



CITY OF HOBART

SUPPORTING INFORMATION

CITY PLANNING COMMITTEE MEETING

OPEN PORTION OF THE MEETING

MONDAY, 29 JUNE 2020

AT 5:00 PM

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TAS 7000 - CPC Agenda Supporting Documents2



ATTACHMENT D
Historic Heritage Management Strategy



HISTORIC HERITAGE MANAGEMENT STRATEGY

Peacock Centre – 11 Swan Street, North Hobart

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For X-Squared Architects, obo The Tasmanian
Government, January 2019

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1. INTRODUCTION

1.1. RATIONALE, PROJECT BRIEF AND SCOPE

This project has been commissioned by X-Squared Architects (Hobart) on behalf of The Tasmanian Government as an integrated historic heritage management strategy to guide any future development of the place known as the Peacock Centre, 11 Swan Street, North Hobart. Praxis Environment were commissioned to undertake this project, further to the brief of providing:

1. A brief background historical overview of the site in order to understand the historical and social contexts of the building (essential as the basis for all steps below).
2. Formulation of detailed statements of historic heritage significance for the place.
3. A fabric survey of the building, which will consider the ability of the fabric, form, spaces (etc.) of the place to demonstrate the significance as per above. This will need to consider the fire damage and feasible retention repair in a broad sense. Whilst this will not be a full-conservation management plan, it will be framed as a 'conservation brief' which will be designed to be a pragmatic tool in the restoration and refit of the building.
4. A review of the significance, context and contribution the building makes to the surrounding heritage precinct and townscape associations of the vicinity which seeks to understand and guide the parameters of any future major site development via the conservation policies below.
5. Drafting of detailed conservation policies for the conservation of the heritage values of the place with the redevelopment aspirations in-mind and in consideration of the nature of the fire damage.
6. Allowance for four permit authority consultation meetings and general project team liaison.

1.2. DEFINITION OF PLACE

The *subject site* is 11 Swan Street, North Hobart, Tasmania, which is comprised of PID 5560920 as per Figure 1.1 and is known as the *Peacock Centre*:

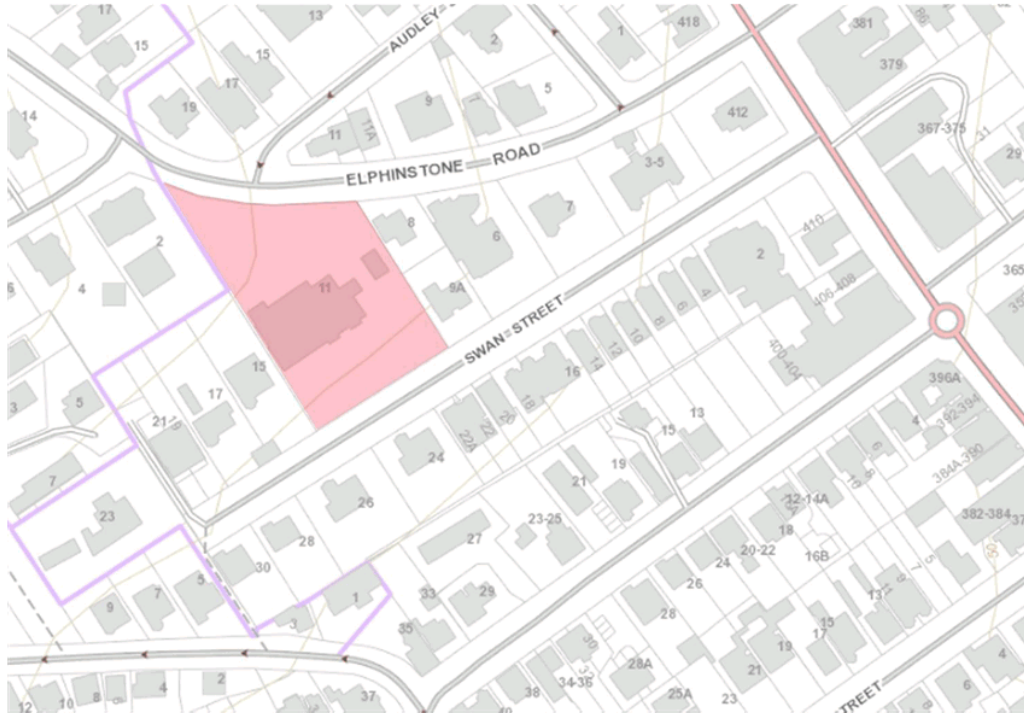


Figure 1.1 – Cadastral parcel comprising the subject site (www.thelist.tas.gov.au)

A note on nomenclature:

The building at the time of construction and occupation by the Peacock family was known as *Ruardean*. From the 1940s (i.e. after the enactment of the Peacock bequest) the place has been known as a number of variants on the 'Peacock' name (e.g. the Peacock Convalescent Home etc.) however for the sake of simplicity in the current document the place is referred to as the *Peacock Centre*, representing the last variation on those names. Where reference is made to the traditional use or portion of the building, *Ruardean* is used in that context.



Figure 1.2 – A 2008 aerial photograph of the subject site (pre-fire). Adapted from www.thelist.tas.gov.au

1.3. METHODOLOGY

This assessment has been undertaken in accordance with the ICOMOS Australia **Burra Charter**, which is considered to be the Australian heritage industry's benchmark for assessing, understanding and managing heritage values. Figure 1.3.1 depicts this process:

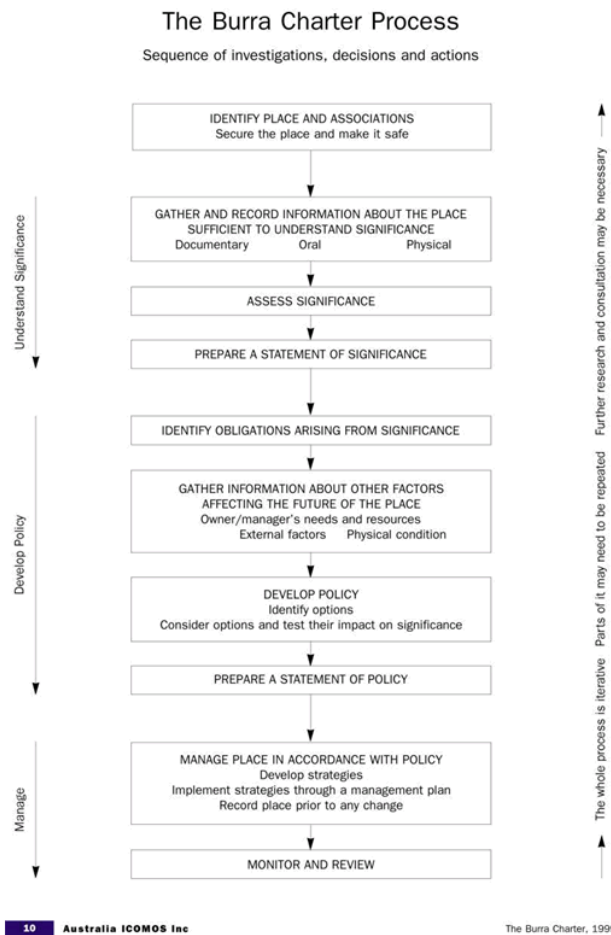


Figure 1.3– The Burra Charter Process. ICOMOS Australia.

The statutory provisions and consequent responsibilities as outlined in Section 1.2 have also been considered in formulating this document.

This document takes the principles of conservation planning, as outlined in J.S. Kerr's *The Conservation Plan*¹, in order to develop the policies upon which the conservation of the place (and assessment of development impact) is based. This document has also been developed with regard to the standard content of conservation management plans as detailed by the New South Wales Heritage Office's *A Suggested Table of Contents for a Conservation Management Plan*², as well as the New South Wales Heritage Office guidelines for the preparation of brief conservation management strategies.³

It is intended that this document be used by the design team in any forthcoming development of the place and this sets the benchmark of understanding the significance of the place against which a heritage impact assessment for any proposed development can be undertaken. Figure 1.4 depicts this process:

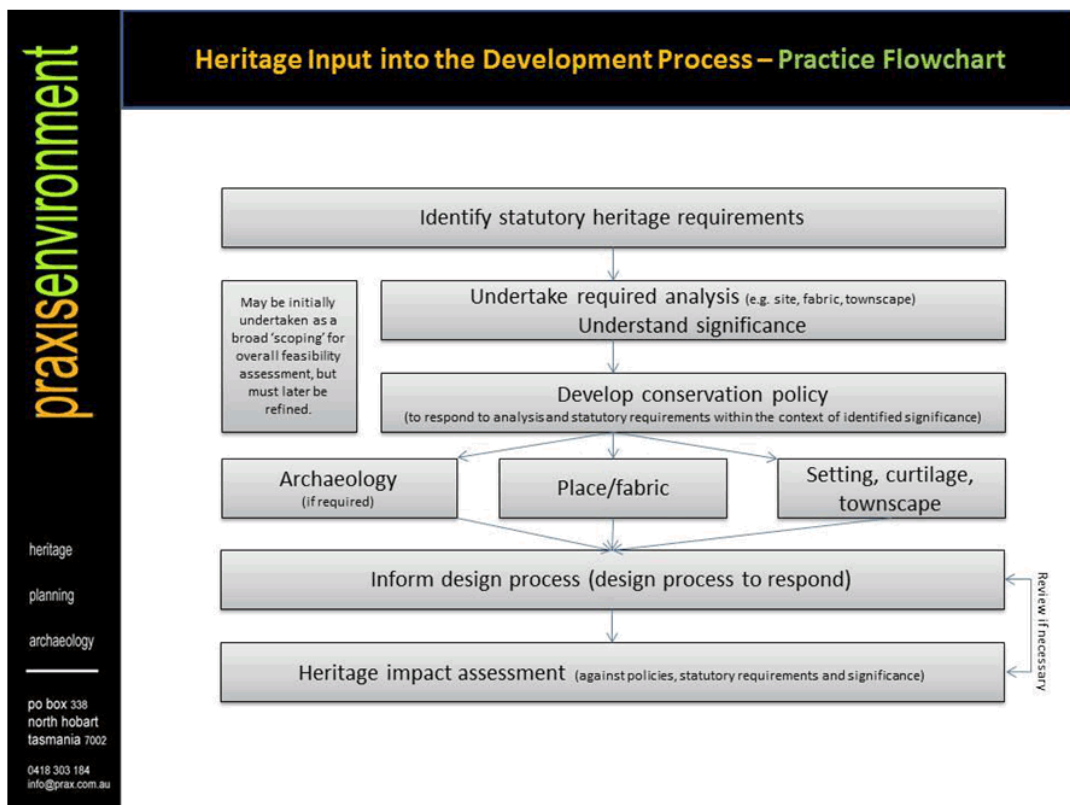


Figure 1.4 – Practice flowchart for the application of this conservation planning document.

¹ KERR, J. (2000); *The Conservation Plan*. National Trust of NSW, Sydney.

² http://www.heritage.nsw.gov.au/docs/cmp_contents2.pdf

³ http://www.heritage.nsw.gov.au/docs/CMS_part1Investigation.pdf

2. STATUTORY HERITAGE REQUIREMENTS

The following heritage listings and overarching legislative provisions are relevant to the management of the historic cultural heritage values of 11 Swan Street, North Hobart.

2.1. HOBART INTERIM PLANNING SCHEME 2015

HERITAGE PLACE

11 Swan Street (the Peacock Centre) is listed as a *Heritage Place* (Place#3052) on Table E13. Further to Clause E13.5.1 of the Scheme, the Planning Authority may require the following to accompany any application for use or development of a Heritage Place:

- (a) *a conservation plan;*
- (b) *photographs, drawings or photomontages necessary to demonstrate the impact of the proposed development on the heritage values of the place;*
- (c) *a statement of significance;*
- (d) *a heritage impact statement;*
- (e) *a statement of compliance;*
- (f) *a statement of archaeological potential;*
- (g) *an archaeological impact assessment;*
- (h) *an archaeological method statement;*

Any demolition, development or subdivision of the place must be in accordance with the provisions of Part E13.7 of the Scheme (Development Standards for Heritage Places):

| | Acceptable Solution | Performance Criteria |
|--|--|--|
| E.13.7.1 - Demolition | A1. No Acceptable Solution. | Demolition must not result in the loss of significant fabric, form, items, outbuildings or landscape elements that contribute to the historic cultural heritage significance of the place unless all of the following are satisfied: <ul style="list-style-type: none"> (a) there are, environmental, social, economic or safety reasons of greater value to the community than the historic cultural heritage values of the place; (b) there are no prudent and feasible alternatives; (c) important structural or façade elements that can feasibly be retained and reused in a new structure, are to be retained; (d) significant fabric is documented before demolition. |
| E.13.7.2 – Building and Works other than Demolition | A1. No Acceptable Solution. | P1. Development must not result in any of the following: <ul style="list-style-type: none"> (a) loss of historic cultural heritage significance to the place through incompatible design, including in height, scale, bulk, form, fenestration, siting, materials, colours and finishes; (b) substantial diminution of the historic cultural heritage significance of the place through loss of significant streetscape elements including plants, trees, fences, walls, paths, outbuildings and other items that contribute to the significance of the place. |
| | A2. No Acceptable Solution. | P2. Development must be designed to be subservient and complementary to the place through characteristics including: <ul style="list-style-type: none"> (a) scale and bulk, materials, built form and fenestration; (b) setback from frontage; (c) siting with respect to buildings, structures and listed elements; (d) using less dominant materials and colours. |
| | A3. No Acceptable Solution. | P3. Materials, built form and fenestration must respond to the dominant heritage characteristics of the place, but any new fabric should be readily identifiable as such. |
| | A4. No Acceptable Solution. | P4. Extensions to existing buildings must not detract from the historic cultural heritage significance of the place. |
| | A5. New front fences and gates must accord with original design, based on photographic, archaeological or other historical evidence. | P5. New front fences and gates must be sympathetic in design, (including height, form, scale and materials), to the style, period and characteristics of the building to which they belong. |

| | | |
|-------------------------------|--|--|
| | A6. Areas of landscaping between a dwelling and the street must be retained. | P6. The removal of areas of landscaping between a dwelling and the street must not result in the loss of elements of landscaping that contribute to the historic cultural significance of the place. |
| E.13.7.3 - Subdivision | A3. No Acceptable Solution. | <p>P1. A proposed plan of subdivision must show that historic cultural heritage significance is adequately protected by complying with all of the following:</p> <ul style="list-style-type: none"> (a) ensuring that sufficient curtilage and contributory heritage items (such as outbuildings or significant plantings) are retained as part of any title containing heritage values; (b) ensuring a sympathetic pattern of subdivision; (c) providing a lot size, pattern and configuration with building areas or other development controls that will prevent unsympathetic development on lots adjoining any titles containing heritage values, if required. |

HERITAGE PRECINCT

The subject site is within the NH5 (Swan Street) Heritage Precinct as defined by Table E13.2 and depicted on Map E13.3 of the Scheme, therefore the provisions of Clause E13.8 apply.

| | Acceptable Solution | Performance Criteria |
|--|--|--|
| E.13.8.1 - Demolition | A1. No Acceptable Solution. | Demolition must not result in the loss of any of the following: <ul style="list-style-type: none"> (a) buildings or works that contribute to the historic cultural heritage significance of the precinct; (b) fabric or landscape elements, including plants, trees, fences, paths, outbuildings and other items, that contribute to the historic cultural heritage significance of the precinct; unless all of the following apply: <ul style="list-style-type: none"> (i) there are, environmental, social, economic or safety reasons of greater value to the community than the historic cultural heritage values of the place; (ii) there are no prudent or feasible alternatives; (iii) opportunity is created for a replacement building that will be more complementary to the heritage values of the precinct. |
| E.13.8.2 – Building and Works other than Demolition | A1. No Acceptable Solution. | P1. Design and siting of buildings and works must not result in detriment to the historic cultural heritage significance of the precinct, as listed in Table E13.2. |
| | A2. No Acceptable Solution. | P2. Design and siting of buildings and works must comply with any relevant design criteria / conservation policy listed in Table E13.2, except if a heritage place of an architectural style different from that characterising the precinct. |
| | A3. No Acceptable Solution. | P3. Extensions to existing buildings must not detract from the historic cultural heritage significance of the precinct. |
| | A4. New front fences and gates must accord with original design, based on photographic, archaeological or other historical evidence. | P4. New front fences and gates must be sympathetic in design, (including height, form, scale and materials), and setback to the style, period and characteristics of the precinct. |

| | | |
|-------------|--|---|
| | A5. Areas of landscaping between a dwelling and the street must be retained. | P5. The removal of areas of landscaping between a dwelling and the street must not result in the loss of elements of landscaping that contribute to the historic cultural significance or the streetscape values and character of the precinct. |
| Subdivision | A3. No Acceptable Solution. | <p>P1. Subdivision must not result in any of the following:</p> <ul style="list-style-type: none"> (a) detriment to the historic cultural heritage significance of the precinct, as listed in Table E13.2; (b) a pattern of subdivision unsympathetic to the historic cultural heritage significance of the precinct; (c) potential for a confused understanding of the development of the precinct; (d) an increased likelihood of future development that is incompatible with the historic cultural heritage significance of the precinct. |

Table E.13.2 of the scheme lists the NH5 Heritage Precinct as being significant for reasons including:

1. The quality and quantity of late Victorian and Federation period houses which demonstrate its original residential nature and the boom periods of suburban expansion.
2. Individual houses that are intact representative examples of late Victorian and Federation architecture.
3. Groups of houses that are impressive examples of late Victorian and Federation architecture that make a valuable contribution to the streetscape.
4. The continuous two storey ornately decorated facades and general uniformity of form and scale together with a distinctive nineteenth/early twentieth century street pattern that creates a consistent and impressive streetscape.
5. The front and rear gardens and retaining walls are important aesthetic features which reinforce its residential character.
6. Buildings with social significance for the local and broader community because of their past and present social and religious functions.

PLACE OF ARCHAEOLOGICAL POTENTIAL

The subject site is not included in Table E.13.4 (Places of Archaeological Potential), as defined by Figure E.13.4.1 of the scheme, therefore Clause E.13.10.1 of the scheme does not apply.

2.2. HISTORIC CULTURAL HERITAGE ACT 1995

11 Swan Street is listed on the Tasmanian Heritage Register; therefore, the place is subject to the provisions of the *Historic Cultural Heritage Act 1995* (HCHA). Part 6 of the HCHA (Heritage Works) sets the process by which approvals for works may be gained from the Tasmanian Heritage Council (THC):

35. Heritage works require heritage approval

- (1) A person must not carry out any heritage works unless those heritage works have heritage approval.*
- (2) For the purposes of subsection (1), heritage works are taken to have heritage approval if, and only if –*
 - (a) in a case where a certificate of exemption has been issued, the heritage works are carried out in accordance with –*
 - (i) that certificate of exemption; and*
 - (ii) if a discretionary permit or other permit is required for the heritage works under the Planning Act, that discretionary permit or other permit; or*
 - (b) in a case where a certificate of exemption has not been issued, the heritage works are carried out in accordance with a discretionary permit.*
- (3) It is a defence in proceedings for an offence under subsection (1) if the defendant establishes that –*
 - (a) the heritage works were carried out in response to an emergency; and*
 - (b) the heritage works were, both as to nature and extent, reasonably necessary for the purposes of responding to the emergency; and*
 - (c) in the circumstances, it was not practicable to seek a certificate of exemption; and*
 - (d) the defendant, before, while or as soon as practicable after carrying out the heritage works, notified the Heritage Council, in writing, of the emergency and the details of the heritage works.*

Sections 36-41 set the process for the lodgment and assessment of applications for a heritage works permit, via a Discretionary Development Application under the Land Use Planning and Approvals Act 1993.

Section 42 describes the process whereby certain works may be exempt from the requirement of s.35:

42. Certificates of exemption for heritage works

- (1) A person may apply to the Heritage Council for a certificate of exemption for heritage works.*

(2) The exemption certificate application –

(a) is to be in a form provided or approved by the Heritage Council; and

(b) is to be supported by such information as the Heritage Council requires, either at the time of lodgment or subsequently.

(3) The Heritage Council may –

(a) approve the exemption certificate application; or

(b) refuse the exemption certificate application.

(4) Without limiting its discretion, the Heritage Council must approve the exemption certificate application if it is reasonably satisfied that the heritage works –

(a) are identified in the works guidelines as works that will have no impact or only negligible impact on the historic cultural heritage significance of the relevant registered place or heritage area; and

(b) are capable of being carried out in accordance with the works guidelines.

Whilst the HCHA provides no specific detail as to how particular proposals are considered, nor does it provide any indicative thresholds of what may be considered to have *no or negligible* heritage impact, the THC/Tasmanian Government publication *Works Guidelines for Historic Heritage Places* (November 2015)⁴ provides further detail on the application process, guiding principles and the basis for decisions made by the THC.

In addition, the THC has a series of practice notes and technical guides, available via www.heritage.tas.gov.au which provide useful guiding principles for how the THC are expected to assess and determine applications for heritage works.

2.3. ENVIRONMENT PROTECTION & BIODIVERSITY CONSERVATION ACT 1999

The place is not included on the National or Commonwealth Heritage Lists, therefore the historic cultural heritage provisions of the Environment Protection and Biodiversity Conservation Act 1999 are not applicable.

⁴ http://heritage.tas.gov.au/Documents/Works_Guidelines_FINAL_Nov2015.pdf

2.4. ABORIGINAL HERITAGE ACT 1975 (AMENDED 2015)

An assessment of any possible Aboriginal heritage values is not part of the brief for this report; nonetheless the provisions of the *Aboriginal Heritage Act 1975* are applicable to the place. The Tasmanian Government *Unanticipated Discovery Plan – Procedure for the management of unanticipated discoveries of Aboriginal relics in Tasmania* must be adhered to in the event that any Aboriginal heritage items are discovered during the course of any works.

3. HISTORICAL BACKGROUND

As outlined in the methodology in Section 1.3, the key to assessing historic heritage significance is to gain an understanding of the history of the place, the context of it within its surrounds, associated thematic contexts, and other intangible values (e.g. community value, value associated with people, events etc.). To enable this assessment, this research will focus on the physical development of the subject area, in order to provide the most detailed possible account of the structures erected on this site, their purposes, and their fate since European settlement in 1804.

3.1. SOURCE MATERIAL - METHODOLOGY

In order to provide the necessary understanding of the evolution of the site, the depiction of the physical history of the site will be the main consideration – with other aspects of site history (i.e. social histories, economic history, associations *et. al.*) beyond the scope of the current document. Similarly, the history of other townscape developments is beyond the scope of the current document however will be touched upon briefly in Section 4 when considering the importance of The Peacock Centre in the surrounding heritage precinct and wider townscape setting.

The following overview of the known development of the site provides the basis upon which conservation planning judgments can be made.

Primary sources

Broadly, the primary sources consulted in the development of the statement of archaeological potential include:

- Hobart City Council building files (AE471 series, Tasmanian Archive and Heritage Office).
- Historic maps, photographs (NS and PH series) - Tasmanian Archive and Heritage Office.
- Department of Primary Industry, Parks, Water and Environment (DPIPWE) aerial photo collection (Service Tasmania).
- DPIPWE – Land Data Branch, historic map collection (basement)
- DPIPWE – Land Data Branch, titles.
- Historic newspapers, via the National Library of Australia's *Newspapers Online* portal.

3.2. PREVIOUS HERITAGE STUDIES

The Swan Street Heritage Precinct was proposed in the *North Hobart Heritage Areas – A Detailed Assessment* (Bennett 2001)⁵. That report gave the following brief history of the precinct:

John Swan was granted seven acres of land in the 1830s that encompassed the proposed heritage area. His land was surveyed and partially subdivided by the mid-1840s, however was not fully subdivided until the late nineteenth century when Swan Street was cut through. This area developed as a residential area from the 1860s. There were at least five buildings located on Swan's land even though Swan Street had not been constructed by that time. By 1900, there were several large houses built along the elevated northern side of Swan Street. One of these was the home of Mr W.D. Peacock, a jam manufacturer who bequeathed his property to the Government. Six speculative homes were constructed on the southern side of Swan Street by 1910, and several larger residences were constructed soon after. The Swan Street Methodist Church was constructed at the eastern end of Swan Street in 1905.

The following description of the precinct was provided in that report:

Swan Street is a wide straight-running street which has a cul de sac at its western end. It slopes down steadily towards Elizabeth Street that it intersects. The land on the northern side of the street is elevated, however on the southern side it is at a much lower elevation, and falls away sharply. Properties located on the northern side of the street have panoramic views of the city and Mount Wellington, and views of North Hobart and Knocklofty are available from properties located on the southern side. The difference in the elevation of the land has led to the construction of retaining walls along the northern side of the street. The walls, some of which are particularly detailed in design, are constructed out of brick, sandstone and concrete. Mature trees and expansive gardens are also a feature of properties located on the northern side of the street; while small cottage style front gardens predominate on the southern side. There is an impressive mixture of architectural styles represented within this street, including a collection of highly decorated Victorian Italianate houses; several simple Federation cottage, as well as solid Inter War homes and even a Late Twentieth Century Post Modern unit complex. Houses located on the northern side of the street are situated on large allotments, most of which have frontages on both Swan Street and Elphinstone Road. In contrast, houses located on the southern side are situated on long and narrow rectangular allotments that have only one frontage. Most houses are two storeys, however there are a few that are single storey; these are mainly located at the southwestern end of the street. There are several structures that individually possess unique landmark qualities. The Peacock Centre at 11 Swan Street (former home of W.D. Peacock) is a large Federation house with classical influences.

⁵ This was further to the report *North Hobart Heritage Areas 1999* (Vincent and Scripps).

Similarly, 3-5 Swan Street are a pair of highly ornate Victorian Italianate conjoined houses which fully address the street. Significant groups include the Swan Street Methodist Chapel and a group of six Victorian Italianate terrace houses. Very few intrusive elements were observed within the area. There was at least one unsympathetic front fence that exceeded two metres in height; as well as a set of metal stairs winding around a small section of a beautifully detailed Italianate facade.

3.3. HISTORICAL DEVELOPMENT OF THE SUBJECT SITE

The building was the home of the Peacock family, having been built by prominent Hobart businessman W.D. Peacock. Whilst the subject site has traditionally been known as the Peacock Centre, or the W.D. Peacock Convalescent Home, during the time of the Peacock family's occupation, it was known as *Ruardean*, which was presumably the name given by Peacock to his home. The precise construction date is unclear – the 1908 Metropolitan Drainage Board survey of Hobart shows the site as undeveloped. The first mention of *Ruardean* in media is in 1913, when Peacock's gardener was advertising tomato plans for sale from *Ruardean, Swan Street (Elphinstone Road entrance)*.⁶ By 1915 garden fetes were being advertised at *Ruardean*, suggesting that the garden had been well established by then.⁷ Advertising for such fetes was common throughout the 1910s.



Figure 3.1 – 1908 Metropolitan Drainage Board survey of the area, showing the site as undeveloped. State Library of Tasmania.

⁶ The Mercury, 13/9/1913:2.

⁷ The Mercury, 23/4/1915:6.

A construction date of around 1912 can be presumed for the building (which is noted on the LIST property report for the place. William Davidson Peacock (1847-1921) was a Tasmanian fruit exporter, born in Gloucestershire who emigrated to Hobart in 1869 and worked in his uncle's jam factory. In 1885 he was dismissed after refusing to manage a jam factory attached to a distillery, which offended his strong temperance principles. He established his own jam factory, and in 1895 entered the European fruit export trade. W.D. Peacock was a pioneer in guaranteeing full cargo space to induce European ships to take on fruit in Tasmanian ports, whereas previously Tasmanian exporters had to ship fruit to the mainland, and thence onwards to Europe. By 1898, W.D. Peacock and (Sir) Henry Jones were sharing this high-risk strategy. Their companies dominated the Tasmanian fruit export industry. In 1910, Jones purchased a controlling share in Peacock's company, and on Peacock's retirement in 1919, Jones took over his company. The W.D. Peacock Company is well-known particularly for the wonderfully colourful labels on their crates of apples and pears.



Figure 3.2 – The front garden of Ruardean, 1931. *The Weekly Courier Christmas Annual 1933.*

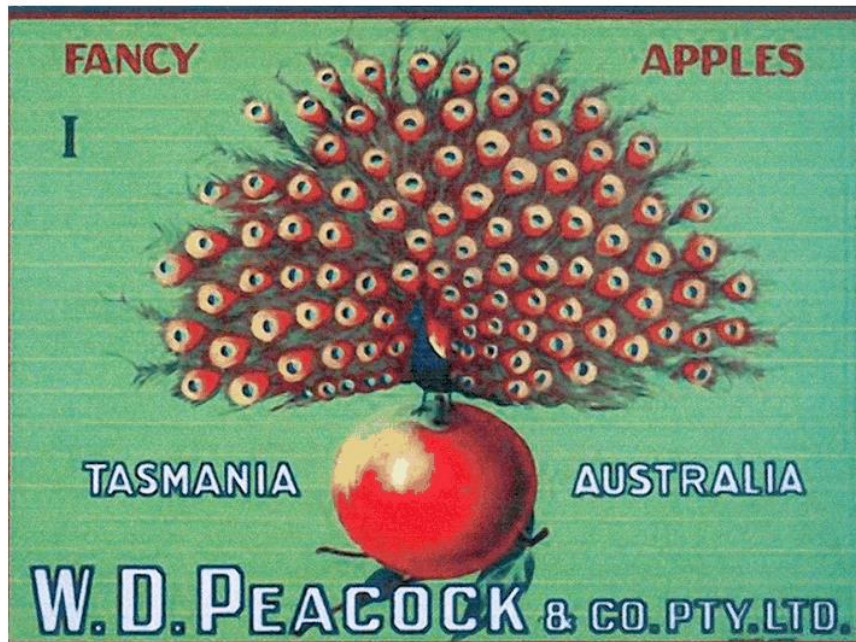


Figure 3.3 – An example of a W.D. Peacock & Co. apple label.

William Peacock's occupation of Reardon was sadly short-lived, as he died on the 16th of November 1921, at Ruardean, having resided there for only around a decade. He was in his 74th year. Peacock, at his time of death, held an estate valued at over £73,000 which was largely bequeathed to a range of charities. Whilst making provision for his widow and adopted daughter, his will made provision for if his daughter were to die *without issue*, then his trustees were to distribute her share of his estate to various charities.⁸

The will of William Davidson Peacock dated February 1 1921 appointed the Perpetual Trustees Executors and Agency Company of Tasmania Limited in the bequest of his house and grounds in Swan Street Hobart known as 'Ruardean' upon trust [paraphrased] to permit his wife Agnes Isabella Peacock to use occupy and enjoy the same and after the decease of the said Agnes Isabella Peacock he directed the Trustees to convey assure and transfer to the Government of Tasmania or to such Committee of Management as the said Government of Tasmania should appoint upon the following conditions [direct quotation]:

1. *To establish therein a hospital or home for persons suffering from incurable diseases or if that was considered impracticable such a home or institution for the alleviation of human suffering as the said Government of Tasmania might decide upon it being his earnest wish that no such hospital or home*

⁸ The Mercury, 12/4/1922:5.

existing in Tasmania such a hospital or home should be established and should be known as 'The W.D. Peacock Home for Incurables' or some like designation.

2. *That the said Government should employ a competent gardener and also an assistant gardener when necessary to keep the grounds surrounding Ruardean and all glass houses on the said land in the same good order and condition as the same were kept during his life.*
3. *That the said Government should keep his residence in as good a state of repair and condition as the same had been kept in during his lifetime.*
4. *That the management of the said hospital should be vested in a committee of five [detail omitted here].*
5. *That the said Government should pay the cost of upkeep of the said hospital [detail of trust funds bequeathed for such omitted here].⁹*

Records of Ruardean are scant for the following two decades, as Peacock's widow was living at the property. It was not until her death in 1940 that Government records detail the process of putting Peacock's wishes into action.

⁹ Ruardean Convalescent Home and Will of Late W.D. Peacock – Declaration of Trust to the Hon. Edward Brooker, 1940. TAHO HSD1/1/5575.

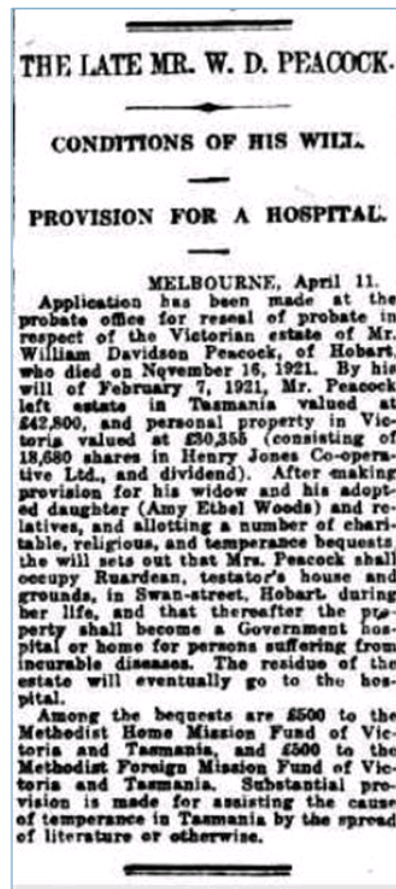


Figure 3.4 – Media coverage of the Peacock bequest. The Mercury 22/4/1922:6.

In a memorandum from the Minister of Health of Tasmania dated 8th October 1940, the commencement of the implementation of Peacock's bequest were articulated:

Having in the company with the Hon. The Premier and other Ministers, inspected the property of the late W.D> Peacock, in Swan Street, I wish to submit, for consideration by Cabinet, the following suggestion that as to the best way in which this property could be utilised by the State:-

One of the difficulties of hospital administration at the present time is the absence of a convalescent home for cases, particularly of the poorer type, who have recovered from serious illness and, whilst no longer needing hospital treatment, are not well enough to undertake domestic or other duties. It is

considered that the property in question could be utilised for this purpose, and that its administration could best be carried out by the Board of the Royal Hobart Hospital.

With minor structural alterations, including increased bathroom and lavatory accommodation, the building would accommodate twenty-four persons (12 males and 12 females). In app probability, a small nurses' home would also be necessary. The steepness of the grounds and the general approach make it imperative that the types of cases accommodated should be ambulatory. The home could readily be supervised by a senior hospital sister, assisted by nurses' on light duty. As a condition of the Will, the grounds must be kept in order, and this work could be undertaken by the gardeners attached to the Royal Hobart Hospital. The cost of administration could be linked up with that of the hospital, in the same way as Millbrook Home is administered by the Lachlan Park Hospital.¹⁰

Just over a year later, the Director of Public works was authorised to carry out various repairs and modifications to Ruardean, including¹¹:

- Internal and external painting
- New bath on the ground floor
- Ramp at rear of building
- Repairs to slate roofs (a memo of 15/5/1941 alerts to substantial roof leaks)
- Concreting of back veranda
- Flashing repairs
- Machine sanding and polishing of floors
- Lockers, mirrors etc.

A survey of the grounds of Ruardean and a floor plan of the building gives a good insight into the physical nature of the place at that time:

¹⁰ TAHO HSD1/1/5576.

¹¹ TAHO HSD1/1/5578.

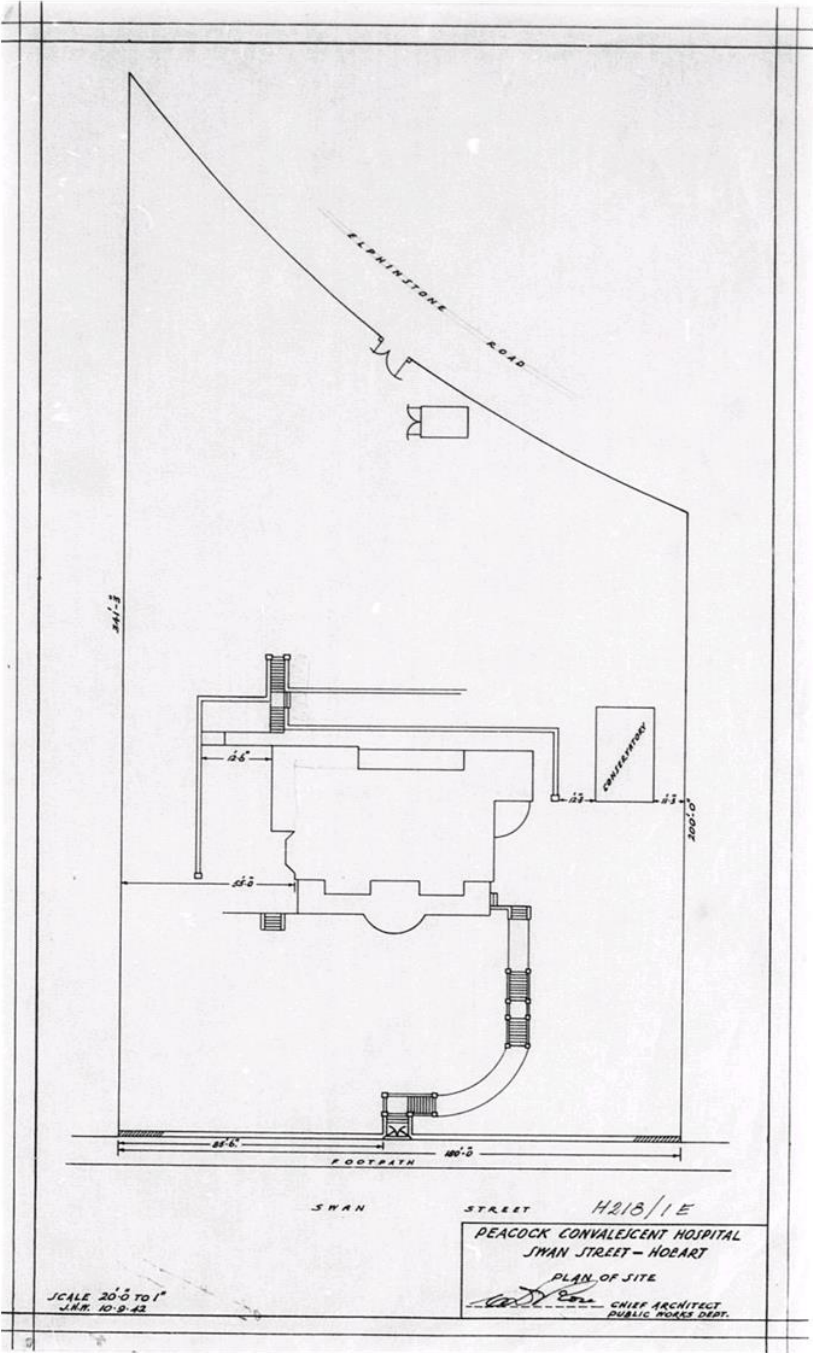


Figure 3.5 – Site plan of Ruardean 1942. Tasmanian Archive and Heritage Office PWD266.4.4371

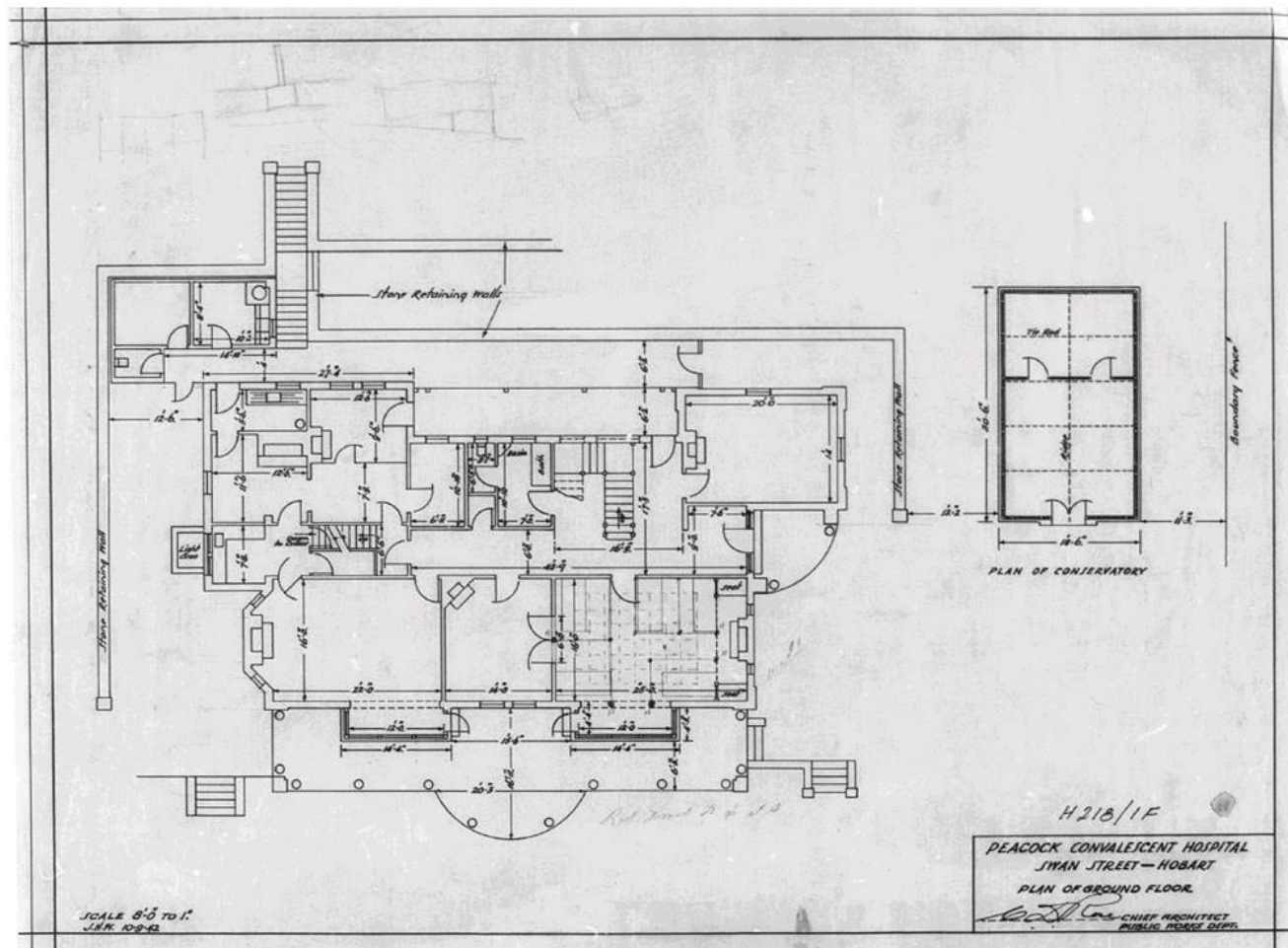


Figure 3.6 – Ground floor plan of Ruardean, 1942. Tasmanian Archive and Heritage Office PWD266.4.43719.

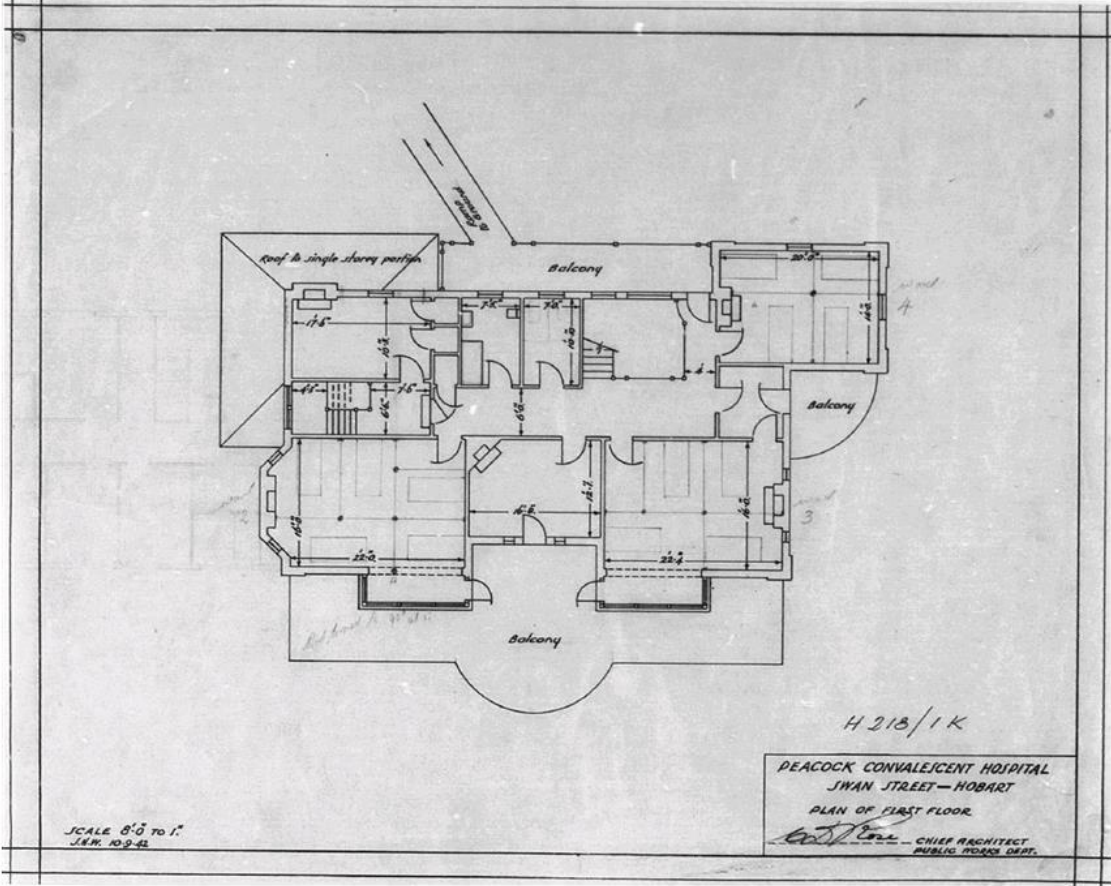


Figure 3.7 – First floor plan of Ruardean, 1942. Tasmanian Archive and Heritage Office PWD266.4.43719.



Figure 3.8 – The environs of the Peacock Centre (outlined in red) from the 1946 aerial run of Hobart. Hobart 1946, Run 1, 10894.



Figure 3.9 – The Peacock Centre (outlined in red) from the 1946 aerial run of Hobart. Hobart 1946, Run 1, 10894.

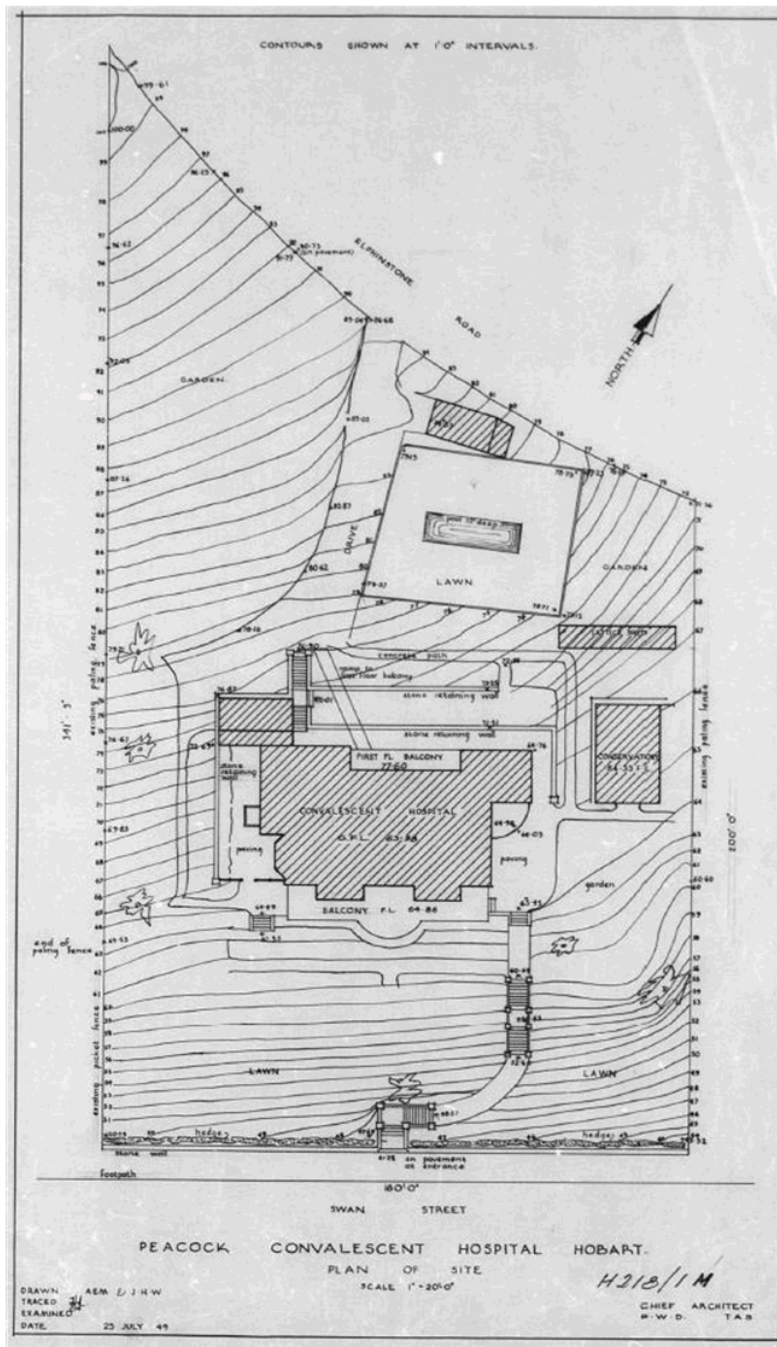


Figure 3.10 – Site plan of the Peacock Convalescent Hospital July 1949. Tasmanian Archive and Heritage Office AE/417.

The Peacock Convalescent Home was officially opened in March 1943.¹² In July 1949, plans were touted for a new nurses' home semi-attached to the building. Plans from that year show three options for positioning that building, however none of these were acted upon. In 1951 a new nurses' home and solarium were again proposed, and whilst a similar concept of a solarium (sunroom) was added, the nurses' home plan was not acted upon until almost 15 years later.

In 1965, a 'revised scheme' for a nurses' home was formulated, which was soon after constructed, which forms the substantial western and rearward extension of the building as it currently stands.

A new kitchen and dining room was added around 1970 and at around that time the rear landscaping was substantially modified for level access and parking/maneuvering areas.

The following plans depict the process of planning the eventual construction of the 1965 nurse's home:

¹² The Mercury, 30/3/1943:4.

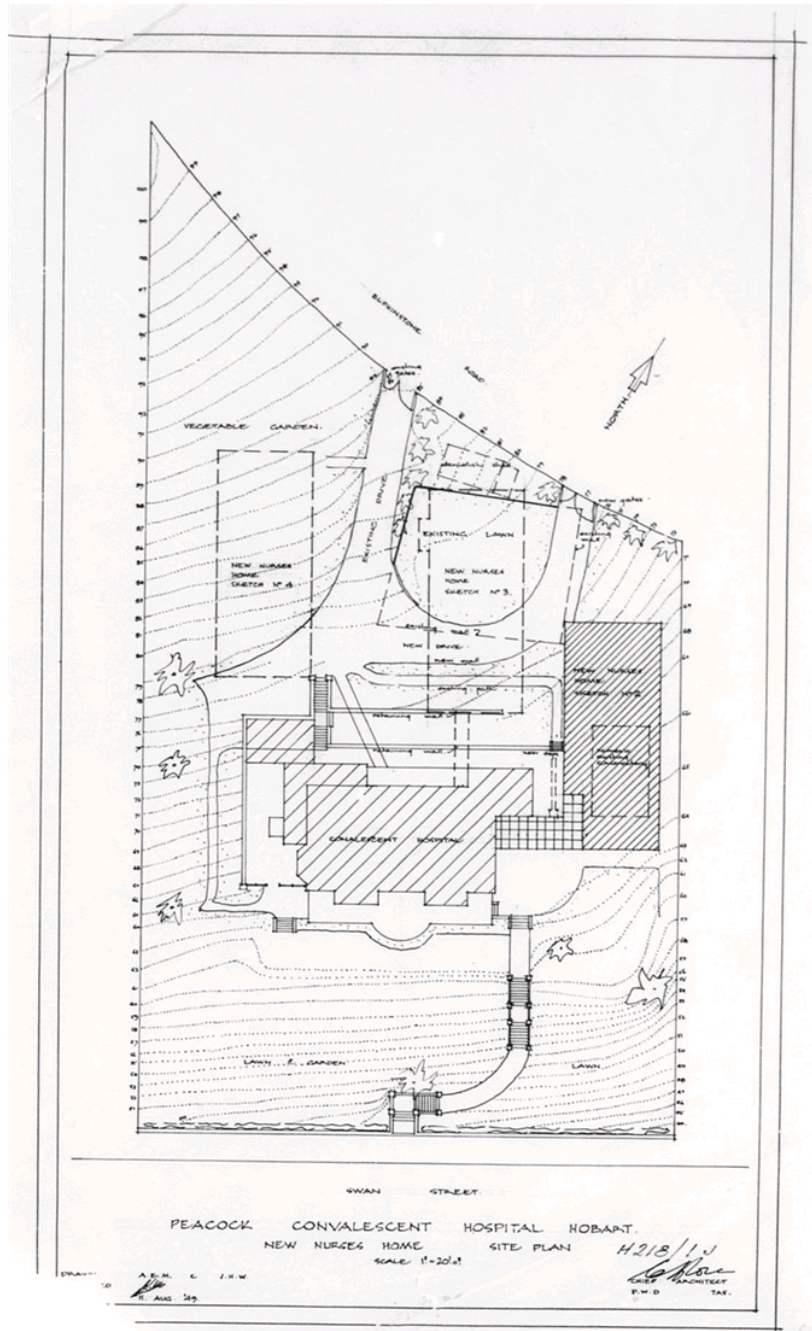


Figure 3.11 - 1949 Nurses' home options that were not acted upon. This plan had the three associated options further detailed on separate sheets.

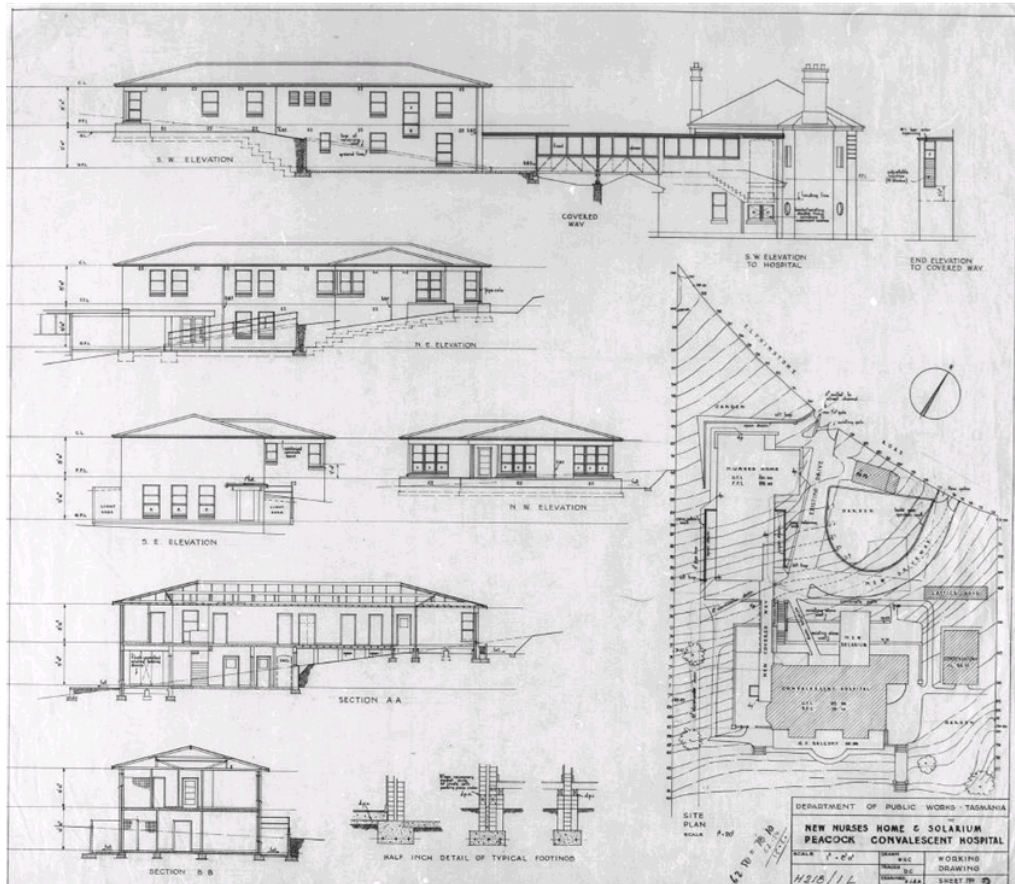


Figure 3.12 - Proposed nurses' home and solarium 1951 Tasmanian Archive and Heritage Office AE417.



Figure 3.13 – Excerpt from a 1958 aerial photograph showing the additions at the rear of the Peacock Centre. Lands Tasmania Hobart Run 6.153, February 1958.



Figure 3.14 - 1965 nurses' home location plan that was actually constructed. Tasmanian Archive and Heritage Office AE417/4/518.

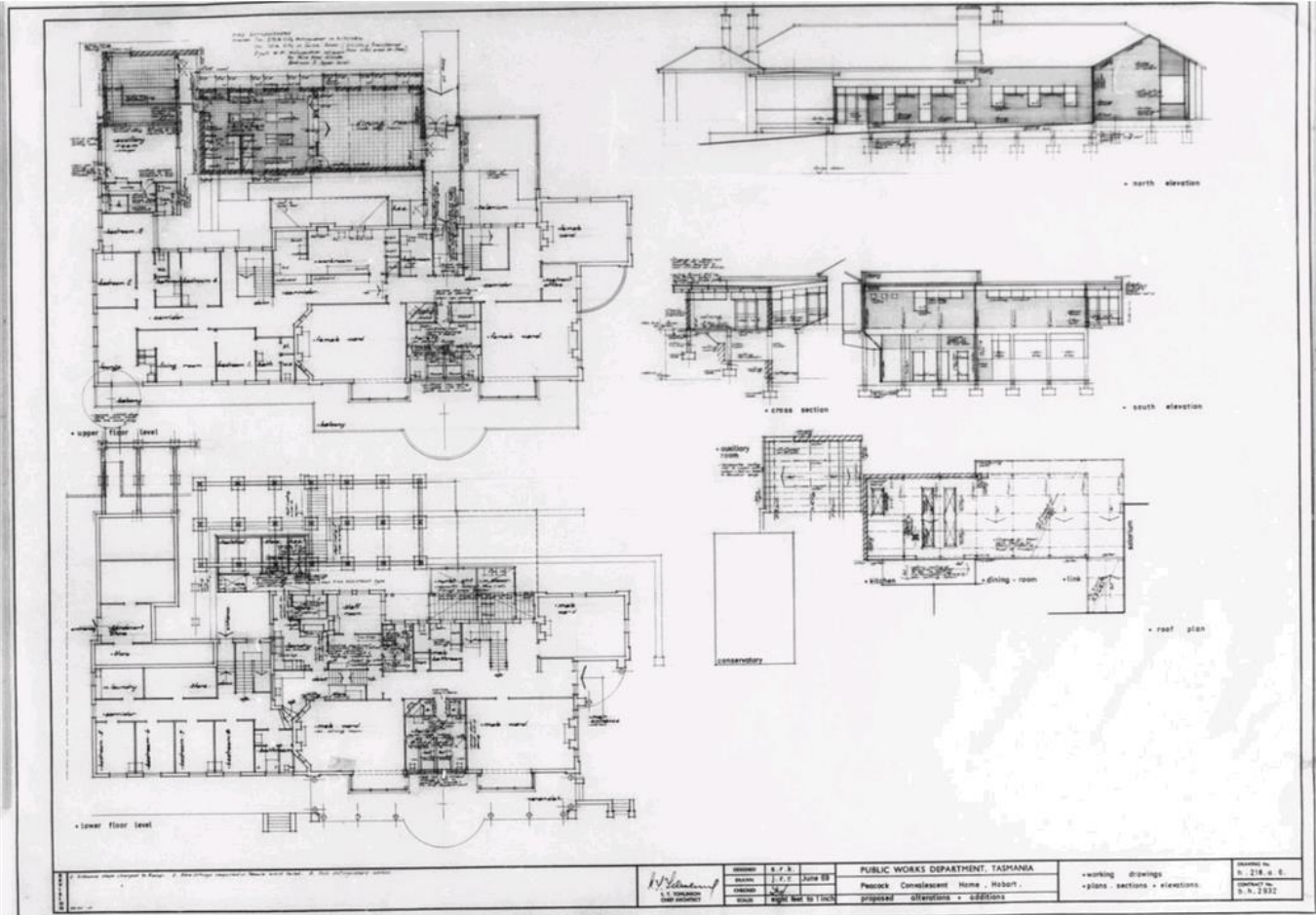


Figure 3.15 - Proposed 1965 extensions. Tasmanian Archive and Heritage Office PWD266.4.43703.

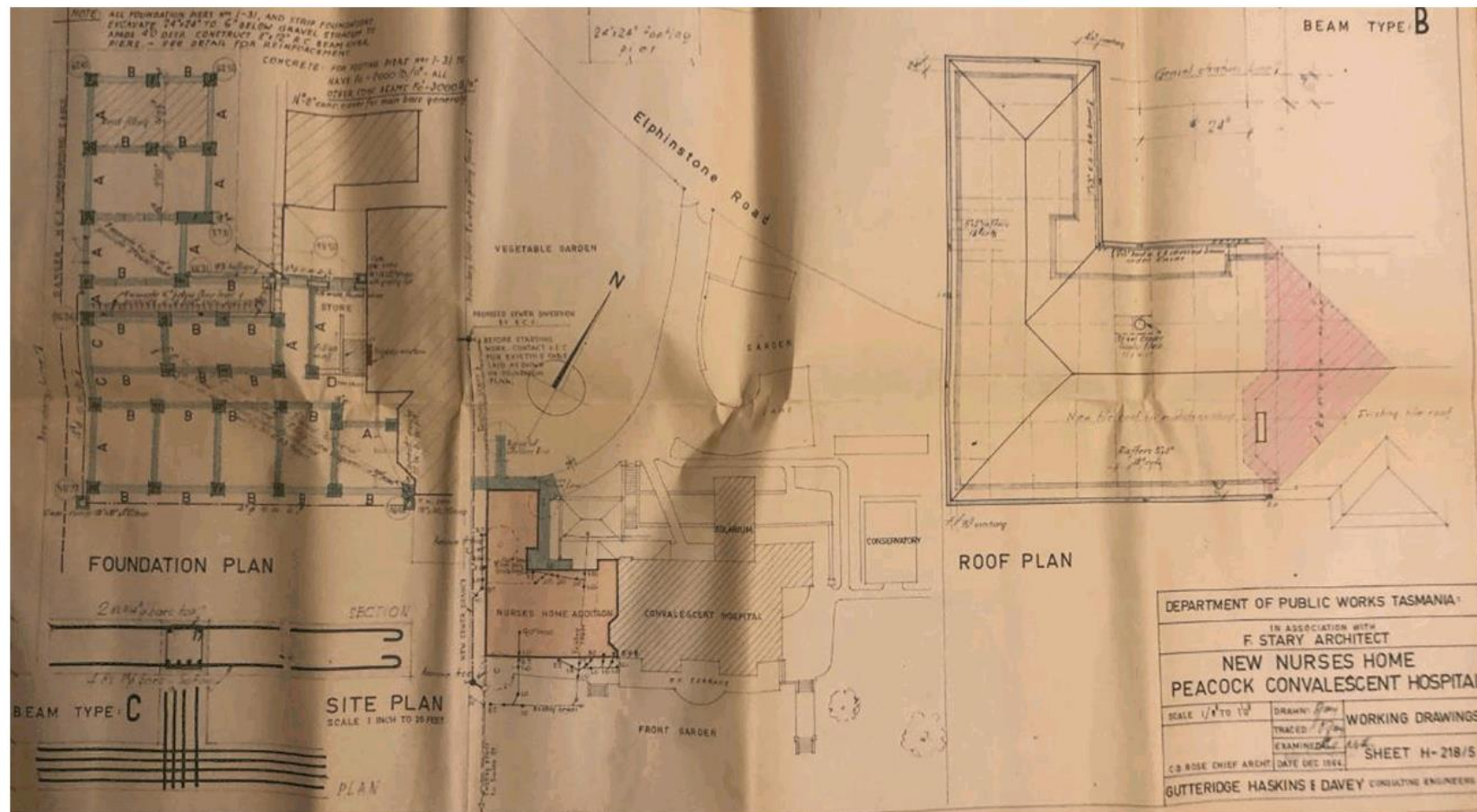


Figure 3.16 - 1965 nurses' home foundation plan, showing major site features at that time. Tasmanian Archive and Heritage Office AE417/4/518.

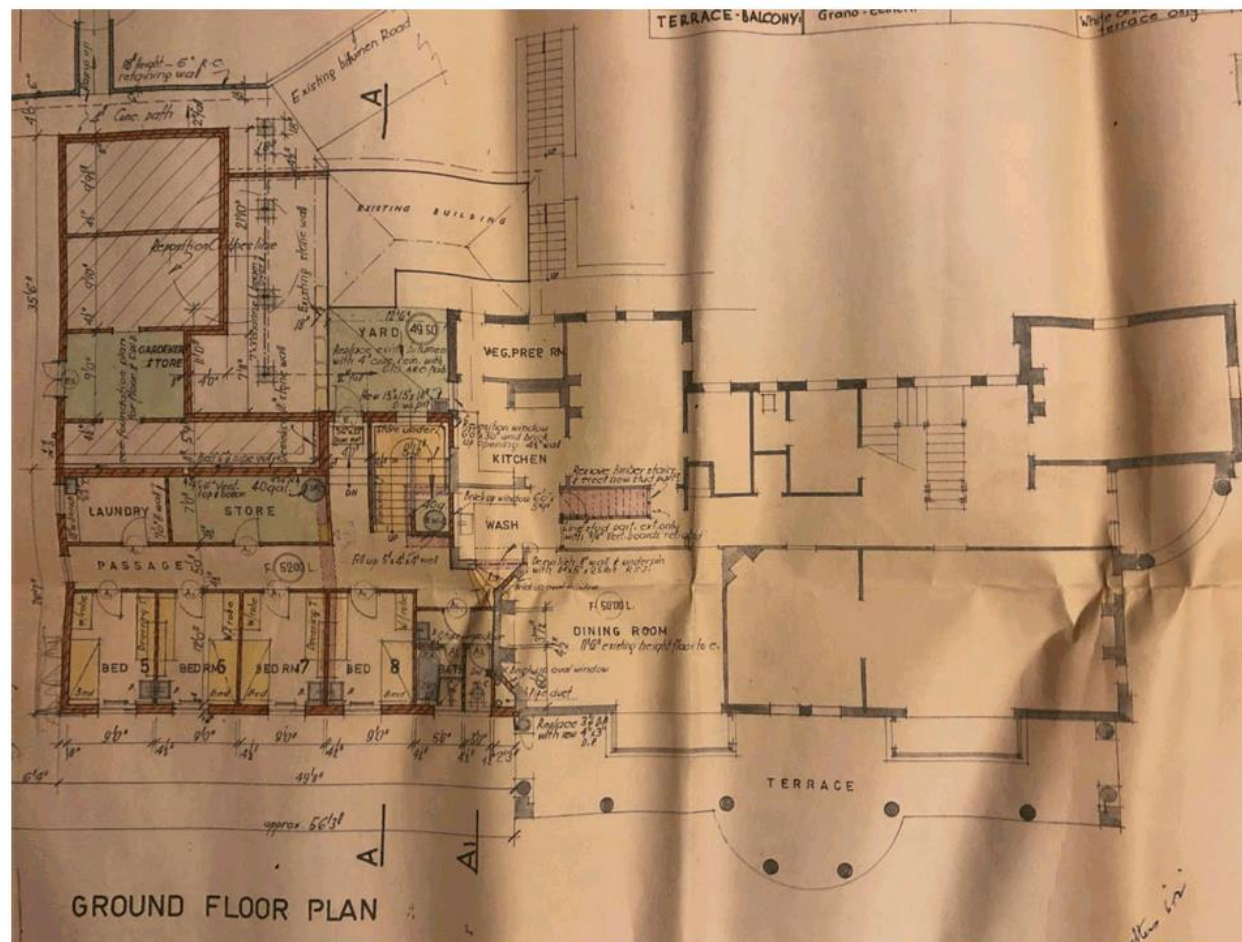


Figure 3.17 - 1965 nurses' home ground floor plan. Tasmanian Archive and Heritage Office AE417/4/518.

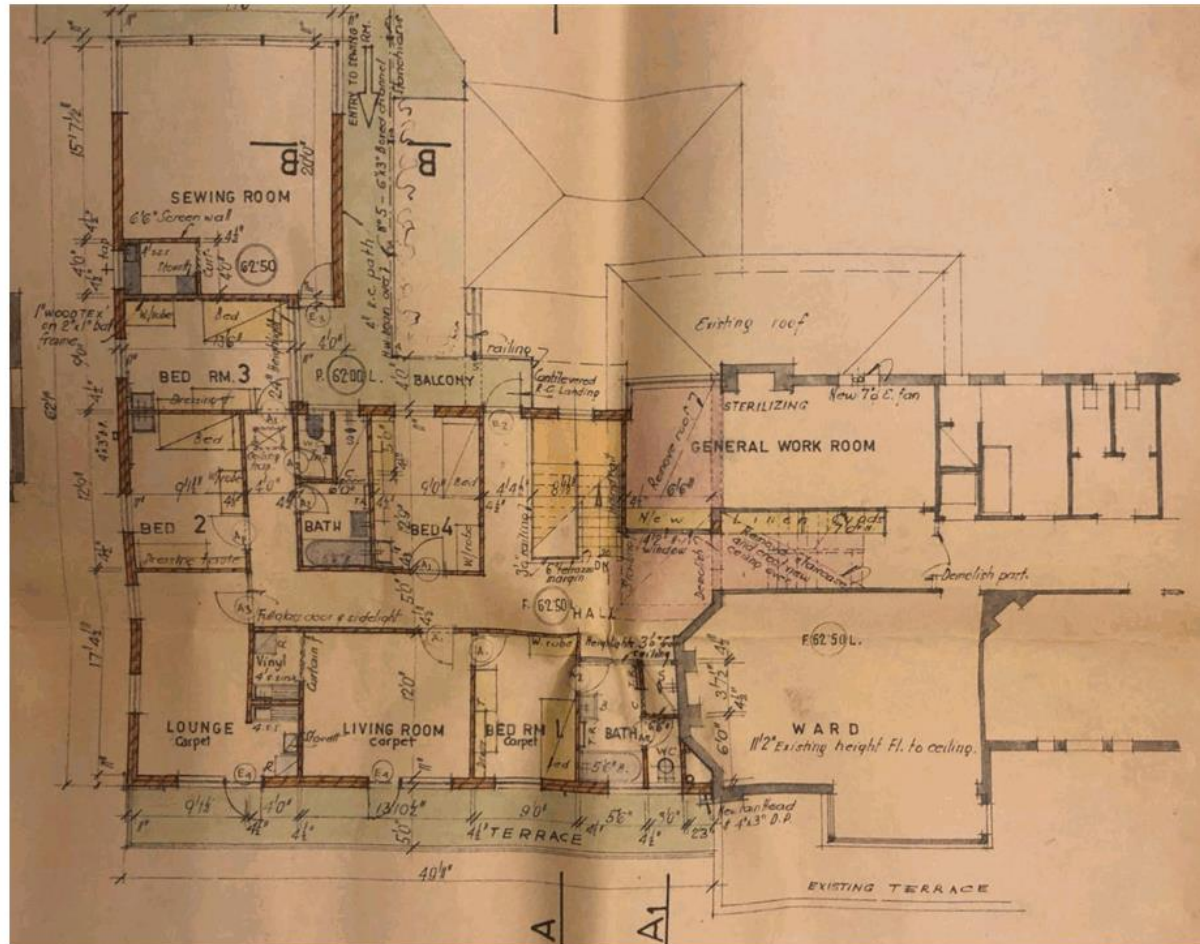


Figure 3.18 - 1965 nurses' home first floor plan. Tasmanian Archive and Heritage Office AE417/4/518.



Figure 3.19 - 1965 proposed Swan Street elevation of the nurses' home. TAHO AE417/4/518.

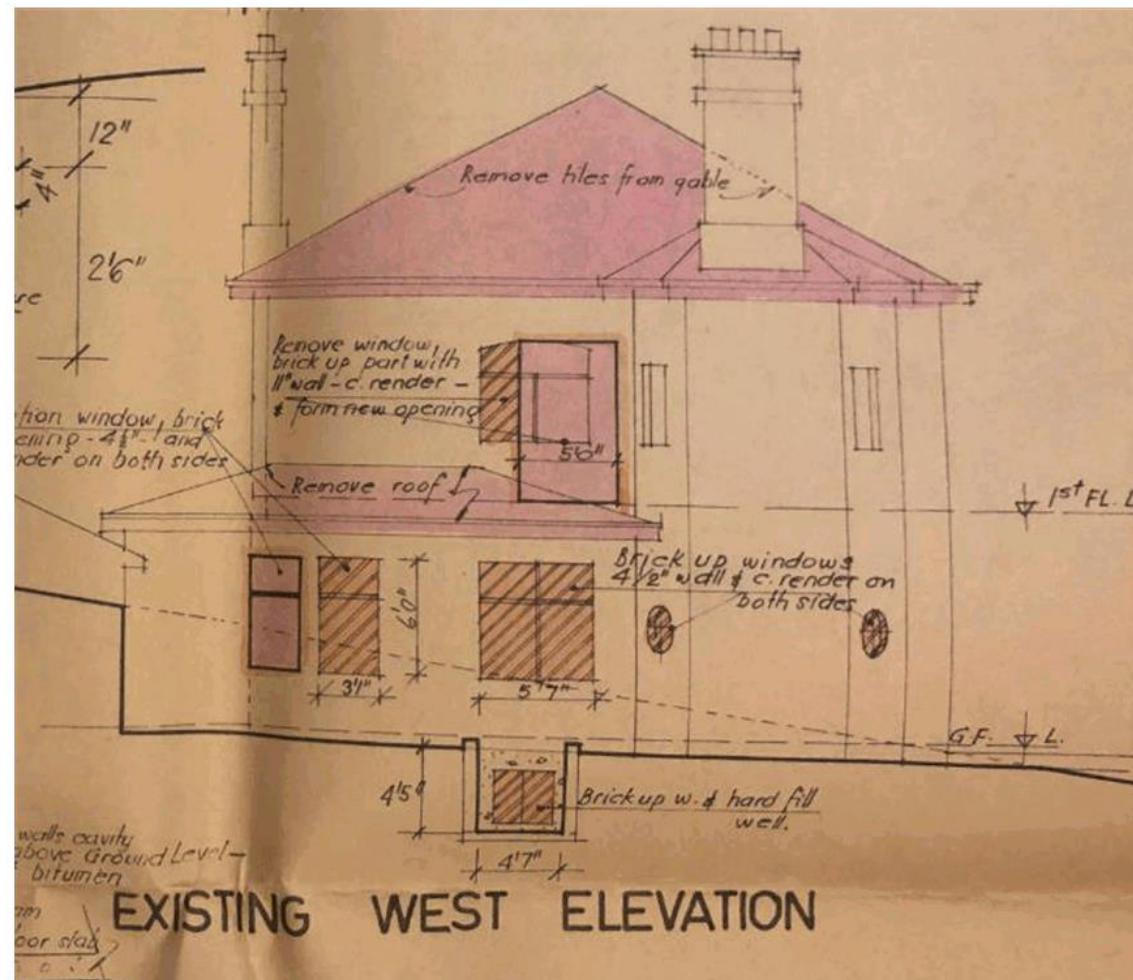
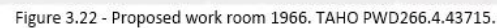


Figure 3.20 - 1965 proposed modifications to western elevation for the nurses' home. TAHO AE417/4/518.



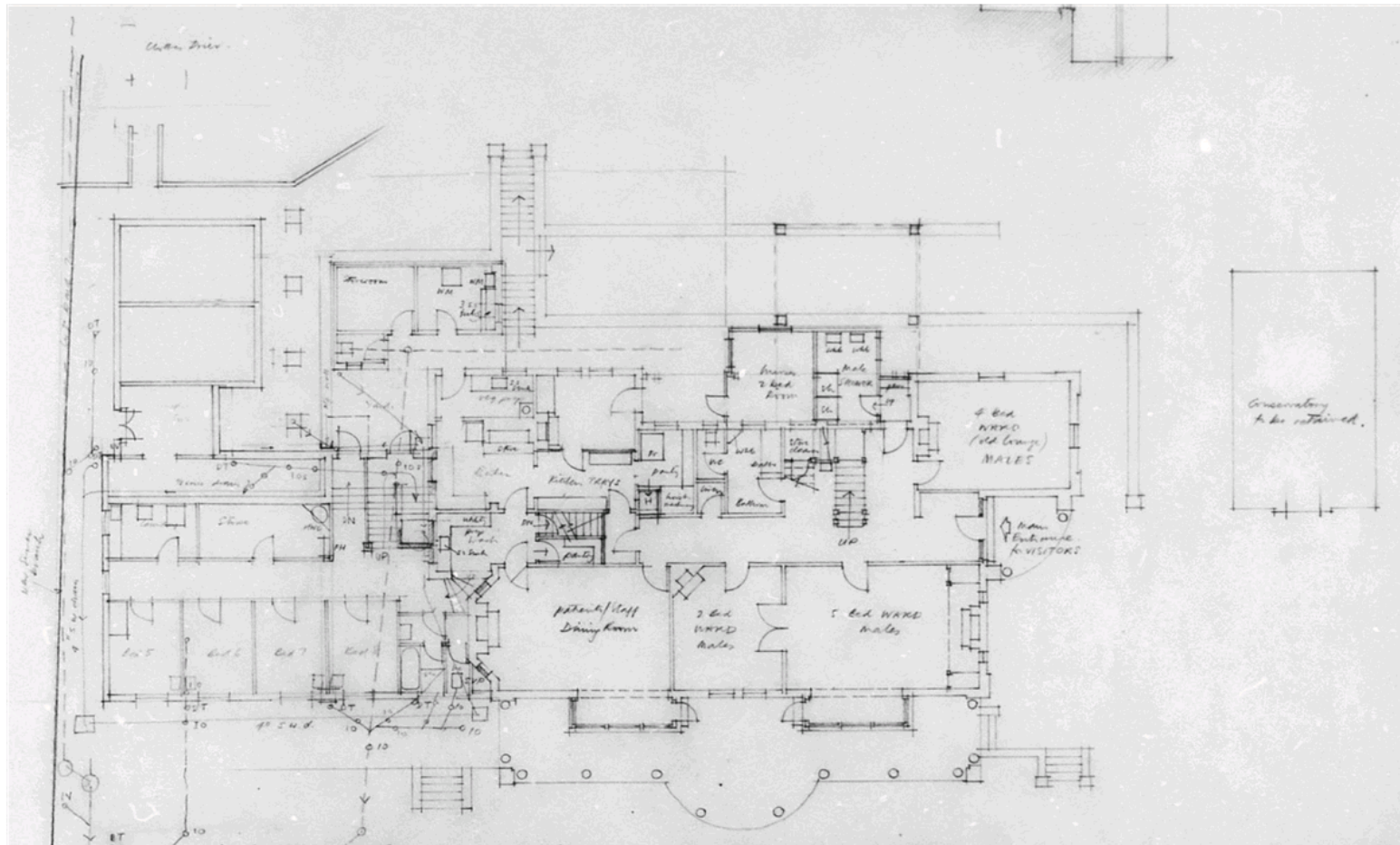


Figure 3.23 - Ground floor plan and proposed extensions 1960s. Tasmanian Archive and Heritage Office AE417.

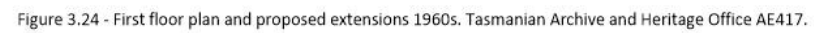




Figure 3.25 – Excerpt from a 1968 aerial photograph showing the additions at the rear of the Peacock Centre. Lands Tasmania Hobart Run 5.T1332, March 1968.

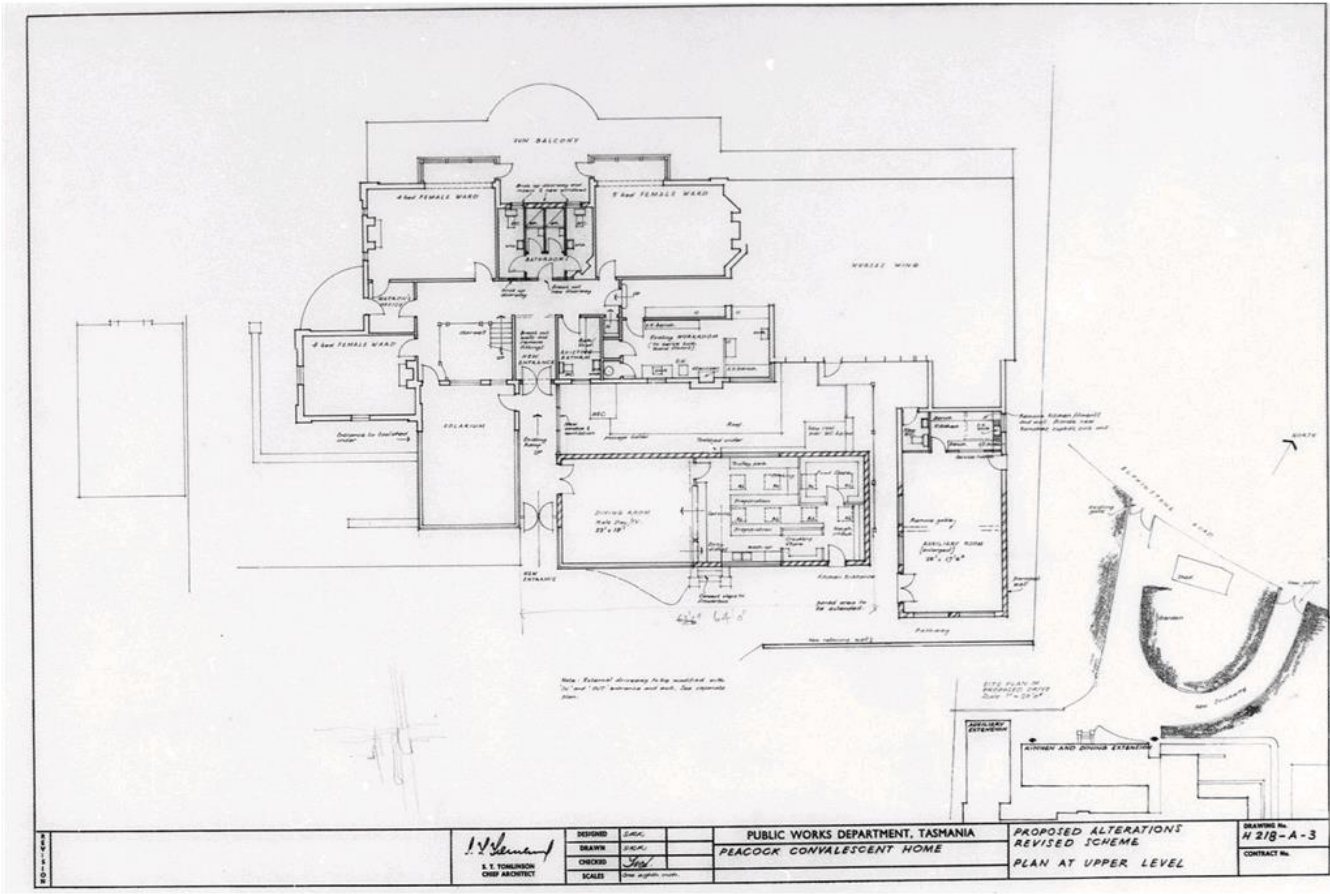


Figure 3.26 - C1970 kitchen and dining room extension. Figure 3.21 - Ground floor plan and proposed extensions 1960s. Tasmanian Archive and Heritage Office AE417.

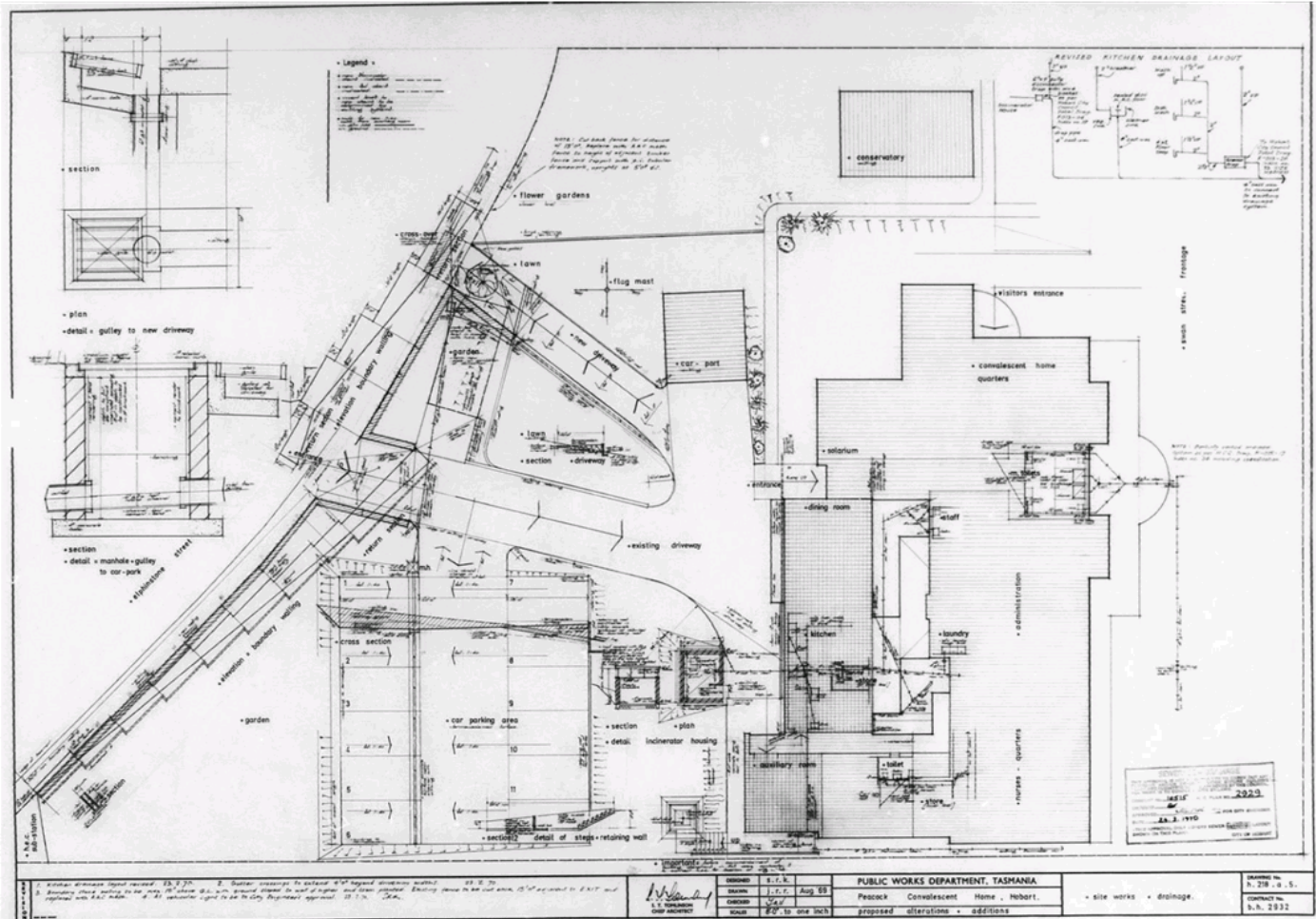


Figure 3.27 - C1970s drainage plan showing new rear access arrangements. Tasmanian Archive and Heritage Office AE417.

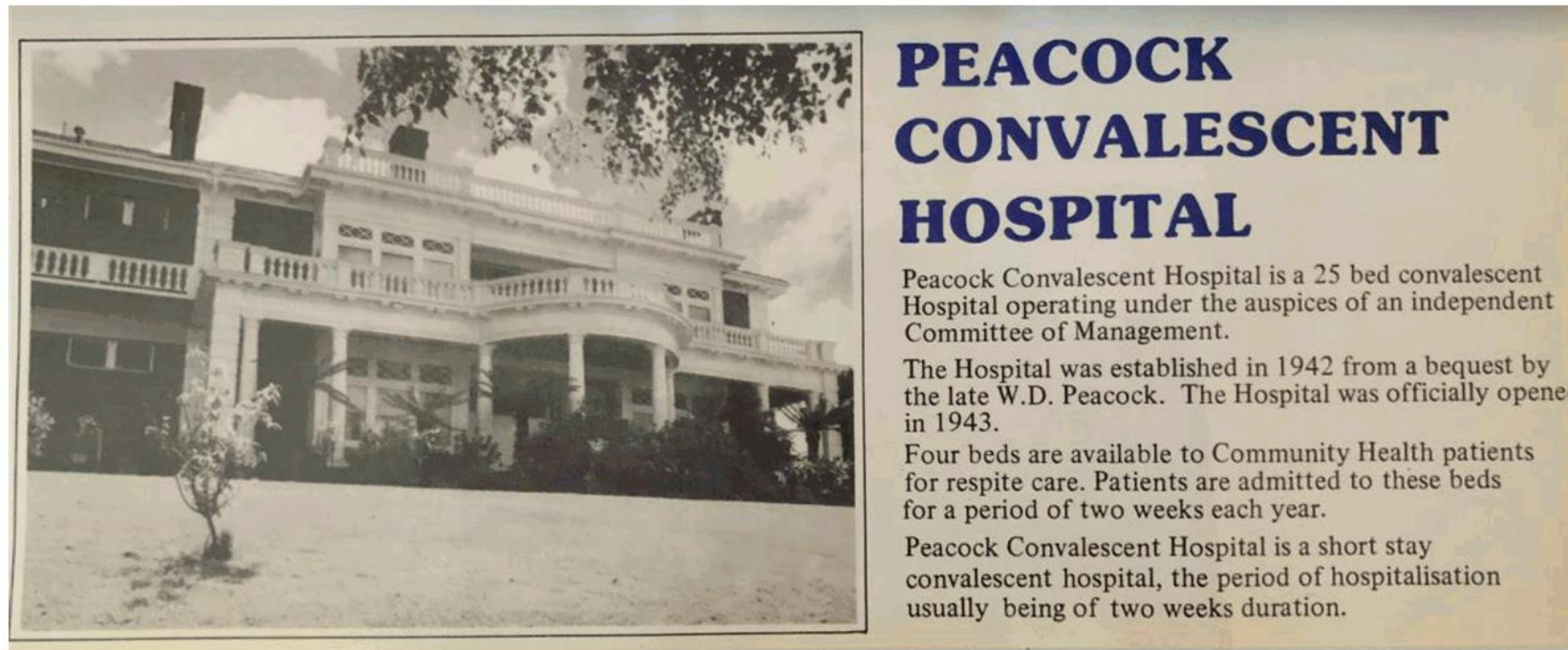


Figure 3.28 - Peacock Convalescent Hospital visitors and patients guide, 1984. TAHO AF399/1/1.

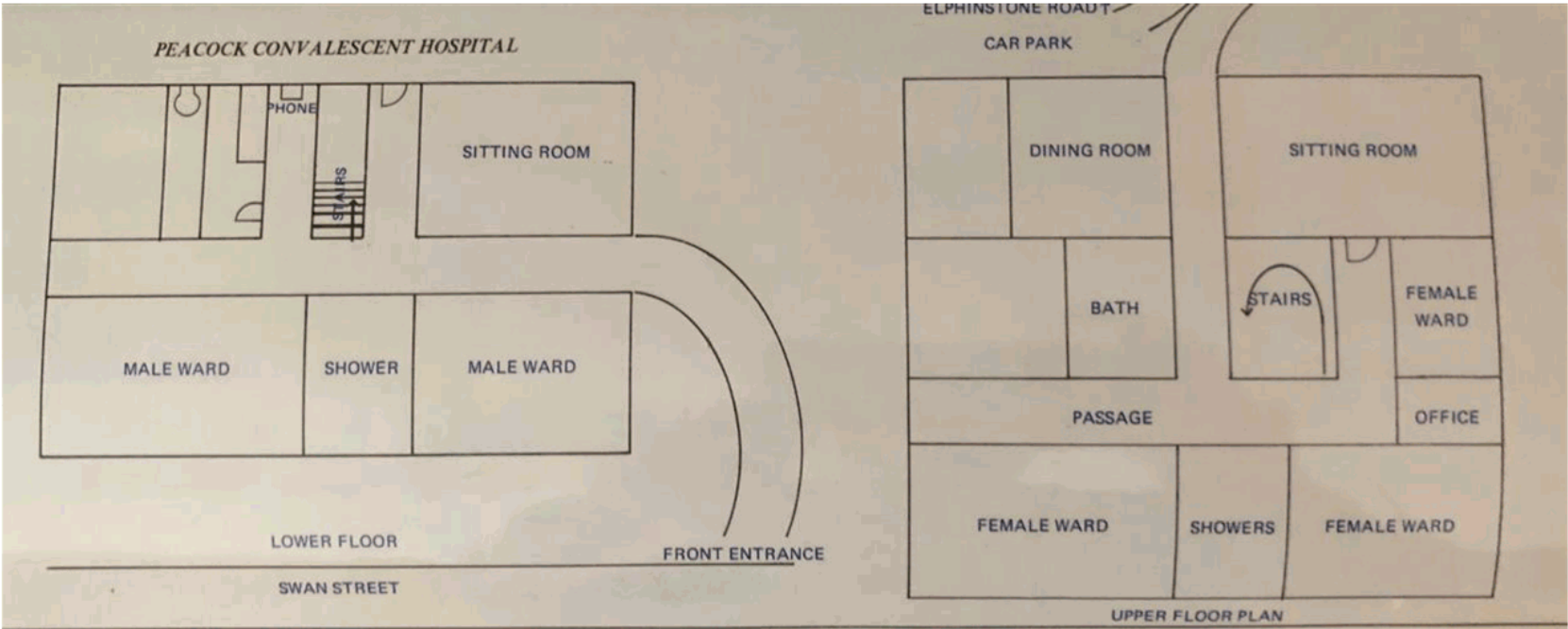


Figure 3.29 - Peacock Convalescent Hospital visitors and patients guide, 1984. Simplified floor plan showing functional areas. TAHO AF399/1/1.

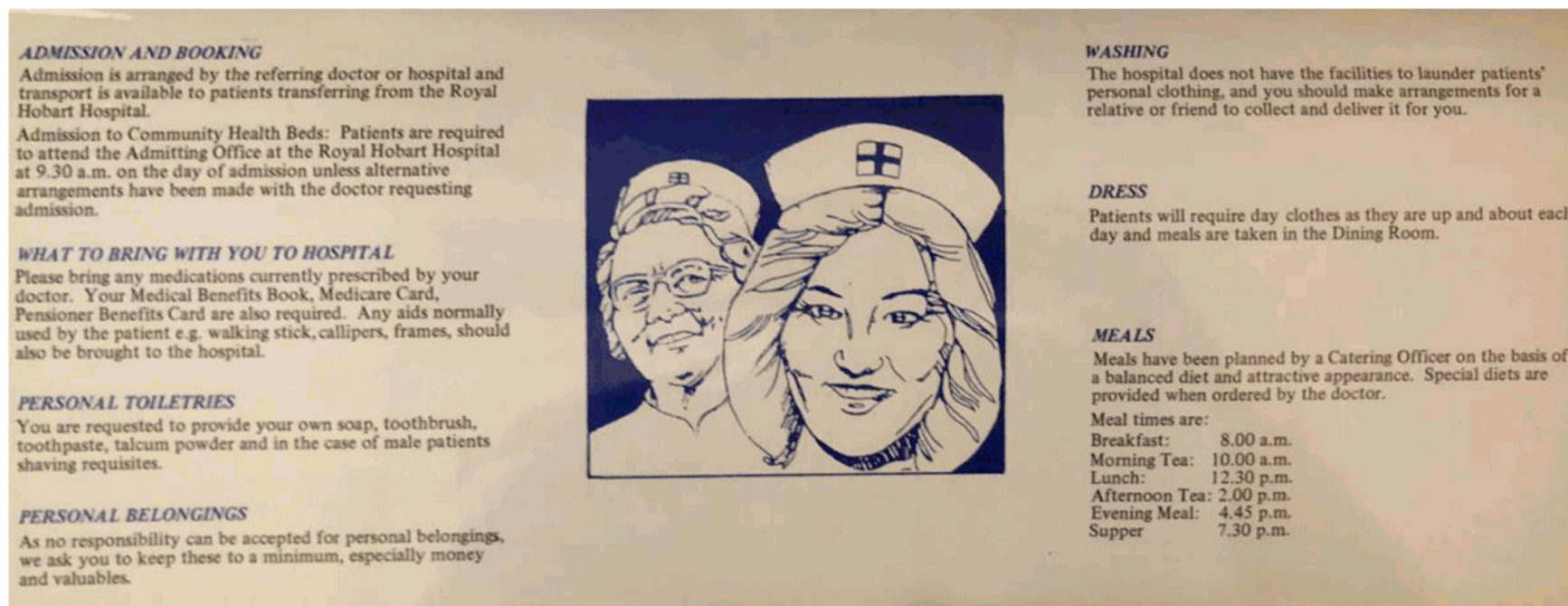


Figure 3.30 - Peacock Convalescent Hospital visitors and patients guide, 1984. TAHO AF399/1/1.

In 2017, as the result of a daylight arson attack, the Peacock Centre was severely damaged by fire. The fire was started in the rear extensions, however spread into the original Ruardean building through G10 and into the upstairs hallway where it entered the roof. This resulted in the total destruction of the roof structure, the remains of which were subsequently removed and a temporary roof added.



Figure 3.31 – The Peacock Centre during the 2017 fire. The Mercury



Figure 3.32 – The Peacock Centre after the 2017 fire. The Daily Telegraph.

| Ground Floor | |
|--------------|---|
| Colour | Area/era of building |
| Red | Original Ruardean building (and outbuilding) c1912. |
| Green | 1966 Peacock Centre nurses' home extensions. |

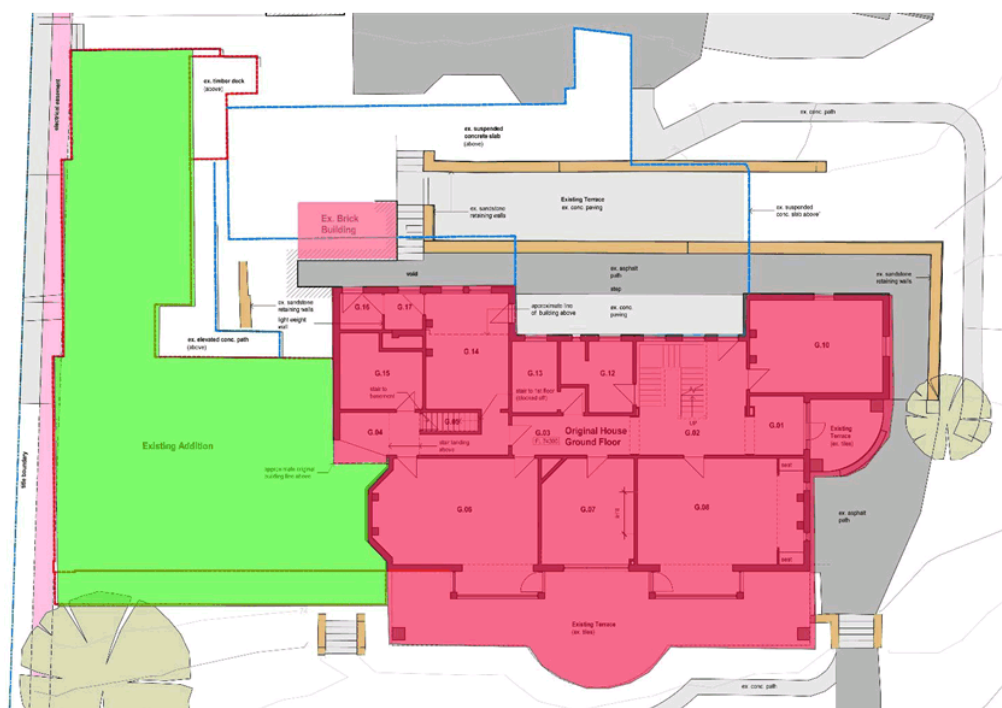


Figure 3.33 – Evolution of the ground floor of The Peacock Centre. Baseplan – X-Squared Architects.

| First Floor | |
|-------------|--|
| Colour | Area/era of building |
| Red | Original Ruardean building c1912 |
| Orange | 1970s kitchen and dining room |
| Purple | 1970s-80s infill/entry |
| Green | 1966 Peacock Centre nurses' home extensions. |
| Blue | 1950s solarium |

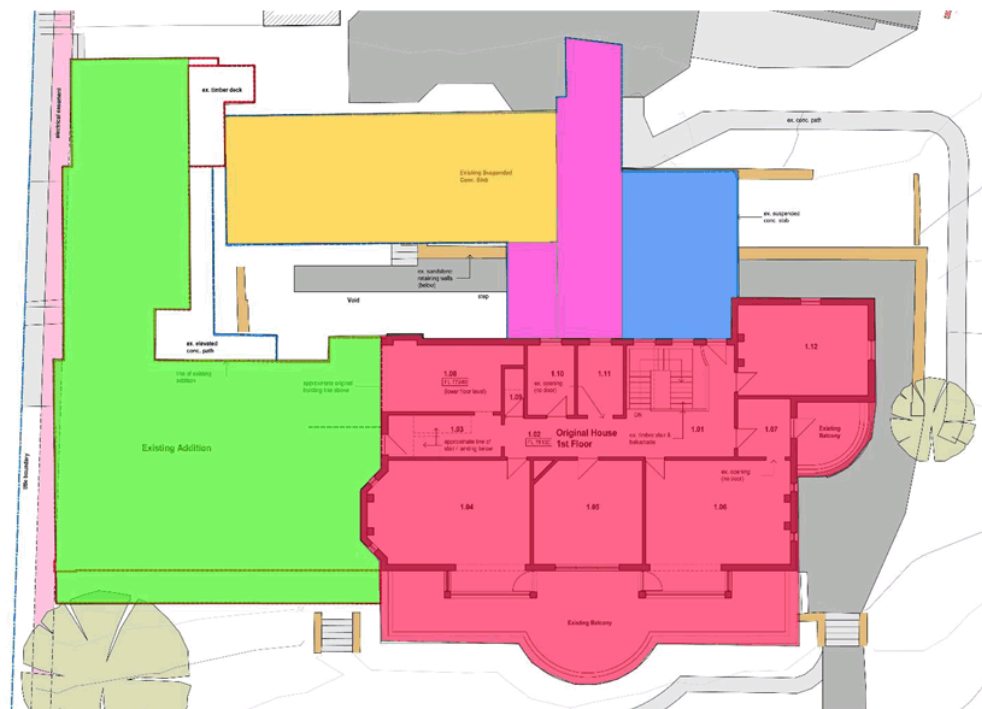


Figure 3.34 – Evolution of the first floor of The Peacock Centre. Baseplan – X-Squared Architects.

The following figures depict the evolution of the major landscape elements of the site, based on 1942 and 1964 surveys:



Figure 3.35 – Major landscape features drawn from the 1942 site survey, which depicts the end of the Peacock residential use of the site. Adapted from www.thelist.tas.gov.au



Figure 3.36 – Major landscape features drawn from the 1946 aerial photo, which depicts the start of hospital use of the site. Adapted from www.thelist.tas.gov.au



Figure 3.37 – Major landscape features from the 1964 survey.

4. DESCRIPTION OF THE CURRENT FORM OF THE PLACE



Figure 4.1 – Cadastral parcel comprising the subject site (www.thelist.tas.gov.au)


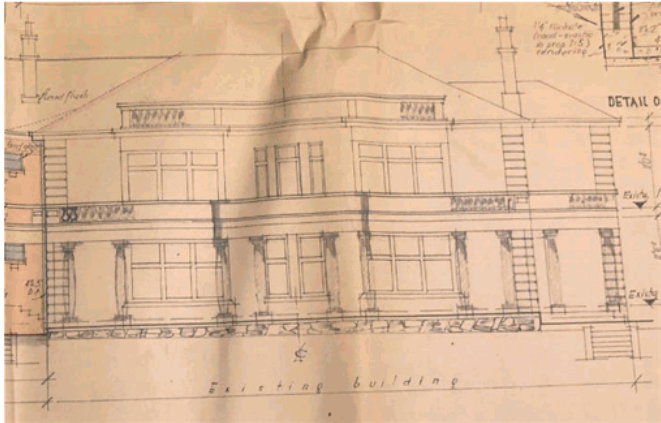
The Peacock Centre is situated on a 0.4499-hectare allotment running between Swan Street and Elphinstone Road in North Hobart. The building is in an elevated position approximately half-way up the lot and holds a commanding view over the Hobart CBD to the Derwent River. Although used as a health-care institution for almost 80 years, the front garden retains a domestic feel, however the rear of the site has been largely modified with carparking and pathways not conducive to the heritage garden setting. As per Figures 3.34-3.35, the building itself is comprised of a number of development phases – Sections 5 and 6 will determine that only the original portion of Ruardean (i.e. the later Peacock Centre) is of historic heritage significance, therefore the remaining buildings will not be considered here (and in fact some have been almost wholly destroyed by fire in any case). This description will therefore be concerned with:


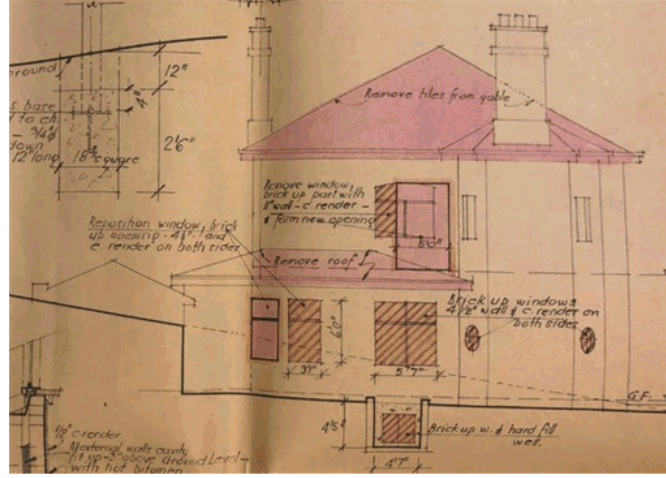
- The original Ruardean building and potentially significant outbuildings
- Early garden elements
- Views and streetscape setting, particularly within the context of the surrounding heritage precinct.


4.1. THE RUARDEAN BUILDING EXTERIOR

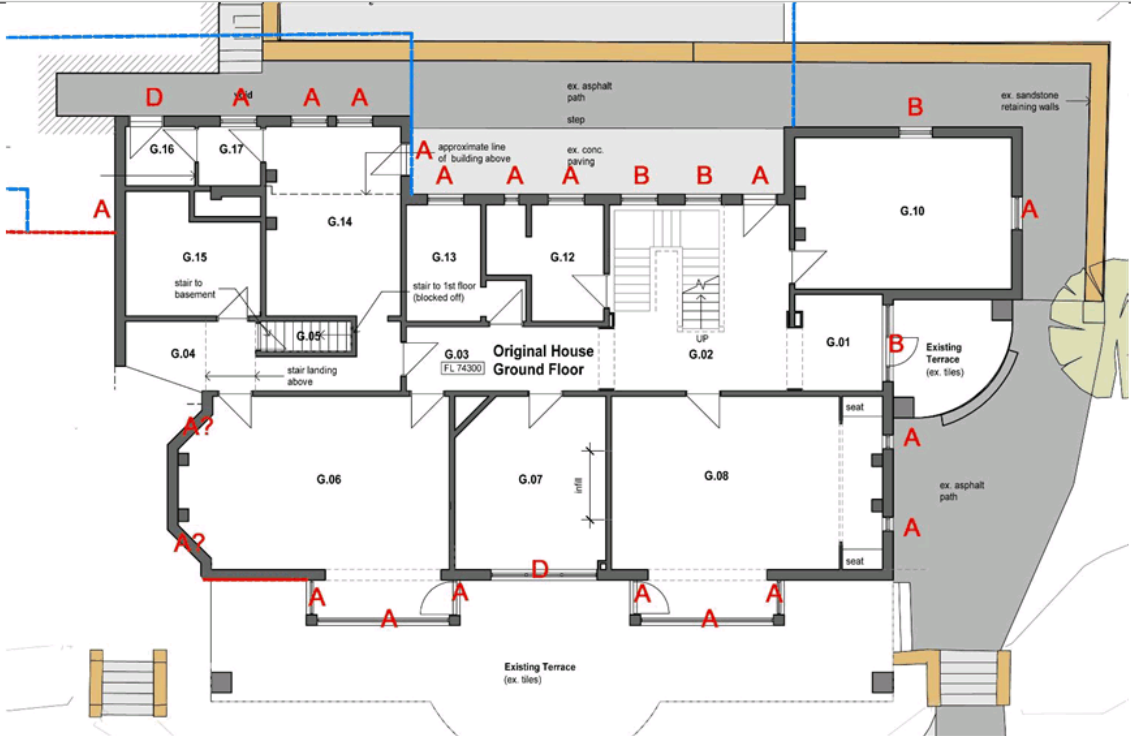
The original portion of the Peacock Centre (i.e. the former Ruardean building) occupies a footprint of approximately 350m² (excluding terraces). The two-storey building has a very prominent and impressive façade (i.e. facing Swan Street) and owing to the slope of the site reads largely as a single storey building from the rear – the ground floor forming a basement within a large retained area at the rear of the site which is now largely covered by suspended concrete slabs.

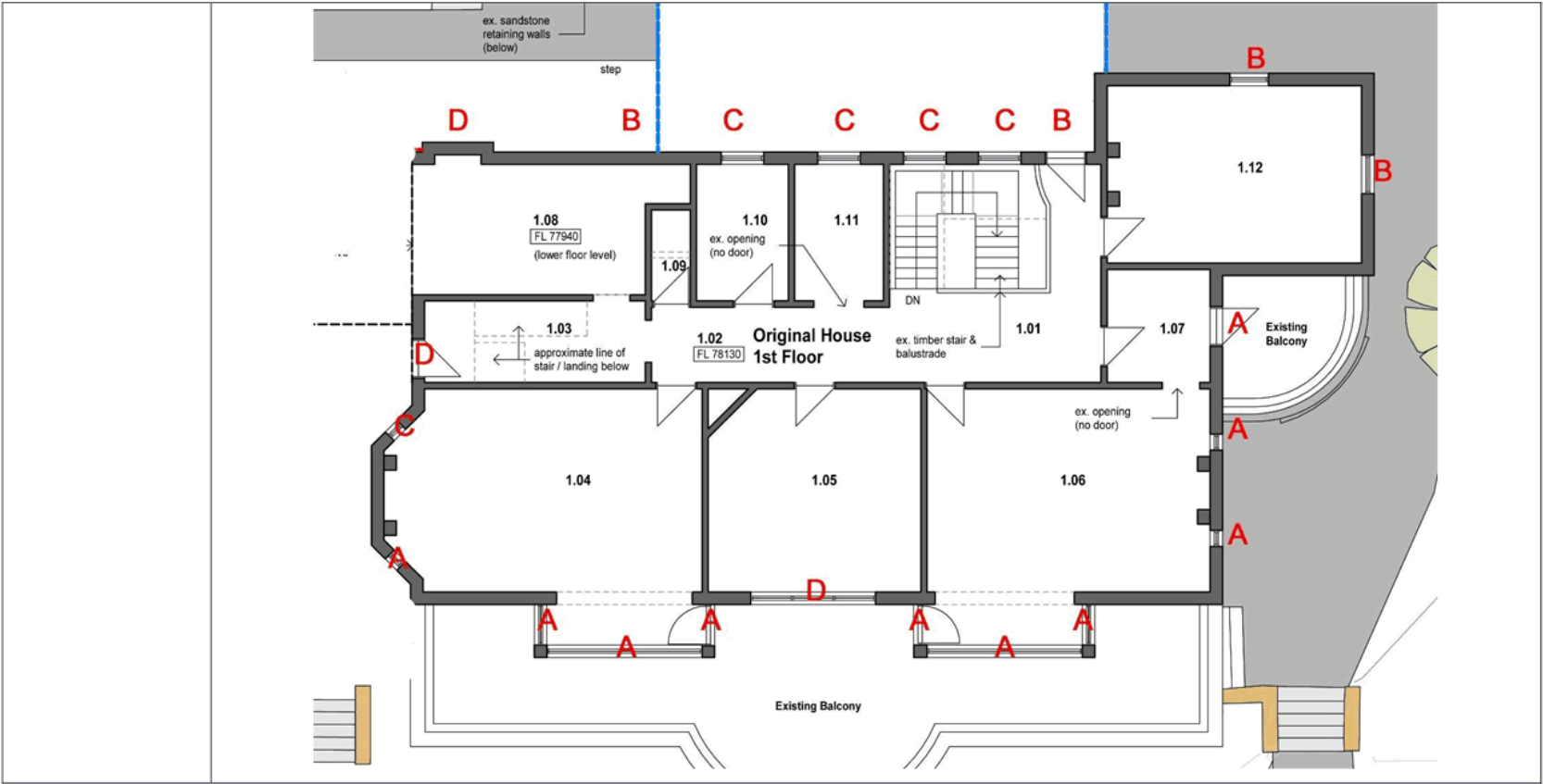
The building is of brick construction and is of Edwardian styling (with some Italianate hints). The Swan Street elevation is dominated by an impressive terrace and balcony with encaustic tiles, a rounded front and Doric columns supporting a heavily balaustraded balcony. The façade features a heavy corbelled pediment and distinct quins. The fenestration all around the building features a range of stained glass and leadlight. The 1960s nurses' home addition is attached to the west of the building and has attempted to emulate the style of the original building, with near-matching face-brick, continuation of the balustrade and concrete quoining. The original building retains several tall brick chimneys. The roof is missing (a temporary roof has been installed) having been destroyed by the 2017 fire and all windows are currently boarded up. The rear (northern) elevation has been fire damaged. Further description of each elevation is below:

| Element | Description, history and integrity | Image |
|-------------------------------------|---|--|
| Southern elevation (Swan Street) | The impressive Swan Street elevation retains much of its original detailing, including the terrace, balcony with heavy balustrades, quoining and pediment. This elevation has ornate stained glass and leadlight windows and a series of doors accessing the terrace. The central bay of this elevation has been modified, with original windows and portions of wall removed to provide extensions to rooms G07 and 1.05 onto the terrace. The lack of roof is less distinct from this elevation owing to the elevated position of the building the roof form is less prominent. |   <p>Earlier configuration of the south elevation prior to reconfiguration of the central bay. TAHO AE417/4/518.</p> |

| | | |
|-------------------|--|--|
| Eastern elevation | <p>The eastern elevation features a prominent quarter-round balcony of a similar styling to that on the southern elevation and has a small balcony accessed from the first floor. The window detailing is diminished on this elevation however stained glass and leadlight still features. This elevation is wholly intact apart from the roof structure.</p> |  |
| Western elevation | <p>Obscured by the 1960s nurses' home extension. This elevation was formerly dominated by a bay featuring ornate windows and part of the roofline of the ancillary area of the rear of the building as well as the access to the basement. Whilst this elevation was largely modified as part of the 1960s works, the bay remains (partially panelled in, however the rear portion has been heavily modified).</p> |  <p>Excerpt from 1960s elevations. TAHO AE417/4/518.</p> |

| | | |
|--|--|--|
| <p>Northern elevation (Elphinstone Road)</p> | <p>Despite this elevation being largely to ancillary spaces, and partially reading as a basement, there has still been a great deal of care and articulation to this elevation, with stained glass/leadlight windows to the stairway area (largely destroyed by fire), a roundel window on the ground floor and some (but diminished) quoining detail etc.). This elevation features a veranda at the ground floor level. The western end of this elevation has been modified with the 1960s additions and the central portion has also been modified to provide access from more recent buildings (i.e. through Room 1.10). The central portion has also been damaged by fire with substantial loss of window detailing. The lack of roof is very prominent from this location given the higher elevation towards Elphinstone Road.</p> |  |
|--|--|--|

| | |
|---------------------------------|---|
| <p>Door and window schedule</p> | <p>The following broad rating has been given to the windows and exterior doors of the Peacock Centre:</p> <ul style="list-style-type: none">A. Significant and in good and servicable conditionB. Significant, but damaged and repairableC. Significant, but beyond feasible repairD. Not significant. <p>Note that detailed descriptions of windows was difficult owing to most of them being boarded up.</p>  |
|---------------------------------|---|



4.2. INTERIOR OF THE ORIGINAL RUARDEAN BUILDING

The following description depicts the interior spaces of the Peacock Centre – note that the detail of the description is commensurate with the apparent significance and complexity of each (further discussed in Section 6 where fabric and form will be considered as to its significance, particularly in-light of modifications and fire damage).

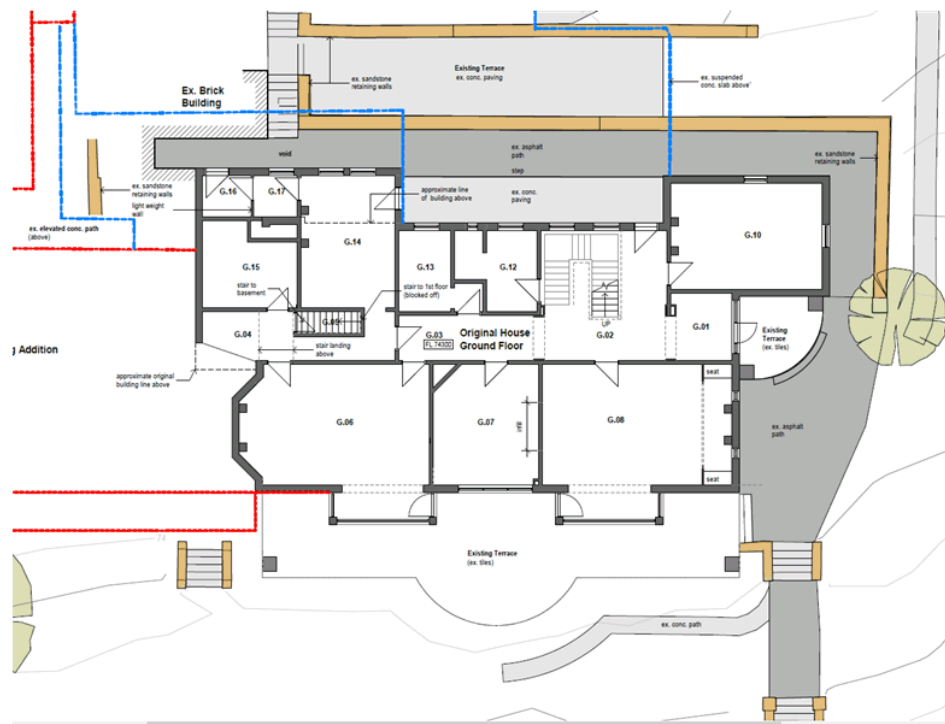





Figure 4.2 - Ground floor, original portion of the Peacock Centre (X-Squared Architects).

| Room | Description, history and integrity | Image |
|------|--|---|
| G.01 | <p>The entrance hall, stair foyer and central hallway of the ground floor. This room was obviously designed to impress, with very well-articulated joinery and plasterwork and with nine ornate doors leading to the various rooms (and rear veranda). The staircase of large proportions and ornate detailing dominates this area. This area is largely intact and its original form and has only suffered superficial fire/water/smoke damage (being open to the area of the first floor where the fire was concentrated).</p> |   |
| G.02 | | |
| G.03 | | |

| | | |
|-------------|--|--|
| <p>G.04</p> | <p>The servants' hallway is separated from the formal hallway and foyer by a door. This area has the servants' stairs to the first floor (currently panelled in) above the stairway to the basement. This area represents an important distinction of the Edwardian class division within the building. The eastern end of this area is largely original and intact, however the western end has been modified for connection to the 1960s addition. The ceiling has been lost through water damage.</p> |  |
|-------------|--|--|

G.05 The basement is a wholly intact space except for a later concrete floor. It features original stairs and railing, applied finish to the brick walls and pantry shelving. A former external door to the west has been bricked up during the 1960s additions.



| | |
|------|--|
| G.06 | <p>This is likely to have been the original dining room for Ruardean, given proximity to the kitchen. The room has fine detailing, second in quality only to the drawing room with an ornate fireplace with fretwork above, fretwork to the front bay window and a former bay window now enclosed by the 1960s addition. This room was used as a patient's and staff dining room until the larger dining room at rear was built. The room is largely intact, however has lost its ceiling due to water damage.</p> |
|------|--|



| | |
|------|---|
| G.07 | <p>This room was probably originally a less formal living/entertaining area designed to extend the drawing room onto the terrace. With a now blocked opening to the drawing room (which probably originally had doors) this room has been largely modified with removal of the mantelpiece and extension of the front wall onto the terrace, resulting in loss of the original front windows and line of wall and having substantial impact upon the southern elevation of the building. This room was noted as a two-bed male ward upon the original conversion to the Peacock Convalescent Home. Apart from the loss of the front wall and mantle, this room is largely intact (having only minor water damage) with a very ornate pressed-tin ceiling of a similar standard to the drawing room.</p> |
|------|---|





| | |
|------|--|
| G.08 | <p>This room is undoubtedly the grandest in the building, likely to have been the drawing room. The joinery in this room is of the finest quality and includes an ornate fireplace, fretwork, applies columns to the walls, a dentilled plate railing, inbuilt seats and a prominent 'P' monogram on the mantelpiece. The ceiling is ornate pressed tin with a very wide tin cornice. The room has a bay window with direct access to the terrace and a blocked doorway leading to Room G.07. The room was converted to a five-bed ward with the conversion to the Peacock Convalescent Home. This room is largely original and intact, retaining its original form and all original detailing and has suffered little from the fire/water damage.</p> |
|------|--|



G.10 This room was probably the only original downstairs bedroom. The room has an ornate fireplace, picture rail and cornice however all are of diminished quality than the larger principal rooms. This was used as a three-bed ward for the Peacock Convalescent home and wholly retains its original form and detailing although the ceiling has been lost from water damage.



| | | |
|------|---|--|
| G.12 | These rooms retain their original form as a bathroom and toilet, however these have been modernised (probably on more than one occasion) therefore little original detailing remains apart from (probably) the floor and wall linings, architraves and the overall form reminiscent of an original service room. | |
| G.13 | This room was originally two rooms – the smaller section being a closet off the hallway and the larger portion of the room accessible from the kitchen. Currently used as bathroom facilities, this was probably some sort of pantry/food preparation area for Ruardean and later the Peacock Convalescent Home prior to the new 1970s kitchen extension (it is shown as a pantry on the 1960s plans). | |
| G.14 | This room appears to have traditionally served a kitchen, both for Ruardean and the Peacock Convalescent Hospital until the c1970 new kitchen and dining room extension. This was formerly directly connected to G.13 and G.15 as ancillary preparation areas, with what is now G.17-18 (then a single room) accessed through G.15 as a further preparation area. Whilst the form has been altered by blocking and adding of doorways, the general form of this room remains original. The 1942 plans show a wall through the middle however. Although having lost its ceiling to water damage, the room retains much of its original detailing including a simple mantelpiece and shirtings/architraves of demised quality from the principal rooms. |  |

| | | |
|------|---|---|
| G.15 | <p>This room probably served Ruardean as a scullery and largely retains its original form, although has had connecting doorways blocked as discussed in G.14. Although a simple service room it retains much of its original detailing although the fireplace has been infilled with shelving and the mantelpiece removed. The 1960s plans show this room being used as a secondary kitchen.</p> |  |
| G.16 | <p>These rooms were marked on the 1942 plans as having a kitchen sink and implied use as a scullery or food preparation area. The 1960s plans show them as a 'vegetable preparation room' – both depictions as a single room. Later use of the Peacock Centre has divided this into two rooms, changed access arrangements and installed a toilet and more modern exterior floor. This area has a low degree of integrity having been modified as service areas several times and the floor is unserviceable having rotted out.</p> | |
| G.17 | | |

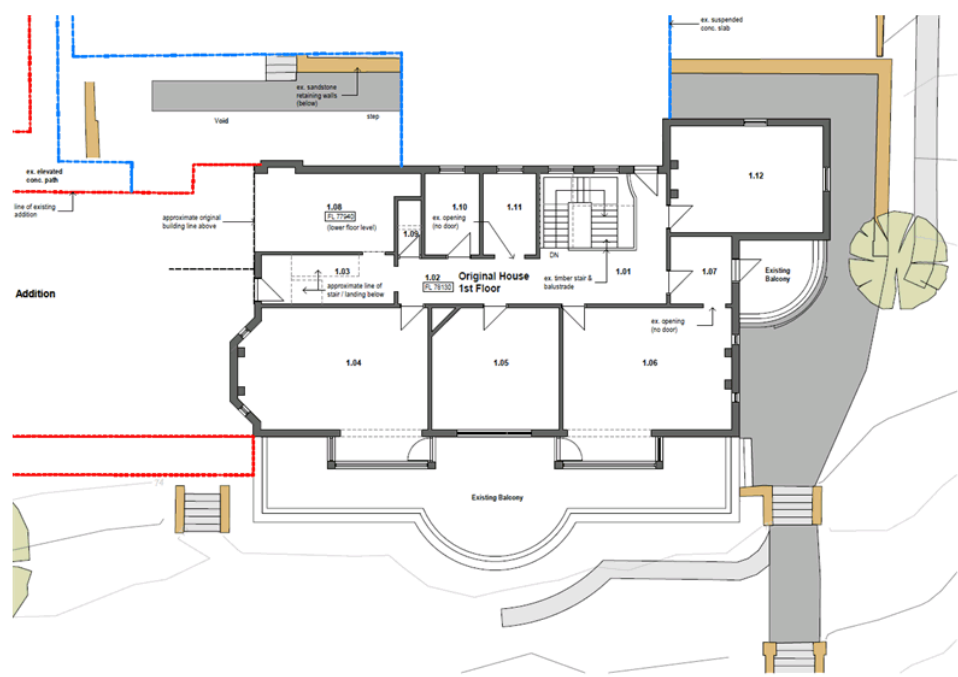








Figure 4.3 - First floor, original portion of the Peacock Centre. X-Squared Architects.


| Room | Description, history and integrity | Image |
|--|---|---|
| <div data-bbox="297 344 405 427">1.01</div> <div data-bbox="297 427 405 1070">1.02</div> | <p data-bbox="421 354 1223 486">This area is the upper floor landing and hallway and largely retains its original form although much of the detailing has been lost through fire damage. The joinery in this area is of a high quality, however several door frames/architraves are burned beyond repair. and the floor and much of the wall linings are salvageable however the ceiling and cornice have been entirely lost.</p> | <div data-bbox="1346 354 1841 684">  </div> <div data-bbox="1478 703 1709 1062">  </div> |
| 1.03 | <p data-bbox="421 1080 1223 1168">This area was formerly the servants' stairs landing and hallway of Ruardean however has been substantially modified for connection to the 1960s building - most of the original detailing has been lost and the form modified.</p> | |

1.04 This room was most likely one of the original bedrooms of Ruardean and is ornately detailed with joinery of a higher standard than the other upstairs rooms, including fretwork to a bay window leading to the terrace. It is noted on the 1960s plans that it was used as a five-bed female ward for the Peacock Convalescent Home. Whilst retaining its original form and much of its original detailing, this room has been extensively fire/water/smoke damaged, having lost some joinery detail from the western wall and the entire ceiling and cornice. The mantle has also been recently removed.



| | | |
|------|--|--|
| 1.05 | <p>This room was probably a smaller bedroom or upstairs sitting/activity room in Ruarden as it would have been smaller than other rooms and offered direct access to the balcony. The 1960s plans show this as a patient's TV lounge for the Peacock Convalescent Home. Since the 1960s this room has been substantially modified, with the front wall removed and a new wall installed further forward to enclose part of the balcony. The entrance door has been moved and the room partitioned to form a toilet and cupboard, as well as a kitchen having been installed in the body of the room. Much of the original detailing has been lost. This room has moderate damage from fire and water and has lost its ceiling.</p> |  |
| 1.06 | <p>As per 1.04, this room would also have been one of the principal bedrooms of Ruarden and has similar ornate joinery detailing to that room. The room has access to the side balcony via a second door and also has access to the front balcony. This room has been partitioned into two smaller rooms with lightweight and likely easily removable partition. This room has suffered moderate fire and water damage but its form and practically all its original detailing are intact or easily retrievable (with the exception of the ceiling and cornice which have been completely lost).</p> |  |

| | | |
|------|---|--|
| 1.07 | <p>This small room joins the side balcony with Room 1.06 and the upstairs hallway – its precise original function is unclear. Later plans of the Peacock Convalescent Home labels it as an office or matron's room. The room is largely intact and retains its original form, however has lost its ceiling and cornice due to fire/water damage.</p> |  |
| 1.08 | <p>This room has been largely modified and retains very little of its original form and detailing. Most likely a service or servants' room for Ruardean, it has been enlarged as part of the 1960s extension and only some original joinery (architraves and skirting boards in part) remain. The original access door to the upper hallway has been blocked and alternative access through the new extension has been made. The floor level in this area is lower than the remainder of the first floor. The 1960s plans show that this area was used for a staff kitchen to service the nurses' quarters. Overall the integrity of this room is low and it has suffered moderate fire damage.</p> |  |

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|------|--|---|
| 1.09 | This toilet has been formed by the removal of a wall between two cupboards, one formerly facing the hallway and one facing 1.08. Little original detailing remains in this room apart from wall linings and no original joinery (apart from the door) remains. There has been some fire damage to this room. | |
| 1.10 | This is the original upstairs bathroom of Ruardean and features what are likely to be the original wall tiles which although have superficial fire damage, appear to be in good condition. The original bathroom fittings have been replaced but the room retains the feel of an Edwardian bathroom (due mainly to the tiling). The room has suffered extensive fire and water damage, with loss of the ceiling and some of the upper wall linings as well as the window and all timber joinery (the door is damaged and displaced). |  |

1.11 It is unclear as to what the original function of this room was during the Ruardean period. The 1960s plans show it as a two-cubicle toilet toilet. With later rear additions the door to the hallway was widened and an opening formed in the rear wall for connection to the rear (modern) areas of the Peacock Centre. This area has therefore been substantially modified. Further, this is the area of the building which was most affected by the fire – being the point of attachment to the building which was the target of the arson attack and being the point at which the fire entered the roof of the Ruardean building. Overall, this room had a low level of integrity and has been largely destroyed by the fire (noting that the floor appears to have survived).



1.12 This room was likely to be the smaller upstairs bedroom of Ruardean – retaining its original form. Whilst having fine quality joinery this is of diminished quality to the larger front rooms. This room is largely intact however has suffered extensive water damage and has lost its ceiling and cornice. The room has a notable ornate mantelpiece and tiled fireplace.



4.3. GARDEN ELEMENTS AND OUTBUILDINGS

As per the historical overview presented here in Section 3.3, the development of the built features of the gardens of Ruardean is well documented, particularly as a 'snapshot' at the end of the residential period (1942 – just after the death of Mrs. Peacock) and again at the time of expansion (1960s-70s). Figures 3.35-3.37 depict what is known from those surveys as to the built environment of the grounds outside the footprint of the Ruardean building. Figure 4.4 depicts those elements which are evident on the 1942 site plan, which is based on the assumption that any post 1942 garden features are of no historic heritage significance (i.e. these are more functional elements which are not related to the primary significance of the Ruardean building and Peacock's garden), therefore these are not included in the current description. Note also that an assessment of the nature, condition and significance of living garden elements was not part of the brief for the current project.

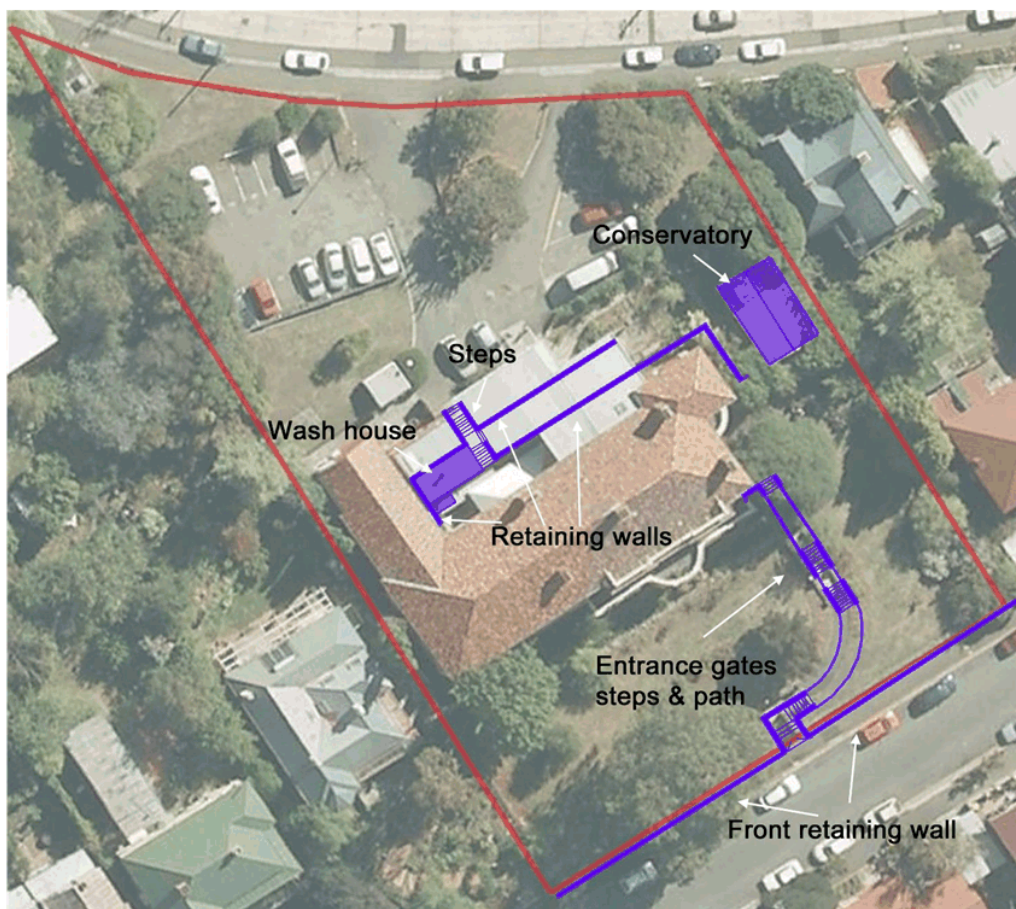




Figure 4.4 – Remaining garden elements which are shown on the 1942 site plan (adapted from www.thelist.tas.gov.au).


| Element | Description | Integrity | Photograph |
|-----------------------|---|--|--|
| Conservatory | The conservatory was a key part of the Peacock Bequest, with the bequest specifically stipulating that the conservatory be maintained. This was not inspected closely as it is fenced off and unsafe. | The conservatory is in a very advanced state of deterioration. |  |
| Front retaining walls | There is a low sandstone retaining wall running along the street frontage of the place, four 300mm courses high with a domed capping course. | These are intact and appear to be in generally good and serviceable condition. |  |


Entrance gates, steps and path


The iron entrance gates off Swan Street are flanked by a pair of sandstone walls with elaborately carved capstones. These lead to a stone-wall lined pathway with a sandstone path and a series of sandstone steps to the side door and front terrace of the building. The pathway walls act as retaining walls with the slope of the front garden.

These entrance walls, gates, steps and the stone walls lining the path are all original and intact and appear to generally be in good and serviceable condition (minor pointing work is required).



| | | | |
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| Wash house | <p>There is a small two-roomed wash house and attached toilet at the rear of the Ruardean building. These are of brick construction and are certainly contemporary with the original structure. The windows have gauged brick lintels and stone sills and the original roof structure has been removed. This building was not internally inspected</p> | <p>Whilst the walls of the wash house remain, the roof structure has been removed with the suspended concrete slab of the 1970s kitchen and dining room extension sitting directly on top of the walls. Whilst this would have retained the building as a functional outbuilding, it has diminished the integrity of the structure.</p> |  |
|------------|--|---|--|

| | | |
|----------------------|--|---|
| Rear retaining walls | <p>Two lines of sandstone retaining walls run along the rear of the original Ruardean building beneath the suspended concrete slab of the 1970s kitchen and dining room extension. These are of ell hewn and shaped sandstone blocks and up to five x 300mm courses high with capstones.</p> <p>These run around the rear of the wash house and the 1960s nurses' home extension plans indicate that the perpendicular retaining wall running to the west of Ruardean (see Figure 3.35) was demolished at that time.</p> |  |
|----------------------|--|---|

| | | | |
|------------|---|--|---|
| Rear steps | <p>The sandstone rear steps from the rear garden to the ground floor of the original building are still extant under the suspended concrete slab that was part of the 1970s kitchen and dining room extension. Although a ramp was installed as part of the 1960s nurses' home extension running from the higher ground at rear to the solarium extension, these steps remained in use until the 1970s.</p> | <p>These appear to be in generally good condition and were probably serviceable up until their coverage with the suspended slab when they were made redundant.</p> |  |
|------------|---|--|---|

4.4. THE CONTRIBUTION OF THE PEACOCK CENTRE TO THE NH5 HERITAGE PRECINCT AND SURROUNDING TOWNSCAPE DEVELOPMENT

This section will further articulate the development and character of the precinct and specifically consider the Peacock Centre as a contributory element. The Peacock Centre is within the NH5 (i.e. North Hobart 5) Heritage Precinct as per Table E.13.2 of the *Hobart Interim Planning Scheme 2015*. Table E.13.2 of the scheme lists the NH5 Heritage Precinct as being significant for reasons including:

- 1. The quality and quantity of late Victorian and Federation period houses which demonstrate its original residential nature and the boom periods of suburban expansion.*
- 2. Individual houses that are intact representative examples of late Victorian and Federation architecture.*
- 3. Groups of houses that are impressive examples of late Victorian and Federation architecture that make a valuable contribution to the streetscape.*
- 4. The continuous two storey ornately decorated facades and general uniformity of form and scale together with a distinctive nineteenth/early twentieth century street pattern that creates a consistent and impressive streetscape.*
- 5. The front and rear gardens and retaining walls are important aesthetic features which reinforce its residential character.*
- 6. Buildings with social significance for the local and broader community because of their past and present social and religious functions.*

As per Section 3, the *North Hobart Heritage Areas* report (as cited in Section 3) provides a detailed historical context for the development of the NH5 Heritage Precinct within the wider context of North Hobart. That contextual history and the statements of significance inform the considerations below.

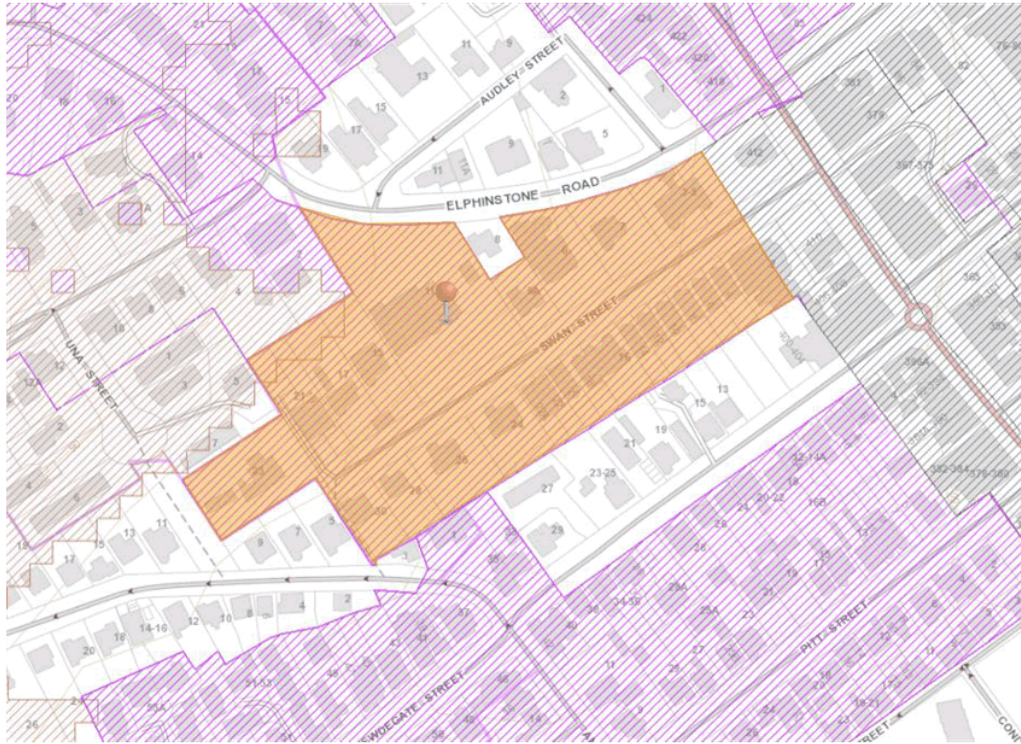


Figure 4.4 – The location of the Peacock Centre (red pin) in relation to the wider NHS Heritage Precinct.

TOWNSCAPE EVOLUTION

As per the history in Section 3, this portion of North Hobart was developed from Swan's earlier grant around 1900. The development of 'gentlemen's residences' on the Hobart fringe was a common occurrence around Federation, with a confident economy and the spread outwards from the Hobart CBD, areas such as the NHS Heritage Precinct are indicative of the growth of Hobart at around that time. The Swan Street area, as per the statements of significance, is typified by large late Victorian and Edwardian two-storey brick and rendered masonry residences with detailed articulation and positioning to capitalize on the views across the city (from both the front and back of the northern and southern sides of the street respectively). These residences typically had larger allotments, which are still evident in the townscape evolution, as compared to the 1908 survey – noting that the Peacock Centre allotment is still as per that original c1900 subdivision:



Figure 4.5 – 1908 property boundaries (red) compared to current boundaries. Adapted from www.thelist.tas.gov.au

By 1946, with the exception of the c1920s development of what is now 16-30 Swan Street, the allotments of the original Swan Street subdivision had changed little, and as per Figure 4.5 remains almost largely as per the original configuration.



Figure 4.6 – 1946 property boundaries (red) compared to current boundaries. Adapted from www.thelist.tas.gov.au

As per the figures above, the Swan Street Heritage Precinct retains almost wholly its original subdivision intent, that of larger allotments particularly on the northern side of the street, with smaller allotments conforming to the uniform terrace houses on the southern side. This retention of the original subdivision pattern is an important aspect of the cohesiveness of the heritage precinct, both in retaining curtilage/setting of the buildings and having largely prevented infill development which may detract from the cohesiveness of the precinct as a collection of larger Federation and Edwardian residences.

KEY VIEWS AND VISTAS IN RELATION TO THE PLACE/PRECINCT

Key vistas and views to and from the Peacock Centre (as the main built heritage feature on the site) are depicted on Figure 4.7 which is based both on what evidently were considered to be important historic views (based on the imagery reproduced here in Section 3) as well as current vantage points which allow wider views of the site from both Swan Street and Elphinstone Road. This has been taken on two 'scales', that of the immediate environs of the site (i.e. Vantage Points 1-4) and that of the wider views of the subject site as part of the wider townscape (i.e. Vantage Point 5). Whilst a wider viewscape assessment would ordinarily be undertaken, the Peacock Centre and its immediate vicinity is not prominently visible from any wider vantage points.



Figure 4.7 – Key vantage points to the Peacock Centre from near environs (Adapted from www.thelist.tas.gov.au).

| Near Vantage Points | | | |
|---------------------|---|--|---|
| Point | Importance to streetscape & precinct values of the Peacock Centre | Image | Possible impact of any proposed development of the site |
| 1 | Whilst the Peacock Centre building itself is not visible in this viewline, the open space of the front yard and established plantings add to the green feel of the precinct and 'hint' as to the presence of a prominent building in that location. |  <p>(Image – GoogleEarth).</p> | Any development in front of the building would have an unacceptable impact upon the landscape elements and setting of the Peacock Centre and the wider precinct values. |

| | | | |
|---|--|--|--|
| 2 | <p>This is the most prominent viewline to the front elevation of the Peacock Centre, which due to its size, notable detaining and position on the natural rise in topography is a very prominent streetscape element and amongst the most notable examples of Edwardian architecture in the precinct/streetscape. The large formal gardens add to this prominence with the dramatic effect of established plantings and the expectant curve of the formal pathway, steps and retaining wall leading to the entrance.</p> |  | <p>Any development forward of the front building line of the Peacock Centre would have an unacceptable impact upon this viewline and the setting and curtilage of the Peacock Centre in its relationship to the streetscape and precinct.</p> <p>Any development forward of the greenhouse on the eastern side would have a similarly unacceptable impact.</p> <p>Any development to the west has been preceded by the currently derelict extension to the building, which if this were to be replaced should have a setback from the forward building line, and/or an appreciable 'break' between that and the existing building – noting that this would be screened by existing established plantings and that such setback or break would allow the prominence of the original form of the Peacock Centre to be maintained as a part of the NH5 Heritage Precinct.</p> |
|---|--|--|--|

| | | | |
|---|---|--|---|
| 3 | <p>As per viewline 1, whilst the Peacock Centre building itself is not visible in this viewline, the open space of the front yard and established plantings add to the green feel of the precinct and 'hint' as to the presence of a prominent building in that location.</p> |  | <p>Any development in front of the building would have an unacceptable impact upon the landscape elements and setting of the Peacock Centre and the wider precinct values.</p> <p>Any development (as per 2) to the west of the building) would be wholly screened by existing development and established plantings and provided this was at/rear of the forward building line would be indiscernible in relationship to the existing building and precinct therefore have no appreciable impact upon the values of the place or precinct.</p> |
|---|---|--|---|

| | | | |
|---|---|--|---|
| 4 | <p>This view catches glimpses of the rear area of the Peacock Centre (which would be more noticeable with a restored roof form). It bears no relationship to the NH5 Heritage Precinct from this vantage point.</p> |  | <p>Any development on the north-western corner of the site would have no impact upon these viewlines. Whilst any development to the northern portion (i.e. rear yard) of the site would be visible, these viewlines are so divorced from the NH5 Heritage Precinct it would have no appreciable impact.</p> |
|---|---|--|---|

| | | | |
|---|--|--|--|
| 5 | <p>The view to the rear of the Peacock Centre from this vantage point is largely screened by trees and the building is not prominent owing to the downward slope in topography and the landscape infrastructure between the street and the rear of the building. The relationship to the NHS Heritage Precinct is not appreciable from this vantage point.</p> |  | |
|---|--|--|--|

| | | | |
|----------|---|--|--|
| <p>6</p> | <p>This is the most prominent viewline to the rear of the Peacock Centre which would be much more prominent if the roof were reconstructed. Nonetheless, the prominence is somewhat diminished by the topography which naturally obscures the ground floor of the building. Whilst a prominent view of the rear of the building, the relationship to the NH5 Heritage Precinct is not largely evident from this viewline.</p> |  | <p>Any development on the north western portion of the site would backdrop the Peacock Centre from this vantage point. But not act to obscure the principal view of the rear of the building. Any development to the northern portion of the site (i.e. directly behind the building) would have impact upon this viewline. Nonetheless, any development of a scale generally consistent with the height of the original building form at the rear of the site would not have any appreciable impact upon the NH5 Heritage Precinct.</p> |
|----------|---|--|--|

| | | | |
|---|---|--|---|
| 7 | <p>Even with a reconstructed roof form, the Peacock Centre would not be a prominent element in the streetscape from this viewline. The relationship to the NH5 Heritage Precinct is not appreciable from this viewline.</p> |  | <p>Any development on the rear of the site would not be seen to have any appreciable relationship to the Peacock Centre nor the NH5 Heritage Precinct from this viewline.</p> |
|---|---|--|---|

The following salient points are drawn from the discussion above as they relate to the townscape development, setting and key views and vistas relating to the subject site:

- The Peacock Centre is a contributory item to the NH5 heritage precinct, being a fine example of a larger Edwardian residence set amongst extensive landscape gardens.
- The building is a very prominent element in the precinct streetscape from Swan Street, owing largely to the noticeably larger scale of the building and elevated position on the uphill side of the street.
- The building makes a strong contribution to a very cohesive group of buildings all representing Federation-Edwardian larger-scale city-fringe residences.
- Whilst the building is prominent from Elphinstone Road, the contribution that the building makes to the precinct is not so apparent from this point.

The following points are drawn from the above which are to inform the formulation of conservation policies for the Peacock Centre:

- The site should not be subdivided.
- Development on the north-western portion of the site is likely to be acceptable, particularly if this contributes to the continuity of the use of the place as a health care facility.
- Development to the northern portion of the site should be discouraged but may be acceptable subject to refinement of conservation policies.
- Development forward of the front building line of the Peacock Centre is likely to have an unreasonable heritage impact upon the place and precinct.

5. ASSESSMENT OF HISTORIC HERITAGE SIGNIFICANCE

The following statements of significance are based on the national HERCON standard for statements of significance, based on the amount of information currently at-hand as detailed in this document. Note that natural history and indigenous heritage values have not been assessed here, as these are beyond the scope of this assessment.

The assessment methodology for each criterion follows the methodology details in the Tasmanian Government's *Assessing Historic Heritage Significance for Application with the Historic Cultural Heritage Act 1995* (October 2011) which is considered to represent a sound approach to assessing values (and from which the expanded definitions in the table below are drawn).

| A. IMPORTANCE TO THE COURSE, OR PATTERN OF OUR CULTURAL OR NATURAL HISTORY. |
|---|
| A place is of importance to the course or pattern of Tasmania's history if that place is the product of, or is an example of, or was influenced by, or has influenced, or is associated with, or has a symbolic association with, or is the site of – an event, phase, period, process, function, movement, custom or way of life (including values, aspirations, tastes and fashions) which has made a strong, noticeable or influential contribution to the evolution or pattern of the settlement and development of Tasmania. |
| THE SUBJECT SITE |
| The Peacock Centre is of local historic heritage significance as it demonstrates the early twentieth century expansion of the North Hobart area and the desires of the Hobart elites to construct large houses on the city fringe. Its use as a health care facility for the latter half of the twentieth century represents the evolution of the Tasmanian health care system particularly such initiatives arising from benevolent bequests. |
| THE WIDER ENVIRONS AND PRECINCT |
| The precinct is of local historic heritage significance as it demonstrates the expansion of the Hobart CBD fringe through North Hobart and intensification of development clustering around the North Hobart business area which was greatly intensified during the first decade of the twentieth century. The precinct is a cohesive grouping of Federation-Edwardian larger-scale residences and represents the expansion and suburbanisation of Hobart during the first decade of the twentieth century. |

| B. POSSESSION OF UNCOMMON, RARE OR ENDANGERED ASPECTS OF OUR CULTURAL OR NATURAL HISTORY. |
|---|
| A place demonstrates rare or uncommon aspects of Tasmania's heritage if that place illustrates in its fabric an event, phase, period, process, function, movement, custom or way of life (including values, aspirations, tastes and fashions) which, or an aspect of which: (i) was considered uncommon or unusual at the time of its origin; (ii) is no longer practised AND is of special interest; or (iii) was once commonplace but for which there is little surviving evidence in Tasmania. |
| THE SUBJECT SITE |
| The Peacock Centre is not considered to exhibit any uncommon, rare or endangered aspects of our cultural history. |
| THE WIDER ENVIRONS AND PRECINCT |
| The NH5 heritage precinct and wider environs of the Peacock Centre are not considered to exhibit any uncommon, rare or endangered aspects of our cultural history. |

| C. POTENTIAL TO YIELD INFORMATION THAT WILL CONTRIBUTE TO AN UNDERSTANDING OF OUR CULTURAL OR NATURAL HISTORY. |
|--|
| A place has the potential to yield information that will contribute to an understanding of Tasmania's history if, through analysis and further examination or research of the place and its fabric (including artefacts), it can provide information that could not be derived from any other source. While this criterion in Tasmania is most often used to define archaeological research potential, it may also be used for the research potential of architectural design, construction techniques, historical gardens, etc. |
| THE SUBJECT SITE, WIDER ENVIRONS AND PRECINCT |
| The comparatively late development of this area in the context of the fringe of the Hobart CBD and preceding rural use suggest that the subject site and wider environs do not have the potential to yield information that will contribute to an understanding of our cultural or natural history. |

| D. IMPORTANT IN DEMONSTRATING THE PRINCIPAL CHARACTERISTICS OF A CLASS OF CULTURAL OR NATURAL PLACES OR ENVIRONMENTS. |
|---|
| <p>This criterion is concerned with representativeness. A place included under this criterion should demonstrate the principal characteristics of a particular class of cultural place if that place displays the defining features, qualities or attributes of its type, where type or class of place illustrates a range of human activities including a way of life, a custom, an ideology or philosophy, a process, a land use, a function, a form, a design, a style, a technique or some other activity or achievement. To be considered a good representative example, the place should have a high level of intactness.</p> |
| THE SUBJECT SITE |
| <p>The Peacock Centre is of historic heritage significance as a very fine example of an Edwardian 'gentleman's residence' and extensively landscaped garden setting. This is evident through the fine detailing of both the interior and exterior, the formal room layouts, distinctly identifiable service areas and formal hard landscaping. Whilst the ability of the building to demonstrate these attributes has been diminished by fire damage, careful repair and restoration can salvage a great deal of this ability to demonstrate those attributes. The layout of the building distinctly represents social hierarchies in such a household, with a distinct differentiation between the areas frequented by the owners and those by the servants.</p> |
| THE WIDER ENVIRONS AND PRECINCT |
| <p>The NHS heritage precinct is a fine example of a cohesive collection of larger-scale Federation-Edwardian city-fringe residences. See also the precinct statements in Section 2.</p> |

| E. IMPORTANCE IN EXHIBITING PARTICULAR AESTHETIC CHARACTERISTICS |
|---|
| <p>This criterion may be interpreted as a place being important because of its aesthetic significance if that place exhibits sensual qualities that can be judged against various ideals including beauty, picturesqueness, evocativeness, expressiveness, landmark presence, symbolism or some other quality of nature or human endeavour.</p> |
| THE SUBJECT SITE |
| <p>The generally intact front garden with a range of early and original landscape elements exhibits a pleasing aesthetic as a formally landscaped garden contributing to the significance of the place and precinct. Such aesthetic qualities are absent from the rear garden area.</p> |
| THE WIDER ENVIRONS AND PRECINCT |
| <p>The precinct is not considered to exhibit any particular aesthetic qualities beyond the ordinary although the cohesion of the complimentary architectural styles of the larger-scale residences is a recognisable and pleasing aesthetic that some less-cohesive precincts exhibit.</p> |

**F. IMPORTANCE IN DEMONSTRATING A HIGH DEGREE OF CREATIVE OR TECHNICAL
ACHIEVEMENT AT A PARTICULAR PERIOD.**

A place is important in demonstrating a high degree of creative or technical achievement if that place illustrates artistic or technical excellence, innovation, accomplishment, extension or creative adaptation in a variety of fields of human endeavour including but not exclusive to art, engineering, architecture, industrial or scientific design, landscape design, evolved design, construction, fabrication, manufacture, or craftsmanship.

The fine quality of the architectural features of the building demonstrate the upper-end of the craftsmanship spectrum of larger-scale Edwardian residences. This is particularly evident through features such as the ornate balustrading, stained glass windows and high-quality joinery (particularly in the formal areas, entrance hall and stairway).

**G. STRONG OR SPECIAL ASSOCIATION WITH A PARTICULAR COMMUNITY OR CULTURAL GROUP
FOR SOCIAL, CULTURAL OR SPIRITUAL REASONS.**

A place has a special associational value if it is associated with a person, organisation or group of people who or which is of importance to the history of Tasmania. In this context, importance may relate not only to the great and well-known, but also to the influential, the exemplary, and the innovative.

THE SUBJECT SITE

The Peacock Centre is likely to have some local historic heritage significance as a small-scale health care and repatriation facility which has operated for almost 80 years.

THE WIDER ENVIRONS AND PRECINCT

Although a detailed assessment of community values of the wider precinct is beyond the scope of the current assessment, it is likely that the Swan Street heritage precinct has community value as a recognised precinct comprising of a church, distinctive post office, large-scale and cohesive housing etc.

| H. SPECIAL ASSOCIATION WITH THE LIFE OR WORKS OF A PERSON, OR GROUP OF PERSONS, OF IMPORTANCE IN OUR HISTORY. |
|--|
| A place has a special associational value if it is associated with a person, organisation or group of people who or which is of importance to the history of Tasmania. In this context, importance may relate not only to the great and well-known, but also to the influential, the exemplary, and the innovative. |
| THE SUBJECT SITE |
| The Peacock Centre is likely to be of some local historical interest as the home of Mr. W.D. Peacock, merchant of fruit and jam prominent in the late 19 th and early 20 th centuries. Note that this is more of historical interest rather than heritage significance – significance cannot merely be assigned to every home occupied by a prominent businessperson. Noting also that Peacock's association with the place derives largely from the bequest which allowed the establishment of the health care facility – as Peacock himself only lived in the building for less than a decade. The Peacock Centre is a tangible example of the benevolence of Peacock. |
| THE WIDER ENVIRONS AND PRECINCT |
| An assessment of the associative values of the wider precinct is beyond the scope of the current assessment. |

6. FABRIC ANALYSIS & ABILITY TO DEMONSTRATE SIGNIFICANCE

6.1. DEGREES OF SIGNIFICANCE

Based on the overall statements of significance outlined in Section 5, and the broad description and analysis of the evolution of the place as detailed in Section 4, individual and collective elements, and other possible heritage values (e.g. intangible values) of the place will be assessed here, in order to assign or rank specific levels of significance, upon which heritage management policies will be formulated in Section 11, to inform the implementation strategy in Section 12.

Note that in this instance, fire damage and the impact upon the overall integrity of the building must be a consideration. For the purposes of this section the following scale will be used to assign degrees of significance to individual elements of the fabric and form of the place:

High – Elements, forms or spaces which readily demonstrate important aspects of the significance of the place or related important historic theme.

Medium – Elements, forms or spaces which less-readily demonstrate important aspects of the history of the place, or readily demonstrate aspects of lower significance (or related important historic theme).

Low/no – Elements, forms or spaces which less demonstrate less important aspects of the history of the place.

Neutral – Elements, forms or spaces which neither contribute to, nor detract from, the significance of the place. Examples:

Intrusive – Elements, forms or spaces which obscure the significance or are likely to threaten the longevity/integrity of significant elements, forms or spaces.

Whilst it is noted that the significance of any place need not necessarily be solely embodied in original fabric (i.e. later modifications can contribute to significance through demonstrating the evolution of the place), it is relevant to consider the impact that later modifications may have had on the integrity of more significant elements and whether that has diminished the significance of such. Similarly, decay of significant elements may also have an impact on their ability to

demonstrate significance. Accordingly, following scale will be used to rank **levels of integrity** of elements, forms or spaces within the context of the overall significance of the place:

High: Elements which are highly intact and readily demonstrate their respective significance.

Medium: Elements which subsequent modification have obscured or reduced their ability to readily demonstrate their respective significance, however this may be retrievable through restoration without the need for introduction of substantial new fabric which may reduce or obscure significance.

Low: Elements which have lost the ability to demonstrate any significance and could not feasibly be restored without conjecture or substantial addition of new fabric.

The following matrix represents the interplay of integrity and significance and introduces colour coding as used in the following tables:

| | Integrity | | |
|--------------|-----------|--------|-----|
| Significance | High | Medium | Low |
| High | 1 | 1 | 2 |
| Medium | 2 | 2 | 3 |
| Low | 3 | 3 | 4 |
| Neutral | 4 | 4 | 4 |
| Intrusive | 5 | 5 | 5 |

Accordingly, the following colour code has been adopted to consider significance in-light of the integrity of that particular element:

Red – High significance (Rank 1)

Orange – Medium significance (Rank 2)

Green – Low significance (Rank 3)

Grey – Neutral (Rank 4)

Blue – Intrusive (Rank 5)

6.2. GENERAL SIGNIFICANCE OF BUILDINGS

Further to the statement of historic heritage significance in Section 5, coupled with the historical development of the site it is considered that the original footprint of Ruardean is the only major building on the site to which significance is ascribed as a whole (noting that particular areas are designated below as being of lower significance):

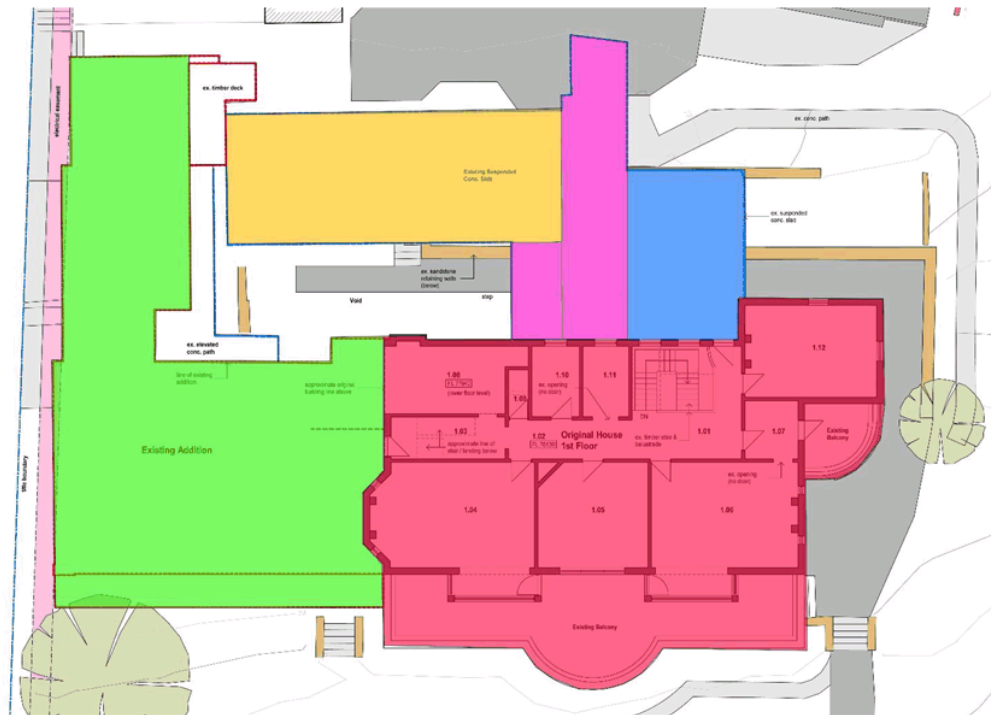


Figure 6.1 – The general areas of the Peacock Centre, colour coding as per below. Adapted from X-Squared Architects.

| Colour as per Fig. 6.1. | Portion of the building | Circa | Integrity | Significance |
|-------------------------|---------------------------------|------------|--|--------------|
| Red | Original Ruardean building | 1912 | Largely intact except for roof and upper ceilings which have been destroyed by fire. | High |
| Orange | Hospital kitchen/dining room | 1970 | Largely destroyed by fire and subsequent demolition | Neutral |
| Purple | Infill additions (passages etc) | Late c20th | | |
| Blue | Sunroom | 1950s | | |
| Green | Nurses' home addition | 1965 | Southern portion roof destroyed by fire. Remainder largely intact but damaged. | |

For the sake of brevity, only the areas considered to be of medium-high significance will be considered in more detail – i.e. the original footprint of Ruardean. Those areas which are considered to be of low or neutral heritage significance require no further consideration apart from appropriate conservation policies (as will be developed in Section 7).

The following methodology has been employed to assess the significance of individual elements of the Peacock Centre in this assessment:

- A room-by-room analysis was undertaken of the internal spaces of the building.
- Consideration was given as to whether any particular element is an original part of the building – with the assumption that original form, fabric and detailing is of high significance (i.e. has the ability to demonstrate the significance as articulated in Section 5).
- A modified or more recent element was given a lower significance rating (although acknowledging that in some instances modified or more modern elements *may* have significance).
- If a significant element had escaped fire damage, its significance was given a rating as per the above matrix. Note that superficial water or smoke damage is not considered here as 'fire damage' (i.e. damage that could be corrected by 'cosmetic' methods).
- If a significant element was fire damaged, but could feasibly be repaired, then it was still given a significance rating based on the assumption that it could be feasibly repaired to maintain that significance.
- If a significant element was fire damaged beyond feasible repair, and that if reinstatement of that element would result in a conjectural or 'faux' element, then it was given a lower significance rating.

6.3. SIGNIFICANCE OF INDIVIDUAL ELEMENTS OF THE ORIGINAL PORTION OF THE PEACOCK CENTRE

The following tables assess the significance of individual rooms/spaces (etc.) of the Peacock Centre as per the above methodology, followed by an assessment of each exterior elevation/element (and garden/landscape elements).


Note:

- Room numbers are as per X-Squared Architects as-existing drawings (job #1838, Drawings A001-002).
- Door descriptions refer to those doors which open into a particular room.
- Where significant surface finishes are observed, these are noted, however it should be noted that earlier paint finishes/colour schemes may be discernible 'archaeologically' where they aren't necessarily visible.
- Room descriptions are noted as what are presumed to be the original domestic uses for those rooms. These would have changed during the hospital period and are noted where known.

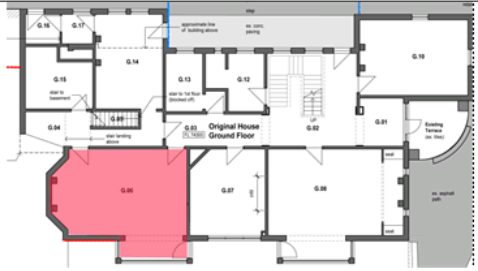
| THE EXTERIOR | | | | | | | |
|--------------------------------|------------------------|----------|----------|------------------------------------|--|--------------|---|
| | | Original | Modified | Fire damaged (feasibly repairable) | Fire damaged (not feasibly repairable) | Significance | Notes |
| Elevations | Southern | | | | | | Central section where wall has been re-aligned is intrusive. |
| | Eastern | | | | | | |
| | Northern | | | | | | Western corner is of no significance |
| | Western | | | | | | Although obscured, this elevation is largely retrievable. Northern corner is of no significance |
| Roof etc. | Roof | | | | | | |
| | Eaves, fascias | | | | | | |
| | Rainwater goods | | | | | | |
| | Pediment (south elev.) | | | | | | |
| | Chimneys | | | | | | |
| Fenestration | Windows | | | | | | See table in Section 4.3. Generally fenestration on the north-west corner of the building is not significant. Some significant fenestration is fire damaged beyond feasible repair, particularly on the first-floor northern elevation. |
| | Doors | | | | | | |
| Veranda, balcony, terrace etc. | Front terrace | | | | | | |
| | Rear veranda | | | | | | |
| | Front balcony | | | | | | |
| | Side balcony | | | | | | |

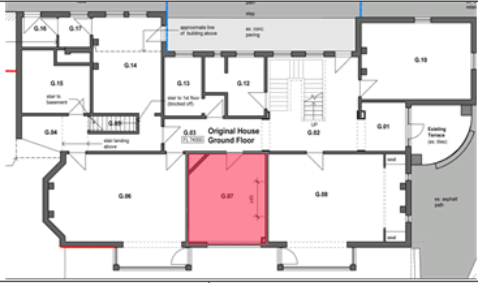
| | | | | | | | |
|--|-------------------|--|--|--|--|--|--|
| | Balastrades etc. | | | | | | |
| | Steps, tiles etc. | | | | | | |
| | Fretwork | | | | | | |

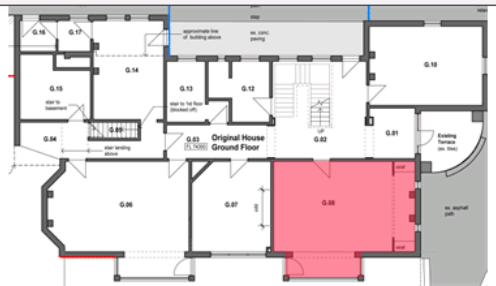
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| ROOM G04 – SERVANTS HALLWAY | | | | | | |
|---|--------------|----------|----------|------------------------------------|--|--|
|  | | Original | Modified | Fire damaged (feasibly repairable) | Fire damaged (not feasibly repairable) | Significance |
| | | Notes | | | | |
| Form | | | | | | Has been modified with addition of new wing. |
| Ceiling | Ceiling | | | | | |
| Walls | Linings | | | | | |
| Floor | | | | | | |
| Joinery | Skirtings | | | | | |
| | Architraves | | | | | |
| | Door 1 | | | | | Modern door to new addition. |
| | Cabinetry | | | | | C1960s. |
| | Steps/stairs | | | | | Servants' stairs to first floor have been blocked but are likely to still be extant. |
| Surface finishes | Walls | | | | | |
| | Ceiling | | | | | |
| | Joinery | | | | | |

| ROOM G05 – BASEMENT | | | | | | | |
|---------------------|-------------------------|----------|----------|------------------------------------|--|--------------|---|
| | | Original | Modified | Fire damaged (feasibly repairable) | Fire damaged (not feasibly repairable) | Significance | Notes |
| Form | | | | | | | |
| Ceiling | Ceiling | | | | | | Significant as unlined |
| Walls | Linings | | | | | | Significant as unlined and with significant original paint. |
| Floor | | | | | | | Concrete. |
| | Door 1 | | | | | | Displaced and currently in G6. |
| | Cabinetry | | | | | | |
| | Steps/stairs | | | | | | |
| Surface finishes | Walls | | | | | | |
| | Joinery | | | | | | Pantry shelving. |
| Other | Blocked door to outside | | | | | | |

| ROOM G06 – DINING ROOM | | | | | | |
|---|--------------|----------|----------|------------------------------------|--|--------------|
|  | | Original | Modified | Fire damaged (feasibly repairable) | Fire damaged (not feasibly repairable) | Significance |
| | | Notes | | | | |
| Form | | | | | | |
| Ceiling | Ceiling | | | | | |
| | Cornice | | | | | |
| Walls | Linings | | | | | |
| | Picture rail | | | | | |
| Floor | | | | | | |
| Joinery | Skirtings | | | | | |
| | Architraves | | | | | |
| | Door 1 | | | | | |
| | Door 2 | | | | | |
| | Mantle | | | | | |
| | Fireplace | | | | | |
| Surface finishes | Fretwork | | | | | |
| | Walls | | | | | |
| | Ceiling | | | | | |
| | Joinery | | | | | |

| ROOM G07 – FRONT-CENTRE ROOM | | | | | | |
|---|---------------------|--------------|----------|------------------------------------|--|---|
|  | | Original | Modified | Fire damaged (feasibly repairable) | Fire damaged (not feasibly repairable) | Significance |
| | | Notes | | | | |
| Form | | | | | | Front wall has been moved forward to enlarge room. Blocked opening to G8 which may be reinstated. This modern wall and window is intrusive. |
| Ceiling | Ceiling | | | | | |
| | Cornice | | | | | |
| Walls | Linings | | | | | Note that linings on front wall are not significant. |
| | Picture rail | | | | | |
| Floor | | | | | | Front section of floor has been modified. |
| Joinery | Skirtings | | | | | |
| | Architraves | | | | | |
| | Fireplace | | | | | Mantle has been removed. |
| | Door 1 | | | | | |
| Surface finishes | Walls | | | | | |
| | Ceiling | | | | | |
| | Joinery | | | | | |


| ROOM G08 – DRAWING ROOM | | | | | | |
|---|----------------------|----------|----------|------------------------------------|--|--------------|
|  | | Original | Modified | Fire damaged (feasibly repairable) | Fire damaged (not feasibly repairable) | Significance |
| | | | | | | |
| Form | | | | | | |
| Ceiling | Ceiling | | | | | |
| | Cornice | | | | | |
| Walls | Linings | | | | | |
| | Picture rail | | | | | |
| Floor | | | | | | |
| Joinery | Skirtings | | | | | |
| | Architraves | | | | | |
| | Door 1 | | | | | |
| | Mantle | | | | | |
| | Fireplace | | | | | |
| | Cabinetry | | | | | |
| | Fretwork | | | | | |
| Surface finishes | Walls | | | | | |
| | Ceiling | | | | | |
| | Joinery | | | | | |
| Other | Servants bell | | | | | |

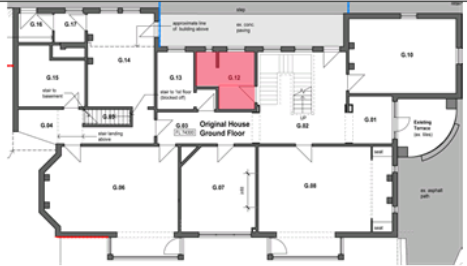
Notes
Note blocked door to G7, which may be reinstated.

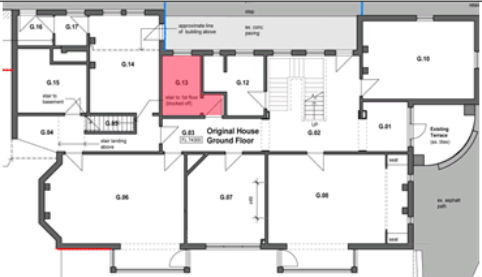
Note 'P' monogram of very high significance.

Inbuilt seating either side of fireplace

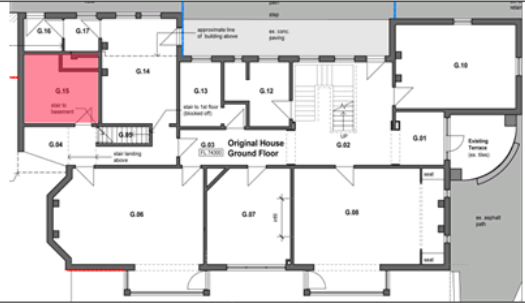
ROOM G10 – NORTH-EASTERN ROOM

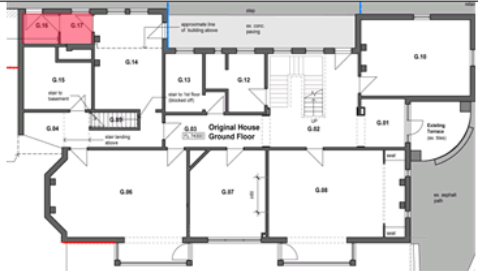
|  | | Original | Modified | Fire damaged (feasibly repairable) | Fire damaged (not feasibly repairable) | Significance | Notes |
|---|--------------|----------|----------|------------------------------------|--|--------------|-------|
| Form | | | | | | | |
| Ceiling | Ceiling | | | | | | |
| | Cornice | | | | | | |
| Walls | Linings | | | | | | |
| | Picture rail | | | | | | |
| Floor | | | | | | | |
| Joinery | Skirtings | | | | | | |
| | Architraves | | | | | | |
| | Door 1 | | | | | | |
| | Mantle | | | | | | |
| | Fireplace | | | | | | |
| Surface finishes | Walls | | | | | | |
| | Ceiling | | | | | | |
| | Joinery | | | | | | |

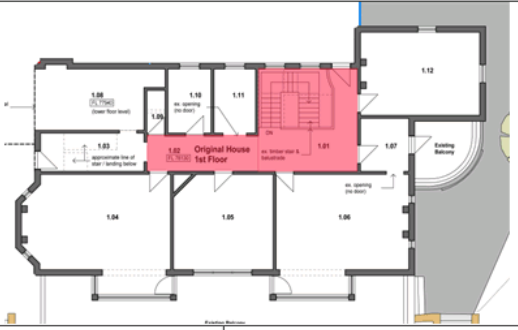
| ROOM G12 – BATHROOM | | | | | | | |
|---|-------------------|----------|----------|------------------------------------|--|--------------|--|
|  | | Original | Modified | Fire damaged (feasibly repairable) | Fire damaged (not feasibly repairable) | Significance | Notes |
| Form | | | | | | | Significant form as an original service area. |
| Ceiling | Ceiling | | | | | | |
| Walls | Linings | | | | | | |
| Floor | | | | | | | Original floor likely to be beneath floorcoverings which are of no significance. |
| Joinery | Skirtings | | | | | | |
| | Architraves | | | | | | |
| | Door 1 | | | | | | |
| Surface finishes | Walls | | | | | | |
| | Ceiling | | | | | | |
| | Joinery | | | | | | |
| Other | Bathroom fittings | | | | | | |

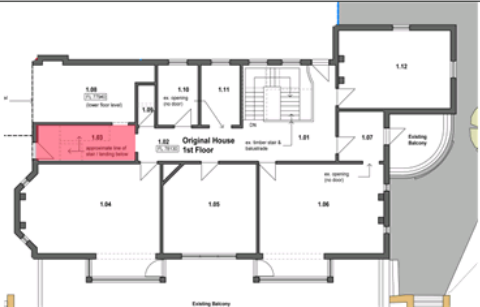
| ROOM G13 – BATHROOM | | | | | | |
|---|--------------------------|--------------|----------|------------------------------------|--|--|
|  | | Original | Modified | Fire damaged (feasibly repairable) | Fire damaged (not feasibly repairable) | Significance |
| | | Notes | | | | |
| Form | | | | | | Formerly 2 separate rooms, one entered from a now-blocked door from the kitchen. The original and more significant form could be reinstated. |
| Ceiling | Ceiling | | | | | |
| | Rose | | | | | |
| Walls | Linings | | | | | |
| Floor | | | | | | Original floor likely to be beneath floorcoverings. |
| Joinery | Skirtings | | | | | |
| | Architraves | | | | | |
| | Door 1 | | | | | |
| Surface finishes | Walls | | | | | |
| | Ceiling | | | | | |
| | Joinery | | | | | |
| Other | Bathroom fittings | | | | | |

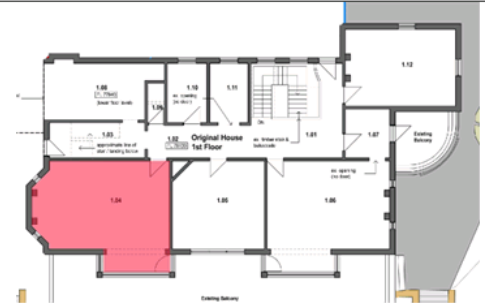
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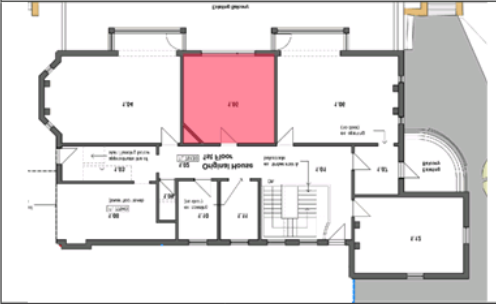
| ROOM G15 – SCULLERY | | | | | | |
|---|--------------------|--------------|----------|------------------------------------|--|---|
|  | | Original | Modified | Fire damaged (feasibly repairable) | Fire damaged (not feasibly repairable) | Significance |
| | | Notes | | | | |
| Form | | | | | | Doorway to kitchen and rear room blocked. Form readily retrievable. |
| Ceiling | Ceiling | | | | | |
| Walls | Linings | | | | | |
| Floor | | | | | | |
| Joinery | Skirtings | | | | | |
| | Architraves | | | | | |
| | Door 1 | | | | | |
| | Mantle | | | | | |
| | Cabinetry | | | | | Shelving installed in original fireplace |
| Surface finishes | Walls | | | | | |
| | Ceiling | | | | | |
| | Joinery | | | | | |
| Fireplace | | | | | | |

| ROOMS G16-17 – TOILET | | | | | | | |
|---|-------------------|----------|----------|------------------------------------|--|--------------|--|
|  | | Original | Modified | Fire damaged (feasibly repairable) | Fire damaged (not feasibly repairable) | Significance | Notes |
| Form | | | | | | | Formerly a single room accessed from the scullery. Originally not accessible from the kitchen. |
| Ceiling | Ceiling | | | | | | |
| Walls | Linings | | | | | | |
| Floor | | | | | | | Deteriorated beyond repair. |
| Joinery | Skirtings | | | | | | |
| | Architraves | | | | | | |
| | Door 1 | | | | | | Possibly recycled from the other side of this room. |
| Surface finishes | Walls | | | | | | |
| | Ceiling | | | | | | |
| | Joinery | | | | | | |
| Other | Plumbing fittings | | | | | | |

| ROOM 1.10-1.02 – UPPER LANDING AND HALLWAY | | | | | | |
|---|--------------|----------|----------|------------------------------------|--|--|
|  | | Original | Modified | Fire damaged (feasibly repairable) | Fire damaged (not feasibly repairable) | Significance |
| | | Notes | | | | |
| Form | | | | | | |
| Ceiling | Ceiling | | | | | |
| | Cornice | | | | | |
| Walls | Linings | | | | | |
| | Picture rail | | | | | Some replacement may be necessary. |
| Floor | | | | | | Architraves to 1.05, 1.10 & 1.11 are not repairable. |
| Joinery | Skirtings | | | | | |
| | Architraves | | | | | |
| | Steps/stairs | | | | | |
| Surface finishes | Walls | | | | | |
| | Joinery | | | | | Some early surface finishes damaged but repairable. |

| ROOM 1.03 – UPPER SERVANTS HALL | | | | | | |
|---|--------------------|--------------|----------|------------------------------------|--|---|
|  | | Original | Modified | Fire damaged (feasibly repairable) | Fire damaged (not feasibly repairable) | Significance |
| | | Notes | | | | |
| Form | | | | | | Largely modified as connection to the 1960s building. |
| Ceiling | Ceiling | | | | | |
| Walls | Linings | | | | | |
| Floor | | | | | | Note that the landing/evidence from the servants' stairs is significant |
| Joinery | Skirtings | | | | | |
| | Architraves | | | | | |
| | Door 1 | | | | | |
| | Door 2 | | | | | |
| | Cabinetry | | | | | |
| Surface finishes | Walls | | | | | |
| | Joinery | | | | | |

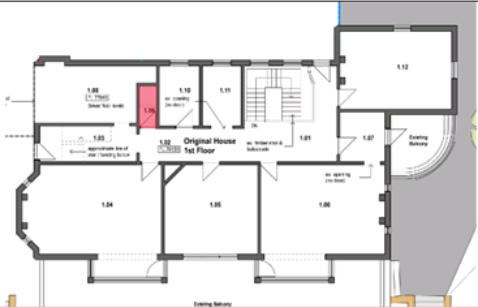
| ROOM 1.04 – BEDROOM | | | | | | |
|---|-------------|----------|----------|------------------------------------|--|--------------------------|
|  | | Original | Modified | Fire damaged (feasibly repairable) | Fire damaged (not feasibly repairable) | Significance |
| | | Notes | | | | |
| Form | | | | | | |
| Ceiling | Ceiling | | | | | |
| | Cornice | | | | | |
| Walls | Linings | | | | | Substantial fire damage. |
| Floor | | | | | | |
| Joinery | Skirtings | | | | | |
| | Architraves | | | | | |
| | Door 1 | | | | | |
| | Mantle | | | | | Missing (recently). |
| | Fireplace | | | | | |
| Surface finishes | Walls | | | | | |
| | Joinery | | | | | |

| ROOM 1.05 – UPPER MIDDLE-FRONT ROOM | | | | | | | |
|---|---------------------------|----------|----------|------------------------------------|--|--------------|---|
|  | | Original | Modified | Fire damaged (feasibly repairable) | Fire damaged (not feasibly repairable) | Significance | Notes |
| Form | | | | | | | The front wall has been moved forward to enlarge room. A bathroom and cupboard have been partitioned off the rear of the room. Original form may be reclaimed. The modern wall and windows are intrusive. |
| Ceiling | Ceiling | | | | | | |
| | Linings | | | | | | |
| Walls | Picture rail | | | | | | |
| Floor | | | | | | | New flooring to front section a result of wall relocation. |
| Joinery | Skirtings | | | | | | Remnants of original skirtings exist in part. |
| | Architraves | | | | | | Original architraves around door to hallway. |
| | Door 1 | | | | | | Door damaged and stored in 1.11 |
| | Cabinetry | | | | | | |
| Surface finishes | Walls | | | | | | |
| | Joinery | | | | | | |
| Other | Plumbing fittings. | | | | | | |
| | Fireplace | | | | | | Mantle missing. |

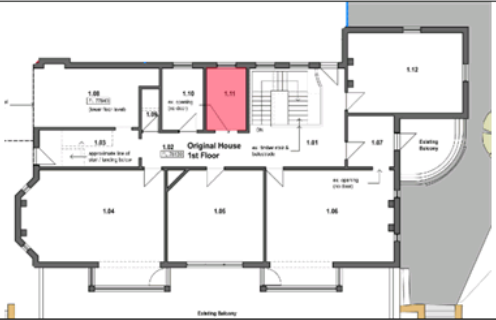
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| ROOM 1.09 – TOILET | | | | | | |
|---|-------------|----------|----------|------------------------------------|--|--------------|
|  | | Original | Modified | Fire damaged (feasibly repairable) | Fire damaged (not feasibly repairable) | Significance |
| | | Notes | | | | |
| Form | | | | | | |
| Ceiling | Ceiling | | | | | |
| Walls | Linings | | | | | |
| Floor | | | | | | |
| Joinery | Skirtings | | | | | |
| | Architraves | | | | | |
| | Door 1 | | | | | |
| Surface finishes | Walls | | | | | |
| | Joinery | | | | | |

| ROOM 1.10 - BATHROOM | | | | | | |
|----------------------|--|--|--|--|--|--|
| | | | | | | |

| ROOM 1.11 – UPPER FOYER | | | | | | |
|---|-------------|----------|----------|------------------------------------|--|--|
|  | | Original | Modified | Fire damaged (feasibly repairable) | Fire damaged (not feasibly repairable) | Significance |
| | | Notes | | | | |
| Form | | | | | | Original door has been removed to make a larger opening. Opening to rear extensions has been formed in rear wall |
| Ceiling | Ceiling | | | | | |
| Walls | Linings | | | | | Some linings not repairable |
| Floor | | | | | | |
| Joinery | Skirtings | | | | | |
| | Architraves | | | | | |
| Surface finishes | Walls | | | | | |
| | Joinery | | | | | |

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Based on the historical overview of site development as per Section 3, the fabric analysis of the current section and the statements of historic heritage significance detailed in Section 5, the following summary of significance of broad areas of the building is provided (colour coding as per above):

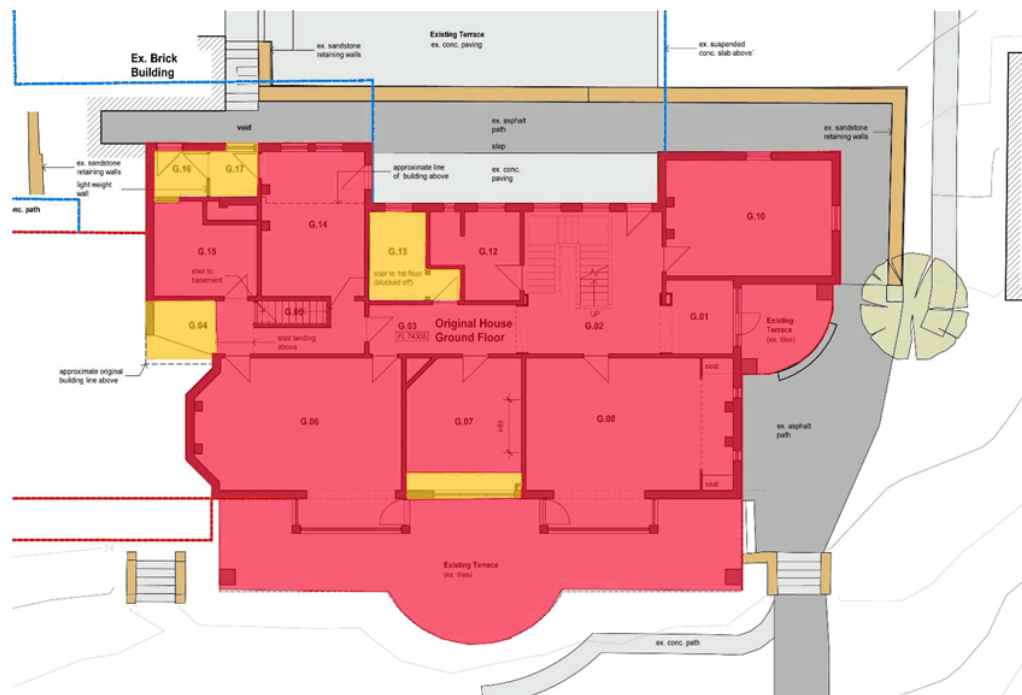


Figure 6.1 – Broad areas of the building as introduced Section 4 (ground floor). Adapted from X-Squared Architects.

6.4. SIGNIFICANCE OF BUILT LANDSCAPE ELEMENTS

As per Section 7.2, it is concluded that only the original footprint of the Peacock Centre building is the only built element of the site with a medium or high level of significance. Section 3 has detailed the various eras of renovation of that building, with modifications in some cases having been extensive. Figures 7.1-7.2 depict the areas of broad integrity as can be alluded from the knowledge of the various renovations. The ground floor depiction includes the likely original layout of that floor, given that such a large amount of fabric has been removed from the rear areas of the building (i.e. included to give those highly modified areas some context).

Further the following significance is generally ascribed to built landscape and garden features and outbuildings (see Section 4.3):

| ELEMENT | INTEGRITY | SIGNIFICANCE |
|--------------------------------|---|--------------|
| Conservatory | Low. Despite the low integrity, the significance of the conservatory is high, given the explicit conditions of the Peacock bequest. | High |
| Front retaining walls | High | High |
| Entrance gates, steps and path | High | High |
| Wash house | Medium | Medium |
| Rear retaining walls | Medium-high | High |
| Rear steps | High | High |

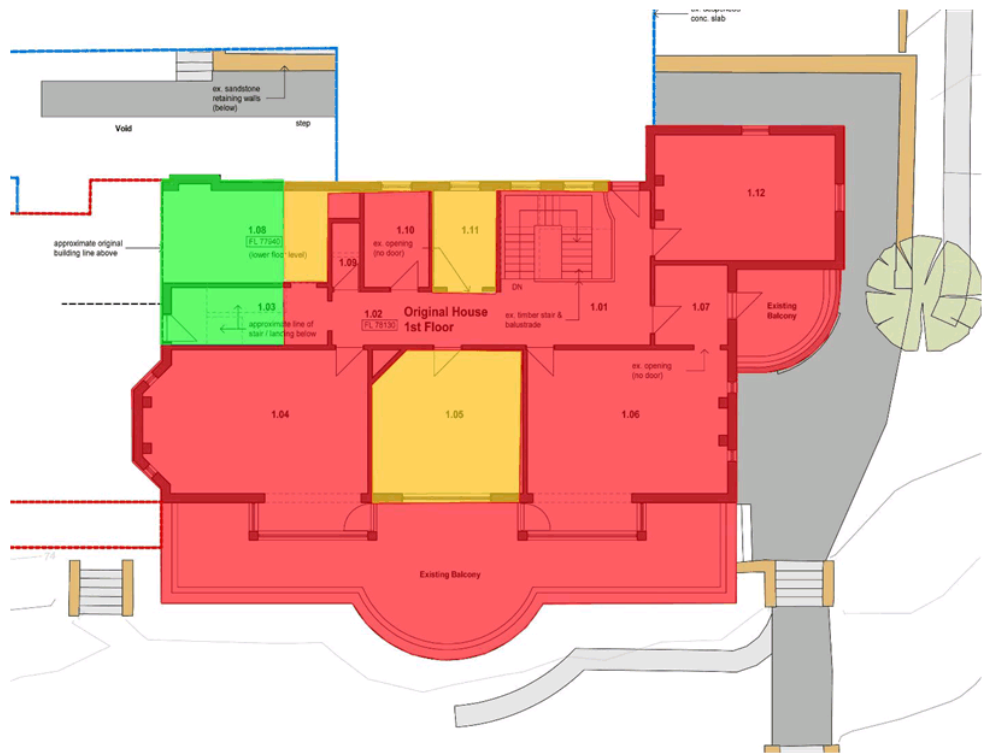


Figure 6.2 – Broad areas of the building as introduced Section 4 (first floor). Adapted from X-Squared Architects

7. CONSERVATION POLICY

7.1. CONSERVATION OBJECTIVES

The following objectives drive the conservation management process for the subject site:

- The desire to retain the significance heritage elements of the Peacock Centre
- To maintain the contribution that the Peacock Centre makes to the heritage precinct
- To reduce or alleviate the need for heritage input in elements of the site which are clearly of no heritage value.
- To guide the restoration of the fire damage to the Peacock Centre.
- To promote the continuity of the use of the Peacock Centre as a health care facility further to the bequest.
- To guide any future development in a direction likely to gain statutory approvals (and have no heritage impact).

7.2. PURPOSE OF POLICY AND DEFINITIONS AND ROLE OF STATEMENT OF SIGNIFICANCE

It is expected that any administrators and professionals planning and undertaking physical works on site will first familiarise themselves with all general conservation policies, then the specific implementation recommendation (based on these policies) relating to the particular element on which works are being planned.

Any conservation policy strongly favours the conservation of elements of primary significance, and the removal of elements which may be of detriment to the conservation or interpretation of elements of a higher significance. A thorough understanding of the statement of significance, and the specific significance of individual items, is therefore essential in appreciating how specific policies have been developed, and how these should be applied to the physical attributes of the place.

The statement of significance has defined and ranked the periods and themes which that place represents, and the analysis of the physical attributes has detailed exactly what has survived to represent such. Each element of the physical fabric has

been assigned its own significance level, based on its ability to demonstrate the significance of the place, and thresholds for assignment of this significance have been kept consistent in the assessment of all elements.

The policies below, therefore, broadly guide how this fabric should be treated in order to allow it to better conserve and demonstrate the statement of significance.

7.3. DEVELOPMENT OF POLICY

Having ascertained the ability for fabric to demonstrate the statement of significance, constraints, opportunities and requirements are considered, alongside stakeholder requirements, to develop the broad conservation policies below. Whilst conservation policies may be contrary to the constraints, opportunities or requirements, the policies aim to best address these whilst still maintaining appropriate conservation practice. Any unresolved conflict is then specifically debated in the implementation strategy.

7.4. POLICIES

The underlying principle, by which all conservation practices should be guided, is the ICOMOS Australia *Burra Charter*. The statement of significance has defined the attributes of the site of which greatest significance is assigned, thereby the priority of conserving attributes associated with such should be considered paramount compared to those of lesser significance. This, however, must be balanced with retention of elements of lesser significance where guided by the conservation policies. With the statement of significance in mind and with the adoption of Burra Charter principles this section will introduce the conservation policies developed specifically for the subject site.

| 1 | General Policies | | Objective of Policy |
|-----|---|--|---|
| 1.1 | Approach to works | The approach to managing any works on the place must be guided by the principles of the ICOMOS Australia <i>Burra Charter</i> . ¹³ | To ensure that all works are undertaken in a manner which seeks to enhance and not diminish the heritage values of the place and that adequate heritage input is included in any future development of the place. |
| 1.2 | Use/development | Any use or development of the place must not have any unreasonable adverse heritage impact upon identified values of the place. | |
| 1.3 | Supervision | All works to the significant elements of the place, and planning for such works, must be guided by a conservation architect, heritage consultant or other person(s) qualified and experienced in the conservation of historic heritage places. | |
| 1.4 | Reference to the bequest of W.D. Peacock. | <p>Ideally, to perpetuate the legacy of Mr. W.D. Peacock, and the terms of his bequest, the place should be used for health care or other public/charitable purposes provided this does not have adverse heritage impact to the place or precinct.</p> <p>The grounds are to be maintained as per the bequest, which includes the maintenance of the greenhouse.</p> | To honour and perpetuate the terms of the bequest of the place by W.D. Peacock to the Government of Tasmania, i.e. recognising the critical importance that the place remains a health care facility. |

¹³ <http://australia.icomos.org/wp-content/uploads/The-Burra-Charter-2013-Adopted-31.10.2013.pdf>

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| | | Whilst this may be contrary to a residential use (as the place originally was) – the significance of the ‘hospital period’ is paramount over any solely residential use. | |
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| 2 | Significant Buildings and Fabric | | Objective of Policy |
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| 2.1 | Significant buildings and fabric | <p>Parts of the building deemed to be of high significance (namely the more intact portions of the original portions of the Peacock Centre) must be conserved.</p> <p>In particular, this will involve the restoration of feasibly retained fire damaged elements and retention of elements which have escaped fire damage.</p> | To retain the remaining original portion of the building and to prevent further erosion of that portion of the building. |
| 2.2 | Non-significant buildings and fabric | Buildings and fabric which are of low or no significance may be retained, modified or demolished as desired (e.g. 1965 nurses’ quarters extension, c1970 kitchen extension and modern landscape elements). No heritage input is required in any future use, adaptation, demolition or development of those parts of the building. | To recognise that there are substantial portions of the site which have not considered to be of heritage value. |
| 2.3 | Intrusive buildings and fabric | Intrusive building and fabric should be removed, unless these are providing supporting infrastructure to enable ongoing use of the overall building. | To remove intrusive elements and assist in revealing heritage significance. |

| 3 | Exterior Building Envelope - Original portion of the Peacock Centre | | Objective of Policy |
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| 3.1 | Building form | The exterior building envelope of the original portion of the Peacock Centre should be retained and opportunity taken to reinstate lost parts that form. | To seek to ensure that the original portion of the Peacock Centre remains recognisable as that original building, in particular to reverse non-significant/intrusive modifications which have inhibited the ability to discern the original building form. |
| 3.2 | Roof form | The roof form has been lost in the 2016 fire and should be reinstated. | To reinstate a visually prominent and important part of the original building. |
| 3.3 | Detailing | Significant exterior detailing should be retained, unless replacement is necessary for repair (particularly fire damage), weatherproofing or security purposes, in which case compatible styling and materials must be used. New work should be sympathetic to, but not necessarily imitative of, the original form, detailing and materials. | To maintain and/or reinstate missing significant architectural detailing and elevation form. |
| 3.4 | Windows, doors and openings | <p>All original/significant windows and doors must be maintained and ideally where elements are missing these should be reinstated with replica or sympathetic elements.</p> <p>Any works required for security, thermal, acoustic properties (e.g. double glazing) etc. should be undertaken as discretely and reversibly as possible.</p> <p>No additional openings should be installed on the Swan Street elevation or the eastern elevation of the building.</p> | |


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| | | There may be some scope for modification of apertures on the already altered northern and western elevations. | |
| | | Ideally, no further wall removal should occur and where possible opportunity to reinstate missing sections of walls should be taken (e.g. where windows have been blocked). Limited wall removal may be acceptable if that supports rationalised internal planning or connectivity for any new use, is limited to non-principal elevations (or elevations already modified) and does not result in the loss of any significant detailing. | To limit the amount/extent of further wall removal, whilst acknowledging that the form of the building has changed and some intervention may be beneficial in rationalising internal planning or connectivity of the overall building. |
| 3.5 | Attachment of new extensions | Any new extensions should only be attached to the building in the vicinity of the north-western corner. | To acknowledge that it is likely that a new building will be required on the site to continue the intended use as a health care facility and to limit that attachment to an area of the building already modified. |

| 4 | Interior form and Detailing – The original portion of the Peacock Centre | Objective of Policy |
|-----|---|--|
| 4.1 | <p>Form and layout of the original portion of the Peacock Centre.</p> <p>The plan form of the original portion of the building must remain largely unchanged, particularly the principal rooms (noting that later partitions should be removed).</p> <p>There is some scope for adaptation of the plan form of areas which have previously been modified, particularly the north-western corner of the building. Whilst ideally these should be restored to their earlier form if possible, their further adaptation to facilitate a suitable use of the building, or connectivity to a new extension to the building is likely to be acceptable.</p> <p>The ability to read the difference between ‘formal areas’ and ‘servants’ areas’ should remain.</p> | <p>To reinstate and retain where feasible the original form and planning of the internal layout, however acknowledging that there have been changes in the past in parts of the building.</p> <p>To limit further changes to parts of the building which could logically provide connectivity to a new extension that promotes W.D. Peacock’s vision for the property.</p> |
| 4.2 | <p>Joinery and other detailing</p> <p>Original/significant interior detailing should be retained.</p> <p>Where detailing is missing or fire damaged, like-for-like profiles and materials should be used in any replacement.</p> <p>Only where joinery is totally missing (e.g. some service areas) may modern profiles be used.</p> | <p>To retain original and significant detailing and to restore the building where fire damage has occurred.</p> <p>To allow any new joinery in adapted spaces to be read as a more modern element if desired.</p> |
| 4.3 | <p>Detailing/fabric which has been damaged beyond feasible repair</p> <p>The reinstatement of detailing and fabric which has been damaged beyond repair should be undertaken in a manner which is sympathetic to the overall values of the building.</p> | <p>To acknowledge that the fire has resulted in fabric loss that should ideally be reinstated in a like-for-like manner, however if this is not considered a pragmatic option then substitution with</p> |

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| | | Where possible and where there is no conjecture, fabric should be reinstated with as close to specification as the original fabric, however where this is not pragmatic then modern alternatives may be used (e.g. plastersheet ceilings in-lieu of lathe and plaster). | modern approaches may occur, provided that these are sympathetic. |
| 4.4 | Installation of services | <p>Installation of modern services essential to viable use of the buildings (e.g. electrical, plumbing, fire/security equipment, lifts etc.) are likely to be acceptable provided these are installed in such a way to be as unobtrusive as possible, to have minimal impact upon significant fabric, and be as reversible as possible.</p> <p>Service installations may be modern, but sympathetic if desired (e.g. there is no need for 'period' reproduction fittings if not desired).</p> | To acknowledge that modern services must be provided but to ensure that these are done in as sympathetic and reversible way as practicable. |
| 4.5 | Adaptation required for universal access requirements | Any adaptations required for achieving universal access (or other essential requirements for a health care facility) are likely to be acceptable, however these must seek to minimise impact upon significant fabric and forms and be as reversible as possible if impact is unavoidable. | It is acknowledged that the restoration of the use of the building as a health care facility may require interventions to ensure universal access (etc.). This is considered necessary to ensure the perpetuity of the Peacock bequest and an important action in maintaining the significant use of the place as a health care facility. |
| 4.6 | Adaptation required for achievement of other National Construction Code requirements. | Where achievement of NCC requirements might result in irreversible heritage impact, a detailed assessment of the 'absolute necessity' of such must be made between heritage values and NCC | To acknowledge that by virtue of the heritage values of the place, that the adaptation to a viable health care facility will be more difficult than that of a 'new build'. It must be accepted that the building has certain limiting factors that need to be |

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| | | compliance to consider whether a concession may be made under s.13(2), s.53(3)(c) & s.54(2)(c) of the Tasmanian Building Act 2016. | balanced with the necessity of the 'ideal' architectural approach however if feasible concessions will need to be made to balance that approach with the constraining heritage attributes of the building. |
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| 5 | Maintenance of Curtilage, Streetscape Values and New Development Guidelines | | Objective of Policy |
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| 5.1 | Development on the rear on the site | Greater scope for adaptation and modern access requirements (etc.) exists at the rear of the site and these may be less conducive to a heritage garden layout than such interventions at the front of the building. | To acknowledge that the rear landscape of the site has previously been heavily modified and has little streetscape value (when compared to the front). This gives scope for more major interventions at the rear to support the use of the place as a health care facility. |
| 5.2 | Location of new development | The location of any new development must be rear of the front building line of the original portion of the Peacock Centre building. Ideally, views to the rear of the building should be largely unimpeded and development footprint be limited to the area depicted on the figure below. | To acknowledge that new development is inevitable if the building is to remain in use as a health care facility, thereby perpetuating the terms of the Peacock bequest. This also acknowledges the likely need to replace the damaged 1960s section of the building and the opportunity to provide a better-resolved extension. |

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| | |  <p>Nominal building envelope.</p> | |
| 5.3 | Bulk/form of new development | New development should be limited to two-storey and the form of such should seek to be as low as possible so as to not dominate the original building. | Noting that anything higher than two-storey development is unprecedented in the area. Also noting that the natural topography of the land makes it difficult to achieve a new development that is lower in height than the existing building – particularly given the siting constraints imposed by Policy 5.2. |
| 5.4 | Style of new development | New development need not emulate the style of the original Peacock Centre, however should be sympathetic to the building and wider precinct and may 'borrow' elements of form or materiality. | To not mimic historic forms or fabric, but ideally to make some historical reference to such in a contemporary way. |

| 6 | Landscape considerations | | Objective of Policy |
|-----|---|--|--|
| 6.1 | Front garden, steps, walls, fencing etc. | The existing and original major garden features visible from Swan Street are to be retained and made good. | To acknowledge the garden and landscape value of the Swan Street frontage of the building. |
| 6.2 | Original landscape features at the rear of the building (e.g. retaining walls, courtyard etc.). | Opportunity should be taken to expose and restore currently (largely) hidden landscape elements at the rear of the building – noting that these can sustain a higher degree of modification than those more significant such elements at the front of the building. | To acknowledge that some significant garden elements remain at the rear of the building, although previously modified and concealed. These offer opportunity for some restoration of that rear garden setting, however given the overall lower significance of that area can sustain further modification in order to achieve functional objectives. |
| 6.3 | The greenhouse | The greenhouse is to be restored and maintained. | Consistent with an explicit condition of bequest by W.D. Peacock. |
| 6.4 | New landscape elements | New hard landscape elements in the front garden should be avoided if possible. Soft landscaping should continue the traditions of an Edwardian formal garden. New hard landscape elements in the rear garden are likely to be acceptable. If desired these may make reference to earlier layouts/features, however functionality is a paramount concern in this area. | To acknowledge the significance of the front gardens to the setting of the building and precinct and to provide scope for functional modifications in the rear garden area to support the ongoing use of the building as a health care facility. |

| 7 | Other policies | | Objective of Policy |
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| 7.1 | Historical archaeology | The site is not considered to be archaeologically sensitive, therefore no historical archaeological input is required in any future development. | To acknowledge that the site is unlikely to have any archaeological potential. |
| 7.2 | Subdivision | Acknowledging the bequest of W.D. Peacock and the significance of the current title form in demonstrating the original planning intent of the precinct, the current title must not be further subdivided. | To ensure that the early lot configuration is maintained and that the maintenance of the 'grounds' as desired by Peacock is perpetuated. |
| 7.3 | Interpretation of heritage values | Any redevelopment of the site must incorporate interpretation of heritage values, in particular the story of the Peacock family and their contribution to Tasmania's commercial history. | To pay respect to the Peacock bequest and to tell the story of the benevolent roots of the health care facility and its evolution. |

The following tables consider how these policies may be applied in compliance with the performance criteria of the scheme provisions, with additional commentary where necessary. Where possibly relevant to any proposed development of the subject site, the Acceptable Solutions have been included here as initial guidance.

POLICY FIT WITH CLAUSE E.13.7 (1-3) – HERITAGE PLACE

| | Policy Guidance | Performance Criteria |
|--|--|--|
| E.13.7.1 - Demolition | <p>Policy 1.1 – Approach all works in accordance with the ICOMOS Burra Charter.</p> <p>Policy 1.2 – Any use or development not to have unreasonable adverse heritage impact.</p> <p>Policy 2.1 – Parts of the building deemed to have high significance to be retained.</p> <p>Policy 2.2 – Adaptation of non-significant elements.</p> <p>Policy 2.3 – Removal of intrusive elements.</p> <p>Policy 2.4 – Repair of fire damage.</p> <p>Policy 4.2 – Fabric damaged beyond feasible repair.</p> | <p><i>Demolition must not result in the loss of significant fabric, form, items, outbuildings or landscape elements that contribute to the historic cultural heritage significance of the place unless all of the following are satisfied;</i></p> <p>(a) <i>there are, environmental, social, economic or safety reasons of greater value to the community than the historic cultural heritage values of the place;</i></p> <p>(b) <i>there are no prudent and feasible alternatives;</i></p> <p>(c) <i>important structural or façade elements that can feasibly be retained and reused in a new structure, are to be retained;</i></p> <p>(d) <i>significant fabric is documented before demolition.</i></p> |
| E.13.7.2 – Building and Works other than Demolition | <p>Policy 3.1 – Building form.</p> <p>Policy 3.2 – Roof form.</p> <p>Policies 3.3-4 – Detailing, windows/doors/openings</p> <p>Policy 3.5 – New extensions.</p> <p>Policy 4.1 – Interior form and detailing.</p> <p>Policies 4.5-4.6 – Adaptation for NCC requirements.</p> <p>Policy 5 – New development.</p> <p>Policy 6 – Landscape considerations.</p> | <p><i>P1. Development must not result in any of the following:</i></p> <p>(a) <i>loss of historic cultural heritage significance to the place through incompatible design, including in height, scale, bulk, form, fenestration, siting, materials, colours and finishes;</i></p> <p>(b) <i>substantial diminution of the historic cultural heritage significance of the place through loss of significant streetscape elements including plants, trees, fences, walls, paths, outbuildings and other items that contribute to the significance of the place.</i></p> <p><i>P2. Development must be designed to be subservient and complementary to the place through characteristics including:</i></p> <p>(a) <i>scale and bulk, materials, built form and fenestration;</i></p> |

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| E.13.7.3 - Subdivision | | <p>(b) setback from frontage;</p> <p>(c) siting with respect to buildings, structures and listed elements;</p> <p>(d) using less dominant materials and colours.</p> |
| | Policies 4.1 – 4.3 – Fabric/detailing. | P3. Materials, built form and fenestration must respond to the dominant heritage characteristics of the place, but any new fabric should be readily identifiable as such. |
| | Policy 5 – New development. | P4. Extensions to existing buildings must not detract from the historic cultural heritage significance of the place. |
| | Policy 6 – Landscape considerations. | P5. New front fences and gates must be sympathetic in design, (including height, form, scale and materials), to the style, period and characteristics of the building to which they belong. |
| | | P6. The removal of areas of landscaping between a dwelling and the street must not result in the loss of elements of landscaping that contribute to the historic cultural significance of the place. |
| | Policy 7.2 – Subdivision. | <p>P1. A proposed plan of subdivision must show that historic cultural heritage significance is adequately protected by complying with all of the following:</p> <p>(a) ensuring that sufficient curtilage and contributory heritage items (such as outbuildings or significant plantings) are retained as part of any title containing heritage values;</p> <p>(b) ensuring a sympathetic pattern of subdivision;</p> <p>(c) providing a lot size, pattern and configuration with building areas or other development controls that will prevent unsympathetic development on lots adjoining any titles containing heritage values, if required.</p> |

POLICY FIT WITH CLAUSE E.13.8 - HERITAGE PRECINCT

| | Policy Guidance | Performance Criteria |
|--|--|---|
| E.13.8.1 - Demolition | <p>Policy 1.1 – Approach all works in accordance with the ICOMOS Burra Charter.</p> <p>Policy 1.2 – Any use or development not to have unreasonable adverse heritage impact.</p> <p>Policy 2 – Buildings and fabric of high significance to be conserved, restored and maintained.</p> | <p><i>Demolition must not result in the loss of any of the following:</i></p> <ul style="list-style-type: none"> <i>(a) buildings or works that contribute to the historic cultural heritage significance of the precinct;</i> <i>(b) fabric or landscape elements, including plants, trees, fences, paths, outbuildings and other items, that contribute to the historic cultural heritage significance of the precinct;</i> <p><i>unless all of the following apply;</i></p> <ul style="list-style-type: none"> <i>(i) there are, environmental, social, economic or safety reasons of greater value to the community than the historic cultural heritage values of the place;</i> <i>(ii) there are no prudent or feasible alternatives;</i> <i>(iii) opportunity is created for a replacement building that will be more complementary to the heritage values of the precinct.</i> |
| E.13.8.2 – Building and Works other than Demolition | <p>Policy 5 – New development.</p> <p>Not applicable – no design Criteria nor Conservation Policy is listed in Table E.13.2. Statements of significance to guide the application of this criterion.</p> <p>Policy 5 – New development.</p> <p>Policy 6 – Landscape considerations.</p> | <p><i>P1. Design and siting of buildings and works must not result in detriment to the historic cultural heritage significance of the precinct, as listed in Table E13.2.</i></p> <p><i>P2. Design and siting of buildings and works must comply with any relevant design criteria / conservation policy listed in Table E13.2, except if a heritage place of an architectural style different from that characterising the precinct.</i></p> <p><i>P3. Extensions to existing buildings must not detract from the historic cultural heritage significance of the precinct.</i></p> <p><i>P4. New front fences and gates must be sympathetic in design, (including height, form, scale and materials), and setback to the style, period and characteristics of the precinct.</i></p> |

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| | | <i>P5. The removal of areas of landscaping between a dwelling and the street must not result in the loss of elements of landscaping that contribute to the historic cultural significance or the streetscape values and character of the precinct.</i> |
| <i>Subdivision</i> | Policy 7.2 – Subdivision | <i>P1. Subdivision must not result in any of the following:</i> <ul style="list-style-type: none"> <i>(a) detriment to the historic cultural heritage significance of the precinct, as listed in Table E13.2;</i> <i>(b) a pattern of subdivision unsympathetic to the historic cultural heritage significance of the precinct;</i> <i>(c) potential for a confused understanding of the development of the precinct;</i> <i>(d) an increased likelihood of future development that is incompatible with the historic cultural heritage significance of the precinct.</i> |

8. SPECIFIC RECOMMENDATIONS

The following tables bring together the observations in Section 6, applies the conservation policy developed in Section 7, and provides broad guidelines for the implementation of this document in a manner which is likely to satisfy statutory heritage requirements:

| Buildings generally and major built site features | | |
|---|---|--|
| Element | | Recommendation |
| Buildings | The original portion of Ruardean | This building should be retained, conserved/restored and fire damage made-good. Implement finer-detail form, space and fabric recommendations as per below. Note that the fulfilment of the Peacock Bequest is a paramount driving force in the restoration and ongoing use of this building (i.e. as a health care facility) which must be a consideration alongside the conservation policies and recommendations. |
| | The 1960s nurses' quarters | The retention of this part of the building may not be feasible nor worthwhile given its nil heritage significance. Removal of this part of the building is likely to make way for a better resolved extension or new building which promotes the fulfilment of the Peacock Bequest in a more effective manner. |
| | Rear additions to the original Ruardean (e.g. remains of the sunroom and kitchen/dining). | These have been fire damaged beyond repair and should be removed. |
| Outbuildings, garden and built landscape | Conservatory | As an important and explicit part of the conditions of the Peacock Bequest, the conservatory must be restored and made-good. |
| | Front retaining walls | Retain and make good any minor repairs necessary. |
| | Entrance gates, path and steps | |
| | Wash house | Retain and reinstate original roof form, unless this inhibits the viability of a new extension which explicitly aims to fulfil the Peacock Bequest (i.e. assists in the viability of the place as a health care facility) – noting that this building is of medium significance and is located in an area neat to a logical attachment point of any new building to the significant portion of the Peacock Centre. |
| | Rear retaining walls | Retain and make good any minor repairs necessary. Use steps in conjunction with associated universal access facilities (e.g. nearby ramp) if compliance can be achieved. |
| | Rear steps | |
| | Front rear garden | Retain as an Edwardian domestic garden. Avoid hard surfaces. No development to be forward of the building line. |
| | Rear garden | Rationalise and remove any unnecessary post-1942 items. New development to be limited to the western edge and north-western corner. New landscape elements are likely to be acceptable as required. |

| The exterior of the original Ruardean building. | | |
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| Element | | Recommendation |
| General | Roof, eaves, fascias, rainwater goods. | Reinstate the original roof form, preferably clad in slate, or alternatively in corrugated galvanised iron. Reinstate timber eaves, fascias etc. and rainwater goods as required. |
| | Walls | Make good any fire damage to brick walls. Limit any new apertures to areas previously modified (e.g. north-western corner). |
| | Doors and windows | Repair and retain significant doors and windows (including stained glass). Those marked on in Section 4.1 as 'C/D' may be replaced either with replicas of original, or sympathetic alternatives. Secondary glazing and any additional fittings for security may be fitted as discretely as possible. |
| | Terrace, balconies. veranda etc. | Make good damage to terraces, balconies etc. Any modifications required for compliance with the NCC should be done as discretely and reversibly as possible. |
| Elevations | South | Generally retain as-existing and make good any damage/deterioration. Opportunity should be taken to reinstate a more sympathetic form and fenestration on the central portion of this elevation (i.e. the altered walls of G.07 & 1.05). |
| | East | Undertake any necessary repairs and retain this elevation as-existing. |
| | North | Repair fire damage. Reinstate a window to Room 1.11 if feasible. The western end of this elevation provides opportunity for linkage to any new building. |
| | West | If the 1960s nurses' quarters is removed, seek to reinstate the integrity of this elevation, particularly the bay window. The northern portion of this elevation provides opportunity for linkage to any new building. |

| The interior of the original Ruardean building. | |
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| Element | Recommendation |
| Form | <p>Retain the general form of the layout of the building. It is important that there still remains a distinction between 'formal' and 'service' areas (reflecting an Edwardian social hierarchy) which should be reflected in any reconfiguration of the interior.</p> <p>Some scope exists for modification of the form of Rooms G.04, 13, 14, 15, 16 & 17 – ideally for the provision of service areas – as these areas traditionally were.</p> <p>Scope also exists for modification of Rooms 1.03, 08, 09, 10, 11 as these have been previously modified, are traditional service areas and some have extensive fire damage which has reduced their significance.</p> <p>Modification of G.13 and 1.11 may be acceptable for the provision of lift infrastructure if desired.</p> <p>New openings in interior walls are discouraged, with the exception of re-opening of previously blocked openings or limited modifications to the rooms listed as potentially modifiable above. In this case, nibs and bulkheads should remain to interpret earlier forms.</p> |
| Ceilings | <p>The ceilings in Rooms G.07 and G.08 are to be conserved.</p> <p>All other ceilings may be replaced as desired – an acceptable outcome would be in plasterboard with reproduction Edwardian cornice in rooms where evidence of an earlier cornice exists. Install acoustic separation, insulation and fire separation as required.</p> |
| Wall linings | Retain as much original wall lining as possible. Any new linings to match finish of original as best as practicable. |
| Floors | Almost all timber floors are in reasonable condition and can be conserved. These may be sanded and an appropriate hard-wearing (preferable penetrating) finish applied. Otherwise floor coverings may be fitted as desired. Any acoustic separation should be installed under floorcoverings without impacting floorboards if possible. |
| Joinery | <p>All significant joinery should be retained, and where feasible to repair fire damage, this should be done. This includes the retention of architraves, skirtings, picture rails, fretwork etc. – particularly in the more formal rooms.</p> <p>If feasible, damaged doors should be repaired. If not feasible, replicas or sympathetic alternatives may be installed.</p> <p>Joinery that is damaged beyond repair (i.e. in the area of Rooms 1.10, 1.11, 1.05, 1.10) then this should either be replaced by reproduction profiles, or a sympathetic alternative.</p> |
| Stairs | <p>All three staircases must be retained. The servants' staircase is a significant means of demonstrating the social hierarchy of the Edwardian residence and is to be retained.</p> <p>It is noted that these may not comply with access requirements and that universal access alternatives will need to be provided. See comments above on the possibility of lift installation in G.12-1.11. It is also noted that there may be the possibility of lift access to be included in any new addition to the building which is likely to be a positive heritage outcome. Whilst access requirements are a paramount concern, this should not have an adverse heritage impact that can be avoided.</p> |
| Finishes | Finishing of surfaces in either traditional or modern finishes may occur as desired or for functional purposes. |

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| | <p>Consider the replication of original colour schemes (obtained from paint analysis) in formal rooms (at least).</p> <p>Unpainted joinery should have finishes restored.</p> |
| Fireplaces | <p>Retain fireplaces and make inoperable if desired.</p> <p>Retain and restore significant elements such as mantelpieces, tiles etc. Reinststate missing elements either with appropriate reproductions, or sympathetic alternatives.</p> <p>Fireplaces may provide opportunity for installation of alternative heating sources.</p> |
| Installation of modern services | <p>Modern services including plumbing, electrical, heating, data/AV, fire protection/suppression etc. is likely to be acceptable. Specifications for such must seek to promote as minimal impact as practicable upon heritage fabric and for this to be as reversible as possible (noting lifecycle of such).</p> <p>Similarly, any new cabinetry, partitions etc. should also seek to have minimal impact and be as reversible as practicable.</p> |

9. THE PROPOSED DEVELOPMENT

The proposal for the redevelopment of the existing Peacock Centre building/s following their partial destruction in a fire will see the recreation of an adult community mental health facility with best practise design for mental health care and best practise heritage restoration of the original home of Dr. W.D. Peacock, known in his lifetime as Ruardean. In summary the proposed work involves:

Exterior

- Retention and restoration of the original heritage building, including re-roofing and general repair, refurbishment, and maintenance of the existing envelope of the building (including terraces and patios)
- Removal of insensitive 1940s, 1960s and 1970s additions
- Construction of a new addition, compatible with and sensitive to the existing Ruardean building, that will provide for best practise mental health care needs
- Restoration of the existing heritage glasshouse/greenhouse and surrounding heritage gardens, including retention, restoration and reinforcement of gardens/sandstone walls to their former state on both north and south sides of the House (where feasible, and not affected by previous works and/or new landscaping works), but particularly on the south (Swan Street) side where no changes other than retention and restoration of the sandstone walls and reinforcement planting of the gardens is proposed
- Repair and making compliant the northern carpark, and the addition of a new small accessible carpark off Elphinstone Road (requiring the removal of some existing landscaping)
- The addition of landscaping and an accessible entrance to the north of the building
- (from Elphinstone Road)
- The discrete addition of a separate and external plant room and minor building services enclosures

Interior

- Best practise heritage restoration of the original Ruardean interior to its original condition (where feasible, and not permanently affected by previous works and/or fire damage and/or the competing demands of best practise mental health care) in accordance with the Burra Charter, Heritage Tasmania Guidelines and the Historic Heritage Management Strategy prepared specifically for this project by Praxis Environment to guide an appropriate heritage approach to the works
- Partial removal of existing, north west facing, first floor wall and ground floor roof to allow connection to the proposed new building addition
- Removal and/or reconfiguration of some ground and first floor internal walls (both heritage and new additions) to create spaces that suit a best practise mental health care facility
- Removal of all existing outdated and non-compliant toilet/bathroom facilities from both ground and first floors

- Construction of a new addition, compatible with and sensitive to the existing Ruardean building, that will provide for best practise mental health care needs with high quality interior design features and a strong residential ambience

The proposed development is detailed in the following documents which have been used in this heritage impact assessment:

- Peacock Centre Redevelopment, 11 Swan Street, North Hobart Tas 7000 – Planning Application. XSquared Architects, November 2019 (Project 1838). Drawings 1838 A000, 101, 201-207, A301-302, A401, A501-502 and A701.
- Peacock Centre Mental Health Facility Redevelopment Heritage Refurbishment and Addition - Architectural Design Statement. XSquared Architects, 10th January 2020 (and associated Appendices).

10. HERITAGE IMPACT ASSESSMENT

10.1. PREAMBLE TO HERITAGE IMPACT ASSESSMENT

As per the historical overview in Section 3 and as evident in the fabric assessment in Section 4 – in 2016 the Peacock Centre was severely damaged by fire which has rendered the building uninhabitable since that time. The terms of the Peacock Bequest requires that the building be used as a health care facility in perpetuity and the owner (the Tasmanian Government) wish to fulfil the obligations of that bequest by restoring the building and reinstating the use as a health care facility – namely a mental health care facility which would operate as a combination of day use as well as some residential care.

The approach to this heritage impact assessment is framed in some exceptional circumstances which are summarised the following points:

- The terms of the Peacock Bequest require that the building continue to be used as a health care facility. There is a legal and moral obligation on the part of the current owner that this occur – i.e. to onsell the building or to restore it for another purpose is not a conceivable option.
- The building represents an extraordinary circumstance in that although it is a fine example of a large Edwardian residence, and despite the fire, it continues to demonstrate important attributes of such, however reinstatement of the building as a residence is not a viable option. Whilst reinstating a wholly residential use would arguably be the best heritage outcome by means of minimal intervention of significant fabric and perpetuation of original use, the terms of the bequest would not allow this, and as per the assessment of historic heritage significance in Section 5 here, the use of the building as a health care facility (as the tangible outcome of a bequest by a prominent Tasmanian) is considered to be of a higher degree of significance than a purely residential use. Accordingly, carefully managed change to the place to achieve a feasible and viable health care facility is considered to be a paramount objective. This is supported by Article 7 of the ICOMOS Australia *Burra Charter* which states that *where the use of a place is of cultural significance it should be retained*, supported by Article 23 which states that *continuing, modifying or reinstating a significant use may be appropriate and preferred forms of conservation*. That is, the use of the place as a health care facility, consistent with the wishes of the Peacock Bequest and consistent with the longest running use of the building are the required outcome in this case. With that overarching use and conservation objective, this heritage impact assessment must consider those parameters and principles, rather than merely approaching the place as a simple 'Edwardian residence'.

- The fire damage has compromised the building and its ability to represent a complete example of an Edwardian residence. This project is essentially an exercise in salvage and restoration and an overarching consideration in this heritage impact assessment is the fact that the proposal represents an opportunity to reclaim a heritage building which is currently extremely vulnerable to further decay and eventual loss.
- The previous form and function of the Peacock Centre (i.e. pre-fire) was a somewhat outdated amalgam of 1940s, 1960s and 1980s extensions and renovations within and around the heritage building. This ad-hoc evolution of the centre was not ideal and does not reflect the up-to-date and innovative health care initiatives that the owner desires. Accordingly, this project represents exceptional circumstances in the opportunity to provide a better architecturally resolved facility which can be seen as an exemplar in its category of health care.
- The owner emphasised from initial briefing stages the aspiration of this building to provide a new gold standard of mental health care, in line with contemporary approaches of service delivery, and with a permeability and connection to community, which will perpetuate the Peacock Bequest in perpetuity and allow continuity of the significance use of the place.

Accordingly, this heritage impact assessment has been framed within the context of the above influencing factors and not merely a 'bricks and mortar of an Edwardian house' scenario. The importance of the Peacock Bequest and a viable health care facility have been balanced with the potential physical heritage impacts of the proposal and the importance of the objectives that the proposal seeks to achieve.

The following Heritage Impact Assessment has been formulated in response to the applicable statutory heritage considerations as detailed in Section 2 of this document, namely:

- Compliance with Clause E.13.7 of the Hobart Interim Planning Scheme (Heritage Place)
- Compliance with Clause E.13.8 of the Hobart Interim Planning Scheme (Heritage Precinct)
- Compliance with the principles of the various applicable Tasmanian Heritage Council Practice Notes and Works Guidelines.
 - o All as cited in Section 2.1-2.2.

The response to the conservation policies and specific recommendations of this document is also to be assessed, with any non-compliance considered in-light of the paramount objective of the fulfilment of the Peacock Bequest and the ongoing use of the place as an effective health care facility.

10.1. IMPLEMENTATION OF HERITAGE ADVICE

As per the methodology detailed in Section 1.3, heritage advice has been a critical part of the design process in formulating the current proposal. Praxis Environment were engaged in October 2018 to formulate a historic heritage management strategy for the building and site, as detailed here in Section 1.1. Draft conservation policies were provided to XSquared Architects for review and the initial guidance of the design process in January 2019 and the first draft of the heritage management strategy was provided in February 2019. Regular project team meetings were held which were attended by the author of this report, and at least two site visits were undertaken by the project architect(s) and heritage consultant together with the specific aim of approaching a raft of finer-detail heritage issues.

The heritage consultant reviewed a schematic version of the proposal as an initial heritage impact assessment as well as two versions of further resolved plans ahead of this final heritage impact assessment. As per the preamble above, these reviews were not undertaken within the 'vacuum' of heritage impact, but with the benefit of attendance at team meetings and with further input from team members particularly as to the need to reinstate a health care use for the building, that overarching context (as also connected to the historic heritage significance in continuity of a significant use) was a key factor in considering the essential balance between heritage impact and the objective of fulfilling the Peacock bequest in a feasible contemporary manner.

10.3. CONSIDERATION OF SPECIFIC ELEMENTS OF THE PROPOSAL UPON HISTORIC HERITAGE SIGNIFICANCE

Section 6 has proposed levels of significance for individual elements of the building and site and Section 7 has provided conservation policy for the management of those values, commensurate with their significance. Section 8 has provided specific recommendations by which those policies might be implemented in any future development.

This section will firstly analyse the proposed demolition plans against the identified significant form, fabric and spaces of the buildings in order to understand the potential impact of the proposed development upon such. Secondly, elements of the proposed development (i.e. following demolition) will be analysed – both in plan view of the existing heritage building, and in elevation and perspectives of the overall proposed development.

That analysis will later be summarised in order to measure compliance with the conservation policies of Section 7 and the tables of recommendations drawn from Section 8. Finally, the proposal will be assessed against the specific statutory heritage requirements as detailed in Section 2 (noting that the requirement to address those performance criteria has been a key driver in the formulation of the conservation policies and recommendations in this document).

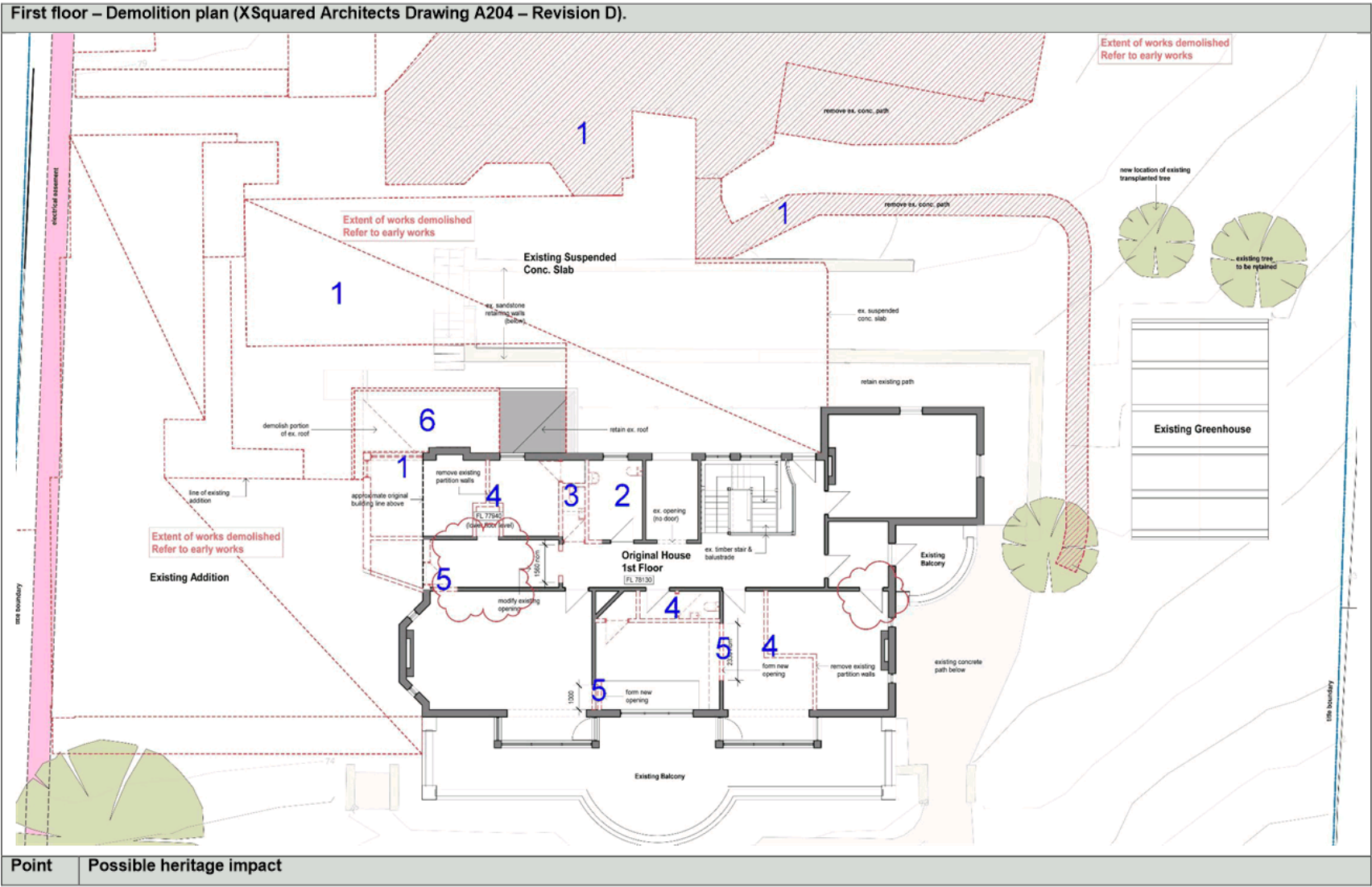
In the assessment of impact/compliance with recommendations in that table, the following colour coding has been used to identify where impact is likely/possible:

| | |
|--|---|
| | No impact and accords with recommendations and/or conservation policy. |
| | Minor impact, but readily justifiable as a means of promoting a suitable adaptive reuse and generally accord with recommendations and/or conservation policy. |
| | High impact and does not accord with recommendations and conservation policy. Further consideration against non-heritage factors affecting the development proposal and considerations against 'prudent and feasible' alternatives is required. |



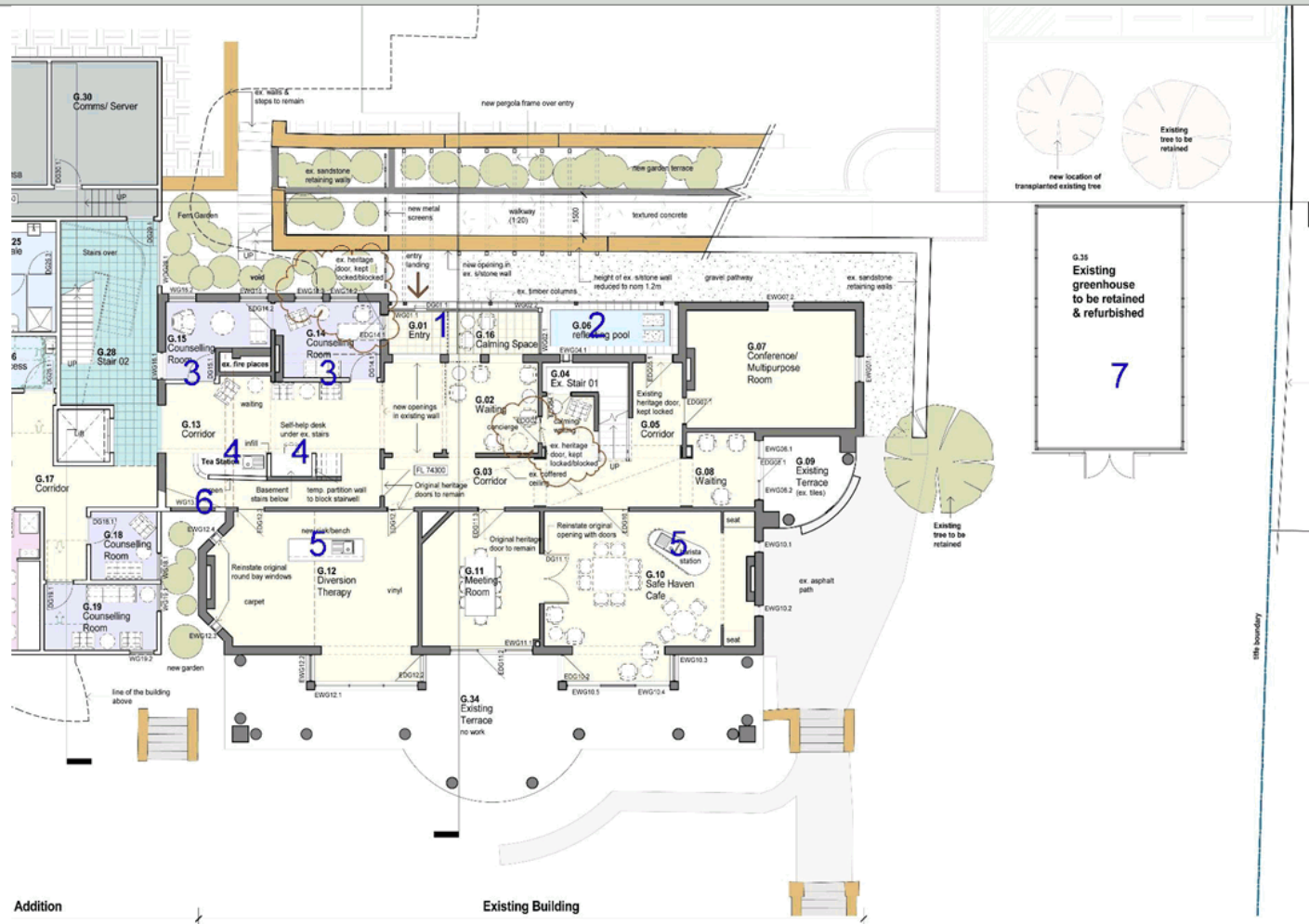
| Point | Possible heritage impact |
|-------|---|
| 1 | Early works demolition of all post-1940 additions and landscape elements/ancillary infrastructure. All early works involve the removal of non-significant fabric which has generally been damaged beyond feasible repair by the fire. There is no heritage impact arising from the removal of any/all of these elements. Note that significant fabric in proximity to these elements (e.g. sandstone retaining walls) must be protected during works – details to be provided in the construction management plan for the early works. |
| 2 | Removal of modern toilet. This area has been substantially modified internally and is in poor condition from damp ingress. No impact is considered to arise from this internal demolition. Some impact will result from the loss of an original door, however this is considered acceptable given the overarching objective of this less-significant area of the original building being used to provide essential connectivity to the new portion of the development. |
| 3 | <p>Removal of sections of original walls from rear service areas and associated joinery. Some impact will result from the loss of these original walls and the diminution of the ability to read these areas as subservient service areas. Note that as per Points 2 and 4, these areas have already been subject to some modification in the past. This impact is however mitigated by the retention of wall nibs and bulkheads to demonstrate the earlier layout and the retention of the fireplaces and servants stairs are an important part of retaining some sense of these earlier service areas. The retention of all but one section of walls between the traditional 'service' area and the more formal areas of the house (e.g. main hallway and formal rooms) retains the sense of 'front of house' and 'back of house' which is an important part of understanding a large Edwardian residence. It is recommended that any removed original joinery be used in restoration elsewhere or stored on-site for any future repairs.</p> <p>Overall, whilst some impact will arise, these modifications are considered acceptable within the bigger picture of providing feasible and compliant rear access to the original building and connectivity to the new building in a manner which is fit for purpose – consistent with the critical element of significance of fulfilling the Peacock bequest. The modification of these areas is a far lower impact alternative to modifications that may be required for front access or other options for connection to the new building (e.g. through more formal or intact rooms).</p> |
| 4 | Re-opening of earlier openings. These points proposed for openings are earlier openings which are proposed for re-opening (and widening). This does restore some traditional circulation patterns in the building and acts to mitigate Point 3. |
| 5 | Re-opening of earlier opening. This is a previous opening which has been blocked. Its re-opening will reinstate a traditional circulation pattern between formal rooms. |
| 6 | Re-opening of earlier opening. This area has been previously modified (from the original butler's pantry) with the 1960s addition. |
| 7 | Removal of three original windows into ancillary areas and widening of openings. The removal of these windows will result in the loss of original fabric which will have some heritage impact. These modifications are considered acceptable within the bigger picture of providing feasible and compliant rear access to the original building and connectivity to the new building in a manner which is fit for purpose – consistent with the critical element of significance of fulfilling the Peacock bequest. The provision of an |

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| | access point to the complex from this point is an important part of linking the two phases of building, linking the carpark and retaining the entry point focus on the original Ruardean building without detriment to more intact and significant parts of the building/elevations. The modification of these areas is a far lower impact alternative to modifications that may be required for front access or other options for connection to the new building (e.g. through more formal or intact rooms). Note that this elevation is not prominent – being set lower than surrounding ground level therefore these modifications will have no impact on the overall more distant perception of the building. |
| 8 | Restoration of original windows. These were blocked with the 1960s extension. Their reinstatement is a positive heritage outcome. |
| 9 | Demolition of remnants of early toilet and wash house. Noted as part of the early works program, it is proposed to remove the remainder of this outbuilding (seen on the 1942 plans for the site). The building has a very low level of integrity, having been truncated for the 1960s extension and having lost all of its original roof structure. |



| | |
|---|---|
| 1 | Early works demolition of all post-1940 additions and landscape elements/ancillary infrastructure. All early works involve the removal of non-significant fabric which has generally been damaged beyond feasible repair by the fire. There is no heritage impact arising from the removal of any/all of these elements. Note that significant fabric in proximity to these elements (e.g. sandstone retaining walls) must be protected during works – details to be provided in the construction management plan for the early works. |
| 2 | Removal of bathroom. This area has been substantially modified internally but does retain what appear to be original Edwardian tiles. Although these have been fire damaged, consideration should be given to retaining a sample of these in-situ or re-using these elsewhere. |
| 3 | <p>Removal of sections of original walls from rear service areas and associated joinery. Some impact will result from the loss of these original walls and the diminution of the ability to read these areas as subservient service areas. Note that as per Points 2 and 4, these areas have already been subject to some modification in the past. This impact is however mitigated by the retention of wall nibs and bulkheads to demonstrate the earlier layout and the retention of the fireplaces and servants stairs are an important part of retaining some sense of these earlier service areas. The retention of all but one section of walls between the traditional 'service' area and the more formal areas of the house (e.g. main hallway and formal rooms) retains the sense of 'front of house' and 'back of house' which is an important part of understanding a large Edwardian residence. It is recommended that any removed original joinery be used in restoration elsewhere or stored on-site for any future repairs.</p> <p>Overall, whilst some impact will arise, these modifications are considered acceptable within the bigger picture of providing feasible and compliant rear access to the original building and connectivity to the new building in a manner which is fit for purpose – consistent with the critical element of significance of fulfilling the Peacock bequest. The modification of these areas is a far lower impact alternative to modifications that may be required for front access or other options for connection to the new building (e.g. through more formal or intact rooms).</p> |
| 4 | Removal of later partition walls. This will have no impact and have a positive heritage outcome in reinstating some of the original internal form of the building. |
| 5 | Creation of new openings in original walls of formal area of the building. Whilst having some impact with the loss of original fabric and minor changes to the circulation patterns within the building, these are considered acceptable in providing essential connectivity within the building that is fit for purpose for the significant ongoing use pursuant to the Peacock bequest. Note that the central room has already been substantially modified (i.e. entire front wall has been pushed forward) so this room has a lower degree of integrity. |
| 6 | Partial demolition of roof of original service area. Whilst this will have some impact in the loss of original fabric, this roof has already been partially demolished to make way for 1960s extensions. A representative portion of the roof will be retained in the current scheme. Whilst some original fabric may remain that will be removed as part of this action, the integrity and significance of this area is low therefore removal to facilitate the effective connection of the proposed new building is considered acceptable. |

Ground floor – Development plan (XSquared Architects Drawing A205 – Revision F).



| Point | Possible heritage impact |
|-------|---|
| 1 | New glazed entry way. This is considered to be an appropriate response in providing essential entry infrastructure to the building in a manner that does not imitate heritage fabric and is transparent and subservient. |
| 2 | New reflecting pool. As a discrete landscape element this is not considered to have any adverse heritage impact. |
| 3 | Insertion of partition walls. Although these modify the original plan form of the service areas of the building, they are not considered to have a heritage impact as lightweight partition walls. |
| 4 | Insertion of tea station and self-help station /near under stairs. These are considered an appropriate response to providing facilities for site users in an area traditionally used for foodservice and as a means of providing justification for retention of the significant servant's stairs. |
| 5 | Insertion of freestanding kitchen/barista station in formal rooms. Although these represent unprecedented service infrastructure in these rooms, this is not considered in appropriate to facilitate the use of the building. Their freestanding nature will result in minimal fabric impact therefore are an acceptable heritage outcome. |
| 6 | Reinstatement of original corner of the building. A positive heritage outcome in reinstating part of the original form of the building. |
| 7 | Restoration of the greenhouse. The restoration of the extremely deteriorated greenhouse that has been a conservation issue for some time is an excellent heritage outcome which this scheme will achieve. The maintenance of the greenhouse was an explicit wish of Mr. Peacock in his bequest. |



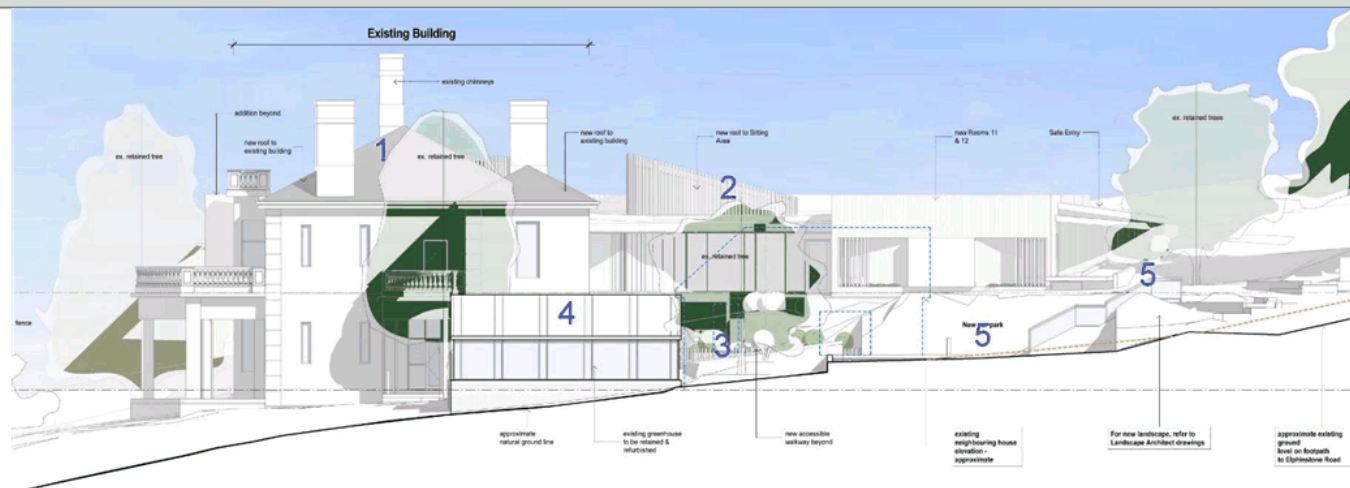
| Point | Possible heritage impact |
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| 1 | Reinstatement of stair balustrade etc. This was fire damaged and its like-for-like reinstatement is a very positive heritage outcome. |
| 2 | New balcony. Traditionally the building had a balcony along this elevation, which has been removed with the later additions. The reinstatement of a balcony is a positive outcome in restoring the tenor of that elevation and reinstating original access/circulation patterns. |
| 3 | Modification of service rooms to treatment rooms. These rooms are not considered to be inconsistent with the original tenor of the upstairs layout, with these rear rooms being smaller and more intimate spaces (e.g. consistent with bedrooms). This area has a low degree of integrity from previous modifications and extensions and has been fire damaged, therefore the proposal is considered to be an acceptable heritage outcome. |
| 4 | Access WC. This area is extensively fire damaged with a very low degree of integrity. Installation of toilet facilities in this room is considered to be an acceptable heritage outcome. |
| 5 | Kitchen facilities. This room has a low degree of integrity, having been extended partly onto the original balcony (i.e. entire front wall realigned) and has been partitioned and currently has kitchen and toilet facilities installed. The installation of a new kitchen is considered to be an acceptable heritage outcome. |

| Swan Street Elevation (XSquared Architects Drawing A301 – Revision C). | |
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| | |
| Point | Possible heritage impact |
| 1 | Reinstatement of original roof form to be clad in slate. Given that the entire roof has been lost with fire damage, the reinstatement of this original form is an extremely positive heritage outcome. The reinstatement of a slate roof is also a positive heritage outcome as it reinstates an original element which was removed mid-c20th and assists in interpreting the building as a prominent and high-quality Edwardian residence. |
| 2 | Reinstatement of balusters. These have been lost/displaced in the fire. Their reinstatement using original and reproduction elements is a positive heritage outcome in reinstating important and prominent lost architectural elements. |
| 3 | Restoration of the original western elevation of Ruardean and reconfiguration of point of new building attachment to allow this to be discerned. This is an very positive heritage outcome as it will reinstate the exterior appreciation of the bay window on the western elevation and provide a more prominent and legible break between the new and old buildings, which will assist in the legibility of the original form of Ruardean. |

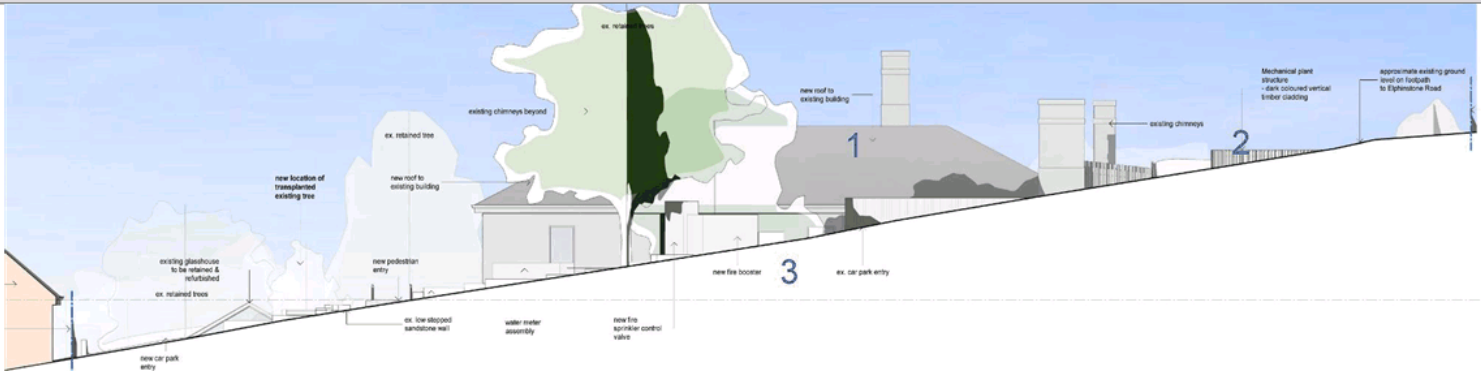
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| 4 | New extension. The new extension has been designed to be subservient to the original Ruardean building on this elevation. With a more legible break between the buildings, an overall smaller facade and an overall lower peak roof height the building will not provide unreasonable visual competition to the larger, more articulated and more prominent Ruardean building. Whilst clearly modern in appearance, the proposed extension will not pretend to be a contemporary part of the original building (as the current extension does) and will also be screened by existing vegetation. Overall the proposal provides a much more satisfactory heritage outcome than the current situation. |
| 5 | Restored greenhouse. The restoration of the extremely deteriorated greenhouse that has been a conservation issue for some time is an excellent heritage outcome which this scheme will achieve. The maintenance of the greenhouse was an explicit wish of Mr. Peacock in his bequest. |

| Western Elevation (XSquared Architects Drawing A301 – Revision C). | |
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| | |
| Point | Possible heritage impact |
| 1 | Reinstatement of original roof form to be clad in slate. Given that the entire roof has been lost with fire damage, the reinstatement of this original form is an extremely positive heritage outcome. The reinstatement of a slate roof is also a positive heritage outcome as it reinstates an original element which was removed mid-c20th and assists in interpreting the building as a prominent and high-quality Edwardian residence. |
| 2 | New extension. Although this has never been a prominent elevation to Ruardean and has been obscured by the existing extension (shown dotted on the elevation above) for around 60 years, the new extension has been designed to be subservient to the original Ruardean building on this elevation. With a greater front setback than the current situation and an overall lower peak roof height the building will not provide unreasonable visual competition to the larger, more articulated and more prominent Ruardean building. Whilst clearly modern in appearance, the proposed extension will not pretend to be a contemporary part of the original building (as the current extension does) and will also be screened by existing vegetation. Overall the proposal provides a much more satisfactory heritage outcome than the current situation. Note also that this elevation has been designed to exhibit the same subservience to the near (western) neighbour. |

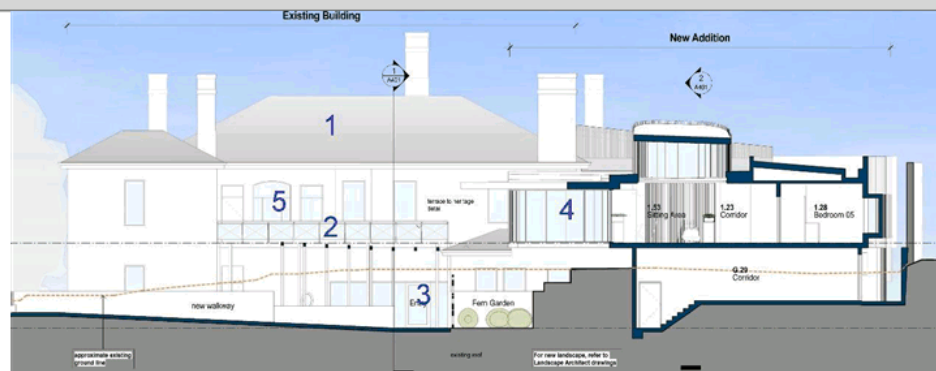
Eastern Elevation (XSquared Architects Drawing A302 – Revision C).



| Point | Possible heritage impact |
|-------|--|
| 1 | Reinstatement of original roof form to be clad in slate. Given that the entire roof has been lost with fire damage, the reinstatement of this original form is an extremely positive heritage outcome. The reinstatement of a slate roof is also a positive heritage outcome as it reinstates an original element which was removed mid-c20th and assists in interpreting the building as a prominent and high-quality Edwardian residence. |
| 2 | New extension. The new extension has been designed to be subservient to the original Ruardean building on this elevation and the natural slope of the land, together with cutting-in the new building assists in providing this subservience. This is not a prominent elevation from outside the site. |
| 3 | Re-exposure of original retaining walls, terraces, pathways etc. This is a very positive heritage outcome in reinstating currently obscured garden infrastructure and promoting a more traditional circulation pattern around the rear of the building. |
| 4 | Restored greenhouse. The restoration of the extremely deteriorated greenhouse that has been a conservation issue for some time is an excellent heritage outcome which this scheme will achieve. The maintenance of the greenhouse was an explicit wish of Mr. Peacock in his bequest. |
| 5 | Rationalised carpark, ramps, paths and associated infrastructure. These have been designed to be subservient and sympathetic elements which provide essential infrastructure to the ongoing feasible use of the building for its significant purpose and are therefore not considered to have any unreasonable heritage impact. |

| Elphinstone Road Elevation (XSquared Architects Drawing A401 – Revision C). | |
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|  | |
| Point | Possible heritage impact |
| 1 | Reinstatement of original roof form to be clad in slate. Given that the entire roof has been lost with fire damage, the reinstatement of this original form is an extremely positive heritage outcome. The reinstatement of a slate roof is also a positive heritage outcome as it reinstates an original element which was removed mid-c20th and assists in interpreting the building as a prominent and high-quality Edwardian residence. |
| 2 | New extension. The new extension has been designed to be subservient to the original Ruardean building on this elevation and the natural slope of the land, together with cutting-in the new building assists in providing this subservience making the overall bulk of the proposed extension largely indiscernible. |
| 3 | Minor infrastructure (e.g. water meter, hydrant etc.). Inclusion of minor infrastructure will have no impact upon the appreciation of the building from this elevation. |
| See below for further commentary on the Elphinstone Road elevation of the original Ruardean building (i.e. from closer environs). | |

Elphinstone Road Elevation (closer view) (XSquared Architects Drawing A401 – Revision C).



| Point | Possible heritage impact |
|-------|--|
| 1 | Reinstatement of original roof form to be clad in slate. Given that the entire roof has been lost with fire damage, the reinstatement of this original form is an extremely positive heritage outcome. The reinstatement of a slate roof is also a positive heritage outcome as it reinstates an original element which was removed mid-c20th and assists in interpreting the building as a prominent and high-quality Edwardian residence. |
| 2 | Reinstatement of balcony. The previously removed balcony will be reinstated as a near replica which is a positive heritage outcome. |
| 3 | New glazed entrance. This is considered to be an appropriate response in providing essential entry infrastructure to the building in a manner that does not imitate heritage fabric and is transparent and subservient. Note that this addition is essentially below ground level and will not be discernible from any distant vantage point. See discussion above on ground floor demolition and development for more detail on this element. |
| 4 | 'Sun space' addition. This is the only part of the new building which will obscure this elevation of the original Ruardean building and attaches to a part of the building which has been substantially rebuilt in the 1960s. The transparency of this part of the building will provide a suitable link and transition between old and new with no fabric impact. Overall the proposed arrangement of this new extension has far less impact than the previous arrangement, which almost wholly obscured this elevation of Ruardean. |
| 5 | Reinstatement of windows/doors. The like-for-like replacement of original windows which have been destroyed by fire is a positive heritage outcome. |

10.4. HERITAGE IMPACT ASSESSMENT AGAINST SPECIFIC RECOMMENDATIONS

| Buildings generally and major built site features | | | |
|---|---|---|--|
| Element | | Recommendation | Commentary on Proposal |
| Buildings | The original portion of Ruardean | <p>This building should be retained, conserved/restored and fire damage made-good.</p> <p>Implement finer-detail form, space and fabric recommendations as per below.</p> <p>Note that the fulfilment of the Peacock Bequest is a paramount driving force in the restoration and ongoing use of this building (i.e. as a health care facility) which must be a consideration alongside the conservation policies and recommendations.</p> | The proposal retains, conserves and restores the original portion of the Ruardean building, which has been a key driver of the overall proposal consistent with this recommendation. |
| | The 1960s nurses' quarters | <p>The retention of this part of the building may not be feasible nor worthwhile given its nil heritage significance.</p> <p>Removal of this part of the building is likely to make way for a better resolved extension or new building which promotes the fulfilment of the Peacock Bequest in a more effective manner.</p> | The proposal removes this portion of the building as per this recommendation. |
| | Rear additions to the original Ruardean (e.g. remains of the sunroom and kitchen/dining). | These have been fire damaged beyond repair and should be removed. | The proposal seeks to remove these. |
| Outbuildings, garden and built landscape | Conservatory | As an important and explicit part of the conditions of the Peacock Bequest, the conservatory must be restored and made-good. | It is proposed that the conservatory (greenhouse) be fully restored. |
| | Front retaining walls | Retain and make good any minor repairs necessary. | The front retaining walls, paths, entrance steps etc. will all be retained and made-good to their original specifications and form. |
| | Entrance gates, path and steps | | |
| | Wash house | Retain and reinstate original roof form, unless this inhibits the viability of a new extension which explicitly aims to fulfil the Peacock Bequest (i.e. assists in the viability of the place as a health care facility) – noting | The proposal removes the remnants of the original wash house. This is considered acceptable given that this point is critical in providing the effective junction between the new and old buildings and that the integrity of the wash house is sufficiently low |

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| | | that this building is of medium significance and is located in an area neat to a logical attachment point of any new building to the significant portion of the Peacock Centre. | that its removal can be accepted. Options to retain that building have been explored, however such would inhibit the effective linkage of the buildings. It is considered paramount that the link between the new and old buildings provide the functionality and flow that is desired for the new facility and that this overarching outcome of providing a viable health care facility further to the Peacock bequest is considered more important than the retention of an item of medium significance which may inhibit that outcome. |
| | Rear retaining walls | Retain and make good any minor repairs necessary. Use steps in conjunction with associated universal access facilities (e.g. nearby ramp) if compliance can be achieved. | The steps and retaining walls will be retained and made good with the suspended slab that obscures them being removed and these will become essential infrastructure for access to the rear of the ground floor which will become the public face of the building in terms of access. The proposal will result in the 'reclaiming' of these walls as a prominent publicly accessible heritage item rather than the current situation of them being essentially 'buried' and inaccessible beneath a suspended slab. Overall even though minor impact arises, the reuse of this area in a vibrant and prominent manner is an overall positive heritage outcome. |
| | Rear steps | | These will be retained and made-good and reused as a main public access point. |
| | Front rear garden | Retain as an Edwardian domestic garden. Avoid hard surfaces. No development to be forward of the building line. | Apart from make-good of degraded elements, the front garden will remain as-existing. |
| | Rear garden | Rationalise and remove any unnecessary post-1942 items. New development to be limited to the western edge and north-western corner. New landscape elements are likely to be acceptable as required. | The proposal removes much of the post 1942 infrastructure in the rear garden and provides a much better resolved and functional landscaped carpark area in support of the ongoing use of the facility further to the Peacock bequest which is considered to be a positive heritage outcome. |

| The exterior of the original Ruardean building. | | | |
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| Element | | Recommendation | Commentary on Proposal |
| General | Roof, eaves, fascias, rainwater goods. | Reinstate the original roof form, preferably clad in slate, or alternatively in corrugated galvanised iron. Reinstate timber eaves, fascias etc. and rainwater goods as required. | The proposal takes the step of reinstating the slate roof in its original form which is considered to be above-and-beyond an acceptable heritage outcome and allows the building to again express its status as a prominent Edwardian 'gentleman's residence'. |
| | Walls | Make good any fire damage to brick walls. | All fire damage to walls will be repaired and in general all walls will be retained except where modification on the rear ground level is required for reconfigured access. The |

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| Elevations | | Limit any new apertures to areas previously modified (e.g. north-western corner). | modifications to the north-western corner will be limited to portions of wall previously modified. |
| | Doors and windows | Repair and retain significant doors and windows (including stained glass). Those marked in Section 4.1 as 'C/D' may be replaced either with replicas of original, or sympathetic alternatives. Secondary glazing and any additional fittings for security may be fitted as discretely as possible. | Three significant windows will be removed on the rear elevation of the lower ground floor to facilitate the new access infrastructure to the building. This is considered acceptable on-balance given the overarching discussion above on providing an effective and viable access point to a part of the building which has on-balance less heritage impact than other alternative access points. Also, the proposal will reinstate several windows which have either been removed/blocked in the 1960s extension or damaged/lost with the recent fire. These replaced windows are of high significance and in more prominent locations, therefore the proposal provides an overall net-heritage benefit with previous adverse impacts repaired in-lieu of some impact arising from the requisites of this proposal. |
| | Terrace, balconies, veranda etc. | Make good damage to terraces, balconies etc. Any modifications required for compliance with the NCC should be done as discretely and reversibly as possible. | The proposal retains all significant veranda elements and reinstates the previously removed first floor balcony on the rear elevation. |
| | South | Generally retain as-existing and make good any damage/deterioration. Opportunity should be taken to reinstate a more sympathetic form and fenestration on the central portion of this elevation (i.e. the altered walls of G.07 & 1.05). | Works to this elevation are limited to making good all elements including the reinstatement of the balustrade which was damaged and displaced in the fire. Whilst the proposal does not reinstate the earlier fenestration of G.07 and 1.05 it does not preclude that occurring in the future. |
| | East | Undertake any necessary repairs and retain this elevation as-existing. | This elevation will be made-good with deterioration and fire damaged repaired. |
| | North | Repair fire damage. Reinstate a window to Room 1.11 if feasible. The western end of this elevation provides opportunity for linkage to any new building. | The proposal repairs all fire damage to this elevation. Whilst there will be modifications to this elevation on the ground floor to facilitate the new access arrangements, missing/damaged elements such as the balcony and first floor windows will be restored/reinstated so that the most prominent part of the elevation will be reinstated to a previous form and those proposed modifications on the ground floor will be subservient to the remainder of the elevation. Note that overall the proposed extension will barely obscure any part of this elevation whereas the previous (pre-fire) extension(s) almost wholly obscured this elevation. |
| | West | If the 1960s nurses' quarters is removed, seek to reinstate the integrity of this elevation, particularly the bay window. The northern portion of this elevation provides opportunity for linkage to any new building. | This elevation will be exposed and the bay window restored with the better-resolved linkage arrangement to the new building. Currently this elevation is wholly obscured, therefore this new arrangement allows a greater appreciation of the original building in the round and reinstates an important and currently obscured element. |

| The interior of the original Ruardean building. | | |
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| Element | Recommendation | Commentary on proposal |
| Form | <p>Retain the general form of the layout of the building. It is important that there still remains a distinction between 'formal' and 'service' areas (reflecting an Edwardian social hierarchy) which should be reflected in any reconfiguration of the interior.</p> <p>Some scope exists for modification of the form of Rooms G.04, 13, 14, 15, 16 & 17 – ideally for the provision of service areas – as these areas traditionally were.</p> <p>Scope also exists for modification of Rooms 1.03, 08, 09, 10, 11 as these have been previously modified, are traditional service areas and some have extensive fire damage which has reduced their significance.</p> <p>Modification of G.13 and 1.11 may be acceptable for the provision of lift infrastructure if desired.</p> <p>New openings in interior walls are discouraged, with the exception of re-opening of previously blocked openings or limited modifications to the rooms listed as potentially modifiable above. In this case, nibs and bulkheads should remain to interpret earlier forms.</p> | <p>The proposal only generally involves minor modifications to the internal arrangements of the more formal areas of the building, limited to re-opening of former openings, some restrained and necessary linkages to rooms on the first floor all of which are considered appropriate. There are major modifications proposed to the ground floor service areas (i.e. current/former kitchen, laundry, toilets, bathrooms) do have some impact upon the original legibility of those areas as back-of-house to the original Ruardean building. It must however be noted that in their current form, these rooms represent the service areas of an Edwardian residential building, and the proposal seeks to convert these into the public-interface areas of the reconfigured health care facility. The proposal also results in the modification of first floor service rooms to larger rooms (noting that these are substantially fire damaged and have been previously extensively modified). The discussion on the significance of the building in Section 5 assigns a high level of significance to the associations of the Peacock bequest on the way the building has evolved from a residential building to an institutional building and that the significance of the latter is in fact a longer-running significant use than the former residential use. Modifications (within reason) to facilitate and continue that significant use are therefore likely to be acceptable even if they diminish the ability to read the building for its original purpose. The reconfiguration of all service rooms still retain these as smaller spaces which do reflect that distinction between the larger more formal rooms and back-of-house and the retention of wall nibs and bulkheads will retain a sense of the original layout. Where existing doors are not required, these will be retained but sealed for future reinstatement if ever desired.</p> <p>Refer to pp.11-12 of the architectural statement for further commentary on the rationale of the internal rearrangements which this assessment is supportive of as a means of achieving the aspiration of continuing the significant use of the building further to the significance of the Peacock bequest.</p> <p>Overall it is considered that the modifications to the plan form of the original building are acceptable and justifiable in providing a feasible and serviceable continued significant use for the building as part of the larger and better architecturally resolved complex which will arise from the current proposal.</p> |

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| Ceilings | <p>The ceilings in Rooms G.07 and G.08 are to be conserved.</p> <p>All other ceilings may be replaced as desired – an acceptable outcome would be in plasterboard with reproduction Edwardian cornice in rooms where evidence of an earlier cornice exists. Install acoustic separation, insulation and fire separation as required.</p> | <p>The proposal retains these significant ceilings. All other ceilings (i.e. those that have been lost or damaged beyond repair with fire/water) are to be replaced in plasterboard and acoustic/fire separation installed as necessary. This is considered to be an acceptable and pragmatic response.</p> |
| Wall linings | <p>Retain as much original wall lining as possible. Any new linings to match finish of original as best as practicable.</p> | <p>Original wall linings are to be retained and all fire damage made-good. Any new linings will be matched to existing</p> |
| Floors | <p>Almost all timber floors are in reasonable condition and can be conserved. These may be sanded and an appropriate hard-wearing (preferable penetrating) finish applied. Otherwise floor coverings may be fitted as desired. Any acoustic separation should be installed under floorcoverings without impacting floorboards if possible.</p> | <p>All timber floors are to be retained and made-good. It is likely that a modern finish will be required to meet NCC requirements, which is not considered unreasonable.</p> |
| Joinery | <p>All significant joinery should be retained, and where feasible to repair fire damage, this should be done. This includes the retention of architraves, skirtings, picture rails, fretwork etc. – particularly in the more formal rooms.</p> <p>If feasible, damaged doors should be repaired. If not feasible, replicas or sympathetic alternatives may be installed.</p> <p>Joinery that is damaged beyond repair (i.e. in the area of Rooms 1.10, 1.11, 1.05, 1.10) then this should either be replaced by reproduction profiles, or a sympathetic alternative.</p> | <p>All significant joinery in formal/principal rooms will be retained and made-good (i.e. fire and water damage repaired with like-for-like mouldings). There will be some loss of joinery in the service areas where reconfiguration is proposed. It is recommended that joinery removed from these areas be reused in repairs elsewhere on the site (noting that this joinery is generally less detailed than that in more formal rooms).</p> |
| Stairs | <p>All three staircases must be retained. The servants' staircase is a significant means of demonstrating the social hierarchy of the Edwardian residence and is to be retained.</p> <p>It is noted that these may not comply with access requirements and that universal access alternatives will need to be provided. See comments above on the possibility of lift installation in G.12-1.11. It is also noted that there is may be the possibility of lift access to be included in any new addition to the building which is likely to be a positive heritage outcome. Whilst access requirements are a paramount concern, this should not have an adverse heritage impact is that can be avoided.</p> | <p>All staircases are to be retained. The main staircase is to be retained and repaired (noting the fire and water damage). The stairs to the basement will be retained, but that area will not be generally accessible. The servant's stairs is to be retained and exposed (it is currently inaccessible and boxed-in).</p> |
| Finishes | <p>Finishing of surfaces in either traditional or modern finishes may occur as desired or for functional purposes.</p> | <p>Generally, finishes are to be in accordance with colour schemes and/or finishes compatible with the finishes of the house during the lifetime of Dr. Peacock but with contemporary materials (paint) that is compatible with the operational</p> |

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| | <p>Consider the replication of original colour schemes (obtained from paint analysis) in formal rooms (at least).</p> <p>Unpainted joinery should have finishes restored.</p> | <p>requirements of a best practice mental health facility. This is considered to be a good balance in reinstating a traditional colour scheme in a pragmatic and functional way.</p> |
| Fireplaces | <p>Retain fireplaces and make inoperable if desired.</p> <p>Retain and restore significant elements such as mantelpieces, tiles etc. Reinstall missing elements either with appropriate reproductions, or sympathetic alternatives.</p> <p>Fireplaces may provide opportunity for installation of alternative heating sources.</p> | <p>All fireplaces and associated detailing will be retained and made-good where damaged.</p> |
| Installation of modern services | <p>Modern services including plumbing, electrical, heating, data/AV, fire protection/suppression etc. is likely to be acceptable. Specifications for such must seek to promote as minimal impact as practicable upon heritage fabric and for this to be as reversible as possible (noting lifecycle of such).</p> <p>Similarly, any new cabinetry, partitions etc. should also seek to have minimal impact and be as reversible as practicable.</p> | <p>This recommendation is to guide the finer-detail service planning that will be produced as part of the building application issue drawings. It is expected that a condition of any approval will seek that this detail be submitted to the planning authority/Heritage Tasmania ahead of BA signoff. The intent is that:</p> <ul style="list-style-type: none"> - All modern services such as plumbing, electrical, heating, data/AV, fire protection/suppression, etc. are proposed to be located in discrete locations (e.g. under the ground floor, in the first floor ceiling space) or to be of a similar nature to existing services - All new services cabinetry, partitions, appliances, etc. are to have minimal impact and installation is to be as reversible as is practical. |

10.3. COMPLIANCE WITH CONSERVATION POLICIES

The following tables consider the compliance of the proposal with the Conservation Policies as developed in Section 8:

| 1 | General Policies | | Compliance with Policy |
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| 1.1 | Approach to works | The approach to managing any works on the place must be guided by the principles of the ICOMOS Australia <i>Burra Charter</i> . ¹⁴ | As per the methodology detailed in Section 1.3, the ICOMOS Burra Charter process has guided the formulation of the current document which has in-turn guided the design process of the proposed development. This will flow-through to the implementation of works in the event of gaining approvals and work going forward. Further finer-detail heritage advice is expected to be required in the implementation. The proposal complies with this policy. |
| 1.2 | Use/development | Any use or development of the place must not have any unreasonable adverse heritage impact upon identified values of the place. | A key element of the historic heritage significance of the place is the fulfilment of the Peacock bequest which requires that the building be used as a health care facility. The proposal complies with this policy. |
| 1.3 | Supervision | All works to the significant elements of the place, and planning for such works, must be guided by a conservation architect, heritage consultant or other person(s) qualified and experienced in the conservation of historic heritage places. | As per the comments at 1.1, the proposal complies with this policy. |
| 1.4 | Reference to the bequest of W.D. Peacock. | <p>Ideally, to perpetuate the legacy of Mr. W.D. Peacock, and the terms of his bequest, the place should be used for health care or other public/charitable purposes provided this does not have adverse heritage impact to the place or precinct.</p> <p>The grounds are to be maintained as per the bequest, which includes the maintenance of the greenhouse.</p> | A key element of the historic heritage significance of the place is the fulfilment of the Peacock Bequest which requires that the building be used as a health care facility. This is an obligation which remains perpetually with the building. The bequest will be perpetuated both by the reinvigorated use of the building and the continued nomenclature of the centre in honour of Mr. Peacock. As per the discussion in Section 10.1, the heritage considerations of this project have been framed within the context of the Peacock Bequest and the |

¹⁴ <http://australia.icomos.org/wp-content/uploads/The-Burra-Charter-2013-Adopted-31.10.2013.pdf>


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| | | Whilst this may be contrary to a residential use (as the place originally was) – the significance of the ‘hospital period’ is paramount over any solely residential use. | importance of perpetuating the cultural continuity of the use and development of the place further to the terms of that bequest. The proposal complies with this policy. |
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| 2 | Significant Buildings and Fabric | | Compliance with Policy |
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| 2.1 | Significant buildings and fabric | Parts of the building deemed to be of high significance (namely the more intact portions of the original portions of the Peacock Centre) must be conserved. In particular, this will involve the restoration of feasibly retained fire damaged elements and retention of elements which have escaped fire damage. | Overall, the proposal undertakes an extensive restoration of a building that has been substantially damaged by fire and will retain practically all of the highest significant fabric. Where significant fabric is missing, a sympathetic and pragmatic approach to reinstatement of such fabric is proposed to make the building fit for purpose again for its traditional and significant use. Whilst some fabric of lower significance will be lost for essential conversion of some areas and linkages to the new building, on-balance this is considered acceptable given the magnitude of overall positive heritage outcomes. The proposal complies with this policy. |
| 2.2 | Non-significant buildings and fabric | Buildings and fabric which are of low or no significance may be retained, modified or demolished as desired (e.g. 1965 nurses’ quarters extension, c1970 kitchen extension and modern landscape elements). No heritage input is required in any future use, adaptation, demolition or development of those parts of the building. | The proposal will result in the removal of buildings and fabric of low/no significance and will provide a much better-resolved approach to contemporary health care consistent with the Peacock bequest. The proposal complies with this policy. |
| 2.3 | Intrusive buildings and fabric | Intrusive building and fabric should be removed, unless these are providing supporting infrastructure to enable ongoing use of the overall building. | |

| 3 | Exterior Building Envelope - Original portion of the Peacock Centre | | |
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| 3.1 | Building form | The exterior building envelope of the original portion of the Peacock Centre should be retained and opportunity taken to reinstate lost parts that form. | The proposal will reinstate lost elements of the exterior form of the building, most notable the completely lost roof as well as the currently obscured western wall. The proposal complies with this policy. |
| 3.2 | Roof form | The roof form has been lost in the 2016 fire and should be reinstated. | The original roof form will be reinstated. The proposal complies with this policy. |
| 3.3 | Detailing | Significant exterior detailing should be retained, unless replacement is necessary for repair (particularly fire damage), weatherproofing or security purposes, in which case compatible styling and materials must be used. New work should be sympathetic to, but not necessarily imitative of, the original form, detailing and materials. | Where not fire damaged, all significant exterior detailing will be retained and in some cases reinstated (e.g. balustrade and rear balcony. New work involved with the reconfigured entrance at the rear of the ground floor will be clearly modern but sympathetic and have little or no visual impact. The proposal complies with this policy. |
| 3.4 | Windows, doors and openings | All original/significant windows and doors must be maintained and ideally where elements are missing these should be reinstated with replica or sympathetic elements. Any works required for security, thermal, acoustic properties (e.g. double glazing) etc. should be undertaken as discretely and reversibly as possible. | All significant windows will be retained and made-good. Some windows of lower significance (i.e. service areas on the ground floor) will be removed, and some currently missing windows (e.g. fire damaged or removed as part of c20th renovations) will be reinstated, which will provide an overall better-than-current situation despite the loss of some original service area windows. The proposal complies with this policy. |
| | | No additional openings should be installed on the Swan Street elevation or the eastern elevation of the building. There may be some scope for modification of apertures on the already altered northern and western elevations. | No additional openings are proposed for the Swan Street or eastern elevation, with new openings limited to the rear and western side of the building. The proposal complies with this policy. |

| 4 | Interior form and Detailing – The original portion of the Peacock Centre | Compliance with Policy |
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| 4.1 | <p>Form and layout of the original portion of the Peacock Centre.</p> <p>The plan form of the original portion of the building must remain largely unchanged, particularly the principal rooms (noting that later partitions should be removed).</p> <p>There is some scope for adaptation of the plan form of areas which have previously been modified, particularly the north-western corner of the building. Whilst ideally these should be restored to their earlier form if possible, their further adaptation to facilitate a suitable use of the building, or connectivity to a new extension to the building is likely to be acceptable.</p> <p>The ability to read the difference between 'formal areas' and 'servants' areas' should remain.</p> | <p>The proposal almost entirely retains the original plan form and layout of the formal areas of the original house. Major changes are limited to the service areas and in most instances there is still a clear distinction between 'front of house' and 'back of house' which will remain legible in room sizes, division and detailing. The proposal complies with this policy.</p> |
| 4.2 | <p>Joinery and other detailing</p> <p>Original/significant interior detailing should be retained.</p> <p>Where detailing is missing or fire damaged, like-for-like profiles and materials should be used in any replacement.</p> <p>Only where joinery is totally missing (e.g. some service areas) may modern profiles be used.</p> | <p>Where possible, practically all original joinery/detailing will be retained and made-good. Where feasible, traditional mouldings and like-for-like replacement will occur, however where such actions may confuse the understanding of the evolution of the place (e.g. in wholly new service areas) then modern detailing will be used. This is to be further detailed in the building application process. The proposal complies with these policies.</p> |
| 4.3 | <p>Detailing/fabric which has been damaged beyond feasible repair</p> <p>The reinstatement of detailing and fabric which has been damaged beyond repair should be undertaken in a manner which is sympathetic to the overall values of the building.</p> | |

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| | | Where possible and where there is no conjecture, fabric should be reinstated with as close to specification as the original fabric, however where this is not pragmatic then modern alternatives may be used (e.g. plastersheet ceilings in-lieu of lathe and plaster). | |
| 4.4 | Installation of services | <p>Installation of modern services essential to viable use of the buildings (e.g. electrical, plumbing, fire/security equipment, lifts etc.) are likely to be acceptable provided these are installed in such a way to be as unobtrusive as possible, to have minimal impact upon significant fabric, and be as reversible as possible.</p> <p>Service installations may be modern, but sympathetic if desired (e.g. there is no need for 'period' reproduction fittings if not desired).</p> | <p>This policy is to guide the finer-detail service planning that will be produced as part of the building application issue drawings. It is expected that a condition of any approval will seek that this detail be submitted to the planning authority/Heritage Tasmania ahead of BA signoff. The intent is that:</p> <ul style="list-style-type: none"> - All modern services such as plumbing, electrical, heating, data/AV, fire protection/suppression, etc. are proposed to be located in discrete locations (e.g. under the ground floor, in the first floor ceiling space) or to be of a similar nature to existing services - All new services cabinetry, partitions, appliances, etc. are to have minimal impact and installation is to be as reversible as is practical. <p>It is the intent and is likely that the proposal will comply with this policy.</p> |
| 4.5 | Adaptation required for universal access requirements | Any adaptations required for achieving universal access (or other essential requirements for a health care facility) are likely to be acceptable, however these must seek to minimise impact upon significant fabric and forms and be as reversible as possible if impact is unavoidable. | This policy has been a key driver in the relationship between the existing and new building and the manner in which access to the building has been designed. Lift infrastructure has been included in the new building and the adaptations necessary for access to the facility through the former Ruardean building (which in itself is an important part in promoting the heritage values of the place and the Peacock bequest) have been designed with as minimal impact as possible and for that impact to be limited to the less formal/significant rooms/spaces. The proposal complies with this policy. |
| 4.6 | Adaptation required for achievement of other National Construction Code requirements. | Where achievement of NCC requirements might result in irreversible heritage impact, a detailed assessment of the 'absolute necessity' of such must be made between heritage values and NCC compliance to | It is the intent that with further design and documentation as part of the building approvals process that this policy will guide that finer design detail. It is the intent that where feasible the proposal will comply with this policy. |

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| | | consider whether a concession may be made under s.13(2), s.53(3)(c) & s.54(2)(c) of the Tasmanian Building Act 2016. | |
| 5 | Maintenance of Curtilage, Streetscape Values and New Development Guidelines | | Compliance with Policy |
| 5.1 | Development on the rear on the site | Greater scope for adaptation and modern access requirements (etc.) exists at the rear of the site and these may be less conducive to a heritage garden layout than such interventions at the front of the building. | The proposal is wholly to the rear of the front building line. The proposal complies with this policy. |
| 5.2 | Location of new development | <p>The location of any new development must be rear of the front building line of the original portion of the Peacock Centre building. Ideally, views to the rear of the building should be largely unimpeded and development footprint be limited to the area depicted on the figure below.</p>  <p>Nominal building envelope.</p> | The proposed building is within this proposed development zone (excluding minor development such as parking/paths). The proposal complies with this policy. |

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| 5.3 | Bulk/form of new development | New development should be limited to two-storey and the form of such should seek to be as low as possible so as to not dominate the original building. | The proposed building is a maximum of two storey and the peak roof height is overall lower than the existing building. The proposal complies with this policy. |
| 5.4 | Style of new development | New development need not emulate the style of the original Peacock Centre, however should be sympathetic to the building and wider precinct and may 'borrow' elements of form or materiality. | The proposed extensions are clearly modern but are designed to be subservient and sympathetic to the original building. The proposal complies with this policy. |

| 6 | Landscape Considerations | | Compliance with Policy |
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| 6.1 | Front garden, steps, walls, fencing etc. | The existing and original major garden features visible from Swan Street are to be retained and made good. | The proposal will retain and repair all of these significant elements. The proposal complies with this policy. |
| 6.2 | Original landscape features at the rear of the building (e.g. retaining walls, courtyard etc.). | Opportunity should be taken to expose and restore currently (largely) hidden landscape elements at the rear of the building – noting that these can sustain a higher degree of modification than those more significant such elements at the front of the building. | Whilst minor modifications of these elements is proposed in order to facilitate compliant and welcoming access to the rear of the building, it is also proposed to conserve, restore and make visible/accessible the entire rear retaining wall/path scheme which is currently mostly buried/hidden beneath a suspended concrete slab. Although some modification is required, the overall outcome of this proposal is the reinvigoration of the traditional rear approach to the building and the revelation and repair of currently obscured significant fabric which provides an overall positive heritage outcome. The proposal complies with this policy. |
| 6.3 | The greenhouse | The greenhouse is to be restored and maintained. | The proposal retains and will restore the greenhouse which is currently in an advanced state of decay. The proposal complies with this policy. |

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| 6.4 | New landscape elements | <p>New hard landscape elements in the front garden should be avoided if possible. Soft landscaping should continue the traditions of an Edwardian formal garden.</p> <p>New hard landscape elements in the rear garden are likely to be acceptable. If desired these may make reference to earlier layouts/features, however functionality is a paramount concern in this area.</p> | <p>The proposal retains and restores all significant front garden elements and does not propose any major changes in order to maintain the feel of the front garden of a large Edwardian residence.</p> <p>The proposal involves rationalisation of landscape elements (mostly parking) in the rear garden. This is considered to provide a better resolved layout which is more fit-for-purpose without any detriment to any aspect of the heritage significance of the place. The proposal complies with this policy.</p> |
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| 7 | Other policies | | Compliance with Policy |
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| 6.1 | Historical archaeology | The site is not considered to be archaeologically sensitive, therefore no historical archaeological input is required in any future development. | The proposal complies with this policy. |
| 6.2 | Subdivision | Acknowledging the bequest of W.D. Peacock and the significance of the current title form in demonstrating the original planning intent of the precinct, the current title must not be further subdivided. | No subdivision is proposed. The proposal complies with this policy. |
| 6.3 | Interpretation of heritage values | Any redevelopment of the site must incorporate interpretation of heritage values, in particular the story of the Peacock family and their contribution to Tasmania's commercial history. | It is anticipated that the inclusion of the interpretation of heritage values will be a future initiative that can be further developed in the building application issue of plans for this proposal. |

10.4. COMPLIANCE WITH STATUTORY PROVISIONS

Further to the statutory heritage provisions detailed in Section 2, the following Clauses of the Hobart Interim Planning Scheme apply to the place and the proposed development. The commentary on the proposed development draws upon the heritage impact assessment formulated in Sections 12.1-12.3 and the summary of compliance with the conservation policies of this document as discussed in Section 12.4.

The following assessment has been undertaken within the framework of the Hobart Interim Planning Scheme 205. Note that as per Section 2, part of the subject site is listed on the Tasmanian Heritage Register, therefore subject to the provisions of the Historic Cultural Heritage Act 1995. That Act has less prescriptive provisions, however it is expected that the Tasmanian Heritage Council's assessment of the proposed development will utilise a similar approach and rely on the heritage impact assessment provided here in Section 12.

CLAUSE E.13.7 – DEVELOPMENT STANDARDS FOR HERITAGE PLACES

| | Performance Criteria | Commentary on proposed development |
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| E.13.7.1 - Demolition | <p><i>Demolition must not result in the loss of significant fabric, form, items, outbuildings or landscape elements that contribute to the historic cultural heritage significance of the place unless all of the following are satisfied;</i></p> <ul style="list-style-type: none"> <i>(a) there are, environmental, social, economic or safety reasons of greater value to the community than the historic cultural heritage values of the place;</i> <i>(b) there are no prudent and feasible alternatives;</i> <i>(c) important structural or façade elements that can feasibly be retained and reused in a new structure, are to be retained;</i> <i>(d) significant fabric is documented before demolition.</i> | <p>The proposal achieves a comprehensive restoration of the fire damaged heritage building and incorporation into a new facility for a use which heritage significance is ascribed with minimal demolition limited to non or low-medium significance fabric. That demolition is to an ancillary part of the building with no visual impact. That demolition can be justified as a means of providing a feasible public entrance to the facility and a linkage to the new building which will contain necessary infrastructure for the overall viability of the reinstatement of the traditional and significant use of the heritage place. In response to the following points:</p> <ul style="list-style-type: none"> a) The reinstatement of the significant use of the former Ruardean building as part of the Peacock Centre is considered to have an overarching social reason of greater value than the fabric proposed for demolition – i.e. the fulfilment of the Peacock bequest to provide a facility for community benefit. b) Alternatives that provided the necessary access and connection that the proposed demolition will facilitate have been explored, however those options would resulting greater impact upon fabric/spaces of higher significance and would fail to emphasise the former Ruardean building as the entry/focal point of the development and potentially impact upon associative significance. c) The proposal does not result in the loss of any important structural or façade elements. d) The fabric is well documented in the current application documentation as well as historic plans of the building. |
| E.13.7.2 – Building and Works other than Demolition | <p><i>P1. Development must not result in any of the following:</i></p> <ul style="list-style-type: none"> <i>(a) loss of historic cultural heritage significance to the place through incompatible design, including in height, scale, bulk, form, fenestration, siting, materials, colours and finishes;</i> <i>(b) substantial diminution of the historic cultural heritage significance of the</i> | <p>The proposed development has been designed in a manner which is sympathetic to the fabric and setting of the heritage building by means of its siting intended to be subservient to the heritage building, which will remain the key focal point of the site from public vantage points (more-so than the previous pre-fire arrangements). The proposed setback of the new building is equal to the front building line of the existing building (masked by existing advanced vegetation) with a clear break between old and new. The proposed building will be lower than existing and although a large form that</p> |

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| | <p><i>place through loss of significant streetscape elements including plants, trees, fences, walls, paths, outbuildings and other items that contribute to the significance of the place.</i></p> <p><i>P2. Development must be designed to be subservient and complementary to the place through characteristics including:</i></p> <ul style="list-style-type: none"> <i>(a) scale and bulk, materials, built form and fenestration;</i> <i>(b) setback from frontage;</i> <i>(c) siting with respect to buildings, structures and listed elements;</i> <i>(d) using less dominant materials and colours.</i> <i>(e)</i> <p><i>P3. Materials, built form and fenestration must respond to the dominant heritage characteristics of the place, but any new fabric should be readily identifiable as such.</i></p> | <p>bulk will be largely hidden by the natural topography and setting a large part of the building into the hillside behind the existing building.</p> <p>The materials palette for the building is designed to be sympathetic, complimentary and subservient to the more articulated and bold nature of the existing heritage building and although clearly modern will provide a cohesive and harmonious continuum of the evolution of the site (in a better architecturally resolved manner than the previous pre-fire arrangement).</p> |
| | <p><i>P4. Extensions to existing buildings must not detract from the historic cultural heritage significance of the place.</i></p> | <p>The proposed extension follows the conservation policies detailed in the current document to provide a large extension which exhibits subservience to the existing heritage building. This is achieved through the proposed extension not projecting forward of the existing building line, having a clear distinction between new and old and being sited to the rear of the existing building cut into the hillside so as to minimise the apparent mass of the proposed building and to retain the existing heritage building as the dominant site feature from key vantage points. The extension of the existing heritage building is absolutely essential to fulfil the Peacock bequest of providing a health care facility in association with the heritage building and that cultural continuity is a key part of the heritage significance of the place.</p> |
| | <p><i>P5. New front fences and gates must be sympathetic in design, (including height, form, scale and materials), to the style, period and characteristics of the building to which they belong.</i></p> | <p>The proposal retains and makes-good all existing front fencing, garden elements, plantings etc. and no removal of such is proposed.</p> |

| | | |
|-------------------------------|--|-----------------------------|
| | <i>P6. The removal of areas of landscaping between a dwelling and the street must not result in the loss of elements of landscaping that contribute to the historic cultural significance of the place.</i> | |
| <i>E.13.7.3 - Subdivision</i> | <p><i>P1. A proposed plan of subdivision must show that historic cultural heritage significance is adequately protected by complying with all of the following:</i></p> <ul style="list-style-type: none"> <i>(a) ensuring that sufficient curtilage and contributory heritage items (such as outbuildings or significant plantings) are retained as part of any title containing heritage values;</i> <i>(b) ensuring a sympathetic pattern of subdivision;</i> <i>(c) providing a lot size, pattern and configuration with building areas or other development controls that will prevent unsympathetic development on lots adjoining any titles containing heritage values, if required.</i> | No subdivision is proposed. |

CLAUSE E.13.8 - HERITAGE PRECINCT

The subject site is within the NH5 Heritage Precinct as defined by Table E13.2 and depicted on Map E13.3 of the Scheme, therefore the provisions of Clause E13.8 apply.

The statements of significance for the NH5 Heritage Precinct should be considered in the assessment of possible impact of any development upon the precinct:

| Statement of significance | | Commentary on proposed development |
|---------------------------|--|---|
| 1 | <i>The quality and quantity of late Victorian and Federation period houses which demonstrate its original residential nature and the boom periods of suburban expansion.</i> | The proposal involves the restoration of a currently uninhabitable fire-damaged building which is a significant example of a large Edwardian residence which is a prominent element in the precinct. The Peacock bequest results in an obligation to retain and maintain this building as a health care facility and the overall development will make that viable. |
| 2 | <i>Individual houses that are intact representative examples of late Victorian and Federation architecture.</i> | |
| 3 | <i>Groups of houses that are impressive examples of late Victorian and Federation architecture that make a valuable contribution to the streetscape.</i> | |
| 4 | <i>The continuous two storey ornately decorated facades and general uniformity of form and scale together with a distinctive nineteenth/early twentieth century street pattern that creates a consistent and impressive streetscape.</i> | |
| 5 | <i>The front and rear gardens and retaining walls are important aesthetic features which reinforce its residential character.</i> | The proposal retains and restores the significant front garden of the site as well as the rear retaining walls and reinvigorates them as part of the public interface to the building. The restoration of these walls which were an integral part of the use of the building as a residence will reinforce that residential character (currently the walls are largely buried under later institutional development which is proposed for removal). |
| 6 | <i>Buildings with social significance for the local and broader community because of their past and present social and religious functions.</i> | The building has social significance as a health care facility that pays tribute to its building, Mr. Peacock. The use of the building as a public health care facility has been much longer-running than its former domestic use and the proposed development allows feasible continuation of that significant use. |

| | Performance Criteria | Commentary on proposed development |
|--|---|--|
| E.13.8.1 - Demolition | <p><i>Demolition must not result in the loss of any of the following:</i></p> <ul style="list-style-type: none"> <i>(a) buildings or works that contribute to the historic cultural heritage significance of the precinct;</i> <i>(b) fabric or landscape elements, including plants, trees, fences, paths, outbuildings and other items, that contribute to the historic cultural heritage significance of the precinct;</i> <p><i>unless all of the following apply;</i></p> <ul style="list-style-type: none"> <i>(i) there are, environmental, social, economic or safety reasons of greater value to the community than the historic cultural heritage values of the place;</i> <i>(ii) there are no prudent or feasible alternatives;</i> <i>(iii) opportunity is created for a replacement building that will be more complementary to the heritage values of the precinct.</i> | <p>Overall, this proposal seeks to retain and restore an important heritage building within this precinct which otherwise will continue to decay as the result of fire damage. As per the discussion above, demolition is limited to lower significance elements as an alternative to higher-impact options and the modifications that include that proposed demolition will not be visible from any public vantage point within the precinct.</p> <p>The proposal retains all significant garden elements that contribute to the precinct.</p> |
| E.13.8.2 – Building and Works other than Demolition | <p><i>P1. Design and siting of buildings and works must not result in detriment to the historic cultural heritage significance of the precinct, as listed in Table E13.2.</i></p> <p><i>P2. Design and siting of buildings and works must comply with any relevant design criteria / conservation policy listed in Table E13.2, except if a heritage place of an architectural style different from that characterising the precinct.</i></p> | <p>The design and siting of the new portion of the building is intended to have a greater subservience and less visibility than the previous arrangement of ad-hoc extensions to the original building. The proposal seeks to retain the original Ruardean building and its front landscape setting as the dominant site element when viewed from within the precinct, which is consistent with the Edwardian character of the precinct and the garden settings of other similar scaled contemporary buildings.</p> <p>No specific design criteria/conservation policy is included for this precinct in Table E.13.2, however the current document has provided a rigorous process of formulating such policy with the statements of significance of the precinct in-mind and the proposal complies with these policies.</p> |

| | | |
|--------------------|--|--|
| | <i>P3. Extensions to existing buildings must not detract from the historic cultural heritage significance of the precinct.</i> | There is an obligation that the former Ruardean building be used as a health care facility further to the Peacock bequest and significance is ascribed to that association and its continued perpetuation. The creation of a viable, functional and fit-for-purpose health care facility is simply not spatially possible within the existing building, and the necessity of infrastructure for such would have substantial impact upon the fabric of the building. The proposed extension represents a by far superior architectural resolution to meet the contemporary needs of such a facility and will showcase the heritage building as the iconic entry point to the facility without any unreasonable impact upon its streetscape values within the precinct (in fact be a vast improvement on the pre-fire nature of the site). |
| | <i>P4. New front fences and gates must be sympathetic in design, (including height, form, scale and materials), and setback to the style, period and characteristics of the precinct.</i> | No new front fencing or gates are proposed. The existing significant front fence/retaining wall and gates will be retained and restored. |
| | <i>P5. The removal of areas of landscaping between a dwelling and the street must not result in the loss of elements of landscaping that contribute to the historic cultural significance or the streetscape values and character of the precinct.</i> | No significant landscaping between the dwelling and the street will be removed. The proposal will maintain and repair existing landscape elements. |
| Subdivision | <p><i>P1. Subdivision must not result in any of the following:</i></p> <ol style="list-style-type: none"> <i>1 detriment to the historic cultural heritage significance of the precinct, as listed in Table E13.2;</i> <i>2 a pattern of subdivision unsympathetic to the historic cultural heritage significance of the precinct;</i> <i>3 potential for a confused understanding of the development of the precinct;</i> <i>4 an increased likelihood of future development that is incompatible with the historic cultural heritage significance of the precinct.</i> | No subdivision is proposed. |



ATTACHMENT E
Traffic Impact Assessment



TRAFFIC IMPACT ASSESSMENT

**PROPOSED
PEACOCK CENTRE REDEVELOPMENT**

**11 SWAN STREET
NORTH HOBART**

JANUARY 2020



TRAFFIC IMPACT ASSESSMENT

PROPOSED PEACOCK CENTRE REDEVELOPMENT

11 SWAN STREET
NORTH HOBART

JANUARY 2020

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ATTACHMENTS:

Attachment A - Design drawings of proposed layout of development at 11
Swan Street

REFERENCES:

- Australian Standard AS 1742.2-2009 – Manual of uniform traffic control devices Part 2: Traffic control devices for general use
- AUSTROADS – Guide to Road Safety Part 6: Road Safety Audit
- AUSTROADS – Guide to Road Design Part 4: Intersections and Crossings General (2017)
- AUSTROADS – Guide to Road Design Part 4A: Unsignalised and Signalised Intersections (2017)
- Road Traffic Authority NSW – Guide to Traffic Generating Developments, 2002
- Road and Maritime Services (Transport) - Guide to Traffic Generating Developments; Updated traffic surveys (August 2013)
- Road Traffic Authority NSW – Guide to Traffic Generating Developments, 2002
- Australian Standard AS 2890 – Parking Facilities, Part 1 – Off-street car parking
- Australian Standard AS 2890 – Parking Facilities, Part 2 – Off-street commercial vehicle facilities
- Australian Standard AS 2890 – Parking Facilities, Part 6 – Off-street parking for people with disabilities
- Hobart Interim Planning Scheme 2015

1. INTRODUCTION

A Traffic Impact Assessment report has been prepared in support of the development proposal for the reconstruction of the Peacock Centre at 11 Swan Street in North Hobart.

The Peacock Centre is a building which has been entrusted to the State Government for the provision of accommodation for persons suffering from any illness, injury or disability. As such, the facility has over more recent times been used for mental health services and earlier years as a convalescence facility.

Following the building being significantly damaged by fire over three years ago, the state government has now committed to its redeveloped.

This Traffic Impact Assessment (TIA) report has been prepared in support of the proposed redevelopment.

The report considers the existing road and traffic characteristics along Elphinstone Road in the area of the development site. An assessment is made of the traffic activity that the facility will generate and the effect that this traffic will have on Elphinstone Road.

Consideration is given to the required access arrangements and available sight distances along Elphinstone Road at the junction of the access driveways to the development site. An assessment is also made of the access driveway arrangements, internal vehicle traffic circulation and parking provisions within the development site having regard to current applicable Australian Standards and Hobart Interim Planning Scheme (2015) requirements.

The report is based on the Department of State Growth (DSG) - Traffic Impact Assessment Guidelines as well as Austroads: Guide to traffic management Part 12. The techniques used in the investigation and assessment incorporate best practice road safety and traffic management principles.

2. SITE DESCRIPTION

The proposed development site is located between Swan Street and Elphinstone Road around 180m to the west of the Elizabeth Street intersection. This intersection is at the northern end of the North Hobart shopping centre.

It is located within a residential area with the middle of the North Hobart shopping centre located around 350m walking distance away.

The site is currently fenced off as little has been done on site since the fire damage.

The location of the development site has been highlighted on the extract from the street atlas for this area, seen in Figure 2.1.

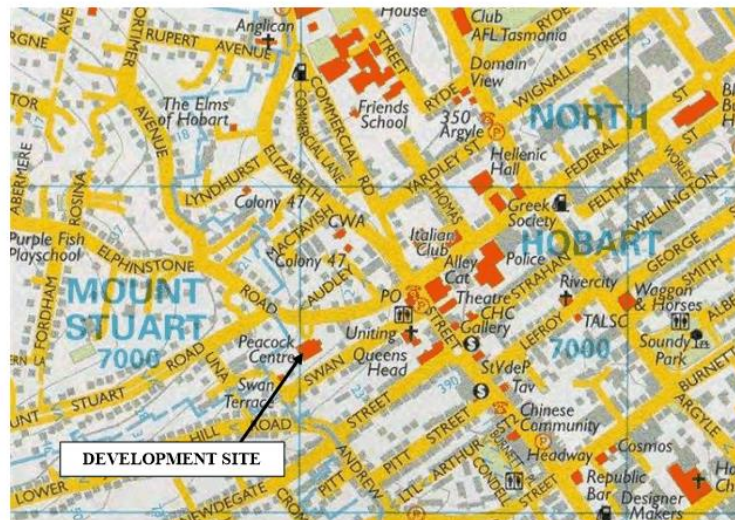


Figure 2.1: Extract from street atlas showing location of proposed Peacock Centre redevelopment site

3. DEVELOPMENT PROPOSAL

The proposed development will include the demolition and reconstruction of the damaged parts of the facility and updating of the existing areas to meet contemporary standards and practices.

The ground floor level will provide mental health services and other related services. The top floor will have 12 community beds for people needing short stay community care.

Vehicle access to the Peacock Centre exists off Elphinstone Road.

Two driveways currently service the two car parking areas which are internally connected. The western two-way driveway provides access to all car parking spaces while the eastern driveway is an exit only from the site for three car parking spaces at the eastern side of the site.

The site currently has 15 car parking spaces in two areas, not all meeting current standards. There is a car park with 12 car parking spaces near the western side of the site and there are three car parking spaces near the eastern side of the site.

Views of the current development site driveways are seen in Photographs 3.1 and 3.2.

The internal traffic arrangements, parking layout and service vehicle access will be modified to meet current standards.

The new layout will retain 15 car parking spaces, including one disabled car parking space. There will also be a shared use area for delivery vehicles, ambulances and car turnaround (if required).

Drawings detailing the proposed site layout and building floor designs are included with this report as Attachment A.



Photograph 3.1: View of current western two-way driveway from Elphinstone Road



Photograph 3.2: View of current eastern one-way driveway from Elphinstone Road

4. EXISTING ROAD AND TRAFFIC ENVIRONMENT

4.1 Road Characteristics

The one road of relevance in considering the proposed facility redevelopment is Elphinstone Road.

Elphinstone Road is a collector road for the Mount Stuart area linking to the North Hobart shopping centre and areas beyond.

In the area of the development site, Elphinstone Road has a sweeping right hand horizontal curve on an upgrade to the west of around 14%.

Adjacent to the development site, Elphinstone Road is a two-way road with a width of around 10.0m between kerb faces.

Audley Street junctions with Elphinstone Road at an acute angle opposite the Peacock Centre.

Photographs 4.1 and 4.2 provide views along the Elphinstone Road approaches to the development site.

The 50km/h urban speed limit applies along Elphinstone Road.



Photograph 4.1: View to north along Elphinstone Road with development site ahead on right at parked car



Photograph 4.2: View to south along Elphinstone Road with development site ahead on left at distant trees

4.2 Traffic Activity

In order to have knowledge of the current traffic volumes along Elphinstone Road passing the development site, peak hour turning traffic volume surveys was undertaken at the junction of Audley Street with Elphinstone Road. The surveys were undertaken during the 8:00am – 9:00am and 4:20pm – 5:20pm periods on Wednesday 31 October 2018.

The results from these surveys have been summarised in Figures 4.1 and 4.2.

The recorded two-way traffic volumes along Elphinstone Road were around 308 vehicles/hour in the morning and around 266 vehicles/hour in the afternoon, indicating the daily traffic volume is around 2,800 vehicles/day.

The traffic volumes are at levels equivalent to a minor collector road.

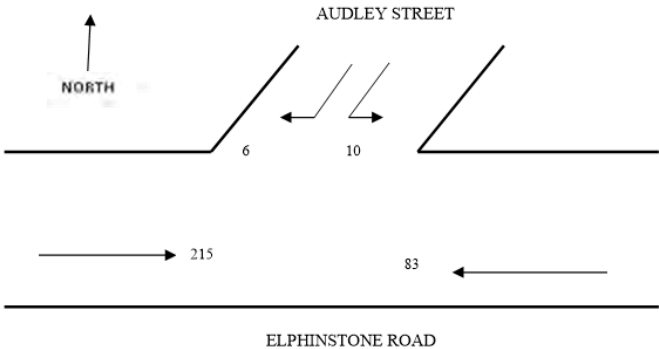


Figure 4.1: Morning peak hour traffic volumes at Elphinstone Road/Audley Street- 8:00am to 9:00am

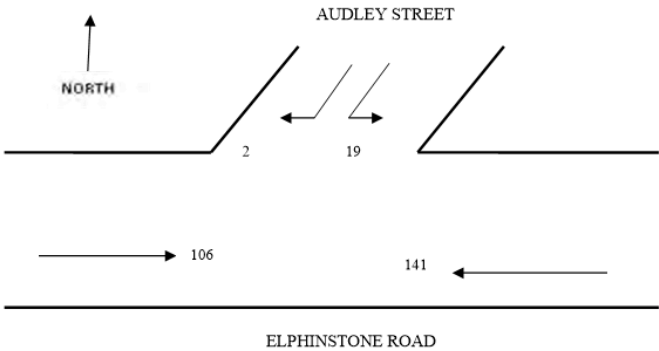


Figure 4.2: Afternoon peak hour traffic volumes at Elphinstone Road/Audley Street - 4:20pm to 5:20pm

4.3 Crash Record

All crashes that result in personal injury are required to be reported to Tasmania Police. Tasmania Police record all crashes that they attend. Any crashes that result in property damage only, which are reported to Tasmania Police, are also recorded even though they may not visit the site.

Details of reported crashes are collated and recorded on a computerised database that is maintained by DSG.

Information was requested from DSG about any reported crashes along Elphinstone Road between Elizabeth Street and Mount Stuart Road over the last five years since January 2014.

There have been only eight reported crashes along this length of Elphinstone Road.

Five crashes occurred at the Elphinstone Road/Elizabeth Street intersection between 2015 and 2017. All were a different type of crash and all resulted in property damage only.

The other three crashes occurred at different points along Elphinstone Road, two within 80m of the Elizabeth Street intersection and the other around 30m to the west of the driveway to the development site. These three crashes occurred between 2014 and 2016 and again all were a different type of incident.

There have been no reported crashes during 2018 along the above section of Elphinstone Road.

5. TRAFFIC GENERATION BY THE DEVELOPMENT

The use of the site is a low traffic generating activity, it will not result in an appreciable change in actual vehicle generation from when the site was last in use.

While the use is expected to be assessed as a 'hospital services' use, the facility will not be typical of a hospital with respect to traffic generation or car parking demand (and possibly with other ways).

In considering the traffic activity that the facility will generate when occupied, guidance is normally sought from the New South Wales: Road Traffic Authority document – Guide to Traffic Generating Developments. The RTA guide is a nationally well accepted document that provides advice on trip generation rates and vehicle parking requirements for new developments.

When applying the formulae in this guide for traffic generation and parking demand associated with private hospital services to the proposed development, based on the number of beds and staff, the calculations produce negative numbers (guide seems to apply to much larger hospital establishments).

A determination of the traffic generation and parking demand has therefore been based on a first principles approach.

The reconstruction of the Peacock Centre will result in a total floor area of 1,404m², around a 25% increase to that previously. Within the building there will be 12 beds as well as staff rooms, treatment rooms, meeting rooms, a dining and lounge room and other associated areas.

The facility will have up to eight staff during the day shift, reducing to 2 staff during the evening shift and one staff person overnight.

The facility will also have visitors for a few hours during the day. The exact number of visitors is difficult to predict but the client has estimated it could be up to 25 people. This number means that if all beds are occupied, each patient will receive 1-3 visitors every day (2.1 visitors/day).

The development site is located within a residential area and a short walking distance from a significant shopping centre plus there are good public transport services along Elphinstone Road – Mount Stuart Road and also along Elizabeth Street.

These factors would reduce the full dependency for staff and visitors on car use, i.e. a modal split factor would apply.

As a result, the eleven staff at the facility would generate some 18 vehicles/day (80% dependence on cars).

If every bed patient receives visitors that generated an average of 1.5 cars/day (30 visitors at average car occupancy of 1.3 persons/car – see RTA guide for hospitals), the traffic generation would be 44 vehicles/day. However,

applying a 0.8 modal split factor based on location and public transport use (as outlined above) the traffic generation by visitors would be around 36 vehicles/day.

With the inclusion of a few small service/delivery vehicles, the total expected traffic generation will be around 60 vehicles/day. Peak traffic movements would occur at the times of the day shift staff changes and in the early to mid-afternoon visiting times.

Visiting times at the centre will be generally during the 8:00am to 6:00pm. Therefore, while visitors will arrive and depart over this period, this will mostly occur during the mid-morning to mid-afternoon period. The peak hour traffic generation for the facility (staff and/or visitors) is likely to be up to around 14 vehicles/hour.

6. TRAFFIC ASSESSMENT AND IMPACT

This section of the report evaluates the impact of the expected traffic that will be generated by the proposed Peacock Centre redevelopment, as a State Government mental health centre, on passing Elphinstone Road traffic volumes.

An assessment has been made of the adequacy of available intersection sight distances along Elphinstone Road at the site access driveways; consideration has been given to the proposed internal site layout with respect to traffic circulation and parking.

6.1 Operational Impact of Increased Traffic Activity

The proposed facility development is expected to generate up to 60 vehicles/day and up to around 14 vehicles/hour during peak hours for the development site.

Passing traffic volumes along Elphinstone Road are around 308 vehicles/hour in the morning peak hour and around 266 vehicles/hour in the afternoon peak hour for Elphinstone Road. During other times of the day it would be appreciably less.

The addition of 14 vehicles/hour to and from the development site will not create any operational or safety traffic issues.

Intersections and junctions reach capacity when the total conflicting approach traffic volumes are around 1,500 vehicles/hour.

The conflicting traffic volumes at the development site driveway junctions with Elphinstone Road will only be less than 25% of this maximum conflicting traffic volume.

6.2 Assessment of Available Sight Distances

The available sight distances to approaching vehicles along Elphinstone Road from a vehicle entering from either of the two driveways at the proposed development site are at least around 72m to the west and over 100m to the east. The sight distances to and from a vehicle waiting to turn right into the proposed development site entry driveway are around 51m to the west and around 100m to the east.

Views along Elphinstone Road for motorists entering and leaving the driveways are seen in Photographs 6.1 to 6.4.

The speed limit along Elphinstone Road is 50km/h. A speed gun survey of approach vehicle speeds along Elphinstone Road found the 85th percentile

speed of traffic is 46.5km/h for eastbound traffic and 48km/h for westbound traffic.

The required sight distances for these speeds are 73m to the west and 76m to the east, based on Code E5 of the planning scheme, which applies to public road intersections. Based on AS 2890.1, which applies to private driveway junctions with public roads, such as is under consideration with this development, the desirable sight distances are 64m to the west and 66m to the east.

The available sight distances are sufficient to meet the above requirements except for the sight distance between vehicles waiting to turn right into the driveway and any following eastbound vehicles.

This sight distance is around 13m less than the desirable sight distance, as detailed on Figure 3.2 of AS 2890.1, but it is 9m more than the minimum required sight distance of 42m, as outlined in Figure 3.2 of AS 2890.1.

The right turn movement into the driveways from the west would be the lowest turning volume of all turns into or out of the driveways.

Overall, all sight distances at the driveways for the development site are considered to be sufficient to meet minimum requirements.



Photograph 6.1: View to west along Elphinstone Road from development site driveway



Photograph 6.2: View to east along Elphinstone Road from development site driveway



Photograph 6.3: View to east along Elphinstone Road from vehicle turning right into development site driveway



Photograph 6.4: View to west along Elphinstone Road from rear of vehicle turning right into development site driveway

6.3 Internal Traffic Access, Circulation and Car Parking

Following input into the changes to the existing internal access and parking arrangements, having due regard to the requirement of AS 2890, the proposed layout and design of the internal access driveways, circulation area and parking arrangements which will service the proposed facility are shown on the site drawings in Attachment A.

Relevant design elements of the proposed site layout related to traffic are discussed below.

Access driveways and traffic circulation

The western two-way driveway off Elphinstone Road will be retained. It is exceptionally wide having a gutter crossover width of 11.3m, a width of 10.0m at the property boundary and over 6.0m at the access to the car parking aisle. This is more than sufficient for the level of traffic activity and to provide for vehicles to pass one another back from the kerb line.

In order to achieve improvements to the car park served by the eastern driveway to meet current standards, the gutter crossover will be moved around 9m to the east. The driveway and gutter crossover will have a width of 5.5m.

While the planning scheme normally requires one driveway to any new development site, the site has had two driveways for many years, which has not created any operational or safety issues.

The eastern driveway will have very few vehicle movements each day, but its retention assists in maximising on-site parking while achieving other site management objectives without extensive and costly changes in a constricted area of the site.

On-site turning considerations

The parking arrangements for the development have been designed to comply with Clause E6.7.4 of the Planning Scheme with respect to on-site turning.

All cars and commercial vehicles will be able to enter and exit the site in a forward direction.

The servicing of the proposed development will require small rigid vehicles to enter the site. These vehicles will be able to turn around using the parking aisle, reverse to the service area and exit the site in a forward direction.

Car parking supply and demand

Clause E6.6.1 of the Hobart Interim Planning Scheme requires 1 car parking space for each 40m² of floor area for a 'hospital services' use.

The total floor area will be around 1,404m²; the parking requirement based on the planning scheme is 35 car parking spaces.

As outlined earlier in this report, the use of the development site will not be as a normal hospital. The assessment of the traffic generation by the proposed development also allows a determination of the parking demand based on staff and expected visitor numbers.

Based on the analysis in Section 5 of this report, there would be a need for 6-7 staff car parking spaces at the start and end of the day shift.

This analysis also determined the traffic generation by visitors would be around 36 vehicles/day or 18 visitor vehicle arrivals per day.

The visitor arrivals and departures will be generally spread between 8:00am and 6:00pm each day but most are expected between 11:00am and 3:00pm

Based on an average one-hour visit period and two thirds of these visitors arriving over the busier four-hour period, the parking demand would be up to three to four car parking spaces.

A slightly higher peak in visitor arrivals over any one-hour period could demand a parking supply of up to five spaces.

The total car parking demand by the proposed development is determined to be up to 12 car parking spaces, much less than the planning scheme indicates.

There will be 15 car parking spaces on the site. One of the car parking spaces will be for disabled persons.

There are also currently four on-street car parking spaces along the frontage of the development site which have a two-hour time limit. With the relocation of the eastern driveway, this will increase to five car parking spaces.

These parking spaces would have been installed for the Peacock Centre to displace all day parking, as there are no other businesses in the immediate area requiring shorter term parking.

The total on-street and off-street parking supply will be up to 20 car parking spaces. This is considered to be quite sufficient to meet the parking demand.

The one disabled car parking space that will be provided on the site is sufficient to meet AS 2890.6 requirements.

Parking area design

The existing car parking areas will be modified, and the parking bays will be remarked so that all parking spaces are compliant with AS 2890.1 requirements.

The specific dimensions that have been addressed include the following:

- All parking spaces will be 5.4m long and 2.6m wide, as required for User Class 3 for short term parking (as detailed in Figure 2.2 of AS 2890.1);

- The width of the parking aisle will be at least 5.8m (as detailed in Figure 2.2 of AS 2890.1 for Class 3 90-degree parking);
- There will be at least a 300mm clearance to the side obstructions for door opening and manoeuvring for all bays (as detailed in Figure 2.3 of AS 2890.1);
- There will be at least a 1.0m extension to the end of the parking aisle for cars to reverse out of end spaces (as detailed in Figure 2.3 of AS 2890.1);
- Grade of the parking area will be less than 5% as required by AS 2890.1;
- The disabled parking space design complies with the requirements of AS 2890.6.

7. SUMMARY AND RECOMMENDATIONS

This Traffic Impact Assessment report has been prepared in support of the development proposal for the reconstruction of the Peacock Centre at 11 Swan Street in North Hobart.

Elphinstone Road is a minor collector road for the Mount Stuart area. Adjacent to the development site, it is a two-way road with a width of around 10.0m between kerb faces.

Recent surveys have found peak hour two-way traffic volumes along Elphinstone Road are around 308 vehicles/hour in the morning and around 266 vehicles/hour. This indicates the daily traffic volume is around 2,800 vehicles/day.

There have been only eight reported crashes along Elphinstone Road between Elizabeth Street and Mount Stuart Road over the last five years since January 2014. Most crashes occurred at the Elphinstone Road/Elizabeth Street intersection. Three crashes occurred at different points along Elphinstone Road. There have been no reported crashes during 2018 along the above section of Elphinstone Road.

As a result, the crash record in this area is not of concern.

It has been estimated the total expected traffic generation by the development site will be around 60 vehicles/day. Peak traffic movements would occur at the times of the day shift staff changes and the late morning to mid-afternoon visiting times and expected to be up to around 14 vehicles/hour.

The addition of 14 vehicles/hour to and from the development site will not create any operational or safety traffic issues.

The available sight distances to and from the two driveways are sufficient to meet the requirements based on AS 2890.1. The one exception is the sight distance between vehicles turning right into the western driveway and any following eastbound vehicles. This sight distance is around 13m less than desirable, as detailed on Figure 3.2 of AS 2890.1, but it is 9m more than the minimum required sight distance of 42m, as outlined in this figure.

Overall, all sight distances at the driveways for the development site will be sufficient to meet minimum requirements.

Changes are proposed to the current internal circulation and parking arrangements.

The proposed design of the driveways will be quite sufficient for the level of traffic use and will provide for vehicles to pass one another back from the kerb line at the two-way driveways.

The parking arrangements have been designed to comply with Clause E6.7.4 of the Planning Scheme with respect to on-site turning. All cars and the small

commercial vehicles, which the development site will generate, will be able to enter and exit the site in a forward direction.

The total floor area of the building will be around 1,404m². Clause E6.6.1 of the Hobart Interim Planning Scheme requires 35 car parking spaces, based on the planning scheme for a hospital use.

However, it has been determined the total car parking demand will be up to 12 car parking spaces based on a consideration of staff numbers during different shifts and expected visitor numbers.

There will be 15 car parking spaces on the site. One of the car parking spaces will be for disabled persons. With the relocation of the eastern gutter crossover and driveway, there are also five on-street car parking spaces along the frontage of the development site within a two-hour parking time limit.

The total on-street and off-street parking supply will be up to 20 car parking spaces. This is quite sufficient to meet the expected parking demand.

The existing car parking areas will be modified, and the parking bays remarked so that all parking spaces are compliant with AS 2890.1 requirements.

Overall it has been concluded that the proposed facility development can be supported on traffic grounds as it will not give rise to any adverse safety or operational traffic issues and the on-site parking and traffic arrangements will meet requirements.

ATTACHMENT A

Design drawings of proposed layout of development
at 11 Swan Street



ATTACHMENT F
Section 52(b) Consent

Department of Health

CORPORATE SERVICES – ASSET MANAGEMENT SERVICES

GPO Box 125, HOBART TAS 7001 Australia

Ph: 1300 135 513

Web: www.dhhs.tas.gov.au

Contact: Amber Smith
Phone: (03) 6166 1589
Email: amber.smith@health.tas.gov.au
File: F17/000010-008

General Manager
Hobart City Council
GPO Box 503
Hobart TAS 7001

Dear Sirs,

Subject: Department of Health – Peacock Centre – Consent to Act as an Agent

Pursuant to Section 52 (b) of the *Land Use Planning and Approvals Act 1993* I consent to the lodgement of permit applications relating to land in the ownership of the Crown. I hereby authorise the applicant to act as my agent for any required permits (i.e Development Application, Certificate of Likely Compliance and Building Application) on behalf of the Crown.

Applicant: X-Squared Architects**Proposed Development:** Peacock Centre Rebuild**Address:** 11 Swan Street, North Hobart TAS 7000**PID:** 5560920

If you require further information please contact Amber Smith, Capital Works Project Manager on 6166 1589.

Yours sincerely

A handwritten signature in blue ink, appearing to read "Scott Parnham", with a long horizontal line extending to the right.

Scott Parnham
Director, Asset Management Services

22 October 2019

Planning: #197108

Property

11 SWAN STREET NORTH HOBART TAS 7000

People**Applicant ***

Xsquared Architects Pty Ltd

1st Floor, 125 Collins Street
HOBART TAS 7000
62249370
admin@xsquaredarchitects.com.au**Owner ***

Department of Health and Human Services

GPO Box 1
HOBART TAS 7001
1300 135 513
info@dhhs.tas.gov.au**Entered By**FRANCES BEASLEY
117 HARRINGTON STREET
HOBART TAS 7000
62312555
iboss@jmg.net.au**Use**

Medical facility

Details

Have you obtained pre application advice?

☒ No

If YES please provide the pre application advice number eg PAE-17-xx

Are you applying for permitted visitor accommodation as defined by the State Government Visitor Accommodation Standards? Click on help information button for definition. If you are not the owner of the property you MUST include signed confirmation from the owner that they are aware of this application. *

☒ No

Is the application for SIGNAGE ONLY? If yes, please enter \$0 in the cost of development, and you must enter the number of signs under Other Details below. *

☒ No

If this application is related to an enforcement action please enter Enforcement Number



ATTACHMENT G
Landscape Concept Plans

01 STREETSCAPE / ENTRY SEQUENCE

The general entry and transitional zones, used by both consumers and the general public are to be beautiful, relaxing and 'familiar' spaces, affording a sense of safety, privacy and self-possession for consumers as they approach the Centre for whatever treatment or assistance they may require.

The entry should be of a domestic scale and spatial arrangements should be implemented to provide consumers with a sense of familiarity and comfort. Comfortable pause points to be provided along the way.

**02 RESIDENT'S GARDEN**

The Resident's garden has been designed as a series of small spaces for individuals or small groups to gather for quiet relaxation and contemplation. The area will be fully fenced with the fence sitting within garden bed on either side to soften the effect. Landscape features and plantings are to provide positive distraction by engaging and soothing the senses with colour, scent and movement. Still or slowly flowing bubbling water to provide a visual and auditory stimuli.

Materials should be predominantly natural such as timber or stone and furniture should be comfortable and appropriately sized so as to protect from the elements.

A larger lawn area can accommodate group activities such as yoga, meditation or gardening while also allowing for small gatherings.

**03 GREENHOUSE AREA**

Small courtyard adjacent to the greenhouse for gardening activities or outdoor dining with small herb gardens and espalier fruit trees as a screen. Research has suggested there may have been an orchard adjacent to this space (Source: The Mercury, Hobart 1980-1994) and future plantings of fruit trees would complement this area.

**04 FORMAL FRONT GARDEN**

The proposed landscaping works to the Swan Street frontage to be sensitive to the heritage building and reflect Federation-era garden design principles. The garden immediately surrounding the terrace to be restored as far as possible to reflect the image taken in The Courier Christmas Annual (1933, Page 13), with a mix of ferns, flowering shrubs and roses.

**05 STAFF COURTYARD**

A private courtyard for the staff to be designed as a lush green space surrounded by shade and tolerant gardens, to provide a calming and restorative place for breaks. Large pavers of different sizes to be interspersed with groundcovers, with ferns and hostas either side.

**06 FERN GARDEN**

A lush fern garden set in the heart of the building and takes advantage of the cool shady position with an abundance of ferns, ground covers and shade-loving plants - providing visual interest and a connection to the landscape from within the building.

**Peacock Centre Redevelopment**

Adult Community Mental Health







































Landscape Concept Plan

North
Scale: 1:200 @ A1
June 2018 / Modified: 09/08/19
Issue Development Application

Client: XSA
Page No: 1 of 2
Address: Elphinstone Road, North Hobart
File: 18-54_SK_Landscape Plan DA

**PLAY
/ST.**
PLAY SPACES
URBAN DESIGN
LANDSCAPE
ARCHITECTURE

SUGGESTED PLANT PALETTE

| SCIENTIFIC NAME | COMMON NAME | MATURE SIZE | SCIENTIFIC NAME | COMMON NAME | MATURE SIZE |
|--|--------------------|-------------|---|----------------------|-------------|
|  <i>Acer palmatum</i> | Japanese Maple | 5m x 3m |  <i>Kunzea ambigua</i> | Sweet Scented Kunzea | prostrate |
|  <i>Artemisia alba</i> | White Wormwood | 0.8m x 0.8m |  <i>Lavendula angustifolia</i> | English Lavender | 1m x 1m |
|  <i>Bilardiera longifolia</i> | Climbing Blueberry | vine |  <i>Leucophyta brownii</i> | Cushion Bush | 0.8m x 1m |
|  <i>Blechnum minus</i> | Soft Water Fern | 0.6m x 0.6m |  <i>Lomatia tinctoria</i> | Guitar Plant | 2m x 1.5m |
|  <i>Calamagrostis 'Karl Foerster'</i> | Feather Reed Grass | 1.5m x 1m |  <i>Magnolia soulangeana</i> | Chinese Magnolia | 7m x 6m |
|  <i>Callistemon pallidus</i> | Lemon Bottlebrush | 3m x 2m |  <i>Miscanthus sinensis</i> | Silver Grass | 0.8m x 0.8m |
|  <i>Calceophalus lactus</i> | Milky Beauty Heads | 0.5m x 0.5m |  <i>Pennisetum alopecuroides</i> | Swamp Foxtail | 0.5m x 0.5m |
|  <i>Carpobrotus rossii</i> | Coastal Pigface | prostrate |  <i>Prunus subhirtella pendula</i> | Weeping Cherry | 6m x 4m |
|  <i>Cercis canadensis</i> | Forest Pansy | 6m x 4m |  <i>Rosmarinus officinalis</i> | Rosemary | 1m x 1.2m |
|  <i>Chryscephalum apiculatum</i> | Yellow Buttons | 0.6m x 0.4m |  <i>Salvia officinalis</i> | Common Sage | 1m x 1.2m |
|  <i>Cornus alba 'Sibirica'</i> | Tatarian Dogwood | 0.8m x 0.6m |  <i>Schwanthus biflorus</i> | Canberra Grass | 0.3m x 0.8m |
|  <i>Cornus alba</i> | White Cornus | 1.5m x 1.2m |  <i>Sedum 'Autumn Joy'</i> | Sedum | 0.6m x 0.6m |
|  <i>Cymbopogon citratus</i> | Lemon Grass | 0.5m x 0.5m |  <i>Thymus vulgaris</i> | Garden Thyme | 0.5m x 0.5m |
|  <i>Festuca glauca</i> | Blue Fescue | 0.4m x 0.4m |  <i>Viburnum opulus 'Notcutts'</i> | Guelder Rose | 3m x 2.5m |
|  <i>Heuchera 'Raspberry Regal'</i> | Coral Bells | 0.5m x 0.5m |  <i>Viola hederacea</i> | Native Violet | 0.3m x 0.8m |
|  <i>Hosta 'Blue Hawaii'</i> | Blue Hosta | 0.6m x 0.6m |  <i>Westringia fruticosa</i> | Coastal Rosemary | 1.2m x 1m |
|  <i>Hydrangea spp.</i> | Hydrangea | 1m x 1.2m |  <i>Wisteria sinensis</i> | Chinese Wisteria | prostrate |
|  <i>Kennedia prostrata</i> | Running Postman | prostrate |  <i>Dicksonia antarctica</i> | Tree Fern | 3m x 2m |
| | | |  <i>Narcissus spp.</i> | Daffodil | 0.4m x 0.4m |
| | | |  <i>Narcissus jonquilla</i> | Jonquil | 0.4m x 0.4m |

PLANTING STRATEGY

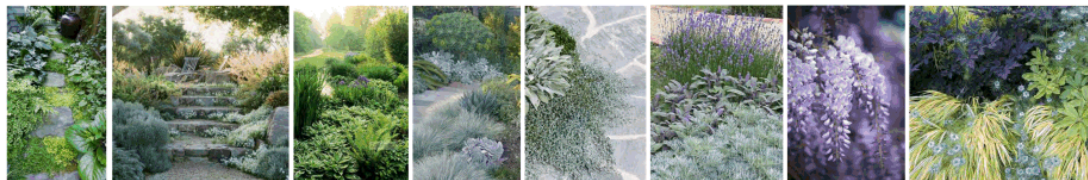
Landscape features and planting palettes should provide positive distraction by engaging the senses - i.e. scented plantings, calming colour palettes and dynamic movement of grasses.

Aboriginal food and medicinal plantings to be woven through the gardens and the palette organised in such a way as to be beautiful in every season. Planting used to provide visual screens and separation of outdoor spaces where appropriate rather than built screens.

01 SCENTED PLANTINGS



02 CALMING COLOUR PAlettes



03 DYNAMIC MOVEMENT



Peacock Centre Redevelopment

Adult Community Mental Health

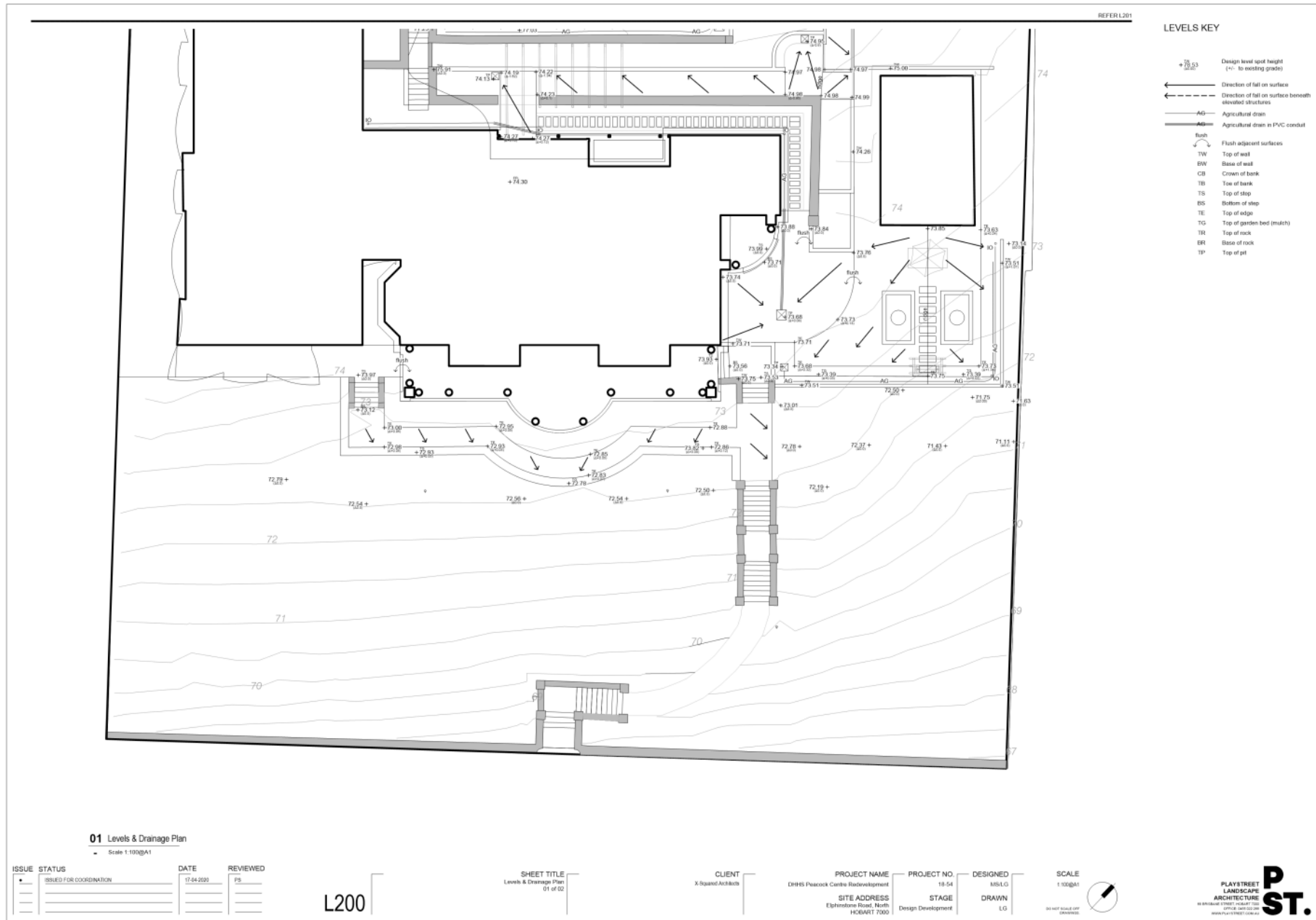
Planting Styles & Species

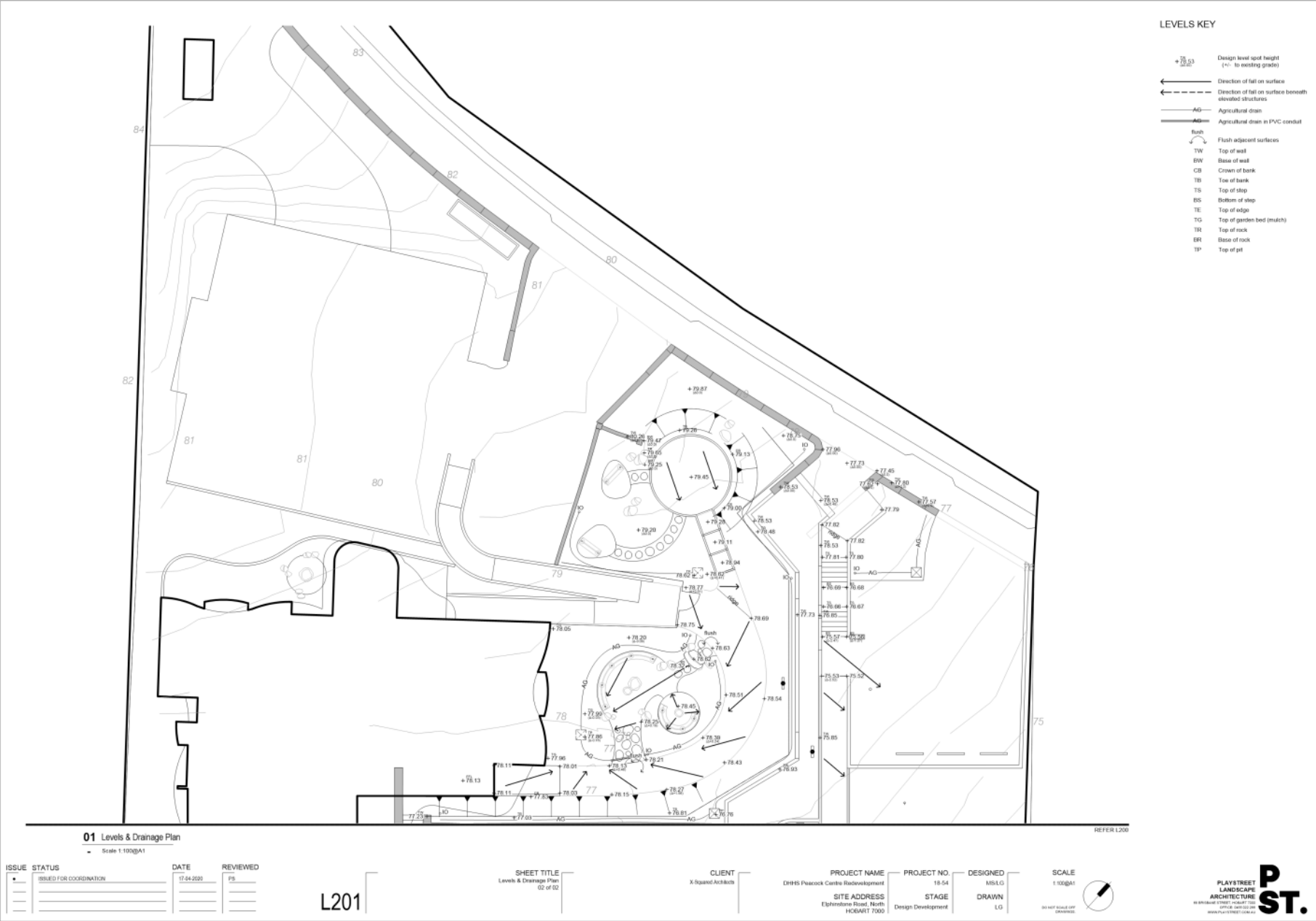
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June 2018 / Modified: 09/08/19
Issue: Development Application

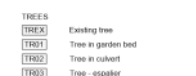
Client: XSA
Page No.: 2 of 2
Address: Eghurst Road, North Hobart
File: 18-54_SK_Landscape Plan DA

**PLAY
ST.**
PLAY SPACES
URBAN DESIGN
LANDSCAPE
ARCHITECTURE









Scale 1:100000



Scale 1:100@A1

PLAYSTREET
LANDSCAPE
ARCHITECTURE
88 BRISBANE STREET, HOBART 7000
OFFICE: 0418 520 280
WWW.PLAYSTREET.COM.AU



ATTACHMENT H
Civil Engineering Drawings

PA 2.1 civil engineer Performance Solution summary

E6.7.2 Design of Vehicular Accesses**Objective:**

To ensure safe and efficient access for all users, including drivers, passengers, pedestrians and cyclists by locating, designing and constructing vehicle access points safely relative to the road network.

Acceptable Solutions**A1**

Design of vehicle access points must comply with all of the following:

- (a) in the case of non-commercial vehicle access; the location, sight distance, width and gradient of an access must be designed and constructed to comply with section 3 – “Access Facilities to Off-street Parking Areas and Queuing Areas” of AS/NZS 2890.1:2004 Parking Facilities Part 1: Off-street car parking;
- (b) in the case of commercial vehicle access; the location, sight distance, geometry and gradient of an access must be designed and constructed to comply with all access driveway provisions in section 3 “Access Driveways and Circulation Roadways” of AS2890.2 - 2002 Parking facilities Part 2: Off-street commercial vehicle facilities.

Performance Criteria**P1**

Design of vehicle access points must be safe, efficient and convenient, having regard to all of the following:

- (a) avoidance of conflicts between users including vehicles, cyclists and pedestrians;

Separate pedestrian access has been provided to allow direct access to the building via the existing footpath network in Elphinstone Road and Swann Street.

DDA compliant access has also been provided via dedicated non-trafficable routes for Carpark 1 and Carpark 2.

Pedestrian measures have been positioned to avoid conflict with turning vehicles, to avoid obstruction to sight distance and to allow vehicles entering and exiting the site to have clear sight lines to pedestrian points of access.

It is therefore deemed that P1 (a) has been satisfied.

- (b) avoidance of unreasonable interference with the flow of traffic on adjoining roads;

The proposal utilises an existing access to Elphinstone Road and re-positions a second access on to Elphinstone Road. No additional vehicle accesses are proposed to Elphinstone Road or Swan Street.

The existing and re-located accesses satisfy all sight distance requirements under AS/NZS2890.1:2004 and are positioned on a long sweeping bend with excellent approach sight distance for vehicles entering/existing the site and also general traffic approaching the site.

There are no structures proposed within the roadway that would impede traffic movement or parking provisions.

It is therefore deemed that P1 (b) has been satisfied.

- (c) suitability for the type and volume of traffic likely to be generated by the use or development;

The location and size of the accesses have been designed in compliance with the requirements of AS/NZS2890.1:2004 for the classification of the respective carpark modules.

It is therefore deemed that P1 (c) has been satisfied.

- (d) ease of accessibility and recognition for users.

Pedestrian accesses have been positioned to provide direct access to the main points of pedestrian entry to the building and have been designed to provide DDA compliant access from the parking modules within the topographic restraints of the site.

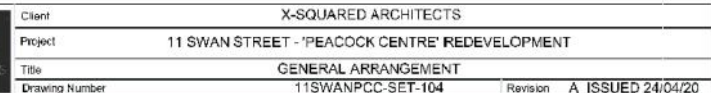
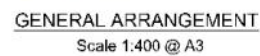
Appropriate separation from trafficable areas has been achieved with landscaping and other hard features and appropriate signage will be used to delineate pedestrian accesses and spaces from those used for other purposes.

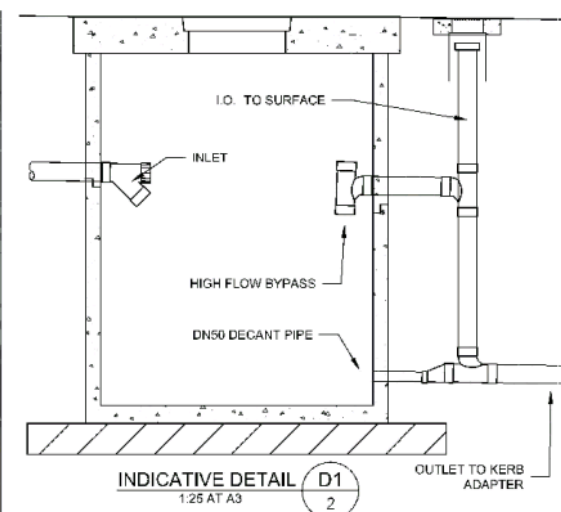
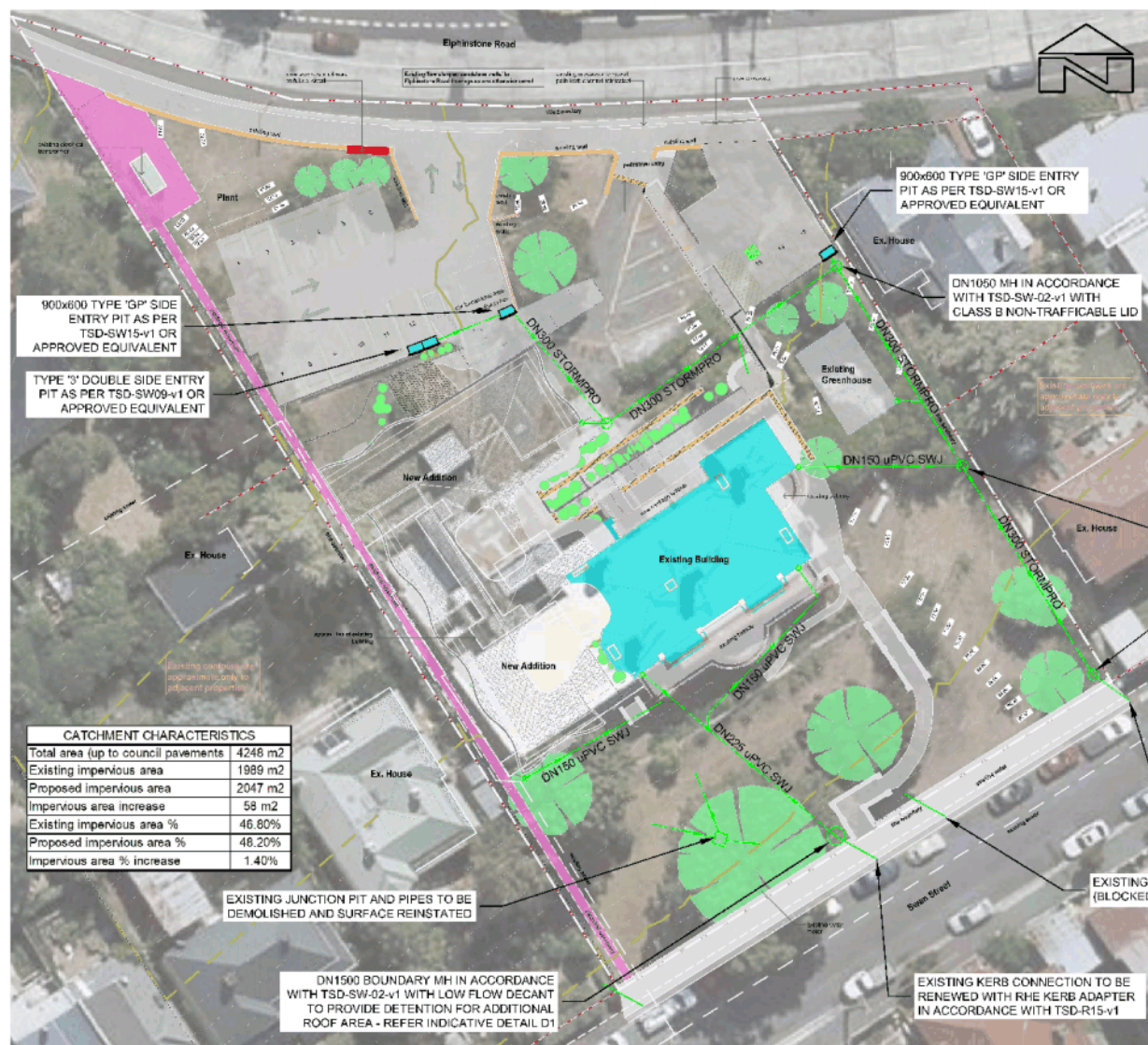
It is therefore deemed that P1 (d) has been satisfied.

PA 2.1 – civil engineer summary of design criteria

| Criteria/Clause | Requirements | Acceptable standard | Design response |
|--|---|--|--|
| Table 1.1 | Classification | Class 3 – Short term city and town centre parking, parking stations, hospital and medical centres Class 4 – Parking for people with disabilities | Complies with Class 3 and 4 |
| Figure 2.2 | Layouts for angle parking spaces | 90 degree spaces, Class 3 and 4 Minimum dimensions: <ul style="list-style-type: none"> Width 2.6m Length 5.4m Aisle width 5.8m | Complies with Class 3 and 4 |
| 2.4.5 Physical controls | Kerbs, Barriers, Wheel stop and other protective devices | Sub-clauses 2.4.5.1 through 2.4.5.4 Specifies dimensions of kerbs, wheel stops and other measures. | All measures proposed are in accordance with AS2890.1:2004 and the relevant TSD drawings for kerb profiles and wheel stops. Solution is compliant. |
| 2.4.6 Gradients within parking modules | Specifies minimum and maximum gradients for parking modules | 2.4.6.1 maximum gradients: 5% parallel to angle of parking 6.25% in any other direction 2.4.6.2 minimum gradients: 1.0% minimum | Maximum and minimum gradient criteria are not exceeded by the proposed design. Solution is compliant. |
| 2.4.7 Provision for motorcycles | Provision of safe motorcycle parking | Dimensions to comply with Figure 2.7 | Dedicated motorcycle parking has not been provided. Apply discretion of Council on requirement or otherwise for the requirement. |
| 2.5 Design of Circulation Roadways and Ramps | Design grades, access widths, minimum turning radii, grade transitions, swept paths for B85/B99 templates | Sections 2.5.1 through 2.5.3 specify the geometric design requirements. | The proposed solution meets all geometric design criteria for 2.5. Solution is compliant. |

| | | | |
|------------------------------------|--|---|---|
| Section 4 Pedestrian Service | Design criteria for provision of pedestrian facilities in parking areas. | It is appropriate in low capacity, low volume car parks to allow pedestrian movement within the car park area without dedicated pedestrian footpaths or similar. Note that pedestrian footpaths are provided immediately adjacent and accessible from car parks. | The proposes solution is appropriate to the car parking provided. |
|------------------------------------|--|---|---|





GENERAL NOTES

- | | |
|--|---|
| <p>DN 150 MH IN ACCORDANCE WITH TSD-SW-02-v1 WITH CLASS B NON-TRAFFICABLE LID</p> <p>SPEL ECOCEPTOR 2000 SERIES OR APPROVED EQUIVALENT SEDIMENT TRAP AND LIQUID SEPARATOR SQID DEVICE</p> <p>EXISTING KERB CONNECTION TO BE RENEWED WITH DOUBLE RHS KERB ADAPTER IN ACCORDANCE WITH TSD-R15-v1</p> | <p><u>GENERAL NOTES</u></p> <ol style="list-style-type: none"> 1. BASE SURVEY INFORMATION INCLUDING EXISTING SERVICES INFORMATION PROVIDED BY COVA. 2. PRELIMINARY LAYOUT ONLY - FINAL LOCATION, EXTENT, SIZE, MATERIAL AND DEPTH OF ALL ABOVE AND BELOW GROUND SERVICES WILL BE FINALISED AT DETAILED ENGINEERING STAGE. 3. TOPS OF MANHOLES, PITS & SERVICE UTILITY COVERS ARE TO BE ADJUSTED TO MATCH ADJACENT FINISHED SURFACE LEVELS AND GRADES. 4. SIZING OF DETENTION AND SQID's TO BE FINALISED AT DETAILED ENGINEERING STAGE AND ARE SUBJECT TO FINALISED HARD STAND AREAS AND LANDSCAPING TREATMENTS (RE-USE OPPORTUNITIES). 5. FINAL CONFIGURATION OF STORMWATER PITS TO BE DETERMINED AT DETAILED ENGINEERING STAGE. 6. ALL STORMWATER INFRASTRUCTURE PROPOSED IS PRIVATE AND WILL NOT BE VESTED TO COUNCIL. 7. PATHWAYS TO DRAIN TO ADJACENT LANDSCAPED ZONES UNLESS NOTED OTHERWISE. 8. DO NOT OBTAIN DIMENSIONS BY SCALING FROM THE DRAWINGS, UNLESS OTHERWISE NOTED. 9. ALL DETAIL DIMENSIONS ARE IN MILLIMETRES. 10. ALL CONTOURS ARE IN METRES. |
| <p>ERB CONNECTION TO BE ABANDONED</p> | |

STORMWATER GENERAL ARRANGEMENT

Scale 1:400 @ A3



| A | Response to RFI 1 | SL | BD | 21 April |
|-----|-------------------|---------|----------------|----------|
| No. | Revision | Drafter | Author/checked | Date |

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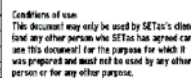


Sustainable Engineering
Small team, big outcomes

| | | | |
|----------------|---|----------|-------------------|
| Client | X-SQUARED ARCHITECTS | | |
| Project | 11 SWAN STREET - 'PEACOCK CENTRE' REDEVELOPMENT | | |
| Title | STORMWATER PRELIMINARY LAYOUT | | |
| Drawing Number | 11SWANPCC-SET-105 | Revision | A ISSUED 24/04/20 |

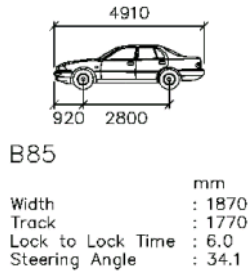


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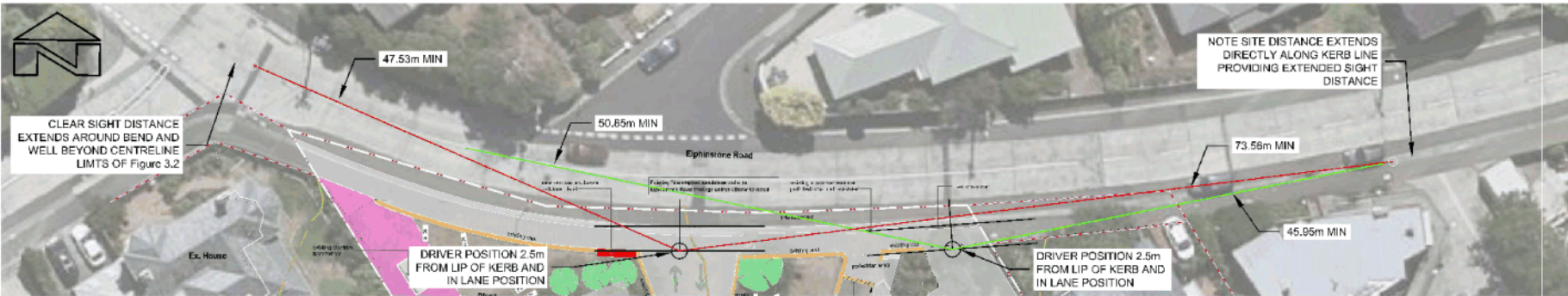


Sustainable Engineering

| | | | |
|----------------|---|----------|-------------------|
| Client | X-SQUARED ARCHITECTS | | |
| Project | 11 SWAN STREET - 'PEACOCK CENTRE' REDEVELOPMENT | | |
| Title | TURNING PATHS CARPARK 1 | | |
| Drawing Number | 11SWANPCC-SET-106 | Revision | A ISSUED 24/04/20 |



TURNING PATHS - B85 TEMPLATE
Scale 1:200 @ A3



SIGHT DISTANCE MEASUREMENTS - AS/NZS2890.1:2004 Fig 3.2
Scale 1:400 @ A3



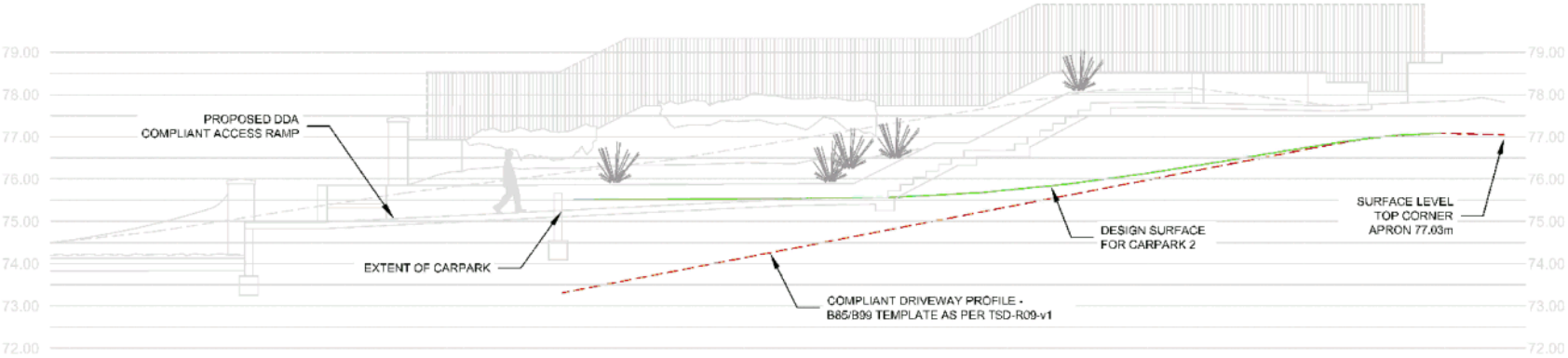
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| No. | Revision | Drawn | Authorised | Date |

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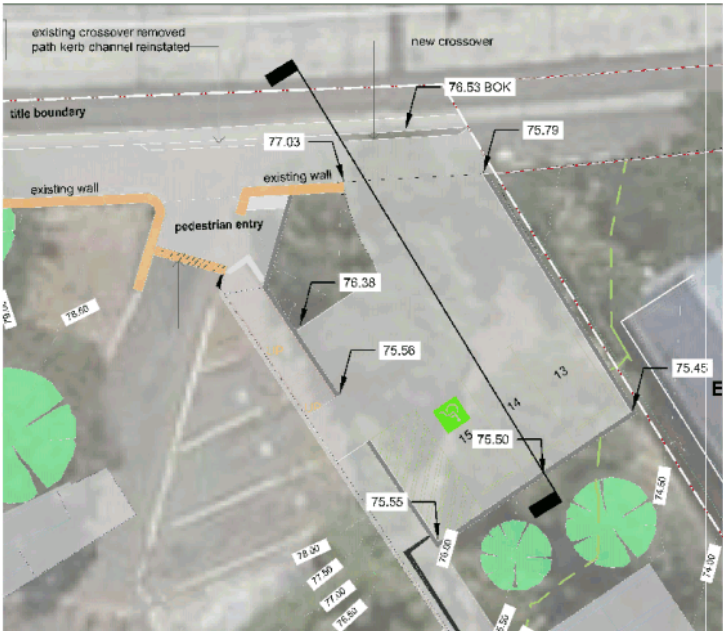
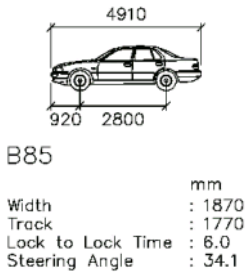
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|----------------|---|----------|-------------------|
| Client | X-SQUARED ARCHITECTS | | |
| Project | 11 SWAN STREET - 'PEACOCK CENTRE' REDEVELOPMENT | | |
| Title | TURNING PATHS CARPARK 2 AND SIGHT DISTANCE COMPLIANCE | | |
| Drawing Number | 11SWANPCC-SET-107 | Revision | A ISSUED 24/04/20 |



CARPARK 2 - B85 VERTICAL GRADE COMPLIANCE
Scale 1:100 @ A3

GENERAL NOTES

1. LONG SECTION GENERATED THROUGH STEEPEST PART OF APRON TRANSITION.
2. DESIGN EXCEEDS THE MINIMUM GRADE STANDARDS AND COMPLIES WITH TSD-R09-v1.
3. FINAL FINISHED SURFACE LEVELS TO BE DETERMINED DURING DETAILED DESIGN.
4. FINISHED SURFACE LEVELS AT STAIRS AND RAMPS DICTATED BY FFL OF BUILDING AND DDA COMPLIANT GRADES.
5. DO NOT OBTAIN DIMENSIONS BY SCALING FROM THE DRAWINGS, UNLESS OTHERWISE NOTED.
6. ALL DETAIL DIMENSIONS ARE IN MILLIMETRES.
7. ALL CONTOURS ARE IN METRES.



DESIGN FSL SPOT HEIGHTS



| | | | | |
|---------------------|----------|-------|------------|--------|
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|----------------|---|----------|-------------------|
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| Project | 11 SWAN STREET - 'PEACOCK CENTRE' REDEVELOPMENT | | |
| Title | CARPARK 2 ACCESS GRADE COMPLIANCE | | |
| Drawing Number | 11SWANPCC-SET-108 | Revision | A ISSUED 24/04/20 |



CARPARK 1 DIMENSIONS
Scale 1:150 @ A3



CARPARK 2 DIMENSIONS

Scale 1:150 @ A3



| | | | | | |
|-----|-------------------|-------|------------|--------|--|
| | | | | | |
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| | | | | | |
|----------------|---|--|--|----------|-------------------|
| Client | X-SQUARED ARCHITECTS | | | | |
| Project | 11 SWAN STREET - 'PEACOCK CENTRE' REDEVELOPMENT | | | | |
| Title | CARPARK DIMENSIONS | | | | |
| Drawing Number | 11SWANPCC-SET-109 | | | Revision | A ISSUED 24/04/20 |



JMG Ref: J183095PH
Your Ref: PLN-20-67

19 May 2020

General Manager
Hobart City Council
Via online development services portal

Attention: Helen Ayers

Dear Helen,

11 SWAN STREET, NORTH HOBART - PARTIAL DEMOLITION, ALTERATIONS,
EXTENSION, LANDSCAPING (INCLUDING TREE REMOVAL), AND CAR PARKING
APPLICATION NO. PLN-20-67

On behalf of our client, Xsquared Architects, please find attached documents provided in response to Council's request for additional information regarding the above proposal. The items contained within Council's request dated 14 May have been responded to as follows:

Parking and Access

PA2.1

The project engineer has provided a revised drawing including the B85 template and grade data as requested. Please see attached drawing 11SWANPCC-SET-108 at Attachment A.

Stormwater Code

Sw6

The project engineer advises that Section 5 of the preliminary stormwater report previously provided addresses the issue of detention storage volumes and how these will be accommodated within the proposed stormwater management solution. The engineer further advises that Section 6 of the report addresses the issue of pipe flow capacities for the design storm events. While the preliminary stormwater report has previously been provided, it is attached to this letter at Attachment B.

If Council requires any further information or clarification with respect to this application, please contact me on 0404 439 402 or at asmee@jmg.net.au

Yours faithfully,
JOHNSTONE MCGEE & GANDY PTY LTD


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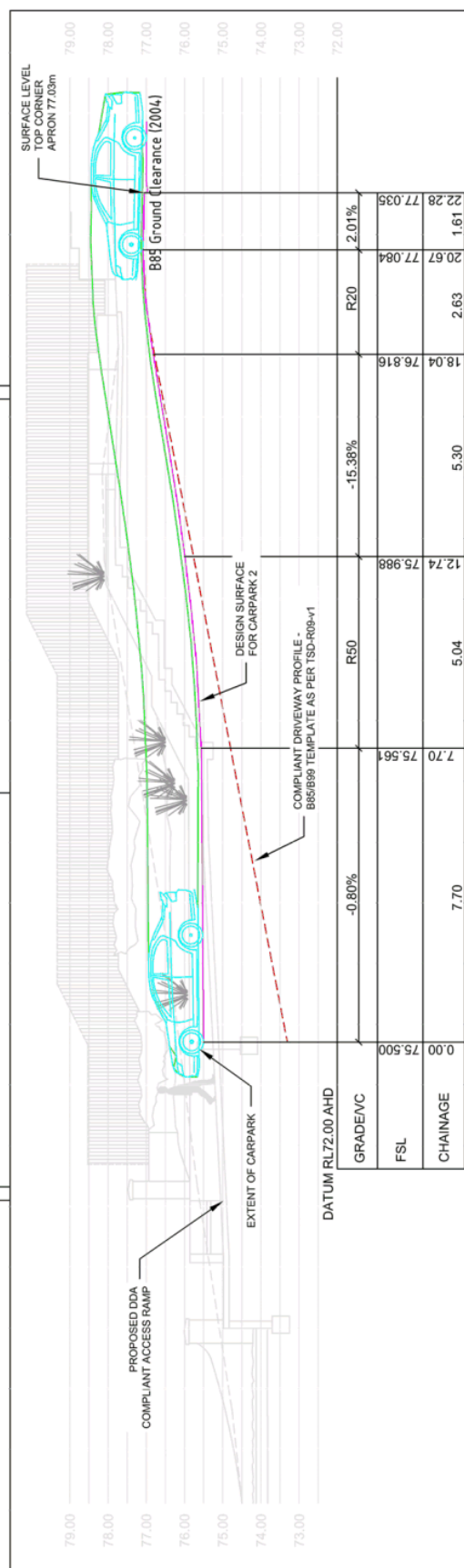
Johnstone McGee &
Gandy Pty Ltd
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ACN 009 547 139
as trustee for Johnstone
McGee & Gandy
Unit Trust

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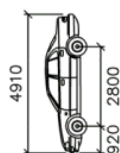
Attachment A

Carpark 2 Access Grade Compliance Drawing



CARPARK 2 - B85 VERTICAL GRADE COMPLIANCE

Scale 1:100 @ A3

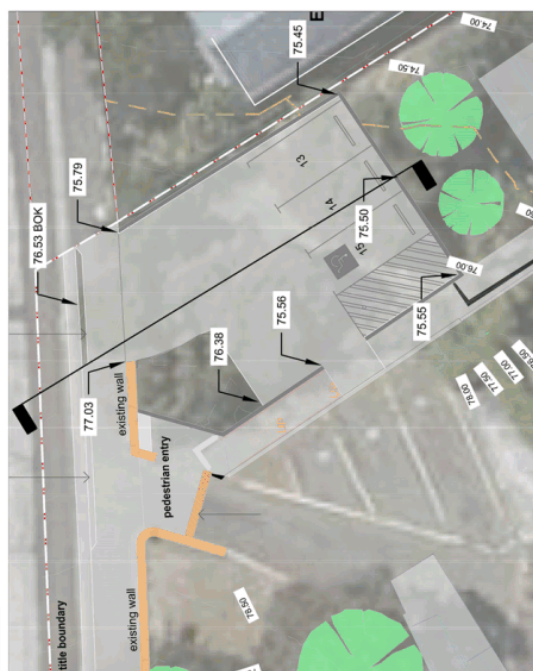


588

| | |
|-------------------|--------|
| Width | mm |
| Track | : 1870 |
| Lock to Lock Time | : 1770 |
| Steering Angle | : 6.0 |
| | : 34.1 |

GENERAL NOTES

1. LONG SECTION GENERATED THROUGH STEEPEST PART OF APRON TRANSITION. TSD-R03-07-1.
2. DESIGN EXCEEDS THE MINIMUM GRADE STANDARDS AND COMPLIES WITH TSD-R03-07-1.
3. FINAL FINISHED SURFACE LEVELS TO BE DETERMINED DURING DETAILED DESIGN.
4. FINISHED SURFACE LEVELS AT STAIRS AND RAMPS DICTATED BY FFL OF BUILDING AND DDA COMPLIANT GRADES.
5. DO NOT OBTAIN DIMENSIONS BY SCALING FROM THE DRAWINGS, UNLESS OTHERWISE NOTED.
6. ALL DETAIL DIMENSIONS ARE IN MILLIMETRES.
7. ALL CONTOURS ARE IN METRES.



DESIGN FSL SPOT HEIGHTS

| | | | | |
|--|------------------|-------|--|----------|
|  <p>Sustainable Engineering Small team, big outcomes</p> | Client | | X-SQUARED ARCHITECTS | |
| | Project | | 11 SWAN STREET - PEACOCK CENTRE' REDEVELOPMENT | |
| | Title | | CARPARK 2 ACCESS GRADE COMPLIANCE | |
| | Drawings Number | | 11SWANPCC-SET-108 | |
| | Revision | | B ISSUED 18/05/20 | |
| <p>Conditions of sale</p> <p>This document may only be used by SCL to S. Client. It is not to be used for any other purpose. If you use this document for the purposes for which it was prepared and must not be used by any other person or for any other purpose.</p> | | | | |
| B | Response to RF 2 | SI | BD | 18/05/20 |
| A | Response to RF 1 | SI | BD | 18/05/20 |
| | No Revision | Drawn | Authorised | Date |
| <p>DIAL BEFORE YOU DIG www.1100.com.au</p> | | | | |



Attachment B

Preliminary Stormwater Report



Sustainable Engineering

Small team, big outcomes

*11 Swan Street – ‘Peacock Centre’
Redevelopment*

Preliminary Stormwater Assessment

Document Approval and Issue Notice

The 11 Swan Street Preliminary Stormwater Assessment is a controlled document. Recipients should remove superseded versions from circulation. This document is authorised for issue once it has been approved.

PREPARED:

(for release) Sustainable Engineering Tas P/L

Date: 27 /04/2020

Build Status:

| Version | Date | Author | Reason | Sections |
|---------|------------|----------------|-------------------|----------|
| 1.0 | 27/04/2020 | SETas – S.Lane | Preliminary draft | |
| | | | | |
| | | | | |
| | | | | |

Distribution:

| Copy No | Version | Issue Date | Issued To |
|---------|---------|------------|---------------------|
| 1 | 1.0 | 27/04/2020 | COVA – Simon Little |
| | | | |
| | | | |

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3. Pre-development flows 4

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6. Internal Pipe Flows and Capacity 8

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1. Introduction

SeTas has been engaged by X Squared Architects (via COVA) to provide a preliminary assessment on the likely compliance of the proposed development at 11 Swan Street, North Hobart against the E7.0 stormwater code compliance clauses of the HIPS.

This report does not represent an exhaustive analysis of the development proposal but does demonstrate the changes in flow regime and quantum required to address the Code E7.0 requirements of RFI 1 from Hobart City Council.

2. Design Standards and Legislation

Relevant design standards:

- Australian Rainfall and Runoff, A guide to Flood Estimation – 1998 (AR&R)
- Bureau of Meteorology (BOM) website IFD data for Hobart

Relevant legislation:

- Hobart Interim Planning Scheme 2015 - E7.0 Stormwater Management Code
- State Stormwater Strategy 2010
- Urban Drainage Act 2013

The Urban Drainage Act of 2013 (the Act) replaces the Drains Act of 1954 and provides for the management of urban drainage, stormwater systems and infrastructure in Tasmania.

It expands on the traditional view of stormwater management as solely concerned with the collection and removal of runoff to minimise urban flooding to also be sustainable and environmentally responsible. This means that stormwater will be considered in the context of catchment management, ecosystem health, safety and social amenity.

To achieve this, the Act clearly establishes that the responsibility of urban drainage lies with the relevant council. They are required to develop a SSMP which gives a clear strategy for the delivery of stormwater services, flood risk identification, asset management and other matters.

3. Pre-development flows

Calculations were undertaken in order to estimate the amount of storage required within the site so that post-development flow was limited to pre-development flow in a 5% AEP event at the time of concentration of the site. Details of these calculations are summarised as follows.

The Rational Method, as recommended by Australian Rainfall and Runoff (AR&R) was used to calculate pre and post development flows for the site. Intensity-Frequency-Duration (IFD) data was obtained from the BOM website for the subdivision location.

Tc IFD - Pre D

Copyright Commonwealth of Australia 2016 Bureau of Meteorology (ABN 92 637 533 532)

IFD Design Rainfall Intensity (mm/h)

Issued: 27-Apr-20

Location Label:

Requested coor: Latitude -42.872709 Longitude 147.312938

Nearest grid cell: Latitude 42.8625 (S) Longitude 147.3125 (E)

| Duration | Duration in min | Annual Exceedance Probability (AEP) | | | | | | |
|----------|-----------------|-------------------------------------|-------|-------|-------|-------|-------|------|
| | | 63.20% | 50% | 20% | 10% | 5% | 2% | 1% |
| 1 min | 1 | 61.3 | 69.6 | 97.6 | 118 | 140 | 171 | 196 |
| 2 min | 2 | 52.8 | 59.5 | 81.1 | 96.1 | 111 | 130 | 145 |
| 3 min | 3 | 46.7 | 52.7 | 72.3 | 86.2 | 100 | 118 | 133 |
| 4 min | 4 | 42.1 | 47.6 | 65.9 | 78.9 | 92.3 | 110 | 125 |
| 5 min | 5 | 38.4 | 43.6 | 60.7 | 73.1 | 85.9 | 104 | 118 |
| 10 min | 10 | 27.8 | 31.6 | 44.6 | 54.3 | 64.6 | 79.4 | 91.9 |
| 15 min | 15 | 22.5 | 25.6 | 36.2 | 44.1 | 52.4 | 64.7 | 74.9 |
| 20 min | 20 | 19.3 | 21.9 | 30.8 | 37.5 | 44.6 | 54.9 | 63.5 |
| 25 min | 25 | 17 | 19.4 | 27.2 | 33 | 39.1 | 47.9 | 55.3 |
| 30 min | 30 | 15.4 | 17.5 | 24.5 | 29.7 | 35.1 | 42.8 | 49.2 |
| 45 min | 45 | 12.3 | 14 | 19.4 | 23.3 | 27.4 | 33 | 37.6 |
| 1 hour | 60 | 10.5 | 11.9 | 16.5 | 19.7 | 23 | 27.5 | 31.1 |
| 1.5 hour | 90 | 8.45 | 9.57 | 13.1 | 15.6 | 18.1 | 21.4 | 24 |
| 2 hour | 120 | 7.25 | 8.22 | 11.3 | 13.3 | 15.4 | 18.1 | 20.2 |
| 3 hour | 180 | 5.86 | 6.65 | 9.12 | 10.8 | 12.4 | 14.5 | 16 |
| 4.5 hour | 270 | 4.73 | 5.39 | 7.42 | 8.76 | 10.1 | 11.7 | 13 |
| 6 hour | 360 | 4.05 | 4.63 | 6.41 | 7.59 | 8.71 | 10.2 | 11.3 |
| 9 hour | 540 | 3.24 | 3.72 | 5.2 | 6.18 | 7.13 | 8.4 | 9.37 |
| 12 hour | 720 | 2.74 | 3.15 | 4.45 | 5.31 | 6.15 | 7.29 | 8.17 |
| 18 hour | 1080 | 2.13 | 2.46 | 3.51 | 4.23 | 4.93 | 5.9 | 6.66 |
| 24 hour | 1440 | 1.76 | 2.04 | 2.92 | 3.54 | 4.15 | 5 | 5.66 |
| 30 hour | 1800 | 1.5 | 1.74 | 2.51 | 3.05 | 3.59 | 4.34 | 4.93 |
| 36 hour | 2160 | 1.32 | 1.52 | 2.2 | 2.68 | 3.17 | 3.83 | 4.36 |
| 48 hour | 2880 | 1.06 | 1.22 | 1.77 | 2.16 | 2.55 | 3.09 | 3.53 |
| 72 hour | 4320 | 0.761 | 0.878 | 1.26 | 1.54 | 1.83 | 2.2 | 2.51 |
| 96 hour | 5760 | 0.598 | 0.688 | 0.983 | 1.19 | 1.41 | 1.69 | 1.92 |
| 120 hour | 7200 | 0.495 | 0.569 | 0.806 | 0.973 | 1.14 | 1.37 | 1.54 |
| 144 hour | 8640 | 0.425 | 0.487 | 0.685 | 0.823 | 0.96 | 1.14 | 1.29 |
| 168 hour | 10080 | 0.375 | 0.429 | 0.599 | 0.715 | 0.829 | 0.983 | 1.1 |

C:\Users\SETas Sam Lane\OneDrive\Documents\JOB FILES\Peacock Centre\Peacock Stormwater Flow.xls

27/04/2020 9:40 AM

Figure 1 – IFD data

A runoff coefficient for a 1 hour duration, 10 year ARI event (C10) pre-development flow, based on a fraction impervious of 46.75% was obtained from Figure 1.13 of AR&R and calculated at 0.47.

A frequency conversion factor of 1.05 was applied to convert to the 5% AEP event. This yielded a pre-development flow of 0.0505m³/s. See figure 2 below for calculation summary.

11 Swan street 'Peacock Centre'
Pre Development Flows

TC Calculation

| | | | | |
|---------------------------|----------|-----------------|------|----------------|
| $A_{\text{CATCHMENT}} =$ | 0.00425 | Km ² | 4248 | m ² |
| $S_x =$ | | m/Km | | |
| $L =$ | | Km | | |
| $t_c =$ | 5.00 | mins | | |
| $A_{\text{IMPERVIOUS}} =$ | 0.001986 | Km ² | 1986 | m ² |

Runoff Coefficient

| | |
|-----------------------|-------------------------|
| Fraction impervious = | 46.75% |
| $C_{1,10} =$ | 0.1 Refer ARR Book VIII |
| $C_{10} =$ | 0.47 |

Frequency Conversion Factors

| | | | | | | | | | | |
|---------------|-----|------|------|----|------|-----|------|------|-----|------|
| ARI (years) | 1 | 2 | 5 | 10 | 20 | 40 | 60 | 80 | 100 | 50 |
| Factor, F_y | 0.8 | 0.85 | 0.95 | 1 | 1.05 | 1.2 | 1.17 | 1.19 | 1.2 | 1.15 |

Tc = 5 minutes

Peak Flows For Site For Given AEP

| (AEP) % | $I_{tc,y}$ (mm/h) ** | Flow (m ³ /s) |
|---------|-------------------------|--------------------------|
| 63.2 | 38.40 | 0.02257 |
| 50 | 43.60 | 0.02563 |
| 20 | 60.70 | 0.03568 |
| 10 | 73.10 | 0.04297 |
| 5 | 85.90 | 0.05049 |
| 2 | 104.00 | 0.06113 |
| 1 | 118.00 | 0.06936 |

Figure 2 – Pre development flows

4. Post-development flows

The same principals were applied to obtain the post-development flows for the development. The estimated total hardstand area of 2047m² equated to a total of 48.19% of impervious area of the site. Using the rational method as per above, post development flow was calculated at 0.0517m³/s for the 5% AEP event. A minimum time of concentration of the site was applied as 5 minutes.

11 Swan Street 'Peacock Centre'
Post Development Flows

TC Calculation

| | | | | |
|---------------------------|----------|-----------------|------|----|
| $A_{\text{CATCHMENT}} =$ | 0.00425 | Km ² | 4248 | m2 |
| $S_x =$ | | m/Km | | |
| $L =$ | | Km | | |
| $t_c =$ | 5.00 | mins | | |
| $A_{\text{IMPERVIOUS}} =$ | 0.002047 | Km2 | 2047 | m2 |

Runoff Coefficient

| | | |
|-----------------------|--------|---------------------|
| Fraction impervious = | 48.19% | |
| $C_{1,10} =$ | 0.1 | Refer ARR Book VIII |
| $C_{10} =$ | 0.49 | |

Frequency Conversion Factors

| ARI (years) | 1 | 2 | 5 | 10 | 20 | 40 | 60 | 80 | 100 | 50 |
|---------------|-----|------|------|----|------|-----|------|------|-----|------|
| Factor, F_y | 0.8 | 0.85 | 0.95 | 1 | 1.05 | 1.2 | 1.17 | 1.19 | 1.2 | 1.15 |

Tc = 5 minutes

Peak Flows For Site For Given AEP

| (AEP) % | $I_{tc,y}$ (mm/h) ** | Flow (m ³ /s) |
|---------|-------------------------|--------------------------|
| 63.2 | 38.40 | 0.02312 |
| 50 | 43.60 | 0.02625 |
| 20 | 60.70 | 0.03654 |
| 10 | 73.10 | 0.04401 |
| 5 | 85.90 | 0.05171 |
| 2 | 104.00 | 0.06261 |
| 1 | 118.00 | 0.07104 |

Figure 3 – Post development flows

5. Detention Storage

Calculations were undertaken in order to estimate the amount of storage required within the development site so that post-development flow was limited to pre-development flow in a 5% AEP event at the time of concentration of the site. Details of these calculations are summarised as follows.

Boyd's formula was used to determine the total detention required to restrict post-development flow to pre-development flow for the 5% AEP event for the 0.42 ha developed site. An additional 30% was applied to the intensity data to allow for climate change loading. The critical storm duration is the storm duration in which the maximum amount of storage is required so that peak Inflow is restricted to peak outflow (i.e. the pre-development flow).

This critical storm duration was thus shown to be approximately 4 minutes. Based on this, 5.2m3 of detention storage was required at critical storm duration of 4 minutes.

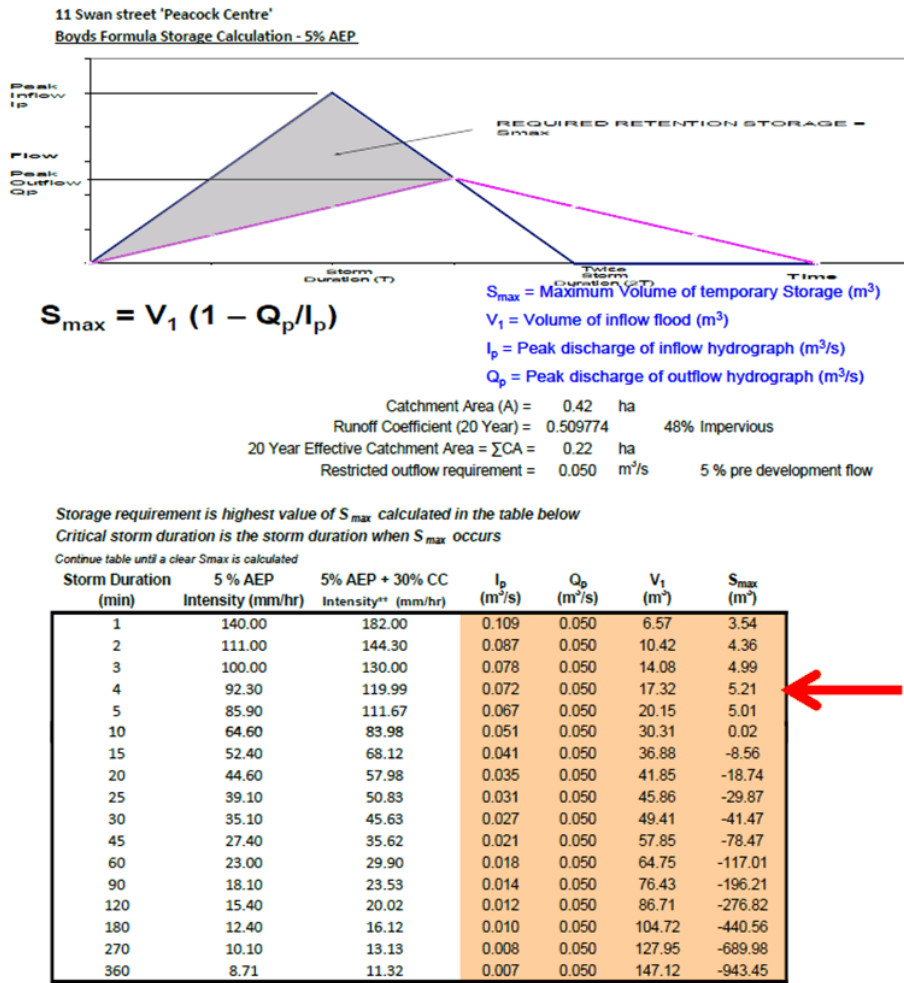


Figure 4 – Detention volume calculations

6. Internal Pipe Flows and Capacity

Estimated pipe flows and pipe capacity were calculated for the two stormwater networks as demonstrated in the Stormwater Preliminary layout drawings. A summary of the estimated pipe inflow (using the rational method) and the capacity of the pipe using AutoCAD extension software Hydraflow Express is shown in Figure 5 below. Due to the site slope and the use of DN300 pipes, it can be seen that there is ample capacity of the pipe network to carry the estimated flows from the site.

Network 1

| Pipe Size | Pipe Length | Inlet/ outlet level diff | Pipe Grade | Catchme nt Area (km2) | Pipe Flow | Pipe Capacity |
|-----------|-------------|--------------------------------|------------|-----------------------------|-----------|------------------|
| 0.3 | 6.38 | 1 | 15.67% | 0.00056 | 0.01039 | 0.4 |
| 0.3 | 13.68 | 1.5 | 10.96% | 0.00058 | 0.02000 | 0.34 |
| 0.3 | 26.2 | 2 | 7.63% | 0.00065 | 0.03206 | 0.284 |
| 0.15 | 15.5 | 2 | 12.90% | 0.00023 | 0.00381 | 0.076 |
| 0.3 | 45.5 | 7.5 | 16.48% | 0.00072 | 0.03912 | 0.419 |

Network 2

| Pipe Size | Pipe Length | Inlet/ outlet level diff | Pipe Grade | Catchme nt Area (km2) | Pipe Flow | Pipe Capacity |
|-----------|-------------|--------------------------------|------------|-----------------------------|-----------|------------------|
| 0.15 | 15.9 | 1 | 6.29% | 0.00023 | 0.00519 | 0.053 |
| 0.15 | 15.2 | 1 | 6.58% | 0.00029 | 0.00654 | 0.054 |
| 0.225 | 23.8 | 5 | 21.01% | 0.00073 | 0.01503 | 0.16 |

Figure 5 – Pipe flow and pipe capacity

Figure 6 below shows the capacity of the kerb inlets. This was calculated at 0.010m³/s. The total flow of network 1 and network 2 were calculated at 0.039m³/s and 0.015m³/s respectively. Due to the substantial amount of capacity in the outlet pipes, they would behave as detention storage as flows in excess of 0.01m³/s would be held in the pipe as storage with the kerb outlet behaving as a low flow outlet.

To that end, it is proposed that the DN300 pipe reaches that collect water from Carpark 1 and 2 will provide storage in conjunction with the DN1500 chamber at the SE of the site that exceeds the required 5.21m³.

A check of the footpath crossing and gutter connection indicates that a single kerb outlet does not have sufficient capacity to cater for the site flows. The current proposal has site flows separated with roof water discharging through the existing kerb connection (upgraded) near the access steps and the carpark and some internal pathway drainage through the existing kerb connection (also upgraded) at the bottom SE corner of the site.

It is acknowledged that standard practice is for Council to provide a single branch or point of connection, however in this instance due to the size of the site and lack of reticulated infrastructure in close proximity to the point of discharge, dissipation of flows across a longer length of kerb is recommended for the following reasons:

- Single point flows for such a large site are likely to result in flows being pushed outside the acceptable gutter flow widths even with the energy dissipation provided by the drop chambers under the retaining walls;
- Reducing the point discharge will assist in keeping the gutter flow width to an acceptable offset from the kerb.

Note: survey capture of the road profile is required to fully assess the impacts on gutter flow with and ultimate capacity.

Channel Report

Hydraflow Express Extension for Autodesk® Civil 3D® by Autodesk, Inc.

Monday, Apr 27 2020

RHS Kerb Outlet**Rectangular**

Bottom Width (m) = 0.1500
Total Depth (m) = 0.0750

Invert Elev (m) = 1.0000
Slope (%) = 1.0000
N-Value = 0.012

Calculations

Compute by: Q vs Depth
No. Increments = 10

Highlighted

Depth (m) = 0.0750
Q (cms) = 0.010
Area (sqm) = 0.0113
Velocity (m/s) = 0.9330
Wetted Perim (m) = 0.3000
Crit Depth, Yc (m) = 0.0750
Top Width (m) = 0.1500
EGL (m) = 0.1194

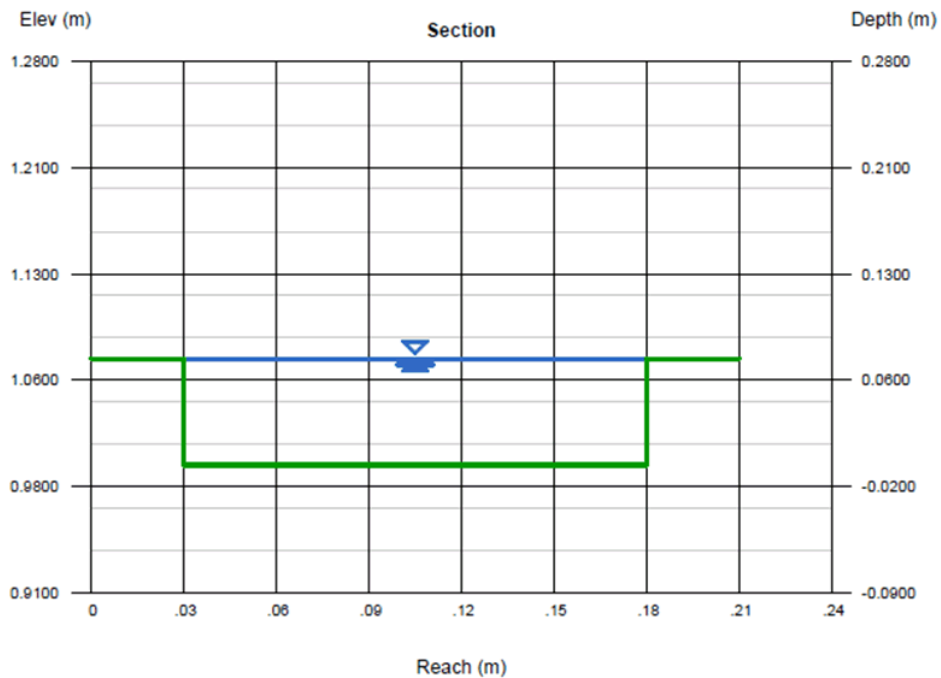


Figure 6 – Capacity kerb outlets

7. 100 year ARI overland flow paths

The topography of the site and hard features direct flows to the Swan Street frontage where flows can pass unimpeded over the boundary wall where they are immediately captured by the kerb and gutter system.

Given there are no inlet pits or reticulated infrastructure in Swan Street until the intersection, the conveyance of flood flows will be solely reliant on the capacity of the road corridor. A detailed assessment of the roadway capacity does not form part of the scope of this report.

8. Conclusion

The proposed network provides the required hydraulic capacity and detention storage to address the Code criteria. It is noted that once a final engineering designs completed for the development that refined hydraulic calculations and detention storage provisions will be undertaken.