

Contact: Jenny Hortle
Our Ref: JLH:JLH:190071

8 February 2019

Mr S van der Hart & Ms S Bierdrager
1C Sha Kok Mei South
Sai Kung NT
HONG KONG
By email simonvanderhart@gmail.com

Dear Simon & Stephanie

Purchase of 11 Cascade Road, South Hobart

Please find enclosed:

1. A Property Identification Certificate to be completed by you and returned to me as soon as possible.
2. A copy of a search of the Certificate of Title showing the current registered proprietor of the property. This appears to be in order.

The property you are purchasing is shown as Flat 2 on Strata Plan 57595. Please note that you will have exclusive use of the highlighted portion of land.

We note that you are purchasing a strata title unit and accordingly you will be subject to the provisions of the Strata Title Act. As an owner of a strata unit you are automatically part of the Body Corporate. The Body Corporate is made up of all the owners of the units on the strata title plan.

Irrespective of whether the Body Corporate is active or not you are still subject to the provisions of the Strata Title Act. The Body Corporate has the power to make and amend by-laws. If no by-laws are established at the time of registration of the strata plan then the model by-laws apply. The model by-laws regulate the use and enjoyment of the unit and the common property and are set out in the enclosed booklet "Strata Title Living in Tasmania".

Address Level 4, 99 Bathurst Street
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ABN 69 541 148 321

Lawyers specialising in

- › Business Acquisitions, Partnerships, Company & Commercial Law
- › Conveyancing, Property Development, Easements & Subdivisions
- › Family & De Facto Relationship Law
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- › Commercial Litigation, General Litigation & Dispute Resolution
- › Local Government, Environment & Planning Law
- › Employment & Workplace Relations Law
- › Bankruptcy, Insolvency & Securities Enforcement
- › Insurance Law, Personal Injury Law
- › Building, Construction & Engineering Law

If you have any queries concerning the property please contact me.

Yours faithfully
Simmons Wolfhagen



Adrian Tan
Senior Associate | Property & Commercial Law
adrian.tan@simwolf.com.au

PROPERTY IDENTIFICATION CERTIFICATE

Purchase of Property: 11 Cascade Road, South Hobart

We, **Simon Kim van der Hart & Stephanie Marjolein Bierdrager** hereby verify as follows:-

1. The measurements of the boundaries of the land we intend to purchase, as described in the attached plan appear to be correct.
2. The general identity of the land is that as described in the plan attached.
3. There appears to be no encroachments existing on the property being purchased by us and the property to be purchased does not appear to encroach onto any adjoining properties.
4. The property, as shown on the plan attached appears to be the property being purchased by us.

Dated:

.....

.....

SEARCH OF TORRENS TITLE

VOLUME 57595	FOLIO 2
EDITION 9	DATE OF ISSUE 15-Aug-2017

SEARCH DATE : 23-Jan-2019

SEARCH TIME : 11.02 AM

DESCRIPTION OF LAND

City of HOBART

Lot 2 on Strata Plan 57595 (formerly being STR2378) and a general unit entitlement operating for all purposes of the Strata Scheme being a 1 undivided 1/3 interest

Derived from Strata Plan 57595

Derivation : Part of 25A-3R-34Ps Gtd to C Swanston & Anor
Prior CT 4436/13

SCHEDULE 1

(M638374) M647598 JUDITH FRANCES WILLOUGHBY Registered
15-Aug-2017 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
The registered proprietor holds the lot and unit entitlement
subject to any interest noted on common property
Folio of the Register volume 57595 folio 0

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

SEARCH OF TORRENS TITLE

VOLUME 57595	FOLIO 0
EDITION 3	DATE OF ISSUE 17-Aug-2000

SEARCH DATE : 23-Jan-2019

SEARCH TIME : 11.02 AM

DESCRIPTION OF LAND

City of HOBART

The Common Property for Strata Scheme 57595 (formerly being STR2378)

Derivation : Part of 25A-3R-34Ps Gtd to C Swanston & Anor
Prior CT 4286/37

SCHEDULE 1

STRATA CORPORATION NO. 57595, 9-13 CASCADE RD., HOBART

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



Conveyancing and Law of Property Act 1884

STRATUM PLAN

No. 2378

REGISTERED NUMBER

Sheet 1 of 5 Sheets

City or Town HOBART

Locality SOUTH HOBART

57595

Reference to Title C.T. 4286/37

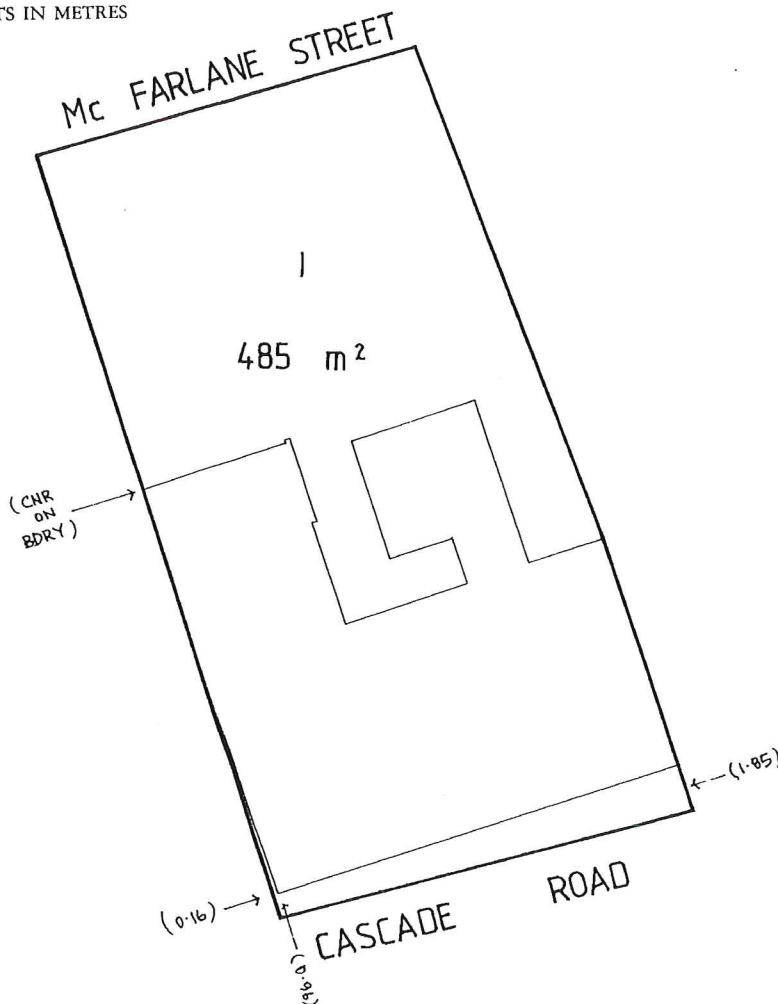
Site comprises the whole portion of Lot 1 on Plan Diagram No. 3498 in the

Lands Titles Office

The name of the building is 9-13 CASCADE RD, HOBART

N SITE PLAN
↑ SCALE 1: 200
MEASUREMENTS IN METRES

External surface boundaries of the site and the location of the building in relation thereto to be delineated in this space



REGISTERED this 19TH day of February 1988, No. 2378

This plan is lodged for registration by
Mc CULLOCH & Mc CULLOCH

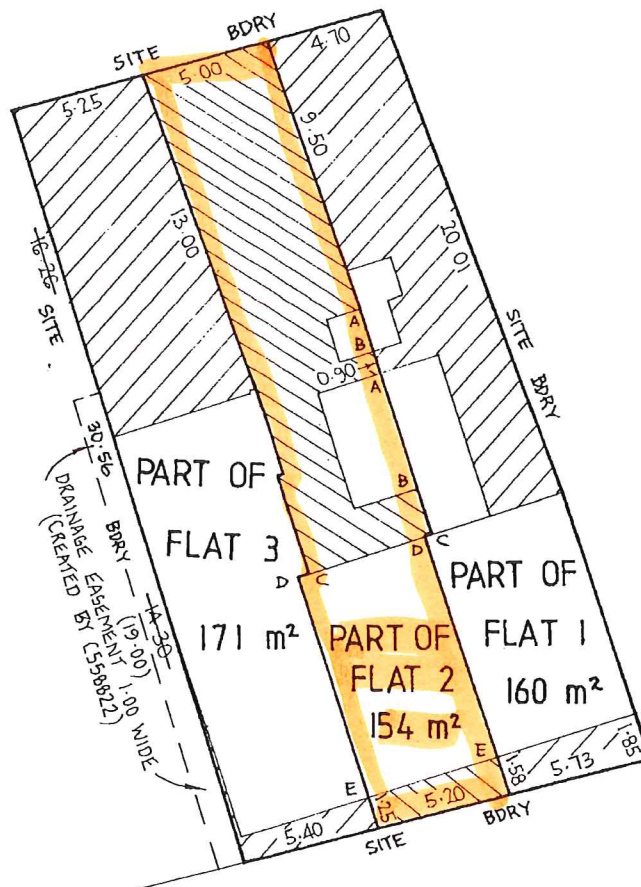
Recorder of Titles

Sheet 2 of 5.....Sheets

No. 2378

~~A/Town Clerk/Council Clerk~~

GROUND FLOOR
SCALE 1:200



- * ALL HORIZONTAL FLAT BOUNDARIES ARE SHOWN BY HEAVY UNBROKEN LINES.
- * THE BOUNDARIES DESCRIBED BY MEASUREMENT ARE OPEN.
- * ALL BOUNDARIES ARE THE EXTERNAL FACE OF WALLS AND CENTRE OF FLOORS AND CEILINGS UNLESS OTHERWISE STATED.
- * ~~INTERNAL FLAT BOUNDARIES ARE THE CENTRE OF WALLS.~~
- * THE HATCHED PORTIONS OF THE FLATS ARE PRIVATE OPEN SPACE AND EXTEND VERTICALLY FROM GROUND LEVEL TO A HEIGHT OF 3 METRES FROM THE PROLONGATION OF THE CEILING ABOVE.

CENTRE OF THE

BOUNDARIES MARKED A-B AND C-D-E ARE THE CENTRE OF WALLS

If further sheets are required to illustrate the flats, the sheets should be pinned here.

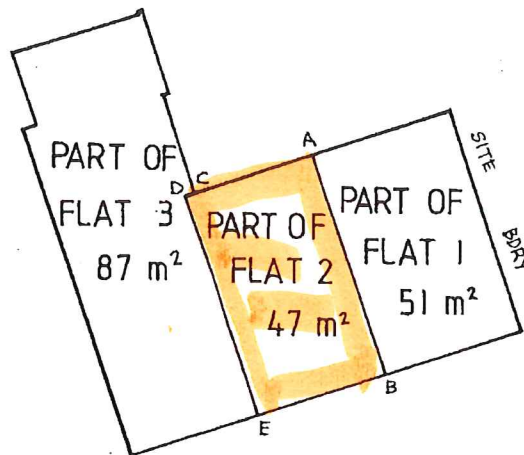
Further sheets must be of paper supplied for the purpose by the Recorder of Titles and bearing his seal, and be numbered consecutively, commencing from sheet 4.

Sheet 3 of 5 Sheets

No. 2378

Victor A. ...
A/Town Clerk/Council Clerk

1ST FLOOR
SCALE 1:200



- * ALL HORIZONTAL FLAT BOUNDARIES ARE SHOWN BY HEAVY UNBROKEN LINES.
- * ALL BOUNDARIES ARE THE EXTERNAL FACE OF WALLS AND CENTRE OF FLOORS AND CEILINGS UNLESS OTHERWISE STATED.
- * ~~INTERNAL FLAT~~ BOUNDARIES ARE THE CENTRE OF WALLS.

MARKED A-B AND C-D-E

Sheet 4 of 5 Sheets

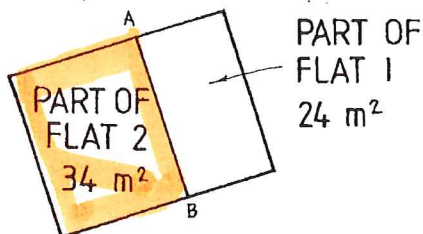
STRATUM PLAN

John Smith
Town Clerk/Council Clerk

of 9-13 CASCADE ROAD HOBART
(insert here name of the building)



2ND FLOOR
SCALE 1:200



- * ALL HORIZONTAL FLAT BOUNDARIES ARE SHOWN BY HEAVY UNBROKEN LINES.
- * ~~THE~~ INTERNAL FLAT BOUNDARY IS THE CENTRE OF THE WALL.

MARKED A-B

ALL BOUNDARIES ARE THE EXTERNAL FACE OF WALLS AND THE CENTRE OF FLOORS AND CEILINGS UNLESS OTHERWISE STATED

Sheet 5 of 5 Sheets

No. 2378

The address for service of notices on the company is:—

9-13 Cascade Road
South Hobart 7000

SURVEYOR'S CERTIFICATE

I, A.O. CARRICK
of HOBERT
a surveyor registered under the *Land Surveyor's Act* 1909, hereby certify that the building erected on the site described and delineated on sheet 1 of this plan is within the external boundaries of the title stated on sheet 1.

Dated this 19th day of AUGUST 1987...

By Lawick R

Registered Surveyor

COUNCIL CLERK'S CERTIFICATE

I certify that the subdivision shown in this plan
has been approved by the.....

HOBART City Council

Dated this 5th day of JANUARY 1988

11/07/2021

~~Town Clerk/Council Clerk~~

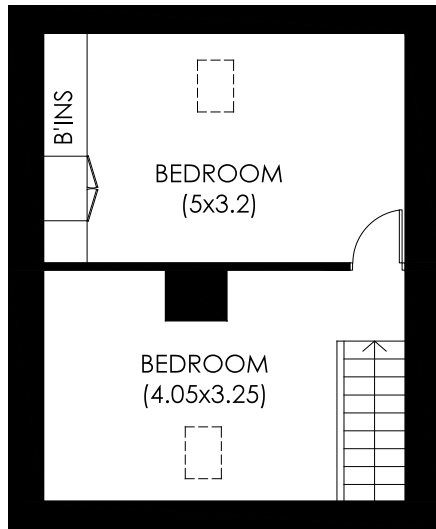
FOR OFFICE USE ONLY

[illegible]

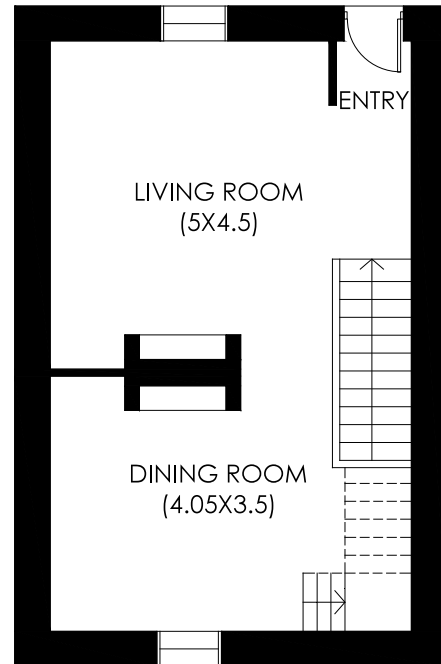
Plan of the property:

Use 11 Cascade road as a visitor accommodation (Airbnb). The house will also function as the private holiday home of the owners when they are in Tasmania.

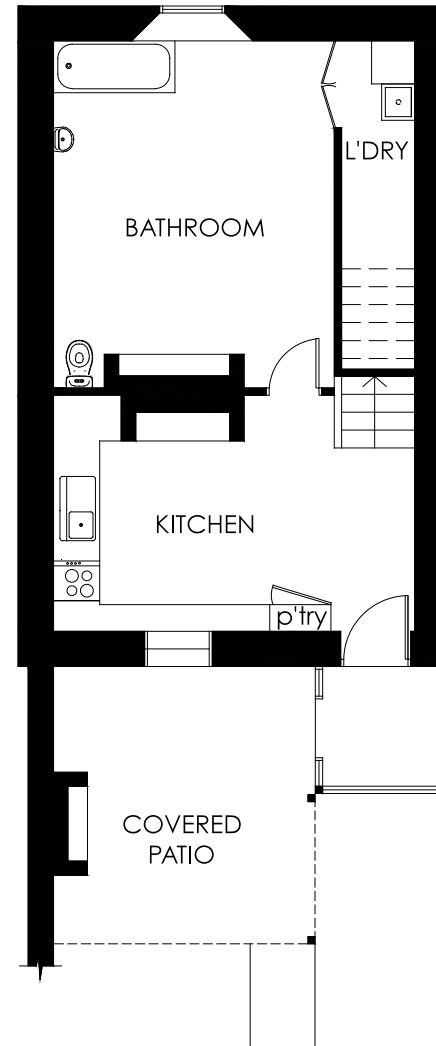
South Hobart
11 Cascade Rd
House Area: 157.30m² (16.93sq)



FIRST FLOOR

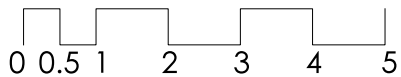
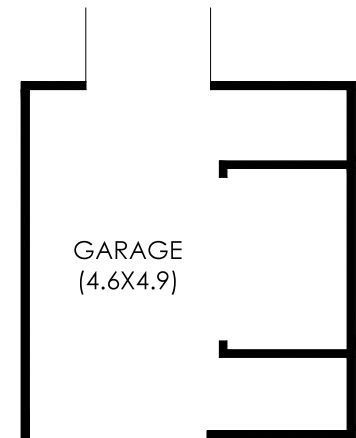


GROUND FLOOR



LOWER GROUND FLOOR

House Area: 157.30m²
Patio: 14m²
Garage: 22.54m²
Total Usable Area: 193.84m²



IMPORTANT: measurements are approximate - interested parties need to verify

Garage MEASUREMENT 4.6X4.9

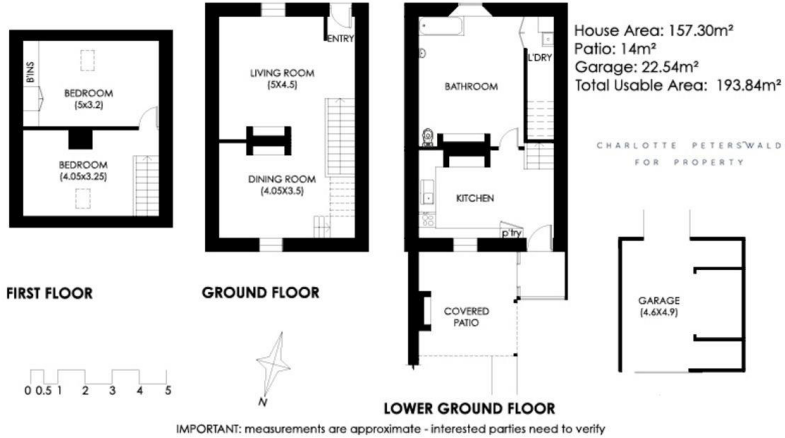


Street view and access to private covered car park:



Floorplan including measurement car park

South Hobart
11 Cascade Rd
House Area: 157.30m² (16.93sq)



STRATA SPLIT & LOT



#13

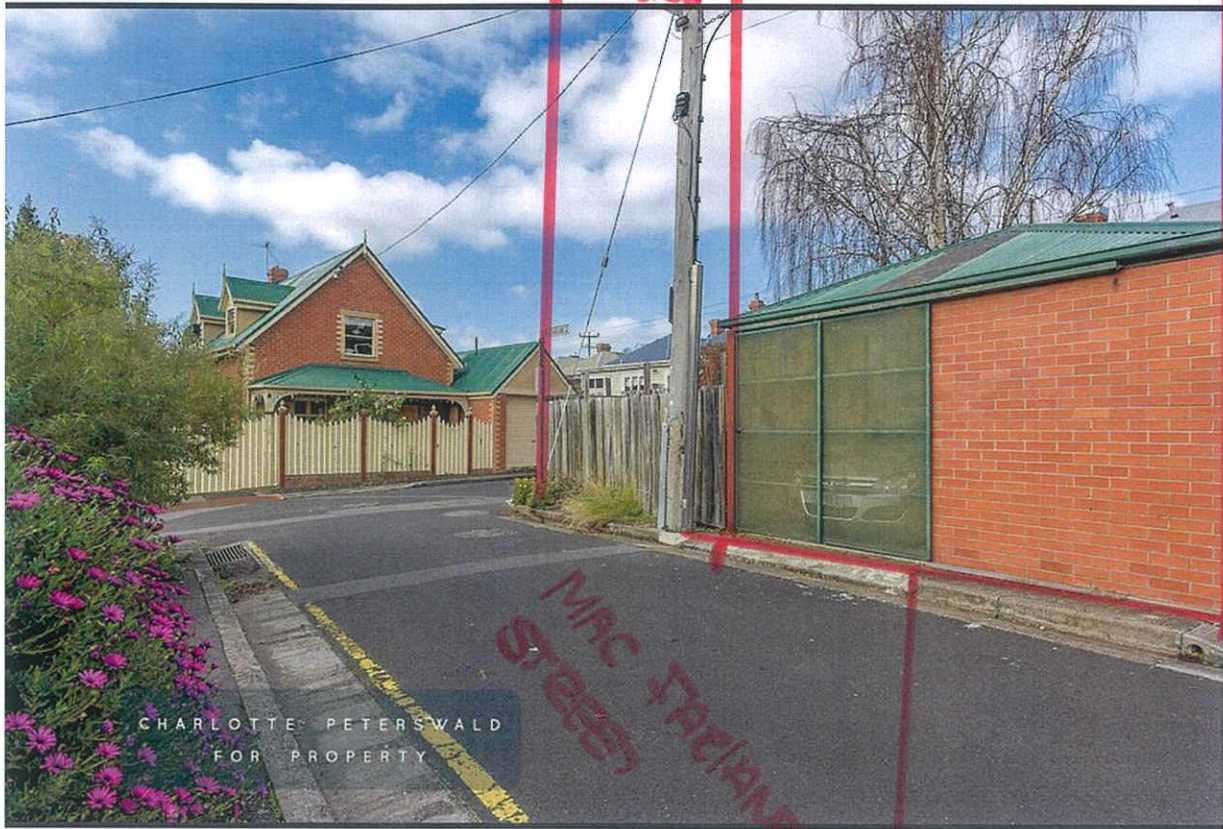
#9

11 CASCADE ROAD

FRONT VIEW

H9
BACK
HOUSE

BACK # 17



13

BACK SIDE HOUSE
11 CASCADE ROAD.
ON-SITE CAR PARK ENTRANCE

ON-SITE CAR PARK ENTRANCE
BACK GARAGE ENTRANCE

MacFarlane St

GATE

GATE

GATE

GARAGE
GARDEN

GARAGE
GARDEN

GARAGE
GARDEN

11 Cascade Rd

13

HOUSE

13

HOUSE

11

HOUSE

9

Excell Ln

Excell Ln

FRONT VIEW

Cascade Rd

