



CITY OF HOBART

AGENDA

City Planning Committee Meeting

Open Portion

Monday, 15 June 2020

at 5:00 pm

SUPPLEMENTARY ITEMS

ORDER OF BUSINESS

COMMITTEE ACTING AS PLANNING AUTHORITY 3

APPLICATIONS UNDER THE HOBART INTERIM PLANNING SCHEME 2015

- 12 283-287 Liverpool Street, Hobart - Demolition and New Building for
25 Multiple Dwellings 4
- 13 29 Aberdeen Street, Glebe, 2 Davies Avenue, Hobart - Change of
Use to Visitor Accommodation..... 160

This meeting of the City Planning Committee is held in accordance with a Notice issued by the Premier on 3 April 2020 under section 18 of the *COVID-19 Disease Emergency (Miscellaneous Provisions) Act 2020*.

The General Manager reports:

“That in accordance with the provisions of Part 2 Regulation 8(6) of the *Local Government (Meeting Procedures) Regulations 2015*, these supplementary matters are submitted for the consideration of the Committee.

Pursuant to Regulation 8(6), I report that:

- (a) information in relation to the matter was provided subsequent to the distribution of the agenda;
- (b) the matter is regarded as urgent; and
- (c) advice is provided pursuant to Section 65 of the Act.”

COMMITTEE ACTING AS PLANNING AUTHORITY

In accordance with the provisions of Part 2 Regulation 25 of the Local Government (Meeting Procedures) Regulations 2015, the intention of the Committee to act as a planning authority pursuant to the Land Use Planning and Approvals Act 1993 is to be noted.

In accordance with Regulation 25, the Committee will act as a planning authority in respect to those matters appearing under this heading on the agenda, inclusive of any supplementary items.

The Committee is reminded that in order to comply with Regulation 25(2), the General Manager is to ensure that the reasons for a decision by a Council or Council Committee acting as a planning authority are recorded in the minutes.

**12 283-287 LIVERPOOL STREET, HOBART - DEMOLITION AND NEW BUILDING FOR 25 MULTIPLE DWELLINGS
PLN-20-191 - FILE REF: F20/58904**

Address: 283-287 Liverpool Street, Hobart
Proposal: Demolition and New Building for 25 Multiple Dwellings
Expiry Date: 23 June 2020
Extension of Time: Not applicable
Author: Helen Ayers

RECOMMENDATION

That pursuant to the *Hobart Interim Planning Scheme 2015*, the Council approve the application for demolition and new building for 25 multiple dwellings at 283-287 Liverpool Street, Hobart for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

GEN

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-20-191 - 283-287 LIVERPOOL STREET HOBART TAS 7000 - Final Planning Documents, except where modified below.

Reason for condition

To clarify the scope of the permit.

TW

The use and/or development must comply with the requirements of TasWater as detailed in the form Submission to Planning Authority Notice, Reference No. TWDA 2020/00418-HCC dated 16/04/2020 as attached to the permit.

Reason for condition

To clarify the scope of the permit.

PLN 15

A demolition waste management plan must be implemented throughout demolition.

A demolition waste management plan must be submitted and approved, prior to commencement of work on the site. The demolition waste management plan must include provisions for the handling, transport and disposal of demolition material, including any contaminated waste and recycling opportunities, to satisfy the above requirement.

All work required by this condition must be undertaken in accordance with the approved demolition waste management plan.

Advice:

Once the demolition waste management plan has been approved, the Council will issue a condition endorsement (see general advice on how to obtain condition endorsement).

Where building approval is also required, it is recommended that documentation for condition endorsement be submitted well before submitting documentation for building approval. Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.

It is recommended that the developer liaise with the Council's Cleansing and Solid Waste Unit regarding reducing, reusing and recycling materials associated with demolition on the site to minimise solid waste being directed to landfill. Further information can also be found on the Council's [website](#).

Reason for condition

To ensure that solid waste management from the site meets the Council's requirements and standards.

PLN 1

All screening as shown on the approved plans must be installed with a uniform transparency between 50% and 25% prior to first occupation. The screening must be maintained.

Reason for condition

To provide reasonable opportunity for privacy for dwellings.

PLN 4

Planter boxes as shown on the approved plans must be retained in the final building design.

Landscaping which is visible above the top of the planter box walls must be installed in the planter boxes prior to first occupation of the dwellings, and maintained for the life of the use of the building.

Prior to the completion of the building, an automated watering system must be installed for all planter boxes and maintained for the life of the use of the building.

All work required by this condition must be undertaken in accordance with the approved revised plans.

Reason for condition

To ensure that the scale of the building is compatible with nearby buildings.

PLN 17

Illumination must be provided to the entry ramp for the carpark such that the entry ramp is not dark when people and vehicles enter it from the street or from the carpark. This illumination should be designed and baffled such that it does not cause a nuisance outside the property, operating in accordance with Australian Standard AS4282- Control of the obtrusive effects of outdoor lighting.

Reason for condition

To ensure that the potential entrapment space created by the carpark ramp and doors is sufficiently illuminated to minimise the risk of antisocial behaviour in the location.

PLN 5

A landscape plan must be prepared for the soft and hard landscaping of the site, by a suitably qualified landscape architect.

Prior to the issue of any approval under the Building Act 2016 (excluding

for demolition, excavation and works up to the ground floor slab), a revised landscape plan must be submitted and approved to the satisfaction of the Director City Planning in accordance with the above requirement.

All landscaping features (including any proposed plants and hard landscaping) must be installed in accordance with the approved Landscaping Plan to the satisfaction of the Council's Director City Planning prior to commencement of use.

The landscaping must be maintained, and replacement plants and hard landscaping must be planted in accordance with the approved Landscaping Plan if any is lost.

Confirmation by the person who prepared the landscaping plan that the landscaping has been completed in accordance with the approved landscaping plan must be submitted to the Council to the satisfaction of the

Director City Planning, prior to commencement of use. Once this has been received, and all plants and hard landscaping shown on the approved Landscaping Plan have been planted in accordance with the approved plan to the satisfaction of the Council's Director City Planning, the Council will issue a statement confirming satisfactory planting of all trees and landscaping.

Advice:

Any increase to the area of the 'deep planting zone' at the rear of the property that can be achieved through alterations to the footprint of the ground floor, without compromising the building function and structure, is encouraged to increase the viability of the space for larger plantings.

Protection of the root area of vegetation on adjacent properties is encouraged wherever possible.

Additional landscaping in front of the building in Liverpool Street is encouraged where it does not compromise vehicle and pedestrian safety.

Reason for condition

To preserve the amenity of the space and to ensure that the scale of the building is compatible with nearby buildings, and that the plantings proposed are appropriate to assist with this.

PLN s1

The palette of exterior colours and materials must be provided.

The palette of exterior colours, materials and finishes must reflect the palette of colours, materials and finishes within the local streetscape.

Prior to the issue of any approval under the *Building Act 2016* (excluding for demolition, excavation and works up to the ground floor slab), revised plans, and montages and samples where appropriate, must be submitted and approved to the satisfaction of the Director City Planning showing exterior colours and materials in accordance with the above requirement.

All work required by this condition must be undertaken in accordance with the approved revised plans, montages and samples.

Advice:

In keeping with the submitted heritage assessment, it is considered that successful integration of the proposal into the Liverpool Street Streetscape would benefit from a more detailed consideration of the choice of materials, textures and colours together with the manner in which they are integrated and articulated throughout the fenestration.

Consideration should be given to using colours, materials and textures that further 'soften' the building's appearance in order to better reinforce the transition and integration of the development into the surrounding area and not unreasonably detract from the adjacent heritage buildings. A diversity of colours and textures is encouraged and stark white and black colours are to be avoided in favour of softer more muted tones.

Consideration be given to the detailed design of the fence enclosing the courtyard of Unit 0.01 so that it is more in keeping with the residential nature of the development.

Reason for condition

To provide greater integration and compatibility of the building design with the streetscape, townscape and heritage values of the surrounding area.

PLN s4

Prior to the commencement of works (other than demolition), plans demonstrating the removal of the potential entrapment spaces at either side of the Liverpool Street frontage must be submitted to and approved by Council's Director City Planning.

Prior to the issue of any approval under the *Building Act 2016*, revised plans must be submitted and approved showing:

- 1. Either a screen wall or fence on the north eastern corner of the building which provides an anchor point for the existing gate at the side of 281 Liverpool Street, to prevent unauthorised access between the two buildings.**
- 2. Relocation of the Fire Door and Stair in the fire escape to the south western side of the building. The door should be moved as close to the street front boundary as is possible, with the stair relocated to inside the Fire Escape Corridor.**

All work required by this condition must be undertaken in accordance with the approved revised plans.

Reason for condition

To remove potential entrapment spaces from around the building to improve the safety of the site.

ENG 12

A construction waste management plan must be implemented throughout construction.

A construction waste management plan must be submitted and approved, prior to commencement of work on the site. The construction waste management plan must include:

- Provisions for commercial waste services for the handling, storage, transport and disposal of post-construction solid waste and recycle bins from the development; and**
- Provisions for the handling, transport and disposal of demolition material, including any contaminated waste and recycling opportunities, to satisfy the above requirement.**

All work required by this condition must be undertaken in accordance with the approved construction waste management plan.

Advice:

Once the construction waste management plan has been approved, the Council will issue a condition endorsement (see general advice on how to obtain condition endorsement).

Where building approval is also required, it is recommended that documentation for condition endorsement be submitted well before submitting documentation for building approval. Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.

It is recommended that the developer liaise with the Council's Cleansing and Solid Waste Unit regarding reducing, reusing and recycling materials associated with demolition on the site to minimise solid waste being directed to landfill. Further information can also be found on the Council's [website](#).

Reason for condition

To ensure that solid waste management from the site meets the Council's requirements and standards.

ENG sw1

All stormwater from the proposed development (including but not limited to: roofed areas, gully drains, retaining wall gully drains and impervious surfaces such as driveways and paved areas) must be drained to the Council's stormwater infrastructure prior to first occupation or commencement of use (whichever occurs first).

Advice:

Under section 23 of the Urban Drainage Act 2013 it is an offence for a property owner to direct stormwater onto a neighbouring property.

Reason for condition

To ensure that stormwater from the site will be discharged to a suitable Council approved outlet.

ENG sw4

The new stormwater connection must be constructed and existing abandoned connections sealed by the Council at the owner's expense, prior to the first occupation.

Detailed engineering drawings must be submitted and approved, prior to the issuing of any approval under the *Building Act 2016* or commencement of works (which ever occurs first). The detailed engineering drawings must include:

- 1. The location of the proposed connections and all existing connections;**
- 2. The size and design of the connection such that it is appropriate to safely service the development;**
- 3. Long-sections of the proposed connection clearly showing clearances from any nearby services, cover, size, material and delineation of public and private infrastructure. Connections must be free-flowing gravity.**

All work required by this condition must be undertaken in accordance with the approved detailed engineering drawings.

Advice:

The applicant is advised to submit detailed design drawings via a Council City Amenity Division [application for a new stormwater connection](#). If detailed design to satisfy this condition is submitted via the planning condition endorsement process there may be fees associated with the assessment, and once approved the applicant will still need to submit an application for a new stormwater connection with Council City Amenity Division.

Where building / plumbing approval is also required, it is recommended that documentation to satisfy this condition is submitted well before submitting documentation for building/plumbing approval. Failure to address planning condition requirements prior to submitting for building/plumbing approval may result in unexpected delays.

Reason for condition

To ensure the site is drained adequately.

ENG sw7

Stormwater pre- treatment for stormwater discharges from the development must be installed prior to issue of a Certificate of Completion.

A stormwater management report and design must be submitted and approved, prior to the issuing of any approval under the *Building Act 2016* or commencement of works (which ever occurs first). The stormwater management report and design must:

- 1. be prepared by a suitably qualified engineer;**
- 2. include detailed design of the proposed treatment train, including final estimations of contaminant removal; and**
- 3. include a maintenance plan**

All work required by this condition must be undertaken and maintained in accordance with the approved stormwater management report and design.

Advice:

Once the stormwater management report and design has been approved Council will issue a condition endorsement (see general advice on how to obtain condition endorsement).

Where building approval is also required, it is recommended that documentation for condition endorsement be submitted well before submitting documentation for building approval. Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.

Reason for condition

To avoid the possible pollution of drainage systems and natural watercourses, and to comply with relevant State legislation.

ENG tr2

A construction traffic and parking management plan must be implemented prior to the commencement of work on the site (including demolition).

The construction traffic (including cars, public transport vehicles, service vehicles, pedestrians and cyclists) and parking management plan must be submitted and approved, prior to commencement work (including

demolition). The construction traffic and parking management plan must:

- 1. Be prepared by a suitably qualified person.**
- 2. Develop a communications plan to advise the wider community of the traffic and parking impacts during construction.**
- 3. Include a start date and finish dates of various stages of works.**
- 4. Include times that trucks and other traffic associated with the works will be allowed to operate.**
- 5. Nominate a superintendant, or the like, to advise the Council of the progress of works in relation to the traffic and parking management with regular meetings during the works.**

All work required by this condition must be undertaken in accordance with the approved construction traffic and parking management plan.

Advice:

Once the construction traffic and parking management plan has been approved, the Council will issue a condition endorsement (see general advice on how to obtain condition endorsement).

Where building approval is also required, it is recommended that documentation for condition endorsement be submitted well before submitting documentation for building approval. Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.

Reason for condition

To ensure the safety of vehicles entering and leaving the development and the safety and access around the development site for the general public and adjacent businesses.

ENG 3a

The access driveway, circulation roadways, ramps and parking module (parking spaces, aisles and manoeuvring area) must be designed and constructed in accordance with Australian Standard AS/NZS2890.1:2004 (including the requirement for vehicle safety barriers where required), or a Council approved alternate design certified by a suitably qualified engineer to provide a safe and efficient access, and enable safe, easy and efficient use.

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

ENG 4

The access driveway and parking module (car parking spaces, aisles and manoeuvring area) approved by this permit must be constructed to a sealed standard (spray seal, asphalt, concrete, pavers or equivalent Council approved) and surface drained to the Council's stormwater infrastructure prior to the commencement of use.

Reason for condition

To ensure the safety of users of the access driveway and parking module, and that it does not detract from the amenity of users, adjoining occupiers or the environment by preventing dust, mud and sediment transport.

ENG 8

The use of the car parking spaces is restricted to User Class 1A (residential, domestic and employee parking) in accordance with Australian Standards AS/NZS2890.1 2004 Table 1.1.

Prior to commencement of use:

- **A sign, approved by council, and in accordance with Australian Standards AS/NZS1742.11:2016, must be erected at the entry of the parking access to indicate the parking area is for residents only; and**
- **All parking spaces must be delineated by means of white or yellow lines 80mm to 100mm wide, or white or yellow pavement markers in accordance with Australian Standards AS/NZS 2890.1 2004.**

Reason for condition

In the interests of vehicle user safety and the amenity of the development.

ENG 1

Any damage to council infrastructure resulting from the implementation of this permit, must, at the discretion of the Council:

- 1. Be met by the owner by way of reimbursement (cost of repair and reinstatement to be paid by the owner to the Council); or**
- 2. Be repaired and reinstated by the owner to the satisfaction of the Council.**

A photographic record of the Council's infrastructure adjacent to the subject site must be provided to the Council prior to any commencement of works.

A photographic record of the Council's infrastructure (e.g. existing property service connection points, roads, buildings, stormwater, footpaths, driveway crossovers and nature strips, including if any, pre-existing damage) will be relied upon to establish the extent of damage caused to the Council's infrastructure during construction. In the event that the owner/developer fails to provide to the Council a photographic record of the Council's infrastructure, then any damage to the Council's infrastructure found on completion of works will be deemed to be the responsibility of the owner.

Reason for condition

To ensure that any of the Council's infrastructure and/or site-related service connections affected by the proposal will be altered and/or reinstated at the owner's full cost.

ENG 13

The front fencing and planter along the north-eastern boundary must allow adequate sight distance between user vehicles, cyclists and pedestrians in accordance with Australian/NZ Standard, Parking facilities Part 1: Off-street car parking AS/NZS 2890.1: 2004 Fig 3.3

Reason for condition

To ensure the safety of vehicles entering and leaving the development and of pedestrians and traffic in the vicinity.

ENG r1

The excavation and earth-retaining structures within or supporting the highway reservation must not undermine the stability and integrity of the highway reservation and its infrastructure.

Detailed design drawings, structural certificates and associated geotechnical assessments of the retaining wall supporting the highway reservation must be submitted and approved, prior to the commencement of work and must:

- 1. Be prepared and certified by a suitable qualified person and experienced engineer;**
- 2. Not undermine the stability of the highway reservation**
- 3. Be designed in accordance with AS4678, with a design life in accordance with table 3.1 typical application major public infrastructure works**
- 4. Take into account any additional surcharge loadings as required by relevant Australian Standards.**
- 5. Take into account and reference accordingly any Geotechnical findings**
- 6. Detail any mitigation measures required**

The structure certificated and/or drawings should note accordingly the above requirements.

All work required by this condition must be undertaken in accordance with the approved select design drawing and structural certificates.

Advice:

The applicant is required submit detailed design documentation to satisfy this condition via Council's planning condition endorsement process (noting there is a fee associated with condition endorsement approval of engineering drawings [see general advice on how to obtain condition endorsement and for fees and charges]). This is a separate process to any building approval under the Building Act 2016.

Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.

Reason for condition

To ensure that the stability and integrity of the Council's highway reservation is not compromised by the development.

ENG r3

Prior to the commencement of use, the proposed driveway crossover and removal of redundant crossover must be designed and constructed in accordance with:

- **Urban - TSD-R09-v1 – Urban Roads Driveways and TSD R14-v1 Type KC vehicular crossing**
- **Kerb - TSD-R14-v1**
- **Footpath - Urban Roads Footpaths TSD-R11-v1**

Design drawings must be submitted and approved prior to any approval under the Building Act 2016. The design drawing must:

- 1. Show the cross and long section of the driveway crossover within the highway reservation and onto the property**
- 2. Detail any services or infrastructure (ie light poles, pits, awnings) at or near the proposed driveway crossover**
- 3. Be designed for the expected vehicle loadings. A structural certificate to note that driveway is suitable for heavy vehicle loadings.**
- 4. Show swept path templates in accordance with AS/NZS 2890.1 2004(B85 or B99 depending on use, design template)**
- 5. If the design deviates from the requirements of the TSD then the drawings must demonstrate that a B85 vehicle or B99 depending on use (AS/NZS 2890.1 2004, section 2.6.2) can access the driveway from the road pavement into the property without scraping the cars underside**
- 6. Show that the redundant crossover will be removed and reinstated with kerb**
- 7. Be prepared and certified by a suitable qualified person, to satisfy the above requirement.**

All work required by this condition must be undertaken in accordance with the approved drawings.

Advice:

The applicant is required submit detailed design documentation to satisfy this condition via Council's planning condition endorsement process (noting there is a fee associated with condition endorsement approval of engineering drawings [see general advice on how to obtain condition endorsement and for fees and charges]). This is a separate process to any building approval under the Building Act 2016.

Please note that your proposal does not include adjustment of footpath levels. Any adjustment to footpath levels necessary to suit the design of proposed floor, parking module or driveway levels will require separate agreement from Council's Road Services Engineer and may require further planning approvals. It is advised to place a note to this effect on construction drawings for the site and/or other relevant engineering drawings to ensure that contractors are made aware of this requirement.

Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.

Reason for condition

To ensure that works will comply with the Council's standard requirements.

ENV 8

All recommendations in section 6 of the landslide risk assessment report by Geo-Environmental Solutions P/L dated April 2020 and received by the Planning Authority on 1 May 2020 must be implemented including:

- **Protection works for the planned excavations must be installed on the upslope sides of the proposed development prior to carrying out excavation works at the site.**
- **The works must be designed in accordance with the good hillside construction practices as outlined in the Australian Geomechanics Society (AGS) Geoguide LR8.**
- **Further geotechnical testing must be undertaken to define parameters for the design of protection works including soil/rock bearing capacity, lateral earth pressures and friction angles.**
- **The further investigations must also include adequate deep drilling and testing to confirm foundation conditions for the anticipated building loads.**

Reason for condition

To reduce the risk to life and property, and the cost to the community, caused by landslides.

ENV 2

Sediment and erosion control measures, in accordance with an approved soil and water management plan (SWMP), must be installed prior to the commencement of work and maintained until such time as all disturbed areas have been stabilised and/or restored or sealed to the Council's satisfaction.

A SWMP must be submitted prior to the issue of any approval under the *Building Act 2016* or the commencement of work, whichever occurs first. The SWMP must be prepared in accordance with the Soil and Water Management on Building and Construction Sites fact sheets (Derwent Estuary Program, 2008), available [here](#).

All work required by this condition must be undertaken in accordance with the approved SWMP.

Advice:

Once the SWMP has been approved, the Council will issue a condition endorsement (see general advice on how to obtain condition endorsement).

Where building approval is also required, it is recommended that documentation for condition endorsement be submitted well before submitting documentation for building approval. Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.

Reason for condition

To avoid the pollution and sedimentation of roads, drains and natural watercourses that could be caused by erosion and runoff from the development.

HER 9

All construction documentation must contain protocols and recommendations for all contractors working in close proximity to the stone wall along the boundary of 281 Liverpool Street (The Pickled Frog) to be familiar with the heritage values of the heritage listed site and for the need to protect the wall at all costs whilst undertaking the proposed works to upgrade infrastructure.

Prior to the commencement of works (including demolition and excavation), all workers and managers must be briefed on the importance of the cultural

heritage values of the site as part of a site induction. This must be undertaken by a suitably qualified heritage practitioner.

Documents containing protocols for the protection of the wall must be submitted and approved, prior to the issuing of any approval under the Building Act 2016 or commencement of works (which ever occurs first).

Reason for condition

To ensure that there is no loss or damage to the heritage values or fabric of the site.

HER 6

All onsite excavation and disturbance must be monitored in accordance with the Praxis Environment Report dated January 2020. In addition should any features or deposits of an archaeological nature be discovered on the site during excavation or disturbance:

- 1. All excavation and/or disturbance must stop immediately; and**
- 2. A qualified archaeologist must be engaged to attend the site and provide advice and assessment of the features and/or deposits discovered and make recommendations on further excavation and/or disturbance; and**
- 3. All and any recommendations made by the archaeologist engaged in accordance with (2) above must be complied with in full; and**
- 4. All features and/or deposits discovered must be reported to the Council with one (1) day of the discovery; and**
- 5. A copy of the archaeologists advice, assessment and recommendations obtained in accordance with (2) above must be provided to the Council within 30 days of receipt of the advice, assessment and recommendations.**

Excavation and/or disturbance must not recommence unless and until approval is granted from the Council.

Reason for condition

To ensure that work is planned and implemented in a manner that seeks to understand, retain, protect, preserve and manage significant archaeological evidence.

ENVHE 1

Recommendations in the report *Environmental Site Assessment 283-287 Liverpool Street*, by GES, dated February 2020, must be implemented, for the duration of the development.

Reason for condition

To ensure that the risk to workers and future users of the site remains low and acceptable.

ENVHE 4

A construction management plan must be implemented throughout the construction works.

A construction management plan must be submitted and approved prior to the issuing of any building permit under the *Building Act 2016*. The plan must include but is not limited to the following:

- 1. Identification and disposal of any potentially contaminated waste and asbestos;**
- 2. Proposed hours of work (including volume and timing of heavy vehicles entering and leaving the site, and works undertaken on site);**
- 3. Proposed hours of construction;**
- 4. Identification of potentially noisy construction phases, such as operation of rock- breakers, explosives or pile drivers, and proposed means to minimise impact on the amenity of neighbouring buildings;**
- 5. Control of dust and emissions during working hours;**
- 6. Proposed screening of the site and vehicular access points during work; and**
- 7. Procedures for washing down vehicles, to prevent soil and debris being carried onto the street.**

All work required by this condition must be undertaken in accordance with the approved construction management plan.

Advice:

Once the construction management plan has been approved the Council will issue a condition endorsement (see general advice on how to obtain condition

endorsement).

Where building approval is also required, it is recommended that documentation for condition endorsement be submitted well before submitting documentation for building approval. Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.

Reason for condition

To ensure minimal impact on the amenity of adjoining properties and members of the public during the construction period.

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

BUILDING PERMIT

You may need building approval in accordance with the *Building Act 2016*. Click [here](#) for more information.

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

PLUMBING PERMIT

You may need plumbing approval in accordance with the *Building Act 2016*, *Building Regulations 2016* and the National Construction Code. Click [here](#) for more information.

OCCUPATION OF THE PUBLIC HIGHWAY

You may require a permit for the occupation of the public highway for construction or special event (e.g. placement of skip bin, crane, scissor lift etc).

Click [here](#) for more information.

You may require a road closure permit for construction or special event. Click [here](#) for more information.

You may require a Permit to Open Up and Temporarily Occupy a Highway (for work in the road reserve). Click [here](#) for more information.

PROTECTION OF PUBLIC INFRASTRUCTURE

You will be required to pay a bond to ensure the protection of public infrastructure during the construction works (please contact the Hobart City Council's City Amenity Division to initiate the process).

NEW SERVICE CONNECTION

Please contact the Hobart City Council's City Amenity Division to initiate the application process for your [new stormwater connection](#).

STORM WATER

Please note that in addition to a building and/or plumbing permit, development must be in accordance with the Hobart City Council's Infrastructure By law. Click [here](#) for more information.

STRUCTURES CLOSE TO COUNCILS' STORMWATER MAIN

The design of structures (including footings) must provide protection for the Council's infrastructure. For information regarding appropriate designs please contact the Council's City Amenity Division. You may need the General Manager's consent under section 13 of the *Urban Drainage Act 2013* and consent under section 73 or 74 of the *Building Act 2016*.

WORK WITHIN THE HIGHWAY RESERVATION

Please note development must be in accordance with the Hobart City Council's Infrastructure By law. Click [here](#) for more information.

CBD AND HIGH VOLUME FOOTPATH CLOSURES

Please note that the City of Hobart does not support the extended closure of public footpaths or roads to facilitate construction on adjacent land.

It is the developer's responsibility to ensure that the proposal as designed can be constructed without reliance on such extended closures.

In special cases, where it can be demonstrated that closure of footpaths in the CBD and/or other high volume footpaths can occur for extended periods without unreasonable impact on other businesses or the general public, such closures may only be approved by the full Council.

For more information about this requirement please contact the Council's Traffic Engineering Unit on 6238 2804.

REDUNDANT CROSSOVERS

Redundant crossovers are required to be reinstated under the Hobart City Council's Infrastructure By law. Click [here](#) for more information.

ACCESS

Designed in accordance with LGAT- IPWEA – Tasmanian standard drawings. Click [here](#) for more information.

CROSS OVER CONSTRUCTION

The construction of the crossover can be undertaken by the Council or by a private contractor, subject to Council approval of the design. Click [here](#) for more information.

STORM WATER / ROADS / ACCESS

Services to be designed and constructed in accordance with the (IPWEA) LGAT – standard drawings. Click [here](#) for more information.

WORK PLACE HEALTH AND SAFETY

Appropriate occupational health and safety measures must be employed during the works to minimise direct human exposure to potentially-contaminated soil, water, dust and vapours. Click [here](#) for more information.

PROTECTING THE ENVIRONMENT

In accordance with the *Environmental Management and Pollution Control Act*

1994, local government has an obligation to "use its best endeavours to prevent or control acts or omissions which cause or are capable of causing pollution." Click [here](#) for more information.

LEVEL 1 ACTIVITIES

The activity conducted at the property is an environmentally relevant activity and a Level 1 Activity as defined under s.3 of the *Environmental Management and Pollution Control Act 1994*. For further information on what your responsibilities are, click [here](#).

NOISE REGULATIONS

Click [here](#) for information with respect to noise nuisances in residential areas.

WASTE DISPOSAL

It is recommended that the developer liaise with the Council's Cleansing and Solid Waste Unit regarding reducing, reusing and recycling materials associated with demolition on the site to minimise solid waste being directed to landfill.

Further information regarding waste disposal can also be found on the Council's [website](#).

FEES AND CHARGES

Click [here](#) for information on the Council's fees and charges.

DIAL BEFORE YOU DIG

Click [here](#) for dial before you dig information.

Attachment A:	PLN-20-191 - 283-287 LIVERPOOL STREET HOBART TAS 7000 - Planning Committee or Delegated Report ↓
Attachment B:	PLN-20-191 - 283-287 LIVERPOOL STREET HOBART TAS 7000 - CPC Agenda Documents ↓
Attachment C:	PLN-20-191 - 283-287 LIVERPOOL STREET HOBART TAS 7000 - Planning Referral Officer Cultural Heritage Report ↓
Attachment D:	PLN-20-191 - 283-287 LIVERPOOL STREET HOBART TAS 7000 - Urban Design Advisory Panel Minutes ↓



APPLICATION UNDER HOBART INTERIM PLANNING SCHEME 2015

Type of Report:	Committee
Council:	22 June 2020
Expiry Date:	23 June 2020
Application No:	PLN-20-191
Address:	283 - 287 LIVERPOOL STREET , HOBART
Applicant:	(Giameous Developments Pty Ltd) C/- All Urban Planning Pty Ltd 19 Mawhera Avenue
Proposal:	Demolition and New Building for 25 Multiple Dwellings
Representations:	Five (5)
Performance criteria:	Central Business Zone Use and Development Standards, Potentially Contaminated Land Code, Landslide Code, Parking and Access Code Stormwater Management Code, Historic Heritage Code

1. Executive Summary

- 1.1 Planning approval is sought for Demolition and New Building for 25 Multiple Dwellings, at 283 to 287 Liverpool Street Hobart.
- 1.2 More specifically the proposal includes:
 - Demolition of existing buildings on site.
 - Construction of a new six storey building containing 25 Multiple dwellings and ground floor car parking for 35 cars.
 - There will be one shared roof garden to the northeast in a courtyard and another wrapping around the eastern corner of the building, both at the fourth level.
 - The building is proposed to have a height of approximately 18.5 metres and a gross floor area of approximately 3930m².
- 1.3 The proposal relies on performance criteria to satisfy the following standards and codes:
 - 1.3.1 Central Business Zone Use Table -Residential Use on the Ground Floor
 - 1.3.2 Central Business Zone Development Standards - Height, Setback, Design, Passive Surveillance, and Fencing
 - 1.3.3 Potentially Contaminated Land Code - Use and Excavation

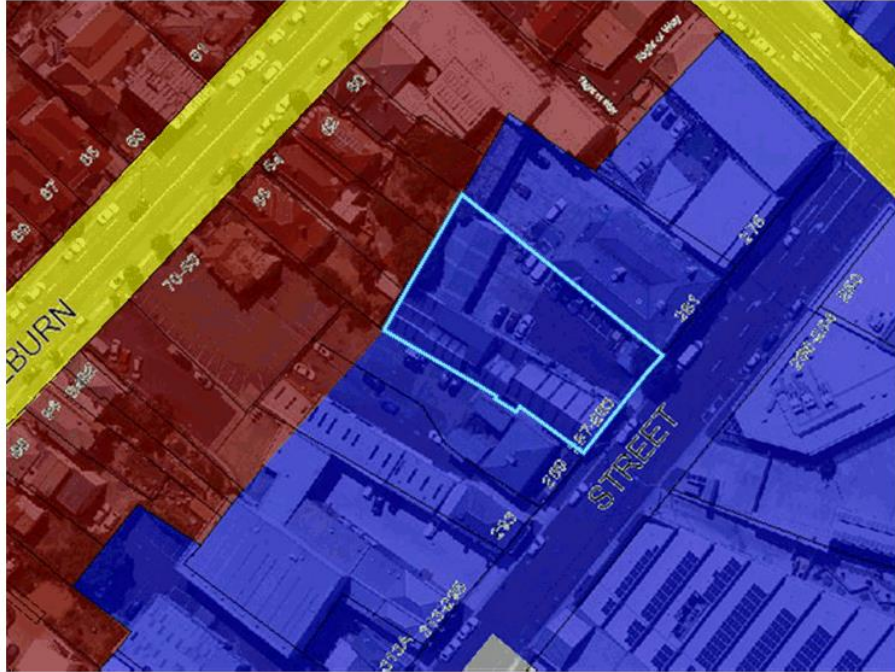
- 1.3.4 Landslide Code - Major Works
 - 1.3.5 Parking and Access Code - Number of Car parking Spaces
 - 1.3.6 Stormwater Management Code - Stormwater Drainage and Disposal
 - 1.3.7 Historic Heritage Code - Archaeological Potential
- 1.4 Four (4) representations objecting to and one (1) representation supporting the proposal were received within the statutory advertising period between 18 May and 1 June 2020.
- 1.5 During the statutory advertising period the proposal was referred to Council's Urban Design Advisory Panel, who considered it at their 26 May 2020 meeting. The Panel were broadly supportive of the proposal.
- 1.6 The proposal is recommended for approval subject to conditions.
- 1.7 The final decision is delegated to the Council.

2. Site Detail

- 2.1 The application site is a single title, located on the north western side of Liverpool Street, south west of the crossroads with Barrack Street.
- 2.2 The application site is zoned Central Business under the Hobart Interim Planning Scheme 2015. The site is within the Fringe Height Area, and it fronts a non-Solar Penetration Priority Street.
- 2.3 The application site is affected by the Potentially Contaminated Land Code, the Landslide Code, the Parking and Access Code, the Stormwater Management Code, the Historic Heritage Code, and the Inundation Prone Areas Code of the Hobart Interim Planning Scheme 2015.
- 2.4 The existing site has been excavated at the rear to be level with the Liverpool Street frontage, and is almost entirely covered in hardstand. There is a motor vehicle service business currently occupying the site, with buildings occupying roughly half of the site along the south western and north western boundaries, and hardstand area for the remainder of the site.
- 2.5 The surrounding area contains a mix of uses, including residential, commercial, shops, visitor accommodation, sport and recreation, offices and cafes.



Figure 1: The location of the application site is highlighted in yellow.



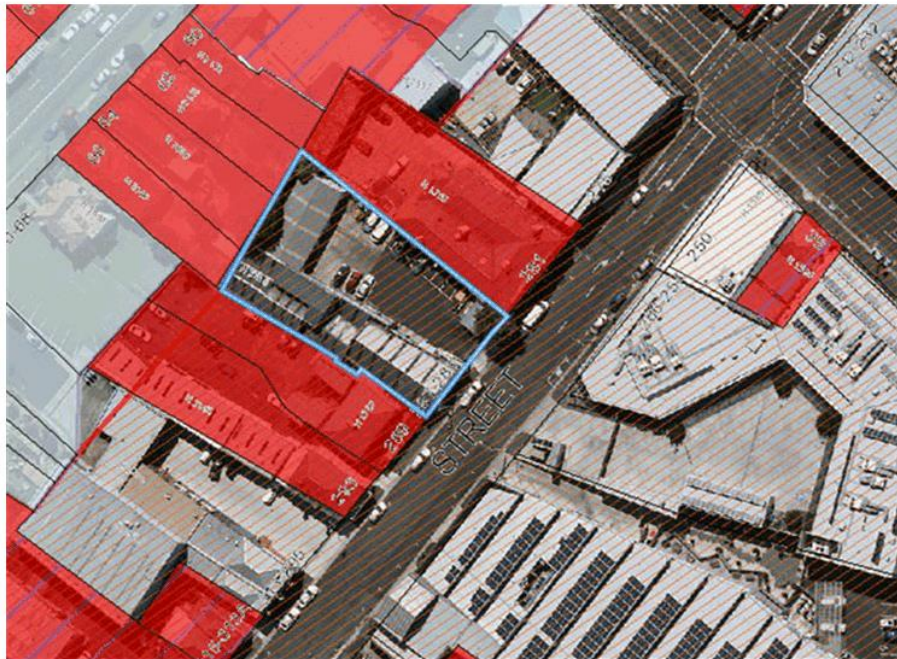


Figure 4: Showing the heritage status of the site and surrounding area. The site is within the area of archaeological potential but is not heritage listed or in a precinct.



Figure 5: Current Google Street View Image of the Application Site Looking north-west on Liverpool Street

3. Proposal

3.1 Planning approval is sought for Demolition and New Building for 25 Multiple Dwellings.

3.2 More specifically the proposal is for:

- Demolition of existing buildings on site.
- Construction of a new six storey building.
- 25 Multiple dwellings within the new building.
- Ground floor car parking for 35 cars, 11 of which are in a jockey location behind other spaces.
- There will be one shared roof garden to the northeast in a courtyard and another wrapping around the eastern corner of the building, both at the fourth level.
- The dwellings range in size from 1 to 4 bedrooms.
- The building is proposed to have a height of approximately 18.5 metres and a gross floor area of approximately 3930m².
- All servicing is to be contained within the building, or on the individual dwelling decks, and there will be no rooftop services on site.
- The proposed building is finished externally with a combination of materials – concrete panels; cement sheet cladding; glass and aluminium balustrades; aluminium screens.



Figure 6: Montage of the proposed new Liverpool Street elevation provided by the applicant

4. Background

- 4.1 The application was referred to the Council's Urban Design Advisory Panel, who considered it at their 26 May 2020 meeting. The Panel were broadly supportive of the proposal, concluding that 'the Panel supports the development application from an urban design perspective, subject to further consideration of landscaping materials, colours and finished at the detailed design stage.' The panel recommended that conditions for landscaping and materials should be included on any permit issued.
- 4.2 The Panel's minutes are provided as an attachment to this report.

5. Concerns raised by representors

- 5.1 Four (4) representations objecting to, and one (1) representation supporting the proposal were received within the statutory advertising period between 18 May and 1 June 2020.
- 5.2 The following table outlines the concerns raised in the representations received. Those concerns which relate to a discretion invoked by the proposal are addressed in Section 6 of this report.

Support
<i>Design:</i>
One representor has offered support for the development, stating that the scale, design and materials are appropriate for the site, and will fit well with the location and its surrounds.
<i>Employment:</i>
One representor has suggested that the employment generated by the proposed works will be a positive thing.
Opposition
<i>Planning Scheme Compliance:</i>
One representor has suggested that it is erroneous for the applicant to rely upon the performance criteria for the zone and has indicated that they should be required to adhere to the acceptable solutions to ensure that the objectives of the zone are satisfied in relation to the residential amenity for adjacent properties.
One representor has suggested that the proposal cannot be assessed against the performance criteria only, and must also be assessed against the acceptable solution for all standards.

<i>Privacy:</i>
Representors are concerned that the height and design of the rear of the building will result in a loss of privacy to adjacent and nearby residences. One representor has suggested that the existing vegetation on adjacent and nearby properties should not be relied upon for screening to assist with privacy concerns, especially as there is the perceived potential for excavation works to compromise the trees.
One representor has indicated that the screens and planters depicted on the proposal plans are not sufficient to protect the privacy and amenity of the rear yards of adjacent and nearby residential properties.
One representor has indicated that vegetation and the open rear yards of adjacent and nearby residential properties should not be relied upon to mitigate the potential for reductions in privacy to these residential properties.
One representor has suggested that they think there should be no opportunity for overlooking into adjacent properties at all, and that any possibility should result in the development being refused.
<i>Height:</i>
Representors are concerned that the height of the proposed building exceeds the Acceptable Solution, and have suggested that this is inappropriate.
One representor is concerned that the proposal is six storeys high, whilst the prevailing surrounding buildings are only two to three storeys high.
<i>Setback:</i>
Representors are concerned that the proposed building does not meet the Acceptable Solution in terms of setback to the adjacent Inner Residential Zone to the rear, and have suggested that this is inappropriate.
<i>Heritage:</i>
Representors are concerned that the development will have a negative impact on the heritage values of the adjacent heritage listed buildings.
Representors are concerned that the development will have a negative impact on the surrounding heritage streetscape, and more broadly on the values that contribute to a sense of place in the Hobart area.

<i>Stormwater:</i>
One representor is concerned that having the building located so close to the rear boundary will result in the inability to adequately drain rain and stormwater from the site such that it doesn't cause a nuisance to adjoining properties.
<i>Neighbourhood Character:</i>
One representor is concerned that there appears to be a shift towards higher density housing in the immediate area, which they suggest is inconsistent with the prevailing neighbourhood character.
One representor has suggested that there may be a shift in which some of the older adjacent and nearby dwellings will have a higher value as car parking than they have currently as residences, due to the change to the neighbourhood character this development and others like it represent.
One representor has suggested that the proposed building, being located so close to the property boundaries, is an over development of the site when considered in the context of the character of the surrounding properties.
<i>Views:</i>
One representor is concerned that the development will result in a loss of their views over the city as they will now have a building in the field of view they currently enjoy.
<i>Property Values:</i>
One representor is concerned that the proposed development will result in a decrease in the values of adjacent and nearby residential properties

6. Assessment

- 6.1 The *Hobart Interim Planning Scheme 2015* is a performance based planning scheme. To meet an applicable standard, a proposal must demonstrate compliance with either an acceptable solution or a performance criterion. Where a proposal complies with a standard by relying on one or more performance criteria, the Council may approve or refuse the proposal on that basis. The ability to approve or refuse the proposal relates only to the performance criteria relied on.
- 6.2 The site is located within the Central Business Zone of the *Hobart Interim Planning*

Scheme 2015.

6.3 The existing use is Motor Vehicle Repairs and Workshop. The proposed use is Residential (Multiple Dwellings). The existing use is a discretionary use in the zone. The proposed use is a discretionary use in the zone.

6.4 The proposal has been assessed against:

6.4.1 Part D - 22.0 Central Business Zone

6.4.2 Part E - E2.0 Potentially Contaminated Land Code

6.4.3 Part E - E3.0 Landslide Code

6.4.4 Part E - E5.0 Road and Railway Assets Code

6.4.5 Part E - E6.0 Parking and Access Code

6.4.6 Part E - E7.0 Stormwater Management Code

6.4.7 Part E - E13.0 Historic Heritage Code

6.4.8 Part E - E15.0 Inundation Prone Areas Code

6.5 The proposal relies on the following performance criteria to comply with the applicable standards:

6.5.1 Central Business Zone

Zone Use Table – Part D 22.2

Height - Part D 22.4.1 P2, P3 and P5

Setback - Part D 22.4.2 P2

Passive Surveillance - Part D 22.4.4 P1

Fencing - Part D 22.4.7 P1

6.5.6 Potentially Contaminated Land Code:-

Use Standards - Part E E2.5 P1

Excavation - Part E E2.6.2 P1

6.5.8 Landslide Code:-

Major Works - Part E E3.7.3 P1

6.5.9 Parking and Access Code:-

*Number of Parking Spaces - Central Business Zone - Part E E6.6.1 P1**Layout of Parking Areas - Part E E6.7.5 P1*

6.5.11 Stormwater Management Code:-

Stormwater Drainage and Disposal - Part E E7.7.1 P3

6.5.12 Historic Heritage Code:-

Building, Works and Demolition within a Place of Archaeological Potential - Part E E13.10.1 P1

6.6 Each performance criterion is assessed below.

6.7 Zone Use Table – Part D 22.2

6.7.1 Ground Floor Residential is a discretionary use in accordance with the Use Table of the Central Business Zone.

6.7.1 There are no use standards triggered in the zone for the proposed use. As such, assessment of the proposal must be undertaken in accordance with 8.10.2, which requires Council to have regard to:

- (a) the purpose of the applicable zone;*
- (b) any relevant local area objective or desired future character statement for the applicable zone;*
- (c) the purpose of any applicable code; and*
- (d) the purpose of any applicable specific area plan,*

but only insofar as each such purpose, local area objective or desired future character statement is relevant to the particular discretion being exercised.

6.7.2 The Zone Purpose Statements for the Central Business Zone are:

*22.1.1.1 To provide for business, civic and cultural, community, food, hotel, professional, retail and tourist functions within a major centre serving the region or sub-region.**22.1.1.2 To maintain and strengthen Hobart's Central Business*

District and immediate surrounds including, the waterfront, as the primary activity centre for Tasmania, the Southern Region and the Greater Hobart metropolitan area with a comprehensive range of and highest order of retail, commercial, administrative, community, cultural, employment areas and nodes, and entertainment activities provided.

22.1.1.3 To provide a safe, comfortable and pleasant environment for workers, residents and visitors through the provision of high quality urban spaces and urban design.

22.1.1.4 To facilitate high density residential development and visitor accommodation within the activity centre above ground floor level and surrounding the core commercial activity centre.

22.1.1.5 To ensure development is accessible by public transport, walking and cycling.

22.1.1.6 To encourage intense activity at pedestrian levels with shop windows offering interest and activity to pedestrians.

22.1.1.7 To encourage a network of arcades and through-site links characterised by bright shop windows, displays and activities and maintain and enhance Elizabeth Street Mall and links to it as the major pedestrian hub of the CBD.

22.1.1.8 To respect the unique character of the Hobart CBD and maintain the streetscape and townscape contribution of places of historic cultural heritage significance.

22.1.1.9 To provide a safe, comfortable and enjoyable environment for workers, residents and visitors through the provision of high quality spaces and urban design.

6.7.3 The application site is on the fringe of the Central Business Zone, and as such, is an appropriate location for high density residential development, providing for a transition between the Central Business and Inner Residential Zones. It is in an area that is already transitioning into higher density living, and has less of an active pedestrian frontage, thus enabling the residential use to extend to the ground floor of the building, with an open, glazed foyer to invite visitors and residents into the building.

6.7.4 The location provides for ease of non-vehicle transport, such as walking,

cycling and use of public transport for access to goods and services outside of the CBD.

- 6.7.5 The design incorporates high quality outdoor shared spaces for the occupants of the dwellings on site.
- 6.7.6 There are no Local Area Objectives for the Central Business Zone.
- 6.7.7 The Desired Future Character Statements for the Central Business Zone are:

Townscape and Streetscape Character -

22.1.3.1 Objectives:

(a) That the Central Business Zone provides a compact built focus to the region, reflecting an appropriate intensity in its role as the heart of settlement.

(b) That the Central Business Zone develops in a way that reinforces the layered landform rise back from the waterfront, having regard to the distinct layers of the landform, respecting the urban amphitheatre, including the amphitheatre to the Cove, while providing a reduction in scale to the Queens Domain, the Domain and Battery Point headlands and the natural rise to Barracks Hill (see Figures 22.7 and 22.8).

(c) That the Central Business Zone consolidates within, and provides a transition in scale from, its intense focus in the basin, acknowledging also the change in contour along the Macquarie Ridge, including both its rising and diminishing grades, including to the low point of the amphitheatre to the Cove (see Figures 22.7, 22.8 and 22.9).

(d) That the historic cultural heritage values of places and precincts in the Central Business Zone be protected and enhanced in recognition of the significant benefits they bring to the economic, social and cultural value of the City as a whole.

22.1.3.2 Building Siting, Bulk and Design

The siting, bulk and design of a building above the street wall and beyond the Amenity Building Envelope (see Figure 22.3) must be

consistent with the objectives in clause 22.1.3.1, having regard to:
(a) the consolidation of the Central Business Zone in a manner which provides separate building forms and a layered visual effect rather than the appearance of a contiguous wall of towers;

(b) maintaining a level of permeability through city blocks by reductions in bulk as height increases allowing for sunlight into streets and public spaces;

(c) the building proportion and detail reflecting and reinforcing the streetscape pattern;

(d) the building not being an individually prominent building by virtue of its height or bulk, thus reinforcing a cohesive built form and the containment provided by the urban amphitheatre;

(e) reinforcing consistent building edges and height at the street wall allowing for solar penetration where possible;

(f) the provision of weather protection for footpaths to enhance pedestrian amenity and encourage, where appropriate, interior activity beyond the building entrance; and

(g) the provision of permeability in support of the open space network.

- 6.7.8 The proposed development is located such that it will reinforce the landform and the amphitheatre by providing for a transition between the core inner business area, and the surrounding residential land use. The building has been designed in such a way that it is sympathetic to the heritage values of the immediately adjacent and nearby heritage listed buildings.
- 6.7.9 The building is designed to reduce in bulk as the height increases, enabling sunlight to penetrate through to the streets and public spaces, and provides for a consistent building edge to Liverpool Street. Awnings are not common in this section of the street, and as such have not been provided so as not to soften the strong facade presence of the building to the street.
- 6.7.10 The purpose of all applicable codes is addressed in the assessments below.

6.7.11 There are no Specific Area Plans applicable to this site.

6.7.12 It is noted that the Urban Design Advisory Panel commented as follows:

Given the location of the site within the Central Business Zone, the proposed residential use is considered consistent with the Zone Purpose Statement and is supported. The Panel considers the design offers a high standard of liveability through thoughtful orientation of the apartments, high levels of solar access and natural ventilation, together with the provision of private open space and access to common outdoor areas.

6.7.13 The proposed use is considered to be acceptable for the site.

6.8 Building Height - Part D 22.4.1 P2

6.8.1 The acceptable solution at clause 22.4.1 A2 requires a maximum building height of 8.5m within 10m of a residential zone.

6.8.2 The proposal includes a maximum building height of 10.5m within 10m of a residential zone.

6.8.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.

6.8.4 The performance criterion at clause 22.4.1 P2 provides as follows:

Building height within 10m of a residential zone must be compatible with the building height of existing buildings on adjoining lots in the residential zone.

6.8.5 The portion of the building within 10m of the residential zone has been designed with articulation, fenestration, and stepping of the facade, and is sufficiently removed from buildings within the adjacent Inner Residential Zone that it is compatible with them and provides for a transition into the Central Business Zone it occupies. The buildings in Goulburn Street, adjacent to the rear of the application site, are two to three storeys, with hipped roofs which inform the bulk and height of the buildings, such that the portion of the proposed building within 10m of the common boundary will be of a similar height, if not lower in AHD than these buildings, thus providing for a transition in building height when the separation, topography and built form are all taken into consideration.

6.8.6 The proposal complies with the performance criterion.

6.9 Height - Part D 22.4.1 P3.1

6.9.1 The acceptable solution at clause 22.4.1 A3 requires buildings with more than 50% of the floor area residential above the ground floor to have a maximum height of 15m and four storeys.

6.9.2 The proposal includes a maximum building height of 18.2m and 6 storeys.

6.9.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.

6.9.4 The performance criterion at clause 22.4.1 P3.1 provides as follows:

The siting, bulk and design of development must respect the transition between the core area of the Central Business Zone and adjacent zones and must make a positive contribution to the streetscape and townscape.

6.9.5 The proposed new building provides for a transition between the core area and the residential zones to the north up the hill behind the site. This is achieved through transitions in the building height, stepping the building up and away from the Residential land to the north northwest. The proposed design and finish of the building will provide in-fill and a solid building line to Liverpool Street that is currently missing from between the two adjacent buildings, thus improving the streetscape in this location.

6.9.6 It is noted that the Urban Design Advisory Panel commented as follows:

Within the broader context of the Planning Scheme and specifically the Desired Future Character Statements, the Panel was impressed with the height analysis undertaken by the proponent and in its opinion the siting, bulk and design of the proposal does respect the transition expected between the core area of the Central Business Zone and the adjacent Inner Residential Zone as well as the heritage values of places nearby. Specifically, the height and massing of the proposal does respect the scale of residential properties to the rear as well as the Liverpool Street streetscape, including the adjacent heritage listed properties. In this regard the Panel is of the opinion that the Building Height Standard of the Planning Scheme has been met.

6.9.7 The proposal complies with the performance criterion.

6.10 Height - Part D 22.4.1 P5

6.10.1 The acceptable solution at clause 22.4.1 A5 requires new buildings between adjacent existing heritage buildings to have a facade height which is not greater than the facade height of the taller of the adjacent buildings.

6.10.2 The proposal includes a new building between two adjacent existing heritage buildings with a facade height which exceeds both adjacent buildings.

6.10.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.

6.10.4 The performance criterion at clause 22.4.1 P5 provides as follows:

Building height within 15m of a frontage and not separated from a place listed in the Historic Heritage Code by another building, full lot (excluding right of ways and lots less than 5m width) or road (refer figure 22.5 i), must:

(a) not unreasonably dominate existing buildings of cultural heritage significance; and

(b) not have a materially adverse impact on the historic cultural heritage significance of the heritage place;

(c) for city blocks with frontage to a Solar Penetration Priority Street in Figure 22.2, not exceed the Amenity Building Envelope illustrated in Figure 22.3, unless it can be demonstrated that the overshadowing of the public footpath on the opposite side of the Solar Penetration Priority Street does not unreasonably impact on pedestrian amenity.

6.10.5 The application has been assessed by council's Cultural Heritage Officer, who has provided the following comment:

The proposal does not meet the acceptable standard and the proposal must be assessed against 22.4.1 Performance Criteria 5 which states:

Building height within 15m of a frontage and not separated from a place listed in the Historic Heritage Code by another building, full lot (excluding right of ways and lots less than 5m width) or road (refer figure 22.5 i), must:

(a) not unreasonably dominate existing buildings of cultural heritage significance; and

(b) not have a materially adverse impact on the historic cultural heritage significance of the heritage place;

In regards to a) the provisions of the scheme require consideration of whether or not the proposal dominates unreasonably on the adjacent heritage buildings. Unreasonably defined as: 'go beyond the limits of what is reasonable or equitable'. The 3 storey bay at street level takes a form of that could be considered to contribute to the building being more in accordance with and responsive to the adjacent heritage buildings. It is also noted that the setback of the top 3 stories of the building forms a spatial separation from the street and adjacent buildings, this also contributes to lessening any adverse impacts created by the size and bulk of the proposal. Part a) of performance criteria 22.4.1 Performance Criteria 5 is considered satisfied.

In regards to b) the provisions of the scheme require consideration of whether or not the proposal has a materially adverse impact on the historic cultural heritage significance of the heritage place. Materially defined as 'in a significant way; considerably'. The proportions and massing at a streetscape level are not considered to adversely or substantially impact upon the adjacent listed building. The main height of the development is largely setback behind the rear lines of the heritage buildings. This allows the adjacent listed buildings and proposed apartment building to sit in relative uniformity and visual coordination with each other. Part b) of performance criteria 22.4.1 Performance Criteria 5 is considered satisfied.

6.10.6 The proposal complies with the performance criterion.

6.11 Setback - Part D 22.4.2 P2

6.11.1 The acceptable solution at clause 22.4.2 A2 requires buildings to be set back 6m or half the height of the wall, whichever is the greater, from the

Residential zone boundary.

6.11.2 The proposal includes a new building that is set back 1.2m from the rear, residential zone boundary.

6.11.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.

6.11.4 The performance criterion at clause 22.4.2 P2 provides as follows:

Building setback from a residential zone must be sufficient to prevent unreasonable adverse impacts on residential amenity by:

(a) overshadowing and reduction of sunlight to habitable rooms and private open space on adjoining lots to less than 3 hours between 9.00 am and 5.00 pm on June 21 or further decrease sunlight hours if already less than 3 hours;

(b) overlooking and loss of privacy;

(c) visual impact when viewed from adjoining lots,

taking into account aspect and slope.

6.11.5 The application site is located to the south southeast of the adjacent residential zoned properties. As such, there will be no unreasonable loss of sunlight to or overshadowing of habitable rooms or private open space for the dwellings on these adjacent lots.

6.11.6 The majority of the proposed north western decks are to include some screening. These screens are proposed to be full height, but the transparency of the screens has not been specified. As such, it is recommended that the screens be conditioned to have a maximum transparency of 50% square on to the boundary. This will provide privacy to the adjacent rear yards, but will enable maximum solar penetration through angled slatted screening if the applicant so chooses.

6.11.7 Most of the deck on the fifth (top) floor of the building is screened by a full height vertical screen. There is, however, a 2.4m section of the deck to the southwest which does not have a screen proposed. As this section of the deck is set back 9m from the boundary with the adjacent Inner Residential zoned land, this is considered acceptable for privacy.

- 6.11.8 The decks of the dwellings on level four are oriented to face north east, with only one dwelling having a side that faces directly toward the north western Residential zoned land. Again, as this deck is setback approximately 11m, the impacts on the privacy for the adjacent residential property are not considered unreasonable.
- 6.11.9 The windows and decks of the north west facing dwellings on the first, second and third floors are fully screened. Given the proposed condition about transparency, this is considered to adequately protect the privacy of the adjacent residential properties.
- 6.11.10 The north north western building facade will have sufficient articulation, in the form of stepping, decks, and windows, to ensure that the building will not present an unreasonable visual impact in terms of the bulk of the building. It is noted that representations are concerned with the loss of the views currently enjoyed from the adjacent residential buildings. Unfortunately, the Planning Scheme does not consider loss of views from adjacent sites when considering amenity impacts a development may have on them.
- 6.11.11 The use of planter boxes on decks and a 'deep planting zone' along the rear boundary will also assist to provide separation and to reduce the apparent bulk of the building when viewed from the adjacent residential land. As such, it is considered appropriate to condition to ensure that this landscaping is installed and maintained. In accordance with the UDAP comments, it is also considered appropriate to encourage any measures to increase the footprint of the 'deep planting zone' to provide maximum opportunity for success and viability of any plantings in this area, as well as potentially protecting the existing plantings of adjoining properties.
- 6.11.12 The proposal complies with the performance criterion.
- 6.12 Passive Surveillance - Part D 22.4.4 P1
- 6.12.1 The acceptable solution at clause 22.4.4 A1 requires building design to avoid entrapment spaces.
- 6.12.2 The proposal includes potential entrapment spaces to the front of the fire escape on the south eastern side, a gap between the building and the property boundary on the north eastern boundary, and a potential entrapment space where the driveway curves down and around toward the security door for the car parking area.

6.12.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.

6.12.4 The performance criterion at clause 22.4.4 P1 provides as follows:

Building design must provide for passive surveillance of public spaces by satisfying all of the following:

(a) provide the main entrance or entrances to a building so that they are clearly visible from nearby buildings and public spaces;

(b) locate windows to adequately overlook the street and adjoining public spaces;

(c) incorporate shop front windows and doors for ground floor shops and offices, so that pedestrians can see into the building and vice versa;

(d) locate external lighting to illuminate any entrapment spaces around the building site;

(e) provide external lighting to illuminate car parking areas and pathways;

(f) design and locate public access to provide high visibility for users and provide clear sight lines between the entrance and adjacent properties and public spaces;

(g) provide for sight lines to other buildings and public spaces.

6.12.5 The first of these is the entry to the fire escape corridor on the south western corner of the site. This entry is down several steps to a recessed door. Discussion with the applicant regarding this potential have resulted in the agreement that the location of the stairs down into the fire escape and the security door for the fire escape should be swapped. This will see a much smaller alcove which is at street level, and therefore much less of a safety concern.

6.12.6 The second potential entrapment space is the entry to the car parking level. Again, there is a ramp down into the carpark, and there is a bend in the ramp which creates the potential for a dark alcove. It is considered that the requirement for security lighting of the access ramp, such that the entire space is lit up when anything enters the ramp, either from the street

or from the carpark, will reduce the risk associated with the space.

- 6.12.7 The last potential entrapment space is the gap between the proposed new building and the building to the north east (the Pickled Frog Backpackers). There is currently an open carport on the application site near the boundary, and a gate has been placed from the corner of the adjacent building to meet the carport, preventing access down between the two buildings. It is recommended that a condition be placed on any approval granted requiring that a wall or fence, designed to the satisfaction of Council, be placed from the corner of the proposed new building to meet the existing gate, to ensure that access to this space remains restricted, thus removing a potential entrapment space. This issue and its need for resolution was also raised by the Urban Design Advisory Panel.
- 6.12.8 The proposal complies with the performance criterion subject to the above mentioned condition.
- 6.13 Fencing - Part D 22.4.7 P1
- 6.13.1 The acceptable solution at clause 22.4.7 A1 requires front fencing to have a maximum solid height of 1.2m.
- 6.13.2 The proposal includes a solid front fence to a maximum height of 2.2m.
- 6.13.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.
- 6.13.4 The performance criterion at clause 22.4.7 P1 provides as follows:
- Fencing must contribute positively to the streetscape and not have an unreasonable adverse impact upon the amenity of land in a residential zone which lies opposite or shares a common boundary with a site, having regard to all of the following:*
- (a) *the height of the fence;*
- (b) *the degree of transparency of the fence;*
- (c) *the location and extent of the fence;*
- (d) *the design of the fence;*

(e) the fence materials and construction;

(f) the nature of the use;

(g) the characteristics of the site, the streetscape and the locality, including fences;

(h) any Desired Future Character Statements provided for the area.

- 6.13.5 There is no residential land adjacent to or opposite the application site within Liverpool Street. As such, there will be no unreasonable negative impact on the residential amenity of any properties from the proposed front fence.
- 6.13.6 The proposed fence is a solid fence, of comparable height and transparency to the only nearby front fence, which is also directly adjacent to the application site. Most of the remainder of the street has buildings to the front boundary. As such, there is a definite pattern of solid development to the front boundary, with window and door openings at varying intervals. In the context of the proposed development, the solid fence presents approximately 20-20% of the frontage, with large window and door openings for the remainder of the front facade. As such, the proposed development of the application site is not incompatible with the surrounding streetscape.
- 6.13.7 It is noted that the Urban Design Advisory Panel supported 'reconsideration of the detailed design of the fence enclosing the courtyard of Unit 0.01'. While it is not considered that demanding a redesign of this fence is justified under the above performance criteria, the Panel's suggestion has been incorporated as advice into the recommended materials and finishes condition (PLN s1). As such, the applicant may choose to respond to the Panel's suggestion and modify the fencing in accordance with it.
- 6.13.8 The proposal complies with the performance criterion.
- 6.14 Use Standards (Potentially Contaminated Land Code) - Part E E2.5 P1
- 6.14.1 The acceptable solution at clause E2.5 A1 requires the Director, or a person Certified by the Director to provide certification that the land is suitable for the intended use.

6.4.2 The proposal includes an Environmental Site Assessment and hazard management plan prepared by a suitably qualified person.

6.14.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.

6.14.4 The performance criterion at clause E2.5 P1 provides as follows:

Land is suitable for the intended use, having regard to:

(a) an environmental site assessment that demonstrates there is no evidence the land is contaminated; or

(b) an environmental site assessment that demonstrates that the level of contamination does not present a risk to human health or the environment; or

(c) a plan to manage contamination and associated risk to human health or the environment that includes:

(i) an environmental site assessment;

(ii) any specific remediation and protection measures required to be implemented before any use commences; and

(iii) a statement that the land is suitable for the intended use.

6.14.5 The application has been assessed by council's Senior Environmental Health Officer, who has provided the following comment:

A plan to manage contamination and associated risks to human health and the environment was submitted, and it includes;

(i) The plan includes a Environmental Site Assessment (ESA) which complies with the requirements of the National Environment Protection Measure (NEPM). The ESA was conducted and prepared by a suitably qualified person/company,

(ii) The ESA outlines specific remediation and protection measures required to be implemented before any use commences, and;

(iii) The ESA states that the land is suitable for its intended use.

6.14.6 The proposal complies with the performance criterion.

6.15 Excavation (Potentially Contaminated Land Code) - Part E E2.6.2 P1

6.15.1 There is no acceptable solution for E2.6.2 A1.

6.15.2 The proposal includes excavation of potentially contaminated land.

6.15.3 There is no acceptable solution; therefore assessment against the performance criterion is relied on.

6.15.4 The performance criterion at clause E2.6.2 P1 provides as follows:

Excavation does not adversely impact on health and the environment, having regard to:

(a) an environmental site assessment that demonstrates there is no evidence the land is contaminated; or

(b) a plan to manage contamination and associated risk to human health and the environment that includes:

(i) an environmental site assessment;

(ii) any specific remediation and protection measures required to be implemented before excavation commences; and

(iii) a statement that the excavation does not adversely impact on human health or the environment.

6.15.5 The application has been assessed by council's Senior Environmental Health Officer, who has provided the following comment:

A plan to manage contamination and associated risks to human health and the environment was submitted, and it includes:

(i) The plan includes a Environmental Site Assessment (ESA) which was conducted and prepared by a suitably qualified person/company and is in accordance with the National Environment Protection Measure (NEPM),

(ii) The ESA outlines specific remediation and protective measures required to be implemented before any excavation commences, and;

(iii) The ESA states that the excavation will not adversely impact on human health or the environment if the recommendations of the ESA are followed.

6.15.6 The proposal complies with the performance criterion.

6.16 Major Works (Landslide Code) - Part E E3.7.3 P1

6.16.1 There is no acceptable solution for E3.7.3 A1.

6.16.2 The proposal includes excavation and works in a landslide hazard risk area.

6.16.3 There is no acceptable solution; therefore assessment against the performance criterion is relied on.

6.16.4 The performance criterion at clause E3.7.3 P1 provides as follows:

Major works must satisfy all of the following:

(a) no part of the works is in a High Landslide Hazard Area;

(b) the landslide risk associated with the works is either:

(i) acceptable risk; or

(ii) capable of feasible and effective treatment through hazard management measures, so as to be tolerable risk.

6.16.5 The application has been assessed by council's Environmental Development Planner, who has provided the following comment:

No works are proposed in a High Landslide Hazard Area in compliance with E3.7.3(a).

A Landslide Risk Assessment was submitted with the application which determines the level of risk associated with the proposed works. The assessment concludes that:

- untreated risk to property from shallow translational failure is 'low';*
- untreated risk to property from deep rotational failure is 'moderate' but can be reduced to 'low' with appropriate protection works for the excavation during construction;*
- untreated risk to life from shallow translational failure is 'acceptable';*
- untreated risk to life from deep rotational failure is 'tolerable'; and*
- while the untreated risk to life from deep rotational failure is 'tolerable', risk should be reduced in line with the 'as low as reasonable practicable' principle.*

The overall conclusions of the assessment are:

- providing the slope is retained during construction, the risk associated with slope failure is considered very low to low; and*

- *the proposal is compliant with the landslide hazard code of the Hobart City Council Interim Planning Scheme.*

The assessment report makes the following recommendations:

- *It is recommended to install protection works for the planned excavations on the upslope sides of the proposed development prior to carrying out excavation works at the site. The works must be designed in accordance with the good hillside construction practices as outlined in the Australian Geomechanics Society (AGS) Geoguide LR8.*
- *Further geotechnical testing is required to define parameters for the design of protection works including soil/rock bearing capacity, lateral earth pressures, and friction angles.*
- *The further investigations must also include adequate deep drilling and testing to confirm foundation conditions for the anticipated building loads.*

A condition is recommended for any permit granted requiring implementation of the report recommendations.

6.16.6 The proposal complies with the performance criterion.

6.17 Number of Parking Spaces - Central Business Zone - Part E E6.6.5 P1

6.17.1 The acceptable solution at clause E6.6.5 A1 requires a maximum of 25 car parking spaces for the site, one for each dwelling.

6.17.2 The proposal includes 35 parking spaces, 11 of which are jockey spaces behind other spaces.

6.17.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.

6.17.4 The performance criterion at clause 6.6.5 P1 provides as follows:

Car parking provision:

(a) is in the form of a public car parking station provided as part of a development which utilises a major existing access; or

(b) must not compromise any of the following:

(i) pedestrian safety, amenity or convenience;

(ii) the enjoyment of 'al fresco' dining or other outdoor activity;

(iii) air quality and environmental health;

(iv) traffic safety.

- 6.17.5 The application has been assessed by council's Development Engineer, who has provided the following comment:

The carpark has capacity for up to 35 spaces, with 11 of those being jockey spaces. Hence it will be possible to provide parking for 24 of the apartments. The AS of HIPS is 1 space per apartment which is not met. The proposed number can be supported under the performance provisions noting:

P1(b) Car parking provision must not compromise any of the following:

(i) pedestrian safety, amenity or convenience;

- No impact

(ii) the enjoyment of 'al fresco' dining or other outdoor activity;

- No impact

(iii) air quality and environmental health;

- No impact (jockey parks limit concurrent use of vehicles)

(iv) traffic safety.

- No impact (jockey parks limit concurrent use of vehicles)

- 6.17.6 The proposal complies with the performance criterion.

6.18 Layout of Parking Areas - Part E E6.7.5 P1

- 6.18.1 The acceptable solution at clause E6.7.5 A1 requires all car parking spaces to abut the circulation aisle.

- 6.18.2 The proposal includes jockey parking spaces that do not abut the circulation aisle.

- 6.18.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.

- 6.18.4 The performance criterion at clause E6.7.5 P1 provides as follows:

The layout of car parking spaces, access aisles, circulation roadways and ramps must be safe and must ensure ease of

access, egress and manoeuvring on-site.

- 6.18.5 The application has been assessed by council's Development Engineer, who has provided the following comment:

The jockey spaces cause 6.7.5 to be a discretion (they do not directly abut an aisle so access is constrained), however this can be accepted as a performance based solution noting that the jockey spaces will be allocated to apartments as a pair, with option to use the extra spaces for storage units instead.

Car Parking Space Dimensions (AS2890.1 Fig 2.2 = 2.4x5.4m Class 1A):

OK

Car Parking Space Design Envelope (AS2890.1 Fig 5.2 300mm clearance on side):

OK

Headroom: (AS2890.1 Fig 5.3 = 2.2m clearance):

OK

Parking Space Gradient (5%):

OK

Aisle Width (AS2890.1 Fig 2.2 = 5.8m Class 1A):

OK

Garage Door Width & Apron (AS2890.1 Fig 5.4 = 2.4m wide => 7m wide apron):

N/A

B85 Turning Paths:

OK

Parking Module Gradient (manoeuvring area 5% Acceptable Soln, 10% Performance):

OK

Driveway Gradient & Width (AS2890.1 Section 2.6 = 25% and 3m):

OK

Transitions (AS2890.1 Section 2.5.3 = 12.5% summit, 15% sag => 2m transition):

OK

Vehicular Barriers (AS2890.1 Section 2.4.5.3 = 600mm drop, 1:4 slope):

N/A

Blind Aisle Length (AS2890.1 Fig 2.3 = 6x spaces max if public):

OK

Blind Aisle End Widening (AS2890.1 Fig 2.3 = 1m extra):

OK (1m)

Circulation Roadways & Ramps:

OK

6.18.6 The proposal complies with the performance criterion.

6.19 Stormwater Drainage and Disposal - Part E E7.7.1 P2

6.19.1 The acceptable solution at clause E7.7.1 A1 requires design to include water sensitive urban design.

6.19.2 The proposal includes mechanical treatment, not water sensitive urban design.

6.19.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.

6.19.4 The performance criterion at clause E7.7.1 P1 provides as follows:

A stormwater system for a new development must incorporate a stormwater drainage system of a size and design sufficient to achieve the stormwater quality and quantity targets in accordance with the State Stormwater Strategy 2010, as detailed in Table E7.1 unless it is not feasible to do so.

6.19.5 The application has been assessed by council's Development Engineer, who has provided the following comment:

The application includes 35 car parking spaces which triggers the need for treatment. Applicant has specified a SPEL Ecoceptor of sufficient size to meet the targets required to satisfy P2.

6.19.6 The proposal complies with the performance criterion.

6.20 Building, Works and Demolition - Part E E13.10.1 P1

6.20.1 The acceptable solution at clause E13.10.1 A1 requires buildings and works to involve no ground disturbance.

6.20.2 The proposal includes excavation works.

6.20.3 The proposal does not comply with the acceptable solution; therefore

assessment against the performance criterion is relied on.

6.20.4 The performance criterion at clause E13.10.1 P1 provides as follows:

Buildings, works and demolition must not unnecessarily impact on archaeological resources at places of archaeological potential, having regard to:

(a) the nature of the archaeological evidence, either known or predicted;

(b) measures proposed to investigate the archaeological evidence to confirm predictive statements of potential;

(c) strategies to avoid, minimise and/or control impacts arising from building, works and demolition;

(d) where it is demonstrated there is no prudent and feasible alternative to impacts arising from building, works and demolition, measures proposed to realise both the research potential in the archaeological evidence and a meaningful public benefit from any archaeological investigation;

(e) measures proposed to preserve significant archaeological evidence 'in situ'.

6.20.5 The application has been assessed by council's Cultural Heritage Officer, who has provided the following comment:

Buildings, works and demolition must not unnecessarily impact on archaeological resources at places of archaeological potential, having regard to:

(a) the nature of the archaeological evidence, either known or predicted;

(b) measures proposed to investigate the archaeological evidence to confirm predictive statements of potential;

(c) strategies to avoid, minimise and/or control impacts arising from building, works and demolition;

(d) where it is demonstrated there is no prudent and feasible

alternative to impacts arising from building, works and demolition, measures proposed to realise both the research potential in the archaeological evidence and a meaningful public benefit from any archaeological investigation;

(e) measures proposed to preserve significant archaeological evidence 'in situ'.

The apartment development proposes ground floor car parking however the ground floor parking arrangement requires a level site which will result in excavation. Currently the site rises approximately 2.5-metres from Liverpool Street to the rear of the site nearing Goulburn Street, a small amount of excavation is required at the front of the site, and bulk excavation is required towards the rear of the site. The Praxis report breaks the site down into three zones of archaeological significance, providing an Archaeological Method Statement for each. Refer to (Fig. 9.1) of Praxis Environment Report.

Area 1 – Is largely located to the Liverpool Street frontage of the site, and encompasses the area where two early timber cottages stood. This area is has been identified as having high archaeological significance. This area will be excavated under archaeological control as per the methodology statement in the Praxis Environment Report.

Area 2 – Has a lower significance and can be referred to as the middle section of the site, where former outbuildings and structures were located. The Praxis report has identified that the area will not require as stringent detailed excavation and recording as the higher significance areas. It is proposed that this will be undertaken as an archaeological monitoring exercise.

Area 3 – The rear and very front of site has been identified as having a low significance, these areas have not been the location of any known major developments whilst remnants may remain these are unlikely to be individually significant. No archaeological monitoring is proposed for this area, however it is to be managed with call-in provisions for any unexpected finds as per the methodology statement in the Praxis Environment Report.

An element of the proposal that has not been considered in the submitted documentation, likely due to the boundary alignments,

is the sandstone wall to the rear of the site that adjoins the Pickled Frog (see fig. 1) this stone wall is considered a significant heritage structure. The excavation and construction process occurring within close proximity of the wall means that machinery or equipment has the potential to damage, crack, chip or even undermine the foundations of the wall. A condition reflecting the protection of this wall has been included in this assessment.

The proposal for the apartment building satisfies E13.10.1 P1. Subject to the attached conditions.

6.20.6 The proposal complies with the performance criterion.

7. Discussion

- 7.1 Planning approval is sought for Demolition and New Building for 25 Multiple Dwellings.
- 7.2 The application was advertised and received five (5) representations (one supporting and four objecting to the proposal). The representations objecting to the proposal raised concerns including Planning Scheme Compliance, Privacy, Height, Setback, Heritage, Stormwater, Neighbourhood Character, Views, and Property Values.
- 7.3 The proposal has been assessed against the relevant provisions of the planning scheme and is considered to perform well.
- 7.4 The proposal has been assessed by other Council officers, including the Council's Development Engineer, Cultural Heritage Officer, Environmental Development Planner, Environmental Health Officer, Stormwater Services Engineer, Manager Roads & Capital Works, Senior Engineer - Roads and Traffic. The officers have raised no objection to the proposal, subject to conditions.
- 7.5 The proposal was referred to Council's Urban Design Advisory Panel, who have provided the following assessment:

The Panel acknowledged the comprehensive nature of the application, the associated analysis and the coherence evident in the design.

Given the location of the site within the Central Business Zone, the proposed residential use is considered consistent with the Zone Purpose Statement and is supported. The Panel considers the design offers a high

standard of liveability through thoughtful orientation of the apartments, high levels of solar access and natural ventilation, together with the provision of private open space and access to common outdoor areas.

In regard to the neighbouring properties to the rear, the Panel considers the design affords sufficient privacy however more extensive full depth planting along with the protection of existing neighbouring planting is encouraged.

In keeping with the residential nature of the development, the introduction of further external planting in Liverpool Street is supported as is the reconsideration of the detailed design of the fence enclosing the courtyard of Unit 0.01

For safety and security reasons consideration needs to be given to closing off the 'boundary space' between the proposed development and the adjacent building at 281 Liverpool Street.

Within the broader context of the Planning Scheme and specifically the Desired Future Character Statements, the Panel was impressed with the height analysis undertaken by the proponent and in its opinion the siting, bulk and design of the proposal does respect the transition expected between the core area of the Central Business Zone and the adjacent Inner Residential Zone as well as the heritage values of places nearby.

Specifically, the height and massing of the proposal does respect the scale of residential properties to the rear as well as the Liverpool Street streetscape, including the adjacent heritage listed properties.

In this regard the Panel is of the opinion that the Building Height Standard of the Planning Scheme has been met.

In regard to the Design Standard and specifically 22.4.3 A3 the Panel agrees with the proponent's Heritage Consultant and considers the successful integration of the proposal into the Liverpool Street Streetscape, in particular, would benefit from a more detailed consideration of the choice of materials, textures and colours together with the manner in which they are integrated and articulated throughout the fenestration.

A diversity of colours and textures is to be encouraged and stark white and black colours are to be avoided in favour of softer more muted tones.

In conclusion the Panel supports the development application from an urban design perspective, subject to further consideration of landscaping,

materials, colours and finishes at the detailed design stage.

Should the Council approve the application, conditions and/or advice ought to be included supporting the early appointment of a landscape architect for the site as well as the supplying of samples of the materials and colour palette for the building. The intention being to further 'soften' the building's appearance in order to better reinforce the transition and integration of the development into the surrounding area and not unreasonably detract from the adjacent heritage buildings.

- 7.6 Much of the Panel's comments have been included and responded to in the assessment section of this report. The Panel's broad support for the proposal is acknowledged, and conditions and advice regarding materials and landscaping, incorporating the Panel's comments, have been included.
- 7.7 The proposal was referred to TasWater, who have provided conditions of approval for inclusion in any permit that may be granted.
- 7.8 The proposal is recommended for approval.

8. Conclusion

- 8.1 The proposed Demolition and New Building for 25 Multiple Dwellings at 283-287 Liverpool Street, Hobart satisfies the relevant provisions of the *Hobart Interim Planning Scheme 2015*, and as such is recommended for approval.

9. Recommendations

That: Pursuant to the *Hobart Interim Planning Scheme 2015*, the Council approve the application for Demolition and New Building for 25 Multiple Dwellings at 283-287 Liverpool Street, Hobart for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

GEN

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-20-191 - 283-287 LIVERPOOL STREET HOBART TAS 7000 - Final Planning Documents, except where modified below.

Reason for condition

To clarify the scope of the permit.

TW

The use and/or development must comply with the requirements of TasWater as detailed in the form Submission to Planning Authority Notice, Reference No. TWDA 2020/00418-HCC dated 16/04/2020 as attached to the permit.

Reason for condition

To clarify the scope of the permit.

PLN 15

A demolition waste management plan must be implemented throughout demolition.

A demolition waste management plan must be submitted and approved, prior to commencement of work on the site. The demolition waste management plan must include provisions for the handling, transport and disposal of demolition material, including any contaminated waste and recycling opportunities, to satisfy the above requirement.

All work required by this condition must be undertaken in accordance with the approved demolition waste management plan.

Advice:

Once the demolition waste management plan has been approved, the Council will issue a condition endorsement (see general advice on how to obtain condition endorsement).

Where building approval is also required, it is recommended that documentation for condition endorsement be submitted well before submitting documentation for building approval. Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.

It is recommended that the developer liaise with the Council's Cleansing and Solid Waste Unit regarding reducing, reusing and recycling materials associated with demolition on the site to minimise solid waste being directed to landfill. Further information can also be found on the Council's [website](#).

Reason for condition

To ensure that solid waste management from the site meets the Council's requirements and standards.

PLN 1

All screening as shown on the approved plans must be installed with a uniform transparency between 50% and 25% prior to first occupation. The screening must be maintained.

Reason for condition

To provide reasonable opportunity for privacy for dwellings.

PLN 4

Planter boxes as shown on the approved plans must be retained in the final building design.

Landscaping which is visible above the top of the planter box walls must be installed in the planter boxes prior to first occupation of the dwellings, and maintained for the life of the use of the building.

Prior to the completion of the building, an automated watering system must be installed for all planter boxes and maintained for the life of the use of the building.

All work required by this condition must be undertaken in accordance with the approved revised plans.

Reason for condition

To ensure that the scale of the building is compatible with nearby buildings.

PLN 17

Illumination must be provided to the entry ramp for the carpark such that the entry ramp is not dark when people and vehicles enter it from the street or from the carpark. This illumination should be designed and baffled such that it does not cause a nuisance outside the property, operating in accordance with Australian Standard AS4282- Control of the obtrusive effects of outdoor lighting.

Reason for condition

To ensure that the potential entrapment space created by the carpark ramp and doors is sufficiently illuminated to minimise the risk of antisocial behaviour in the location.

PLN 5

A landscape plan must be prepared for the soft and hard landscaping of the site, by a suitably qualified landscape architect.

Prior to the issue of any approval under the Building Act 2016 (excluding for demolition, excavation and works up to the ground floor slab), a revised landscape plan must be submitted and approved to the satisfaction of the Director City Planning in accordance with the above requirement.

All landscaping features (including any proposed plants and hard landscaping) must be installed in accordance with the approved Landscaping Plan to the satisfaction of the Council's Director City Planning prior to commencement of use.

The landscaping must be maintained, and replacement plants and hard landscaping must be planted in accordance with the approved Landscaping Plan if any is lost.

Confirmation by the person who prepared the landscaping plan that the landscaping has been completed in accordance with the approved landscaping plan must be submitted to the Council to the satisfaction of the

Director City Planning, prior to commencement of use. Once this has been received, and all plants and hard landscaping shown on the approved Landscaping Plan have been planted in accordance with the approved plan to the satisfaction of the Council's Director City Planning, the Council will issue a statement confirming satisfactory planting of all trees and landscaping.

Advice:

- *Any increase to the area of the 'deep planting zone' at the rear of the property that can be achieved through alterations to the footprint of the ground floor, without compromising the building function and structure, is encouraged to increase the viability of the space for larger plantings.*
- *Protection of the root area of vegetation on adjacent properties is encouraged wherever possible.*
- *Additional landscaping in front of the building in Liverpool Street is encouraged where it does not compromise vehicle and pedestrian safety.*

Reason for condition

To preserve the amenity of the space and to ensure that the scale of the building is compatible with nearby buildings, and that the plantings proposed are appropriate to assist with this.

PLN s1

The palette of exterior colours and materials must be provided.

The palette of exterior colours, materials and finishes must reflect the palette of colours, materials and finishes within the local streetscape.

Prior to the issue of any approval under the Building Act 2016 (excluding for demolition, excavation and works up to the ground floor slab), revised plans, and montages and samples where appropriate, must be submitted and approved to the satisfaction of the Director City Planning showing exterior colours and materials in accordance with the above requirement.

All work required by this condition must be undertaken in accordance with the approved revised plans, montages and samples.

Advice:

- *In keeping with the submitted heritage assessment, it is considered that successful integration of the proposal into the Liverpool Street Streetscape would benefit from a more detailed consideration of the choice of materials, textures and colours together with the manner in which they are integrated and*

- articulated throughout the fenestration.*
- *Consideration should be given to using colours, materials and textures that further 'soften' the building's appearance in order to better reinforce the transition and integration of the development into the surrounding area and not unreasonably detract from the adjacent heritage buildings. A diversity of colours and textures is encouraged and stark white and black colours are to be avoided in favour of softer more muted tones.*
 - *Consideration be given to the detailed design of the fence enclosing the courtyard of Unit 0.01 so that it is more in keeping with the residential nature of the development.*

Reason for condition

To provide greater integration and compatibility of the building design with the streetscape, townscape and heritage values of the surrounding area.

PLN s4

Prior to the commencement of works (other than demolition), plans demonstrating the removal of the potential entrapment spaces at either side of the Liverpool Street frontage must be submitted to and approved by Council's Director City Planning.

Prior to the issue of any approval under the *Building Act 2016*, revised plans must be submitted and approved showing:

1. **Either a screen wall or fence on the north eastern corner of the building which provides an anchor point for the existing gate at the side of 281 Liverpool Street, to prevent unauthorised access between the two buildings.**
2. **Relocation of the Fire Door and Stair in the fire escape to the south western side of the building. The door should be moved as close to the street front boundary as is possible, with the stair relocated to inside the Fire Escape Corridor.**

All work required by this condition must be undertaken in accordance with the approved revised plans.

Reason for condition

To remove potential entrapment spaces from around the building to improve the safety of the site.

ENG 12

A construction waste management plan must be implemented throughout construction.

A construction waste management plan must be submitted and approved, prior to commencement of work on the site. The construction waste management plan must include:

- **Provisions for commercial waste services for the handling, storage, transport and disposal of post-construction solid waste and recycle bins from the development; and**
- **Provisions for the handling, transport and disposal of demolition material, including any contaminated waste and recycling opportunities, to satisfy the above requirement.**

All work required by this condition must be undertaken in accordance with the approved construction waste management plan.

Advice:

- *Once the construction waste management plan has been approved, the Council will issue a condition endorsement (see general advice on how to obtain condition endorsement).*
- *Where building approval is also required, it is recommended that documentation for condition endorsement be submitted well before submitting documentation for building approval. Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.*
- *It is recommended that the developer liaise with the Council's Cleansing and Solid Waste Unit regarding reducing, reusing and recycling materials associated with demolition on the site to minimise solid waste being directed to landfill. Further information can also be found on the Council's [website](#).*

Reason for condition

To ensure that solid waste management from the site meets the Council's requirements and standards.

ENG sw1

All stormwater from the proposed development (including but not limited to: roofed areas, ag drains, retaining wall ag drains and impervious surfaces such as driveways and paved areas) must be drained to the Council's stormwater

infrastructure prior to first occupation or commencement of use (whichever occurs first).

Advice:

- *Under section 23 of the Urban Drainage Act 2013 it is an offence for a property owner to direct stormwater onto a neighbouring property.*

Reason for condition

To ensure that stormwater from the site will be discharged to a suitable Council approved outlet.

ENG sw4

The new stormwater connection must be constructed and existing abandoned connections sealed by the Council at the owner's expense, prior to the first occupation.

Detailed engineering drawings must be submitted and approved, prior to the issuing of any approval under the *Building Act 2016* or commencement of works (which ever occurs first). The detailed engineering drawings must include:

- 1. The location of the proposed connections and all existing connections;**
- 2. The size and design of the connection such that it is appropriate to safely service the development;**
- 3. long-sections of the proposed connection clearly showing clearances from any nearby services, cover, size, material and delineation of public and private infrastructure. Connections must be free-flowing gravity.**

All work required by this condition must be undertaken in accordance with the approved detailed engineering drawings.

Advice:

- *The applicant is advised to submit detailed design drawings via a Council City Amenity Division [application for a new stormwater connection](#). If detailed design to satisfy this condition is submitted via the planning condition endorsement process there may be fees associated with the assessment, and once approved the applicant will still need to submit an application for a new stormwater connection with Council City Amenity Division.*
- *Where building / plumbing approval is also required, it is recommended that documentation to satisfy this condition is submitted well before submitting documentation for building/plumbing approval. Failure to address planning*

condition requirements prior to submitting for building/plumbing approval may result in unexpected delays.

Reason for condition

To ensure the site is drained adequately.

ENG sw7

Stormwater pre- treatment for stormwater discharges from the development must be installed prior to issue of a Certificate of Completion.

A stormwater management report and design must be submitted and approved, prior to the issuing of any approval under the *Building Act 2016* or commencement of works (which ever occurs first). The stormwater management report and design must:

- 1. be prepared by a suitably qualified engineer;**
- 2. include detailed design of the proposed treatment train, including final estimations of contaminant removal; and**
- 3. include a maintenance plan**

All work required by this condition must be undertaken and maintained in accordance with the approved stormwater management report and design.

Advice:

- *Once the stormwater management report and design has been approved Council will issue a condition endorsement (see general advice on how to obtain condition endorsement).*
- *Where building approval is also required, it is recommended that documentation for condition endorsement be submitted well before submitting documentation for building approval. Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.*

Reason for condition

To avoid the possible pollution of drainage systems and natural watercourses, and to comply with relevant State legislation.

ENG tr2

A construction traffic and parking management plan must be implemented

prior to the commencement of work on the site (including demolition).

The construction traffic (including cars, public transport vehicles, service vehicles, pedestrians and cyclists) and parking management plan must be submitted and approved, prior to commencement work (including demolition).

The construction traffic and parking management plan must:

1. Be prepared by a suitably qualified person.
2. Develop a communications plan to advise the wider community of the traffic and parking impacts during construction.
3. Include a start date and finish dates of various stages of works.
4. Include times that trucks and other traffic associated with the works will be allowed to operate.
5. Nominate a superintendant, or the like, to advise the Council of the progress of works in relation to the traffic and parking management with regular meetings during the works.

All work required by this condition must be undertaken in accordance with the approved construction traffic and parking management plan.

Advice:

- *Once the construction traffic and parking management plan has been approved, the Council will issue a condition endorsement (see general advice on how to obtain condition endorsement).*
- *Where building approval is also required, it is recommended that documentation for condition endorsement be submitted well before submitting documentation for building approval. Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.*

Reason for condition

To ensure the safety of vehicles entering and leaving the development and the safety and access around the development site for the general public and adjacent businesses.

ENG 3a

The access driveway, circulation roadways, ramps and parking module (parking spaces, aisles and manoeuvring area) must be designed and constructed in accordance with Australian Standard AS/NZS2890.1:2004 (including the requirement for vehicle safety barriers where required), or a Council approved alternate design certified by a suitably qualified engineer to

provide a safe and efficient access, and enable safe, easy and efficient use.

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

ENG 4

The access driveway and parking module (car parking spaces, aisles and manoeuvring area) approved by this permit must be constructed to a sealed standard (spray seal, asphalt, concrete, pavers or equivalent Council approved) and surface drained to the Council's stormwater infrastructure prior to the commencement of use.

Reason for condition

To ensure the safety of users of the access driveway and parking module, and that it does not detract from the amenity of users, adjoining occupiers or the environment by preventing dust, mud and sediment transport.

ENG 8

The use of the car parking spaces is restricted to User Class 1A (residential, domestic and employee parking) in accordance with Australian Standards AS/NZS2890.1 2004 Table 1.1.

Prior to commencement of use:

- **A sign, approved by council, and in accordance with Australian Standards AS/NZS1742.11:2016, must be erected at the entry of the parking access to indicate the parking area is for residents only; and**
- **All parking spaces must be delineated by means of white or yellow lines 80mm to 100mm wide, or white or yellow pavement markers in accordance with Australian Standards AS/NZS 2890.1 2004.**

Reason for condition

In the interests of vehicle user safety and the amenity of the development.

ENG 1

Any damage to council infrastructure resulting from the implementation of this

permit, must, at the discretion of the Council:

1. **Be met by the owner by way of reimbursement (cost of repair and reinstatement to be paid by the owner to the Council); or**
2. **Be repaired and reinstated by the owner to the satisfaction of the Council.**

A photographic record of the Council's infrastructure adjacent to the subject site must be provided to the Council prior to any commencement of works.

A photographic record of the Council's infrastructure (e.g. existing property service connection points, roads, buildings, stormwater, footpaths, driveway crossovers and nature strips, including if any, pre-existing damage) will be relied upon to establish the extent of damage caused to the Council's infrastructure during construction. In the event that the owner/developer fails to provide to the Council a photographic record of the Council's infrastructure, then any damage to the Council's infrastructure found on completion of works will be deemed to be the responsibility of the owner.

Reason for condition

To ensure that any of the Council's infrastructure and/or site-related service connections affected by the proposal will be altered and/or reinstated at the owner's full cost.

ENG 13

The front fencing and planter along the north-eastern boundary must allow adequate sight distance between user vehicles, cyclists and pedestrians in accordance with Australian/NZ Standard, Parking facilities Part 1: Off-street car parking AS/NZS 2890.1: 2004 Fig 3.3

Reason for condition

To ensure the safety of vehicles entering and leaving the development and of pedestrians and traffic in the vicinity.

ENG r1

The excavation and earth-retaining structures within or supporting the highway reservation must not undermine the stability and integrity of the highway reservation and its infrastructure.

Detailed design drawings, structural certificates and associated geotechnical assessments of the retaining wall supporting the highway reservation must be submitted and approved, prior to the commencement of work and must:

1. **Be prepared and certified by a suitable qualified person and experienced engineer;**
2. **Not undermine the stability of the highway reservation**
3. **Be designed in accordance with AS4678, with a design life in accordance with table 3.1 typical application major public infrastructure works**
4. **Take into account any additional surcharge loadings as required by relevant Australian Standards.**
5. **Take into account and reference accordingly any Geotechnical findings**
6. **Detail any mitigation measures required**

The structure certificated and/or drawings should note accordingly the above requirements.

All work required by this condition must be undertaken in accordance with the approved select design drawing and structural certificates.

Advice:

- *The applicant is required submit detailed design documentation to satisfy this condition via Council's planning condition endorsement process (noting there is a fee associated with condition endorsement approval of engineering drawings [see general advice on how to obtain condition endorsement and for fees and charges]). This is a separate process to any building approval under the Building Act 2016.*
- *Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.*

Reason for condition

To ensure that the stability and integrity of the Council's highway reservation is not compromised by the development.

ENG r3

Prior to the commencement of use, the proposed driveway crossover and removal of redundant crossover must be designed and constructed in accordance with:

- **Urban - TSD-R09-v1 – Urban Roads Driveways and TSD R14-v1 Type**

KC vehicular crossing

- **Kerb - TSD-R14-v1**
- **Footpath - Urban Roads Footpaths TSD-R11-v1**

Design drawings must be submitted and approved prior to any approval under the Building Act 2016. The design drawing must:

1. **Show the cross and long section of the driveway crossover within the highway reservation and onto the property**
2. **Detail any services or infrastructure (ie light poles, pits, awnings) at or near the proposed driveway crossover**
3. **Be designed for the expected vehicle loadings. A structural certificate to note that driveway is suitable for heavy vehicle loadings.**
4. **Show swept path templates in accordance with AS/NZS 2890.1 2004(B85 or B99 depending on use, design template)**
5. **If the design deviates from the requirements of the TSD then the drawings must demonstrate that a B85 vehicle or B99 depending on use (AS/NZS 2890.1 2004, section 2.6.2) can access the driveway from the road pavement into the property without scraping the cars underside**
6. **Show that the redundant crossover will be removed and reinstated with kerb**
7. **Be prepared and certified by a suitable qualified person, to satisfy the above requirement.**

All work required by this condition must be undertaken in accordance with the approved drawings.

Advice:

- *The applicant is required submit detailed design documentation to satisfy this condition via Council's planning condition endorsement process (noting there is a fee associated with condition endorsement approval of engineering drawings [see general advice on how to obtain condition endorsement and for fees and charges]). This is a separate process to any building approval under the Building Act 2016.*
- *Please note that your proposal does not include adjustment of footpath levels. Any adjustment to footpath levels necessary to suit the design of proposed floor, parking module or driveway levels will require separate agreement from Council's Road Services Engineer and may require further planning approvals. It is advised to place a note to this affect on construction drawings for the site and/or other relevant engineering drawings to ensure that contractors are made aware of this requirement.*
- *Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.*

Reason for condition

To ensure that works will comply with the Council's standard requirements.

ENV 8

All recommendations in section 6 of the landslide risk assessment report by Geo-Environmental Solutions P/L dated April 2020 and received by the Planning Authority on 1 May 2020 must be implemented including:

- **Protection works for the planned excavations must be installed on the upslope sides of the proposed development prior to carrying out excavation works at the site.**
- **The works must be designed in accordance with the good hillside construction practices as outlined in the Australian Geomechanics Society (AGS) Geoguide LR8.**
- **Further geotechnical testing must be undertaken to define parameters for the design of protection works including soil/rock bearing capacity, lateral earth pressures and friction angles.**
- **The further investigations must also include adequate deep drilling and testing to confirm foundation conditions for the anticipated building loads.**

Reason for condition

To reduce the risk to life and property, and the cost to the community, caused by landslides.

ENV 2

Sediment and erosion control measures, in accordance with an approved soil and water management plan (SWMP), must be installed prior to the commencement of work and maintained until such time as all disturbed areas have been stabilised and/or restored or sealed to the Council's satisfaction.

A SWMP must be submitted prior to the issue of any approval under the *Building Act 2016* or the commencement of work, whichever occurs first. The SWMP must be prepared in accordance with the Soil and Water Management on Building and Construction Sites fact sheets (Derwent Estuary Program, 2008), available [here](#).

All work required by this condition must be undertaken in accordance with the

approved SWMP.

Advice:

- *Once the SWMP has been approved, the Council will issue a condition endorsement (see general advice on how to obtain condition endorsement).*
- *Where building approval is also required, it is recommended that documentation for condition endorsement be submitted well before submitting documentation for building approval. Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.*

Reason for Condition

To avoid the pollution and sedimentation of roads, drains and natural watercourses that could be caused by erosion and runoff from the development.

HER 9

All construction documentation must contain protocols and recommendations for all contractors working in close proximity to the stone wall along the boundary of 281 Liverpool Street (The Pickled Frog) to be familiar with the heritage values of the heritage listed site and for the need to protect the wall at all costs whilst undertaking the proposed works to upgrade infrastructure.

Prior to the commencement of works (including demolition and excavation), all workers and managers must be briefed on the importance of the cultural heritage values of the site as part of a site induction. This must be undertaken by a suitably qualified heritage practitioner.

Documents containing protocols for the protection of the wall must be submitted and approved, prior to the issuing of any approval under the Building Act 2016 or commencement of works (which ever occurs first).

Reason for condition

To ensure that there is no loss or damage to the heritage values or fabric of the site.

HER 6

All onsite excavation and disturbance must be monitored in accordance with the Praxis Environment Report dated January 2020. In addition should any features or deposits of an archaeological nature be discovered on the site during excavation or disturbance:

1. **All excavation and/or disturbance must stop immediately; and**
2. **A qualified archaeologist must be engaged to attend the site and provide advice and assessment of the features and/or deposits discovered and make recommendations on further excavation and/or disturbance; and**
3. **All and any recommendations made by the archaeologist engaged in accordance with (2) above must be complied with in full; and**
4. **All features and/or deposits discovered must be reported to the Council with one (1) day of the discovery; and**
5. **A copy of the archaeologists advice, assessment and recommendations obtained in accordance with (2) above must be provided to the Council within 30 days of receipt of the advice, assessment and recommendations.**

Excavation and/or disturbance must not recommence unless and until approval is granted from the Council.

Reason for condition

To ensure that work is planned and implemented in a manner that seeks to understand, retain, protect, preserve and manage significant archaeological evidence.

ENVHE 1

Recommendations in the report *Environmental Site Assessment 283-287 Liverpool Street*, by GES, dated February 2020, must be implemented, for the duration of the development.

Reason for condition

To ensure that the risk to workers and future users of the site remains low and acceptable.

ENVHE 4

A construction management plan must be implemented throughout the construction works.

A construction management plan must be submitted and approved prior to the issuing of any building permit under the *Building Act 2016*. The plan must include but is not limited to the following:

1. Identification and disposal of any potentially contaminated waste and asbestos;
2. **Proposed hours of work (including volume and timing of heavy vehicles entering and leaving the site, and works undertaken on site);**
3. **Proposed hours of construction;**
4. **Identification of potentially noisy construction phases, such as operation of rock- breakers, explosives or pile drivers, and proposed means to minimise impact on the amenity of neighbouring buildings;**
5. **Control of dust and emissions during working hours;**
6. **Proposed screening of the site and vehicular access points during work; and**
7. **Procedures for washing down vehicles, to prevent soil and debris being carried onto the street.**

All work required by this condition must be undertaken in accordance with the approved construction management plan.

Advice: Once the construction management plan has been approved the Council will issue a condition endorsement (see general advice on how to obtain condition endorsement).

Where building approval is also required, it is recommended that documentation for condition endorsement be submitted well before submitting documentation for building approval. Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.

Reason for condition

To ensure minimal impact on the amenity of adjoining properties and members of the public during the construction period.

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

BUILDING PERMIT

You may need building approval in accordance with the *Building Act 2016*. Click [here](#) for more information.

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

PLUMBING PERMIT

You may need plumbing approval in accordance with the *Building Act 2016*, *Building Regulations 2016* and the National Construction Code. Click [here](#) for more information.

OCCUPATION OF THE PUBLIC HIGHWAY

You may require a permit for the occupation of the public highway for construction or special event (e.g. placement of skip bin, crane, scissor lift etc). Click [here](#) for more information.

You may require a road closure permit for construction or special event. Click [here](#) for more information.

You may require a Permit to Open Up and Temporarily Occupy a Highway (for work in the road reserve). Click [here](#) for more information.

PROTECTION OF PUBLIC INFRASTRUCTURE

You will be required to pay a bond to ensure the protection of public infrastructure during the construction works (please contact the Hobart City Council's City Amenity Division to initiate the process).

NEW SERVICE CONNECTION

Please contact the Hobart City Council's City Amenity Division to initiate the application process for your [new stormwater connection](#).

STORM WATER

Please note that in addition to a building and/or plumbing permit, development must be in accordance with the Hobart City Council's Infrastructure By law. Click [here](#) for more information.

STRUCTURES CLOSE TO COUNCILS' STORMWATER MAIN

The design of structures (including footings) must provide protection for the Council's infrastructure. For information regarding appropriate designs please contact the Council's City Amenity Division. You may need the General Manager's consent under section 13 of the *Urban Drainage Act 2013* and consent under section 73 or 74 of the *Building Act 2016*.

WORK WITHIN THE HIGHWAY RESERVATION

Please note development must be in accordance with the Hobart City Council's Infrastructure By law. Click [here](#) for more information.

CBD AND HIGH VOLUME FOOTPATH CLOSURES

Please note that the City of Hobart does not support the extended closure of public footpaths or roads to facilitate construction on adjacent land.

It is the developer's responsibility to ensure that the proposal as designed can be constructed without reliance on such extended closures.

In special cases, where it can be demonstrated that closure of footpaths in the CBD and/or other high volume footpaths can occur for extended periods without unreasonable impact on other businesses or the general public, such closures may only be approved by the full Council.

For more information about this requirement please contact the Council's Traffic Engineering Unit on 6238 2804.

REDUNDANT CROSSOVERS

Redundant crossovers are required to be reinstated under the Hobart City Council's Infrastructure By law. Click [here](#) for more information.

ACCESS

Designed in accordance with LGAT- IPWEA – Tasmanian standard drawings. Click [here](#) for more information.

CROSS OVER CONSTRUCTION

The construction of the crossover can be undertaken by the Council or by a private contractor, subject to Council approval of the design. Click [here](#) for more information.

STORM WATER / ROADS / ACCESS

Services to be designed and constructed in accordance with the (IPWEA) LGAT – standard drawings. Click [here](#) for more information.

WORK PLACE HEALTH AND SAFETY

Appropriate occupational health and safety measures must be employed during the works to minimise direct human exposure to potentially-contaminated soil, water, dust and vapours. Click [here](#) for more information.

PROTECTING THE ENVIRONMENT

In accordance with the *Environmental Management and Pollution Control Act 1994*, local government has an obligation to "use its best endeavours to prevent or control acts or omissions which cause or are capable of causing pollution." Click [here](#) for more information.

LEVEL 1 ACTIVITIES

The activity conducted at the property is an environmentally relevant activity and a Level 1 Activity as defined under s.3 of the *Environmental Management and Pollution Control Act 1994*. For further information on what your responsibilities are, click [here](#).

NOISE REGULATIONS

Click [here](#) for information with respect to noise nuisances in residential areas.

WASTE DISPOSAL

It is recommended that the developer liaise with the Council's Cleansing and Solid Waste Unit regarding reducing, reusing and recycling materials associated with demolition on the site to minimise solid waste being directed to landfill.

Further information regarding waste disposal can also be found on the Council's [website](#).

FEES AND CHARGES

Click [here](#) for information on the Council's fees and charges.

DIAL BEFORE YOU DIG

Click [here](#) for dial before you dig information.



(Helen Ayers)

Development Appraisal Planner

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.



(Ben Ikin)

Senior Statutory Planner

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

Date of Report: 10 June 2020

Attachment(s):

Attachment B - CPC Agenda Documents

Attachment C - Planning Referral Officer Cultural Heritage Report

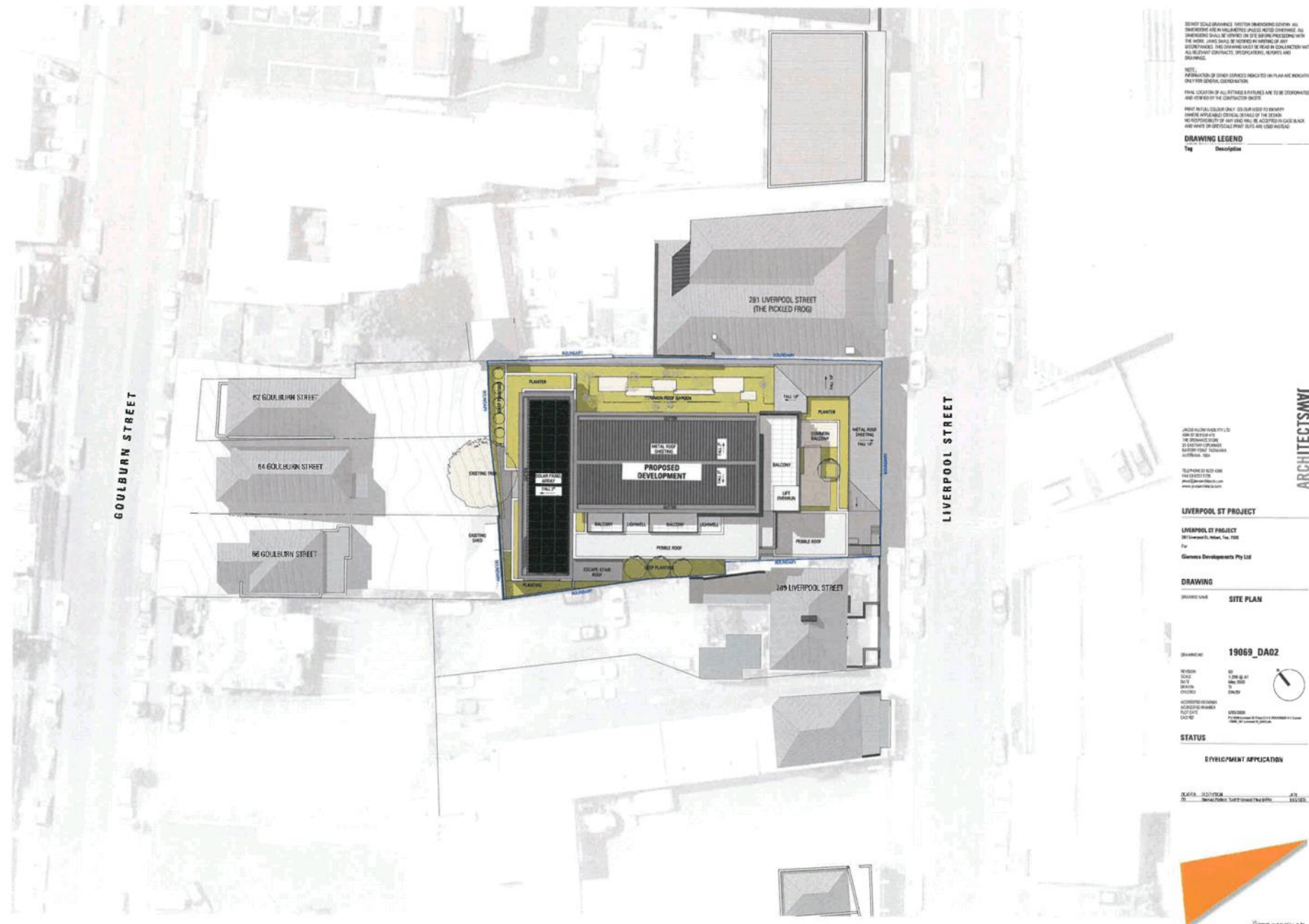
Attachment D - Urban Design Advisory Panel Minutes

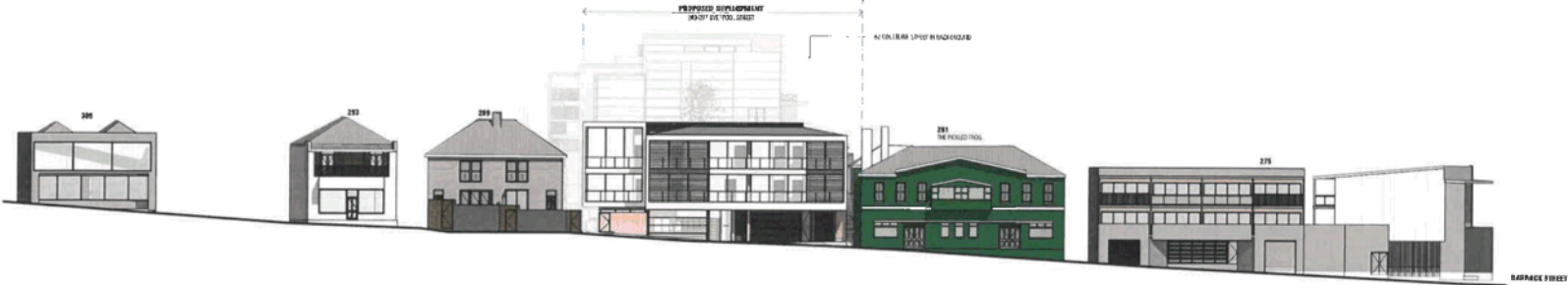
ARTIST IMPRESSION FROM LIVERPOOL STREET

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LEVEL 1	1,123.14	-	3	5	-
LEVEL 2	951.38	-	3	5	-
LEVEL 3	998.22	-	-	4	-
LEVEL 4	479.44	-	1	2	-
LEVEL 5	489.93	-	-	-	1
	5,179.84 m ²	35	8	18	1

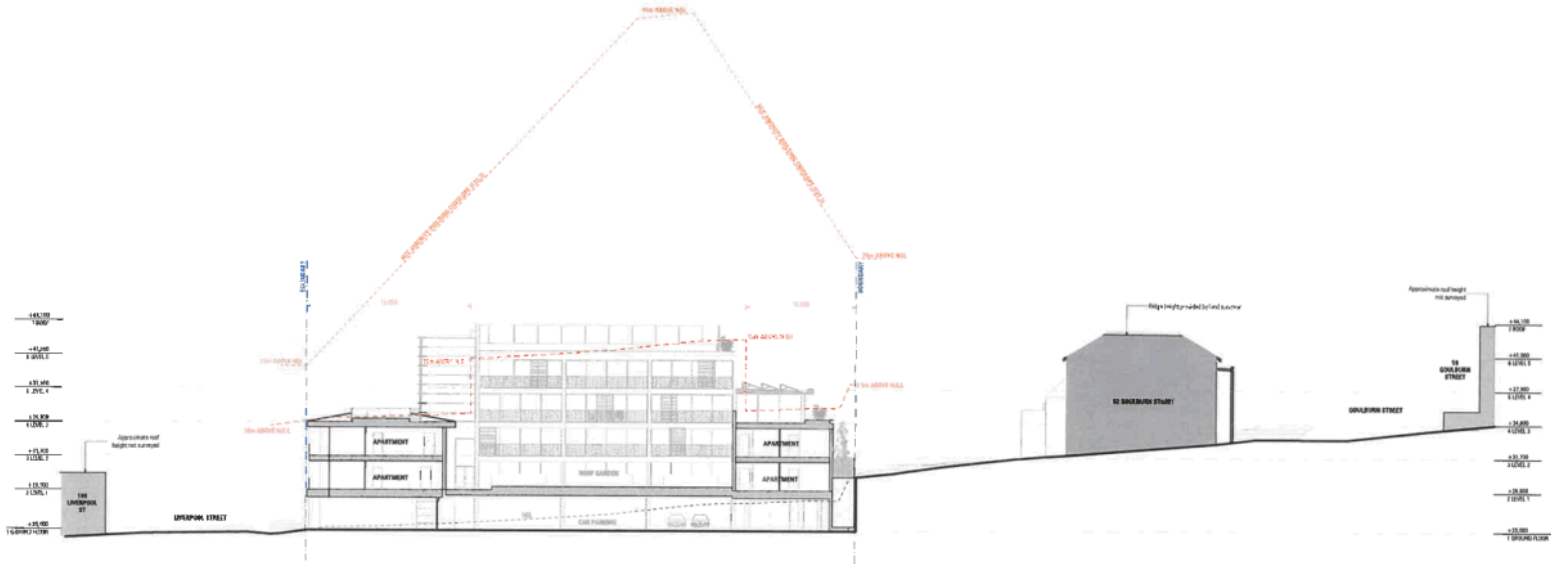
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52	Received Poisson and a General Poisson Latency	5.0% (20)

ARCHITECTSMAW





STREET ELEVATION
Scale 1:200



SECTION A - LIVERPOOL ST TO GOULBURN ST
Scale 1:200

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DRAWING LEGEND
Tag Description

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james@jamesarchitects.com.au
www.jamesarchitects.com.au

LIVERPOOL ST PROJECT
LIVERPOOL ST PROJECT
217 Liverpool St, Hobart, Tas 7000
JAMES ARCHITECTS PTY LTD

DRAWING
DRAWING NAME
STREET ELEVATION & LONG SECTION

DRAWING NO
19069_DA03

REVISION
NO. 01
DATE 12/06/2020
DRAWN BY JAMES ARCHITECTS
CHECKED BY JAMES ARCHITECTS
APPROVED BY JAMES ARCHITECTS
DATE 12/06/2020

STATUS
DEVELOPMENT APPLICATION

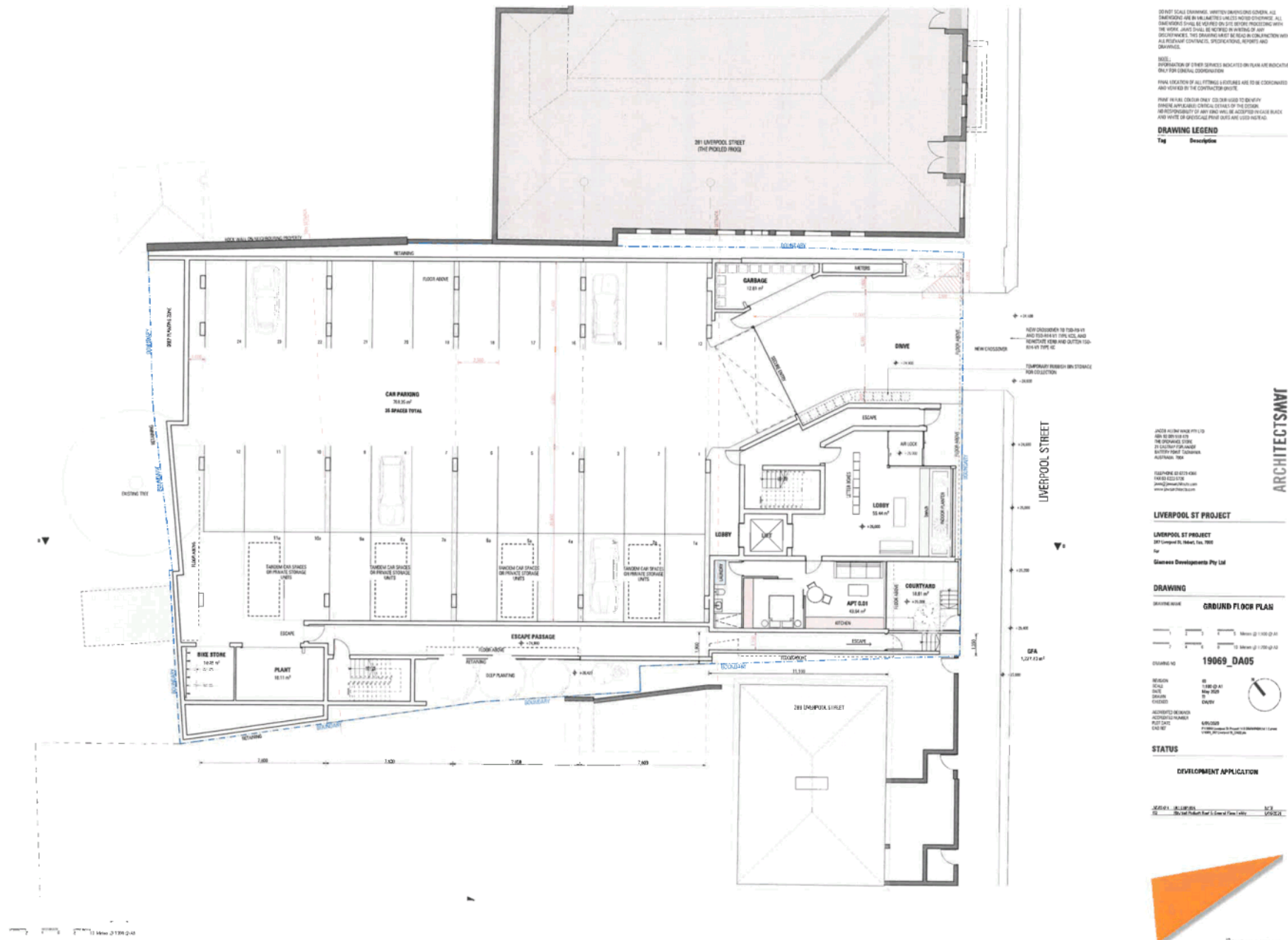
REVISION
NO. 01
DATE 12/06/2020
DRAWN BY JAMES ARCHITECTS
CHECKED BY JAMES ARCHITECTS
APPROVED BY JAMES ARCHITECTS
DATE 12/06/2020





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EE	Annual Permits South Carolina's water supply	9/14/2022

ARCHITECTSMAJ





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281 LIVERPOOL STREET
SYDNEY NSW 2000
AUSTRALIA
TEL: 02 9251 1234
WWW.JAMESARCHITECTS.COM

LIVERPOOL ST PROJECT

LIVERPOOL ST PROJECT
281 Liverpool St, Sydney, NSW 2000
NSW

James Architects Pty Ltd

DRAWING

DRAWING NAME: **LEVEL 1 FLOOR PLAN**

DRAWING NO: **19069_DA06**

REVISIONS:

NO	DATE	BY	DESCRIPTION
01	15/06/2020	DAVID	ISSUED FOR PERMIT

APPROVED FOR PERMIT:

DATE: 15/06/2020

PROJECT: 19069

STATUS

DEVELOPMENT APPLICATION

REVISION: SCALE: 1:200





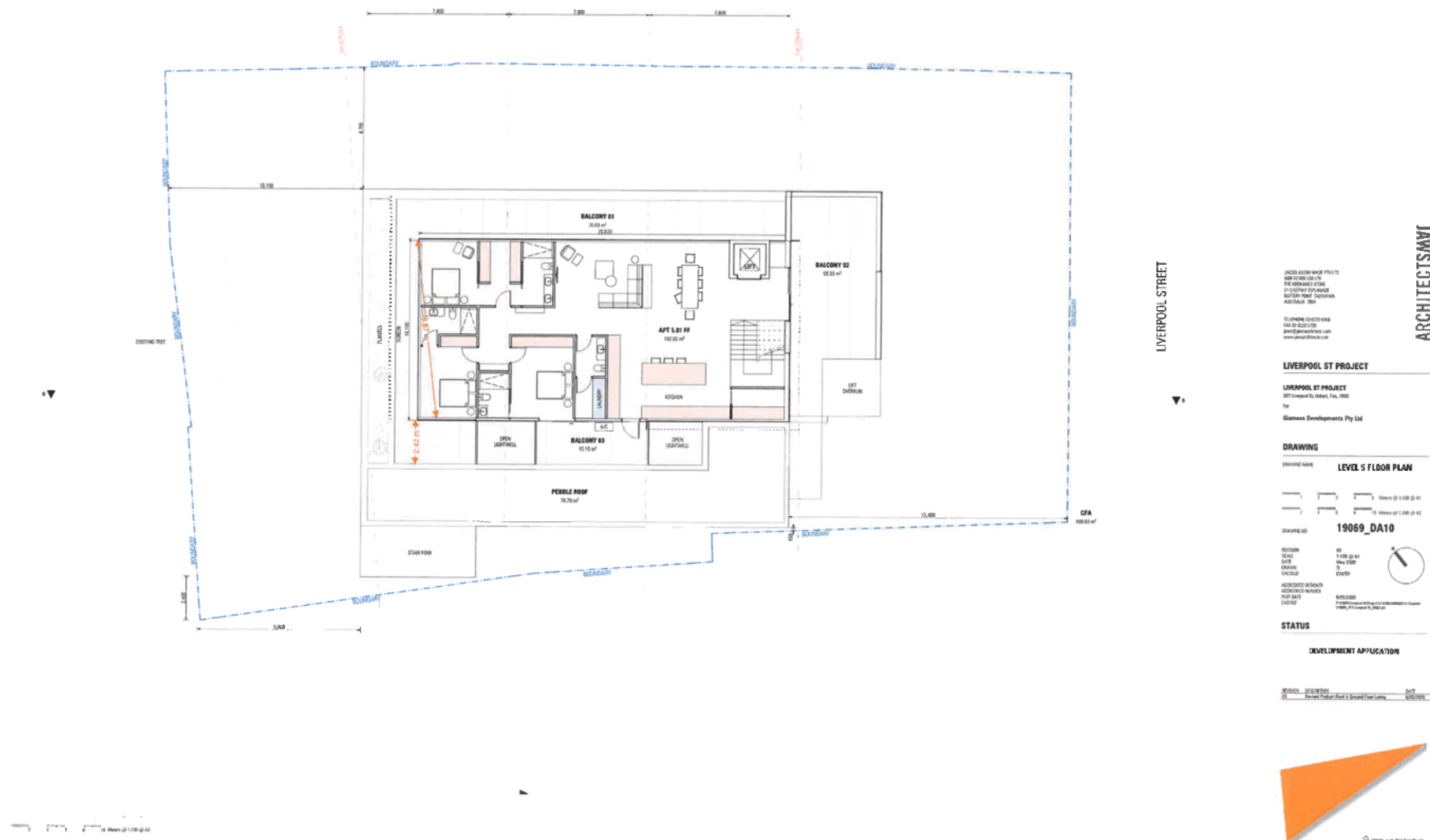




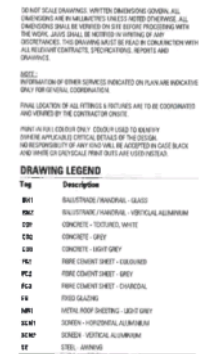
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U2. Ray and Pridgen Plot of Ground Water Levels	6/27/2008

ARCHITECTSMAJ







NW NORTH-WEST ELEVATION
Scale 1:100



LIVERPOOL ST PROJECT

LIVERPOOL ST PROJECT
217 Liverpool St, Hobart, Tas, 7000
For
Glassco Developments Pty

DRAWING

DEPARTING 10:45 AM

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DISCUSSION 345

REVIEWER
SCALE
DATE

SPRING
CHECKING

ACCEPTED FOR PUBLICATION

POST CARD
CASH REF

STATIC

STATE OF

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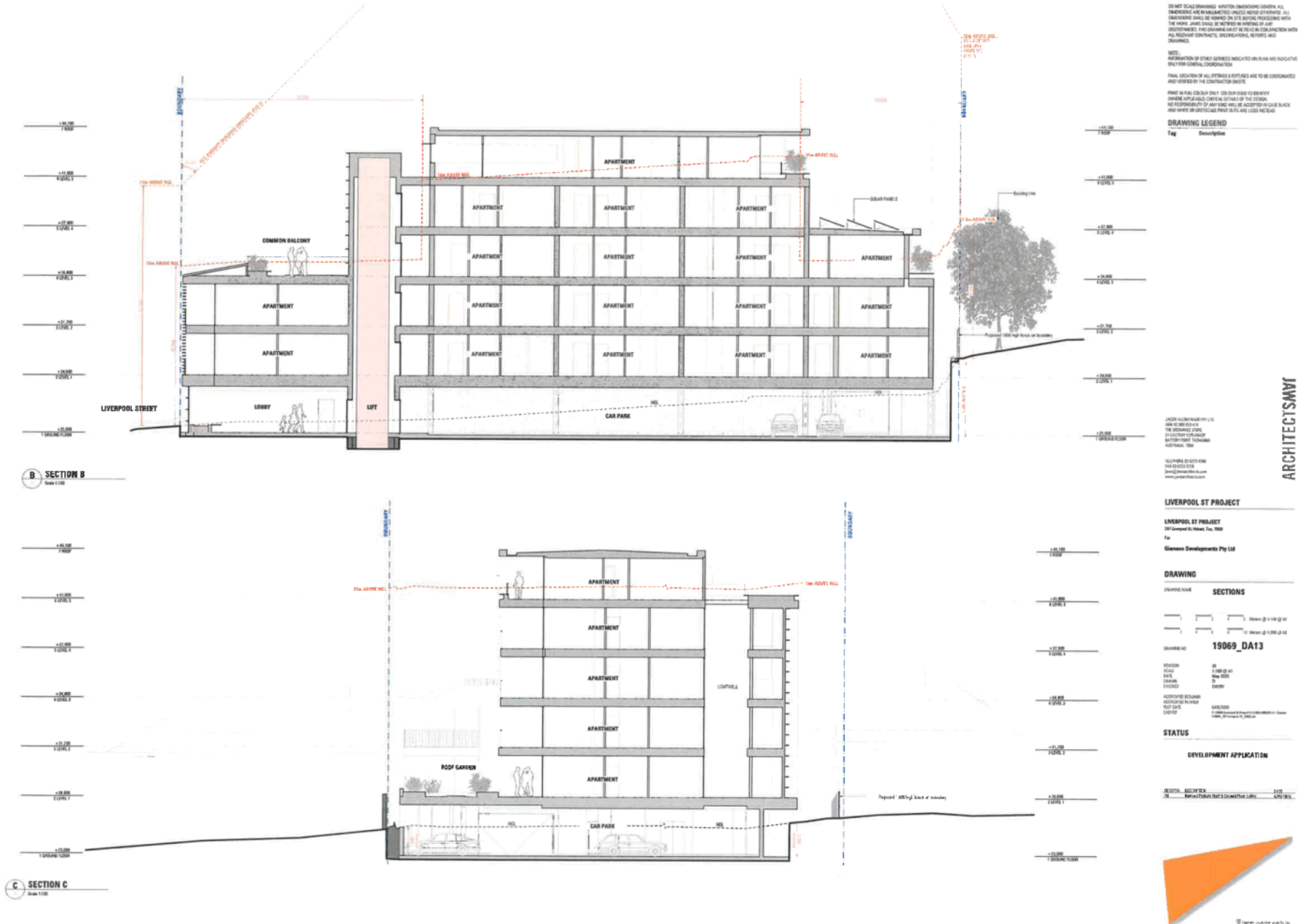
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ARTIST IMPRESSION 01 - VIEW DOWN LIVERPOOL STREET

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Tag	Description
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JAMES ALLEN & SONS LTD
ARCHITECTS
100 Liverpool St, Suite 100, York, YO1 1AA
01904 611111
www.jamesallen.co.uk

LIVERPOOL ST PROJECT

LIVERPOOL ST PROJECT
100 Liverpool St, Suite 100, York, YO1 1AA
For:
James Development Pty Ltd

DRAWING

DRAWING NAME: **ARTIST IMPRESSION 01**

19069_DA14

REVISION
DATE
BY
DRAWN
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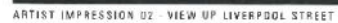
APPROVED BY
DATE
PROJECT NAME
PROJECT NO.

STATUS

DEVELOPMENT APPLICATION

DESIGN: JAMES ALLEN & SONS LTD
DATE: 15/06/2020





Year	Population	Per 1,000
1990	10,000	100
2000	15,000	150
2010	20,000	200
2020	25,000	250

ARCHITECTSMAVI

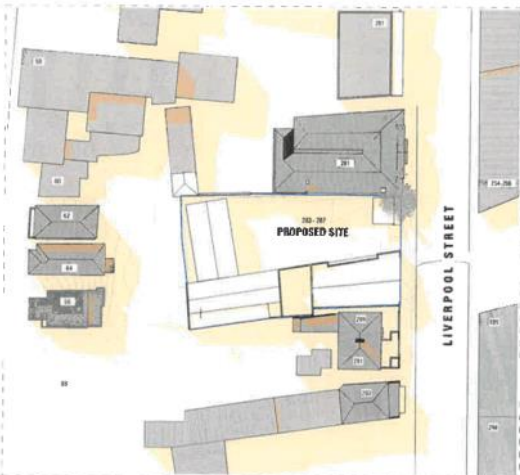




REVISION	DESCRIPTION	DATE
02	REV. PLN 111	11-1-2000

ARCHITECTSMAAT

WINTER SOLSTICE - EXISTING



EQUINOX - EXISTING



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DRAWING LEGEND

Tag Description

ARCHITECTS/MW

LIVERPOOL ST PROJECT

LIVERPOOL ST PROJECT
200 Liverpool St, Hobart, Tas, 7000
AW
Glennan Developments Pty Ltd

DRAWING

DRAWING NAME

SHADOW DIAGRAMS - EXISTING

DRAWING NO

19069_DA17

REVISION
DATE
BY
DRAWN
CHECKED
APPROVED
DATE

STATUS

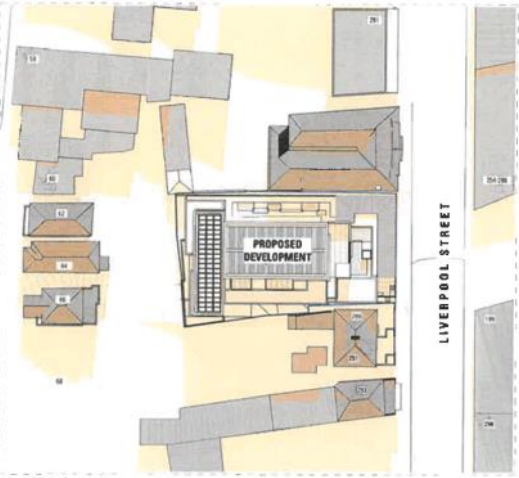
DEVELOPMENT APPLICATION

LOCATION: 19069 DA17
Project: Hobart City Council & Council of the City of Hobart

DATE: 15/06/2020



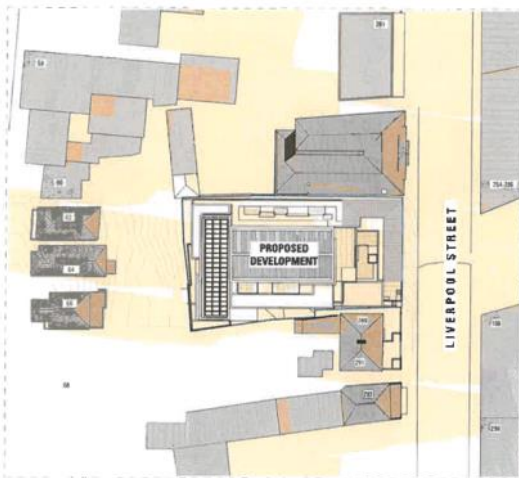
WINTER SOLSTICE - PROPOSED



21st June - 9am
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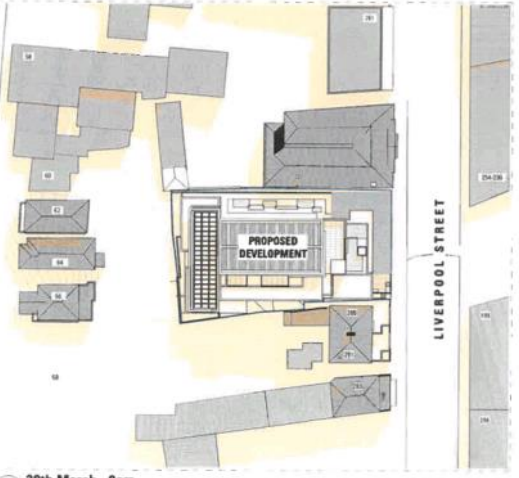


21st June - 12pm
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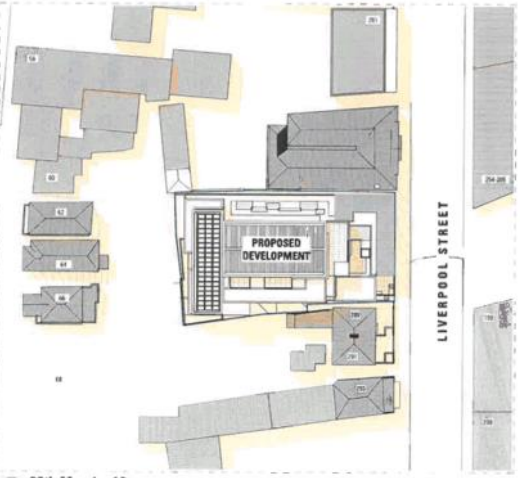


21st June - 3pm
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EQUINOX - PROPOSED



20th March - 9am
Scale 1:500



20th March - 12pm
Scale 1:500



20th March - 3pm
Scale 1:500

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DRAWING LEGEND
Tag Description

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LIVERPOOL ST PROJECT
LIVERPOOL ST PROJECT
100-102 LIVERPOOL STREET, LIVERPOOL, L3 5JF
For
Glasshouse Developments Plc Ltd

DRAWING
DRAWING NAME
SHADOW DIAGRAMS - PROPOSED

DRAWING NO
19069_DA18

REVISION
SCALE
DATE
DRAWN BY
CHECKED BY
APPROVED BY

STATUS
DEVELOPMENT APPLICATION

LEGEND: (1) (2) (3) (4) (5) (6) (7) (8) (9) (10) (11) (12) (13) (14) (15) (16) (17) (18) (19) (20) (21) (22) (23) (24) (25) (26) (27) (28) (29) (30) (31) (32) (33) (34) (35) (36) (37) (38) (39) (40) (41) (42) (43) (44) (45) (46) (47) (48) (49) (50) (51) (52) (53) (54) (55) (56) (57) (58) (59) (60) (61) (62) (63) (64) (65) (66) (67) (68) (69) (70) (71) (72) (73) (74) (75) (76) (77) (78) (79) (80) (81) (82) (83) (84) (85) (86) (87) (88) (89) (90) (91) (92) (93) (94) (95) (96) (97) (98) (99) (100)

DATE: 15/06/2020

BY: JAMES TAYLOR

FOR: JAMES TAYLOR ARCHITECTS

PROJECT: LIVERPOOL ST PROJECT

DATE: 15/06/2020

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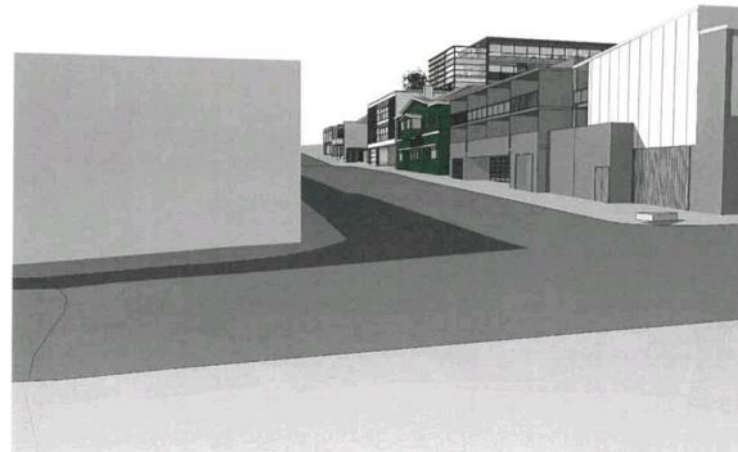
PROJECT: LIVERPOOL ST PROJECT

DATE: 15/06/2020

BY: JAMES TAYLOR

FOR: JAMES TAYLOR ARCHITECTS

PROJECT: LIVERPOOL ST PROJECT



287 LIVERPOOL STREET MODEL VIEWS
SCHEME REVISION 03 06/05/2020

**RESULT OF SEARCH**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

SEARCH OF TORRENS TITLE

VOLUME 133023	FOLIO 1
EDITION 5	DATE OF ISSUE 22-Nov-2017

SEARCH DATE : 12-Jan-2018

SEARCH TIME : 04.36 PM

DESCRIPTION OF LAND

City of HOBART
Lot 1 on Plan 133023
(Being in part the land derived from conveyance 56/2088)
Derivation : Whole of 0A-0R-39P & Part of 0A-1R-8P Section Aa
Gtd. to W. Harris.
Derived from A15276
Prior CTs 113297/1 and 225083/1

SCHEDULE 1

E114384 TRANSFER to STEFAN NICHOLAS GIAMEOS Registered
22-Nov-2017 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
C207418 ADHESION ORDER under Section 110 of the Local
Government (Building and Miscellaneous Provisions)
Act 1993 Registered 24-Nov-1999 at noon
E114385 MORTGAGE to Commonwealth Bank of Australia
Registered 22-Nov-2017 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



FOLIO PLAN

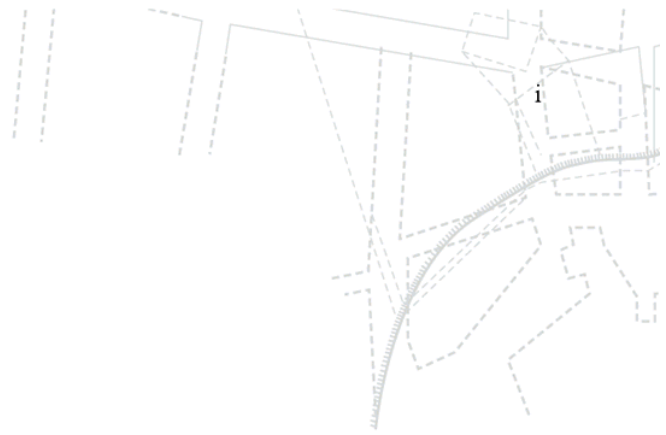
RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



OWNER FRII3297/1 FOLIO REFERENCE FR225083/1 GRANTEE		PLAN OF TITLE LOCATION CITY OF HOBART (SEC.AA) CONVERTED BY PLAN No. COMPILED BY LDRB NOT TO SCALE LENGTHS IN METRES		Registered Number P133023 APPROVED 8 SEP 2003 <i>Alice Kanta</i> Recorder of Titles
MAPSHEET MUNICIPAL CODE No. 114 (5225)	LAST GCT40 UPI No 2123794	LAST PLAN (P225083) No. (P113297)	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	
SKETCH BY WAY OF ILLUSTRATION ONLY AS RELATES TO THE LAND MARKED "EXCEPTED LANDS" A.B.C.D. DERIVED FROM CONV.56/2088				
<div style="text-align: center;"> <p>NEW PLAN REDRAWN FOR OFFICE CONVENIENCE</p> </div> <p style="text-align: center;">LOT 1</p> <p style="text-align: center;">LIVERPOOL STREET (TO BARRACK STREET)</p> <p style="text-align: center;">THE REMAINDER OF LOT 1 IS COMPILED FROM F.R.225083/1</p> <p style="text-align: right;">DAB</p>				

AllUrbanPlanning PTY LTD



Planning Report

283-287 Liverpool Street

Apartment

Redevelopment



Date March 2020

19 Mawhera Ave, Sandy Bay Tasmania 7005 **Call** 0400 109 582
Email fraser@allurbanplanning.com.au allurbanplanning.com.au

Table of contents

1.	Introduction	2
1.1	Site & Surrounds.....	2
2.	Proposal.....	3
2.1	Development	3
2.2	Use	3
2.3	Sustainability	4
3.	The Planning Scheme	4
3.1	Central Business Zone	5
3.2	Desired Future Character Statements.....	6
3.3	Use Table	7
3.4	Use Standards	8
3.5	Development Standards for Buildings and Works	10
4.	Planning Scheme Codes.....	21
4.1	Potentially Contaminated land Code	21
4.2	Road and Railway Assets Code	23
4.3	Parking and Access Code	23
4.4	Stormwater Management Code	24
4.5	Historic Heritage Code	24
4.6	Signage	25
5.	Conclusion.....	25

1. Introduction

All Urban Planning Pty Ltd has been engaged by Giameos Developments Pty Ltd to prepare the following planning assessment for a new multi dwelling inner city project at 283-287 Liverpool Street under the provisions of the Hobart Interim Planning Scheme 2015 (planning scheme).

1.1 Site & Surrounds

The proposal relates to 283-287 Liverpool Street, CT 133023/1 on the north western side of Liverpool Street between Barrack and Molle Streets. The site has an area of approximately 1350m².

The site is located between two heritage buildings. The Pickelded Frog backpackers at 281 Liverpool Street to the north east and a cojoined residential property at 289 Liverpool Street to the south west.

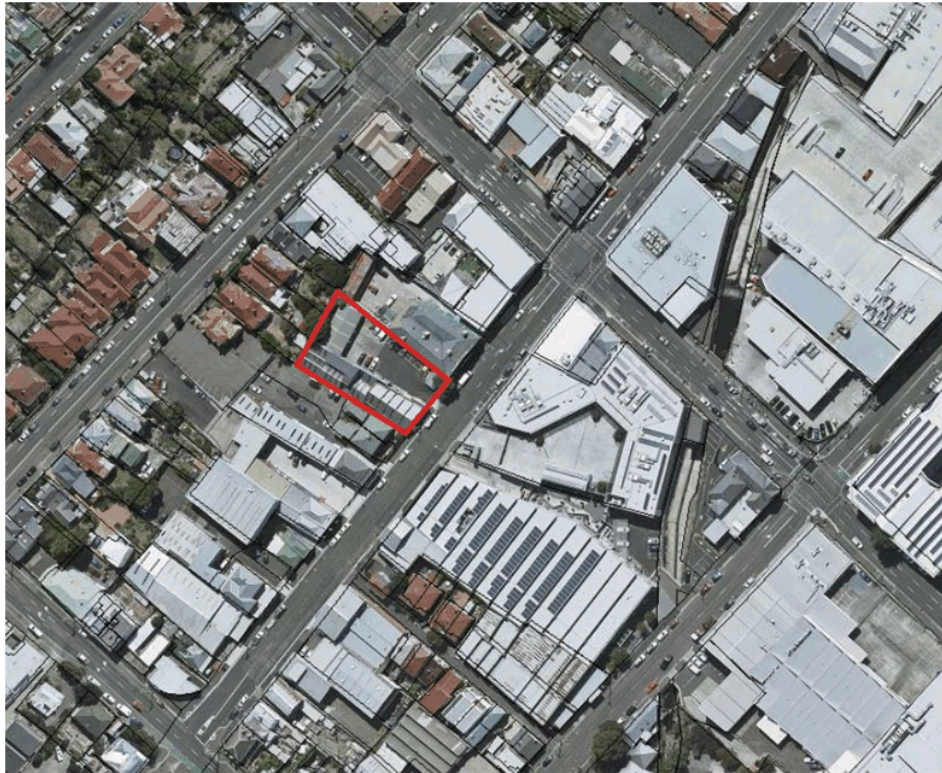


Figure 1– Site Plan (source annotated from theList)

AllUrbanPlanning



Figure 2 – proposed site plan (Source: JAWS Architects)

2. Proposal

The proposal is for redevelopment of the site for a new 6 storey residential apartment building incorporating 25 multiple dwellings.

2.1 Development

- Demolition of the existing light industrial buildings on the site;
- A new 6 storey building arranged around a central courtyard on the northern side of the site and including 25 multiple dwellings, each with a private courtyard or deck;
- Landscaped common roof gardens on Liverpool Street and central courtyard; and
- Roof top solar panels.

2.2 Use

Ground Floor

- Up to 35 car parking spaces excavated into the slope of the site at the rear including 11 tandem spaces that can either be used as a second car space for a dwelling or as a private storage unit;
- 6m wide vehicle crossover;
- Enclosed bike store;
- Rubbish store;
- Plant equipment;



- Apartment lobby area (51m²); and
- 1 bedroom apartment with private courtyard.

Level 1

- 8 apartments (3 x 1 bedroom and 5 x 2 bedroom)

Level 2

- 8 apartments (3 x 1 bedroom and 5 x 2 bedroom)

Level 3

- 4 apartments (4 x 2 bedroom);
- Common landscaped balcony roof overlooking Liverpool Street

Level 4

- 3 apartments (2 x 2 bedroom and 1 x 1 bedroom); and
- Entry to Level 5 apartment

Level 5

- 1 apartment (3 bedroom)

A design statement prepared by Jaws Architects accompanies the application and details the proposed design rationale, use, materials and finishes as well as residential amenity and liveability considerations.

2.3 Sustainability

The complex aims to reflect a contemporary ambition for sustainable inner city living.

The building has been designed and orientated for a high level of passive solar amenity with full width balconies with northerly aspect provided for most apartments. The apartments with a westerly aspect enjoy views to the mountain and easterly, city scape views.

Generous light wells over for levels deliver both light and natural cross ventilation to the apartments with light filtering through corridors, adding a secondary light source.

Efficient planning arrangement and servicing affords reduced material waste.

The site location allows reduced reliance on car travel.

A sense of community is provided with generous shared spaces including courtyards, planters and ground floor lounge area.

3. The Planning Scheme

Under Clause 8.10.1 of the planning scheme the planning authority must, in addition to the matters required by ss51(2) of the Act, take into consideration:

- all applicable standards and requirements in this planning scheme; and
- any representations received pursuant to and in conformity with ss57(5) of the Act,

but in the case of the exercise of discretion, only insofar as each such matter is relevant to the particular discretion being exercised.

A standard is applicable if the site is within the relevant zone and the standard deals with a matter that could affect or be affected by the proposed development; cl.7.5.2.

A standard is defined to mean the objective for a particular planning issue and the means for satisfying that objective through either an acceptable solution or corresponding performance criterion.

Compliance with a standard is achieved by complying with either the acceptable solution or corresponding performance criterion; cl.7.5.3.

The objective of the standard may be considered to help determine whether the proposed use or development complies with the performance criterion of that standard; cl.7.5.4. The acceptable solution is not relevant to the assessment of the corresponding performance criteria.

Discretionary uses are to be determined with regard to the zone purpose and the purpose of any applicable code.

3.1 Central Business Zone

The site is zoned Central Business and adjoins the Inner Residential Zone to the rear including properties fronting Goulburn Street to the north west.



Figure 3 - Zoning plan (Source: iplan)

The Zone Purpose Statements under Clause 22.1.1 are as follows:



- 22.1.1.1 *To provide for business, civic and cultural, community, food, hotel, professional, retail and tourist functions within a major centre serving the region or sub-region.*
- 22.1.1.2 *To maintain and strengthen Hobart's Central Business District and immediate surrounds including, the waterfront, as the primary activity centre for Tasmania, the Southern Region and the Greater Hobart metropolitan area with a comprehensive range of and highest order of retail, commercial, administrative, community, cultural, employment areas and nodes, and entertainment activities provided.*
- 22.1.1.3 *To provide a safe, comfortable and pleasant environment for workers, residents and visitors through the provision of high quality urban spaces and urban design.*
- 22.1.1.4 *To facilitate high density residential development and visitor accommodation within the activity centre above ground floor level and surrounding the core commercial activity centre.*
- 22.1.1.5 *To ensure development is accessible by public transport, walking and cycling.*
- 22.1.1.6 *To encourage intense activity at pedestrian levels with shop windows offering interest and activity to pedestrians.*
- 22.1.1.7 *To encourage a network of arcades and through-site links characterised by bright shop windows, displays and activities and maintain and enhance Elizabeth Street Mall and links to it as the major pedestrian hub of the CBD.*
- 22.1.1.8 *To respect the unique character of the Hobart CBD and maintain the streetscape and townscape contribution of places of historic cultural heritage significance.*
- 22.1.1.9 *To provide a safe, comfortable and enjoyable environment for workers, residents and visitors through the provision of high quality spaces and urban design.*

The proposal for residential development surrounding the core commercial activity centre of the CBD is consistent with Purpose Statement 22.1.1.4. The proposal is also considered to further Purpose Statements 22.1.1.5 for accessibility by multiple modes of transport as well as 22.1.1.8 and 22.1.1.9 to protect the unique character of Hobart and provide a safe, comfortable and enjoyable environment for residents through the provision of high quality spaces and urban design. In this respect the removal of the current use as an automotive caryard and workshops will allow for significant urban streetscape repair and enrichment.

In my opinion the proposal, located at the western fringe of the CBD between two residential properties, otherwise does not unreasonably impact on the broader Purpose Statements to provide for business, civic and cultural functions of the city. Matters relating to an active frontage are discussed below.

3.2 Desired Future Character Statements

Townscape and Streetscape Character

22.1.3.1 Objectives:

- (a) *That the Central Business Zone provides a compact built focus to the region, reflecting an appropriate intensity in its role as the heart of settlement.*
- (b) *That the Central Business Zone develops in a way that reinforces the layered landform rise back from the waterfront, having regard to the distinct layers of the landform, respecting the urban amphitheatre, including the amphitheatre to the Cove, while providing a reduction in scale to the Queens*

Domain, the Domain and Battery Point headlands and the natural rise to Barracks Hill (see Figures 22.7 and 22.8).

(c) That the Central Business Zone consolidates within, and provides a transition in scale from, its intense focus in the basin, acknowledging also the change in contour along the Macquarie Ridge, including both its rising and diminishing grades, including to the low point of the amphitheatre to the Cove (see Figures 22.7, 22.8 and 22.9).

(d) That the historic cultural heritage values of places and precincts in the Central Business Zone be protected and enhanced in recognition of the significant benefits they bring to the economic, social and cultural value of the City as a whole.

Building Siting, Bulk and Design

22.1.3.2 Building Siting, Bulk and Design

The siting, bulk and design of a building above the street wall and beyond the Amenity Building Envelope (see Figure 22.3) must be consistent with the objectives in clause 22.1.3.1, having regard to:

- (a) the consolidation of the Central Business Zone in a manner which provides separate building forms and a layered visual effect rather than the appearance of a contiguous wall of towers;
- (b) maintaining a level of permeability through city blocks by reductions in bulk as height increases allowing for sunlight into streets and public spaces;
- (c) the building proportion and detail reflecting and reinforcing the streetscape pattern;
- (d) the building not being an individually prominent building by virtue of its height or bulk, thus reinforcing a cohesive built form and the containment provided by the urban amphitheatre;
- (e) reinforcing consistent building edges and height at the street wall allowing for solar penetration where possible;
- (f) the provision of weather protection for footpaths to enhance pedestrian amenity and encourage, where appropriate, interior activity beyond the building entrance; and
- (g) the provision of permeability in support of the open space network.

3.3 Use Table

The proposed apartments fall with the Residential Use Class. The apartments above ground level are Permitted under the Use Table 22.2. The single ground floor apartment and aspects of the use that are for more than 'access' are Discretionary.¹

The ground level primarily accommodates the vehicle access, car parking, bike store, utilities (including meters, garbage storage), lobby with recessed pedestrian entry from Liverpool Street including access to the stairs and lift as well as letter boxes.

The small balance of the ground floor includes a single bedroom apartment and courtyard.

Under Clause 8.10.2, in determining the ground level discretionary use the planning authority must, in addition to the matters referred to in subclause 8.10.1, have regard to:

¹ I approach the term access in this context as including the associated carparking, vehicle access and circulation areas and the ground floor lobby to the extent that it is necessary to provide for pedestrian movement to and from the stairs and lift.



- (a) the purpose of the applicable zone;
- (b) any relevant local area objective or desired future character statement for the applicable zone;
- (c) the purpose of any applicable code; and
- (d) the purpose of any applicable specific area plan,

but only insofar as each such purpose, local area objective or desired future character statement is relevant to the particular discretion being exercised.

Having regard to these considerations, in this case the ground level use is considered acceptable in that:

- The site is on the fringe of the CBD and is not within the core commercial activity centre of the city;
- The site is between two residential uses and the small single bedroom apartment and courtyard replicates the adjacent residences at 289 Liverpool Street;
- The majority of the activities are required to service the upper level permitted residential use;
- The lobby has an area of 51m² and I consider it to be desirable and appropriate for the scale of the development. It will present a bright and welcoming entry foyer and lounge area for the apartments above;
- The resident activity and movements to and from the site throughout the day and out of hours will contribute to the passive surveillance, safety and interest of the CBD.

The Desired Future Character Statement relate to matters of Development under Clause 22.4 rather than Use and there are otherwise no specific Code purposes that are particularly relevant to the assessment of this residential use.

3.4 Use Standards

Hours of Operation (22.3.1)

Use Standard	Assessment
<p>A1</p> <p>Hours of operation of a use within 50 m of a residential zone must be within:</p> <p>(a) 6.00 am to 10.00 pm Mondays to Saturdays inclusive;</p> <p>(b) 7.00 am to 9.00 pm Sundays and Public Holidays.</p> <p>except for office and administrative tasks.</p>	<p>Not applicable. The proposal does not involve a business.</p>

Noise (22.3.2)

Use Standard	Assessment
<p>A1</p> <p>Noise emissions measured at the boundary of a residential zone must not exceed the following:</p>	<p>Subject to standard installation of any mechanical air conditioning plant, the proposed residential use will not involve noise emissions. Complies.</p>

<p>(a) 55dB(A) (LAeq) between the hours of 7.00 am to 7.00 pm;</p> <p>(b) 5dB(A) above the background (LA90) level or 40dB(A) (LAeq), whichever is the lower, between the hours of 7.00 pm to 7.00 am;</p> <p>(c) 65dB(A) (LMax) at any time.</p> <p>Measurement of noise levels must be in accordance with the methods in the Tasmanian Noise Measurement Procedures Manual, issued by the Director of Environmental Management, including adjustment of noise levels for tonality and impulsiveness.</p> <p>Noise levels are to be averaged over a 15 minute time interval.</p>	
---	--

External Lighting (22.3.3)

Use Standard	Assessment
<p>A1</p> <p>External lighting within 50 m of a residential zone must comply with all of the following:</p> <p>(a) be turned off between 11:00 pm and 6:00 am, except for security lighting;</p> <p>(b) security lighting must be baffled to ensure they do not cause emission of light outside the zone.</p>	<p>The proposal does not involve external lighting other than associated with the residential use and for security.</p>

Commercial Vehicle Movements (22.3.4)

Use Standard	Assessment
<p>A1</p> <p>Commercial vehicle movements, (including loading and unloading and garbage removal) to or from a site within 50 m of a residential zone must be within the hours of:</p> <p>(a) 6.00 am to 10.00 pm Mondays to Saturdays inclusive;</p> <p>(b) 7.00 am to 9.00 pm Sundays and Public Holidays.</p>	<p>The proposal does not involve commercial vehicle movements other than standard garbage removal.</p>

The proposal does not involve a commercial use and the other Use Standards do not apply.

3.5 Development Standards for Buildings and Works

The Development Standards for the Central Business Zone apply differently depending on whether a site is within the Core or Fringe Area, on a Solar Penetration Priority Street or within the Active Frontage Overlay.

In this case the site is:

- located within the Central Business Fringe Area (Figure 22.2);
- not located on a Solar Penetration Priority Street (Figure 22.2);
- located outside the Active Frontage Overlay (Figure 22.1); and
- located in between two heritage listed places on the Liverpool Street frontage.

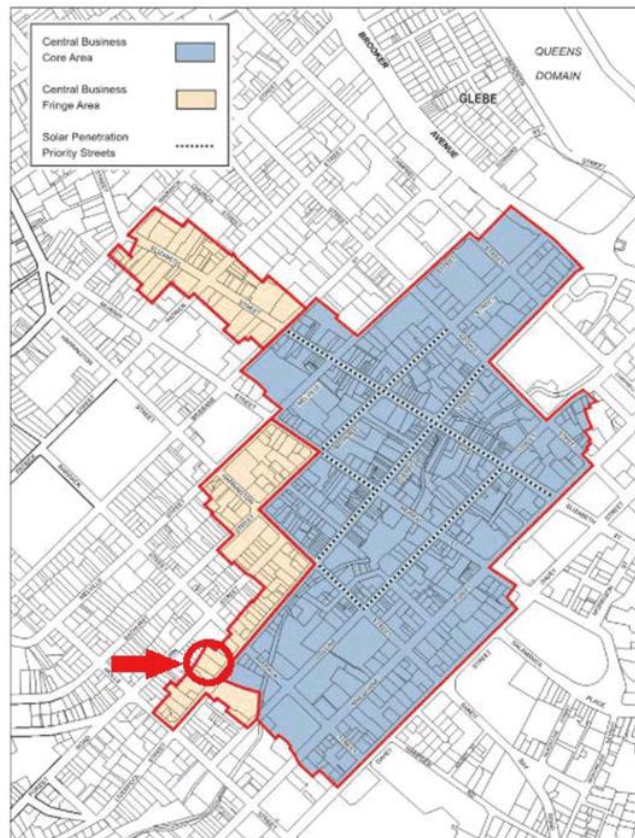


Figure 4 -Central Business Zone Height Areas (Figure 22.2 of the Planning Scheme)

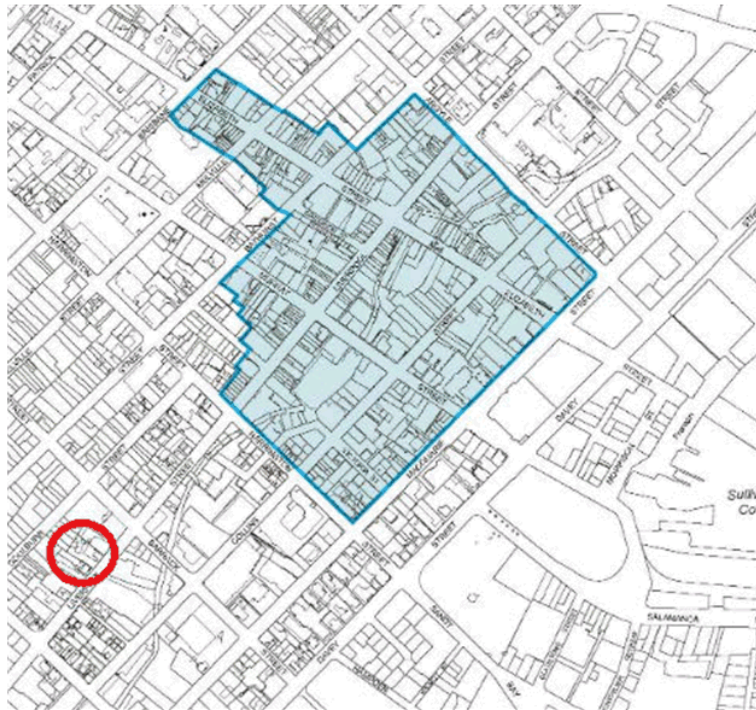


Figure 5 -- Active Frontage Overlay (Figure 22.1 of the Planning Scheme)

Having regard to these overlays the following Development Standards apply to height and setback on the land.


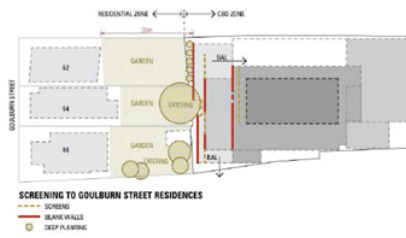

22.4.1 Building Height

Objective

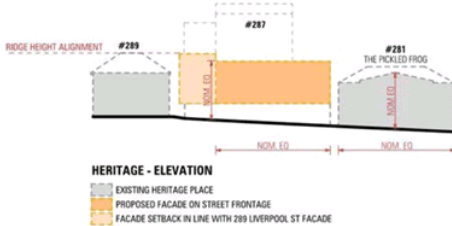
That building height:

- (a) *contributes positively to the streetscape and townscape;*
- (b) *does not unreasonably impact on historic heritage character;*
- (c) *does not unreasonably impact on important views within the urban amphitheatre;*
- (d) *does not unreasonably impact on residential amenity of land in a residential zone; and*
- (e) *provides significant community benefits if outside the Amenity Building Envelope.*

Acceptable Solutions	Performance Criteria
<p>A2</p> <p><i>Building height within 10m of a residential zone must be no more than 8.5m.</i></p>	<p>The 8.5m permitted height within 10m of the rear boundary with the Inner Residential Zone is shown on the section drawings. Although the building is below a datum 8.5m above the rear boundary of the site, given that the land falls away towards Liverpool</p>

	<p>Street, the proposal is more than 8.5m high, within 10m of the boundary and is therefore to be assessed under P2.</p>
<p>P2</p> <p><i>Building height within 10m of a residential zone must be compatible with the building height of existing buildings on adjoining lots in the residential zone.</i></p>	<p>The proposal is considered to satisfy P2 with an appropriate transition in height and scale to the adjoining Goulburn Street properties uphill to the north west of the site.</p> <p>As discussed in the Design Statement, the steep rise of the hill to Goulburn Street and beyond, allows this proposal to nestle into the hillscape, sitting well below any ridgelines and out of significant view corridors. The proposal will be below a datum 8.5m above the back boundary. The section diagram below shows the comparative heights to the Goulburn Street residences behind.</p>  <p>The stepping walls of the North-West elevation are modulated using planters, screens and a mixture of materials as shown in the following diagram and montage.</p>  

	<p>The existing 15-20 metre, green corridor created by the gardens of the residential properties, combined with proposed stepped form, proposed landscaping and a new boundary fence, assist to provide a compatible relationship to the adjoining rear gardens. The development appears modestly scaled and screened when viewed from the Goulburn Street properties.</p>
<p>A3</p> <p><i>Building height within the Central Business Fringe Area in Figure 22.2 must be no more than:</i></p> <p>(a) 11.5m and a maximum of 3 storeys;</p> <p>(b) 15m and a maximum of 4 storeys, if the development provides at least 50% of the floor space above ground floor level for residential use;</p> <p><i>unless an extension to an existing building that:</i></p> <p>(i) is necessary solely to provide access, toilets, or other facilities for people with disabilities;</p> <p>(ii) is necessary to provide facilities required by other legislation or regulation.</p>	<p>The proposal exceeds the Acceptable Solution A3 b) of 15m and 4 storeys for this residential development and is to be assessed under P3.</p>
<p>P3.1</p> <p><i>The siting, bulk and design of development must respect the transition between the core area of the Central Business Zone and adjacent zones and must make a positive contribution to the streetscape and townscape.</i></p> <p>P3.2</p> <p><i>Development outside the Amenity Building Envelope (Figure 22.3) must provide significant benefits in terms of civic amenities such as public space, pedestrian links, public art or public toilets, unless a minor extension to an existing building that already exceeds the Amenity Building Envelope, and must make a positive contribution to the streetscape and townscape, having regard to:</i></p> <p>(a) the height, bulk and design of existing and proposed buildings;</p>	<p>The proposal is considered to satisfy P3.1 in that:</p> <p>As shown in the existing and proposed views from Council's 3D model provided in Appendix A to this report, the siting, bulk and design of the development provides an appropriate transition from the higher buildings of the CBD core to the surrounding areas of the CBD fringe and elevated residential areas of West Hobart to the north and west.</p> <p>In my assessment it is apparent from these images and the photo montages that the building transitions down to the surrounding zone. The proposal will make a positive contribution to the streetscape, townscape and city through the creation of new inner urban residential living options.</p> <p>As discussed in the Design Statement the complex is located in a mixed-use streetscape. Low scale commercial and residential complexes and various small single use commercial tenancies dominate this end of Liverpool Street. Directly adjacent are two</p>

<p>(b) the need to minimise unreasonable impacts on the view lines and view cones in Figure 22.6 and on the landform horizons to kunanyi/ Mt Wellington and the Wellington Range from public spaces within the Central Business Zone and the Cove Floor;</p> <p>(c) the need to minimise unreasonable impacts on pedestrian amenity from overshadowing of the public footpath;</p> <p>(d) the need to minimise unreasonable impacts on the amenity of public open space from overshadowing;</p> <p>(e) the need to minimise unreasonable impacts on pedestrian amenity from adverse wind conditions; and</p> <p>(f) the degree of consistency with the Desired Future Character Statements in clause 22.1.3.</p>	<p>heritage places. 289 Liverpool Street is an upgraded co-joined Georgian Townhouse, with walled, private front courtyards. 281 Liverpool Street is the 'Pickled Frog' Backpackers Accommodation.</p> <p>The streetscape podium building steps in plan and height to respect and reflect the scale of these adjacent cultural heritage buildings. On the lower side of the complex, the street edge apartments reflect the parapet wall height, width and setback of 281 Liverpool Street. On the higher side, the ridge height and setback of adjacent residences at 289 Liverpool Street, have guided the massing cues to create a uniform streetscape.</p> <p>P3.2 does not apply in that the building is well within the Amenity Building Envelope as shown in the section drawings.</p>
<p>A5</p> <p>Building height of development within 15m of a frontage and not separated from a place listed in the Historic Heritage Code by another building, full lot (excluding right of ways and lots less than 5m width) or road (refer figure 22.5 i), must:</p> <p>(a) not exceed 1 storey or 4m (whichever is the lesser) higher than the facade building height of a heritage building on the same street frontage (refer figure 22.5 ii); and</p> <p>(b) not exceed the facade building height of the higher heritage building on the same street frontage if the development is between two heritage places (refer figure 22.5 ii);</p> <p>or</p> <p>(c) comply with the building height in Clauses 22.4.1 A1 and A2;</p> <p>whichever is the lesser.</p>	<p>The building is located between two heritage places. The higher facade of the two places is the Pickled Frog. As shown in the architectural elevations and diagrammatically in the Design Statement illustrated below, the western end of the proposed façade is of comparable height to the facade of Pickled Frog. The proposal also does not exceed the height of a heritage building by more than 1 storey or 4m.</p> <p>Notwithstanding these conformances, the eastern end of the façade exceeds the height of the Pickled Frog as Liverpool Street slopes down towards the CBD. The proposal is therefore Discretionary and is to be assessed under P5.</p>  <p>HERITAGE - ELEVATION</p> <ul style="list-style-type: none"> EXISTING HERITAGE PLACE PROPOSED FACADE ON STREET FRONTAGE FACADE SETBACK IN LINE WITH 289 LIVERPOOL ST FACADE

<p>P5</p> <p><i>Building height within 15m of a frontage and not separated from a place listed in the Historic Heritage Code by another building, full lot (excluding right of ways and lots less than 5m width) or road (refer figure 22.5 i), must:</i></p> <p>(a) <i>not unreasonably dominate existing buildings of cultural heritage significance; and</i></p> <p>(b) <i>not have a materially adverse impact on the historic cultural heritage significance of the heritage place;</i></p> <p>(c) <i>for city blocks with frontage to a Solar Penetration Priority Street in Figure 22.2, not exceed the Amenity Building Envelope illustrated in Figure 22.3, unless it can be demonstrated that the overshadowing of the public footpath on the opposite side of the Solar Penetration Priority Street does not unreasonably impact on pedestrian amenity.</i></p>	<p>Having regard to the accompanying heritage impact assessment and Design Statement the proposal is considered to satisfy criteria a) & b) in that:</p> <p>The streetscape podium buildings step in plan and height to respect and reflect the scale of the adjacent cultural heritage buildings. On the lower side of the complex, the street edge apartments reflect the parapet wall height, width and setback of 281 Liverpool Street. On the higher side of the complex, the ridge height and setback of adjacent residences at 289 Liverpool Street, have guided the massing cues to create a uniform streetscape.</p> <p>This approach will repair and enliven the streetscape without unreasonably dominating or adversely impacting on the cultural values of the adjacent 'Places'.</p>
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22.4.2 Setback

Objective:

To ensure that building setback contributes positively to the streetscape and does not result in unreasonable impact on residential amenity of land in a residential zone.

Acceptable Solutions	Performance Criteria
<p>A1</p> <p><i>Building setback from frontage must be parallel to the frontage and must be no more than:</i></p> <p>0 m</p>	<p>The proposed building is built to Liverpool Street and satisfies this requirement.</p>
<p>A2</p> <p><i>Building setback from a residential zone must be no less than:</i></p> <p>(a) 6 m;</p> <p>(b) half the height of the wall,</p> <p><i>whichever is the greater.</i></p>	<p>The proposed setback to the rear boundary is to be assessed under P2.</p>

P2

Building setback from a residential zone must be sufficient to prevent unreasonable adverse impacts on residential amenity by:

(a) overshadowing and reduction of sunlight to habitable rooms and private open space on adjoining lots to less than 3 hours between 9.00 am and 5.00 pm on June 21 or further decrease sunlight hours if already less than 3 hours;

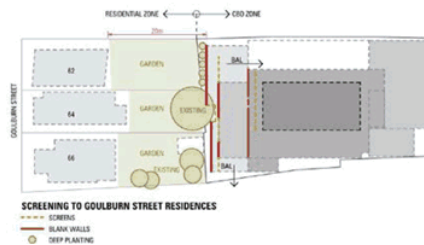
(b) overlooking and loss of privacy;

(c) visual impact when viewed from adjoining lots,

taking into account aspect and slope.

The siting to the rear boundary is considered acceptable and to prevent unreasonable adverse impact on residential amenity in that:

- a) as shown in the accompanying shadow diagrams the proposal will not overshadow the habitable rooms or private open space of the adjoining lots in the residential zone to the rear on Goulbourn Street;
- b) as shown in the Design Statement and rear photo montage, the proposal incorporates screening and landscaping to prevent overlooking or loss of privacy of the adjacent properties in the residential zone; and



- c) as shown in the following rear view photo montage, the proposal appropriately transitions to the CBD and will not have an unreasonable visual impact when viewed from the adjoining lots.



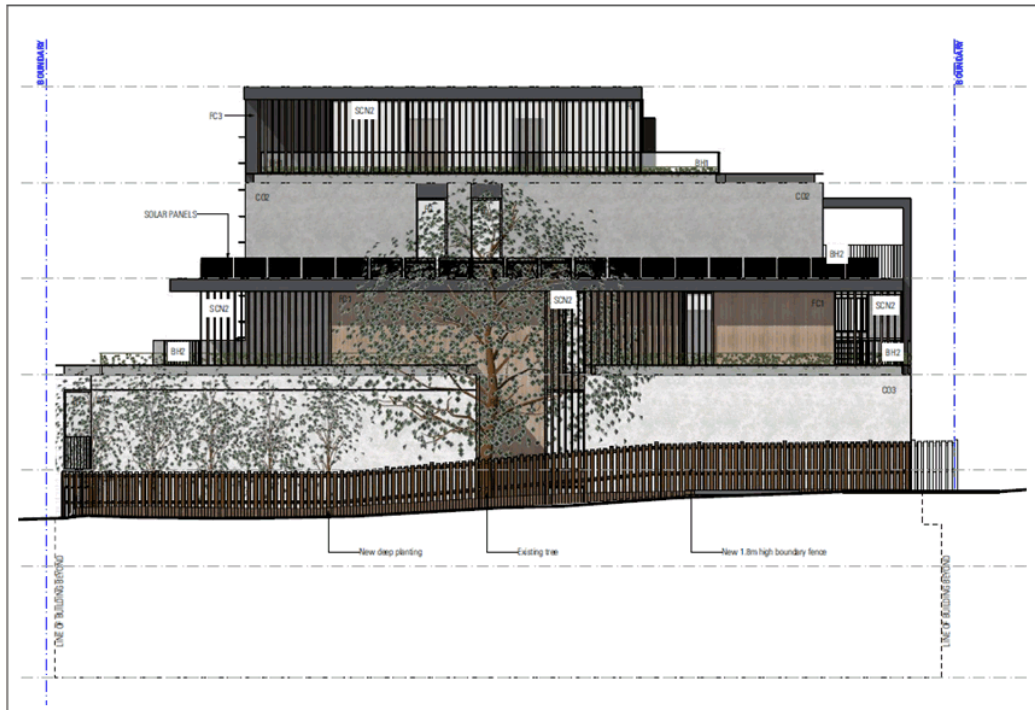


Figure 6 - Northwest rear elevation (Source: JAWS Architects)

Design (22.4.3)

Objective

To ensure that building design contributes positively to the streetscape, the amenity and safety of the public and adjoining land in a residential zone.

Development Standard	Assessment
<p>A1</p> <p>Building design must comply with all of the following:</p> <p>(a) provide the main pedestrian entrance to the building so that it is clearly visible from the road or publicly accessible areas on the site;</p> <p>(b) for new building or alterations to an existing façade provide windows and door openings at ground floor level in the front façade no less than 40% of the surface area of the ground floor level façade;</p>	<p>The proposal complies with all other parts of A1 as follows:</p> <ul style="list-style-type: none"> a) the main pedestrian entrance is to Liverpool Street; b) the ground level façade will include extensive glazing to the lobby and door to the carpark; c) the building is articulated to avoid any single expanse of blank wall; d) mechanical plant will be sited and screened from public view;


<p>(c) for new building or alterations to an existing facade ensure any single expanse of blank wall in the ground level front façade and facades facing other public spaces is not greater than 30% of the length of the facade;</p> <p>(d) screen mechanical plant and miscellaneous equipment such as heat pumps, air conditioning units, switchboards, hot water units or similar from view from the street and other public spaces;</p> <p>(e) incorporate roof-top service infrastructure, including service plants and lift structures, within the design of the roof;</p> <p>(f) not include security shutters over windows or doors with a frontage to a street or public place;</p>	<p>e) the lift overrun sits below the height of the building and is incorporated into a front parapet element; and</p> <p>f) no security shutters are included.</p>
<p>A2</p> <p>Walls of a building facing a residential zone must be coloured using colours with a light reflectance value not greater than 40 percent.</p>	<p>The external colours and finishes will achieve a light reflectance value not greater than 40 percent.</p>
<p>A3</p> <p>The facade of buildings constructed within 15m of a frontage and not separated from a place listed in the Historic Heritage Code by another building, full lot (excluding right of ways and lots less than 5m width) or road (refer figure 22.5 i), must:</p> <p>(a) include building articulation to avoid a flat facade appearance through evident horizontal and vertical lines achieved by setbacks, fenestration alignment, design elements, or the outward expression of floor levels; and</p> <p>(b) have any proposed awnings the same height from street level as any awnings of the adjacent heritage building.</p>	<p>As discussed in the accompanying Design Statement, the elevational treatment of the proposed building (form and materials palette) has been designed to complement the heritage buildings. The proposal is considered to satisfy A3 in that:</p> <p>a) the façade is articulated with vertical elements and differential setback with expressed panels, horizontal and vertical layering and fenestration; and</p> <p>b) there are no existing awnings in the vicinity and no pedestrian awnings are proposed.</p> <p>These matters are assessed further in the Heritage Report.</p>
<p>A4</p> <p>For new buildings or alterations to existing façades within the Active Frontage Overlay (Figure 22.1) provide windows with clear glazing and door openings at ground floor level in the front façade and façades facing other public space boundaries no less than 80% of the surface area;</p>	<p>The site is not within the Active Frontage Overlay area. This Standard does not apply.</p>

A5 <i>For new buildings or alterations to existing façades within the Active Frontage Overlay (Figure 22.1) awnings must be provided over public footpaths.</i>	The site is not within the Active Frontage Overlay area. This Standard does not apply.
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Passive Surveillance (22.4.4)

Objective:

To ensure that building design provides for the safety of the public.

Development Standard	Assessment
<p>A1</p> <p><i>Building design must comply with all of the following:</i></p> <p>(a) <i>provide the main pedestrian entrance to the building so that it is clearly visible from the road or publicly accessible areas on the site;</i></p> <p>(b) <i>for new buildings or alterations to an existing facade provide windows and door openings at ground floor level in the front façade which amount to no less than 40 % of the surface area of the ground floor level facade;</i></p> <p>(c) <i>for new buildings or alterations to an existing facade provide windows and door openings at ground floor level in the façade of any wall which faces a public space or a car park which amount to no less than 30 % of the surface area of the ground floor level facade;</i></p> <p>(d) <i>avoid creating entrapment spaces around the building site, such as concealed alcoves near public spaces;</i></p> <p>(e) <i>provide external lighting to illuminate car parking areas and pathways;</i></p> <p>(f) <i>provide well-lit public access at the ground floor level from any external car park.</i></p>	<p>The proposal satisfies A1 in that:</p> <p>a) the main pedestrian entrance to the site will be clearly visible from the street;</p> <p>b) complies</p> <p>c) complies</p> <p>d) the proposal does not create concealed entrapment spaces;</p>  <p>e) the proposal will incorporate appropriate lighting to accepted standards.</p> <p>f) the proposal does not include an external carpark. Not applicable.</p>

Landscaping (22.4.5)

Clause 22.4.5 confirms that landscaping is not regulated in this zone in this planning scheme. The planning scheme states that it is not necessary in the Hobart context.

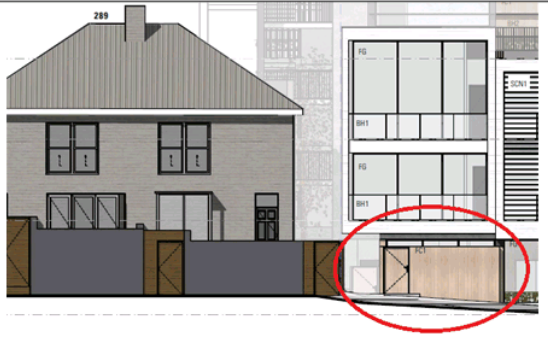
Notwithstanding the above, the proposal includes concept landscaping for the courtyard and terrace spaces and it is intended that a detailed plan will be prepared and works completed prior to commencement of the use.

Outdoor Storage Areas (22.4.6)*Objective:**To ensure that building design provides for the safety of the public.*

Development Standard	Assessment
<p>A1</p> <p><i>Outdoor storage areas for non-residential uses must comply with all of the following:</i></p> <p>(a) <i>be located behind the building line;</i></p> <p>(b) <i>all goods and materials stored must be screened from public view;</i></p> <p>(c) <i>not encroach upon car parking areas, driveways or landscaped areas.</i></p>	<p>Not applicable. The proposal does not include any outdoor storage areas.</p>

Fencing (22.4.7)*Objective:**To ensure that fencing does not detract from the appearance of the site or the locality and provides for passive surveillance.*

Development Standards	Assessment
<p>A1</p> <p><i>Fencing must comply with all of the following:</i></p> <p>(a) <i>fences, walls and gates of greater height than 1.5m must not be erected within 4.5m of the frontage;</i></p> <p>(b) <i>fences along a frontage must be at least 50% transparent above a height of 1.2m;</i></p> <p>(c) <i>height of fences along a common boundary with land in a residential zone must be no more than 2.1m and must not contain barbed wire.</i></p>	<p>The private courtyard for the ground level apartment includes a solid wall and is to be assessed under P1.</p>
<p>P1</p> <p><i>Fencing must contribute positively to the streetscape and not have an unreasonable adverse impact upon the amenity of land in a residential zone which lies opposite or shares a common boundary with a site, having regard to all of the following:</i></p>	<p>The proposed fenced courtyard continues the pattern of the adjacent dwellings at 289 Liverpool Street as shown below and will provide a reasonable level of privacy and amenity for the resident of the apartment without unreasonable adverse impact on the streetscape or amenity.</p>

<p>(a) the height of the fence;</p> <p>(b) the degree of transparency of the fence;</p> <p>(c) the location and extent of the fence;</p> <p>(d) the design of the fence;</p> <p>(e) the fence materials and construction;</p> <p>(f) the nature of the use;</p> <p>(g) the characteristics of the site, the streetscape and the locality, including fences;</p> <p>(h) any Desired Future Character Statements provided for the area.</p>	
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Pedestrian Links (22.4.8)

This standard relates to the preservation of existing through site links. It does not apply to this site that does not have existing through site links.

4. Planning Scheme Codes

The site is not within any specific mapped planning scheme overlays. The proposal is considered in relation to the relevant codes below.

4.1 Potentially Contaminated land Code

The site is currently used for automotive repairs and is therefore potentially accommodated land for the purposes of the Code. The Code applies to the change to a sensitive use as well as the proposed excavation.

The accompanying Environmental Site Assessment prepared by GES demonstrates that the requirements of this Code are met.

Use Standards (E2.5)

Objective:

To ensure that potentially contaminated land is suitable for the intended use

Use Standard	Assessment
<p>A1</p> <p>The Director, or a person approved by the Director for the purpose of this Code:</p> <p>(a) certifies that the land is suitable for the intended use; or</p> <p>(b) approves a plan to manage contamination and associated risk to human health or the</p>	<p>The proposed residential use is assessed under P1 below.</p>

environment that will ensure the land is suitable for the intended use.	
<p>P1</p> <p>Land is suitable for the intended use, having regard to:</p> <p>(a) an environmental site assessment that demonstrates there is no evidence the land is contaminated; or</p> <p>(b) an environmental site assessment that demonstrates that the level of contamination does not present a risk to human health or the environment; or</p> <p>(c) a plan to manage contamination and associated risk to human health or the environment that includes:</p> <p>(i) an environmental site assessment;</p> <p>(ii) any specific remediation and protection measures required to be implemented before any use commences; and</p> <p>(iii) a statement that the land is suitable for the intended use.</p>	<p>Having regard to the conclusions and recommendations of the accompanying Environmental Site Assessment, the proposal satisfies P1b) in that there were no human health guideline exceedances in soil samples tested and a Contamination Management Plan (CMP) has been prepared.</p>

Development Standards – Excavation (E2.6)**Objective:**

To ensure that works involving excavation of potentially contaminated land does not adversely impact on human health or the environment.

Development Standard	Assessment
<p>A1</p> <p>No acceptable solution.</p>	<p>The proposal is to be assessed under P1.</p>
<p>P1</p> <p>Excavation does not adversely impact on health and the environment, having regard to:</p> <p>(a) an environmental site assessment that demonstrates there is no evidence the land is contaminated; or</p> <p>(b) a plan to manage contamination and associated risk to human health and the environment that includes:</p>	<p>Having regard to the accompanying Environmental Site Assessment the proposal satisfies P1b) providing the work is carried out in accordance with the CMP.</p>

<p>(i) an environmental site assessment;</p> <p>(ii) any specific remediation and protection measures required to be implemented before excavation commences; and</p> <p>(iii) a statement that the excavation does not adversely impact on human health or the environment.</p>	
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4.2 Road and Railway Assets Code

The traffic and access aspects of the proposal are assessed in the accompanying Traffic Impact assessment and satisfy the requirements of this Code.

4.3 Parking and Access Code

This code applies to all use and development.

Use Standards

Number of Car Parking Spaces - Central Business Zone (E6.6.5)

The proposed car parking supply is:

- one apartment will not have any car parking space in the car park;
- 13 apartments will have access to one car parking space in the car park; and
- 11 apartments will have access to either one or two jockey car parking space in the car park. The residents with two car parking spaces will have the option of keeping the two car parking spaces or converting the front space to a storage area.

The proposal provides for up to 35 parking spaces and exceeds the permitted standard of 1 space per dwelling under A1 of Clause E.6.6.5.

In considering these performance criteria, P1(a) does not apply.

In regard to P1(b), the TIA report has addressed the matters referred to in (i) and (iv).

Pedestrian safety matters are addressed below, and traffic safety is considered in different sections of the report which discuss the expected traffic generation, mix of conflicting traffic movements, intersection sight distances and driveway access to Liverpool Street, all of which have been found to be acceptable.

In regard to P1(b) (ii) and (iii):

- the proposed development will not have any impact or bearing to any outdoor activity; and
- the use and activity resultant from the proposed development will not have any adverse effects on air quality or environmental health.

The additional 0-11 car parking spaces proposed in this development will therefore not result in any adverse traffic amenity, safety or environmental outcomes. The proposed car parking supply and optional use of the front car parking space in a jockey position, is therefore supported and will provide flexibility to accommodate the needs of a variety of occupants.



Development Standards

The proposal is assessed against the various development standards in the Traffic Impact Assessment.

4.4 Stormwater Management Code

The application is supported by an engineering assessment by Gandy & Roberts of the stormwater requirements of the code.

4.5 Historic Heritage Code

Heritage Places

The land is not a Heritage Place or within a Heritage Precinct.

The entirety of the CBD area including the subject land however is within an Area of Archaeological Potential.

E13.10 Development Standards for Places of Archaeological Potential

Objective

To ensure that building, works and demolition at a place of archaeological potential is planned and implemented in a manner that seeks to understand, retain, protect, preserve and otherwise appropriately manage significant archaeological evidence.

Development Standard	Assessment
<p>P1</p> <p><i>Buildings, works and demolition must not unnecessarily impact on archaeological resources at places of archaeological potential, having regard to:</i></p> <p>(a) <i>the nature of the archaeological evidence, either known or predicted;</i></p> <p>(b) <i>measures proposed to investigate the archaeological evidence to confirm predictive statements of potential;</i></p> <p>(c) <i>strategies to avoid, minimise and/or control impacts arising from building, works and demolition;</i></p> <p>(d) <i>where it is demonstrated there is no prudent and feasible alternative to impacts arising from building, works and demolition, measures proposed to realise both the research potential in the archaeological evidence and a meaningful public benefit from any archaeological investigation;</i></p>	<p>The accompanying heritage impact assessment by Praxis includes (Section 8) a detailed statement of archaeological potential and Section 9 and Archaeological Method Statement.</p>

(e) measures proposed to preserve significant archaeological evidence 'in situ'.	
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4.6 Signage

No signage is proposed at this stage and will form a separate application.

5. Conclusion

The proposal is a response to an identified need for inner city residential and demonstrates a high degree of compliance with the Planning Scheme. The application has been carefully designed to transition between the CBD core, fringe and the adjoining residential area to the north west and will provide a positive contribution to the city.

In my assessment the proposal should be approved as a discretionary application following public advertisement pursuant to Section 57 of the Act.

Frazer Read

Principal

14 March 2020

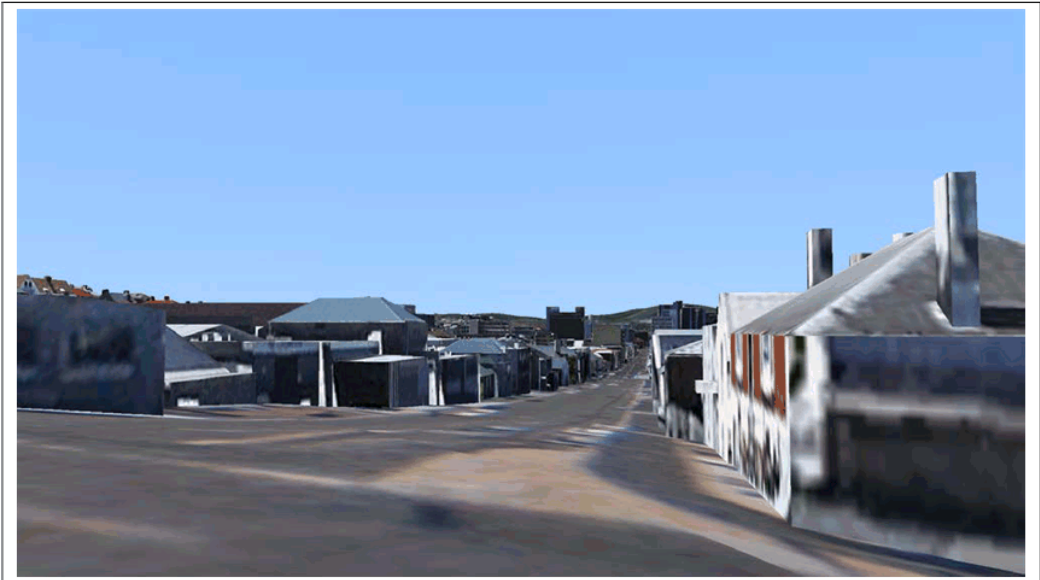
AllUrbanPlanning

Appendix A

Images from HCC 3D model

The following before and after images are taken from Council's 3D model

AllUrbanPlanning



Existing



Proposed

AllUrbanPlanning



Existing



Proposed

AllUrbanPlanning




Existing



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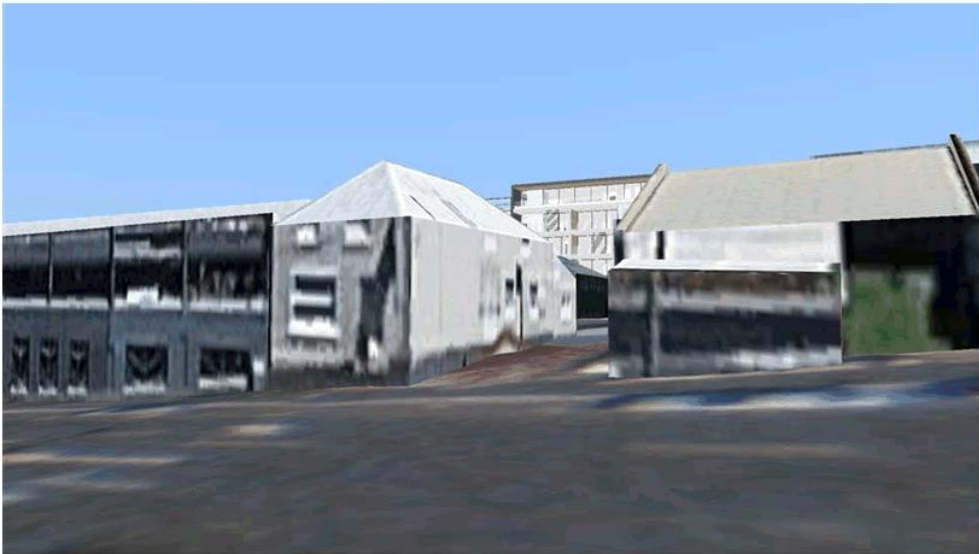


Proposed

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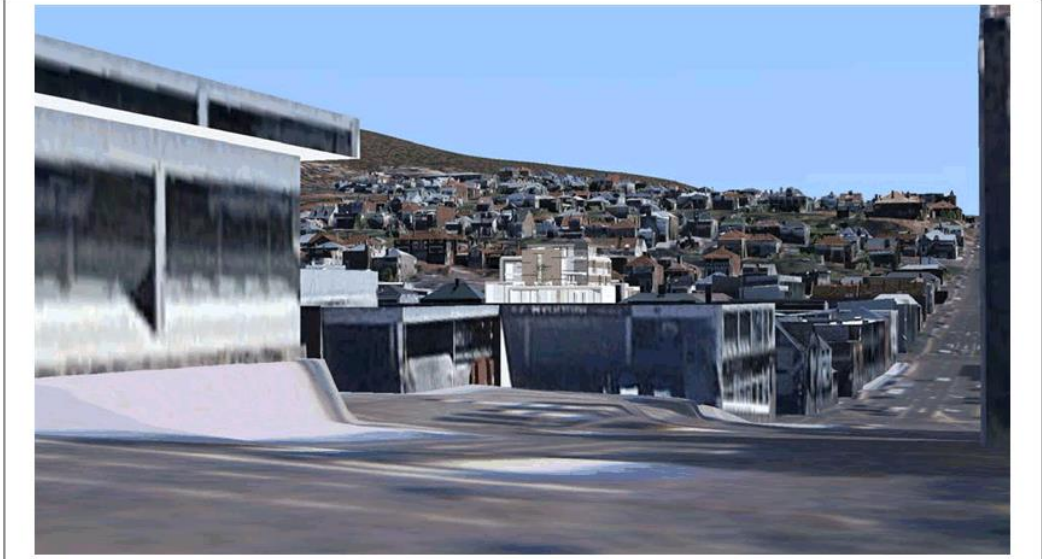


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DESIGN STATEMENT - 287 LIVERPOOL STREET HOBART

The Residential Apartment proposal for 287 Liverpool Street Hobart sits within the CBD fringe zoning. It is located within easy walking or bicycle riding distance to CBD and Salamanca. It will positively contribute to environmentally sustainable, living in the city. This complex has the potential to drive future development at this upper end of Liverpool Street, bringing all the amenity benefits of well-designed inner city living to this fringe of Town.



The removal of the current use as an automotive caryard and workshops will allow for significant urban streetscape repair and enrichment.

The Ground Floor is activated through a large bright and welcoming Entry Foyer and Lounge area for the Apartments above. There is also a small, single bedroom apartment and courtyard, replicating the adjacent residences at 289 Liverpool Street. At the lowest end of the street is the entry to a single level of Car and Bike Parking and Storage facilities. This cuts horizontally into the sloping site.

The five floors above step backward and contain 24 residences. These are a mix of one, two and a single three bedroom unit, reflecting the anticipated market interest and requirements for more housing.

The layout of the complex is based around a centralised north facing courtyard that most apartments overlook with full width balconies. The Circulation corridor and Stair access points have been located to the south.

DIRECTORS
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ASSOCIATES
FIONA GRAHAM
CATHERINE WILLIAMS
HANZ LEE

CONSULTANT
DAVID BUTTON

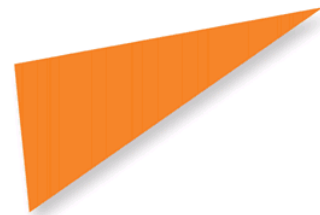
JACOB ALLOM WADE P/L
ABN 92 009 559 479

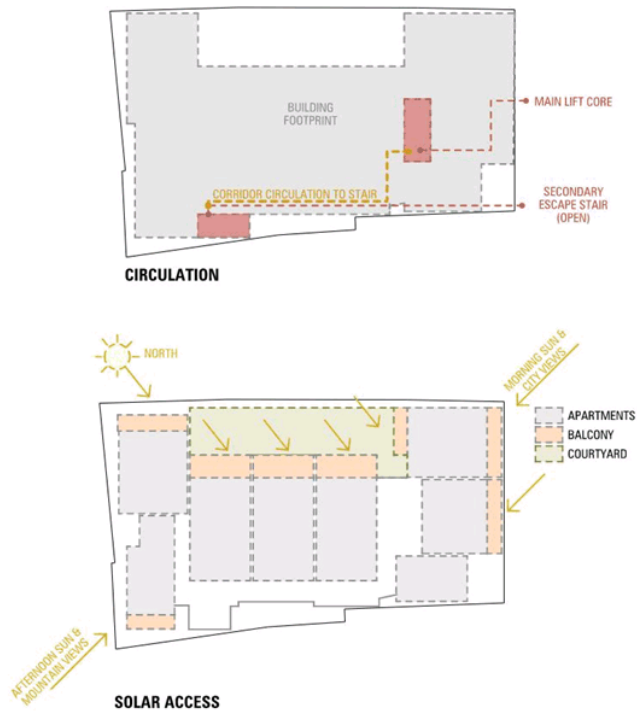
21 Castray Esplanade
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EXPERIENCE CREATIVE QUALITY

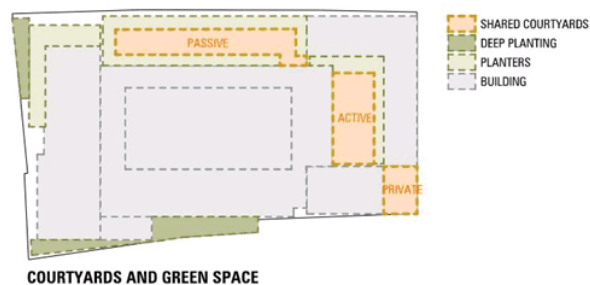




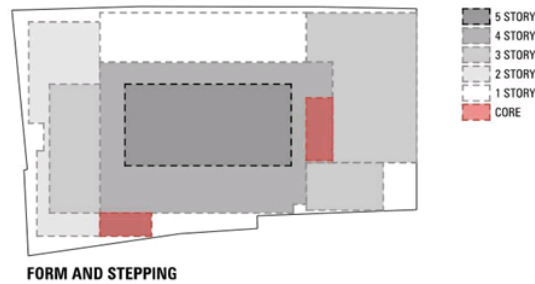
Circulation corridors are naturally lit and ventilated, connected to wide easily accessible stairs. These are designed to encourage residents an enjoyable alternative to the lift. The corridors provide easy access to shared common outdoor facilities.

The north facing shared Courtyard is a landscaped space situated on the roof top to the Carpark area below. This will be a 'passive' landscaped courtyard providing both a space to relax in and be looked over.

The roof top Courtyard area facing the street, is designed and located as a more 'active' shared facility. It will enjoy city views and has been located away from the residential areas behind.



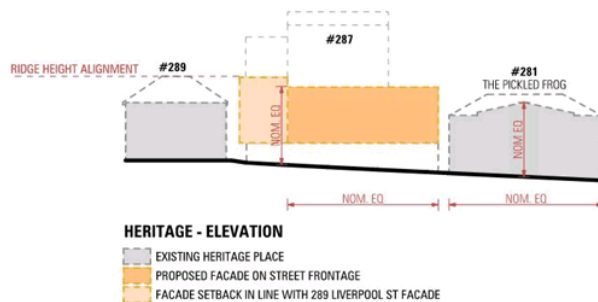
The massing steps towards the centre of the site, with the highest level being a centrally located, single apartment. The form steps down significantly to address the scale of the Streetscape buildings and transitions to the Residential Zone, up-hill at the rear of the site. These two edge conditions have been carefully addressed by the design of the development.



Streetscape: The complex is located in a mixed-use streetscape. Low scale commercial and residential complexes and various small single use commercial tenancies dominate this end of Liverpool Street. Directly adjacent are two listed 'Places' under Hobart City Council's Heritage Register. 289 Liverpool Street is an upgraded co-joined Georgian Townhouse, with walled, private front courtyards. 281 Liverpool Street is the 'Pickled Frog' Backpackers Accommodation.

The streetscape podium buildings step in plan and height to respect and reflect the scale of these adjacent cultural heritage buildings. On the lower side of the complex, the street edge apartments reflect the parapet wall height, width and setback of 281 Liverpool Street. On the higher side of the complex, the ridge height and setback of adjacent residences at 289 Liverpool Street, have guided the massing cues to create a uniform streetscape.

This approach will repair and enliven the streetscape without unreasonably dominating or adversely impacting on the cultural values of the adjacent 'Places'.





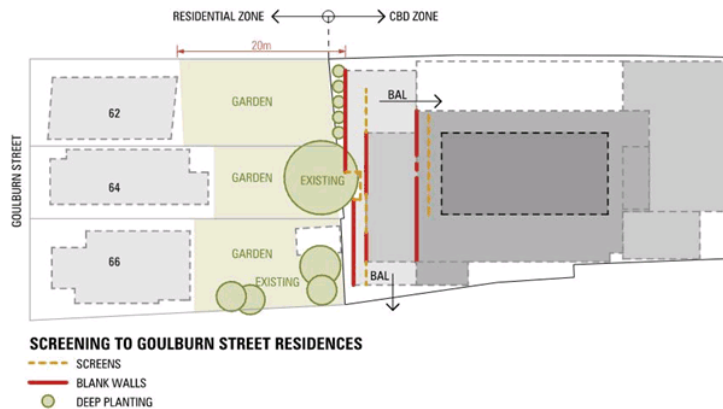
Transition to Residential Zone: The Goulburn Street residences behind the site signify the start of the Residential Zone. The transition and scale of the apartment complex has been designed with careful consideration to this transition.

The scale, massing and transition of the building and its heights has been the subject of extensive investigation both cross sectionally and through the Council's K2vi model, prior to lodgement. The steep rise of the hill to Goulburn Street and beyond, allows this proposal to nestle into the hill scape, sitting well below any ridgelines and out of significant view corridors. The section diagram below shows the comparative heights to the residences on Goulburn Street behind.



The stepping walls of the North-West elevation are modulated using planters, screens and a mixture of materials. Apartment plans have been carefully designed to prevent overlooking, with their screened balconies and living room aspects oriented away from the rear gardens of the residences behind.

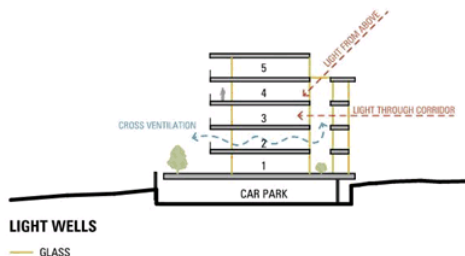
The natural 15-20 metre, green corridor created by the gardens of the properties, combined with deep planting zones, proposed landscaping and a new boundary fence, assist in integrating the development with rear gardens. The development appears modestly scaled and screened when viewed across the series of car-parking lots on properties along Goulburn Street.



Residential Amenity: A high level of passive solar amenity has been incorporated into the design of complex.

Full width Balconies with northerly aspect are achieved for most of the apartments. Those with Westerly aspect enjoy views to the mountain and Easterly cityscape views.

Generous light wells of four levels, deliver both light and natural cross ventilation to the apartments, with light filtering through the corridors, adding a secondary light source.



Efficient planning arrangement and servicing affords reduced material waste.

The site location allows reduced reliance on car travel.

A sense of community is provided with generous shared spaces including courtyards, planters and ground floor Lounge area.

The complex aims to reflect a contemporary ambition for sustainable inner city living.

Planning: #201324

Property

283-287 LIVERPOOL STREET HOBART TAS 7000

People**Applicant**

"

Giamcoos Developments Pty Ltd
C/- All Urban Planning Pty Ltd
19 Mawhera Avenue
SANDY BAY TAS 7005
0400109582
fraser@allurbanplanning.com.au

Owner

"

Stefan Giamcoos
Level 2, 100 Melville Street
HOBART TAS 7000
0409252416
stefan@giamcoos.com.au

Entered By

FRAZER ERIC READ
0400 109 582
fraser@allurbanplanning.com.au

Use

Multiple dwellings

Details

Have you obtained pre application advice?

☒ - Yes

If YES please provide the pre application advice number eg PAE-17-xx

Are you applying for permitted visitor accommodation as defined by the State Government Visitor Accommodation Standards? Click on help information button for definition. If you are not the owner of the property you MUST include signed confirmation from the owner that they are aware of this application.

☒ - No

Is the application for SIGNAGE ONLY? If yes, please enter \$0 in the cost of development, and you must enter the number of signs under Other Details below.

☐ No

If this application is related to an enforcement action please enter Enforcement Number

Details

What is the current approved use of the land / building(s)?

motor vehicle servicing

Please provide a full description of the proposed use or development (i.e. demolition and new dwelling, swimming pool and garage)

demolition and redevelopment for multiple dwellings

Estimated cost of development

4950000.00

Existing floor area (m2) Proposed floor area (m2) Site area (m2)

Carparking on Site

N/A

Other (no selection chosen)

Total parking spaces Existing parking spaces

Other Details

Does the application include signage?

No

How many signs, please enter 0 if there are none involved in this application?

0

Tasmania Heritage Register

is this property on the Tasmanian Heritage Register?

No

Documents

Required Documents

Title (Folio text and Plan and Schedule of Easements)

Certificate of Title.pdf

Plans (proposed, existing)

19069_Liverpool St Project_DA_20200325.pdf

Supporting Documents

Concept Servicing Plan

19.0629 Gandy and Roberts Concept Services Report (1).pdf

Traffic Impact Assessment

287 LIVERPOOL ST TIA 18 Feb 2020.docx.pdf

Archaeological Report

287 Liverpool St Praxis FINAL.pdf

Architectural Description

287 Liverpool St JAWS Design Statement.pdf

Planning Report

Planning Report - 287 Liverpool Street 20 March 2020.pdf

Heritage Report

287 Liverpool St Memorandum Heritage Assessment 20200317.pdf

environmental site assessment

287 Liverpool St. GES 20200218 ESA 283-287 Liverpool St.pdf



Submission to Planning Authority Notice

Council Planning Permit No.	PLN-20-191	Council notice date	31/03/2020
TasWater details			
TasWater Reference No.	TWDA 2020/00418-HCC	Date of response	16/04/2020
TasWater Contact	Daria Rech	Phone No.	(03) 6237 8222
Response issued to			
Council name	HOBART CITY COUNCIL		
Contact details	coh@hobartcity.com.au		
Development details			
Address	283-287 LIVERPOOL ST, HOBART	Property ID (PID)	5667509
Description of development	Demolition of Existing and 25 x Residential Apartment Units		
Schedule of drawings/documents			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
Jaws Architects	Site Plan / 19069_DA02	01	25/03/2020
Gandy & Roberts	Concept Services / Sewer & Water / 19.0629 - C010	1	Feb 2020
Gandy & Roberts	Concept Services Report / 19.0629	--	14/02/2020
Conditions			
Pursuant to the <i>Water and Sewerage Industry Act 2008</i> (TAS) Section 56P(1) TasWater imposes the following conditions on the permit for this application:			
DEMOLITION WORKS			
1. Prior to demolition works commencing the existing sewer property connections must be disconnected and capped on the property side of the connection by the developers plumbing contractor to ensure no contaminants enter TasWater's sewerage system.			
CONNECTIONS, METERING & BACKFLOW			
2. A suitably sized water supply with metered connection / sewerage system and connection to the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit.			
<i>Advice: TasWater will not accept direct fire boosting from the network unless it can be demonstrated that the periodic testing of the system will not have a significant negative effect on our network and the minimum service requirements of other customers serviced by the network. To this end break tanks may be required with the rate of flow into the break tank controlled so that peak flows to fill the tank do not also cause negative effect on the network.</i>			
3. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost.			
4. Prior to commencing construction of the development, any water connection utilised for construction must have a backflow prevention device and water meter installed, to the satisfaction of TasWater.			
BOUNDARY TRAP AREA			
5. The proposed development is within a boundary trap area and the developer must provide a			



boundary trap that prevents noxious gases or persistent odours back venting into the property's sanitary drain. The boundary trap must be contained within the property boundaries and the property owner remains responsible for the ownership, operation and maintenance of the boundary trap.

DEVELOPMENT ASSESSMENT FEES

6. The applicant or landowner as the case may be, must pay a development assessment fee of \$675.71 to TasWater, as approved by the Economic Regulator and the fees will be indexed, until the date paid to TasWater. The payment is required by the due date as noted on the statement when issued by TasWater.

Advice

General

For information on TasWater development standards, please visit

<https://www.taswater.com.au/Development/Technical-Standards>

For application forms please visit <http://www.taswater.com.au/Development/Forms>

Water Supply Boundary Conditions

The proposed development is in the Hobart City Low Level zone and is supplied from the Domain tanks which have a design supply head of 100.3mAHD (Item 2.5.3.3 of the TasWater Supplement).

The elevation of the connection point to the proposed development on the DN150 DICL main is assumed to be 25m AHD. The design static pressure at this point is therefore 75.3m.

Modelling indicates that the desired pressure of 600 kPa can be achieved at the connection point for both Peak Hour (4 L/s) and for the combined hydrant and sprinkler fire flows (32 L/s at 2/3 Peak Hour). It must be noted that these pressures are achieved in the water main itself at the proposed connection point. This does not account for any losses through the actual connection or associated pipework.

Service Locations

Please note that the developer is responsible for arranging to locate existing TasWater infrastructure and other services located near proposed new TasWater infrastructure and clearly showing it on the drawings to assist TasWater's contractors to quote on and install new connections. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure. The location of infrastructure as shown on DBYD and TheList maps is indicative only.

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

Authorised by

Jason Taylor

Development Assessment Manager

TasWater Contact Details

Email	development@taswater.com.au	Web	www.taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001		

Application Referral Cultural Heritage - Response

From:	Allie Costin
Recommendation:	Proposal is acceptable subject to conditions.
Date Completed:	
Address:	283 - 287 LIVERPOOL STREET, HOBART
Proposal:	Demolition and New Building for 25 Multiple Dwellings
Application No:	PLN-20-191
Assessment Officer:	Helen Ayers,

Referral Officer comments:

Number 283 - 287 Liverpool Street is located within a place of archaeological potential. The site is also adjacent to 281 Liverpool Street – The Pickled Frog, and 289 Liverpool Street – a two storey residential building. Both 281 and 289 Liverpool Street are heritage sites listed in Table E13.1 of the Historic Heritage Code. The proposal constitutes the demolition of the existing light industrial buildings on the site and the construction of a six storey residential apartment complex, consisting of 25 apartments.

The following provisions of the Scheme apply to this proposal:

E13.10 Development Standards for Places of Archaeological Potential,
22.4.1 Building Height
22.4.3 Design

Site Background:

The Praxis Environment report provides a detailed history of the site, this has been summarized as follows; The 1907 Metropolitan Drainage Board survey shows the two early timber cottages on the Liverpool Street frontage, and another cottage at the very rear of the original 39 perch grant, with several outbuildings in the central portion of the site. Both 283-285 and 287 Liverpool Street were developed in the 1830s with residential dwellings on their Liverpool Street frontages. The building at 287 Liverpool Street was probably replaced by a larger dwelling pre-1845. Another dwelling was built at the very rear of 283-25 Liverpool Street during the latter half of the nineteenth century. All of these dwellings survived until 1939 when the Pinnacle Cleaning Company established premises on the Liverpool Street frontage of 289. The expansion of the Pinnacle Cleaning Company resulted in additions covering the entire site of 289 Liverpool Street by 1945. The two dwellings at 283-285 Liverpool Street and outbuildings in the central portion of the site survived until at least 1968, with the two dwellings continuing their residential use. These structures were all demolished pre-1985.

Representations:

Seven (7 representations) were made during the advertising period of the proposal. Two cited heritage concerns that are summarized below:

1. The development adjoins two heritage-listed properties on the Liverpool Street frontage. It is essential that a thorough heritage impact assessment be undertaken before considering approval, not just to determine the effect on the heritage values of the two listed properties, but also the impact of the development on the heritage values of the streetscape and the broader precinct, as well as the city's sense of place.
2. This will impact the character of the street and area, as any view of our Federation

home from Liverpool Street will be lost.

Assessment:

E13.10 Development Standards for Places of Archaeological Potential

Excavation is involved in the construction of the apartments and in the provision of services. The proposal is supported by a Statement of Archaeological Potential, Archaeological Impact Assessment, and Archaeological Method Statement by Praxis Environment dated January 2020.

Performance Criteria 1

Buildings, works and demolition must not unnecessarily impact on archaeological resources at places of archaeological potential, having regard to:

- (a) the nature of the archaeological evidence, either known or predicted;*
- (b) measures proposed to investigate the archaeological evidence to confirm predictive statements of potential;*
- (c) strategies to avoid, minimise and/or control impacts arising from building, works and demolition;*
- (d) where it is demonstrated there is no prudent and feasible alternative to impacts arising from building, works and demolition, measures proposed to realise both the research potential in the archaeological evidence and a meaningful public benefit from any archaeological investigation;*
- (e) measures proposed to preserve significant archaeological evidence 'in situ'.*

The apartment development proposes ground floor car parking however the ground floor parking arrangement requires a level site which will result in excavation. Currently the site rises approximately 2.5-metres from Liverpool Street to the rear of the site nearing Goulburn Street, a small amount of excavation is required at the front of the site, and bulk excavation is required towards the rear of the site. The Praxis report breaks the site down into three zones of archaeological significance, providing an Archaeological Method Statement for each. Refer to (Fig. 9.1) of Praxis Environment Report.

Area 1 – Is largely located to the Liverpool Street frontage of the site, and encompasses the area where two early timber cottages stood. This area is has been identified as having high archaeological significance. This area will be excavated under archaeological control as per the methodology statement in the Praxis Environment Report.

Area 2 – Has a lower significance and can be referred to as the middle section of the site, where former outbuildings and structures were located. The Praxis report has identified that the area will not require as stringent detailed excavation and recording as the higher significance areas. It is proposed that this will be undertaken as an archaeological monitoring exercise.

Area 3 – The rear and very front of site has been identified as having a low significance, these areas have not been the location of any known major developments whilst remnants may remain these are unlikely to be individually significant. No archaeological monitoring is proposed for this area, however it is to be managed with call-in provisions for any unexpected finds as per the methodology statement in the Praxis Environment Report.

An element of the proposal that has not been considered in the submitted documentation, likely due to the boundary alignments, is the sandstone wall to the rear of the site that adjoins the

Pickled Frog (see fig. 1) this stone wall is considered a significant heritage structure. The excavation and construction process occurring within close proximity of the wall means that machinery or equipment has the potential to damage, crack, chip or even undermine the foundations of the wall. A condition reflecting the protection of this wall has been included in this assessment.

The proposal for the apartment building satisfies E13.10.1 P1. Subject to the attached conditions.



Fig. 1 - Pickled Frog Boundary Wall

22.4 Development Standards for Buildings and Works

A Heritage Review for the proposal has been provided, prepared by Purcell Heritage

Consultants dated 17th of March 2020. This review provides a description of the heritage context and setting of the site and adjacent listed buildings. It also provides a response to the relevant acceptable solutions and performance criteria of the scheme.

22.4.1 Building Height

The proposal does not meet the acceptable standard and the proposal must be assessed against 22.4.1 Performance Criteria 5 which states:

Building height within 15m of a frontage and not separated from a place listed in the Historic Heritage Code by another building, full lot (excluding right of ways and lots less than 5m width) or road (refer figure 22.5 i), must:

- (a) not unreasonably dominate existing buildings of cultural heritage significance; and*
- (b) not have a materially adverse impact on the historic cultural heritage significance of the heritage place;*

In regards to a) the provisions of the scheme require consideration of whether or not the proposal dominates unreasonably on the adjacent heritage buildings. Unreasonably defined as: 'go beyond the limits of what is reasonable or equitable'. The 3 storey bay at street level takes a form of that could be considered to contribute to the building being more in accordance with and responsive to the adjacent heritage buildings. It is also noted that the setback of the top 3 stories of the building forms a spatial separation from the street and adjacent buildings, this also contributes to lessening any adverse impacts created by the size and bulk of the proposal. Part a) of performance criteria 22.4.1 Performance Criteria 5 is considered satisfied.

In regards to b) the provisions of the scheme require consideration of whether or not the proposal has a materially adverse impact on the historic cultural heritage significance of the heritage place. Materially defined as 'in a significant way; considerably'. The proportions and massing at a streetscape level are not considered to adversely or substantially impact upon the adjacent listed building. The main height of the development is largely setback behind the rear lines of the heritage buildings. This allows the adjacent listed buildings and proposed apartment building to sit in relative uniformity and visual coordination with each other. Part b) of performance criteria 22.4.1 Performance Criteria 5 is considered satisfied.

22.4.3 Design Acceptable Solution 3

The proposal also must be assessed against 22.4.3 A3 Design which states:

The facade of buildings constructed within 15m of a frontage and not separated from a place listed in the Historic Heritage Code by another building, full lot (excluding right of ways and lots less than 5m width) or road (refer figure 22.5 i), must:

- (a) include building articulation to avoid a flat facade appearance through evident horizontal and vertical lines achieved by setbacks, fenestration alignment, design elements, or the outward expression of floor levels; and*
- (b) have any proposed awnings the same height from street level as any awnings of the adjacent heritage building.*

In response to the acceptable solution a) the proposal does not have a flat facade and has evident horizontal and vertical lines achieved by setbacks, fenestration alignment and design elements and an outward expression of floor levels. It is considered that the streetscape articulation responds to the string course, eaves, and ridge lines of the adjacent listed buildings. It should be noted that discussions with the architect resulted in some minor but

sympathetic changes to the design of the building. The original proposal for a flat roof on the three storey street facing structure has been changed to incorporate a slight hip to the roof, which has delivered a better response in regards to the eave lines and hipped and gabled forms of the neighbouring listed buildings.

The two adjacent listed buildings have heavy facades and are anchored onto the street. The original design showed a void space at ground level with levels one and two cantilevering above, discussions with the architect resulted in the pulling forward of the foyer and incorporating glazed exterior walling to anchor the ground level of the building and better respond to the ground floors of the adjacent buildings. It is noted that colours and finishes of the proposal are yet to be finalised. A condition has been applied to allow for the material and colour palate of the proposal to respond to and reflect the surrounding town and streetscape.

Please note b) is not relevant to this proposal.

22.4.3 Design, is considered to meet Acceptable Solution 3. Subject to the attached conditions.

In conclusion the proposal is considered to satisfy the relevant heritage provisions of the scheme, subject to condition.

Allie Costin
2nd of June 2020

URBAN DESIGN ADVISORY PANEL

MINUTES

MINUTES OF A MEETING OF THE URBAN DESIGN ADVISORY PANEL
HELD AT 1:00 PM ON TUESDAY 26 MAY 2020
VIA VIRTUAL MEETING

ITEMS

PLN-20-191 283 Liverpool Street Hobart TAS 7000

The Panel met to discuss the proposal in detail and the advice below is provided for the consideration of the proponents and officers.

Description:

The application proposes the demolition of existing buildings, and the construction of a new multiple dwelling building, with 25 dwellings and parking for 35 cars. The building will be over 6 levels, with a ground floor car park, and five levels above the Liverpool Street ground level. There will be one shared roof garden to the northeast in a courtyard and another wrapping around the eastern corner of the building, both at the fourth level. The dwellings range in size from 1 to 4 bedrooms. The building is proposed to have a height of approximately 18.5 metres. All servicing is to be contained within the building, or on the individual dwelling decks, and there will be no rooftop services.

The proposal is sited between two heritage listed properties in Liverpool Street and has further heritage listed properties to the rear. It is not situated in a Heritage Precinct.

The site is on the outer edge of the Central Business Fringe Area and is immediately adjacent to the Inner Residential Zone and the Central Business Core Area.

Comments:

The Panel acknowledged the comprehensive nature of the application, the associated analysis and the coherence evident in the design.

Given the location of the site within the Central Business Zone, the proposed residential use is considered consistent with the Zone Purpose Statement and is supported. The Panel considers the design offers a high standard of liveability through thoughtful orientation of the apartments, high levels of solar access and natural ventilation, together with the provision of private open space and access to common outdoor areas.

**URBAN DESIGN ADVISORY PANEL
MINUTES
26/5/2020**

In regard to the neighbouring properties to the rear, the Panel considers the design affords sufficient privacy however more extensive full depth planting along with the protection of existing neighbouring planting is encouraged.

In keeping with the residential nature of the development, the introduction of further external planting in Liverpool Street is supported as is the reconsideration of the detailed design of the fence enclosing the courtyard of Unit 0.01

For safety and security reasons consideration needs to be given to closing off the 'boundary space' between the proposed development and the adjacent building at 281 Liverpool Street.

Within the broader context of the Planning Scheme and specifically the Desired Future Character Statements, the Panel was impressed with the height analysis undertaken by the proponent and in its opinion the siting, bulk and design of the proposal does respect the transition expected between the core area of the Central Business Zone and the adjacent Inner Residential Zone as well as the heritage values of places nearby.

Specifically, the height and massing of the proposal does respect the scale of residential properties to the rear as well as the Liverpool Street streetscape, including the adjacent heritage listed properties.

In this regard the Panel is of the opinion that the Building Height Standard of the Planning Scheme has been met.

In regard to the Design Standard and specifically 22.4.3 A3 the Panel agrees with the proponent's Heritage Consultant and considers the successful integration of the proposal into the Liverpool Street Streetscape, in particular, would benefit from a more detailed consideration of the choice of materials, textures and colours together with the manner in which they are integrated and articulated throughout the fenestration. A diversity of colours and textures is to be encouraged and stark white and black colours are to be avoided in favour of softer more muted tones.

In conclusion the Panel supports the development application from an urban design perspective, subject to further consideration of landscaping, materials, colours and finishes at the detailed design stage.

Should the Council approve the application, conditions and/or advice ought to be included supporting the early appointment of a landscape architect for the site as well as the supplying of samples of the materials and colour palette for the building. The intention being to further 'soften' the building's appearance in order to better reinforce the transition and integration of the development into the surrounding area and not unreasonably detract from the adjacent heritage buildings.

**13 29 ABERDEEN STREET, GLEBE, 2 DAVIES AVENUE, HOBART - CHANGE OF USE TO VISITOR ACCOMMODATION
PLN-20-106 - FILE REF: F20/58953**

Address: 29 Aberdeen Street Glebe, 2 Davies Avenue, Hobart
Proposal: Change of Use to Visitor Accommodation
Expiry Date: 25 June 2020
Extension of Time: Not applicable
Author: Helen Ayers

RECOMMENDATION

That pursuant to the *Hobart Interim Planning Scheme 2015*, the Council approve the application for change of use to visitor accommodation at 29 Aberdeen Street, Glebe for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

GEN

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-20-106 - 29 ABERDEEN STREET GLEBE TAS 7000 - Final Planning Documents, except where modified below.

Reason for condition

To clarify the scope of the permit.

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

BUILDING PERMIT

You may need building approval in accordance with the *Building Act 2016*. Click [here](#) for more information.

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

NOISE REGULATIONS

Click [here](#) for information with respect to noise nuisances in residential areas.

VISITOR ACCOMMODATION

More information on visitor accommodation, including when building approval is required, can be found [here](#).

In all cases, check with your insurance company that you have adequate cover.

If you are in a bushfire prone area there may be a need to create/review the Bushfire Management Hazard Plan for your property.

You are encouraged to have in place a management plan for the operation of the visitor accommodation. The management plan should include measures to limit, manage and mitigate unreasonable impacts upon the amenity of permanent residents, including addressing issues like noise, waste management, customer behaviour, security, and maximum occupancy.

Visitor accommodation is also considered to be a commercial use and also not eligible to residential parking permits. Under the current policy for the issuing of residential parking permits, the proposed change of use to visitor accommodation would not entitle the property to a residential parking permit, or a transferable “bed and breakfast” parking permit.

Attachment A: PLN-20-106 - 29 ABERDEEN STREET GLEBE TAS 7000 - Planning Committee or Delegated Report ↴

Attachment B: PLN-20-106 - 29 ABERDEEN STREET GLEBE TAS 7000 - CPC Agenda Documents ↴

**APPLICATION UNDER HOBART INTERIM PLANNING SCHEME 2015**

Type of Report: Committee
Council: 25 June 2020
Expiry Date: 25 June 2020
Application No: PLN-20-106
Address: 29 ABERDEEN STREET , GLEBE
2 DAVIES AVENUE , HOBART
Applicant: JACK SHAPIRO
47 CAVELL STREET
WEST HOBART TAS 7000
Proposal: Change of Use to Visitor Accommodation
Representations: None
Performance criteria: None

1. Executive Summary

- 1.1 Planning approval is sought for Change of Use to Visitor Accommodation.
- 1.2 More specifically the proposal includes the change of the use of the existing single dwelling at 29 Aberdeen Street, Glebe to Visitor Accommodation.
- 1.3 The proposal complies with all acceptable solutions for all applicable standards.
- 1.4 The application is permitted and was not advertised in accordance with section 58 of the *Land Use Planning and Approvals Act 1993*.
- 1.5 The proposal must be approved in accordance with s58 of the *Land Use Planning and Approvals Act 1993*.
- 1.6 The final decision is delegated to the Council.

2. Site Detail

- 2.1 The application site is comprised of two properties. The property at 2 Davies Avenue (the Queens Domain) is included due to the access for the car parking being provided from a gravel parking area over which there is no formal right of way. The property at 29 Aberdeen Street contains the dwelling for which a change of use application is sought. As such, when describing the application site, only 29 Aberdeen Street will be described.
- 2.2 The application site is a regularly shaped 1125m² lot. There is an existing heritage listed dwelling located on the site. The application site abuts the Queens Domain, and is otherwise surrounded by residential development.



Figure 1: The location of the application site is highlighted in yellow.

3. Proposal

- 3.1 Planning approval is sought for Change of Use to Visitor Accommodation.
- 3.2 More specifically the proposal is for the change of the use of the existing single dwelling at 29 Aberdeen Street, Glebe to Visitor Accommodation.

4. Background

- 4.1 There is no formal right of way for the application site to gain access over the Council car parking area at 2 Davies Avenue which currently exists. As such, it is necessary to include this Council owned land as part of the application site. No works are proposed on the Council owned land to facilitate this application.
- 4.2 A new bathroom was approved for the property through PLN-19-755, and has subsequently been installed.

5. Concerns raised by representors

- 5.1 The application is permitted and was not advertised in accordance with section 58 of the *Land Use Planning and Approvals Act 1993*.

6. Assessment

- 6.1 The *Hobart Interim Planning Scheme 2015* is a performance based planning scheme. To meet an applicable standard, a proposal must demonstrate compliance with either an acceptable solution or a performance criterion. Where a proposal complies with a standard by relying on one or more performance criteria, the Council may approve or refuse the proposal on that basis. The ability to approve or refuse the proposal relates only to the performance criteria relied on.
- 6.2 The site is located within the Inner Residential Zone of the *Hobart Interim Planning Scheme 2015*.
- 6.3 The existing use is Residential (Single Dwelling). The proposed use is Visitor Accommodation. The existing use is a permitted use in the zone. The proposed use is a permitted use in the zone.
- 6.4 The proposal has been assessed against:
 - 6.4.1 Part D - 11 Inner Residential Zone

6.4.2 Planning Directive No. 6 - Exemption and Standards for Visitor Accommodation in Planning Schemes

6.4.3 Part E- E6.0 Parking and Access Code

6.5 The proposal complies with all acceptable solutions for all applicable standards.

7. Discussion

7.1 Planning approval is sought for Change of Use to Visitor Accommodation.

7.2 The application was not advertised, in accordance with section 58 of the *Land Use Planning and Approvals Act 1993*.

7.3 The proposal has been assessed against the provisions of the *Hobart Interim Planning Scheme 2015* and does not rely on any performance criteria to satisfy the scheme's relevant standards and codes. As such, the proposal must be approved by Council in accordance with the provisions of section 58 of the *Land Use Planning and Approvals Act 1993*.

7.4 The proposal has been assessed by other Council officers, including the Park Planner. The officer has raised no objection to the proposal.

7.5 The proposal relies upon existing access over Council owned land, which is not part of the road network. As such, the delegation of determination of this application is to Council.

7.6 The proposal must be approved.

8. Conclusion

8.1 The proposed Change of Use to Visitor Accommodation at 29 Aberdeen Street, Glebe satisfies the relevant provisions of the *Hobart Interim Planning Scheme 2015*, and must be approved.

9. Recommendations

That: Pursuant to the *Hobart Interim Planning Scheme 2015*, the Council approve the application for Change of Use to Visitor Accommodation at 29 Aberdeen Street, Glebe for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

GEN

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-20-106 - 29 ABERDEEN STREET GLEBE TAS 7000 - Final Planning Documents, except where modified below.

Reason for condition

To clarify the scope of the permit.

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

BUILDING PERMIT

You may need building approval in accordance with the *Building Act 2016*. Click [here](#) for more information.

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

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Click [here](#) for information with respect to noise nuisances in residential areas.

VISITOR ACCOMMODATION

More information on visitor accommodation, including when building approval is required, can be found [here](#).

In all cases, check with your insurance company that you have adequate cover.

If you are in a bushfire prone area there may be a need to create/review the Bushfire Management Hazard Plan for your property.

You are encouraged to have in place a management plan for the operation of the visitor accommodation. The management plan should include measures to limit, manage and mitigate unreasonable impacts upon the amenity of permanent residents, including addressing issues like noise, waste management, customer behaviour, security, and maximum occupancy.

Visitor accommodation is also considered to be a commercial use and also not eligible to residential parking permits. Under the current policy for the issuing of residential parking permits, the proposed change of use to visitor accommodation would not entitle the property to a residential parking permit, or a transferable "bed and breakfast" parking permit.



(Helen Ayers)

Development Appraisal Planner

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.



(Ben Ikin)

Senior Statutory Planner

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

Date of Report: 11 June 2020

Attachment(s):

Attachment B - CPC Agenda Documents

27 May 2020

Helen Ayers
City Planning

Dear Helen,

Please find below, and attached, a response to the requested information with regards to planning application PLN-20-106.

- 1) General Manager consent (attached);
- 2) A current copy of the certificate of title for 2 Davies Street, Queens Domain (CT164058/1) (attached);
- 3) An amended floor plan dimensioned and to scale at 1:100 (refer bottom left hand corner of plan) (attached);
- 4) The total area to be used by the visitor accommodation would be 181.75m²; and
- 5) No portion of the building would be occupied by a permanent resident.

I trust this meets your requirements, however if you require any further information please do not hesitate to contact me on 0409 098 937 or at jackrshapiro@gmail.com

Kind regards,

Jack Shapiro.

INDEX:

00	COVER
01	SITE PLAN
02	EXISTING ELEVATIONS
03	FLOOR PLAN
04	NEW ELEVATIONS
05	SECTION

AREAS:

1125m ²	SITE AREA
6.3m ²	NEW FLOOR AREA
190m ²	EXISTING FLOOR AREA
196.3m ²	TOTAL BUILT AREA

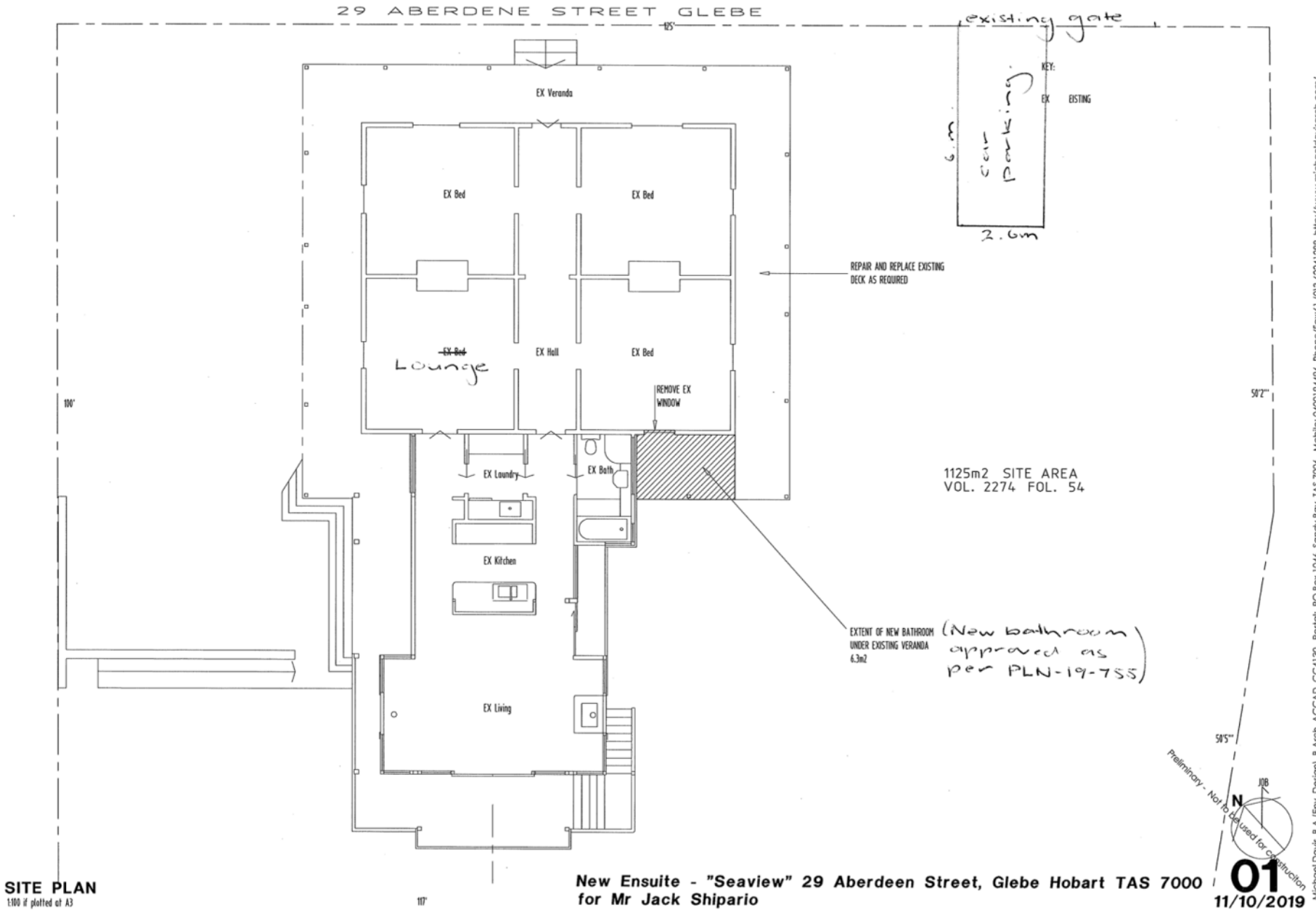
0.16	PLOT RATIO
0.17	PLOT RATIO PROPOSED
0.4	ZONE PLOT RATIO
VOL. 2274	FOL. 54

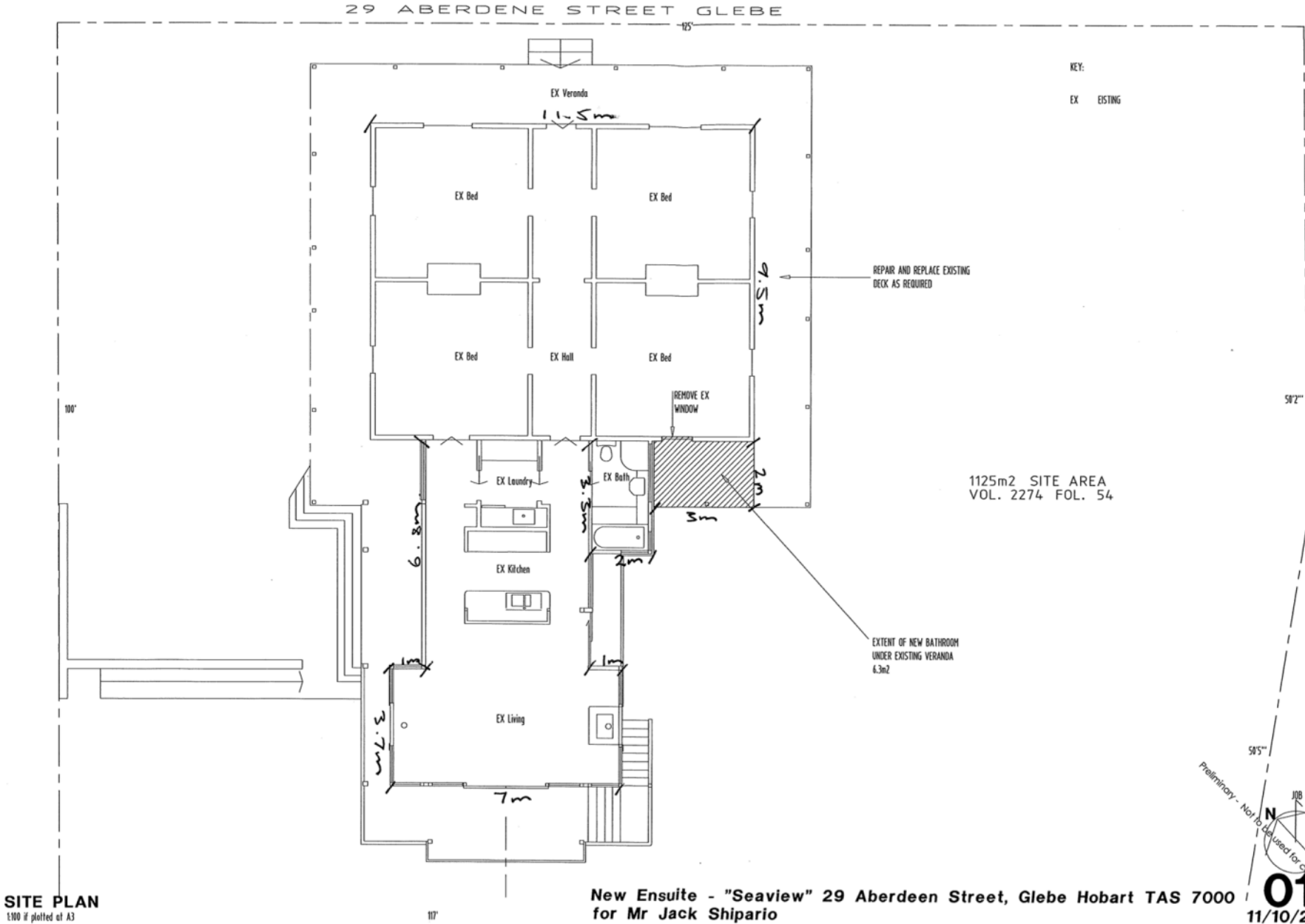
sketch

29 Aberdeen Street, Glebe Hobart TAS 7000



11/10/2019





**RESULT OF SEARCH**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



SEARCH OF TORRENS TITLE

VOLUME 246168	FOLIO 1
EDITION 3	DATE OF ISSUE 18-Jun-2019

SEARCH DATE : 17-Feb-2020

SEARCH TIME : 01.01 PM

DESCRIPTION OF LAND

City of HOBART

Lot 1 on Plan 246168

Derivation : Part of 10 Acres Gt dto C P Wood & Anr
Prior CT 2274/54SCHEDULE 1E177046 ASSENT to JACK RONALD SHAPIRO Registered 18-Jun-2019
at 12.01 PMSCHEDULE 2Reservations and conditions in the Crown Grant if any
BENEFITING EASEMENT: a right of carriage way over the roadways
shown on Plan No. 55130BENEFITING EASEMENT: a right of footway over the strips of
land shown on the said Plan and there called "Garden
Reserve" and "Footway".EXCEPTING AND RESERVING out of the Lot 5 on P 55130 unto
Thomas Michael Burke and his successors in title
owners and occupiers for the time being of any
portion of the land described in Certificate of Title
Vol 309 Fol 69 the full and free right of using all
sewers and drains now or hereafter to be made in or
over the said Lot 5 or any part thereof for the
benefit of any existing or future building on any
other portion of the said Lot 5 with power at any
time on giving reasonable notice to enter upon the
said Lot 5 to make lay repair cleanse and maintain
any pipes and drains PROVIDED THAT the person or
persons so entering shall make good all damage to the
surface occasioned thereby.UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



ORIGINAL - NOT TO BE REMOVED FROM TITLES OFFICE

R.P. 1470

TASMANIA

REAL PROPERTY ACT, 1862, as amended



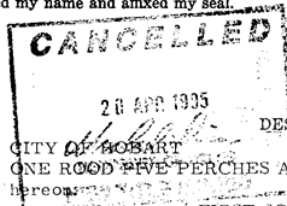
CERTIFICATE OF TITLE

Register Book

Vol. Fol.

2274 54

I certify that the person described in the First Schedule is the registered proprietor of an estate in fee simple in the land within described together with such interests and subject to such encumbrances and interests as are shown in the Second Schedule. In witness whereof I have hereunto signed my name and affixed my seal.



Mutthinson
Recorder of Titles.



DESCRIPTION OF LAND

CITY OF HOBART

ONE ROAD FIVE PERCHES AND TWO TENTHS OF A PERCH on the Plan

hereon

FIRST SCHEDULE (continued overleaf)

ERWIN OTTO GUSTAV HAHN of Hobart, Wood Machinist, and

ELSA ELIZABETH ANNA HAHN, his wife

AS TENANTS IN COMMON IN EQUAL SHARES.

E. R. Hahn
Recorder of Titles

SECOND SCHEDULE (continued overleaf)

✓ TOGETHER WITH a right of carriage way over the roadways shown on Plan No. ~~200~~ 55130

✓ TOGETHER WITH a right of footway over the strips of land shown on the said Plan and there called "Garden Reserve" and "Footway". 155130

✓ EXCEPTING AND RESERVING out of the Lot 5 shown hereon unto Thomas Michael Burke and his successors in title owners and occupiers for the time being of any portion of the land described in Certificate of Title Volume 309 Folio 69 the full and free right of using all sewers and drains now or hereafter to be made in or over the said Lot 5 or any part thereof for the benefit of any existing or future building on any other portion of the said Lot 5 with power at any time on giving reasonable notice to enter upon the said Lot 5 to make lay repair cleanse and maintain any pipes and drains PROVIDED THAT the person or persons so entering shall make good all damage to the surface occasioned thereby.

No. A270048 MORTGAGE to John Andrew Munnings and - -
Thomas Isham Chambers, Registered 27th July, 1967 at 12.1p.m.
(Sgd.) R. J. HOYLE, Acting Recorder of Titles.

DISCHARGED B1017

(17.9.1985)

Recorder of Title:

NOTE.—ENTRIES CANCELLED UNDER SIGNATURE OF THE RECORDER OF TITLES ARE NO LONGER SUBSISTING.
REGISTERED NUMBER

246168

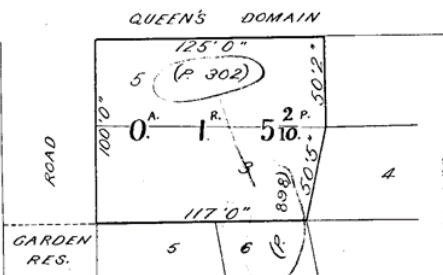
part of 10 AC.
adj to C.P. Wood & Assoc.
Meas. in pt. 4 ins.

PROPERTY ADDRESS

29 Aberdeen Street,
GLEBE, Hobart

1st Edition. Registered

Derived from C.T. Vol. 545 Fol. 5-Transfer A274446- E. O. G. Hahn.



Lot 1 of this plan consists of all the land comprised in the above-mentioned cancelled folio of the Register

**RESULT OF SEARCH**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



SEARCH OF TORRENS TITLE

VOLUME	FOLIO
164058	1
EDITION	DATE OF ISSUE
2	21-Nov-2019

SEARCH DATE : 27-May-2020

SEARCH TIME : 04.54 PM

DESCRIPTION OF LAND

City of HOBART

Lot 1 on Plan 164058

Derivation : Whole of Lot 1 Gtd to the Hobart City Council

Prior CT 135056/1

SCHEDULE 1

HOBART CITY COUNCIL

SCHEDULE 2

- 358/26 Land is limited in depth to 15 metres, excludes minerals and is subject to reservations relating to drains sewers and waterways in favour of the Crown
- 358/26 Grant made Subject To use (subject to the Hobart Corporation Act 1963) for the recreation, amusement, health & enjoyment of the inhabitants of the city and other persons resident in or coming into the city
- SP130930 Burdening Easement in Schedule of Easements: Right of Carriageway (appurtenant to C/T 130930/1) over the Right of Way 6.00 wide shown on Plan 164058
- Burdening Easement: The Right (appurtenant to C/T 199693/1 (except the land marked W.X.Y.Z. on Plan No. 199693) hereafter called the Dominant land) for the Commonwealth of Australia its successors & assigns & the owner & occupiers for the time being of the dominant land and as appurtenant thereto to lay use & maintain a line or lines of pipes for conveying of oil through over under along and upon the strip of land marked "Oil Pipe Easement" on P135056 and together with the right to enter into or upon the said strip of land by its workmen servants & others for the purpose of excavating constructing laying erecting cleansing amending or repairing such line or lines of pipes
- E179626 BURDENING ELECTRICITY INFRASTRUCTURE EASEMENT with the benefit of a restriction as to user of land in favour of Tasmanian Networks Pty Ltd over the land



RESULT OF SEARCH

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



marked Electricity Infrastructure Easement on Plan
164058 (Subject to Provisions) Registered
21-Nov-2019 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



OWNER: Hobart City Council		PLAN OF TITLE		REGISTERED NUMBER
FOLIO REFERENCE: 135056-1		LOCATION		P 164058
GRANTEE: PART OF LOT 1 GRANTED TO THE HOBART CITY COUNCIL (P135056)		CITY OF HOBART		APPROVED EFFECTIVE FROM 25 MAY 2012
FIRST SURVEY PLAN No. CPR5388 L.O.		COMPILED BY LTO		<i>Alice Kawa</i> Recorder of Titles
NOT TO SCALE		LENGTHS IN METRES		
MAPSHEET MUNICIPAL CODE No 14 (5225-32)	LAST UPI No GJR26	LAST PLAN No P135056	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	

SKETCH BY WAY OF ILLUSTRATION ONLY

COMPILED PLAN INDEX PLAN

This plan has been prepared under Section 143A of the Land Titles Act 1980

(1) This plan has been compiled from field surveys, the Hobart City Council Detail Sheets & Relevant Statutes.

(2) The boundaries identified by scaled measurement are approximate. They have been compiled from the descriptions contained in the relevant Acts.

(3) This plan has been prepared to aid in the interpretation and illustration of the Queens Domain's boundaries.

Compiled from CPR5388 L.O.



FOLIO PLAN

RECORDED OF TITLES

Issued Pursuant to the Land Titles Act 1980



PLAN OF TITLE ANNEXURE SHEET SHEET 1 OF 3 SHEETS	OWNER HOBART CITY COUNCIL	Registered Number
	FOLIO REFERENCE 135056-1	P 164058
SIGNED FOR IDENTIFICATION PURPOSES	NOT TO SCALE	LENGTHS IN METRES

Council Delegate	Date	Registered Land Surveyor	Date
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SKETCH BY WAY OF ILLUSTRATION ONLY

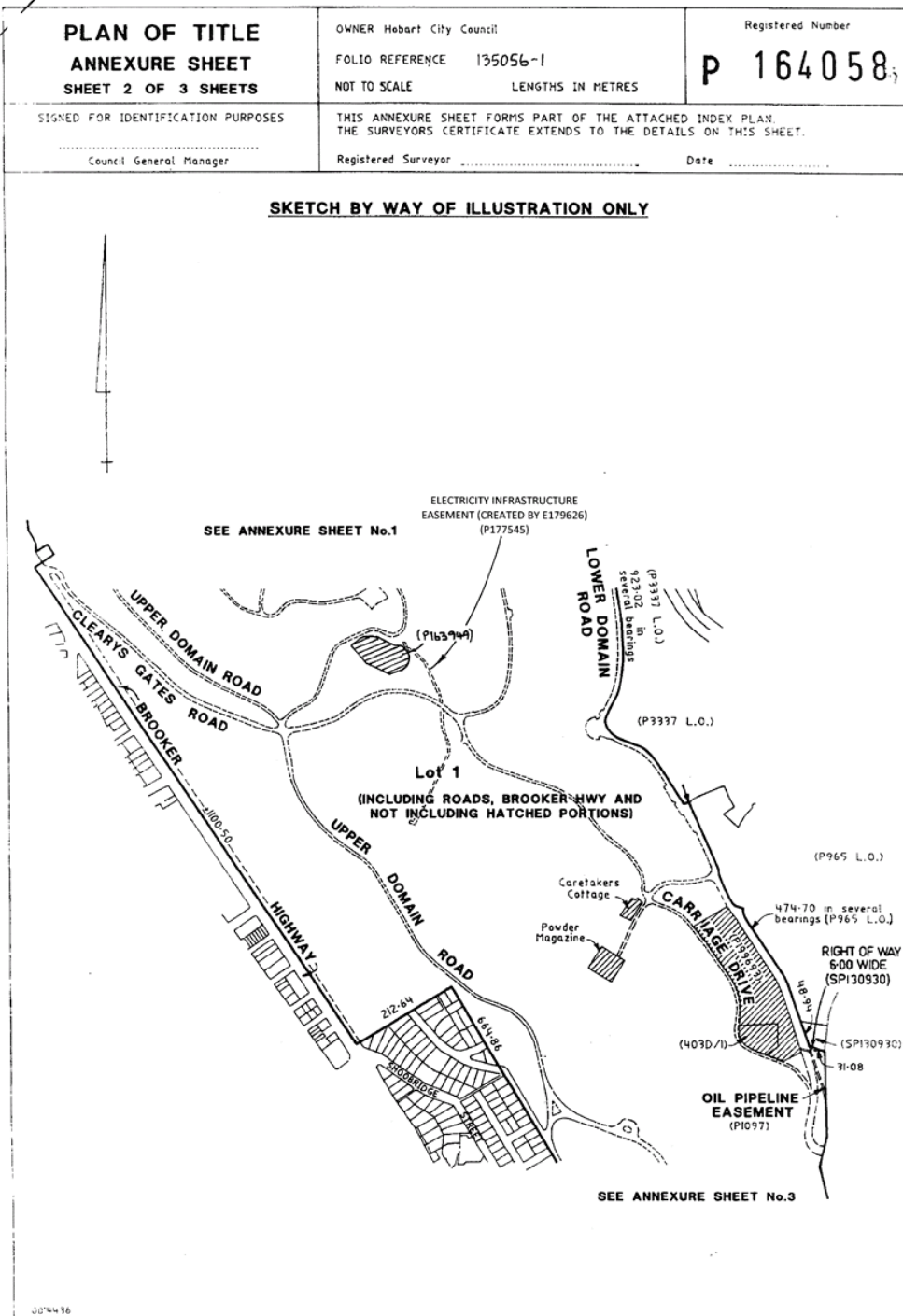
Lot 1
(INCLUDING ROADS, BROOKER HIGHWAY AND
NOT INCLUDING HATCHED PORTION)

SEE ANNEXURE SHEET No.2

**FOLIO PLAN**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



**FOLIO PLAN**

RECORDER OF TITLES

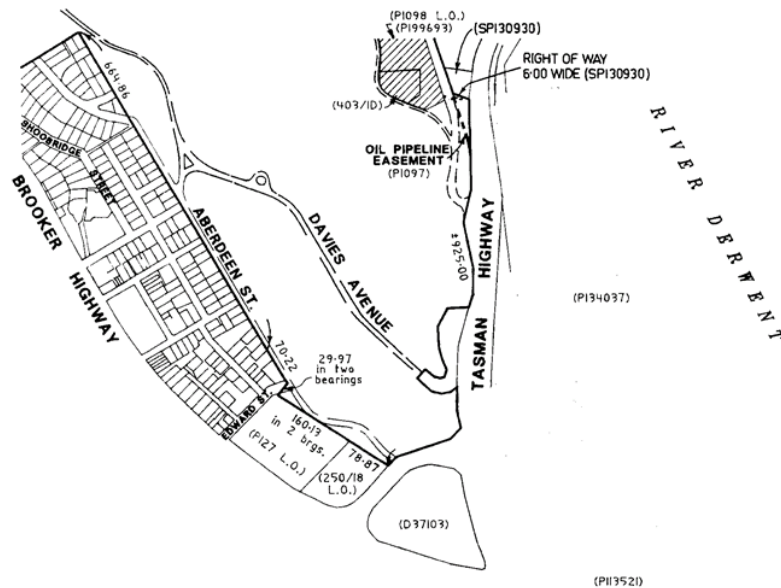
Issued Pursuant to the Land Titles Act 1980



PLAN OF TITLE ANNEXURE SHEET SHEET 3 OF 3 SHEETS	OWNER Hobart City Council	Registered Number
	FOLIO REFERENCE 135056-1 NOT TO SCALE LENGTHS IN METRES	P 164058
SIGNED FOR IDENTIFICATION PURPOSES	THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET.	
Council General Manager _____	Registered Surveyor _____	Date _____

SKETCH BY WAY OF ILLUSTRATION ONLY

SEE ANNEXURE SHEET No.1

Lot 1(INCLUDING ROADS, BROOKER HIGHWAY AND
NOT INCLUDING HATCHED PORTION)

0014437

City of **HOBART**

Enquiries to: City Planning
Phone: (03) 6238 2715
Email: coh@hobartcity.com.au

18 March 2020

Jack Shapiro
47 Cavell Street
WEST HOBART TAS 7000

mailto:jackrshapiro@gmail.com

Dear Sir/Madam

**29 ABERDEEN STREET, GLEBE - WORKS ON COUNCIL LAND NOTICE OF LAND
OWNER CONSENT TO LODGE A PLANNING APPLICATION - GMC-20-14**

Site Address:

29 Aberdeen Street, Glebe

Description of Proposal:

Change of Use to Visitor Accommodation

Applicant Name:

Jack Shapiro

PLN (if applicable):

PLN-20-106

I write to advise that pursuant to Section 52 of the *Land Use Planning and Approvals Act 1993*, I grant my consent on behalf of the Hobart City Council as the owner/administrator of the above land for you to make application to the City for a planning permit for the development described above and as per the attached documents.

Please note that the granting of the consent is only for the making of the application and in no way should such consent be seen as prejudicing any decision the Council is required to make as the statutory planning authority.

This consent does not constitute an approval to undertake any works and does not authorise

Hobart Town Hall
50 Macquarie Street
Hobart TAS 7000

Hobart Council Centre
16 Elizabeth Street
Hobart TAS 7000

City of Hobart
GPO Box 503
Hobart TAS 7001

T 03 6238 2711
F 03 6234 7109
E coh@hobartcity.com.au
W hobartcity.com.au



CityofHobartOfficial

ABN 39 055 343 428
Hobart City Council

the owner, developer or their agents any right to enter or conduct works on any Council managed land whether subject to this consent or not.

If planning approval is granted by the planning authority, you will be required to seek approvals and permits from the City as both landlord, land manager, or under other statutory powers (such as other legislation or City By-Laws) that are not granted with the issue of a planning permit under a planning scheme. This includes the requirement for you to reapply for a permit to occupy a public space under the City's Public Spaces By-law if the proposal relates to such an area.

Accordingly, I encourage you to continue to engage with the City about these potential requirements.

Yours faithfully



(N D Heath)

GENERAL MANAGER

Relevant documents/plans:

Plans by Michael Davis dated 11/10/2019

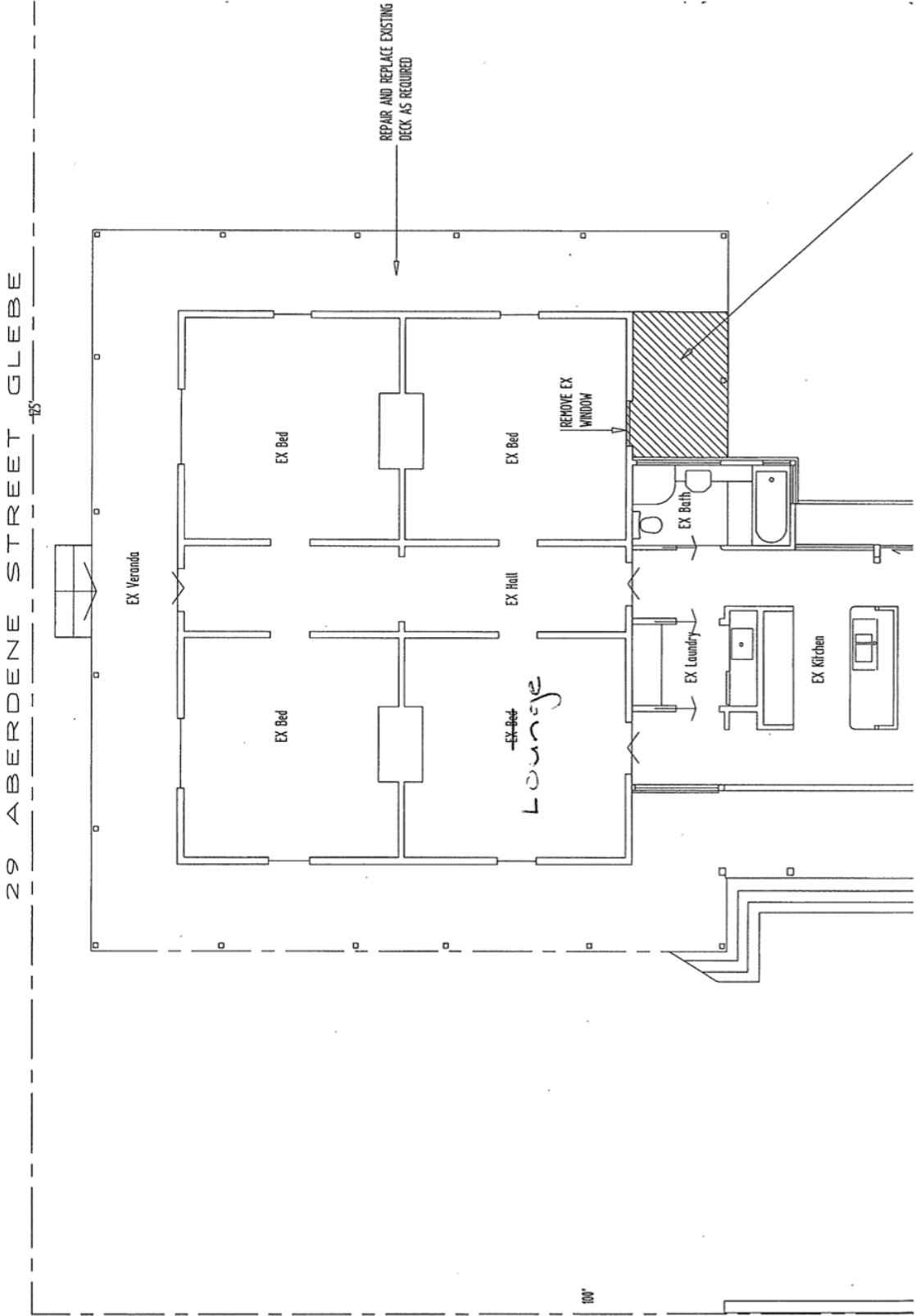
Cover - 00

Site Plan - 01



INDEX:

00	COVER
01	SITE PLAN
02	EXISTING
03	FLOOR
04	NEW
05	SECTION



Planning: #198612

Property

29 ABERDEEN STREET GLEBE TAS 7000

People

Applicant

Jack Shapiro
47 Cavell Street
WEST HOBART TAS 7000
0439098937
jackshapiro@gmail.com.au

Owner

Jack Shapiro
47 Cavell Street
WEST HOBART TAS 7000
0439098937
jackshapiro@gmail.com.au

Entered By

GEORGINA LOUISE YOUNG
0408 696 165
younggeorge1975@yahoo.com.au

Use

Visitor accommodation

Details

Have you obtained pre application advice?

No

If YES please provide the pre application advice number eg PAE-17-xx

Are you applying for permitted visitor accommodation as defined by the State Government Visitor Accommodation Standards? Click on help information button for definition, if you are not the owner of the property you MUST include signed confirmation from the owner that they are aware of this application.

Yes

Is the application for SIGNAGE ONLY? If yes, please enter \$0 in the cost of development, and you must enter the number of signs under Other Details below.

☒ No

If this application is related to an enforcement action please enter Enforcement Number

Details

What is the current approved use of the land / building(s)?

Residential - Single Dwelling

Please provide a full description of the proposed use or development (i.e. demolition and new dwelling, swimming pool and garage)

Change of use from Residential (Single Dwelling) to Visitor Accommodation. The dwelling will have 3 bedrooms and 1 car parking space. Signage is not included as part of this application. The new bathroom, as demonstrated on the submitted plan, has been previously approved pursuant to Planning Permit PLN-19-755.

Estimated cost of development

1000.00

Existing floor area (m2)	Proposed floor area (m2)	Site area (m2)
196.30	0.00	1125

Carparking on Site

Total parking spaces Existing parking spaces N/A

1 1 ☐ Other (no selection chosen)

Other Details

Does the application include signage?

☒ No

How many signs, please enter 0 if there are none involved in this application?

0

Tasmania Heritage Register

Is this property on the Tasmanian Heritage Register?

☒ No

Documents

Required Documents

Title (Folio text and Plan and Schedule of Easements)

FolioPlan-246168-1.pdf

Plans (proposed, existing)

20200217105849783.pdf

Covering Letter

FolioText-246168-1.pdf