

PROPOSED SIGNAGE at No. 24 SALAMANCA SQUARE BATTERY POINT, 7004 for LIVEAT		DE JOB # 5316
ISSUE: SIGN APPROVAL SET - 02.12.2019		
DWG. No.	DRAWING	ISSUE
5316 - A01	COVER PAGE	A
5316 - A02	SITE PLAN	A
5316 - A03	EXISTING & DEMOLITION PLAN	A
5316 - A04	PROPOSED OUTDOOR STRUCTURE PLAN	A
5316 - A05	PROPOSED ELEVATIONS 01	A
5316 - A06	PROPOSED ELEVATIONS 02	A
ATTACHMENTS		
SIGNAGE DETALS AS PER SUPPLIERS SPECIFICATION		

GENERAL INFORMATION		
Accredited Building Designer:	Monty East	
Accreditation Number:	CC 1910	
Land title reference number:	C.T. 129068/1	
Site area:	546 ± m²	
Total floor area:	90 ± m²	
Total decked / balcony area:	N/A	
Site assessment by:	N/A	
Wind classification:	-	Site Classification to AS 4055-2012
Soil classification:	-	Site Classification to AS 2870-2011
Climate zone:	7	
Bushfire-prone area BAL rating:	N/A	No areas of bushfire prone vegetation >1ha within 100m of the building.
Alpine area (900m above AHD):	N/A	BCA Figure 3.7.5.2
Corrosion environment:	N/A	For steel subject to the influence of salt water, breaking surf or heavy industrial areas, refer to BCA section 3.4.2.2 & BCA Table 3.4.4.2. Cladding& fixings to manufacturers spec.

IMPORTANT

1. USE WRITTEN DIMENSIONS ONLY.

2. DO NOT SCALE DRAWINGS.

3. THE CONTRACTOR IS TO CHECK ALL LEVELS, DATUMS, AND DIMENSIONS IN RELATION TO THE DRAWINGS AND THE SITE BEFORE PROCEEDING WITH THE WORK OR SHOP DRAWINGS.

4. ENSURE THAT THIS DRAWING AND ANY ACCOMPANYING DETAILS AND/OR SPECIFICATIONS HAVE BEEN STAMPED AS 'APPROVED' BY THE RELEVANT LOCAL AUTHORITY.

5. THE PROPRIETOR IS TO ENSURE THAT ANY "CONDITIONS OF APPROVAL" ISSUED BY THE BUILDING SURVEYOR, RELEVANT COUNCIL AND OTHER STATUTORY AUTHORITIES ARE PASSED ONTO THE CONTRACTOR BEFORE CONSTRUCTION BEGINS.

6. MATERIALS AND WORKMANSHIP SHALL CONFORM WITH RELEVANT STANDARDS, BUILDING CODE OF AUSTRALIA AND PRODUCT MANUFACTURERS WRITTEN INSTRUCTIONS.

7. ANY ALTERATION TO THE CONSTRUCTION AND/OR MATERIALS INDICATED IN THESE DRAWINGS IS TO BE APPROVED BY DESIGN EAST, THE ENGINEER, THE BUILDING SURVEYOR, AND THE PROPRIETOR BEFORE PROCEEDING WITH THE WORK.

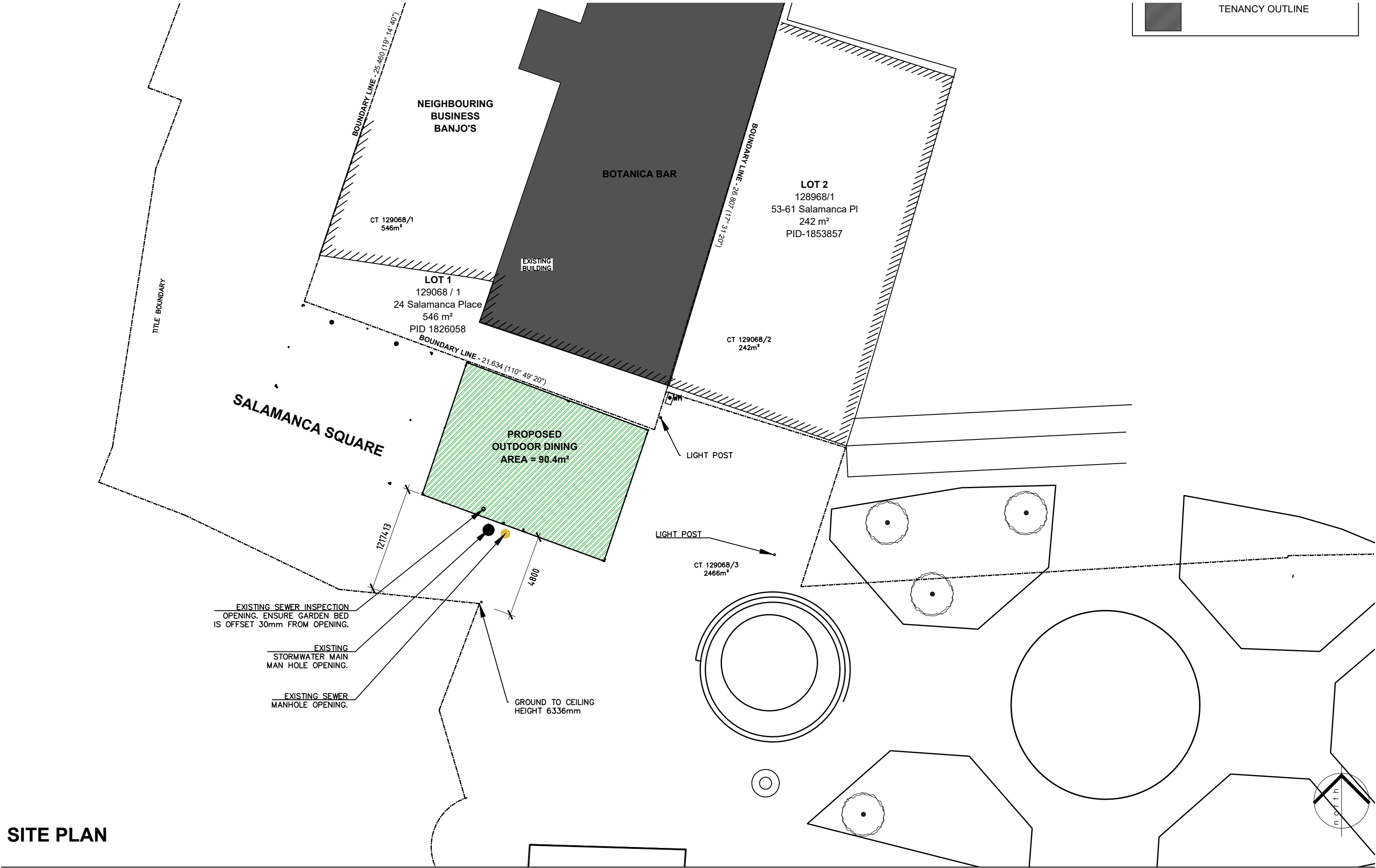
8. IF THERE ARE ANY QUERIES IN RELATION TO DIMENSIONS, LEVELS OR CONSTRUCTION DETAILS, CONTACT:

design . EAST

phone6223 6740

emailadmin@designeast.com.au

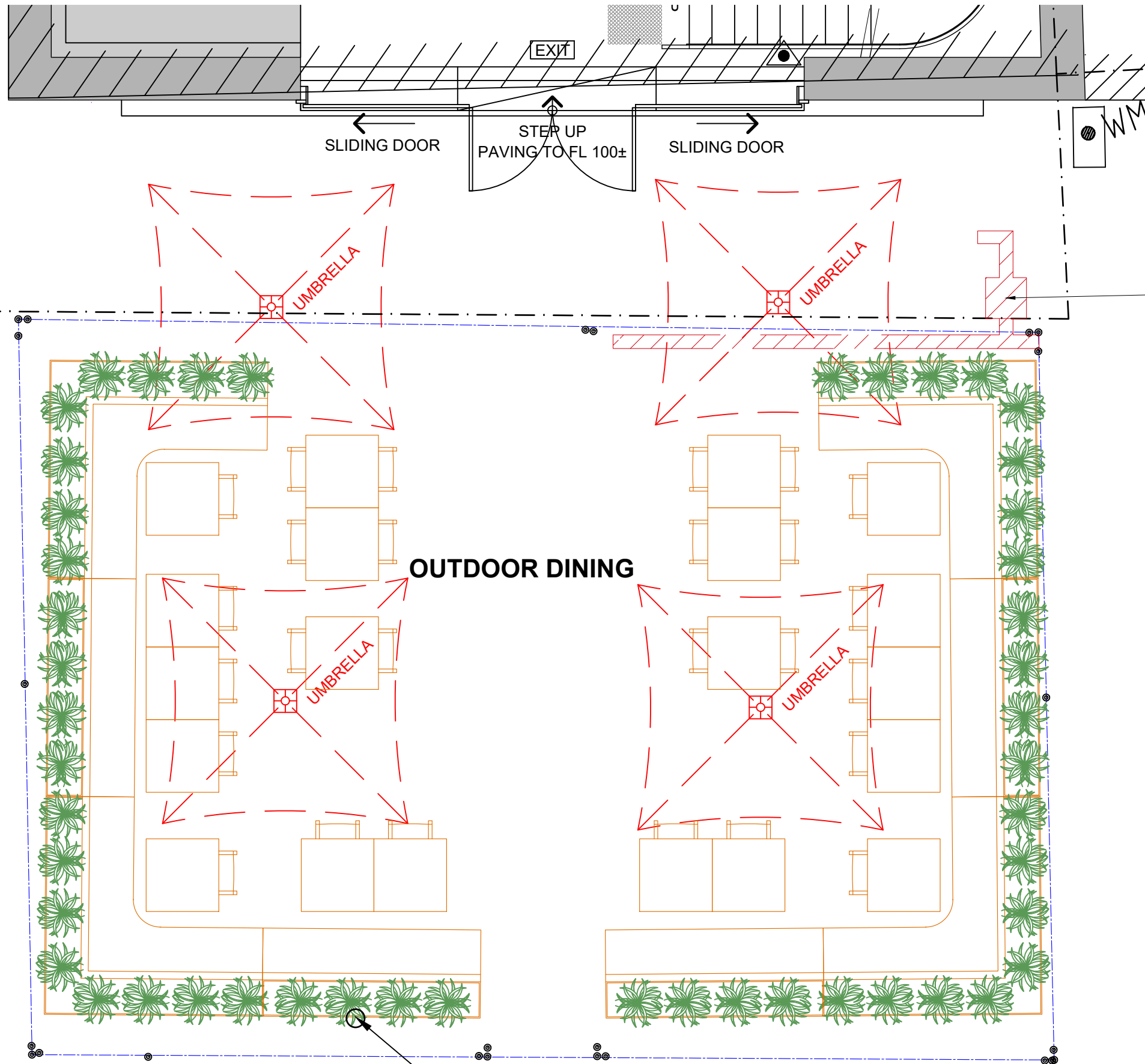
Revision notes:				Drawn by: DOMINIC ABBOTT DRAFTSPERSON		Project: Botanica Bar Outdoor Proposal		Date: 02.12.19	Do not scale off drawing. All dimensions to be checked on site prior to construction	Drawing Number: A01 LivEat Salamanca Square Pty Ltd Level 3 - 118 Liverpool St Hobart TAS 7000 BOTANICA BAR
Rev:	Date:	Notes:	By:	Client: LivEat Salamanca Square Pty Ltd Botanica Bar		Drawing Title: COVER PAGE		Scale @ A3: NTS		
1	02/12/2019	PLANNING APPROVAL FOR GARDEN BED SIGNAGE	DA					Revision: A		



TENANCY OUTLINE

SITE PLAN

Revision notes:				Drawn by: DOMINIC ABBOTT DRAFTSPERSON		Project: Botanica Bar Outdoor Proposal		Date: 02.12.19		Do not scale off drawing. All dimensions to be checked on site prior to construction		Drawing Number: A02	
Rev:	Date:	Notes:		By:	Client: LivEat Salamanca Square Pty Ltd Botanica Bar	Drawing Title: SITE PLAN		Scale @ A3: 1:200				LivEat Salamanca Square Pty Ltd	
A	02/12/2019	PLANNING APPROVAL FOR GARDEN BED SIGNAGE		DA				Revision: A				Level 3 - 118 Liverpool St Hobart TAS 7000 BOTANICA BAR	



LEGEND	
	TO BE DEMOLISHED
	EXISTING
	EXISTING WALL
	LICENSED OUTDOOR DINING

HATCHED AREA SHOWS EXTENT OF DEMOLITION.
REINSTATE DEMOLISHED SLAB TO MATCH EXISTING
NON-STANDARD SURFACE.

DEMOLITION NOTES

GENERALLY DEMOLITION WORKS MUST BE CARRIED OUT
IN ACCORDANCE WITH AS 2601-2001: DEMOLITION OF STRUCTURES &
REGULATIONS 29, 30 & 31 OF THE BUILDING REGULATIONS (Tas.) 2019.

BUILDINGS PRIOR TO 1990 MAY CONTAIN ASBESTOS. BUILDINGS PRIOR
TO 1986 ARE LIKELY TO CONTAIN ASBESTOS EITHER IN CLADDING MATERIAL
OR IN FIRE RETARDANT INSULATION MATERIAL. THE BUILDER SHOULD CHECK &
IF NECESSARY, TAKE APPROPRIATE ACTION BEFORE DEMOLISHING, CUTTING,
SANDING, DRILLING OR OTHERWISE DISTURBING THE EXISTING STRUCTURE.

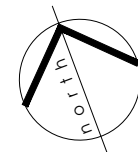
PROCEDURES & METHODS OF DEMOLITION MUST BE ADEQUATE TO PREVENT
INJURY TO PERSONS & AVOID DAMAGE TO NEIGHBORING PROPERTY.

BEFORE REMOVING EXISTING WALLS SHOWN TO BE DEMOLISHED,
BUILDER SHALL CONFIRM ON-SITE WHETHER THEY ARE LOAD-BEARING
OR NOT. IF IT IS FOUND THAT THEY ARE LOAD-BEARING, A STRUCTURAL
ENGINEER MUST BE ENGAGED TO DETERMINE ANY BEAMS REQUIRED TO
SUPPORT THESE EXISTING LOADS.

ALL REDUNDANT STORMWATER, SEWER & WATER CONNECTIONS
ASSOCIATED WITH THE DEMOLITION SHALL BE CUT & SEALED TO
THE SATISFACTION OF COUNCIL'S SENIOR PLUMBING INSPECTOR.

THE REMOVAL OF EXISTING PLUMBING FIXTURES SHALL INCLUDE
ALL ASSOCIATED WASTE & VENT PIPES, FLOOR DRAINS, WATER
SERVICE PIPEWORK BRACKETS, SUPPORTS etc. & SEAL OFF EXISTING
SERVICES. SEAL OFF & MAKE GOOD ALL FLOOR, WALL
& ROOF PENETRATIONS.

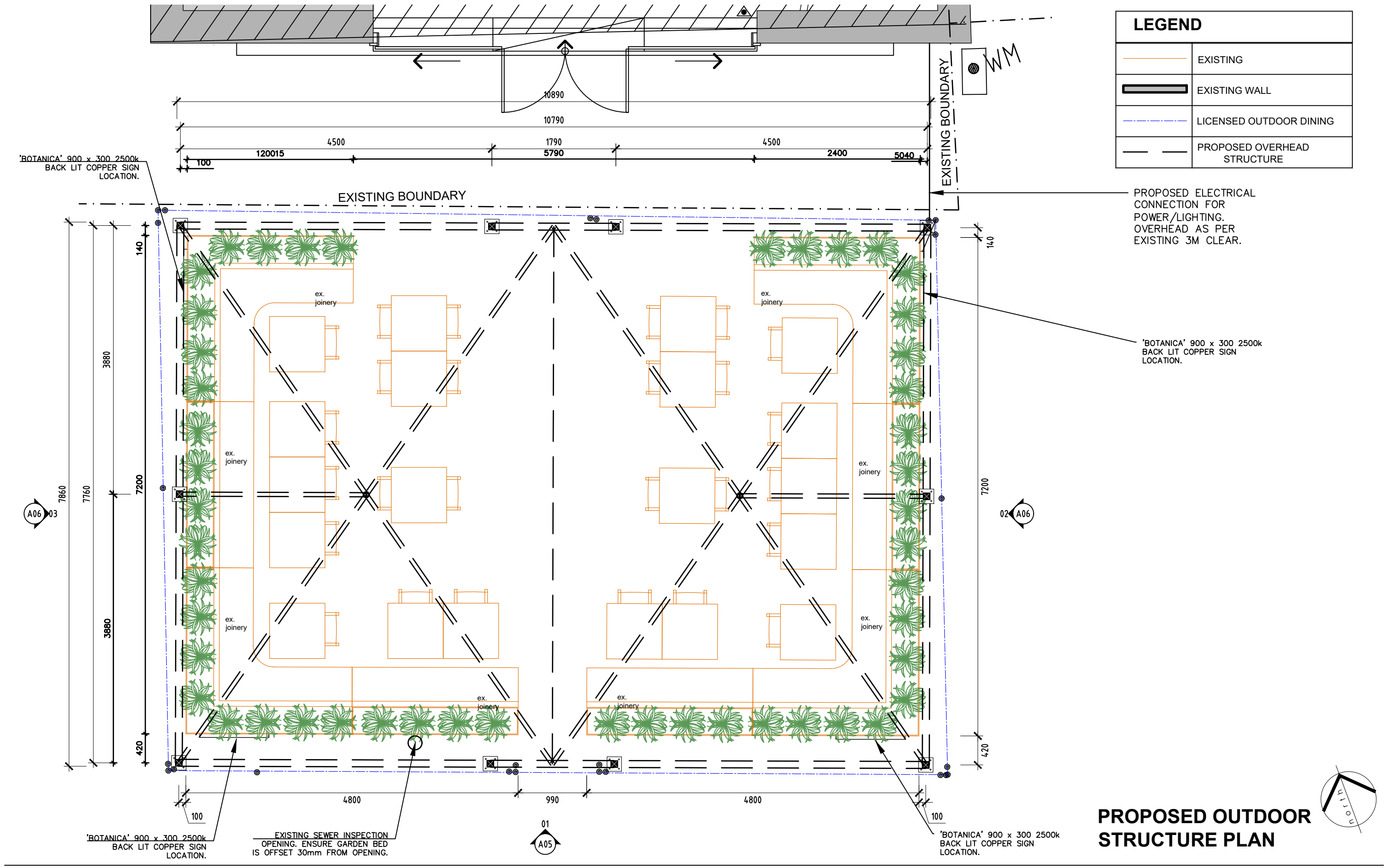
GENERALLY, MAKE GOOD TO EXISTING FLOORS, WALLS & CEILINGS WHERE ALL
DEMOLITION WORK OCCURS TO MATCH EXISTING AS & WHERE REQUIRED.



EXISTING & DEMOLITION PLAN

EXISTING SEWER INSPECTION
OPENING. ENSURE GARDEN BED
IS OFFSET 30mm FROM OPENING.

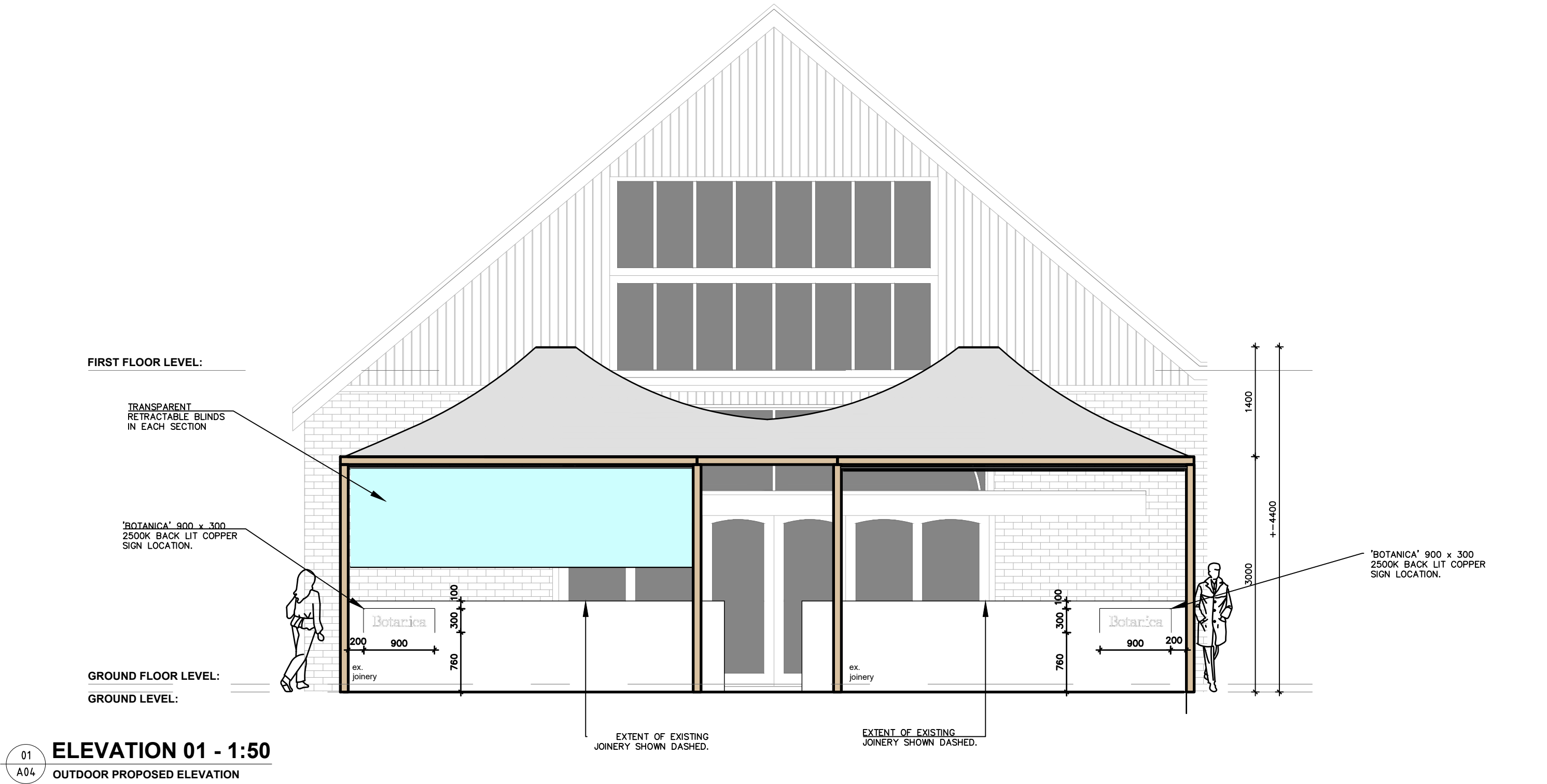
Revision notes:				Drawn by:		Project:		Date:		Do not scale off drawing. All dimensions to be checked on site prior to construction		Drawing Number:	
Rev:	Date:	Notes:	By:	DOMINIC ABBOTT	DRAFTSPERSON	Botanica Bar	Outdoor Proposal	02.12.19				A03	
A	02/12/2019	PLANNING APPROVAL FOR GARDEN BED SIGNAGE	DA	Client:		Drawing Title:		Scale @ A3:					
				LivEat Salamanca Square Pty Ltd		EXISTING & DEMOLITION PLAN		1:50				LivEat Salamanca Square Pty Ltd	
				Botanica Bar				Revision:	A			Level 3 - 118 Liverpool St	
												Hobart TAS 7000	
												BOTANICA BAR	



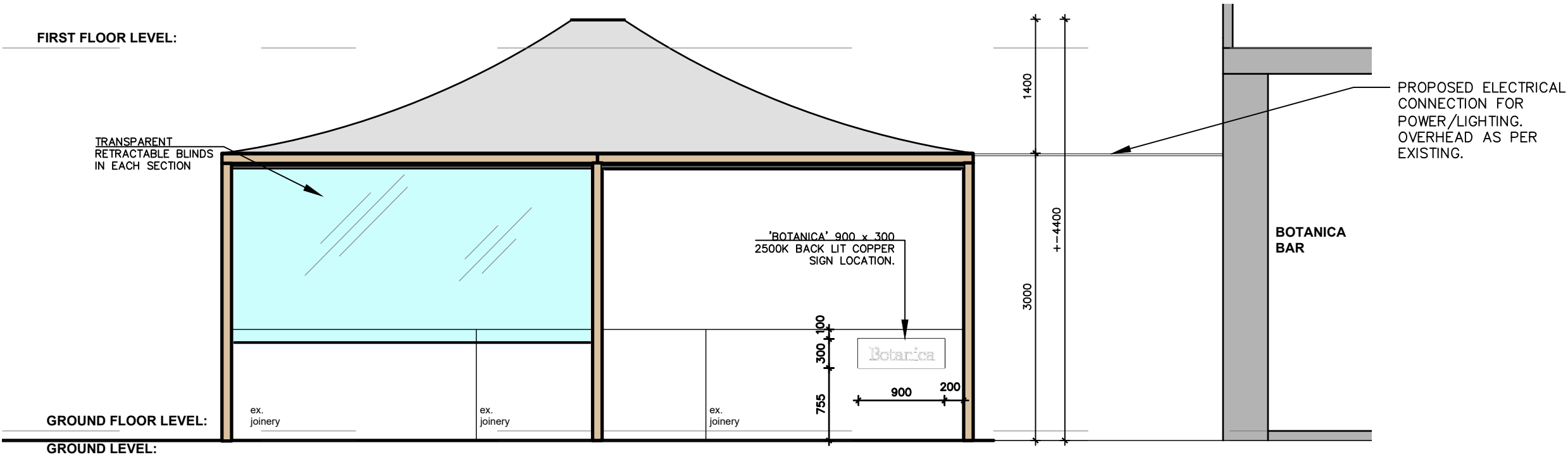
Revision notes:				Drawn by: DOMINIC ABBOTT DRAFTSPERSON		Project: Botanica Bar Outdoor Proposal		Date: 02.12.19		Do not scale off drawing. All dimensions to be checked on site prior to construction		Drawing Number: A04	
Rev:	Date:	Notes:		By:		Drawing Title:		Scale @ A3: 1:50				LivEat Salamanca Square Pty Ltd	
A	02/12/2019	PLANNING APPROVAL FOR GARDEN BED SIGNAGE		DA		PROPOSED OUTDOOR STRUCTURE PLAN		Revision: A				Level 3 - 118 Liverpool St Hobart TAS 7000 BOTANICA BAR	

FINISHES SCHEDULE	
	WHITE PVC UMBRELLA FABRIC

note dimensions shown are indicative only

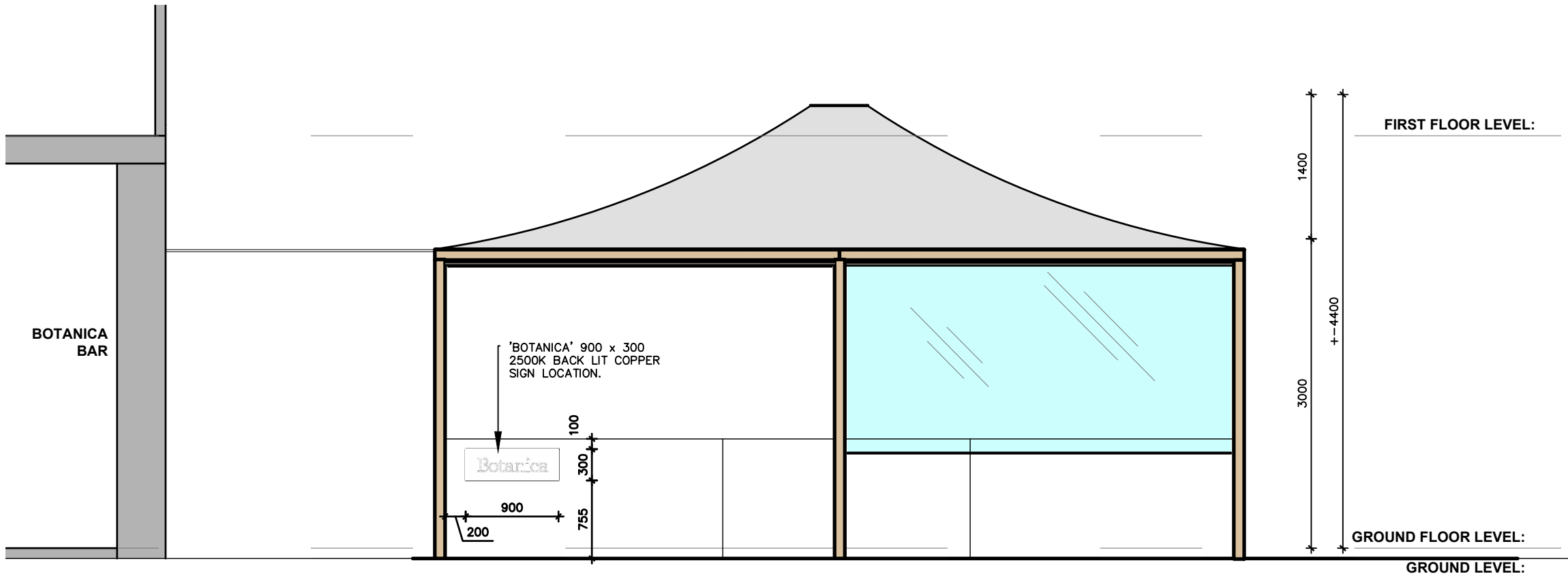


Revision notes:				Drawn by: DOMINIC ABBOTT DRAFTSPERSON		Project: Botanica Bar Outdoor Proposal		Date: 02.12.19		Do not scale off drawing. All dimensions to be checked on site prior to construction		Drawing Number: A06	
Rev:	Date:	Notes:		By:		Client: LivEat Salamanca Square Pty Ltd Botanica Bar		Scale @ A3: 1:50				LivEat Salamanca Square Pty Ltd	
A	02/12/2019	PLANNING APPROVAL FOR GARDEN BED SIGNAGE		DA		Drawing Title: Proposed Elevation 01		Revision: A				Level 3 - 118 Liverpool St Hobart TAS 7000	
												BOTANICA BAR	



02
A04

ELEVATION 02 - 1:50
OUTDOOR PROPOSED ELEVATION



03
A04

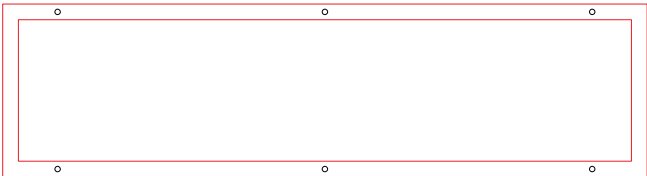
ELEVATION 03 - 1:50
OUTDOOR PROPOSED ELEVATION

Revision notes:				Drawn by: DOMINIC ABBOTT DRAFTSPERSON		Project: Botanica Bar Outdoor Proposal		Date: 02.12.19		Do not scale off drawing. All dimensions to be checked on site prior to construction		Drawing Number: A07	
Rev:	Date:	Notes:		By:	Client: LivEat Salamanca Square Pty Ltd Botanica Bar	Drawing Title:		Scale @ A3: 1:50				LivEat Salamanca Square Pty Ltd	
A	02/12/2019	PLANNING APPROVAL FOR GARDEN BED SIGNAGE		DA		Proposed Elevation 02		Revision: A				Level 3 - 118 Liverpool St Hobart TAS 7000 BOTANICA BAR	

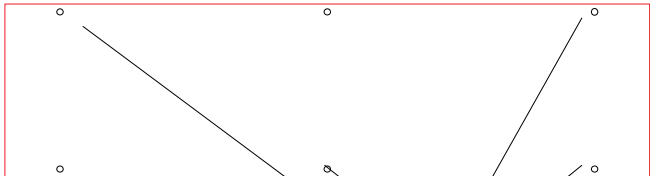
4.5mm Opal Acrylic Face



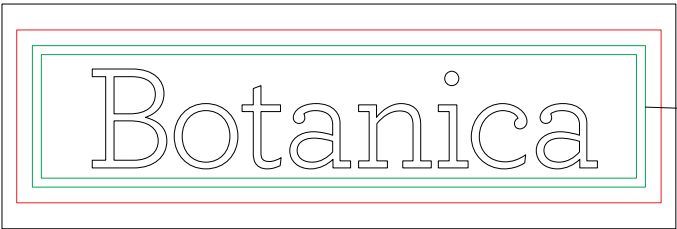
20mm Opal Acrylic Body



10mm Opal Acrylic Back

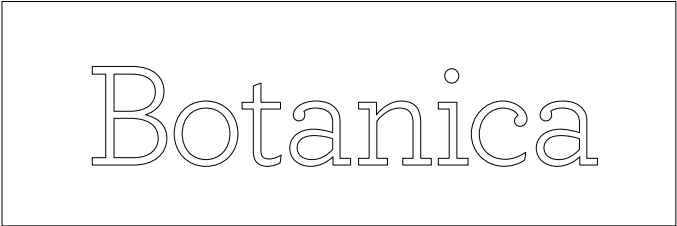


8mm MOUNTING STUDS TO WALL



12mm LED Light strip

900mm



1.5mm Copper

300mm



SIDE VIEW

Design Three

From: Giameos Construction & Development <admin@gcdconstructions.com.au>
Sent: Monday, 9 September 2019 9:50 AM
To: Dee-Ann Simmons; George Giameos
Cc: Design Three; Troy Sutcliffe; Chris Button; George Giameos
Subject: RE: Owner Consent - Outdoor Alterations

Good morning Dee-Ann,

We have no issue with the proposal. We are happy to give authorisation for you to submit your plans to council for approval.

Kind Regards,

Sarah Jones
Office Manager
(Office hours 9:00am to 1:00pm Monday - Friday)

Giameos Constructions & Developments Pty Ltd
Level 2, 100 Melville Street, Hobart TAS 7000
Ph: 03 62 343366 Fx: 03 62 343422

From: Dee-Ann Simmons <dsimmons@banjosrc.com.au>
Sent: Friday, 6 September 2019 9:13 AM
To: George Giameos <george.giameos@gcdconstructions.com.au>; Giameos Construction & Development <admin@gcdconstructions.com.au>
Cc: Design Three <DAbbott@designeast.com.au>; Troy Sutcliffe <tsutcliffe@liveat.com.au>; Chris Button <cbutton@liveat.com.au>
Subject: Owner Consent - Outdoor Alterations

Hi George,
We are currently proposing some minor updates to the umbrella system in the outdoor area of Botanica. Please see attached proposal.

Could we please have your consent for Liveat Salamanca to apply for the permit for these works on your behalf?

Kind Regards,

Dee-Ann Simmons

Project & Business Development Officer

Banjo's Corporation Pty Ltd

GPO Box 491
Hobart TAS 7001

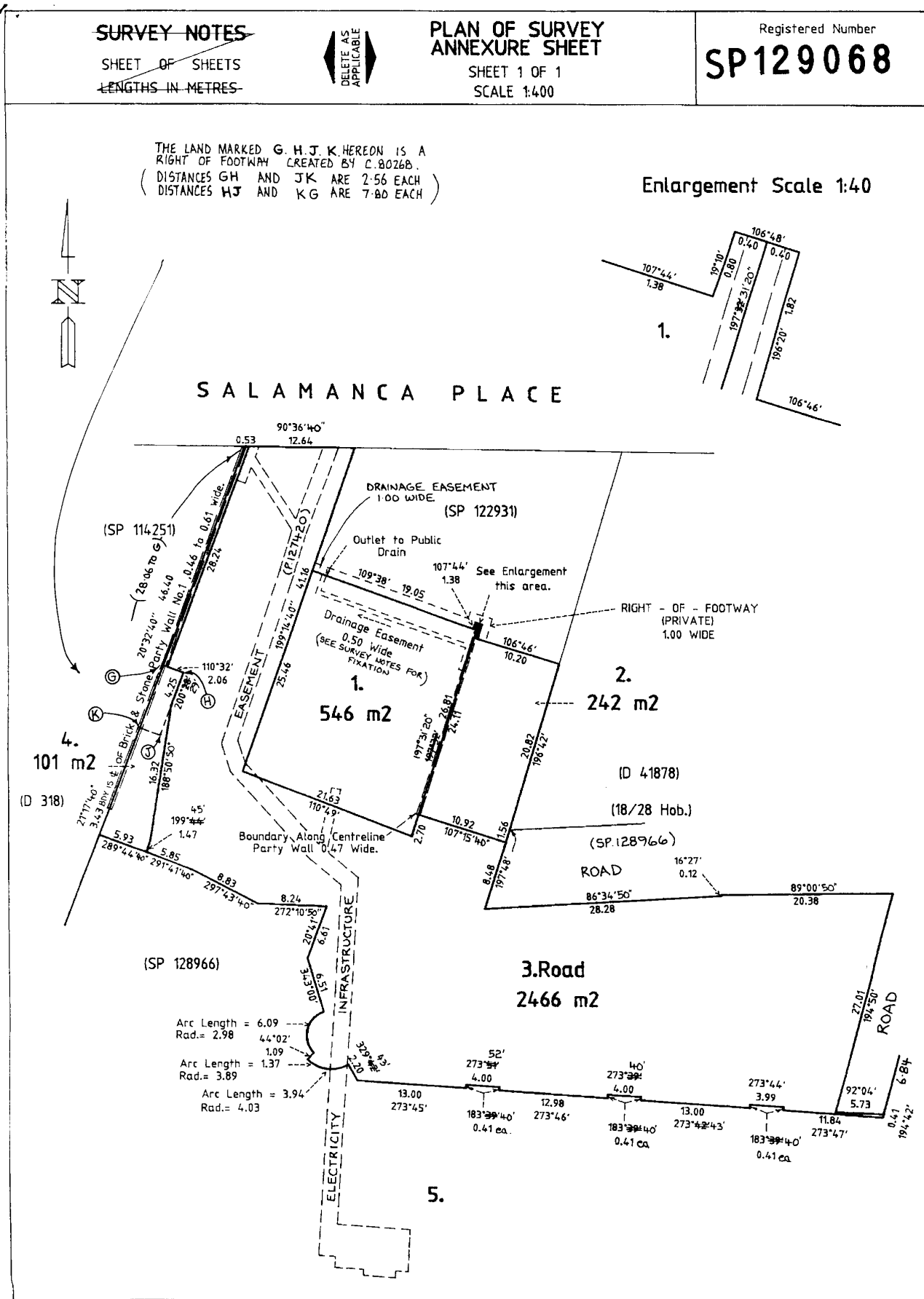
P | 03 6210 5071
M | 0436 648 162
E | dsimmons@banjosrc.com.au





This message and any attachments may contain confidential or privileged information, and are intended solely for the named recipient(s). If you are not a named recipient of this message, you are hereby notified that you must not use, disseminate, copy or take any action in reliance on this message or any part of it. If you have received this message in error, please notify Banjo's immediately by telephoning **(03) 6210 5000**. Unless otherwise specified, any personal views and opinions expressed herein are purely those of the author and do not represent the views of Banjo's. Banjo's does not represent, warrant or guarantee that the integrity of this communication has been maintained nor that the communication is free of errors, virus or interference.

[illegible]



SEARCH OF TORRENS TITLE

VOLUME 129068	FOLIO 1
EDITION 6	DATE OF ISSUE 15-Jun-2007

SEARCH DATE : 03-Oct-2018

SEARCH TIME : 10.06 AM

DESCRIPTION OF LAND

City of HOBART

Lot 1 on Sealed Plan 129068

Derivation : Part of 8a 1r 9ps Gtd. to J. Montague, part of 2a
0r 3ps Gtd. to A. Haigh, part of 3a 0r 0ps Gtd. to J. Grant &
part of 0a 3r 27ps Gtd. to T. Hewitt
Prior CT 128966/1

SCHEDULE 1

C792261 TRANSFER to GIAMEOS HOLDINGS PTY LTD Registered
15-Jun-2007 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP 129068 EASEMENTS in Schedule of Easements

SP 127792, SP 128966, SP 129068 COVENANTS in Schedule of
Easements

C94436 INSTRUMENT Creating Restrictive Covenants Registered
13-May-1998 at noon

C465337 LEASE to SCOTT ANDREW MACKINNON of a leasehold estate
for the term of 5 years from 1-July-2001. Registered
10-Sep-2003 at 12.03 PM

Leasehold Title(s) issued: 129068A/1

C791917 MORTGAGE to Commonwealth Bank of Australia
Registered 15-Jun-2007 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

SCHEDULE OF EASEMENTS	REGISTERED NUMBER
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP129068

PAGE 1 OF 10 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS

Lots 1, 3 & 5 on the plan are each subject to an Electricity Infrastructure Easement for the Hydro-Electric Corporation in the terms created by and more fully set forth in Transfer of Easement No. C69691 over such portion of the Electricity Infrastructure Easement shown on the plan passing through such lot.

1. LOT 1 is:

together with:

- 1.1 a right of footway over the "Right of Footway (Private) 1.00 wide" shown on the Plan passing through Lot 1 on Sealed Plan 122931;
- 1.2 a right of drainage over the "Drainage Easement 1.00 wide" shown on the Plan passing through Lot 1 on Sealed Plan 122931;


subject to:

- 1.3 a right of drainage (appurtenant to LOT 2) over the "Drainage Easement 0.50 wide" shown on the Plan;

Witness to the Common Seal of John Fuglsang Developments Pty Ltd)
 Witnesses to the Common Seal of Tasmanian Trustees Limited)
 Signed by the Attorneys for Trust Bank)

[Handwritten signatures]

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: JOHN FUGLSANG DEVELOPMENTS PTY LTD FOLIO REF: 128966/1 SOLICITOR & REFERENCE: DOBSON MITCHELL & ALLPORT (Mr. A. R. Logan)	PLAN SEALED BY: HOBART CITY COUNCIL DATE: 19.11.1997 817.6 REF NO.
 Council Delegate MANAGER SURVEYING SERVICES	
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 10 PAGE/S	Registered Number SP 129068
SUBDIVIDER: JOHN FUGLSANG DEVELOPMENTS PTY LTD FOLIO REFERENCE: 128966/1	

together with and subject to:

- 1.4 a party wall easement within the meaning of section 34B of the Conveyancing and Law of Property Act 1884 over the "Boundary Along Party Wall 0.47 wide" shown on the Plan along the common boundary of LOT 1 and LOT 2.

2. LOT 2 is:

together with:

- 2.1 a right of footway over the "Right of Footway (Private) 1.00 wide" shown on the Plan passing through Lot 1 on Sealed Plan 122931;
- 2.2 a right of drainage over the "Drainage Easement 0.50 wide" shown on the Plan passing through LOT 1;
- 2.3 a right of drainage over the "Drainage Easement 1.00 wide" shown on the Plan passing through Lot 1 on Sealed Plan 122931;


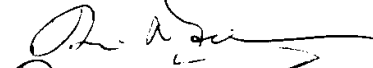

together with and subject to:

- 2.4 a party wall easement within the meaning of section 34B of the Conveyancing and Law of Property Act 1884 over the "Boundary Along Party Wall 0.47 wide" shown on the Plan along the common boundary of LOT 2 and LOT 1.

Witness to the Common Seal of
John Fuglsang Developments Pty Ltd

Witnesses to the Common Seal of
Tasmanian Trustees Limited

Signed by the Attorneys for Trust Bank

) 
) 
) 

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 10 PAGE/S	Registered Number SP 129068
SUBDIVIDER: JOHN FUGLSANG DEVELOPMENTS PTY LTD FOLIO REFERENCE: 128966/1	

3. LOT 3 is:

together with:

- 3.1 right for Gabriel Butler his heirs and assigns the tenants and occupiers for the time being of the piece of land or any part thereof and his and their servants and at all times thereafter at his or their will and pleasure by night and by day and for all purposes to go return pass and repass with horses cattle and other beasts carts waggons and all other carriages laden or unladen to and from the said piece of land through over across and along All that strip of land extending from the said land to the New Wharf and being throughout of the width of 18'6" wide or thereabouts and which strip of land is shown on the plan endorsed on Indenture of Release No. 3/1562 and therein coloured brown and marked "STUV" on the Plan;
- 3.2 a right of drainage over Lot 3 on Sealed Plan 128966; as marked R.S.T.UU.VV.Q.P on the plan.
- 3.3. ~~a right of carriageway over Lot 3 on Sealed Plan 128966.~~
4. That part of LOT 3 marked "VV.SS.JJ.Q" on the Plan is together with a right of driftway ~~over LOT 3 on Sealed Plan 128966 and~~ over the strip of land marked "S.T.U.V" on the Plan.
5. LOT 4 is together with and subject to a party wall easement within the meaning of section 34B of the Conveyancing and Law of Property Act 1884 over the "Brick and Stone Party Wall No.1" shown on the Plan along the common boundary of LOT 4 on the Plan with Lot 1 on Sealed Plan 114251.

Witness to the Common Seal of
John Fuglsang Developments Pty Ltd

Witnesses to the Common Seal of
Tasmanian Trustees Limited

Signed by the Attorneys for Trust Bank

)

)

)

)

)

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 10 PAGE/S	Registered Number SP 129068
SUBDIVIDER: JOHN FUGLSANG DEVELOPMENTS PTY LTD FOLIO REFERENCE: 128966/1	

6. LOT 5 is:


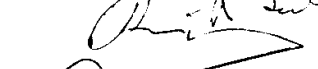


subject to:

- 6.1 a right of carriageway (but not including any right to stop, to load or unload vehicles) limited in height from the concrete floor to 2.5 metres above the concrete floor (appurtenant to LOT 1 on Sealed Plan No. 127792) over that part of LOT 5 marked "Right of Way "T" (Private)" on the Plan for the purpose only of providing access to and egress from the ground floor of the building constructed on LOT 1 on Sealed Plan No. 127792; and
- 6.2 a right of carriageway (but not including any right to stop, to load or unload vehicles) (appurtenant to LOT 1 on Sealed Plan No. 127792) over that part of LOT 5 marked "Right of Way "R" (Private)" on the Plan limited in height over that part of LOT 5 marked "NN.MM.QQ.PP" from the concrete floor to 4 metres above the concrete floor and limited in height over that part of LOT 5 marked 'PP.QQ.LL.KK.A" from the surface of the existing ramp to 4 metres above the ramp for the purpose only of providing access to and egress from:
- (a) that part of LOT 5 marked "I.OO.KK.LL" on the Plan; and
- (b) the first floor of the building erected on LOT 1 on Sealed Plan No. 127792;
- 6.3 a right of carriageway (but not including any right to stop, to load or unload vehicles) limited in height from the concrete floor to 2.5 metres above the concrete floor (appurtenant to LOT 3 on Sealed Plan No. 127792) over that part of LOT 5 marked "Right of Way "T" (Private)" on the Plan for the purpose only of providing access to and egress from the basement of the building constructed on LOT 3 on Sealed Plan No. 127792 and the exercise of the right specified in clause 6.8 of this Schedule;

Witness to the Common Seal of
John Fuglsang Developments Pty Ltd

Witnesses to the Common Seal of
Tasmanian Trustees Limited

Signed by the Attorneys for Trust Bank

) 
) 
) 
) 

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

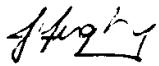

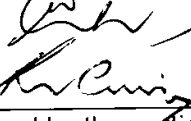
ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 5 OF 10 PAGE/S	Registered Number SP 129068
SUBDIVIDER: JOHN FUGLSANG DEVELOPMENTS PTY LTD FOLIO REFERENCE: 128966/1	

- 6.4 a right of carriageway limited in height from ground level to the underside of the existing ramp (appurtenant to LOT 3 on Sealed Plan No. 127792) over that part of LOT 5 marked "Right of Way "S" (Private)" on the Plan for the purpose only of providing access to and egress from the basement of the building constructed on LOT 3 on Sealed Plan No. 127792 and the exercise of the right specified in clause 6.8 of this Schedule;
- 6.5 a right to the unimpeded passage of light and other beneficial properties of solar radiation (appurtenant to LOT 1 on Sealed Plan No. 127792) over that part of LOT 5 marked "CC.OO.A.NN" on the Plan to all windows and other apertures of any building or buildings erected or to be erected on LOT 1 on Sealed Plan No. 127792 without any interruption or obstruction other than that caused by the erection and use of the existing ramps erected on LOT 5 on the Plan;
- 6.6 a right to the unimpeded passage of light and other beneficial properties of solar radiation (appurtenant to LOT 3 on Sealed Plan No. 127792) over that part of LOT 5 marked "CC.OO.A.NN" on the Plan to all windows and other apertures of any building or buildings erected or to be erected on LOT 3 on Sealed Plan No. 127792 without any interruption or obstruction other than that caused by the erection and use of the existing access ramp erected on LOT 5 and the existing wall erected approximately on the line "A.KK";
- 6.7 an easement for encroachment (appurtenant to LOT 3 on Sealed Plan No. 127792) to permit balconies constructed at any point along that part of the boundary between LOT 5 on the Plan

Witness to the Common Seal of
John Fuglsang Developments Pty Ltd

Witnesses to the Common Seal of
Tasmanian Trustees Limited

Signed by the Attorneys for Trust Bank

) 
) 
) 

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 6 OF 10 PAGE/S	Registered Number SP 129068
SUBDIVIDER: JOHN FUGLSANG DEVELOPMENTS PTY LTD FOLIO REFERENCE: 128966/1	

and LOT 3 on Sealed Plan No. 127792 marked "NN.PP.A" on the Plan to overhang that part of LOT 5 marked "NN.CC.OO.A" on the Plan by no more than 1.5 metres at a height of not less than 4 metres vertically above:

- (a) the concrete floor of that part of LOT 5 marked "NN.MM.QQ.PP" on the Plan; and
- (b) the surface of the existing ramp constructed on that part of LOT 5 marked "PP.QQ.LL.KK.A" on the Plan;

6.8 an exclusive right limited in height from ground level to the underside of the existing ramp (appurtenant to LOT 3 on Sealed Plan No. 127792) for the owner of LOT 3 on Sealed Plan No. 127792 and every person authorised by that owner (including customers, invitees and employees) to park motor vehicles on the surface of that part of the ground level of LOT 5 marked "PP.QQ.LL.KK.A" on the Plan;

6.9 an exclusive right to stop to load and unload motor vehicles (appurtenant to LOT 1 on Sealed Plan No. 127792) for the owner of LOT 1 on Sealed Plan No. 127792 and every person authorised by that owner on that part of LOT 5 marked "Right of Way "U" (Private)" on the Plan;

6.10 an exclusive right (appurtenant to LOT 1 on Sealed Plan No. 127792):

- (a) for the owner of LOT 1 on Sealed Plan No. 127792 and every person authorised by that owner, to use and enjoy for the purposes of recreation or a garden that part of LOT 5 marked "Right of Way "U" (Private)" on the Plan; and

Witness to the Common Seal of
John Fuglsang Developments Pty Ltd)

Witnesses to the Common Seal of
Tasmanian Trustees Limited)

Signed by the Attorneys for Trust Bank)

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

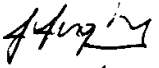



ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 7 OF 10 PAGE/S	Registered Number SP 129068
SUBDIVIDER: JOHN FUGLSANG DEVELOPMENTS PTY LTD FOLIO REFERENCE: 128966/1	

- (b) for the owner of LOT 1 on Sealed Plan No. 127792 to erect a barrier along the line marked "OO.KK" on the Plan to prevent unauthorised entry by motor vehicles onto that area of LOT 5.
- 6.11 a right of carriageway (but not including any right to stop, to load or unload) (appurtenant to LOT 1 on Sealed Plan No. 127792) over that part of LOT 5 marked "Right of Way "Z" (Private)" on the Plan;
- 6.12 a right of carriageway (but not including any right to stop, to load or unload) (appurtenant to LOT 1 on Sealed Plan No. 127792) limited in height from 14.33 Australian Height Datum to 16.83 Australian Height Datum over that part of LOT 5 marked "Right of Way "V" (Private)" on the Plan;
- 6.13 an easement for encroachment (appurtenant to LOT 3 on Sealed Plan No. 127792) to permit balconies constructed at any point along that part of the boundary between LOT 5 on the Plan and LOT 3 on Sealed Plan No. 127792 marked "A.B.DD" on the Plan to overhang that part of LOT 5 marked "A.D.EE.FF.DD.B" on the Plan by no more than 1.5 metres;
- 6.14 a right to the unimpeded passage of light and other beneficial properties of solar radiation (appurtenant to LOT 3 on Sealed Plan No. 127792) over that part of LOT 5 marked "A.D.EE.FF.DD.B" on the plan to all windows and other apertures of any building or buildings erected or to be erected on LOT 3 on Sealed Plan No. 127792 without any interruption or obstruction other than that caused by:

Witness to the Common Seal of
John Fuglsang Developments Pty Ltd

Witnesses to the Common Seal of
Tasmanian Trustees Limited

Signed by the Attorneys for Trust Bank

) 
) 
) 
) 

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 8 OF 10 PAGE/S	Registered Number SP 129068
SUBDIVIDER: JOHN FUGLSANG DEVELOPMENTS PTY LTD FOLIO REFERENCE: 128966/1	

- (a) a building erected in compliance with the height restriction imposed by clauses 10.1 and 10.2 of this Schedule; and
- (b) aerials, satellite receiving dishes, bushes, trees or shrubs erected or growing on the roof of the building referred to in sub-paragraph (a).

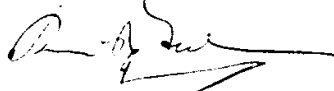
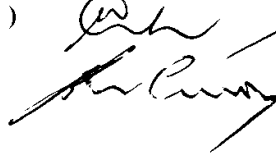
together with:

- 6.15 a right of drainage over Lot 3 on Sealed Plan 128966. as marked R.S.T.UU.VV.Q.P on the plan.
- 6.16 ~~a right of carriageway over Lot 3 on Sealed Plan 128966.~~
- 6.17 a right for Gabriel Butler his heirs and assigns the tenants and occupiers for the time being of the piece of land or any part thereof and his and their servants and at all times thereafter at his or their will and pleasure by night and by day and for all purposes to go return pass and repass with horses cattle and other beasts carts waggons and all other carriages laden or unladen to and from the said piece of land through over across and along All that strip of land extending from the said land to the New Wharf and being throughout of the width of 18'6" wide or thereabouts and which strip of land is shown on the plan endorsed on Indenture of Release No. 3/1562 and therein coloured brown and marked "STUV" on the Plan.
- 7. That part of LOT 5 marked "E.BB.SS.VV" on the Plan is together with a right of drift way ~~over Lot 3 on Sealed Plan 128966 and~~ over the strip of land marked "S.T.U.V." on the Plan.

Witness to the Common Seal of
John Fuglsang Developments Pty Ltd

 Witnesses to the Common Seal of
Tasmanian Trustees Limited

 Signed by the Attorneys for Trust Bank

) 
) 
) 

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 9 OF 10 PAGE/S	Registered Number SP 129068
SUBDIVIDER: JOHN FUGLSANG DEVELOPMENTS PTY LTD FOLIO REFERENCE: 128966/1	

8. That part of LOT 5 marked "TT.WW.YY.ZZ.AA.F.UU" on the Plan is together with a right of carriage and drift way in through over along and ~~upon that part of Lot 3 on Sealed Plan 128966 marked "S.T.UU.VV.Q" on the Plan and~~ over the strip of land marked "S.T.U.V" on the Plan.

9. That part of LOT 5 marked "VV.UU.F.E" on the Plan is together with a right of carriage way and drift way in through over along and upon the strip of land marked "STUV" on the Plan.

RESTRICTIVE COVENANTS That portion of Lot 5 on the plan marked A.D.EE.FF.DD.B on the plan which formerly comprised part of Lot 7 on Sealed Plan No. 127792 is burdened by the restrictive covenants created by Sealed Plan No. 127792

10. ~~The owner or owners of that part of LOT 5 marked "A.D.EE.FF.DD.B" on the Plan covenants with the owner or owners for the time being of LOT 3 on Sealed Plan No. 127792 and each and every part of it to the intent that the burden of this covenant will run with and bind that part of LOT 5 marked "A.D.EE.FF.DD.B" on the Plan (and each and every part of it) and that the benefit will be annexed to and devolve with each and every part of LOT 3 on Sealed Plan No. 127792 as follows:~~
which benefit Lot 3 on Sealed Plan No. 127792 as follows:



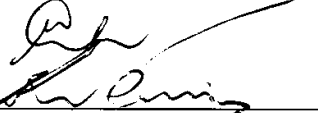
10.1 not to construct or permit to be constructed on that part of LOT 5 marked "ABCD" on the Plan any temporary or permanent buildings or structures the highest point of which exceeds 11.70 metres above the Australian Height Datum as at 1st December 1996; and

10.2 not to construct or permit to be constructed on that part of LOT 5 marked "C.D.EE.FF.DD.B" on the plan any temporary or permanent buildings or structures (other than aerials, satellite receiving dishes, bushes, trees or shrubs) the highest point of which exceeds 14.82 metres above the Australian Height Datum as at 1st December, 1996.

Witness to the Common Seal of
John Fuglsang Developments Pty Ltd

Witnesses to the Common Seal of
Tasmanian Trustees Limited

Signed by the Attorneys for Trust Bank

) 
) 
) 

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 10 OF 10 PAGE/S	Registered Number SP 129068
SUBDIVIDER: JOHN FUGLSANG DEVELOPMENTS PTY LTD FOLIO REFERENCE: 128966/1	

PROFITS

No profits a prendre are created to benefit or burden any of the lots on the Plan.

The Common Seal of
JOHN FUGLSANG DEVELOPMENTS
PTY LTD (A.C.N. 009 530 812) (as registered
 proprietor of Certificate of Title Volume 128966
 Folio 1) was hereunto affixed in the presence of:



[Signature]
 Sole Director and Secretary
 John Theodore Fuglsang

The Common Seal of
TASMANIAN TRUSTEES LIMITED
 (A.C.N. 009 475 629) (as mortgagee under
 Mortgage No. B948255) was hereunto affixed
 in the presence of:



[Signature]
 Director

[Signature]
 Director/Secretary

Executed by **TRUST BANK** ARBN 052 531 567)
 (as mortgagee under Mortgage No. B948256)

SIGNED BY

TRUST BANK by its

attorney Geoffrey David Colls & Barry William
 Cruise under power No. 67/4762 (and the said
 Geoffrey David Colls & Barry William Cruise
 declare that they have received No Notice of
 revocation of the said power in the presence of

[Signature]
 Witness - Bank Officer, Hobart

Principal Officer.....*[Signature]*

Principal Officer.....*[Signature]*

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

SEARCH OF TORRENS TITLE

VOLUME 129068	FOLIO 3
EDITION 2	DATE OF ISSUE 09-Jan-1998

SEARCH DATE : 20-Mar-2019

SEARCH TIME : 07.58 AM

DESCRIPTION OF LAND

City of HOBART

Lot 3 on Sealed Plan 129068

Derivation : Part of 8a 1r 9ps Gtd. to J. Montague, part of 2a
0r 3ps Gtd. to A. Haigh, part of 3a 0r 0ps Gtd. to J. Grant &
part of 0a 3r 27ps Gtd. to T. Hewitt
Prior CT 128966/1

SCHEDULE 1

C80269 TRANSFER to HOBART CITY COUNCIL Registered
09-Jan-1998 at 12.04 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
SP 129068 EASEMENTS in Schedule of Easements

SP 127792, SP 128966, SP 129068 COVENANTS in Schedule of
Easements

C80272 INSTRUMENT Creating Restrictive Covenants Registered
09-Jan-1998 at 12.07 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



City of **HOBART**

Enquiries to: City Planning
Phone: (03) 6238 2715
Email: coh@hobartcity.com.au

5 November 2019

Dominic Abbott (Design East)
153a Davey Street
HOBART TAS 7000

mailto: dabbott@designeast.com.au

Dear Sir/Madam

**24 SALAMANCA SQUARE, BATTERY POINT - SIGNAGE ON COUNCIL LAND NOTICE
OF LAND OWNER CONSENT TO LODGE A PLANNING APPLICATION - GMC-19-19**

Site Address:

24 Salamanca Square

Description of Proposal:

Four (4) illuminated signs within the highway reservation of Salamanca Square

Applicant Name:

Dominic Abbott, Design East

PLN (if applicable):

PLN-19-114

I write to advise that pursuant to Section 52 of the *Land Use Planning and Approvals Act 1993*, I grant my consent on behalf of the Hobart City Council as the owner/administrator of the above land for you to make application to the City for a planning permit for the development described above and as per the attached documents.

Please note that the granting of the consent is only for the making of the application and in no way should such consent be seen as prejudicing any decision the Council is required to make as the statutory planning authority.

This consent does not constitute an approval to undertake any works and does not authorise

the owner, developer or their agents any right to enter or conduct works on any Council managed land whether subject to this consent or not.

If planning approval is granted by the planning authority, you will be required to seek approvals and permits from the City as both landlord, land manager, or under other statutory powers (such as other legislation or City By-Laws) that are not granted with the issue of a planning permit under a planning scheme. This includes the requirement for you to reapply for a permit to occupy a public space under the City's Public Spaces By-law if the proposal relates to such an area.

Accordingly, I encourage you to continue to engage with the City about these potential requirements.

Yours faithfully



(N D Heath)

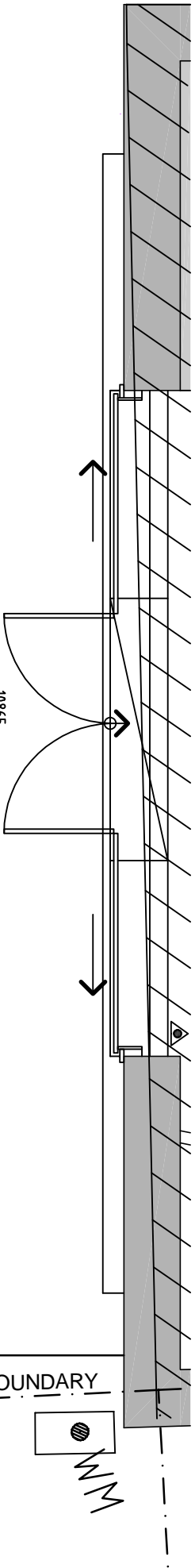
GENERAL MANAGER

Relevant documents/plans:

Images x 3

Proposed Outdoor Structure Plan - Rev B dated 16/10/19

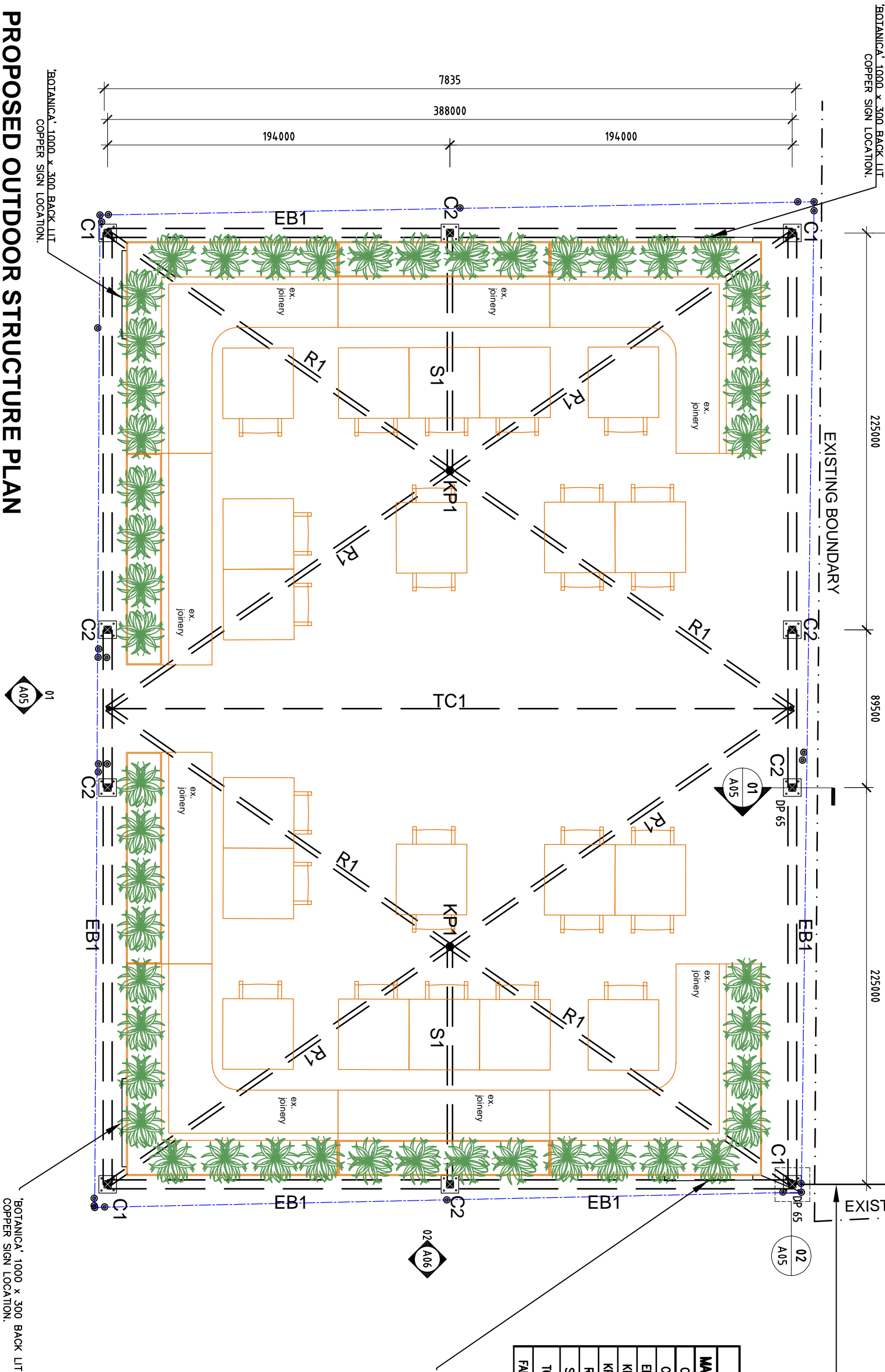
Email dated 16/10/2019 from Dominic Abbott - Design East



LEGEND	
	EXISTING
	EXISTING WALL
	LICENSED OUTDOOR DINING
	PROPOSED OVERHEAD STRUCTURE

PROPOSED ELECTRICAL CONNECTION FOR POWER/LIGHTING. OVERHEAD AS PER EXISTING 3M CLEAR.

MEMBER SCHEDULE		
MARK	SECTION SIZE	GRADE DESCRIPTION
C1	100 x 4 SHS	C350 COLUMNS
C2	100 x 4 SHS	C350 COLUMNS
EB1	100 x 5 SHS	C350 EDGE BEAM
KP1	Ø76.1x3.2 CHS OUTSIDE	C350 KING POST
KP2	Ø60.3x3.6 CHS INSIDE	C350 KING POST
R1	88.9 x 2.3 CHS	C350 RAFTER
S1	60.3 x 2.3 CHS	C350 STRUT
TC1	Ø8 1x19 GAL STRAND	MBL 56.0kN TIE CABLE (UNDER FABRIC)
FABRIC	FR700	WHITE



PROPOSED OUTDOOR STRUCTURE PLAN

Revision notes:

Rev:	Date:	Notes:	By:
A	23/08/2019	BUILDING APPROVAL SET. ISSUE: For Information	DA
B	16/10/2019	SUPERSEDED FOR THE PURPOSE OF GM CONSENT 19-19	DA

Drawn by: Dee-Ann Simmonds
Project Development Coordinator

Project: Botanica Bar
Outdoor Proposal

Date: 20 SEP 2019

Drawing Number: A04

Client: Liveat Salamanca Square Pty Ltd
Botanica Bar

Drawing Title: PROPOSED OUTDOOR STRUCTURE PLAN

Scale @ A3: 1:50

Revision: F

Do not scale off drawing. All dimensions to be checked on site prior to construction



Approved - General Manager Consent Only
&[GMC-19-19]
05/11/2019



Liveat Salamanca Square Pty Ltd
Level 3 - 118 Liverpool St
Hobart TAS 7000
BOTANICA BAR

Nicole Spooner

From: Design Three <DAbbott@designeast.com.au>
Sent: Wednesday, 16 October 2019 10:39 AM
To: Records Unit
Cc: Cindy Elder
Subject: REVISED Plan GM Consent PLN-19-114 24 Salamanca Sq
Attachments: sign 1.jpg; sign 2.jpg; sign 3.jpg; GM CONSENT 16.10.19.pdf

To Whom it May Concern

Please see attached REVISED drawing set showing signage location and proposed overhead power supply. This is 1000x300, the material is copper back lit with 3000K LEDs. Thanks

Kind Regards,

Dominic Abbott

*design.***EAST**

building design and interior architecture

153a Davey Street

Hobart TASMANIA 7000

P: (03) 6223 6740

W: www.designeast.com.au

*design.***EAST** proudly supports [Médecins Sans Frontières](#) **DOCTORS WITHOUT BORDERS**

CONFIDENTIALITY NOTICE AND DISCLAIMER

The information in this email is intended only for the person or persons to whom it is addressed. If you have received the transmission in error, please immediately contact this office by return email, to inform us of the error and delete the email. No liability is accepted for any unauthorised use of the information contained in this transmission.



Approved - General
Manager Consent Only
&[GMC-19-19]
05/11/2019







Botanica