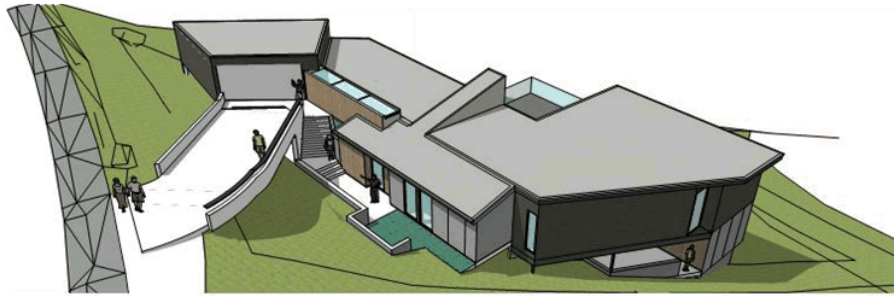


Figure 13: Model perspective showing the south elevation. Source McGrath Reed.



Figure 14: Model perspective showing the south elevation. Source McGrath Reed.

4. Background

- 4.1 There is no relevant background for this application.

5. Concerns raised by representors

- 5.1 No representations were received during the statutory advertising period between 06/01/21 - 20/01/21.

6. Assessment

- 6.1 The *Hobart Interim Planning Scheme 2015* is a performance based planning scheme. To meet an applicable standard, a proposal must demonstrate compliance with either an acceptable solution or a performance criterion. Where a proposal complies with a standard by relying on one or more performance criteria, the Council may approve or refuse the proposal on that basis. The ability to approve or refuse the proposal relates only to the performance criteria relied on.
- 6.2 The site is located within the Low Density Residential Zone of the *Hobart Interim Planning Scheme 2015*.
- 6.3 The existing use is Vacant Land. The proposed use is Residential (single dwelling). The proposed use is a no permit required use in the zone.
- 6.4 The proposal has been assessed against:
- 6.4.1 D12.0 Low Density Residential Zone
 - 6.4.2 E6.0 Parking and Access Code
 - 6.4.3 E7.0 Stormwater Management Code
 - 6.4.4 E10.0 Biodiversity Code
 - 6.4.5 Tolmans Hill Local Area Plan - Stage 17BC
- 6.5 The proposal relies on the following performance criteria to comply with the applicable standards:
- 6.5.1 Low Density Residential Zone:
 - Setbacks and Building Envelope - D12.4.2 P1;P3*
 - Site Coverage and Impervious Surfaces - D12.4.3 P1*
 - Sunlight and Overshadowing - D12.4.4 P1*
 - Privacy - D12.4.6 P2*
 - 6.5.2 Tolmans Hill Local Area Plan - Stage 17BC

Building Area - 4.0
Colour and Finishes - 5.0
Height - 6.0
Vegetation and Landscaping - 7.0

6.5.3 Parking and Access Code:

Design of Vehicular Accesses - E6.7.2 P1

6.6 Each performance criterion is assessed below.

6.7 Setbacks and Building Envelope - D12.4.2 P1

6.7.1 The acceptable solution at clause 12.4.2 A1 requires that a dwelling must have a setback of at least 4.5m from a primary frontage.

6.7.2 The proposed dwelling has a setback of 3m from the primary frontage. Whilst the proposal is for a vacant site, there are no existing dwellings on adjoining sites.

6.7.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.

6.7.4 The performance criterion at clause 12.4.2 P1 provides as follows:

A dwelling must:

(a) be compatible with the relationship of existing buildings to the road in terms of setback or in response to slope or other physical constraints of the site; and

(b) have regard to streetscape qualities or assist the integration of new development into the streetscape.

6.7.5 The adjoining lots to the subject site are currently vacant with no planning approvals for development. The property opposite the subject site, 32 Hillcrest Road, has an approved dwelling with a setback of 7.5m. The proposed setback of 3.3m is assessed as being suitable in response to the slope and other physical constraints of the site. The subject site slopes steeply downhill away from the primary frontage creating difficulties setting back elements of the driveway, garage, and access from the frontage whilst meeting the setback standards. The garage will remain single storey with a flat roof to minimise bulk to the frontage along with

substantial landscaping between the frontage and dwelling which will assist in the integration of the new development into the streetscape.

6.7.6 The proposal complies with the performance criterion.

6.8 Setbacks and Building Envelope - D12.4.2 P3

6.8.1 The acceptable solution at clause 12.4.2 A3 requires that a dwelling must be contained within a building envelope determined by a distance equal to the frontage setback; and projecting a line at an angle of 45 degrees from the horizontal at a height of 3m above natural ground level at the side boundaries and a distance of 4m from the rear boundary to a building height of not more than 8.5m above natural ground level.

6.8.2 The proposal includes part of the dwelling which will project beyond the 45 degree line of the building envelope.

6.8.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.

6.8.4 The performance criterion at clause 12.4.2 P3 provides as follows:

The siting and scale of a dwelling must:

(a) not cause unreasonable loss of amenity by:

(i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining lot; or

(ii) overshadowing the private open space of a dwelling on an adjoining lot; or

(iii) overshadowing of an adjoining vacant lot; or

(iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining lot; and

(b) provide separation between dwellings on adjoining lots that is compatible with that prevailing in the surrounding area.

6.8.5 The recent Tribunal decision of *McCullagh v Glamorgan Spring Bay Council and Ors*, which specifically considered this clause, determined that once a proposal extends outside the acceptable solution building

envelope, a detailed assessment of the performance criterion must be carried out, without reference to the acceptable solution. That is, the permitted building envelope does not provide the test of 'reasonableness' against which a discretionary application is assessed. Instead, the development must be assessed on its merits against the provisions of the performance criterion; that is, (a) does the development cause an unreasonable loss of amenity to neighbours by reduction in sunlight to a habitable room (other than a bedroom), overshadowing of private open space, or visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining lot, and (b) does the development provide separation between dwellings on adjoining lots that is compatible with that prevailing in the vicinity?

The proposed dwelling will be partially outside the building envelope along the primary frontage with a setback of 3m, as well as along the upper roofline of the north and south elevations, these are illustrated in Figure 7. The proposed frontage setback has been proposed by the applicant as a measure to avoid clearance and works for an extended driveway on what is a steep site.

Shadow diagrams on June 21st have been provided by the applicant and are provided in Figure 8. These diagrams illustrate that overshadowing from the proposed development will only impact upon the adjoining lot to the south, 27 Hillcrest Road. The adjoining lot is presently vacant and therefore only subclause (iii) and (iv) will be assessed. With respect to subclause (iii) the proposed dwelling will see overshadowing of the adjoining lot to the south between 9:00am and 1:30pm on June 21st. By 3pm the property is in shade as consequence of its orientation and the topography of the area. From 9:00am until 12:00pm the dwelling will see shadows across the middle of the adjoining lot, extending into the center of the lot before reducing to following the shared boundary. Given the size of the adjoining lot, the total area of overshadowing is a small proportion of the total area, leaving most of the lot with no impacts from the proposed development. It would be unlikely that any future development on the site would be unreasonably impacted or constrained by the forecasted shadowing given the low siting of the shadows and the likelihood any habitable rooms will be located at a higher position above natural ground level. It is therefore assessed that the proposal will not cause an unreasonable loss of amenity by overshadowing of an adjoining vacant lot.

In response to potential visual impacts caused by the apparent scale, bulk or proportions, refer to Figure 9 to 14 above. The proposed dwelling will

be a two storey structure which follows the fall of the land away from the primary frontage. The dwelling will present as bulkiest from the rear where the fall of the land, and building layout will give the impression of a solid form in elevation. This will not present as an unreasonable visual impact as there will be a setback of over 11m from the rear boundary and no residential uses on the adjoining lot to the rear. With respect to views from adjoining property to the north, the proposal will present a solid bulk in the form of the garage and western edge of the dwelling which will extend for 11m and setback 1.5m from the shared side boundary and have a maximum height of 6.9m although the undercroft space will remain open. The remaining elevation of the dwelling will turn inward to the lot, increasing the setback and significantly reducing any impressions of bulk to the adjacent lot. Given the limited length of the garage running parallel to the shared boundary and the limited bulky form, particularly in terms of roof design and undercroft space, the assessment is that this aspect of the proposed dwelling will not present as a visual impact causing an unreasonable loss of amenity. Although not presented in the landscaping plan, there exists an opportunity for further planting along this boundary which will be recommended as a condition of permit, should one be issued.

Similarly, the shared southern boundary will see the proposed dwelling extend for a length of 9.6m with a setback of 1.5m with the dwelling then angling away from the boundary. The heights of the dwelling on this elevation will range between 4.6 and 6.25m in height with a transition from one to two stories as the land slopes downhill. Similar to the garage on the northern boundary, the dwelling elevation facing the southern boundary will present as a solid bulk only on a single level, with the area below either left as open undercroft or an open balcony. The roof form will remain flat and slope downhill, following the topography of the site, and the lower ground floor space will be utilised as open courtyard space with low retaining wall to delineate the separation between the dwelling and the open space. When viewed from the adjoining lot at 27 Hillcrest Road, the proposed dwelling on this elevation will certainly present as a prominent structure, but its bulk will be reduced by these lower ground floor openings as well as flat roof design which reduces the overall height of the dwelling. Therefore, considering the dwelling design, the proposal is considered to not create a visual impact when viewed from an adjoining lot to the extent that it would represent an unreasonable loss of amenity. As with the northern side boundary, although not presented in the landscaping plan, there exists an opportunity for further planting along the boundary which will be recommended in the permit.

With respect to clause (b), the proposed dwelling will be setback a minimum of 1.5m from both side boundaries, although the immediate surrounding area has limited development, a study of the wider Tolmans Hill area indicates that such a setback would not be inconsistent with the prevailing separation between existing dwellings on adjoining lots

6.8.6 The proposal complies with the performance criterion.

6.9 Site Coverage and Impervious Surfaces - D12.4.3 P1

6.9.1 The acceptable solution at clause 12.4.3 A1 requires that dwellings must have a site coverage of not more than 25%.

6.9.2 The proposal includes a site coverage of 32.75%.

6.9.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.

6.9.4 The performance criterion at clause 12.4.3 P1 provides as follows

Dwellings must have:

(a) private open space that is of a size and dimensions that are appropriate for the size of the dwelling and is able to accommodate:

(i) outdoor recreational space consistent with the projected requirements of the occupants; and

(ii) operational needs, such as clothes drying and storage; and

(b) have reasonable space for the planting of gardens and landscaping.

(c) not be out of character with the pattern of development in the surrounding area; and

(d) not result in an unreasonable loss of natural or landscape values.

6.9.5 The proposed dwelling will include an upper floor deck, lower floor deck and lower floor courtyard with a total area of 94m². This area is assessed as being of adequate size and dimensions to provide for outdoor recreational space consistent with the projected requirements of the occupants as well as accommodating any operational needs. The proposed development will also provide for adequate space for the

planting of gardens and landscaping, including a 3m deep strip along the frontage for landscaping and 268m² of rear yard which will remain undeveloped for further plantings. The extent of development and coverage area will not be out of character with the pattern of development in the surrounding area which has trended towards large single dwellings within a vegetated setting. As the site is presently cleared as part of subdivision works, the proposed landscaping will ensure that the future development will not result in an unreasonable loss of natural or landscape values.

6.9.6 The proposal complies with the performance criterion.

6.10 Sunlight and Overshadowing - D12.4.4 P1

6.10.1 The acceptable solution at clause 12.4.4 A1 requires that a dwelling must have at least one habitable room (other than a bedroom) window that faces between 30 degrees west of north and 30 degrees east of north.

6.10.2 The proposal includes windows to the kitchen, sitting, and dining rooms which face 39 degrees east of north

6.10.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.

6.10.4 The performance criterion at clause 12.4.4 P1 provides as follows

A dwelling must be sited and designed so as to allow sunlight to enter at least one habitable room (other than a bedroom).

6.10.5 The proposed dwelling will be appropriately designed through full height windows and roof light on the eastern elevation to allow sunlight into the upper floor habitable rooms which include the sitting, dining rooms and kitchen.

6.10.6 The proposal complies with the performance criterion.

6.11 Privacy – D12.4.6 P2

6.11.1 The acceptable solution at clause 12.4.6 A2 requires a window to a habitable room of a dwelling that has a floor level more than 1m above the natural ground level must have a setback of at least 3m from a side boundary unless the window is offset from the edge of a window to a habitable room of another dwelling; or has a sill or fixed screen to a height

of 1.7m above the floor level.

6.11.2 The proposal includes a full height window to a habitable room (lounge) with a floor level more than 1m above natural ground level and a setback of 1.7m from the southern side boundary.

6.11.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.

6.11.4 The performance criterion at clause 12.4.6 P2 provides as follows

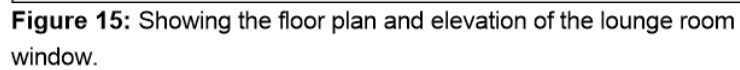
A window or glazed door, to a habitable room of a dwelling, that has a floor level more than 1 m above the natural ground level, must be screened, or otherwise located or designed, to minimise direct views to:

(a) a window or glazed door, to a habitable room of another dwelling; and

(b) the private open space of another dwelling; and

(c) an adjoining vacant residential lot.

6.11.5 The proposed lounge window will overlook an adjoining vacant residential lot and will be setback between 1.92m and 2.5m from the shared side boundary. The proposed window will be a full height window with a width of 1.15m and will be located at one end of the lounge room wall. Given the positioning of the window in the context of the room, the angle of the window in contrast to the dwelling walls, and the width of the window, it is assessed that the design is to act as more of an opportunity for light and views towards bushland rather than maximising the overlooking potential directly into the adjoining residential lot.



- The building area for the subject site is identified in the Local Area Plan is shown in the image below. The building area is pushed back well away from the road, reflecting the existing embankment easement that runs through this and adjoining sites (refer also Figure 2 above).



Figure 16: Showing the proposed building envelope for the subject site (lot 38).

The proposed development includes an elevated driveway, retaining walls, garage, entrance and landscaping, and large portion of the main dwelling which will be outside and forward of the permitted building area. The positioning of the garage and dwelling outside this area, and closer to the primary frontage, is seen as an appropriate outcome as it reduces the extent of disturbance from cutting and filling, and also the extent of works and infrastructure required for access, if the dwelling were to be centrally located on the site. That is, having the dwelling closer to the street is considered to be a preferable outcome in terms of protecting the bushland character of the area. It is also noted that the footprint of the proposed building (301sqm) is less than the building area (316sqm), and the amount of land to be landscaped exceeds both at 375sqm.

The proposed development will also would not be highly visible and would not have an unacceptable visual impact when viewed from the street as the building bulk on this elevation will be limited, given the design response to the topography of the site. With respect to view from adjoining lots, the view from 31 Hillcrest Road is considered acceptable as there will be a pipeline easement allowing for a 9m open space. The proposed dwelling will have greatest visibility from 27 Hillcrest Road, to the south of the subject site, with a wall approximately 9.6m long setback 1.5m from the shared boundary As discussed in paragraph 6.8.5 the

facades facing this boundaries will not have an unacceptable visual impact from surrounding properties given the reduced bulk and opportunity for further planting and landscaping. Given the orientation of the lots, the primary views will be to the east towards the River Derwent, further reducing the likelihood of adjoining dwellings to the north and south presenting as a visual impacts.

It is noted that council's engineering and surveying officers are supportive of the proposal encroaching into the existing embankment easement, subject to conditions.

6.12.2 Colour and Finshes

The proposed external colours and finishes would generally comply with the acceptable dark toned colours, however some cladding would be lighter. This would fall within the mid toned colours and is considered to comply with the Performance Criteria.

6.12.3 Height

The proposed dwelling will have a maximum height of 8.27m above natural ground level which is higher than the permitted height of 7m. The proposed dwelling would be two storeys which will be slightly stepped down the slope of the hill although there has been a priority on maintaining uniform floor levels across the dwelling which has increased the total height accounting for the slope of the site. It is considered that this dwelling would not be out of character with the existing pattern of development in this part of Tolmans Hill. It is also considered that this would not make the dwelling more visible from outside Tolmans Hill than other dwellings or more than would be acceptable. The dwelling will also not have an unreasonable impact on views from adjoining properties as it will sit topographically lower than the frontage, and remain consistent in form with surrounding development.

6.12.4 Vegetation and Landscaping

The proposed development includes the removal of native vegetation from outside the area of disturbance. The six trees proposed for removal include two outside the area of disturbance which have been identified as one *Eucalyptus pulchella* and one *Eucalyptus viminalis*. These trees would be located to the west and south of the dwelling. It is considered that removal of these trees would not have an unreasonable visual impact. Vegetation removal was assessed in more detail against the Biodiversity

Code requirements and found to be in compliance with clause E10.7.1 A1(b) because the vegetation only represents 'low priority biodiversity values.'

6.13 Design of Vehicular Accesses - E6.7.2 P1

6.13.1 The acceptable solution at clause 6.7.2 A1 requires that, in the case of non-commercial vehicle access, the location, sight distance, width and gradient of an access must be designed and constructed to comply with section 3 – "Access Facilities to Off-street Parking Areas and Queuing Areas" of AS/NZS 2890.1:2004 Parking Facilities Part 1: Off-street car parking.

6.13.2 The provided documentation presents gradients and horizontal angles of the access which do not comply with the Australian Standards.

6.13.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.

6.13.4 The performance criterion at clause 6.7.2 P1 provides as follows

Design of vehicle access points must be safe, efficient and convenient, having regard to all of the following:

(a) avoidance of conflicts between users including vehicles, cyclists and pedestrians;

(b) avoidance of unreasonable interference with the flow of traffic on adjoining roads;

(c) suitability for the type and volume of traffic likely to be generated by the use or development;

(d) ease of accessibility and recognition for users.

6.13.5 Referral was made to Council's Development Engineer who has provided the following assessment:

The documents provided have identified that the proposal is acceptable in accordance with the performance criteria.

6.13.6 The proposal complies with the performance criterion.

7. Discussion

- 7.1 Planning approval is sought for a dwelling at 29 Hillcrest Road, Tolmans Hill and Adjacent Road Reserve.
- 7.2 The application was advertised and no representations were received.
- 7.3 The proposal has been assessed against the relevant provisions of the planning scheme and is considered to perform well. The proposal has also been assessed against the Tolmans Hill Local Area Plan for Stage 17BC and is considered to comply.
- 7.4 The proposal has been assessed by other Council officers, including the Council's Development Engineer, Environmental Development Planner, Roads Engineer and Survey Officer. The officers have raised no objection to the proposal, subject to conditions.
- 7.5 The proposal is recommended for approval.

8. Conclusion

- 8.1 The proposed dwelling at 29 Hillcrest Road, Tolmans Hill and Adjacent Road Reserve satisfies the relevant provisions of the *Hobart Interim Planning Scheme 2015*, and as such is recommended for approval.

9. Recommendations

That: Pursuant to the *Hobart Interim Planning Scheme 2015*, the City Planning Committee, in accordance with the delegations contained in its terms of reference, approve the application for a dwelling at 29 Hillcrest Road, Tolmans Hill and Adjacent Road Reserve for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

GEN

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-20-498 - 29 HILLCREST ROAD TOLMANS HILL TAS 7007 - Final Planning Documents except where modified below.

Reason for condition

To clarify the scope of the permit.

TLAP 2

Landscaping of the site must be completed within 12 months of first occupation and maintained for the life of the building.

Prior to the issue of any consent under the *Building Act 2016*, a revised Landscaping Plan must be submitted and approved, to the satisfaction of the Directory City Planning. The revised Landscaping Plan must be generally in accordance with the Landscaping Plan in the Final Planning Documents, but also show additional landscaping on the northern side of the garage structure, to mitigate the visual impact of the proposal on the adjoining lot.

All work required by this condition must be undertaken in accordance with the approved revised Landscape Plan.

Reason for condition

In the interest of protection of the landscape value of the area, and to minimise the spread of weeds.

ENG sw1

All stormwater from the proposed development (including but not limited to:

roofed areas, as drains, retaining wall as drains and impervious surfaces such as driveways and paved areas) must be drained to the Council's stormwater infrastructure prior to first occupation or commencement of use (whichever occurs first).

Advice: Under section 23 of the Urban Drainage Act 2013 it is an offence for a property owner to direct stormwater onto a neighbouring property.

Reason for condition

To ensure that stormwater from the site will be discharged to a suitable Council approved outlet.

ENG 2a

Prior to first occupation or commencement of use (whichever occurs first), vehicular barriers compliant with the Australian Standard AS/NZS1170.1:2002 must be installed to prevent vehicles running off the edge of an access driveway or parking module (parking spaces, aisles and manoeuvring area) where the drop from the edge of the trafficable area to a lower level is 600mm or greater, and wheel stops (kerb) must be installed for drops between 150mm and 600mm. Barriers must not limit the width of the driveway access or parking and turning areas approved under the permit.

Advice:

- *The Council does not consider a slope greater than 1 in 4 to constitute a lower level as described in AS/NZS 2890.1:2004 Section 2.4.5.3. Slopes greater than 1 in 4 will require a vehicular barrier or wheel stop.*
- *Designers are advised to consult the [National Construction Code 2016](#) to determine if pedestrian handrails or safety barriers compliant with the NCC2016 are also required in the parking module this area may be considered as a path of access to a building.*

Reason for condition

To ensure the safety of users of the access driveway and parking module and compliance with the standard.

ENG 2b

Prior to the issue of any approval under the **Building Act 2016** or the commencement of works on site (whichever occurs first), a certified vehicle barrier design (including site plan with proposed location(s) of installation)

prepared by a suitably qualified engineer, compliant with Australian Standard AS/NZS1170.1:2002, must be submitted to Council.

Advice:

- *If the development's building approval includes the need for a Building Permit from Council, the applicant is advised to submit detailed design of vehicular barrier as part of the Building Application.*
If the development's building approval is covered under Notifiable Work the applicant is advised to submit detailed design of vehicular barrier as a condition endorsement of the planning permit condition. Once the certification has been accepted, the Council will issue a condition endorsement (see general advice on how to obtain condition endorsement).

Reason for condition

To ensure the safety of users of the access driveway and parking module and compliance with the standard.

ENG 2c

Prior to the first occupation, vehicular barriers must be inspected by a qualified engineer and certification submitted to the Council confirming that the installed vehicular barriers comply with the certified design and Australian Standard AS/NZS1170.1:2002.

Advice:

- *Certification may be submitted to the Council as part of the Building Act 2016 approval process or via condition endorsement (see general advice on how to obtain condition endorsement)*

Reason for condition

To ensure the safety of users of the access driveway and parking module and compliance with the relevant standards.

ENG 3b

The access driveway, and parking module (parking spaces, aisles and manoeuvring area) design must be submitted and approved, prior to the issuing of any approval under the *Building Act 2016*.

The access driveway, and parking module (parking spaces, aisles and manoeuvring area) design must:

1. **Be prepared and certified by a suitably qualified engineer,**
2. **Be generally in accordance with the Australian Standard AS/NZS2890.1:2004,**
3. **Where the design deviates from AS/NZS2890.1:2004 the designer must demonstrate that the design will provide a safe and efficient access, and enable safe, easy and efficient use, and**
4. **Show dimensions, levels, gradients & transitions, and other details as Council deem necessary to satisfy the above requirement.**

Advice:

- *It is advised that designers consider the detailed design of the access and parking module prior to finalising the Finished Floor Level (FFL) of the parking spaces (especially if located within a garage incorporated into the dwelling), as failure to do so may result in difficulty complying with this condition.*
- *Once the design has been approved, the Council will issue a condition endorsement (see general advice on how to obtain condition endorsement)*
- *Where building approval is also required, it is recommended that documentation for condition endorsement be submitted well before submitting documentation for building approval. Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.*

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

ENG 3c

The access driveway, and parking module (parking spaces, aisles and manoeuvring area) must be constructed in accordance with the design drawings approved by Condition ENG 3b.

Prior to the first occupation, documentation by a suitably qualified engineer certifying that the access driveway and parking module has been constructed in accordance with the above drawings must be lodged with Council.

Advice:

- *Certification may be submitted to Council as part of the Building Act 2016 approval process or via condition endorsement (see general advice on how to obtain condition endorsement)*

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

ENG 4

The access driveway and parking module (car parking spaces, aisles and manoeuvring area) approved by this permit must be constructed to a sealed standard (spray seal, asphalt, concrete, pavers or equivalent Council approved) and surface drained to the Council's stormwater infrastructure prior to the first occupation.

Reason for condition

To ensure the safety of users of the access driveway and parking module, and that it does not detract from the amenity of users, adjoining occupiers or the environment by preventing dust, mud and sediment transport.

ENG 1

Any damage to council infrastructure resulting from the implementation of this permit, must, at the discretion of the Council:

1. **Be met by the owner by way of reimbursement (cost of repair and reinstatement to be paid by the owner to the Council); or**
2. **Be repaired and reinstated by the owner to the satisfaction of the Council.**

A photographic record of the Council's infrastructure adjacent to the subject site must be provided to the Council prior to any commencement of works.

A photographic record of the Council's infrastructure (e.g. existing property service connection points, roads, buildings, stormwater, footpaths, driveway crossovers and nature strips, including if any, pre-existing damage) will be relied upon to establish the extent of damage caused to the Council's infrastructure during construction. In the event that the owner/developer fails to provide to the Council a photographic record of the Council's infrastructure, then any damage to the Council's infrastructure found on completion of works will be deemed to be the responsibility of the owner.

Reason for condition

To ensure that any of the Council's infrastructure and/or site-related service connections affected by the proposal will be altered and/or reinstated at the owner's full cost.

ENG r1

The excavation, footings and suspended driveway within or supporting the highway reservation must not undermine the stability and integrity of the highway reservation and its infrastructure.

Detailed design drawings and design structural certificates of the suspended driveway supporting structure within the embankment easement must be submitted and approved, prior to issuing any approval under the Building Act 2016 and must:

1. **Be prepared and certified by a suitable qualified person and experienced engineer;**
2. **Not undermine the stability of the embankment easement;**
3. **Be designed in accordance with AS4678, with a design life in accordance with table 3.1 typical application major public infrastructure works;**
4. **Take into account any additional surcharge loadings as required by relevant Australian Standards;**
5. **Take into account and reference accordingly any Geotechnical findings; and**
6. **Include a structure certificate which notes the suspended driveway and the footings will not affect the stability of the embankment easement.**

The structure certificated and/or drawings should note accordingly the above.

All work required by this condition must be undertaken in accordance with the approved select design drawing and structural certificates.

Advice:

- *The applicant is required submit detailed design documentation to satisfy this condition via Council's planning condition endorsement process (noting there is a fee associated with condition endorsement approval of engineering drawings [see general advice on how to obtain condition endorsement and for fees and charges]). This is a separate process to any building approval under the Building Act 2016.*
- *Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.*

Reason for condition

To ensure that the stability and integrity of the Council's highway reservation is not compromised by the development.

ENV 1

Sediment and erosion control measures sufficient to prevent sediment from leaving the site must be installed prior to any disturbance of the site, and maintained until all areas of disturbance have been stabilized or re-vegetated.

Advice: For further guidance in preparing a Soil and Water Management Plan – in accordance with Fact sheet 3 Derwent Estuary Program click [here](#).

Reason for condition

To avoid the sedimentation of roads, drains, natural watercourses, Council land that could be caused by erosion and runoff from the development, and to comply with relevant State legislation.

Part 5 r1

The owner(s) of the property must enter into an agreement with the Council pursuant to Part 5 of the *Land Use Planning and Approvals Act 1993* with respect to the protection of retaining walls, buildings adjacent to the Hillcrest Road highway reservation prior to the commencement of work.

The owner must not undertake any works at any time (including excavation and building) that will have any effect on the integrity of the Hillcrest Road highway reservation or any retaining structure adjacent to Hillcrest Road highway reservation or the road formation themselves or undermine the structural integrity of the highway reservation.

All costs for the preparation and registration of the Part 5 Agreement must be met by the owner.

The owner must comply with the Part 5 Agreement which will be placed on the property title.

Advice:

- *For further information with respect to the preparation of a Part 5 agreement please contact Council Development Engineering Staff.*

Reason for condition

To ensure the protection of Council are retained.

SUB s1

The existing Embankment Easement created by E199662 must be amended pursuant to section 108 of the *Land Titles Act 1980* such that the Embankment Easement is clear of the proposed development, to the satisfaction of the Council's Manager Surveying Services, prior to the issue of any building consent under the *Building Act 2016*.

Reason for condition

To ensure that the proposed development does not encroach into the Embankment Easement over Lot 35 on Sealed Plan 178129

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

CONDITION ENDORSEMENT ENGINEERING

All engineering drawings required to be submitted and approved by this planning permit must be submitted to the City of Hobart as a CEP (Condition Endorsement) via the City's [Online Service Development Portal](#). When lodging a CEP, please reference the PLN number of the associated Planning Application. Each CEP must also include an estimation of the cost of works shown on the submitted engineering drawings. Once that estimation has been confirmed by the City's Engineer, the following fees are payable for each CEP submitted and must be paid prior to the City of Hobart commencing assessment of the engineering drawings in each CEP:

Value of Building Works Approved by Planning Permit Fee:

- Over \$20,000: 2% of the value of the works as assessed by the City's Engineer per assessment.

These fees are additional to building and plumbing fees charged under the Building and Plumbing Regulations.

Once the CEP is lodged via the [Online Service Development Portal](#), if the value of building works approved by your planning permit is over \$20,000, please contact the City's Development Engineer on 6238 2715 to confirm the estimation of the cost of works shown on the submitted engineering drawings has been accepted.

Once confirmed, please call one of the City's Customer Service Officers on 6238 2190 to make payment, quoting the reference number (ie. CEP number) of the Condition Endorsement you have lodged. Once payment is made, your engineering drawings will be assessed.

BUILDING PERMIT

You may need building approval in accordance with the *Building Act 2016*. Click [here](#) for more information.

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

PLUMBING PERMIT

You may need plumbing approval in accordance with the *Building Act 2016*, *Building Regulations 2016* and the National Construction Code. Click [here](#) for more information.

TOLMANS HILL LOCAL AREA PLAN

The Tolmans Hill Local Area Plan (Stage 17BC) is available [here](#).

Front fences must not be erected on the property, and side boundary fences must be in accordance with the provisions of the relevant Tolmans Hill Local area Plan.

This approval and subsequent conditions are given in the knowledge that the Part 5 Agreement on the title (CT 178129/38) to the property is effective and binds the applicant to the restrictions and controls of the Local Area Plan.

Plant species listed in Council's Restricted Plant List: Potentially Invasive Species Generally Unsuitable for Planting in or Adjacent Bushland, Riparian and Coastal Areas (June 2011) must not be planted on the lot (available [here](#)).

OCCUPATION OF THE PUBLIC HIGHWAY

You may require a Permit to Open Up and Temporarily Occupy a Highway (for work in the road reserve). Click [here](#) for more information.

BUILDING OVER AN EASEMENT

In order to build over the service easement, you will require the written consent of the person on whose behalf the easement was created, in accordance with section 74 of the *Building Act 2016*.

STORM WATER

Please note that in addition to a building and/or plumbing permit, development must be in accordance with the Hobart City Council's Infrastructure By law. Click [here](#) for more information.

WORK WITHIN THE HIGHWAY RESERVATION

Please note development must be in accordance with the Hobart City Council's Infrastructure By law. Click [here](#) for more information.

DRIVEWAY SURFACING OVER HIGHWAY RESERVATION

If a coloured or textured surface is used for the driveway access within the Highway Reservation, the Council or other service provider will not match this on any reinstatement of the driveway access within the Highway Reservation required in the future.

ACCESS

Designed in accordance with LGAT- IPWEA – Tasmanian standard drawings. Click [here](#) for more information.

CROSS OVER CONSTRUCTION

The construction of the crossover can be undertaken by the Council or by a private contractor, subject to Council approval of the design. Click [here](#) for more information.

WEED CONTROL

Effective measures are detailed in the Tasmanian Washdown Guidelines for Weed and Disease Control: Machinery, Vehicles and Equipment (Edition 1, 2004). The guidelines can be obtained from the Department of Primary Industries, Parks, Water and Environment [website](#).

NOISE REGULATIONS

Click [here](#) for information with respect to noise nuisances in residential areas.

FEES AND CHARGES

Click [here](#) for information on the Council's fees and charges.

DIAL BEFORE YOU DIG

Click [here](#) for dial before you dig information.



(Michael McClenahan)
Assistant Planner

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.



(Ben Ikin)
Senior Statutory Planner

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

Date of Report: 21 January 2021

Attachment(s):

Attachment B - CPC Agenda Documents

Planning: #210704

Property

DEFAULT RESERVES BOOKING PROPERTY 16 ELIZABETH STREET HOBART
TAS 7001

People

Applicant
"ALEXANDER REED
26 / 93 SALAMANCA PLACE
BATTERY POINT TAS 7004
0400672203
admin@mccarthyreed.com.au

Owner
"PRIYA COMMANE
PO BOX 171
SANDY BAY TAS 7006
0457832005
adam@newcomindustries.com

Entered By
ALEXANDER REED
26 / 93 SALAMANCA PLACE
BATTERY POINT TAS 7004
0400672203
admin@mccarthyreed.com.au

Use

Single dwelling

Details

Have you obtained pre application advice?

No

If YES please provide the pre application advice number eg PAE-17-xx

Are you applying for permitted visitor accommodation as defined by the State Government Visitor Accommodation Standards? Click on help information button for definition. If you are not the owner of the property you MUST include signed confirmation from the owner that they are aware of this application.

No

Is the application for SIGNAGE ONLY? If yes, please enter \$0 in the cost of development, and you must enter the

number of signs under Other Details below.

• No

If this application is related to an enforcement action please enter Enforcement Number

Details

What is the current approved use of the land / building(s)?

RESIDENTIAL LAND

Please provide a full description of the proposed use or development (i.e. demolition and new dwelling, swimming pool and garage)

NEW RESIDENCE, GARAGE AND POOL

Estimated cost of development

0000.00

Existing floor area (m2)	Proposed floor area (m2)	Site area (m2)
0.00	275.49	302

Carparking on Site

Total parking spaces Existing parking spaces N/A

2 0 Other (no select this choice)

Other Details

Does the application include signage?

No

How many signs, please enter 0 if there are none involved in this application?

0

Tasmania Heritage Register

Is this property on the Tasmanian Heritage Register?

• No

Documents

Required Documents

Title (Folio text and Plan and Schedule of Easements)

29 HILLCREST RD - CERTIFICATE OF TITLE.pdf

Plans (proposed, existing)

29 HILLCREST - DEVELOPMENT APPLICATION - 1.pdf

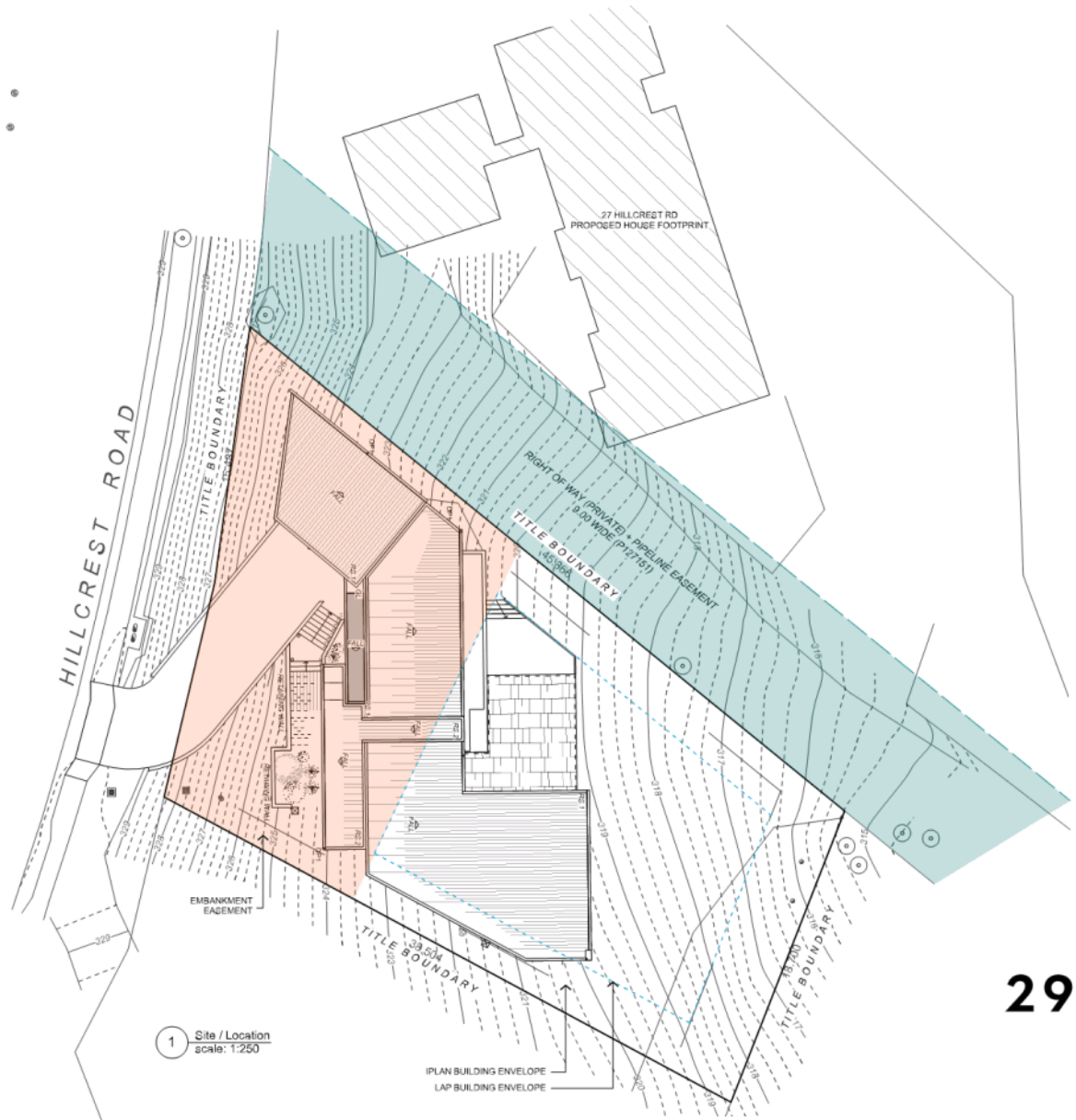
Supporting Documents

Bushfire Management Plan

29 Hillcrest Rd, Tolmans Hill - BAI, AssRep, 30.7.2020.pdf

Flora and Fauna Report

ECOTAS 29 Hillcrest Road - Statement.pdf



SITE INFORMATION:

ZONING:	12.0 LOW DENSITY RESIDENTIAL
OVERLAY:	116 BPA - BIO DIVERSITY PROTECTION AREA 116 FRE - BUGHFIRE PRONE AREA
BAL RATING:	29
CORROSION ENVIRONMENT:	MODERATE
DESIGN WIND SPEED:	N3
SOIL CLASSIFICATION:	M - MODERATELY REACTIVE CLAY
CLIMATE ZONE:	7
LAND TITLE REFERENCE:	178129/28
MAX ALLOWED SITE COVERAGE:	25% 230m2
FLOOR AREAS:	
UPPER:	180.2m2
UPPER DECK:	52.2m2
LOWER:	86.4m2
LOWER DECK:	20.2m2
LOWER COURTYARD:	21.5m2
GARAGE:	49.7m2
ROOFED AREA (excluding eaves up to 0.6m):	301.8m2
SITE AREA	922m2
SITE COVERAGE	32.75%

DRAWING REGISTER:

A101	SITE PLAN
A102	LANDSCAPE PLAN
A103	DRIVEWAY
A201	LOWER GROUND FLOOR PLAN
A202	GROUND FLOOR PLAN
A203	ROOF PLAN
A301	ELEVATIONS
A302	ELEVATIONS
A401	SECTION A+B
A402	SECTION C+D
A403	SECTION E+F
H1	CONCEPT STORMWATER
M1	MODEL IMAGES
M2	MODEL IMAGES
M3	MODEL IMAGES
M4	MODEL IMAGES
M5	ENVELOPE STUDY
M6	OVERSHADOWING STUDY
C1	MATERIALS

NEW RESIDENCE
29 HILLCREST RD.
TOLMANS HILL ESTATE



REVISION NOTES: REV.	DESCRIPTION	DATE
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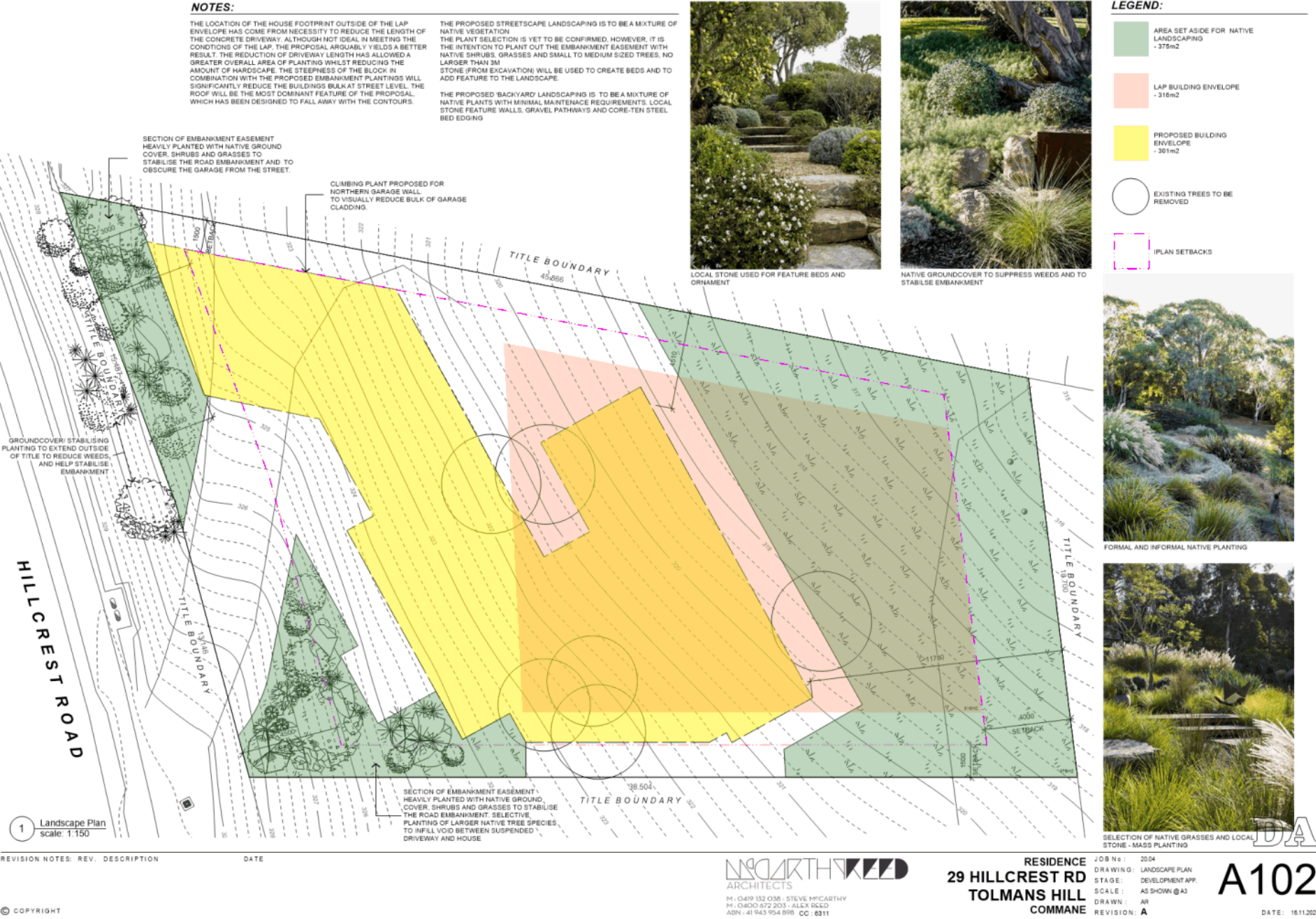


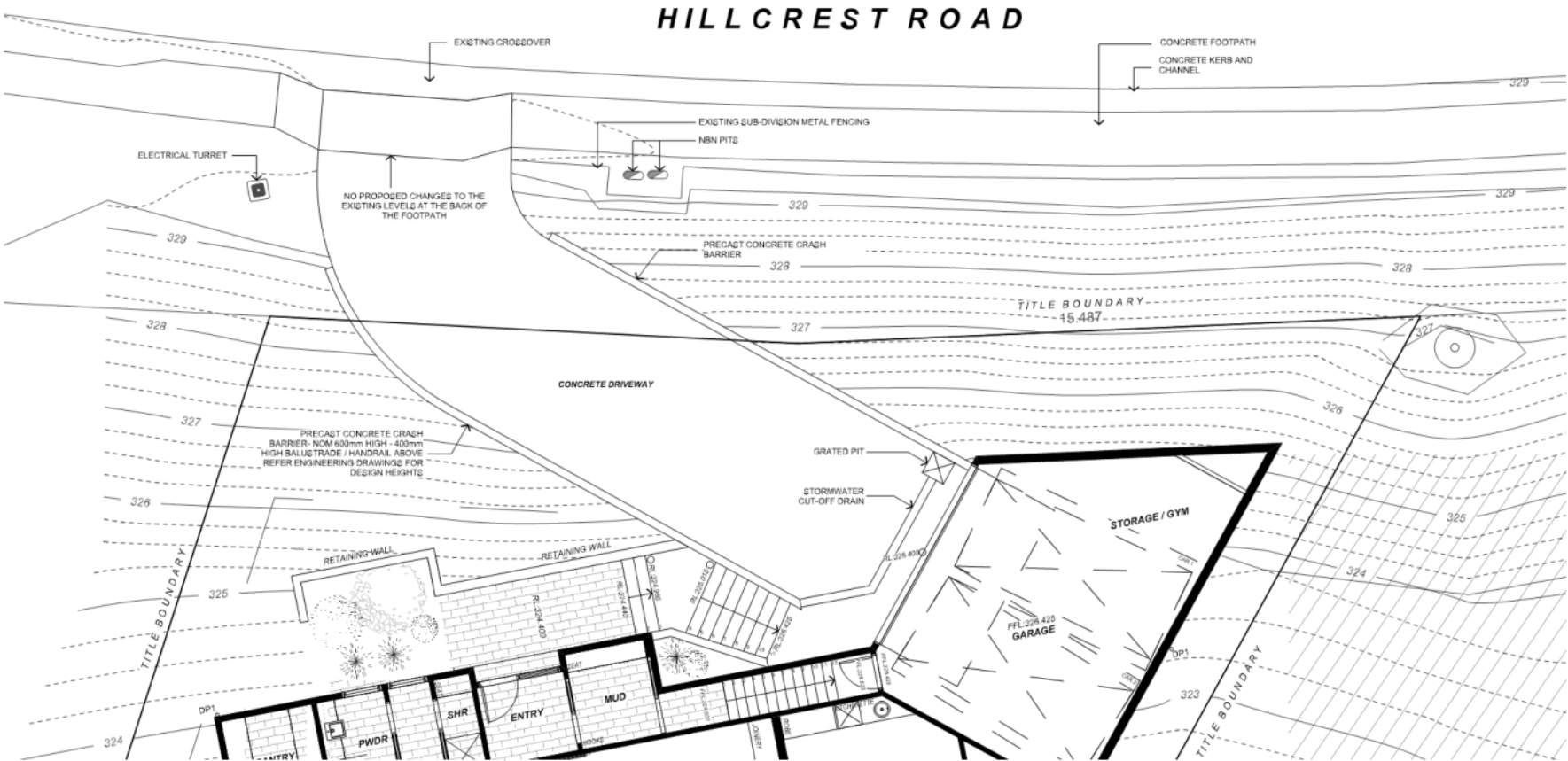
NDA
ARCHITECTS
M: 0419 152 036 - STEVE MCCARTHY
M: 0400 672 203 - ALEX 9540
ABN: 41 943 954 896 CC: 6011

RESIDENCE
29 HILLCREST RD
TOLMANS HILL
COMMUNE

JOB No: 2004
DRAWING: SITE PLAN
STAGE: DEVELOPMENT APP.
SCALE: AS SHOWN @ A3
DRAWN: AR
REVISION: *

A101
DATE: 06.11.2020





1 Driveway Plan
scale: 1:100

REVISION NOTES: REV. DESCRIPTION DATE

0 1 2 3 4 5M

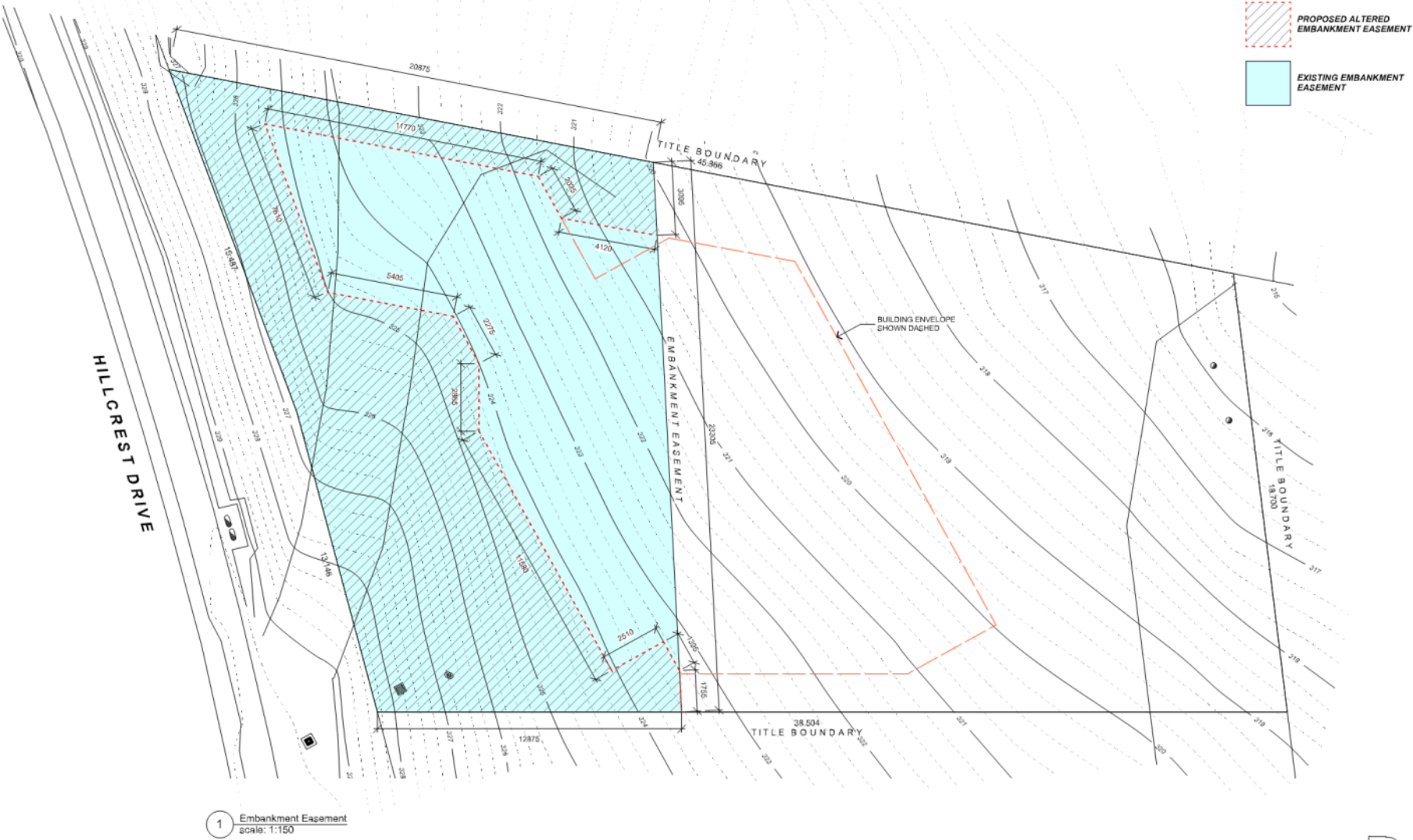
MCARTHY ARCHITECTS
M: 0419 152 036 - STEVE MCARTHY
M: 0400 672 203 - ALEX DECO
ABN: 41 943 954 896 CC: 6011

RESIDENCE
29 HILLCREST RD
TOLMANS HILL
COMMUNE

JOB No: 2004
DRAWING: DRIVEWAY PLAN
STAGE: DEVELOPMENT APP.
SCALE: AS SHOWN @ A3
DRAWN: AR
REVISION: *

DA
A103

DATE: 06.11.2020



REVISION NOTES: REV. DESCRIPTION DATE

ARCHITECTS
M. O'NEILL & SONS - STEVE MCCARTHY
M. O'NEILL & SONS - ALEX MCCARTHY
ABN: 41 943 954 896 CC: 6011

RESIDENCE
29 HILLCREST RD
TOLMANS HILL
COMMUNE

JOB No: 2004
DRAWING: EMBANKMENT EASEMENT
STAGE: DEVELOPMENT APP.
SCALE: AS SHOWN ON A3
DRAWN: AR
REVISION: *

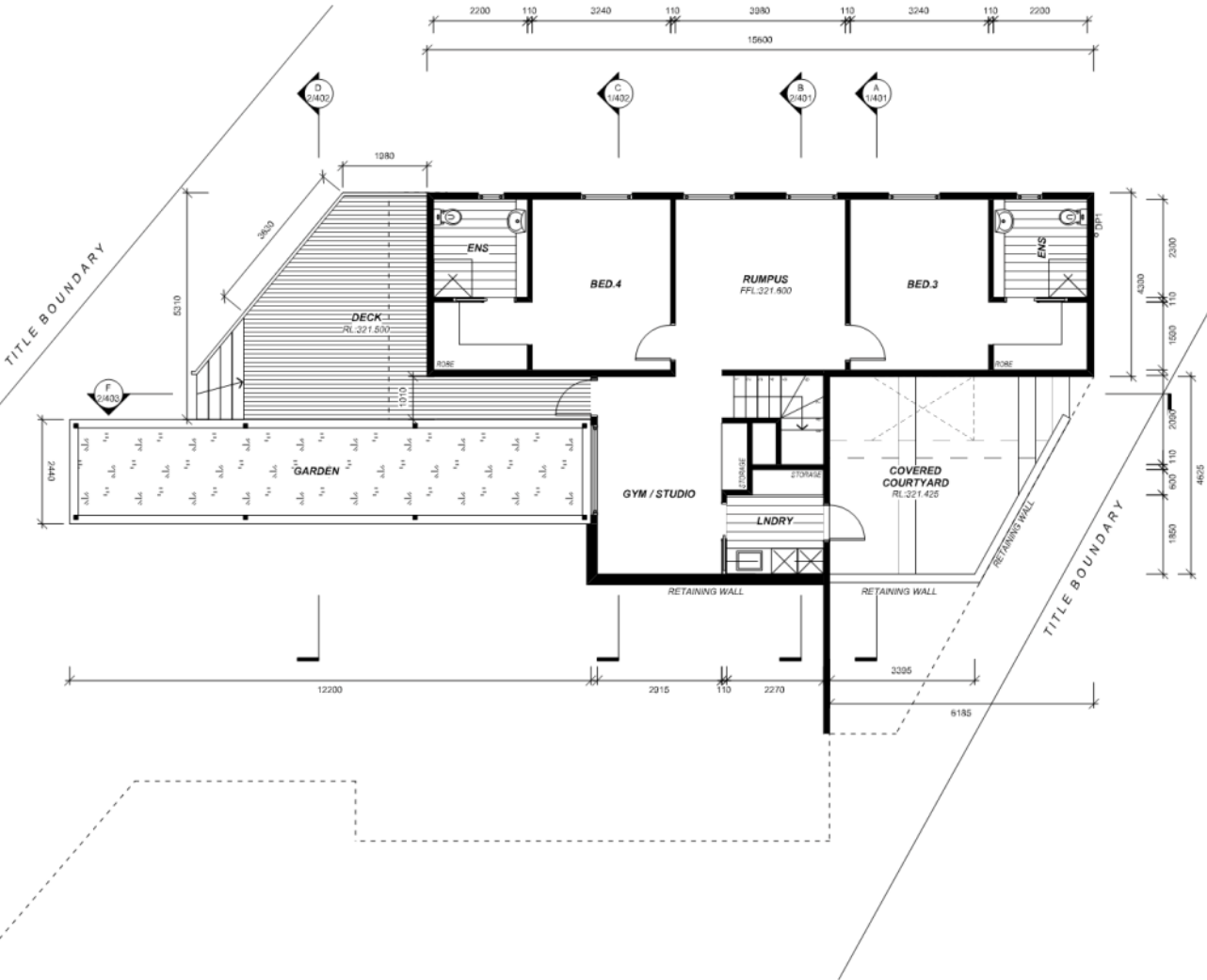
DA

A104

DATE: 09.12.2020

MATERIALS:

- BA.1 BALUSTRADE 1:**
SS WIRE BALUSTRADE - STEEL UPRIGHTS
PAINT FINISH
- BA.2 BALUSTRADE 2:**
GLAZED BALUSTRADE NOM 1.2m HIGH
SS SPIGOTS
- BW BLOCKWORK**
CONCRETE BLOCKWORK WALL
RENDER FINISH - NIL COLOUR
- CO.1 CONCRETE 1:**
NOM 100 THICK CONCRETE DRIVEWAY TO
ENS SPEC
WOOD FLOAT FINISH
- DK.1 DECKING 1:**
BUSHPIRE REGISTER SPECIES
FINISH: CUTER CD50 OIL
- ET.1 EXTERNAL TILE 2:**
KEOPE CHORUS GREY - 800x300 TILE
- GL GLAZING**
ALUMINIUM FRAMED DOUBLE GLAZING
COLOUR: WOODLAND GREY
- RS.1 ROOF SHEET 1:**
TRIMDEK PROFILE (3'')
COLOUR: SHALE GREY
- RS.2 ROOF SHEET 2:**
TRIMDEK PROFILE (14'')
COLOUR: SHALE GREY
- RS.3 ROOF SHEET 3:**
COLOURBOND FLAT SHEET STEEL
COLOUR: SHALE GREY
- ST. STEEL:**
SHIPPING CONTAINER
COLOUR: WOODLAND GREY
- WC.1 WALL CLADDING 1:**
CEMENTEL BARESTONE
NIL FINISH
- WC.2 WALL CLADDING 2:**
SCYON LINEAR
PAINT FINISH - DULUX WOODLAND GREY
- WC.3 WALL CLADDING 3:**
BUSHPIRE REGISTER SPECIES
FINISH: CUTER CD50 - NATURAL OIL FINISH
- WC.4 WALL CLADDING 4:**
9mm CEMENT SHEET
PAINT FINISH
COLOUR: WOODLAND GREY



1 Lower Ground Floor Plan
scale: 1:100

REVISION NOTES: REV. DESCRIPTION DATE

0 2 3 4 5M

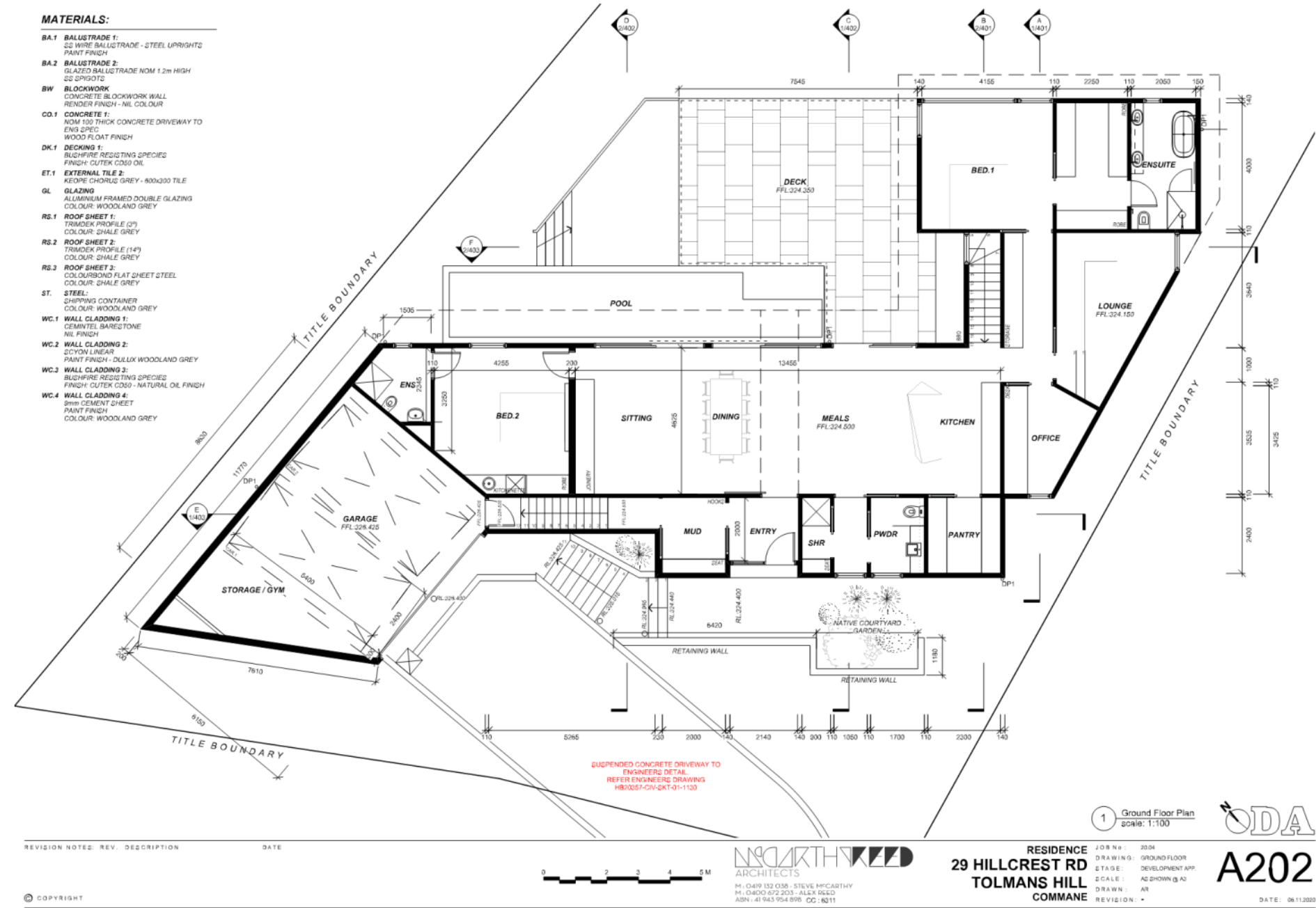
NDCA
ARCHITECTS
M: 0419 152 035 - STEVE MCCARTHY
M: 0400 672 203 - ALEX BACD
ABN: 41 943 954 896 CC: 6011

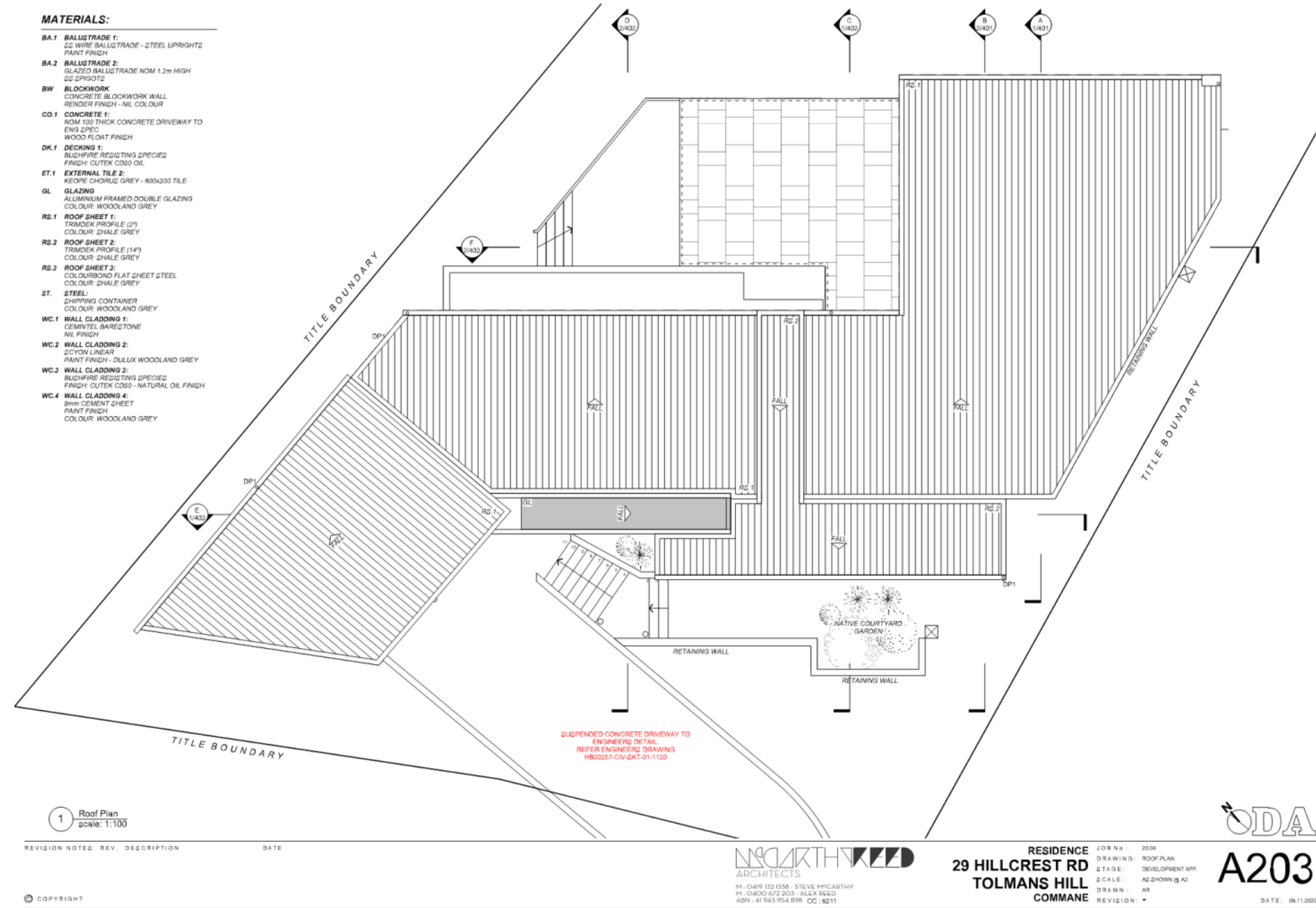
RESIDENCE
29 HILLCREST RD
TOLMANS HILL
COMMANE

JOB No: 2004
DRAWING: LOWER GROUND FLOOR
STAGE: DEVELOPMENT APP.
SCALE: AS SHOWN @ A3
DRAWN: AR
REVISION: *

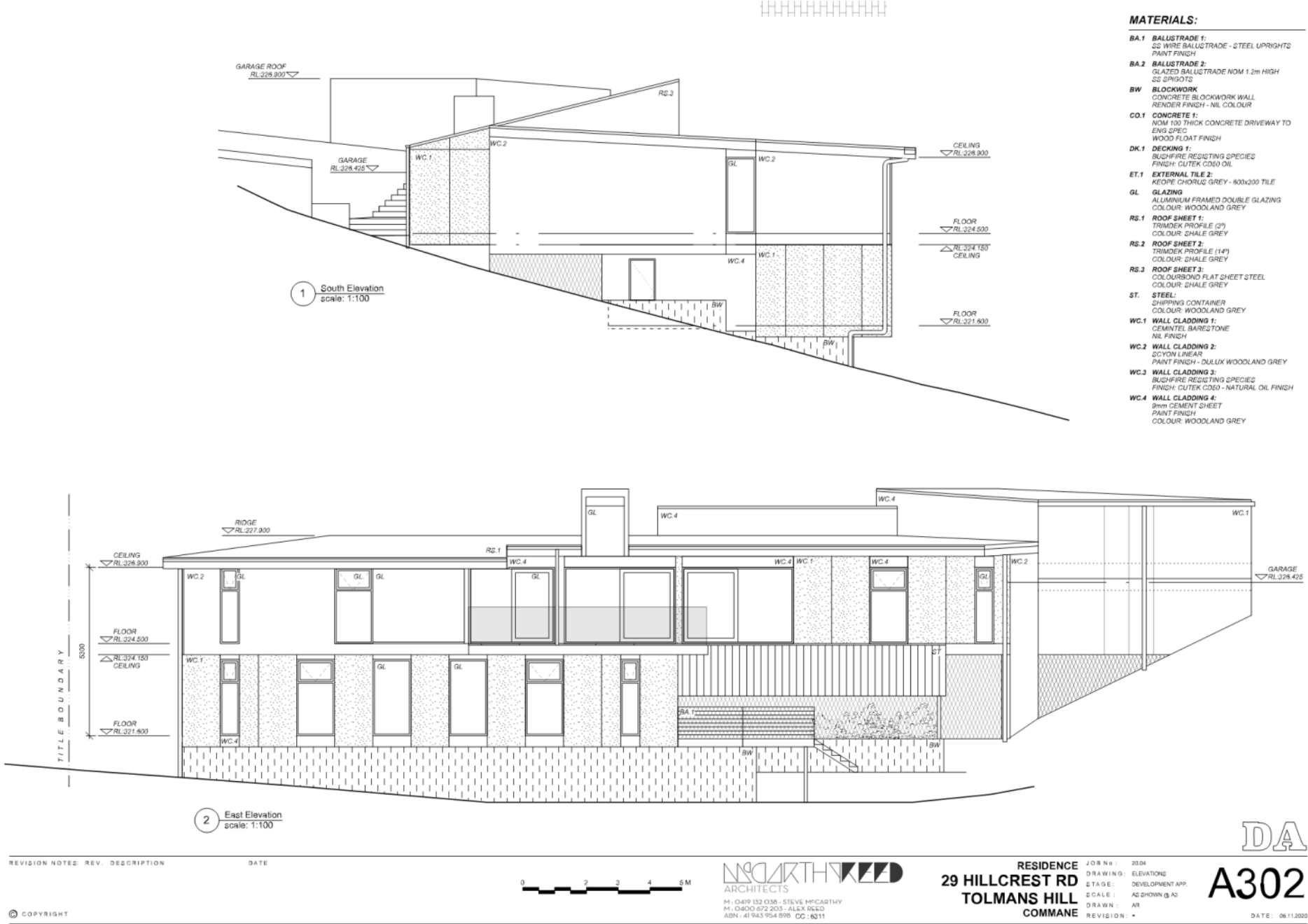
A201

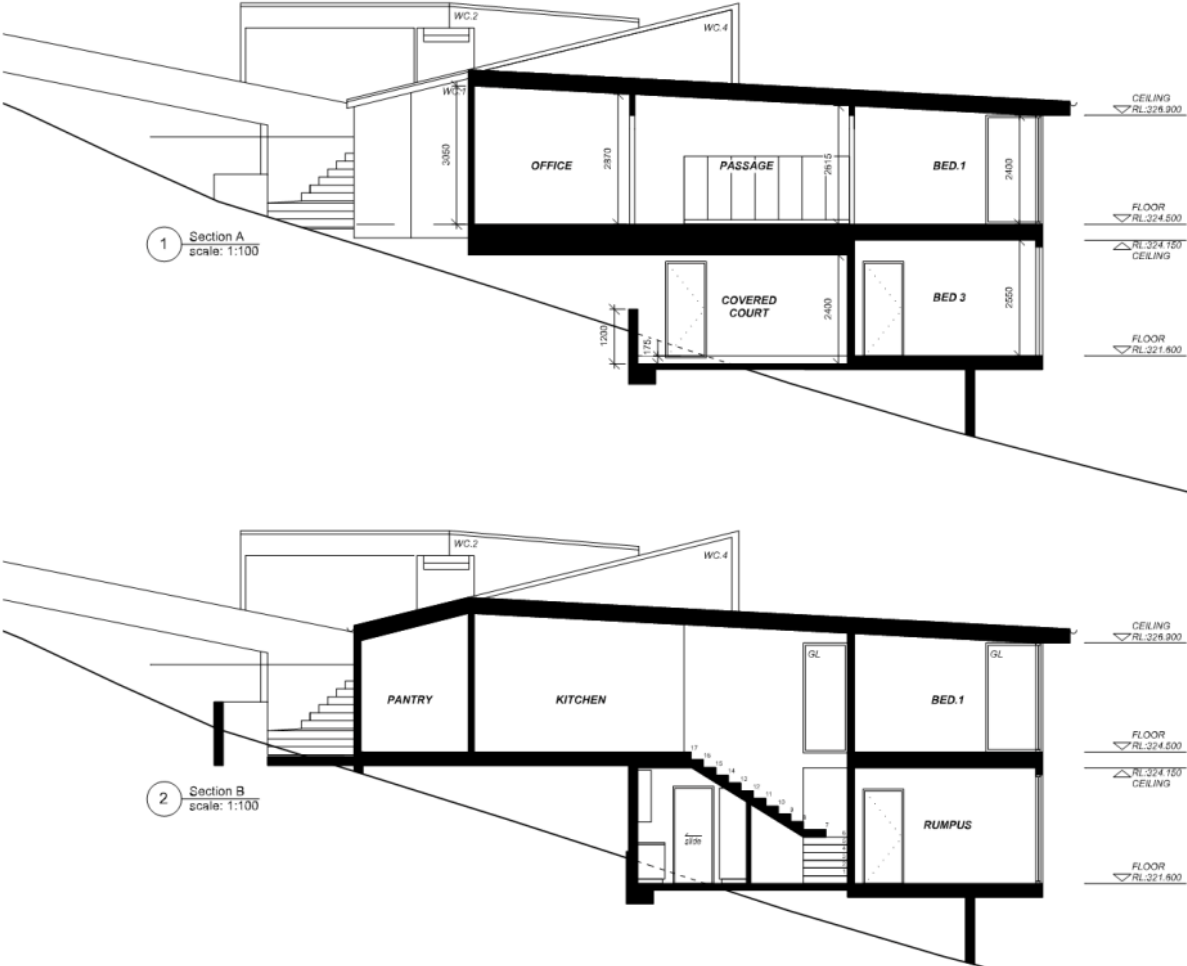
DATE: 06.11.2020











- MATERIALS:**
- BA.1 BALUSTRADE 1:**
SS WIRE BALUSTRADE - STEEL UPRIGHTS
PAINT FINISH
 - BA.2 BALUSTRADE 2:**
GLAZED BALUSTRADE NOM 1.2m HIGH
SS SPIGOTS
 - BW BLOCKWORK**
CONCRETE BLOCKWORK WALL
RENDER FINISH - NIL COLOUR
 - CO.1 CONCRETE 1:**
NOM 100 THICK CONCRETE DRIVEWAY TO
ENG SPEC
WOOD FLOAT FINISH
 - DK.1 DECKING 1:**
BUSHFIRE RESISTING SPECIES
FINISH: CUTER CD60 OIL
 - ET.1 EXTERNAL TILE 2:**
KEOPE CHORUS GREY - 600x200 TILE
 - GL GLAZING**
ALUMINIUM FRAMED DOUBLE GLAZING
COLOUR: WOODLAND GREY
 - RS.1 ROOF SHEET 1:**
TRIMDEK PROFILE (2")
COLOUR: SHALE GREY
 - RS.2 ROOF SHEET 2:**
TRIMDEK PROFILE (14")
COLOUR: SHALE GREY
 - RS.3 ROOF SHEET 3:**
COLOURBOND FLAT SHEET STEEL
COLOUR: SHALE GREY
 - ST. STEEL:**
SHIPPING CONTAINER
COLOUR: WOODLAND GREY
 - WC.1 WALL CLADDING 1:**
CEMENTEL BARESTONE
NIL FINISH
 - WC.2 WALL CLADDING 2:**
SCYON LINEAR
PAINT FINISH - DULUX WOODLAND GREY
 - WC.3 WALL CLADDING 3:**
BUSHFIRE RESISTING SPECIES
FINISH: CUTER CD60 - NATURAL OIL FINISH
 - WC.4 WALL CLADDING 4:**
9mm CEMENT SHEET
PAINT FINISH
COLOUR: WOODLAND GREY

DA

REVISION NOTES: REV. DESCRIPTION DATE

0 2 2 4 5 M

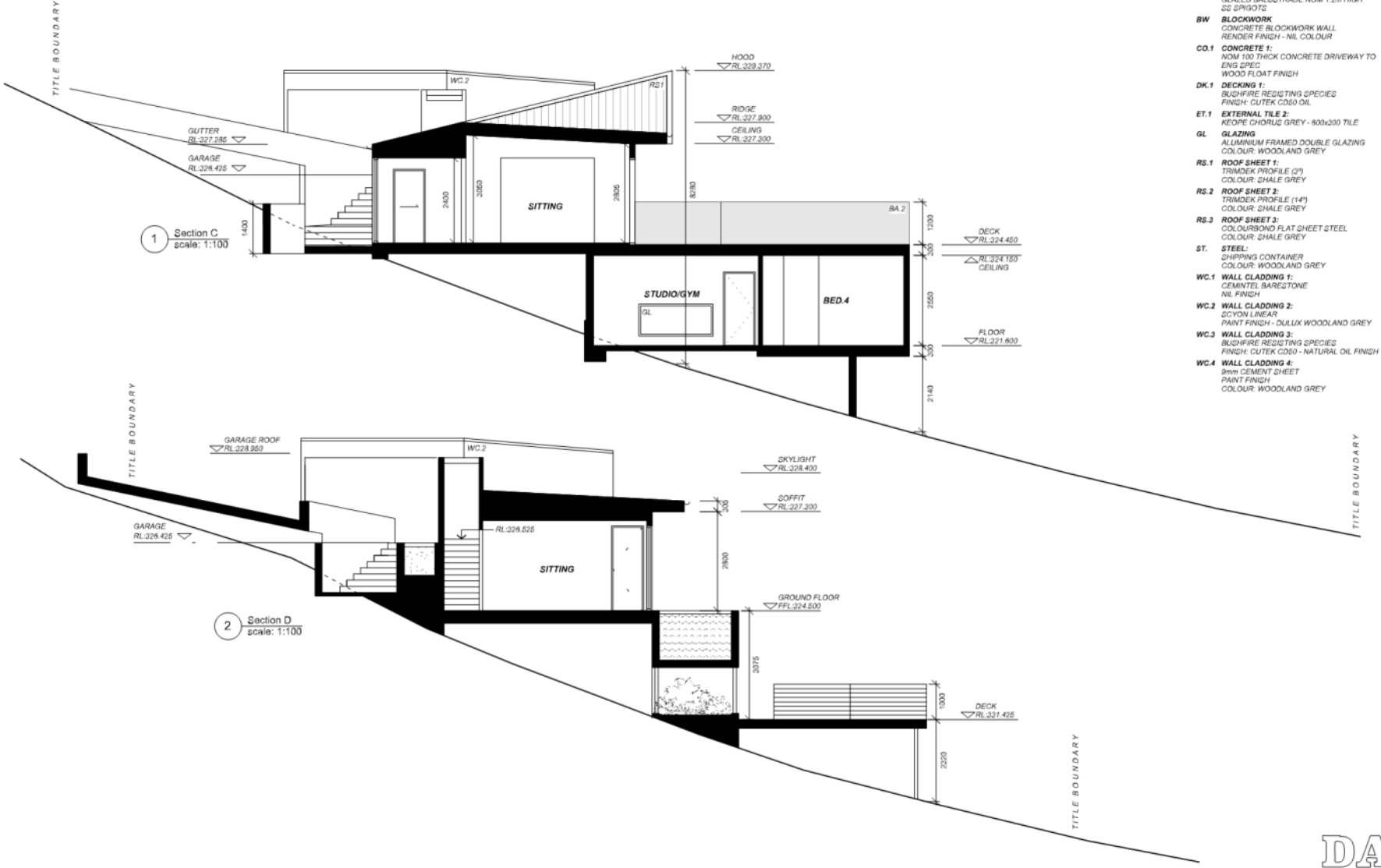
MCARTHUR
ARCHITECTS
M: 0419 152 036 - STEVE MCARTHUR
M: 0400 672 203 - ALEX RYAN
ABN: 41 943 954 896 CC: 60311

RESIDENCE
29 HILLCREST RD
TOLMANS HILL
COMMUNE

JOB No: 2004
DRAWING: SECTION A+B
STAGE: DEVELOPMENT APP.
SCALE: AS SHOWN @ A3
DRAWN: AR
REVISION: *

A401

DATE: 06.11.2020



REVISION NOTES: REV. DESCRIPTION DATE

0 2 4 5M

MCARTHUR
ARCHITECTS

M: 0419 152 036 - STEVE MCARTHUR
M: 0400 672 203 - ALEX MCARTHUR
ABN: 41 943 954 896 CC: 6011

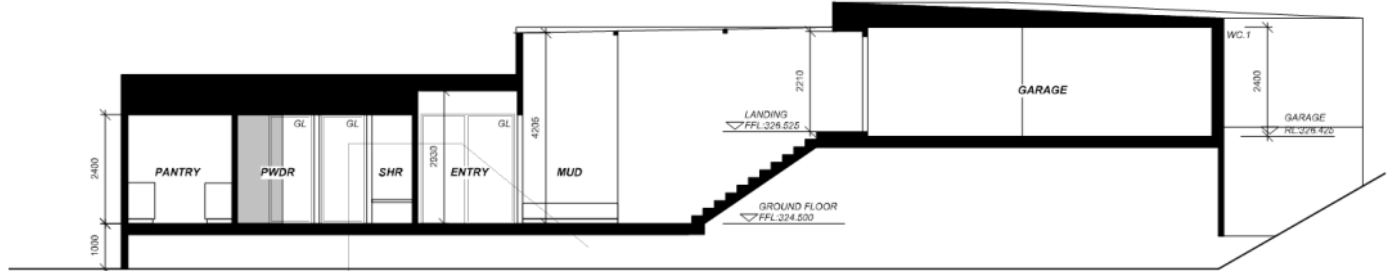
RESIDENCE
29 HILLCREST RD
TOLMANS HILL
COMMUNE

JOB No: 2004
DRAWING: SECTION C-D
STAGE: DEVELOPMENT APP.
SCALE: AS SHOWN @ A3
DRAWN: AR
REVISION: -

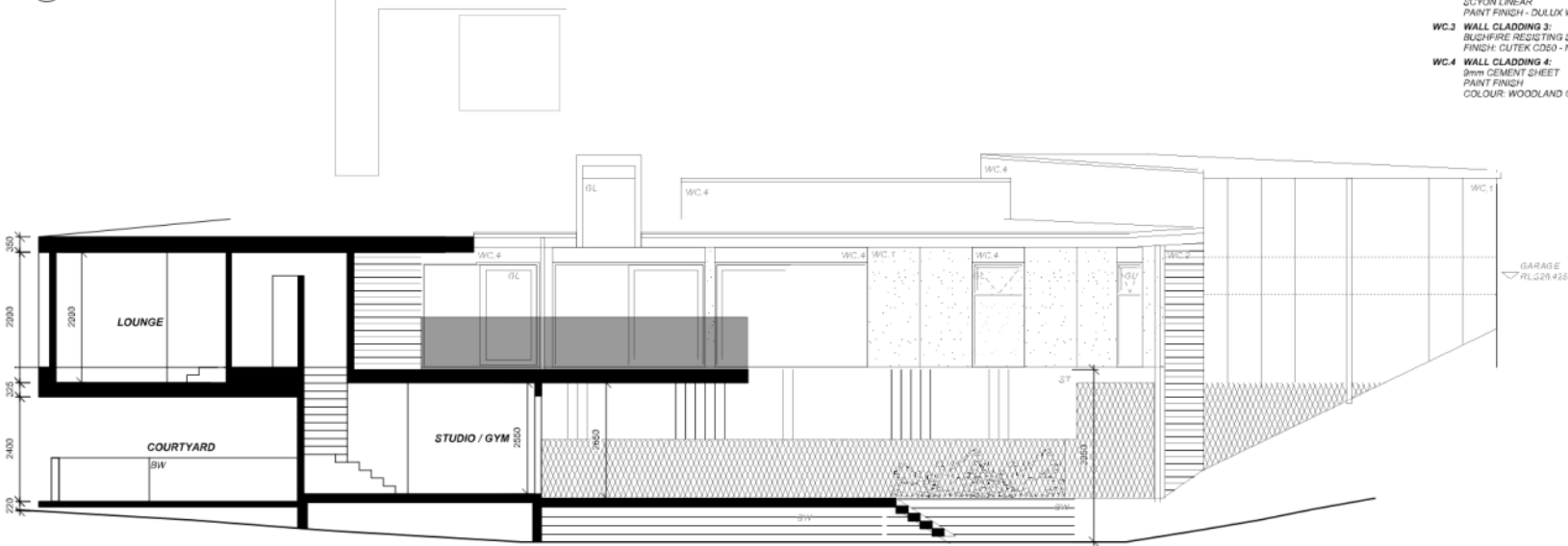
DA

A402

DATE: 06.11.2020



1 Section E
scale: 1:100



2 Section F
scale: 1:100

MATERIALS:

- BA.1 BALUSTRADE 1:**
SS WIRE BALUSTRADE - STEEL UPRIGHTS
PAINT FINISH
- BA.2 BALUSTRADE 2:**
GLAZED BALUSTRADE NOM 1.2m HIGH
SS SPIGOTS
- BW BLOCKWORK:**
CONCRETE BLOCKWORK WALL
RENDER FINISH - NIL COLOUR
- CO.1 CONCRETE 1:**
NOM 100 THICK CONCRETE DRIVEWAY TO
ENG SPEC
WOOD FLOAT FINISH
- DK.1 DECKING 1:**
BUSHFIRE RESISTING SPECIES
FINISH: CUTEX CD60 OIL
- ET.1 EXTERNAL TILE 2:**
KEOPE CHORUS GREY - 600x300 TILE
- GL GLAZING:**
ALUMINIUM FRAMED DOUBLE GLAZING
COLOUR: WOODLAND GREY
- RS.1 ROOF SHEET 1:**
TRIMDEK PROFILE (2")
COLOUR: SHALE GREY
- RS.2 ROOF SHEET 2:**
TRIMDEK PROFILE (14")
COLOUR: SHALE GREY
- RS.3 ROOF SHEET 3:**
COLOURBOND FLAT SHEET STEEL
COLOUR: SHALE GREY
- ST. STEEL:**
SHIPPING CONTAINER
COLOUR: WOODLAND GREY
- WC.1 WALL CLADDING 1:**
CEMENTEL BARESTONE
NIL FINISH
- WC.2 WALL CLADDING 2:**
SCYON LINEAR
PAINT FINISH - DULUX WOODLAND GREY
- WC.3 WALL CLADDING 3:**
BUSHFIRE RESISTING SPECIES
FINISH: CUTEX CD60 - NATURAL OIL FINISH
- WC.4 WALL CLADDING 4:**
9mm CEMENT SHEET
PAINT FINISH
COLOUR: WOODLAND GREY

DA

A403

REVISION NOTES: REV. DESCRIPTION DATE



MCARTHUR
ARCHITECTS

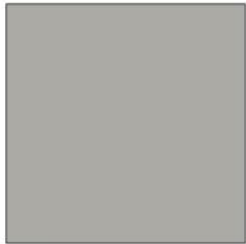
M: 0419 152 036 - STEVE MCARTHUR
M: 0400 672 203 - ALEX MCARD
ABN: 41 943 954 896 CC: 6011

RESIDENCE
29 HILLCREST RD
TOLMANS HILL
COMMUNE

JOB No: 2004
DRAWING: SECTION E+F
STAGE: DEVELOPMENT APP.
SCALE: AS SHOWN @ A3
DRAWN: AR
REVISION: *

DATE: 06.11.2020

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SHALE GREY



WOODLAND GREY



KEOPE - CHORUS GREY



CEMINTEL BARESTONE



BUSHFIRE RESISTING SPECIES - SHIPLAP CLADDING



SCYON LINEA CLADDING

REVISION NOTES: REV. DESCRIPTION DATE

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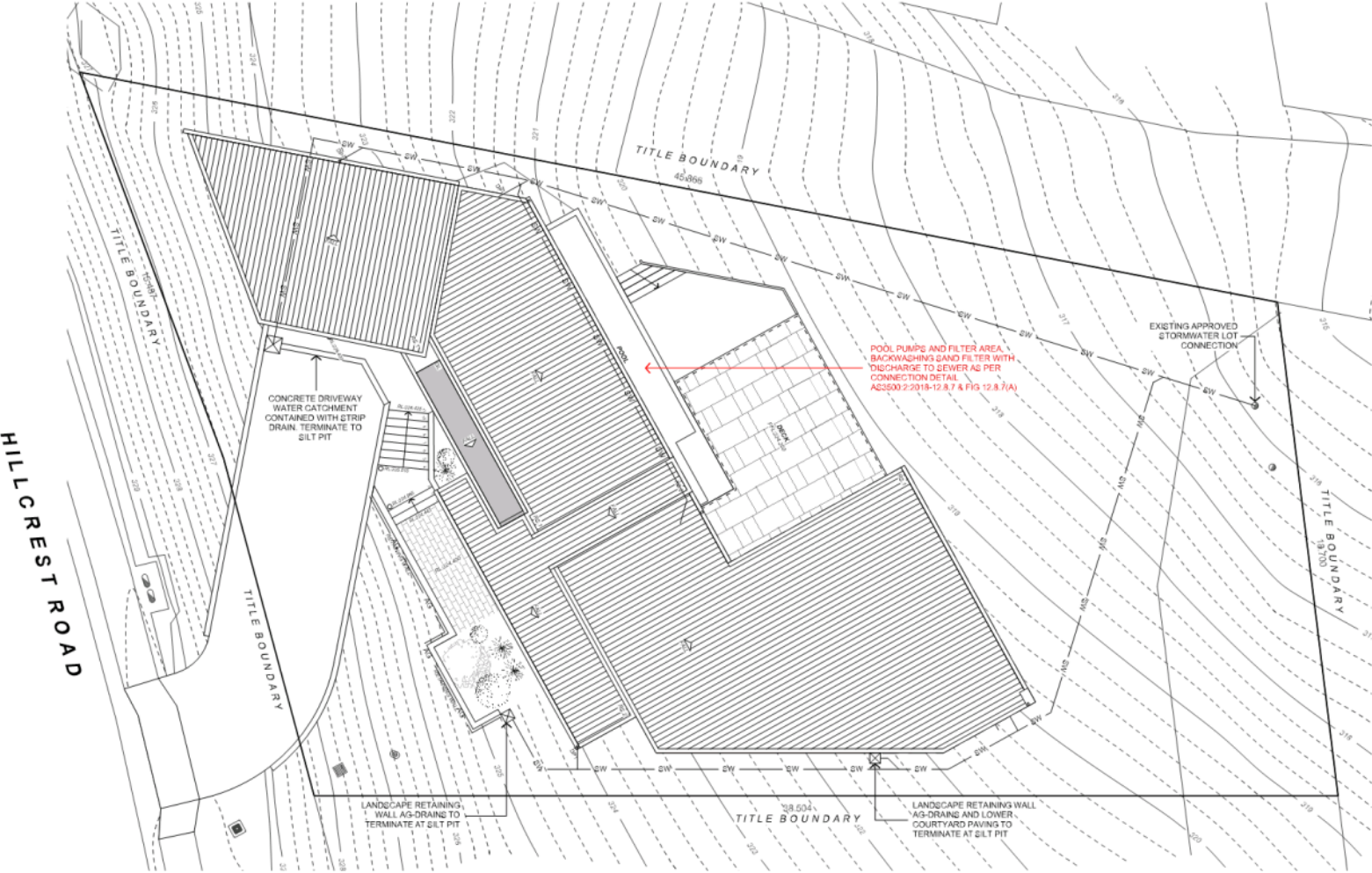
MC CARTHY
ARCHITECTS
M: 0419 152 035 - STEVE MCCARTHY
M: 0400 672 203 - ALEX BIRD
ABN: 41 943 954 896 CC: 8011

RESIDENCE
29 HILLCREST RD
TOLMANS HILL
COMMUNE
JOB No: 2004
DRAWING: MATERIALS
STAGE: DEVELOPMENT APP.
SCALE: AS SHOWN (3/4)
DRAWN: AR
REVISION: *

DA

C1

DATE: 06.11.2020



- NOTES:**
- SWIMMING POOL BACKWASH DISCHARGE TO SEWER.
- IN THE EVENT OF THE POOL REQUIRING EMPTYING FOR REPAIRS OR MAINTENANCE IT IS TO BE DRAINED USING VACUUM TANKER TRUCK WITH THE WASTE WATER DISPOSED OF OFF SITE.
- ALL MATERIALS AND WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH AS2500, NOCA, TASMANIAN PLUMBING CODE, COUNCIL STANDARD DRAWINGS AND SPECIFICATION AND TO THE SATISFACTION OF COUNCIL'S DEVELOPMENT ENGINEER.
 - ALL ROOF DRAINAGE SHALL BE INSTALLED IN ACCORDANCE WITH AS2500.3 AND THE REQUIREMENT FOR OVERFLOW DONE TO SATISFY THE REQUIREMENTS OF THE NOCA.
 - ALL PIPEWORK SHALL BE MINIMUM DN100 UPVC 2MM AT 1:100 GRADE (1.00%) UNLESS NOMINATED OTHERWISE ON PLANS.
 - MINIMUM GRADE OF PAVED AREAS AND PIPEWORK SHALL BE 1 IN 100 UNLESS NOTED OTHERWISE.
 - INSTALL ALL AG DRAINS TO THE REQUIREMENTS OF AS2500 AND PART 3.1.2 OF THE NOCA.
 - PROVIDE INSPECTION OPENINGS TO ALL DRAINAGE PIPEWORK IN ACCORDANCE WITH AS2500 REQUIREMENTS EVEN IF NOT SHOWN IN DRAWINGS.
 - PIPE AND CHANNEL INFRASTRUCTURE HAS BEEN DESIGNED TO CONVEY 20 YEAR AVERAGE RECURRENT INTERVAL (ARI) STORMS, WITH OVERLAND FLOW PATHS PROVIDED FOR 100 YEAR ARI STORMS. IT IS ASSUMED THAT WATER FLOWING ONTO THE DEVELOPMENT SITE IS CONTAINED WITHIN LOCAL AUTHORITY INFRASTRUCTURE FOR 20 YEAR ARI STORMS AND THE ROAD RESERVE FOR 100 YEAR ARI STORMS.
 - ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LOCAL AUTHORITY'S BY-LAWS AND AS/NZS3500.
 - STORMWATER TRENCHES, PIPE BEDDING AND BACK FILLING TO COMPLY WITH THE CONCRETE PIPE ASSOCIATION OF AUSTRALIA INSTALLATION REQUIREMENTS FOR TYPE H52 SUPPORT.
 - BELOW GROUND PIPEWORK AND FITTINGS TO BE UPVC SWHD, JOINTS SHALL BE OF SOLVENT CEMENT TYPE OR FLEXIBLE JOINTS MADE WITH APPROVED RUBBER RINGS.
 - PIPEWORK SHALL BE LAID IN POSITION AND AT THE GRADES SHOWN.
 - MINIMUM GRADE OF PIPEWORK SHALL BE 1 IN 100 UNLESS NOTED OTHERWISE (U.N.O.).
 - MINIMUM SIZE OF PIPEWORK SHALL BE DN100.
 - SURFACE WATER DRAINS, CATCHPITS/GRATED PITS, AND JUNCTION BOXES SHALL BE CONSTRUCTED AS DETAILED OR AS SPECIFIED BY THE MANUFACTURER.

1 Drainage Concept
scale: 1:150

REVISION NOTES: REV. DESCRIPTION DATE

DA
ARCHITECTS
M: 0419 152 036 - STEVE MCCARTHY
M: 0400 072 203 - ALEXANDER
ABN: 41 943 954 896 CC: 6011

RESIDENCE
29 HILLCREST RD
TOLMANS HILL
COMMUNE

JOB No: 2004
DRAWING: CONCEPT DRAINAGE
STAGE: DEVELOPMENT APP.
SCALE: AS SHOWN @ A3
DRAWN: AR
REVISION: *

DA

H1

DATE: 06.11.2020



1 Model Perspective
No Scale



2 Model Perspective
No Scale

DA

M1

DATE: 06.11.2020

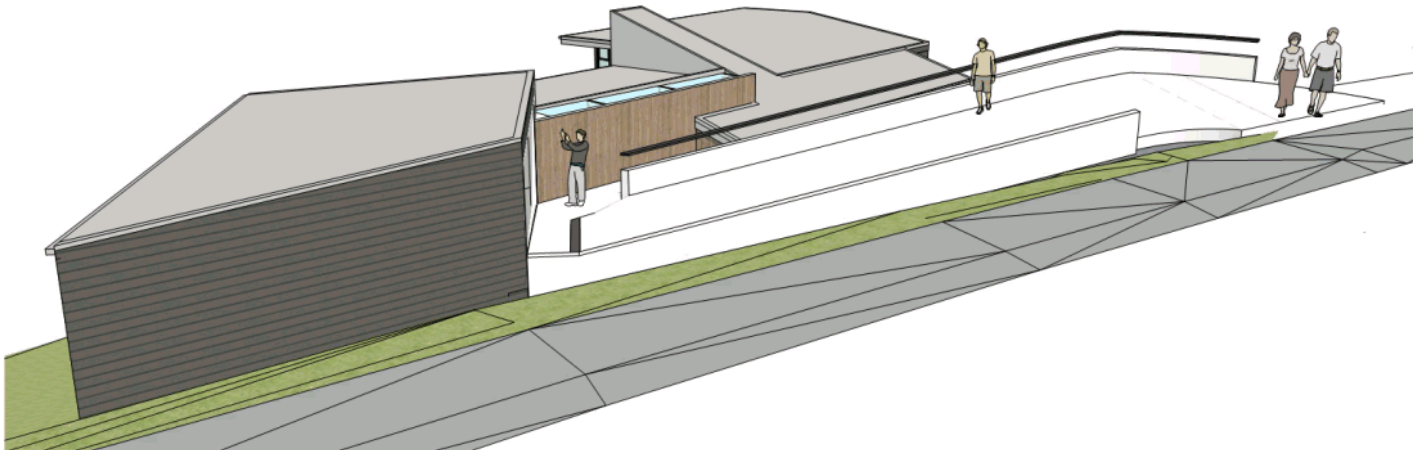
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MCARTHY
ARCHITECTS
M: 0419 152 035 STEVE MCARTHY
M: 0400 672 203 ALEX SUGO
ABN: 41 943 954 896 CC: 6011

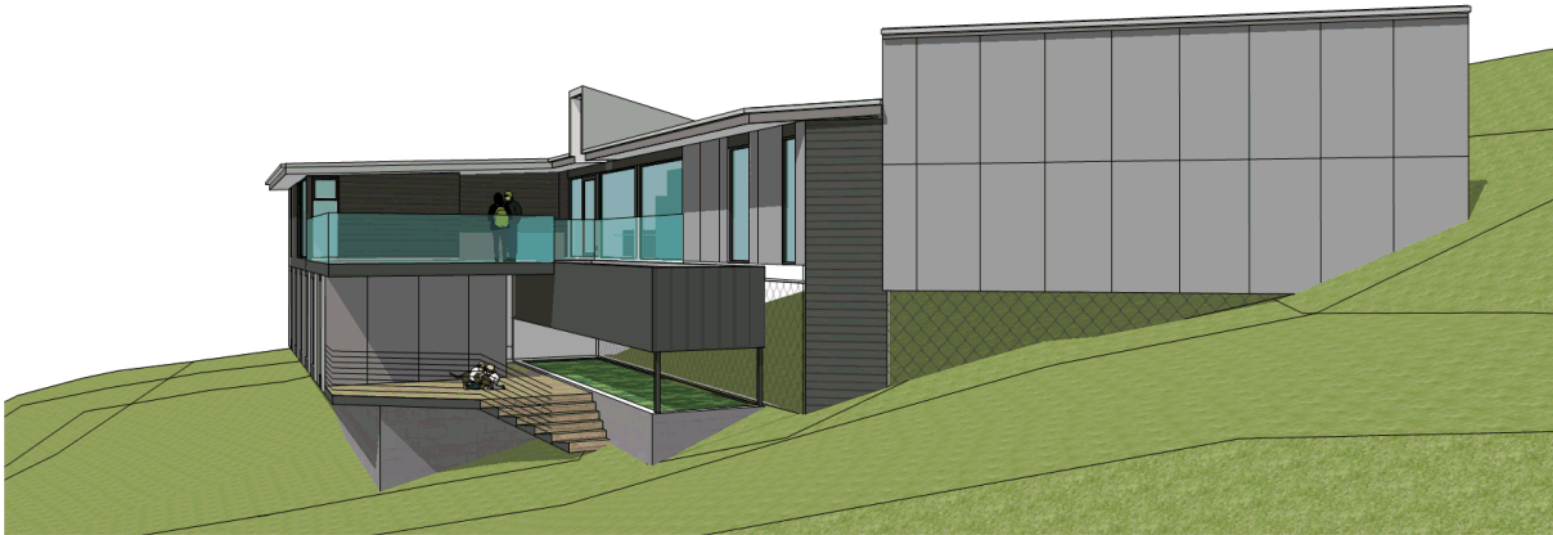
RESIDENCE
29 HILLCREST RD
TOLMANS HILL
COMMUNE

JOB No: 2004
DRAWING: MODEL IMAGES
STAGE: DEVELOPMENT APP.
SCALE: AS SHOWN & A3
DRAWN: AR
REVISION: *

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1 Model Perspective
No Scale



2 Model Perspective
No Scale

REVISION NOTES: REV. DESCRIPTION DATE

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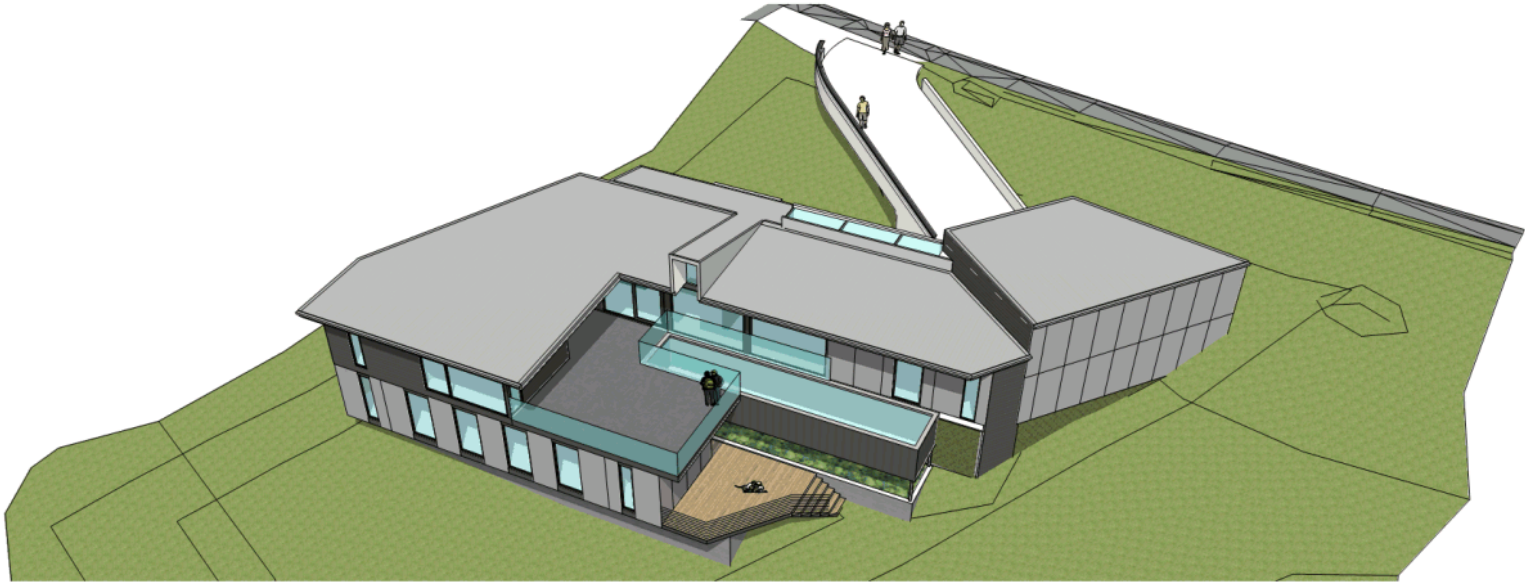
MCARTHUR
ARCHITECTS
M: 0419 152 038 - STEVE MCARTHUR
M: 0400 672 203 - ALEX GREGG
ABN: 41 943 954 896 CC: 6011

RESIDENCE
29 HILLCREST RD
TOLMANS HILL
COMMUNE
JOB No: 2004
DRAWING: MODEL IMAGES
STAGE: DEVELOPMENT APP.
SCALE: AS SHOWN & AS
DRAWN: AR
REVISION: *

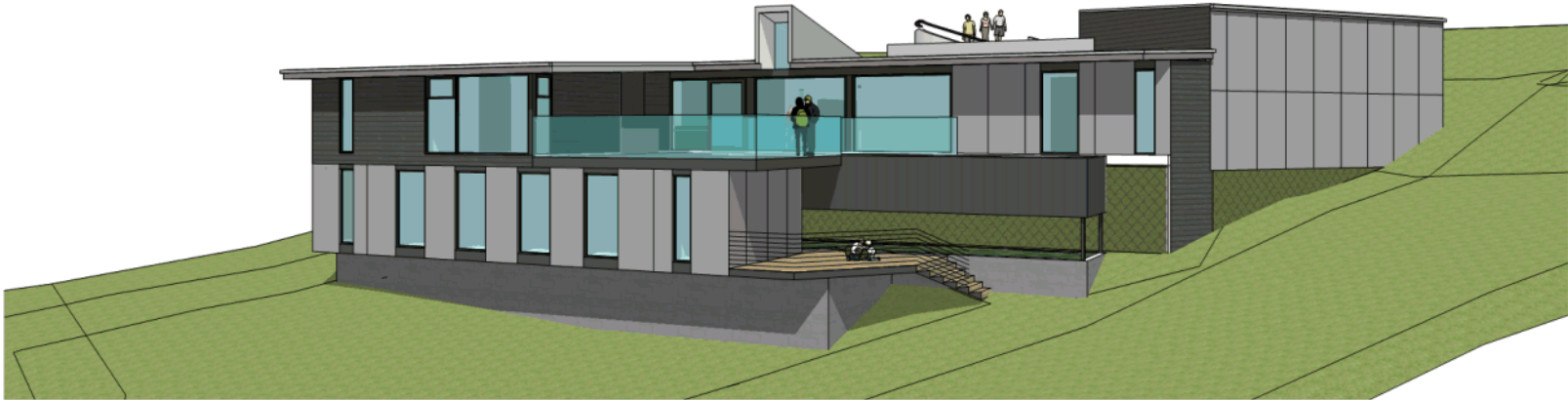
DA

M2

DATE: 06.11.2020



1 Model Perspective
No Scale



2 Model Perspective
No Scale

DA

M3

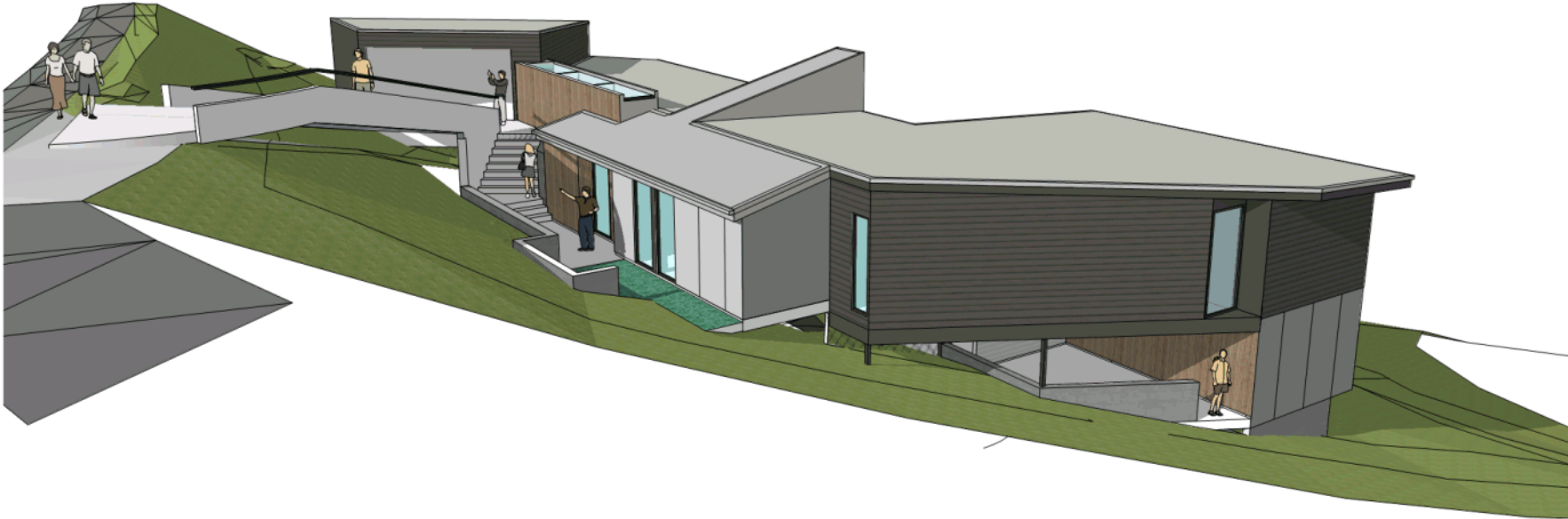
REVISION NOTES: REV. DESCRIPTION DATE

MCARTHUR
ARCHITECTS
M: 0419 152 036 - STEVE MCARTHUR
M: 0400 672 203 - ALEX GREGG
ABN: 41 943 954 896 CC: 6011

RESIDENCE
29 HILLCREST RD
TOLMANS HILL
COMMUNE
JOB No: 2004
DRAWING: MODEL IMAGES
STAGE: DEVELOPMENT APP.
SCALE: AS SHOWN & AS
DRAWN: AR
REVISION: *

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DATE: 06.11.2020



1 Model Perspective
No Scale

REVISION NOTES: REV. DESCRIPTION DATE

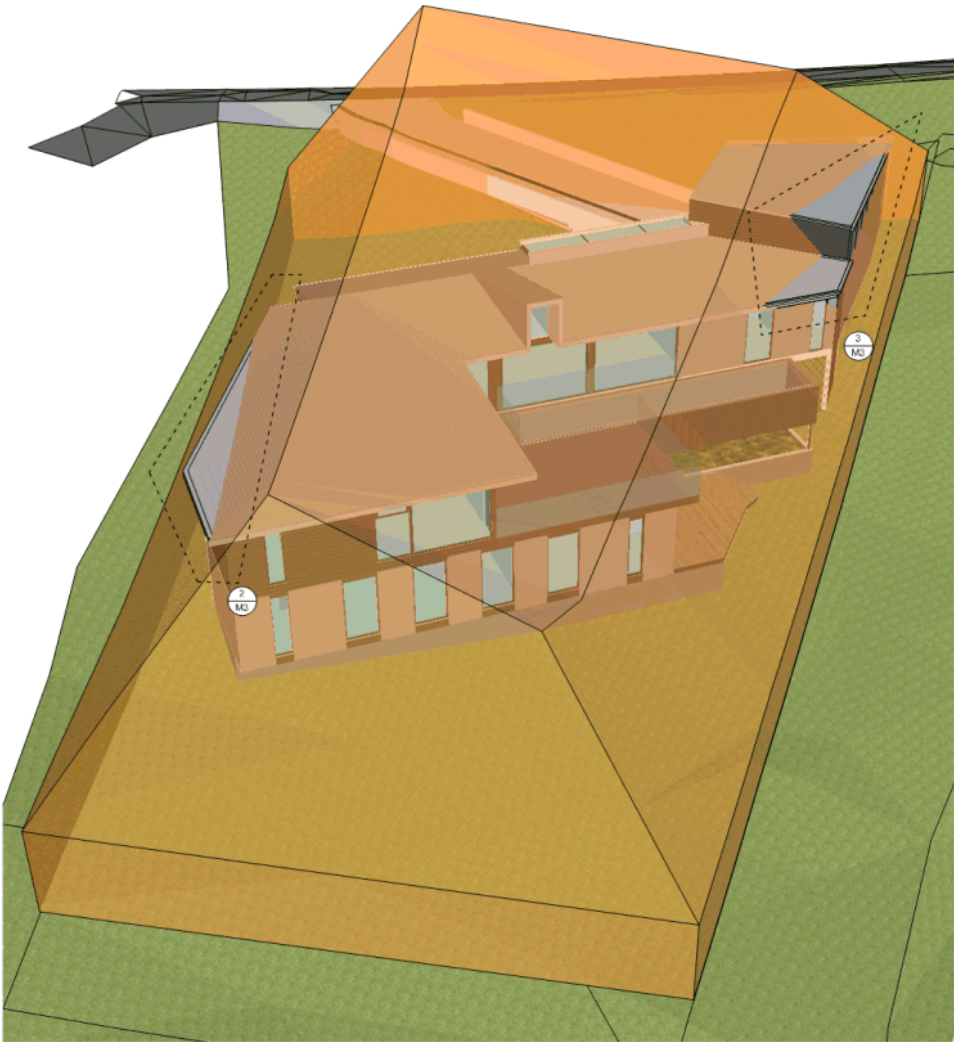
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MC CARTHY
ARCHITECTS
M: 0419 152 036 - STEVE MCCARTHY
M: 0400 672 203 - ALEX GREGG
ABN: 41 943 954 896 CC: 6011

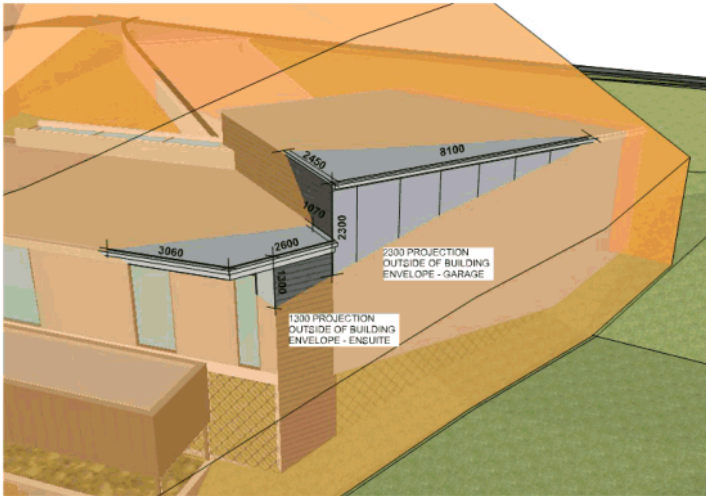
RESIDENCE
29 HILLCREST RD
TOLMANS HILL
COMMANE
JOB No: 2004
DRAWING: MODEL IMAGES
STAGE: DEVELOPMENT APP.
SCALE: AS SHOWN @ A3
DRAWN: AR
REVISION: *

DA
M4

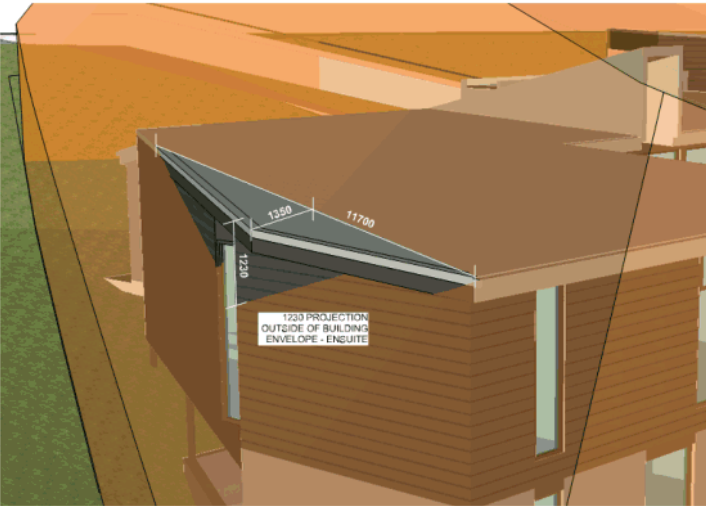
DATE: 06.11.2020



1 Building Envelope
No Scale



2 Envelope Projection
No Scale



3 Envelope Projection
No Scale

DA

M5

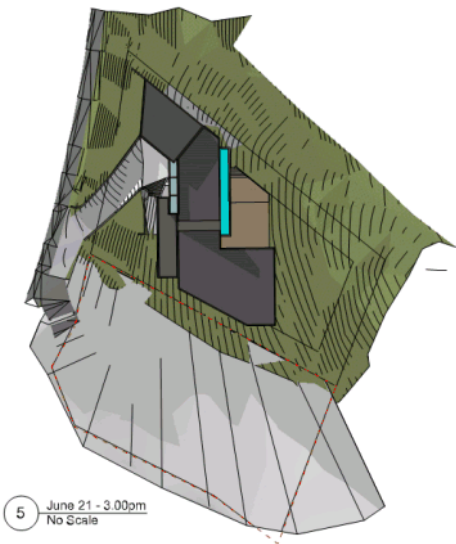
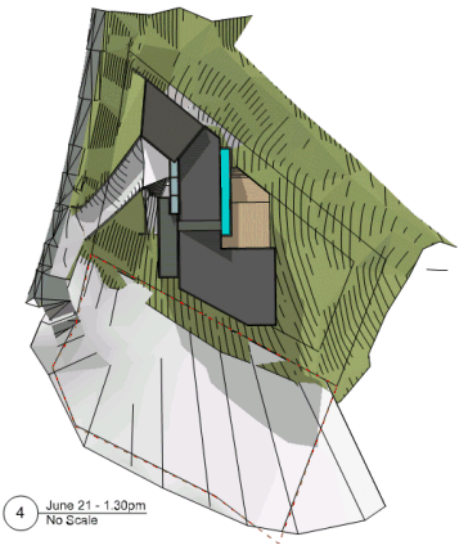
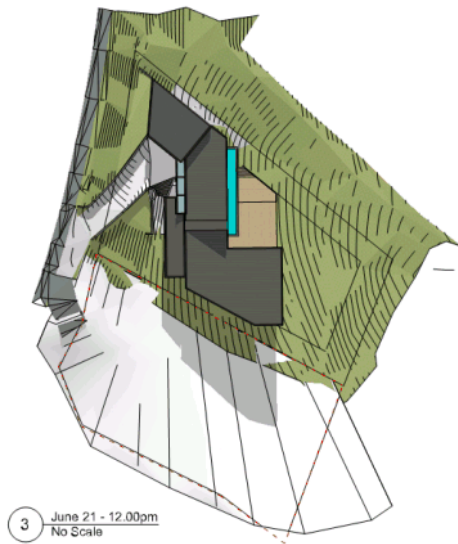
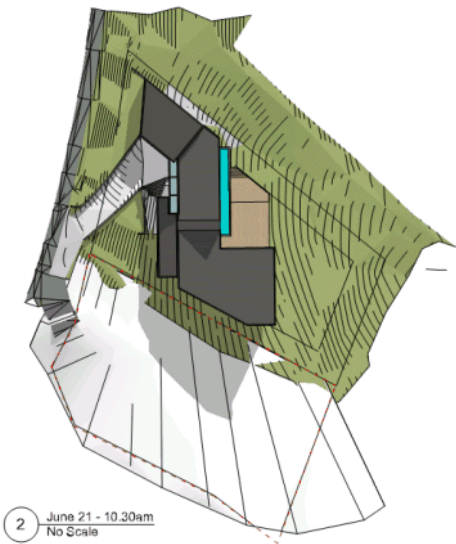
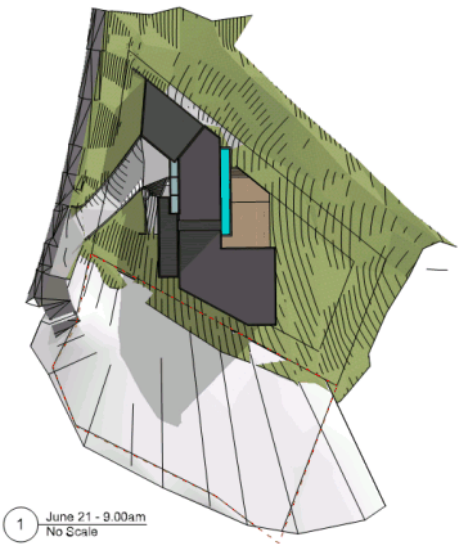
DATE: 06.11.2020

REVISION NOTES: REV. DESCRIPTION DATE

ND CARTRIDGE
ARCHITECTS
M: 0419 152 036 - STEVE MC CARTHY
M: 0400 672 203 - ALEX SLEVO
ABN: 41 943 954 896 CC: 6011

RESIDENCE
29 HILLCREST RD
TOLMANS HILL
COMMUNE

JOB No: 2004
DRAWING: BUILDING ENVELOPE
STAGE: DEVELOPMENT APP.
SCALE: AS SHOWN @ A3
DRAWN: AR
REVISION: *



REVISION NOTES: REV. DESCRIPTION DATE

MCARTHY
ARCHITECTS
M: 0419 152 036 - STEVE MCARTHY
PH: 0400 672 203 - ALEX DEGO
ABN: 41 943 954 896 CC: 6011

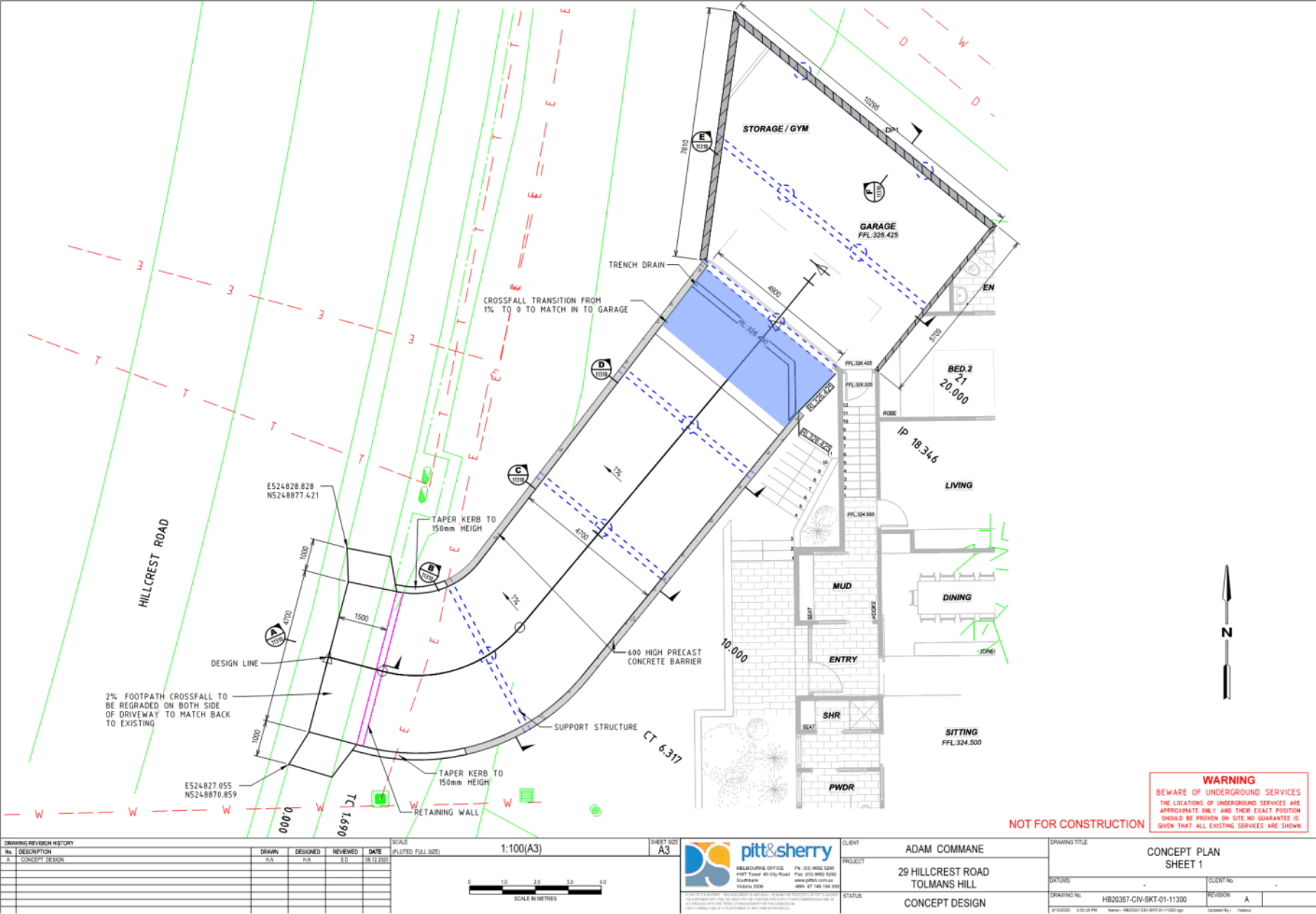
RESIDENCE
29 HILLCREST RD
TOLMANS HILL
COMMUNE
JOB No: 2004
DRAWING: SHADOW STUDY
STAGE: DEVELOPMENT APP.
SCALE: AS SHOWN & A3
DRAWN: AR
REVISION: *

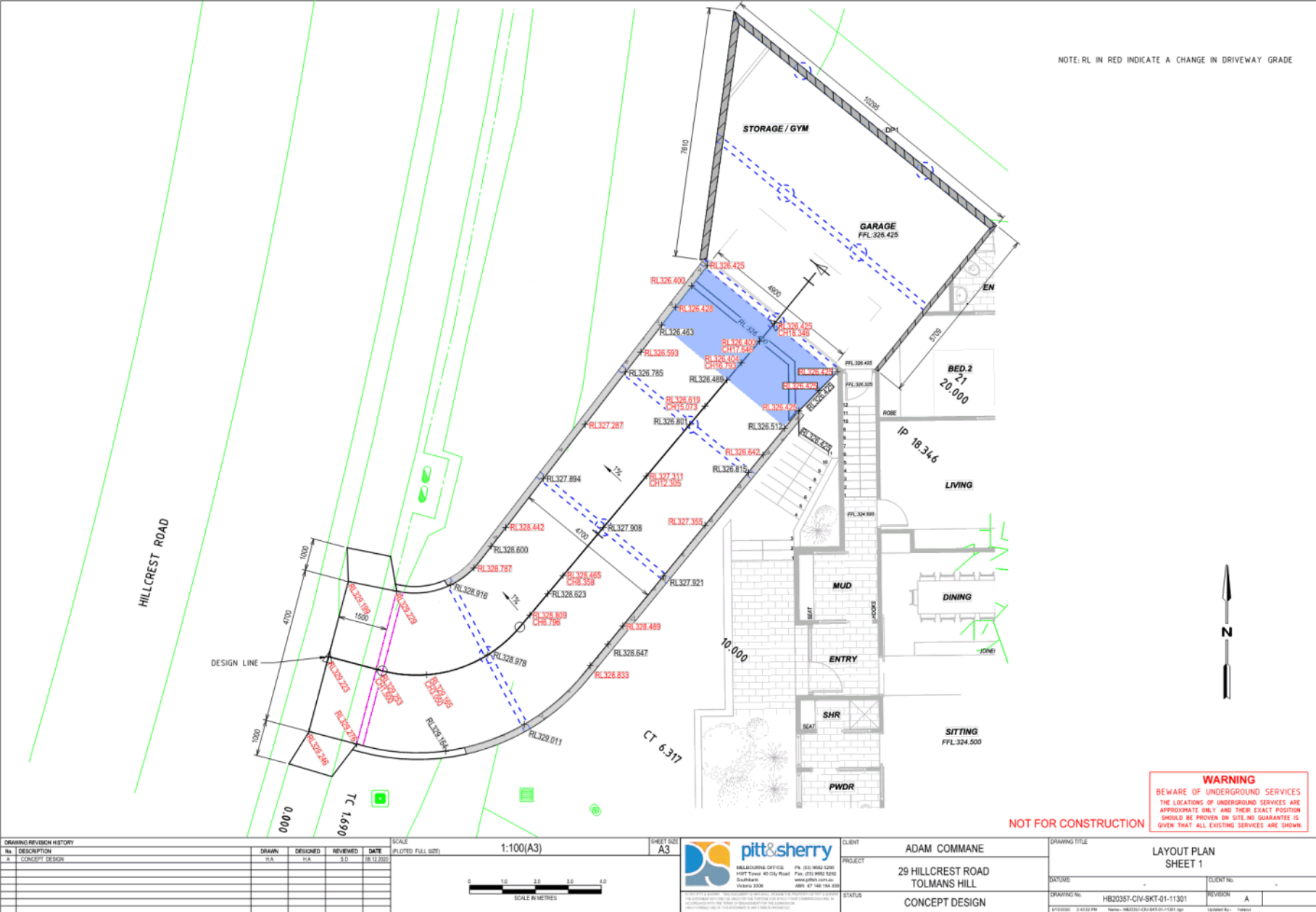
© COPYRIGHT

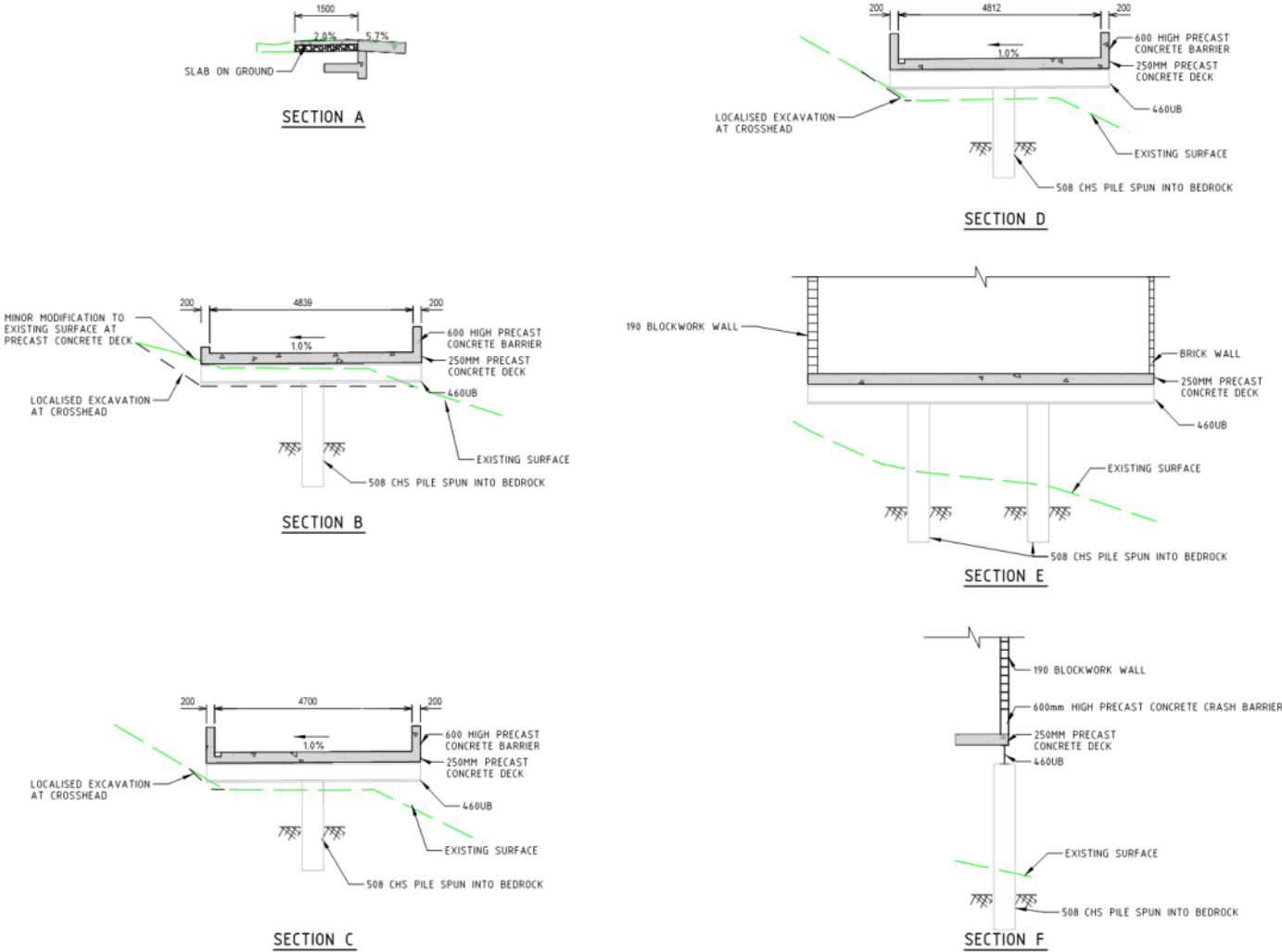
DA

M6

DATE: 06.11.2020







NOT FOR CONSTRUCTION

WARNING
BEWARE OF UNDERGROUND SERVICES
THE LOCATIONS OF UNDERGROUND SERVICES ARE
APPROXIMATE ONLY AND THEIR EXACT POSITION
SHOULD BE PROVEN ON SITE. NO GUARANTEE IS
GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.

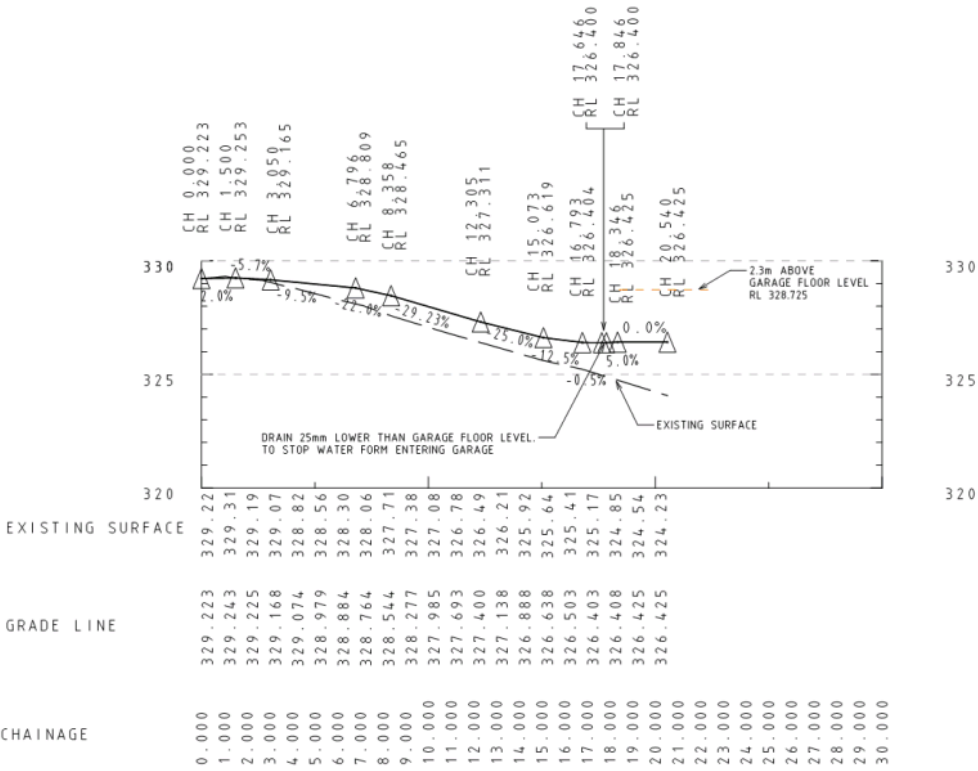
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NO.	DESCRIPTION	DRAWN	DESIGNED	DATE
1	CONCEPT DESIGN	HA	HA	08.12.2020

SCALE PLOTTED (FULL SIZE)	1:100(A3)

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SHEET SIZE A3
MELBOURNE OFFICE: Ph: (03) 9552 5200
1007 Tower, 40 City Road, Melbourne, Victoria 3000
Fax: (03) 9552 5200
www.pittsherry.com.au
A909 47 146 146 300

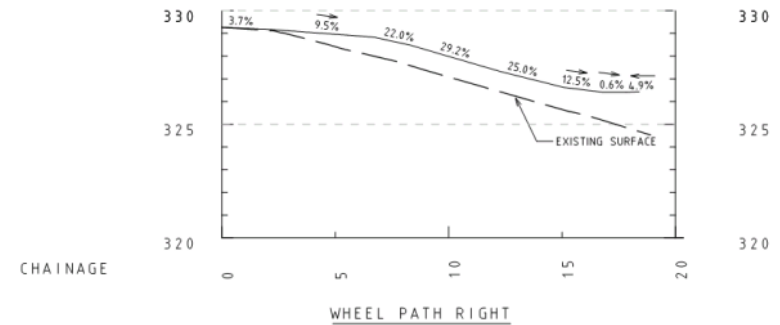
CLIENT	ADAM COMMANE
PROJECT	29 HILLCREST ROAD TOLMANS HILL
STATUS	CONCEPT DESIGN



DRAWING TITLE		TYPICAL SECTIONS SHEET 1	
DATE	08.12.2020	CLIENT NO.	
DRAWING NO.	HB202057-CIV-SKT-01-11310	REVISION	A
BY	HA	DATE	08.12.2020

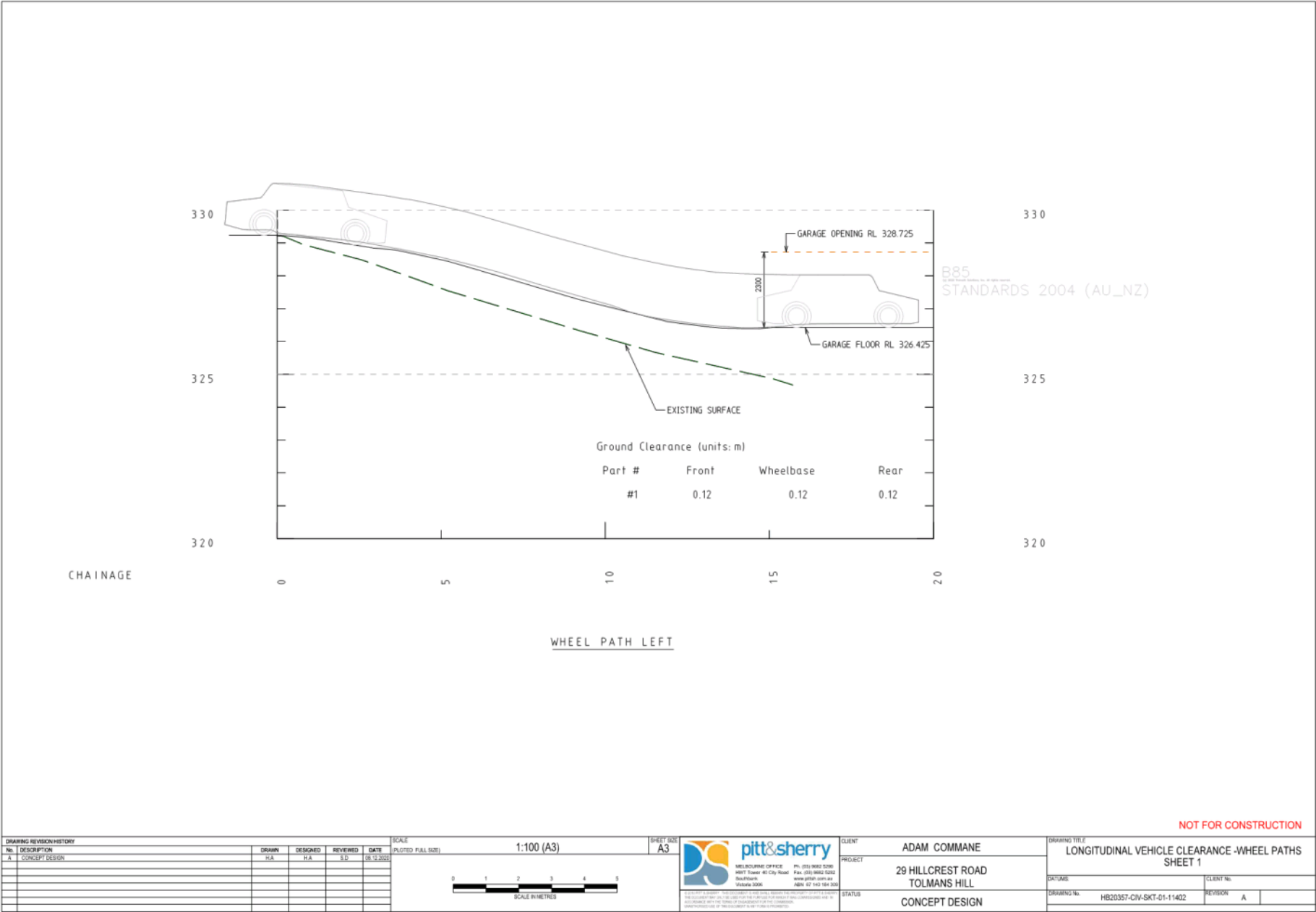


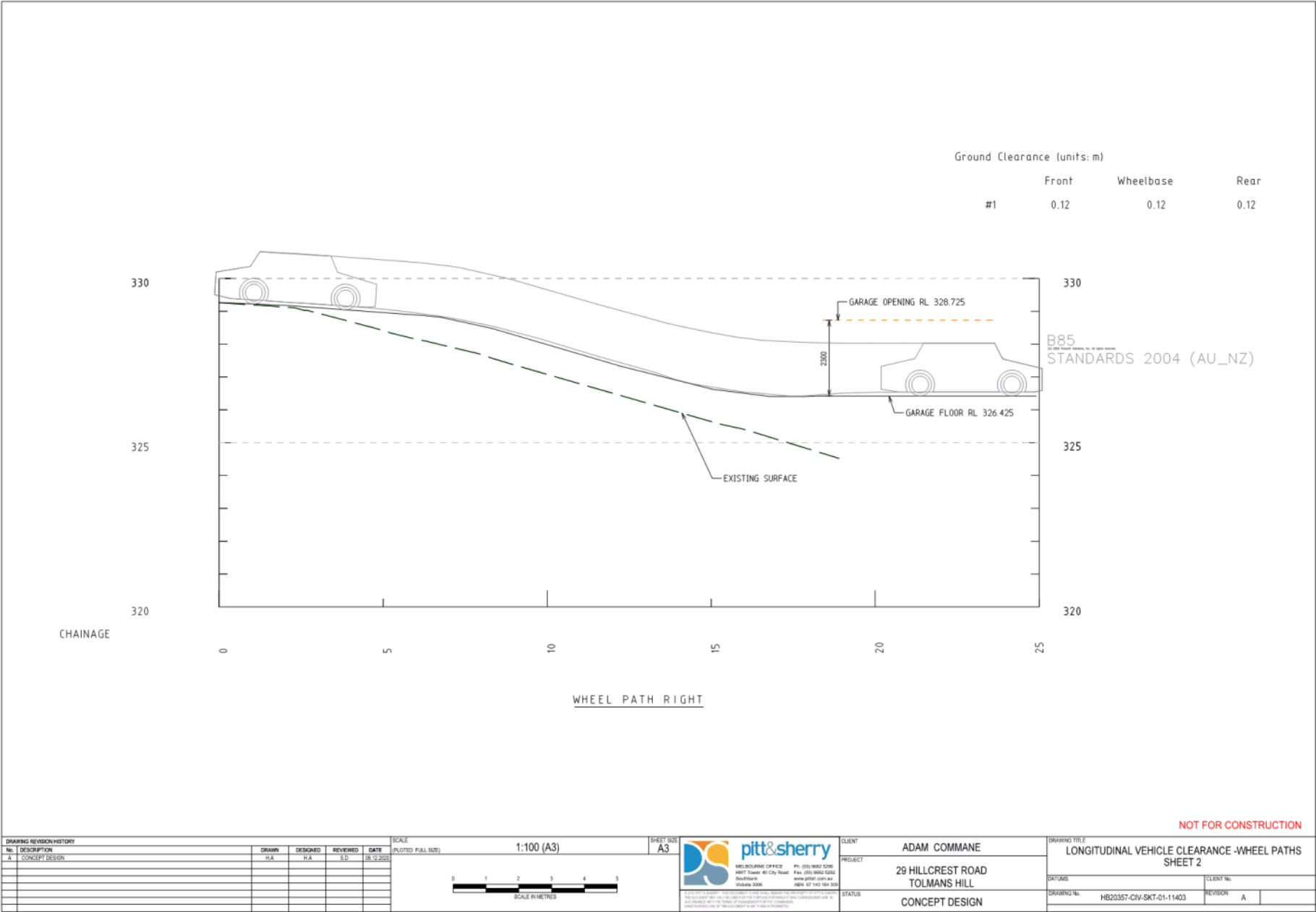
NOT FOR CONSTRUCTION

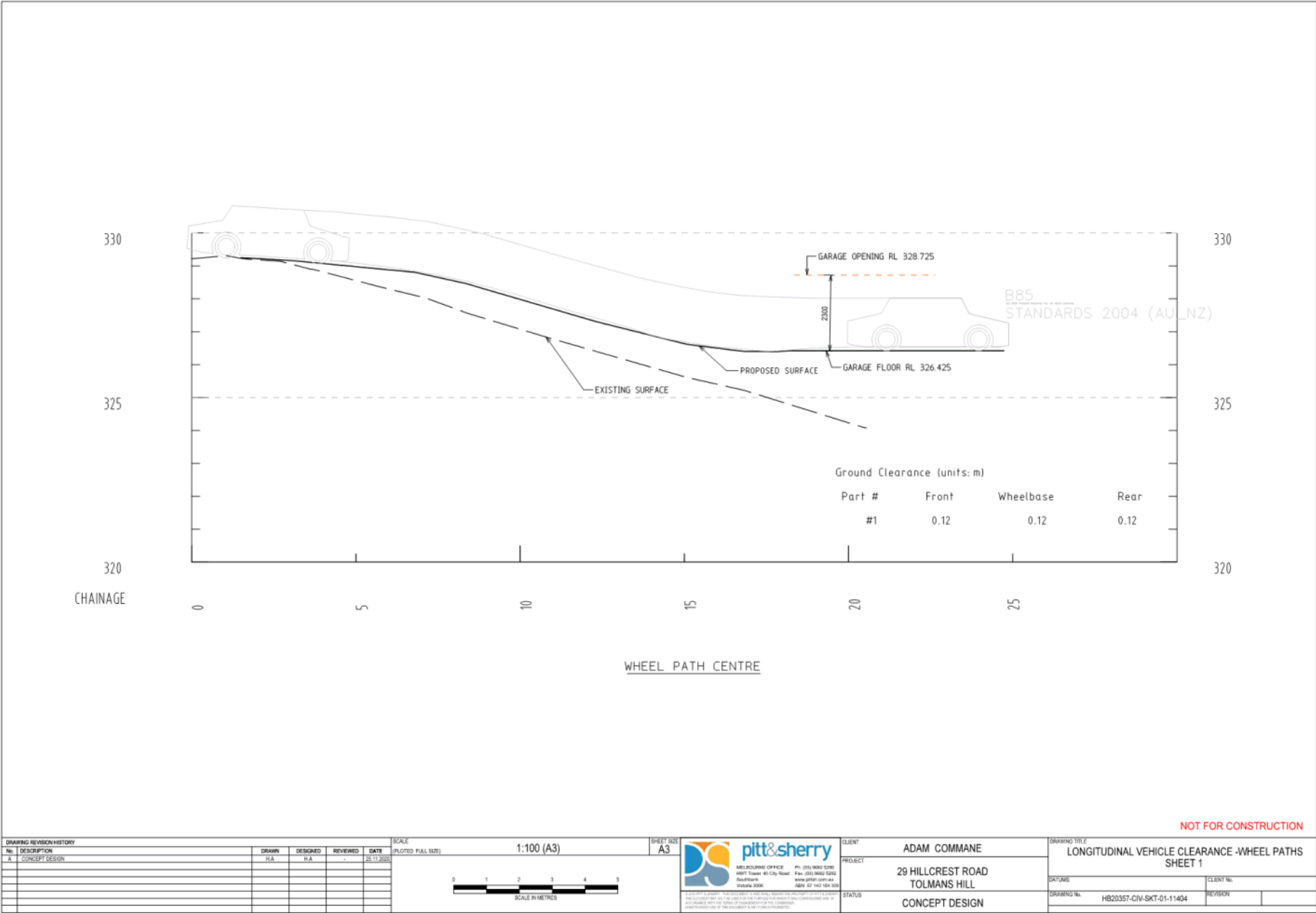
DRAWING REVISION HISTORY				SCALE		SHEET 001 A3	 MELBOURNE OFFICE 40/117 Tower #1 City Road Melbourne 3000 PH: (03) 9449 5000 Fax: (03) 9449 5000 www.pittandsherry.com.au ABN: 47 460 766 700	CLIENT ADAM COMMANE	DRAWING TITLE	
No.	DESCRIPTION	DRAWN	DESIGNED	REVIEWED	DATE				LONGITUDINAL SECTION SHEET 1	
A	CONCEPT DESIGN	H.A	H.A	S.D	08/12/2020			PROJECT 29 HILLCREST ROAD TOLMANS HILL	DATE 08/12/2020	CLIENT NO.
								STATUS CONCEPT DESIGN	DRAWING NO. HB20357-CIV-SKT-01-11400	REVISION A

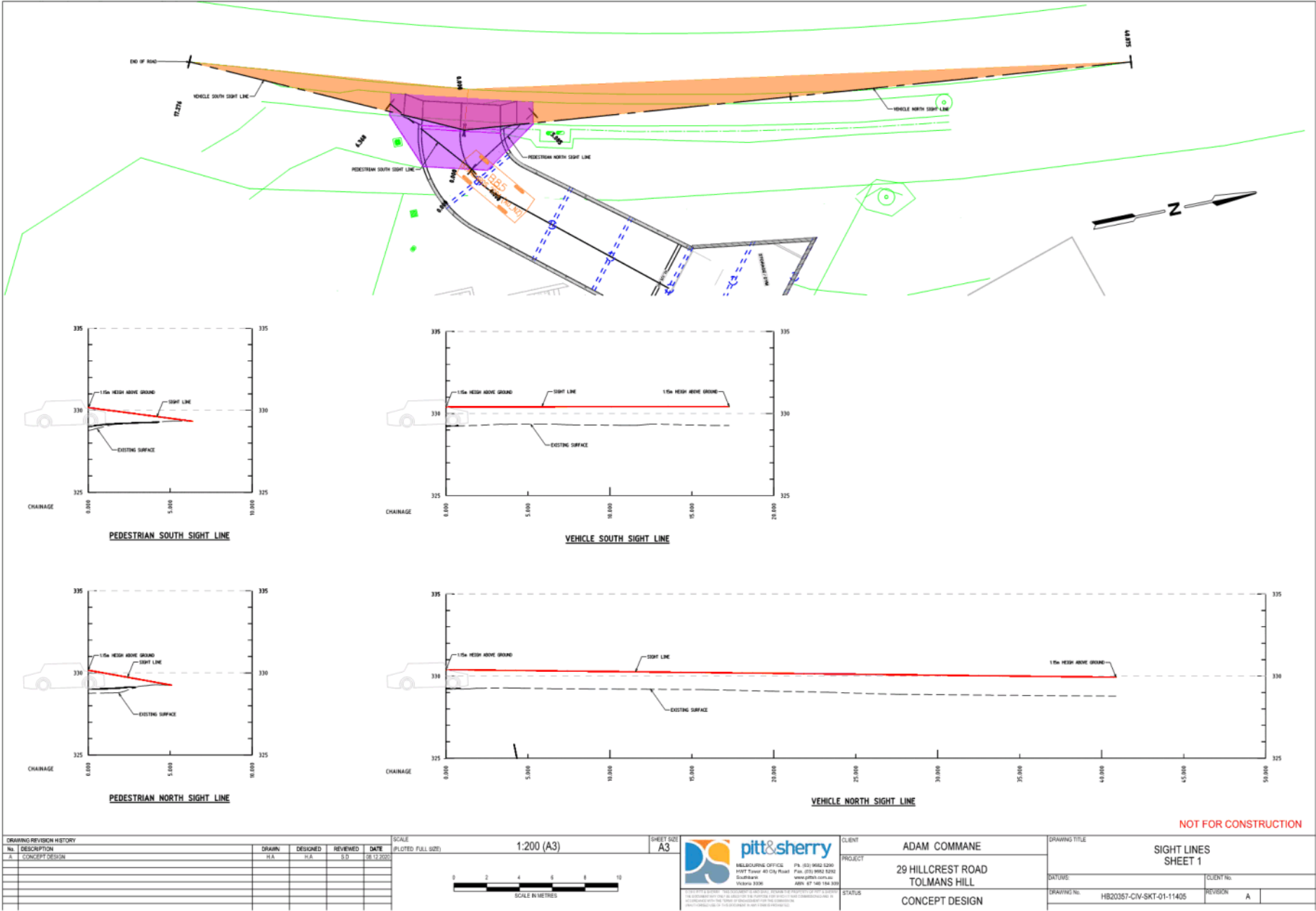


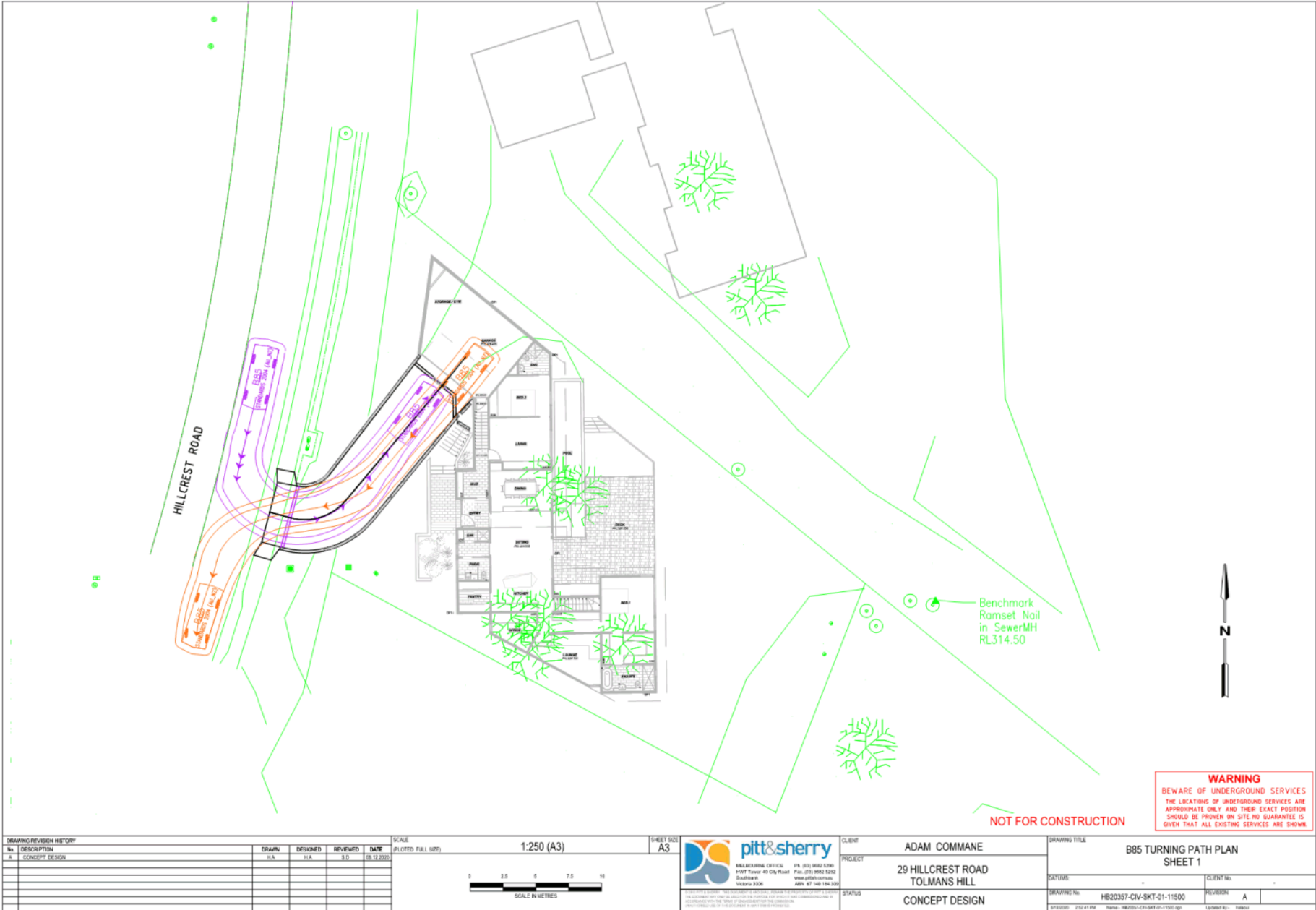
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No. DESCRIPTION					1:200 (A3)		A3		ADAM COMMANE		LONGITUDINAL SECTION-WHEEL PATHS SHEET 1	
A CONCEPT DESIGN					 SCALE IN METERS		 MAILING/PHONE OFFICE: PH: (505) 960-5200 401 NORTH 401 City Road FAX: (505) 960-5202 Southfield, MI 48033-1500 USA INDIA: 07 140 184 335		PROJECT		29 HILLCREST ROAD TOLMANS HILL	
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									DATE:		CLIENT No.:	
									DRAWING No.:		REVISION	
									HB20357-CIV-SKT-01-11401		A	

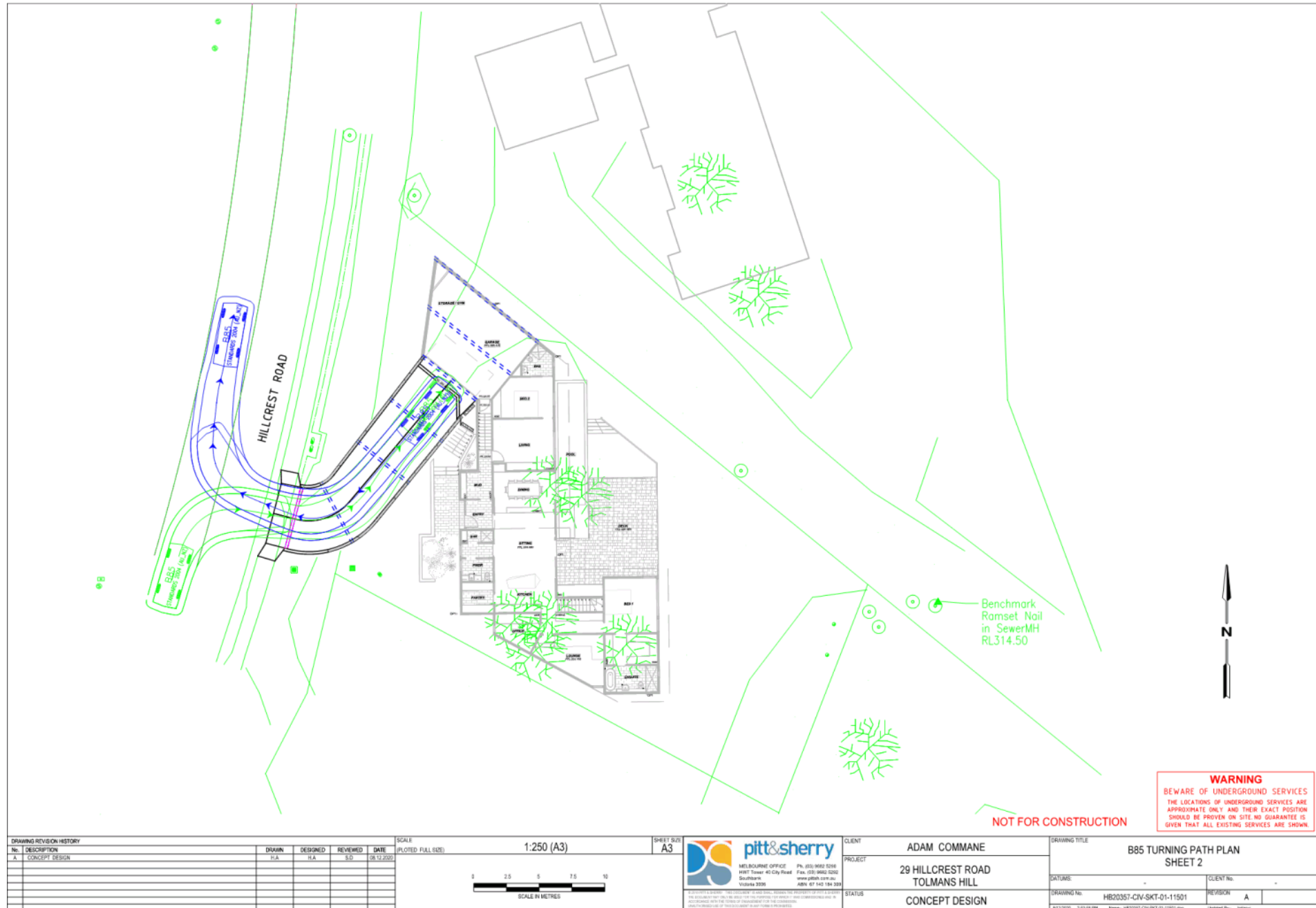


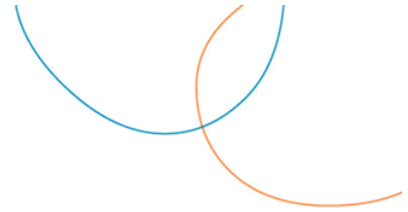












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Practical Solutions.**

12 November 2020

Alex Reed
Director
McCarthy/Reed Architects
26/93 Salamanca Place
Battery Point TAS 7004

Dear Alex,

Re: 29 HILLCREST ROAD, TOLMANS HILL, HOUSE DEVELOPMENT – DRIVEWAY DESIGN

Further to your request, this is a brief note to outline the design reasoning behind the recommended form for the driveway that is to link the crossover on 29 Hillcrest Road to the proposed garage in the proposed development.

Protection of the embankment within the easement is a paramount consideration. Whilst minor alteration to the embankment near the crest is necessary to accommodate the required change of gradient, most of the driveway (structure) has been devised to significantly minimise excavation into the batter slope by using a suspended slab on discrete supporting columns. Only a small abutment wall is required to be built on the embankment near the crest to separate the crossover slab on ground from the upper end of the driveway spanning structure.

It is intended that the suspended slab would be supported on a crosshead (beam) that is mounted atop a piled column at several locations, spaced apart. Thus, the slab will have a void beneath it over most of its length albeit that some localised embankment trimming would be required to install the crossheads in two locations and perhaps a little portion of the upslope slab edge. This design methodology does not need to have walls built to retain a substantial height of filled ground that would be necessary to suit the design driveway vertical alignment. If high retaining walls are used on this site it is inevitable that the large wall footings (base) would impinge on the existing batter slope of the embankment within the easement. By so doing that could affect the embankment stability.

The piled column(s) are expected to be installed by spinning into the ground down through soil and fill to the foundation; to achieve this grinding/cutting teeth are welded onto a steel circular hollow section (CHS - tube) and the CHS is turned (spun) by a driving head attached to an excavator or truck mounted rig. If the spun CHS pile cannot penetrate dolerite rock that is beneath the pile teeth, the required foundation level can be achieved by use of compressed air activated 'Down-the-Hole' hammering within the CHS pile and advancing the pile by driving the upper end of it with a drop hammer.

The pile may be concrete filled depending upon the final design foundation level that is required for stability. Only one piled column is shown, through the embankment, near the toe on Pitts Sherry Drawing No HB20357-CIV-SKT-01-11300. However, subject to further investigation, it may be found structurally necessary to install another pile (or two) beneath the small abutment wall near the crest.

Trusting that satisfies your requirements at this stage.
Yours sincerely,

25

Noel Carroll
Principal Structural Engineer

Encl. pitt&sherry design drawings for the driveway alignment

ref: HB20357H001 let 30P Rev00/NDC/wp

Pitt & Sherry
(Operations) Pty Ltd
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BUSHFIRE PRONE
DEVELOPMENT
SOLUTIONS**BUSHFIRE ATTACK LEVEL ASSESSMENT REPORT****THIS IS NOT A BUSHFIRE HAZARD MANAGEMENT PLAN**

Bushfire Attack Level (BAL) assessment conducted in accordance with Clause 2.2 Simplified Procedure (Method 1) of AS 3959 - 2018. Step 6 of this procedure has been omitted due to an unconfirmed construction specification being provided.

This BAL Assessment Report has been provided only to determine the BAL (in accordance with AS3959-2018) for the site and provide recommendations for BAL reduction methods. Water Supply for fire fighting and Vehicle access and egress for fire fighting have been excluded; and should be considered as part of the Building Surveyors Certificate of Likely Compliance assessment.

Limitations of the report are:

1. All reasonable steps to ensure that the information provided in this assessment is accurate and reflects the conditions on and around the site and allotment on the date of this assessment;
2. It should be noted that compliance with the recommendations contained in this assessment does not mean that there is no residual risk to life safety or property as a result of bushfire. A residual level of risk remains which recognises that removing the risk to life and property in absolute terms is not achievable while people continue to build in bushfire prone areas. This limitation is expressed in the following extract from AS 3959 (2018) which states (in the forward),

It should be borne in mind that the measures contained in this Standard cannot guarantee that a building will survive a bushfire event on every occasion. This is substantially due to the degree of vegetation management, the unpredictable nature and behaviour of fire, and extreme weather conditions. This level of residual risk is inherent in all bushfire standards and also applies to these assessments.

Property Details

Applicant's Name	CFT Building Consultants & Engineers	Phone/email	adam@cftbuilding.com.au
Municipality	Hobart City Council		
Certificate of Title / Lot No.	178129/38		
Address	29 Hillcrest Road, Tolmans Hill		

Type of building work

- New Class 1 building ☒
- New Class 10a building ☐
- Alteration/Additions to an existing building ☐

Description of building work: New Dwelling

BUSHFIRE PRONE
DEVELOPMENT
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Bush Fire Attack Level (BAL)

Relevant fire danger index: (see clause 2.2.2)

FDI 50

Assess the vegetation within 100m in all directions (tick relevant group)

Note 1: Refer to Table 2.3 and Figures 2.3 & 2.4 for description and classification of vegetation.

Note 2: If there is no classified vegetation within 100 m of the site then the BAL is LOW for that part of the site.

Vegetation classification (see Table 2.3)	North <input checked="" type="checkbox"/>	South <input checked="" type="checkbox"/>	East <input checked="" type="checkbox"/>	West <input checked="" type="checkbox"/>
	North-East <input type="checkbox"/>	South-West <input type="checkbox"/>	South-East <input type="checkbox"/>	North-West <input type="checkbox"/>
Group A - Forest	-	YES	YES	YES

Exclusions (where applicable)	Highlight relevant paragraph descriptor from clause 2.2.3.2.			
	(b) (c) (d) (e) (f)	(b) (c) (d) (e) (f)	(b) (c) (d) (e) (f)	(b) (c) (d) (e) (f)

Distance (from existing building) to classified vegetation	North	South	East	West
	Show distances in metres			
	N/A - >100m	~66m	~30m	~79m
Effective slope	Upslope			
	Upslope/0° <input checked="" type="checkbox"/>	Upslope/0° <input type="checkbox"/>	Upslope/0° <input type="checkbox"/>	Upslope/0° <input checked="" type="checkbox"/>
	Downslope			
	>0 to 5 <input type="checkbox"/>	>0 to 5 <input checked="" type="checkbox"/>	>0 to 5 <input type="checkbox"/>	>0 to 5 <input type="checkbox"/>
	>5 to 10 <input type="checkbox"/>	>5 to 10 <input type="checkbox"/>	>5 to 10 <input type="checkbox"/>	>5 to 10 <input type="checkbox"/>
	>10 to 15 <input type="checkbox"/>	>10 to 15 <input type="checkbox"/>	>10 to 15 <input checked="" type="checkbox"/>	>10 to 15 <input type="checkbox"/>
	>15 to 20 <input type="checkbox"/>	>15 to 20 <input checked="" type="checkbox"/>	>15 to 20 <input type="checkbox"/>	>15 to 20 <input type="checkbox"/>
BAL value for each side of the site	BAL-LOW	BAL-12.5	BAL-29	BAL-12.5

Determination of Bushfire Attack Level (BAL)

The BAL for this development is	BAL-29
Comments / Options / Limitations	<p>The BAL rating is based upon the condition of vegetation encountered at the time of inspection. The vegetation within the site shall be maintained to a Low Threat Level (in accordance with AS3959-2018); and vegetation external to the site may be subject to change over time - this BAL rating does not account for any future change to the state of/hazard levels of vegetation within or external to the site.</p> <p>The BAL rating only applies to the new dwelling as indicated below - <u>it is NOT a site generic BAL rating.</u></p>
Date of assessment	25 July 2020

**BUSHFIRE PRONE
DEVELOPMENT
SOLUTIONS**

Assessors name:	Rhys Menadue	Phone:	0407 595 317
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Statement/Determination:

I have taken all reasonable steps to ensure that the information provided in this assessment is accurate and reflects the conditions on and around the site and allotment on the date of this assessment.

Signed:		Date:	2 August 2020
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Attachments: Development plans and documentation applicable to this assessment include: continued below;


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LandTasmania

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Page: 1 of 1


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General Site location - Not to Scale

Bushfire Prone Development Solutions
14 Reynolds Court . Dynnyrne . TAS 7005
M: 0407 595 317 . E: rhmenadue@gmail.com

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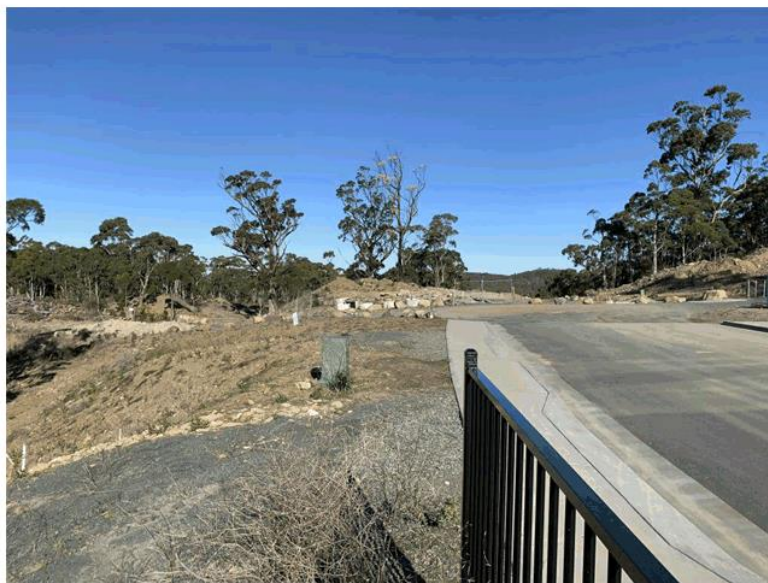


Looking North



Looking West

**BUSHFIRE PRONE
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Looking South



Looking East

BUSHFIRE PRONE DEVELOPMENT SOLUTIONS



Proposed Site Plan - Not to Scale

Bushfire Prone Development Solutions
14 Reynolds Court . Dynmyrne . TAS 7005
M: 0407 595 317 . E: rhmenadue@gmail.com

29 Hillcrest Road (Lot 38), Tolmans Hill: Ecological Statement

28 Suncrest Avenue
Lenah Valley, TAS 7008
mark@ecotas.com.au
www.ecotas.com.au
(03) 62 283 220
0407 008 685
ABN 83 464 107 291

Alex Reed

McCarthy Reed Architects
26/93 Salamanca Place
Battery Point TAS 7004

12 July 2020

Dear Alex

RE: Planning advice (ecological values) – Biodiversity Code
29 Hillcrest Road, Tolmans Hill (PID 9124044; C.T. 178129/38; LPI GKX61)
Information for future planning application.

Please find following a statement of findings on ecological values associated with the title at 29 Hillcrest Road (Lot 38), Tolmans Hill (PID 9124044; Title Reference 178129/38; LPI GKX61).

I recommend that this cover letter and attached report (including the appended *Natural Values Atlas*, *Biodiversity Values Database* and *Protected Matters Search Tool* reports) be provided with any planning applications, as it addresses the potential concerns in regard to ecological values usually raised at the local government level of assessment.

Note that this letter and attached reports do not constitute legal advice. It is recommended that formal advice be sought from the relevant agency prior to acting on any aspect of this report.

Please do not hesitate to contact me further if additional information is required.

Kind regards

Mark Wapstra
Senior Scientist/Manager



29 Hillcrest Road (Lot 38), Tolmans Hill: Ecological Statement**"COMPLIANCE STATEMENT" FOR DEVELOPMENT (RESIDENTIAL DWELLING) AT
29 HILLCREST ROAD (LOT 38), TOLMANS HILL, TASMANIA (PID 9124044;
C.T. 178129/38; LIP GKX61): BIODIVERSITY CODE UNDER HOBART INTERIM
PLANNING SCHEME 2015****SUPPORT DOCUMENTATION FOR FUTURE PLANNING APPLICATION**

Prepared by Mark Wapstra for Alex Reed (McCarthy Reed Architects), 12 July 2020

Preamble

Alex Reed (McCarthy Reed Architects) on behalf of their client (Adam Commane) engaged Environmental Consulting Options Tasmania (ECOtas) to provide advice in relation to ecological values associated with the title at 29 Hillcrest Road (Lot 38), Tolmans Hill (PID 9124044; C.T. 178129/38; LPI GKX61), Tasmania (Figures 1-3), in anticipation that a planning application will require some level of natural values assessment by a suitably qualified person, which addresses the classification, condition and extent of native vegetation (including individual trees) within the title that is proposed for removal under the provisions of the Biodiversity Code of the *Hobart Interim Planning Scheme 2015*.

Note that this "compliance statement" is my interpretation of the provisions of the *Hobart Interim Planning Scheme 2015* and may not necessarily represent the views of City of Hobart. The following does not constitute legal advice. It is recommended that formal advice be sought from the relevant agency prior to acting on any aspect of this statement.

Proposal

The proposal is for a single residential dwelling (refer Figure 4). It is understood that the title is shown as having a defined building envelope on the plan of subdivision but that the dwelling and associated works will extend outside the defined building envelope.

It is assumed that a bushfire hazard management plan will be required but that any fuel modification can be wholly contained within the title.

Zoning and overlays

Under the *Hobart Interim Planning Scheme 2015*, the title (Figures 1-3) is zoned as Low Density Residential (Figure 5) and wholly subject to the Biodiversity Protection Area overlay (Figure 6).

Assessment

LISTmap was examined to determine existing vegetation mapping and known sites for threatened flora and fauna. Database reports were produced under DPIPW's *Natural Values Atlas* (DPIPW 2020), the Forest Practices Authority's *Biodiversity Values Database* (FPA 2020) and the Commonwealth Department of the Environment & Energy's *Protected Matters Search Tool* (CofA 2020) to support the assessment process (all appended for reference).

The title was assessed by Mark Wapstra on 12 July 2020. The whole title was assessed by reference to survey pegs and the cadastral boundary as uploaded on to the iGIS application.



29 Hillcrest Road (Lot 38), Tolmans Hill: Ecological Statement

Vegetation types were classified according to TASVEG mapping units as described in *From Forest to Fjaeldmark: Descriptions of Tasmania's Vegetation* (Kitchener & Harris 2013+) with specific reference to the structure and composition of the vegetation.

Surveys for threatened fauna were practically limited to an examination of "potential habitat" (i.e. comparison of on-site habitat features to habitat descriptions for threatened fauna), and detection of tracks, scats and other signs.

Hand-held GPS (Garmin Oregon 600) was used to waypoint all trees over c. 25 cm diameter at breast height over bark (DBHOB, measured in centimetres using a diameter tape), with their positions cross-referenced to trees already marked on the site plan (Figure 11).

No threatened flora was recorded, so further methods are not described.

For the record, the site was also assessed with respect to plant species classified as declared weeds under the Tasmanian *Weed Management Act 1999*, Weeds of National Significance (WoNS) or "environmental weeds" (author opinion and as included in *A Guide to Environmental and Agricultural Weeds of Southern Tasmania*, NRM South 2017). No such species were recorded so further methods are not described.

The site was also assessed with respect to potential impacts of plant and animal pathogens, by reference to habitat types and field symptoms.

FindingsGeneral natural values observations

The title comprises ca. 922 m² of east/northeast-facing moderately steep slopes with an elevation of ca. 315-325 m a.s.l. The geology (Figure 7) of the site and surrounds is mapped as Jurassic dolerite (geocode: Jd), which is mentioned because the substrate can have a strong influence of the classification of native vegetation and provide an indication of the likelihood of threatened flora (and to a lesser extent, threatened fauna).

The title is part of the wider Tolmans Hill residential subdivision, with the southern end of Hillcrest Road on of the more recent extensions to the development. As part of the installation of the sealed end to Hillcrest Road and provision of services, extensive disturbance to native vegetation has been undertaken, which included 27-31 Hillcrest Road, such that little "native vegetation" remains on these adjacent titles.

Vegetation types

The title and surrounds are currently mapped on TASVEG 3.0 (Figure 8) as:

- *Eucalyptus pulchella* forest and woodland (TASVEG code: DPU): whole title and immediate surrounds.

This mapping essentially pre-dates the development of the residential areas along either side of Hillcrest Road.

The title and surrounds are currently mapped on TASVEG Live (Figure 9) as:

- urban areas (TASVEG code: FUR): upper part of title and Hillcrest Road, as well as areas now converted to residential living on either side of Hillcrest Road; and
- *Eucalyptus pulchella* forest and woodland (TASVEG code: DPU): lower two-thirds of title.

Site assessment indicated that the title is now so extensively developed that it no longer qualifies as a native vegetation mapping unit under the TASVEG classification. In the absence of a residential dwelling, it could be classified as extra-urban miscellaneous (TASVEG code: FUM) but



29 Hillcrest Road (Lot 38), Tolmans Hill: Ecological Statement

given the surrounding and intended land use, as well as recognising how TASVEG Live is classifying pre-development titles, the title is now mapped as urban areas (TASVEG code: FUR) (Figure 10).

Remnant "native vegetation" (Plates 1 & 2) is restricted to six trees comprising one *Eucalyptus viminalis* (white gum), one *Eucalyptus globulus* (blue gum) and four *Eucalyptus pulchella* (white peppermint). The understorey is extremely modified but supports scattered individuals of *Pultenaea juniperina* (prickly beauty), *Acacia melanoxylon* (blackwood), *Acacia dealbata* (silver wattle), *Bursaria spinosa* (prickly box), *Bedfordia salicina* (tasmanian blanketleaf), *Indigofera australis* (native indigo) and *Lomatia tinctoria* (guitar plant). The ground layer includes scattered native grasses (*Poa* spp.), graminoids (*Lomandra longifolia*) and herbs (*Viola hederacea*, *Senecio minimus*, *Senecio linearifolius*, *Senecio glomeratus*, *Plantago varia*, *Geranium solanderi*, *Lagenophora stipitata*).



Plate 1. Looking northeast down the already formed access into 29 Hillcrest Road



Plate 2. Looking downslope across the whole title showing the remnant trees and highly modified understorey

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29 Hillcrest Road (Lot 38), Tolmans Hill: Ecological StatementThreatened flora

Database information does not indicate the presence of flora species listed as threatened under schedules of the Tasmanian *Threatened Species Protection Act 1995* and/or the Commonwealth *Environment Protection and Biodiversity Conservation Act 1999* from the title.

Site assessment did not detect any such species from the title area. A previous assessment by the author earlier in 2017 of some titles further to the northwest detected *Rytidosperma indutum* (tall wallabygrass), at the time listed as rare on the Tasmanian *Threatened Species Protection Act 1995*, along the verges of the gravel service road west of the private titles. The species was not detected from the title, which does support potential habitat. For the record, the species is under current consideration for removal from schedules of the Tasmanian *Threatened Species Protection Act 1995* (awaiting ministerial approval but recommended by the Scientific Advisory Committee).

Threatened fauna

Database information does not indicate the presence of fauna species listed as threatened under schedules of the Tasmanian *Threatened Species Protection Act 1995* and/or the Commonwealth *Environment Protection and Biodiversity Conservation Act 1999* from the title.

Apart from ubiquitous potential habitat (but not specific habitat features such as dens or nests) for species such as the Tasmanian devil (*Sarcophilus harrisii*), spotted-tailed quoll (*Dasyurus maculatus*), eastern quoll (*Dasyurus viverrinus*), eastern barred bandicoot (*Perameles gunnii*) and masked owl (*Tyto novaehollandiae*), which should not present any significant constraints to development (including bushfire hazard management), the title supports potential habitat of the swift parrot (*Lathamus discolor*).

The presence of a single *Eucalyptus viminalis* (white gum) is not considered to provide potential habitat of the forty-spotted pardalotes (*Pardalotus quadragintus*) at any reasonable scale.

The presence of a single *Eucalyptus globulus* (blue gum) is not considered to provide potential habitat of the swift parrot (*Lathamus discolor*) at any reasonable scale, noting that the wider area supports extensive blue gum such that the loss of one small tree is not considered significant.

Weeds

No declared weeds were detected from within the title.

In my opinion, the proposed development including bushfire hazard management will not result in a significant alteration to the current distribution and abundance of declared weeds within the wider area. A complex stand-alone weed management plan is not considered warranted, with owner-occupation the most practical means to achieve maintaining a weed-free status of the title (which will be effectively achieved by development).

Individual trees

All trees greater than or about 25 cm DBH within the subject title that may need to be removed and/or may be affected by bushfire hazard management were geolocated using hand-held GPS (Garmin Oregon 600), characterised (species, DBH, height, presence of hollows, health and form, etc.) and mapped relative to the title (Figure 11, Table 1). Note that because of the relatively low precision of the hand-held GPS, I have cross-referenced the location of all trees by labelling the trees shown on the site plan (Figure 11).



29 Hillcrest Road (Lot 38), Tolmans Hill: Ecological Statement**Table 1.** Characteristics of individual trees [tree number cross-references to Figure 11]

tree	species	height (m)	DBHOB (cm)	hollows	status
1	<i>E. pulchella</i>	10	27	no	remove
2	<i>E. pulchella</i>	18	61	no	remove
3	<i>E. pulchella</i>	18	41	no	remove
4	<i>E. pulchella</i>	5	15	no	remove
5	<i>E. globulus</i>	22	43	no	remove
6	<i>E. viminalis</i>	18	32	no	remove

The title supports only six trees over 25 cm DBHOB., all of which will require removal because they are in the approximate middle of the title. In any reasonable sense, the loss of six trees is of low conservation significance at the scale of the project. In a wider sense, the loss will contribute to the gradual attrition of trees in the wider landscape, although this must be considered in the context of the now long-approved residential subdivision that presumably took account of this eventual loss by setting aside appropriate areas of native forest.

Biodiversity Code

The PURPOSE of the Biodiversity Code is stated below:

E10.1 Purpose**E10.1.1**

The purpose of this provision is to:

- (a) minimise loss of identified threatened native vegetation communities and threatened flora species;
- (b) conserve identified threatened fauna species by minimising clearance of important habitat and managing environmental impact;
- (c) minimise loss of other biodiversity values that are recognised as locally significant by the Planning Authority.

The development area does not support threatened vegetation communities or threatened flora, such that E10.1.1(a) should not have direct application.

The development area does support potential habitat of threatened fauna, such that E10.1.1(b) may have some application.

I am not aware of the development area supporting other biodiversity values that are recognised as locally significant by the Planning Authority, such that E10.1.1(c) may have limited application. Refer also to detailed examination of Table E10.1.

In my opinion, at a broad level development within the subject title should not compromise the purpose of the Biodiversity Code, within the context of the now long-approved residential subdivision and the known expectation that small lots such as the present one would effectively require clearing and modification to facilitate the intended land use.

The APPLICATION of the Biodiversity Code is stated below:

E10.2 Application**E10.2.1**

This code applies to development involving clearance and conversion or disturbance of native vegetation within a Biodiversity Protection Area.

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29 Hillcrest Road (Lot 38), Tolmans Hill: Ecological Statement

"Native vegetation" is defined in the *Scheme* as:

"means plants that are indigenous to Tasmania including trees, shrubs, herbs and grasses that have not been planted for domestic or commercial purposes".

While I have re-classified the entire title as urban areas (TASVEG code: FUR), which is part of the "modified land" supercategory under the TASVEG classification (Kitchener & Harris 2013+) and hence logically not necessarily "native vegetation" in an ecological sense, the title still supports some native trees, shrubs and ground layer species such that technically "native vegetation" in the sense of the *Scheme* is present, meaning that E10.2.1 has application.

"Clearance and conversion" is defined under the Code as:

"means the process of removing native vegetation from an area of land and:

- (a) leaving the area of land, on a permanent or extended basis, in a state predominantly unvegetated with native vegetation; or
- (b) replacing the native vegetation so removed, on a permanent or extended basis, with residential, commercial, mining, agriculture or other non-agricultural development".

It is reasonable to consider the clearing of vegetation for the purposes of the residential dwelling and access (and other project elements) would comprise "clearance and conversion", such that E10.2.1 has application.

"Disturbance" is defined under the Code as:

"the alteration of the structure and species composition of a native vegetation community through actions including cutting down, felling, thinning, logging, removing or destroying of a native vegetation community"

It is reasonable to consider modification for bushfire hazard management to comprise "disturbance", such that E10.2.1 has application.

In this case, it is assumed that once complete the development will effectively result in the practical "clearance and conversion" of any "native vegetation" within the title.

The DEVELOPMENT STANDARDS for buildings and works are stated below:

E10.7 Development Standards**E10.7.1 Buildings and Works**

Objective:

To ensure that development for buildings and works that involves clearance and conversion or disturbance within a Biodiversity Protection Area does not result in unnecessary or unacceptable loss of priority biodiversity values.

While I understand the purpose of the application of the Biodiversity Protection Area overlay, in cases such as the present title where the initial subdivision took into full account the requirements of biodiversity (resulting in dedication of public open space and biodiversity reserves, such as are present near the reservoirs further upslope), opportunities to minimise loss of priority biodiversity values, where present, are extremely limited. This is particularly the case in the present title which is only 920 m² in extent. Most of the title, one way or another, is already cleared as part of the development of the services for this part of the subdivision.

I note that virtually all the titles in the Tolmans Hill area have been fenced, which is a reasonable action under the zone provisions but would obviously result in the removal of any "native vegetation" along the boundaries of the title. Under E10.4.1(l)(ii) of the Biodiversity Code, "works for the purpose of erecting or maintaining a boundary fence...within 2 m of a boundary line if in other zones" are exempt.

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Only if the general purpose of the land is taken into account (i.e. essentially zoned as Low Density Residential with a clear intent for development of a single residential dwelling), can it be argued that the loss of priority biodiversity values could be considered as necessary and acceptable. That is, the objective statement is technically satisfied.

The ACCEPTABLE SOLUTION is stated below:

Acceptable Solutions**A1**

Clearance and conversion or disturbance must comply with one of the following:

- (a) be within a Building Area on a plan of subdivision approved under this planning scheme.
- (b) the development is for a single dwelling on an existing lot within the Low Density Residential Zone, Rural Living Zone or Environmental Living Zone and:
 - (i) clearance and conversion or disturbance is confined to Low Priority Biodiversity Values;
 - (ii) the area of clearance and conversion is no more than 3,000 m²;
 - (iii) the area of disturbance is no more than 3,000 m²;
- (c) the development is other than for a single dwelling on an existing lot within the Low Density Residential Zone, Rural Living Zone or Environmental Living Zone and:
 - (i) clearance and conversion or disturbance is confined to Low Priority Biodiversity Values;
 - (ii) the area of clearance and conversion is no more than 1,000 m²;
 - (iii) the area of disturbance is no more than 1,000 m².

The subject title has a "Building Area on a plan of subdivision approved", such that the ACCEPTABLE SOLUTION is partially met, at least for part of the residential dwelling. However, at least some of the development will be outside the building envelope (by my interpretation), such that A1(a) is probably not technically met.

A1(c) is not applicable to the proposed development.

In my opinion, A1(b) is satisfied because (i) the title is zoned as Low Density Residential, (ii) the site only supports low priority biodiversity values (see later analysis of Table E10.1), and (iii) due to the size of the title, the area of clearance and conversion and/or disturbance cannot exceed 3,000 m².

On this basis, the ACCEPTABLE SOLUTION will be satisfied and the PERFORMANCE CRITERIA should not need to be examined.

However, for completeness and in case the above is not the same interpretation by the planning authority, I explore the PERFORMANCE CRITERIA. Key to this, however, is the classification of the natural values of the title proposed as high, moderate or low priority biodiversity values.

Table E10.1 defines the criteria that may comprise these categories of priority biodiversity values, separating these into vegetation communities, ecological communities, and fauna habitat, which are considered below.



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High priority biodiversity values	
Description	Comment
Native vegetation communities listed as threatened under the <i>Nature Conservation Act 2002</i> excluding wetlands	Not present.
<i>Eucalyptus amygdalina</i> forest/woodland on sandstone (DAS)	Not present.
<i>Eucalyptus globulus</i> dry forest/woodland (DGL)	Not present.
<i>Eucalyptus ovata</i> forest/woodland (DOV)	Not present.
<i>Eucalyptus tenuiramis</i> forest/woodland on sediments (DTO)	Not present.
<i>Notelaea – Pomaderris – Beyeria</i> forest (SBR)	Not present.
Ecological communities listed as threatened under the <i>Environment Protection and Biodiversity Conservation Act 1999</i>	Not present.
Lowland <i>Themeda triandra</i> grassland (GTL) meeting the condition thresholds specified in the <i>Environment Protection and Biodiversity Conservation Act</i> Policy Statement for 'Lowland Native grasslands of Tasmania'	Not present.
Highly significant actual or potential habitat for fauna species listed as 'endangered' or 'vulnerable' under the <i>Threatened Species Protection Act 1995</i> as determined by a natural values determination or natural values assessment based on the likelihood of use by the species and the importance of that habitat for the species taking into consideration the matters specified in Table E10.1A	The title does support potential habitat for the various threatened fauna, although these are all unlikely to utilise the title in anything other than a highly opportunistic and ephemeral nature. As such, I do not regard the habitat as "highly significant actual or potential habitat" at any reasonable scale.
Highly significant actual or potential habitat for threatened or migratory fauna species listed under the <i>Environment Protection and Biodiversity Conservation Act 1999</i> as determined by a natural values determination or natural values assessment based on the likelihood of use by the species and the importance of that habitat for the species taking into consideration the matters specified in Table E10.1A.	See section above – this effectively refers to the migratory swift parrot. In the case of the title, a single small <i>E. globulus</i> (blue gum) within the title is not considered as "highly significant actual or potential habitat" at any reasonable scale.

The degree to which the site proposed for some form of development supports high priority biodiversity values depends on the interpretation of the guidance statements in relation to fauna habitat assessment considerations (Table E10.1A), as follows:

Fauna habitat assessment considerations:

- the known and potential range of the species;
- the specific habitat requirements and preferences of the species for successful completion of its lifecycle including feeding, shelter and reproduction;
- the extent, distribution, prevalence, condition and likely availability of the specific habitat requirements and preferences of the species on the site;
- the extent, distribution, prevalence, condition and likely availability of the specific habitat requirements and preferences of the species elsewhere;
- observations of species on the site;
- records of species observations on the site and elsewhere.

Determinations of habitat significance should consider:

- habitat descriptions published by the State or Federal Governments and independent statutory authorities;

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- published scientific literature; and/or
- expert opinion.

Taking these into account, and cross-referencing to the descriptions of potential habitat in FPA (2020), I do not believe that the title supports high priority biodiversity values.

Moderate priority biodiversity values	
Description	Comment
Broad-leaf scrub (SBR) excluding <i>Notelaea</i> – <i>Pomaderris</i> – <i>Beyeria</i> forest (SBR)	Not present.
<i>Eucalyptus amygdalina</i> forest on mudstone (DAM)	Not present.
<i>Eucalyptus globulus</i> wet forest (WGL)	Not present.
<i>Eucalyptus subcrenulata</i> forest/woodland (WSU)	Not present.
<i>Eucalyptus tenuiramis</i> forest/woodland on dolerite (DTD)	Not present.
Highland low rainforest and scrub (RSH)	Not present.
<i>Nothofagus</i> – <i>Atherosperma</i> rainforest (RMT)	Not present.
<i>Nothofagus</i> rainforest (undifferentiated) (RMU)	Not present.
Lowland <i>Themeda triandra</i> grassland (GTL) not meeting the condition thresholds specified in the <i>Environment Protection and Biodiversity Conservation Act</i> Policy Statement for 'Lowland Native grasslands of Tasmania'	Not present.
Highly significant actual or potential habitat for fauna species listed as 'rare' under the <i>Threatened Species Protection Act 1995</i> as determined by a natural values determination or natural values assessment based on the likelihood of use by the species and the importance of that habitat for the species taking into consideration the matters specified in Table E10.1A	Not applicable (except perhaps in relation to the spotted-tail quoll, which is listed as rare and may occasionally utilise the area).
Moderately significant actual or potential habitat for fauna species listed as endangered or vulnerable under the <i>Threatened Species Protection Act 1995</i> as determined by a natural values determination or natural values assessment based on the likelihood of use by the species and the importance of that habitat for the species taking into consideration the matters specified in Table E10.1A	The <i>Scheme</i> (or Code) does not provide definitions to separate the concepts of "highly significant" and "moderately significant" but it is reasonable to consider that if a site does support potential habitat that is not considered "highly significant" (as I have done in relation to the swift parrot and other species), that it may constitute "moderately significant" potential habitat (depending on its condition and some other factors). In this case, a single blue gum is not regarded as moderately significant because the assessment has indicated a very low likelihood of use except in an highly opportunistic and ephemeral manner
Moderately significant actual or potential habitat for threatened or migratory fauna species listed under the <i>Environment Protection and Biodiversity Conservation Act 1999</i> as determined by a natural values determination or natural values assessment based on the likelihood of use by the species and the importance of that habitat for the species taking into consideration the matters specified in Table E10.1A.	See section above – this effectively refers to the migratory swift parrot. In the case of the title, a single small <i>E. globulus</i> (blue gum) within the title is not considered as "highly significant actual or potential habitat" at any reasonable scale.

Taking these into account the guidance statements in relation to fauna habitat assessment considerations (Table E10.1A), and cross-referencing to the descriptions of potential habitat in FPA (2019), I believe that the does not support moderate priority biodiversity values.



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Low priority biodiversity values	
Description	Comment
All other fauna habitat.	The title does support low priority biodiversity values.

On the basis of the above review of the Table E10.1, I believe that the title is reasonably concluded to only support low priority biodiversity values.

The PERFORMANCE CRITERIA are stated below, with reference to those for that level of value only:

Performance Criteria**P1**

Clearance and conversion or disturbance must satisfy the following:

- (a) if low priority biodiversity values:
 - (i) development is designed and located to minimise impacts, having regard to constraints such as topography or land hazard and the particular requirements of the development;
 - (ii) impacts resulting from bushfire hazard management measures are minimised as far as reasonably practicable through fire-resistant design of habitable buildings;

As stated previously, in relation to relatively small titles nestled between other titles and existing dwellings within an area zoned with the primary purpose of residential occupation, it is difficult to meet the intent of the PERFORMANCE CRITERIA unless those factors are taken into account. In practice, the configuration of the subject title and its context mean that in a technical sense P1(a)(i) should be satisfied by default in that there are limited (perhaps no) feasible alternatives to any proposed development.

In relation to P1(a)(ii), contemporary bushfire hazard management directives are quite explicit in how native vegetation will need to be managed. In my opinion, it is perfectly reasonable to present a case to reduce the BAL rating from "flame zone", 40 or 29 down to 19, 12 or less in a site such as the upper slopes of Tolmans Hill. Inevitably, such a reduction in a BAL rating will impact on the biodiversity values of a site. In this case, the title and immediate surrounds are already effectively cleared of native vegetation such that any further bushfire hazard management is unlikely to impact deleteriously further on the identified natural values, such that P1(a)(ii) should be satisfied by default.

References

- CofA (Commonwealth Australia) (2019). *Protected Matters Search Tool Report* for a point defining the approximate centre of the title, dated 12 July 2020. [appended]
- de Salas, M.F. & Baker, M.L. (2019). *A Census of the Vascular Plants of Tasmania, including Macquarie Island*. Tasmanian Herbarium, Hobart. [for scientific and taxonomic nomenclature of vascular plants]
- DPIPWE (Department of Primary Industries, Parks, Water & Environment) (2015). *Guidelines for Natural Values Surveys - Terrestrial Development Proposals*. Department of Primary Industries, Parks, Water & Environment, Hobart.
- DPIPWE (Department of Primary Industries, Parks, Water & Environment) (2020). *Natural Values Atlas Report ECotas_29HillcrestRoad* for a polygon defining the title area (centred on 524852mE 5248873mN), buffered by 5 km, dated 12 July 2020. [appended]



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- Duretto, M.F. (Ed.) (2009+) *Flora of Tasmania Online*. Tasmanian Herbarium, Hobart. [for scientific and taxonomic nomenclature of vascular plants]
- FPA (Forest Practices Authority) (2020). *Biodiversity Values Database* report, specifically the species' information for grid reference centroid 524852mE 5248873mN (nominally the centroid of the *Natural Values Atlas* report), buffered by 2 km and 5 km for threatened flora and fauna, respectively, hyperlinked species' profiles and predicted range boundary maps, dated 12 July 2020. [appended]
- Kitchener, A. & Harris, S. (2013+, online edition). *From Forest to Fjaeldmark: Descriptions of Tasmania's Vegetation*. Edition 2. Department of Primary Industries, Parks, Water & Environment, Hobart. [for classification and nomenclature of vegetation mapping units]
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- Wapstra, H., Wapstra, A., Wapstra, M. & Gilfedder, L. (2005+, updated online at www.dpipwe.tas.gov.au). *The Little Book of Common Names for Tasmanian Plants*. Department of Primary Industries, Water & Environment, Hobart. [for vernacular nomenclature of vascular plants]



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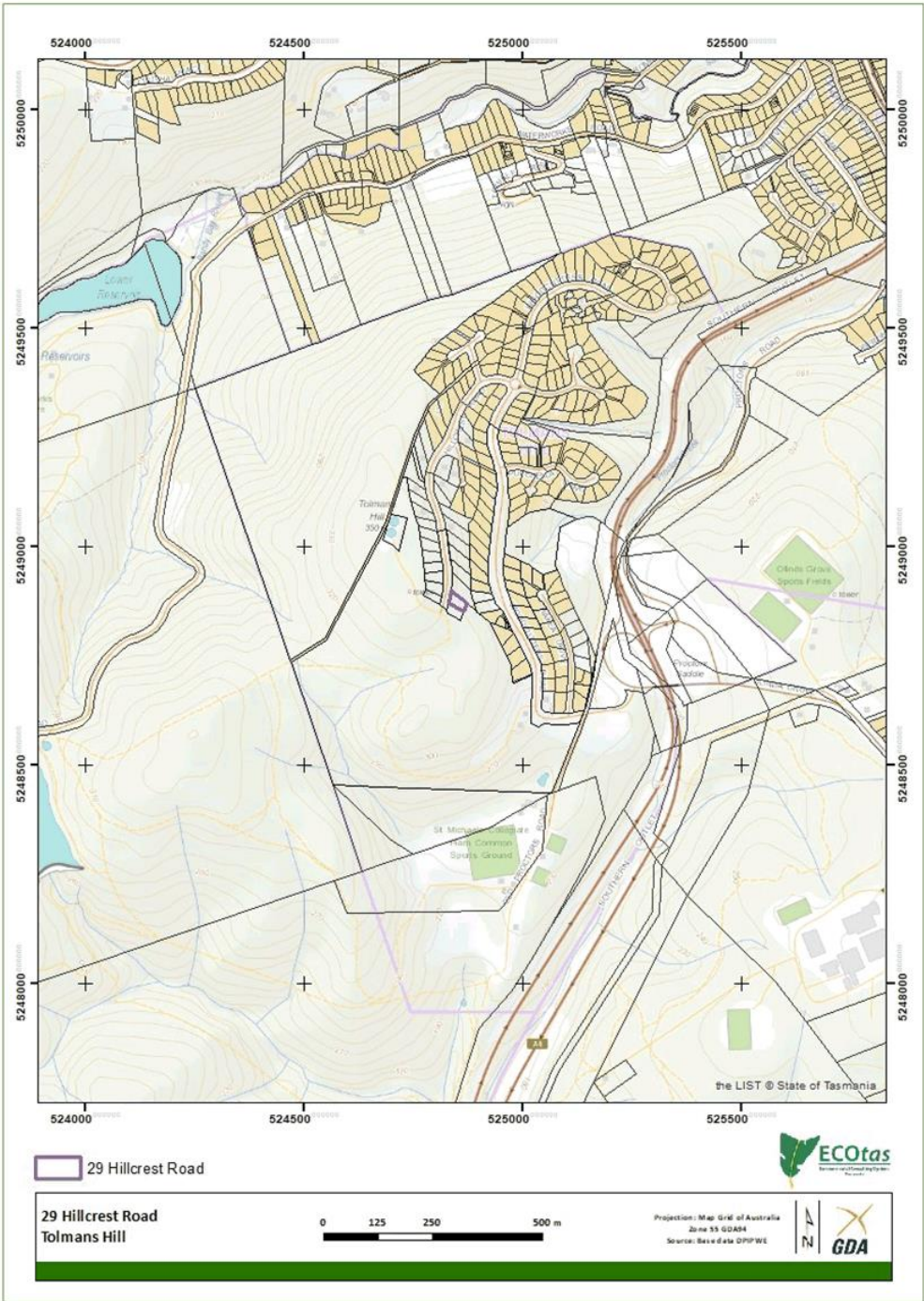


Figure 1. General location of 29 Hillcrest Road [source: LISTmap]



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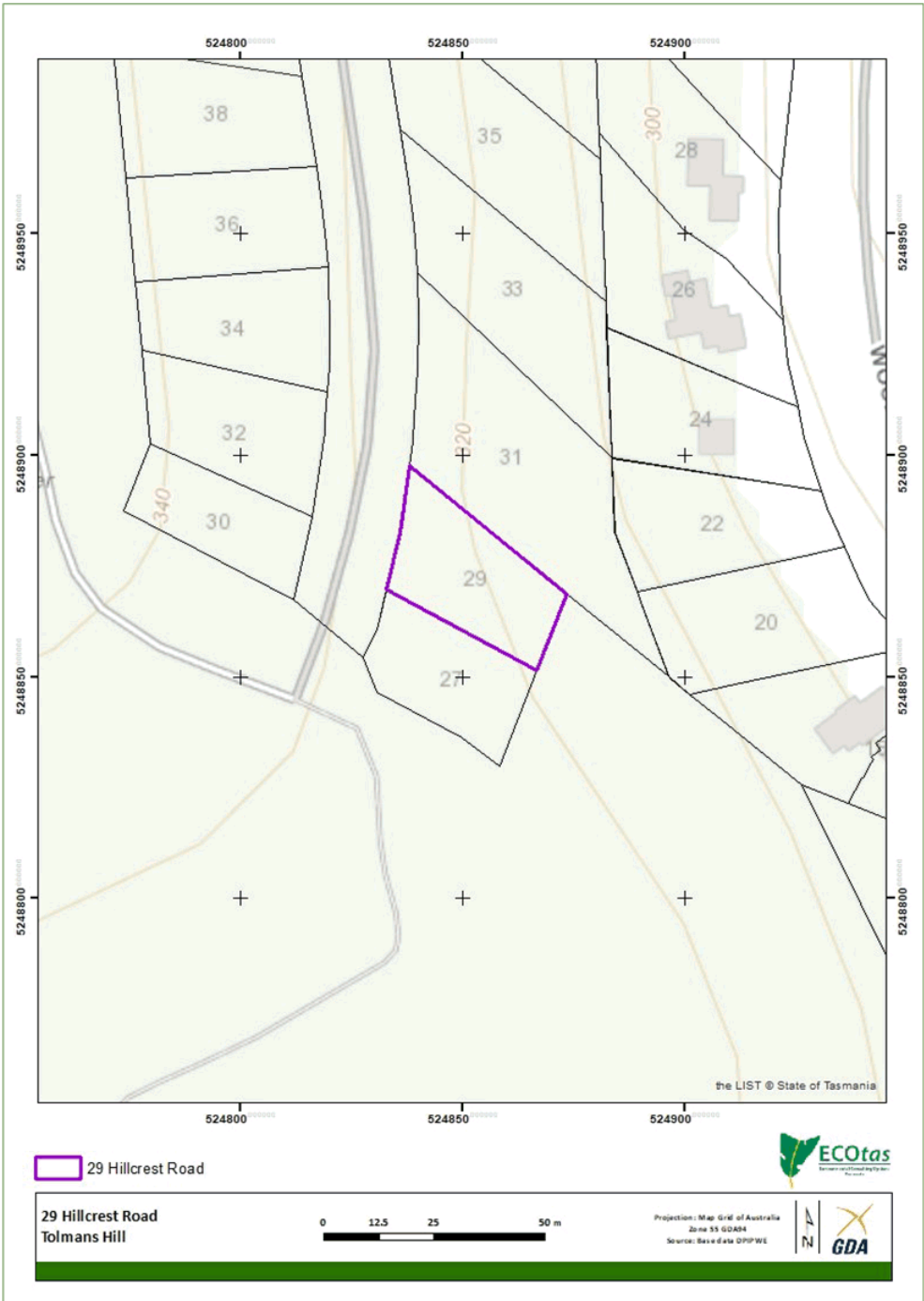


Figure 2. Detailed location of 29 Hillcrest Road, showing cadastral and topographic information [source: LISTmap]



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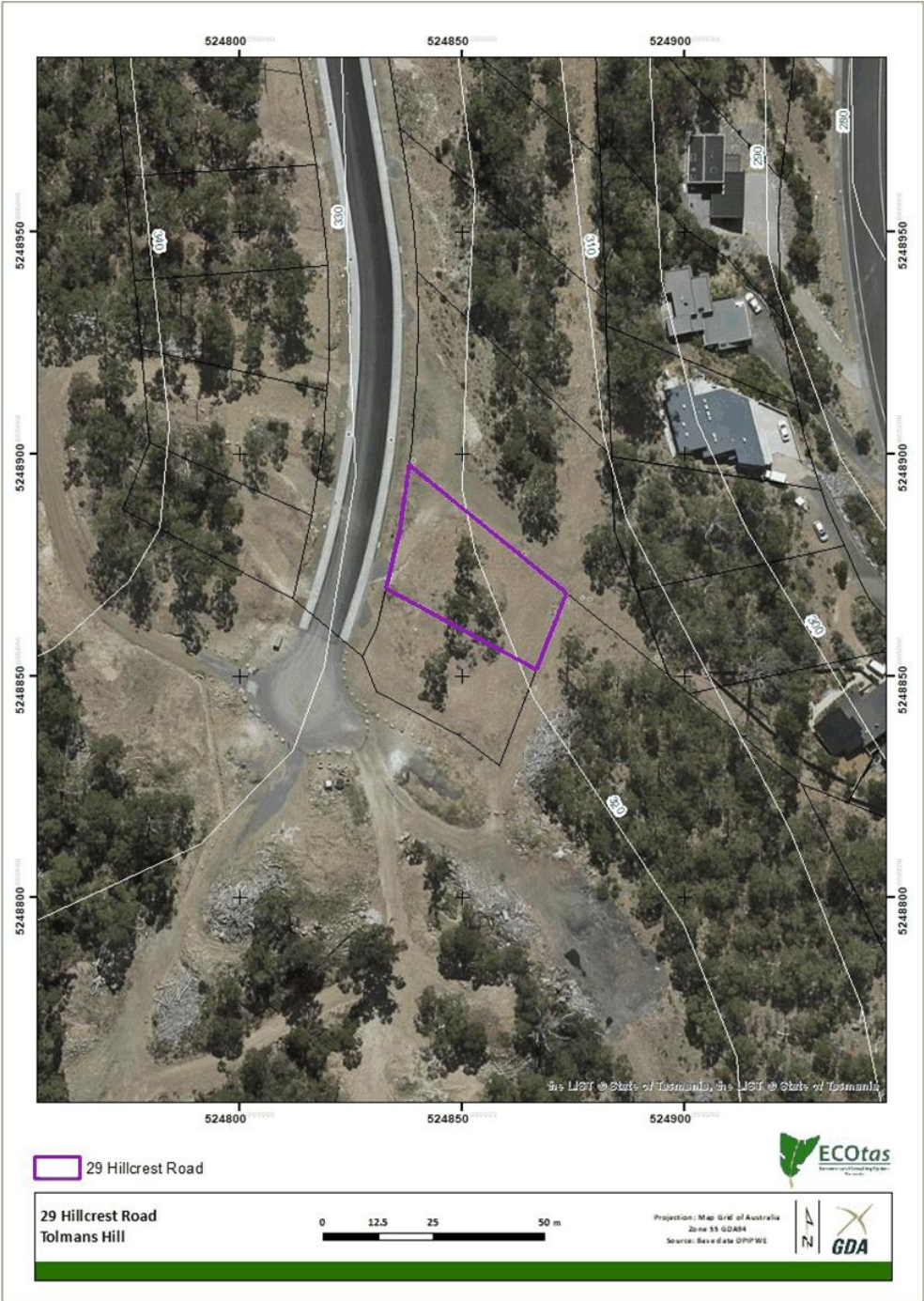


Figure 3. Detailed location of 29 Hillcrest Road, showing the most recent orthoimagery [source: LISTmap]

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Figure 4. Draft site plan showing existing access and building area [courtesy: McCarthy Reed Architects]



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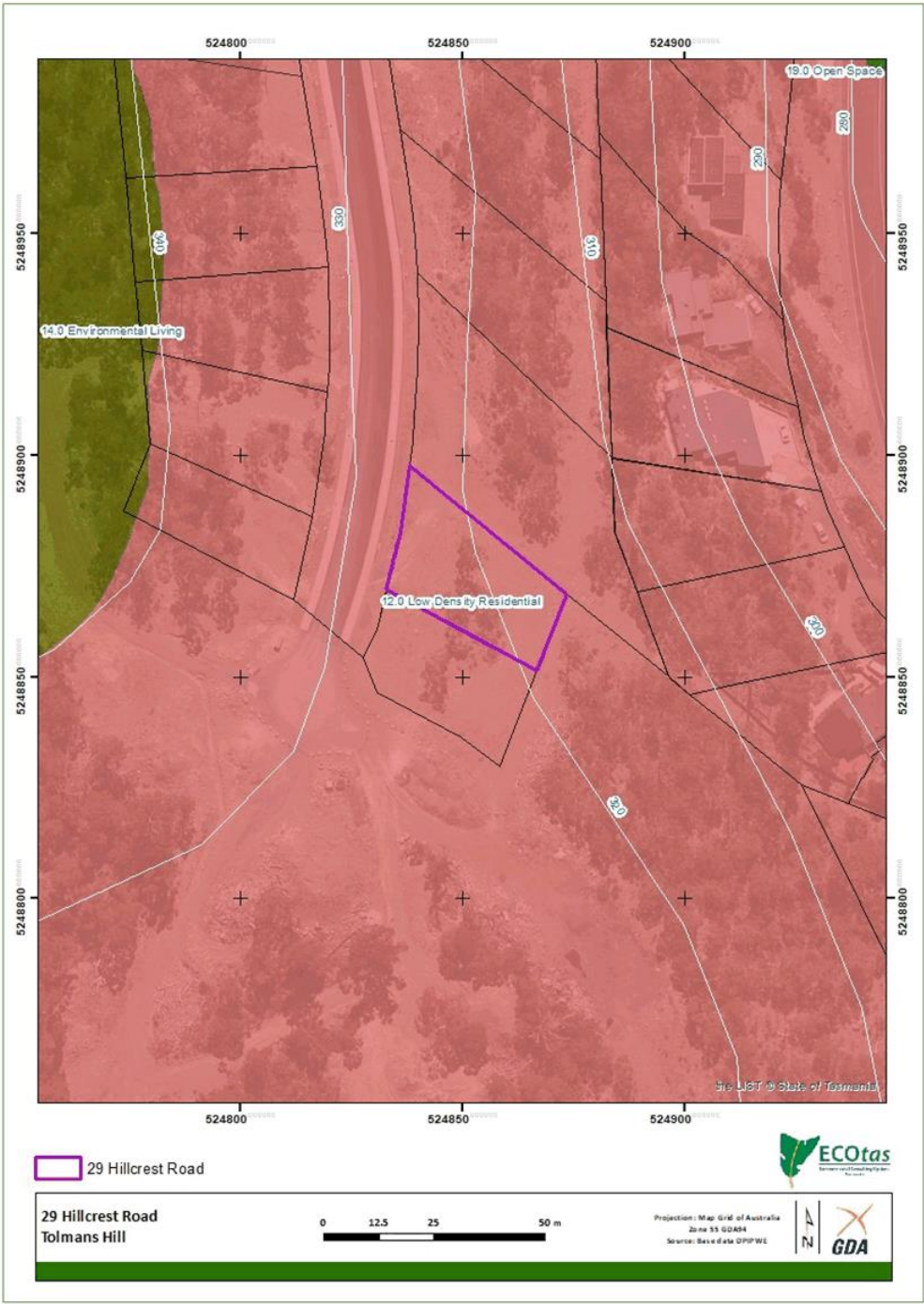


Figure 5. Zoning pursuant to the *Hobart Interim Planning Scheme 2015*) of 29 Hillcrest Road and surrounds [source: LISTmap]

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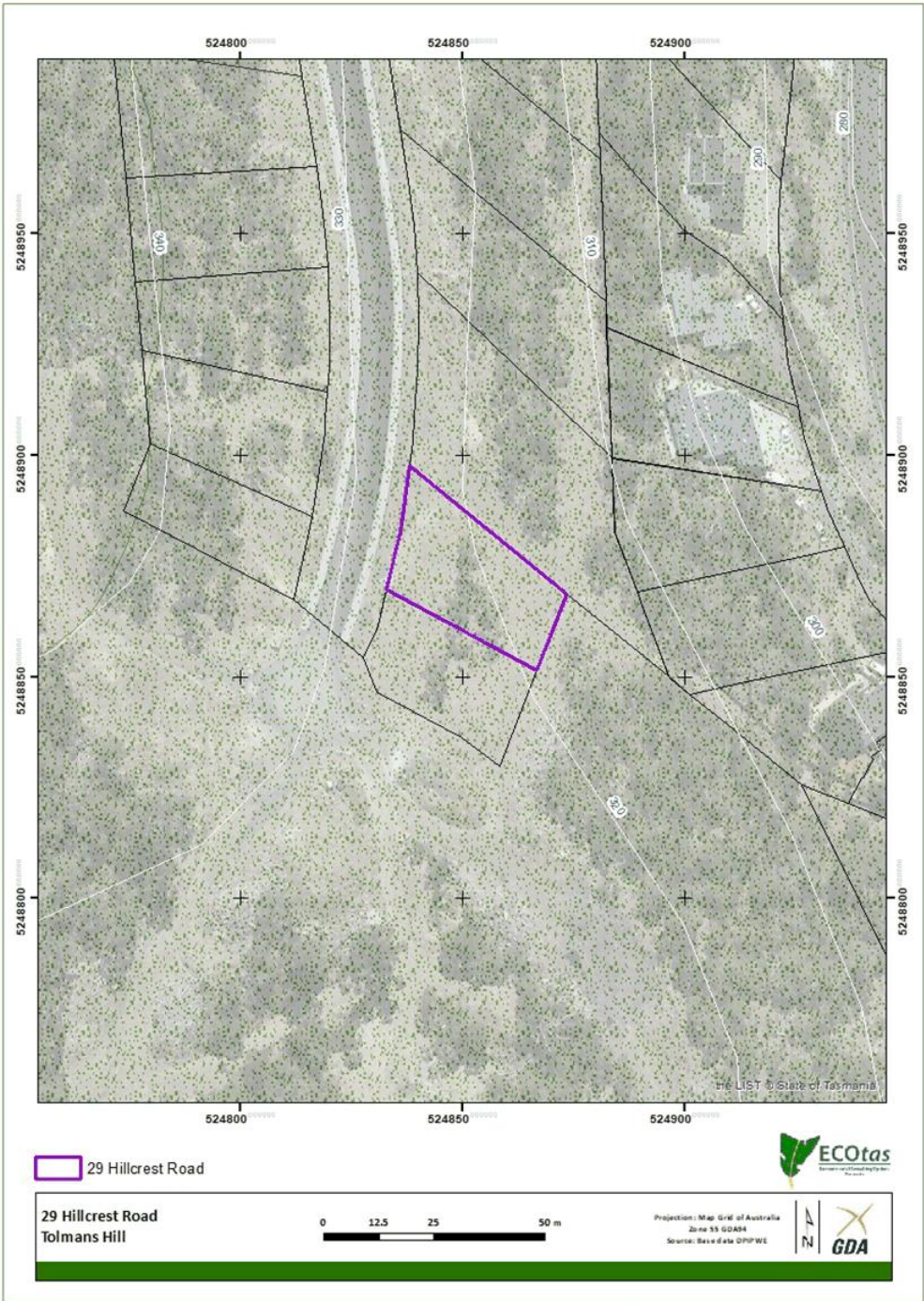


Figure 6. Biodiversity Protection Area overlay pursuant to the Hobart Interim Planning Scheme 2015 of 29 Hillcrest Road and surrounds [source: LISTmap]



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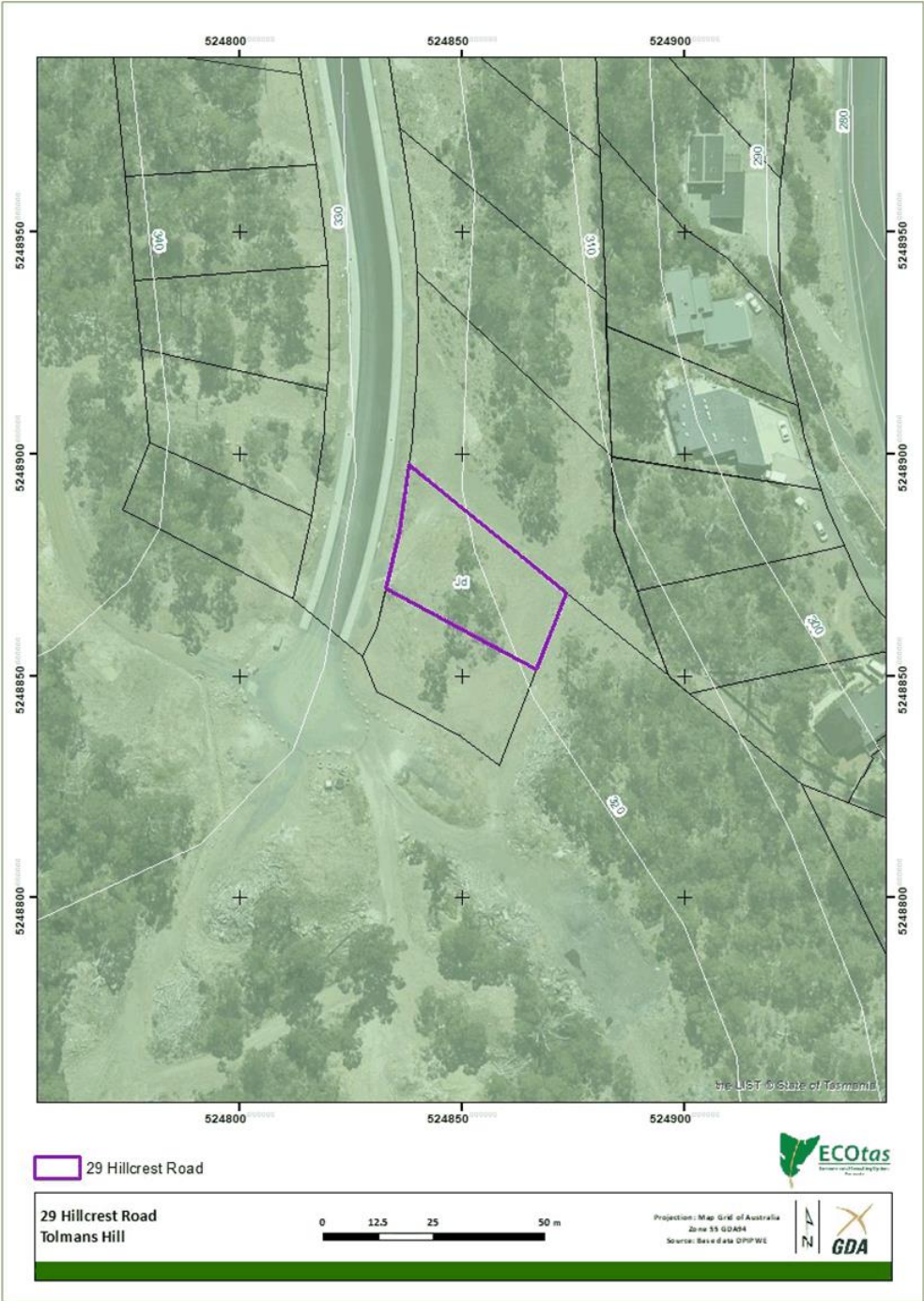


Figure 7. Geology of 29 Hillcrest Road and surrounds (refer to text for code)

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Figure 8. Existing TASVEG 3.0 vegetation mapping for 29 Hillcrest Road and surrounds (refer to text for codes)

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Figure 9. Existing TASVEG Live vegetation mapping for 29 Hillcrest Road and surrounds (refer to text for codes)

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Figure 10. Revised vegetation mapping for 29 Hillcrest Road (refer to text for code)

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[illegible]

Figure 11. Location of individual trees relative to the site plan (cross-reference to Table 1)

Threatened Fauna Range Boundaries

Search Point 524852E,5248873N is within the following fauna range boundaries as at Sun Jul 12 2020 12:33:50 GMT+1000 (Australian Eastern Standard Time)

Common name	Species name	Range Class	Habitat Description
grey goshawk	Accipiter novaehollandiae	Core Range	<p>Potential habitat for the grey goshawk is native forest with mature elements below 600 m altitude, particularly along watercourses. FPA's Fauna Technical Note 12 can be used as a guide in the identification of grey goshawk habitat.</p> <p>Significant habitat for the grey goshawk may be summarised as areas of wet forest, rainforest and damp forest patches in dry forest, with a relatively closed mature canopy, low stem density, and open understorey in close proximity to foraging habitat and a freshwater body (i.e. stream, river, lake, swamp, etc.). FPA's Fauna Technical Note 12 can be used as a guide in the identification of grey goshawk habitat.</p>
chaostola skipper	Antipodia chaostola	Core Range	<p>Potential habitat for the Chaostola Skipper is dry forest and woodland supporting Gahnia radula (usually on sandstone and other sedimentary rock types) or Gahnia microstachya (usually on granite-based substrates).</p>
wedge-tailed eagle	Aquila audax subsp. fleayi	Potential Range	<p>Potential habitat for the wedge-tailed eagle comprises potential nesting habitat and potential foraging habitat. Potential nesting habitat is a wide variety of forest (including areas subject to native forest silviculture) and non-forest habitats. Potential nesting habitat is tall eucalypt trees in large tracts (usually more than 10 ha) of eucalypt or mixed forest. Nest trees are usually amongst the largest in a locality. They are generally in sheltered positions on leeward slopes, between the lower and mid sections of a slope and with the top of the tree usually lower than the ground level of the top of the ridge, although in some parts of the State topographic shelter is not always a significant factor (e.g. parts of the northwest and Central Highlands). Nests are usually not constructed close to sources of disturbance and nests close to disturbance are less productive. More than one nest may occur within a territory but only one is used for breeding in any one year. Breeding failure often promotes a change of nest in the next year. [see FPA's Fauna Technical Note 1 and FPA's Fauna Technical Note 6 for more information]</p> <p>Significant habitat for the wedge-tailed eagle is all native forest and native non-forest vegetation within 500 m or 1 km line-of-sight of known nest sites (where the nest tree is still present).</p>
spotted-tailed quoll	Dasyurus maculatus	Potential Range	<p>Potential habitat for the spotted-tailed quoll is coastal scrub, riparian areas, rainforest, wet forest, damp forest, dry forest and blackwood swamp forest (mature and regrowth), particularly where structurally complex areas are present, and includes remnant patches in cleared agricultural land or plantation areas.</p> <p>Significant habitat for the spotted-tailed quoll is all potential denning habitat within the core range of the species.</p> <p>Potential denning habitat for the spotted-tailed quoll includes 1) any forest remnant (>0.5ha) in a cleared or plantation landscape that is structurally complex (high canopy, with dense understorey and ground vegetation cover), free from the risk of inundation, or 2) a rock outcrop, rock crevice, rock pile, burrow with a small entrance, hollow logs, large piles of coarse woody debris and caves. FPA's Fauna Technical Note 10 can be used as a guide in the identification of potential denning habitat.</p>
eastern quoll	Dasyurus viverrinus	Core Range	<p>Potential habitat for the Eastern quoll includes rainforest, heathland, alpine areas and scrub. However, it seems to prefer dry forest and native grassland mosaics which are bounded by agricultural land.</p> <p>Potential range for the Eastern Quoll is the whole of mainland Tasmania and Bruny Island. Core range for the Eastern Quoll is a specialist-defined area based primarily on modelling work published in Fancourt et al 2015 and additional expert advice.</p>
land snail (Ammonite Snail)	Discocaropa vicens	Potential Range	<p>Potential habitat for the Ammonite Snail is dry and wet eucalypt forests on dolerite in the Hobart lowlands (all below 400 m a.s.l.).</p>
white-bellied sea-eagle	Haliaeetus leucogaster	Potential Range	<p>Potential habitat for the White-Bellied Sea-eagle species comprises potential nesting habitat and potential foraging habitat. Potential foraging habitat is any large waterbody (including sea coasts, estuaries, wide rivers, lakes, impoundments and even large farm dams) supporting prey items (fish). Potential nesting habitat is tall eucalypt trees in large tracts (usually more than 10 ha) of eucalypt or mixed forest within 5 km of the coast (nearest coast including shores, bays, inlets and peninsulas), large rivers (Class 1), lakes or complexes of large farm dams. Scattered trees along river banks or pasture land may also be used.</p> <p>Significant habitat for the white-bellied sea-eagle is all native forest and native non-forest vegetation within 500 m or 1 km line-of-sight of known nest sites (where nest tree still present).</p>
swift parrot	Lathamus discolor	Core Breeding Range	<p>Potential breeding habitat for the Swift Parrot comprises potential foraging habitat and potential nesting habitat, and is based on definitions of foraging and nesting trees (see Table A in swift parrot habitat assessment Technical Note). Potential foraging habitat comprises E. globulus or E. ovata trees that are old enough to flower. The occurrence of foraging-habitat can be remotely assessed, although only to a limited extent, by using mapping layers such as GlobMap (DPIPWE 2010). Due to the scale and inadequacies in current foraging-habitat mapping, potential foraging-habitat density within operational areas may need to be largely identified by ground-based surveys as per Table B in the swift parrot habitat assessment Technical Note. For management purposes potential nesting habitat is considered to comprise eucalypt forests that contain hollow-bearing trees. The FPA mature habitat availability map (see Technical Note 2) predicts the availability of hollow-bearing trees using the relevant definitions of habitat provided in Table C of the swift parrot habitat assessment Technical Note. The mature habitat availability map is designed to be used to make landscape-scale assessments and may not be reliable for stand-level assessments required during the development of a Forest Practices Plan. At the stand-level the availability and distribution of hollow-bearing trees across a coupe or operation area is best determined from a ground-based assessment (see Table C in the swift parrot habitat assessment Technical Note).</p> <p>Significant habitat is all potential breeding habitat within the SE potential breeding range and the NW breeding areas.</p>
swift parrot	Lathamus discolor SPIBA	SPIBA - Hobart	<p>Potential breeding habitat for the Swift Parrot comprises potential foraging habitat and potential nesting habitat, and is based on definitions of foraging and nesting trees (see Table A in swift parrot habitat assessment Technical Note). Potential foraging habitat comprises E. globulus or E. ovata trees that are old enough to flower. The occurrence of foraging-habitat can be remotely assessed, although only to a limited extent, by using mapping layers such as GlobMap (DPIPWE 2010). Due to the scale and inadequacies in current foraging-habitat mapping, potential foraging-habitat density within operational areas may need to be largely identified by ground-based surveys as per Table B in the swift parrot habitat assessment Technical Note. For management purposes potential nesting habitat is considered to comprise eucalypt forests that contain hollow-bearing trees. The FPA mature habitat availability map (see Technical Note 2) predicts the availability of hollow-bearing trees using the relevant definitions of habitat provided in Table C of the swift parrot habitat assessment Technical Note. The mature habitat availability map is designed to be used to make landscape-scale assessments and may not be reliable for stand-level assessments required during the development of a Forest Practices Plan. At the stand-level the availability and distribution of hollow-bearing trees across a coupe or operation area is best determined from a ground-based assessment (see Table C in the swift parrot habitat assessment Technical Note).</p> <p>Significant habitat is all potential breeding habitat within the SE potential breeding range and the NW breeding areas.</p>
forty-spotted pardalote	Pardalotus quadragintus	Potential Range	<p>Potential habitat for the 40-spotted pardalote is any forest and woodland supporting Eucalyptus viminalis (white gum) where the canopy cover of E. viminalis is greater than or equal to 10% or where E. viminalis occurs as a localised canopy dominant or codominant in patches exceeding 0.25 ha.</p> <p>Significant habitat for the 40-spotted Pardalote is all potential habitat associated with known colonies and such habitat within 500 m of known colonies.</p>
eastern barred bandicoot	Perameles gunnii	Core Range	<p>Potential habitat for the eastern barred bandicoot is open vegetation types including woodlands and open forests with a grassy understorey, native and exotic grasslands, particularly in landscapes with a mosaic of agricultural land and remnant bushland. Significant habitat for the Eastern Barred Bandicoot is dense tussock grass-sagg-sedge swards, piles of coarse woody debris and denser patches of low shrubs (especially those that are densely branched close to the ground providing shelter) within the core range of the species.</p>

Common name	Species name	Range Class	Habitat Description
tasmanian devil	Sarcophilus harrisii	Potential Range	Potential habitat for the Tasmanian devil is all terrestrial native habitats, forestry plantations and pasture. Devils require shelter (e.g. dense vegetation, hollow logs, burrows or caves) and hunting habitat (open understorey mixed with patches of dense vegetation) within their home range (4-27 km ²).
			Significant habitat for the Tasmanian devil is a patch of potential denning habitat where three or more entrances (large enough for a devil to pass through) may be found within 100 m of one another, and where no other potential denning habitat with three or more entrances may be found within a 1 km radius, being the approximate area of the smallest recorded devil home range (Pemberton 1990).
masked owl	Tyto novaehollandiae	Core Range	Potential denning habitat for the Tasmanian devil is areas of burrowable, well-drained soil, log piles or sheltered overhangs such as cliffs, rocky outcrops, knolls, caves and earth banks, free from risk of inundation and with at least one entrance through which a devil could pass. FPA's Fauna Technical Note 10 can be used as a guide in the identification of potential denning habitat
			Potential habitat for the masked owl is all areas with trees with large hollows (≥15 cm entrance diameter). Remnants and paddock trees (in any dry or wet forest type) in agricultural areas may also constitute potential habitat.
			Significant habitat for the masked owl is any area of native dry forest, within the core range, with trees with large hollows (≥15 cm entrance diameter). Remnants and paddock trees (in any dry or wet forest type) in agricultural areas may also constitute significant habitat.
			See FPA Fauna Technical Note 17 for guidance on assessing masked owl habitat using 'on-ground' and remote methods.

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Threatened Fauna Records

Fauna Records within 5000m of 524852E,5248873N at Sun Jul 12 2020 12:33:50 GMT+1000 (Australian Eastern Standard Time)
Records with the project code 'rnd' and same foreign ID (nest ID) have been simplified to only show the newest observation.

Species name	Common name	Reported Position accuracy (m)	X	Y	Distance (m)	Obs. type	Obs. date	Date accuracy	Obs. state	Project code + Foreign id	NVA id
Lissotes menalcas	mount mangana stag beetle	1000	521112	5247883	3869	Sighting	1998-07-03	Unknown	Present	forestrytest Forestry:forestryTest:28/1	NVA
Antipodia chaostola subsp. leucophaea	chaostola skipper	5000	525112	5245182	3700	Sighting	1960-01-01	Unknown	Present	butter as:butter:118/1	NVA
Tyto novaehollandiae	masked owl	100	528562	5246733	4283	Sighting	1986-01-01	Unknown	Present	fos cra-rfa:fos:12381/1	NVA
Tyto novaehollandiae	masked owl	1000	525362	5244183	4718	Sighting	1974-04-26	Unknown	Present	fos cra-rfa:fos:13577/1	NVA
Tyto novaehollandiae	masked owl	100	526862	5252933	4530	Sighting	1992-08-07	Unknown	Present	fos cra-rfa:fos:13646/1	NVA
Tyto novaehollandiae	masked owl	100	526862	5252933	4530	Sighting	1993-05-19	Unknown	Present	fos cra-rfa:fos:13658/1	NVA
Tyto novaehollandiae	masked owl	100	523712	5249683	1398	Sighting	1996-06-14	Unknown	Present	fos cra-rfa:fos:11823/1	NVA
Tyto novaehollandiae	masked owl	100	521862	5244933	4946	Sighting	1996-06-28	Unknown	Present	fos cra-rfa:fos:12388/1	NVA
Tyto novaehollandiae	masked owl	100	522012	5250133	3107	Sighting	1996-06-30	Unknown	Present	fos cra-rfa:fos:12390/1	NVA
Tyto novaehollandiae	masked owl	100	527012	5247783	2419	Sighting	1996-06-18	Unknown	Present	fos cra-rfa:fos:12392/1	NVA
Tyto novaehollandiae	masked owl	1000	526862	5247683	2336	Sighting	1992-04-01	Unknown	Present	fos cra-rfa:fos:13603/1	NVA
Tyto novaehollandiae	masked owl	500	520362	5248683	4494	Sighting	1992-03-10	Unknown	Present	fos cra-rfa:fos:13645/1	NVA
Tyto novaehollandiae	masked owl	1000	525612	5250933	2196	Sighting	1988-09-01	Unknown	Present	fos cra-rfa:fos:13669/1	NVA
Dasyurus viverrinus	eastern quoll	200	520812	5247383	4306	Sighting	1994-01-01	Unknown	Present	qs-mj cra-rfa:qs-mj:11927/1	NVA
Dasyurus viverrinus	eastern quoll	100	523212	5250383	2229	Sighting	1995-01-01	Unknown	Present	qs-mj cra-rfa:qs-mj:11932/1	NVA
Dasyurus viverrinus	eastern quoll	100	523912	5248583	984	Sighting	1975-01-01	Unknown	Present	qs-mj cra-rfa:qs-mj:12275/1	NVA
Roblinella agnewi	Silky Pinwheel Snail	25	519912	5249183	4950	Sighting	1992-12-16	Unknown	Present	robl-agne cra-rfa:robl-agne:3/1	NVA
Tyto novaehollandiae	masked owl	500	526712	5252182	3796	Sighting	1982-04-07	Unknown	Present	tmag-fos cra-rfa:tmag-fos:13181/1	NVA
Tyto novaehollandiae	masked owl	500	525012	5250483	1618	Sighting	1987-01-24	Unknown	Present	tmag-fos cra-rfa:tmag-fos:13230/1	NVA
Tyto novaehollandiae	masked owl	1000	526612	5247683	2125	Sighting	1982-09-16	Unknown	Present	tmag-fos cra-rfa:tmag-fos:13233/1	NVA
Tyto novaehollandiae	masked owl	500	523862	5250933	2286	Sighting	1987-01-24	Unknown	Present	tmag-fos cra-rfa:tmag-fos:13400/1	NVA
Pardalotus quadragintus	forty-spotted pardalote	100	527912	5245682	4421	Sighting	1999-01-01	Year	Present	fhb fauna_hb:fhb:5697/1	NVA
Perameles gunnii	eastern barred bandicoot	50	523137	5249708	1907	Sighting	2001-08-14	Day	Present	rdki gtspotweb:rdki:1681/1	NVA
Perameles gunnii	eastern barred bandicoot	50	525237	5248958	394	Sighting	2001-12-08	Day	Present	rdki gtspotweb:rdki:1683/1	NVA
Perameles gunnii	eastern barred bandicoot	50	525887	5248458	1115	Sighting	2002-03-08	Day	Present	rdki gtspotweb:rdki:1687/1	NVA
Perameles gunnii	eastern barred bandicoot	50	520887	5247533	4185	Sighting	2002-03-22	Day	Present	rdki gtspotweb:rdki:1690/1	NVA
Perameles gunnii	eastern barred bandicoot	50	521912	5248758	2942	Sighting	2002-07-27	Day	Present	rdki gtspotweb:rdki:1693/1	NVA
Perameles gunnii	eastern barred bandicoot	50	525887	5248483	1106	Sighting	2002-03-26	Day	Present	rdki gtspotweb:rdki:1697/1	NVA
Perameles gunnii	eastern barred bandicoot	50	526162	5248184	1480	Sighting	2002-03-20	Day	Present	rdki gtspotweb:rdki:1699/1	NVA
Perameles gunnii	eastern barred bandicoot	50	521862	5248433	3022	Sighting	2003-05-25	Day	Present	rdki gtspotweb:rdki:1701/1	NVA
Perameles gunnii	eastern barred bandicoot	50	521887	5248708	2970	Sighting	2003-09-22	Day	Present	rdki gtspotweb:rdki:1702/1	NVA
Perameles gunnii	eastern barred bandicoot	50	521912	5248758	2942	Sighting	2003-08-01	Day	Present	rdki gtspotweb:rdki:1703/1	NVA
Perameles gunnii	eastern barred bandicoot	50	523087	5249708	1953	Sighting	2002-11-01	Day	Present	rdki gtspotweb:rdki:1706/1	NVA

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Perameles gunnii	eastern barred bandicoot	30	520387	5247158	4783	Sighting	2000-11-27	Day	Present	rdki gtspotweb:rdki:179/1	NVA
Perameles gunnii	eastern barred bandicoot	30	521837	5248008	3137	Sighting	2000-10-11	Day	Present	rdki gtspotweb:rdki:218/1	NVA
Perameles gunnii	eastern barred bandicoot	30	522687	5249658	2303	Sighting	2001-04-06	Day	Present	rdki gtspotweb:rdki:248/1	NVA
Perameles gunnii	eastern barred bandicoot	50	525237	5248958	394	Sighting	2000-11-01	Month	Present	rdki gtspotweb:rdki:259/1	NVA
Perameles gunnii	eastern barred bandicoot	50	525962	5248358	1224	Sighting	2000-09-26	Day	Present	rdki gtspotweb:rdki:264/1	NVA
Lathamus discolor	swift parrot	10	522082	5244818	4911	Nest	2004-12-04	Day	Present	threatensp gtspotweb:threatensp:1851/1	NVA
Lathamus discolor	swift parrot	10	523257	5244949	4236	Nest	2004-12-07	Day	Present	threatensp gtspotweb:threatensp:1856/1	NVA
Lathamus discolor	swift parrot	10	523120	5246688	2788	Nest	2004-12-10	Day	Present	threatensp gtspotweb:threatensp:1859/1	NVA
Lathamus discolor	swift parrot	10	523133	5246609	2843	Nest	2004-12-10	Day	Present	threatensp gtspotweb:threatensp:1860/1	NVA
Lathamus discolor	swift parrot	10	523365	5245017	4133	Nest	2004-12-17	Day	Present	threatensp gtspotweb:threatensp:1862/1	NVA
Lathamus discolor	swift parrot	10	523514	5245083	4019	Nest	2004-12-16	Day	Present	threatensp gtspotweb:threatensp:1865/1	NVA
Perameles gunnii	eastern barred bandicoot	50	521812	5248457	3068	Sighting	2002-03-18	Day	Present	rdki gtspotweb:rdki:1680/1	NVA
Perameles gunnii	eastern barred bandicoot	50	523437	5249782	1682	Sighting	2002-03-13	Day	Present	rdki gtspotweb:rdki:1682/1	NVA
Perameles gunnii	eastern barred bandicoot	50	525312	5248883	460	Sighting	2002-03-08	Day	Present	rdki gtspotweb:rdki:1684/1	NVA
Perameles gunnii	eastern barred bandicoot	50	525462	5249183	684	Sighting	2002-03-01	Day	Present	rdki gtspotweb:rdki:1685/1	NVA
Perameles gunnii	eastern barred bandicoot	100	525762	5249533	1124	Sighting	2002-03-07	Day	Present	rdki gtspotweb:rdki:1686/1	NVA
Perameles gunnii	eastern barred bandicoot	50	526037	5248258	1335	Sighting	2001-12-10	Day	Present	rdki gtspotweb:rdki:1688/1	NVA
Perameles gunnii	eastern barred bandicoot	50	526137	5248183	1459	Sighting	2001-12-15	Day	Present	rdki gtspotweb:rdki:1689/1	NVA
Perameles gunnii	eastern barred bandicoot	50	521762	5247933	3230	Sighting	2002-07-28	Day	Present	rdki gtspotweb:rdki:1691/1	NVA
Perameles gunnii	eastern barred bandicoot	50	521837	5248633	3025	Sighting	2002-04-08	Day	Present	rdki gtspotweb:rdki:1692/1	NVA
Perameles gunnii	eastern barred bandicoot	50	523062	5249708	1975	Sighting	2002-06-18	Day	Present	rdki gtspotweb:rdki:1694/1	NVA
Perameles gunnii	eastern barred bandicoot	50	523212	5249758	1864	Sighting	2002-05-13	Day	Present	rdki gtspotweb:rdki:1695/1	NVA
Perameles gunnii	eastern barred bandicoot	50	523362	5249783	1746	Sighting	2002-05-15	Day	Present	rdki gtspotweb:rdki:1696/1	NVA
Perameles gunnii	eastern barred bandicoot	50	525987	5248307	1268	Sighting	2002-03-23	Day	Present	rdki gtspotweb:rdki:1698/1	NVA
Perameles gunnii	eastern barred bandicoot	50	520937	5247433	4171	Sighting	2003-08-25	Day	Present	rdki gtspotweb:rdki:1700/1	NVA
Perameles gunnii	eastern barred bandicoot	50	522512	5249583	2445	Sighting	2003-07-27	Day	Present	rdki gtspotweb:rdki:1705/1	NVA
Perameles gunnii	eastern barred bandicoot	50	523262	5249758	1820	Sighting	2002-10-08	Day	Present	rdki gtspotweb:rdki:1707/1	NVA
Perameles gunnii	eastern barred bandicoot	50	523412	5249783	1703	Sighting	2003-03-31	Day	Present	rdki gtspotweb:rdki:1708/1	NVA
Perameles gunnii	eastern barred bandicoot	30	521712	5248508	3161	Sighting	2001-01-20	Day	Present	rdki gtspotweb:rdki:182/1	NVA
Perameles gunnii	eastern barred bandicoot	30	521787	5248483	3090	Sighting	2001-02-10	Day	Present	rdki gtspotweb:rdki:185/1	NVA
Perameles gunnii	eastern barred bandicoot	30	521787	5248607	3077	Sighting	2000-10-03	Day	Present	rdki gtspotweb:rdki:186/1	NVA
Perameles gunnii	eastern barred bandicoot	30	521962	5248383	2931	Sighting	2000-10-14	Day	Present	rdki gtspotweb:rdki:222/1	NVA
Perameles gunnii	eastern barred bandicoot	50	525512	5248683	687	Sighting	2000-07-29	Day	Present	rdki gtspotweb:rdki:261/1	NVA
Dasyurus maculatus	spotted-tail quoll	30	520262	5249158	4599	Sighting	2000-08-04	Day	Present	rdki gtspotweb:rdki:279/1	NVA
Lathamus discolor	swift parrot	10	522059	5244856	4893	Nest	2004-12-04	Day	Present	threatensp gtspotweb:threatensp:1850/1	NVA
Lathamus discolor	swift parrot	10	523146	5245039	4196	Nest	2004-12-14	Day	Present	threatensp gtspotweb:threatensp:1861/1	NVA

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Lathamus discolor	swift parrot	10	523373	5244900	4239	Nest	2004-12-15	Day	Present	threatensp gtsptweb:threatensp:1863/1	NVA
Lathamus discolor	swift parrot	10	523374	5244998	4147	Nest	2004-12-17	Day	Present	threatensp gtsptweb:threatensp:1864/1	NVA
Hirundapus caudacutus	white-throated needletail	2000	525971	5252257	3564	Sighting	1983-04-01	Unknown	Present	qvm-tc qvm-tc:qvm-tc:1101/1	NVA
Hirundapus caudacutus	white-throated needletail	2000	525971	5252257	3564	Sighting	1968-03-01	Unknown	Present	qvm-tc qvm-tc:qvm-tc:764/1	NVA
Hirundapus caudacutus	white-throated needletail	18500	520516	5248575	4346	Sighting	1981-02-28	Unknown	Present	raou raou:raou:108962/14	NVA
Tyto novaehollandiae	masked owl	18500	520516	5248575	4346	Sighting	1981-05-31	Unknown	Present	raou raou:raou:108970/29	NVA
Hirundapus caudacutus	white-throated needletail	18500	520516	5248575	4346	Sighting	1980-12-31	Unknown	Present	raou raou:raou:108971/20	NVA
Tyto novaehollandiae	masked owl	18500	520516	5248575	4346	Sighting	1980-12-31	Unknown	Present	raou raou:raou:108971/54	NVA
Hirundapus caudacutus	white-throated needletail	18500	520516	5248575	4346	Sighting	1980-02-29	Unknown	Present	raou raou:raou:108965/15	NVA
Tyto novaehollandiae	masked owl	18500	520516	5248575	4346	Sighting	1978-01-07	Unknown	Present	raou raou:raou:15808/5	NVA
Hirundapus caudacutus	white-throated needletail	18500	520516	5248575	4346	Sighting	1977-11-30	Unknown	Present	raou raou:raou:23594/25	NVA
Hirundapus caudacutus	white-throated needletail	18500	520516	5248575	4346	Sighting	1978-03-17	Unknown	Present	raou raou:raou:23615/16	NVA
Hirundapus caudacutus	white-throated needletail	18500	520516	5248575	4346	Sighting	1978-01-04	Unknown	Present	raou raou:raou:23618/34	NVA
Hirundapus caudacutus	white-throated needletail	18500	520516	5248575	4346	Sighting	1977-02-28	Unknown	Present	raou raou:raou:2863/22	NVA
Hirundapus caudacutus	white-throated needletail	18500	520516	5248575	4346	Sighting	1978-02-28	Unknown	Present	raou raou:raou:23667/24	NVA
Tyto novaehollandiae	masked owl	18500	520516	5248575	4346	Sighting	1978-10-28	Unknown	Present	raou raou:raou:42222/22	NVA
Hirundapus caudacutus	white-throated needletail	18500	520516	5248575	4346	Sighting	1978-11-30	Unknown	Present	raou raou:raou:48492/13	NVA
Hirundapus caudacutus	white-throated needletail	18500	520516	5248575	4346	Sighting	1979-02-28	Unknown	Present	raou raou:raou:51451/20	NVA
Pardalotus quadragintus	forty-spotted pardalote	18500	520516	5248575	4346	Sighting	1980-08-31	Unknown	Present	raou raou:raou:94575/28	NVA
Perameles gunnii	eastern barred bandicoot	198	525021	5247826	1061	Sighting	1992-04-05	Day	Present	rk_hh roadkill:rk_HH:2897/2	NVA
Perameles gunnii	eastern barred bandicoot	388	525021	5247826	1061	Sighting	1992-11-27	Day	Present	rk_hh roadkill:rk_HH:2897/6	NVA
Perameles gunnii	eastern barred bandicoot	388	525066	5247916	981	Sighting	1992-11-27	Day	Present	rk_hh roadkill:rk_HH:2899/6	NVA
Perameles gunnii	eastern barred bandicoot	416	525271	5248259	743	Sighting	1993-01-31	Day	Present	rk_hh roadkill:rk_HH:2907/2	NVA
Perameles gunnii	eastern barred bandicoot	101	525308	5248729	478	Sighting	1992-07-12	Day	Present	rk_hh roadkill:rk_HH:2910/1	NVA
Perameles gunnii	eastern barred bandicoot	313	525308	5248729	478	Sighting	1992-05-31	Day	Present	rk_hh roadkill:rk_HH:2910/3	NVA
Perameles gunnii	eastern barred bandicoot	416	525376	5244715	4191	Sighting	1993-01-31	Day	Present	rk_hh roadkill:rk_HH:2917/3	NVA
Perameles gunnii	eastern barred bandicoot	313	525398	5244416	4490	Sighting	1992-07-12	Day	Present	rk_hh roadkill:rk_HH:2922/1	NVA
Perameles gunnii	eastern barred bandicoot	313	525517	5245702	3240	Sighting	1992-04-05	Day	Present	rk_hh roadkill:rk_HH:2939/4	NVA
Hirundapus caudacutus	white-throated needletail	18500	520516	5248575	4346	Sighting	1980-11-30	Unknown	Present	raou raou:raou:94721/16	NVA
Perameles gunnii	eastern barred bandicoot	1730	524952	5247243	1633	Sighting	1994-09-08	Day	Present	rk_hh roadkill:rk_HH:2894/3	NVA
Perameles gunnii	eastern barred bandicoot	388	525241	5246724	2184	Sighting	1992-11-27	Day	Present	rk_hh roadkill:rk_HH:2906/4	NVA
Perameles gunnii	eastern barred bandicoot	313	525301	5246645	2273	Sighting	1992-08-30	Day	Present	rk_hh roadkill:rk_HH:2909/1	NVA
Perameles gunnii	eastern barred bandicoot	101	525308	5248729	478	Sighting	1992-10-18	Day	Present	rk_hh roadkill:rk_HH:2910/2	NVA
Perameles gunnii	eastern barred bandicoot	206	525353	5248440	662	Sighting	1993-03-30	Day	Present	rk_hh roadkill:rk_HH:2913/2	NVA
Perameles gunnii	eastern barred bandicoot	101	525477	5245506	3425	Sighting	1992-05-31	Day	Present	rk_hh roadkill:rk_HH:2934/5	NVA
Perameles gunnii	eastern barred bandicoot	204	525499	5245604	3332	Sighting	1992-08-30	Day	Present	rk_hh roadkill:rk_HH:2937/1	NVA

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Perameles gunnii	eastern barred bandicoot	388	525532	5245801	3146	Sighting	1992-11-27	Day	Present	rk_hh roadkill:rk_HH:2945/1	NVA
Lathamus discolor	swift parrot	1000	525612	5247483	1584	Nest	1983-11-01	Unknown	Present	tfm tfm:tfm:1040/1	NVA
Lathamus discolor	swift parrot	1000	525712	5247583	1550	Nest	1983-11-01	Unknown	Present	tfm tfm:tfm:1046/1	NVA
Lissotes menalcas	mount mangana stag beetle	25	521112	5247883	3869	Sighting	1972-01-01	Unknown	Present	dcir tp:dcir:13388/1	NVA
Lathamus discolor	swift parrot	100	522212	5247483	2984	Nest	1987-10-06	Unknown	Present	swp-87 tp:swp-87:1230/2	NVA
Lathamus discolor	swift parrot	25	522312	5246983	3166	Nest	1994-11-18	Unknown	Present	swp tp:swp:8324/2	NVA
Lathamus discolor	swift parrot	100	522312	5246883	3227	Nest	1993-10-12	Unknown	Present	swp tp:swp:897/3	NVA
Lathamus discolor	swift parrot	50	522212	5246983	3247	Nest	1995-12-06	Unknown	Present	swp tp:swp:10476/2	NVA
Lathamus discolor	swift parrot	100	525612	5247782	1330	Nest	1983-10-15	Unknown	Present	swp tp:swp:9416/2	NVA
Perameles gunnii	eastern barred bandicoot	100	522712	5249983	2411	Sighting	1994-12-18	Unknown	Present	tp tp:tp:8197/1	NVA
Perameles gunnii	eastern barred bandicoot	1000	525012	5247083	1797	Sighting	1993-06-17	Unknown	Present	tp tp:tp:849/1	NVA
Perameles gunnii	eastern barred bandicoot	1850	524584	5244860	4022	Sighting	1979-09-15	Unknown	Present	tpo tpo:tpo:3296/1	NVA
Perameles gunnii	eastern barred bandicoot	1850	524591	5246711	2178	Sighting	1975-01-03	Unknown	Present	tpo tpo:tpo:3313/1	NVA
Perameles gunnii	eastern barred bandicoot	1850	523224	5244865	4326	Sighting	1973-11-25	Unknown	Present	tpo tpo:tpo:3541/1	NVA
Perameles gunnii	eastern barred bandicoot	1850	524584	5244860	4022	Sighting	1973-08-29	Unknown	Present	tpo tpo:tpo:3550/1	NVA
Perameles gunnii	eastern barred bandicoot	1850	525944	5244855	4164	Sighting	1973-11-01	Unknown	Present	tpo tpo:tpo:3552/1	NVA
Perameles gunnii	eastern barred bandicoot	1850	527303	5244850	4711	Sighting	1973-08-29	Unknown	Present	tpo tpo:tpo:3554/1	NVA
Perameles gunnii	eastern barred bandicoot	1850	521876	5248571	2991	Sighting	1977-01-18	Unknown	Present	tpo tpo:tpo:3559/1	NVA
Perameles gunnii	eastern barred bandicoot	1850	525957	5248556	1150	Sighting	1974-12-01	Unknown	Present	tpo tpo:tpo:3543/1	NVA
Perameles gunnii	eastern barred bandicoot	1850	527303	5244850	4711	Sighting	1974-11-25	Unknown	Present	tpo tpo:tpo:3544/1	NVA
Perameles gunnii	eastern barred bandicoot	1850	521876	5248571	2991	Sighting	1976-02-14	Unknown	Present	tpo tpo:tpo:3545/1	NVA
Perameles gunnii	eastern barred bandicoot	1850	527318	5248551	2487	Sighting	1973-11-26	Unknown	Present	tpo tpo:tpo:3548/1	NVA
Perameles gunnii	eastern barred bandicoot	1850	521865	5244869	4995	Sighting	1973-08-29	Unknown	Present	tpo tpo:tpo:3549/1	NVA
Perameles gunnii	eastern barred bandicoot	1850	524584	5244860	4022	Sighting	1976-09-11	Unknown	Present	tpo tpo:tpo:3555/1	NVA
Perameles gunnii	eastern barred bandicoot	1850	527303	5244850	4711	Sighting	1979-09-11	Unknown	Present	tpo tpo:tpo:3556/1	NVA
Perameles gunnii	eastern barred bandicoot	1850	527303	5244850	4711	Sighting	1973-09-11	Unknown	Present	tpo tpo:tpo:3557/1	NVA
Perameles gunnii	eastern barred bandicoot	1850	527310	5246700	3281	Sighting	1973-10-11	Unknown	Present	tpo tpo:tpo:3558/1	NVA
Perameles gunnii	eastern barred bandicoot	1850	528670	5246695	4396	Sighting	1973-07-07	Unknown	Present	tpo tpo:tpo:3560/1	NVA
Dasyurus viverrinus	eastern quoll	1850	525957	5248556	1150	Sighting	1973-12-17	Unknown	Present	tpo tpo:tpo:4197/1	NVA
Dasyurus viverrinus	eastern quoll	1850	524591	5246711	2178	Sighting	1974-12-31	Unknown	Present	tpo tpo:tpo:4352/1	NVA
Perameles gunnii	eastern barred bandicoot	10000	526112	5245983	3153	Sighting	1991-06-24	Unknown	Present	tpo tpo:tpo:8599/2	NVA
Perameles gunnii	eastern barred bandicoot	1850	525957	5248556	1150	Sighting	1986-03-18	Unknown	Present	tpo tpo:tpo:8619/2	NVA
Perameles gunnii	eastern barred bandicoot	1850	527310	5246700	3281	Sighting	1983-02-16	Unknown	Present	tpo tpo:tpo:8724/1	NVA
Dasyurus viverrinus	eastern quoll	1850	524610	5252262	3398	Sighting	1981-04-08	Unknown	Present	tpo tpo:tpo:8320/1	NVA
Dasyurus viverrinus	eastern quoll	10000	525312	5248583	544	Sighting	1986-05-06	Unknown	Present	tpo tpo:tpo:8383/1	NVA
Lathamus discolor	swift parrot	10	522167	5244993	4718	Nest	2004-11-25	Day	Present	spn	NVA

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Lathamus discolor	swift parrot	10	522152	5245031	4696	Nest	2004-11-27	Day	Present	spn	NVA
Lathamus discolor	swift parrot	10	522903	5244667	4636	Nest	2004-12-04	Day	Present	spn F7	NVA
Lathamus discolor	swift parrot	10	522911	5244699	4603	Nest	2004-12-05	Day	Present	spn F8	NVA
Lathamus discolor	swift parrot	10	522671	5244676	4730	Nest	2004-12-06	Day	Present	spn F9	NVA
Lathamus discolor	swift parrot	10	522608	5244688	4749	Nest	2004-12-06	Day	Present	spn F10	NVA
Lathamus discolor	swift parrot	10	522590	5244770	4685	Nest	2004-12-06	Day	Present	spn F11	NVA
Lathamus discolor	swift parrot	10	522962	5244772	4516	Nest	2004-12-06	Day	Present	spn F12	NVA
Lathamus discolor	swift parrot	10	522937	5244784	4515	Nest	2004-12-06	Day	Present	spn F13	NVA
Lathamus discolor	swift parrot	10	523012	5244747	4518	Nest	2004-12-07	Day	Present	spn F14	NVA
Lathamus discolor	swift parrot	10	523275	5244862	4310	Nest	2004-12-07	Day	Present	spn F16	NVA
Lathamus discolor	swift parrot	10	522431	5244709	4817	Nest	2004-12-08	Day	Present	spn F18	NVA
Lathamus discolor	swift parrot	10	522456	5244708	4805	Nest	2004-12-08	Day	Present	spn F19	NVA
Lathamus discolor	swift parrot	10	523133	5246560	2882	Nest	2004-12-10	Day	Present	spn	NVA
Lathamus discolor	swift parrot	10	522941	5246716	2882	Nest	2004-12-12	Day	Present	spn	NVA
Lathamus discolor	swift parrot	10	522108	5245084	4678	Nest	2004-12-03	Day	Present	spn	NVA
Lathamus discolor	swift parrot	10	523270	5244847	4326	Nest	2004-12-20	Day	Present	spn F22	NVA
Antipodia chaostola	chaostola skipper	10	524674	5252336	3468	Sighting	2006-11-20	Day	Present	tss data AS29	NVA
Antipodia chaostola	chaostola skipper	10	524704	5251462	2593	Sighting	2006-11-20	Day	Present	tss data AS29	NVA
Antipodia chaostola	chaostola skipper	10	524661	5251451	2585	Sighting	2006-11-20	Day	Present	tss data AS29	NVA
Perameles gunnii	eastern barred bandicoot	10	522150	5247270	3142	Sighting	2007-09-16	Day	Present	dpiw-fauna	NVA
Perameles gunnii	eastern barred bandicoot	10	522270	5247190	3082	Sighting	2002-12-01	Month	Present	dpiw-fauna	NVA
Perameles gunnii	eastern barred bandicoot	100	525700	5248800	851	Sighting	2002-12-01	Month	Present	dpiw-fauna	NVA
Perameles gunnii	eastern barred bandicoot	100	526500	5249500	1763	Sighting	2002-12-01	Month	Present	dpiw-fauna	NVA
Perameles gunnii	eastern barred bandicoot	10	526040	5249530	1358	Sighting	2004-03-25	Day	Present	dpiw-fauna	NVA
Perameles gunnii	eastern barred bandicoot	10	526010	5249530	1331	Sighting	2004-03-25	Day	Present	dpiw-fauna	NVA
Perameles gunnii	eastern barred bandicoot	10	526350	5249350	1572	Sighting	2004-03-25	Day	Present	dpiw-fauna	NVA
Lathamus discolor	swift parrot	10	522563	5244946	4545	Nest	2005-11-28	Day	Present	tss data F1	NVA
Lathamus discolor	swift parrot	10	522376	5244818	4751	Nest	2005-12-01	Day	Present	tss data F2	NVA
Lathamus discolor	swift parrot	10	522377	5244899	4682	Nest	2005-12-02	Day	Present	tss data F3	NVA
Lathamus discolor	swift parrot	50	521020	5246109	4725	Nest	2008-11-01	Day	Present	tss data	NVA
Lathamus discolor	swift parrot	200	522312	5246983	3166	Nest	1987-10-06	Day	Present	tss data 1233	NVA
Discocharopa vigens	Ammonite Pinwheel Snail	100	524010	5251308	2576	Sighting	2008-05-23	Day	Present	dpiw-fauna	NVA
Discocharopa vigens	Ammonite Pinwheel Snail	100	524010	5251308	2576	Sighting	2008-06-11	Day	Present	dpiw-fauna	NVA
Discocharopa vigens	Ammonite Pinwheel Snail	100	524017	5251365	2628	Sighting	2008-05-25	Day	Present	dpiw-fauna	NVA
Discocharopa vigens	Ammonite Pinwheel Snail	100	524017	5251365	2628	Sighting	2008-07-20	Day	Present	dpiw-fauna	NVA
Tyto novaehollandiae	masked owl	100	526862	5252933	4530	Sighting	1991-07-08	Day	Present	fpaf 6435	NVA

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<i>Tyto novaehollandiae</i>	masked owl	100	527712	5248083	2967	Sighting	1950-01-01	Day	Present	fpaf 5981	NVA
<i>Dasyurus viverrinus</i>	eastern quoll	10	526704	5244853	4426	Sighting	2009-02-12	Day	Present	dpiw-fauna	NVA
<i>Alcedo azurea</i> subsp. <i>diemenensis</i>	azure kingfisher or azure kingfisher (tasmanian)	500	520815	5251050	4587	Sighting	2007-01-01	Year	Present	wakd WapCey152	NVA
<i>Discocharopa vigens</i>	Ammonite Pinwheel Snail	5	524924	5250074	1203	Carcass	2010-06-03	Day	Present	dpiw-fauna	NVA
<i>Discocharopa vigens</i>	Ammonite Pinwheel Snail	20	524017	5251365	2628	Sighting	2010-10-26	Day	Present	dpiw-fauna	NVA
<i>Roblinella agnewi</i>	Silky Pinwheel Snail	100	520430	5250374	4670	Carcass	2010-10-26	Day	Present	dpiw-fauna	NVA
<i>Dasyurus viverrinus</i>	eastern quoll	1000	524373	5250288	1494	Carcass	2010-05-27	Day	Present	dpiw-fauna FA10116	NVA
<i>Dasyurus viverrinus</i>	eastern quoll	1000	522081	5250121	3039	Carcass	2011-06-02	Day	Present	dpiw-fauna FA10116	NVA
<i>Dasyurus viverrinus</i>	eastern quoll	12	521961	5250862	3509	Sighting	2011-08-20	Day	Present	pws	NVA
<i>Perameles gunnii</i>	eastern barred bandicoot	10	521206	5247773	3808	Sighting	2009-05-28	Day	Present	dpiw-fauna	NVA
<i>Perameles gunnii</i>	eastern barred bandicoot	10	528471	5245576	4896	Sighting	2009-05-29	Day	Present	dpiw-fauna	NVA
<i>Roblinella agnewi</i>	Silky Pinwheel Snail	10	519912	5249182	4950	Sighting	2000-07-09	Day	Present	dpiw-fauna	NVA
<i>Roblinella agnewi</i>	Silky Pinwheel Snail	10	520456	5250415	4659	Sighting	2005-11-01	Day	Present	dpiw-fauna	NVA
<i>Roblinella agnewi</i>	Silky Pinwheel Snail	1000	520160	5248579	4701	Sighting	1870-01-01	Year	Present	dpiw-fauna	NVA
<i>Roblinella agnewi</i>	Silky Pinwheel Snail	10	520430	5250374	4670	Sighting	2010-10-26	Day	Present	dpiw-fauna	NVA
<i>Roblinella agnewi</i>	Silky Pinwheel Snail	10	519980	5248957	4873	Sighting	2002-03-14	Day	Present	dpiw-fauna	NVA
<i>Tyto novaehollandiae</i>	masked owl	100	523712	5249683	1398	Nest	1985-01-01	Decade	Present	rnd 625	NVA
<i>Aquila audax</i> subsp. <i>fleayi</i>	tasmanian wedge-tailed eagle	20	527823	5245652	4382	Nest	2008-11-12	Day	Present	rnd 1764	NVA
<i>Hirundapus caudacutus</i>	white-throated needletail	100	526300	5248700	1458	Sighting	2012-03-12	Day	Present	dpiw-fauna	NVA
<i>Antipodia chaostola</i> subsp. <i>leucophaea</i>	chaostola skipper	5	523373	5250063	1898	Nest	2011-11-27	Day	Present	tss data	NVA
<i>Dasyurus viverrinus</i>	eastern quoll	1000	523733	5251205	2587	Carcass	2011-11-24	Day	Present	dpiw-fauna	NVA
<i>Dasyurus viverrinus</i>	eastern quoll	1000	521945	5246669	3648	Sighting	1962-07-15	Day	Present	tmagvert A436	NVA
<i>Dasyurus viverrinus</i>	eastern quoll	1000	526046	5252208	3542	Sighting	1909-11-01	Day	Present	tmagvert A548	NVA
<i>Dasyurus viverrinus</i>	eastern quoll	5000	526316	5252573	3979	Sighting	1995-06-23	Day	Present	tmagvert A1530	NVA
<i>Dasyurus viverrinus</i>	eastern quoll	1000	523299	5246665	2699	Sighting	1959-03-10	Day	Present	tmagvert A16	NVA
<i>Dasyurus viverrinus</i>	eastern quoll	1000	526046	5252208	3542	Sighting	1965-04-24	Day	Present	tmagvert A701	NVA
<i>Dasyurus viverrinus</i>	eastern quoll	10	521644	5251616	4221	Sighting	2010-08-01	Month	Present	dpiw-fauna	NVA
<i>Dasyurus viverrinus</i>	eastern quoll	10	521895	5250736	3495	Sighting	2010-08-01	Month	Present	dpiw-fauna	NVA
<i>Dasyurus viverrinus</i>	eastern quoll	10	521645	5249298	3235	Sighting	2010-08-01	Month	Present	dpiw-fauna	NVA
<i>Dasyurus viverrinus</i>	eastern quoll	10	521644	5251616	4221	Sighting	2011-08-01	Month	Present	dpiw-fauna	NVA
<i>Dasyurus viverrinus</i>	eastern quoll	10	521895	5250736	3495	Sighting	2011-08-01	Month	Present	dpiw-fauna	NVA
<i>Dasyurus viverrinus</i>	eastern quoll	10	521645	5249298	3235	Sighting	2011-08-01	Month	Present	dpiw-fauna	NVA
<i>Dasyurus viverrinus</i>	eastern quoll	10	521218	5248492	3654	Sighting	2011-08-01	Month	Present	dpiw-fauna	NVA
<i>Dasyurus viverrinus</i>	eastern quoll	10	521644	5251616	4221	Sighting	2010-05-01	Month	Present	dpiw-fauna	NVA

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<i>Dasyurus viverrinus</i>	eastern quoll	10	521895	5250736	3495	Sighting	2010-05-01	Month	Present	dpiw-fauna	NVA
<i>Dasyurus viverrinus</i>	eastern quoll	10	521645	5249298	3235	Sighting	2010-05-01	Month	Present	dpiw-fauna	NVA
<i>Dasyurus viverrinus</i>	eastern quoll	10	521218	5248492	3654	Sighting	2010-05-01	Month	Present	dpiw-fauna	NVA
<i>Dasyurus viverrinus</i>	eastern quoll	10	519915	5248995	4939	Sighting	2010-05-01	Month	Present	dpiw-fauna	NVA
<i>Dasyurus viverrinus</i>	eastern quoll	10	521644	5251616	4221	Sighting	2011-05-01	Month	Present	dpiw-fauna	NVA
<i>Dasyurus viverrinus</i>	eastern quoll	10	521895	5250736	3495	Sighting	2011-05-01	Month	Present	dpiw-fauna	NVA
<i>Dasyurus viverrinus</i>	eastern quoll	10	521644	5251616	4221	Sighting	2009-09-01	Month	Present	dpiw-fauna	NVA
<i>Dasyurus viverrinus</i>	eastern quoll	10	521895	5250736	3495	Sighting	2009-09-01	Month	Present	dpiw-fauna	NVA
<i>Dasyurus viverrinus</i>	eastern quoll	10	522185	5250312	3030	Sighting	2009-09-01	Month	Present	dpiw-fauna	NVA
<i>Dasyurus maculatus</i>	spotted-tail quoll	10	519915	5248995	4939	Sighting	2011-08-01	Month	Present	dpiw-fauna	NVA
<i>Dasyurus maculatus</i>	spotted-tail quoll	10	520269	5249148	4591	Sighting	2011-05-01	Month	Present	dpiw-fauna	NVA
<i>Pardalotus quadragintus</i>	forty-spotted pardalote	1000	526046	5252208	3542	Sighting	1884-10-06	Day	Present	tmagvert B2378	NVA
<i>Perameles gunnii</i>	eastern barred bandicoot	1000	526046	5252208	3542	Sighting	1965-07-05	Day	Present	tmagvert A573	NVA
<i>Perameles gunnii</i>	eastern barred bandicoot	1000	521945	5246669	3648	Sighting	1984-08-03	Day	Present	tmagvert A1371	NVA
<i>Perameles gunnii</i>	eastern barred bandicoot	1000	527394	5250347	2938	Sighting	1985-04-20	Day	Present	tmagvert A1399	NVA
<i>Perameles gunnii</i>	eastern barred bandicoot	1000	521945	5246669	3648	Sighting	1967-08-23	Day	Present	tmagvert A797	NVA
<i>Perameles gunnii</i>	eastern barred bandicoot	1000	523299	5246665	2699	Sighting	1980-02-01	Month	Present	tmagvert A1336	NVA
<i>Perameles gunnii</i>	eastern barred bandicoot	50	523500	5247700	1790	Sighting	1941-01-07	Day	Present	tmagvert A2588	NVA
<i>Tyto novaehollandiae</i>	masked owl	5000	526316	5252573	3979	Sighting	1993-05-31	Day	Present	tmagvert B4503	NVA
<i>Tyto novaehollandiae</i>	masked owl	5000	526316	5252573	3979	Sighting	1982-04-07	Day	Present	tmagvert B3887	NVA
<i>Tyto novaehollandiae</i>	masked owl	5000	527927	5247014	3593	Sighting	1982-07-15	Day	Present	tmagvert B3884	NVA
<i>Tyto novaehollandiae</i>	masked owl	5000	525492	5250355	1614	Sighting	1979-01-29	Day	Present	tmagvert B3495	NVA
<i>Tyto novaehollandiae</i>	masked owl	5000	525492	5250355	1614	Sighting	1988-01-24	Day	Present	tmagvert B4306	NVA
<i>Hirundapus caudacutus</i>	white-throated needletail	100	526200	5248700	1359	Sighting	2013-04-07	Day	Present	dpiw-fauna	NVA
<i>Pardalotus quadragintus</i>	forty-spotted pardalote	100	526300	5248800	1450	Sighting	2013-05-12	Day	Present	dpiw-fauna	NVA
<i>Pardalotus quadragintus</i>	forty-spotted pardalote	100	526300	5248800	1450	Sighting	2013-05-20	Day	Present	dpiw-fauna	NVA
<i>Pardalotus quadragintus</i>	forty-spotted pardalote	100	526300	5248800	1450	Sighting	2013-05-21	Day	Present	dpiw-fauna	NVA
<i>Pardalotus quadragintus</i>	forty-spotted pardalote	100	526300	5248800	1450	Sighting	2013-05-23	Day	Present	dpiw-fauna	NVA
<i>Pardalotus quadragintus</i>	forty-spotted pardalote	100	526300	5248800	1450	Sighting	2013-05-26	Day	Present	dpiw-fauna	NVA
<i>Pardalotus quadragintus</i>	forty-spotted pardalote	100	526300	5248800	1450	Sighting	2013-05-27	Day	Present	dpiw-fauna	NVA
<i>Pardalotus quadragintus</i>	forty-spotted pardalote	100	526300	5248800	1450	Sighting	2013-05-28	Day	Present	dpiw-fauna	NVA
<i>Pardalotus quadragintus</i>	forty-spotted pardalote	100	526300	5248800	1450	Sighting	2013-06-16	Day	Present	dpiw-fauna	NVA
<i>Perameles gunnii</i>	eastern barred bandicoot	3	524847	5253047	4174	Sighting	2014-07-25	Day	Present	hccwmp	NVA
<i>Perameles gunnii</i>	eastern barred bandicoot	3	524847	5253047	4174	Sighting	2014-07-26	Day	Present	hccwmp	NVA
<i>Perameles gunnii</i>	eastern barred bandicoot	5	523707	5250481	1974	Carcass	2014-08-04	Day	Present	hccwmp	NVA
<i>Perameles gunnii</i>	eastern barred bandicoot	3	523457	5249364	1479	Sighting	2014-08-15	Day	Present	hccwmp	NVA

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Perameles gunnii	eastern barred bandicoot	3	523457	5249364	1479	Sighting	2014-08-18	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	523457	5249364	1479	Sighting	2014-08-18	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	523457	5249364	1479	Sighting	2014-08-24	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	5	522095	5249858	2928	Carcass	2014-09-08	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	10	526949	5247684	2411	Sighting	2014-10-03	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	200	524381	5247691	1272	Sighting	2014-10-09	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	524000	5249365	984	Sighting	2014-10-10	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	524000	5249365	984	Sighting	2014-10-11	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	524000	5249365	984	Sighting	2014-10-14	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	5	523110	5250290	2246	Sighting	2014-08-25	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	524000	5249365	984	Sighting	2014-10-15	Day	Present	hccwmp	NVA
Dasyurus viverrinus	eastern quoll	3	523133	5251874	3458	Sighting	2013-03-15	Day	Present	hccwmp	NVA
Dasyurus viverrinus	eastern quoll	3	522725	5251723	3556	Sighting	2013-05-26	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	524004	5249362	979	Sighting	2014-02-14	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	523879	5249379	1097	Sighting	2014-02-19	Day	Present	hccwmp	NVA
Dasyurus viverrinus	eastern quoll	3	522725	5251723	3556	Sighting	2013-05-26	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	25	523418	5247663	1876	Sighting	2013-07-09	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	25	523418	5247663	1876	Sighting	2013-07-11	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	523579	5249420	1386	Sighting	2014-05-11	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	523579	5249420	1386	Sighting	2014-05-12	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	523579	5249420	1386	Sighting	2014-05-14	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	523579	5249420	1386	Sighting	2014-05-14	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	25	523418	5247663	1876	Sighting	2013-07-12	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	25	523418	5247663	1876	Sighting	2013-07-14	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	25	523418	5247663	1876	Sighting	2013-07-14	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	25	523418	5247663	1876	Sighting	2013-07-15	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	25	523418	5247663	1876	Sighting	2013-07-11	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	25	523418	5247663	1876	Sighting	2013-07-16	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	25	523418	5247663	1876	Sighting	2013-07-17	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	523645	5249468	1346	Sighting	2014-05-18	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	523645	5249468	1346	Sighting	2014-05-19	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	523579	5249420	1386	Sighting	2014-05-16	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	523579	5249420	1386	Sighting	2014-05-18	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	523645	5249468	1346	Sighting	2014-05-19	Day	Present	hccwmp	NVA
Dasyurus viverrinus	eastern quoll	200	522564	5248379	2341	Carcass	2014-05-19	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	523579	5249420	1386	Sighting	2014-05-21	Day	Present	hccwmp	NVA

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Perameles gunnii	eastern barred bandicoot	3	523950	5249354	1022	Sighting	2014-10-15	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	524000	5249365	984	Sighting	2014-10-15	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	524000	5249365	984	Sighting	2014-10-15	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	524000	5249365	984	Sighting	2014-10-15	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	524000	5249365	984	Sighting	2014-10-16	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	524000	5249365	984	Sighting	2014-10-18	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	524000	5249365	984	Sighting	2014-10-18	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	523879	5249379	1097	Sighting	2013-08-25	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	523879	5249379	1097	Sighting	2013-08-26	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	524004	5249362	979	Sighting	2013-08-27	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	524004	5249362	979	Sighting	2013-08-27	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	524000	5249365	984	Sighting	2014-10-18	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	524000	5249365	984	Sighting	2014-10-19	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	524000	5249365	984	Sighting	2014-10-20	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	524000	5249365	984	Sighting	2014-10-20	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	524000	5249365	984	Sighting	2014-10-20	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	524000	5249365	984	Sighting	2014-10-21	Day	Present	hccwmp	NVA
Dasyurus maculatus	spotted-tail quoll	25	520371	5248477	4498	Sighting	2014-06-16	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	524000	5249365	984	Sighting	2014-10-21	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	524000	5249365	984	Sighting	2014-10-21	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	524000	5249365	984	Sighting	2014-10-22	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	524000	5249365	984	Sighting	2014-10-22	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	25	522943	5250087	2262	Carcass	2014-10-24	Day	Present	hccwmp	NVA
Dasyurus viverrinus	eastern quoll	50	523779	5249907	1490	Sighting	2014-11-06	Day	Present	hccwmp	NVA
Dasyurus viverrinus	eastern quoll	3	524502	5251975	3122	Sighting	2014-11-09	Day	Present	hccwmp	NVA
Dasyurus viverrinus	eastern quoll	3	524502	5251975	3122	Sighting	2014-11-11	Day	Present	hccwmp	NVA
Dasyurus viverrinus	eastern quoll	100	528859	5247577	4211	Sighting	2010-04-19	Week	Present	bushblitz	NVA
Perameles gunnii	eastern barred bandicoot	100	528859	5247577	4211	Sighting	2010-04-16	Week	Present	bushblitz	NVA
Aquila audax subsp. fleayi	tasmanian wedge-tailed eagle	5	523910	5245050	3937	Nest	2014-11-27	Day	Present	rnd 386	NVA
Perameles gunnii	eastern barred bandicoot	50	525582	5245361	3587	Sighting	2015-09-02	Day	Present	dpiw-fauna	NVA
Hirundapus caudacutus	white-throated needletail	100	526363	5248898	1511	Sighting	2015-03-31	Day	Present	ahing	NVA
Hirundapus caudacutus	white-throated needletail	100	526400	5248700	1558	Sighting	2015-03-22	Day	Present	ahing	NVA
Hirundapus caudacutus	white-throated needletail	100	526300	5248400	1523	Sighting	2015-03-22	Day	Present	ahing	NVA
Hirundapus caudacutus	white-throated needletail	100	526363	5248898	1511	Sighting	2015-03-20	Day	Present	ahing	NVA
Hirundapus caudacutus	white-throated needletail	100	526363	5248898	1511	Sighting	2015-02-22	Day	Present	ahing	NVA

Species name	Common name	Reported Position accuracy (m)	X	Y	Distance (m)	Obs. type	Obs. date	Date accuracy	Obs. state	Project code + Foreign id	NVA id
Perameles gunnii	eastern barred bandicoot	5	524635	5252015	3149	Carcass	2015-01-01	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	524605	5251998	3135	Sighting	2015-01-09	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	524609	5251956	3093	Sighting	2015-01-17	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	524605	5251998	3135	Sighting	2015-01-17	Day	Present	hccwmp	NVA
Hirundapus caudacutus	white-throated needletail	100	526200	5248700	1359	Sighting	2014-03-30	Day	Present	ahing	NVA
Perameles gunnii	eastern barred bandicoot	50	525606	5246184	2793	Camera Trap	2015-12-29	Day	Present	dpiw-fauna	NVA
Perameles gunnii	eastern barred bandicoot	50	525606	5246184	2793	Camera Trap	2015-12-31	Day	Present	dpiw-fauna	NVA
Perameles gunnii	eastern barred bandicoot	50	525606	5246184	2793	Camera Trap	2016-01-03	Day	Present	dpiw-fauna	NVA
Perameles gunnii	eastern barred bandicoot	3	528673	5247495	4063	Sighting	2015-08-21	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	528673	5247495	4063	Sighting	2015-08-22	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	528673	5247495	4063	Sighting	2015-08-22	Day	Present	hccwmp	NVA
Dasyurus viverrinus	eastern quoll	50	522409	5249502	2522	Carcass	2015-08-13	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	529025	5247725	4328	Sighting	2015-08-25	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	5	523573	5250458	2036	Sighting	2015-09-26	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	10	526363	5253568	4932	Sighting	2015-10-14	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	526133	5248005	1548	Sighting	2015-10-15	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	526133	5248005	1548	Sighting	2015-10-18	Day	Present	hccwmp	NVA
Dasyurus viverrinus	eastern quoll	5	522780	5250025	2371	Carcass	2015-10-25	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	10	524611	5250920	2061	Sighting	2015-03-23	Day	Present	hccwmp	NVA
Dasyurus viverrinus	eastern quoll	5	523837	5250095	1588	Carcass	2015-02-27	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	524634	5252168	3302	Sighting	2015-05-14	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	524634	5252168	3302	Sighting	2015-05-15	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	524634	5252168	3302	Sighting	2015-05-24	Day	Present	hccwmp	NVA
Dasyurus viverrinus	eastern quoll	25	522449	5249544	2494	Sighting	2015-06-02	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	524122	5249931	1285	Sighting	2015-07-12	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	523651	5247904	1543	Sighting	2015-06-25	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	523651	5247904	1543	Sighting	2015-06-26	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	3	524122	5249931	1285	Sighting	2015-07-18	Day	Present	hccwmp	NVA
Dasyurus viverrinus	eastern quoll	3	524122	5249931	1285	Sighting	2015-07-20	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	10	524368	5250230	1440	Carcass	2015-07-29	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	10	523543	5250468	2063	Carcass	2015-08-01	Day	Present	hccwmp	NVA
Dasyurus viverrinus	eastern quoll	100	521212	5247776	3801	Sighting	2016-05-09	Day	Present	dpiw-fauna	NVA
Perameles gunnii	eastern barred bandicoot	10	524678	5251654	2786	Sighting	2016-02-26	Day	Present	screc	NVA
Perameles gunnii	eastern barred bandicoot	25	526313	5248220	1600	Sighting	2016-04-19	Day	Present	hccwmp	NVA
Perameles gunnii	eastern barred bandicoot	25	521178	5248552	3688	Carcass	2016-04-25	Day	Present	hccwmp	NVA
Dasyurus viverrinus	eastern quoll	25	520947	5247359	4188	Carcass	2016-05-29	Day	Present	hccwmp	NVA

Species name	Common name	Reported Position accuracy (m)	X	Y	Distance (m)	Obs. type	Obs. date	Date accuracy	Obs. state	Project code + Foreign id	NVA id
<i>Perameles gunnii</i>	eastern barred bandicoot	5	523267	5250411	2209	Carcass	2016-06-25	Day	Present	hccwmp	NVA
<i>Perameles gunnii</i>	eastern barred bandicoot	5	522828	5250043	2338	Carcass	2016-08-26	Day	Present	hccwmp	NVA
<i>Antipodia chaostola</i> subsp. <i>leucophaea</i>	chaostola skipper	10	522672	5252761	4457	Sighting	2017-07-30	Day	Present	fpaf	NVA
<i>Perameles gunnii</i>	eastern barred bandicoot	10	521456	5249743	3506	Sighting	2017-10-31	Day	Present	dpiw-fauna	NVA
<i>Perameles gunnii</i>	eastern barred bandicoot	10	525768	5249055	934	Sighting	2018-01-15	Day	Present	pws	NVA
<i>Perameles gunnii</i>	eastern barred bandicoot	5	521469	5249454	3433	Camera Trap	2018-03-09	Day	Present	dpiw-fauna	NVA
<i>Sarcophilus harrisii</i>	tasmanian devil	5	521440	5249478	3465	Camera Trap	2018-03-14	Day	Present	pws	NVA
<i>Perameles gunnii</i>	eastern barred bandicoot	20	520452	5248453	4420	Carcass	2018-02-05	Day	Present	dpiw-fauna	NVA
<i>Perameles gunnii</i>	eastern barred bandicoot	5	521465	5249462	3438	Camera Trap	2018-03-30	Day	Present	pws	NVA
<i>Tyto novaehollandiae</i>	masked owl	50	521865	5250744	3525	Sighting	2018-05-15	Day	Present	javgo	NVA
<i>Perameles gunnii</i>	eastern barred bandicoot	5	521447	5249474	3458	Camera Trap	2018-04-23	Day	Present	pws	NVA
<i>Discocharopa vigens</i>	Ammonite Pinwheel Snail	30	524907	5250061	1189	Sighting	2018-07-05	Day	Present	kbpo	NVA
<i>Dasyurus maculatus</i>	spotted-tail quoll	5	521359	5250353	3794	Camera Trap	2018-08-01	Day	Present	pws	NVA
<i>Discocharopa vigens</i>	Ammonite Pinwheel Snail	30	524820	5250010	1137	Shell	2002-11-02	Day	Present	kbpo	NVA
<i>Discocharopa vigens</i>	Ammonite Pinwheel Snail	50	524817	5250046	1174	Sighting	2002-11-03	Day	Present	kbpo	NVA
<i>Discocharopa vigens</i>	Ammonite Pinwheel Snail	25	524907	5250061	1189	Sighting	2002-11-05	Day	Present	kbpo	NVA
<i>Discocharopa vigens</i>	Ammonite Pinwheel Snail	20	528423	5246920	4070	Shell	2018-07-22	Day	Present	kbpo	NVA
<i>Discocharopa vigens</i>	Ammonite Pinwheel Snail	50	524860	5250062	1189	Shell	2003-07-05	Day	Present	kbpo	NVA
<i>Discocharopa vigens</i>	Ammonite Pinwheel Snail	20	528426	5246917	4074	Sighting	2018-08-01	Day	Present	kbpo	NVA
<i>Discocharopa vigens</i>	Ammonite Pinwheel Snail	50	524860	5250062	1189	Shell	2002-12-12	Day	Present	kbpo	NVA
<i>Perameles gunnii</i>	eastern barred bandicoot	10	522740	5250002	2395	Carcass	2018-11-01	Day	Present	dpiw-fauna	NVA
<i>Dasyurus viverrinus</i>	eastern quoll	5	523899	5251035	2363	Sighting	2018-08-22	Day	Present	javgo	NVA
<i>Perameles gunnii</i>	eastern barred bandicoot	200	520364	5248444	4508	Carcass	2018-08-29	Day	Present	rtar	NVA
<i>Perameles gunnii</i>	eastern barred bandicoot	5	521446	5249492	3462	Camera Trap	2018-12-27	Day	Present	pws	NVA
<i>Dasyurus viverrinus</i>	eastern quoll	1000	526894	5244326	4984	Sighting	2011-05-15	Day	Present	inat http://www.inaturalist.org/observations/4735888	NVA
<i>Perameles gunnii</i>	eastern barred bandicoot	1000	523224	5250411	2240	Carcass	2018-11-01	Day	Present	rtar	NVA
<i>Dasyurus viverrinus</i>	eastern quoll	1000	523033	5250926	2743	Carcass	2018-11-07	Day	Present	rtar	NVA
<i>Perameles gunnii</i>	eastern barred bandicoot	5	521263	5248015	3690	Carcass	2019-03-17	Day	Present	pws	NVA
<i>Perameles gunnii</i>	eastern barred bandicoot	5	525780	5248792	932	Sighting	2019-05-27	Day	Present	pws	NVA
<i>Perameles gunnii</i>	eastern barred bandicoot	200	525305	5245106	3794	Carcass	2019-06-10	Day	Present	rtar	NVA
<i>Dasyurus maculatus</i>	spotted-tail quoll	200	525385	5244811	4097	Carcass	2019-07-04	Day	Present	rtar	NVA
<i>Discocharopa vigens</i>	Ammonite Pinwheel Snail	10	524018	5251356	2619	Shell	2019-06-07	Day	Present	kbpo	NVA
<i>Roblinella agnewi</i>	Silky Pinwheel Snail	20	519892	5248361	4986	Sighting	2019-07-28	Day	Present	kbpo	NVA
<i>Dasyurus viverrinus</i>	eastern quoll	20	529335	5248137	4543	Carcass	2015-07-07	Day	Present	sttd_pr	NVA
<i>Perameles gunnii</i>	eastern barred bandicoot	10	527702	5248696	2855	Camera Trap	2018-12-08	Day	Present	hccwmp MFDC5473	NVA

Species name	Common name	Reported Position accuracy (m)	X	Y	Distance (m)	Obs. type	Obs. date	Date accuracy	Obs. state	Project code + Foreign id	NVA id
<i>Pardalotus quadragintus</i>	forty-spotted pardalote	1	523277	5253603	4985	Sighting	2019-11-27	Week	Present	dpiw-fauna	NVA
<i>Dasyurus viverrinus</i>	eastern quoll	200	522334	5245453	4247	Carcass	2020-02-18	Day	Present	rtar	NVA
<i>Dasyurus viverrinus</i>	eastern quoll	200	525302	5244940	3959	Carcass	2020-02-20	Day	Present	rtar	NVA
<i>Dasyurus maculatus</i>	spotted-tail quoll	200	521784	5247968	3199	Carcass	2020-02-29	Day	Present	rtar	NVA
<i>Perameles gunnii</i>	eastern barred bandicoot	200	525411	5246462	2475	Carcass	2020-01-30	Day	Present	rtar	NVA
<i>Perameles gunnii</i>	eastern barred bandicoot	200	525201	5246757	2145	Carcass	2020-01-30	Day	Present	rtar	NVA
<i>Sarcophilus harrisii</i>	tasmanian devil	10	522260	5251490	3683	Camera Trap	2019-03-09	Day	Present	nbdata 20200505-fa 001 MWC001	NVA
<i>Sarcophilus harrisii</i>	tasmanian devil	10	522223	5251485	3706	Camera Trap	2019-03-09	Day	Present	nbdata 20200505-fa 002 MWC001	NVA
<i>Dasyurus viverrinus</i>	eastern quoll	10	522247	5251493	3695	Camera Trap	2019-03-10	Day	Present	nbdata 20200505-fa 003 MWC001	NVA
<i>Dasyurus viverrinus</i>	eastern quoll	10	522260	5251490	3683	Camera Trap	2019-03-10	Day	Present	nbdata 20200505-fa 004 MWC001	NVA

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Threatened Flora Records

Flora Records within 2000m of 524852E, 5248873N at Sun Jul 12 2020 12:33:50 GMT+1000 (Australian Eastern Standard Time)

Species name	Common name	Reported Position accuracy (m)	X	Y	Distance (m)	Obs. type	Obs. date	Date accuracy	Obs. state	NVA id
Rytidosperma indutum	tall wallabygrass	100	524012	5247883	1298	Sighting	1997-01-21	Day	Present	NVA
Rhodanthe anthemoides	chamomile sunray	2000	525412	5248283	813	Sighting	1898-01-15	Day	Present	NVA
Pimelea flava subsp. flava	yellow riceflower	1500	525412	5250383	1610	Sighting	1840-10-07	Day	Present	NVA
Carex longibrachiata	drooping sedge	300	525912	5248583	1099	Sighting	1978-11-15	Day	Present	NVA
Euphrasia scabra	yellow eyebright	1000	523812	5249383	1158	Sighting	1937-11-20	Day	Present	NVA
Carex longibrachiata	drooping sedge	500	523912	5250583	1951	Sighting	1893-01-01	Month	Present	NVA
Caladenia sylvicola	forest fingers	15	524056	5249696	1145	Sighting	1994-11-30	Day	Present	NVA
Allocasuarina duncanii	conical sheoak	100	524312	5246983	1966	Sighting	1997-02-12	Day	Present	NVA
Rytidosperma indutum	tall wallabygrass	100	524712	5247884	999	Sighting	1996-12-05	Day	Present	NVA
Euphrasia scabra	yellow eyebright	300	524812	5249983	1111	Sighting	1937-01-27	Day	Present	NVA
Vittadinia muelleri	narrowleaf new-holland-daisy	100	525412	5249883	1155	Sighting	2000-02-10	Day	Present	NVA
Euphrasia scabra	yellow eyebright	500	525612	5248083	1096	Sighting	1946-12-17	Day	Present	NVA
Rytidosperma indutum	tall wallabygrass	50	526612	5249633	1917	Sighting	1975-12-02	Day	Present	NVA
Xerochrysum bicolor	eastcoast paperdaisy	100	524512	5249283	533	Sighting	1997-04-02	Day	Present	NVA
Senecio squarrosus	leafy fireweed	100	526012	5247983	1462	Sighting	2001-01-01	Year	Present	NVA
Caladenia sylvicola	forest fingers	100	524056	5249696	1145	Sighting	1996-08-28	Unknown	Present	NVA
Pterostylis squamata	ruddy greenhood	2000	524112	5249183	802	Sighting	1907-03-01	Unknown	Present	NVA
Corunastylis nuda	tiny midge-orchid	2000	524412	5249183	538	Sighting	1901-02-01	Unknown	Present	NVA
Caladenia sylvicola	forest fingers	100	523778	5249895	1483	Sighting	1994-11-01	Unknown	Present	NVA
Caladenia sylvicola	forest fingers	100	524056	5249696	1145	Sighting	1992-11-03	Unknown	Present	NVA
Caladenia sylvicola	forest fingers	100	523778	5249895	1483	Sighting	1992-10-28	Unknown	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5000	523750	5249950	1541	Sighting	1840-02-09	Year	Present	NVA
Caladenia sylvicola	forest fingers	14	524056	5249696	1145	Sighting	1997-10-26	Day	Present	NVA
Rytidosperma indutum	tall wallabygrass	500	526312	5248293	1571	Sighting	2003-04-13	Day	Present	NVA
Juncus vaginatus	clustered rush	2000	523237	5248567	1644	Sighting	2001-03-14	Day	Present	NVA
Rytidosperma indutum	tall wallabygrass	100	526097	5248749	1251	Sighting	2004-01-01	Day	Present	NVA
Corunastylis nuda	tiny midge-orchid	10	523716	5249814	1475	Sighting	2006-03-17	Day	Present	NVA
Rytidosperma indutum	tall wallabygrass	10	524680	5247965	924	Sighting	2007-06-12	Day	Present	NVA
Rytidosperma indutum	tall wallabygrass	10	524707	5248003	882	Sighting	2007-06-12	Day	Present	NVA
Rytidosperma indutum	tall wallabygrass	10	524754	5248211	669	Sighting	2007-06-12	Day	Present	NVA
Rytidosperma indutum	tall wallabygrass	20	526258	5248263	1533	Sighting	2003-04-01	Day	Present	NVA
Scleranthus fasciculatus	spreading knawel	20	524556	5249731	908	Sighting	2005-09-16	Day	Present	NVA
Scleranthus fasciculatus	spreading knawel	20	524562	5249729	904	Sighting	2005-09-16	Day	Present	NVA
Vittadinia muelleri	narrowleaf new-holland-daisy	20	524671	5249783	928	Sighting	2005-09-16	Day	Present	NVA

Species name	Common name	Reported Position accuracy (m)	X	Y	Distance (m)	Obs. type	Obs. date	Date accuracy	Obs. state	NVA id
Caladenia caudata	tailed spider-orchid	10	523668	5248662	1203	Sighting	2007-10-10	Day	Present	NVA
Caladenia caudata	tailed spider-orchid	10	523668	5248662	1203	Sighting	2003-10-17	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	7	523756	5250041	1602	Sighting	2008-04-02	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	6	523796	5249911	1481	Sighting	2008-04-04	Day	Present	NVA
Corunastylis nuda	tiny midge-orchid	6	523763	5249828	1448	Sighting	2008-04-08	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	6	523732	5250047	1623	Sighting	2008-04-08	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	10	523800	5249898	1469	Sighting	2008-04-05	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	10	523737	5249861	1490	Sighting	2008-04-05	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	10	523740	5249909	1520	Sighting	2008-04-11	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	10	523764	5249981	1553	Sighting	2008-04-11	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	10	523736	5249930	1537	Sighting	2008-04-11	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	10	523779	5249962	1529	Sighting	2008-04-11	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	10	523816	5250052	1570	Sighting	2008-04-15	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	10	523800	5249980	1527	Sighting	2008-04-05	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	10	523667	5250005	1639	Sighting	2008-04-13	Day	Present	NVA
Vittadinia muelleri	narrowleaf new-holland-daisy	10	525322	5249898	1128	Sighting	2008-02-18	Day	Present	NVA
Vittadinia muelleri	narrowleaf new-holland-daisy	10	525327	5249899	1131	Sighting	2008-02-18	Day	Present	NVA
Vittadinia muelleri	narrowleaf new-holland-daisy	10	525338	5249900	1136	Sighting	2008-02-18	Day	Present	NVA
Vittadinia muelleri	narrowleaf new-holland-daisy	10	525367	5249913	1161	Sighting	2008-02-18	Day	Present	NVA
Vittadinia muelleri	narrowleaf new-holland-daisy	10	525393	5249887	1149	Sighting	2008-02-18	Day	Present	NVA
Vittadinia muelleri	narrowleaf new-holland-daisy	10	525393	5249890	1152	Sighting	2008-02-18	Day	Present	NVA
Vittadinia muelleri	narrowleaf new-holland-daisy	10	525389	5249890	1150	Sighting	2008-02-18	Day	Present	NVA
Vittadinia muelleri	narrowleaf new-holland-daisy	10	525389	5249889	1149	Sighting	2008-02-18	Day	Present	NVA
Vittadinia muelleri	narrowleaf new-holland-daisy	10	525388	5249890	1150	Sighting	2008-02-18	Day	Present	NVA
Vittadinia muelleri	narrowleaf new-holland-daisy	10	525411	5249896	1166	Sighting	2008-02-18	Day	Present	NVA
Vittadinia muelleri	narrowleaf new-holland-daisy	10	525376	5249880	1135	Sighting	2008-02-18	Day	Present	NVA
Vittadinia muelleri	narrowleaf new-holland-daisy	10	525351	5249870	1115	Sighting	2008-02-18	Day	Present	NVA
Vittadinia muelleri	narrowleaf new-holland-daisy	10	525354	5249874	1120	Sighting	2008-02-18	Day	Present	NVA
Vittadinia muelleri	narrowleaf new-holland-daisy	10	525353	5249881	1126	Sighting	2008-02-18	Day	Present	NVA
Vittadinia muelleri	narrowleaf new-holland-daisy	10	525354	5249881	1126	Sighting	2008-02-18	Day	Present	NVA
Vittadinia muelleri	narrowleaf new-holland-daisy	10	525354	5249880	1125	Sighting	2008-02-18	Day	Present	NVA
Vittadinia muelleri	narrowleaf new-holland-daisy	10	525353	5249879	1124	Sighting	2008-02-18	Day	Present	NVA
Vittadinia muelleri	narrowleaf new-holland-daisy	10	525353	5249880	1125	Sighting	2008-02-18	Day	Present	NVA
Vittadinia muelleri	narrowleaf new-holland-daisy	10	525346	5249871	1114	Sighting	2008-02-18	Day	Present	NVA
Vittadinia muelleri	narrowleaf new-holland-daisy	10	525340	5249875	1115	Sighting	2008-02-18	Day	Present	NVA
Vittadinia muelleri	narrowleaf new-holland-daisy	10	525335	5249872	1110	Sighting	2008-02-18	Day	Present	NVA

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Vittadinia muelleri	narrowleaf new-holland-daisy	10	525334	5249871	1108	Sighting	2008-02-18	Day	Present	NVA
Vittadinia muelleri	narrowleaf new-holland-daisy	10	525334	5249872	1109	Sighting	2008-02-18	Day	Present	NVA
Rytidosperma indutum	tall wallabygrass	10	525986	5248729	1143	Sighting	2008-03-04	Day	Present	NVA
Rytidosperma indutum	tall wallabygrass	10	525952	5248746	1107	Sighting	2008-03-27	Day	Present	NVA
Rytidosperma indutum	tall wallabygrass	10	526102	5248756	1255	Sighting	2008-03-27	Day	Present	NVA
Rytidosperma indutum	tall wallabygrass	10	526137	5248805	1287	Sighting	2008-03-27	Day	Present	NVA
Rytidosperma indutum	tall wallabygrass	10	526047	5248793	1198	Sighting	2008-03-27	Day	Present	NVA
Rytidosperma indutum	tall wallabygrass	10	525979	5248762	1132	Sighting	2008-03-27	Day	Present	NVA
Rytidosperma indutum	tall wallabygrass	10	525893	5249299	1125	Sighting	2009-07-01	Day	Present	NVA
Rytidosperma indutum	tall wallabygrass	10	525916	5249403	1189	Sighting	2009-07-01	Day	Present	NVA
Caladenia sylvicola	forest fingers	10	523760	5249838	1457	Sighting	2009-10-26	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	100	523750	5249950	1541	Sighting	2010-01-25	Day	Present	NVA
Caladenia caudata	tailed spider-orchid	5	523662	5248662	1209	Sighting	2009-09-28	Day	Present	NVA
Caladenia caudata	tailed spider-orchid	5	523674	5248666	1196	Sighting	2009-09-28	Day	Present	NVA
Senecio squarrosus	leafy fireweed	5	523410	5248497	1490	Sighting	2009-11-04	Day	Present	NVA
Senecio squarrosus	leafy fireweed	5	524003	5248501	927	Sighting	2009-12-14	Day	Present	NVA
Senecio squarrosus	leafy fireweed	5	524468	5248355	645	Sighting	2009-12-14	Day	Present	NVA
Senecio squarrosus	leafy fireweed	5	524552	5248301	646	Sighting	2009-12-14	Day	Present	NVA
Senecio squarrosus	leafy fireweed	5	524361	5248681	527	Sighting	2009-12-14	Day	Present	NVA
Senecio squarrosus	leafy fireweed	5	524285	5248647	610	Sighting	2009-12-14	Day	Present	NVA
Senecio squarrosus	leafy fireweed	5	524167	5248572	748	Sighting	2009-12-14	Day	Present	NVA
Euphrasia scabra	yellow eyebright	2500	524000	5247525	1595	Sighting	1973-11-29	Day	Present	NVA
Rytidosperma indutum	tall wallabygrass	5	525061	5248030	869	Sighting	2010-06-10	Day	Present	NVA
Rytidosperma indutum	tall wallabygrass	5	525061	5248054	845	Sighting	2010-06-10	Day	Present	NVA
Rytidosperma indutum	tall wallabygrass	5	525061	5248015	883	Sighting	2010-06-10	Day	Present	NVA
Rytidosperma indutum	tall wallabygrass	5	525075	5248090	814	Sighting	2010-06-10	Day	Present	NVA
Rytidosperma indutum	tall wallabygrass	5	525179	5248256	698	Sighting	2010-06-10	Day	Present	NVA
Rytidosperma indutum	tall wallabygrass	5	525335	5248575	568	Sighting	2010-06-10	Day	Present	NVA
Rytidosperma indutum	tall wallabygrass	5	525332	5248616	544	Sighting	2010-06-10	Day	Present	NVA
Rytidosperma indutum	tall wallabygrass	5	525278	5248749	444	Sighting	2010-06-10	Day	Present	NVA
Rytidosperma indutum	tall wallabygrass	5	523663	5249852	1540	Sighting	2010-09-07	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523690	5249852	1519	Sighting	2011-02-02	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523795	5249916	1485	Sighting	2011-02-02	Day	Present	NVA
Corunastylis nuda	tiny midge-orchid	5	523700	5249856	1514	Sighting	2011-02-16	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523700	5249856	1514	Sighting	2011-02-16	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523723	5249940	1553	Sighting	2011-02-16	Day	Present	NVA

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Corunastylis nudiscapa	bare midge-orchid	5	523813	5250051	1571	Sighting	2011-02-16	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523881	5250087	1555	Sighting	2011-02-16	Day	Present	NVA
Rytidosperma indutum	tall wallabygrass	5	525102	5247440	1455	Sighting	2011-02-22	Day	Present	NVA
Rytidosperma indutum	tall wallabygrass	5	525142	5247423	1479	Sighting	2011-02-22	Day	Present	NVA
Rytidosperma indutum	tall wallabygrass	5	525252	5247634	1302	Sighting	2011-02-22	Day	Present	NVA
Rytidosperma indutum	tall wallabygrass	5	525304	5247686	1270	Sighting	2011-02-22	Day	Present	NVA
Rytidosperma indutum	tall wallabygrass	5	525328	5247781	1191	Sighting	2011-02-22	Day	Present	NVA
Rytidosperma indutum	tall wallabygrass	5	525340	5247724	1248	Sighting	2011-02-22	Day	Present	NVA
Senecio squarrosus	leafy fireweed	5	525179	5247511	1401	Sighting	2011-02-22	Day	Present	NVA
Senecio squarrosus	leafy fireweed	5	525265	5247625	1315	Sighting	2011-02-22	Day	Present	NVA
Senecio squarrosus	leafy fireweed	5	525320	5247802	1169	Sighting	2011-02-22	Day	Present	NVA
Senecio squarrosus	leafy fireweed	5	525339	5247515	1443	Sighting	2011-02-22	Day	Present	NVA
Senecio squarrosus	leafy fireweed	5	525383	5247525	1449	Sighting	2011-02-22	Day	Present	NVA
Senecio squarrosus	leafy fireweed	5	525403	5247850	1162	Sighting	2011-02-22	Day	Present	NVA
Senecio squarrosus	leafy fireweed	5	525647	5247701	1416	Sighting	2011-02-22	Day	Present	NVA
Senecio squarrosus	leafy fireweed	5	525834	5248017	1303	Sighting	2011-02-22	Day	Present	NVA
Senecio squarrosus	leafy fireweed	5	525868	5247834	1453	Sighting	2011-02-22	Day	Present	NVA
Senecio squarrosus	leafy fireweed	5	525870	5248022	1327	Sighting	2011-02-22	Day	Present	NVA
Senecio squarrosus	leafy fireweed	5	525916	5247882	1454	Sighting	2011-02-22	Day	Present	NVA
Senecio squarrosus	leafy fireweed	5	525972	5247878	1498	Sighting	2011-02-22	Day	Present	NVA
Senecio squarrosus	leafy fireweed	5	526006	5247863	1534	Sighting	2011-02-22	Day	Present	NVA
Vittadinia muelleri	narrowleaf new-holland-daisy	5	525580	5247915	1203	Sighting	2011-02-22	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523244	5250030	1981	Sighting	2011-03-05	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523257	5250046	1980	Sighting	2011-03-05	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523282	5250083	1982	Sighting	2011-03-05	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523651	5249998	1646	Sighting	2011-03-14	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523747	5250041	1608	Sighting	2011-03-14	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523754	5250040	1602	Sighting	2011-03-14	Day	Present	NVA
Corunastylis nuda	tiny midge-orchid	5	523289	5249988	1920	Sighting	2011-03-13	Day	Present	NVA
Senecio squarrosus	leafy fireweed	5	525959	5248293	1250	Sighting	2011-03-03	Day	Present	NVA
Vittadinia burbridgeae	smooth new-holland-daisy	5	525886	5248324	1171	Sighting	2011-03-03	Day	Present	NVA
Vittadinia burbridgeae	smooth new-holland-daisy	5	525902	5248350	1173	Sighting	2011-03-03	Day	Present	NVA
Vittadinia burbridgeae	smooth new-holland-daisy	5	525905	5248331	1184	Sighting	2011-03-03	Day	Present	NVA
Vittadinia burbridgeae	smooth new-holland-daisy	5	525930	5248348	1199	Sighting	2011-03-03	Day	Present	NVA
Vittadinia burbridgeae	smooth new-holland-daisy	5	526112	5248374	1355	Sighting	2011-03-03	Day	Present	NVA
Vittadinia muelleri	narrowleaf new-holland-daisy	5	526016	5248352	1275	Sighting	2011-03-03	Day	Present	NVA

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Corunastylis nuda	tiny midge-orchid	5	523268	5250004	1946	Sighting	2011-03-12	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523234	5250029	1989	Sighting	2011-03-12	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523235	5250036	1992	Sighting	2011-03-12	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523241	5250051	1996	Sighting	2011-03-12	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523244	5250060	1999	Sighting	2011-03-12	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523245	5250060	1998	Sighting	2011-03-12	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523245	5250059	1997	Sighting	2011-03-12	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523250	5249991	1954	Sighting	2011-03-12	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523300	5250104	1981	Sighting	2011-03-12	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523302	5250105	1980	Sighting	2011-03-12	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523329	5250050	1925	Sighting	2011-03-12	Day	Present	NVA
Vittadinia burbridgeae	smooth new-holland-daisy	5	525930	5248215	1263	Sighting	2011-03-12	Day	Present	NVA
Rytidosperma indutum	tall wallabygrass	5	524387	5250367	1565	Sighting	2011-03-26	Day	Present	NVA
Vittadinia muelleri	narrowleaf new-holland-daisy	10	525616	5249996	1358	Sighting	2011-05-13	Day	Present	NVA
Vittadinia muelleri	narrowleaf new-holland-daisy	10	525626	5249990	1359	Sighting	2011-05-13	Day	Present	NVA
Vittadinia muelleri	narrowleaf new-holland-daisy	10	525638	5249992	1367	Sighting	2011-05-13	Day	Present	NVA
Vittadinia muelleri	narrowleaf new-holland-daisy	10	525643	5249990	1369	Sighting	2011-05-13	Day	Present	NVA
Vittadinia muelleri	narrowleaf new-holland-daisy	10	525649	5249993	1375	Sighting	2011-05-13	Day	Present	NVA
Vittadinia muelleri	narrowleaf new-holland-daisy	10	525650	5249901	1301	Sighting	2011-05-13	Day	Present	NVA
Vittadinia muelleri	narrowleaf new-holland-daisy	10	525658	5249989	1377	Sighting	2011-05-13	Day	Present	NVA
Corunastylis nuda	tiny midge-orchid	50	523720	5249817	1474	Sighting	2006-03-17	Day	Present	NVA
Corunastylis nuda	tiny midge-orchid	25	523763	5249828	1448	Sighting	2008-04-08	Day	Present	NVA
Rytidosperma indutum	tall wallabygrass	5	525714	5249224	931	Sighting	2011-08-24	Day	Present	NVA
Scleranthus fasciculatus	spreading knawel	5	525725	5248712	888	Sighting	2011-08-24	Day	Present	NVA
Rytidosperma indutum	tall wallabygrass	10	524754	5248211	669	Sighting	2007-06-12	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5000	523750	5249950	1541	Type Locality	1840-09-28	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	7	523756	5250041	1602	Sighting	2008-04-02	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	25	523796	5249911	1481	Sighting	2008-04-04	Day	Present	NVA
Olearia hookeri	crimsontip daisybush	1000	525846	5248390	1105	Sighting	1923-12-01	Month	Present	NVA
Pterostylis squamata	ruddy greenhood	2000	523125	5248400	1791	Sighting	1907-03-01	Month	Present	NVA
Rytidosperma indutum	tall wallabygrass	6	523616	5247907	1569	Sighting	2013-12-14	Day	Present	NVA
Rytidosperma indutum	tall wallabygrass	3	523356	5249784	1752	Sighting	2013-12-21	Day	Present	NVA
Corunastylis nuda	tiny midge-orchid	5	523706	5249855	1509	Sighting	2013-04-28	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523793	5249904	1478	Sighting	2013-04-28	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523736	5249926	1534	Sighting	2013-04-28	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523733	5249918	1531	Sighting	2013-04-28	Day	Present	NVA

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Corunastylis nudiscapa	bare midge-orchid	5	523692	5249854	1519	Sighting	2013-04-28	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523705	5249856	1511	Sighting	2013-04-28	Day	Present	NVA
Senecio squarrosus	leafy fireweed	10	524791	5249337	468	Sighting	2012-12-03	Day	Present	NVA
Senecio squarrosus	leafy fireweed	10	524727	5249187	338	Sighting	2012-12-03	Day	Present	NVA
Senecio squarrosus	leafy fireweed	10	524063	5248519	865	Sighting	2012-12-03	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	25	523758	5249832	1455	Sighting	2008-04-08	Day	Present	NVA
Rytidosperma indutum	tall wallabygrass	1000	525846	5248391	1105	Sighting	1947-01-29	Day	Present	NVA
Allocauarina duncanii	conical sheoak	10	524075	5247328	1729	Sighting	2015-12-20	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523235	5249090	1631	Sighting	2015-03-07	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523235	5249090	1631	Sighting	2015-03-08	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523252	5249101	1616	Sighting	2015-03-08	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523239	5249085	1627	Sighting	2015-03-08	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523239	5249086	1627	Sighting	2015-03-08	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523252	5249039	1608	Sighting	2015-03-08	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523288	5249043	1573	Sighting	2015-03-08	Day	Present	NVA
Caladenia filamentosa	daddy longlegs	5	523654	5248667	1216	Sighting	2016-10-13	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523239	5249086	1627	Sighting	2015-03-08	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523239	5249087	1627	Sighting	2015-03-08	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523253	5249039	1608	Sighting	2015-03-08	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523289	5249043	1572	Sighting	2015-03-08	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523235	5249090	1631	Sighting	2015-03-07	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523235	5249090	1631	Sighting	2015-03-08	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523252	5249101	1616	Sighting	2015-03-08	Day	Present	NVA
Allocauarina duncanii	conical sheoak	10	524072	5247333	1726	Sighting	2016-01-19	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523793	5249904	1478	Sighting	2013-04-28	Day	Present	NVA
Rytidosperma indutum	tall wallabygrass	5	524722	5249156	311	Sighting	2017-07-31	Day	Present	NVA
Rytidosperma indutum	tall wallabygrass	5	524727	5249150	304	Sighting	2017-07-31	Day	Present	NVA
Rytidosperma indutum	tall wallabygrass	5	524705	5249097	268	Sighting	2017-07-31	Day	Present	NVA
Caladenia caudata	tailed spider-orchid	5	523761	5248850	1091	Sighting	2017-09-24	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523673	5249886	1554	Sighting	2018-03-24	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523726	5249894	1520	Sighting	2018-03-24	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523731	5249899	1520	Sighting	2018-03-24	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523737	5249910	1523	Sighting	2018-03-24	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523732	5249925	1537	Sighting	2018-03-24	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523764	5249918	1509	Sighting	2018-03-24	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523776	5249923	1503	Sighting	2018-03-24	Day	Present	NVA

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Corunastylis nudiscapa	bare midge-orchid	5	523957	5250073	1497	Sighting	2018-03-24	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523972	5250064	1481	Sighting	2018-03-24	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523897	5250104	1558	Sighting	2018-03-24	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523884	5250085	1551	Sighting	2018-03-24	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523867	5250082	1559	Sighting	2018-03-24	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523821	5250044	1560	Sighting	2018-03-24	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523736	5249939	1543	Sighting	2018-03-24	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523720	5249918	1541	Sighting	2018-03-24	Day	Present	NVA
Corunastylis nuda	tiny midge-orchid	5	523174	5248931	1679	Sighting	2018-03-24	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523754	5250047	1607	Sighting	2018-03-24	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523745	5250039	1608	Sighting	2018-03-24	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523674	5250013	1639	Sighting	2018-03-24	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523654	5250062	1688	Sighting	2018-03-24	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523725	5250052	1631	Sighting	2018-03-26	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523233	5250020	1984	Sighting	2018-03-26	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523340	5250074	1931	Sighting	2018-03-26	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523615	5250098	1741	Sighting	2018-03-26	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523213	5249087	1653	Sighting	2018-03-24	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	5	523783	5249937	1508	Sighting	2018-03-25	Day	Present	NVA
Thelymitra inflata	inflated sun-orchid	50	523470	5248530	1424	Sighting	1992-12-16	Day	Present	NVA
Vittadinia muelleri	narrowleaf new-holland-daisy	10	525263	5249886	1093	Sighting	2016-09-20	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	10	523985	5250090	1494	Sighting	2017-02-18	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	10	523956	5250056	1484	Sighting	2017-02-18	Day	Present	NVA
Caladenia filamentosa	daddy longlegs	100	523657	5248680	1210	Sighting	2016-10-30	Day	Present	NVA
Corunastylis nudiscapa	bare midge-orchid	200	523250	5250001	1959	Sighting	2020-04-10	Day	Present	NVA

Showing 1 to 239 of 239 entries

Threatened Flora Survey Notes

SURVEY SKILL LEVEL

Refer to [Threatened Flora Species Survey Notes \(FPA 2016\)](#) for more information.

Survey skill level:

- 1: highly distinctive species – an FPO or forest planner can undertake surveys
- 2: distinctive species – a flora-competent forest planner can undertake surveys
- 3: non-distinctive species and species occupying specialised niches – only experienced field botanists can undertake surveys

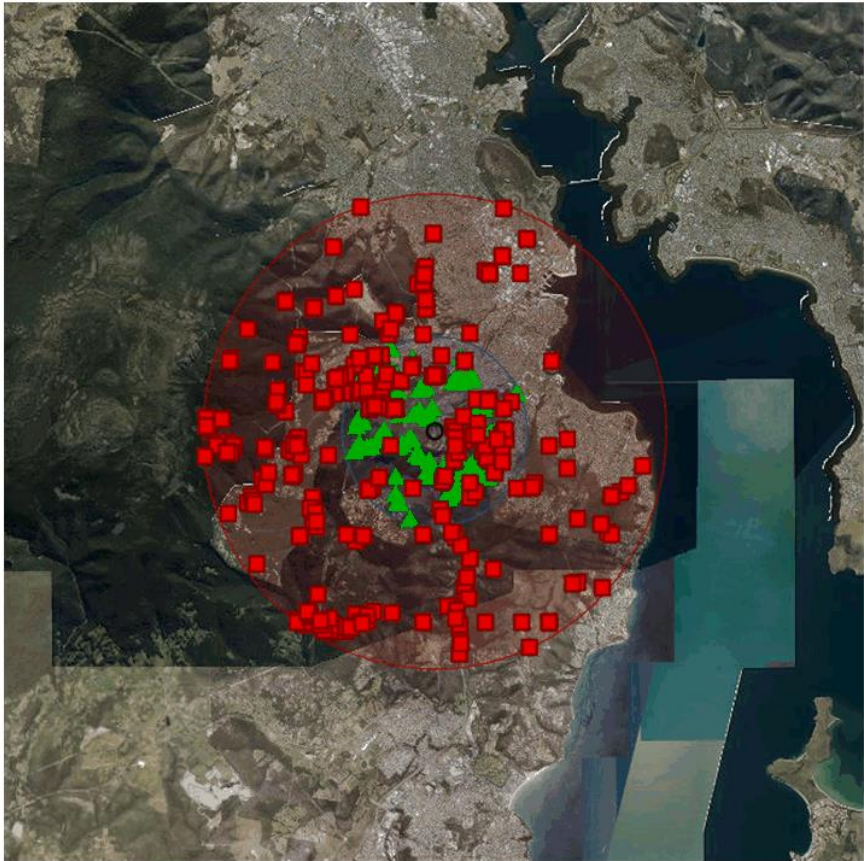
HABITAT DESCRIPTION

Refer to [Habitat Descriptions of Threatened Flora in Tasmania \(FPA 2016\)](#) for more information.

Species name	Common name	Life form	Status TSPA, EPBCA	Habitat description	Survey guidelines	Survey skill level
<i>Allocasuarina duncanii</i>	conical sheoak	tree	r, -	<i>Allocasuarina duncanii</i> is strongly associated with dolerite rock plates or shallow soils over dolerite, where it occurs in monotypic stands or in association with <i>Eucalyptus delegatensis</i> or <i>E. coccoifera</i> . Two small sites are on quartzitic sandstone. The species is found from 230-1,000 m a.s.l. with most sites above 500 m.	This small tree can be identified at any time of the year using vegetative characteristics, including its (mostly) conical growth form. Some individuals/stands appear to intergrade with <i>Allocasuarina monilifera</i> .	1
<i>Caladenia caudata</i>	tailed spider-orchid	orchid	v, VU	<i>Caladenia caudata</i> has highly variable habitat, which includes the central north: <i>Eucalyptus obliqua</i> heathy forest on low undulating hills; the northeast: <i>E. globulus</i> grassy/heathy coastal forest, <i>E. amygdalina</i> heathy woodland and forest, <i>Allocasuarina</i> woodland; and the southeast: <i>E. amygdalina</i> forest and woodland on sandstone, coastal <i>E. viminalis</i> forest on deep sands. Substrates vary from dolerite to sandstone to granite, with soils ranging from deep windblown sands, sands derived from sandstone and well-developed clay loams developed from dolerite. A high degree of insolation is typical of many sites.	Flowers are required for the identification of this ground orchid, which dies back to subterranean tubers after flowering. It appears that populations in the south of the State consistently have a peak flowering in late September, while northern populations flower later (October, even early November). This species responds with prolific flowering the first season after a hot fire, diminishing to few or none in subsequent seasons. Despite its size and distinctive appearance, this species can be hard to detect in its often dried-off grassy habitat. The species can hybridise with <i>Caladenia saggicola</i> and any suspected hybrids will need specialist confirmation. There is also confusion with some other members of the <i>Caladenia patersonii</i> species-complex in some parts of its range (e.g. northeast around Bellingham and northwest around Rocky Cape-Arthur Pieman). More information on survey time can be found in <i>Flowering Times of Tasmanian Orchids: A Practical Guide for Field Botanists</i> .	3
<i>Caladenia filamentosa</i>	daddy longlegs	orchid	r, -	<i>Caladenia filamentosa</i> occurs in lowland heathy and sedgy eucalypt forest and woodland on sandy soils.	Flowers are required for the identification of this ground orchid, which dies back to subterranean tubers after flowering. This species is also identifiable before flowering from its leaves (reddish base, densely hairy and long) and from withered flowers (because the distinctive long wispy segments persist for some time), although this is only reliable at known sites and/or by someone familiar with the species. This species responds strongly to fire, with high numbers occurring one to two seasons after fire, dwindling to a few or none as the undergrowth thickens. More information on survey time can be found in <i>Flowering Times of Tasmanian Orchids: A Practical Guide for Field Botanists</i> .	3
<i>Caladenia sylvicola</i>	forest fingers	orchid	e, CR	<i>Caladenia sylvicola</i> has only been found in dry forest adjacent to Huon Road, near Hobart. One site is on a highly insolated hillside on well-drained gravelly loam overlying mudstone in heathy/shrubby <i>Eucalyptus tenuiramis</i> forest at about 240 m a.s.l. A second site is at slightly lower elevation (160 m a.s.l.) on a moist, sheltered slope (on a similar substrate), growing among leaf litter and dense shrubs in <i>E. obliqua</i> dry sclerophyll forest.	Flowers are required for the identification of this ground orchid, which dies back to subterranean tubers after flowering. Precise observations at the known site indicated that flowering occurred a few days either side of 1 November. At this time the local <i>Caladenia carnea</i> has finished flowering and <i>Caladenia cracens</i> is just starting. In 2009, a single flower of <i>Caladenia sylvicola</i> was detected at the known site on 25 October, but withered a few days later. More information on survey time can be found in <i>Flowering Times of Tasmanian Orchids: A Practical Guide for Field Botanists</i> .	3
<i>Carex longibrachiata</i>	drooping sedge	sedge	r, -	<i>Carex longibrachiata</i> grows along riverbanks, in rough grassland and pastures, in damp drainage depressions and on moist slopes amongst forest, often dominated by <i>Eucalyptus viminalis</i> , <i>E. ovata</i> or <i>E. rodwayi</i> .	This robust sedge forms dense, small to large tussocks. Mature inflorescences are required for identification, which can be effectively absent in winter months, meaning a spring-summer survey is usually required. There is considerable confusion between <i>C. longibrachiata</i> and <i>C. iynx</i> and mature inflorescences are needed to separate the two species (vegetative leaf characters are less reliable).	3
<i>Corunastylis nuda</i>	tiny midge-orchid	orchid	r, -	<i>Corunastylis nuda</i> occurs in a wide range of habitats from near sea level to 1,000 m a.s.l., on a range of different soil types and geologies. Vegetation types include scrub, subalpine grassland, open rock plates, heathy open forest, shrubby dry sclerophyll forest and wet sclerophyll forest.	Flowers are required for the identification of this ground orchid, which dies back to subterranean tubers after flowering. Flowering appears to be mainly in January but continues through to February, and occasionally March at higher elevations and colder sites. Mid to late summer is therefore the recommended timing for surveys, but the species can be identified several months later from the distinctive elongated fertilised plants. However, even in flower, the short stature and colour of plants makes them hard to detect in their surrounds. <i>Corunastylis nuda</i> often occurs in relatively low abundance, further decreasing the chance of finding the species. More information on survey time can be found in <i>Flowering Times of Tasmanian Orchids: A Practical Guide for Field Botanists</i> .	3
<i>Corunastylis nudiscapa</i>	bare midge-orchid	orchid	e, -	<i>Corunastylis nudiscapa</i> is restricted to a few sites in the area between Hobart and Kettering. It has been recorded from open forests and woodlands on mudstone and sandstone, dominated by <i>Eucalyptus tenuiramis</i> , and occasionally <i>E. obliqua</i> or <i>E. amygdalina</i> , with a heathy or grassy ground layer of varying density.	Flowers are required for the identification of this ground orchid, which dies back to subterranean tubers after flowering. Surveys for <i>Corunastylis nudiscapa</i> should be undertaken during its peak flowering period February to mid-April, whilst noting that fertilised plants can be identified due to the species' distinctive leaf character in the inflorescence. Leaves have been observed as early as December. The species is difficult to detect due to its diminutive nature (especially where shrubs become denser) and usually occurs in low numbers within loose groups at any one site. More information on survey time can be found in <i>Flowering Times of Tasmanian Orchids: A Practical Guide for Field Botanists</i> .	3

Species name	Common name	Life form	Status TSPA, EPBCA	Habitat description	Survey guidelines	Survey skill level
<i>Euphrasia scabra</i>	yellow eyebright	herb	e, -	<i>Euphrasia scabra</i> occurs in moist herb/sedge communities in grassy leads in marshes and in drier open grassy areas at the headwaters of creeks. Its habitat is associated with gaps created by grazing, flooding or other disturbance. It has been recorded from scattered sites throughout lowland areas of Tasmania, including the northwest coast, central north, Midlands, Eastern Tiers and around Hobart. However, it is considered to be extinct from many of these sites, and populations are low and transient in areas (Eastern Tiers and Hobart) with the greatest probability of still supporting the species.	This herb is difficult to detect unless in flower (vegetatively it 'hides' amongst dense undergrowth). When in flower, the species is unmistakable (although superficially similar to <i>Parentucellia viscosa</i> , a weedy herb). Peak flowering occurs in mid-December for subpopulations in the south of the State and February for subpopulations in the northeast.	3
<i>Juncus vaginatus</i>	clustered rush	rush	r, -	<i>Juncus vaginatus</i> is a species of low-lying poorly-drained sites such as the margins of still and slow-flowing waterbodies and areas where water lies for parts of the year such as "wet pasture".	Mature inflorescences are needed for identification of this rush although the form of the inflorescence combined with culm pith appearance is quite diagnostic but separating this species from several that can co-occur is best undertaken in spring-summer when there is fresh growth and fertile material.	3
<i>Olearia hookeri</i>	crimsontip daisybush	shrub	r, -		This low to medium shrub can be identified at any time of the year due to its distinctive foliage but detection is aided by the bright white flowers. Vegetatively the species is similar to <i>O. ericoides</i> and examination of the leaf surfaces is needed.	3
<i>Pterostylis squamata</i>	ruddy greenhood	orchid	r (v pending), -	<i>Pterostylis squamata</i> occurs in heathy and grassy open eucalypt forest, woodland and heathland on well-drained sandy and clay loams.	Flowers are required for the identification of this ground orchid, which dies back to subterranean tubers after flowering. Flowering is between December and March, but varies considerably between sites. More information on survey time can be found in <i>Flowering Times of Tasmanian Orchids: A Practical Guide for Field Botanists</i> .	3
<i>Rhodanthe anthemoides</i>	chamomile sunray	herb	r, -	<i>Rhodanthe anthemoides</i> occurs in montane grasslands, heath and heathy scrub in central and northwestern Tasmania.	This herb can be detected at any time of the year but detection is significantly aided by the presence of bright white flowers in spring-summer. Leaves are sufficiently distinct for identification.	3
<i>Rytidosperma indutum</i>	tall wallabygrass	grass	r, -	<i>Rytidosperma indutum</i> is relatively widespread on mudstone and dolerite in dry sclerophyll woodlands and associated lowland grasslands in drier parts of the State.	Mature inflorescences are required for identification of this tall tufted grass. Inflorescences are produced in spring-summer, but enough florets for identification are usually present in populations to confirm identification and presence of the species at other times.	3
<i>Scleranthus fasciculatus</i>	spreading knawel	herb	v, -	<i>Scleranthus fasciculatus</i> is only recorded from a few locations in the Midlands and southeast. The vegetation at most of the sites is Poa grassland/grassy woodland. <i>Scleranthus fasciculatus</i> appears to need gaps between the tussock spaces for its survival and both fire and stock grazing maintain the openness it requires. Often found in areas protected from grazing such as fallen trees and branches.	This ground cover can be detected at any time of the year, although it is most obvious in spring-summer and when surrounding grass is browsed low.	3
<i>Senecio squarrosus</i>	leafy fireweed	herb	r, -	<i>Senecio squarrosus</i> occurs in a wide variety of habitats. One form occurs predominantly in lowland damp tussock grasslands. The more widespread and common form occurs mainly in dry forests (often grassy) but extends to wet forests and other vegetation types.	This herb can be found at any time of the year, although growth is most prolific in spring-summer. Identification requires mature florets, which are generally most abundant in this period. Mature flowerheads with florets are rarely present in winter, so only speculative identification is possible, based on familiarity with habitat, habit and leaf morphology.	3
<i>Vittadinia burbridgeae</i>	smooth new-holland-daisy	herb	r, -	<i>Vittadinia burbridgeae</i> occurs in native grassland and grassy woodland.	This herb can be detected at any time of the year although the flush of spring growth and purple flowers in spring aid detection considerably. The species can be identified on vegetative characters alone.	3
<i>Vittadinia muelleri</i>	narrowleaf new-holland-daisy	herb	r, -	<i>Vittadinia muelleri</i> occurs in native grassland and grassy woodland.	This herb can be detected at any time of the year although the flush of spring growth and purple flowers in spring aid detection considerably. The species can be identified on vegetative characters alone.	3
<i>Xerochrysum bicolor</i>	eastcoast everlasting	herb	r, -	Species of <i>Xerochrysum</i> are poorly understood in Tasmania, especially the identification of coastal species (<i>X. bicolor</i> and <i>X. bracteatum</i>). <i>X. bicolor</i> may be restricted to stabilised dune systems.	This flowering rosette herb is best detected during the peak flowering period in spring-summer (old papery flowerheads may be present for some time). Rosettes at other times of the year may be difficult to detect amongst dense dune grass-shrub vegetation.	3

Showing 1 to 18 of 18 entries



Natural Values Atlas Report

Authoritative, comprehensive information on Tasmania's natural values.

Reference: ECOtas_29HillcrestRoad

Requested For: Mwapstra

Report Type: Summary Report

Timestamp: 12:20:25 PM Sunday 12 July 2020

Threatened Flora: buffers Min: 500m Max: 5000m

Threatened Fauna: buffers Min: 500m Max: 5000m

Raptors: buffers Min: 500m Max: 5000m

Tasmanian Weed Management Act Weeds: buffers Min: 500m Max: 5000m

Priority Weeds: buffers Min: 500m Max: 5000m

Geoconservation: buffer 1000m

Acid Sulfate Soils: buffer 1000m

TASVEG: buffer 1000m

Threatened Communities: buffer 1000m

Fire History: buffer 1000m

Tasmanian Reserve Estate: buffer 1000m

Biosecurity Risks: buffer 1000m

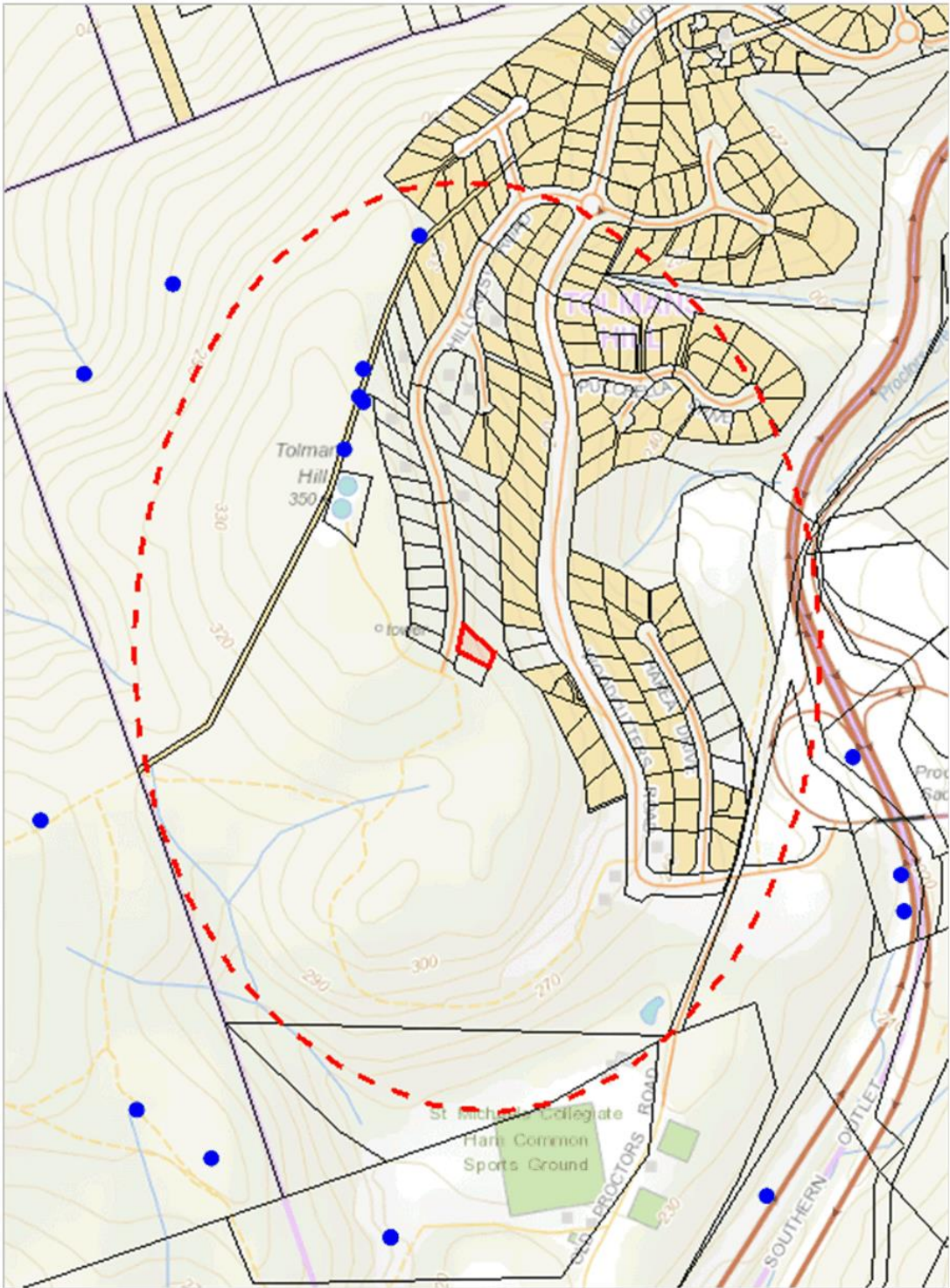


The centroid for this query GDA94: 524852.0, 5248873.0 falls within:

Property: 9124044

Threatened flora within 500 metres

525391, 5249600



524317, 5248150

Please note that some layers may not display at all requested map scales

Threatened flora within 500 metres

Legend: Verified and Unverified observations

- Point Verified
- Point Unverified
- Line Verified
- Line Unverified
- Polygon Verified
- Polygon Unverified

Legend: Cadastral Parcels



Threatened flora within 500 metres

Verified Records

Species	Common Name	SS	NS	Bio	Observation Count	Last Recorded
Rytidosperma indutum	tall wallabygrass	r-		n	4	31-Jul-2017
Senecio squarrosus	leafy fireweed	r		n	2	03-Dec-2012

Unverified Records

No unverified records were found!

For more information about threatened species, please contact Threatened Species Enquiries.

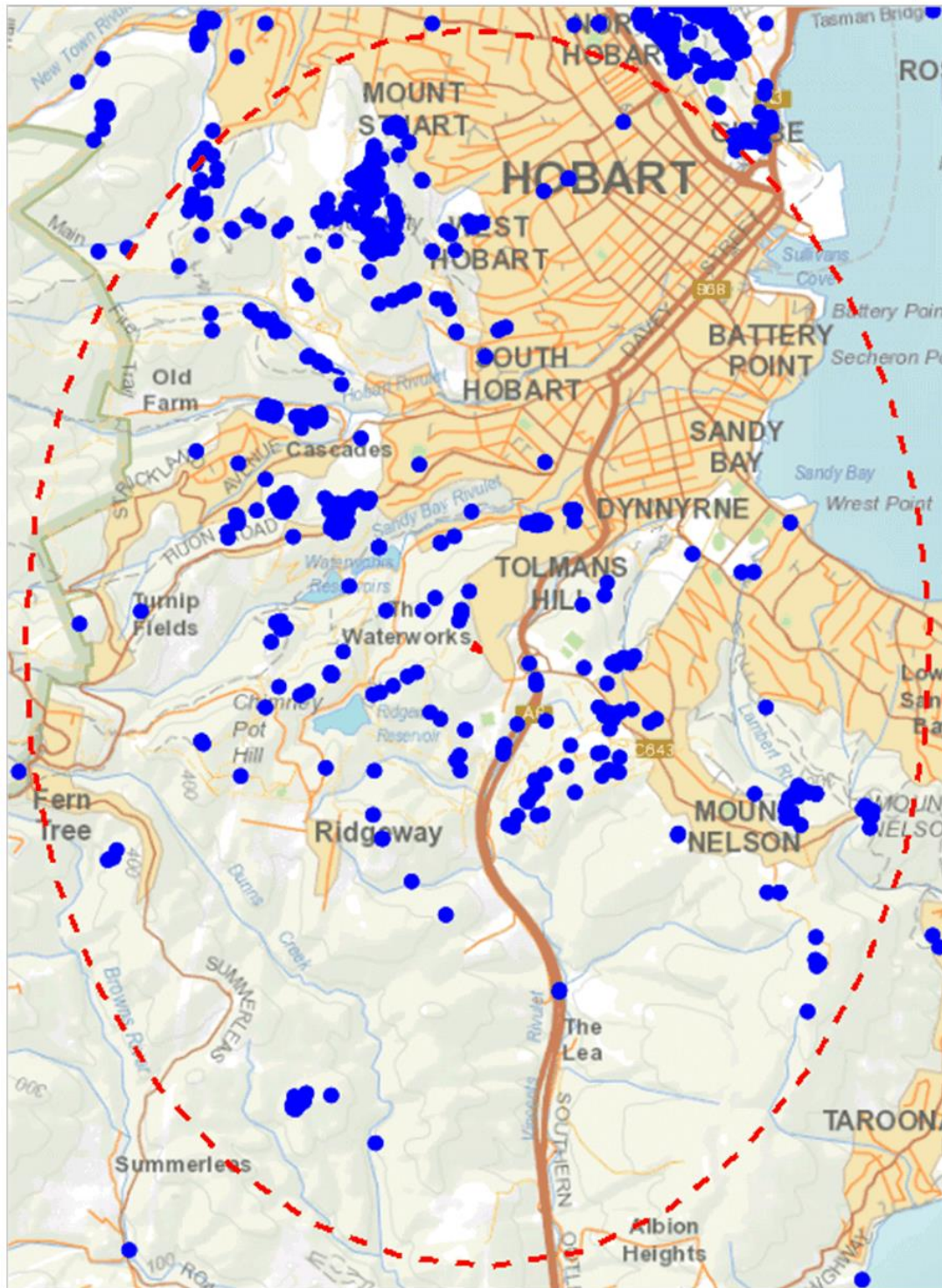
Telephone: 1300 368 550

Email: ThreatenedSpecies.Enquiries@dpiw.tas.gov.au

Address: GPO Box 44, Hobart, Tasmania, Australia, 7000

Threatened flora within 5000 metres

528713, 5254108



520998, 5243640

Please note that some layers may not display at all requested map scales

Threatened flora within 5000 metres

Legend: Verified and Unverified observations

- Point Verified
- Point Unverified
- Line Verified
- Line Unverified
- Polygon Verified
- Polygon Unverified

Legend: Cadastral Parcels



Threatened flora within 5000 metres

Verified Records

Species	Common Name	SS	NS	Bio	Observation Count	Last Recorded
<i>Allocasuarina duncani</i>	conical sheoak	r		e	7	19-Jan-2016
<i>Asperula scoparia</i> subsp. <i>scoparia</i>	prickly woodruff	r		n	20	03-May-2017
<i>Atriplex suberecta</i>	spawling saltbush	v		n	1	01-Jan-1900
<i>Austrostipa bigeniculata</i>	doublejointed speargrass	r		n	13	16-Jan-2019
<i>Bolboschoenus caldwellii</i>	sea clubsedge	r		n	2	06-Dec-2005
<i>Brachyscome radicata</i>	spreading daisy	r		t	3	01-Apr-1913
<i>Caladenia caudata</i>	tailed spider-orchid	v	VU	e	8	24-Sep-2017
<i>Caladenia filamentosa</i>	daddy longlegs	r		n	2	30-Oct-2016
<i>Caladenia sylvicola</i>	forest fingers	e	CR	e	7	26-Oct-2009
<i>Carex gunniana</i>	mountain sedge	r		n	1	03-Dec-1990
<i>Carex longebrachiata</i>	drooping sedge	r		n	2	15-Nov-1978
<i>Centropappus brunonis</i>	tasmanian daisytree	r		e	7	04-Dec-2006
<i>Corunastylis nuda</i>	tiny midge-orchid	r		n	29	24-Mar-2018
<i>Corunastylis nudiscapa</i>	bare midge-orchid	e		e	148	10-Apr-2020
<i>Dianella amoena</i>	grassland flaxlily	r	EN	n	3	01-Jan-1896
<i>Diuris palustris</i>	swamp doubletail	e		n	4	01-Jan-1970
<i>Epacris virgata</i> (Kettering)	pretty heath	pv		e	14	27-Nov-2014
<i>Euphrasia scabra</i>	yellow eyebright	e		n	13	17-Jan-2011
<i>Goodenia geniculata</i>	bent native-primrose	e		n	1	01-Jan-1805
<i>Isolepis habra</i>	wispy clubsedge	r		n	3	06-Mar-1974
<i>Juncus vaginatus</i>	clustered rush	r		n	1	14-Mar-2001
<i>Lachnagrostis punicea</i> subsp. <i>filifolia</i>	narrowleaf blowgrass	r		n	1	01-Jan-1929
<i>Lepidium hyssopifolium</i>	soft peppergrass	e	EN	n	5	12-Nov-2002
<i>Olearia hookeri</i>	crimsontip daisybush	r		e	1	01-Dec-1923
<i>Pimelea flava</i> subsp. <i>flava</i>	yellow riceflower	r		n	7	28-Apr-2007
<i>Pomaderris intermedia</i>	lemon dogwood	r		n	1	10-Jul-2012
<i>Prasophyllum apoxychilum</i>	tapered leek-orchid	v	EN	e	2	29-Jan-1996
<i>Prasophyllum perangustum</i>	knocklofty leek-orchid	e	CR	e	13	04-Dec-2009
<i>Pterostylis squamata</i>	ruddy greenhood	v		n	3	06-Feb-1967
<i>Pterostylis wapstrum</i>	fleshy greenhood	e	CR	e	1	07-Nov-1955
<i>Ranunculus pumilio</i> var. <i>pumilio</i>	ferny buttercup	r		n	2	04-Jan-1984
<i>Rhodanthe anthemoides</i>	chamomile sunray	r		n	1	15-Jan-1898
<i>Rytidosperma indutum</i>	tall wallabygrass	r		n	162	21-Feb-2019
<i>Scleranthus fasciculatus</i>	spreading knawel	v		n	42	16-Jan-2019
<i>Senecio squarrosus</i>	leafy fireweed	r		n	47	16-Jan-2019
<i>Thelymitra inflata</i>	inflated sun-orchid	e		n	1	16-Dec-1992
<i>Velleia paradoxa</i>	spur velleia	v		n	4	16-Jan-2014
<i>Vittadinia burbridgeae</i>	smooth new-holland-daisy	r		e	9	12-Mar-2011
<i>Vittadinia cuneata</i> var. <i>cuneata</i>	fuzzy new-holland-daisy	r		n	1	01-Nov-1984
<i>Vittadinia gracilis</i>	woolly new-holland-daisy	r		n	3	06-Mar-2007
<i>Vittadinia muelleri</i>	narrowleaf new-holland-daisy	r		n	129	27-Nov-2019
<i>Vittadinia muelleri</i> (broad sense)	narrow leaf new holland daisy	p		n	2	30-Sep-2004
<i>Xerochrysum bicolor</i>	eastcoast paperdaisy	r		n	1	02-Apr-1997

Unverified Records

No unverified records were found!

For more information about threatened species, please contact Threatened Species Enquiries.

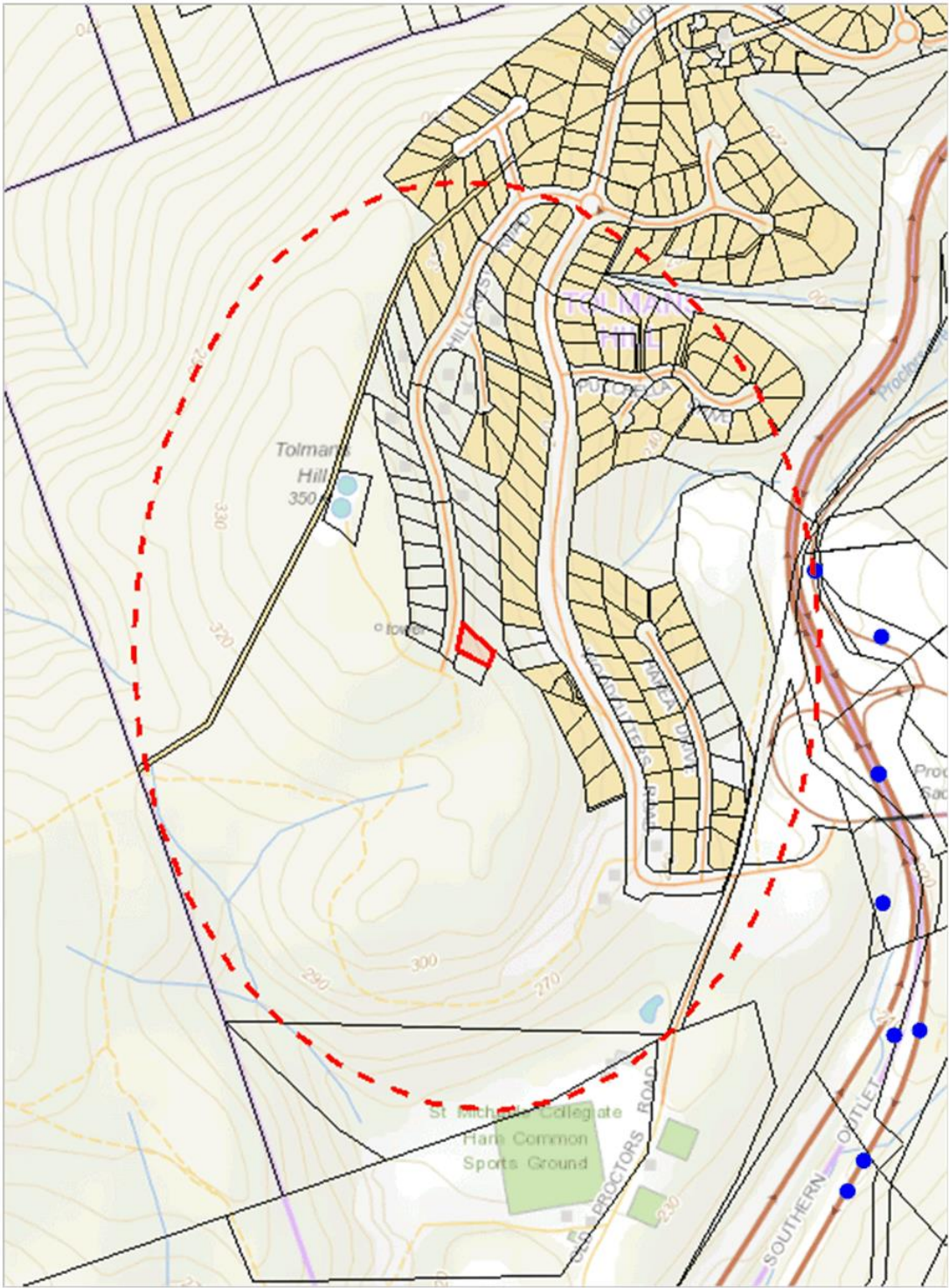
Telephone: 1300 368 550

Email: ThreatenedSpeciesEnquiries@dpipwe.tas.gov.au

Address: GPO Box 44, Hobart, Tasmania, Australia, 7000

Threatened fauna within 500 metres

525391, 5249600



524317, 5248150

Please note that some layers may not display at all requested map scales



Threatened fauna within 500 metres

Legend: Verified and Unverified observations

- Point Verified
- Point Unverified
- Line Verified
- Line Unverified
- Polygon Verified
- Polygon Unverified

Legend: Cadastral Parcels



Threatened fauna within 500 metres

Verified Records

Species	Common Name	SS	NS	Bio	Observation Count	Last Recorded
Perameles gunnii	eastern barred bandicoot		VU	n	6	08-Mar-2002

Unverified Records

No unverified records were found!

Threatened fauna within 500 metres (based on Range Boundaries)

Species	Common Name	SS	NS	BO	Potential	Known	Core
Antipodia chaostola	chaostola skipper	e	EN		1	0	1
Lathamus discolor	swift parrot	e	CR	mbe	1	0	1
Dasyurus maculatus subsp. maculatus	spotted-tail quoll	r	VU	n	1	0	0
Litoria raniformis	green and gold frog	v	VU	n	1	0	0
Discocharopa vigens	Ammonite Pinwheel Snail	e	CR		1	0	0
Prototroctes maraena	australian grayling	v	VU	ae	1	0	0
Pseudemoia pagenstecheri	tussock skink	v		n	1	0	0
Haliaeetus leucogaster	white-bellied sea-eagle	v		n	2	0	0
Tyto novaehollandiae subsp. castanops	masked owl (tasmanian)	e	VU	e	1	0	1
Accipiter novaehollandiae	grey goshawk	e		n	1	0	1
Pardalotus quadragintus	forty-spotted pardalote	e	EN	e	1	0	0
Sarcophilus harrisii	tasmanian devil	e	EN	e	1	0	0
Perameles gunnii	eastern barred bandicoot		VU	n	1	0	1
Aquila audax subsp. fleayi	tasmanian wedge-tailed eagle	e	EN	e	1	0	0
Dasyurus viverrinus	eastern quoll		EN	n	0	0	1

For more information about threatened species, please contact Threatened Species Enquiries.

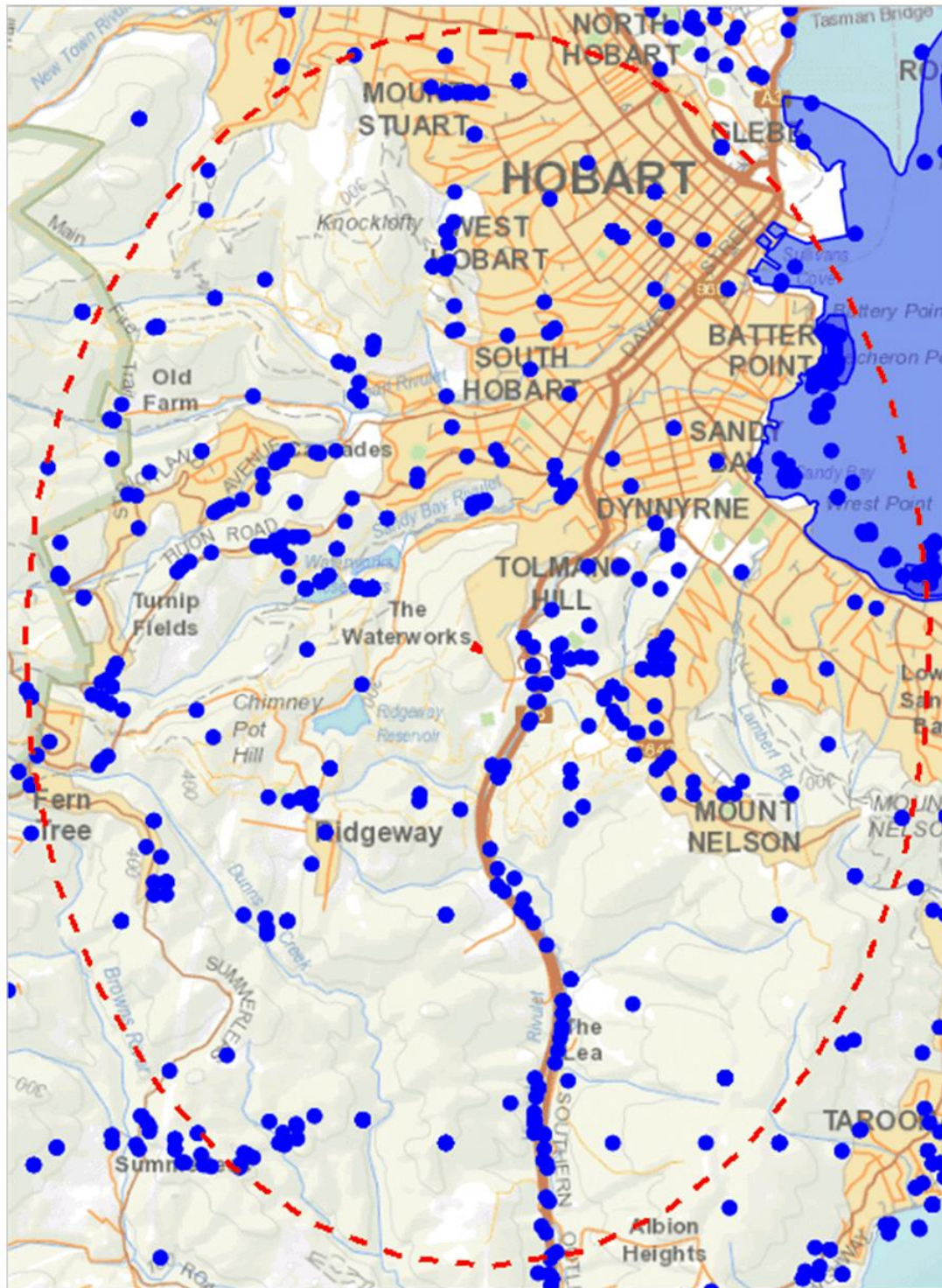
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Address: GPO Box 44, Hobart, Tasmania, Australia, 7000

Threatened fauna within 5000 metres

528713, 5254108



520998, 5243640

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Threatened fauna within 5000 metres

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- Line Unverified
- Polygon Verified
- Polygon Unverified

Legend: Cadastral Parcels



Threatened fauna within 5000 metres

Verified Records

Species	Common Name	SS	NS	Bio	Observation Count	Last Recorded
<i>Accipiter novaehollandiae</i>	grey goshawk	e		n	39	04-Jan-2017
<i>Alcedo azurea</i> subsp. <i>diemenensis</i>	azure kingfisher or azure kingfisher (tasmanian)	e	EN	e	1	01-Jan-2007
<i>Antipodia chaostola</i>	chaostola skipper	e	EN		3	20-Nov-2006
<i>Antipodia chaostola</i> subsp. <i>leucophaea</i>	chaostola skipper	e	EN		3	30-Jul-2017
<i>Aquila audax</i>	wedge-tailed eagle	pe	PEN	n	8	06-Sep-2016
<i>Aquila audax</i> subsp. <i>fleayi</i>	tasmanian wedge-tailed eagle	e	EN	e	23	11-Apr-2020
<i>Arctocephalus forsteri</i>	new zealand fur seal	r		n	1	12-Mar-2017
<i>Arctocephalus tropicalis</i>	sub-antarctic fur seal	e	VU	n	1	13-Nov-2012
<i>Brachionichthys hirsutus</i>	spotted handfish	e	CR	e	90	01-Jan-2018
<i>Dasyurus maculatus</i>	spotted-tail quoll	r	VU	n	7	29-Feb-2020
<i>Dasyurus maculatus</i> subsp. <i>maculatus</i>	spotted-tail quoll	r	VU	n	2	01-Jan-1992
<i>Dasyurus viverrinus</i>	eastern quoll		EN	n	57	20-Feb-2020
<i>Discocharopa vicens</i>	Ammonite Pinwheel Snail	e	CR		15	07-Jun-2019
<i>Eubalaena australis</i>	southern right whale	e	EN	m	9	02-Aug-2015
<i>Haliaeetus leucogaster</i>	white-bellied sea-eagle	v		n	4	18-Jan-2018
<i>Hirundapus caudacutus</i>	white-throated needletail		VU	n	21	31-Mar-2015
<i>Lathamus discolor</i>	swift parrot	e	CR	mbe	176	17-Sep-2017
<i>Lissotes menalcas</i>	mount mangana stag beetle	v		e	2	03-Jul-1998
<i>Megaptera novaeangliae</i>	humpback whale	e	VU	m	3	27-Jun-1989
<i>Mirounga leonina</i> subsp. <i>macquariensis</i>	southern elephant seal	pe	PVU	n	2	01-Jan-1981
<i>Pardalotus quadragintus</i>	forty-spotted pardalote	e	EN	e	12	27-Nov-2019
<i>Perameles gunnii</i>	eastern barred bandicoot		VU	n	198	30-Jan-2020
<i>Podiceps cristatus</i>	great crested grebe	v		n	1	06-Jul-1892
<i>Pteropus poliocephalus</i>	grey-headed flying-fox		VU	n	1	09-May-2010
<i>Roblinella agnewi</i>	Silky Pinwheel Snail	r			8	28-Jul-2019
<i>Sarcophilus harrisii</i>	tasmanian devil	e	EN	e	164	18-Apr-2020
<i>Tyto novaehollandiae</i>	masked owl	pe	PVU	n	28	15-May-2018
<i>Tyto novaehollandiae</i> subsp. <i>castanops</i>	masked owl (tasmanian)	e	VU	e	2	29-Feb-2020

Unverified Records

No unverified records were found!

Threatened fauna within 5000 metres
(based on Range Boundaries)

Species	Common Name	SS	NS	BO	Potential	Known	Core
<i>Antipodia chaostola</i>	chaostola skipper	e	EN		1	0	1
<i>Roblinella agnewi</i>	Silky Pinwheel Snail	r			1	1	0
<i>Lathamus discolor</i>	swift parrot	e	CR	mbe	1	0	1
<i>Dasyurus maculatus</i> subsp. <i>maculatus</i>	spotted-tail quoll	r	VU	n	1	0	0
<i>Litoria raniformis</i>	green and gold frog	v	VU	n	1	0	1
<i>Discocharopa vicens</i>	Ammonite Pinwheel Snail	e	CR		1	0	1
<i>Prototroctes maraena</i>	australian grayling	v	VU	ae	1	0	0
<i>Pseudemoia pagenstecheri</i>	tussock skink	v		n	1	0	1
<i>Haliaeetus leucogaster</i>	white-bellied sea-eagle	v		n	3	0	0
<i>Tyto novaehollandiae</i> subsp. <i>castanops</i>	masked owl (tasmanian)	e	VU	e	1	0	1
<i>Pardalotus quadragintus</i>	forty-spotted pardalote	e	EN	e	1	0	2
<i>Accipiter novaehollandiae</i>	grey goshawk	e		n	1	0	1
<i>Sarcophilus harrisii</i>	tasmanian devil	e	EN	e	1	0	0
<i>Lissotes menalcas</i>	mount mangana stag beetle	v		e	1	1	0
<i>Brachionichthys hirsutus</i>	spotted handfish	e	CR	e	1	6	0
<i>Perameles gunnii</i>	eastern barred bandicoot		VU	n	1	0	1
<i>Aquila audax</i> subsp. <i>fleayi</i>	tasmanian wedge-tailed eagle	e	EN	e	1	0	0
<i>Dasyurus viverrinus</i>	eastern quoll		EN	n	0	0	1

For more information about threatened species, please contact Threatened Species Enquiries.

Telephone: 1300 368 550

Email: ThreatenedSpecies.Enquiries@dpipwe.tas.gov.au

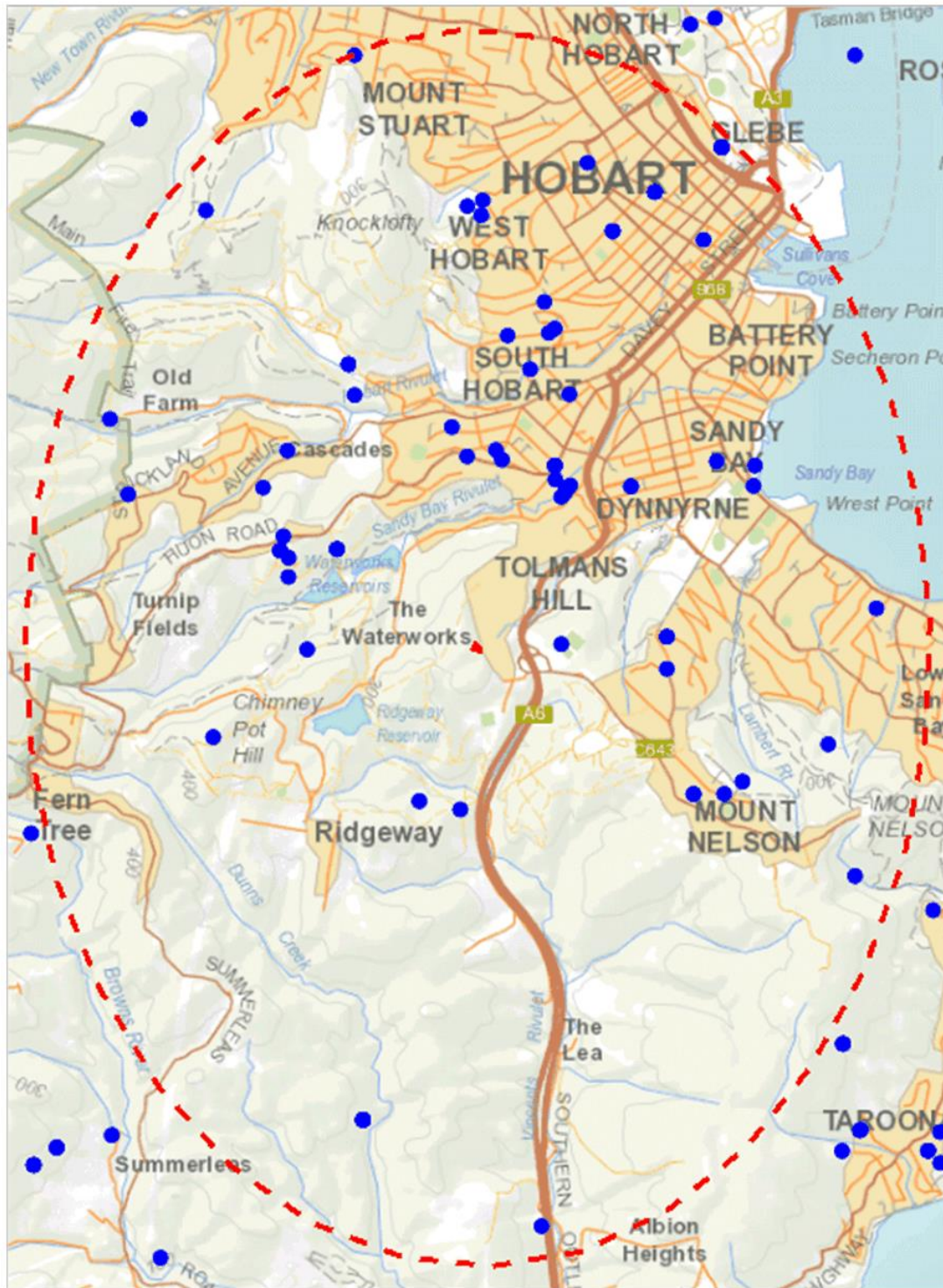
Address: GPO Box 44, Hobart, Tasmania, Australia, 7000

Raptor nests and sightings within 500 metres

*** No Raptor nests or sightings found within 500 metres. ***

Raptor nests and sightings within 5000 metres

528713, 5254108



520998, 5243640

Please note that some layers may not display at all requested map scales

Raptor nests and sightings within 5000 metres

Legend: Verified and Unverified observations

- Point Verified
- Point Unverified
- Line Verified
- Line Unverified
- Polygon Verified
- Polygon Unverified

Legend: Cadastral Parcels



Raptor nests and sightings within 5000 metres

Verified Records

Nest Id/Location Foreign Id	Species	Common Name	Obs Type	Observation Count	Last Recorded
1764	Aquila audax subsp. fleayi	tasmanian wedge-tailed eagle	Nest	2	12-Nov-2008
386	Aquila audax subsp. fleayi	tasmanian wedge-tailed eagle	Nest	5	27-Nov-2014
625	Tyto novaehollandiae	masked owl	Nest	1	01-Jan-1985
	Accipiter novaehollandiae	grey goshawk	Audible	1	02-Feb-2014
	Accipiter novaehollandiae	grey goshawk	Carcass	1	18-Aug-2010
	Accipiter novaehollandiae	grey goshawk	Sighting	37	04-Jan-2017
	Aquila audax	wedge-tailed eagle	Sighting	8	06-Sep-2016
	Aquila audax subsp. fleayi	tasmanian wedge-tailed eagle	Sighting	16	11-Apr-2020
	Falco cenchroides	nankeen kestrel	Sighting	2	30-Jul-1977
	Falco longipennis	australian hobby	Sighting	5	19-Mar-1997
	Falco peregrinus	peregrine falcon	Sighting	11	03-Apr-2020
	Haliaeetus leucogaster	white-bellied sea-eagle	Sighting	4	18-Jan-2018
	Tyto novaehollandiae	masked owl	Sighting	27	15-May-2018

Unverified Records

No unverified records were found!

Raptor nests and sightings within 5000 metres
(based on Range Boundaries)

Species	Common Name	SS	NS	Potential	Known	Core
Aquila audax subsp. fleayi	tasmanian wedge-tailed eagle	e	EN	1	0	0
Accipiter novaehollandiae	grey goshawk	e		1	0	1
Haliaeetus leucogaster	white-bellied sea-eagle	v		3	0	0

For more information about raptor nests, please contact Threatened Species Enquiries.

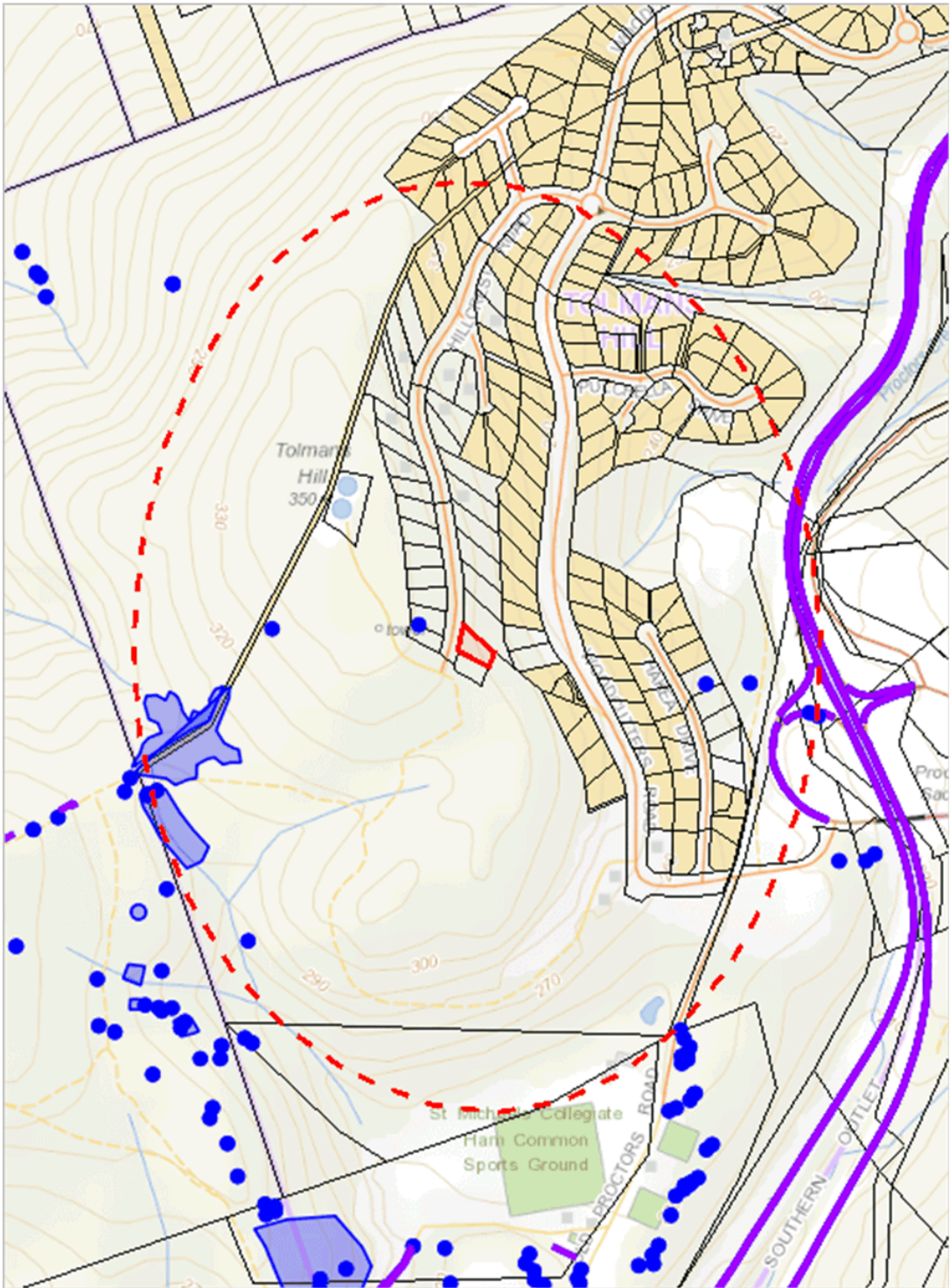
Telephone: 1300 368 550

Email: ThreatenedSpeciesEnquiries@dpipwe.tas.gov.au

Address: GPO Box 44, Hobart, Tasmania, Australia, 7000

Tas Management Act Weeds within 500 m

525391, 5249600



524317, 5248150

Please note that some layers may not display at all requested map scales



Tas Management Act Weeds within 500 m

Legend: Verified and Unverified observations

- Point Verified
- Point Unverified
- Line Verified
- Line Unverified
- Polygon Verified
- Polygon Unverified

Legend: Cadastral Parcels



Tas Management Act Weeds within 500 m

Verified Records

Species	Common Name	Observation Count	Last Recorded
<i>Chrysanthemoides monilifera</i> subsp. <i>monilifera</i>	boneseed	1	17-Apr-2014
<i>Cytisus scoparius</i>	english broom	1	16-Apr-2014
<i>Erica arborea</i>	tree heath	2	01-Jun-2014
<i>Erica baccans</i>	berryflower heath	2	10-Sep-2014
<i>Erica lusitanica</i>	spanish heath	5	17-Apr-2014
<i>Foeniculum vulgare</i>	fennel	1	08-Jan-1995
<i>Genista monspessulana</i>	montpellier broom	2	16-Apr-2014
<i>Rubus fruticosus</i>	blackberry	2	17-Apr-2014
<i>Ulex europaeus</i>	gorse	21	20-Jan-2020
<i>Urospermum dalechampii</i>	false dandelion	1	23-Nov-2000

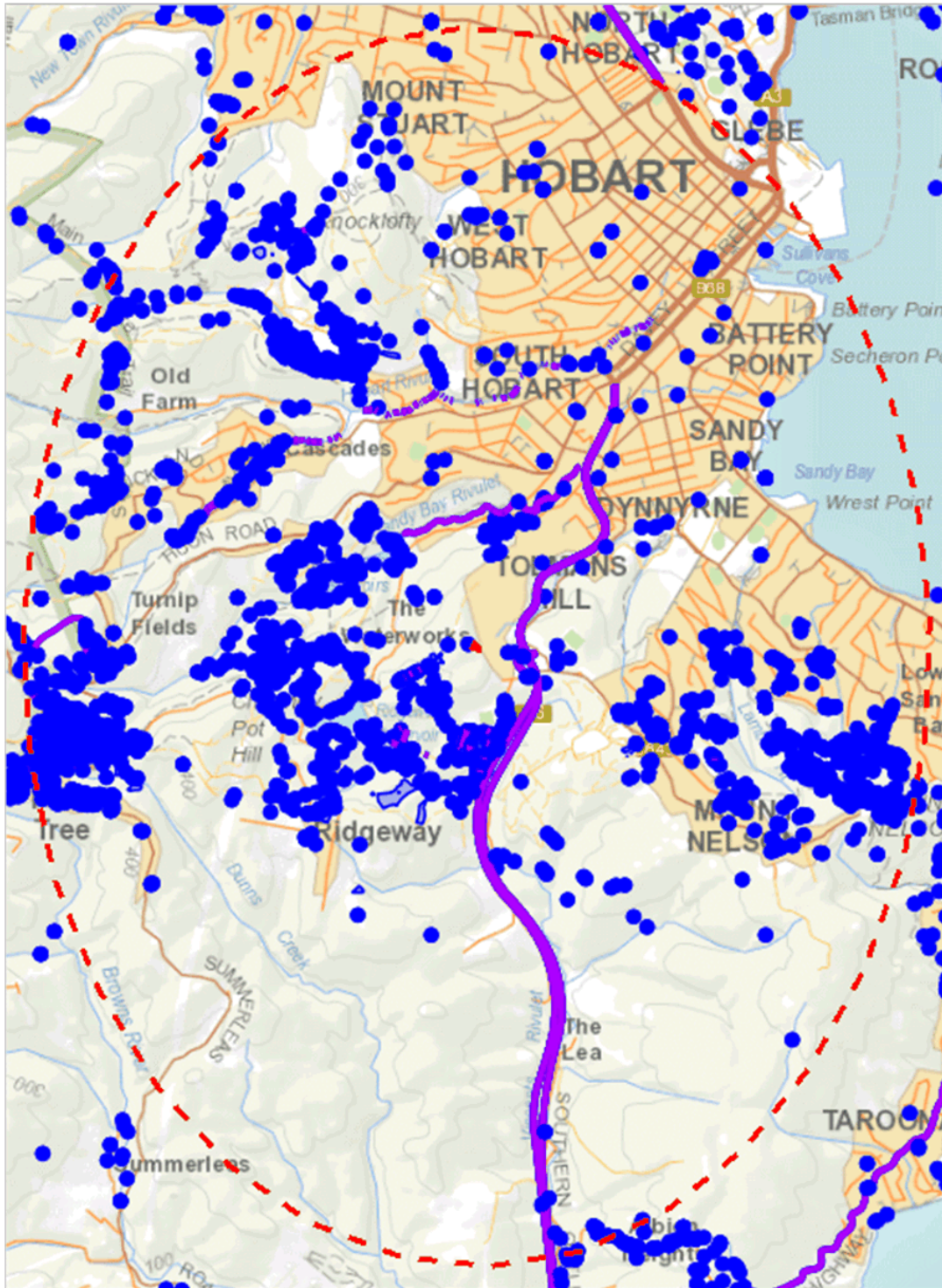
Unverified Records

For more information about introduced weed species, please visit the following URL for contact details in your area:

<http://dpiwwe.tas.gov.au/invasive-species/weeds>

Tas Management Act Weeds within 5000 m

528713, 5254108



520998, 5243640

Please note that some layers may not display at all requested map scales

Tas Management Act Weeds within 5000 m

Legend: Verified and Unverified observations

- Point Verified
- Point Unverified
- Line Verified
- Line Unverified
- Polygon Verified
- Polygon Unverified

Legend: Cadastral Parcels



Tas Management Act Weeds within 5000 m

Verified Records

Species	Common Name	Observation Count	Last Recorded
Amsinckia calycina	hairy fiddleneck	5	22-Aug-2019
Anthemis cotula	stinking chamomile	2	01-Jun-2014
Asparagus asparagoides	bridal creeper	22	01-Jun-2016
Asparagus scandens	asparagus fern	1	27-Oct-2009
Austroderia richardii	toe-toe pampasgrass	3	03-Apr-2014
Berberis darwinii	darwins barberry	39	07-Mar-2019
Calluna vulgaris	heather	24	01-Jun-2014
Carduus nutans	nodding thistle	1	01-Jan-1993
Carduus pycnocephalus	slender thistle	7	22-Oct-2018
Carduus tenuiflorus	winged thistle	2	05-Dec-2007
Carex albula	frosted curis	3	09-Jun-1989
Carex testacea	redbase sedge	3	05-Dec-2007
Carthamus lanatus	saffron thistle	2	30-Apr-1942
Cenchrus longisetus	feathertop	2	20-Apr-2006
Cenchrus macrourus	african feathergrass	14	20-Mar-2018
Chrysanthemoides monilifera subsp. monilifera	boneseed	1000	19-Mar-2020
Cirsium arvense var. arvense	creeping thistle	15	19-Mar-2020
Coprosma robusta	karamu	66	07-Jan-2020
Cortaderia jubata	pink pampasgrass	6	19-Mar-2020
Cortaderia seloana	silver pampasgrass	45	16-Oct-2017
Cortaderia sp.	pampas grass	56	15-Apr-2020
Cytisus scoparius	english broom	86	26-Jul-2019
Datura stramonium	common thornapple	1	03-Mar-1983
Echium plantagineum	patersons curse	6	20-Nov-2018
Echium vulgare	vipers bugloss	2	01-Jan-1916
Egeria densa	dense waterweed	2	07-Mar-1985
Erica arborea	tree heath	18	02-Feb-2019
Erica baccans	berryflower heath	3	10-Sep-2014
Erica lusitanica	spanish heath	615	14-Mar-2020
Fallopia japonica	japanese knotweed	5	25-Oct-2005
Foeniculum vulgare	fennel	49	02-Aug-2019
Galium tricornutum	rough corn bedstraw	1	01-Dec-1896
Genista monspessulana	montpellier broom	171	02-Aug-2019
Hypericum perforatum	perforated st johns-wort	6	08-Mar-2018
Hypericum perforatum subsp. veronense	perforated st johns-wort	11	15-Jan-2008
Ilex aquifolium	holly	219	10-Dec-2019
Lantana camara		1	01-Feb-2007
Lepidium draba	hoary cress	8	02-Oct-2019
Leycesteria formosa	himalayan honeysuckle	23	07-Mar-2019
Lycium ferocissimum	african boxthorn	16	01-Apr-2019
Marrubium vulgare	white horehound	8	28-Sep-2018
Myriophyllum aquaticum	parrotfeather	3	01-Jul-2011
Nassella neesiana	chilean needlegrass	5	22-Oct-2018
Nassella trichotoma	serrated tussock	7	15-Apr-2019
Onopordum acanthium	scotch thistle	2	11-Feb-2019
Pilosella aurantiaca subsp. aurantiaca	orange hawkweed	682	25-Feb-2019
Rubus anglocandicans	blackberry	1	11-Feb-2014
Rubus fruticosus	blackberry	455	19-Mar-2020
Rubus leucostachys	blackberry	1	12-Jan-1999
Salix alba var. vitellina	golden willow	1	09-Dec-2010
Salix cinerea subsp. cinerea	grey willow	3	11-Oct-2016
Salix humboldtiana	chilean pencil willow	1	15-Dec-2006
Salix x fragilis nothovar. fragilis	crack willow	126	25-Mar-2020
Senecio jacobaea	ragwort	1	24-Jan-2019
Ulex europaeus	gorse	421	14-Mar-2020
Urospermum dalechampii	false dandelion	3	23-Nov-2000

Unverified Records

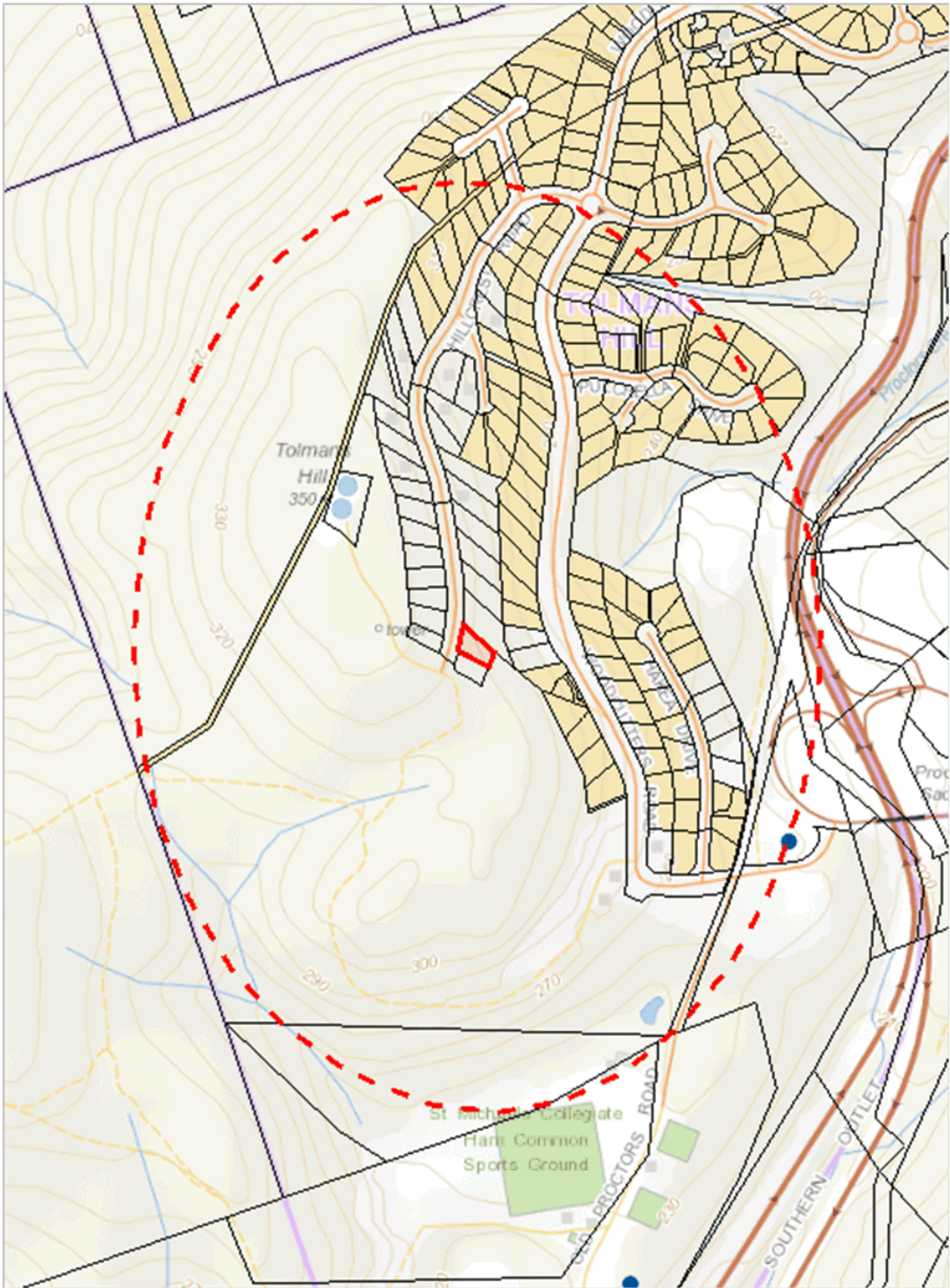
Tas Management Act Weeds within 5000 m

For more information about introduced weed species, please visit the following URL for contact details in your area:

<http://dpiwpe.tas.gov.au/invasive-species/weeds>

Priority Weeds within 500 m

525391, 5249600



524317, 5248150

Please note that some layers may not display at all requested map scales



Priority Weeds within 500 m

Legend: Verified and Unverified observations

- Point Verified
- Point Unverified
- Line Verified
- Line Unverified
- Polygon Verified
- Polygon Unverified

Legend: Cadastral Parcels



Priority Weeds within 500 m

Verified Records

Species	Common Name	Observation Count	Last Recorded
Verbascum thapsus	great mullein	1	20-Dec-2018

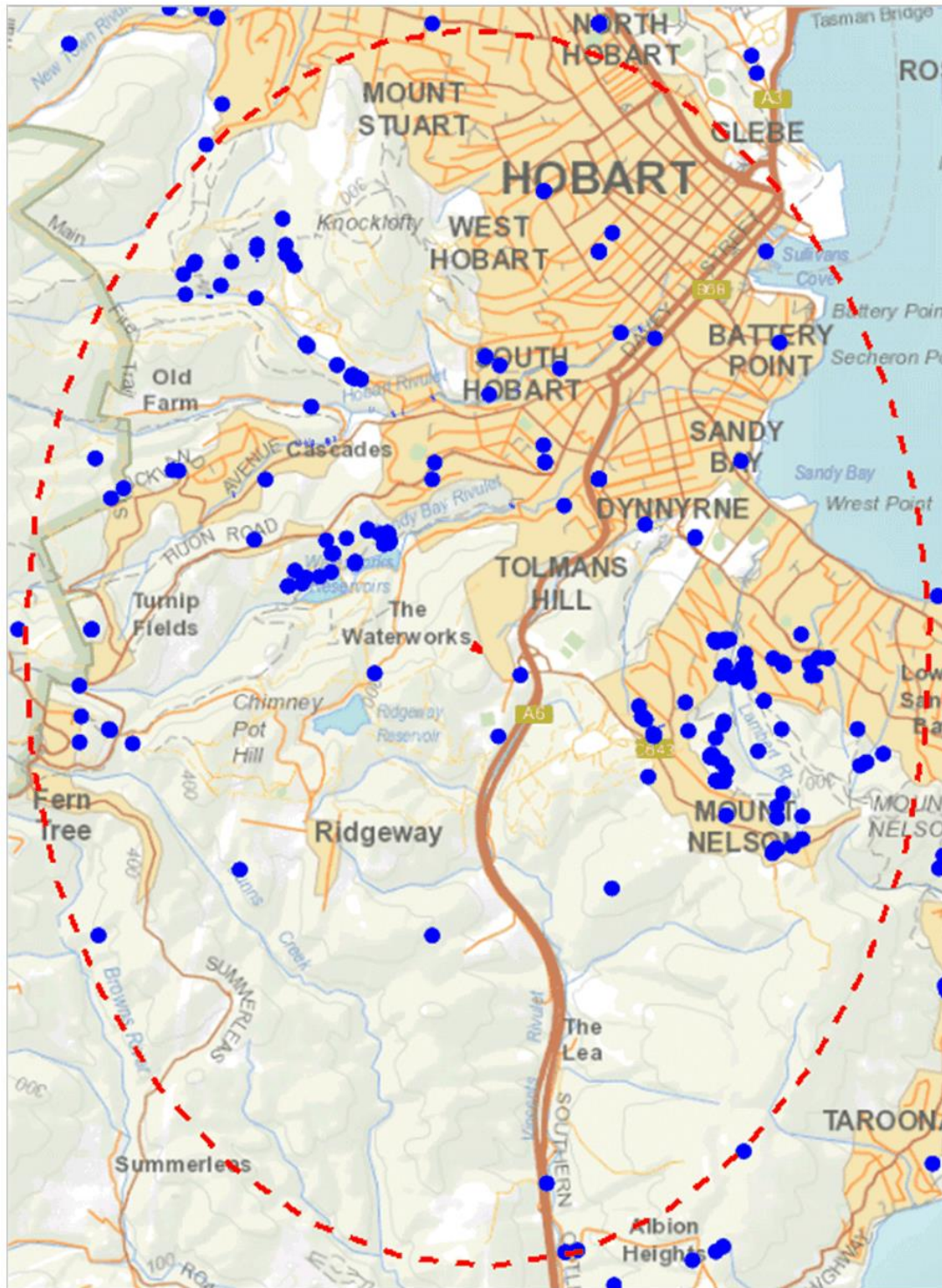
Unverified Records

For more information about introduced weed species, please visit the following URL for contact details in your area:

<http://dpiptwe.tas.gov.au/invasive-species/weeds>

Priority Weeds within 5000 m

528713, 5254108



520998, 5243640

Please note that some layers may not display at all requested map scales

Priority Weeds within 5000 m

Legend: Verified and Unverified observations

- Point Verified
- Point Unverified
- Line Verified
- Line Unverified
- Polygon Verified
- Polygon Unverified

Legend: Cadastral Parcels



Priority Weeds within 5000 m

Verified Records

Species	Common Name	Observation Count	Last Recorded
<i>Acacia baileyana</i>	cootamundra wattle	11	21-Jun-2013
<i>Acacia howittii</i>	sticky wattle	11	25-Jun-2015
<i>Achillea millefolium</i>	yarrow	2	01-Feb-1929
<i>Anredera cordifolia</i>	madeira vine	2	03-May-2001
<i>Billardiera heterophylla</i>	bluebell creeper	43	20-Feb-2019
<i>Cenchrus clandestinus</i>	kikuyu grass	1	23-Jan-1986
<i>Dipsacus fullonum</i>	wild teasel	3	19-Mar-2020
<i>Echium candicans</i>	pride-of-madeira	18	27-Oct-2018
<i>Equisetum hyemale</i>	rough horsetail	2	01-May-2007
<i>Gomphocarpus fruticosus</i> subsp. <i>fruticosus</i>	swanplant	3	10-Aug-2009
<i>Grevillea rosmarinifolia</i>	rosemary grevillea	9	19-Nov-2019
<i>Pittosporum undulatum</i>	sweet pittosporum	139	12-Nov-2019
<i>Polygala myrtifolia</i>	myrtleleaf milkwort	5	13-Nov-2019
<i>Prunus laurocerasus</i>	cherry laurel	16	13-Nov-2014
<i>Reseda luteola</i>	weld	9	19-Mar-2020
<i>Rumex obtusifolius</i>	broadleaf dock	3	10-Jun-1966
<i>Salix x pendulina</i> var. <i>pendulina</i>	weeping willow	1	30-Jun-1986
<i>Tradescantia fluminensis</i>	wandering creeper	7	01-Nov-2019
<i>Verbascum thapsus</i>	great mullein	6	19-Mar-2020

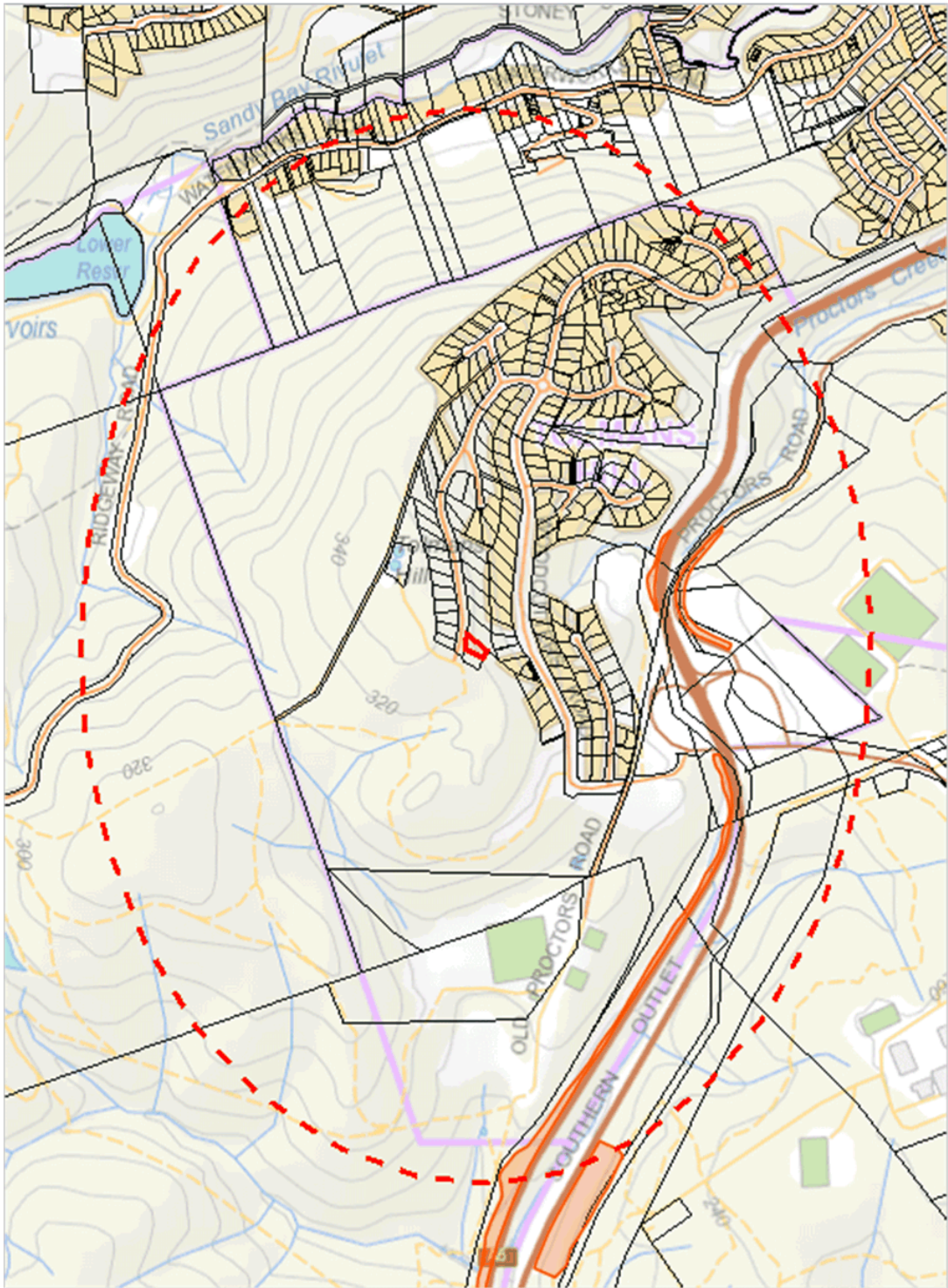
Unverified Records

For more information about introduced weed species, please visit the following URL for contact details in your area:

<http://dpi.pwe.tas.gov.au/invasive-species/weeds>

Geoconservation sites within 1000 metres

525760, 5250101



523948, 5247649

Please note that some layers may not display at all requested map scales



Geoconservation sites within 1000 metres

Legend: Geoconservation (NVA)



Legend: Cadastral Parcels



Geoconservation sites within 1000 metres

Id	Name	Statement of Significance	Significance Level	Status
2237	Mt Nelson Dolerite Intrusion exposures	Notable example of type, representative of key features of Jurassic dolerite intrusions in Tasmania.	National	Listed

For more information about the Geoconservation Database, please visit the website: <http://dppw.tas.gov.au/conservation/geoconservation>
or contact the Geoconservation Officer:

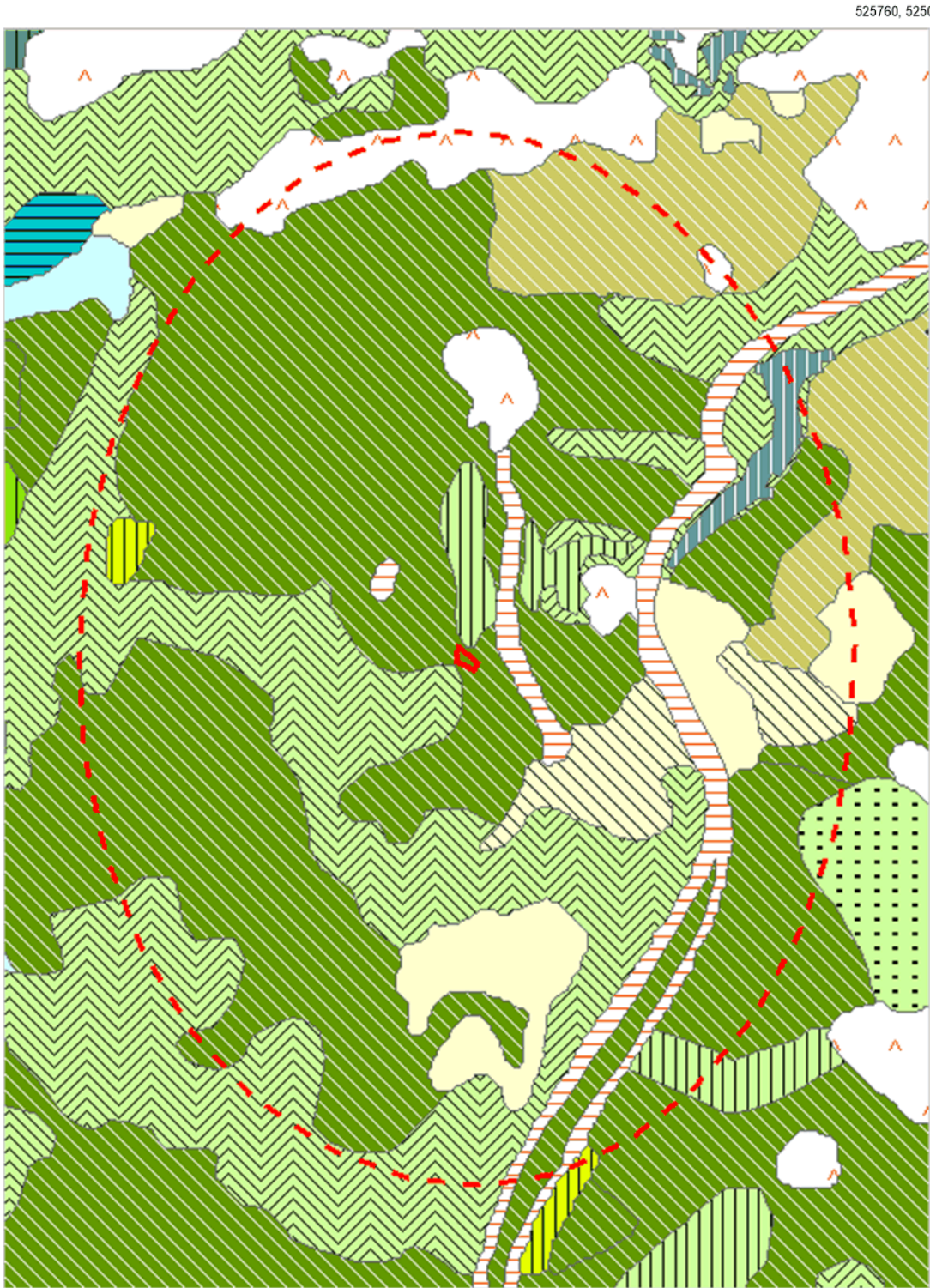
Telephone: (03) 6165 4401

Email: Geoconservation.Enquiries@dppw.tas.gov.au

Address: GPO Box 44, Hobart, Tasmania, Australia, 7000

*** No Acid Sulfate Soils found within 1000 metres ***

TASVEG 3.0 Communities within 1000 metres






























































523948, 5247649

Please note that some layers may not display at all requested map scales

TASVEG 3.0 Communities within 1000 metres

Legend: TASVEG 3.0






























































	DAC - Eucalyptus amygdalina coastal forest and woodland
	DAD - Eucalyptus amygdalina forest and woodland on dolerite
	DAS - Eucalyptus amygdalina forest and woodland on sandstone
	DAM - Eucalyptus amygdalina forest on mudstone
	DAZ - Eucalyptus amygdalina inland forest and woodland on Cainozoic deposits
	DSC - Eucalyptus amygdalina - Eucalyptus obliqua damp sclerophyll forest
	DBA - Eucalyptus barberi forest and woodland
	DCO - Eucalyptus coccifera forest and woodland
	DCR - Eucalyptus cordata forest
	DDP - Eucalyptus dalrympleana - Eucalyptus pauciflora forest and woodland
	DDE - Eucalyptus delegatensis dry forest and woodland
	DGL - Eucalyptus globulus dry forest and woodland
	DGW - Eucalyptus gunnii woodland
	DMO - Eucalyptus morrisbyi forest and woodland
	DNI - Eucalyptus nitida dry forest and woodland
	DNF - Eucalyptus nitida Furneaux forest
	DOB - Eucalyptus obliqua dry forest
	DOV - Eucalyptus ovata forest and woodland
	DOW - Eucalyptus ovata heathy woodland
	DPO - Eucalyptus pauciflora forest and woodland not on dolerite
	DPD - Eucalyptus pauciflora forest and woodland on dolerite
	DPE - Eucalyptus perriniana forest and woodland
	DPU - Eucalyptus pulchella forest and woodland
	DRI - Eucalyptus risdonii forest and woodland
	DRO - Eucalyptus rodwayi forest and woodland
	DSO - Eucalyptus sieberi forest and woodland not on granite
	DSG - Eucalyptus sieberi forest and woodland on granite
	DTD - Eucalyptus tenuiramis forest and woodland on dolerite
	DTG - Eucalyptus tenuiramis forest and woodland on granite
	DTO - Eucalyptus tenuiramis forest and woodland on sediments
	DVF - Eucalyptus viminalis Furneaux forest and woodland
	DVG - Eucalyptus viminalis grassy forest and woodland
	DVC - Eucalyptus viminalis - Eucalyptus globulus coastal forest and woodland
	DKW - King Island Eucalypt woodland
	DMW - Midlands woodland complex
	WBR - Eucalyptus brookeriana wet forest
	WDA - Eucalyptus dalrympleana forest
	WDL - Eucalyptus delegatensis forest over Leptospermum
	WDR - Eucalyptus delegatensis forest over rainforest
	WDB - Eucalyptus delegatensis forest with broad-leaf shrubs
	WDU - Eucalyptus delegatensis wet forest (undifferentiated)
	WGL - Eucalyptus globulus King Island forest
	WGL - Eucalyptus globulus wet forest
	WNL - Eucalyptus nitida forest over Leptospermum
	WNR - Eucalyptus nitida forest over rainforest
	WNU - Eucalyptus nitida wet forest (undifferentiated)
	WOL - Eucalyptus obliqua forest over Leptospermum
	WOR - Eucalyptus obliqua forest over rainforest
	WOB - Eucalyptus obliqua forest with broad-leaf shrubs
	WOU - Eucalyptus obliqua wet forest (undifferentiated)
	WRE - Eucalyptus regnans forest
	WSU - Eucalyptus subcrenulata forest and woodland
	WVI - Eucalyptus viminalis wet forest
	RPF - Athrotaxis cupressoides - Nothofagus gunnii short rainforest
	RPW - Athrotaxis cupressoides open woodland
	RPP - Athrotaxis cupressoides rainforest
	RKF - Athrotaxis selaginoides - Nothofagus gunnii short rainforest
	RKP - Athrotaxis selaginoides rainforest
	RKS - Athrotaxis selaginoides subalpine scrub

Department of Primary Industries, Parks, Water and Environment

Page 35 of 53



TASVEG 3.0 Communities within 1000 metres

	RCO - Coastal rainforest
	RSH - Highland low rainforest and scrub
	RKO - Highland rainforest scrub with dead <i>Athrotaxis selaginoides</i>
	RHP - <i>Lagarostrobos franklinii</i> rainforest and scrub
	RMT - <i>Nothofagus</i> - <i>Atherosperma</i> rainforest
	RML - <i>Nothofagus</i> - <i>Leptospermum</i> short rainforest
	RMS - <i>Nothofagus</i> - <i>Phyllocladus</i> short rainforest
	RFS - <i>Nothofagus gunnii</i> rainforest and scrub
	RMU - <i>Nothofagus</i> rainforest (undifferentiated)
	RFE - Rainforest fernland
	NAD - <i>Acacia dealbata</i> forest
	NAR - <i>Acacia melanoxylon</i> forest on rises
	NAF - <i>Acacia melanoxylon</i> swamp forest
	NAL - <i>Allocasuarina littoralis</i> forest
	NAV - <i>Allocasuarina verticillata</i> forest
	NBS - <i>Banksia serrata</i> woodland
	NBA - <i>Bursaria</i> - <i>Acacia</i> woodland and scrub
	NCR - <i>Callitris rhomboidea</i> forest
	NLE - <i>Leptospermum</i> forest
	NLM - <i>Leptospermum lanigerum</i> - <i>Melaleuca squarrosa</i> swamp forest
	NLA - <i>Leptospermum scoparium</i> - <i>Acacia mucronata</i> forest
	NME - <i>Melaleuca ericifolia</i> swamp forest
	NLN - Subalpine <i>Leptospermum nitidum</i> woodland
	AHF - Fresh water aquatic herbland
	ASF - Freshwater aquatic sedgeland and rushland
	AHL - Lacustrine herbland
	AHS - Saline aquatic herbland
	ARS - Saline sedgeland/rushland
	AUS - Saltmarsh (undifferentiated)
	ASS - Succulent saline herbland
	AWU - Wetland (undifferentiated)
	SAL - <i>Acacia longifolia</i> coastal scrub
	SBM - <i>Banksia marginata</i> wet scrub
	SBR - Broad-leaf scrub
	SCH - Coastal heathland
	SSC - Coastal scrub
	SCA - Coastal scrub on alkaline sands
	SRE - Eastern riparian scrub
	SED - Eastern scrub on dolerite
	SCL - Heathland on calcareous substrates
	SKA - <i>Kunzea ambigua</i> regrowth scrub
	SLG - <i>Leptospermum glaucescens</i> heathland and scrub
	SLL - <i>Leptospermum lanigerum</i> scrub
	SLS - <i>Leptospermum scoparium</i> heathland and scrub
	SLW - <i>Leptospermum</i> scrub
	SRF - <i>Leptospermum</i> with rainforest scrub
	SMP - <i>Melaleuca pustulata</i> scrub
	SMM - <i>Melaleuca squamea</i> heathland
	SMR - <i>Melaleuca squarrosa</i> scrub
	SRH - Rookery halophytic herbland
	SSK - Scrub complex on King Island
	SSZ - Spray zone coastal complex
	SHS - Subalpine heathland
	SWR - Western regrowth complex
	SSW - Western subalpine scrub
	SWW - Western wet scrub
	SHW - Wet heathland
	HCH - Alpine coniferous heathland
	HCM - Cushion moorland
	HHE - Eastern alpine heathland
	HSE - Eastern alpine sedgeland

Department of Primary Industries, Parks, Water and Environment

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TASVEG 3.0 Communities within 1000 metres

	HUE - Eastern alpine vegetation (undifferentiated)
	HHW - Western alpine heathland
	HSW - Western alpine sedgeland/herbland
	MAP - Alkaline pans
	MBU - Buttongrass moorland (undifferentiated)
	MBS - Buttongrass moorland with emergent shrubs
	MBE - Eastern buttongrass moorland
	MGH - Highland grassy sedgeland
	MBP - Pure buttongrass moorland
	MRR - Restionaceae rushland
	MBR - Sparse buttongrass moorland on slopes
	MSP - Sphagnum peatland
	MDS - Subalpine Diplarrena latifolia rushland
	MBW - Western buttongrass moorland
	MSW - Western lowland sedgeland
	GHC - Coastal grass and herbfield
	GPH - Highland Poa grassland
	GCL - Lowland grassland complex
	GSL - Lowland grassy sedgeland
	GPL - Lowland Poa labillardierei grassland
	GTL - Lowland Themeda triandra grassland
	GRP - Rockplate grassland
	FAG - Agricultural land
	FUM - Extra-urban miscellaneous
	FMG - Marram grassland
	FPE - Permanent easements
	FPL - Plantations for silviculture
	FPF - Pteridium esculentum fernland
	FRG - Regenerating cleared land
	FSM - Spartina marshland
	FPU - Unverified plantations for silviculture
	FUR - Urban areas
	FWU - Weed infestation
	QCS - Coastal slope complex
	QCT - Coastal terrace mosaic
	QKB - Kelp beds
	QAM - Macquarie alpine mosaic
	QMI - Mire
	QST - Short tussock grassland/rushland with herbs
	QTT - Tall tussock grassland with megaherbs
	ORO - Lichen lithosere
	OSM - Sand, mud
	OAQ - Water, sea

Legend: Cadastral Parcels



TASVEG 3.0 Communities within 1000 metres

Code	Community	Emergent Species
DGL	(DGL) Eucalyptus globulus dry forest and woodland	
DOB	(DOB) Eucalyptus obliqua dry forest	
DOV	(DOV) Eucalyptus ovata forest and woodland	
DPU	(DPU) Eucalyptus pulchella forest and woodland	
FAG	(FAG) Agricultural land	
FRG	(FRG) Regenerating cleared land	EM
FRG	(FRG) Regenerating cleared land	
FUM	(FUM) Extra-urban miscellaneous	
FUR	(FUR) Urban areas	
GCL	(GCL) Lowland grassland complex	
NAV	(NAV) Allocasuarina verticillata forest	
WGL	(WGL) Eucalyptus globulus wet forest	

For more information contact: Coordinator, Tasmanian Vegetation Monitoring and Mapping Program.

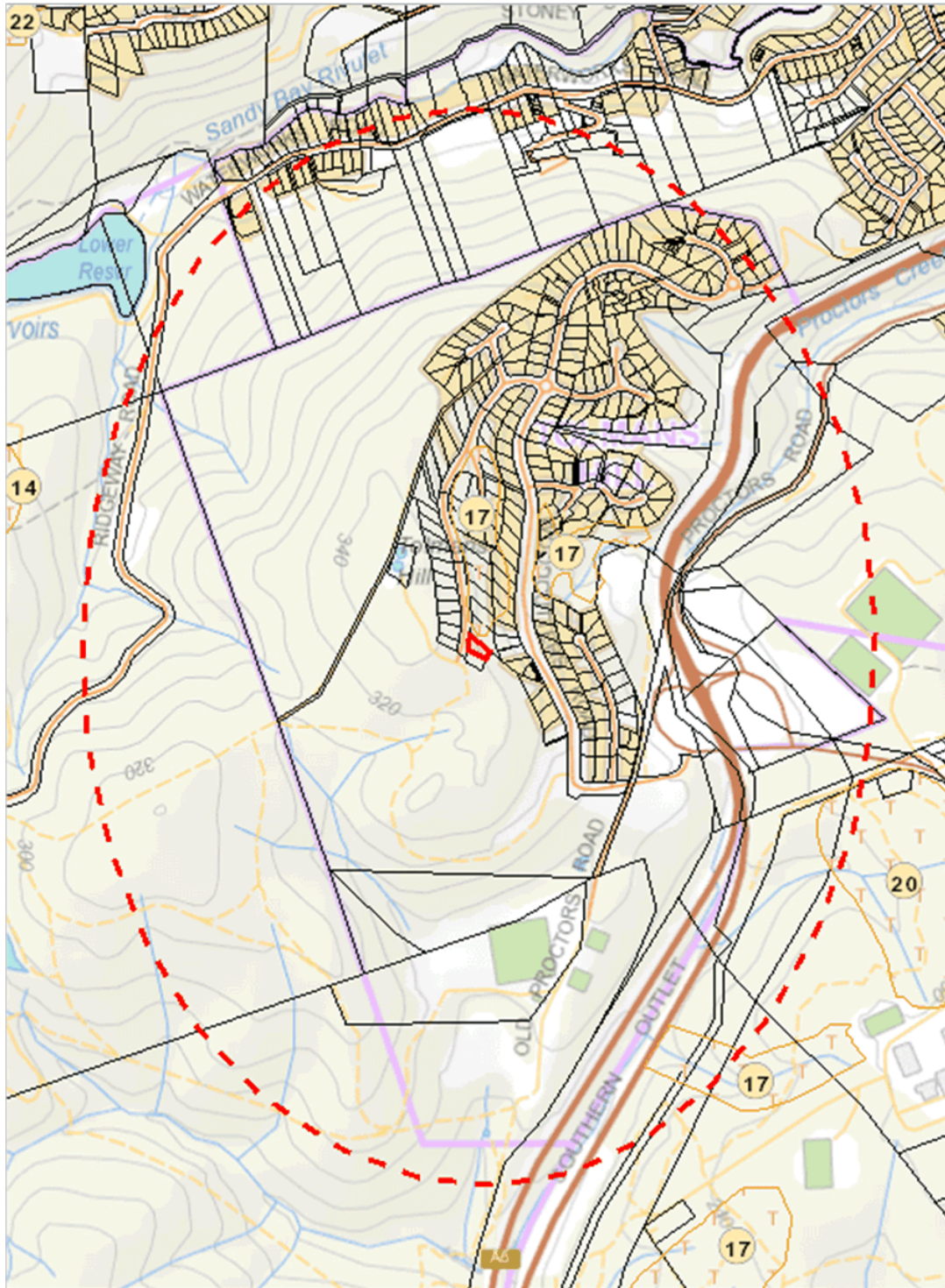
Telephone: (03) 6165 4320

Email: TVMMPsupport@dpipwe.tas.gov.au

Address: GPO Box 44, Hobart, Tasmania, Australia, 7000

Threatened Communities (TNVC 2014) within 1000 metres

525760, 5250101



523948, 5247649

Please note that some layers may not display at all requested map scales

Threatened Communities (TNVC 2014) within 1000 metres

Legend: Threatened Communities

- ☐ 1 - Alkaline pans
- ☐ 2 - Allocasuarina littoralis forest
- ☐ 3 - Athrotaxis cupressoides/Nothofagus gunnii short rainforest
- ☐ 4 - Athrotaxis cupressoides open woodland
- ☐ 5 - Athrotaxis cupressoides rainforest
- ☐ 6 - Athrotaxis selaginoides/Nothofagus gunnii short rainforest
- ☐ 7 - Athrotaxis selaginoides rainforest
- ☐ 8 - Athrotaxis selaginoides subalpine scrub
- ☐ 9 - Banksia marginata wet scrub
- ☐ 10 - Banksia serrata woodland
- ☐ 11 - Callitris rhomboidea forest
- ☐ 13 - Cushion moorland
- ☐ 14 - Eucalyptus amygdalina forest and woodland on sandstone
- ☐ 15 - Eucalyptus amygdalina inland forest and woodland on cainozoic deposits
- ☐ 16 - Eucalyptus brookeriana wet forest
- ☐ 17 - Eucalyptus globulus dry forest and woodland
- ☐ 18 - Eucalyptus globulus King Island forest
- ☐ 19 - Eucalyptus morrisbyi forest and woodland
- ☐ 20 - Eucalyptus ovata forest and woodland
- ☐ 21 - Eucalyptus risdonii forest and woodland
- ☐ 22 - Eucalyptus tenuiramis forest and woodland on sediments
- ☐ 23 - Eucalyptus viminalis - Eucalyptus globulus coastal forest and woodland
- ☐ 24 - Eucalyptus viminalis Furneaux forest and woodland
- ☐ 25 - Eucalyptus viminalis wet forest
- ☐ 26 - Heathland on calcareous substrates
- ☐ 27 - Heathland scrub complex at Wingaroo
- ☐ 28 - Highland grassy sedgeland
- ☐ 29 - Highland Poa grassland
- ☐ 30 - Melaleuca ericifolia swamp forest
- ☐ 31 - Melaleuca pustulata scrub
- ☐ 32 - Notelaea - Pomaderris - Beyeria forest
- ☐ 33 - Rainforest fernland
- ☐ 34 - Riparian scrub
- ☐ 35 - Seabird rookery complex
- ☐ 36 - Sphagnum peatland
- ☐ 36A - Spray zone coastal complex
- ☐ 37 - Subalpine Diplarrena latifolia rushland
- ☐ 38 - Subalpine Leptospermum nitidum woodland
- ☐ 39 - Wetlands

Legend: Cadastral Parcels



Threatened Communities (TNVC 2014) within 1000 metres

Scheduled Community Id	Scheduled Community Name
17	Eucalyptus globulus dry forest and woodland
20	Eucalyptus ovata forest and woodland

For more information contact: Coordinator, Tasmanian Vegetation Monitoring and Mapping Program.

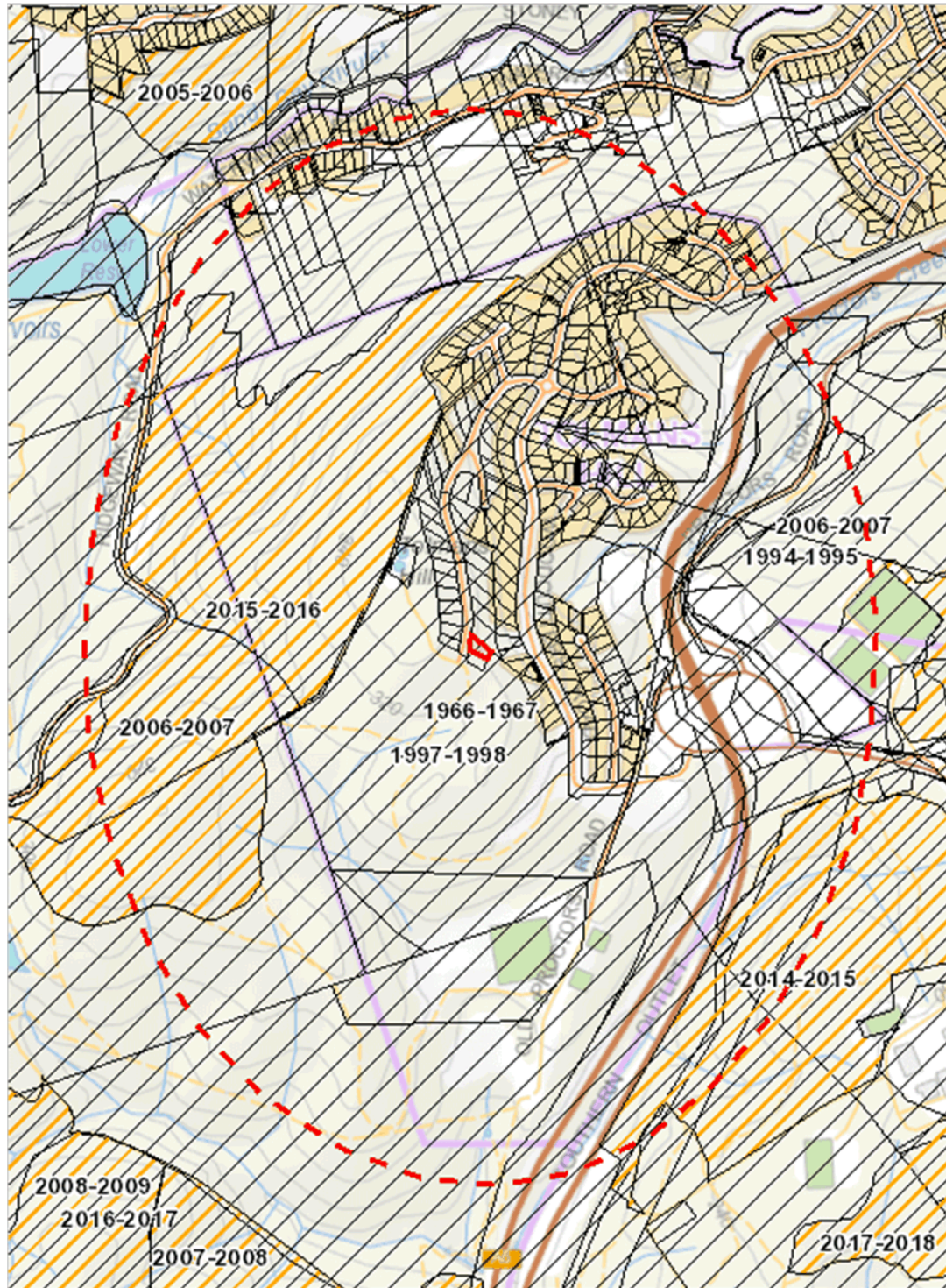
Telephone: (03) 6165 4320

Email: TVMMPsupport@dpiwve.tas.gov.au

Address: GPO Box 44, Hobart, Tasmania, Australia, 7000

Fire History (All) within 1000 metres

525760, 5250101



523948, 5247649

Please note that some layers may not display at all requested map scales

Fire History (All) within 1000 metres

Legend: Fire History All

☒ Bushfire-Unknown Category

☒ Completed Planned Burn

Legend: Cadastral Parcels

☐

☒ Bushfire

Fire History (All) within 1000 metres

Incident Number	Fire Name	Ignition Date	Fire Type	Ignition Cause	Fire Area (HA)
126758	Proctors Road, Mt Nelson	12-Oct-2006	Bushfire	Undetermined	74.93907879
213735	WOODCUTTERS ROAD	29-Jan-2014	Bushfire	Undetermined	0.80638736
MTNCL2AP	Hobart College west MTNCL2AP	10-Apr-2015	Planned Burn	Planned Burn	26.91866372
THZ004BU	Tolmans, Waterworks	17-Apr-2016	Planned Burn	Planned Burn	51.71147438
	1967 Fire	22-Feb-1967	Bushfire	Undetermined	198780.41788592
	RP15	01-Oct-2006	Planned Burn	Planned Burn	9.99227409
	Ridgeway	17-Jan-1998	Bushfire	Accidental	3166.7162194
	UTAS Reserve Bushfire	01-Jan-1995	Bushfire	Undetermined	70.80610033

For more information about Fire History, please contact the Manager Community Protection Planning, Tasmania Fire Service.

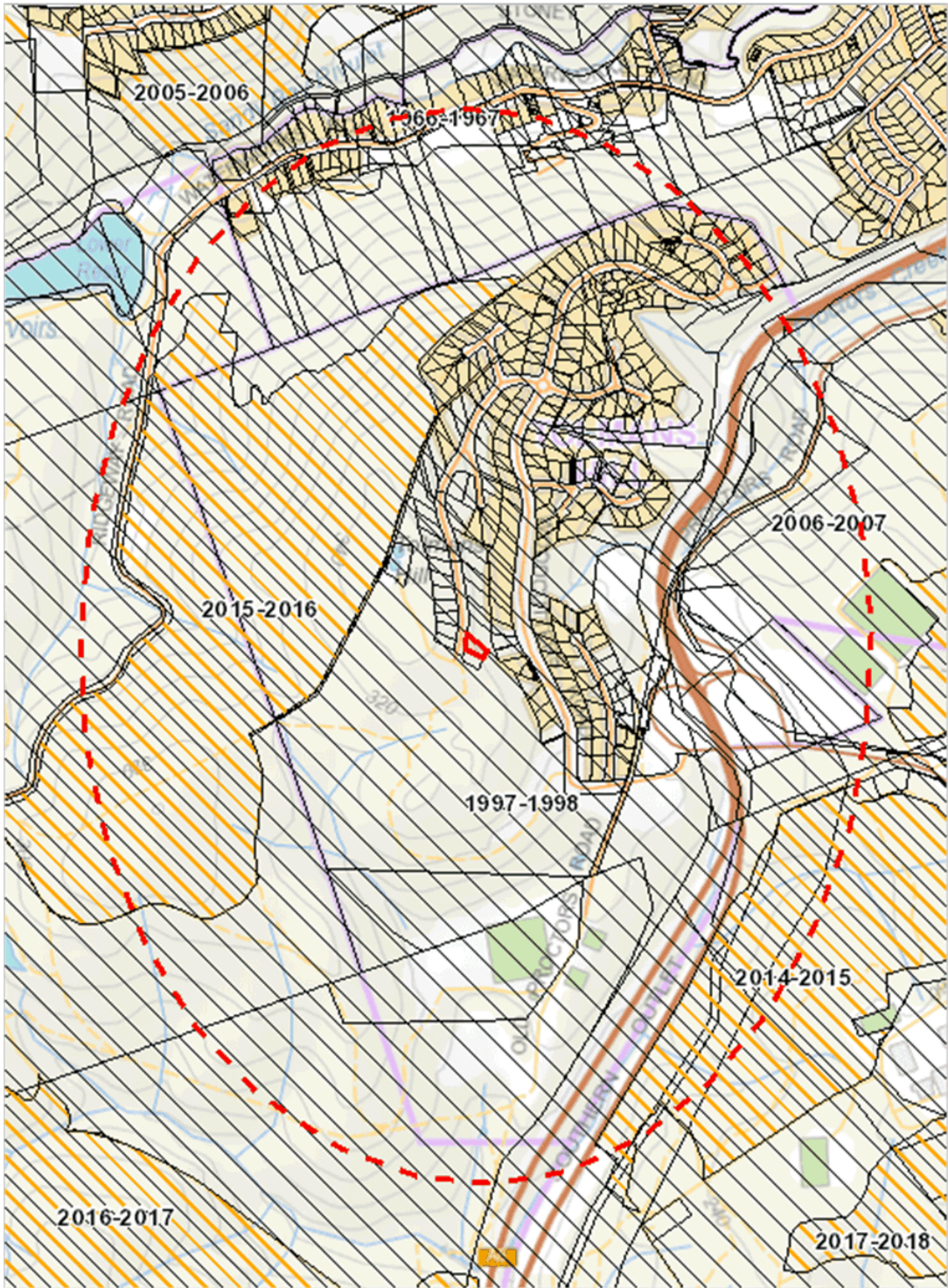
Telephone: 1800 000 699

Email: planning@fire.tas.gov.au

Address: cnr Argyle and Melville Streets, Hobart, Tasmania, Australia, 7000

Fire History (Last Burnt) within 1000 metres

525760, 5250101



523948, 5247649

Please note that some layers may not display at all requested map scales

Fire History (Last Burnt) within 1000 metres

Legend: Fire History Last

Bushfire-Unknown category

Completed Planned Burn

Legend: Cadastral Parcels

Bushfire

Fire History (Last Burnt) within 1000 metres

Incident Number	Fire Name	Ignition Date	Fire Type	Ignition Cause	Fire Area (HA)
126758	Proctors Road, Mt Nelson	12-Oct-2006	Bushfire	Undetermined	74.93907879
213735	WOODCUTTERS ROAD	29-Jan-2014	Bushfire	Undetermined	0.80638736
MTNCL2AP	Hobart College west MTNCL2AP	10-Apr-2015	Planned Burn	Planned Burn	26.91866372
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	RP15	01-Oct-2006	Planned Burn	Planned Burn	9.99227409
	Ridgeway	17-Jan-1998	Bushfire	Accidental	3166.7162194

For more information about Fire History, please contact the Manager Community Protection Planning, Tasmania Fire Service.

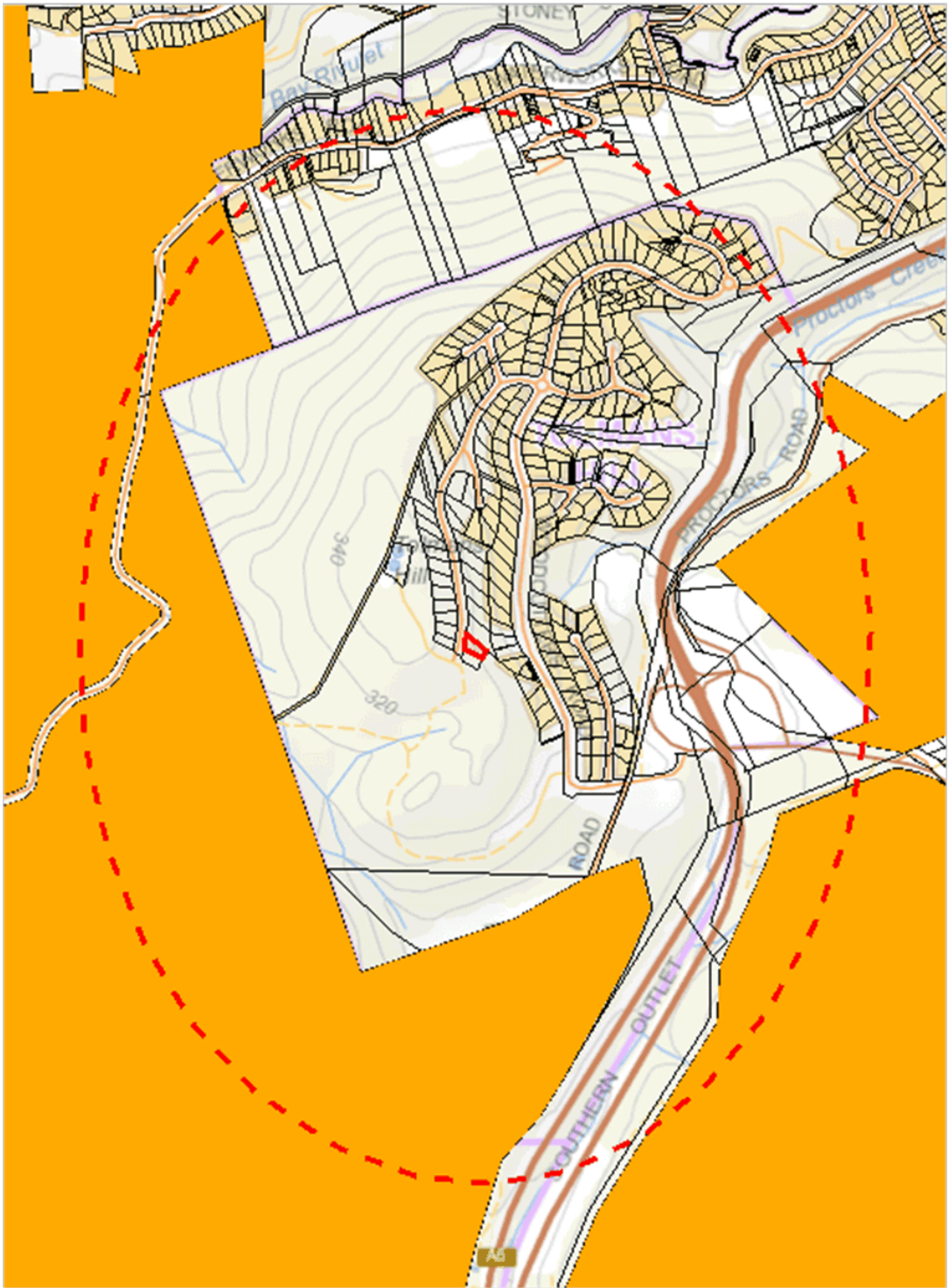
Telephone: 1800 000 699

Email: planning@fire.tas.gov.au

Address: cnr Argyle and Melville Streets, Hobart, Tasmania, Australia, 7000

Reserves within 1000 metres

525760, 5250101




























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Please note that some layers may not display at all requested map scales

Reserves within 1000 metres

Legend: Tasmanian Reserve Estate

-  Conservation Area
-  Conservation Area and Conservation Covenant (NCA)
-  Game Reserve
-  Historic Site
-  Indigenous Protected Area
-  National Park
-  Nature Reserve
-  Nature Recreation Area
-  Regional Reserve
-  State Reserve
-  Wellington Park
-  Public authority land within WHA
-  Future Potential Production Forest
-  Informal Reserve on Permanent Timber Production Zone Land or STT managed land
-  Informal Reserve on other public land
-  Conservation Covenant (NCA)
-  Private Nature Reserve and Conservation Covenant (NCA)
-  Private Sanctuary and Conservation Covenant (NCA)
-  Private Sanctuary
-  Private land within WHA
-  Management Agreement
-  Management Agreement and Stewardship Agreement
-  Stewardship Agreement
-  Part 5 Agreement (Meander Dam Offset)
-  Other Private Reserve

Legend: Cadastral Parcels



Reserves within 1000 metres

Name	Classification	Status	Area (HA)
	Informal Reserve on other public land	Informal Reserve	93.52580381
	Informal Reserve on other public land	Informal Reserve	100.91521865
	Informal Reserve on other public land	Informal Reserve	166.74479255
	Informal Reserve on other public land	Informal Reserve	207.02723637

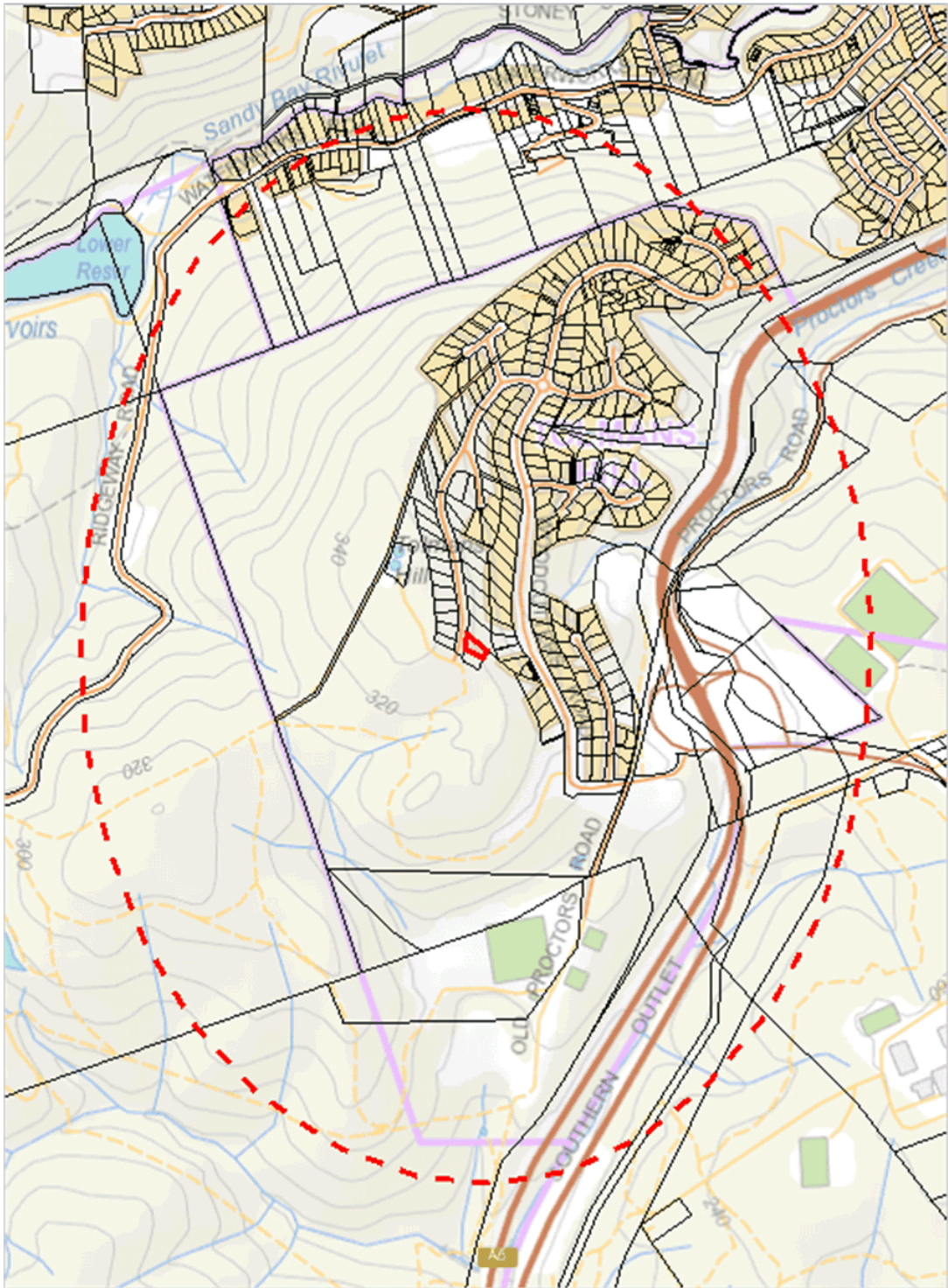
For more information about the Tasmanian Reserve Estate, please contact the Sustainable Land Use and Information Management Branch.

Telephone: (03) 6777 2224

Email: LandManagement.Enquiries@dpipwe.tas.gov.au

Address: GPO Box 44, Hobart, Tasmania, Australia, 7000

Known biosecurity risks within 1000 meters



523948, 5247649

Please note that some layers may not display at all requested map scales

Known biosecurity risks within 1000 meters

Legend: Biosecurity Risk Species

- Point Verified

■ Polygon Verified
- Point Unverified

■ Polygon Unverified
- Line Verified

— Line Unverified

Legend: Hygiene infrastructure

- Location Point Verified

● Location Point Unverified

— Location Line Verified
- Location Line Unverified

■ Location Polygon Verified

■ Location Polygon Unverified

Legend: Cadastral Parcels



Known biosecurity risks within 1000 meters

Verified Species of biosecurity risk

No verified species of biosecurity risk found within 1000 metres

Unverified Species of biosecurity risk

No unverified species of biosecurity risk found within 1000 metres

Generic Biosecurity Guidelines

The level and type of hygiene protocols required will vary depending on the tenure, activity and land use of the area. In all cases adhere to the land manager's biosecurity (hygiene) protocols. As a minimum always Check / Clean / Dry (Disinfect) clothing and equipment before trips and between sites within a trip as needed <http://dpiptwe.tas.gov.au/invasive-species/weeds/weed-hygiene/keeping-it-clean-a-tasmanian-field-hygiene-manual>

On Reserved land, the more remote, infrequently visited and undisturbed areas require tighter biosecurity measures.

In addition, where susceptible species and communities are known to occur, tighter biosecurity measures are required.

Apply controls relevant to the area / activity:

- Don't access sites infested with pathogen or weed species unless absolutely necessary. If it is necessary to visit, adopt high level hygiene protocols.
- Consider not accessing non-infested sites containing known susceptible species / communities. If it is necessary to visit, adopt high level hygiene protocols.
- Don't undertake activities that might spread pest / pathogen / weed species such as deliberately moving soil or water between areas.
- Modify / restrict activities to reduce the chance of spreading pest / pathogen / weed species e.g. avoid periods when weeds are seeding, avoid clothing/equipment that excessively collects soil and plant material e.g. Velcro, excessive tread on boots.
- Plan routes to visit clean (uninfested) sites prior to dirty (infested) sites. Do not travel through infested areas when moving between sites.
- Minimise the movement of soil, water, plant material and hitchhiking wildlife between areas by using the Check / Clean / Dry (Disinfect when drying is not possible) procedure for all clothing, footwear, equipment, hand tools and vehicles <http://dpiptwe.tas.gov.au/invasive-species/weeds/weed-hygiene>
- Neoprene and netting can take 48 hours to dry, use non-porous gear wherever possible.
- Use walking track boot wash stations where available.
- Keep a hygiene kit in the vehicle that includes a scrubbing brush, boot pick, and disinfectant <http://dpiptwe.tas.gov.au/invasive-species/weeds/weed-hygiene/keeping-it-clean-a-tasmanian-field-hygiene-manual>
- Dispose of all freshwater away from natural water bodies e.g. do not empty water into streams or ponds.
- Dispose of used disinfectant ideally in town through a treatment or septic system. Always keep disinfectant well away from natural water systems.
- Securely contain any high risk pest / pathogen / weed species that must be collected and moved e.g. biological samples.

Hygiene Infrastructure

No known hygiene infrastructure found within 1000 metres



Australian Government
Department of the Environment and Energy

EPBC Act Protected Matters Report

This report provides general guidance on matters of national environmental significance and other matters protected by the EPBC Act in the area you have selected.

Information on the coverage of this report and qualifications on data supporting this report are contained in the caveat at the end of the report.

Information is available about [Environment Assessments](#) and the EPBC Act including significance guidelines, forms and application process details.

Report created: 12/07/20 12:34:01

[Summary](#)

[Details](#)

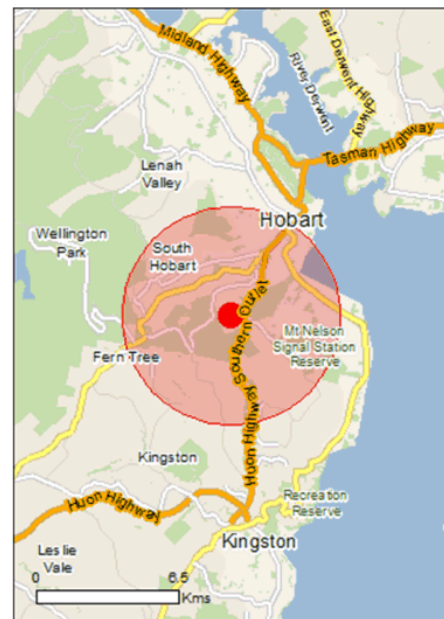
[Matters of NES](#)

[Other Matters Protected by the EPBC Act](#)

[Extra Information](#)

[Caveat](#)

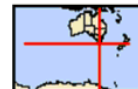
[Acknowledgements](#)



This map may contain data which are
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[Coordinates](#)

Buffer: 5.0Km



Summary

Matters of National Environmental Significance

This part of the report summarises the matters of national environmental significance that may occur in, or may relate to, the area you nominated. Further information is available in the detail part of the report, which can be accessed by scrolling or following the links below. If you are proposing to undertake an activity that may have a significant impact on one or more matters of national environmental significance then you should consider the [Administrative Guidelines on Significance](#).

World Heritage Properties:	2
National Heritage Places:	2
Wetlands of International Importance:	None
Great Barrier Reef Marine Park:	None
Commonwealth Marine Area:	None
Listed Threatened Ecological Communities:	3
Listed Threatened Species:	58
Listed Migratory Species:	31

Other Matters Protected by the EPBC Act

This part of the report summarises other matters protected under the Act that may relate to the area you nominated. Approval may be required for a proposed activity that significantly affects the environment on Commonwealth land, when the action is outside the Commonwealth land, or the environment anywhere when the action is taken on Commonwealth land. Approval may also be required for the Commonwealth or Commonwealth agencies proposing to take an action that is likely to have a significant impact on the environment anywhere.

The EPBC Act protects the environment on Commonwealth land, the environment from the actions taken on Commonwealth land, and the environment from actions taken by Commonwealth agencies. As heritage values of a place are part of the 'environment', these aspects of the EPBC Act protect the Commonwealth Heritage values of a Commonwealth Heritage place. Information on the new heritage laws can be found at <http://www.environment.gov.au/heritage>

A [permit](#) may be required for activities in or on a Commonwealth area that may affect a member of a listed threatened species or ecological community, a member of a listed migratory species, whales and other cetaceans, or a member of a listed marine species.

Commonwealth Land:	4
Commonwealth Heritage Places:	4
Listed Marine Species:	51
Whales and Other Cetaceans:	6
Critical Habitats:	None
Commonwealth Reserves Terrestrial:	None
Australian Marine Parks:	None

Extra Information

This part of the report provides information that may also be relevant to the area you have nominated.

State and Territory Reserves:	11
Regional Forest Agreements:	1
Invasive Species:	34
Nationally Important Wetlands:	None
Key Ecological Features (Marine)	None

Details

Matters of National Environmental Significance

World Heritage Properties		[Resource Information]
Name	State	Status
Australian Convict Sites (Cascades Female Factory Buffer Zone)	TAS	Buffer zone
Australian Convict Sites (Cascades Female Factory)	TAS	Declared property
National Heritage Properties		[Resource Information]
Name	State	Status
Historic		
Cascades Female Factory	TAS	Listed place
Cascades Female Factory Yard 4 North	TAS	Listed place

Listed Threatened Ecological Communities [Resource Information]

For threatened ecological communities where the distribution is well known, maps are derived from recovery plans, State vegetation maps, remote sensing imagery and other sources. Where threatened ecological community distributions are less well known, existing vegetation maps and point location data are used to produce indicative distribution maps.

Name	Status	Type of Presence
Giant Kelp Marine Forests of South East Australia	Endangered	Community may occur within area
Lowland Native Grasslands of Tasmania	Critically Endangered	Community likely to occur within area
Tasmanian Forests and Woodlands dominated by black gum or Brookers gum (Eucalyptus ovata / E. brookeriana)	Critically Endangered	Community likely to occur within area

Listed Threatened Species [Resource Information]

Name	Status	Type of Presence
Birds		
Aquila audax fleayi		
Tasmanian Wedge-tailed Eagle, Wedge-tailed Eagle (Tasmanian) [64435]	Endangered	Breeding likely to occur within area
Botaurus poiciloptilus		
Australasian Bittern [1001]	Endangered	Species or species habitat likely to occur within area
Calidris canutus		
Red Knot, Knot [855]	Endangered	Species or species habitat likely to occur within area
Calidris ferruginea		
Curlew Sandpiper [856]	Critically Endangered	Species or species habitat may occur within area
Ceyx azureus diemenensis		
Tasmanian Azure Kingfisher [25977]	Endangered	Species or species habitat may occur within area
Diomedea antipodensis		
Antipodean Albatross [64458]	Vulnerable	Foraging, feeding or related behaviour likely to occur within area
Diomedea antipodensis gibsoni		
Gibson's Albatross [82270]	Vulnerable	Foraging, feeding or related behaviour likely to occur within area
Diomedea epomophora		
Southern Royal Albatross [89221]	Vulnerable	Foraging, feeding or

Name	Status	Type of Presence
<i>Diomedea exulans</i> Wandering Albatross [89223]	Vulnerable	related behaviour likely to occur within area
<i>Diomedea sanfordi</i> Northern Royal Albatross [64456]	Endangered	Foraging, feeding or related behaviour likely to occur within area
<i>Fregetta grallaria grallaria</i> White-bellied Storm-Petrel (Tasman Sea), White-bellied Storm-Petrel (Australasian) [64438]	Vulnerable	Species or species habitat likely to occur within area
<i>Hirundapus caudacutus</i> White-throated Needletail [682]	Vulnerable	Species or species habitat known to occur within area
<i>Lathamus discolor</i> Swift Parrot [744]	Critically Endangered	Breeding known to occur within area
<i>Limosa lapponica baueri</i> Bar-tailed Godwit (<i>baueri</i>), Western Alaskan Bar-tailed Godwit [86380]	Vulnerable	Species or species habitat known to occur within area
<i>Limosa lapponica menzbieri</i> Northern Siberian Bar-tailed Godwit, Bar-tailed Godwit (<i>menzbieri</i>) [86432]	Critically Endangered	Species or species habitat may occur within area
<i>Macronectes giganteus</i> Southern Giant-Petrel, Southern Giant Petrel [1060]	Endangered	Foraging, feeding or related behaviour likely to occur within area
<i>Macronectes halli</i> Northern Giant Petrel [1061]	Vulnerable	Species or species habitat may occur within area
<i>Numenius madagascariensis</i> Eastern Curlew, Far Eastern Curlew [847]	Critically Endangered	Species or species habitat may occur within area
<i>Pachyptila turtur subantarctica</i> Fairy Prion (southern) [64445]	Vulnerable	Species or species habitat known to occur within area
<i>Pardalotus quadragintus</i> Forty-spotted Pardalote [418]	Endangered	Species or species habitat known to occur within area
<i>Pterodroma leucoptera leucoptera</i> Gould's Petrel, Australian Gould's Petrel [26033]	Endangered	Species or species habitat may occur within area
<i>Sternula nereis nereis</i> Australian Fairy Tern [82950]	Vulnerable	Foraging, feeding or related behaviour likely to occur within area
<i>Thalassarche bulleri</i> Buller's Albatross, Pacific Albatross [64460]	Vulnerable	Foraging, feeding or related behaviour likely to occur within area
<i>Thalassarche bulleri platei</i> Northern Buller's Albatross, Pacific Albatross [82273]	Vulnerable	Foraging, feeding or related behaviour likely to occur within area
<i>Thalassarche cauta</i> Shy Albatross [89224]	Endangered	Foraging, feeding or related behaviour likely to occur within area
<i>Thalassarche chrysostoma</i> Grey-headed Albatross [66491]	Endangered	Species or species habitat may occur within area

Name	Status	Type of Presence
<u>Thalassarche impavida</u> Campbell Albatross, Campbell Black-browed Albatross [64459]	Vulnerable	Foraging, feeding or related behaviour likely to occur within area
<u>Thalassarche melanophris</u> Black-browed Albatross [66472]	Vulnerable	Foraging, feeding or related behaviour likely to occur within area
<u>Thalassarche salvini</u> Salvin's Albatross [64463]	Vulnerable	Foraging, feeding or related behaviour likely to occur within area
<u>Thalassarche steadi</u> White-capped Albatross [64462]	Vulnerable	Foraging, feeding or related behaviour likely to occur within area
<u>Thinornis cucullatus cucullatus</u> Hooded Plover (eastern), Eastern Hooded Plover [90381]	Vulnerable	Species or species habitat known to occur within area
<u>Tyto novaehollandiae castanops (Tasmanian population)</u> Masked Owl (Tasmanian) [67051]	Vulnerable	Breeding known to occur within area
Fish		
<u>Brachionichthys hirsutus</u> Spotted Handfish [64418]	Critically Endangered	Species or species habitat known to occur within area
<u>Prototroctes maraena</u> Australian Grayling [26179]	Vulnerable	Species or species habitat likely to occur within area
<u>Thymichthys politus</u> Red Handfish [83756]	Critically Endangered	Species or species habitat may occur within area
Insects		
<u>Antipodia chaostola leucophaea</u> Tasmanian Chaostola Skipper, Heath-sand Skipper [77672]	Endangered	Species or species habitat known to occur within area
Mammals		
<u>Balaenoptera musculus</u> Blue Whale [36]	Endangered	Species or species habitat likely to occur within area
<u>Dasyurus maculatus maculatus (Tasmanian population)</u> Spotted-tail Quoll, Spot-tailed Quoll, Tiger Quoll (Tasmanian population) [75183]	Vulnerable	Species or species habitat known to occur within area
<u>Dasyurus viverrinus</u> Eastern Quoll, Luaner [333]	Endangered	Species or species habitat known to occur within area
<u>Megaptera novaeangliae</u> Humpback Whale [38]	Vulnerable	Foraging, feeding or related behaviour known to occur within area
<u>Perameles gunnii gunnii</u> Eastern Barred Bandicoot (Tasmania) [66651]	Vulnerable	Species or species habitat known to occur within area
<u>Sarcophilus harrisii</u> Tasmanian Devil [299]	Endangered	Species or species habitat likely to occur within area
Other		
<u>Ammoniropa vigens</u> Ammonite Pinwheel Snail [90200]	Critically Endangered	Species or species habitat known to occur within area

Name	Status	Type of Presence
Parvulastra vivipara Tasmanian Live-bearing Seastar [85451]	Vulnerable	Species or species habitat may occur within area

Plants

Caladenia caudata Tailed Spider-orchid [17067]	Vulnerable	Species or species habitat known to occur within area
Caladenia sylvicola Forest Fingers [64860]	Critically Endangered	Species or species habitat likely to occur within area
Colobanthus curtisiae Curtis' Colobanth [23961]	Vulnerable	Species or species habitat likely to occur within area
Dianella amoena Matted Flax-lily [64886]	Endangered	Species or species habitat known to occur within area
Epacris virgata Pretty Heath, Dan Hill Heath [20375]	Endangered	Species or species habitat known to occur within area
Glycine latrobeana Clover Glycine, Purple Clover [13910]	Vulnerable	Species or species habitat likely to occur within area
Lepidium hyssopifolium Basalt Pepper-cress, Pepper-cress, Rubble Pepper-cress, Pepperweed [16542]	Endangered	Species or species habitat known to occur within area
Leucochrysum albicans subsp. tricolor Hoary Sunray, Grassland Paper-daisy [89104]	Endangered	Species or species habitat may occur within area
Prasophyllum apoxychilum Tapered Leek-orchid [64947]	Endangered	Species or species habitat known to occur within area
Prasophyllum perangustum Knocklofty Leek-orchid [64952]	Critically Endangered	Species or species habitat likely to occur within area
Pterostylis ziegeleri Grassland Greenhood, Cape Portland Greenhood [64971]	Vulnerable	Species or species habitat may occur within area
Thelymitra jonesii Sky-blue Sun-orchid [76352]	Endangered	Species or species habitat may occur within area
Xerochrysum palustre Swamp Everlasting, Swamp Paper Daisy [76215]	Vulnerable	Species or species habitat likely to occur within area

Sharks

Carcharodon carcharias White Shark, Great White Shark [64470]	Vulnerable	Species or species habitat known to occur within area
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Listed Migratory Species**[Resource Information]**

* Species is listed under a different scientific name on the EPBC Act - Threatened Species list.

Name	Threatened	Type of Presence
Migratory Marine Birds		
Apus pacificus Fork-tailed Swift [678]		Species or species habitat likely to occur within area

Name	Threatened	Type of Presence
Ardenna carneipes Flesh-footed Shearwater, Flesh-footed Shearwater [82404]		Foraging, feeding or related behaviour likely to occur within area
Ardenna grisea Sooty Shearwater [82651]		Species or species habitat likely to occur within area
Diomedea antipodensis Antipodean Albatross [64458]	Vulnerable	Foraging, feeding or related behaviour likely to occur within area
Diomedea epomophora Southern Royal Albatross [89221]	Vulnerable	Foraging, feeding or related behaviour likely to occur within area
Diomedea exulans Wandering Albatross [89223]	Vulnerable	Foraging, feeding or related behaviour likely to occur within area
Diomedea sanfordi Northern Royal Albatross [64456]	Endangered	Foraging, feeding or related behaviour likely to occur within area
Macronectes giganteus Southern Giant-Petrel, Southern Giant Petrel [1060]	Endangered	Foraging, feeding or related behaviour likely to occur within area
Macronectes halli Northern Giant Petrel [1061]	Vulnerable	Species or species habitat may occur within area
Thalassarche bulleri Buller's Albatross, Pacific Albatross [64460]	Vulnerable	Foraging, feeding or related behaviour likely to occur within area
Thalassarche cauta Shy Albatross [89224]	Endangered	Foraging, feeding or related behaviour likely to occur within area
Thalassarche chrysostoma Grey-headed Albatross [66491]	Endangered	Species or species habitat may occur within area
Thalassarche impavida Campbell Albatross, Campbell Black-browed Albatross [64459]	Vulnerable	Foraging, feeding or related behaviour likely to occur within area
Thalassarche melanophris Black-browed Albatross [66472]	Vulnerable	Foraging, feeding or related behaviour likely to occur within area
Thalassarche salvini Salvin's Albatross [64463]	Vulnerable	Foraging, feeding or related behaviour likely to occur within area
Thalassarche steadi White-capped Albatross [64462]	Vulnerable	Foraging, feeding or related behaviour likely to occur within area
Migratory Marine Species		
Balaenoptera musculus Blue Whale [36]	Endangered	Species or species habitat likely to occur within area
Carcharodon carcharias White Shark, Great White Shark [64470]	Vulnerable	Species or species habitat known to occur within area
Lamna nasus Porbeagle, Mackerel Shark [83288]		Species or species habitat likely to occur within area

Name	Threatened	Type of Presence
Megaptera novaeangliae Humpback Whale [38]	Vulnerable	Foraging, feeding or related behaviour known to occur within area
Migratory Terrestrial Species		
Hirundapus caudacutus White-throated Needletail [682]	Vulnerable	Species or species habitat known to occur within area
Myiagra cyanoleuca Satin Flycatcher [612]		Species or species habitat known to occur within area
Migratory Wetlands Species		
Actitis hypoleucos Common Sandpiper [59309]		Species or species habitat likely to occur within area
Calidris acuminata Sharp-tailed Sandpiper [874]		Species or species habitat known to occur within area
Calidris canutus Red Knot, Knot [855]	Endangered	Species or species habitat likely to occur within area
Calidris ferruginea Curlew Sandpiper [856]	Critically Endangered	Species or species habitat may occur within area
Calidris melanotos Pectoral Sandpiper [858]		Species or species habitat may occur within area
Gallinago hardwickii Latham's Snipe, Japanese Snipe [863]		Species or species habitat may occur within area
Limosa lapponica Bar-tailed Godwit [844]		Species or species habitat known to occur within area
Numenius madagascariensis Eastern Curlew, Far Eastern Curlew [847]	Critically Endangered	Species or species habitat may occur within area
Tringa nebularia Common Greenshank, Greenshank [832]		Species or species habitat likely to occur within area

Other Matters Protected by the EPBC Act

Commonwealth Land **[Resource Information]**

The Commonwealth area listed below may indicate the presence of Commonwealth land in this vicinity. Due to the unreliability of the data source, all proposals should be checked as to whether it impacts on a Commonwealth area, before making a definitive decision. Contact the State or Territory government land department for further information.

Name

Commonwealth Land -
Defence - 8 Fitzroy Place, Hobart
Defence - ANGLESEA BARRACKS - HOBART
Defence - Continental Building

Commonwealth Heritage Places **[Resource Information]**

Name	State	Status
Historic		
Anglesea Barracks	TAS	Listed place
Edward Braddon Commonwealth Law Courts	TAS	Listed place
Hobart General Post Office	TAS	Listed place
North Hobart Post Office	TAS	Listed place

Listed Marine Species	[Resource Information]	
* Species is listed under a different scientific name on the EPBC Act - Threatened Species list.		
Name	Threatened	Type of Presence
Birds		
Actitis hypoleucos Common Sandpiper [59309]		Species or species habitat likely to occur within area
Apus pacificus Fork-tailed Swift [678]		Species or species habitat likely to occur within area
Ardea alba Great Egret, White Egret [59541]		Species or species habitat likely to occur within area
Ardea ibis Cattle Egret [59542]		Species or species habitat may occur within area
Calidris acuminata Sharp-tailed Sandpiper [874]		Species or species habitat known to occur within area
Calidris canutus Red Knot, Knot [855]	Endangered	Species or species habitat likely to occur within area
Calidris ferruginea Curlew Sandpiper [856]	Critically Endangered	Species or species habitat may occur within area
Calidris melanotos Pectoral Sandpiper [858]		Species or species habitat may occur within area
Diomedea antipodensis Antipodean Albatross [64458]	Vulnerable	Foraging, feeding or related behaviour likely to occur within area
Diomedea epomophora Southern Royal Albatross [89221]	Vulnerable	Foraging, feeding or related behaviour likely to occur within area
Diomedea exulans Wandering Albatross [89223]	Vulnerable	Foraging, feeding or related behaviour likely to occur within area
Diomedea gibsoni Gibson's Albatross [64466]	Vulnerable*	Foraging, feeding or related behaviour likely to occur within area
Diomedea sanfordi Northern Royal Albatross [64456]	Endangered	Foraging, feeding or related behaviour likely to occur within area
Gallinago hardwickii Latham's Snipe, Japanese Snipe [863]		Species or species habitat may occur within area
Haliaeetus leucogaster White-bellied Sea-Eagle [943]		Species or species habitat known to occur within area
Hirundapus caudacutus White-throated Needletail [682]	Vulnerable	Species or species habitat known to occur within area
Lathamus discolor Swift Parrot [744]	Critically Endangered	Breeding known to occur within area
Limosa lapponica Bar-tailed Godwit [844]		Species or species

Name	Threatened	Type of Presence
Macronectes giganteus Southern Giant-Petrel, Southern Giant Petrel [1060]	Endangered	habitat known to occur within area Foraging, feeding or related behaviour likely to occur within area
Macronectes halli Northern Giant Petrel [1061]	Vulnerable	Species or species habitat may occur within area
Myiagra cyanoleuca Satin Flycatcher [612]		Species or species habitat known to occur within area
Numenius madagascariensis Eastern Curlew, Far Eastern Curlew [847]	Critically Endangered	Species or species habitat may occur within area
Pachyptila turtur Fairy Prion [1066]		Species or species habitat known to occur within area
Puffinus carneipes Flesh-footed Shearwater, Fleshy-footed Shearwater [1043]		Foraging, feeding or related behaviour likely to occur within area
Puffinus griseus Sooty Shearwater [1024]		Species or species habitat likely to occur within area
Thalassarche bulleri Buller's Albatross, Pacific Albatross [64460]	Vulnerable	Foraging, feeding or related behaviour likely to occur within area
Thalassarche cauta Shy Albatross [89224]	Endangered	Foraging, feeding or related behaviour likely to occur within area
Thalassarche chrysostoma Grey-headed Albatross [66491]	Endangered	Species or species habitat may occur within area
Thalassarche impavida Campbell Albatross, Campbell Black-browed Albatross [64459]	Vulnerable	Foraging, feeding or related behaviour likely to occur within area
Thalassarche melanophris Black-browed Albatross [66472]	Vulnerable	Foraging, feeding or related behaviour likely to occur within area
Thalassarche salvini Salvin's Albatross [64463]	Vulnerable	Foraging, feeding or related behaviour likely to occur within area
Thalassarche sp. nov. Pacific Albatross [66511]	Vulnerable*	Foraging, feeding or related behaviour likely to occur within area
Thalassarche steadi White-capped Albatross [64462]	Vulnerable	Foraging, feeding or related behaviour likely to occur within area
Thinornis rubricollis Hooded Plover [59510]		Species or species habitat known to occur within area
Thinornis rubricollis rubricollis Hooded Plover (eastern) [66726]	Vulnerable*	Species or species habitat known to occur within area
Tringa nebularia Common Greenshank, Greenshank [832]		Species or species habitat likely to occur

Name	Threatened	Type of Presence within area
Fish		
Hippocampus abdominalis	Big-belly Seahorse, Eastern Potbelly Seahorse, New Zealand Potbelly Seahorse [66233]	Species or species habitat may occur within area
Hippocampus breviceps	Short-head Seahorse, Short-snouted Seahorse [66235]	Species or species habitat may occur within area
Histiogamphelus briggsii	Crested Pipefish, Briggs' Crested Pipefish, Briggs' Pipefish [66242]	Species or species habitat may occur within area
Maroubra perserrata	Sawtooth Pipefish [66252]	Species or species habitat may occur within area
Mitotichthys mollisoni	Mollison's Pipefish [66260]	Species or species habitat may occur within area
Mitotichthys semistriatus	Halfbanded Pipefish [66261]	Species or species habitat may occur within area
Mitotichthys tuckeri	Tucker's Pipefish [66262]	Species or species habitat may occur within area
Phyllopteryx taeniolatus	Common Seadragon, Weedy Seadragon [66268]	Species or species habitat may occur within area
Solegnathus spinosissimus	Spiny Pipehorse, Australian Spiny Pipehorse [66275]	Species or species habitat may occur within area
Stigmatopora argus	Spotted Pipefish, Gulf Pipefish, Peacock Pipefish [66276]	Species or species habitat may occur within area
Stigmatopora nigra	Widebody Pipefish, Wide-bodied Pipefish, Black Pipefish [66277]	Species or species habitat may occur within area
Urocampus carinirostris	Hairy Pipefish [66282]	Species or species habitat may occur within area
Vanacampus phillipi	Port Phillip Pipefish [66284]	Species or species habitat may occur within area
Mammals		
Arctocephalus forsteri	Long-nosed Fur-seal, New Zealand Fur-seal [20]	Species or species habitat may occur within area
Arctocephalus pusillus	Australian Fur-seal, Australo-African Fur-seal [21]	Species or species habitat may occur within area
Whales and other Cetaceans		[Resource Information]
Name	Status	Type of Presence
Mammals		
Balaenoptera acutorostrata	Minke Whale [33]	Species or species habitat may occur within area

Name	Status	Type of Presence
Balaenoptera musculus Blue Whale [36]	Endangered	Species or species habitat likely to occur within area
Delphinus delphis Common Dolphin, Short-beaked Common Dolphin [60]		Species or species habitat may occur within area
Grampus griseus Risso's Dolphin, Grampus [64]		Species or species habitat may occur within area
Megaptera novaeangliae Humpback Whale [38]	Vulnerable	Foraging, feeding or related behaviour known to occur within area
Tursiops truncatus s. str. Bottlenose Dolphin [68417]		Species or species habitat may occur within area

Extra Information

State and Territory Reserves	[Resource Information]
Name	State
Browns River	TAS
Browns River Fern Tree	TAS
Cascades Female Factory	TAS
Fanfare Angora Stud Tarooma	TAS
Fern Tree #1	TAS
Fern Tree #2	TAS
South Lea	TAS
The Lea	TAS
Truganini	TAS
Unnamed (The Lea)	TAS
Wellington Park	TAS

Regional Forest Agreements	[Resource Information]
Note that all areas with completed RFAs have been included.	
Name	State
Tasmania RFA	Tasmania

Invasive Species	[Resource Information]
Weeds reported here are the 20 species of national significance (WoNS), along with other introduced plants that are considered by the States and Territories to pose a particularly significant threat to biodiversity. The following feral animals are reported: Goat, Red Fox, Cat, Rabbit, Pig, Water Buffalo and Cane Toad. Maps from Landscape Health Project, National Land and Water Resources Audit, 2001.	

Name	Status	Type of Presence
Birds		
<i>Acridotheres tristis</i> Common Myna, Indian Myna [387]		Species or species habitat likely to occur within area
<i>Alauda arvensis</i> Skylark [656]		Species or species habitat likely to occur within area
<i>Anas platyrhynchos</i> Mallard [974]		Species or species habitat likely to occur within area
<i>Carduelis carduelis</i> European Goldfinch [403]		Species or species habitat likely to occur within area
<i>Carduelis chloris</i> European Greenfinch [404]		Species or species habitat likely to occur within area

Name	Status	Type of Presence
Columba livia Rock Pigeon, Rock Dove, Domestic Pigeon [803]		Species or species habitat likely to occur within area
Passer domesticus House Sparrow [405]		Species or species habitat likely to occur within area
Streptopelia chinensis Spotted Turtle-Dove [780]		Species or species habitat likely to occur within area
Sturnus vulgaris Common Starling [389]		Species or species habitat likely to occur within area
Turdus merula Common Blackbird, Eurasian Blackbird [596]		Species or species habitat likely to occur within area
Mammals		
Canis lupus familiaris Domestic Dog [82654]		Species or species habitat likely to occur within area
Felis catus Cat, House Cat, Domestic Cat [19]		Species or species habitat likely to occur within area
Lepus capensis Brown Hare [127]		Species or species habitat likely to occur within area
Mus musculus House Mouse [120]		Species or species habitat likely to occur within area
Oryctolagus cuniculus Rabbit, European Rabbit [128]		Species or species habitat likely to occur within area
Rattus norvegicus Brown Rat, Norway Rat [83]		Species or species habitat likely to occur within area
Rattus rattus Black Rat, Ship Rat [84]		Species or species habitat likely to occur within area
Sus scrofa Pig [6]		Species or species habitat likely to occur within area
Vulpes vulpes Red Fox, Fox [18]		Species or species habitat likely to occur within area
Plants		
Anredera cordifolia Madeira Vine, Jalap, Lamb's-tail, Mignonette Vine, Anredera, Gulf Madeiravine, Heartleaf Madeiravine, Potato Vine [2643]		Species or species habitat likely to occur within area
Asparagus africanus Climbing Asparagus, Climbing Asparagus Fern [66907]		Species or species habitat likely to occur within area
Asparagus asparagoides Bridal Creeper, Bridal Veil Creeper, Smilax, Florist's Smilax, Smilax Asparagus [22473]		Species or species habitat likely to occur within area
Asparagus scandens Asparagus Fern, Climbing Asparagus Fern [23255]		Species or species habitat likely to occur

Name	Status	Type of Presence
Chrysanthemoides monilifera Bitou Bush, Boneseed [18983]		within area Species or species habitat likely to occur within area
Chrysanthemoides monilifera subsp. monilifera Boneseed [16905]		Species or species habitat likely to occur within area
Cytisus scoparius Broom, English Broom, Scotch Broom, Common Broom, Scottish Broom, Spanish Broom [5934]		Species or species habitat likely to occur within area
Genista linifolia Flax-leaved Broom, Mediterranean Broom, Flax Broom [2800]		Species or species habitat likely to occur within area
Genista monspessulana Montpellier Broom, Cape Broom, Canary Broom, Common Broom, French Broom, Soft Broom [20126]		Species or species habitat likely to occur within area
Lycium ferocissimum African Boxthorn, Boxthorn [19235]		Species or species habitat likely to occur within area
Nassella neesiana Chilean Needle grass [67699]		Species or species habitat likely to occur within area
Nassella trichotoma Serrated Tussock, Yass River Tussock, Yass Tussock, Nassella Tussock (NZ) [18884]		Species or species habitat likely to occur within area
Rubus fruticosus aggregate Blackberry, European Blackberry [68406]		Species or species habitat likely to occur within area
Salix spp. except S.babylonica, S.x calodendron & S.x reichardtii Willows except Weeping Willow, Pussy Willow and Sterile Pussy Willow [68497]		Species or species habitat likely to occur within area
Ulex europaeus Gorse, Furze [7693]		Species or species habitat likely to occur within area

Caveat

The information presented in this report has been provided by a range of data sources as acknowledged at the end of the report.

This report is designed to assist in identifying the locations of places which may be relevant in determining obligations under the Environment Protection and Biodiversity Conservation Act 1999. It holds mapped locations of World and National Heritage properties, Wetlands of International and National Importance, Commonwealth and State/Territory reserves, listed threatened, migratory and marine species and listed threatened ecological communities. Mapping of Commonwealth land is not complete at this stage. Maps have been collated from a range of sources at various resolutions.

Not all species listed under the EPBC Act have been mapped (see below) and therefore a report is a general guide only. Where available data supports mapping, the type of presence that can be determined from the data is indicated in general terms. People using this information in making a referral may need to consider the qualifications below and may need to seek and consider other information sources.

For threatened ecological communities where the distribution is well known, maps are derived from recovery plans, State vegetation maps, remote sensing imagery and other sources. Where threatened ecological community distributions are less well known, existing vegetation maps and point location data are used to produce indicative distribution maps.

Threatened, migratory and marine species distributions have been derived through a variety of methods. Where distributions are well known and if time permits, maps are derived using either thematic spatial data (i.e. vegetation, soils, geology, elevation, aspect, terrain, etc) together with point locations and described habitat; or environmental modelling (MAXENT or BIOCLIM habitat modelling) using point locations and environmental data layers.

Where very little information is available for species or large number of maps are required in a short time-frame, maps are derived either from 0.04 or 0.02 decimal degree cells; by an automated process using polygon capture techniques (static two kilometre grid cells, alpha-hull and convex hull); or captured manually or by using topographic features (national park boundaries, islands, etc). In the early stages of the distribution mapping process (1999-early 2000s) distributions were defined by degree blocks, 100K or 250K map sheets to rapidly create distribution maps. More reliable distribution mapping methods are used to update these distributions as time permits.

Only selected species covered by the following provisions of the EPBC Act have been mapped:

- migratory and
- marine

The following species and ecological communities have not been mapped and do not appear in reports produced from this database:

- threatened species listed as extinct or considered as vagrants
- some species and ecological communities that have only recently been listed
- some terrestrial species that overfly the Commonwealth marine area
- migratory species that are very widespread, vagrant, or only occur in small numbers

The following groups have been mapped, but may not cover the complete distribution of the species:

- non-threatened seabirds which have only been mapped for recorded breeding sites
- seals which have only been mapped for breeding sites near the Australian continent

Such breeding sites may be important for the protection of the Commonwealth Marine environment.

Coordinates

-42.91229 147.30445

Acknowledgements

This database has been compiled from a range of data sources. The department acknowledges the following custodians who have contributed valuable data and advice:

- [-Office of Environment and Heritage, New South Wales](#)
- [-Department of Environment and Primary Industries, Victoria](#)
- [-Department of Primary Industries, Parks, Water and Environment, Tasmania](#)
- [-Department of Environment, Water and Natural Resources, South Australia](#)
- [-Department of Land and Resource Management, Northern Territory](#)
- [-Department of Environmental and Heritage Protection, Queensland](#)
- [-Department of Parks and Wildlife, Western Australia](#)
- [-Environment and Planning Directorate, ACT](#)
- [-Birdlife Australia](#)
- [-Australian Bird and Bat Banding Scheme](#)
- [-Australian National Wildlife Collection](#)
- Natural history museums of Australia
- [-Museum Victoria](#)
- [-Australian Museum](#)
- [-South Australian Museum](#)
- [-Queensland Museum](#)
- [-Online Zoological Collections of Australian Museums](#)
- [-Queensland Herbarium](#)
- [-National Herbarium of NSW](#)
- [-Royal Botanic Gardens and National Herbarium of Victoria](#)
- [-Tasmanian Herbarium](#)
- [-State Herbarium of South Australia](#)
- [-Northern Territory Herbarium](#)
- [-Western Australian Herbarium](#)
- [-Australian National Herbarium, Canberra](#)
- [-University of New England](#)
- [-Ocean Biogeographic Information System](#)
- [-Australian Government, Department of Defence](#)
- [Forestry Corporation, NSW](#)
- [-Geoscience Australia](#)
- [-CSIRO](#)
- [-Australian Tropical Herbarium, Cairns](#)
- [-eBird Australia](#)
- [-Australian Government – Australian Antarctic Data Centre](#)
- [-Museum and Art Gallery of the Northern Territory](#)
- [-Australian Government National Environmental Science Program](#)
- [-Australian Institute of Marine Science](#)
- [-Reef Life Survey Australia](#)
- [-American Museum of Natural History](#)
- [-Queen Victoria Museum and Art Gallery, Inveresk, Tasmania](#)
- [-Tasmanian Museum and Art Gallery, Hobart, Tasmania](#)
- Other groups and individuals

The Department is extremely grateful to the many organisations and individuals who provided expert advice and information on numerous draft distributions.

Please feel free to provide feedback via the [Contact Us](#) page.



Enquiries to: City Planning
Phone: (03) 6238 2715
Email: coh@hobartcity.com.au

22 September 2020

Alex Reed (McCarthy Reed Architects Pty Ltd)
26/93 Salamanca Place
BATTERY POINT TAS 7004

mailto: alex@mccarthyreed.com.au

Dear Sir/Madam

**29 HILLCREST ROAD, TOLMANS HILL - WORKS IN ROAD RESERVE NOTICE OF
LAND OWNER CONSENT TO LODGE A PLANNING APPLICATION - GMC-20-59**

Site Address:

29 Hillcrest Road, Tolmans Hill

Description of Proposal:

Dwelling

Applicant Name:

Alex Reed
McCarthy Reed Architects Pty Ltd

PLN (if applicable):

PLN-20-498

I write to advise that pursuant to Section 52 of the *Land Use Planning and Approvals Act 1993*, I grant my consent on behalf of the Hobart City Council as the owner/administrator of the above land for you to make application to the City for a planning permit for the development described above and as per the attached documents.

Please note that the granting of the consent is only for the making of the application and in no way should such consent be seen as prejudicing any decision the Council is required to make as the statutory planning authority.

Hobart Town Hall
50 Macquarie Street
Hobart TAS 7000

Hobart Council Centre
16 Elizabeth Street
Hobart TAS 7000

City of Hobart
GPO Box 503
Hobart TAS 7001

T 03 6238 2711
F 03 6234 7109
E coh@hobartcity.com.au
W hobartcity.com.au

CityofHobartOfficial
ABN 39 055 343 428
Hobart City Council

This consent does not constitute an approval to undertake any works and does not authorise the owner, developer or their agents any right to enter or conduct works on any Council managed land whether subject to this consent or not.

If planning approval is granted by the planning authority, you will be required to seek approvals and permits from the City as both landlord, land manager, or under other statutory powers (such as other legislation or City By-Laws) that are not granted with the issue of a planning permit under a planning scheme. This includes the requirement for you to reapply for a permit to occupy a public space under the City's Public Spaces By-law if the proposal relates to such an area.

Accordingly, I encourage you to continue to engage with the City about these potential requirements.

Yours faithfully

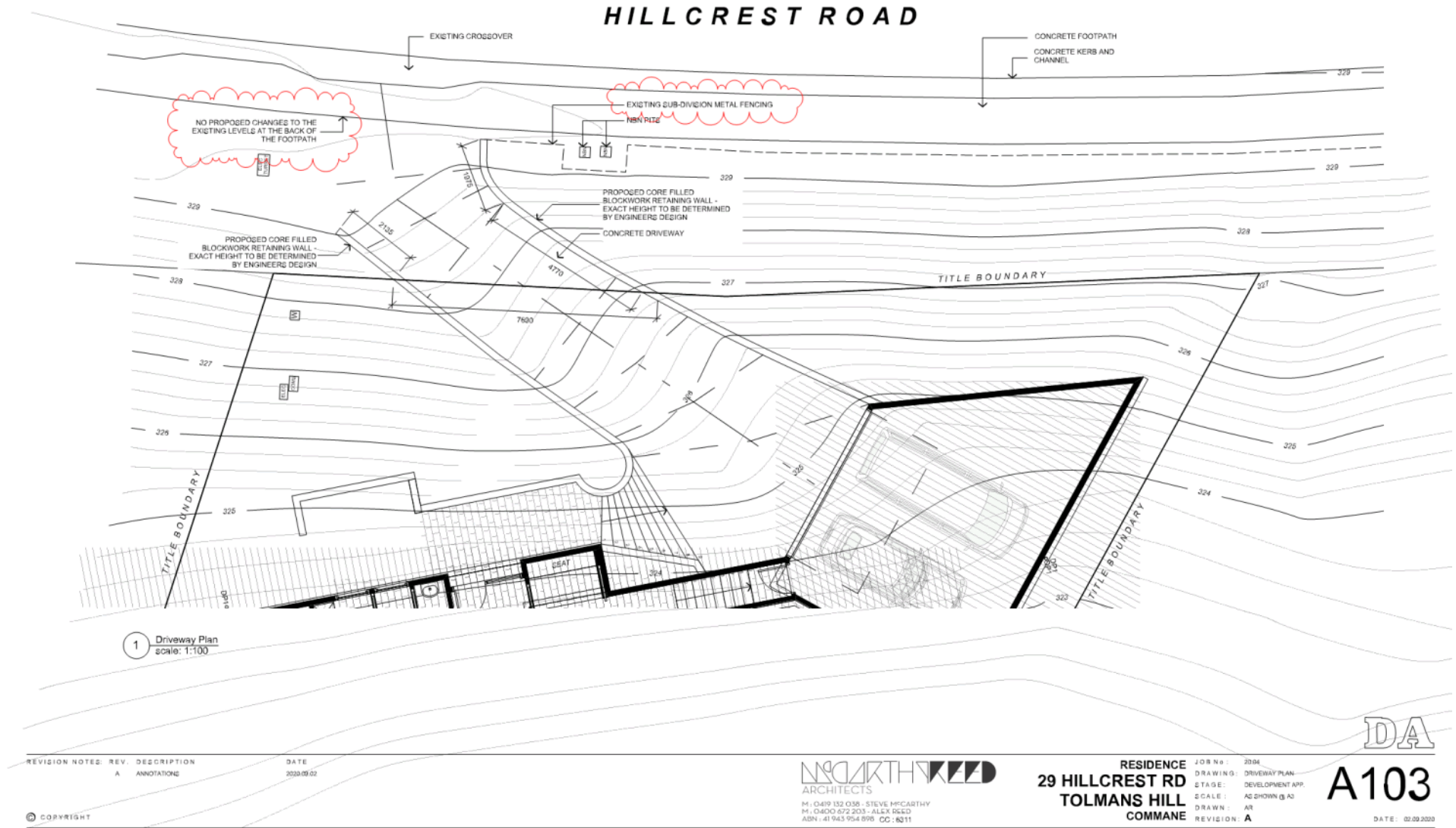


(N D Heath)

GENERAL MANAGER

Relevant documents/plans:

Plans - McCarthy Reed Architects Pty Ltd - A103 Rev. A



**RESULT OF SEARCH**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



SEARCH OF TORRENS TITLE

VOLUME	FOLIO
178129	38
EDITION	DATE OF ISSUE
2	05-Aug-2020

SEARCH DATE : 07-Aug-2020

SEARCH TIME : 03.01 PM

DESCRIPTION OF LAND

City of HOBART

Lot 38 on Sealed Plan 178129

Derivation : Part of 633 Acres Gtd. to Robert Lathrop Murray

Prior CT 176607/1

SCHEDULE 1

M826032 TRANSFER to PRIYA DARSHNI COMMANE Registered
05-Aug-2020 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP178129 COVENANTS in Schedule of Easements

SP178129 FENCING PROVISION in Schedule of Easements

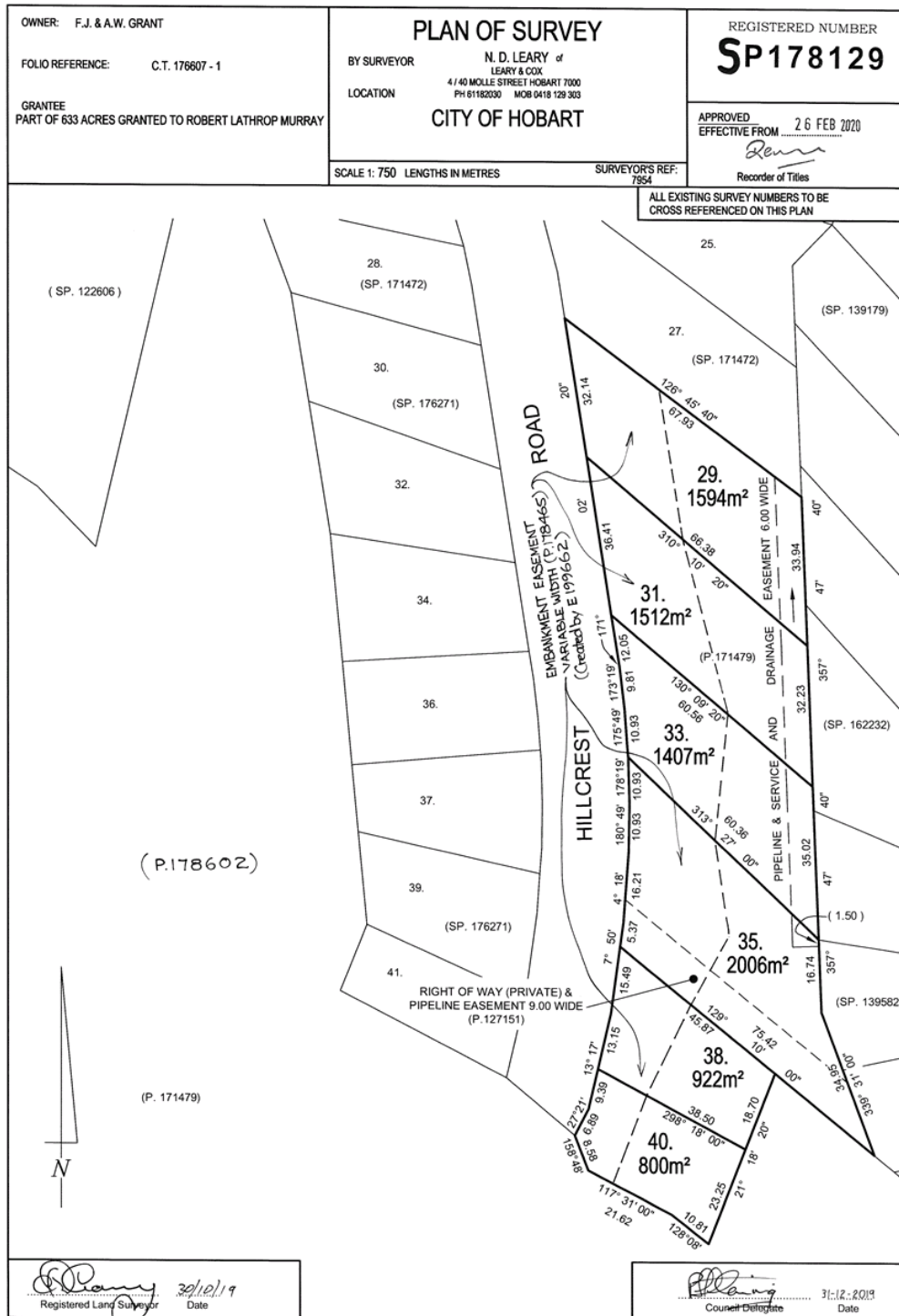
E199662 BURDENING EASEMENT: an embankment easement in favour
of Hobart City Council over the land marked
Embankment Easement variable width (P178465) on
Sealed Plan 178129 Registered 26-Feb-2020 at 12.03
PM

E200554 AGREEMENT pursuant to Section 78 of the Land Use
Planning and Approvals Act 1993 Registered
26-Feb-2020 at 12.02 PM

E227814 MORTGAGE to MyState Bank Limited Registered
05-Aug-2020 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

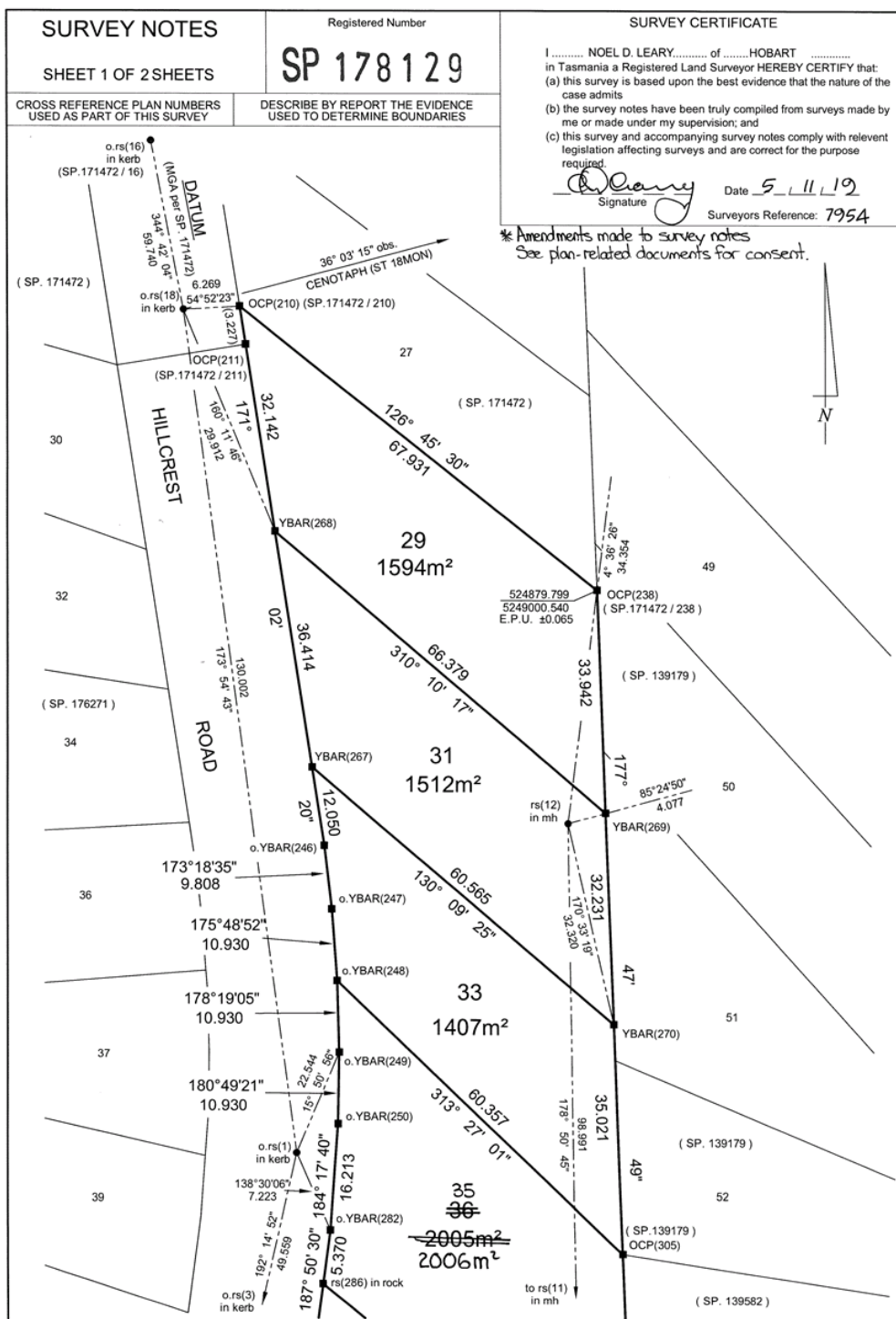
No unregistered dealings or other notations



SURVEY NOTES

RECORDED OF TITLES

Issued Pursuant to the Land Titles Act 1980

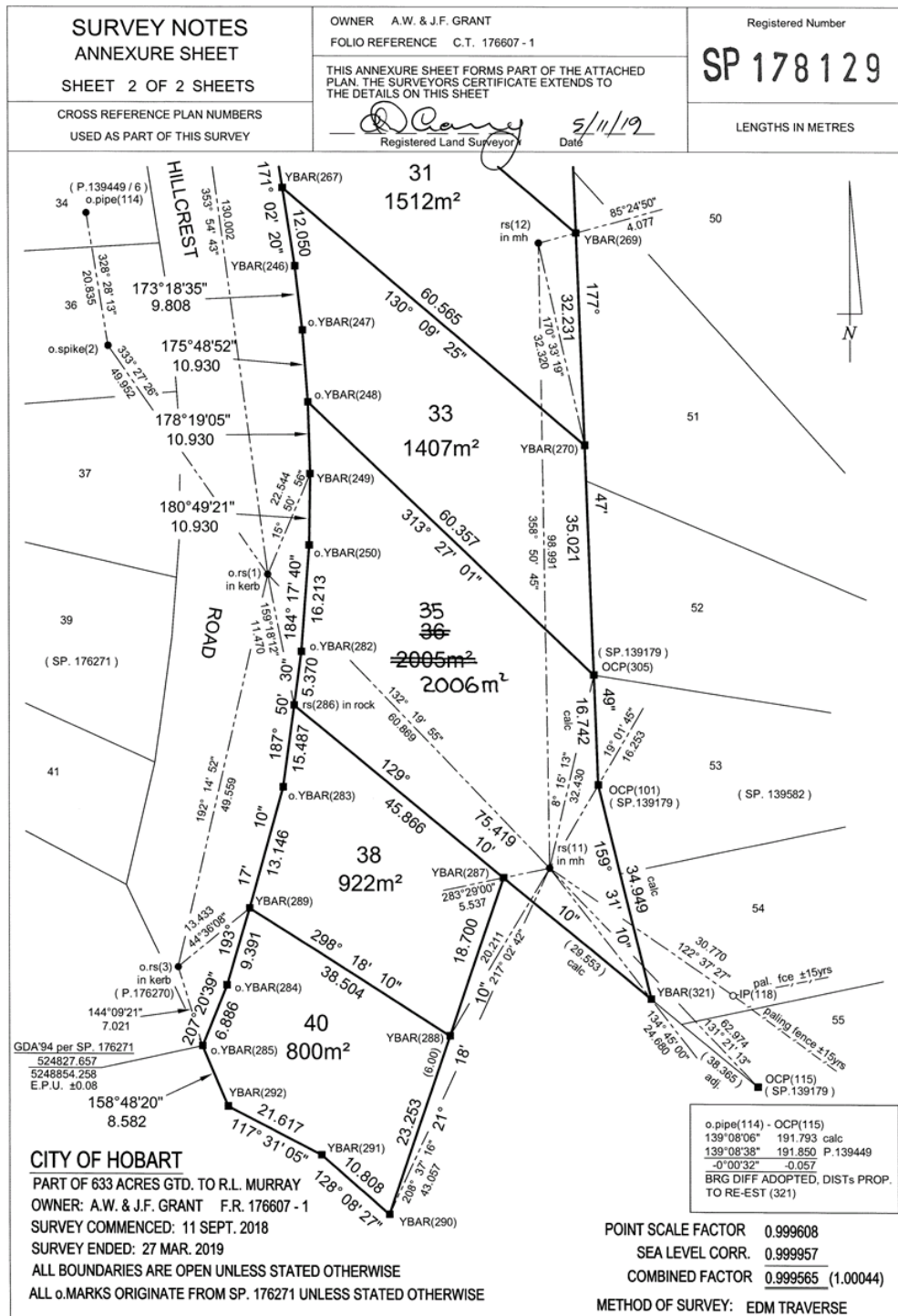




SURVEY NOTES

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



**RESULT OF URDS SEARCH**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980UNREGISTERED AND RECENTLY REGISTERED DEALINGS REPORT

SEARCH DATE : 07-Aug-2020

SEARCH TIME : 03:01 pm

CT: 178129/38

<u>Lodge Date</u>	<u>Type</u>	<u>DealingNo</u>	<u>Reg Date</u>
21-Jul-2020	P/D/MORTG	E227813	05-Aug-2020
21-Jul-2020	MORTGAGE	E227814	05-Aug-2020
21-Jul-2020	TRANSFER	M826032	05-Aug-2020

Search covers any dealings registered in the last 90 days and any dealings yet to be registered.

**SCHEDULE OF EASEMENTS**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 178129

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the storm water and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the storm water and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.
- (3) a right of drainage over the Drainage Easements shown on the plan in favour of the Hobart City Council and Tasmanian Water and Sewerage Corporation (Southern Region) Pty Ltd

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Lot 29 is

SUBJECT TO a Pipeline and Services Easement in gross (as herein defined) in favour of Tas Water over the Pipeline and Service and Drainage Easement 6.00 wide shown on the Plan passing through that Lot on the Plan.

SUBJECT TO a Right of Drainage in favour of the Hobart City Council over the Pipeline and Service and Drainage Easement 6.00 wide shown on the Plan passing through that Lot on the Plan.

Lot 31 is

SUBJECT TO a Pipeline and Services Easement in gross (as herein defined) in favour of Tas Water over the Pipeline and Service and Drainage Easement 6.00 wide shown on the Plan passing through that Lot on the Plan.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Frederick James Grant and Annabelle Wendy Allison Grant FOLIO REF: Certificate of Title volume 176607/1 SOLICITOR & REFERENCE: Murdoch Clarke (RJB:1503427)	PLAN SEALED BY: Hobart City Council DATE: 31.12.2019 00761-05 & STR-19-70 REF NO.
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

**SCHEDULE OF EASEMENTS**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 7 PAGES	Registered Number SP 178 1 29
SUBDIVIDER: Frederick James Grant and Annabelle Wendy Allison Grant FOLIO REFERENCE: Certificate of Title Volume 176607 / Folio 1	

SUBJECT TO a Right of Drainage in favour of the Hobart City Council over the Pipeline and Service and Drainage Easement 6.00 wide shown on the Plan passing through that Lot on the Plan.

Lot 33 is

SUBJECT TO a Pipeline and Services Easement in gross (as herein defined) in favour of Tas Water over the Pipeline and Service Easement and Drainage Easement 6.00 wide shown on the Plan passing through that Lot on the Plan.

SUBJECT TO a Right of Drainage for the Hobart City Council over the Pipeline and Service Easement and Drainage Easement 6.00 wide shown on the Plan passing through that Lot on the Plan.

Lot 35 is

SUBJECT TO a Pipeline and Service Easement in gross (as herein defined) in favour of Tas Water over the Pipeline and Service and Drainage Easement 6.00 wide and Right of Way (Private) and Pipeline Easement 9.00 wide (P127151) shown on the Plan passing through that Lot on the Plan.

SUBJECT TO a Right of Drainage in favour of the Hobart City Council over the Right of Way (Private) and ~~over the~~ Pipeline Easement 9.00 wide (P127151) and Pipeline and Service and Drainage Easement 6.00 wide shown on the Plan passing through that Lot on the Plan.

Signed:

(Frederick James Grant)

(Annabelle Wendy Allison Grant)

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

**SCHEDULE OF EASEMENTS**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 7 PAGES	Registered Number SP 178 129
SUBDIVIDER: Frederick James Grant and Annabelle Wendy Allison Grant FOLIO REFERENCE: Certificate of Title Volume 176607 / Folio 1	

SUBJECT TO a Pipeline Easement (appurtenant to Lot 105 on the Sealed Plan 122606) over the
 (PRIVATE)
 Right of Way and Pipeline Easement 9.00 wide on Plan 176607 shown on the Plan more fully defined
 in Sealed Plan 122606.

SUBJECT TO a Right of Carriageway (appurtenant to Lot 105 on Sealed Plan 122606) over the
 Right of Way (Private) and Pipeline Easement 9.00 wide as shown on the Plan.

Lot 38 is

Lot 40 is

COVENANTS

The owners of each Lot on the Plan covenant with the Vendors (Frederick James Grant and Annabelle Wendy Allison Grant) and the owners for the time being of every other lot shown on the plan to the intent that the burden of this covenant may run with and bind the covenantors lot and every part thereof and that the benefit thereof shall be annexed to and devolved with each and every other lot shown on the plan to observe the following stipulation:

- (a) Not to subdivide the lot without the consent of the Vendors and their successors and assigns.

FENCING COVENANT PROVISION

In respect of each lot shown on the plan the Vendors (Frederick James Grant and Annabelle Wendy Allison Grant) shall not be required to fence.

Signed:


 (Frederick James Grant)


 (Annabelle Wendy Allison Grant)

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**SCHEDULE OF EASEMENTS**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 7 PAGES	Registered Number SP 178 1 29
SUBDIVIDER: Frederick James Grant and Annabelle Wendy Allison Grant FOLIO REFERENCE: Certificate of Title Volume 176607 / Folio 1	

INTERPRETATION

"TasWater" means Tasmanian Water and Sewerage Corporation Pty Ltd and its successors and assigns.

"Pipeline and Services Easement in gross" is defined as follows:-

THE FULL RIGHT AND LIBERTY for the Transferee at all times to:

- (1) enter and remain upon the Land which is subject to the easement ("Easement Land") with or without employees, contractors, agents and all other persons duly authorised by it and with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse and repair the Infrastructure;
- (4) remove and replace the Infrastructure;
- (5) run and pass sewage, water and electricity through and along the Infrastructure;
- (6) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (1) without doing unnecessary damage to the Easement Land; and
 - (2) leaving the Easement Land in a clean and tidy condition; and
- (7) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and all other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any then existing vehicle entry and cross the Lot to the Easement Land; and

Signed:

(Frederick James Grant)

(Annabelle Wendy Allison Grant)

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**SCHEDULE OF EASEMENTS**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 5 OF 7 PAGES	Registered Number SP 178 129
SUBDIVIDER: Frederick James Grant and Annabelle Wendy Allison Grant FOLIO REFERENCE: Certificate of Title Volume 176607 / Folio 1	

- (8) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

PROVIDED ALWAYS THAT:

- (1) The registered proprietors of the Lot in the folio of the Register ("the Owner") must not without the written consent of TasWater first had and obtained and only in compliance with any conditions which form the consent:
 - (a) alter, excavate, plough, drill or otherwise penetrate the ground level of the Easement Land;
 - (b) install, erect or plant any building, structure, fence, pit, well, footing, pipeline, paving, tree, shrub or other object on or in the Easement Land;
 - (c) remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land;
 - (d) do any thing which will or might damage or contribute to damage to any of the Infrastructure on or in the Easement Land;
 - (e) in any way prevent or interfere with the proper exercise and benefit of the Easement Land by TasWater or its employees, contractors, agents and all other persons duly authorised by it; or
 - (f) permit or allow any action which the Owner must not do or acquiesce in that action.
- (2) TasWater is not required to fence any part of the Easement Land.
- (3) The Owner may erect a fence across the Easement Land at the boundaries of the Lot.
- (4) The Owner may erect a gate across any part of the Easement Land subject to these conditions:
 - (a) the Owner must provide TasWater with a key to any lock which would prevent the opening of the gate; and

Signed:

 (Frederick James Grant)

 (Annabelle Wendy Allison Grant)

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**SCHEDULE OF EASEMENTS**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 6 OF 7 PAGES	Registered Number SP 178 129
SUBDIVIDER: Frederick James Grant and Annabelle Wendy Allison Grant FOLIO REFERENCE: Certificate of Title Volume 176607 / Folio 1	

- (b) if the Owner does not provide TasWater with that key or the key provided does not fit the lock, TasWater may cut the lock from the gate.
- (5) If the Owner causes damage to any of the Infrastructure, the Owner is liable for the actual cost to TasWater of the repair of the Infrastructure damaged.
- (6) If the Owner fails to comply with any of the preceding conditions, without forfeiting any right of action, damages or otherwise against the Owner, TasWater may:
- (a) reinstate the ground level of the Easement Land; or
 - (b) remove from the Easement Land any building, structure, pit, well, footing, pipeline, paving, tree, shrub or other object; or
 - (c) replace any thing that supported, protected or covered the Infrastructure.

Interpretation:

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) power poles and lines, electrical wires, electrical cables and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land, the Infrastructure or any warnings or restrictions with respect to the Easement Land or the Infrastructure;
- (f) any thing reasonably required to support, protect or cover any of the Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

Signed:

 (Frederick James Grant)

 (Annabelle Wendy Allison Grant)

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**SCHEDULE OF EASEMENTS**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 7 OF 7 PAGES	Registered Number SP 178 129
SUBDIVIDER: Frederick James Grant and Annabelle Wendy Allison Grant FOLIO REFERENCE: Certificate of Title Volume 176607 / Folio 1	

SIGNED by the said **FREDERICK JAMES GRANT** and **ANNABELLE WENDY ALLISON GRANT** as the Registered Proprietors of the land comprised in the Folio of the Register Volume 163562 Folio 1 in the presence of:

) *[Signature]*
) *[Signature]*

WITNESS: *[Signature]*
 FULL NAME: **John Badenach AM.**
 ADDRESS: **Solicitor**
 OCCUPATION: **10 Victoria Street
HOBART TAS 7000**

EXECUTED by **MURDOCH CLARKE MORTGAGE MANAGEMENT LIMITED** ACN 115 958 560 as Responsible Entity of the **MURDOCH CLARKE MORTGAGE FUND** ARSN 093 255 559 by its duly authorised Attorney *[Signature]* pursuant to Power of Attorney registered on 15 January 2018 Registered Number PA109270 having received no notice of the revocation thereof

[Signature]

WITNESS: *[Signature]*
 FULL NAME: **Robert John Badenach AM.**
 ADDRESS: **Solicitor**
 OCCUPATION: **10 Victoria Street
HOBART TAS 7000**

Signed: *[Signature]*
 (Frederick James Grant)

[Signature]
 (Annabelle Wendy Allison Grant)

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

**PLAN-RELATED DOCUMENTS**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980**Hamori, David (DPIPWE)**

From: Kim Spencer <kspencer@learyandcox.com>
Sent: Thursday, 23 January 2020 1:31 PM
To: Hamori, David (DPIPWE)
Subject: Amendments - 7954 Stage 17BC, Survey Notes
Attachments: 7954 17BC Amendments.pdf; 7954 17BC Amendment.pdf

David,
could you make amendments to Survey Notes as discussed on the telephone.
See attachments.

Kim Spencer



UNIT G04 40 MOLLE STREET
HOBART TAS 7000
PH 6118 2030



PLAN-RELATED DOCUMENTS

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



REF. No. 7954

With Compliments



NOEL LEARY 0418 128 303
TIM COX 0408 400 854
MATTHEW LEARY 0437 364 170

PLEASE AMEND SURVEY NOTES

PAGES 1+2 TO THAT SHOWN

ON ATTACHED PDF.

(LOT 36 BECOMES LOT 35 - AREA 2006M²)

THANK YOU

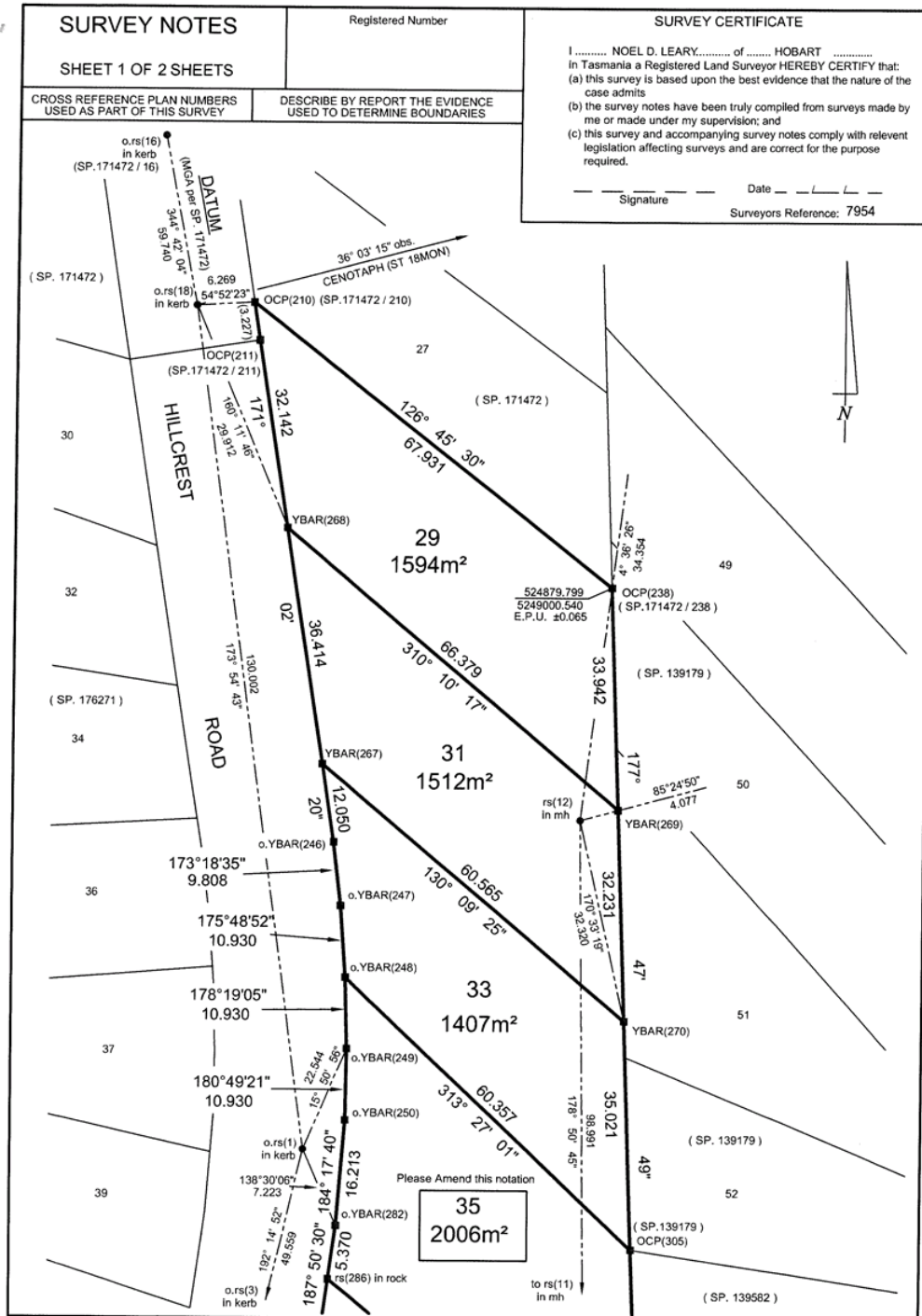
Unit G04, 40 Mollie Street, Hobart TAS 7000 P: 03 6118 2030
E: admin@learyandcox.com ABN: 23 164 511 670



PLAN-RELATED DOCUMENTS

RECORDER OF TITLES

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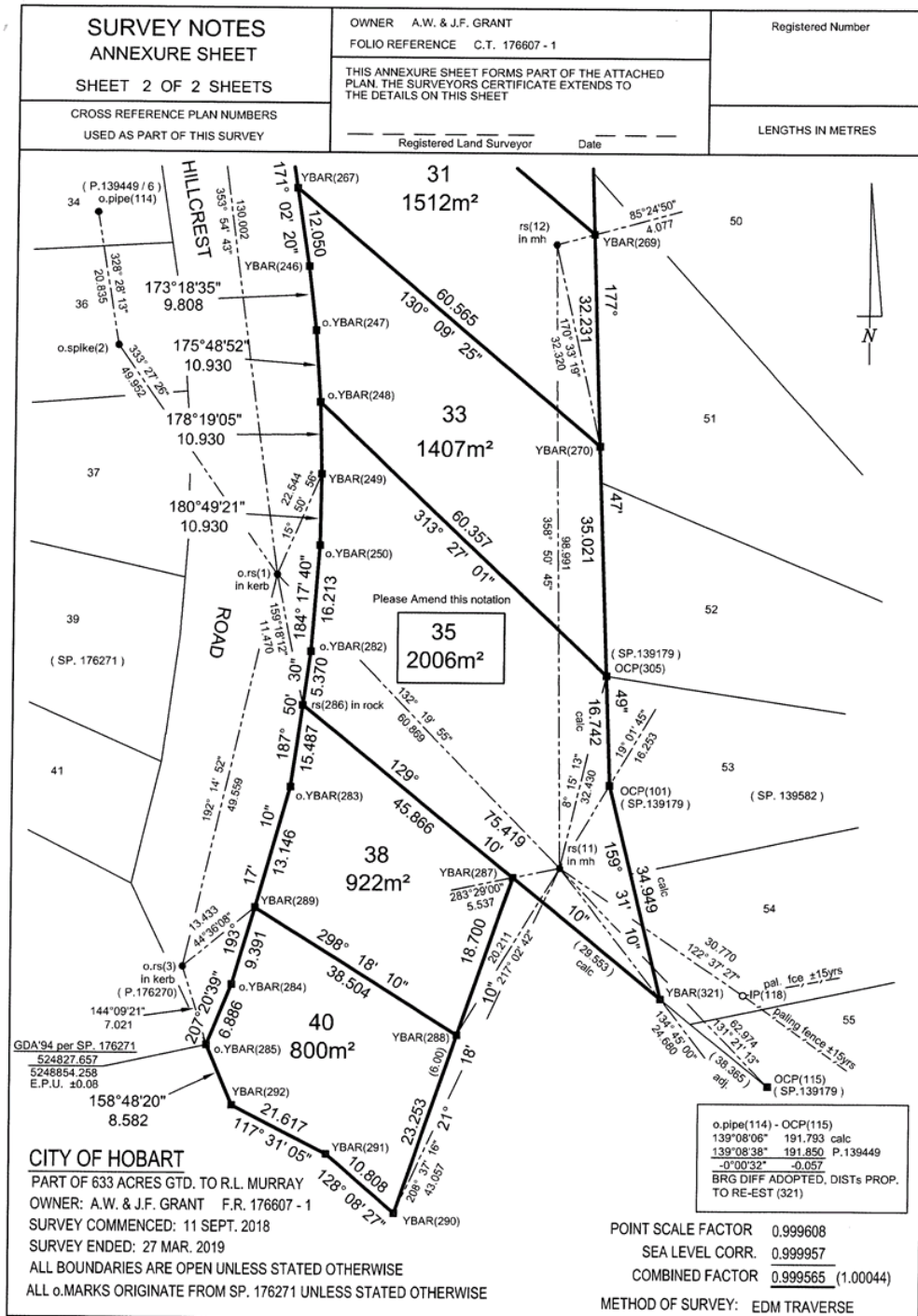




PLAN-RELATED DOCUMENTS

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980





COUNCIL CERTIFICATE

RECORDED OF TITLES

Issued Pursuant to the Land Titles Act 1980



COUNCIL APPROVAL

Registered Number

SP 178129

(Insert any qualification to the permit under section 83(5), section 109 or section 111

of the Local Government (Building & Miscellaneous Provisions) Act 1993

The subdivision shown in this plan is approved

In witness whereof the common seal of THE HOBART CITY COUNCIL

has been affixed, pursuant to a resolution of the Council of the said municipality

passed the 31st day of 2017, in the presence of us
DECEMBER

Member

DIRECTOR CITY PLANNING

Member

General Manager

SURVEYING SERVICES

Council Reference D0761-05 & STR-19-70

NOMINATIONS

For the purpose of section 88 of the Local Government (Building & Miscellaneous Provisions) Act 1993

the owner has nominated

MURDOCH CLARKE

Solicitor to act for the owner

LEARY & COX

Surveyor to act for the owner

OFFICE EXAMINATION:

Indexed

Computed

DH 23/1/20

Examined

DH 23/1/20 *

TASMANIAN LAND TITLES OFFICE
Notification of Agreement
under the
Land Use Planning and
Approvals Act 1993
(Section 71)



E200554

DESCRIPTION OF LAND			
Folio of the Register			
Volume	Folio	Volume	Folio
176607	1		

REGISTERED PROPRIETOR:

FREDERICK JAMES GRANT AND ANNABELLE WENDY ALLISON GRANT of 1122 HUON ROAD NEIKA TAS 7054 in Tasmania

PLANNING AUTHORITY:

HOBART CITY COUNCIL

Dated this 23 day of December 2019

I **KIRSTEN ANNE TURNER**

of **TOWN HALL, MACQUARIE STREET, HOBART IN TASMANIA, SOLICITOR ON BEHALF OF**

the abovenamed Planning Authority, certify that the above particulars are correct and that attached is a certified executed copy of the agreement between the abovenamed parties, notice of which is to be registered against the abovementioned folio of the Register.

The abovenamed Planning Authority holds the original executed Agreement.

Signed
 (on behalf of the Planning Authority)

Land Titles Office Use Only

LUA

Version 1

REGISTERED**26 FEB 2020****RECORDER OF TITLES**

THE BACK OF THIS FORM MUST NOT BE USED

Stamp Duty

I, Kirsten Anne Turner,
solicitor, certify this to be
a true copy of the original.

[Signature] 23/12/2019

Land Use Planning and Approvals Act 1993

This Deed is made on the 20th day of DECEMBER 2019

Between

HOBART CITY COUNCIL of 16 Elizabeth Street, Hobart in Tasmania ("Council")

and

FREDERICK JAMES GRANT and **ANNABELLE WENDY ALLISON GRANT** of 1122 Huon Road, Neika in Tasmania ("Owner")

Recitals:

- A The Owner owns the Land.
- B The Council is the planning authority under the Act.
- C The Council granted the Planning Permit.
- D Condition 20 of the Planning Permit requires, inter alia, building envelopes to be created over the Subject Lots and for the Local Area Plan to be prepared to guide the development of the Subject Lots.
- E Condition 21 of the Planning Permit requires the Owner to enter into this Deed with Council.
- F The parties acknowledge that this Deed is being entered into pursuant to Part 5 of the Act and for the purpose of satisfying Conditions 20 and 21 of the Planning Permit.

Operative Provisions:

1 INTERPRETATION

1.1 Definitions

In this Deed unless the contrary intention appears:

Act means Land Use Planning and Approvals Act 1993.

Building Envelope Plan means the Building Envelope Plan contained in Appendix A of the Local Area Plan.

Land means the land known as 6 Woodcutters Road, Tolmans Hill in Tasmania more particularly described in Certificate of Title Volume 176607 Folio 1.

Local Area Plan means the Tolmans Hill Local Area Plan Stage 17BC dated December 2019 which includes the Building Envelope Plan, a copy of which Local Area Plan is attached to this Deed and marked "B".

Owner means the person or persons specified in this Deed and include the person or persons from time to time registered or entitled to be registered by the Recorder of Titles as proprietor

or proprietors of an estate in fee simple in the Land or any part of the Land and include a mortgagee in possession.

Planning Permit means the consolidated planning permit dated 5 August 2010 issued by Council in respect to Application No: 761.05 a copy of which is annexed to this Deed and marked "A".

Subject Lots mean lots 29, 31, 33, 35, 38, and 40 as shown on the Building Envelope Plan.

1.2 Interpretation

In this Deed except to the extent that the context otherwise specifies:

- (a) any term defined in any statement of the names and descriptions of the parties has the meaning there defined;
- (b) reference to any legislation or any provision of any legislation includes any modification or re-enactment of the legislation or any legislative provision substituted for, and all legislation and statutory instruments and regulations issued under the legislation;
- (c) words denoting the singular include the plural and vice versa;
- (d) words denoting individuals or persons include bodies corporate and trusts and vice versa;
- (e) words denoting any gender include all genders;
- (f) headings are for convenience only and do not affect interpretation;
- (g) reference to a clause, paragraph or schedule is a reference to a clause, paragraph or schedule of this Deed;
- (h) reference to any document or agreement includes reference to that document or agreement as amended, novated, supplemented, varied or replaced from time to time;
- (i) where any word or phrase is given a definite meaning in this Deed any part of speech or other grammatical form of that word or phrase has a corresponding meaning;
- (j) reference to a time and date in connection with the performance of an obligation by a party is a reference to the time and date in Hobart, Australia, even if the obligation is performed elsewhere; and
- (k) any agreement on the part of or in favour of two or more persons binds or is for the benefit of them jointly and severally.

2 RECITALS

The Recitals to this Deed form part of this Deed and each party confirms to the other that the recitals are true and correct.

3 COVENANTS

In consideration of Council granting the Planning Permit to the Owner, the Owner hereby covenants with the Council to ensure compliance with the requirements of the Local Area Plan in respect to each of the Subject Lots.

4 REGISTRATION OF DEED

- (a) This Deed is being entered into pursuant to Part 5 of the Act;
- (b) Council may register this Deed against the title to the Land;
- (c) The effect of the registration of this Deed pursuant to the preceding sub-clause of this Deed will be that the burden and benefit of any covenant contained in this Deed will run with the Land as if it were a covenant to which section 102 (2) of the Land Titles Act 1980 applies; and
- (d) This Deed is enforceable between the parties to it, and any person deriving title under any such party, its successors, transferees and permitted assigns, and the registered proprietor or proprietors of the Land from time to time.

5 COMMENCEMENT AND DURATION OF AGREEMENT

This Deed shall commence on the date of this Deed and shall continue in full effect until terminated either on the happening of any event specified in this Deed, pursuant to a provision of the Act or by the mutual agreement of the parties.

6 REGISTRATION & COSTS

The Owner agrees that the Owner must bear the costs and disbursements associated with the preparation, negotiation and registration of this Deed including any costs or disbursements incurred or to be incurred by the Council.

7 GOVERNING LAW

- (a) This Deed is governed by the laws of Tasmania.
- (b) Each of the parties irrevocably submits to the jurisdiction to the courts of Tasmania.

8 NOTICES

Any notice under this Deed may be served by delivering, either personally or by registered mail, to the parties.

Executed as a Deed.

The Common Seal of the Hobart City Council was hereunto affixed in the presence of:



[Signature]
Deputy General Manager/Director
Corporate Services

[Signature]
Manager Legal & Governance

Signed by
ANNABELLE WENDY ALLISON GRANT
in the presence of:

) *[Signature]*
)

WITNESS SIGN:

FULL NAME:

ADDRESS:

Robert John Badenach AM.

Solicitor

10 Victoria Street

HOBART TAS 7000

Signed by **FREDERICK JAMES GRANT**
in the presence of:

) *[Signature]*
)

WITNESS SIGN:

FULL NAME:

ADDRESS:


Robert John Badenach AM.


Solicitor

10 Victoria Street

HOBART TAS 7000

Murdoch Clarke Mortgage Management Limited as mortgagee under mortgages C349486 and D30439 hereby consents to this Deed as evidenced by its execution hereunder in the presence of:

Executed by Murdoch Clarke 
Mortgage Management Limited
ACN 115 958 560 as Responsible
Entity for the Murdoch
Clarke Mortgage Fund
ARSN 093 255 559
by its duly authorised
Attorney Benjamin Scott Scrain
Pursuant to Power of Attorney
Registered Number PA109270
having received no notice
of the revocation thereof;
in the presence of;


Luke Nicholas Golding
Solicitor
10 Victoria Street, Hobart 7000

Annexure A – Planning Permit

Annexure B – Local Area Plan

Annexure A – Planning Permit

8. REPORTS

8.1 Tasmanian Planning Scheme - Draft Local Provisions Schedule - Additional Inclusions File Ref: F20/134820

Report of the Development Planner and the Director city Planning of 27 January 2021 and attachments.

Delegation: Council

REPORT TITLE: TASMANIAN PLANNING SCHEME - DRAFT LOCAL PROVISIONS SCHEDULE - ADDITIONAL INCLUSIONS

REPORT PROVIDED BY: Development Planner
Director City Planning

1. Report Purpose and Community Benefit

- 1.1. The purpose of this report is to seek Council's endorsements of some changes to the draft *Hobart Local Provisions Schedule* (LPS), which was endorsed on 18 February 2019 and was submitted to the Tasmanian Planning Commission (TPC) for assessment in May 2019.
- 1.2. The proposal benefits the community by encouraging the fair and orderly use and development of land.

2. Report Summary

- 2.1. This report seeks the Council's endorsement of some changes to the draft *Hobart Local Provisions Schedule* (LPS), which was endorsed on 18 February 2019 and submitted to the TPC for assessment in May 2019.
- 2.2. The TPC submitted a number of requests for clarification following a 'Post-Lodgement Conference' held between Council and TPC officers.
- 2.3. As per the resolution of Council on 18 February 2019, the Director City Planning has delegation to approve changes that arise from directions of the TPC.
- 2.4. The subject of this report are a number of changes that were not made in response to matters raised by the TPC. The changes include:
 - 2.4.1. Updated flood mapping to inform the application of the Flood-Prone Areas Hazard Code;
 - 2.4.2. Inclusion of additional significant trees that were approved for inclusion in the *Hobart Interim Planning Scheme 2015* (HIPS) in March 2020;
 - 2.4.3. An extension to the Golf Links Estate Heritage Precinct to include the Southern side of Alexander Street;
 - 2.4.4. Minor zoning changes to better reflect the existing use or conditions of land at 24 Gregson Avenue, adjacent to 516 Sandy Bay Road, and along Sandy Bay Rivulet.
- 2.5. It is recommended that the proposed changes to the LPS are endorsed by Council.

3. Recommendation

That:

- 1. Council resolves that it is satisfied that the changes to the draft Hobart Local Provisions Schedule (Attachments A to G) meets the Local Provisions Schedule criteria prescribed in Section 34 of the Land Use Planning and Approvals Act 1993.***
- 2. Council endorses the changes to the draft Hobart Local Provisions Schedule for submission to the Tasmanian Planning Commission under Section 35(1) of the Land Use Planning and Approvals Act 1993.***
- 3. Council endorses the notification of individual property owners affected by the extent of the Flood Prone Areas Hazard Code overlay when the draft Hobart Local Provisions Schedule is exhibited.***

4. Background

- 4.1. In 2015, the Tasmanian Government amended the *Land Use Planning and Approvals Act 1993* (LUPAA) to introduce a single state-wide planning scheme. The Tasmanian Planning Scheme is made up of two parts: the State Planning Provisions (SPPs) and the Local Provisions Schedule (LPS), as shown in the figure below:

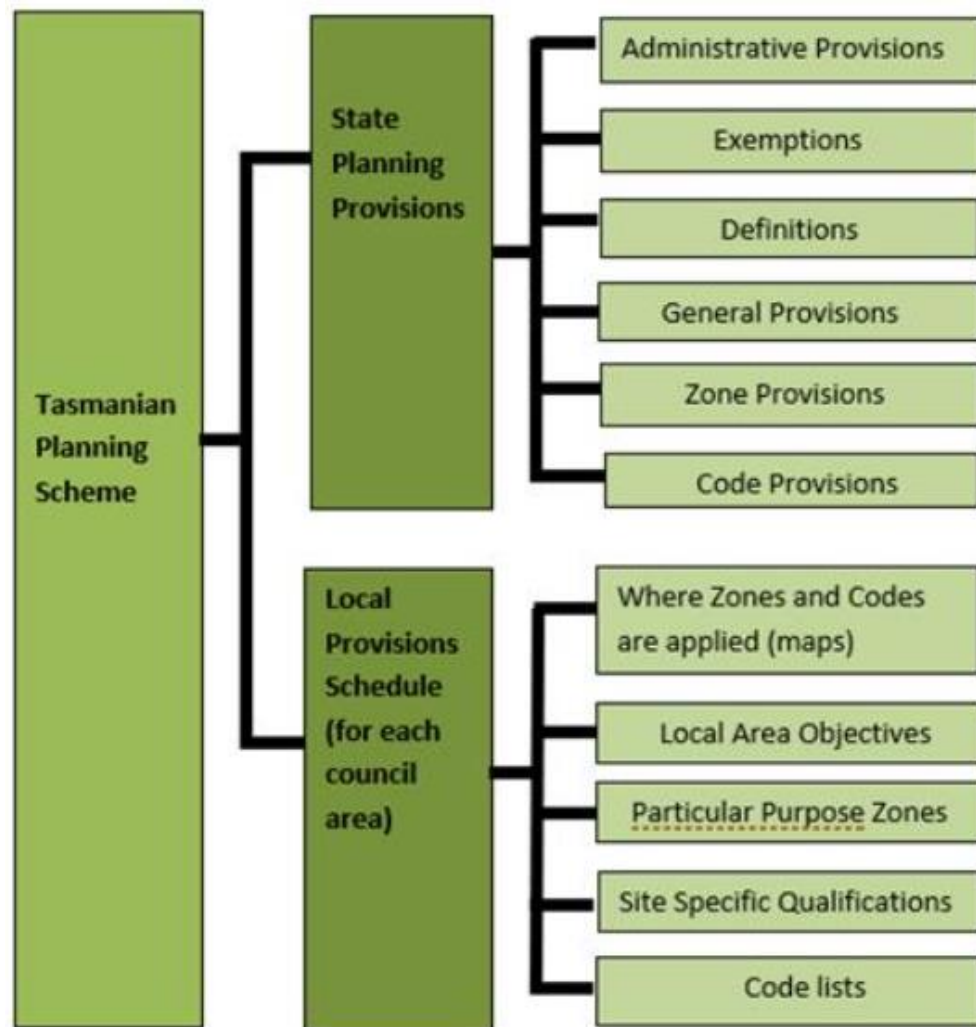


Figure 1: Components of the Tasmanian Planning Scheme

- 4.2. The SPPs were declared by the Minister for Planning on 22 February 2017 following public consultation. The SPPs are available here: https://planningreform.tas.gov.au/_data/assets/pdf_file/0004/559759/State-Planning-Provisions-last-updated-draft-amendment-01-2018-effective-19-February-2020.PDF
- 4.3. The draft Hobart Local Provisions Schedule was subsequently prepared and submitted to the TPC in May following endorsement at the Council meeting of 18 February 2019.
- 4.4. A 'post-lodgement conference' was held between Council and TPC officers on 14 November 2019. A number of queries and suggestions

for amendments to the LPS was submitted to Council by the TPC following this conference.

- 4.5. As per the Council resolution of 18 February 2019, the Director City Planning has delegation to modify the draft LPS in relation to a direction received from the TPC under Section 35(5)(b) of LUPAA.
- 4.6. A number of changes have been made to the LPS in response to numerous issues raised by the TPC, and therefore it is considered that the Director City Planning has delegation to approve those modifications.
- 4.7. The changes that are the subject of this report were not made in response to issues raised by the TPC. As the Director City Planning does not expressly have delegation to approve these modifications, Council endorsement is sought.

5. Proposal and Implementation

- 5.1. It is proposed that Council endorse some additional inclusions into the draft LPS (see **Attachments A to G**), for submission to the TPC under Section 35(1) of LUPAA.
- 5.2. Section 34(2) of LUPAA requires an LPS to:
 - 5.2.1. Contain all the provisions specified by the SPPs;
 - 5.2.2. Be in accordance with section 32 of LUPAA (which outlines how the LPS is constructed);
 - 5.2.3. Further the objectives set out in Schedule 1 of LUPAA;
 - 5.2.4. Be consistent with each State policy;
 - 5.2.5. Be consistent with the relevant Regional Land Use Strategy;
 - 5.2.6. Be consistent with Council's strategic plan;
 - 5.2.7. Be consistent with, as far as practicable, the LPS provisions of neighbouring Councils, and
 - 5.2.8. Have regard to the safety requirements set out in the standards prescribed under the *Gas Pipelines Act 2000*.
- 5.3. In preparing and submitting its LPS, Council must demonstrate that the LPS complies with the requirements of LUPAA. The Council must determine the most appropriate zones to apply to land from the list of available zones in the SPPs and where to apply relevant codes.
- 5.4. The additional inclusions into the endorsed LPS relate to the following:
 - 5.4.1. Updated mapping for the Flood Prone Areas Code;

- 5.4.2. Insertion of the new Significant Trees that were included in the *Hobart Interim Planning Scheme 2015* (HIPS) as part of Amendment PSA-19-3;
 - 5.4.3. Extension of the Golf Links Estate Heritage Precinct (HOB-C6.2.9.9);
 - 5.4.4. Rezoning of 24 Gregson Avenue
 - 5.4.5. Rezoning of land adjacent to 516 Sandy Bay Road
 - 5.4.6. Rezoning of a section of Sandy Bay Rivulet.
- 5.5. Each of these inclusions is considered in more detail as follows:

Flood mapping

- 5.6. New flood mapping, developed through hydrological modelling, has recently been produced to reflect '1 in 100 year' flood risk of all its urban catchments, including modelling of the impact of overland flow during high rainfall events.
- 5.7. Previously, modelling has only included major rivulets (New Town, Sandy Bay and Hobart Rivulets), and this is what the application of the Flood Prone Areas Hazard Code under the previously endorsed LPS was based on.
- 5.8. At its meeting of 25 November 2020, the City Infrastructure Committee considered the updated flood mapping, and resolved that the information be made accessible to the public via the City's website, and that the information be promoted and shared at local community meetings. As such, this mapping is now publicly available.
- 5.9. The updated mapping is proposed to be used as an overlay in the LPS representing flood-prone areas which will be subject to the Flood-Prone Areas Hazard Code under the Tasmanian Planning Scheme (see **Attachment A** for a representation of the overlay).
- 5.10. It is proposed that landowners affected by this overlay should be notified of the change when the draft LPS is publicly exhibited, as the extent of the overlay has changed significantly compared to the HIPS.

Significant trees

- 5.11. At its meeting of 5 August 2019, Council resolved to initiate an amendment to the HIPS to insert new trees and hedges into the Significant Tree Code. 77 new listings for trees or hedges were approved for listing by the Tasmanian Planning Commission on 25 March 2020.
- 5.12. The additional trees inserted into the Significant Tree List of the HIPS will not automatically 'transition' into the LPS Significant Tree List, as

they do not meet the criteria of LUPAA in respect of amendments to an interim scheme that may transition into an LPS under Schedule 6 of the Savings and Transitional Provisions. Therefore, it is proposed that the additional listings be inserted into the draft LPS prior to exhibition of the LPS.

- 5.13. Extensive consultation took place during the amendment process to include the 77 new listings, which included both informal and statutory consultation with landowners and neighbours.
- 5.14. The final Council recommendation following statutory exhibition of the amendment was that trees should not be listed if the landowner objected. As such, none of the 77 finally approved listings were objected to by the landowner.
- 5.15. It is appropriate that these trees are included in the LPS given the extensive assessment and consultation that was undertaken through the amendment process. See **Attachment B** for the final full LPS Significant Tree list, highlighting the 77 inclusions.
- 5.16. The Significant Tree list in **Attachment B** also identifies 3 corrections in the Significant Tree list relating to:
 - 5.16.1. Inclusion of additional title references in listing HOB-C6.5.27 (hedge in Cedar Court, Mawhera Avenue and Maning Avenue), and removal of a cross-reference relating to this listing;
 - 5.16.2. Correction of species name in listing HOB-C6.5.185 (listed in the HIPS as a blue gum, but upon revision it has been identified as a white gum);
 - 5.16.3. Correction of species name in listing HOB-C6.5.197 (one of the two trees listed in the HIPS as an English elm, but upon revision it has been identified as a white gum).

Heritage Precinct extension

- 5.17. Heritage Precinct HOB-C6.2.9.9 (Golf Links Estate – Sandy Bay) covers the section of Sandy Bay bounded by Proctors Road, Lord Street, Grace Street and Alexander Street (see Figure 2 below):

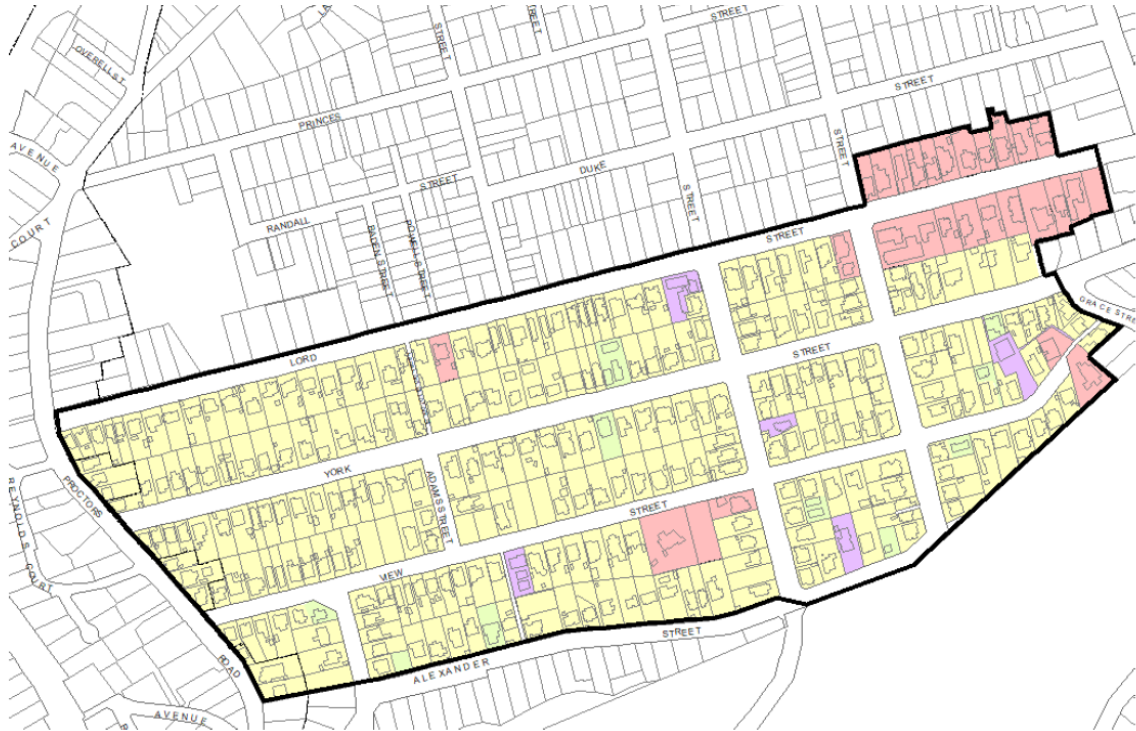


Figure 2: Extent of Heritage Precinct HOB-C6.2.9.9 (Golf Links Estate – Sandy Bay), as per the previously endorsed LPS. The colours represent whether or not a place contributes to the heritage values of the precinct (pink: heritage listed; yellow: contributory; green: neutral; purple: non-contributory).

- 5.18. The precinct includes properties on the Northern side of Alexander Street, but not the Southern side.
- 5.19. At its meeting of 16 September 2019, the City Planning Committee considered development application PLN-19-366, which proposed demolition and two multiple dwellings at 66 Alexander Street. The application was recommended to be refused by Committee and was subsequently refused at the Council meeting of 23 September 2019 (although it was later approved by the Resource Management and Planning Appeal Tribunal after agreement between the parties).
- 5.20. Part of the City Planning Committee resolution following consideration of this development application was as follows:

That a report be provided on the merits of undertaking a review of the southern side of Alexander Street, Sandy Bay for inclusion in the heritage precinct.
- 5.21. A response to this resolution has been prepared by Council's Heritage Officer (see **Attachment C**)
- 5.22. In summary, this response concludes that:
 - 5.22.1. The current boundary of the precinct aligns with the original Golf Links Estate subdivision (from around 1915);

- 5.22.2. Research indicates the Golf Links Estate was extended to the southern side of Alexander Street between 1923-1928;
 - 5.22.3. Houses on both sides of Alexander Street were constructed within a similar time period (1923-1927);
 - 5.22.4. While houses on the southern side appear to be of a more modest size on smaller blocks, both feature similar residential styles, are primarily single storey, and are positioned to face the street;
 - 5.22.5. Housing styles are primarily Californian bungalows and simply detailed Inter-War domestic weatherboard residences on both sides of the street;
 - 5.22.6. There is considerable merit to having the southern side of Alexander Street incorporated into the precinct, and this should occur as part of the LPS.
- 5.23. It is proposed that the Southern side of Alexander Street be included in Heritage Precinct HOB-C6.2.9.9 (Golf Links Estate), as per Figure 3 Below:

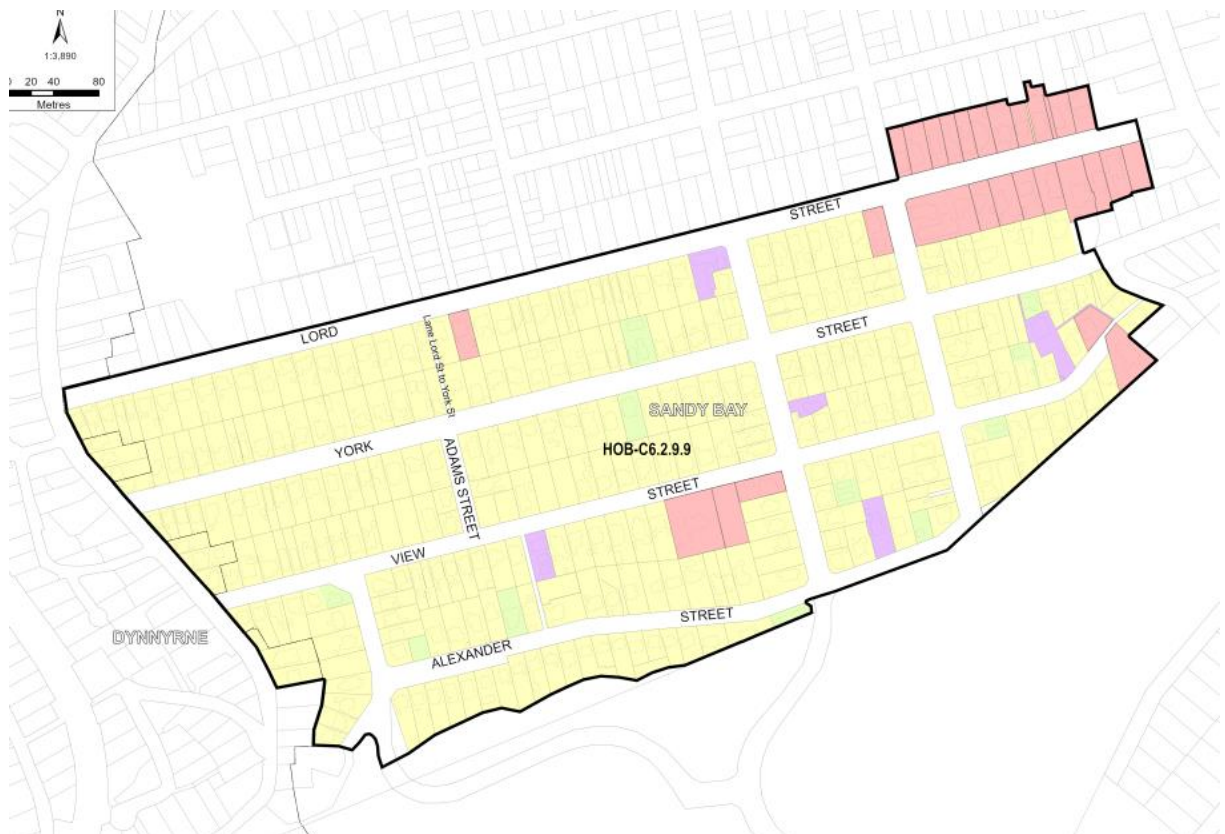


Figure 3: Proposed revised extent of Heritage Precinct HOB-C6.2.9.9 (Golf Links Estate – Sandy Bay). The colours represent whether or not a place contributes to the heritage values of the precinct (pink: heritage listed; yellow: contributory; green: neutral; purple: non-contributory).

- 5.24. Amendments have also been made to the Heritage Precinct datasheet description (**Attachment D**) to reflect the inclusion of the southern side of Alexander Street.

Zoning changes

- 5.25. There are 3 proposed changes to the zoning maps that have not been made in response to issues raised by the TPC. These zoning changes are each detailed below.

24 Gregson Avenue

- 5.26. The zoning of this site under the HIPS is General Residential. This zone was changed to Open Space under the endorsed LPS as the site is adjacent to a wider area of open space at the end of Gregson Avenue and is intended to be transferred to City ownership to connect the existing open space with the neighbouring Brick Works subdivision.
- 5.27. Taking into account its location, access to services and site conditions, this site is considered to be appropriate for potential residential use (while still maintaining linkages to open space) and therefore it is proposed that the zoning be reverted back to General Residential (see **Attachment E**).

Land adjacent to 516 Sandy Bay Road

- 5.28. 516 Sandy Bay Road is a City owned public reserve (Red Chapel Reserve). This area of open space includes a strip of land with no clear address that is used as part of the reserved.
- 5.29. Under the HIPS (and under the endorsed LPS), this area of land is zoned General Residential.
- 5.30. Given the use of the strip of land as part of a public reserve, it is proposed that it be zoned Open Space Zone (see **Attachment F**). The existing zoning appears to be an anomaly.

Sandy Bay Rivulet

- 5.31. The Sandy Bay Rivulet winds through a number of different zones, including residential zones. Currently, the rivulet is individually zoned Open Space, regardless of the surrounding zone.
- 5.32. An issue has been identified, specifically around 4 Regent Street, where the course of the rivulet has in fact changed, and therefore the open space zoning does not reflect the location of the waterway (see Figure 4 below):

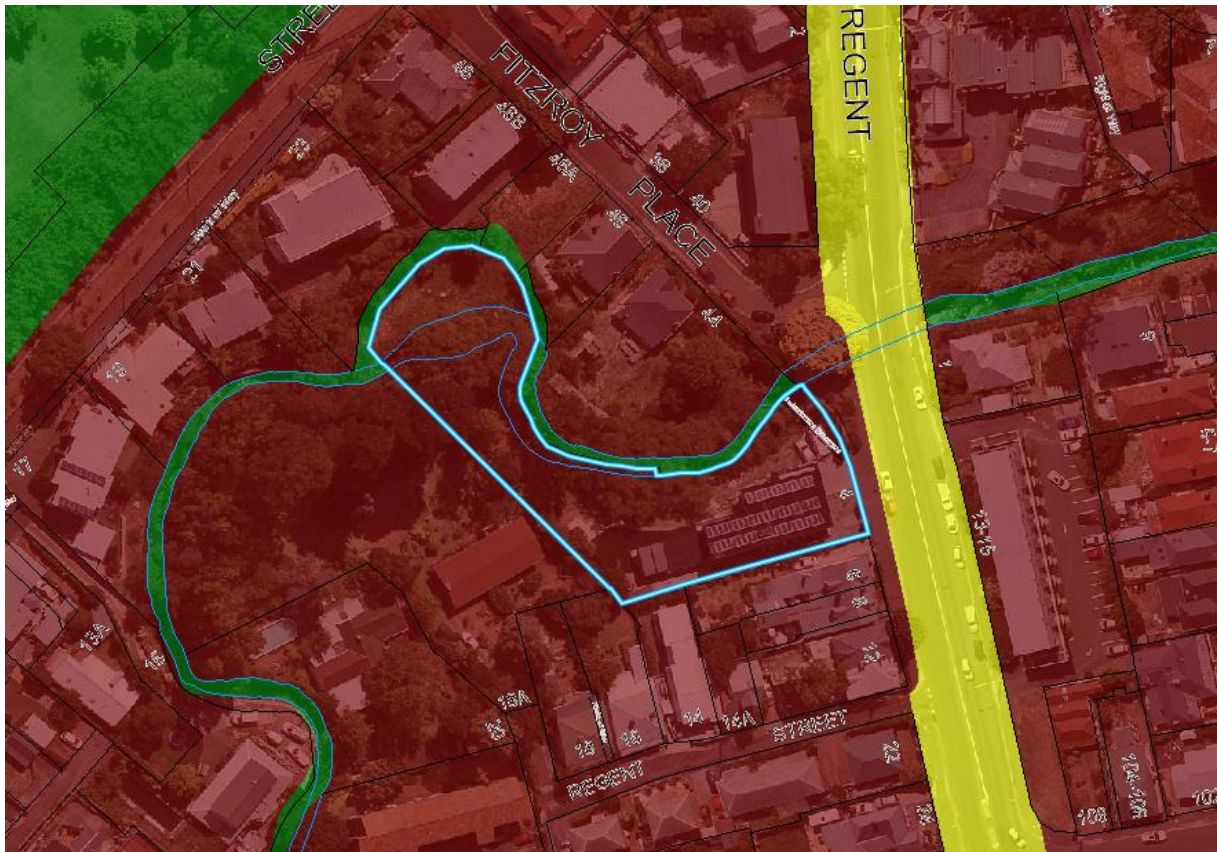


Figure 4: 4 Regent Street (highlighted in light blue), showing original course of Sandy Bay rivulet in green, and current course of Sandy Bay Rivulet outlined in blue.

- 5.33. It is considered appropriate to zone the rivulet in line with the adjoining zone, ensuring that zone amendments are not required if the rivulet changes course again in the future (see **Attachment G**). In some cases, the rivulet is located on privately owned land, which is not available for public recreation, and therefore the Open Space Zone is not the most appropriate zone.
- 5.34. The values of the rivulet will still be protected by the Waterway and Coastal Protection Area under the Natural Assets Code.

6. Strategic Planning and Policy Considerations

- 6.1. The proposed changes to the LPS are consistent with the objectives of the Capital City Strategic Plan 2019-29, in particular the following outcomes:
- 6.1.1. Hobart keeps a strong sense of place and identity, even as the city changes;
- 6.1.2. Hobart's cityscape reflects the heritage, culture and natural environment that make it special;

- 6.1.3. In City decision-making, we consider how different aspects of Hobart life connect and contribute to sense of place;
- 6.1.4. The natural environment is part of the city and biodiversity is preserved, secure and flourishing;
- 6.1.5. Development enhances Hobart's unique identity, human scale and built heritage;
- 6.1.6. Community involvement and an understanding of future needs help guide changes to Hobart's built environment.

7. Financial Implications

7.1. Funding Source and Impact on Current Year Operating Result

- 7.1.1. None.

7.2. Impact on Future Years' Financial Result

- 7.2.1. None.

7.3. Asset Related Implications

- 7.3.1. None.

8. Legal, Risk and Legislative Considerations

- 8.1. The implementation of the SPPs and the LPS will be undertaken in accordance with the process set out under LUPAA.

- 8.2. It is considered that the LPS changes proposed in this report meet Section 34 of LUPAA (which sets out criteria for LPS assessment) as they:

- 8.2.1. Further the Schedule 1 objectives by:

- Not unreasonably compromising natural resources or ecological process, and encourages land to be zoned appropriately and be subject to appropriate overlays;
- Encouraging fair, orderly and sustainable use of land by recognising site characteristics;
- Assisting sound strategic planning by not prejudicing the achievement of STRLUS objectives;
- Consistency with the objective to establish a system of planning instruments to be the principal way of setting objectives, policies and controls for the use, development and protection of land;

- Providing greater responsiveness to address changes in local, environmental, social and economic circumstances;
 - Allowing for efficient use of existing infrastructure and facilities;
 - Considering the provision of a pleasant, efficient and safe environment for residents and visitors to Hobart;
 - Considering the capability of zones and allowable uses that are likely to have minimal land use conflict with surrounding uses.
- 8.2.2. Do not prejudice the achievement of any State Policies. No Agricultural land is affected by the proposed changes. Some areas are covered by the application of the *State Coastal Policy 1996*, such as sites subject to the Flood-Prone Areas Hazard Code, and the land adjacent to 516 Sandy Bay Road which is to be rezoned. These changes reflect the current use or hazards on a site and do not promote further development and therefore they do not conflict with the policy. The objectives of the *State Policy on Water Quality Management 1997* will be furthered through provisions of the Tasmanian Planning Scheme.
- 8.2.3. Are consistent with the Southern Tasmania Regional Land Use Strategy, particularly that the proposed changes:
- Help maintain biodiversity by recognising significant trees (as per Policy BNV 1)
 - Minimise the risk of loss of life and property from flooding by appropriately applying the Flood-Prone Areas Hazard Code (as per Policy MRH 2);
 - Recognise, retain and protect historic cultural heritage values by ensuring the boundaries of the Golf Links Estate Heritage Precinct are appropriate (as per Policy CV 2);
 - Maintain open space that meets the need of the community, specifically in relation to zoning of land adjacent to 516 Sandy Bay Road (as per Policy ROS 1);
 - Maximise the efficiency of existing physical infrastructure by ensuring land is appropriately zoned (as per Policy PI 1)
- 8.2.4. Are in line with the strategic plan, as detailed under section 6 of this report.
- 8.2.5. Are not inconsistent with any LPSs that apply to adjacent municipal areas.

- 8.2.6. Will not have any direct impact on the achievement of the safety requirements set out in the standards prescribed under the *Gas Pipelines Act 2000*.

9. Environmental Considerations

- 9.1. The updated flood mapping reflects new information on environmental hazards, including consideration of climate change impacts.

10. Social and Customer Considerations

- 10.1. The proposal is not considered to have any negative impact on social inclusion.

11. Marketing and Media

- 11.1. There are no marketing or branding implications of this amendment.

12. Community and Stakeholder Engagement

- 12.1. Following assessment by the TPC, the draft LPS will be placed on public exhibition for a 60 day period and members of the public will have the opportunity to make written representations.
- 12.2. The public exhibition process will include media advertising, media releases, a public briefing, drop-in session, dedicated web page and an article in Capital City News (if timing permits).
- 12.3. It is also proposed that individual property owners be notified in relation to the exhibition of the draft LPS where it is considered that the provisions are significantly different to the HIPS provisions. It is proposed that properties that are subject to the updated Flood-Prone Area Hazards Zone overlay will be notified of this change.
- 12.4. It is not considered necessary to conduct a separate consultation process in relation to these limited changes to the endorsed LPS. Each of the changes that are the subject of this report will be subject to public comment during the formal advertising process.
- 12.5. Council will have the ability to reconsider the draft LPS in light of any representations received through the formal advertising process, and make appropriate recommendations to the TPC.

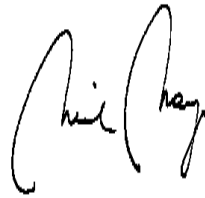
13. Delegation

- 13.1. Delegation rests with Council. It is noted that in relation to editorial modifications to the LPS that are requested or proposed by the TPC under Section 35(5)(b) of LUPAA, the Director City Planning has been granted delegation.

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.










Sarah Crawford
DEVELOPMENT PLANNER

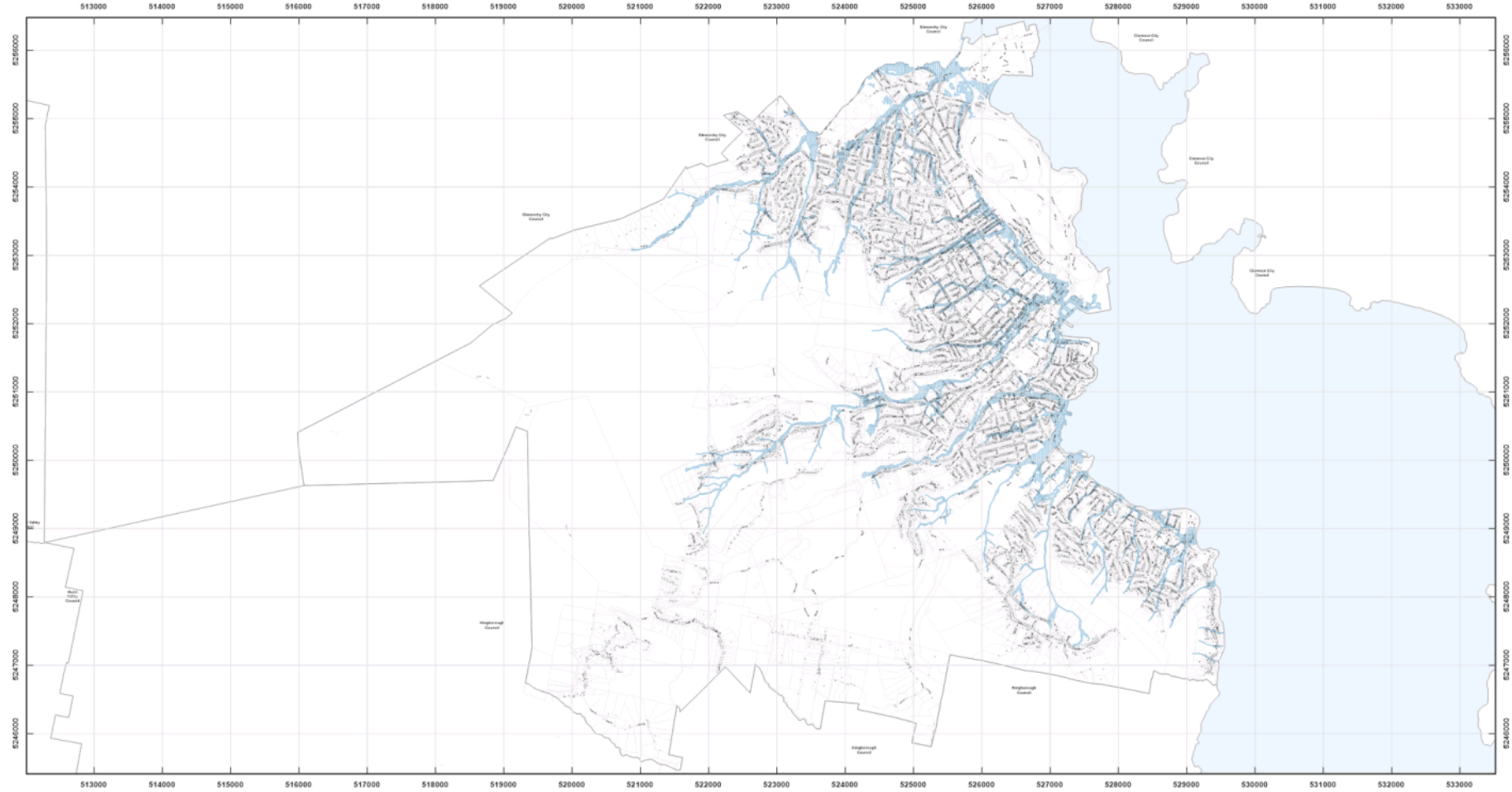


Neil Noye
DIRECTOR CITY PLANNING




Date: 27 January 2021
File Reference: F20/134820

- Attachment A: Flood Prone Areas Hazard Code Overlay ↓ 
- Attachment B: Significant Tree List ↓ 
- Attachment C: Review of Golf Links Estate Heritage Precinct ↓ 
- Attachment D: Updated Datasheet for Heritage Precinct HOB-C6.2.9.9 (Golf Links Estate) ↓ 
- Attachment E: Zoning of 24 Gregson Avenue ↓ 
- Attachment F: Zoning of Land Adjacent to 516 Sandy Bay Road ↓ 
- Attachment G: Zoning of Sandy Bay Rivulet ↓ 

Tasmanian Planning Scheme - Overlays - Hobart Local Provisions Schedule
C12.0 Flood-prone Hazard Areas Code



C12.0 Flood-prone Hazard Areas Code Legend

-  Flood-prone areas
-  Property Parcels
-  LPS Boundary

C12.0 Flood-prone Hazard Areas Code

0 500 1,000 1,500 2,000 2,500
Metres
Coordinate System: GDA 94 MGA Zone 55
Overlay data from Hobart City Council
Base topographic data from the LIST @ State of Tasmania
Land title information current as at 03/04/2019
Disclaimer: Before taking any action based on data shown on this map,
it should first be verified with the relevant council.
Print Date: 19/01/2021



HOB-Table C6.5 Significant Trees

Reference Number	Town/ Locality	Street Number	Street / Location	Folio of the Register	Description / Specific Extent	Botanical Name	Common Name	No. of trees
HOB-C6.5.140	Queens Domain		<u>Aberdeen Street</u>	Not applicable	12 trees on both sides of the street (near intersection with Liverpool Street), adjacent to the Aquatic Centre and University Rose Gardens.	<u><i>Quercus robur</i></u>	<u>English oak</u>	<u>12</u>
HOB-C6.5.1	South Hobart	20	Adelaide Street	62597/1	21 trees along the weld street site boundary.	<i>Cupressus torulosa</i>	Bhutan Cypress	21
HOB-C6.5.2	South Hobart	20	Adelaide Street	62597/1	1 tree adjacent to the centre of the Adelaide Street site boundary.	<i>Cupressus torulosa</i>	Bhutan Cypress	1
HOB-C6.5.3	Hobart / Battery Point		Albuera Street	Not applicable	Albuera Street road reservation adjacent to 96-120 Davey Street at the intersection of	<i>Eucalyptus globulus</i>	Tasmanian Blue Gum	4

					Albuera and Byron Streets.			
HOB-C6.5.4	Battery Point	23	Albuera Street	139638/0; 139638/1, 139638/2, 139638/3 & 139638/4	3 english oak trees along the boundary adjacent to 96-120 Davey Street.	<i>Quercus robur</i>	English Oak	3
HOB-C6.5.141	West Hobart		Allison Street	Not Applicable	5 trees on the median strip of Allison Street	<i>Fraxinus angustifolia</i> subsp. <i>Oxycarpa</i> 'Raywood'	Claret ash	5
HOB-C6.5.142	Mount Stuart		Alt-Na-Craig Avenue	Not Applicable	2 trees adjacent to 23 Auvergne Avenue on Alt-Na-Craig Avenue frontage	<i>Eucalyptus viminalis</i>	White gum	2
HOB-C6.5.143	Sandy Bay	2	Amanda Crescent	5080/86		<i>Eucalyptus viminalis</i>	White gum	
HOB-C6.5.5	Battery Point		Arthur Circus	Not Applicable	Two trees in the central park area of Arthur Circus.	<i>Aesculus hippocastanum</i>	Horse Chestnut	3
HOB-C6.5.6	Hobart	186	Bathurst Street	171891/1	Single tree on the corner of Barrack and Bathurst	<i>Schinus areira</i>	Peppercorn Tree	1

					Streets.			
HOB-C6.5.7	New Town	61	Bay Road, 'Runnymede'	147052/1	Runnymede	<i>Araucaria heterophylla</i>	Norfolk Island Pine	1
HOB-C6.5.8	New Town	61	Bay Road, 'Runnymede'	147052/1		<i>Corynocarpus laevigatus</i>	Karaka or New Zealand Laurel	1
HOB-C6.5.9	New Town	61	Bay Road, 'Runnymede'	147052/1		<i>Juglans regia</i>	English Walnut	1
HOB-C6.5.10	New Town	61	Bay Road, 'Runnymede'	147052/1		<i>Photinia serrulata</i>	Chinese Hawthorn	1
HOB-C6.5.144	Sandy Bay	17	Beach Road	Not Applicable	Long Beach Reserve	Eucalyptus globulus	Tasmanian blue gum	13
HOB-C6.5.145	Hobart	67	Brisbane Street	198440/1		Cupressus torulosa	Bhutan cypress	1
HOB-C6.5.11	Glebe	71	Brooker Avenue,	163523/1	Domain House Site (adjacent to Edward Street).	<i>Quercus robur</i>	English Oak	2
HOB-C6.5.12	Glebe	71	Brooker Avenue,	163523/1	Domain House Site (near Graphics building)	<i>Quercus robur</i>	English Oak	1
HOB-C6.5.13	Glebe	71	Brooker Avenue	163523/1	Domain House Site (southern boundary of the site).	<i>Cedrus deodara</i>	Deodar Cedar	1
HOB-	Glebe	71	Brooker	163523/1	Domain House	<i>Cedrus atlantica</i>	Atlas Blue	1

C6.5.14			Avenue		Site (southern boundary of the site).	'Glaucā'	Cedar	
HOB-C6.5.15	Glebe	71	Brooker Avenue	163523/1	Domain House Site (southern boundary of the site).	<i>Araucaria bidwillii</i>	Bunya Bunya	1
HOB-C6.5.16	Glebe	71	Brooker Avenue	163523/1	Domain House Site (southern boundary of the site).	<i>Abies pinsapo</i>	Spanish Fir	1
HOB-C6.5.17	Glebe	71	Brooker Avenue	163523/1	Domain House Site (southern boundary of the site).	<i>Aesculus hippocastanum</i>	Horse Chestnut	1
HOB-C6.5.18	Glebe	71	Brooker Avenue	163523/1	Domain House Site (southern boundary of the site).	<i>Abies pinsapo var Glaucā</i>	Blue Spanish Fir	1
HOB-C6.5.19	Glebe	71	Brooker Avenue	163523/1	Domain House Site (southern boundary of the site).	<i>Laurus nobilis</i>	Bay Laurel	1
HOB-C6.5.20	Glebe	71	Brooker Avenue	163523/1	Domain House Site (southern boundary of the site).	<i>Cedrus atlantica 'Glaucā'</i>	Atlas Blue Cedar	1
HOB-	Glebe	71	Brooker	163523/1	Domain House Site, Aberdeen	<i>Pinus wallichiana</i>	Bhutan Pine	1

C6.5.21			Avenue (at boundary with 1 Carriage Drive)		Street frontage.			
HOB- C6.5.22	Glebe	71	Brooker Avenue (at boundary with 1 Carriage Drive)	163523/1	Domain House Site, Aberdeen Street frontage.	<i>Araucaria columellaris</i>	Cook Pine	1
HOB- C6.5.23	Glebe	71	Brooker Avenue,	163523/1	Domain House Site, adjacent to tennis court.	<i>Thuja occidentalis 'Pyramidalis compacta'</i>	White Cedar	12
HOB- C6.5.24	Glebe	1	Carriage Drive (near boundary with 71 Brooker Avenue)	135056/1	Domain House Site, Aberdeen Street frontage.	<i>Casaurina obesa</i>	Swamp Oak	1
HOB- C6.5.25	Glebe	1	Carriage Drive (near boundary with 71 Brooker Avenue)	135056/1	Domain House Site, Aberdeen Street frontage.	<i>Casaurina obesa</i>	Swamp Oak	1
HOB-	Hobart		Castray	44801/1		<i>Platanus x</i>	Plane Tree	15

C6.5.26			Esplanade	44801/2		<i>acerifolia</i>		
HOB- C6.5.27	Sandy Bay	1,9,11, 13 & 15	Cedar Court	197352/1, 5056/4, 5056/3, 59089/0; 59089/1; 59089/2, 58855/0; 58855/1; 58855/2; <u>196994/1</u> ; <u>198988/1</u>	<u>Contiguous with hedge at Also</u> <u>Includes hedge at 9 Mawhera Avenue and 8A Maning Avenue</u>	<i>Cupressus macrocarpa</i>	Monterey Cypress	Hedge
HOB- <u>C6.5.146</u>	<u>Sandy Bay</u>		<u>Chessington Court</u>	Not Applicable	<u>2 trees on the roundabout at the end of the Chessington Court cul-de-sac</u>	<i>Eucalyptus globulus</i>	<u>Tasmanian blue gum</u>	<u>2</u>
HOB- <u>C6.5.147</u>	<u>Sandy Bay</u>	<u>2</u>	<u>Churchill Avenue</u>	<u>176312/1</u>	<u>6 trees alongside Churchill Avenue, opposite Union building</u>	<i>Eucalyptus globulus</i>	<u>Tasmanian blue gum</u>	<u>6</u>
HOB- <u>C6.5.148</u>	<u>Sandy Bay</u>	<u>2</u>	<u>Churchill Avenue</u>	<u>176312/1</u>	<u>5 trees in open courtyard at centre of UTAS campus</u>	<i>Eucalyptus globulus</i> and <i>Eucalyptus pulchella</i>	<u>Tasmanian blue gum and white peppermint</u>	<u>5</u>
HOB- <u>C6.5.149</u>	<u>Sandy Bay</u>		<u>Churchill Avenue</u>	Not Applicable	<u>3 trees adjacent to The Hutchins School oval on Churchill</u>	<i>Eucalyptus globulus</i> and <i>Eucalyptus viminalis</i>	<u>Tasmanian blue gum and white gum</u>	<u>3</u>

					Avenue			
HOB- C6.5.150	Hobart	208-210	Collins Street	56693/1		Eucalyptus melliodora	Yellow box	2
HOB- C6.5.151	Battery Point	4	Colville Street	59055/0; 5322/4		Magnolia grandiflora	Magnolia	1
HOB- C6.5.152	Battery Point		Colville Street	Not Applicable	2 trees on Colville Street nature strip adjacent to 12 St Georges Terrace	Eucalyptus globulus	Tasmanian blue gum	2
HOB- C6.5.153	South Hobart	35	Congress Street	51170/1		Corylus avellana 'contorta'	Twisted hazelnut	1
HOB- C6.5.28	Battery Point	30	Cromwell Street	125539/3	30 Cromwell Street.	Abies pinsapo	Spanish fir	1
HOB- C6.5.29	Battery Point	30	Cromwell Street	125539/3	30 Cromwell Street.	Abies numidica	Algerian fir	1
HOB- C6.5.154	South Hobart		D'Arcy Street	Not Applicable	11 trees on the southern side of D'Arcy Street, adjacent to the South Hobart playground	Tilia cordata and Quercus coccinea	Small-leaved lime and scarlet oak	11
HOB- C6.5.155	Mount Stuart		Darling Parade	Not Applicable	2 trees on the nature strip adjacent to 9 Darling Parade	Eucalyptus globulus	Tasmanian blue gum	2

HOB- C6.5.156	Hobart	90	Davey Street	114191/1	5 English oaks and one white gum along Davey Street and Hampden Road frontage	Eucalyptus viminalis subsp. viminalis and Quercus robur	White gum and English oak	6
HOB- C6.5.157	Hobart	142-146	Davey Street	140758/1		Quercus robur	English oak	7
HOB- C6.5.158	Hobart	161	Davey Street	129111/3	1 tree on internal parcel of land between 161 Davey Street and 260 Macquarie Street	Juglans regia	English walnut	1
HOB- C6.5.30	South Hobart	251	Davey Street	158350/1	The Hermitage.	Quercus robur	English Oak	1
HOB- C6.5.31	South Hobart	301	Davey Street	231010/1	Between the dwelling and Weld Street.	Sequoiadendron giganteum	Giant Sequoia	1
HOB- C6.5.32	South Hobart	309	Davey Street	251580/1	Toogooloowa. Rear lot.	Cupressus lusitanica	Mexican Cypress	1
HOB- C6.5.33	South Hobart	320	Davey Street	59480/0; 59480/1; 59480/2; 59480/3; 59480/4; 59480/5; 59480/6;	Lindfield.	Cupressus torulosa	Bhutan Cypress	9

				59480/7; 59480/8; 59480/9; 59480/10; 59480/11; 59480/12; 59493/0; 59493/13; 59493/14; 59493/15; 59493/16; 59493/17; 59493/18; 59493/19; 59493/20; 59493/21; 59493/22; 59493/23; 59493/24;				
HOB- C6.5.159	South Hobart	336	Davey Street	198967/1		<i>Araucaria heterophylla</i>	Norfolk pine	2
HOB- C6.5.34	South Hobart	344	Davey Street	128585/1		<i>Abies nordmanniana</i>	Caucasian Fir	1
HOB- C6.5.35	South Hobart	344	Davey Street	128585/1		<i>Corymbia ficifolia</i>	Red Flowering Gum	1
HOB- C6.5.36	Queens Domain	2	Davies Avenue,	164058/1	Rear of Hobart Aquatic Centre, 'The Hollow'.	<i>Pinus ponderosa</i>	Ponderosa Pine	1
HOB- C6.5.37	Queens Domain	2	Davies Avenue	164058/1	Rear of Hobart Aquatic .Centre, 'The	<i>Pinus sabiniana</i>	Digger Pine	1

					Hollow'.			
HOB-C6.5.38	Queens Domain	2	Davies Avenue	164058/1	Rear of Hobart Aquatic Centre, 'The Hollow'.	<i>Cedrus atlantica</i>	Atlas Cedar	1
HOB-C6.5.39	Queens Domain	2	Davies Avenue	164058/1	Rear of Hobart Aquatic Centre, 'The Hollow'.	<i>Pinus wallichiana</i>	Bhutan Pine	1
HOB-C6.5.40	Queens Domain	2	Davies Avenue	164058/1	Rear of Hobart Aquatic Centre, 'The Hollow'.	<i>Pinus nigra var. maritima</i>	Corsican Pine	1
HOB-C6.5.41	Queens Domain	2	Davies Avenue	164058/1	Rear of Hobart Aquatic Centre, 'The Hollow'.	<i>Cedrus atlantica</i>	Atlas Cedar	1
HOB-C6.5.42	Queens Domain	2	Davies Avenue	164058/1	Rear of Hobart Aquatic Centre, 'The Hollow'.	<i>Pinus canariensis</i>	Canary Island Pine	1
HOB-C6.5.43	Queens Domain	2	Davies Avenue	164058/1	Rear of Hobart Aquatic Centre, 'The Hollow'.	<i>Cedrus atlantica</i>	Atlas Cedar	1
HOB-C6.5.44	Queens Domain	2	Davies Avenue	164058/1	Rear of Hobart Aquatic Centre, 'The Hollow'.	<i>Pinus nigra var. maritima</i>	Corsican Pine	1
HOB-C6.5.45	Queens Domain	2	Davies Avenue	164058/1	Rear of Hobart Aquatic Centre, 'The Hollow'.	<i>Pinus attenuata</i>	Knobcone Pine	1
HOB-C6.5.46	Queens Domain	2	Davies Avenue	164058/1	TCA Ground.	<i>Ulmus procera</i>	English Elm	1

HOB- C6.5.160	Queens Domain	2	Davies Avenue	164058/1	24 trees between Doone Kennedy Aquatic Centre and Tennis Centre	Eucalyptus viminalis	White gum	24
HOB- C6.5.161	Queens Domain	2	Davies Avenue	164058/1	537 trees along Soldiers Memorial Avenue	Cedrus deodara, Cedrus atlantica glauca, Cedrus libani and Cupressus sempervirens	Decdar, blue atlas cedar, Italian cypress and cedar of Lebanon	537
HOB- C6.5.162	Queens Domain	2	Davies Avenue	164058/1	1 tree alongside Soldiers Memorial Avenue, close to 20 Carriage Drive	Eucalyptus viminalis	White gum	1
HOB- C6.5.47	Sandy Bay		Earl Street	197017/11	Earl Street road reservation, opposite 4-12 Earl Street. Council asset numbers: AL61590002, AL61590005, AL61590009, AL615900014 and AL615900017	<i>Ulmus procera</i>	English Elm	5
HOB-	Sandy Bay		Earl Street	197017/11	Along	<i>Crataegus</i>	Common	Hedge

C6.5.48					University of Tasmania boundary.	<i>monogyna</i>	Hawthorn	
HOB-C6.5.49	Glebe	2	Edward Street	128318/2	Corner Brooker Avenue and Edward Street.	<i>Abies numidica</i>	Algerian Fir	2
HOB-C6.5.50	South Hobart	3	Elboden Street,	124562/1	Manilla.	<i>Araucaria heterophylla</i>	Norfolk Island Pine	1
HOB-C6.5.163	Hobart		Elizabeth Street	Not Applicable	Adjacent to 81 Elizabeth Street	Metasequoia glyptostroboides	Dawn redwood	3
HOB-C6.5.51	North Hobart	446	Elizabeth Street	42203/1		<i>Ficus macrophylla</i>	Moreton Bay Fig	1
HOB-C6.5.164	North Hobart	448-450	Elizabeth Street	137763/1		Cedrus deodara	Deodar	1
HOB-C6.5.52	New Town	7	Emmett Place	152693/2	Swanston House.	<i>Araucaria bidwillii</i>	Bunya Pine	1
HOB-C6.5.53	Sandy Bay	3	Fisher Avenue	230559/1		<i>Cupressus macrocarpa</i>	Monterey Cypress	Hedge
HOB-C6.5.54	Sandy Bay		Fisher Avenue	249339/1	Road reservation adjacent to 3 Fisher Avenue.	<i>Tilia cordata</i>	Small-Leaved Lime	2
HOB-C6.5.55	Sandy Bay	6	Fisher Avenue	60402/1		<i>Liriodendron tulipifera</i>	Tulip Tree	1
HOB-C6.5.56	Sandy bay	10	Fisher Avenue	125362/1		<i>Cedrus deodara</i>	Deodora	1

HOB-C6.5.57	Sandy Bay	10	Fisher Avenue	125362/1		<i>Cedrus atlantica f. glauca</i>	Blue Atlas Cedar	1
HOB-C6.5.58	Sandy Bay		Fisher Avenue	234245/1	Road reservation adjacent to 33 Fisher Avenue.	<i>Ulmus glabra 'Lutescens'</i>	Golden Wych Elm	1
HOB-C6.5.59	Sandy Bay	46	Fisher Avenue	137744/2		<i>Ulmus procera</i>	English Elm	1
HOB-C6.5.60	Sandy Bay	1	Fisher Lane	158521/3, 158062/2	Adjacent to Fisher Avenue, opposite 3 and 4 Walford Road.	<i>Crataegus sp.</i>	Hawthorn	Hedge
HOB-C6.5.61	Dynnyrne	20	Fitzroy Crescent	168982/1	Fitzroy Gardens.	<i>Platanus x hispanica</i>	Plane Tree	46
HOB-C6.5.62	Dynnyrne	20	Fitzroy Crescent	168982/1	Fitzroy Gardens – Upper.	<i>Quercus robur</i>	English Oak	4
HOB-C6.5.63	Dynnyrne	20	Fitzroy Crescent	168982/1	Fitzroy Gardens – Upper and Lower.	<i>Ulmus minor 'Variegata'</i>	Variegated Elm	4
HOB-C6.5.64	Sandy Bay		Fitzroy Place	Not applicable	Fitzroy Place road reservation.	<i>Platanus x hispanica</i>	London Plane Tree	45
HOB-C6.5.165	Sandy Bay	15	Fitzroy Place	33916/1		Quercus robur	English oak	1
HOB-	Sandy Bay	12	French Street	224927/1	2 trees within French Street	Eucalyptus	Tasmanian blue	2

<u>C6.5.166</u>					<u>reserve</u>	<u>globulus</u>	<u>gum</u>	
<u>HOB- C6.5.167</u>	<u>South Hobart</u>		<u>Glen Street</u>	<u>Not Applicable</u>	<u>1 tree at the end of Glen Street (adjacent to 6 Glen Street)</u>	<u>Eucalyptus globulus</u>	<u>Tasmanian blue gum</u>	<u>1</u>
<u>HOB- C6.5.168</u>	<u>Mount Stuart</u>	<u>40</u>	<u>Gordon Avenue</u>	<u>197217/1</u>		<u>Cupressus torulosa</u>	<u>Bhutan cypress</u>	<u>3</u>
<u>HOB- C6.5.169</u>	<u>West Hobart</u>	<u>126-146</u>	<u>Goulburn Street</u>	<u>140570/1</u>	<u>Goulburn Street Primary School - 1 tree at the centre of the site, 1 tree at the Forest Road frontage</u>	<u>Quercus robur</u>	<u>English oak</u>	<u>2</u>
<u>HOB- C6.5.170</u>	<u>West Hobart</u>		<u>Goulburn Street</u>	<u>Not Applicable</u>	<u>1 tree at the corner of Goulburn Street and Barton Avenue</u>	<u>Ulmus glabra 'lutescens'</u>	<u>Golden elm</u>	<u>1</u>
<u>HOB- C6.5.171</u>	<u>West Hobart</u>		<u>Gourlay Street</u>	<u>137671/1</u>	<u>Lansdowne Crescent Primary School - Tree adjacent to school building fronting Lansdowne Crescent</u>	<u>Quercus robur</u>	<u>English oak</u>	<u>1</u>

HOB-C6.5.65	Fern Tree	50	Grays Road	125306/1		<i>Nothofagus cunninghamii</i>	Myrtle	1
HOB-C6.5.66	New Town	5	Gregson Avenue		Bend in road between 3 and 9 Gregson Avenue.	<i>Eucalyptus viminalis</i>	White Gum	3
HOB-C6.5.67	Battery Point	80-82	Hampden Road	136419/0		<i>Ulmus procera</i>	English Elm	1
HOB-C6.5.68	Battery Point	103	Hampden Road	PID 5576893	Narryna Heritage Museum.	<i>Fraxinus excelsior</i>	English Ash	1
HOB-C6.5.172	Hobart	164	Harrington Street	41250/1	St Mary's College (Harrington Street frontage)	Aesculus hippocastanum	Horse chestnut	1
HOB-C6.5.69	Sandy Bay	2	Heathorn Avenue	61938/1		<i>Phoenix canariensis</i>	Canary Island Palm	2
HOB-C6.5.173	West Hobart		Hill Street	Not Applicable	1 tree on roundabout at intersection of Hill Street and Warwick Street	Platanus x acerifolia	London plane tree	1
HOB-C6.5.174	West Hobart		Hill Street	Not Applicable	3 trees on roundabout at intersection of Hill Street and Pine Street	Platanus x acerifolia	London plane tree	3

HOB- C6.5.175	Sandy Bay	98	King Street	119302/1		Phoenix canariensis	Date palm	1
HOB- C6.5.70	Sandy Bay	121	King Street	43575/1		Ulmus procera	English Elm	1
HOB- C6.5.71	Sandy Bay		Lambert Avenue	140540/1	Trees in road reservation.	Quercus robur	English Oak	10
HOB- C6.5.176	West Hobart		Lansdowne Crescent	137671/1	West Hobart oval	Acacia melanoxylon	Blackwood	1
HOB- C6.5.177	West Hobart		Lansdowne Crescent	Not Applicable	5 trees on road reserve between Allison Street and Warwick Street	Platanus x acerifolia	London plane trees	5
HOB- C6.5.178	Lenah Valley	268	Lenah Valley Road	40791/1	Ancanthe Park – near corner of Lenah Valley Road and Creek Road	Eucalyptus globulus	Tasmanian blue gum	1
HOB- C6.5.179	South Hobart		Linear Park	40498/1, 167478/5	Linear Park (near rivulet bridge at the end of Anglesea Street, on boundary of South Hobart Primary School)	Cedrus deodara	Deodar	3

HOB- C6.5.180	Hobart	48	Liverpool Street	163050/1	Royal Hobart Hospital – corner of Cambell Street and Collins Street	Schinus molle	Peppercorn tree	1
HOB- C6.5.72	West Hobart	394	Liverpool Street	Not applicable	Road reservation outside 394 Liverpool Street	Cupressus lusitanica	Mexican Cypress	1
HOB- C6.5.73	Sandy Bay	1	Longview Avenue	68094/5		Fraxinus excelsior 'Aurea'	Golden Ash	1
HOB- C6.5.181	Sandy Bay		Lord Street	Not Applicable	1 tree on median strip at Lord Street/ Regent Street intersection	Eucalyptus globulus	Tasmanian blue gum	1
HOB- C6.5.182	Sandy Bay	67	Lord Street	55178/60		Cedrus atlantica 'Glauca'	Blue atlas cedar	1
HOB- C6.5.74	Sandy Bay	83	Lord Street	55178/78		Cupressus sempervirens	Italian Cypress	2
HOB- C6.5.183	Sandy Bay	85	Lord Street	55178/80		Cupressus sempervirens	Italian cypress	1
HOB- C6.5.75	Queens Domain	11	Lower Domain Road	249579/2	Royal Tasmanian Botanical Gardens.	Sequoiadendron giganteum	Big Tree (Wellingtonia)	1
HOB-	Queens	11	Lower	249579/2	Royal	Pinus taeda	Loblolly Pine	1

C6.5.76	Domain		Domain Road		Tasmanian Botanical Gardens.			
HOB-C6.5.77	Queens Domain	11	Lower Domain Road	249579/2	Royal Tasmanian Botanical Gardens.	<i>Pinus roxburghii</i>	Long-leaved Indian Pine	3
HOB-C6.5.78	Queens Domain	11	Lower Domain Road	249579/2	Royal Tasmanian Botanical Gardens.	<i>Pinus canariensis</i>	Canary Island Pine	1
HOB-C6.5.79	Queens Domain	11	Lower Domain Road	249579/2	Royal Tasmanian Botanical Gardens.	<i>Abies pinsapo</i>	Spanish Fir	1
HOB-C6.5.80	Queens Domain	11	Lower Domain Road	249579/2	Royal Tasmanian Botanical Gardens.	<i>Cupressus funebris</i>	Cypress	1
HOB-C6.5.81	Queens Domain	11	Lower Domain Road	249579/2	Royal Tasmanian Botanical Gardens.	<i>Cephalotaxus harringtonia</i>	Japanese Plum-yew	1
HOB-C6.5.82	Queens Domain	11	Lower Domain Road	249579/2	Royal Tasmanian Botanical Gardens.	<i>Pinus wallichiana</i>	Himalayan Pine	1
HOB-C6.5.83	Queens Domain	11	Lower Domain Road	249579/2	Royal Tasmanian	<i>Pinus gerardiana</i>	Gerard's Pine	1

					Botanical Gardens.			
HOB-C6.5.84	Queens Domain	11	Lower Domain Road	249579/2	Royal Tasmanian Botanical Gardens.	<i>Sequoiadendron giganteum</i>	Big Tree (Wellingtonia)	2
HOB-C6.5.85	Queens Domain	11	Lower Domain Road	249579/2	Royal Tasmanian Botanical Gardens.	<i>Pinus sabiniana</i>	Digger Pine	1
HOB-C6.5.86	Queens Domain	11	Lower Domain Road	249579/2	Royal Tasmanian Botanical Gardens.	<i>Agathis robusta</i>	Queensland Kauri	1
HOB-C6.5.87	Queens Domain	11	Lower Domain Road	249579/2	Royal Tasmanian Botanical Gardens.	<i>Juniperus oxycedrus</i>	Prickly Juniper	1
HOB-C6.5.88	Queens Domain	11	Lower Domain Road	249579/2	Royal Tasmanian Botanical Gardens.	<i>Syzigium australe</i>	Lilly Pilly	1
HOB-C6.5.89	Queens Domain	11	Lower Domain Road	249579/2	Royal Tasmanian Botanical Gardens.	<i>Corymbia maculata</i>	Spotted Gum	1
HOB-C6.5.90	Queens Domain	11	Lower Domain Road	249579/2	Royal Tasmanian Botanical	<i>Eucalyptus cladocalyx</i>	Sugar Gum	1

					Gardens.			
HOB-C6.5.91	Queens Domain	11	Lower Domain Road	249579/2	Royal Tasmanian Botanical Gardens, Lower Domain Road.	<i>Pseudotsuga menziesii</i>	Douglas Fir	1
HOB-C6.5.92	Queens Domain	11	Lower Domain Road	249579/2		<i>Quercus suber</i>	Cork Oak	1
HOB-C6.5.184	Hobart	89-93	Macquarie Street	213194/1	1 tree at corner of Macquarie Street and Argyle Street	<i>Araucaria heterophylla</i>	Norfolk pine	1
HOB-C6.5.93	Hobart	190-190A	Macquarie Street	96378/0		<i>Juglans regia</i>	English Walnut	1
HOB-C6.5.94	Hobart	212-218	Macquarie Street	28370/1	St Michael's Collegiate (School).	<i>Ulmus parvifolia</i>	Chinese Elm	1
HOB-C6.5.95	South Hobart	326	Macquarie Street	108487/1		<i>Tilia x europaea</i>	Common Lime	1
HOB-C6.5.96	South Hobart	377	Macquarie Street	43161/1		<i>Quercus robur</i>	English Oak	1
HOB-C6.5.97	South Hobart	377	Macquarie Street	43161/1		<i>Ulmus procera</i>	English Elm	2
HOB-C6.5.98	South Hobart	408	Macquarie Street	133234/1		<i>Cupressus torulosa</i>	Bhutan Cypress	2

HOB-C6.5.185	Sandy Bay		Manresa Court	Not Applicable	1 tree in road reserve opposite 13 Manresa Court	<i>Eucalyptus viminalis</i>	White gum	1
HOB-C6.5.27	Sandy Bay	9	Mawhera Avenue	196994/1	Contiguous with hedges in Cedar Court	<i>Cupressus macrocarpa</i>	Monterey Cypress	Hedge
HOB-C6.5.186	South Hobart		McKenzie Street	Not Applicable	1 tree in McKenzie Street, adjacent to child care centre at 24-26 Weld Street	<i>Ulmus glabra 'lutescens'</i>	Golden elm	1
HOB-C6.5.99	Mount Stuart	1	Mortimer Avenue	112649/1		<i>Cupressus Lorulosa</i>	Bhutan Cypress	32
HOB-C6.5.100	Mount Stuart	16	Mortimer Avenue	116838/1		<i>Betula pendula</i>	Silver Birch	1
HOB-C6.5.101	Mount Stuart	18	Mortimer Avenue	199038/1		<i>Betula pendula</i>	Silver Birch	1
HOB-C6.5.102	Mount Stuart	55	Mount Stuart Road	120969/1		<i>Laurus nobilis</i>	Bay Tree	1
HOB-C6.5.103	Hobart		Murray Street	N/A – Road reservation		<i>Tilia cordata</i>	Small-leaved lime	2
HOB-C6.5.104	Hobart	2	Murray Street	PID 5670847		<i>Tilia x europaea</i>	Common Lime	19
HOB-	Hobart	2	Murray Street	PID		<i>Quercus robur</i>	English Oak	4

Commented [CS1]: This tree was incorrectly identified in the HIPS Significant Tree Register (previously identified as a blue gum).

Commented [CS2]: This is a cross reference. It is not considered necessary to enter as two separate addresses – the title numbers relating to this part of the listing have been included in the other listing relating to HOB-C6.5.27 under Cedar Court.

C6.5.105				5670847				
HOB-C6.5.106	Hobart	23	Murray Street	168357/1	St Davids Cathedral.	<i>Quercus ilex</i>	Holm oak	1
HOB-C6.5.187	Sandy Bay	23	Nelson Road	14/1003	Boundary of Queenborough Oval along Nelson Road and Peel Street	<i>Cupressus/Hesperocyparis macrocarpa</i>	Monterey cypress	Hedge and 1 tree
HOB-C6.5.188	Sandy Bay	23	Nelson Road	14/1003	Queenborough Oval (between two ovals)	<i>Pinus radiata</i>	Radiata pine	4
HOB-C6.5.189	Mount Nelson		Nelson Road	Not Applicable	Road reserve adjacent to 108-108A Nelson Road	<i>Eucalyptus globulus</i>	Tasmanian blue gum	1
HOB-C6.5.190	New Town	224	New Town Road	Not Applicable	Ogilvie High School	<i>Salix babylonica</i>	Weeping willow	1
HOB-C6.5.191	New Town	224	New Town Road	Not Applicable	Ogilvie High School	<i>Quercus palustris</i>	Pin oak	1
HOB-C6.5.107	Mount Stuart		Ogilvie Street and Canning Court corner	159751/1	road reserve adjacent to 4 Ogilvie Street.	<i>Eucalyptus viminalis</i>	Manna Gum	1
HOB-C6.5.108	South Hobart	14	Old Farm Road	13308/2		<i>Notalaea ligustrina</i>	Native Olive	1

HOB- C6.5.192	Sandy Bay	13	Parliament Street	109063/1		<i>Cupressus/Hesperocyparis macrocarpa</i>	Monterey cypress	hedge
HOB- C6.5.193	West Hobart		Petty Street	Not Applicable	Nature strip	<i>Corymbia ficifolia</i>	Flowering gum	1
HOB- C6.5.194	Sandy Bay	113	Princes Street	Not Applicable	Princes Street Primary School	<i>Platanus acerifolia</i>	London plane tree	2
HOB- C6.5.195	Dynnyrne		Proctors Road	227997/1		<i>Phoenix dactylifera</i>	Date palm	1
HOB- C6.5.109	Sandy Bay		Quayle Street	N/A Not Applicable	Median strip.	<i>Platanus x hispanica</i>	Plane tree	23
HOB- C6.5.110	Sandy Bay		Quayle Street	N/A Not Applicable	Opposite 4 Quayle Street.	<i>Eucalyptus globulus</i>	Blue gum	1
HOB- C6.5.196	Sandy Bay	6	Quorn Street	1109887/8		<i>Cupressus/Hesperocyparis macrocarpa</i>	Monterey cypress	hedge
HOB- C6.5.111	New Town	68	Risdon Road	44331/3	Poplarville.	<i>Araucaria heterophylla</i>	Norfolk Island Pine	2
HOB- C6.5.197	New Town		Risdon Road	Not Applicable	Trees either side of the road opposite 74 Risdon Road (Lauderdale Cottage)	<i>Platanus x acerifolia</i> and <i>Ulmus x hollandica</i>	London plane tree and Dutch elm	2

Commented [CS3]: Species corrected compared to HIPS Significant Tree List (species previously listed as English elm)

HOB-C6.5.112	Lenah Valley	16	Rosehill Crescent	22638/18		<i>Eucalyptus viminalis</i>	White Gum	1
HOB-C6.5.113	Hobart		Salamanca Place	44801/1 44801/2 Road reservation		<i>Platanus x acerifolia</i>	Plane Tree	26
HOB-C6.5.198	Mount Stuart		Salier Crescent	Not Applicable	Road reserve, adjacent to 15 Salier Crescent	Fraxinus oxycarpa 'Raywoodii'	Claret ash	1
HOB-C6.5.199	Hobart	20	Sandy Bay Road	232212/1	St David's Park	Fraxinus sylvatica and Tilia cordata	European beech and small-leaved lime	4
HOB-C6.5.200	Hobart	20	Sandy Bay Road	232212/1	St David's Park	Eucalyptus globulus	Tasmanian blue gum	1
HOB-C6.5.114	Battery Point	53	Sandy Bay Road	160940/2, 211943/1	One tree is inside the property, one is in the road reservation in front of it.	<i>Quercus robur</i>	English Oak	2
HOB-C6.5.115	Battery Point	53	Sandy Bay Road	160940/2		<i>Arbutus unedo</i>	Irish Strawberry Tree	1
HOB-C6.5.116	Battery Point	53	Sandy Bay Road	160940/2		<i>Magnolia grandiflora</i>	Magnolia	2

HOB-C6.5.117	Battery Point		Sandy Bay Road	134325/11	Road reservation adjacent to 55A Sandy Bay Road.	<i>Quercus robur</i>	English Oak	1
HOB-C6.5.118	Battery Point	74	Sandy Bay Road	108428/0		<i>Ulmus procera</i>	English elm	3
HOB-C6.5.119	Battery Point		Sandy Bay Road	133640/10, 133640/11	Public open space adjacent to 82 Sandy Bay Road.	<i>Ulmus procera</i>	English elm	4
HOB-C6.5.120	Battery Point		Sandy Bay Road	133640/10	Public open space adjacent to 82 Sandy Bay Road.	<i>Cupressus torulosa</i>	Bhutan cypress	1
HOB-C6.5.201	Sandy Bay	117	Sandy Bay Road	58614/0	1 tree at corner of Sandy Bay Road and Byron Street	Eucalyptus viminalis	White gum	1
HOB-C6.5.121	Sandy Bay	410	Sandy Bay Road.	252493/1	South of the entrance gates of c1928-30.	<i>Sequoiadendron giganteum</i>	giant sequoia	2
HOB-C6.5.202	Sandy Bay		Sandy Bay Road	Not Applicable	Side of Sandy Bay Road, between Derwentwater Avenue and Waimea	Platanus x acerifolia	London plane tree	12

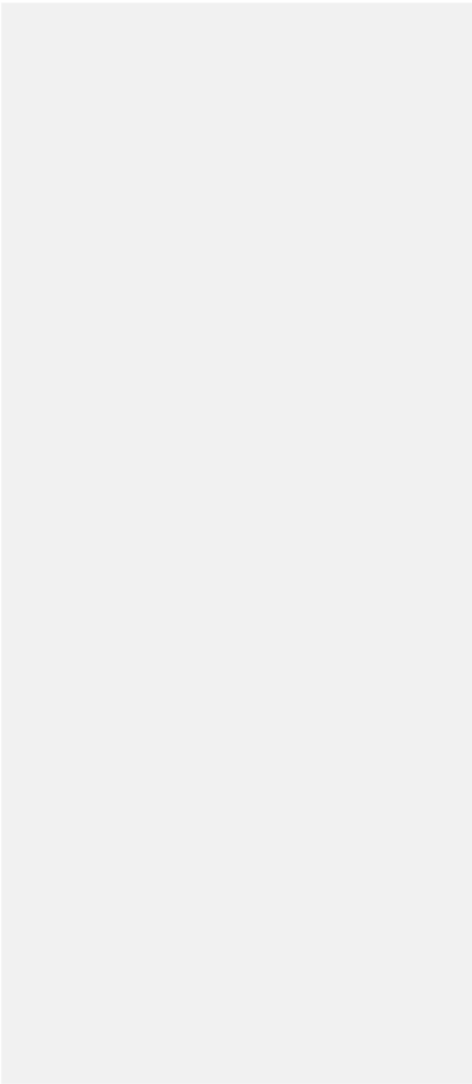
					<u>Avenue</u>			
HOB-C6.5.122	Sandy Bay	469	Sandy Bay Road	60175/3		<i>Phoenix canariensis</i>	Canary Island Palm	1
HOB-C6.5.123	Sandy Bay	480	Sandy Bay Road,	249341/1	Maning Ave Reserve.	<i>Ulmus procera</i>	English Elm	1
HOB-C6.5.124	Sandy Bay	564	Sandy Bay Road	40659/1		<i>Fagus sylvatica 'Purpurea'</i>	European Copper Beech	1
HOB-C6.5.125	Sandy Bay	564	Sandy Bay Road	PID 7573901		<i>Pyrus communis</i>	Common Pear	1
HOB-C6.5.126	Sandy Bay	609	Sandy Bay Road	231292/1		<i>Phoenix canariensis</i>	Canary Island Palm	1
HOB-C6.5.203	<u>Sandy Bay</u>	<u>629-663</u>	<u>Sandy Bay Road</u>	<u>232695/1</u>	<u>Alexandra Battery Park (Churchill Avenue frontage)</u>	<u><i>Eucalyptus viminalis</i></u>	<u>White gum</u>	<u>1</u>
HOB-C6.5.204	<u>Sandy Bay</u>	<u>646A</u>	<u>Sandy Bay Road</u>	<u>232814/1; 157661/1000</u>		<u><i>Eucalyptus globulus</i></u>	<u>Tasmanian blue gum</u>	<u>2</u>
HOB-C6.5.205	<u>Sandy Bay</u>	<u>706</u>	<u>Sandy Bay Road</u>	<u>252510/1</u>		<u><i>Eucalyptus globulus</i></u>	<u>Tasmanian blue gum</u>	<u>1</u>
HOB-C6.5.206	<u>Sandy Bay</u>	<u>892</u>	<u>Sandy Bay Road</u>	<u>136597/1</u>		<u><i>Eucalyptus globulus</i></u>	<u>Tasmanian blue gum</u>	<u>2</u>
HOB-C6.5.207	<u>Sandy Bay</u>	<u>908</u>	<u>Sandy Bay Road</u>	<u>73315/1</u>	<u>The Grange picnic area</u>	<u><i>Eucalyptus globulus</i></u>	<u>Tasmanian blue gum</u>	<u>1</u>
HOB-	New Town		St Johns	Not	St Johns Park.	<i>Quercus robur</i>	English Oak	24

C6.5.127			Avenue	applicable				
HOB-C6.5.128	New Town	9	St Johns Avenue	223265/16		<i>Ulmus procera</i>	English Elm	1
HOB-C6.5.129	New Town	12	St Johns Avenue	PID 3259384	St Johns Park (near Creek Road frontage).	<i>Aesculus hippocastanum</i>	Horse Chestnut	1
HOB-C6.5.130	New Town	12	St Johns Avenue	PID 3259384	At eastern side of number 14 St Johns Avenue, either side of church entrance.	<i>Quercus robur</i>	English Oak	2
HOB-C6.5.131	South Hobart		Strickland Avenue	133259/2	Council land adjacent to 207a Strickland Avenue.	<i>Eucalyptus viminalis</i>	White Gum	1
HOB-C6.5.132	West Hobart	9	Summerhill Road	59855/3		<i>Acer palmatum</i>	Japanese Maple	1
HOB-C6.5.133	Fern Tree	64	Summerleas Road	204811/1		<i>Eucalyptus pulchella</i>	White Peppermint	2
HOB-C6.5.208	Lenah Valley		Suncrest Avenue	Not Applicable	Nature strip adjacent to 5 Suncrest Avenue	Chamaecyparis lawsoniana	Lawson cypress	2
HOB-C6.5.209	New Town	120	Swanston Street	156324/1		Eucalyptus globulus	Tasmanian blue gum	1
HOB-	New Town	29	Tower Road	246217/1		Phoenix	Date palm	1

C6.5.210						<i>dactylifera</i>		
HOB- C6.5.211	Sandy Bay	36	View Street	55178/230		<i>Fagus sylvatica</i> "Purpurea"	Copper beech	1
HOB- C6.5.212	West Hobart	168	Warwick Street	116126/3		<i>Pyrus communis</i>	Pear tree	1
HOB- C6.5.213	West Hobart	224	Warwick Street	112760/1		<i>Pyrus communis</i>	Pear tree	1
HOB- C6.5.134	Dynnyrne	40	Waterworks Road	122770/1		<i>Eucalyptus globulus</i>	Tasmanian Blue Gum	1
HOB- C6.5.135	Dynnyrne	46	Waterworks Road	11846/3		<i>Eucalyptus globulus</i>	Tasmanian Blue Gum	1
HOB- C6.5.136	South Hobart	4	Weld Street	131611/1		<i>Cupressus species</i>	Cypress species	1
HOB- C6.5.137	South Hobart	4	Weld Street	131611/1		<i>Sophora microphylla</i>	Kowhai	1
HOB- C6.5.214	South Hobart	58	Wentworth Street	205336/1		<i>Ulmus minor</i> "Variegata"	Silver elm	1
HOB- C6.5.138	South Hobart		Wentworth Street	Not applicable	Road reservation adjacent to 98 Wentworth Street.	<i>Eucalyptus globulus</i>	Tasmanian Blue Gum	1
HOB- C6.5.139	Sandy Bay	26	Willowdene Avenue	60787/13		<i>Salix babylonica</i>	Weeping Willow	1
HOB- C6.5.215	Tolmans Hill		Woodcutters Road	174041/1		<i>Eucalyptus globulus</i>	Tasmanian blue gum	1

<u>HOB- C6.5.216</u>	<u>Tolmans Hill</u>	<u>17</u>	<u>Woodcutters Road</u>	<u>145331/16</u>		<u>Eucalyptus globulus</u>	<u>Tasmanian blue gum</u>	<u>1</u>
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DRAFT

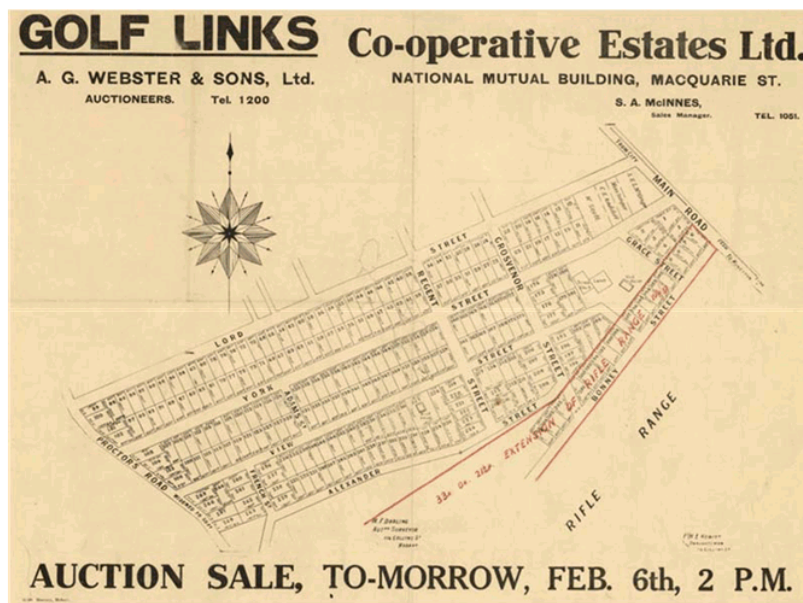


Report to be provided on the merits of undertaking a review of the southern side of Alexander Street, Sandy Bay for inclusion in the heritage precinct.

HIPS 2015 does not identify the southern side of Alexander Street as part of the Sandy Bay 6 Heritage Precinct – The Golf Links Estate. The current precinct boundary aligns to the original Golf Links Estate Subdivision (see figure 1). The Golf Links Estate consisted of 270 allotments that were laid out and sold between 1915 and 1922 by Co-operative Estates Limited. The estate stretched from Lord Street to the high side of Alexander Street. Research has indicated that the Golf Links Estate was extended to the southern side of Alexander Street between 1923 – 1928. Co-operative Estates Limited owned the strip of land between the southern side of Alexander Street and the creek that runs behind French Street, and it is likely that drainage and infrastructure issues associated with the creek contributed to this section of land been a later inclusion into the Golf Links Estate subdivision. The subdivision of this area commenced in February 1923 and by 1928 seventeen houses had been constructed along this southern side of Alexander Street.

Research on housing construction dates in Alexander Street has found that the southern side majority of houses (16 out of 21) were constructed from 1925 – 1927. Whilst on the northern side the majority of houses (10 out of 16) were constructed between 1923 – 1926. Houses on the southern side of the street appear to be constructed on smaller lots and the houses are of a more modest size, whilst residences along the upper side of the street are set on larger allotments and are of a slightly larger construction. This been said both sides of the street were primarily developed during the small time period of 1923-1927. The both sides of Alexander Street features similar residential styles, are primarily of a single storey scale, and are positioned directly to face the street. Housing styles are primarily Californian bungalows and simply detailed Inter-War domestic weatherboard residences.

There is considerable merit to have the southern side of Alexander Street incorporated into the Sandy Bay 6 – Golf Links Estate Heritage Precinct. The extended boundary to include this area should be amended as part of the Local Heritage Precinct provisions for the Tasmanian Planning Scheme. A short description of the southern side of Alexander Street and detail of the areas slightly later inclusion into the Golf Links Estate subdivision will be included in the historical description of the Heritage Precinct document.



(Figure 1. Original Golf Links Estate subdivision plan. AF721-1-540)

**City of Hobart Local Heritage Precincts
Description, Statement of Local Historic Heritage Significance and
Design Criteria / Conservation Policy
January 2021**

**HOB-C6.2.9.9
Golf Links Estate – Sandy Bay**



DESCRIPTION**Component streets:**

Adams Street	Grace Street	Proctors Road	York Street
Alexander Street	Grosvenor Street	Regent Street	
French Street	Lord Street	View Street	

Historical background

Following European Settlement, the land on which the Heritage Precinct sits was originally granted to Norfolk Islanders John Hall, Zachariah Chaffey, and Henry Hathaway. In 1818 these were later merged into a single dairy farm by a David Lord. Shortly thereafter the homestead 'Blink Bonney' was constructed, which still stands as one of the earliest houses in the Sandy Bay area. By 1900, public interest in Golf led to the purchase of much of the land for the laying out of an 18 hole links course, tennis and croquet lawns which proved highly popular with the general public. However, rising costs and demand for land led to the selling of the course to the Golf Links Estate in 1915 for residential development. Sub-divisions occurred between 1915 and 1922, with additional areas being added by 1928. The initial area was divided into 270 lots of 60' x 140' and laid out in a regular pattern in accordance with reference to the garden city philosophies. This became the largest single sub-division in Sandy Bay and forms one of the most consistent large groups of Federation housing in Hobart. A slightly later addition to the Golf Links Estate was the extension to the southern side of Alexander Street, this occurred between 1923 -1928, and by 1928 seventeen houses had been constructed along the southern side of Alexander Street.



House at bottom of Lord Street c. 1930
(AOT NS10131)



Auction sale advertisement for Golf Links Estate
c. 1917 (Lord, G. 1998.)



Worker laying the foundations of a new house on Lord
Street c. 1919. (Lord, G. 1998.)



The Mariners Church on Franklin Wharf before
relocation to Lord Street in 1917. (AOT PH30-1-
2959)

Precinct character and features:***Streetscape and townscape*****Design and topography**

The Golf Links conservation area is marked by long uninterrupted grid street layout and steadily rising topography with streets falling more steeply at the top of the Estate. This creates extensive and sweeping views down streets from the upper sections. Changes in topography running south to north also effect street features and a number of properties are located above or below the street level, most prominently within parts of York Street, Alexander Street, and Proctors Road. The southern side of Alexander Street backs onto Proctors Creek and features a sloping gully with native vegetation.

There are a network of pedestrian links through the estate, footpaths are wide and generous and several lines of street trees all indicate the influence of the garden suburb movement in its original layout. The road at the top of View Street features a concreted surface which was constructed to withhold the weight of trolley buses, and now provides distinct tangible evidence of Hobart's public transport history.

Vegetation

Streets are wide and there are long areas of central lawns with important street tree plantings. Of particular note are the mature street plantings on both Lord and York Streets. The established native plantings and trees along Proctors Creek provide a vegetated backdrop for the southern side of Alexander Street.

Views and vistas

Many streets feature views of kunanyi / Mount Wellington. The tops of View and Lord Street have particularly sweeping views across Sandy Bay towards the River Derwent.

Built form**Materials**

External cladding materials within the precinct are an even mix of brick, and timber weatherboard residences. Roof cladding is primarily corrugated iron roofing, with a number of dwellings featuring terracotta tile roofing.

Architectural styles and scales

Although the precinct is characterised by several areas of differing development, it is notable that the built form is predominantly single storey. The upper slopes are characterised by modest weatherboard cottages on smaller allotments, whilst the lower slopes of the precinct contain more substantial Californian bungalow style houses, along with some very limited apartment blocks. The lower section of Lord Street contains the grandest of properties, notably containing properties that weren't built as part of the original Estate. Architectural styles within the precinct include: Victorian Georgian, Victorian Carpenter Gothic, Federation Queen Anne, Federation Bungalow, Inter-War Old English, and Inter-War Californian Bungalow.

Orientation

Small houses on small allotments are generally orientated towards the street with a modest setback. Larger houses on bigger blocks have a more generous setback, whilst early houses often relate and are orientated more within their garden setting than towards the street.

Building stock

Consistency and coherency is one of the defining qualities of the Precinct with most of the housing stock being fine examples of minor variances within identifiable single storey styles. Buildings of note within the precinct include; No.15 Lord Street is a stone Victorian Gothic church, relocated from Franklin Wharf in 1917 and known as the Mariner's Church. Within View Street, No.1, once part of

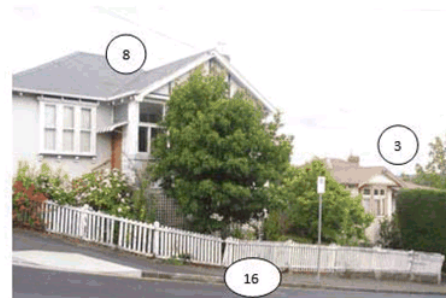
the Friends School, was built in 1925 by architect Bernard Walker; No.2 was the original Golf Club House, now used as a residence; No.32 features a large Federation Queen Anne house and No.34 is the original homestead, 'Blink Bonney'. No.7 Lord Street is a fine example of a Federation Queen Anne house, and 15a Lord Street is a shingle clad Federation Bungalow. Number 85 York Street features a small 1920s timber Federation Gothic styled church now converted into a house.

Fencing

The desired fencing type is low-level Victorian picket, Federation picket, Federation brick or masonry, and Inter-War timber, brick, and ironwork.

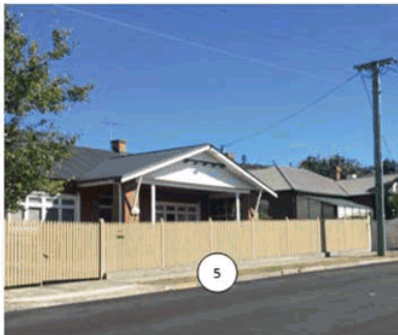
Contributory elements

- | | |
|--|--|
| <ol style="list-style-type: none"> 1. Prominent brick chimneys 2. Unpainted brickwork 3. Timber weatherboard houses 4. Original iron and timber detailing 5. Traditional corrugated iron roofing 6. Projecting gables 7. Generally light and neutral colour schemes 8. Fine examples of architectural styles 9. Small cottage style front gardens | <ol style="list-style-type: none"> 10. Buildings set close to the street frontage, with a consistent setback from the front boundary 11. Small scale cottages 12. Large houses on substantial blocks 13. Groupings of houses sharing similar features 14. Street plantings 15. Wide streets 16. Low fencing |
|--|--|

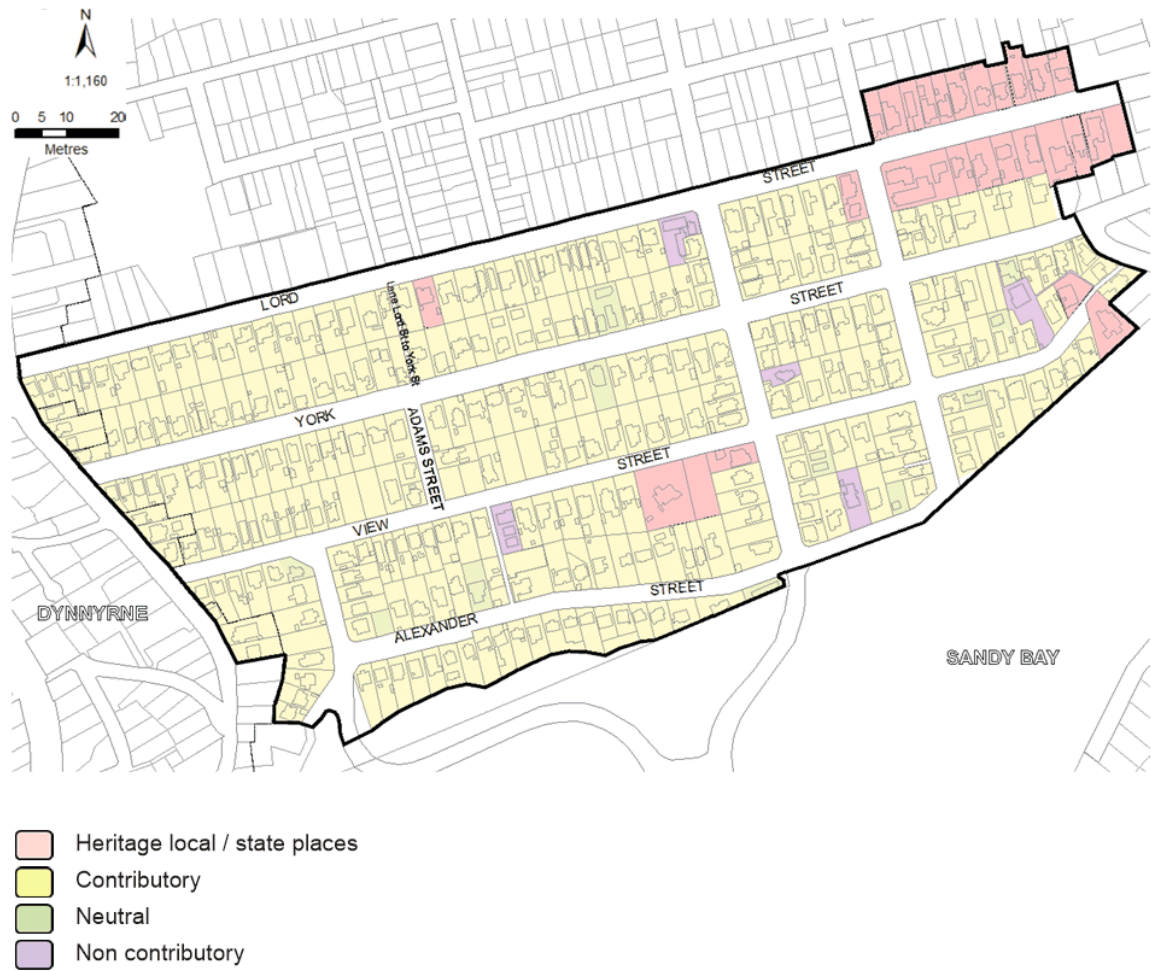


Non contributory elements

1. Intrusive buildings and structures that are unsympathetic to the streetscape and contributory characteristics of the precinct.
2. Development of car parking facilities that are unsympathetic to the streetscape
3. Development apartment blocks with large off street parking facilities that have greatly impacted on the streetscape.
4. 'Pop top' or roof extensions that detract from original features of houses.
5. High and solid fences are an intrusive element within the precinct and obscure houses and gardens.
6. Introduction of unsympathetic materials e.g. synthetic roof tiles, and grey brickwork.



HOB-C6.2.9.9 Heritage Precinct - Map



STATEMENT OF LOCAL HISTORIC HERITAGE SIGNIFICANCE

Significance because of the collective heritage value of individual places as a group for their streetscape or townscape values and the precinct's role in, representation of, or potential for contributing to the understanding of:

For contributing to the understanding of local history

- Its significance as the largest single sub-division in Sandy Bay with a very fine group of 1915-1930 period houses, the best such group in Hobart.
- The connection of the site with the former golf links and the local interpretation of the then popular garden city movement which is still readable in the sub-division pattern.

For the representation of aesthetic characteristics

- The street plantings, and front and rear gardens of properties are significant visual features that reinforce the precincts residential character.
- The significant streetscape elements such as kerbing, grass road islands, split street levels and pedestrian laneways

For the representation of a class of building or place

- The predominantly intact building stock and groupings of houses sharing architectural styles, features, and original external finishes and detailing.
- The significant grouping of large, finely detailed Victorian and Federation residences positioned along Lord Street between Grosvenor Street, and Sandy Bay Road.
- The predominantly single storey Federation and Inter-War character of the precinct with fine examples of variances within the Federation cottages and Californian Bungalow styles, producing a coherent and cohesive intact street and townscape.

For the association with a particular community or cultural group for social or spiritual reasons

- The area has significance to the local and broader community due to the location of two major structures that were/and are currently places of social and spiritual gathering; St Peters Anglican Church / Well Spring Church (formerly The Mariners Church), and the former Friends School at Number 1 View Street.

DESIGN CRITERIA / CONSERVATION POLICY

1. Elements which contribute to the precinct must be retained.
2. Non-contributory elements may be removed to enhance the character of the precinct.

3. Alterations and additions are not to dominate or detract from the original building.
4. New buildings, extensions or structures must be compatible with and sympathetic to the height, bulk, setback, materials and finishes and general character of contributory and heritage listed places.
5. New buildings, extensions or additions to contributory and heritage listed buildings must be compatible and visually subservient when viewed from any road or public open space.
6. Alterations and additions are to respect the uniformity of properties which form part of a consistent row, semi-pair or group of buildings.
7. Fences and gates should be appropriate in form, scale, height and materials appropriate to the architecture of the main building. Styles include *Federation/Victorian timber picket*, *Inter-War masonry*, *brick and ironwork fences and gates (choose as appropriate)* Detailed design guidance may be found in the City of Hobart publication, *New fences for old houses*.
8. Garages, carports, and ancillary structures are to be setback from the principal facade to enable the original building form to remain unobscured and prominent within the streetscape.
9. Driveways and hard stand areas are to be located at the side of the house.
10. Maintain a curtilage/usable open space to provide an appropriate setting to the scale of the house.
11. Lot boundary changes should not occur in areas where the original subdivision pattern is significant and remains intact.
12. New development must not interrupt building patterns where a subdivision pattern has resulted in a distinctive built form.
13. Unpainted and unrendered masonry and brick exterior surfaces must remain as such.
14. Established and/or significant planted garden settings, hedges, and visually prominent trees must be retained.
15. Concrete road surfaces associated with historical trolley bus routes must be retained. Where repairs and patching are necessary new work should match the original material and finish.
16. All sandstone construction, generally seen in walls, kerbing or other site elements shall be retained.

References

Archives Office of Tasmania Subject Index, AOT, Hobart.

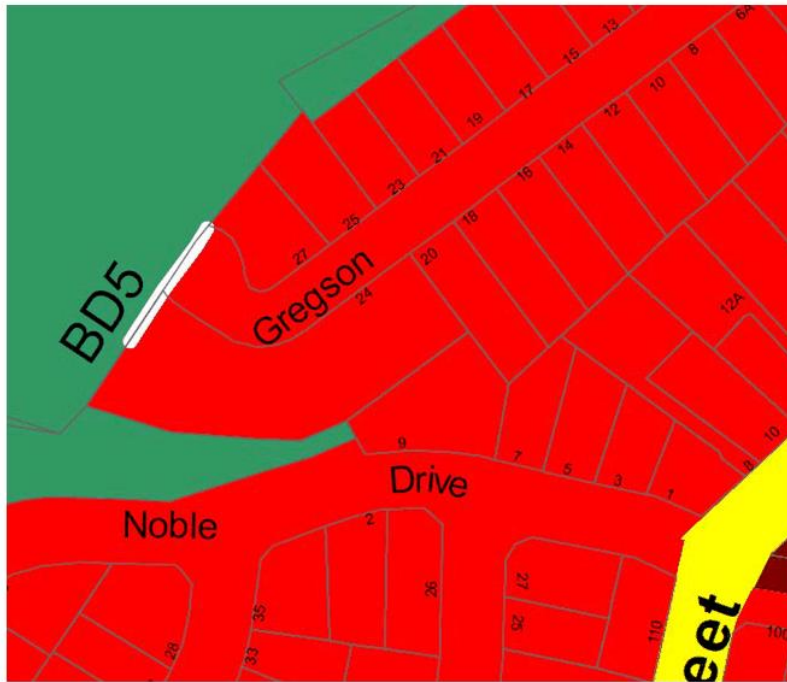
Davies, P., et al, 1998, Sandy Bay Heritage Study Conservation Area Policies, Prepared for Hobart City Council, Paul Davies Pty Ltd in association with Ian Terry, Hobart.

Goc, N., 1997, Sandy Bay: A Social History, Gentrx Publishing, Sandy Bay.

Lord, G., 1998, Sandy Bay: A History of the Golf Links District, Published by Richard Lord and Partners, Hobart.

24 Gregson Avenue zoning

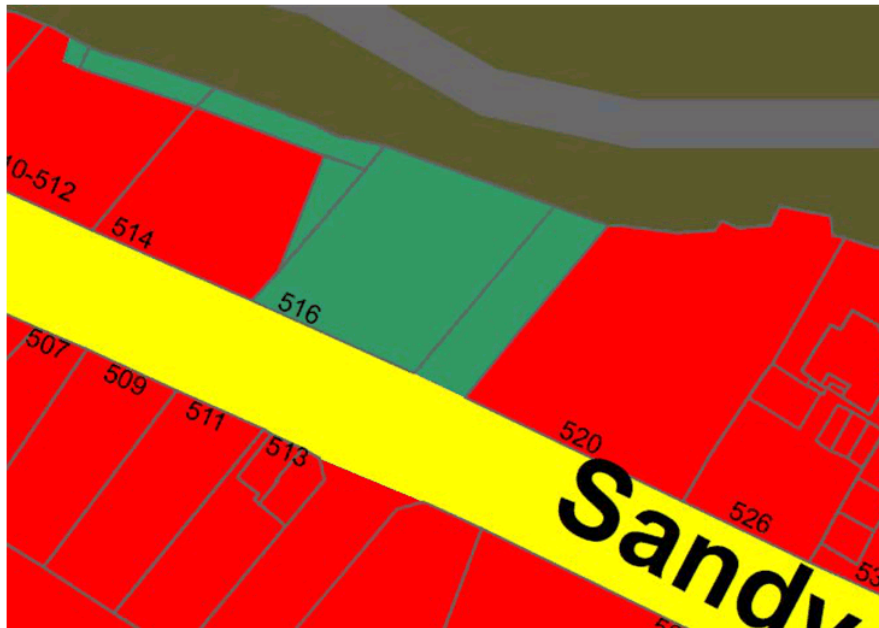
Zoning of 24 Gregson Avenue under previously endorsed LPS



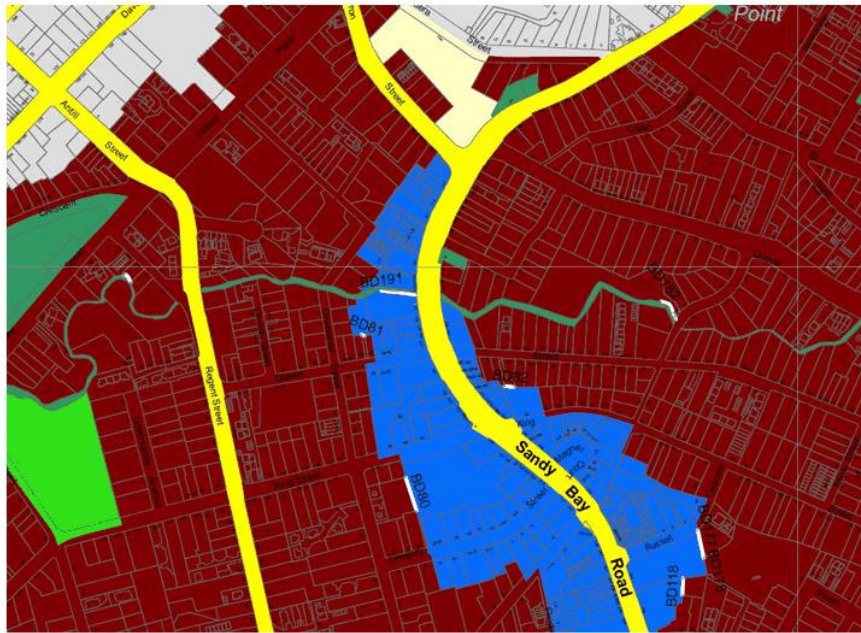
Proposed change to zoning of 24 Gregson Avenue (from Open Space (green) to General Residential (red))

Land adjacent to 516 Sandy Bay Road zoning

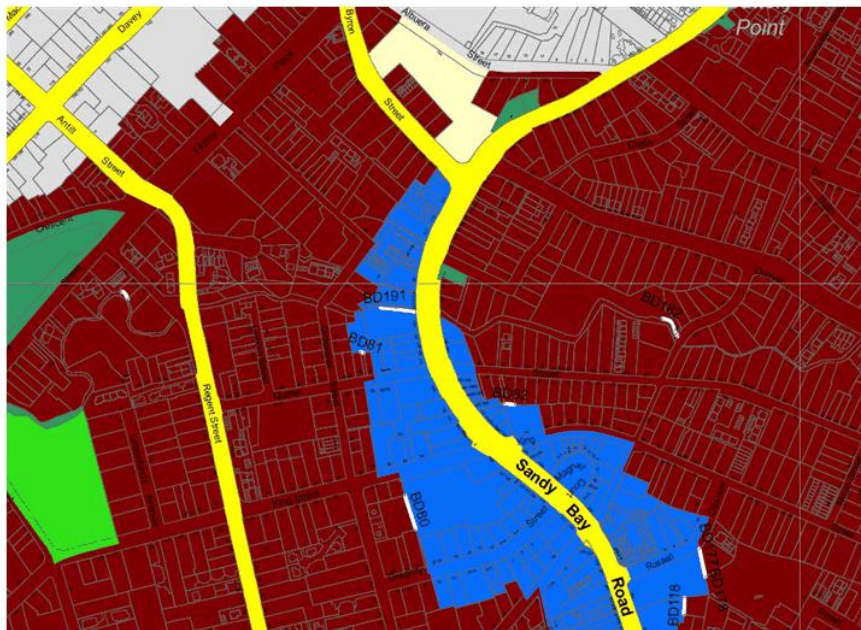
Zoning of land adjacent to 516 Sandy Bay Road under previously endorsed LPS



Proposed change to zoning of land adjacent to 516 Sandy Bay Road (from General Residential (red) to Open Space (green))

Sandy Bay Rivulet zoning

Zoning of Sandy Bay Rivulet under previously endorsed LPS



Proposed change to zoning of Sandy Bay Rivulet (from open space (green) to relevant surrounding zone – Inner Residential (maroon) and General Business (blue))

8.2 Delegated Decision Report (Planning)
File Ref: F21/6444

Memorandum of the Director City Planning of 25 January 2021 and attachment.

Delegation: Committee



City of **HOBART**

MEMORANDUM: CITY PLANNING COMMITTEE

Delegated Decision Report (Planning)

Attached is the delegated planning decisions report for the period 11 January 2021 to 22 January 2021.

RECOMMENDATION

That:

- 1. That the information be received and noted.***

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

Neil Noye
DIRECTOR CITY PLANNING

Date: 25 January 2021
File Reference: F21/6444

Attachment A: Delegated Decision Report (Planning) ↓

25 January 2021

24 Applications

Delegated Decisions Report (Planning)

Planning Description	Address	Works Value	Decision	Authority
PLN-20-156 Partial Demolition, Alterations and Extension	114 AUGUSTA ROAD LENA VALLEY TAS 7008	\$50,000.00	Withdrawn	Applicant
PLN-20-358 Alterations	14 KELLY STREET BATTERY POINT TAS 7004	\$28,000.00	Approved	Delegated
PLN-20-711 Dwelling	46 WILLIAM COOPER DRIVE NEW TOWN TAS 7008	\$629,000.00	Withdrawn	Applicant
PLN-20-715 Alterations, Garage/Studio and Front Fencing	1 BRAELANDS COURT SOUTH HOBART TAS 7004	\$17,000.00	Approved	Delegated
PLN-20-726 Landslip Remediation Works	27 WEERONA AVENUE MOUNT STUART TAS 7000	\$300,000.00	Approved	Delegated
PLN-20-727 Alterations and Front Fencing	9 LYNTON AVENUE SOUTH HOBART TAS 7004	\$4,500.00	Approved	Delegated
PLN-20-744 Partial Demolition, Alterations, Extension and Front Fencing	11 FERNDENE AVENUE SOUTH HOBART TAS 7004	\$250,000.00	Approved	Delegated
PLN-20-755 Partial Demolition, Alterations and Extension	20 BROUGHTON AVENUE MOUNT NELSON TAS 7007	\$180,000.00	Withdrawn	Applicant
PLN-20-765 Partial Demolition, Alterations, Extension and Garage	26 ALLAMBEE CRESCENT GLEBE TAS 7000	\$300,000.00	Approved	Delegated
PLN-20-767 Partial Demolition and Alterations	48 YORK STREET SANDY BAY TAS 7005	\$70,000.00	Approved	Delegated
PLN-20-793 Partial Demolition, Alterations and Signage	201 LIVERPOOL STREET HOBART TAS 7000	\$50,000.00	Approved	Delegated
PLN-20-809 Two Multiple Dwellings	10 BIMBADEEN COURT WEST HOBART TAS 7000	\$950,000.00	Approved	Delegated
PLN-20-817 Partial Demolition, Alterations & Extension	32C MANING AVENUE SANDY BAY TAS 7005	\$90,000.00	Approved	Delegated
PLN-20-820 Outbuilding (Pool)	138 NELSON ROAD MOUNT NELSON TAS 7007	\$140,000.00	Approved	Delegated
PLN-20-839 Signage	284-290 ELIZABETH STREET NORTH HOBART TAS 7000	\$0.00	Approved	Delegated
PLN-20-845 Partial Demolition and Alterations	650 SANDY BAY ROAD SANDY BAY TAS 7005	\$300,000.00	Approved	Delegated
PLN-20-855 Alterations and Extension	27 MCAULAY ROAD SANDY BAY TAS 7005	\$20,000.00	Approved	Delegated
PLN-20-856 Carport	15 PROCTORS ROAD DYNMYRNE TAS 7005	\$10,000.00	Approved	Delegated
PLN-20-857 Dwelling	11 PULCHELLA DRIVE TOLMANS HILL TAS 7007	\$400,000.00	Withdrawn	Applicant

PLN-20-880 Partial Demolition, Alterations, and Extension	70 LIPSCOMBE AVENUE SANDY BAY TAS 7005	\$50,000.00	Approved	Delegated
PLN-20-888 Signage	6 VICTORIA STREET HOBART TAS 7000	\$0.00	Approved	Delegated
PLN-20-893 Partial Change of Use to Sport and Recreation	85-99 COLLINS STREET HOBART TAS 7000	\$0.00	Approved	Delegated
PLN-20-897 Partial Demolition and Alterations	1/1 GREENWAY AVENUE LENA VALLEY TAS 7008	\$50,000.00	Approved	Delegated
PLN-21-15 Signage	28 LETITIA STREET NORTH HOBART TAS 7000	\$0.00	Withdrawn	Applicant

8.3 City Planning - Advertising Report
File Ref: F21/6668

Memorandum of the Director City Planning of 27 January 2021 and attachment.

Delegation: Committee



City of **HOBART**

MEMORANDUM: CITY PLANNING COMMITTEE

City Planning - Advertising Report

Attached is the advertising list for the period 11 January 2021 to 22 January 2021.

RECOMMENDATION

That:

- 1. That the information be received and noted.***

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

Neil Noye
DIRECTOR CITY PLANNING

Date: 27 January 2021
File Reference: F21/6668

Attachment A: City Planning - Advertising Report ↓

Application	Street	Suburb	Development	Works Value	Expiry Date	Referral	Proposed Delegation	Advertising Period Start	Advertising Period End
PLN-20-795	7 A CLARE STREET	NEW TOWN	Demolition, New Building for Hospital Services, Business and Professional Services, and General Retail and Hire, Signage, and Associated Works	\$60,000,000	23/02/2021	ayersh	Council (Major Development)	12/01/2021	27/01/2021
PLN-20-804	2 / 8 CAPRI DRIVE	SANDY BAY	Partial Demolition, Alterations and Extension	\$80,000	02/02/2021	ayersh	Director	15/01/2021	30/01/2021
PLN-20-909	236 CHURCHILL AVENUE	SANDY BAY	Alterations, Ancillary Dwelling and Retaining Walls	\$60,000	08/02/2021	ayersh	Director	19/01/2021	03/02/2021
PLN-20-877	5 LACHLAN DRIVE	MOUNT NELSON	Partial Demolition, Alterations, and Extension	\$80,000	26/02/2021	langd	Director	22/01/2021	06/02/2021
PLN-20-583	19 FREDERICK STREET	WEST HOBART	Partial Demolition, Alterations, Extension, Garage and Outbuilding (Studio)	\$180,000	22/02/2021	langd	Director	25/01/2021	10/02/2021
PLN-20-891	U2 6 NELSON ROAD SANDY BAY & COMMON LAND OF PARENT TITLE	SANDY BAY	Partial Demolition, Alterations and Extension	\$59,000	08/03/2021	maxwellv	Director	15/01/2021	30/01/2021
PLN-21-7	12 CROSS STREET	NEW TOWN	Partial Demolition, Alterations and Extension	\$250,000	16/02/2021	maxwellv	Director	15/01/2021	30/01/2021
PLN-20-690	16 ELLINGTON ROAD	SANDY BAY	Carport	\$60,000	16/02/2021	maxwellv	Director	18/01/2021	02/02/2021

Application	Street	Suburb	Development	Works Value	Expiry Date	Referral	Proposed Delegation	Advertising Period Start	Advertising Period End
PLN-20-903	42 ARGYLE STREET	HOBART	Partial Demolition, Alterations, and Partial Change of Use to General Retail and Hire, and Food Services	\$100,000	22/02/2021	maxwellv	Director	18/01/2021	02/02/2021
PLN-20-843	11 BEAUMONT ROAD	LENAH VALLEY	Dwelling	\$380,000	21/02/2021	maxwellv	Director	21/01/2021	05/02/2021
PLN-20-713	1 / 1 A FISHER AVENUE	SANDY BAY	Partial Demolition, Alterations and Extension	\$250,000	17/03/2021	mcclenahanm	Council (Council Land)	14/01/2021	29/01/2021
PLN-20-833	5 WESTINWOOD ROAD	LENAH VALLEY	Dwelling	\$450,000	06/02/2021	mcclenahanm	Director	18/01/2021	02/02/2021
PLN-20-895	42 FOREST ROAD	WEST HOBART	Alterations	\$8,000	29/01/2021	nolanm	Director	12/01/2021	27/01/2021
PLN-20-882	18 ASCOT AVENUE	SANDY BAY	Two Multiple Dwellings and Tree Removal	\$420,000	11/02/2021	nolanm	Director	13/01/2021	28/01/2021
PLN-20-587	25 WELD STREET	SOUTH HOBART	Partial Demolition, Alterations and Extension	\$180,000	09/02/2021	nolanm	Director	14/01/2021	29/01/2021
PLN-20-862	225 MURRAY STREET	HOBART	Partial Change of Use to Business and Professional Services (Medical Centre)	\$0	13/02/2021	nolanm	Director	19/01/2021	03/02/2021
PLN-20-770	59 BEAUMONT ROAD	LENAH VALLEY	Dwelling	\$460,000	24/02/2021	nolanm	Director	25/01/2021	10/02/2021
PLN-20-913	14 STOKE STREET	NEW TOWN	Alterations (Deck) to Previously Approved Development	\$5,000	05/02/2021	sherriffc	Director	12/01/2021	27/01/2021
PLN-19-5	232 - 242 LIVERPOOL STREET	HOBART	Signage	\$0	17/02/2021	sherriffc	Director	18/01/2021	02/02/2021
PLN-21-5	108 QUEEN STREET	SANDY BAY	Partial Demolition and Alterations	\$20,000	23/02/2021	sherriffc	Director	21/01/2021	05/02/2021

Application	Street	Suburb	Development	Works Value	Expiry Date	Referral	Proposed Delegation	Advertising Period Start	Advertising Period End
PLN-20-859	34 REYNOLDS COURT	DYNNYRNE	Partial Demolition, Subdivision (One Additional Lot) and Associated Works	\$20,000	15/02/2021	sherriffc	Director	22/01/2021	06/02/2021
PLN-20-811	40 BEAUMONT ROAD	LENAH VALLEY	Dwelling	\$380,000	13/02/2021	sherriffc	Director	25/01/2021	10/02/2021
PLN-20-838	50 LIPSCOMBE AVENUE	SANDY BAY	Partial Demolition, Alterations and Extension	\$500,000	31/01/2021	smeea	Council (Objection)	12/01/2021	27/01/2021
PLN-20-864	26 YORK STREET	SANDY BAY	Partial Demolition, Alterations and Extension	\$120	01/02/2021	smeea	Director	12/01/2021	27/01/2021
PLN-20-885	143 LIVERPOOL STREET	HOBART	Partial Demolition, Alterations, and Change of Use to Educational and Occasional Care	\$350,000	08/02/2021	smeea	Director	13/01/2021	28/01/2021
PLN-20-901	15 / 1 PLIMSOLL PLACE	SANDY BAY	Change of Use to Visitor Accommodation	\$0	16/02/2021	smeea	Director	14/01/2021	29/01/2021
PLN-21-9	141 HAMPDEN ROAD	HOBART	Alterations	\$10,000	16/02/2021	smeea	Director	22/01/2021	06/02/2021
PLN-20-826	16 HAIG STREET	LENAH VALLEY	Partial Demolition, Alterations, Extension and Outbuildings	\$470,000	08/02/2021	widdowsont	Director	12/01/2021	27/01/2021
PLN-20-723	35 MELVILLE STREET	HOBART	Partial Demolition, Alterations, Extension, Signage and Change of Use to Hotel Industry	\$250,000	11/02/2021	widdowsont	Director	18/01/2021	02/02/2021

9. MOTIONS OF WHICH NOTICE HAS BEEN GIVEN

9.1 Housing Supply Planning Provisions

FILE REF: F21/6641; 13-1-9

Alderman Behrakis

Motion

- “a) That a report be prepared on the possible amendments, their merits and potential consequences, to the planning regulations to implement the following recommendations made in the UTAS Report: *Regulating Short-Stay Accommodation in Tasmania: Issues to consider and options for reform*:

Recommendation 3: That the Tasmanian Government amend the current planning scheme to allow consideration of housing market conditions when making planning decisions.

Recommendation 4: That the current planning scheme include provisions so that it can respond to community-level housing needs in a timely manner.

- b) That advice be prepared as to the merits and potential consequences of endorsing Recommendation 5 of the same report:

Recommendation 5: That the Tasmanian Government establish a Housing Supply Forecasting Council to collect and analyse housing supply and demand drivers, including the impact of the SSA sector, and provide policy recommendations.”

Rationale:

“In 2019 the City of Hobart unanimously declared a Housing and Homelessness crisis. One of the key contributors to this issue is the lack of housing supply, both affordable housing and in the broader housing market. This lack of supply, coupled with fast increasing demand has placed a disproportionate burden on those on lower incomes and the vulnerable within our community, making it more difficult to find stable housing and displacing more and more onto our social and public housing systems, placing increased stress on the sector.

Council, as the Planning Authority, possesses one of the most powerful policy levers in this space to increase supply. As it currently stands however, the planning scheme does not allow for a residential development’s contribution to housing supply to be taken as a planning consideration.

During debate regarding further regulation of the Short Stay Accommodation sector, references were made to recommendations included in the UTAS report: *Regulating Short-Stay Accommodation in Tasmania: Issues to consider and options for reform*. This report also contained recommendations to address the broader supply issue within the housing market, including those referenced in the motion.

To directly quote the report:

“Pressures on Tasmania’s housing market have not abated over the past 12 months. In Greater Hobart in particular, steadily rising house prices and rents are creating significant housing affordability and access challenges, especially for low-income renters. A range of factors including strong population growth, supply constraints and growing visitor numbers have contributed to these pressures.”

The City of Hobart is attempting to address the impact growing visitor numbers are potentially having to housing stress with the motion to investigate regulatory mechanisms into short stay accommodation. We should also take seriously our role in addressing the other key issue referred to in this report: supply constraints.

Council has the ability to implement Planning Scheme Amendments to address this issue, however as noted by the report, *“Currently, there is scope to include community specific ‘local provisions’ in the statewide planning scheme (Battery Point is an example). However, such provisions must be approved by the Tasmanian Planning Commission. Its processes can be protracted and are not suited to making time-sensitive changes to meet the housing needs of specific communities.”* Thus, we should also investigate the merit in calling on the State Government to insert provisions into the Planning Scheme more broadly if it can be determined that a more positive response in the city’s housing stocks would result.

Reference:

Insight Eight: Regulating Short-Stay Accommodation in Tasmania: Issues to consider and options for reform, Julia Verdouw and Richard Eccleston
Institute for the Study of Social Change,
https://www.utas.edu.au/__data/assets/pdf_file/0020/1225334/UTAS-ISC-Insight-Eight-Regulating-Short-Stay-Accommodation.pdf.”

The General Manager reports:

“A response to the motion passed on the 17th December 2020, *Short Stay Accommodation – Planning Directive* and this motion if passed, would be combined in any report back to the Council.”

10. QUESTIONS WITHOUT NOTICE

Section 29 of the *Local Government (Meeting Procedures) Regulations 2015*.
File Ref: 13-1-10

An Elected Member may ask a question without notice of the Chairman, another Elected Member, the General Manager or the General Manager's representative, in line with the following procedures:

1. The Chairman will refuse to accept a question without notice if it does not relate to the Terms of Reference of the Council committee at which it is asked.
2. In putting a question without notice, an Elected Member must not:
 - (i) offer an argument or opinion; or
 - (ii) draw any inferences or make any imputations – except so far as may be necessary to explain the question.
3. The Chairman must not permit any debate of a question without notice or its answer.
4. The Chairman, Elected Members, General Manager or General Manager's representative who is asked a question may decline to answer the question, if in the opinion of the respondent it is considered inappropriate due to its being unclear, insulting or improper.
5. The Chairman may require a question to be put in writing.
6. Where a question without notice is asked and answered at a meeting, both the question and the response will be recorded in the minutes of that meeting.
7. Where a response is not able to be provided at the meeting, the question will be taken on notice and
 - (i) the minutes of the meeting at which the question is asked will record the question and the fact that it has been taken on notice.
 - (ii) a written response will be provided to all Elected Members, at the appropriate time.
 - (iii) upon the answer to the question being circulated to Elected Members, both the question and the answer will be listed on the agenda for the next available ordinary meeting of the committee at which it was asked, where it will be listed for noting purposes only.

11. CLOSED PORTION OF THE MEETING

That the Committee resolve by majority that the meeting be closed to the public pursuant to regulation 15(1) of the *Local Government (Meeting Procedures) Regulations 2015* because the items included on the closed agenda contain the following matters:

- Confirm the minutes of the Closed portion of the meeting
- Questions without notice in the Closed portion

The following items were discussed: -

- | | |
|------------|--|
| Item No. 1 | Minutes of the last meeting of the Closed Portion of the Council Meeting |
| Item No. 2 | Consideration of supplementary items to the agenda |
| Item No. 3 | Indications of pecuniary and conflicts of interest |
| Item No. 4 | Questions Without Notice |