



CITY OF HOBART

AGENDA

City Planning Committee Meeting

Open Portion

Monday, 28 October 2019

at 5:00 pm

Lady Osborne Room, Town Hall

THE MISSION

Working together to make Hobart a better place for the community.

THE VALUES

The Council is:

People	We value people – our community, our customers and colleagues.
Teamwork	We collaborate both within the organisation and with external stakeholders drawing on skills and expertise for the benefit of our community.
Focus and Direction	We have clear goals and plans to achieve sustainable social, environmental and economic outcomes for the Hobart community.
Creativity and Innovation	We embrace new approaches and continuously improve to achieve better outcomes for our community.
Accountability	We work to high ethical and professional standards and are accountable for delivering outcomes for our community.

ORDER OF BUSINESS

Business listed on the agenda is to be conducted in the order in which it is set out, unless the committee by simple majority determines otherwise.

APOLOGIES AND LEAVE OF ABSENCE

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City Planning Committee Meeting (Open Portion) held Monday, 28 October 2019 at 5:00 pm in the Lady Osborne Room, Town Hall.

COMMITTEE MEMBERS

Deputy Lord Mayor Burnet (Chairman)
Briscoe
Denison
Harvey
Behrakis

Apologies:

Leave of Absence:

NON-MEMBERS

Lord Mayor Reynolds
Zucco
Sexton
Thomas
Dutta
Ewin
Sherlock

1. CO-OPTION OF A COMMITTEE MEMBER IN THE EVENT OF A VACANCY

2. CONFIRMATION OF MINUTES

The minutes of the Open Portion of the City Planning Committee meeting held on [Monday, 14 October 2019](#), are submitted for confirming as an accurate record.

3. CONSIDERATION OF SUPPLEMENTARY ITEMS

Ref: Part 2, Regulation 8(6) of the *Local Government (Meeting Procedures) Regulations 2015*.

Recommendation

That the Committee resolve to deal with any supplementary items not appearing on the agenda, as reported by the General Manager.

4. INDICATIONS OF PECUNIARY AND CONFLICTS OF INTEREST

Ref: Part 2, Regulation 8(7) of the *Local Government (Meeting Procedures) Regulations 2015*.

Members of the Committee are requested to indicate where they may have any pecuniary or conflict of interest in respect to any matter appearing on the agenda, or any supplementary item to the agenda, which the Committee has resolved to deal with.

5. TRANSFER OF AGENDA ITEMS

Regulation 15 of the *Local Government (Meeting Procedures) Regulations 2015*.

A Committee may close a part of a meeting to the public where a matter to be discussed falls within 15(2) of the above regulations.

In the event that the Committee transfer an item to the closed portion, the reasons for doing so should be stated.

Are there any items which should be transferred from this agenda to the closed portion of the agenda, or from the closed to the open portion of the agenda?

6. PLANNING AUTHORITY ITEMS - CONSIDERATION OF ITEMS WITH DEPUTATIONS

In accordance with the requirements of Part 2 Regulation 8(3) of the *Local Government (Meeting Procedures) Regulations 2015*, the General Manager is to arrange the agenda so that the planning authority items are sequential.

In accordance with Part 2 Regulation 8(4) of the *Local Government (Meeting Procedures) Regulations 2015*, the Committee by simple majority may change the order of any of the items listed on the agenda, but in the case of planning items they must still be considered sequentially – in other words they still have to be dealt with as a single group on the agenda.

Where deputations are to be received in respect to planning items, past practice has been to move consideration of these items to the beginning of the meeting.

RECOMMENDATION

That in accordance with Regulation 8(4) of the *Local Government (Meeting Procedures) Regulations 2015*, the Committee resolve to deal with any items which have deputations by members of the public regarding any planning matter listed on the agenda, to be taken out of sequence in order to deal with deputations at the beginning of the meeting.

7. COMMITTEE ACTING AS PLANNING AUTHORITY

In accordance with the provisions of Part 2 Regulation 25 of the *Local Government (Meeting Procedures) Regulations 2015*, the intention of the Committee to act as a planning authority pursuant to the *Land Use Planning and Approvals Act 1993* is to be noted.

In accordance with Regulation 25, the Committee will act as a planning authority in respect to those matters appearing under this heading on the agenda, inclusive of any supplementary items.

The Committee is reminded that in order to comply with Regulation 25(2), the General Manager is to ensure that the reasons for a decision by a Council or Council Committee acting as a planning authority are recorded in the minutes.

7.1 APPLICATIONS UNDER THE HOBART INTERIM PLANNING SCHEME 2015

7.1.1 7 SWAN STREET, NORTH HOBART - ALTERATIONS (RE-ROOFING) PLN-19-482 - FILE REF: F19/138153

Address: 7 Swan Street, North Hobart

Proposal: Alterations (Re-roofing)

Expiry Date: 5 November 2019




Extension of Time: Not applicable

Author: Tristan Widdowson

RECOMMENDATION

That pursuant to the *Hobart Interim Planning Scheme 2015*, the Council refuse the application for alterations (Re-Roofing) at 7 Swan Street, North Hobart for the following reasons:

- 1 The proposal does not meet the acceptable solution or the performance criteria with respect to clause E13.7.2 P1 of the *Hobart Interim Planning Scheme 2015* because the proposed development results in the loss of historic cultural heritage significance through the use of an incompatible and non-traditional material (Colorbond) and finishes in the re-roofing of a Victorian house.
- 2 The proposal does not meet the acceptable solution or the performance criteria with respect to clause E13.7.2 P2 (a) to (d) of the *Hobart Interim Planning Scheme 2015* because the new works (Colorbond roof) will not be complementary to the listed place as it involves the use of a non traditional roofing material.
- 3 The proposal does not meet the acceptable solution or the performance criteria with respect to clause E13.8.2 P1 of the *Hobart Interim Planning Scheme 2015* because the design of new works (Colorbond roof) will result in detriment to the heritage values of the precinct which includes fine, impressive and original examples of Victorian architecture.

- Attachment A: PLN-19-482 - 7 SWAN STREET NORTH HOBART
TAS 7000 - Planning Committee or Delegated
Report ↓ 
- Attachment B: PLN-19-482 7 SWAN STREET NORTH HOBART
TAS 7000 - CPC Agenda Documents ↓ 
- Attachment C: PLN-19-482 7 SWAN STREET NORTH HOBART
TAS 7000 - THC Notice of Heritage Decision ↓ 

**APPLICATION UNDER HOBART INTERIM PLANNING SCHEME 2015**

Type of Report: Committee
Council: 4 November 2019
Expiry Date: 5 November 2019
Application No: PLN-19-482
Address: 7 SWAN STREET , NORTH HOBART
Applicant: John Short
PO BOX 288
Proposal: Alterations (Re-Roofing)
Representations: Nil
Performance criteria: Historic Heritage Code

1. Executive Summary

- 1.1 Planning approval is sought for Alterations (Re-Roofing) at 7 Swan Street, North Hobart.

- 1.2 The proposal is for the replacement of the existing slate roof of the Victorian era dwelling at 7 Swan Street, North Hobart with Colorbond Steel in 'Matt' finish with the dark grey 'Monument' as the selected colour.

The reason for replacement is that the slate is slipping from some locations, showing signs of erosion and crumbling as well as the nails holding the slate being subject to corrosion. The galvanised roof flashings have also rusted and with the combination of these factors it is resulting in leaks that are compromising internal renovations.

There has been consideration of other options including repair and replacement, use of synthetic slate and galvanised iron with detailed quotes sought for all options. The repair and replacement of the slate was deemed to be cost prohibitive; the use of synthetic slate was seen as less desirable product due to its plastic nature; and there was concern over the longevity in respect of the use of galvanised iron. Therefore the proposed replacement is for the roof to be Colorbond Steel in 'Matt' finish with the dark grey 'Monument' colour with traditional roll top ridge cappings and the gutters being a traditional cottage green colour. The choice of the 'Monument' colour is to match previous re-roofing of the existing garage and kitchen to the rear of the property. The proposed works also include like for like repairs to chimneys and eave linings and repainting in the current traditional colour scheme where necessary.

- 1.3 The proposal relies on performance criteria to satisfy the following standards and codes:

1.3.1 Historic Heritage Code

- 1.4 No representations were received during the statutory advertising period between 11 September and 25 September 2019.
- 1.5 The proposal is recommended for refusal.
- 1.6 The final decision is delegated to the Council.

2. Site Detail

- 2.1 The 995m² site (CT248679/1) at 7 Swan Street contains a large renovated Victorian era dwelling. The site is located within the General Business Zone, has frontages to both Elphinstone Road and Swan Street and is in close proximity to the North Hobart commercial precinct.



Figure 1: GIS Map Image 1:2000



Figure 2: GIS Map Image 1:500



Figure 3: Swan Street frontage



Figure 4: Elphinstone Road frontage

3. Proposal

- 3.1 Planning approval is sought for Alterations (Re-Roofing) at 7 Swan Street, North Hobart.
- 3.2 The proposal is for the replacement of the existing slate roof of the Victorian era dwelling at 7 Swan Street, North Hobart with Colorbond Steel in 'Matt' finish with the dark grey 'Monument' as the selected colour.

The reason for replacement is that the slate is slipping from some locations, showing signs of erosion and crumbling as well as the nails holding the slate being subject to corrosion. The galvanised roof flashings have also rusted and with the combination of these factors it is resulting in leaks that are compromising internal renovations.

There has been consideration of other options including repair and replacement, use of synthetic slate and galvanised iron with detailed quotes sought for all options. The repair and replacement of the slate was deemed to be cost prohibitive; the use of synthetic slate was seen as less desirable product due to its plastic nature; and there was concern over the longevity in respect of the use of galvanised iron. Therefore the proposed replacement is for the roof to be Colorbond Steel in 'Matt' finish with the dark grey 'Monument' colour with traditional roll top ridge cappings and the gutters being a traditional cottage green colour. The choice of the 'Monument' colour is to match previous re-roofing of the existing garage and kitchen to the rear of the property. The proposed works also include like for like repairs to chimneys and eave linings and repainting in the current traditional colour scheme where necessary.

4. Background

- 4.1 There were discussions undertaken with the applicant in respect of the use of galvanised roof sheeting instead of Colorbond.
- 4.2 A planning permit (PLN-14-00681-01) was issued for Partial Demolition, House Extension, Alterations and Garage in 2014. These works have recently been completed.

5. Concerns raised by representors

- 5.1 No representations were received during the statutory advertising period between 11 September and 25 September 2019.

6. Assessment

- 6.1 The *Hobart Interim Planning Scheme 2015* is a performance based planning scheme. To meet an applicable standard, a proposal must demonstrate compliance with either an acceptable solution or a performance criterion. Where a proposal complies with a standard by relying on one or more performance criteria, the Council may approve or refuse the proposal on that basis. The ability to approve or refuse the proposal relates only to the performance criteria relied on.
- 6.2 The site is located within the General Business Zone of the *Hobart Interim Planning Scheme 2015*.
- 6.3 The existing use for a dwelling is a discretionary use in the zone. Clause 9.2 relates to the proposal as it does not intensify the use and therefore the discretionary use is considered as though it is permitted.
- 6.4 The proposal has been assessed against:
- 6.4.1 E13.0 Historic Heritage Code
- 6.5 The proposal relies on the following performance criteria to comply with the applicable standards:
- 6.5.1 Heritage – Part E E13.7 Development Standards for Heritage Places E13.7.1 P1, E13.7.2 P1 & P2 and E13.8 Development Standards for Heritage Precincts E13.8.1 P1 & E13.8.2 P2
- 6.6 Each performance criterion is assessed below.
- 6.7 Heritage – Part E E13.7 Development Standards for Heritage Places E13.7.1 P1, E13.7.2 P1 & P2 and E13.8 Development Standards for Heritage Precincts E13.8.1 P1 & E13.8.2 P2
- 6.7.1 The site is a Heritage listed property and is sited within the North Hobart 5 Heritage Precinct (NH5).
- 6.7.2 There are no acceptable solutions for the relevant Development Standards for development upon Heritage Places and within Heritage

Precincts.

6.7.3 The relevant performance criteria provide as follows:

E13.7 Development Standards for Heritage Places

E13.7.1 Demolition

P1

Demolition must not result in the loss of significant fabric, form, items, outbuildings or landscape elements that contribute to the historic cultural heritage significance of the place unless all of the following are satisfied;

(a) there are, environmental, social, economic or safety reasons of greater value to the community than the historic cultural heritage values of the place;

(b) there are no prudent and feasible alternatives;

(c) important structural or façade elements that can feasibly be retained and reused in a new structure, are to be retained;

(d) significant fabric is documented before demolition.

And

E13.7.2 Buildings and Works other than Demolition

P1

Development must not result in any of the following:

(a) loss of historic cultural heritage significance to the place through incompatible design, including in height, scale, bulk, form, fenestration, siting, materials, colours and finishes;

(b) substantial diminution of the historic cultural heritage significance of the place through loss of significant streetscape elements including plants, trees, fences, walls, paths, outbuildings and other items that contribute to the significance of the place.

P2

Development must be designed to be subservient and complementary to the place through characteristics including:

- (a) scale and bulk, materials, built form and fenestration;*
- (b) setback from frontage;*
- (c) siting with respect to buildings, structures and listed elements;*
- (d) using less dominant materials and colours.*

And

E13.8 Development Standards for Heritage Precincts

E13.8.1 Demolition

P1

Demolition must not result in the loss of any of the following:

- (a) buildings or works that contribute to the historic cultural heritage significance of the precinct;*
- (b) fabric or landscape elements, including plants, trees, fences, paths, outbuildings and other items, that contribute to the historic cultural heritage significance of the precinct;*
unless all of the following apply;
 - (i) there are, environmental, social, economic or safety reasons of greater value to the community than the historic cultural heritage values of the place;*
 - (ii) there are no prudent or feasible alternatives;*
 - (iii) opportunity is created for a replacement building that will be more complementary to the heritage values of the precinct.*

And

E13.8.2 Buildings and Works other than Demolition

P1

Design and siting of buildings and works must not result in detriment to the historic cultural heritage significance of the precinct, as listed in

Table E13.2.

P2

Design and siting of buildings and works must comply with any relevant design criteria / conservation policy listed in Table E13.2, except if a heritage place of an architectural style different from that characterising the precinct.

- 6.7.4 The Council's Cultural Heritage Officer has provided the following assessment:

This application is for the reroofing of a c. 1880 house that is heritage listed in Table E13.1 of the Historic Heritage Code of the Hobart Interim Planning Scheme 2015. It is also located in a Heritage Precinct North Hobart 5.

This precinct is significant for reasons including:

- 1. The quality and quantity of late Victorian and Federation period houses which demonstrate its original residential nature and the boom periods of suburban expansion.*
- 2. Individual houses that are intact representative examples of late Victorian and Federation architecture.*
- 3. Groups of houses that are impressive examples of late Victorian and Federation architecture that make a valuable contribution to the streetscape.*
- 4. The continuous two storey ornately decorated facades and general uniformity of form and scale together with a distinctive nineteenth/early twentieth century street pattern that creates a consistent and impressive streetscape.*
- 5. The front and rear gardens and retaining walls are important aesthetic features which reinforce its residential character.*
- 6. Buildings with social significance for the local and broader community because of their past and present social and religious functions.*



The subject property as viewed from Swan Street with the original slate roof visible. Source: Council image



The subject property as viewed from Elphinstone Road which is elevated such that the roof plane is more visible. Source: Council image.

Proposal and site description

The proposal is to remove an original slate roof from the two storey section of 7 Swan Street ('Llanberis') and replace with Colorbond. Excluded from this proposal is the reroofing of the original verandah which has an original ogee curved galvanised roof. The house is located on the top side of Swan Street with rear access from Elphinstone Road.

The applicant has provided three quotes:

1. a quote for new slate provided and installed by a qualified slate roofer.
2. a quote for a slate like product. (A sample of that product can be provided for the Council to view), and,
3. a quote for Colorbond steel in matt finish 'Monument' colour

The subject property is a grand freestanding asymmetrical two storey house sited on the elevated side of the street such that it has panoramic views of the city and Mount Wellington. It is one of a number of Victorian Italianate houses in the street that dominate the street with their detailed, high quality and original architecture. All houses in the street are heritage listed.

Provisions of the Scheme

The proposal involves demolition which is defined in the Hobart Interim Planning Scheme 2015 as:

'means the intentional damaging, destruction or removal of any building or works in whole or in part.'

The proposal must be assessed against the following provisions of the Historic Heritage Code of the Scheme.

The objective of demolition at a heritage place is:

To ensure that demolition in whole or part of a heritage place does not result in the loss of historic cultural heritage values unless there are exceptional circumstances.

There are no acceptable solutions and therefore the proposal must be assessed against the performance criteria, E13.7.1 P1 which states:

Demolition must not result in the loss of significant fabric, form, items, outbuildings or landscape elements that contribute to the historic cultural heritage significance of the place unless all of the following are satisfied;

- (a) there are, environmental, social, economic or safety reasons of greater value to the community than the historic cultural heritage values of the place;*
- (b) there are no prudent and feasible alternatives;*
- (c) important structural or façade elements that can feasibly be retained and reused in a new structure, are to be retained;*

(d) significant fabric is documented before demolition

The objective of buildings and works other than demolition at a heritage place is:

To ensure that development at a heritage place is:

- (a) undertaken in a sympathetic manner which does not cause loss of historic cultural heritage significance; and*
- (b) designed to be subservient to the historic cultural heritage values of the place and responsive to its dominant characteristics.*

There are no acceptable solutions and therefore the proposal must be assessed against the performance criteria, E13.7.2 P1 which states:

Development must not result in any of the following:

- (a) loss of historic cultural heritage significance to the place through incompatible design, including in height, scale, bulk, form, fenestration, siting, materials, colours and finishes;*
- (b) substantial diminution of the historic cultural heritage significance of the place through loss of significant streetscape elements including plants, trees, fences, walls, paths, outbuildings and other items that contribute to the significance of the place.*

The proposal must also be assessed against the performance criteria, E13.7.2 P2 which states:

Development must be designed to be subservient and complementary to the place through characteristics including:

- (a) scale and bulk, materials, built form and fenestration;*
- (b) setback from frontage;*
- (c) siting with respect to buildings, structures and listed elements;*
- (d) using less dominant materials and colours.*

As the building is located in a heritage precinct it must also be assessed against the following provisions:

The objective for demolition for places in a heritage precinct is:

To ensure that demolition in whole or in part of buildings or works within a heritage precinct does not result in the loss of historic cultural heritage values unless there are exceptional circumstances.

There are no acceptable solutions and therefore the proposal must be assessed against the performance criteria E13.8.1 P1 which states:

Demolition must not result in the loss of any of the following:

(a) buildings or works that contribute to the historic cultural heritage significance of the precinct;
(b) fabric or landscape elements, including plants, trees, fences, paths, outbuildings and other items, that contribute to the historic cultural heritage significance of the precinct;

unless all of the following apply;

(i) there are, environmental, social, economic or safety reasons of greater value to the community than the historic cultural heritage values of the place;

(ii) there are no prudent or feasible alternatives;

(iii) opportunity is created for a replacement building that will be more complementary to the heritage values of the precinct.

The objective for buildings and works other than demolition in a heritage precinct is:

To ensure that development undertaken within a heritage precinct is sympathetic to the character of the precinct.

There are no acceptable solutions and therefore the proposal must be assessed against the performance criteria E13.8.2 P2 which states:

Design and siting of buildings and works must not result in detriment to the historic cultural heritage significance of the precinct, as listed in Table E13.2.

Assessment of demolition

The slate roof of 7 Swan Street is significant original fabric and is integral to the historic cultural heritage values of the house when it was built in c.1880. However, the general life expectancy of slate is between 100 to 120 years before it begins to fail and in this case, the roof has clearly deteriorated and the slate is no longer functioning as a roof cover. Rejuvenating the roof with existing slates that are in better condition and new slates on some parts of the roof is not a feasible or cost effective option. The complete replacement of the entire slate roof (note: this excludes the verandah which is painted galvanised roofing sheets) is inevitable

and necessary. The applicant has provided three alternative roofing options submitting that option 1 - new slate - is not a feasible option. This is accepted. Option 2 - the slate-like product - has also been dismissed by the applicant as it is not a feasible option and lacks 'architectural integrity and would sit uncomfortably on the circa 1880 home'. The third option - Colorbond steel - is the applicant's preferred option.

In this respect, the proposed demolition of the slate roof is unfortunate, with this representing the loss of yet another, of what is becoming a rare feature in Hobart where slate was once a common roofing material. However, the applicant has provided a substantial reason as to why slate cannot be reinstated, a position that is accepted. In this respect, the proposal satisfies E13.7.1 P1 and E13.8.1 P1 for demolition in the Historic Heritage Code of the Scheme.

Assessment of Colorbond

By way of background, both officer's from Council and the Heritage Tasmania recommended galvanised roofing that would be acceptable in this situation as a traditional heritage style of roofing. This was rejected by the applicant on the following grounds:

- 1. the lifetime of the product*
- 2. the sustainability of the roof material*
- 3. the architectural integrity of the house*
- 4. matching the roofing*

It is worth noting that the applicant has documented that there is little difference in cost of reroofing the house at 7 Swan Street house in galvanised roof compared to Colorbond.

The galvanised roofing option was recommended by Council and Heritage Tasmania as a feasible alternative to Colorbond for the following reasons:

- 1. It is a roofing material that has been on the market since the early 1800s*
- 2. When 7 Swan Street was constructed, the only roofing options available were slate or galvanised roofing.*
- 3. It is widely used in the reroofing of heritage listed properties.*
- 4. It is an authentic material that ensures heritage listed buildings have an authentic finish that respects the architectural integrity of the house.*

5. Three houses opposite 7 Swan Street at 6, 10 and 12 Swan Street have recently been reroofed in galvanised roof sheet. (see image below)



*Picture of one of the three houses in Swan Street (all opposite 7 Swan Street) with a replacement roof in galvanised roof sheeting.
Source: Council image*



*Picture of two of the three houses in Swan Street (all opposite 7 Swan Street) with a replacement roof in galvanised roof sheeting.
Source: Council image*

Technical roofing comments

The following technical and professional advice has been provided by a reliable heritage roofing company, who supply both Colorbond and galvanised roofing to customers. Where relevant, advice is quoted verbatim:

1. *Both products - Colorbond and galvanised are produced by BlueScope Steel with their primary goal to sell Colorbond*
2. *'(We) manufacture both Colorbond Steel and galvanised Steel (roofing products) from Bluescope so we don't have to "sell" one thing or another.'*
3. *'(We) have been involved with the Heritage Sector for many years and we are sympathetic to buildings which deserve a galvanised finish than a pre-painted option.'*
4. *'Material Warranties are governed by Bluescope steel so should they prefer to promote Colorbond rather than galvanised they can make a commercial decision to offer a longer warranty on one over the other.'*
5. *'Both Colorbond and galvanised are made of steel, so they start their life the exact same way ... the protective coating applied to the steel is what makes the products different.'*
6. *Galvanised roofing is available with a galvanised coating of Z600 which is 600 grams of coating per metre square.*
7. *Colorbond has 100 grams of coating per metre square.*
8. *'Bluescope technical documents compare Colorbond to Z275 - a product with less coating per square metre. The Australian Standard is for a galvanised coating of Z450 (450 grams per square metre).*
9. *'The area (of 7 Swan Street) is considered as Corrosion Zone 3, which has a mild steel corrosion rate. The roof has a generous pitch, little or no atmospheric issues and a very slow corrosion rate'*
10. *'The test of time, excluding harsh marine environments gives full length galvanised roof sheets a life expectancy of 50 years or greater.'*
11. *'The galvanised will begin to dull within 18 months of installation until it settles into a silver finish.'*

Thermal properties of Colorbond

It is also worth noting that the proposal is for replacement Colorbond in the colour 'Monument'. In terms of energy efficiency (thermal properties), it is documented that light coloured (low solar absorptance) roofing material keeps cooler than darker coloured (high solar absorptance) roofing material. The cooler temperature has many benefits including an ability to reduce the energy costs for cooling a building. The Building Code of Australia has classified roof colour on the basis of solar absorptance into the following categories: light, medium and dark. Solar absorptance is the inverse of solar reflectance and is expressed as a ratio

between 0 and 1. The colour 'Monument' is given a classification of 0.73 and is classified as 'dark'. Of the 22 Colorbond colours it is the fifth (5th) darkest colour. In terms of this information, alternatives, such as galvanised that will provide better thermal properties and energy efficiency.

Discussion/Appraisal

Given, all the houses in Swan Street are individually heritage listed, it is a street that warrants a high quality and authentic approach to new works on heritage buildings. This is reflected in the fact that three houses opposite the subject site have been reroofed using traditional galvanised roof sheets and detailing.

Number 7 Swan Street is a prominent, substantial and fine example of a Victorian house on the top side of this street in this precinct that makes a significant contribution both to the streetscape and to the wider heritage precinct. While the removal of the slate roof is unfortunate, the roof replacement for a house of this type, size and quality and in its location is one that warrants an authentic, traditional roofing product that reflects the quality of the house. The use of Colorbond, with its flat and uniform appearance, is not a product that does justice to the heritage values of the existing house and is not suited to a heritage listed house of this calibre.

Clause E13.7.2 P1 requires development to not result in the loss of heritage values through incompatible design including materials and finishes. Colorbond has a flat, uniform and highly processed finish, one that is incompatible with buildings that have a patina of age. When the step to remove a slate roof occurs, the replacement roof must be closer in heritage authenticity to the slate, hence galvanised roof sheets which are a traditional material often found on houses of this age. In this case, the proposal does not satisfy E13.7.2 P1.

Clause E13.7.2 P2 requires development to be designed to be complementary to the place through the use of appropriate materials. Colorbond has a flat, uniform and highly processed finish, one that does not complement or 'complete' a prominent, substantial and fine example of a Victorian house as it lacks authenticity and a traditional look that is closer in character to the age of the house. In this respect, the proposal does not satisfy E13.7.2 P2.

Clause E13.8.2 P1 requires the design and siting of works to not result in detriment to the significance of the precinct. The precinct statements refer to the quality, original and impressive examples of Victorian houses with a general uniformity of form with a consistent and impressive streetscape. Given that the owners of three houses opposite the subject property have recently replaced the roof of their houses with galvanised roof sheets, demonstrates that there is respect and recognition of sympathetic development in this precinct with such a consistent streetscape. In this case, the use of Colorbond is not a sympathetic material that means that the proposal does not satisfy E13.8.2 P1.

Conclusion

It is considered that the proposal to replace the existing roof with Colorbond will result in the loss of heritage values through incompatible materials, colours and finishes and is not subservient and complementary to the place. In this respect the proposal does not satisfy E13.7.2 P1 and E13.7.2 P2. In addition, the proposed reroofing in Colorbond will result in detriment to the heritage significance of the precinct. It therefore does not satisfy E13.8.2 P1.

The proposal is recommended for refusal. Alternatively, re-roofing in galvanised roof sheets (full length) with traditional flashings and details would be an acceptable outcome.

Reasons for Refusal

The proposal does not meet the acceptable solution or the performance criteria with respect to clause E13.7.2 P1 of the Hobart Interim Planning Scheme 2015 because the proposed development results in the loss of historic cultural heritage significance through the use of an incompatible and non-traditional material (Colorbond) and finishes in the reroofing of a Victorian house.

The proposal does not meet the acceptable solution or the performance criteria with respect to clause E13.7.2 P2 (a) to (d) of the Hobart Interim Planning Scheme 2015 because the new works (Colorbond roof) will not be complementary to the listed place as it involves the use of a non traditional roofing material.

The proposal does not meet the acceptable solution or the

performance criteria with respect to clause E13.8.2 P1 of the Hobart Interim Planning Scheme 2015 because the design of new works (Colorbond roof) will result in detriment to the heritage values of the precinct which includes fine, impressive and original examples of Victorian architecture.

- 6.7.5 The proposal does not comply with the performance criterion E13.7.2 P1, E13.7.2 P2 and E13.8.2 P1.

7. Discussion

- 7.1 Planning approval is sought for Alterations (Re-Roofing) at 7 Swan Street, North Hobart.
- 7.2 The application was advertised and no representations were received.

- 7.3 The proposal has been assessed against the relevant provisions of the planning scheme and it is considered by the Council's Cultural Heritage Officer that the replacement of the slate roof with Colorbond Steel does not meet the Performance Criteria E13.7.2 P1, E13.7.2 P2 and E13.8.2 P1. The assessment of the proposal draws attention to the slate roof of 7 Swan Street being a significant fabric that is integral to the cultural heritage values of the house. It notes that repair is not a feasible alternative but also addresses the other three alternative options explored by the applicant including total replacement, use of synthetic slate and the proposed Colorbond Steel.

The Cultural Heritage Officer acknowledges that the demolition of the slate roof is unfortunate but accepts the position of the applicant as to the feasibility of the slate roof being reinstated. However the Officer suggests the preferred alternative of the use of traditional galvanised roof sheets and detailing which was recommended in earlier discussions with the applicant. It is stated that the material is often used in the re-roofing of heritage listed properties and would provide an "authentic finish that respects the architectural integrity of the house." It has also been recently used on the re-roofing of the properties 6, 10 and 12 Swan Street in the immediate vicinity of the subject site. The applicant explored the suggestion of using galvanised roofing however was concerned with the longevity of the product compared to Colorbond. The assessing officer also included technical consideration of the products.

The Cultural Heritage Officer ultimately concluded the following:

"It is considered that the proposal to replace the existing roof with Colorbond will result in the loss of heritage values through incompatible materials, colours and finishes and is not subservient and complementary to the place. In this respect the proposal does not satisfy E13.7.2 P1 and E13.7.2 P2. In addition, the proposed reroofing in Colorbond will result in detriment to the heritage significance of the precinct. It therefore does not satisfy E13.8.2 P1."

The proposal is recommended for refusal. Alternatively, re-roofing in galvanised roof sheets (full length) with traditional flashings and details would be an acceptable outcome."

- 7.4 The application was referred to the Tasmanian Heritage Council. They approved the application subject to the conditions that the Colorbond roof sheeting be of a mid-grey colour such as 'Basalt' and that the details including the metal finials and chimney flashings be either retained, repaired or adequately reinstated if required.
- 7.5 The proposal is recommended for refusal.

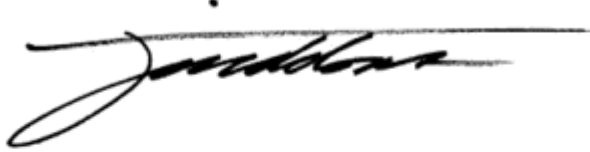
8. Conclusion

- 8.1 The proposed Alterations (Re-Roofing) at 7 Swan Street, North Hobart does not satisfy the relevant provisions of the *Hobart Interim Planning Scheme 2015*, and as such is recommended for approval.

9. Recommendations

That: Pursuant to the *Hobart Interim Planning Scheme 2015*, the Council refuse the application for Alterations (Re-Roofing) at 7 Swan Street, North Hobart for the following reasons:

- 1 The proposal does not meet the acceptable solution or the performance criteria with respect to clause E13.7.2 P1 of the *Hobart Interim Planning Scheme 2015* because the proposed development results in the loss of historic cultural heritage significance through the use of an incompatible and non-traditional material (Colorbond) and finishes in the re-roofing of a Victorian house.
- 2 The proposal does not meet the acceptable solution or the performance criteria with respect to clause E13.7.2 P2 (a) to (d) of the *Hobart Interim Planning Scheme 2015* because the new works (Colorbond roof) will not be complementary to the listed place as it involves the use of a non traditional roofing material.
- 3 The proposal does not meet the acceptable solution or the performance criteria with respect to clause E13.8.2 P1 of the *Hobart Interim Planning Scheme 2015* because the design of new works (Colorbond roof) will result in detriment to the heritage values of the precinct which includes fine, impressive and original examples of Victorian architecture.



(Tristan Widdowson)

Development Appraisal Planner

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.



(Cameron Sherriff)

Acting Senior Statutory Planner

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

Date of Report: 17 October 2019

Attachment(s):

Attachment B - CPC Agenda Documents

Attachment C - THC Notice of Heritage Decision

John and Clare Short
Address: PO Box 288 North Hobart Tas 7002
Email: jandcshort1@bigpond.com
Phone: 0400 744 231

5 August 2019

To Hobart City Council Planning Department

NEW ROOF - 7 SWAN STREET NORTH HOBART

Dear Planning Officers

We wish to replace the slate part of the roof on our home using Colorbond steel. We have discussed this plan with an officer from your department who suggested that as this house is heritage listed a planning permit would be necessary.

In applying for this we ask you to consider the following:

We have investigated alternatives and have prepared comparative quotes for the replacement of the roof in different materials as follows:

Renew using slate: \$ 205 733.00

Renew using Monier plastic tiles: \$ 67 570.00

Renew using Colorbond Steel: \$ 28 500.00
(See appendix 1 - Quotes).

We do understand that a genuine slate roof would be desirable but it is totally beyond our financial means. If we were asked to make this type of commitment we would be forced instead to sell this, our family home.

Monier make a fake plastic 'slate look' tile but even using these the price is beyond our budget. In addition to this the plastic look tiles lack architectural integrity and would sit uncomfortably on the circa 1880 home.

It should also be noted that part of the existing roofing – the bullnose verandahs and the lean-to kitchen roof already have dark grey corrugated iron as does the new garage on the property. It makes sense that new roofing should be corrugated steel in dark grey (Colorbond: 'Monument') to match that already used. (See appendix 2 – Existing Corrugated Steel Roofing).

Steel roofs are normal for properties of this age and style. We have attached photographs of houses in Hobart that are of a similar age and design. All have corrugated steel roofs. (See appendix 3 – Precedence)

We believe that we are good custodians of this heritage property and have already done much high quality and carefully researched work to restore the property from three run-down apartments and return it to its original plan while maintaining design integrity.

We do need to act promptly on this as despite regular repairs, the roof is leaking and causing damage to our renovations.

Please feel free to contact us as necessary. We are free to discuss this application at any time.

Yours Sincerely

John and Clare Short

APPENDIX 1: COMPARATIVE QUOTES

QUOTE 1 SLATE ROOF – JAMES BAKER: HERITIGE SLATE HOBART

Good morning John and Clare,

Please find the quote for roofing works attached.

I haven't included chimney restoration in the quote but you can expect to pay around \$4500 per chimney stack for prep/repointing works. If chimney pots need replacing, approx. \$750 per pot.

Don't hesitate contacting me if you have any further questions.

Thank you,

James Barker
Heritage & Slate Roofing Hobart
License # 1464965 ABN 72 798149 249

MOB. 0438 133 688

www.heritageslatehobart.com.au

PO BOX 171
BATTERY POINT
HOBART, TASMANIA
AUSTRALIA 7004

Date: Sunday, 24 March 2019

JOB DESCRIPTION	SUB TOTAL
1. Supply and install new German Klobber, breathable/waterproof, German Slate roofing felt, to entire roof.	\$7,350.00
2. Remove all old timber battening and replace with new Baltic battens throughout.	\$20,540.00
3. Remove and dispose of all old slate and replace with new Canadian Glendyne, Grey, 250/500. Install with 40mm copper slate nail.	\$103,450.00
4. Supply and install new copper roll top ridge capping/ Valley and flashings. Brass/copper fixtures	\$20,440.00
5. Restore and Paint bull nose veranda roof.	\$8,400.00
6. Full site Scaffolding.	\$24,550.00
7. Rubbish removal/ site clean-up	\$2,300.00

TERMS

- Upon accepting this quote and its terms a deposit of **\$75,000.00** is required
 - This quote is good for **14 days** from the above date.
 - No work will begin until the deposit is received and/or cheques clear.
 - Full payment is required **within 7 days** of the date on the final invoice.
 - All materials remain the property of **The Barker Lamu Family Trust** trading as **HOBART HERITAGE AND SLATE ROOFING** until full payment is received.
 - Please make all cheques payable to **HOBART HERITAGE AND SLATE ROOFING**
- EFT or BANK Payment details - Please include your NAME or BUSINESS as reference

Bank: Commonwealth Bank
Account name: HOBART HERITAGE AND SLATE ROOFING
BSB #: 067 028
Account #: 1028 4179

Sub total	\$187,030.00
Plus 10% GST	\$18,703.00
Total due	\$205,733.00

PLEASE NOTE

- Payment is due and payable within 7 days of the final invoice
- Legal action may commence for the recovery of outstanding monies plus costs without further notice
- If not paid interest will accrue on the outstanding sum as from the date of the final invoice. The rate of such interest being 6% per month

QUOTE 2 MONIER PLASTIC TILES - COLIN SHUGG: MONIER ROOFING

Hi John,

Thank you for the opportunity to quote for the re-roof of 7 Swan St using Monier Elemental tile.
 Please find quote attached.
 Inclusions in this quote are;
 Supply of Bins
 Strip of existing tile and batten.
 Replacement of valley irons with Colourbond Ultra in Monument.
 Install of sarking
 Fixing of new batten
 Supply/fix of Elemental Slate in Midnight.

This quote does not include scaffold.
 I will be trying to arrange this in the next week or so.

Please feel free to contact me if you have any questions.

Kind Regards,

Colin Shugg | Tasmania Account Manager | MONIER ROOFING
 11 Farley St | Derwent Park, Hobart, 7009
 M: 0437 571 656 | E: coshugg@csr.com.au
www.monier.com.au

[See More](#) from John and Clare Short

CSR Roofing VIC
 Cnr McWilliam & Smith Road
 SPRINGVALE VIC 3171
 Ph: 03 9263 6300

CSR Roofing VIC
 ABN 55 008 631 356



CUSTOMER COPY

Estimate No. 58104996
 Date Quoted 20.03.2019
 Valid Until 18.06.2019
 Date Printed 21.03.2019
 Printed By. JRockey

Customer Details			Site Details.		
Customer: MR J SHORT			SiteNo.8171543		
Address: FARLEY ST			Address: NO7 SWAN ST		
Suburb: DERWENT PARK TAS 701			Suburb: HOBART TAS 7000		
Contact:			Your Representative		
Phone: Mobile:			Colin Shugg		
Email:			Phone:		
Fax:			Email: COSHUGG@csr.com.au		

Profile	Colour	Est Price(ex Opt Ext)	GST	Total	Accept
ELEMENTAL SLATE	MIDNIGHT E	\$43,246.14	\$4,324.61	\$47,570.75	

Standard Inclusions		Quantity	Optional Extras	ExGST	GST	Accept
MIDNIGHT SLATE LW		153.94 M2				
SARK Thermoseal Roof Tile Plus 1500X30M		153.94 M2				
STOREY 2ND ALLOWANCE		153.94 M2				
HIP ELEMENTAL MACHINE CUT		55.02 M				
VALLEY MACHINE CUT ELEMENTAL		29.41 M				
GABLE/RIDGE CUT ELEMENTAL		19.78 M				
HIP EXTRA MULTI HIP		2.00 M2				

Note: Need to include allowance
 for 3 weeks scaffold hire
 (estimated \$ 20000)
 Total = \$ 47570 + 20000
 = \$ 67570

QUOTE 3 COLORBOND STEEL ROOFING – ROCKWELL BUILDING INDUSTRIES

[illegible]

APPENDIX 2: EXISTING CORRUGATED STEEL ROOFING



Existing dark grey corrugated steel kitchen roof



Existing dark grey corrugated steel bull-nosed verandahs



Existing dark grey corrugated steel garage roof

APPENDIX 3: PRECEDENCE

The images below show houses in Hobart that are most like 7 Swan Street in age and style. **ALL** have steel roofing.



57 Tasma St



73 Federal St



71 Federal St



391 Sandy Bay Rd



127 Davey St



125 Davey St



225 Bathurst St



9 Mortimer Ave

NEED FOR ROOF REPLACEMENT - 7 SWAN ST NORTH HOBART

This document is submitted in response to Tasmanian Heritage Council's request for us to "demonstrate that the feasibility of repair for defective elements only has been explored."

It is important to realise that there is not just one defective area of the roof. Since moving to the property in 2016 in we have suffered periodic roof failures in many different areas of the home:

Dec 2016	Fatigued lead flashing causes roof leakage.
Mar 2017	Rusted flashing causes internal flooding and damage.
Nov 2017	Rusted chimney flashing causes roof leakage and internal damage.
May 2018	Slate tile slips from roof. Torrential rain damages new plaster work.
Feb 2019	Another tile slips from roof.

It can be seen that there are two main reasons for failure of the current slate roof.

The first is that the slates are slipping from their placement. While the slates themselves are in reasonable condition for their age they are beginning to show signs of edge softening, erosion and crumbling – (See fig 1). We often find pieces of crumbling tiles on the ground around our home. The real problem, however, is that the nails used to attach the slates have, after 140 years, corroded. Old slates cannot be re-nailed without removing each tile from the roof. When slate roofs are re-nailed the usual practice is to remove all the slates, clean them then re-nail them with stainless steel nails. (See: <https://wtroofing.com.au/slate-roofs/>) In our case the slates which are starting to show the signs of decay are not in good enough condition for reuse.

The second reason for the failure of the roof is that the roof flashings, which are mainly galvanized iron, have rusted (See fig 2), and are in dire need of replacement. While it is possible to relatively easily replace ridge-line roof capping, valley flashings are much harder to replace. Replacing a valley flashing involves baring back a great area of the surrounding roof. As the roof of the house has a complicated shape there is much valley flashing. (See fig 3). There are also three chimneys in the roof which need re-flashing. All involve the removal of the surrounding slate.

Slate roofer, James Barker, from Heritage Slate Hobart had told us that in view of these problems rejuvenating the roof while retaining the current slates is not feasible. James has advised us that the whole roof needs replacing. Our own internet research gave us no reason to doubt his expert opinion. Research showed us that slate roofs typically have a life of around 100 to 150 years – about the age of our home, and that corrosion of the fixing nails is a common cause of roof damage.

In response to the possibility of “fixing the defective elements of the roof only” our investigations show that the defective items are; the fixing nails, and the roof flashings. Proper repair of both items involves the stripping of the current roof tiles.

The other way to attend to the leaking roof is to continue with making ‘running repairs’ whenever leakage occurs. The cost of replacing a slipped tile is about \$1000. (The repair cost is about \$ 600 but we also need to erect scaffolding or hire a cherry picker costing about \$ 400.) But the real cost of maintaining the roof using a ‘fix-it-as-it-needs-it’ approach is the damage that gets done internally to rooms. The damage that roof leakage causes to plaster and paint which we have spent pain-staking hours lovingly renovating is quite heart-breaking, and waiting for the roof to leak before we fix it is extremely stressful.

We were fortunate in that our home insurance covered the cost of the damage done in ‘Hobart’s big storm – May 10th 2018’ but we cannot expect our insurer to continually cover the cost of damage caused by a roof that is poorly maintained.

Our personal and safety and that of the public is also of great concern to us. If a slate was to slip from the roof without warning the possibility of it striking someone below is a disturbing possibility that cannot be ignored. Continued maintenance of the old roof does not mitigate this possibility.

We hope that this details the need for roof replacement. Continued running repairs or rejuvenation of the current roof are not feasible options. If you have further questions or require more details then we would be very pleased for you to contact us or to meet with us.

Yours faithfully

John and Clare Short.

(Photos and diagrams on following pages)



Fig 1: Eroding edges of roof slate



Fig 2: Rusting valley flashings and loose slates

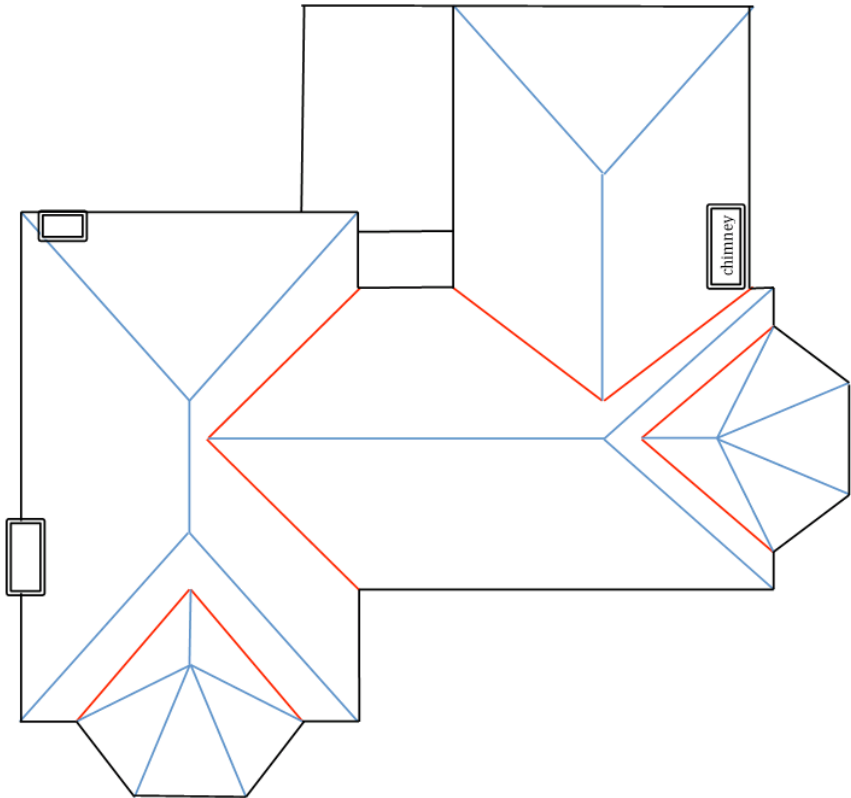


Fig 3: Roof plan (Valley flashings in red)

ROOF REPLACEMENT - 7 SWAN STREET - FURTHER CONSIDERATIONS

We thank THC and Heritage Tasmania for visiting our property and for giving us the advice that changing our plan to a galvanized iron roof would be more likely to be successful. After researching information about this we have however decided to maintain our original plan; that is an application to replace the failing slate roof with a Colorbond steel roof. We draw your attention to the following further considerations concerning galvanised iron roofing.

LIFETIME OF THE PRODUCT

While the lifetime of a corrugated galvanized iron roof is variable due to the unpredictability of corrosion, rusting can be expected even in the short term. So poor is the performance of galvanized iron that its manufacturers 'Bluescope' will not offer any guarantee on it at all, while they will guarantee Colorbond and Zinalume for up to 36 years. They also say that Zinalume and Colorbond will last for at least four times as long as galvanized iron.

Please consider the information on the comparative corrosion of different products presented by 'Bluescope' at:
<https://heritagetanks.com.au/wp-content/uploads/2016/11/Zinc-Versice-Galv-2016.pdf>

We certainly do not want to find ourselves in the position of having to replace our roof a second time within our own lives especially when we gain an age where we may find such works stressful.

The lifetime cost of the roof must also be considered. While the actual cost of a galvanised iron roof and a Colourbond roof are similar, the fact that a Colourbond one may last four times as long makes it much more cost effective.

ENVIRONMENTAL SUSTAINABILITY

In an age where we must all play a part in leaving as little environmental damage as we can, the comparison of the limited life of a galvanized roof with a Colorbond one lasting four times as long cannot be ignored. Replacing a roof has, of course, environmental costs associated with it – not only is much energy used in the manufacture of the steel, but also in its transport, the transport and supply of scaffolding and in the disposal of old roofing. As the Hobart Council has recently declared a 'Climate Change Emergency' it would seem important that all of its departments should adopt policies commensurate with environmental sustainability. To put it quite simply, the recommendation of galvanized iron roofing which has a short lifetime due to corrosion is environmentally irresponsible.

ARCHITECTURAL INTEGRITY

Heritage Tasmania suggest that galvanized iron roofing is a good alternative to slate as it is an architecturally authentic material – that is; it is a material that was used in many of the buildings at the time. Colorbond is of course a relatively new material which is the same as galvanized iron in its profile. Flashings and guttering can also be made in heritage profiles. Despite its similarities it seems that Heritage Tasmania do not support its use on the grounds that it is not architecturally authentic – but, on the other hand, they have supported in some cases the use of fake plastic slate tiles. We cannot see how Colorbond is any less architecturally authentic than plastic slate.

MATCHING AN ESTABLISHED ROOF

35% of the current roof is dark grey painted corrugated steel (Some Colorbond and some painted steel). We feel that the best look for the house would be to match the existing rather than making an odd looking mismatch of materials and colours. It is important to realise that the Hobart Council recently approved extensions to our home with Colorbond roofing. It seems inconsistent while it was acceptable for the extension to be approved with a Colorbond roof it is not acceptable for the rest of the roof to be Colorbond.

FURTHER DETAILS

We include some extra details of our proposal as follows:

- Replace deteriorated slate roofing with Colorbond steel in a custom orb profile in Matt Finish 'Monument' colour and using traditional roll-top ridge cappings.
- Replace existing D mould gutters to the main roof with ogee profile gutters (to match verandah gutters), in traditional cottage green Colorbond colour.
- Replace any downpipes as necessary, using round profile metal downpipes (maximum diameter of 90mm).
- Like-for-like repairs to chimneys as necessary.
- Like-for-like repairs to timber eaves linings etc. as necessary.
- Repainting of existing painted surfaces as necessary (using its current traditional colour scheme)

We thank you for taking the time to consider this information and are happy to discuss further if you wish.

John and Clare Short.



RESULT OF SEARCH

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



SEARCH OF TORRENS TITLE

VOLUME	FOLIO
248679	1
EDITION	DATE OF ISSUE
2	24-Jan-2013

SEARCH DATE : 19-Feb-2015

SEARCH TIME : 10.43 AM

DESCRIPTION OF LAND

City of HOBART
Lot 1 on Plan 248679
Derivation : Part of 7A-0R-6Ps Granted to J. Swan
Prior CT 3012/77

SCHEDULE 1

D79501 TRANSFER to JOHN ERIC SHORT and CLARE HELEN SHORT
Registered 24-Jan-2013 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
BENEFITING EASEMENT: Right of carriageway over Swan Street
shown on Plan No. 63449
D79502 MORTGAGE to Westpac Banking Corporation Registered
24-Jan-2013 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



REF. 312

ANNEXURE TO CERTIFICATE OF TITLE

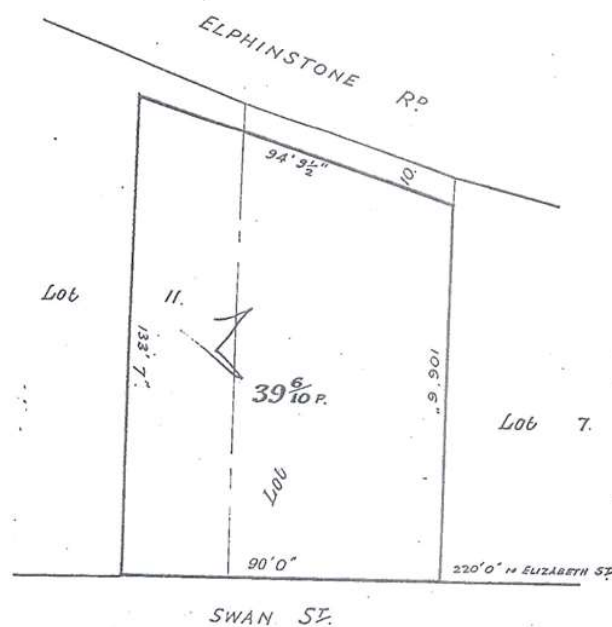
VOL. 3012 FOL. 77

M. J. Ineson
Recorder of Titles


REGISTERED NUMBER

248679

Lot 1 of this plan consists of all the land comprised in the above-mentioned cancelled folio of the Register.





Tasmanian Heritage Council
GPO Box 618 Hobart Tasmania 7000
Tel: 1300 850 332
enquiries@heritage.tas.gov.au
www.heritage.tas.gov.au

PLANNING REF: PLN-19-482
THC WORKS REF: 5997
REGISTERED PLACE NO: 2881
APPLICANT: John Short
DATE: 27 September 2019

NOTICE OF HERITAGE DECISION

(Historic Cultural Heritage Act 1995)

The Place: 'Llanberis', 7 Swan Street, North Hobart.
Proposed Works: Replacement of roofing materials.

Under section 39(6)(b) of the *Historic Cultural Heritage Act 1995*, the Heritage Council gives notice that it consents to the discretionary permit being granted in accordance with the documentation submitted with Development Application PLN-19-482, advertised on 11/09/2019, subject to the following conditions:

- 1. The colour for the new Colorbond roof sheeting must be a mid-grey such as Colorbond 'Basalt', and that the sheeting be of a traditional corrugated profile.**

Reason for condition

To ensure that the new work is reasonably more sympathetic to the historic character of the place. A roof mid-grey roof colour is considered to be more in keeping with the place's heritage values than the dark grey Colorbond 'Monument'.

- 2. The existing metal finials must be protected during the work and either retained in situ or reinstated as part of the roof recladding work.**

Reason for condition

To ensure these heritage features are conserved.

- 3. Where the existing chimneys have stepped flashings, these must be preserved in situ, or repaired with matching materials and details, or replaced to closely match the existing details.**

Reason for condition

To conserve significant characteristics of the roof.

Advice

It is recommended that further consideration be given to the option of using traditional galvanised steel for the roof cladding. Galvanised steel is considered to

be a more traditional material for this type of heritage building, and the patina it will develop over time will be more sympathetic to the character of the place.

If the option for Colorbond is pursued, it is recommended that a matt Colorbond finish be used, to more closely correspond to the finish of a slate roof.

It is recommended that the profile for the corrugations is 21mm deep, to closely correspond to a traditional roof profile, rather than the 16mm deep standard profile.

Please ensure the details of this notice, including conditions, are included in any permit issued, and forward a copy of the permit or decision of refusal to the Heritage Council for our records.

Should you require clarification of any matters contained in this notice, please contact Deirdre Macdonald on 1300 850 332.



Ian Boersma
Works Manager – Heritage Tasmania
Under delegation of the Tasmanian Heritage Council

**7.1.2 190 MACQUARIE STREET, ADJACENT ROAD RESERVE, HOBART
- DEMOLITION AND NEW BUILDING FOR FOUR MULTIPLE
DWELLINGS AND WORKS IN A ROAD RESERVE
PLN-19-3 - FILE REF: F19/138516**

Address: 190 Macquarie Street Adjacent Road Reserve,
Hobart

Proposal: Demolition and New Building for Four Multiple
Dwellings and Works in a Road Reserve

Expiry Date: 8 November 2019

Extension of Time: Not applicable

Author: Adam Smee

RECOMMENDATION

That pursuant to the *Hobart Interim Planning Scheme 2015*, the Council approve the application for demolition and new building for four multiple dwellings and works in road reserve at 190 Macquarie Street, Hobart and adjacent road reserve for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

GEN

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-19-3 - 190 MACQUARIE STREET HOBART TAS 7000 - Final Planning Documents except where modified below.

Reason for condition

To clarify the scope of the permit.

TW

The use and/or development must comply with the requirements of TasWater as detailed in the form Submission to Planning Authority Notice, Reference No. TWDA 2019/00028-HCC dated 30/07/2019 as attached to the permit.

Reason for condition

To clarify the scope of the permit.

ENG sw1

All stormwater from the proposed development (including but not limited to: roofed areas, ag drains, retaining wall ag drains and impervious surfaces such as driveways and paved areas) must be drained to the Council's stormwater infrastructure prior to first occupation.

Reason for condition

To ensure that stormwater from the site will be discharged to a suitable Council approved outlet.

ENG sw4

The development must be drained to Council stormwater drainage infrastructure taking into account the limited receiving capacity of Council's stormwater drainage infrastructure. Any new stormwater connection(s) required must be constructed, and existing redundant connections must be sealed, at the owner's expense prior to issue of a Certificate of Completion or first occupation, whichever occurs first.

Detailed design drawings showing both existing and proposed services must be submitted and approved, prior to issue of any consent under the *Building Act 2016* (excluding demolition or excavation). The detailed design drawings must:

- 1. Include the location of the proposed connections and all existing connections;**
- 2. Include the size and design of the connection such that they are appropriate to safely service the development given the limited receiving capacity of Council infrastructure;**
- 3. Include long-sections of the proposed connection clearly showing the clearance form any nearby / crossing services, cover, size, material and delineation of public and private infrastructure;**

4. Clearly distinguish between public and private infrastructure; and
5. Be checked and certified by a qualified and experienced engineer

All work required by this condition must be undertaken in accordance with the approved detailed design drawings.

Advice:

The applicant is advised to submit detailed design drawings via a Council City Infrastructure Division [application for a new stormwater connection](#). If detailed design to satisfy this condition is submitted via the planning condition endorsement process there may be fees associated with the assessment, and once approved the applicant will still need to submit an application for a new stormwater connection with Council City Amenity Division.

Where building / plumbing approval is also required, it is recommended that documentation to satisfy this condition is submitted well before submitting documentation for building/plumbing approval. Failure to address planning condition requirements prior to submitting for building/plumbing approval may result in unexpected delays.

Reason for condition

To ensure the site is drained adequately.

ENG 3c

The access driveway, ramps and parking module (parking spaces, aisles and manoeuvring area) must be constructed in accordance with the approved Planning Permit documents and conditions.

Prior to the first occupation, documentation by a suitably qualified engineer certifying that the access driveway and parking module has been constructed in accordance with the approved Planning Permit documents and conditions must be submitted to Council.

Advice:

Certification may be submitted to Council as part of the Building Act 2016 approval process or via condition endorsement (see general advice on how to obtain condition endorsement)

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

ENG 4

The access driveway and parking module (car parking spaces, aisles and manoeuvring area) approved by this permit must be constructed to a sealed standard (spray seal, asphalt, concrete, pavers or equivalent Council approved) and surface drained to the Council's stormwater infrastructure prior to the first occupation.

Reason for condition

To ensure the safety of users of the access driveway and parking module, and that it does not detract from the amenity of users, adjoining occupiers or the environment by preventing dust, mud and sediment transport.

ENG 5

All parking spaces must be delineated by means of white or yellow lines 80mm to 100mm wide, or white or yellow pavement markers in accordance with Australian Standards AS/NZS 2890.1 2004, prior to first occupation.

Reason for condition

To ensure the provision of parking for the use is safe and efficient.

ENG 11

Prior to the first occupation, the proposed crossover to the Macquarie Street highway reservation must be designed and constructed in general accordance with:

- 1. LGAT Standard Drawing - Urban - TSD-R09-v1 – Urban Roads Driveways and TSD R14-v1 Type KC vehicular crossing**
- 2. LGAT Standard Drawing - Footpath - Urban Roads Footpaths TSD-R11- v1**
- 3. Or a Council City Infrastructure Division approved alternate design.**

Advice:

Local Government Association (LGAT) Tasmanian Standard Drawings (TSD) can be viewed electronically via the [LGAT Website](#).

Please note that your proposal does not include adjustment of footpath levels. Any adjustment to footpath levels necessary to suit the design of proposed floor, parking module or driveway levels will require separate agreement from Council's Road Services Engineer and may require further planning approvals. It is advised to place a note to this effect on construction drawings for the site and/or other relevant engineering drawings to ensure that contractors are made aware of this requirement.

Please contact Council City Amenity Division to discuss approval of alternate designs.

You are likely to require a Permit to Open Up and Temporarily Occupy a Highway (for work within the highway reservation). Click [here](#) for more information.

Reason for condition

In the interests of vehicle user safety and the amenity of the development.

ENG 1

Any damage to council infrastructure resulting from the implementation of this permit, must, at the discretion of the Council:

- 1. Be met by the owner by way of reimbursement (cost of repair and reinstatement to be paid by the owner to the Council); or**
- 2. Be repaired and reinstated by the owner to the satisfaction of the Council.**

A photographic record of the Council's infrastructure adjacent to the subject site must be provided to the Council prior to any commencement of works.

A photographic record of the Council's infrastructure (e.g. existing property service connection points, roads, buildings, stormwater, footpaths, driveway crossovers and nature strips, including if any, pre-existing damage) will be relied upon to establish the extent of damage caused to the Council's infrastructure during construction. In the event that the owner/developer fails to provide to the Council a photographic record of the Council's infrastructure, then any damage to the Council's infrastructure found on completion of works will be deemed to be the responsibility of the owner.

Reason for condition

To ensure that any of the Council's infrastructure and/or site-related service connections affected by the proposal will be altered and/or reinstated at the owner's full cost.

ENG s1

Approval from Council's City Planning Division must be obtained prior to issue of any consent under the *Building Act 2016* (excluding demolition or excavation) for any changes to the existing on street parking arrangements in Macquarie Street.

Advice:

Any changes to the existing on street parking arrangements in Macquarie Street do not form part of the planning approval and will require approval from Council's Manager Traffic Engineering in a process separate to the planning process. All works will be at the developer's expense. Please contact Council's Manager Traffic Engineering with regard to the application process for any changes to the on street parking arrangements in Macquarie Street.

Any request to temporarily or permanently remove any sensor requires a written application to be submitted to the Parking Operations Unit.

<https://www.hobartcity.com.au/City-services/Parking/Integrated-Parking-System/Dial-Before-You-Dig-Parking-Sensors>

Reason for condition

To ensure that relevant approvals are obtained.

ENV 2

Sediment and erosion control measures, in accordance with an approved soil and water management plan (SWMP), must be installed prior to the commencement of work and maintained until such time as all disturbed areas have been stabilised and/or restored or sealed to the Council's satisfaction.

A SWMP must be submitted prior to the issue of any approval under the *Building Act 2016* or the commencement of work, whichever occurs first. The SWMP must be prepared in accordance with the Soil and Water Management on Building and Construction Sites fact sheets (Derwent Estuary Program, 2008), available [here](#).

All work required by this condition must be undertaken in accordance with the approved SWMP.

Advice: Once the SWMP has been approved, the Council will issue a condition endorsement (see general advice on how to obtain condition endorsement).

Where building approval is also required, it is recommended that documentation for condition endorsement be submitted well before submitting documentation for building approval. Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.

Reason for condition

To avoid the pollution and sedimentation of roads, drains and natural watercourses that could be caused by erosion and runoff from the development.

ENV s1

The recommendations of an approved noise impact assessment must be implemented.

A noise impact assessment, in accordance with best-practice methodologies and prepared by a suitably qualified person, must be submitted and approved prior to the granting of building consent.

The noise impact assessment must:

- **estimate the likely noise impact upon future residents of the of the building from the late night music venue at 192 Macquarie Street, Hobart;**
- **provide a professional opinion as to whether future residents of the building would potentially be impacted by 'environmental harm' from noise from the late night music venue (as defined under the *Environmental Management and Pollution Control Act 1994*); and specify any recommended mitigation measures considered necessary to ensure future residents of the building would not be impacted by environmental harm from noise from the late night music venue.**

Any noise measurements taken to inform the noise impact assessment must be made with the methods in the *Tasmanian Noise Measurement Procedures Manual* (Department of Environment, Parks, Heritage and the Arts, 2008).

Documentation submitted for building consent must demonstrate compliance with all recommended mitigation measures.

Advice:

Once the noise impact assessment has been approved and documentation for building consent has been received demonstrating compliance with all recommended mitigation measures, the Council will issue a condition endorsement (see general advice on how to obtain condition endorsement).

Reason for condition

To ensure that new sensitive use does not conflict with, interfere with or constrain uses with potential to cause environmental harm.

HER 10

The climbing rose and frame attached to the existing north east wall is to be protected and supported during demolition, excavation and construction. The rose is to be protected and supported in a manner agreed to by the land owners of the adjacent property on which the rose grows.

Prior to the issue of any approval under the *Building Act 2016*, a management plan must be submitted and approved showing the protection and support of the climbing rose in accordance with the above requirement.

All work required by this condition must be undertaken in accordance with the approved revised plans.

Advice:

It is recommended that the applicant/developer contact the land owners of the adjacent property on which the rose is sited to agree on how the rose is to be protected and supported during demolition, excavation and construction.

Reason for condition

To ensure that demolition in whole or part of a heritage place and heritage precinct does not result in the loss of historic cultural heritage values.

HER 6

All major onsite excavation and disturbance within the red area (ie area of high archaeological potential) denoted on page 91 of the Praxis report must be preceded by an archaeological method statement which details measures to be taken to avoid or mitigate impact on the archaeological resource. The method statement must be in accordance with the Tasmanian Heritage Council's Practice Note 2 and implemented in the works process.

Minor excavation (for service trenches) within the red area (ie area of high archaeological potential) denoted on page 91 of the Praxis report must be monitored by a suitably qualified archaeologist. Should any features or deposits of an archaeological nature in both areas of low or high archaeological potential be discovered on the site during excavation or disturbance:

- 1. All excavation and/or disturbance must stop immediately; and**
- 2. A qualified archaeologist must be engaged to provide advice and assessment of the features and/or deposits discovered and make recommendations on further excavation and/or disturbance; and**
- 3. All and any recommendations made by the archaeologist engaged in accordance with (2) above must be complied with in full; and**
- 4. All features and/or deposits discovered must be reported to the Council with 1 days of the discovery; and**
- 5. A copy of the archaeologists advice, assessment and recommendations obtained in accordance with paragraph (2) above must be provided to Council within 30 days of receipt of the advice, assessment and recommendations.**

Excavation and/or disturbance must not recommence unless and until approval is granted from the Council.

Reason for condition

To ensure that work is planned and implemented in a manner that seeks to

understand, retain, protect, preserve and manage significant archaeological evidence.

HER 17

A detailed revised materials, finishes and colours palette is to be provided. All materials, finishes and colours must reflect the palette of materials within the local streetscape, precinct and adjacent heritage listed buildings and must be subdued, complementary and less dominant than the heritage buildings and streetscape.

Prior to the issue of any approval under the *Building Act 2016*, revised plans must be submitted and approved showing exterior materials, finishes and colours in accordance with the above requirement.

All work required by this condition must be undertaken in accordance with the approved plans.

Reason for condition

To ensure that development at a heritage place and in a heritage precinct is undertaken in a sympathetic manner and does not cause loss of historic cultural heritage significance.

HER 18

The walnut tree on the site must be protected throughout excavation and post construction.

A Construction Management Plan for the tree must be submitted for approval prior to the commencement of work. The report must:

- be prepared by a suitably qualified person; and
- show all tree protection zones and relevant measures specified in the Australian Standard AS4970-2009 Protection of trees on development sites; and
- include a fenced off/isolated tree protection zone (TPZ) which restricts access to the site, protective fencing, trunk and branch protection, ground protection and signs identifying the TPZ.

Advice: Once the Construction Management Plan has been approved, the Council will issue a condition endorsement (see general advice on how to obtain condition endorsement).

Where building approval is also required, it is recommended that documentation for condition endorsement be submitted well before submitting documentation for building approval. Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.

Reason for condition

To ensure that significant trees are not unnecessarily destroyed or damaged and are managed in a way that maintains their health and appearance.

OPS s1

The steps listed in the *Tree Protection - 190 Macquarie Street* report by Alister Hodgman of 5th July 2019, must be implemented. Therefore, during installation of the new underground services, a work zone covering only the services corridor, must be marked out. No other works are to be undertaken within the walnut tree protection zone (TPZ, out to 8.76 m from the centre of the trunk). A suitably qualified and experienced supervising arborist must be on-site *during all works* within the TPZ. The pavers must be removed by hand and stored outside the TPZ. Excavation of the work zone must be done by hand or low-pressure vacuum truck, minimising the damage to tree roots, under the supervision of the supervising arborist. Only small sections of the trench should be excavated at one time if at all possible, and the plumbing installed in sections. Root severance must be avoided wherever possible.

Any unavoidable root pruning must be done with the supervising arborist present. Any exposed roots must be covered with hessian and kept moist. Back-filling of the trench should be completed as soon as practical. Above the aggregate, the trench must be filled with good structural soil as specified. This should be watered in with water and kelp extract as specified.

The supervising arborist must certify in writing that they were present during all relevant works and that the works were undertaken in accordance with the tree protection plan. This certification must be submitted to Council within one week of the works being completed.

Reason for condition

The walnut tree is heritage listed and all measures are to be taken to protect the tree and maintain its long-term health.

OPS s2

A revised landscaping plan must be submitted and approved by the Council's Director City Amenity prior to commencement of work.

The revised landscaping plan must specify:

- 1. Retention of the existing garden bed between the walnut tree and the Duke of Wellington boundary wall;**
- 2. Expansion of the existing garden bed, between the designated vehicle parking spaces, with high quality garden soil to be added to the expanded garden area to the north-west and south-east of the existing garden bed;**
- 3. How any weed control in the existing garden bed is to be undertaken in a manner that protects the roots of the walnut tree;**
- 4. Whether additional plantings will be done and how those plantings fit with the required vehicle turning areas;**
- 5. The installation and maintenance of porous paving within the tree protection zone around the walnut (8.76 m radius from the centre of the trunk);**

6. The installation of a number of permanent bollards around the walnut tree to protect it from impact by vehicles. The number and location of bollards must be to the satisfaction of the Council's Director City Amenity, with the location of each bollard being clear of tree roots and all associated excavation being done by hand.

Once approved by the Council's Director City Amenity, all work required by this condition must be undertaken in accordance with the approved revised landscaping plan.

Advice:

Once a landscape plan has been provided and is approved by the Director City Amenity, the Council will issue a condition endorsement (see general advice on how to obtain condition endorsement). It is recommended that the proponent liaise with the Council's Program Leader Arboriculture & Nursery (ph: 6238 2807) prior to revision of the landscaping plan.

It is recommended that documentation for condition endorsement be submitted well before submitting documentation for building approval. Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.

Reason for condition

Protection of a significant tree .

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

CONDITION ENDORSEMENT ENGINEERING

All engineering drawings required to be submitted and approved by this planning permit must be submitted to the City of Hobart as a CEP (Condition Endorsement) via the City's [Online Service Development Portal](#). When lodging a CEP, please reference the PLN number of the associated Planning Application. Each CEP must also include an estimation of the cost of works shown on the submitted engineering drawings. Once that estimation has been confirmed by the City's Engineer, the following fees are payable for each CEP submitted and must be paid prior to the City of Hobart commencing assessment of the engineering drawings in each CEP:

Value of Building Works Approved by Planning Permit Fee:

Up to \$20,000: \$150 per application.

Over \$20,000: 2% of the value of the works as assessed by the City's Engineer per assessment.

These fees are additional to building and plumbing fees charged under the Building and Plumbing Regulations.

Once the CEP is lodged via the [Online Service Development Portal](#), if the value of building works approved by your planning permit is over \$20,000, please contact the City's Development Engineer on 6238 2715 to confirm the estimation of the cost of works shown on the submitted engineering drawings has been accepted.

Once confirmed, please call one of the City's Customer Service Officers on 6238 2190 to make payment, quoting the reference number (ie. CEP number) of the Condition Endorsement you have lodged. Once payment is made, your engineering drawings will be assessed.

BUILDING PERMIT

You may need building approval in accordance with the *Building Act 2016*. Click [here](#) for more information.

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

PLUMBING PERMIT

You may need plumbing approval in accordance with the *Building Act 2016*, *Building Regulations 2016* and the National Construction Code. Click [here](#) for more information.

OCCUPATION OF THE PUBLIC HIGHWAY

You may require a permit for the occupation of the public highway for construction or special event (e.g. placement of skip bin, crane, scissor lift etc). Click [here](#) for more information.

You may require a Permit to Open Up and Temporarily Occupy a Highway (for work in the road reserve). Click [here](#) for more information.

GENERAL EXEMPTION (TEMPORARY) PARKING PERMITS

You may qualify for a General Exemption permit for construction vehicles i.e. residential or meter parking/loading zones. Click [here](#) for more information.

PERMIT TO CONSTRUCT PUBLIC INFRASTRUCTURE

You may require a permit to construct public infrastructure, with a 12 month maintenance period and bond (please contact the Hobart City Council's City Infrastructure Division to initiate the permit process).

NEW SERVICE CONNECTION

Please contact the Hobart City Council's City Infrastructure Division to initiate the application process for your [new stormwater connection](#).

STORM WATER

Please note that in addition to a building and/or plumbing permit, development must be in accordance with the Hobart City Council's Hydraulic Services By law. Click [here](#) for more information.

WORK WITHIN THE HIGHWAY RESERVATION

Please note development must be in accordance with the Hobart City Council's Highways By law. Click [here](#) for more information.

DRIVEWAY SURFACING OVER HIGHWAY RESERVATION

If a coloured or textured surface is used for the driveway access within the Highway Reservation, the Council or other service provider will not match this on any reinstatement of the driveway access within the Highway Reservation required in the future.

REDUNDANT CROSSOVERS

Redundant crossovers are required to be reinstated under the Hobart City Council's Highways By law. Click [here](#) for more information.

ACCESS

Designed in accordance with LGAT- IPWEA – Tasmanian standard drawings. Click [here](#) for more information.

CROSS OVER CONSTRUCTION

The construction of the crossover can be undertaken by the Council or by a private contractor, subject to Council approval of the design. Click [here](#) for more information.

STORM WATER / ROADS / ACCESS

Services to be designed and constructed in accordance with the (IPWEA) LGAT – standard drawings. Click [here](#) for more information.

STRATA AMENDMENT

You will be required to amend the strata plan pursuant to the provisions of the *Strata Titles Act 1998* in order to reflect the completed development works. Click [here](#) for more information.

WORK PLACE HEALTH AND SAFETY

Appropriate occupational health and safety measures must be employed during the works to minimise direct human exposure to potentially-contaminated soil, water, dust and vapours. Click [here](#) for more information.

WASTE DISPOSAL

It is recommended that the developer liaise with the Council's Cleansing and Solid Waste Unit regarding reducing, reusing and recycling materials associated with demolition on the site to minimise solid waste being directed to landfill.





Further information regarding waste disposal can also be found on the Council's [website](#).

FEES AND CHARGES

Click [here](#) for information on the Council's fees and charges.

DIAL BEFORE YOU DIG

Click [here](#) for dial before you dig information.

- | | |
|---------------|--|
| Attachment A: | PLN-19-3 - 190 MACQUARIE STREET HOBART
TAS 7000 - Planning Committee or Delegated
Report ↓  |
| Attachment B: | PLN-19-3 - 190 MACQUARIE STREET HOBART
TAS 7000 - CPC Agenda Documents ↓  |
| Attachment C: | PLN-19-3 - 190 MACQUARIE STREET HOBART
TAS 7000 - Planning Referral Officer Cultural
Heritage Report ↓  |
| Attachment D: | PLN-19-3 - 190 MACQUARIE STREET HOBART
TAS 7000 - Excerpt from 20 Aug 2019 UDAP
Meeting Minutes ↓  |

**APPLICATION UNDER HOBART INTERIM PLANNING SCHEME 2015**

Type of Report:	Committee
Council:	4 November 2019
Expiry Date:	8 November 2019
Application No:	PLN-19-3
Address:	190 MACQUARIE STREET , HOBART ADJACENT ROAD RESERVE
Applicant:	Garry Baker (c/- JMG Engineers and Planners) 117 Harrington Street
Proposal:	Demolition and New Building for Four Multiple Dwellings and Works in Roa Reserve
Representations:	Nine (9)
Performance criteria:	Central Business Zone: Setback, Design, and Passive Surveillance; Attenuation Code - Development for Sensitive Use in Proximity to Use with Potential to Cause Environmental Harm; Historic Heritage Code: Demolition, Buildings and Works other than Demolition; Significant Trees Code - Lopping, pruning, removal or destruction of significant trees.

1. Executive Summary

- 1.1 Planning approval is sought for demolition and new building for four multiple dwellings and works in road reserve at 190 Macquarie Street and adjacent road reserve.

- 1.2 More specifically the proposal includes:
- Demolition of the existing single storey building on the site. This building has most recently been used by a printing company.
 - Construction of a new building that would contain four apartment style, multiple dwellings across five storeys.
 - Works in the road reserve including removal of an existing car park and parking meter and widening of the existing crossover to the property from Macquarie Street.
- 1.3 The proposal relies on performance criteria to satisfy the following standards and codes:
- 1.3.1 22.0 Central Business Zone:
- 22.4 Development Standards for Buildings and Works*
- 1.3.2 E9.0 Attenuation Code:
- E9.7 Development Standards*
- 1.3.3 E13.0 Historic Heritage Code:
- E13.7 Development Standards for Heritage Places,
E13.8 Development Standards for Heritage Precincts, and
E13.10 Development Standards for Places of Archaeological Potential.*
- 1.3.4 E24.0 Significant Trees Code:
- E24.6 Development Standards*
- 1.4 Eight (8) representations objecting to the proposal and one (1) representation supporting the proposal were received within the statutory advertising period between 3 and 17 October 2019.
- 1.5 The proposal is recommended for approval.
- 1.6 The final decision is delegated to the Council.

2. Site Detail

- 2.1 The site is a commercial property at the south-eastern edge of the Hobart CBD. A strata plan has been created over the property. The proposed development would be constructed upon the rearmost of the lots on this plan, known as suite 2, although car parking is proposed on the common property closer toward the property frontage with Macquarie Street. Suite 2 has an area of 278m² and contains a single storey commercial building. A printing business most recently occupied this building. The site is to the rear of the property known as suite 1, 190 Macquarie Street. This property contains the two storey heritage listed building called "Coreen". Coreen is listed on the Tasmanian Heritage Register (THR). Heritage Tasmania has confirmed that this listing does not include the subject site. All of the adjacent properties are also listed on the THR.
- 2.2 The site and the adjacent properties are also listed as heritage places within the Historic Heritage Code of the *Hobart Interim Planning Scheme 2015*. The site and the surrounding properties are also within the Hobart 1 Heritage Precinct and the planning scheme's mapped area of archaeological potential. A walnut tree close to the end of the access to the property is listed as a significant tree within the planning scheme's Significant Tree Code.
- 2.3 A variety of commercial and professional services occur on the adjoining land to the south-east, south-west, and west of the site. The Duke Restaurant and Bar occupies the eastern corner of Macquarie Street and Barrack Street, to the west of the site. There is a doctor's surgery, allied health room, and a hairdressers to the south-west of the site, between it and Barrack Street. There are professional offices to the south-east of the site, fronting onto Davey Street. The St John's Presbyterian Church and associated buildings occupies the land to the north-east of the site.



Figure 1: aerial view of proposed development site (outlined in blue) and surrounding land (source: CoH GIS, accessed 29/8/2019).

3. Proposal

- 3.1 Planning approval is sought for demolition and new building for four multiple dwellings and works in road reserve at 190 Macquarie Street and adjacent road reserve.
- 3.2 More specifically the proposal is for:
- Demolition of the existing single storey building on the site. This building has most recently been used by a printing company.
 - Construction of a new building that would contain four apartment style, multiple dwellings across five storeys.
 - Works in the road reserve including removal of an existing car park and parking meter and widening of the existing crossover to the property from Macquarie Street.

4. Background

- 4.1 Council received the application on 3 January 2019, however, it was not considered valid until Crown consent was provided upon 7 February 2019. This consent was required because the proposal includes works within the Macquarie Street road reservation which is the responsibility of the Department of State Growth. The development as originally proposed included seven dwellings across six storeys. A basement level for car parking and storage was also initially proposed.
- 4.2 Council's records indicate that building and plumbing approval was issued in 1997 for a dental surgery within the existing building upon the site. There is no indication on file that the dental surgery required planning approval.
- 4.3 Council requested additional information regarding the proposal upon 18 February 2019. This request was answered to Council's satisfaction upon 3 April 2019.
- 4.4 The proposal was considered by Council's Urban Development Advisory Panel as a pre-application proposal at its meeting held upon 29 January 2019. The panel made the following points:
- "Concern that the impact of the development will cause the walnut tree to fail.
 - Southern elevation pattern and texture treatments to be shown on drawings. These treatments need to be effective at reducing the proposal's visual impact from Barrack Street.
 - A SW elevation showing the building on the adjacent boundary should be included in the documentation.
 - A landscaping plan showing parking, vehicle route to underground carpark, existing Walnut tree, all proposed underground services and paving to be included in the documentation.
 - Request that extant Walnut tree, not a new young tree, is indicated on all sketch views provided (note this item was not requested during the meeting).
 - Concern over access for construction of the development due to the listed tree".
- 4.5 The application was first advertised between 24 April and 9 May 2019. Council received ten representations regarding the proposal during this advertising period. The majority of these representations were opposed to the development. Subsequent to the advertising period, the applicant was advised that the proposal would not be supported by the assessment staff due to concerns raised by Council's Cultural Heritage Officer. These concerns were based upon non-compliance with the relevant provisions of the planning scheme's Historic Heritage Code. The height of the development as originally proposed was of particular concern.

- 4.6 After negotiations between Council and the applicant, it was agreed to extend the assessment period for the application to allow the proposal to be redesigned in order to address the above concerns. This report considers the revised design.

- 4.7 The revised design was considered by UDAP upon 20 August 2019. Queries were raised by the panel regarding protection measures for the significant tree but the revised design received a generally favourable response, with the following comments arising from the minutes of the meeting:

"Overall the Panel was in support of the proposal and thanked the applicants for taking on the previous advice from the Panel with this amended plan.

The Panel agreed with the proposed new protections around the walnut tree and advised that a detailed landscape plan by a registered landscape architect should be provided. The plan would indicate the use of permeable paving, a temporary fence during construction and bollards and edging protecting the tree and adjacent garden space from vehicle egress. An irrigation system is required.

The panel highly recommends that ongoing advice from the arboriculturalist is sought both during documentation of the project and at specified hold points during construction and in the 12 month plant establishment period.

The amended design with the reduction in height is now considered to be of a scale consistent with this area of the Heritage Precinct".

- 4.8 The application was advertised for a second time between 7 and 21 August 2019. Council received nine representations regarding the proposal during this advertising period. The majority of these representations were again opposed to the development. A number of the representations raised concern regarding the validity of the application as it did not include evidence that the body corporate responsible for part of the site had been informed that the application had been made. These representations also suggested that the application was not valid because the consent provided by the Department of State Growth (DSG) for the application to be made, had not been updated since the proposal was revised.
- 4.9 The applicant has subsequently provided confirmation that all relevant property owners have received notification that the application has been made and an updated consent from the DSG in response to the above concerns. To ensure that a valid application for approval for the proposal goes through the required public notification process, the application was again re-advertised between 3 and 17 October 2019.

5. Concerns raised by representors

- 5.1 Eight (8) representations objecting to the proposal and one (1) supporting the proposal were received within the statutory advertising period. The representation in support of the proposal suggests that the proposed development would be a modest building that would "provide much-needed medium density housing, close to the Hobart CBD and its services and employment". The representation also suggests that the type of housing proposed "supports Hobart's transition away from being a car-reliant, congested, and unsustainable city" and that the development would be "visually recessive".
- 5.2 The following table summarises the concerns raised in the representations received. Those concerns which relate to a discretion invoked by the proposal are addressed in Section 6 of this report.

•	"this development, if approved, will diminish the heritage value of the area and, in particular, dwarf the surrounding buildings to such an extent that it will dominate and compromise their place in the precinct".
•	"We also have a rose bush growing on a wall which the developer seeks to demolish. That rose bush has significant cultural and heritage value to members of our congregation and it would seem impossible for the development to not destroy that rose".
•	"The Development Application does not contain a valid consent from the Department of State Growth as required by section 52(1B) of the <i>Land Use Planning and Approvals Act 1993</i> ".
•	"The applicant has failed to comply with the requirement of section 52(1) of LUPAA by not declaring that Strata Corporation No. 96378 has been notified of the development to occur on Certificate of Title Volume 96378 Folio 0, that being the common property of the strata corporation".
•	"The application fails to meet the development standards for the heritage place as the development will result in a loss of historic cultural heritage significance to the place due to the incompatible design, is not subservient and complementary to the place and the building does not respond to the dominant heritage characteristics of the place, <i>E13.7.2</i> ".
•	"The application fails to meet the development standards for the heritage precinct H1, because its design and siting results in a detriment to the historic cultural heritage significance of the precinct, <i>E13.8.2</i> ".
•	"The application fails to meet the development standards within the Central Business Zone in relation to setback, as the setback

proposed will not enhance the characteristics of the site and the adjoining lots, 22.4.2 P1(c)".

"The application fails to meet the development standards within the Central Business Zone in relation to design, as the design proposed is inconsistent with the Desired Future Character Statement, particularly as the development will be individually prominent and not reinforce or reflect the cohesive built form, 22.4.3 P1".

"The application is incomplete and fails to comply with the requirements of the Historic Heritage Code in relation to demolition at a historic heritage place, E13.7.1 P1".

"The set back of the proposed building is insufficient to meet the clauses of the planning scheme and would detract from the characteristics of the heritage building Coreen".

"The height and bulky design of the proposed building would detract and dominate over the surrounding historic heritage buildings".

"Objective 22.4.1 (a) requires a positive contribution to the streetscape and townscape. The proposed building does not achieve this and instead makes an open heritage area feel closed and dark due to the proposed height and overbearing design".

"The proposed design and materials of the frontage is very out of character for this heritage area. The use of sheet metal cladding, concrete panels and large windows as specified in the proposal are all designs of a modern commercial building and are not sympathetic to the heritage buildings".

"There are in fact no elements of the proposed building that speak to the heritage architecture that surrounds this site. To satisfy the clause of the planning scheme there should be common heights, angles, materials and details which tie a new building into the area in a complimentary manner".

"The proposed bulky walls on all sides also have a negative impact on the visual skyline shapes formed by the surrounding heritage buildings by filling in the roof shapes of the heritage buildings and trees".

"As the current paving at the site allows an amount of rain to seep between the pavers and reach the trees roots, any re-sealing in the vicinity of the trees root zones would need to maintain the availability of this water".

"The height of the proposed building would also negatively impact on this tree depriving its foliage of all morning light. In order to maintain the sunlight available to the tree any development should

- be limited to 1-2 storeys".
- "The proposed development does not provide the required number of car parks".
- "The historical photograph of the site on page 137 (page 36) of the proposal shows that there is no fencing on the site in this location so any letterboxes should be located on or in the buildings as they do currently".
- "The proposal does not provide any conservation plan for separating the building Coreen during demolition".
- "If the site is changed to residential use the site will only be of benefit to the occupants. The change of use may also negatively impact The Duke of Wellington Hotel's ability to provide evening music and entertainment due to the proximity to the site".
- "The new building will cause significant shadowing to the adjacent buildings sun louvers, reducing their solar access".
- "Ideally the proposal should investigate re-using or retaining existing elements of the current building to reduce the environmental impact from any development".
- "As the Historic Cultural Heritage Act 1995 applies (As indicated on page 125 Appendix D – Historic Heritage Management Strategy) the proposal will require assessment by the Heritage Council".
- "The grounds of the objection include:
 - a) The effect and amenity of the neighbourhood;
 - b) The effect and amenity of 81 Davey Street and other properties to the east of 190 Macquarie Street;
 - c) The loss of sun/shadowing to the properties to the east of 190 Macquarie Street (including 81 Davey Street) (with over 12.0m of brick wall within 1.0m of the boundary and a bulky building on the whole of the title);
 - d) The intrusion and loss of privacy to the properties to the east of 190 Macquarie Street (including 81 Davey Street);
 - e) The heritage aspect of the neighbourhood and the effect and imposition the proposed building will have on it;
 - f) The loss of view to the properties to the east and south of 190 Macquarie Street (including 81 Davey Street) (once again, with in excess of 12.0m walls near the rear boundary);
 - g) The visual impact of the development upon the neighbourhood including a 14.8m building immediately adjacent to residential, religious and other buildings/properties;
 - h) The lack of car parking;
 - i) Ingress and egress and vehicle movements to and from 190 Macquarie Street to Macquarie Street;

- j) The relevant zoning of 190 Macquarie Street;
- k) The lack of any forethought or management of the heritage listed walnut tree".

- "The building described in the planning proposal PLN-19-3 for a new building for four multiple dwellings is, as stated in the developers Executive Summary "... distinctly contemporary". It has no resemblance, or empathy with any of the surrounding architecture and totally fails to meet the Performance Criteria stated as mandatory in a heritage place".
- "This Heritage Place deserves a better fate than being lost to a modern 'high rise' block of flats".
- "when looking south-east from Macquarie Street, the proposed building is a very marked if not predominant feature".
- "The proposed building is of an incompatible design its height, bulk, 'cladding', dark colours, 'wall to wall' glass windows, and sited/set back only 1.585 metres from a heritage building of importance (Coreen)".
- "The design of the development is not in any way subservient and complementary to the place".
- "the proposed building will dominate the place, with at least two (level 3 and level 4) storeys showing clearly and blocking the sky above the roofline of 'Coreen'".
- "The proposed development is sited in the centre of a precinct with a cluster of buildings of significant cultural heritage value and it has no resemblance or sensitivity to any of them".
- "The design and siting of the proposed building at 190 Macquarie Street does not comply with any of the relevant design criteria/conservation policy listed in Table E13.2, as the concept of the proposed building is a modern, glass and cladding cube, and an angled roof top terrace has only compounded the overall negative impact on the precinct".
- "The proposed dwelling place is in an inappropriate site for a residential development for multiple dwellings".
- "The site has a restricted access from one of Hobart's busiest roads, recently transferred to State Government management as a result of heavy usage and congestion. Adding four dwellings, and the associated increased traffic load would seem to make little sense".
- "All traffic and personnel movements for access and egress must use a shared common space, (The Carpark) (Stratum Title CT96378/0) which currently has Council approval for use by a specialist dental practice with approval related to appropriate

ambulance, emergency and disabled access to the entrance opening onto the rear part of the carpark".

- "Appropriate car parking for patients has also been mandated by Hobart Council. Tasos Pty Ltd was granted approval for use as 'Dental Surgery' 06/06/1997, application No 970263".

- "Parking for the proposed development has been presented as occupying the stratum titled common ground Stratum Title CT96378/0. This area as reconfigured cannot accommodate the appropriate numbers of car parks to satisfy the requirements of both Flat 1 and Flat 2. This crucial matter has not been addressed either in the proposal or with the other interested party, and may therefore have created an impasse".

- "The proposed development of residential accommodation in such close proximity is inconsistent with the commercial activity of the precinct".

- "The application makes no suggestion of mitigation strategies in relation to The Duke's trading and license arrangements and how the proposed development would harmonise with the surrounding commercial activities".

- "The proposed development is flanked on all sides with commercial activity".

- "the proposal is inconsistent with the Hobart Interim Planning Scheme 2015...zone purpose because the proposed residential development referred to in subclause 22.1.1.4 is actually replacing a core commercial activity rather than being developed within or surrounding the commercial activity".

- "The community's sense of place is one of a heritage commercial precinct. Surely residential development in the centre of a heritage commercial precinct is inappropriate".

- "The proposed development does not reflect any characteristics of the surrounding heritage, commercial built environment, does not blend in or pay respect to the precinct".

- "The application should be refused because it does not provide an assessment of Aboriginal heritage potential, mitigations and management strategies".

- "The application should be refused because the proposed development will exacerbate the traffic congestion particularly around the entry/access to the site".

- "Parking at the site is contested. This will not be resolved by the proposed development but only made worse particularly with residents' visitors for example".

- "the positioning of the bank of letterboxes at the entry and exit of the site will completely block the site in. This creates barriers to

passive surveillance and poses a risk of increased criminal activity in the commercial zone".

There is limited parking on and around the proposed development. The loss of a single parking space on Macquarie Street will adversely impact The Duke and adversely impact commercial operations in the commercial zone".

"large commercial vehicular access to drain, clean and service The Duke's TasWater approved grease trap will be limited by permanent resident parking and intermittent visitor parking".

"The application provides a risk assessment in relation to the walnut tree listed on the Hobart City Council's Significant Tree Register. The arborist's report points out the risks to the tree and the likelihood of survival but makes no mitigation strategies. The application should be refused because of the inadequacy of mitigation strategies to protect the tree".

"Residential accommodation and the kind of commercial enterprise represented by the Duke of Wellington Hotel are incompatible. This application does not address requirements in relation to the operation of a late night music and entertainment venue such as the Duke".

"The proposal pays scant regard to the heritage value of the precinct and there is no mention of an archaeological assessment being undertaken".

"Traffic congestion in the vicinity will not be improved by this development".

"Although it is stated that the walnut tree will be saved, it is very likely that excavation and construction work will damage its root system. There does not appear to be adequate provision for protecting the tree".

"the proposed building is not in keeping in its style, materials or aspect with the surrounding historically significant properties".

"it is difficult to see how the position of the building is appropriate for residential dwellings, being that there will be limited parking for residents and an increase in vehicular and pedestrian traffic through the existing car park, which must be accessed from one of the busiest and most congestion prone roads through the city".

"Allowing this development to proceed will markedly affect the current appeal of the building facades and street profile".

"It is very difficult to see how this development offers benefits in the short or long term to the city or will result in a safe residential space".

6. Assessment

- 6.1 The *Hobart Interim Planning Scheme 2015* is a performance based planning scheme. To meet an applicable standard, a proposal must demonstrate compliance with either an acceptable solution or a performance criterion. Where a proposal complies with a standard by relying on one or more performance criteria, the Council may approve or refuse the proposal on that basis. The ability to approve or refuse the proposal relates only to the performance criteria relied on.
- 6.2 The site is located within the Central Business Zone of the *Hobart Interim Planning Scheme 2015*.
- 6.3 There is no existing use as the site is currently vacant. The site has most recently been occupied by a printing business. This previous use is within the planning scheme's General Retail and Hire use class which is a permitted use in the above zone. The proposed use is multiple dwellings which are within the planning scheme's Residential use class. This use class is permitted if above ground level but is otherwise discretionary in the above zone. The proposed use is therefore discretionary as residential development is proposed at ground level. Clause 8.10.2 of the planning scheme states that:

In determining an application for a permit for a discretionary use the planning authority must, in addition to the matters referred to in subclause 8.10.1, have regard to:

- (a) the purpose of the applicable zone;*
- (b) any relevant local area objective or desired future character statement for the applicable zone;*
- (c) the purpose of any applicable code; and*
- (d) the purpose of any applicable specific area plan,*

but only insofar as each such purpose, local area objective or desired future character statement is relevant to the particular discretion being exercised.

The proposal is considered to be consistent with the purpose of the applicable zone, i.e. the Central Business Zone, as it would facilitate high density residential development upon a site surrounding the core commercial activity centre, that is accessible by public transport, walking, and cycling. There are no relevant local area objectives. As discussed later in the report, the proposal is considered to comply with the relevant Desired Future Character Statements. The applicable codes include the Parking and Access Code, the Stormwater Management Code, the Attenuation Code, and the Historic Heritage Code. The proposal is consistent with the respective purpose statements for the applicable codes because:

- sufficient parking would be provided on-site to meet the reasonable requirements of users and to minimise on-street parking while safe and efficient access would be provided to the road network for all users,
- stormwater from the development would be managed in a way that is consistent with the State Stormwater Strategy,
- the proposal would minimise the likelihood for sensitive use to conflict with uses with potential to cause environmental harm, and,
- the proposal would protect the historic cultural heritage significance of places, precincts, and areas of archaeological potential.

There is no applicable specific area plan.

6.4 The proposal has been assessed against:

6.4.1 22.0 Central Business Zone

6.4.2 E5.0 Road and Railway Assets Code

6.4.3 E6.0 Parking and Access Code

6.4.4 E7.0 Stormwater Management Code

6.4.5 E9.0 Attenuation Code

6.4.6 E13.0 Historic Heritage Code

6.4.7 E24.0 Significant Trees Code

6.5 The proposal relies on the following performance criteria to comply with the applicable standards:

6.5.1 22.0 Central Business Zone:

22.4.2 *Setback P1*,
22.4.3 *Design P1*, and,
22.4.4 *Passive Surveillance P1*.

6.5.2 E9.0 Attenuation Code:

E9.7.2 Development for Sensitive Use in Proximity to Use with Potential to Cause Environmental Harm

6.5.3 E13.0 Historic Heritage Code:

*E13.7.1 Demolition,
E13.7.2 Buildings and Works other than Demolition P1, P2, and P3;
E13.8.1 Demolition,
E13.8.2 Buildings and Works other than Demolition P1, and,
E13.10.1 Building, Works and Demolition.*

6.5.4 E24.0 Significant Trees Code:

E24.6.1 Lopping, pruning, removal or destruction of significant trees

6.6 Each relevant performance criterion is assessed below.

6.7 22.0 Central Business Zone - 22.4.2 Setback P1

6.7.1 The acceptable solution A1 at clause 22.4.2 requires building setback from frontage to be no more than 0m.

6.7.2 The proposal includes a building setback from frontage of more than 0m. The proposed building would be setback from the site frontage with Macquarie Street by approximately 24.5m.

6.7.3 The proposal does not comply with the above acceptable solution and therefore relies upon assessment against the below performance criterion.

6.7.4 The performance criterion P1 at clause 22.4.2 provides as follows:

Building setback from frontage must satisfy all of the following:

- (a) be consistent with any Desired Future Character Statements provided for the area;*
- (b) be compatible with the setback of adjoining buildings, generally maintaining a continuous building line if evident in the streetscape;*
- (c) enhance the characteristics of the site, adjoining lots and the streetscape;*
- (d) provide for small variations in building alignment only where appropriate to break up long building facades, provided that no potential concealment or entrapment opportunity is created;*
- (e) provide for large variations in building alignment only where appropriate to provide for a forecourt for space for public use, such as outdoor dining or landscaping, provided the that no potential concealment or entrapment opportunity is created and the forecourt is afforded very good passive surveillance.*

- 6.7.5 The relevant Desired Future Character Statements provided for the area are listed at clause 22.1.3.1. The statements listed at clause 22.1.3.2 are not considered relevant as the proposed development would not be above the street wall and would be contained within the Amenity Building Envelope. The objectives at clause 22.1.3.1 state:

(a) That the Central Business Zone provides a compact built focus to the region, reflecting an appropriate intensity in its role as the heart of settlement.

(b) That the Central Business Zone develops in a way that reinforces the layered landform rise back from the waterfront, having regard to the distinct layers of the landform, respecting the urban amphitheatre, including the amphitheatre to the Cove, while providing a reduction in scale to the Queens Domain, the Domain and Battery Point headlands and the natural rise to Barracks Hill (see Figures 22.7 and 22.8).

(c) That the Central Business Zone consolidates within, and provides a transition in scale from, its intense focus in the basin, acknowledging also the change in contour along the Macquarie Ridge, including both its rising and diminishing grades, including to the low point of the amphitheatre to the Cove (see Figures 22.7, 22.8 and 22.9).

(d) That the historic cultural heritage values of places and precincts in the Central Business Zone be protected and enhanced in recognition of the significant benefits they bring to the economic, social and cultural value of the City as a whole.

- 6.7.6 The proposal is considered to be consistent with the above statement at sub-clause (a) as it would achieve an appropriate intensity of development on the site, and therefore assist in maintaining a compact built focus within the Central Business Zone. The proposal is considered to be consistent with the above statement at sub-clause (b) as it would reinforce and have regard to the distinct layers of the landform around the site. The proposal would maintain the existing reduction in the scale of buildings toward the natural rise of Barracks Hill.

- 6.7.7 The proposal is consistent with a transition in scale from the intense focus of the Central Business Zone within the Central Hobart basin, to a less intensive scale at the periphery of the zone. The proposed development would also reinforce the rise in contour along the Macquarie Ridge. Therefore, the proposal is considered to be consistent with the above

statement at sub-clause (c). As detailed in the assessment of the proposal against the relevant provisions of the planning scheme's Historic Heritage Code provided later in the report, the proposal is considered to provide adequate protection for the relevant heritage places and precincts. The proposal is therefore considered to be consistent with the above statement at sub-clause (d).

- 6.7.8 The proposed setback from frontage is considered to compatible with that of adjoining buildings. The term "compatible" is not defined in the planning scheme. However, in a recent decision of the Resource Management and Planning Appeal Tribunal (*Henry Design and Consulting v Clarence City Council & Ors* [2017] TASRMPAT 11) compatible was considered to mean "consistent with, similar to, in harmony with, and in broad correspondence with". The proposed setback from frontage would be consistent with and similar to that achieved by the adjoining building to the south-west, at the rear of the property at 5 and 7 Barrack Street. This building is well set back from the respective frontage and to the rear of buildings built close to the frontage. The proposed setback from frontage is considered to be in harmony with that of adjoining buildings as it would allow for visual separation between existing and proposed development, thereby ensuring that the setback contributes positively to streetscape as required by the objective for the above clause. The proposal would not affect the generally continuous building line evident in the surrounding streetscape as the proposed development would be to the rear of a building which would maintain this line.
- 6.7.9 The proposed setback from frontage would enhance the characteristics of the site, adjoining lots, and the streetscape by providing visual separation between the generally one or two storey buildings found on or close to frontages and the higher proposed building. This separation would maintain the existing buildings as the dominant elements in the streetscape. The proposal is not considered to include a variation in building alignment as it would not affect the existing relationship of buildings to Macquarie Street - i.e. the proposed building would be to the rear of an existing building.
- 6.7.10 The proposal complies with the above performance criterion.
- 6.8 22.0 Central Business Zone - 22.4.3 *Design* P1
- 6.8.1 The acceptable solution at clause 22.4.3 requires a new building to provide windows and door openings at ground floor level in the front façade equivalent to no less than 40% of the surface area of the ground

floor level façade.

- 6.8.2 The proposal includes windows and door openings at ground floor level in the front façade which would be equivalent to less than 40% of the surface area of the ground floor level façade.
- 6.8.3 The proposal does not comply with the above acceptable solution and therefore relies upon assessment against the below performance criterion.
- 6.8.4 The performance criterion at clause 22.4.3 provides as follows:

Building design must enhance the streetscape by satisfying all of the following:

- (a) provide the main access to the building in a way that addresses the street or other public space boundary;*
- (b) provide windows in the front façade in a way that enhances the streetscape and provides for passive surveillance of public spaces;*
- (c) treat large expanses of blank wall in the front façade and facades facing other public space boundaries with architectural detail or public art so as to contribute positively to the streetscape and public space;*
- (d) ensure the visual impact of mechanical plant and miscellaneous equipment, such as heat pumps, air conditioning units, switchboards, hot water units or similar, is insignificant when viewed from the street;*
- (e) ensure roof-top service infrastructure, including service plants and lift structures, is screened so as to have insignificant visual impact;*
- (f) not provide awnings over the public footpath only if there is no benefit to the streetscape or pedestrian amenity or if not possible due to physical constraints;*
- (g) only provide shutters where essential for the security of the premises and other alternatives for ensuring security are not feasible;*
- (h) be consistent with any Desired Future Character Statements provided for the area.*

- 6.8.5 The main access to the building would address and be visible from Macquarie Street. Extensive glazing would be provided within the north elevation of the building which would face this street. The proposal would therefore enhance the streetscape by including windows that would provide activation and ensure that the development addresses the street. While the proposed building would be partially screened by the existing building at the front of the property, the amount of glazing proposed within the north elevation would ensure some measure of passive surveillance is

provided.

- 6.8.6 The proposal does not include large expanses of blank in the front facade. The proposed development would not include facades that face other public space boundaries as the site is an internal lot. An attic space to the rear of the proposed roof top terrace is designated for services. Therefore, any mechanical plant, miscellaneous equipment, and roof-top service infrastructure would be screened to ensure that it has an insignificant visual impact when viewed from the site.
- 6.8.7 As noted above, the site is a rear lot so it is not physically possible for the development to provide awnings over a public footpath. Security shutters are not proposed. As discussed earlier in the report, the proposal is considered to be consistent with the relevant Desired Future Character Statements.
- 6.8.8 The proposal complies with the above performance criterion.
- 6.9 22.0 Central Business Zone - 22.4.4 *Passive Surveillance* P1
- 6.9.1 The acceptable solution at clause 22.4.4 requires requires a new building to provide windows and door openings at ground floor level in the front façade equivalent to no less than 40% of the surface area of the ground floor level façade.
- 6.9.2 The proposal includes windows and door openings at ground floor level in the front façade which would be equivalent to less than 40% of the surface area of the ground floor level façade.
- 6.9.3 The proposal does not comply with the above acceptable solution and therefore relies upon assessment against the below performance criterion.
- 6.9.4 The performance criterion at clause 22.4.4 provides as follows:

Building design must provide for passive surveillance of public spaces by satisfying all of the following:

- (a) provide the main entrance or entrances to a building so that they are clearly visible from nearby buildings and public spaces;*
- (b) locate windows to adequately overlook the street and adjoining public spaces;*
- (c) incorporate shop front windows and doors for ground floor shops and*

offices, so that pedestrians can see into the building and vice versa;
(d) locate external lighting to illuminate any entrapment spaces around the building site;
(e) provide external lighting to illuminate car parking areas and pathways;
(f) design and locate public access to provide high visibility for users and provide clear sight lines between the entrance and adjacent properties and public spaces;
(g) provide for sight lines to other buildings and public spaces.

- 6.9.5 As noted above, the main entrance to the proposed building would be clearly visible from Macquarie Street. The entrance would also be visible from some parts of the adjoining buildings. As also noted above, the north elevation of the building would include substantial glazed areas, some of which would overlook Macquarie Street. The proposal does not include shops or offices so the above sub-clause (c) is not considered relevant. The proposal is not considered to create entrapment spaces, and lighting would be provided for the proposed car parking areas and pathways. Given that the site is an internal lot, the proposed building would not affect sight lines between other buildings and public spaces such as Macquarie Street and the other nearby streets.
- 6.9.6 The proposal complies with the above performance criterion.
- 6.10 E9.0 Attenuation Code - *E9.7.2 Development for Sensitive Use in Proximity to Use with Potential to Cause Environmental Harm P1*
- 6.10.1 There is no acceptable solution for *E9.7.2* which applies where sensitive use is proposed within the attenuation distance prescribed for an activity listed within Table *E9.1*.
- 6.10.2 The proposal includes a new sensitive use (i.e. the proposed residential use) that would be within the attenuation distance of a listed activity within Table *E9.1*. The site is within 200m of the Duke of Wellington Hotel, which is a late night music venue. A late night music venue is a listed activity in Table *E9.1*.
- 6.10.3 As there is no acceptable solution for the above clause, the proposal relies upon assessment against the below performance criterion.
- 6.10.4 The performance criterion at clause *E9.7.2* provides as follows:
- Development for sensitive use, including subdivision of lots within a*

sensitive zone, must not result in potential to be impacted by environmental harm from use with potential to cause environmental harm, having regard to all of the following:

(a) the nature of the use with potential to cause environmental harm; including:

(i) operational characteristics;

(ii) scale and intensity;

(iii) degree of hazard or pollution that may emitted from the activity;

(b) the degree of encroachment by the sensitive use into the Attenuation Area or the attenuation distance;

(c) measures in the design, layout and construction of the development for the sensitive use to eliminate, mitigate or manage effects of emissions

- 6.10.5 Council's Environmental Development Planner has considered the proposal against the above performance criterion and provided the following comments:

Approval is sought for demolition of the existing building and the development of [an] apartment building ...at strata unit 2, 190 Macquarie Street, Hobart.

Attenuation Code

A representation was received during the public exhibition of the application advising that an adjacent property at 192 Macquarie Street, the Duke of Wellington Hotel, is a late night music venue. The letter indicates that 'the Duke is currently trading as a music and entertainment venue with an out-of-hours trading license 6 days and nights per week up to 4am'.

The Attenuation Code therefore applies because development for 'sensitive use' is proposed within the attenuation distance (200m) of an activity listed in Table E9.1 of the Code. No Code exemptions apply.

The relevant standards are under clause E9.7.2 'Development for Sensitive Use in Proximity to Use with Potential to cause Environmental Harm'. There is no acceptable solution for A1.

Performance criterion P1 states the following:

Development for sensitive use, including subdivision of lots within a sensitive zone, must not result in potential to be impacted by environmental harm from use with potential to cause environmental harm, having regard to all of the following:

(a) the nature of the use with potential to cause environmental harm; including:

(i) operational characteristics;

(ii) scale and intensity;

(iii) degree of hazard or pollution that may emitted from the activity;

(b) the degree of encroachment by the sensitive use into the Attenuation Area or the attenuation distance;

(c) measures in the design, layout and construction of the development for the sensitive use to eliminate, mitigate or manage effects of emissions

'Environmental harm' is defined under the Environmental Management and Pollution Control Act 1994 as 'any adverse effect on the environment (of whatever degree or duration) and includes an environmental nuisance'. 'Environmental nuisance' is defined as:

(a) the emission, discharge, depositing or disturbance of a pollutant that unreasonably interferes with, or is likely to unreasonably interfere with, a person's enjoyment of the environment; and

(b) any emission, discharge, depositing or disturbance specified in an environment protection policy to be an environmental nuisance;

The Environment Protection Policy (Noise) 2009 does not specify environmental nuisances for noise.

As the applicability of the Attenuation Code was not detected during the initial stage of assessment, no additional information was requested under section 54 of the Act, and no documentation addressing the Code was submitted with the application.

Little is known about the operational characteristics, scale,

intensity and level of noise emissions from the venue other than what has been indicated in the representation and what is published on the venue's website. The representation states 'access and egress (stairs) to The Duke's popular first floor private function room is on the northern side of the building where the development is proposed and there is a substantial outdoor area with seating and pool table directly overlooking the proposed development'.

The venue's website indicates that:

- *the venue is open 6 days a week from 11.30am until 'late' Mon-Fri and 5pm until 'late' on Saturdays;*
- *the venue has live music every Tuesday, Thursday and Friday, starting from either 7.30 or 8.00pm; and*
- *the venue has a first floor function room with a dance floor and sound system.*

Google Streetview images suggest that the outdoor dining area is roofed but not fully enclosed by walls/glazing.

Based on the above information, in my opinion there is potential for the residents of the proposed apartments to be subject to noise emissions from the music venue that constitute an environmental nuisance. In my opinion, based on the available information, the most likely scenarios that could cause an environmental nuisance are noise from patrons using the outdoor area, and sound system noise from the upstairs function room, particularly if doors are left open or are opened frequently. However it is difficult to estimate the nuisance risk from sound system noise without knowing how loud the sound system is usually operated.

A review of Council records suggests that no noise complaints concerning The Duke Hotel have been received by Council in recent years. However, it should be noted that there are currently few residences in the immediate area.

The proposed residential development would be located very close to the music venue, with a minimum separation of approximately 11m. The attenuation distance for a late night music venue under the Code is 200m.

The application documents indicate some features of the building design that will assist in minimising noise levels for the

apartments including:

- *double-glazed windows with acoustic rating at the front of the apartments closest to the hotel; and*
- *no fenestration or other openings on the south-western facade of the proposed building.*

Of most concern are the decks/courtyard, living and dining areas of the apartments on the north-western end of the proposed building. These will have line-of-sight to the outdoor area and upstairs function room of the music venue and would have a horizontal separation distances of around 11-30m.

Provided that appropriate noise-attenuating glazing is utilised for the windows and/or sliding doors on the front (north-western elevations) of the apartments, I think it is likely that the internal spaces of the apartments would not be unreasonably affected by noise generated from the music venue.

It is considered likely that residents using the decks and courtyard on the north-western end of the proposed building could be subject to unreasonable noise impacts from the late night music venue without mitigation measures such as acoustic screens and/or the ability to enclose courtyard/balcony areas.

The safest position for Council to take would be to refuse the application on the basis that it has not demonstrated that future residents of the proposed building would not be impacted by environmental harm (noise nuisance) from the late night music venue. However, in my opinion it is likely that noise mitigation measures can be required by condition to be incorporated into the design of the building, based on [an] acoustic assessment by a suitably qualified person, that would prevent unreasonable noise impact upon the future residents of the proposed building, without requiring such extensive modifications that such a condition would be considered 'tantamount to refusal' given the scale and value of the project.

A condition is therefore recommended for any permit granted requiring the submission and approval of a noise impact assessment by a suitably qualified person, and the implementation of all recommended mitigation measures considered necessary to ensure that future residents of the building are not subject to environmental harm.

Representations**Matter Raised****Response**

The proposed development of residential accommodation in such close proximity is inconsistent with the commercial activity of the precinct and poses a serious threat to The Duke continuing to trade.

The application should only be approved if the planning authority is satisfied that the proposed development will not have the potential to be impacted by environmental harm by noise from the existing music venue. This has not been adequately demonstrated in the application, however in my opinion it is likely that mitigation measures can be incorporated into the building's design to ensure future residents are not subject to unreasonable noise nuisance from the venue.

Access and egress (stairs) to The Duke's popular first floor private function room is on the northern side of the building where the development is proposed and there is a substantial outdoor area with seating and pool table directly overlooking the proposed development'.

Refer to discussion above.

The application makes no suggestion of mitigation strategies in relation to The Duke's trading and license arrangements and how the proposed development would harmonise with the surrounding commercial activities.

Agree.

The application should be rejected as it does not address requirements in relation to the operations of the late-night venue nor does it pose mitigation strategies as to how the development will not impinge of The Duke's trading arrangements.

While the safest position for Council to take would be to refuse the application on the basis that it has not demonstrated that future residents of the proposed building would not be subject to environmental harm (noise nuisance) from the late night music venue, in my opinion it is likely that noise mitigation measures can be required by condition to be incorporated into the design of the building, based on a acoustic assessment by a suitably qualified person, that would prevent unreasonable noise impacts upon future residents.

There are no plans to safeguard against impact of noise from the existing live music venue at 190 Macquarie Street.

Agree.

A residential apartment building and a live music venue in such close proximity to each other would inevitably give rise to noise complaints by the residents of the new development. In an effort to answer such complaints, the onus could well be placed on the Duke to provide noise mitigation measures. Such measures are not often successful and there are precedents in other cities for the difficulties of trying to meet such requirements forcing the business to close. The Duke is a valuable asset to the Hobart community and the potential of the proposed development to put its future in jeopardy needs to be recognised.

Agree.

If approved, the disturbance from construction noise and vibration to the medical practice will be severely detrimental to patients' wellbeing, and the ability of medical staff to carry out their tasks. What protection can be provided to ensure that the medical practice at 5A Barrack Street is not significantly impacted in this way?

Construction noise isn't a matter addressed by the planning scheme.

We run a business from our building which is open from Monday to Friday from 8.30am to 6.00pm and on Saturday mornings. The nature of our work requires a quiet, calm atmosphere.

We are concerned that the noise during development is going to impact significantly on our business, both in the amenity to our staff and patients and financially if our capacity to carry out our services is reduced.

We believe that the noise will be sufficient to make consulting rooms, treatment room and reception area along the back wall adjacent to the development unusable during the use of heavy machinery.

We request the council to apply conditions to this work to limit the impact on our business by ensuring noise in this area happens outside our business hours, is minimised and suitable notice be given.

Construction noise isn't a matter addressed by the planning scheme.

Recommended Conditions:

Noise impact assessment and mitigation measures

Soil and Water Management Plan

Recommended Advice:

N/A

- 6.10.6 With the inclusion of conditions as recommended, the proposal complies with the above performance criterion.

6.11 E13.0 Historic Heritage Code - E13.7.1 Demolition (Heritage Place) P1

- 6.11.1 There is no acceptable solution for clause E13.7.1 which applies where demolition of a heritage place is proposed.
- 6.11.2 The proposal includes demolition of the existing building on the site. The site is listed as a heritage place in Table E13.1.
- 6.11.3 As there is no acceptable solution for the above clause, the proposal relies upon assessment against the below performance criterion.
- 6.11.4 The performance criterion at clause E13.7.1 provides as follows:

Demolition must not result in the loss of significant fabric, form, items, outbuildings or landscape elements that contribute to the historic cultural heritage significance of the place unless all of the following are satisfied;

- (a) there are, environmental, social, economic or safety reasons of greater value to the community than the historic cultural heritage values of the place;*
- (b) there are no prudent and feasible alternatives;*
- (c) important structural or façade elements that can feasibly be retained and reused in a new structure, are to be retained;*
- (d) significant fabric is documented before demolition.*

- 6.11.5 Council's Cultural Heritage Officer has assessed the proposed demolition against the above performance criterion and provided the following comments:

Demolition as part of this proposal is limited to works/excavation associated with services and access for the apartments, foundations for the new building and the demolition of all structures within the subject strata lot. The existing building is a concrete block construction with a metal skillion roof structure.

The significant tree is visible from the street and makes a positive contribution to the street and setting of the listed building. It is listed for the following reason:

"The tree forms a significant component in the streetscape in an area where there is a lack of garden." (Category 6 - Trees that have local significance) It is therefore considered that a comprehensive Construction Management Plan that references

the Australian Standard would help protect the tree.

The structure itself is not a significance form or item. It does not have significant fabric within it that contributes to the heritage significance of the place. Therefore, there is no heritage loss and as such, the proposal satisfies E13.7.1 P1.

6.11.6 The proposal complies with the above performance criterion.

6.12 E13.0 Historic Heritage Code - *E13.7.2 Buildings and Works other than Demolition (Heritage Place)* P1, P2, P3

6.12.1 There are no relevant acceptable solutions for clause *E13.7.2*, which applies where buildings and works other than demolition are proposed upon a heritage place.

6.12.2 The proposal includes buildings and works other than demolition and the site is listed as a heritage place in Table *E13.1*.

6.12.3 As there are no relevant acceptable solutions for the above clause, the proposal relies upon assessment against the below performance criteria.

6.12.4 The relevant performance criteria at clause *E13.7.2* provide as follows:

P1

Development must not result in any of the following:

(a) loss of historic cultural heritage significance to the place through incompatible design, including in height, scale, bulk, form, fenestration, siting, materials, colours and finishes;

(b) substantial diminution of the historic cultural heritage significance of the place through loss of significant streetscape elements including plants, trees, fences, walls, paths, outbuildings and other items that contribute to the significance of the place.

P2

Development must be designed to be subservient and complementary to the place through characteristics including:

(a) scale and bulk, materials, built form and fenestration;

(b) setback from frontage;

- (c) siting with respect to buildings, structures and listed elements;
- (d) using less dominant materials and colours.

P3

Materials, built form and fenestration must respond to the dominant heritage characteristics of the place, but any new fabric should be readily identifiable as such.

- 6.12.5 Council's Cultural Heritage Officer has assessed the proposed buildings and works against the above performance criteria and provided the following comments:

It is clear that the proposed apartment block will be taller than surrounding buildings and will be visible from some view points. The proposal has four levels of apartments with a partially covered open courtyard/deck on the roof and as such its visibility is unavoidable particularly given that immediately surrounding buildings range in height from one to two to two storeys with attic space and the fact that the proposal is located on the higher end of the ridgeline. (see pages 110-121 of the Praxis Report for the applicant's assessment of the proposal).

However, within this block bounded by Barrack, Macquarie, Harrington and Davey Street there are already buildings that are four and five storeys high located to the rear or internally to the block. The overall effect is of a stepped massing to the centre of the block and while these four and five storey buildings are visible above the roof lines of the buildings around the edge, no one building is individually prominent. As such the cohesiveness of the streetscape of listed buildings remains strong as does the overall character of this particular block.

The proposed apartment block is not considered to be of a design that is incompatible to [Coreen], although it is recognised that [it] has a modern appearance with contemporary materials and character. The proposed materials, colours, finishes and fenestration, scale, height, bulk and form of the building are not considered to be incompatible, but the proposal would benefit from further resolution of the external finishes, colours and materials. This could be achieved by a condition of permit. There is no loss of streetscape elements that contribute to the significance of the place. It is therefore considered that the proposal satisfies E13.7.2

P1.

As already outlined above, the apartment block is behind [Coreen] which is on the same listed site. The proposed apartments are taller than [Coreen] but are set to the rear. The distance between the two varies depending on where the measurements are taken. The strata lot has a faceted frontage facing Macquarie Street and therefore the proposed building is also somewhat faceted. For example, the distance between the rear narrower two storey segment along the north east boundary is 6.8 metres to the rear courtyard wall of apartment 1. On the other hand, the wall of the dining area of apartment 1 is closer and is 4.8 metres from that same rear extension of [Coreen]. The overall distance of the strata lot of the proposed apartments from the Macquarie Street frontage is 23.4 metres. As such, [Coreen] remains dominant in the street with the new apartments as a layer, albeit a taller one, to the rear. While the Praxis report states that the "proposed building utilises a recessive and subdued colour and materials palette which is complementary to the existing heritage building and those in the near surrounds", this is not explicit in the photomontage and architectural renderings. A condition is therefore recommended for any permit granted requiring the submission of a more comprehensive materials and colour palette to achieve this end. On this basis, it is considered that the proposal satisfies E13.7.2 P2.

For the reasons outlined above, the proposal does demonstrate a built form that is not inconsistent with the heritage values of the place and utilises materials and fenestration pattern that does likewise. Clearly the fabric of the new development will be readily identifiable as new. In this respect, the proposal satisfies E13.7.2 P3 with the condition recommended in the discussion for E13.7.2 P1 and P2.

6.12.6 The proposal complies with the above performance criteria.

6.13 E13.0 Historic Heritage Code - E13.8.1 Demolition (Heritage Precinct) P1

6.13.1 There is no acceptable solution for clause E13.8.1 which applies where demolition on a site that is within a heritage precinct is proposed.

6.13.2 The proposal includes demolition and the site is within the Hobart 1 Heritage Precinct.

- 6.13.3 As there is no acceptable solution for the above clause, the proposal relies upon assessment against the below performance criterion.

- 6.13.4 The performance criterion at clause E13.8.1 provides as follows:

Demolition must not result in the loss of any of the following:

(a) buildings or works that contribute to the historic cultural heritage significance of the precinct;

(b) fabric or landscape elements, including plants, trees, fences, paths, outbuildings and other items, that contribute to the historic cultural heritage significance of the precinct;

unless all of the following apply;

(i) there are, environmental, social, economic or safety reasons of greater value to the community than the historic cultural heritage values of the place;

(ii) there are no prudent or feasible alternatives;

(iii) opportunity is created for a replacement building that will be more complementary to the heritage values of the precinct.

- 6.13.5 Council's Cultural Heritage Officer has assessed the proposed demolition against the above performance criterion and provided the following comments:

Demolition as part of this proposal is limited to works/excavation associated with the services and access, foundations for the building and the removal of all structures within the subject site. The existing building is built of concrete block and has a metal skillion roof. This structure, which dates to the c.1980s is not significant within the precinct having a neutral presence and is not a building due to its design, form and location that contributes to the heritage significance of the place.

As discussed above, the proposal will require a comprehensive and well executed Construction Management Plan for the works to satisfy subclause (b) given there is potential for the works, including excavation for footings, and construction vehicle movements and deliveries, to result in the loss or damage of tree roots or limbs of the significant tree, not to mention detriment to its long term health and vigour. This can be achieved by a condition of permit.

The matter of the potential damage or destruction of a rose of cultural heritage value located on a neighbouring property during demolition and construction can be addressed by a condition of permit requiring the rose on its climbing frame to be supported and ...protected during construction to the satisfaction of the neighbouring land owner.

The replacement building is four storeys high with a partially roofed courtyard on the top. It has a face brick wall at ground level, metal louvres and steel powdercoated balustrades. On the east elevation the walls and roof are finished in Colorbond in Basalt (mid to dark grey) and a brick veneer cladding. The west elevation is finished in pre-cast concrete panels with rebates and a sandblasted finish and the south elevation includes a lightweight wall cladding. While colours are not specified, there is some evidence of what is being proposed in the photo montages with colours shown in browns and greys with the brick pattern on the south elevation that is often called 'hit and miss' brickwork which is visible from Davey Street. Even without the colour specifics, the design of the proposed building is relatively well resolved in detail, has articulation in the elevation and introduces materials and detailing that show some relationship to the building materials already used within the precinct. In this respect, it could be argued that the replacement building, based on its siting within the centre of the block and use of materials is more complementary to the heritage values of the precinct than the existing building.

Therefore, when assessed against clause E13.8.1 P1 it is considered that the proposal complies.

6.13.6 The proposal complies with the performance criterion.

6.14 E13.0 Historic Heritage Code - *E13.8.2 Buildings and Works other than Demolition (Heritage Precinct) P1*

6.14.1 There are no relevant acceptable solutions for clause *E13.8.2* which applies where buildings and works other than demolition are proposed upon a site that is within a heritage [precinct].

6.14.2 The proposal includes buildings and works other than demolition and the site is within the Hobart 1 Heritage Precinct.

6.14.3 As there are no relevant acceptable solutions for the above clause, the

proposal relies upon assessment against the below performance criteria.

- 6.14.4 The relevant performance criteria at clause E13.8.2 provide as follows:

Design and siting of buildings and works must not result in detriment to the historic cultural heritage significance of the precinct, as listed in Table E13.2.

- 6.14.5 Council's Cultural Heritage Officer has assessed the proposed buildings and works against the above performance criterion and provided the following comments:

The Macquarie Concise Dictionary (5th edition) definition of detriment means; 'loss, damage or injury' and 'a cause of loss or damage'. The precinct, in particular this block bounded by Barrack, Macquarie, Harrington and Davey Street, has a high degree of uniformity of scale, with buildings being single, two and three storeys around the street edge with an example of four and five storey buildings within the centre. For example, at 180 Macquarie Street, the Nurses Federation building is located behind a heritage listed building, but is constructed within the centre of the block and is five [storeys] high. The top back of this building can be viewed from various locations along Davey Street and other vistas. In this situation, it is an example of how a taller building located within the centre of a block is less visible than one on the street edge when a stepped, incremental massing effect toward the centre of the block, is created. Clearly, the example at 180 Macquarie Street and the current proposal being assessed are very different in terms of the use of cladding, form, design resolution and, as such, comparisons are of a very general nature. However, in terms of the general principal of whether or not the proposed apartment block detracts from the the character of the precinct, it is considered that due to its siting and design of the development behind [Coreen], located within the centre of the block and largely obscured from view by surrounding buildings, the proposed building does not result in detriment to the continuity of scale of buildings and street space. The proposal is considered to satisfy E13.8.2 P1.

- 6.14.6 The proposal complies with the performance criterion.

- 6.15 E13.0 Historic Heritage Code - E13.10.1 *Building, Works and Demolition (Place of Archaeological Potential)* P1

- 6.15.1 The acceptable solution at clause E13.10.1 requires there to be no excavation or ground disturbance occurring in areas mapped as having archaeological potential.
- 6.15.2 The proposal includes ground disturbance and excavation within the site.
- 6.15.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.
- 6.15.4 The performance criterion at clause E13.10.1 provides as follows:

Buildings, works and demolition must not unnecessarily impact on archaeological resources at places of archaeological potential, having regard to:

(a) the nature of the archaeological evidence, either known or predicted;

(b) measures proposed to investigate the archaeological evidence to confirm predictive statements of potential;

(c) strategies to avoid, minimise and/or control impacts arising from building, works and demolition;

(d) where it is demonstrated there is no prudent and feasible alternative to impacts arising from building, works and demolition, measures proposed to realise both the research potential in the archaeological evidence and a meaningful public benefit from any archaeological investigation;

(e) measures proposed to preserve significant archaeological evidence 'in situ'.

- 6.15.5 Council's Cultural Heritage Officer has assessed the proposed excavation and ground disturbance against the above performance criterion and provided the following comments:

The application documents (Praxis Report) describes in a statement of archaeological potential what are the archaeologically sensitive areas. It confirms that the footprint of the proposed development is not within an archaeological sensitive area. It recommends that the service trenches in areas of high archaeological potential be monitored and any significant

remains managed in accordance with the Tasmanian Heritage Council's Practice Note 2 (Archaeology). This can be achieved by a condition of any permit granted. The proposal complies with E13.10.1 P1.

6.15.6 The proposal complies with the performance criterion.

6.16 E24.0 Significant Trees Code - E24.6.1 - *Lopping, Pruning, Removal or Destruction* P1

6.16.1 There is no acceptable solution for works affecting listed significant trees.

6.16.2 The proposal includes works which could negatively impact the listed walnut tree growing on the site. An Aboricultural Assessment was submitted as part of the application.

6.16.3 There is no acceptable solution; therefore assessment against the performance criterion is relied on.

6.16.4 The performance criterion at clause E24.6.1 provides as follows:

The lopping, pruning, removal or destruction of any tree listed in Table E24.1 may be approved having regard to all of the following:

(a) the impact that the proposed tree removal, lopping or pruning would have on the character of the area or the appearance of development on the site;

(b) whether the removal or destruction of the tree is appropriate due to the tree being near the end of its expected life span or being in poor health;

(c) the proposed means of lopping, pruning, destruction or removal of vegetation;

(d) the need to maintain and protect the amenity value of the tree and the general area and its landscape and heritage significance;

(e) any hazards the tree poses to the health, welfare and safety of persons and to property;

(f) the impact on the appearance or setting of any place of cultural heritage significance;

(g) whether pruning or lopping will adversely affect the health, appearance or significance of the tree;

(h) any proposed replacement plantings.

6.16.5 Council's Cultural Heritage Officer, Program Leader Arboriculture &

Nursery and Park Planner have been involved in consideration of the potential impacts upon the listed tree. The Cultural Heritage Officer states:

No works to the tree are being proposed per se, however the applicant's arborists report does note that the works around the tree could impact negatively on the tree. Works will include excavation around the base of the tree for services, vehicular traffic such as cranes and trucks, for delivery and construction and changes to the ground surface post the completion of the development. A condition is therefore recommended for any permit granted requiring a comprehensive Construction Management Plan that uses the Australian Standard AS 4970-2009 Protection of trees on development sites. Therefore the proposal satisfies E24.6.1 P1.

The Program Leader Arboriculture & Nursery and Park Planner have raised some concerns regarding landscaping within the site and the development's close proximity to the tree. They have recommended conditions regarding a revised landscape plan that retains landscaping close to the walnut tree and also the implementation of tree protection measures as recommended in the arboriculturalist's report.

6.16.6 The proposal complies with the performance criterion.

7. Discussion

- 7.1 Planning approval is sought for Demolition and New Building for Four Multiple Dwellings and Works in Road Reserve at 190 Macquarie Street and adjacent road reserve.
- 7.2 The application was advertised and received nine (9) representations. The representations raised concerns including the proposal's lack of adequate compliance with Scheme standards; its heritage impacts and lack of consistency with immediate prevailing character; its impact upon the walnut tree on the site; its impacts upon the amenity of adjoining properties and the potential for nearby uses to be unfairly compromised by the insertion of residential use; strata issues; traffic, access and parking concerns. These matters have been considered in the overall assessment and have been directly addressed within this report where relevant and appropriate.
- 7.3 The proposal has been assessed against the relevant provisions of the planning scheme and is considered to perform well, subject to conditions.

7.4 The proposal has been assessed by other Council officers, including the Council's Development, Road, Traffic and Environmental Engineers, Cultural Heritage Officer, Environmental Development Planner, Parks and Aborigiculture Officers. The officers have raised no objection to the proposal, subject to conditions.

7.5 The proposal is recommended for approval.

8. Conclusion

8.1 The proposed Demolition and New Building for Four Multiple Dwellings and Works in Road Reserve at 190 Macquarie Street, HOBART and Adjacent Road Reserve satisfies the relevant provisions of the *Hobart Interim Planning Scheme 2015* and is recommended for approval.

9. Recommendations

That: Pursuant to the *Hobart Interim Planning Scheme 2015*, the Council approve the application for Demolition and New Building for Four Multiple Dwellings and Works in Road Reserve at 190 Macquarie Street, Hobart and Adjacent Road Reserve for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

GEN

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-19-3 - 190 MACQUARIE STREET HOBART TAS 7000 - Final Planning Documents except where modified below.

Reason for condition

To clarify the scope of the permit.

TW

The use and/or development must comply with the requirements of TasWater as detailed in the form Submission to Planning Authority Notice, Reference No. TWDA 2019/00028-HCC dated 30/07/2019 as attached to the permit.

Reason for condition

To clarify the scope of the permit.

ENG sw1

All stormwater from the proposed development (including but not limited to: roofed areas, ag drains, retaining wall ag drains and impervious surfaces such as driveways and paved areas) must be drained to the Council's stormwater infrastructure prior to first occupation.

Reason for condition

To ensure that stormwater from the site will be discharged to a suitable Council approved outlet.

ENG sw4

The development must be drained to Council stormwater drainage infrastructure taking into account the limited receiving capacity of Council's stormwater drainage infrastructure. Any new stormwater connection(s) required must be constructed, and existing redundant connections must be sealed, at the owner's expense prior to issue of a Certificate of Completion or first occupation, whichever occurs first.

Detailed design drawings showing both existing and proposed services must be submitted and approved, prior to issue of any consent under the *Building Act 2016* (excluding demolition or excavation). The detailed design drawings must:

1. Include the location of the proposed connections and all existing connections;
2. Include the size and design of the connection such that they are appropriate to safely service the development given the limited receiving capacity of Council infrastructure;
3. Include long-sections of the proposed connection clearly showing the clearance from any nearby / crossing services, cover, size, material and delineation of public and private infrastructure;
4. Clearly distinguish between public and private infrastructure; and
5. Be checked and certified by a qualified and experienced engineer

All work required by this condition must be undertaken in accordance with the approved detailed design drawings.

Advice:

The applicant is advised to submit detailed design drawings via a Council City Infrastructure Division [application for a new stormwater connection](#). If detailed design to satisfy this condition is submitted via the planning condition endorsement process there may be fees associated with the assessment, and once approved the applicant will still need to submit an application for a new stormwater connection with Council City Infrastructure Division.

Where building / plumbing approval is also required, it is recommended that documentation to satisfy this condition is submitted well before submitting documentation for building/plumbing approval. Failure to address planning condition requirements prior to submitting for building/plumbing approval may result in unexpected delays.

Reason for condition

To ensure the site is drained adequately.

ENG 3c

The access driveway, ramps and parking module (parking spaces, aisles and manoeuvring area) must be constructed in accordance with the approved Planning Permit documents and conditions.

Prior to the first occupation, documentation by a suitably qualified engineer certifying that the access driveway and parking module has been constructed in accordance with the approved Planning Permit documents and conditions must be submitted to Council.

Advice:

- *Certification may be submitted to Council as part of the Building Act 2016 approval process or via condition endorsement (see general advice on how to obtain condition endorsement)*

Reason for condition

To ensure the safety of users of the access and parking module, and compliance with the relevant Australian Standard.

ENG 4

The access driveway and parking module (car parking spaces, aisles and manoeuvring area) approved by this permit must be constructed to a sealed standard (spray seal, asphalt, concrete, pavers or equivalent Council approved) and surface drained to the Council's stormwater infrastructure prior to the first occupation.

Reason for condition

To ensure the safety of users of the access driveway and parking module, and that it does not detract from the amenity of users, adjoining occupiers or the environment by preventing dust, mud and sediment transport.

ENG 5

All parking spaces must be delineated by means of white or yellow lines 80mm to 100mm wide, or white or yellow pavement markers in accordance with Australian Standards AS/NZS 2890.1 2004, prior to first occupation.

Reason for condition

To ensure the provision of parking for the use is safe and efficient.

ENG 11

Prior to the first occupation, the proposed crossover to the Macquarie Street highway reservation must be designed and constructed in general accordance with:

1. **LGAT Standard Drawing - Urban - TSD-R09-v1 – Urban Roads Driveways and TSD R14-v1 Type KC vehicular crossing**
2. **LGAT Standard Drawing - Footpath - Urban Roads Footpaths TSD-R11-v1**
3. **Or a Council City Infrastructure Division approved alternate design.**

Advice:

- *Local Government Association (LGAT) Tasmanian Standard Drawings (TSD) can be viewed electronically via the [LGAT Website](#).*
- *Please note that your proposal does not include adjustment of footpath levels. Any adjustment to footpath levels necessary to suit the design of proposed floor, parking module or driveway levels will require separate agreement from Council's Road Services Engineer and may require further planning approvals. It is advised to place a note to this affect on construction drawings for the site and/or other relevant engineering drawings to ensure that contractors are made aware of this requirement.*
- *Please contact Council City Amenity Division to discuss approval of alternate designs.*
- *You are likely to require a Permit to Open Up and Temporarily Occupy a Highway (for work within the highway reservation). Click [here](#) for more information.*

Reason for condition

In the interests of vehicle user safety and the amenity of the development.

ENG 1

Any damage to council infrastructure resulting from the implementation of this permit, must, at the discretion of the Council:

1. **Be met by the owner by way of reimbursement (cost of repair and reinstatement to be paid by the owner to the Council); or**

2. **Be repaired and reinstated by the owner to the satisfaction of the Council.**

A photographic record of the Council's infrastructure adjacent to the subject site must be provided to the Council prior to any commencement of works.

A photographic record of the Council's infrastructure (e.g. existing property service connection points, roads, buildings, stormwater, footpaths, driveway crossovers and nature strips, including if any, pre-existing damage) will be relied upon to establish the extent of damage caused to the Council's infrastructure during construction. In the event that the owner/developer fails to provide to the Council a photographic record of the Council's infrastructure, then any damage to the Council's infrastructure found on completion of works will be deemed to be the responsibility of the owner.

Reason for condition

To ensure that any of the Council's infrastructure and/or site-related service connections affected by the proposal will be altered and/or reinstated at the owner's full cost.

ENG s1

Approval from Council's City Planning Division must be obtained prior to issue of any consent under the *Building Act 2016* (excluding demolition or excavation) for any changes to the existing on street parking arrangements in Macquarie Street.

Advice:

Any changes to the existing on street parking arrangements in Macquarie Street do not form part of the planning approval and will require approval from Council's Manager Traffic Engineering in a process separate to the planning process. All works will be at the developer's expense. Please contact Council's Manager Traffic Engineering with regard to the application process for any changes to the on street parking arrangements in Macquarie Street.

Any request to temporarily or permanently remove any sensor requires a written application to be submitted to the Parking Operations Unit.

<https://www.hobartcity.com.au/City-services/Parking/Integrated-Parking-System/Dial-Before-You-Dig-Parking-Sensors>

Reason for condition

To ensure that relevant approvals are obtained.

ENV 2

Sediment and erosion control measures, in accordance with an approved soil and water management plan (SWMP), must be installed prior to the commencement of work and maintained until such time as all disturbed areas have been stabilised and/or restored or sealed to the Council's satisfaction.

A SWMP must be submitted prior to the issue of any approval under the *Building Act 2016* or the commencement of work, whichever occurs first. The SWMP must be prepared in accordance with the Soil and Water Management on Building and Construction Sites fact sheets (Derwent Estuary Program, 2008), available [here](#).

All work required by this condition must be undertaken in accordance with the approved SWMP.

Advice: Once the SWMP has been approved, the Council will issue a condition endorsement (see general advice on how to obtain condition endorsement).

Where building approval is also required, it is recommended that documentation for condition endorsement be submitted well before submitting documentation for building approval. Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.

Reason for Condition

To avoid the pollution and sedimentation of roads, drains and natural watercourses that could be caused by erosion and runoff from the development.

ENV s1

The recommendations of an approved noise impact assessment must be implemented.

A noise impact assessment, in accordance with best-practice methodologies and prepared by a suitably qualified person, must be submitted and approved prior to the granting of building consent.

The noise impact assessment must:

- estimate the likely noise impact upon future residents of the of the building from the late night music venue at 192 Macquarie Street, Hobart;
- provide a professional opinion as to whether future residents of the building would potentially be impacted by 'environmental harm' from noise from the late night music venue (as defined under the *Environmental Management and Pollution Control Act 1994*); and
- specify any recommended mitigation measures considered necessary to ensure future residents of the building would not be impacted by environmental harm from noise from the late night music venue.

Any noise measurements taken to inform the noise impact assessment must be made with the methods in the *Tasmanian Noise Measurement Procedures Manual* (Department of Environment, Parks, Heritage and the Arts, 2008).

Documentation submitted for building consent must demonstrate compliance with all recommended mitigation measures.

Advice: Once the noise impact assessment has been approved and documentation for building consent has been received demonstrating compliance with all recommended mitigation measures, the Council will issue a condition endorsement (see general advice on how to obtain condition endorsement).

Reason for condition

To ensure that new sensitive use does not conflict with, interfere with or constrain uses with potential to cause environmental harm.

HER 10

The climbing rose and frame attached to the existing north east wall is to be protected and supported during demolition, excavation and construction. The rose is to be protected and supported in a manner agreed to by the land owners of the adjacent property on which the rose grows.

Prior to the issue of any approval under the *Building Act 2016*, a management plan must be submitted and approved showing the protection and support of the climbing rose in accordance with the above requirement.

All work required by this condition must be undertaken in accordance with the approved revised plans.

Advice: It is recommended that the applicant/developer contact the land owners of

the adjacent property on which the rose is sited to agree on how the rose is to be protected and supported during demolition, excavation and construction.

Reason for condition

To ensure that demolition in whole or part of a heritage place and heritage precinct does not result in the loss of historic cultural heritage values.

HER 6

All major onsite excavation and disturbance within the red area (ie area of high archaeological potential) denoted on page 91 of the Praxis report must be preceded by an archaeological method statement which details measures to be taken to avoid or mitigate impact on the archaeological resource. The method statement must be in accordance with the Tasmanian Heritage Council's Practice Note 2 and implemented in the works process.

Minor excavation (for service trenches) within the red area (ie area of high archaeological potential) denoted on page 91 of the Praxis report must be monitored by a suitably qualified archaeologist. Should any features or deposits of an archaeological nature in both areas of low or high archaeological potential be discovered on the site during excavation or disturbance:

- 1. All excavation and/or disturbance must stop immediately; and**
- 2. A qualified archaeologist must be engaged to provide advice and assessment of the features and/or deposits discovered and make recommendations on further excavation and/or disturbance; and**
- 3. All and any recommendations made by the archaeologist engaged in accordance with (2) above must be complied with in full; and**
- 4. All features and/or deposits discovered must be reported to the Council with 1 days of the discovery; and**
- 5. A copy of the archaeologists advice, assessment and recommendations obtained in accordance with paragraph (2) above must be provided to Council within 30 days of receipt of the advice, assessment and recommendations.**

Excavation and/or disturbance must not recommence unless and until approval is granted from the Council.

Reason for condition

To ensure that work is planned and implemented in a manner that seeks to

understand, retain, protect, preserve and manage significant archaeological evidence.

HER 17

A detailed revised materials, finishes and colours palette is to be provided. All materials, finishes and colours must reflect the palette of materials within the local streetscape, precinct and adjacent heritage listed buildings and must be subdued, complementary and less dominant than the heritage buildings and streetscape.

Prior to the issue of any approval under the *Building Act 2016*, revised plans must be submitted and approved showing exterior materials, finishes and colours in accordance with the above requirement.

All work required by this condition must be undertaken in accordance with the approved plans.

Reason for condition

To ensure that development at a heritage place and in a heritage precinct is undertaken in a sympathetic manner and does not cause loss of historic cultural heritage significance.

HER 18

The walnut tree on the site must be protected throughout excavation and post construction.

A Construction Management Plan for the tree must be submitted for approval prior to the commencement of work. The report must:

- **be prepared by a suitably qualified person; and**
- **show all tree protection zones and relevant measures specified in the Australian Standard AS4970-2009 Protection of trees on development sites; and**
- **include a fenced off/isolated tree protection zone (TPZ) which restricts access to the site, protective fencing, trunk and branch protection, ground protection and signs identifying the TPZ.**

Advice: Once the Construction Management Plan has been approved, the Council will issue a condition endorsement (see general advice on how to obtain condition endorsement).

Where building approval is also required, it is recommended that documentation for condition endorsement be submitted well before submitting documentation for building approval. Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.

Reason for condition

To ensure that significant trees are not unnecessarily destroyed or damaged and are managed in a way that maintains their health and appearance.

OPS s1

The steps listed in the ***Tree Protection - 190 Macquarie Street*** report by Alister Hodgman of 5th July 2019, must be implemented. Therefore, during installation of the new underground services, a work zone covering only the services corridor, must be marked out. No other works are to be undertaken within the walnut tree protection zone (TPZ, out to 8.76 m from the centre of the trunk). A suitably qualified and experienced supervising arborist must be on-site *during all works* within the TPZ. The pavers must be removed by hand and stored outside the TPZ. Excavation of the work zone must be done by hand or low-pressure vacuum truck, minimising the damage to tree roots, under the supervision of the supervising arborist. Only small sections of the trench should be excavated at one time if at all possible, and the plumbing installed in sections. Root severance must be avoided wherever possible. Any unavoidable root pruning must be done with the supervising arborist present. Any exposed roots must be covered with hessian and kept moist. Back-filling of the trench should be completed as soon as practical. Above the aggregate, the trench must be filled with good structural soil as specified. This should be watered in with water and kelp extract as specified.

The supervising arborist must certify in writing that they were present during all relevant works and that the works were undertaken in accordance with the tree protection plan. This certification must be submitted to Council within one week of the works being completed.

Reason for condition

The walnut tree is heritage listed and all measures are to be taken to protect the tree and maintain its long-term health.

OPS s2

A revised landscaping plan must be submitted and approved by the Council's

Director City Amenity prior to commencement of work.

The revised landscaping plan must specify:

1. retention of the existing garden bed between the walnut tree and the Duke of Wellington boundary wall;
2. expansion of the existing garden bed, between the designated vehicle parking spaces, with high quality garden soil to be added to the expanded garden area to the north-west and south-east of the existing garden bed;
3. how any weed control in the existing garden bed is to be undertaken in a manner that protects the roots of the walnut tree;
4. whether additional plantings will be done and how those plantings fit with the required vehicle turning areas;
5. the installation and maintenance of porous paving within the tree protection zone around the walnut (8.76 m radius from the centre of the trunk);
6. the installation of a number of permanent bollards around the walnut tree to protect it from impact by vehicles. The number and location of bollards must be to the satisfaction of the Council's Director City Amenity, with the location of each bollard being clear of tree roots and all associated excavation being done by hand.

Once approved by the Council's Director City Amenity, all work required by this condition must be undertaken in accordance with the approved revised landscaping plan.

Advice: Once a landscape plan has been provided and is approved by the Director City Amenity, the Council will issue a condition endorsement (see general advice on how to obtain condition endorsement). It is recommended that the proponent liaise with the Council's Program Leader Arboriculture & Nursery (ph: 6238 2807) prior to revision of the landscaping plan.

It is recommended that documentation for condition endorsement be submitted well before submitting documentation for building approval. Failure to address condition endorsement requirements prior to submitting for building approval may result in unexpected delays.

Reason for condition

Protection of a significant tree

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

CONDITION ENDORSEMENT ENGINEERING

All engineering drawings required to be submitted and approved by this planning permit must be submitted to the City of Hobart as a CEP (Condition Endorsement) via the City's [Online Service Development Portal](#). When lodging a CEP, please reference the PLN number of the associated Planning Application. Each CEP must also include an estimation of the cost of works shown on the submitted engineering drawings. Once that estimation has been confirmed by the City's Engineer, the following fees are payable for each CEP submitted and must be paid prior to the City of Hobart commencing assessment of the engineering drawings in each CEP:

Value of Building Works Approved by Planning Permit Fee:

- Up to \$20,000: \$150 per application.
- Over \$20,000: 2% of the value of the works as assessed by the City's Engineer per assessment.

These fees are additional to building and plumbing fees charged under the Building and Plumbing Regulations.

Once the CEP is lodged via the [Online Service Development Portal](#), if the value of building works approved by your planning permit is over \$20,000, please contact the City's Development Engineer on 6238 2715 to confirm the estimation of the cost of works shown on the submitted engineering drawings has been accepted.

Once confirmed, please call one of the City's Customer Service Officers on 6238 2190 to make payment, quoting the reference number (ie. CEP number) of the Condition Endorsement you have lodged. Once payment is made, your engineering drawings will be assessed.

BUILDING PERMIT

You may need building approval in accordance with the *Building Act 2016*. Click [here](#) for more information.

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

PLUMBING PERMIT

You may need plumbing approval in accordance with the *Building Act 2016*, *Building Regulations 2016* and the National Construction Code. Click [here](#) for more information.

OCCUPATION OF THE PUBLIC HIGHWAY

You may require a permit for the occupation of the public highway for construction or special event (e.g. placement of skip bin, crane, scissor lift etc). Click [here](#) for more information.

You may require a Permit to Open Up and Temporarily Occupy a Highway (for work in the road reserve). Click [here](#) for more information.

GENERAL EXEMPTION (TEMPORARY) PARKING PERMITS

You may qualify for a General Exemption permit for construction vehicles i.e. residential or meter parking/loading zones. Click [here](#) for more information.

PERMIT TO CONSTRUCT PUBLIC INFRASTRUCTURE

You may require a permit to construct public infrastructure, with a 12 month maintenance period and bond (please contact the Hobart City Council's City Infrastructure Division to initiate the permit process).

NEW SERVICE CONNECTION

Please contact the Hobart City Council's City Infrastructure Division to initiate the application process for your [new stormwater connection](#).

STORM WATER

Please note that in addition to a building and/or plumbing permit, development must be in accordance with the Hobart City Council's Hydraulic Services By law. Click [here](#) for more information.

WORK WITHIN THE HIGHWAY RESERVATION

Please note development must be in accordance with the Hobart City Council's

Highways By law. Click [here](#) for more information.

DRIVEWAY SURFACING OVER HIGHWAY RESERVATION

If a coloured or textured surface is used for the driveway access within the Highway Reservation, the Council or other service provider will not match this on any reinstatement of the driveway access within the Highway Reservation required in the future.

REDUNDANT CROSSOVERS

Redundant crossovers are required to be reinstated under the Hobart City Council's Highways By law. Click [here](#) for more information.

ACCESS

Designed in accordance with LGAT- IPWEA – Tasmanian standard drawings. Click [here](#) for more information.

CROSS OVER CONSTRUCTION

The construction of the crossover can be undertaken by the Council or by a private contractor, subject to Council approval of the design. Click [here](#) for more information.

STORM WATER / ROADS / ACCESS

Services to be designed and constructed in accordance with the (IPWEA) LGAT – standard drawings. Click [here](#) for more information.

STRATA AMENDMENT

You will be required to amend the strata plan pursuant to the provisions of the *Strata Titles Act 1998* in order to reflect the completed development works. Click [here](#) for more information.

WORK PLACE HEALTH AND SAFETY

Appropriate occupational health and safety measures must be employed during the works to minimise direct human exposure to potentially-contaminated soil, water, dust and vapours. Click [here](#) for more information.

WASTE DISPOSAL

It is recommended that the developer liaise with the Council's Cleansing and Solid Waste Unit regarding reducing, reusing and recycling materials associated with demolition on the site to minimise solid waste being directed to landfill.

Further information regarding waste disposal can also be found on the Council's [website](#).

FEES AND CHARGES

Click [here](#) for information on the Council's fees and charges.

DIAL BEFORE YOU DIG

Click [here](#) for dial before you dig information.



(Adam Smee)

Development Appraisal Planner

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.



(Cameron Sherriff)

Acting Senior Statutory Planner

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

Date of Report: 6 September 2019

Attachment(s):

Attachment B - CPC Agenda Documents

Attachment C - Planning Referral Officer Cultural Heritage Report

Attachment D - Excerpt from 20 Aug 2019 UDAP Meeting Minutes



JMG Ref: J173036PH
Your Ref: PLN-19-3

27 September 2019

General Manager
Hobart City Council
Via email: coh@hobartcity.com.au

Attention: Cameron Sherriff

Dear Cameron,

RE: 190 MACQUARIE ST - DEMOLITION AND NEW BUILDING - READVERTISEMENT

Please see attached an updated planning report for the proposed development at 190 Macquarie Street (Attachment A). The application was amended in July with a new design and subsequently advertised. During advertising a number of issues arose. Those issues have now been addressed as described below and the application documentation can be readvertised.

Notification

The Strata owners have been notified of the development by Simmons Wolfhagen. A copy of that correspondence is included in Attachment B.

Crown Consent

There was concern that the original consent issued by State Growth related to the earlier design of the development. The new design did not change the proposed works on Crown land, however the new design has been submitted to State Growth and a new letter of consent has been provided (see Attachment C). Also enclosed with the written consent is a copy of the planning application submission report signed by State Growth.

Parking Allocation

The allocation of parking spaces between the strata owners was raised during representation with the adjoining strata owner not satisfied with the number of parking spaces allocated to them. The planning report has been amended to provide equal share of parking spaces on the common area of the strata. It is noted that while there were originally 7 parking spaces, they did not meet Australian Standards and required realignment reducing the total available parking to 6 car parking spaces. The previous allocation was intended to meet the Acceptable Solution under clause E6.6.5 of the Hobart Interim Planning Scheme 2015. The equal allocation cannot meet the Acceptable Solution but can satisfy the Performance Criteria. This assessment is detailed in the planning report and necessitated an update to the Traffic Impact Assessment.

I note that no changes other than the parking allocation have been made to the development since the amendment in July 2019.

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as trustee for Johnstone
McGee & Gandy
Unit Trust

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We trust this submission provides all information required for a valid application for re-advertisement, however please contact me at delphinstone@jmg.net.au or on 0412 134 772 if you require additional information.

Yours faithfully
JOHNSTONE McGEE & GANDY PTY LTD

A handwritten signature in purple ink, appearing to read 'Dana Elphinstone', is positioned above the printed name.

Dana Elphinstone
TOWN PLANNER



ATTACHMENT A
Planning Report

PLANNING REPORT

FOR GARRY BAKER

190 Macquarie Street Apartment Building



September 2019



Engineers & Planners
Your Vision is Our Mission

Johnstone McGee and Gandy Pty Ltd

incorporating Dale P Luck & Associates
(trading as JMG Engineers and Planners)
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1.0	December 2018	For Development Application	DAE		MSC		MSC
1.1	January 2019	Minor Edit	DAE		MSC		MSC
2.0	July 2019	Revised Plans	DAE		MSC	24.7	MSC 24.7
2.1	September 2019	Parking Allocation Revised Road Authority Updated	DAE	20.9	IEB	27.9	MSC 27.9

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Appendix A - Title Information

Appendix B - Proposal Plans & Photo Montages

Appendix C - Traffic Impact Assessment

Appendix D - Historic Heritage Management Strategy

Appendix E - Concept Services Report

Appendix F - Arboricultural Assessment & Addendum

Executive Summary

JMG has been engaged by Garry Baker to develop land at 190 Macquarie Street, Hobart (CT96378/2), located between Macquarie Street and Davey Street. The site is an internal title located behind Suite 1/190 Macquarie Street and 81 & 83 Davey Street. The total site area is 278m² and is zoned 'Central Business' under the *Hobart Interim Planning Scheme 2015*. The site is located in Heritage Precinct H1 and adjoins multiple heritage listed places.

The proposed development involves the demolition of the existing on-site building and the construction of a 5-storey residential unit building containing a total of 4 units and rooftop terrace. The proposed development is within 330 m of public open space (St David's Park), and within 950 m of the nearest large supermarket (Woolworths on Argyle Street), providing good amenity and proximity to services for future residents.

The proposed building, whilst distinctly contemporary, has been designed to visually recede from the traditional facades of the adjacent heritage buildings. Together they offer a positive contribution to the streetscape and a complimentary composition of old and new buildings within the site.

The development includes the provision of on-site parking in the existing car parking area, to be shared equally between the strata owners.

All stormwater and sewerage is to be disposed of by gravity to existing public infrastructure.

The proposed development generates the following discretions under the Planning Scheme:

- 22.4.2 Setback
- 22.4.3 Design
- 22.4.4 Passive Surveillance
- E6.6.5 Number of Car Parking Spaces - Central Business Zone
- E13.7.2 Buildings and Works other than Demolition (Heritage Place)
- E13.8.1 Demolition (Heritage Precinct)
- E13.8.2 Buildings and Works other than Demolition (Heritage Precinct)
- E13.9.2 Buildings and Works other than Demolition (Place of Archaeological Potential)

The proposal has been assessed against all relevant performance criteria and found to be acceptable with respect to the Planning Scheme requirements and therefore ought to be supported by the Planning Authority.

1. Introduction

JMG Engineers and Planners have been engaged by Garry Baker to prepare a development application on his behalf. This report serves to provide an assessment of the proposed development against the provisions of *Hobart Interim Planning Scheme 2015* ('the Planning Scheme').

2. Site, Location & Context

The subject site is land located at Suite 2/190 Macquarie Street, Hobart (CT96378/2), owned by Garry Baker (Figure 1). The site has a total area of 278 m² and currently contains the Snap Printing Building. The title is Suite 2 of Strata Corporation No. 96378 (CT 96378/0). The Strata title covers an area of approximately 832 m². The development includes works within the untitled Macquarie Street road reserve requiring Crown consent.

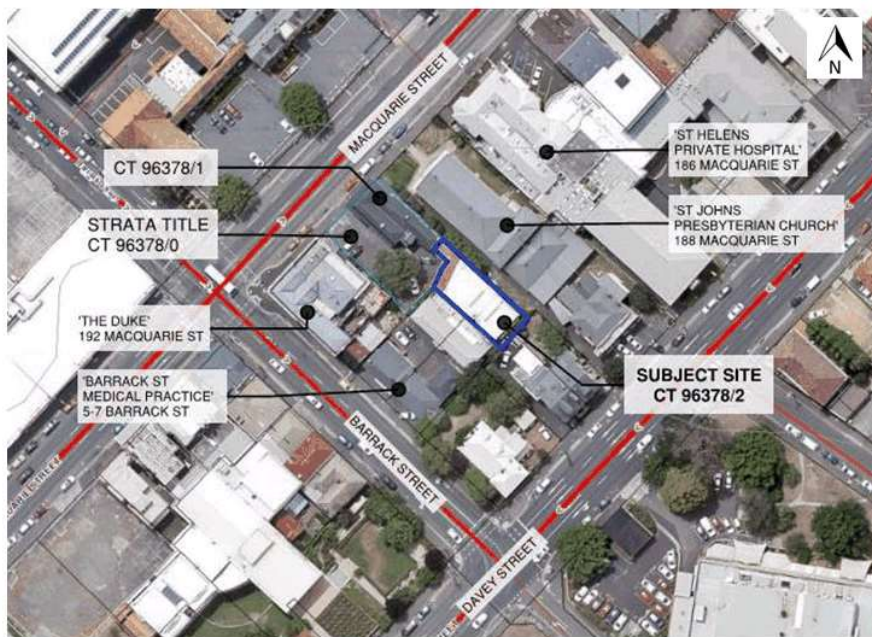


Figure 1 - Subject Site - Suite 2, 190 Macquarie Street, Hobart

The title is an internal block setback over 22 m from the frontage to Macquarie Street, with access rights via the Strata title. There is an existing crossover to Macquarie Street via CT 96378/0.

The site has been developed with a single storey building and associated vehicle access. The building is located behind the building line due to the internal nature of the site. The two-storey building on Suite 1, 190 Macquarie Street and an existing 10 m high walnut tree currently blocks the majority of the building from view at the frontage.

The subject site is located on a major city block at the edge of the Hobart CBD within an urban context. The site adjoins the Barrack Street Medical Practice to the south and the St Johns Presbyterian Church to the north. It is on a major public transport route and is within walking distance to public open space, schools and shops in a relatively flat area of Hobart.

Title Information is enclosed as Appendix A.

3. Proposed Use & Development

The proposed development involves the demolition of the existing building and construction of four apartments over five levels with a rooftop terrace.

The proposed use is 'Residential'. The apartment building will provide multiple dwellings over five storeys comprising the following:

Ground Floor - One 3-bedroom apartment (45 m² POS), building entry, storage, lift and stairwell.

First Floor - One three-bedroom apartment (28 m² POS).

Second Floor - One three-bedroom apartment (16 m² POS).

Third Floor - One three-bedroom apartment (16 m² POS).

Fourth Floor - Rooftop terrace (36 m²).

The external finishes for the building include cladding, brickwork and colorbond cladding. Windows are to be double glazed and aluminium framed. The roof will have a variable pitch between 9 and 25 degrees.

All private open spaces facing north east will have a 1.2 m high balustrade. The north eastern terraces will have full height powdercoated louvres facing north east.

The maximum height (above natural ground level) of the apartment building is 15.2 m.

The proposed apartment building will be setback a minimum of:

- 24 m from the frontage;
- 0 m from the north eastern side boundary;
- 0 m from the south western side boundary; and
- 0 m from the rear boundary.

Proposal Plans and Photo Montages are enclosed as Appendix B.

Six onsite parking spaces are proposed between the building and the frontage within the existing parking area. These parking spaces will be allocated equally between the strata properties Suite 1 and Suite 2. A Traffic Impact Assessment is enclosed as Appendix C.

A Historic Heritage Management Strategy and Addendum has been prepared for the site and is included as Appendix D.

A new stormwater connection is proposed between the existing building and the building on Suite 1, 190 Macquarie Street. Stormwater will be drained by gravity to the existing Council stormwater system. A Concept Services Plan is enclosed as Appendix E.

The existing 10 m tall walnut tree located on the strata title is listed on the Hobart City Council Significant Tree Register and is to be retained. The health of the tree and potential risk to life and property has been assessed via an Arboricultural Assessment enclosed as Appendix F. A Tree Root Survey was prepared to inform the location of services. A rose bush on the north-eastern boundary is of significance to the Presbyterian Church and is to be retained.

4. Hobart Interim Planning Scheme 2015

The site is zoned 'Central Business' under the Scheme (see Figure 2) and is subject to the Heritage Precinct (H1) and Central Business Core overlays.



Figure 2 - Zoning

4.1 Central Business Zone

The proposed development is located in the Central Business zone and has been assessed against the applicable standards.

Residential use above ground is permitted in the zone and ground floor residential use is discretionary under Use Table 22.2.

22.4.1 Building Height

A1

Building height within the Central Business Core Area in Figure 22.2 must be no more than:

- (a) 15m if on, or within 15m of, a south-west or south-east facing frontage;
- (b) 20m if on, or within 15m of, a north-west or north-east facing frontage;
- (c) 30m if set back more than 15m from a frontage;

unless an extension to an existing building that:

P1

...

(i)	<i>is necessary solely to provide access, toilets, or other facilities for people with disabilities;</i>	
(ii)	<i>is necessary to provide facilities required by other legislation or regulation.</i>	

The proposed building is setback over 22 m from the Macquarie Street Frontage. There are no other frontages for this site. Therefore, the maximum height of the building can acceptably be up to 30 m. The proposed building has a maximum height of 15.2 m above natural ground level, compliant with A1.

Sub-clauses A2 and A3, A4 And A5 do not apply.

<p>A4</p> <p><i>Building height of development on the same title as a place listed in the Historic Heritage Code, where the specific extent of the heritage place is specified in Table E13.1, and directly behind that place must:</i></p> <p>(a) <i>not exceed 2 storeys or 7.5m higher (whichever is the lesser) than the building height of any heritage building within the place, and be set back between 5m and 10m from the place (refer figures 22.4 i and 22.4 ii); and</i></p> <p>(b) <i>not exceed 4 storeys or 15m higher (whichever is the lesser) than the building height of any heritage building within the place, and be set back more than 10m from the place (refer figures 22.4 i and 22.4 ii);</i></p> <p><i>or</i></p> <p>(c) <i>comply with the building height in clauses 22.4.1 A1 and A2;</i></p> <p><i>whichever is the lesser.</i></p>	<p>P2</p> <p><i>The potential for direct overlooking from windows of habitable rooms with a finished surface or floor level more than 1m above natural ground level on one lot to the windows of habitable rooms, balconies, decks and roof gardens on adjacent lots must be avoided or minimised through their separation and off-set or by use of solid or translucent screening.</i></p>
---	--

Land at 190 Macquarie Street ('Coreen' Reference No. 1892) is listed in Table E13.1. However, the specific extent of the heritage place is not specified in the Historic Heritage Code. The Tasmanian Heritage Register specifies the address of Coreen as Suite 1, 190 Macquarie Street, therefore Coreen is considered to be limited to that title hence Clause 22.4.1 (A4) does not apply. Whilst not strictly relevant, it should be noted that the height of the proposal at 14.8 m is less than the allowance of 15 m above the height of the 10.2 m high Coreen building, and the new building is predominantly separated by more than 10 m as suggested by A4(b).

Clause A5 does not apply as the building is not within 15 m on a frontage.

22.4.2 Setback	
<p>A1</p> <p><i>Building setback from frontage must be parallel to the frontage and must be no more than:</i></p> <p>0 m</p>	<p>P1</p> <p><i>Building setback from frontage must satisfy all of the following:</i></p> <p>(a) <i>be consistent with any Desired Future Character Statements provided for the area;</i></p> <p>(b) <i>be compatible with the setback of adjoining buildings, generally maintaining a continuous building line if evident in the streetscape;</i></p> <p>(c) <i>enhance the characteristics of the site, adjoining lots and the streetscape;</i></p> <p>(d) <i>provide for small variations in building alignment only where appropriate to break up long building facades, provided that no potential concealment or entrapment opportunity is created;</i></p>

- | | |
|--|---|
| | (e) provide for larger variations in building alignment only where appropriate to provide for a forecourt for space for public use, such as outdoor dining or landscaping, provided that no potential concealment or entrapment opportunity is created, and the forecourt is afforded very good passive surveillance. |
|--|---|

The proposed development will be setback 24 m from Macquarie Street, contrary to A1. Therefore, the proposal must satisfy Performance Criteria P1.

Pursuant to Clause 22.4.2 P1 (a) the Desired Future Character for the area is as follows:

22.1.3 Desired Future Character Statements

Townscape and Streetscape Character -

22.1.3.1 Objectives:

(a) That the Central Business Zone provides a compact built focus to the region, reflecting an appropriate intensity in its role as the heart of settlement.

(b) That the Central Business Zone develops in a way that reinforces the layered landform rise back from the waterfront, having regard to the distinct layers of the landform, respecting the urban amphitheatre, including the amphitheatre to the Cove, while providing a reduction in scale to the Queens Domain, the Domain and Battery Point headlands and the natural rise to Barracks Hill

(c) That the Central Business Zone consolidates within, and provides a transition in scale from, its intense focus in the basin, acknowledging also the change in contour along the Macquarie Ridge, including both its rising and diminishing grades, including to the low point of the amphitheatre to the Cove

(d) That the historical cultural heritage values of places and precincts in the Central Business Zone be protected and enhanced in recognition of the significant benefits they bring to the economic, social and cultural value of the City as a whole.

The proposed development is considered to be in accordance with the above Character statement as it would be located on an internal lot, setback 26 m from Macquarie Street and the visual impact, as demonstrated by the submitted photo montages and Historic Heritage Management Strategy, are considered acceptable to the surrounding heritage buildings and properties.

22.1.3.2 Building Siting, Bulk and Design

The siting, bulk and design of a building above the street wall and beyond the Amenity Building Envelope (see Figure 22.3) must be consistent with the objectives in clause 22.1.3.1, having regard to:

- (a) the consolidation of the Central Business Zone in a manner which provides separate building forms and a layered visual effect rather than the appearance of a contiguous wall of towers;
- (b) maintaining a level of permeability through city blocks by reductions in bulk as height increases allowing for sunlight into streets and public spaces;
- (c) the building proportion and detail reflecting and reinforcing the streetscape pattern;
- (d) the building not being an individually prominent building by virtue of its height or bulk, thus reinforcing a cohesive built form and the containment provided by the urban amphitheatre;
- (e) reinforcing consistent building edges and height at the street wall allowing for solar penetration where possible;
- (f) the provision of weather protection for footpaths to enhance pedestrian amenity and encourage, where appropriate, interior activity beyond the building entrance; and
- (g) the provision of permeability in support of the open space network.

The proposed development is located on an internal lot and will be positioned well behind the line of existing buildings on both Macquarie Street and Davey Street, contributing to the layered visual effect (a).

The setback of the building from the street minimises the impact on sunlight reaching the street (b).

The building is setback behind the existing building line of the streetscape and will have a backdrop effect on the existing buildings mitigated through architectural finishes recommended in Appendix D (c)(d).

The setback of the building from the street frontage means that the building does not affect the height at the street wall and allows for solar penetration (e).

Sub-criterion (f) and (g) are not considered applicable to this development.

The building setback is consistent with the Desired Future Character Statements for the area P1(a).

The proposed building adjoins another building located 5-7 Barrack Street. Both buildings are located behind the established building line for the block. There is not a continuous building line with small to large variations from a continuous building alignment evident in the street frontage. Thus, the setback is considered consistent with the existing variable setback P1(b).

The frontage setback is consistent with the existing setback on the site and will ensure that impacts to the streetscape presence and character of the 'Coreen' are minimised P1(c).

The development will not increase the potential for concealment on the site, with passive surveillance provided from overlooking windows on the apartment building and increased pedestrian activity on the site P1(d).

The setback is not considered to be a large variation due to the existing setback on the site P1(e).

The proposal is therefore acceptable when considered against the performance criteria.

22.4.3 Design

A1

Building design must comply with all of the following:

- (a) *provide the main pedestrian entrance to the building so that it is clearly visible from the road or publicly accessible areas on the site;*
- (b) *for new building or alterations to an existing façade provide windows and door openings at ground floor level in the front façade no less than 40% of the surface area of the ground floor level façade;*
- (c) *for new building or alterations to an existing facade ensure any single expanse of blank wall in the ground level front façade and facades facing other public spaces is not greater than 30% of the length of the facade;*
- (d) *screen mechanical plant and miscellaneous equipment such as*

P1

Building design must enhance the streetscape by satisfying all of the following:

- (a) *provide the main access to the building in a way that addresses the street or other public space boundary;*
- (b) *provide windows in the front façade in a way that enhances the streetscape and provides for passive surveillance of public spaces;*
- (c) *treat large expanses of blank wall in the front façade and facades facing other public space boundaries with architectural detail or public art so as to contribute positively to the streetscape and public space;*
- (d) *ensure the visual impact of mechanical plant and miscellaneous equipment, such as heat pumps, air conditioning units, switchboards, hot water units or similar, is insignificant when viewed from the street;*
- (e) *ensure roof-top service infrastructure, including service plants and lift structures, is*

heat pumps, air conditioning units, switchboards, hot water units or similar from view from the street and other public spaces;	screened so as to have insignificant visual impact;
(e) incorporate roof-top service infrastructure, including service plants and lift structures, within the design of the roof;	(f) not provide awnings over the public footpath only if there is no benefit to the streetscape or pedestrian amenity or if not possible due to physical constraints;
(f) not include security shutters over windows or doors with a frontage to a street or public place	(g) only provide shutters where essential for the security of the premises and other alternatives for ensuring security are not feasible;
	(h) be consistent with any Desired Future Character Statements provided for the area

It is considered that the proposed development would not meet Acceptable Solutions A1 (b) and (c) and therefore the performance criteria P1 would need to be addressed.

The proposed main pedestrian entrance to the site would be clearly visible from the publicly accessible areas of the site in accordance with clause (a).

Living areas and kitchen windows are provided on the front façade on every level thereby ensuring passive surveillance of public spaces in accordance with clause (b).

The front façade contains a large number of windows and architectural detail in order to contribute positively to the streetscape & communal space in accordance with clause (c).

Mechanical plant and miscellaneous equipment would be screened from view from the street, as demonstrated in the attached architectural plans, in accordance with clause (d).

Roof top service infrastructure would be incorporated within the design of the roof, as demonstrated in the attached architectural plans, in accordance with clause (e).

No awnings over a public footpath are proposed in accordance with clause (f).

Shutters are not proposed in accordance with clause (g).

The proposed development is considered to be consistent with the Desired Future Character Statement as set out under clause 22.4.2 Setback above.

It is considered that the proposed development would therefore meet the relevant performance criteria of 22.4.3 P1 of the scheme.

Clauses A2, A3, A4 and A5 are not applicable to the proposed development.

22.4.4 Passive Surveillance

<p>A1</p> <p>Building design must comply with all of the following:</p> <ul style="list-style-type: none"> (a) provide the main pedestrian entrance to the building so that it is clearly visible from the road or publicly accessible areas on the site; (b) for new buildings or alterations to an existing facade provide windows and door openings at ground floor level in the front façade which amount to no less than 40% of the surface area of the ground floor level facade; (c) for new buildings or alterations to an existing facade provide windows and door openings at ground floor 	<p>P1</p> <p>Building design must provide for passive surveillance of public spaces by satisfying all of the following:</p> <ul style="list-style-type: none"> (a) provide the main entrance or entrances to a building so that they are clearly visible from nearby buildings and public spaces; (b) locate windows to adequately overlook the street and adjoining public spaces; (c) incorporate shop front windows and doors for ground floor shops and offices, so that pedestrians can see into the building and vice versa;
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<p>level in the façade of any wall which faces a public space or a car park which amount to no less than 30% of the surface area of the ground floor level facade;</p> <p>(d) avoid creating entrapment spaces around the building site, such as concealed alcoves near public spaces;</p> <p>(e) provide external lighting to illuminate car parking areas and pathways;</p> <p>(f) provide well-lit public access at the ground floor level from any external car park</p>	<p>(d) locate external lighting to illuminate any entrapment spaces around the building site;</p> <p>(e) provide external lighting to illuminate car parking areas and pathways;</p> <p>(f) design and locate public access to provide high visibility for users and provide clear sight lines between the entrance and adjacent properties and public spaces;</p> <p>(g) provide for sight lines to other buildings and public spaces.</p>
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It is considered that the proposed development would not meet Acceptable Solutions A1 (b) and (c) and therefore the performance criteria P1 would need to be addressed.

The proposed main pedestrian entrance to the site would be clearly visible from the publicly accessible areas of the site in accordance with clause (a).

Living areas and kitchen windows would be provided on the front façade on every level thereby ensuring passive surveillance of the street and public spaces in accordance with clause (b).

Criterion (c) is not considered applicable.

As demonstrated by the attached architectural plans entrapment spaces around the building site have not been created as the building would be built up to the rear boundary and both side boundaries and the frontage boundary does not contain any entrapment spaces in accordance with clause (d).

Lighting will be provided to the external car parking area as well as the pathways leading to and from the car parking areas and the entry to the building, in accordance with clause (e).

Public access to the building would be located to provide high visibility, with clear site lines to Macquarie Street in accordance with (f) and (g).

It is considered that the proposed development would therefore meet the relevant performance criteria of 22.4.4 P1 of the scheme.

Clauses 22.4.6 Outdoor Storage, 22.4.7 Fencing and 22.4.8 Pedestrian Links are not applicable to the application.

4.2 Road and Railway Assets Code

As the development will intensify the use of the existing access, the Road and Railway Assets Code applies (clause E5.2 (b)). Therefore, the applicable standards of that Code have been addressed.

A Traffic Impact Assessment has been prepared and is included as Appendix C.

E5.5.1 Existing road accesses and junctions	
<p>A3</p> <p><i>The annual average daily traffic (AADT) of vehicle movements, to and from a site, using an existing access or junction, in an area subject to a speed limit of 60km/h or less, must not increase by more than 20% or 40 vehicle movements per day, whichever is the greater.</i></p>	<p>P3</p> <p><i>Any increase in vehicle traffic to a category 1 or category 2 road in an area subject to a speed limit of more than 60km/h must be safe and minimise any adverse impact on the efficiency of the road, having regard to:</i></p> <ul style="list-style-type: none"> <i>(a) the increase in traffic caused by the use;</i> <i>(b) the nature of the traffic generated by the use;</i> <i>(c) the nature of the road;</i> <i>(d) the speed limit and traffic flow of the road;</i> <i>(e) any alternative access to a road;</i> <i>(f) the need for the use;</i> <i>(g) any traffic impact assessment; and</i> <i>(h) any written advice received from the road authority.</i>

The speed limit on Macquarie Street is 50 km/h. The proposed residential development is expected to generate approximately 12 vehicle movements per day. The parking spaces used by the adjacent business is expected to generate 10 vehicle movements per day. The proposal complies with A1.

E5.6.4 Sight distance at accesses, junctions and level crossings	
<p>A1</p> <p><i>Sight distances at:</i></p> <ul style="list-style-type: none"> <i>(a) an access or junction must comply with the Safe Intersection Sight Distance shown in Table E5.1; and</i> <i>...</i> 	<p>P1</p> <p><i>The design, layout and location of an access, junction or rail level crossing must provide adequate sight distances to ensure the safe movement of vehicles, having regard to:</i></p> <ul style="list-style-type: none"> <i>(a) the nature and frequency of the traffic generated by the use;</i> <i>(b) the frequency of use of the road or rail network;</i> <i>(c) any alternative access;</i> <i>(d) the need for the access, junction or level crossing;</i> <i>(e) any traffic impact assessment;</i> <i>(f) any measures to improve or maintain sight distance; and</i> <i>(g) any written advice received from the road or rail authority.</i>

The speed limit on Macquarie Street at the access to the site is 50 km/h. Free vehicle speed are around 45-50 km/h. The safe intersection sight distance for vehicles travelling at 50 km/h on a road with a speed limit of 50 km/h is 80 m. The available SISD is over 100 m, compliant with A1 (refer to Appendix C).

4.3 Parking and Access Code

The Parking and Access Code applies to all use and development as per clause E6.2. No use or development is exempt from the Code (E6.4.1). A Traffic Impact Assessment has been prepared for the development and is included as Appendix C.

The applicable standards have therefore been addressed.

E6.6.1 Number of Car Parking Spaces	
<p>A1</p> <p>The number of on-site car parking spaces must be:</p> <p>(a) no less than and no greater than the number specified in Table E6.1;</p> <p>except if:</p> <p>(i) the site is subject to a parking plan for the area adopted by Council, in which case parking provision (spaces or cash-in-lieu) must be in accordance with that plan;</p> <p>(ii) the site is subject to clauses E6.6.5, E6.6.6, E6.6.7, E6.6.8, E6.6.9 or E6.6.10 of this planning scheme.</p>	<p>P1</p> <p>...</p>

Table E6.1 stipulates that multiple dwelling developments (containing 2 or more bedrooms) must provide 2 car parking spaces for each dwelling and 1 dedicated visitor parking space per four dwellings. Therefore, for 4 apartments each with 2 or more bedrooms, a total of 8 resident spaces and 1 visitor spaces must be provided to meet the acceptable solution. The proposal includes 6 parking spaces; however, the site is subject to clause E6.6.5 and therefore is not required to meet this specification. The proposal complies with A1.

E6.6.2 Number of Accessible Car Parking Spaces for People with a Disability	
<p>A1</p> <p>Car parking spaces provided for people with a disability must:</p> <p>(a) satisfy the relevant provisions of the Building Code of Australia;</p> <p>(b) be incorporated into the overall car park design;</p> <p>(c) be located as close as practicable to the building entrance.</p>	<p>P1</p> <p>...</p>

Compliant with the BCA, no accessible parking space has been included. The proposal complies with A1.

E6.6.5 Number of Car Parking Spaces - Central Business Zone	
<p>A1</p> <p>(a) No on-site parking is provided; or</p> <p>(b) on-site parking is provided at a maximum rate of 1 space per 200m² of gross floor area for commercial uses; or</p> <p>(c) on-site parking is provided at a maximum rate of 1 space per dwelling for residential uses; or</p> <p>(d) on-site parking is required operationally for an essential public service, including, hospital, police or other emergency service.</p>	<p>P1</p> <p>Car parking provision:</p> <p>(a) is in the form of a public car parking station provided as part of a development which utilises a major existing access; or</p> <p>(b) must not compromise any of the following:</p> <p>(i) pedestrian safety, amenity or convenience;</p> <p>(ii) the enjoyment of 'al fresco' dining or other outdoor activity;</p> <p>(iii) air quality and environmental health;</p> <p>(iv) traffic safety.</p>

Criteria (a) and (d) are not applicable to this development as on-site parking is provided and the proposed use is residential. Three onsite parking spaces are proposed to serve the residences with another three spaces for the existing use on Suite 1. Suite 1 is less than 600 m² gross floor area, therefore the proposal cannot meet A1 and the performance criteria must be addressed. It is noted that the car parking spaces for Suite 1 may be considered under section 12 of the Act as an existing use.

The proposed parking is not in the form of a public car parking station and cannot meet P1(a).

The proposed parking is a realignment of existing parking within the common property of the strata. The space has been used for 7 car parking spaces in the past. The site has more than sufficient site distances, dual-access and vehicles can exit the site in a forward direction. Traffic management measures will be used during the modification of the access to ensure that pedestrian convenience is maintained. There will be no long term impact on convenience as a result of the development. The proposed parking will replace existing parking in the site thereby having no resultant impact on amenity. Therefore, the proposal is not considered to compromise pedestrian safety, amenity or convenience (b)(i).

No alfresco dining or other outdoor activity will be impacted by the provision of parking (b)(ii).

The proposal will result in a slight reduction in parking from 7 to 6, therefore the proposal is not considered to compromise air quality or environmental health (b)(iii).

The site will have a maximum of 4 vehicles per hour using the access. Cars will be able to turn around onsite to exit in a forward direction. The access has dual entry/exit providing passing at the kerb. The Traffic Impact Assessment has found that the site has more than sufficient sight distances and overall the proposal will not cause any operational or capacity issues to the traffic network. Therefore, the proposal will not compromise traffic safety (b)(iv).

The proposal is acceptable upon consideration of the performance criteria.

E6.7.1 Number of Vehicular Accesses		
A1	P1	...
<i>The number of vehicle access points provided for each road frontage must be no more than 1 or the existing number of vehicle access points, whichever is the greater.</i>		

There is one existing vehicle access point for the site compliant with A1.

A2	P2	...
<i>In the Central Business Zone and Particular Purpose Zone 10 (Royal Hobart Hospital) no new vehicular access is provided unless an existing access point is removed.</i>		

No new vehicle access is provided, compliant with A2.

E6.7.2 Design of Vehicular Accesses		
A1	P1	...
<i>Design of vehicle access points must comply with all of the following:</i>		
<i>(a) in the case of non-commercial vehicle access; the location, sight distance, width and gradient of an access must be designed and constructed to comply with section 3 - "Access Facilities to Off-street Parking Areas and Queuing Areas" of AS/NZS 2890.1:2004 Parking Facilities Part 1: Off-street car parking;</i>		

E6.7.2 Design of Vehicular Accesses

(b) in the case of commercial vehicle access; the location, sight distance, geometry and gradient of an access must be designed and constructed to comply with all access driveway provisions in section 3 "Access Driveways and Circulation Roadways" of AS2890.2 - 2002 Parking facilities Part 2: Off-street commercial vehicle facilities.

Vehicular access is designed in accordance with Australian Standards as described in the appended Traffic Impact Assessment (Appendix C), compliant with A1.

E6.7.3 Vehicular Passing Areas Along an Access

A1

Vehicular passing areas must:

(a) be provided if any of the following applies to an access:

- (i) it serves more than 5 car parking spaces;*
- (ii) is more than 30 m long;*
- (iii) it meets a road serving more than 6000 vehicles per day;*

(b) be 6 m long, 5.5 m wide, and taper to the width of the driveway;

(c) have the first passing area constructed at the kerb;

(d) be at intervals of no more than 30 m along the access.

P1

...

The Macquarie Street vehicular access serves six car parking spaces and meets a road serving more than 6000 vehicles per day. Therefore, vehicular passing areas are required. There will be a passing bay at the Macquarie street frontage (6 m long and 5.5 m wide). The access is approximately 30 m in total including the portion in the road reserve. Adjacent to the angled parking spaces the driveway will have a width of 4.29 m. The proposal complies with A1.

E6.7.4 On-Site Turning

A1

On-site turning must be provided to enable vehicles to exit a site in a forward direction, except where the access complies with any of the following:

- (a) it serves no more than two dwelling units;*
- (b) it meets a road carrying less than 6000 vehicles per day.*

P1

...

The access has been designed such that all vehicles can exit the site in a forward direction, compliant with A1.

E6.7.5 Layout of Parking Areas

A1

The layout of car parking spaces, access aisles, circulation roadways and ramps must be designed and constructed to comply with section 2 "Design of Parking Modules, Circulation Roadways and Ramps" of AS/NZS 2890.1:2004 Parking Facilities Part 1: Off-street car parking and must have sufficient headroom to comply with clause 5.3 "Headroom" of the same Standard.

P1

...

The parking areas are designed in accordance with Australian Standards as described in the Traffic Impact Assessment (Appendix C), compliant with A1.

E6.7.6 Surface Treatment of Parking Areas

A1	P1
<i>Parking spaces and vehicle circulation roadways must be in accordance with all of the following;</i>	...
<i>(a) paved or treated with a durable all-weather pavement where within 75m of a property boundary or a sealed roadway;</i>	
<i>(b) drained to an approved stormwater system,</i>	
<i>unless the road from which access is provided to the property is unsealed.</i>	

Parking spaces and circulation areas will be sealed and drained to existing stormwater infrastructure, compliant with A1.

E6.7.7 Lighting of Parking Areas

A1	P1
<i>Parking and vehicle circulation roadways and pedestrian paths serving 5 or more car parking spaces, used outside daylight hours, must be provided with lighting in accordance with clause 3.1 "Basis of Design" and clause 3.6 "Car Parks" in AS/NZS 1158.3.1:2005 Lighting for roads and public spaces Part 3.1: Pedestrian area (Category P) lighting.</i>	...

Lighting of parking areas is in accordance with Australian Standards, compliant with A1.

E6.7.12 Siting of Car Parking

A2	P2
<i>In the Central Business Zone on-site parking at ground level adjacent to a street block frontage must comply with all of the following:</i>	...
<i>(a) New vehicular access points are not provided;</i>	
<i>(b) an active street frontage is retained;</i>	
<i>(c) Parked cars are not visible from the street.</i>	

No new access points are proposed. There will also be six external parking spaces located on the strata access. There are existing parking spaces within this area that are visible from the street, therefore criterion (b) and (c) are not considered applicable.

It is therefore considered that the proposed development would comply with A2.

E6.7.14 Access to a Road

A1	
<i>Access to a road must be in accordance with the requirements of the road authority.</i>	

The Department of State Growth are the road authority for Macquarie Street. They have provided consent for the lodging of the application. Access will be provided in accordance with the requirements of the Department and confirmed during detailed design. Therefore, the proposal complies with A1.

4.4 Stormwater Management Code

The Stormwater Management Code applies to all development requiring management of stormwater (E7.3.1; no development is exempt from this code (E7.4.1)). A Concept Services Report is included as Appendix E. The applicable standards of this code have been addressed.

E7.7.1 Stormwater Drainage and Disposal	
A1	P1
Stormwater from new impervious surfaces must be disposed of by gravity to public stormwater infrastructure.	...

The existing building has a footprint of 278 m². The proposed building will occupy the same building footprint. The roof of the residential building will essentially replace the existing impervious surface of the existing roof. Stormwater from the site will be disposed of via existing stormwater infrastructure, compliant with A1.

A2	P2
A stormwater system for a new development must incorporate water sensitive urban design principles R1 for the treatment and disposal of stormwater if any of the following apply:	...
(a) the size of new impervious area is more than 600 m ² ;	
(b) new car parking is provided for more than 6 cars;	
(c) a subdivision is for more than 5 lots.	

No new impervious area is proposed that is more than 600 m² (a).

No new car parking is provided for more than 6 cars. There are seven existing car parking spaces located on the strata title and the proposal includes the provision of six total car parking spaces (b). The existing car parking spaces will be realigned to meet Australian Standards in terms of width, angle and length, but essentially, they are existing spaces. No subdivision is proposed (c).

The proposal is compliant with A2.

A3	P3
A minor stormwater drainage system must be designed to comply with all of the following:	...
(a) be able to accommodate a storm with an ARI of 20 years in the case of non-industrial zoned land and an ARI of 50 years in the case of industrial zoned land, when the land serviced by the system is fully developed;	
(b) stormwater runoff will be no greater than pre-existing runoff or any increase can be accommodated within existing or upgraded public stormwater infrastructure.	

A new stormwater connection to the DN300 main in Macquarie Street will have capacity for the post-development 5% AEP flow (a). The flow in the DN300 main will remain unchanged apart from the short section between properties 188 and 190 Macquarie Street which is able to accommodate the increased flow (b). Therefore, the proposal complies with A3.

A4	P2
A major stormwater drainage system must be designed to accommodate a storm with an ARI of 100 years.	...

The post-development 1% AEP flows will not differ from those currently coming from the site, suggesting the overland flow on Macquarie Street will remain the same also. The proposal therefore complies with A4.

4.5 Historic Heritage Code

The Historic Heritage Code applies to this development as it is located in a Heritage Precinct H1 (E13.2.1 (b)) and 'Coreen' is listed as a Heritage Place (E13.2.1(a)). The Historic Heritage Code does not specify the extent of the heritage place known as Coreen however, the Tasmanian Heritage Register refers to Suite 1, 190 Macquarie Street as being the address for Coreen. A Historic Heritage Management Strategy is enclosed as Appendix D.

The applicable standards of the Code have been addressed.

E13.7.2 Buildings and Works other than Demolition (Heritage Place)	
A1 No Acceptable Solution.	P1 Development must not result in any of the following: (a) loss of historic cultural heritage significance to the place through incompatible design, including in height, scale, bulk, form, fenestration, siting, materials, colours and finishes; (b) substantial diminution of the historic cultural heritage significance of the place through loss of significant streetscape elements including plants, trees, fences, walls, paths, outbuildings and other items that contribute to the significance of the place.

The Conservation Policy for the site stipulates the following policies with regard to future development and its relationship to Coreen:

- a) Any further development of the subject site should maintain an appropriate curtilage at the side and rear of Coreen (note that this is likely to be achieved by default given the strata configuration - i.e. the common property is considered to provide an appropriate curtilage).
- b) Any development at the rear of the subject site should maintain at least a small setback from the furthest-rearward point of Coreen.
- c) Any larger (i.e. 3-storey or higher) development on the subject site should seek to utilise the design approaches (as per Policies 4-5) to minimise any backdropping impact upon these places.

The proposal follows the policy by:

- a) The common property at the side of Coreen providing an appropriate curtilage;
- b) The proposed building is setback 1.585 m from the Coreen building;
- c) The design approach for the building has been informed by the Historic Heritage Management Strategy for the site to ensure some visual consistency with the bulk of buildings in the nearby vicinity.

The Historic Heritage Management Strategy sets out the Conservation Policy for the site to ensure minimal impact to heritage fabric. The proposal is considered to comply with all policies set out in the Conservation Policy of Appendix D.

No streetscape elements listed in (b) will be affected by the development.

The proposal is acceptable upon consideration of the performance criteria.

A2 <i>No Acceptable Solution.</i>	P2 <i>Development must be designed to be subservient and complementary to the place through characteristics including:</i> <i>(a) scale and bulk, materials, built form and fenestration;</i> <i>(b) setback from frontage;</i> <i>(c) siting with respect to buildings, structures and listed elements;</i> <i>(d) using less dominant materials and colours.</i>
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The proposed building has been considered from multiple vantage points to assess the impact relative to the existing heritage values of the site and surrounds (refer to Appendix D). The location of the proposed apartment building will be setback well behind the line of the existing buildings minimising the visual bulk and scale of the building (a)(b)(c). The materials and finishes of the building would be of a contemporary, neutral palette thereby utilising less dominant materials and colours (d).

The proposal is considered acceptable in accordance with Performance Criteria P2.

A3 <i>No Acceptable Solution.</i>	P3 <i>Materials, built form and fenestration must respond to the dominant heritage characteristics of the place, but any new fabric should be readily identifiable as such.</i>
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New facade elements include neutral coloured façade panels and articulated window patterning that has been carefully composed with attention to finer details, material colours and proportions. Together they offer a positive contribution to the streetscape and a complimentary composition of old and new buildings within the site.

The proposal is for a new building therefore A4 is not applicable. No new front fences or gates are proposed, therefore A5 is not applicable.

A6 <i>Areas of landscaping between a dwelling and the street must be retained.</i>	P6 ...
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A mature Walnut tree, which is to be retained, is growing in the existing site carpark that is listed on the Hobart City Council Significant Tree Register. An Arboricultural Assessment was undertaken by Element Tree Services to determine the current condition of the tree, assess the risk that it poses and prescribe options for its future management (Appendix F). The report concluded that the tree poses a broadly acceptable risk, which is considered as low as reasonably practical & it is not recommended to reduce the risk. The tree will be monitored throughout the development process. The proposal complies with A6.

E13.8.1 Demolition	
A1 <i>No acceptable solution.</i>	<i>Demolition must not result in the loss of any of the following:</i> <i>(a) buildings or works that contribute to the historic cultural heritage significance of the precinct;</i> <i>(b) fabric or landscape elements, including plants, trees, fences, paths, outbuildings and other items, that contribute to the historic cultural heritage significance of the precinct;</i> <i>unless all of the following apply;</i>

E13.8.1 Demolition

- (i) there are, environmental, social, economic or safety reasons of greater value to the community than the historic cultural heritage values of the place;
- (ii) there are no prudent or feasible alternatives;
- (iii) opportunity is created for a replacement building that will be more complementary to the heritage values of the precinct.

The building to be demolished is not of historic heritage value (a). The walnut tree is to be retained (b). The proposal satisfies the performance criteria.

E13.8.2 Buildings and Works other than Demolition (Heritage Precinct)

Table E13.2 states the following regarding Heritage Precinct H1- City Centre:

This precinct is significant for reasons including:

1. *It contains some of the most significant groups of early Colonial architecture in Australia with original external detailing, finishes and materials demonstrating a very high degree of integrity, distinctive and outstanding visual and streetscape qualities.*
2. *The collection of Colonial, and Victorian buildings exemplify the economic boom period of the early to mid-nineteenth century.*
3. *The continuous two and three storey finely detailed buildings contribute to a uniformity of scale and quality of street space.*
4. *It contains a large number of landmark residential and institutional buildings that are of national importance.*
5. *The original and/or significant external detailing, finishes and materials demonstrating a high degree of importance.*

A1
No Acceptable Solution

P1
Design and siting of buildings and works must not result in detriment to the historic cultural heritage significance of the precinct, as listed in Table E13.2.

The Historic Heritage Management Strategy (Attachment D) details how development can occur without resulting in detriment to the historic cultural heritage significance of the precinct. The proposed development complies with the Conservation Policy as follows:

- No buildings of heritage value will be modified as a result of this development;
- The existing curtilage to Coreen is maintained. The demolition of the existing building with a small separation from Coreen for the new building is considered a positive heritage outcome;
- The slope of the land, set-down of the building and setback diminish the apparent height of the development;
- Backdropping is minimised by breaking the 'block' form of the proposal and incorporating design from the form, patterns and material/colour palettes of the surrounding built environment. A hipped or gabled roof is used reflecting the traditional design elements that exist in the vicinity. A recessive colour palette has been used and is complementary with the heritage places in the vicinity; and
- The walnut tree is to be retained.

The proposal is acceptable upon consideration of the performance criteria.

A2 <i>No Acceptable Solution</i>	P2 <i>Design and siting of buildings and works must comply with any relevant design criteria / conservation policy listed in Table E13.2, except if a heritage place of an architectural style different from that characterising the precinct.</i>
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Refer to the response to Clause E13.7.2 (P1) above. The proposal is considered to satisfy the performance criteria.

A3 <i>No Acceptable Solution</i>	P3 <i>Extensions to existing buildings must not detract from the historic cultural heritage significance of the precinct.</i>
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The proposed extension to the existing building is not considered to detract from the historic cultural heritage of the place as the building to be modified is not considered to be of any historic heritage value. The proposal satisfies the performance criteria.

No new front fences or gates are proposed, therefore A4 is not applicable.

A5 <i>Areas of landscaping between a dwelling and the street must be retained.</i>	P5 ...
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A mature Walnut tree, which is to be retained, is growing in the existing site carpark that is listed on the Hobart City Council Significant Tree Register. An Arboricultural Assessment was undertaken by Element Tree Services to determine the current condition of the tree, assess the risk that it poses and prescribe options for its future management (Appendix F). The report concluded that the tree poses a broadly acceptable risk, which is considered as low as reasonably practical & it is not recommended to reduce the risk. The tree will be monitored throughout the development process. The proposal complies with A5.

E13.9.2 Building, Works and Demolition (Place of Archaeological Potential)

A1 <i>Building and works do not involve excavation or ground disturbance.</i>	P1 <i>Buildings, works and demolition must not unnecessarily impact on archaeological resources at places of archaeological potential, having regard to:</i> <i>(a) the nature of the archaeological evidence, either known or predicted;</i> <i>(b) measures proposed to investigate the archaeological evidence to confirm predictive statements of potential;</i> <i>(c) strategies to avoid, minimise and/or control impacts arising from building, works and demolition;</i> <i>(d) where it is demonstrated there is no prudent and feasible alternative to impacts arising from building, works and demolition, measures proposed to realise both the research potential in the archaeological evidence and a meaningful public benefit from any archaeological investigation;</i> <i>(e) measures proposed to preserve significant archaeological evidence 'in situ'.</i>
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Buildings and works involve excavation and will result in ground disturbance contrary to A1. Therefore, the performance criteria have been addressed.

The material culture evident through archaeological remains on this site (noting however, the possibility of disturbance) has the potential to provide a range of analytical approaches that may supplement, and/or refute, the historical record and be a very important research tool (a). An archaeological zoning plan has been prepared to spatially reference the particular remains expected and is coupled with an archaeological management policy detailed in Appendix D (b)(c)(d)(e).

The measures set out in the Historic Heritage Management Strategy are considered to satisfy the requirements of the performance criteria.

The proposal has satisfactorily addressed the requirements and performance criteria of the Historic Heritage Code.

4.6 Significant Trees Code

The Significant Trees Code applies to the lopping, pruning, removal, injury or destruction of trees listed in Table E24.1. The existing Walnut tree located on the site is listed in Table E24.1. An Arboricultural Assessment has been prepared commenting on the health of the tree and potential risk to people and property.

The tree has been assessed by an arboriculturalist and found to likely experience a decline over the next 10-20 years possibly due to changes in rainfall patterns in the area. This is typical of walnut trees in the area and exacerbated by heat radiating building elements near the tree. The tree was found to pose a broadly acceptable risk in its current state (refer to Appendix F).

The integrity of the tree will be monitored throughout the development and measures to minimise damage have been recommended (Appendix F).

The pruning of a tree to improve its health or appearance is considered exempt development under the Code provided that the normal growth pattern is not retarded.

5. Impact Assessment

5.1 Visual

An assessment was completed to evaluate the visual impact of the proposed development. The site is located on Macquarie Street, which acts as the main transport route to the Hobart CBD. The surrounding development is quite variable in nature ranging from residential to business and commercial.

The proposed apartment building, whilst in contrast to the Architectural style of nearby buildings, will be setback well behind the building façade of 'Coreen' which is the dominating element of the Macquarie Street frontage. Furthermore, the proposed building setback will ensure that it remains a recessive building on the site and one that strengthens the presence of the existing buildings within the Macquarie Street frontage.

The key views have been considered from vantage points discussed below and as identified and assessed in Appendix D - Conservation Management Policy (refer to Figure 3 below).



Figure 5.10 – Key viewlines to 190 Macquarie Street and the Macquarie Street streetscape in the near vicinity (adapted from GoogleEarth)

Figure 3 - Key Viewlines from Historic Heritage Management Strategy (Appendix D)

View north (location 4)

When looking north towards the site from Davey Street, the proposed development will be set against the backdrop of the Hobart CBD. Most notable is the presence of other taller buildings, predominantly the Ibis Hotel and 188 Collins Street, which serve to make the size, bulk and scale of the proposed building greatly diminished. In addition, the vegetation on the Collegiate site on the corner of Davey and Barrack Street softens and minimises the view of the building. As such, the proposed development reduces the domination within the skyline of Ibis and 188 Collins Street relative to the buildings on Barrack and Davey Streets when viewed from this location.

View looking north east (location 5)

The proposed building will be visible above the Duke of Wellington but not dominant. As such, the proposed development is not considered to present as a dominating building within the skyline when viewed from this location. The colours and finishes used in line with the Conservation Policies ensures the palette blends with the built environment.

View looking south east (location 6)

When looking south east from Macquarie Street the proposed building is a receding, background feature, largely hidden by Coreen and the walnut tree. The building will include architectural articulation as advised in the Conservation Policies, and the internal nature of the building site will reduce the overall presence in the streetscape. Again, the colours and finishes used in line with the Conservation Policies ensures the palette blends with the built environment. Therefore, the proposed building, whilst visible, will align with the existing building fabric of the area.

View looking north east (location 7)

When looking north east from Barrack Street the proposal will generally be positioned in line with the surrounding buildings. This is due to the setback of the building from both Macquarie and Davey Streets, thus minimising apparent height, bulk and scale. Given that the buildings on Davey Street are generally single to double storey, the actual height of the building is not obvious from this perspective. The proposal will sit comfortably within the context of the adjoining buildings and the surrounding area. As such, the prominence of the building within the skyline is minimised when viewed from this location.

View looking north west (location 8)

When looking north west from Davey Street the proposed building, whilst present in the streetscape and clearly a modern addition to a predominantly heritage streetscape, is sufficiently setback from Davey Street and utilises architectural articulation. The height and bulk of the building recedes from 81-83 Davey Street from this perspective. The prominence of the building only decreases further northeast along Davey Street due to the increase in building height provided by the St Helen's Private Hospital building. The proposed development is considered to provide an acceptable blend of modern and heritage building without dominating the skyline when viewed from this location.

5.2 Traffic and Transport Networks

The proposed development will generate an estimated 12 vehicle movements per day. Vehicle access to the development site will be via Macquarie Street.

Pedestrian access will be available directly off Macquarie Street.

Sight distances for exiting vehicles along Macquarie Street are considered sufficient as per the findings identified in the Traffic Impact Assessment (Appendix C). The proposed internal layout is sufficient to meet expected demand and the development itself is unlikely to give rise to any adverse traffic outcomes given the proximity to public transport and local services.

No operational or capacity issues will arise with this development at the junction of the access road with Macquarie Street. The low level of traffic conflict and low speed limit means there is no requirement for special facilities or turning/passing lanes on Macquarie Street at the main access road junction or at any other junction related to the development site.

A Traffic Impact Assessment is attached as Appendix C.

5.3 Water Quality, Air & Microclimate

The entire site is currently developed with impervious surfaces from parking areas and buildings. The proposed development will not increase the stormwater runoff.

Dust is likely to be generated during the construction phase. This will be minimised through a construction environmental management plan and occur only for a short period of time.

5.4 Noise

The development will be located more than 375 m from a residential zone. Noise from the development will be of a residential nature and is not considered to cause any significant impact on the surrounding area in the long-term. Noise generated during construction will have a short-term impact on the surrounding area, the timing of which will be in accordance with established timeframes under the *Environmental Management and Pollution Control Act 1994*.

5.5 Natural Hazards

There are no known natural hazards on the site.

5.6 Heritage

The subject site is located in Heritage Precinct H1 and the building 'Coreen', located at 1/190 Macquarie Street, is listed as a Heritage Place under Table E13.1 of the Scheme. Suite 1, 190 Macquarie Street (Coreen) is also listed on the Tasmanian Heritage Register; therefore, the place is subject to the provisions of the *Historic Cultural Heritage Act 1995*.

The building located on Suite 2, 190 Macquarie Street is a single-storey commercial building constructed around 1982. The building is of no heritage significance, contributes nothing to the heritage precinct and is not part of the intent of any heritage listing.

An Historic Heritage Management Strategy has been prepared and is attached as Appendix D. This document formalises the appropriate articulation and finishes for the proposed building to minimise potential impact on the existing heritage fabric of the area.

Coreen is a late-Victorian styled residence built to the Macquarie Street boundary. It is likely that the building consists of an earlier 2-storey building with another 2-storey building attached to the frontage in a more contemporary (c1900) style). The rear wing of Coreen was probably added in the late 19th century.

The adjacent heritage places (Coreen, St John's Church, Bellkirk, Duke of Wellington Hotel) hold a dominant presence in the streetscape given their height, bulk and placement. Building above 3 storeys on Suite 2 would provide a backdrop to these places. The impact of backdropping could be mitigated by appropriate articulation and finishes.

The Heritage Impact Statement considers that Coreen will remain the dominant streetfront element from Macquarie Street.

5.7 Flora and Fauna

The site and surrounds are classified as Urban area in accordance with TASVEG 3.0 mapping. No threatened flora or fauna have been recorded on the site.

The existing walnut tree on the site is listed on the Hobart City Council Significant Tree Register. The tree has been assessed by an arboriculturalist and found to likely experience a decline over the next 10-20 years possibly due to changes in rainfall patterns in the area. This is typical of walnut trees in the area and exacerbated by heat radiating building elements near the tree. The tree was found to pose a broadly acceptable risk in its current state (refer to Appendix F). Measures have been recommended to protect the health of the tree during construction.

5.8 Solar Access

Solar access will be variable due to the layout of the apartments. Apartment 1 on the ground level would receive afternoon sunlight into the open plan living/dining area and Apartment 2 would receive morning sunlight into the open plan living/dining area and both bedrooms. Apartments 3 and 4 on the upper level floors would receive sunlight from both the north eastern and north western elevations, ensure some aspect of the apartment would receive sunlight throughout the entire day.

5.9 Safety, Security and Crime Prevention

Lighting design will be in accordance with AS/NZS 1158 .3.1:2005, which will increase the safety of the carpark and street.

Apartment windows on the north western façade will allow for passive surveillance to Macquarie Street and the path approaching the building.

5.10 Social Impacts

The proposed development will create short-term job opportunities in the Hobart area. In the long-term the development will provide new housing options that bring people into the Hobart area and close to the amenities and opportunities within the CBD.

5.11 Economic Impacts

The proposed development will increase the spending population in the Hobart area. In the short term the development will support economic growth in the property and construction sectors.

6. Conclusion & Recommendations

The proposed development seeks to construct a 5-storey building with limited onground car parking. The building will incorporate 4 apartments and a rooftop terrace.

The development is to be located within the Central Business Zone and is subject to the 'Heritage Precinct' overlay.

The proposed development generates the following discretions under the Planning Scheme:

- 22.4.2 Setback
- 22.4.3 Design
- 22.4.4 Passive Surveillance
- E6.6.5 Number of Car Parking Spaces - Central Business Zone
- E13.7.2 Buildings and Works other than Demolition (Heritage Place)
- E13.8.1 Demolition (Heritage Precinct)
- E13.8.2 Buildings and Works other than Demolition (Heritage Precinct)
- E13.9.2 Buildings and Works other than Demolition (Place of Archaeological Potential)

The proposal has been assessed against all relevant performance criteria and found to be acceptable. In conclusion, the application is considered to be acceptable with respect to the Planning Scheme requirements and therefore ought to be supported by the Planning Authority.

APPENDIX A

Title Information

**RESULT OF SEARCH**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



SEARCH OF TORRENS TITLE

VOLUME 96378	FOLIO 2
EDITION 5	DATE OF ISSUE 13-Apr-1999

SEARCH DATE : 19-Dec-2018

SEARCH TIME : 06.39 PM

DESCRIPTION OF LAND

City of HOBART

Lot 2 on Strata Plan 96378 (formerly being STR1456) and a
general unit entitlement operating for all purposes of the
Strata Scheme being a 1 undivided 1/2 interest

Derived from Strata Plan 96378

Derivation : Part of 23 perches Section B Gtd to E Dunkley,
whole of 16 perches Section B Gtd to T Y Lowes and whole of 14
perches and 0a 1r 28ps Section B Gtd to C McLachlan
Prior CT 4123/68

SCHEDULE 1

B741758 TRANSFER to GARRY JOHN BAKER Registered 23-Jun-1994
at 12.02 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
The registered proprietor holds the lot and unit entitlement
subject to any interest noted on common property
Folio of the Register volume 96378 folio 0

B741759 MORTGAGE to National Australia Bank Limited
Registered 23-Jun-1994 at 12.3 pm

UNREGISTERED DEALINGS AND NOTATIONS

129640 PLAN Lodged by H.E.C. on 09-Mar-1998 BP: 129640



FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



Conveyancing and Law of Property Act 1884

STRATUM PLAN

No. 1456.

Sheet 1 of 4 Sheets

REGISTERED NUMBER

96378

City or Town HOBART

Locality HOBART

Reference to Title C.T. 3916/98 4117-87

Site comprises the whole portion of Lot 1 on Plan Diagram No. D17753 D48754 in the

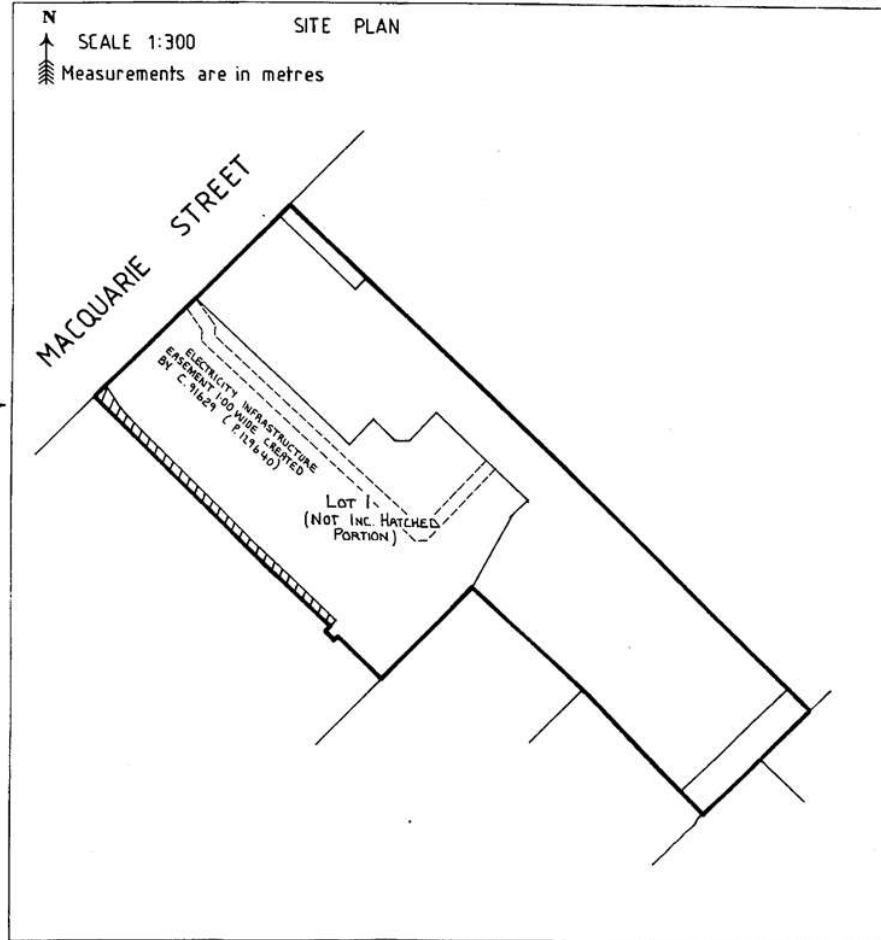
Lands Titles Office

The name of the building is No. 190-192 MACQUARIE STREET HOBART

External
surface
boundaries of
the site and
the location of
the building
in relation
thereto to
be delineated
in this space



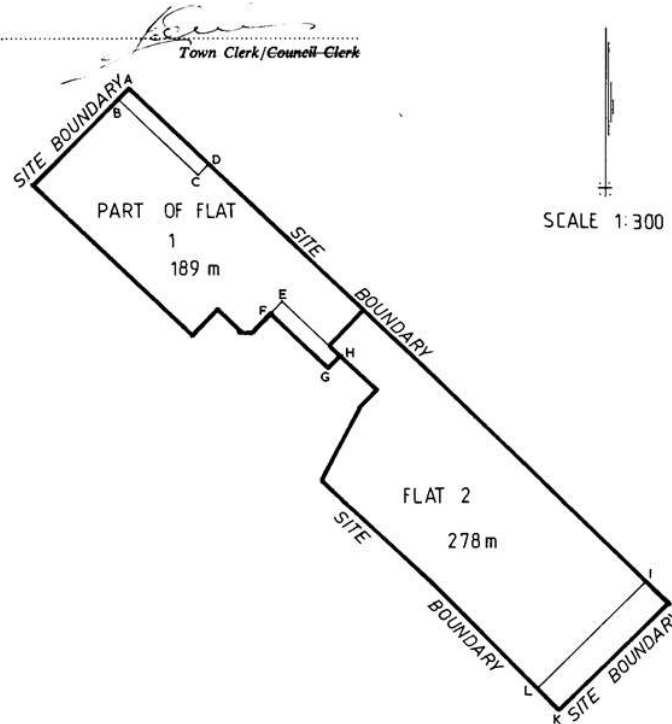
N
SCALE 1:300
Measurements are in metres

REGISTERED this 23rd day of October 1984, No. 1456.

This plan is lodged for registration by Page Seager

Recorder of Titles

Sheet 2 of 4 Sheets

GROUND FLOOR

The horizontal boundaries of each flat are shown by heavy unbroken lines.

The common boundary of a flat with another flat or with common property shall be the outside of walls, the centre of the floor or ceiling as the case may be unless otherwise shown.

The portion of the flat within the area shown ABCD is a path and entrance and is defined horizontally by the outside of walls and the site boundaries and extends vertically from ground level to the prolongation of the centreline of the ceiling of the ground floor portion of the flat above.

The portion of the flat within the area shown EFGH is stairs and landing and is defined horizontally by the outside of the walls and the outside face of the steel stairs and landing and extends vertically from the underneath of the steel stairs and landing to the prolongation of the centreline of the ceiling of the first floor portion of the flat above.

The portion of the flat within the area IJKL is an open space and is defined horizontally by walls and site boundaries and extends vertically from ground level to the prolongation of the centreline of the ceiling of the ground floor portion of the flat above.

The common boundary between Flat 1 and Flat 2 is the outside face of the wall of Flat 1.

**FOLIO PLAN**

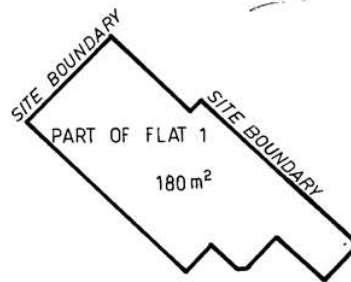
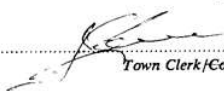
RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



If further sheets are required to illustrate the flats, the sheets should be pinned here. Further sheets must be of paper supplied for the purpose by the Recorder of Titles and bearing his seal, and be numbered consecutively, commencing from sheet 4.

Sheet 3 of 4 Sheets



Town Clerk/Council Clerk

SCALE 1:300

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FOLIO PLAN

RECORDED OF TITLES

Issued Pursuant to the Land Titles Act 1980



Sheet 4 of 4 Sheets

96378

~~Town Clerk / Council Clerk~~

The address for service of notices on the company is:—

No. 190-192 MACQUARIE STREET
HOBART
7000

UNIT ENTITLEMENTS

[illegible]

SURVEYOR'S CERTIFICATE

I, Nicholas Griggs.....
of 295 Elizabeth Street Hobart.....
a surveyor registered under the *Land Surveyor's Act* 1909, hereby certify that the building
erected on the site described and delineated on
sheet 1 of this plan is within the external bound-
aries of the title stated on sheet 1.

Dated this 14th day of April 19 82

Richard C. Cray
Registered Surveyor

COUNCIL CLERK'S CERTIFICATE

I certify that the subdivision shown in this plan
has been approved by the Hobart

City Council

Dated this 30th day of September 19 82

~~Town Clerk/Council Clerk~~

FOR OFFICE USE ONLY

C3555 TRANSFER TO BULLBERG INVESTMENTS
OF LOT 1 (12.7m²) ON SP.47870 AND SHOWN
HATCHED ON THE SITE PLAN HEREON

RECORDED
H. H. H. H.
RECORDER OF TITLES
14 15/97.

C.91629 BURDENING EASEMENT - ELECTRICITY
INFRASTRUCTURE EASEMENT FOR THE HYDRO ELECTRIC
CORPORATION OVER THE ELECTRICITY INFRASTRUCTURE
EASEMENT 100 WIDE, SHOWN ON P.129640 (WITH THE
BENEFIT OF A RESTRICTION AS TO USER OF LAND)

RECORDED OF TITLES
29 / 9 / 98

**RESULT OF SEARCH**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

SEARCH OF TORRENS TITLE

VOLUME 96378	FOLIO 0
EDITION 3	DATE OF ISSUE 13-Apr-1999

SEARCH DATE : 05-Nov-2018

SEARCH TIME : 09.55 AM

DESCRIPTION OF LAND

City of HOBART

The Common Property for Strata Scheme 96378 (formerly being STR1456)

Derivation : Part of 23 perches Section B Gtd to E Dunkley,
whole of 16 perches Section B Gtd to T Y Lowes and whole of 14
perches and 0a 1r 28ps Section B Gtd to C McLachlan
Prior CT 4117/87

SCHEDULE 1

STRATA CORPORATION NO. 96378, 190-192 MACQUARIE STREET, HOBART

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

UNREGISTERED DEALINGS AND NOTATIONS

129640 PLAN Lodged by H.E.C. on 09-Mar-1998 BP: 129640



FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



Conveyancing and Law of Property Act 1884

STRATUM PLAN

No. 1456.

Sheet 1 of 4 Sheets

REGISTERED NUMBER

96378

City or Town HOBART

Locality HOBART

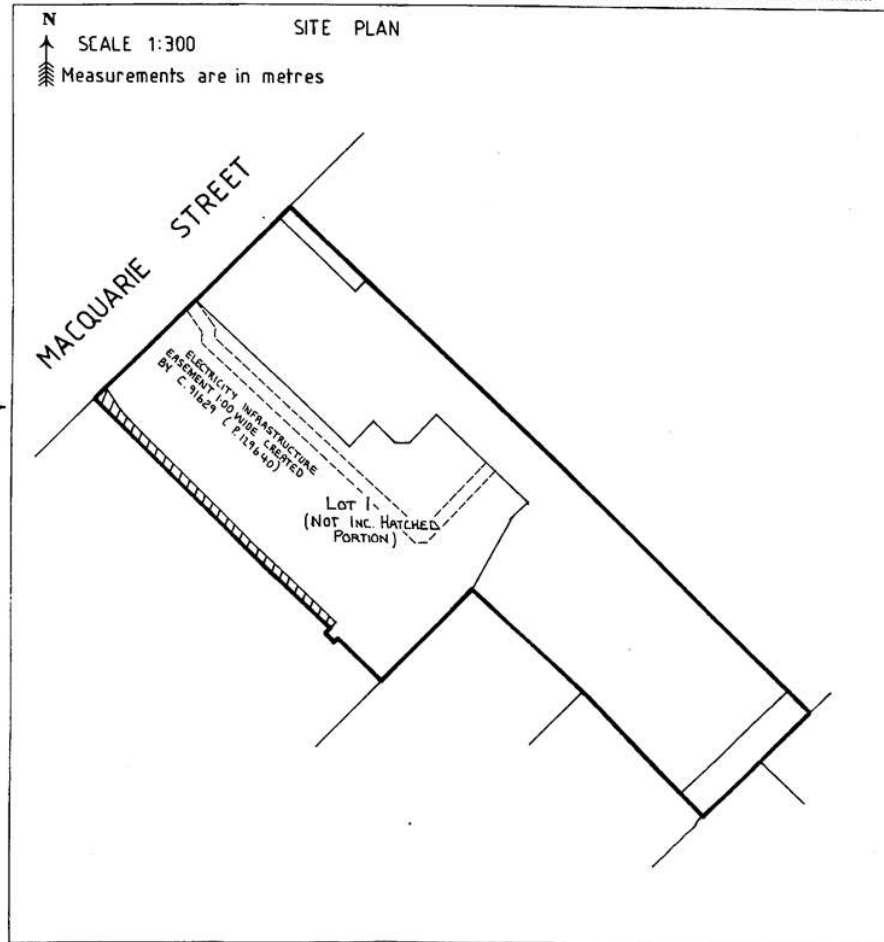
Reference to Title C.T. 3916/98 4117-87

Site comprises the whole portion of Lot 1 on Plan Diagram No. D17753 D48754 in the

Lands Titles Office

The name of the building is No. 190-192 MACQUARIE STREET HOBART

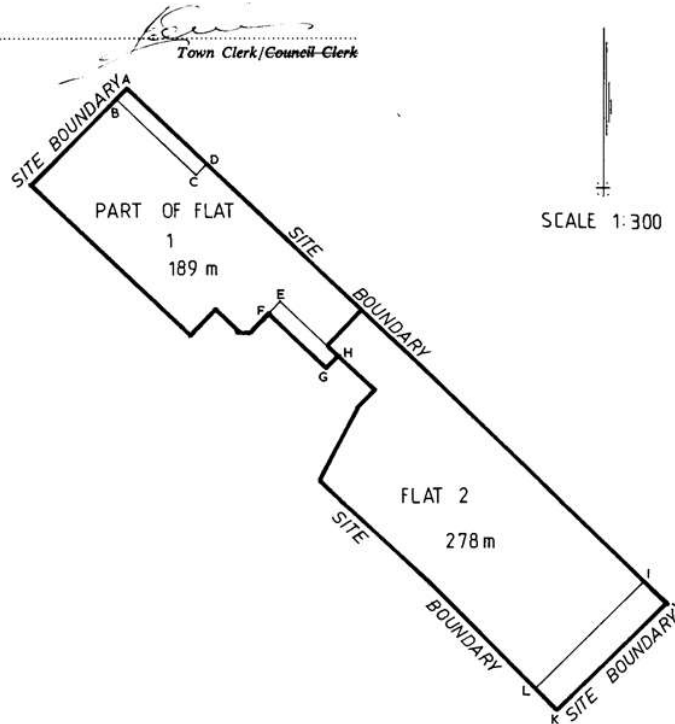
External
surface
boundaries of
the site and
the location of
the building
in relation
thereto to
be delineated
in this space

REGISTERED this 23rd day of October 1984, No. 1456.

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**FOLIO PLAN**

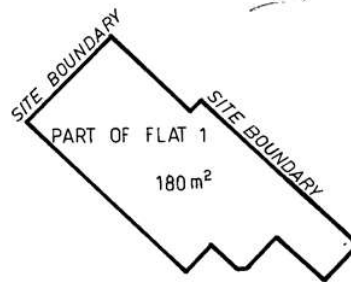
RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



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Sheet 3 of 4 Sheets



Town Clerk/Council Clerk

SCALE 1:300

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FOLIO PLAN

RECORDED OF TITLES

Issued Pursuant to the Land Titles Act 1980



Sheet 4 of 4 Sheets

96378

~~Town Clerk / Council Clerk~~

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7000

UNIT ENTITLEMENTS

[illegible]

SURVEYOR'S CERTIFICATE

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C.91629 BURDENING EASEMENT - ELECTRICITY
INFRASTRUCTURE EASEMENT FOR THE HYDRO ELECTRIC
CORPORATION OVER THE ELECTRICITY INFRASTRUCTURE
EASEMENT 100 WIDE, SHOWN ON P.129640 (WITH THE
BENEFIT OF A RESTRICTION AS TO USER OF LAND)

RECORDED OF TITLES
29 / 9 / 98

APPENDIX B

Proposal Plans & Photo Montages

PROJECT: 190 MAC
ISSUE: DA-02

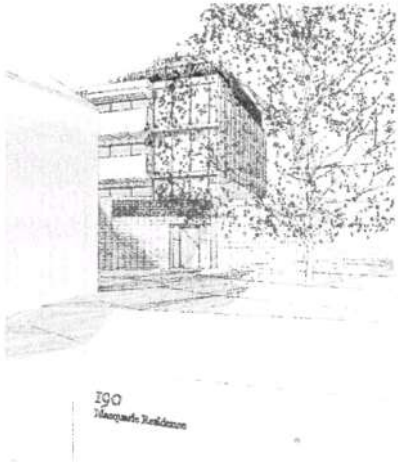
PROJECT NO: 160702
ADDRESS: 190 MACQUARIE ST HOBART TAS 7000
DATE OF ISSUE: 23/07/2019

PROPERTY ID.: PHOLIO :0 FLAT : 2
TITLE REFERENCE: 96378

CLIMATE ZONE: 7
BAL RATING: N/A
PLANNING SCHEME:

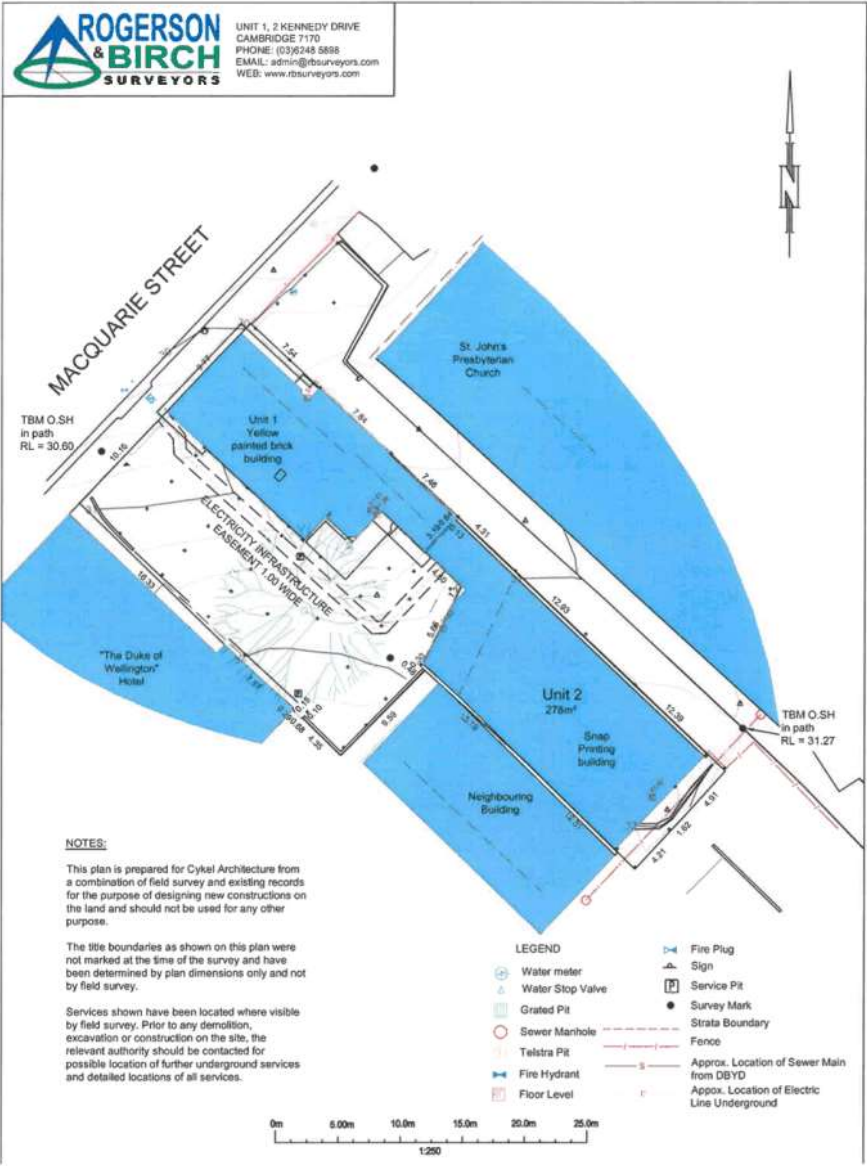
DRAWING SCHEDULE

- 01.01 SURVEY CONDITIONS
- 01.02 LOCATION PLAN
- 01.03 EXISTING PLAN
- 01.04 DEMOLITION PLAN
- 01.05 PROPOSED SITE PLAN / BOUNDARY
- 01.06 PROPOSED GROUND FLOOR PLAN
- 01.07 PROPOSED LEVEL 1 PLAN
- 01.08 LEVEL 2 & 3
- 01.09 LEVEL 4 & ROOF PLAN
- 01.10 ELEVATIONS
- 01.11 ELEVATIONS
- 01.12 ELEVATIONS
- 01.13 SOUTHERN CONTEXT ELEVATION
- 01.14 SECTION AA
- 01.15 SECTION BB
- 01.16 LANDSCAPE PLAN
- 01.17 STREET VIEW
- 01.18 DAVEY STREET VIEW



CYKEL 160702 190 MAC 23/07/2019 1024.A4

	CYKEL ARCHITECTURE level 2 / 33 Munnery 32 Munnery St, Hobart, Tas 61 0345024545 e: stephen@cykelarchitecture.com.au www.cykelarchitecture.com.au	PROJECT: 190 MAC, 190 MACQUARIE ST HOBART TAS 7000 DRAWING COVER		011 - REVISIONS DA-01 190 MACQUARIE ST APARTMENTS -	DATE OF ISSUE 23/07/2019		project no	date	scale							
							160702	23/07/2019	1:1							
														revision	checked	drawing no
														DA-02	19	COVER



- NOTES:**
1. Builder to verify all dimensions and levels on site prior to commencement of work;
2. All construction work shall be carried out in accordance with Planning and Building permits;
3. All work to be carried out in accordance with the Building Code of Australia/National Construction Code, relevant Australian Standard local government regulations etc;
4. Materials and workmanship to conform with state building regulations, local council by laws and relevant BCA codes, Australian standards and manufacturers specifications;
5. Do not scale off drawing - dimensions to take precedence on scale. Discrepancy to be reported to architect immediately.

CYKEL 160702 190 MAC - 23/07/2019 10:34 AM

	CYKEL ARCHITECTURE level 2 / 31 Murray 32 Murray St, Hobart, Tas t: 0439254749 e: stephen@cykelarchitecture.com.au www.cykelarchitecture.com.au	PROJECT: 190 MAC, 190 MACQUARIE ST HOBART TAS 7000 DRAWING: SURVEY CONDITIONS	CY - DESIGN DA-62 THE MACQUARIE ST APARTMENTS -	DATE/REVISED 23/07/2019		project no	date	scale					
						160702	23/07/2019	1:1 @A2					
										revision	checked	drawing no	
										DA-62	sp	01.01	

- NOTES:
- 1. Builder to verify all dimensions and levels on site prior to commencement of work.
 - 2. All construction work shall be carried out in accordance with Planning and Building permits.
 - 3. All work to be carried out in accordance with the Building Code of Australia/National Construction Code, relevant Australian Standard local government regulations etc.
 - 4. Materials and workmanship to conform with state building regulations, local council by laws and relevant BCA codes, Aust standards and manufacturers specifications.
 - 5. Do not scale off drawing - dimensions to take precedence on scale. Discrepancy to be reported to architect immediately.



1 LOCATION PLAN
NOT TO SCALE

CHILL: 960730 - 190 MAC - 23/07/2019 10:24 AM



CYKEL ARCHITECTURE
level 2 / 31 Murray
32 Murray St, Hobart, Tas
t: 0410054149
e: info@cykelarchitecture.com.au
www.cykelarchitecture.com.au

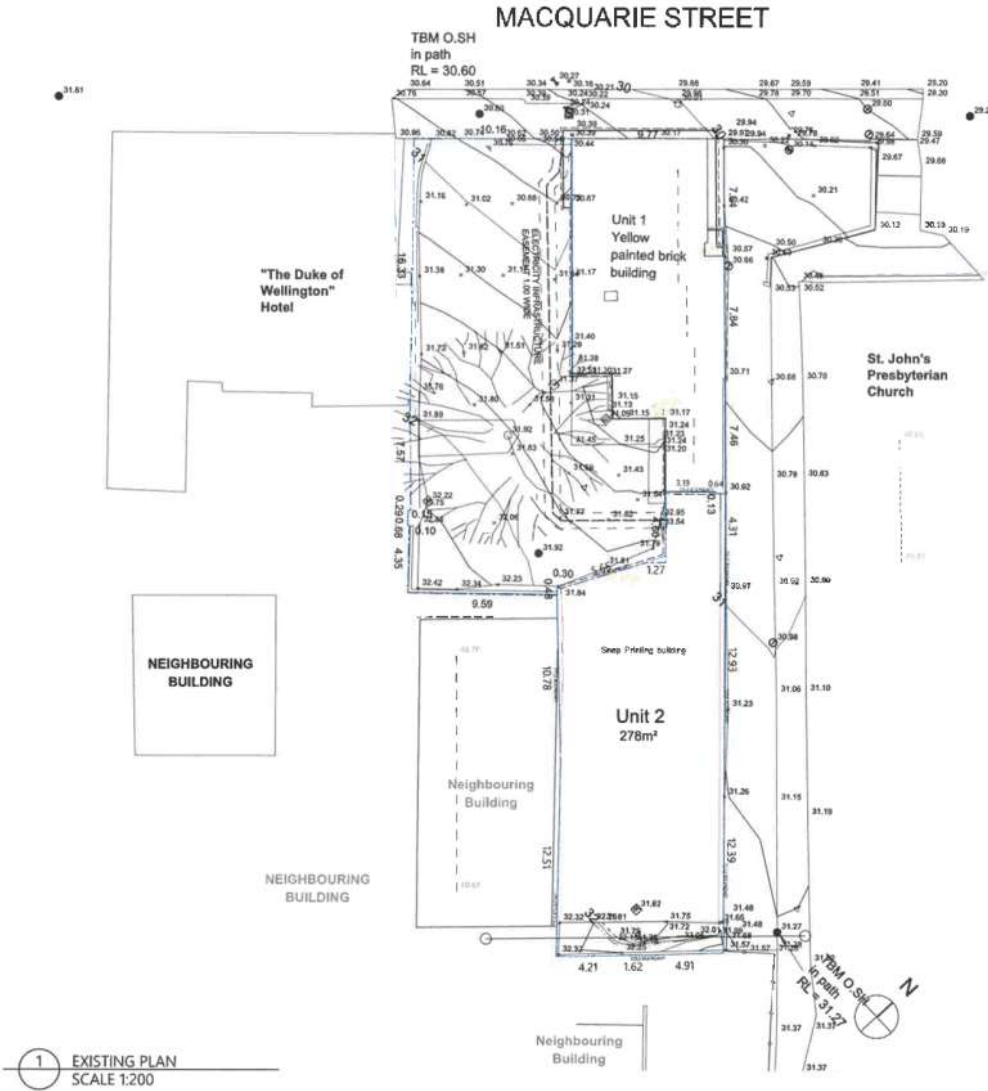
PROJECT:
190 MAC,
190 MACQUARIE ST HOBART TAS 7000
DRAWING:
LOCATION PLAN

REV: 001
DESCRIPTION:
190 MACQUARIE ST APARTMENTS -
DATE: 23/07/2019

DATE: 23/07/2019
PROJECT NO: 160702
REVISION: DA-02

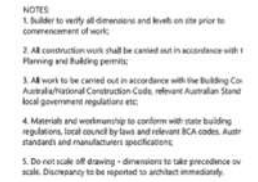
DATE: 23/07/2019
SCALE: 1:100
DRAWING NO: 01.02

- NOTES:
- 1. Builder to verify all dimensions and levels on site prior to commencement of work.
 - 2. All construction work shall be carried out in accordance with Planning and Building permits.
 - 3. All work to be carried out in accordance with the Building Code of Australia, National Construction Code, relevant Australian Standard local government regulations etc.
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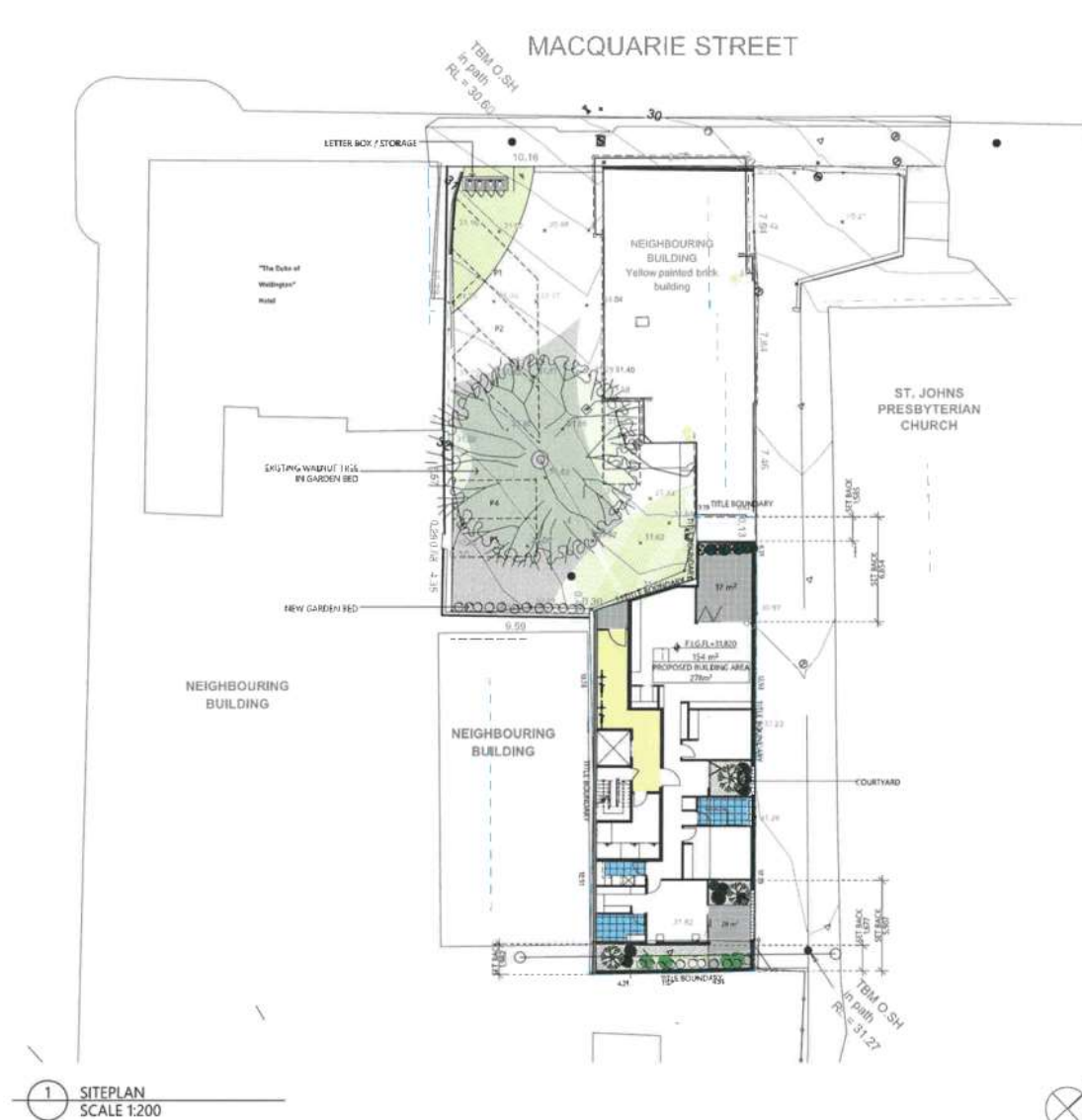
C:\V\150 MAC 23/07/2019 10:21 AM

 <p>CYKEL ARCHITECTURE Level 2 / 18 Murray 32 Macquarie St, Hobart, Tas t. 0410054749 info@kellarchitect.com.au www.kellarchitect.com.au</p>	<p>PROJECT: 150 MAC, 150 MACQUARIE ST HOBART TAS 7000</p> <p>DRAWING: EXISTING PLAN</p>	<p>NO. 150 MACQUARIE ST APARTMENTS -</p>	<p>DATE 23/07/2019</p>	<p>SCALE 1:200</p>	<p>DATE 23/07/2019</p>
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 CYKEL ARCHITECTURE level 2 / 51 Murray 32 Murray St, Hobart, Tas 7000 t: 0430254749 e: stephen@cykelarchitecture.com.au www.cykelarchitecture.com.au	PROJECT: 190 MAC, 190 MACQUARIE ST HOBART TAS 7000 DRAWING: DEMOLITION PLAN					REV D500	REV/REASON 190 MACQUARIE ST APARTMENTS -	DATE REVISED 23/07/2019		project no 190/PJL	date 23/07/2019	scale 1:200 (A2)
										checked by DA-07	checked by sg	drawing no 01/04



NOTES:

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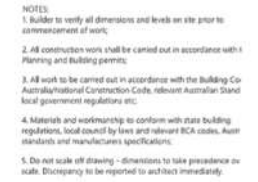
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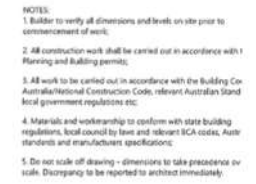


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PROJECT:
790 MAC,
790 MACQUARIE ST HOBART TAS 7000
DRAWING:
PROPOSED SITE PLAN / BOUNDARY

REV	DESCRIPTION	DATE APPROVED	PROJECT NO	DATE	SCALE
DA-01	190 MACQUEE ST APARTMENTS -	25/07/2019	160702	23/07/2019	1:200 @A2
			revision	checked	drawing no
			DA-02	rg	01.05





1 PROPOSED FIRST FLOOR
SCALE 1:100



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 CYKEL ARCHITECTURE level 2 / 55 Montpar 33 Montpar 55, Montpar, Tex ex 0430054748 ex stephane@cykelarchitecture.com.au ex www.cykelsarchitecture.com.au	PROJECT: 190 MAC. 190 MACQUARIE ST HOBART TAS 7000 DRAWINGS: LEVEL 2 & 3	DATE: 23/07/2019 DATE REVISION: 23/07/2019	<div><div>190 MACQUARIE ST APT 202</div><div>04-02</div></div>	project no 19002 date 23/07/2019 scale 1:100 @A2
	REVISION: 04-02 190 MACQUARIE ST APARTMENTS - 04-02	revision 04-02 checked ap drawing no 01.06		

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1 PROPOSED ROOF TERRACE PLAN
SCALE 1:100



2 PROPOSED ROOF PLAN
SCALE 1:100



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PROJECT:
190 MAC,
190 MACQUARIE ST HOBART TAS 7000
DRAWING:
LEVEL 4 & ROOF PLAN

REV.	DESCRIPTION	DATE
01	190 MACQUARIE ST APARTMENTS -	21/07/2019

PROJECT NO.	160702
DATE	21/07/2019
SCALE	1:100, 1:200 (R.A.)

DESIGNED BY	160702
CHECKED BY	160702
DATE	21/07/2019



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- LEGEND
- WT.01 FACE BRICK WALL
 - WT.02 BRICK VENEER WALL
 - WT.03 SELECTED METAL SHEET WALL CLADDING
 - WT.04 SELECTED LIGHTWEIGHT WALL CLADDING A
 - WT.05 PRECAST CONCRETE PANEL REBATE AND SANDBLAST FINISH CLADDING B
 - WT.06 SELECTED FACE BRICK WALL
 - GL.01 ALUMINUM FRAMED DOUBLE GLAZE WINDOWS POWDERCOAT FINISH ACOUSTIC TO AS/NZS 1-1999



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 CYKEL ARCHITECTURE Level 2 / 111 Mainpy 52 Mainpy St Hobart Tas Tas 7000 P: 0810054149 E: info@cykelarchitecture.com.au www.cykelarchitecture.com.au	PROJECT: 180 MAC, 180 MACQUARIE ST HOBART TAS 7000 DRAWING: ELEVATIONS		REV. 04-01 DESCRIPTION 180 MACQUARIE ST APARTMENTS -	DRAWN BY: 23.07.2019		PROJECT NO. 180707 DATE 23/07/2019 SCALE 1:100 @A2 DESIGNED BY 23/07/2019
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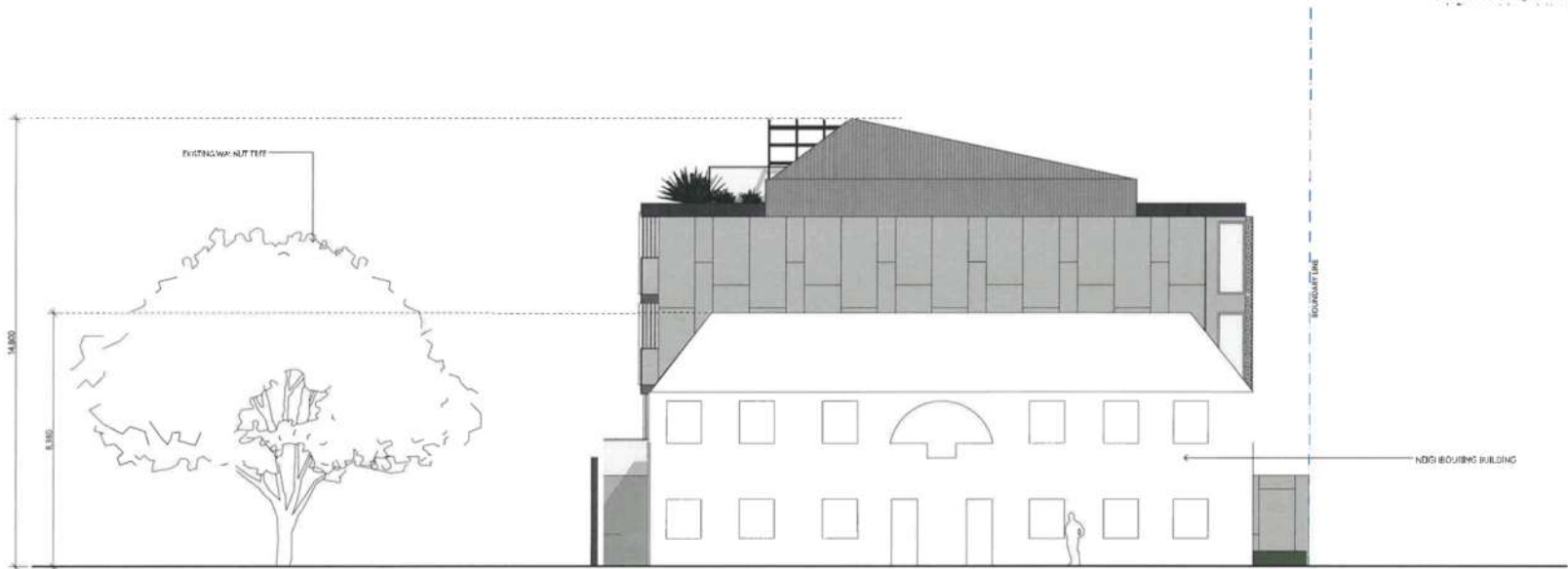


	CYKEL ARCHITECTURE #6/2 / 11 Murray 32 Murray St Hobart Tas TAS 7000 (AUSTRALIA) t +61(0)354749 e info@cykelarchitecture.com.au www.cykelarchitecture.com.au	PROJECT: 190 MAC 190 MACQUARIE ST HOBART TAS 7000 DRAWING: ELEVATIONS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																									
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						revision DA-02	checked hp	drawing no 01.12	

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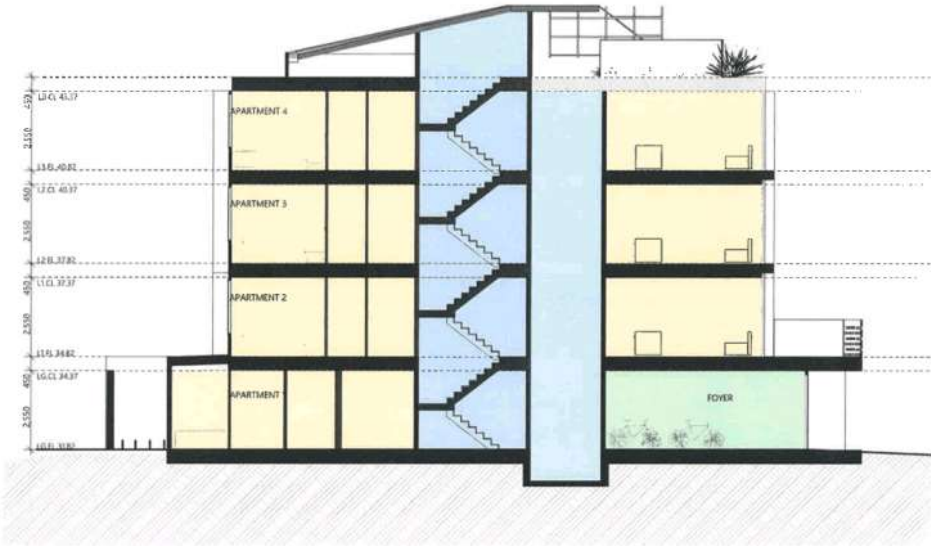


1 SOUTHERN CONTEXT ELEVATION
SCALE 1:100

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 CYKEL ARCHITECTURE level 2 / 31 Murray 32 Murray St, Hobart, Tas 61 040054749 enquiries@cykelarchitecture.com.au www.cykelarchitecture.com.au	PROJECT: 180 MAC 180 MACQUARIE ST HOBART TAS 7000 DRAWING: SOUTHERN CONTEXT ELEVATION		REV.	DESCRIPTION	DATE/REVISION		project no	date	scale
			DA-01	180 MACQUARIE ST APARTMENT'S	28/07/2019		revision	checked	drawing no

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AA SECTION AA
SCALE 1:100

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												REVISION	CHECKED	DRAWING NO
												DA-01	19	01/14

Architectural section BB of a four-story apartment building. The section shows four floors labeled APARTMENT 1, APARTMENT 2, APARTMENT 3, and APARTMENT 4. Each floor has a yellow interior and a black exterior. The building is situated on a sloped site, with a road and a building labeled 'BANK' visible in the background. The section is labeled 'SECTION BB' and 'SCALE 1:100'.

CYKEL ARCHITECTURE level 2 / 11 Murray 82 Murray St, Hobart, Tas vic. 640054749 e: shop@cykelarchitecture.com.au www.cykelarchitecture.com.au	PROJECT: 190 MAC. 190 MACQUARIE ST HOBART TAS 7000 DRAWING: SECTION BB			REV.	DESCRIPTION	DATE REV.		project no	date	scale
				DA-02	190 MACQUARIE ST APARTMENTS -	28/07/2019		160702	28/07/2019	1:100 @A2
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MACQUARIE STREET



1 LANDSCAPE PLAN
SCALE 1:200

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PROJECT:
190 MAC,
190 MACQUARIE ST HOBART TAS 7000
DRAWING:
LANDSCAPE PLAN

REV	DESCRIPTION	DATE APPROVED		PROJECT NO	DATE	SCALE
D-02	116 MACQUEEN ST AREA IMPROVEMENTS -	MAY 2019		160732	23/07/2019	1:200, 1:100 @ A2
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- NOTES:
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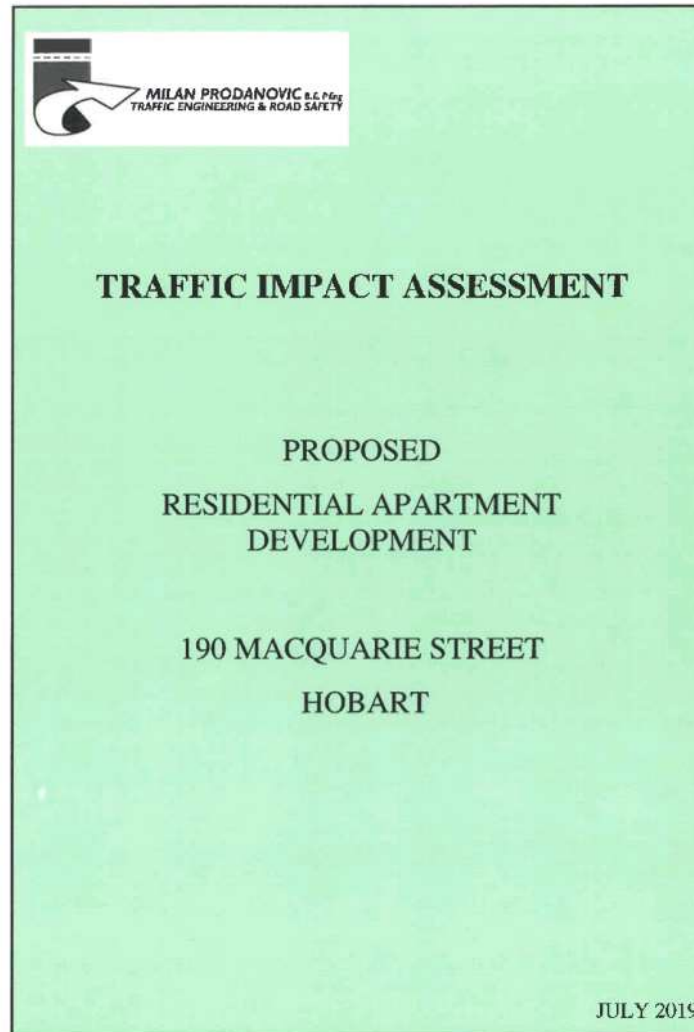
1 20190718 Davey St View
SCALE 1:1

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 CYKEL ARCHITECTURE Level 2 / 55 Murray 42 Murray St, Hobart, Tas ph 040054749 info@cykelarchitecture.com.au www.cykelarchitecture.com.au	PROJECT: 190 MAC, 190 MACQUARIE ST HOBART TAS 7000 DRAWING: DAVEY STREET VIEW		REV.	DESCRIPTION	DATE/ISSUE		project no	date	scale		
			DA-01	190 MACQUARIE ST APARTMENT 15	23/07/2019		760702	23/07/2019	1:1 @A2		
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APPENDIX C

Traffic Impact Assessment





TRAFFIC IMPACT ASSESSMENT

PROPOSED RESIDENTIAL APARTMENT DEVELOPMENT

**190 MACQUARIE STREET
HOBART**

SEPTEMBER 2019

11 KYTHERA PLACE, ACTON PARK TASMANIA 7170
TEL: (03) 6248 7323 MOBILE: 0402 900 106
EMAIL: milglad@bigpond.net.au ABN: 51 345 664 433

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2. SITE DESCRIPTION	5
3. DEVELOPMENT PROPOSAL	6
4. EXISTING ROAD AND TRAFFIC ENVIRONMENT	7
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5. TRAFFIC GENERATION BY THE DEVELOPMENT	11
6. TRAFFIC ASSESSMENT AND IMPACT	12
6.1 Operational Impact of Increased Traffic Activity	12
6.2 Assessment of Available Sight Distances	12
6.3 Internal Traffic Access, Circulation and Car Parking	15
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7. SUMMARY AND RECOMMENDATIONS	19

ATTACHMENTS:

Attachment A – Design drawings of proposed layout of residential apartment development

Drawings of car parking layout, access driveway and on-street parking changes

REFERENCES:

- Australian Standard AS 1742.2-2009 – Manual of uniform traffic control devices Part 2: Traffic control devices for general use
- AUSTROADS – Guide to Road Safety Part 6: Road Safety Audit (2009)
- Road Traffic Authority NSW – Guide to Traffic Generating Developments, 2002
- Road and Maritime Services (Transport) - Guide to Traffic Generating Developments; Updated traffic surveys (August 2013)
- AUSTROADS – Guide to Road Design Part 4A: Unsignalised and Signalised Intersections (2009)
- AUSTROADS – Guide to Traffic Management Part 6: Intersections, Interchanges and Crossings (2009)
- Australian Standard AS 2890 – Parking Facilities, Part 1 – Off-street car parking
- Hobart Interim Planning Scheme 2015

1. INTRODUCTION

A planning application will be lodged with the Hobart City Council for the development of four residential apartments at 190 Macquarie Street in Hobart.

This Traffic Impact Assessment (TIA) report has been prepared in support of the proposed development.

The TIA report considers the existing road and traffic characteristics along Macquarie Street in the area of the development site. An assessment is made of the traffic activity that the residential apartment development will generate and the effect that this traffic will have on Macquarie Street.

Consideration is given to the access arrangements and available sight distances along Macquarie Street at the junction of the driveway to the development site. An assessment is also made of the driveway arrangements, internal vehicle traffic circulation and parking provisions within the development site having regard to current applicable Australian standards and the requirements of the Hobart Interim Planning Scheme (2015).

The report is based on the Department of State Growth (DSG) - Traffic Impact Assessment Guidelines with regard to Austroads Guide to Traffic Management – Part 12. The techniques used in the investigation and assessment incorporate best practice road safety and traffic management principles.

2. SITE DESCRIPTION

The proposed development site is located on the southern side of Macquarie Street, between Harrington Street and Barrack Street, around 30m to the east of the Barrack Street intersection.

The site lies within the Central Business Zone of Hobart.

There is a church on the eastern side, a hotel on the western side of the development site and an existing building at the front of site at Macquarie Street.

The location of the development site has been highlighted on the extract from the street atlas for this area, seen in Figure 2.1.

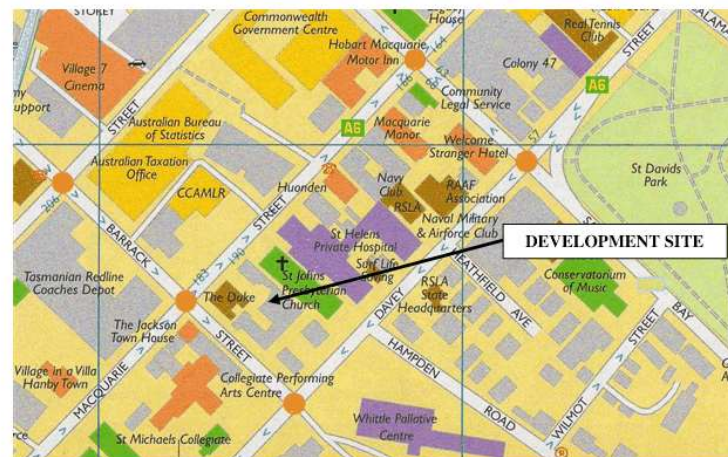


Figure 2.1: Extract of street atlas showing location of proposed residential apartment development site

3. DEVELOPMENT PROPOSAL

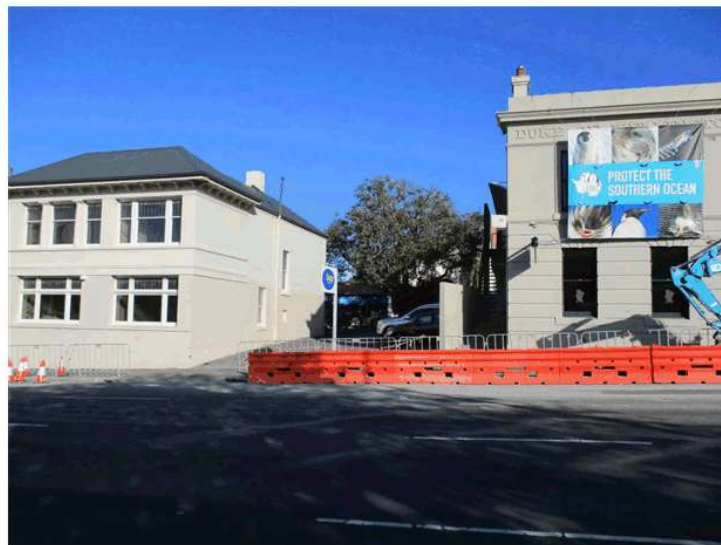
The proposed development at 190 Macquarie Street is the construction of four residential apartments on an internal part of the property. There is a single storey building on the development site at present.

The apartment block will have four apartments with one 3-bedroom apartment on each level of the four level building.

The vehicle access to the car parking area will be via an existing driveway off Macquarie Street. The car parking area will have six designated car parking spaces in the forecourt area off Macquarie Street.

A view of the development site is seen in Photograph 3.1.

Design drawings of the proposed development site layout are included with this report as Attachment A.



**Photograph 3.1: View of development site from Macquarie Street
(behind building on left)**

4. EXISTING ROAD AND TRAFFIC ENVIRONMENT

4.1 Road Characteristics

The one road of relevance to the proposed residential apartment development under consideration with respect to vehicular traffic is Macquarie Street.

Macquarie Street has a straight horizontal alignment on a slight downgrade to the east.

The width of Macquarie Street in the area of the development site access is around 12.8m between kerb faces, within which there are three traffic lanes and parking along both sides of the street during off-peak periods (four traffic lanes when clearway restrictions apply along northern side of the street). There are footpaths along both sides of Macquarie Street.

The 50km/h urban speed limit applies to Macquarie Street.

Views of the geometric character of Macquarie Street in the area of the development site is seen in Photograph 4.1.



Photograph 4.1: View to east along Macquarie Street with development site ahead on right between buildings

4.2 Traffic Activity

Traffic volume data for Macquarie Street past the development site has been received from DSG. The vehicle volume data are from the traffic signal loop detectors in each lane in Macquarie Street at the Harrington Street intersection.

Data that was recorded on Thursday 17 May 2018 has been analysed and the morning and afternoon peak hour traffic volumes in each lane have been summarised and presented in Figures 4.1 and 4.2.

The total peak period traffic volumes in this city block were 2,587 vehicles/hour in the 7:45-8:45am morning period and 2,152 vehicles/hour in the 4:30-5:30pm afternoon period. The traffic volumes in the right lane, nearest the development site, during these morning and afternoon peak periods were 728 vehicles/hour and 684 vehicles/hour, respectively.

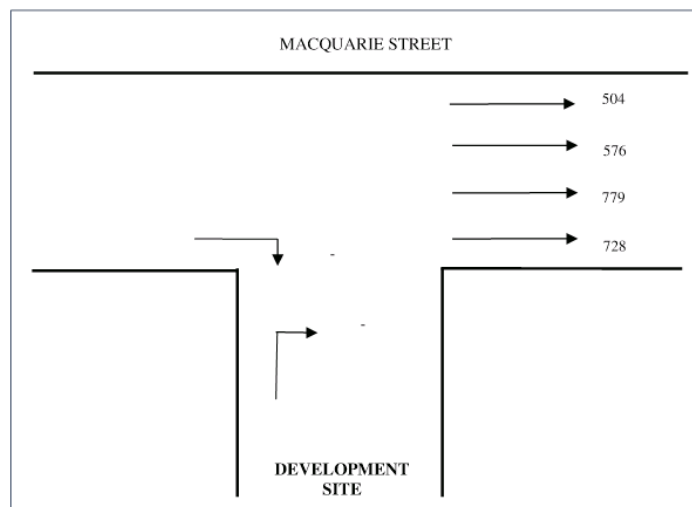


Figure 4.1: Lane traffic volumes on Macquarie Street approach to Harrington Street on Thursday 17 May 2018 – 7:45am to 8:45am

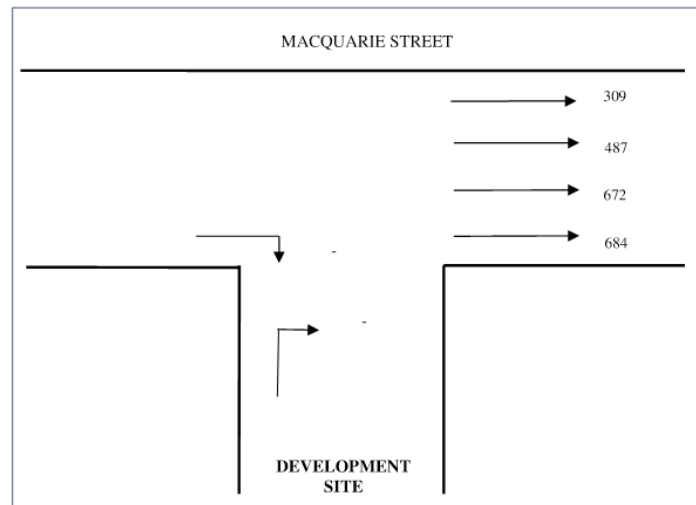


Figure 4.2: Lane traffic volumes on Macquarie Street approach to Harrington Street on Thursday 17 May 2018 – 4:30pm to 5:30pm

4.3 Crash Record

All crashes that result in personal injury are required to be reported to Tasmania Police. Tasmania Police record all crashes that they attend. Any crashes that result in property damage only, which are reported to Tasmania Police, are also recorded even though they may not visit the site.

Details of reported crashes are collated and recorded on a computerised database that is maintained by DSG.

Information was requested from DSG about any reported crashes along Macquarie Street between Barrack Street and Harrington Street over the five and three-quarter year period since January 2013.

Advice has been received that the crash database has record of 76 reported crashes along this section of Macquarie Street, including the intersections at each end. There have been 28 crashes at the Macquarie Street/ Harrington Street intersection, 31 crashes at the Macquarie Street/Barrack Street intersection and 17 link crashes along Macquarie Street between these intersections.

As reported in another TIA report prepared by this consultant, the one predominant crash type at Macquarie Street/ Harrington Street intersection involved right turning vehicles being hit by vehicles proceeding straight ahead. There were 12 such crashes. It would seem this occurs because vehicles are proceeding straight ahead from the right-hand lane which allows only right

turn movements whereas the middle lane allows straight ahead and right turn movements.

It should be fairly simple for the Council to install additional traffic management (signs and markings) to emphasize the required lane movements.

There have been 20 crashes at the Macquarie Street/Barrack Street intersection that involved collisions between vehicles proceeding straight ahead on adjacent legs of the intersection, which would clearly indicate one of the vehicles in each collision drove through a red light. Nine of these collisions resulted in injury.

There were also six rear end collisions within the Macquarie Street/Barrack Street intersection area.

This site should be reviewed for possible traffic signalling improvements.

Of the 17 link crashes that occurred along this length of Macquarie Street eight were rear end collisions due to stop/start traffic conditions over the day and five were as a result of parking incidents. Only one of these 17 crashes resulted in injury.

5. TRAFFIC GENERATION BY THE DEVELOPMENT

As outlined in Section 3 of this report, the development being proposed is the construction of four residential apartments on the site at 190 Macquarie Street. The four apartments will each have three bedrooms; the four apartments will be allocated three car parking spaces.

The other three parking bays are for the occupants of the front building on the property (identified as Unit 2 on the architectural drawings). This parking use occurs at present in this area.

In considering the traffic activity that the residential apartments will generate when occupied, guidance is normally sought from the New South Wales, Road Traffic Authority document – Guide to Traffic Generating Developments. The RTA guide is a nationally well accepted document that provides advice on trip generation rates and vehicle parking requirements for new developments.

The updated 'Technical Direction' to the Guide dated August 2013 advises that the trip generation for residential dwellings in regional areas of New South Wales is 7.4 trips/dwelling/day.

This is consistent with findings by this consultant for dwellings in Tasmania. Surveys in the built-up areas of Tasmania over a number of years have found that typically this figure is 8.0 trips/dwelling/day with smaller residential units generating around 4 trips/unit/day and larger units generating around 6 trip/unit/day.

As the development site is at the fringe of the Hobart CBD, the traffic generation rate of 4 vehicles/apartment/day will be assumed for three apartments with a car parking space.

Applying this trip generation rate to the expected apartments, each with a car parking space, the traffic generation is expected to be around 12 vehicles/day.

The other three parking spaces to be used by business owners/employees are expected to generate some 10 vehicles/day.

On this basis, the total traffic generation will be 22 vehicles/day, and around 4 vehicles/hour during peak traffic periods, allowing for the two use activities using the parking spaces. The directional split in the vehicle movement to and from the site during the peak hour will be near equal.

6. TRAFFIC ASSESSMENT AND IMPACT

This section of the report evaluates the impact of the traffic that is expected to be generated by the proposed residential apartment development on passing Macquarie Street traffic volumes.

An assessment has been made of the adequacy of available intersection sight distances along Macquarie Street at the driveway junction; consideration has been given to the proposed internal site layout with respect to traffic circulation and parking as well as pedestrian accessibility and safety.

6.1 Operational Impact of Increased Traffic Activity

The proposed apartment development is expected to generate around 22 vehicles/day, and around 4 vehicles/hour during peak traffic periods.

The two-way traffic activity generated by the proposed development will not result in a significant increase in traffic activity, nor will it have a significant impact on the Macquarie Street traffic flow.

All right turn movements into the development site driveway will be from the right traffic lane in Macquarie Street and most of the right turn movements from the development site driveway will be into the right traffic lane in Macquarie Street.

The right lane in Macquarie Street carries up to 750 vehicles/hour during peak traffic periods.

Normally traffic volumes up to 1,500 vehicles/hour can generally be accommodated between conflicting traffic streams at intersections or junctions before traffic problems can begin to arise.

The conflicting traffic volume at the development site driveway with traffic in the right lane will be around half of this volume. There will not be any operational or capacity issues at this location.

An additional factor in considering gap opportunities in passing traffic is that traffic on Macquarie Street passes the development site in platoons. Vehicles entering Macquarie Street from the driveway may need to wait for the platoon to pass to obtain a gap in the traffic stream. Once each platoon has passed there are more than sufficient opportunities and time to easily enter Macquarie Street.

6.2 Assessment of Available Sight Distances

The view along Macquarie Street for motorists entering from the location of the access driveway for the development site is seen in Photograph 6.1.

In assessing the sight distance, the requirements of Clause E6.7.2 A1 would apply in this case. It states: *the location, sight distance, width and gradient of an access must be designed and constructed to comply with section 3 – “Access Facilities to Off-street Parking Areas and Queuing Areas” of AS/NZS 2890.1:2004 Parking Facilities Part 1: Off-street car parking.*

AS 2890.1 details the required sight distances to approaching vehicles on public roads from private driveways, such as is under consideration in this assessment.

Free vehicle speeds in Macquarie Street past the development site would be around 45-50km/h. The (AS 2890.1) desirable driveway sight distance is 69m for approach vehicle speeds of 50km/h from a point 2.5m back from the edge of the road (at the property boundary).

A driver exiting the site will be able to see much further than 69m along Macquarie Street. As can be appreciated from the view in Photographs 6.1 and 6.2, it should normally be possible to see well beyond the Barrack Street intersection, for distances of over 100m.

If there are parked cars along Macquarie Street limiting the sight line, exiting drivers could safely continue to exit the site up to the outer edge of the parking lane to obtain sufficient sight distance along Macquarie Street before moving into the traffic stream. This is normal and common practice at any driveway on a public street where there are parked cars along the near side of the road.

Because the traffic along Macquarie Street passes in platoons, entering motorists normally enter Macquarie Street after the platoon has passed, when there are virtually no approaching vehicles for up to 10 seconds, due to intergreen period and pedestrians crossing at the upstream traffic signals.



Photograph 6.1: View to east along Macquarie Street from driveway to development site (at property boundary)



Photograph 6.2: View to east along Macquarie Street from driveway to development site (at kerb line)

6.3 Internal Traffic Access, Circulation and Car Parking

Following input into the design of the internal driveway and parking arrangements and having due regard to the requirement of AS 2890, the proposed layout and design of the driveway, circulation area and parking arrangements which will service the residential apartments and adjacent building on the property is shown on the development site layout drawings in Attachment A.

Relevant design elements of the proposed site layout related to traffic are discussed below.

Access driveway and traffic circulation

There will be one two-way driveway off Macquarie Street which will service access to the development site and 6 car parking spaces.

The driveway and parking area off Macquarie Street are on a fairly flat grade.

There will a passing bay at the Macquarie Street frontage boundary which will be at least 5.5m wide and 9m long from the Macquarie Street kerb line.

The planning scheme recognises AS 2890.1 as the relevant standard when addressing the design requirements for accesses to developments.

With only up to 4 vehicles/hour using the driveway in the future, the geometric characteristics of the driveway will be more than sufficient to accommodate this low hourly traffic volume.

Adjacent to the angle parking spaces in this area, the driveway will have a width of around 4.3m. This is sufficient for the expected level of traffic activity as well as to allow cars to enter and exit the 45-degree angle parking bays.

An additional feature of the access arrangements is the provision of a three-point turning area at the end of the parking area. This will allow cars that enter the driveway to turnaround in order to access all of the car parking spaces.

Use of all the parking bays will require five-point turns to fully enter and exit the car parking spaces and the site. With the limited space available in this area, the five-point manoeuvres are supported in order to accommodate these car parking spaces on the site.

The design of the driveway and circulation road will be quite satisfactory to safely and efficiently accommodate the expected traffic activity in accordance with AS 2890.1.

In order to provide the passing bay at Macquarie Street, there will be a need to reconstruct the gutter crossover (see below).

Car parking supply

Clause E6.6.5 of the Hobart Interim Planning Scheme 2015 states that for a development in the Central Business Zone, the acceptable solution for the number of car parking spaces on the site is:

A1

- (a) No onsite parking is provided; or*
- (b) onsite parking is provided at a maximum rate of 1 space per 200m² of gross floor area for commercial uses; or*
- (c) onsite parking is provided at a maximum rate of 1 space per dwelling for residential uses; or*
- (d) onsite parking is required operationally for an essential public service, including, hospital, police or other emergency service.*

The proposed development will have four residential apartments and will be allocated three car parking spaces. The other three car parking spaces will be for the use of the commercial building on the site which fronts onto Macquarie Street.

The parking allocation for the residential use complies with Clause E6.6.5 A1(c). The allocation of three parking spaces to the commercial use exceeds Clause E6.6.5 A1(b) of the current planning scheme by one space as it is understood the total floor area of the building is around 400m². The allocation of these three car parking spaces is in accordance with current use arrangements, this has existed for some time and meets the current parking needs of the business occupants.

The performance criteria for Clause E6.6.5 are:

P1*Car parking provision:*

- (a) is in the form of a public car parking station provided as part of a development which utilises a major existing access; or*
- (b) must not compromise any of the following:*
 - (i) pedestrian safety, amenity or convenience;*
 - (ii) the enjoyment of 'al fresco' dining or other outdoor activity;*
 - (iii) air quality and environmental health;*
 - (iv) traffic safety.*

In considering these performance criteria, P1(a) does not apply.

In regard to P1(b), this TIA report has addressed the matters referred to in (i) and (iv).

Pedestrian safety matters are addressed below, and traffic safety is considered in different sections of the report which discuss the expected traffic generation, mix of conflicting traffic movements, intersection sight distances

In regard to P1(b) (ii) and (iii):

- the proposed development will not have any impact or bearing to any outdoor activity; and
- the use and activity resultant from the proposed development will not have any adverse effects on air quality or environmental health.

Overall, the proposed parking allocation is supported as it will not have any negative outcomes.

On-site parking area design

The required turn paths of vehicles have been checked and found to be adequate for five point turns for car parking spaces (required due to the narrow width of the forecourt area).

In addition to the above discussion about access to the parking bays, the specific dimensions and design measures that have been assessed include the following:

- All standard parking spaces will be 5.4m long and 2.4m wide in accordance with User Class 1A for residential/employee parking (as detailed in Figure 2.2 of AS 2890.1 for 90-degree and 45-degree parking);
- There will be at least a 300mm clearance to the side walls for door opening and manoeuvring (as detailed in Figure 2.2 of AS 2890.1 and Figure 5.2 of AS 2890.1);
- The width of the parking aisle will be at least 5.8m (as required in Figure 2.2 of AS 2890.1 for Class 1A 90-degree parking) and at least 3.9m (as required in Figure 2.2 of AS 2890.1 for Class 1A 45-degree parking).

With all dimensions meeting the requirements of AS 2890.1, the parking spaces will be compliant with the standard and meet the Acceptable Solution for Clause E6.7.5.

Impacts on on-street parking arrangements

The construction of the new driveway to the development site in Macquarie Street will result in the repositioning of the driveway, which currently is offset to the driveway.

This driveway change will require the removal of one metered parking bay on the western side of the new driveway.

There will be a 3.5m long section of kerb face between the driveway and the next parking bay to the west, which will need to be marked as a 'no stopping' area.

Details of all these changes and measures are shown on the drawings attached to this report.

The collection of domestic waste is expected to occur through arrangements with Council.

Pedestrian Traffic

The development site is located within short walking distance of all services and shopping facilities in the Hobart CBD. Therefore, the building is expected to generate a small pedestrian movement to and from the site (as there will be only four apartments).

Pedestrians will be able to access the apartment block directly from Macquarie Street, along the driveway.

The 4.3m wide driveway will be more than sufficient to provide for the safe movement of vehicles and pedestrian, both of which will be low in number.

There will be no sight triangle issues between motorists exiting the driveway and pedestrians approaching along the Macquarie Street footpath, as indicated in Figure 3.3 of AS 2890.1.

6.4 Public Transport Services

Metro Tasmania currently operates regular route bus services along Macquarie Street (inbound) from the southern suburbs and South Hobart area.

However, the middle of the Elizabeth Street bus station is around 650m walking distance from the development site. Route bus services to and from all suburbs in the greater Hobart area are available at this bus station.

Normally the accepted maximum walking distance between bus stops and residential dwellings is 400m. In this central business area, it would be quite acceptable to walk the additional 150m.

7. SUMMARY AND RECOMMENDATIONS

This Traffic Impact Assessment has been prepared in support of the planning application to the Hobart City Council for a proposed apartment development at 190 Macquarie Street in Hobart.

There will be four residential apartments in the building with each having three bedrooms.

There will be a total of 6 car parking spaces on the site with three spaces allocated to the commercial building at the front of the site.

This assessment has reviewed the existing road and traffic environment along Macquarie Street in the area of the development site.

Macquarie Street is a one-way street with three marked traffic lanes and parking along both sides of the street and the parking lane along the northern side of the street becoming a fourth traffic lane during peak traffic periods.

Traffic volume data for Macquarie Street was received from DSG, recorded by the signal loop counts at Harrington Street.

The peak period traffic volumes on Thursday 17 May 2018 were 2,587 vehicles/hour in the morning period and 2,152 vehicles/hour in the 4:30-5:33pm afternoon period.

The traffic volumes in the right lane, nearest the development site, during these morning and afternoon peak periods were 728 vehicles/hour and 684 vehicles/hour, respectively.

Advice has been received that the crash database has record of 76 reported crashes along Macquarie Street between Barrack Street and Harrington Street, including the intersections at each end. There have been 28 crashes which have occurred at the Macquarie Street/ Harrington Street intersection, 31 crashes at the Macquarie Street/Barrack Street intersection and 17 link crashes along Macquarie Street between these intersections.

The one predominant crash type at Macquarie Street/ Harrington Street intersection involved right turning vehicles being hit by vehicles proceeding straight ahead. This clearly needs attention by the Council or DSG

There have been 20 crashes at the Macquarie Street/Barrack Street intersection that involved collisions between vehicles proceeding straight ahead on adjacent legs of the intersection, which would clearly indicate one of the vehicles in each collision drove through a red light. Nine of these collisions resulted in injury.

Of the 17 link crashes that occurred along this length of Macquarie Street eight were rear end collisions due to stop/start traffic conditions over the day and five were as a result of parking incidents. Only one of these 17 crashes resulted in injury.

It has been estimated that the total traffic generation will be 22 vehicles/day, and around 4 vehicles/hour during peak traffic periods, allowing for the two use activities using the parking spaces.

Vehicles entering and exiting the development site driveway will turn left to and from the right-hand traffic lane in Macquarie Street which carries up to 750 vehicles/hour during peak traffic periods.

Normally traffic volumes up to 1,500 vehicles/hour can generally be accommodated between conflicting traffic streams at intersections or junctions before traffic problems can begin to arise. The conflicting traffic volume at the development site driveway with traffic in the right lane will be around half of this volume. There will not be any operational or capacity issues at this location.

An additional factor in considering gap opportunities in passing traffic is that traffic on Macquarie Street passes the development site in platoons. Vehicles entering Macquarie Street from the driveway may need to wait for the platoon to pass to obtain a gap in the traffic stream. Once each platoon has passed there are more than sufficient opportunities and time to easily enter Macquarie Street.

An assessment has been undertaken of the available sight distance at the junction of the development site driveway with Macquarie Street. The available sight distances are more than sufficient to meet AS 2890.1 requirements and hence the planning scheme.

Consideration has been given to the proposed layout and design of the internal driveway, traffic circulation provisions and parking arrangements, having regard to accepted practices and relevant Australian Standards.

It has been concluded the design is satisfactory in meeting the requirement of AS 2890.1 and therefore the planning scheme.

The proposed design of the new driveway off Macquarie Street into the development site, including proposed widths and alignment, will accommodate the expected traffic activity very well.

All the parking spaces will be compliant with AS 2890.1.

As the development site is located within the Central Business Zone, the planning scheme has a requirement for a maximum parking supply as the acceptable solution. The proposed 6 car parking spaces, with three parking spaces for the four apartments, will meet the acceptable solution.

The allocation of three parking spaces for the commercial building at the front of the site exceeds the scheme requirement by one space. However, the allocation of the three car parking spaces is in accordance with current use arrangements and meets the current parking needs of the business occupants. This arrangement will not have any negative outcomes when considering the performance criteria.

The driveway design at Macquarie Street will provide for the required sight triangle between motorists exiting the driveway and pedestrians approaching along the Macquarie Street footpath and will be quite sufficient to allow its safe use by pedestrians and vehicles.

The new driveway to the development site will require the removal of one metered parking bay at the western end of the development site and installation of a section of 'no standing' restriction.

The collection of domestic waste is expected to occur through arrangements with Council.

The building is expected to generate a pedestrian movement to and from the site as it is located within a short walking distance to all services and shopping facilities in the Hobart central business area,

The Elizabeth Street bus station is also around 650m walking distance from the development site from where all route bus services to the greater Hobart region start and finish.

Overall it has been concluded that the proposed apartment development can be supported on traffic grounds as it will not give rise to any adverse safety or operational traffic issues with the implementation of the proposed measures.

ATTACHMENT A

Design drawings of proposed layout of residential
apartment development

Drawings of car parking layout, access driveway design
and on-street changes

PROJECT: 190 MAC
ISSUE: DA-02

PROJECT NO: 160702
ADDRESS: 190 MACQUARIE ST HOBART TAS 7000
DATE OF ISSUE: 23/07/2019

PROPERTY ID.: PHOLIO :0 FLAT : 2
TITLE REFERENCE: 96378

CLIMATE ZONE: 7
BAL RATING: N/A
PLANNING SCHEME:

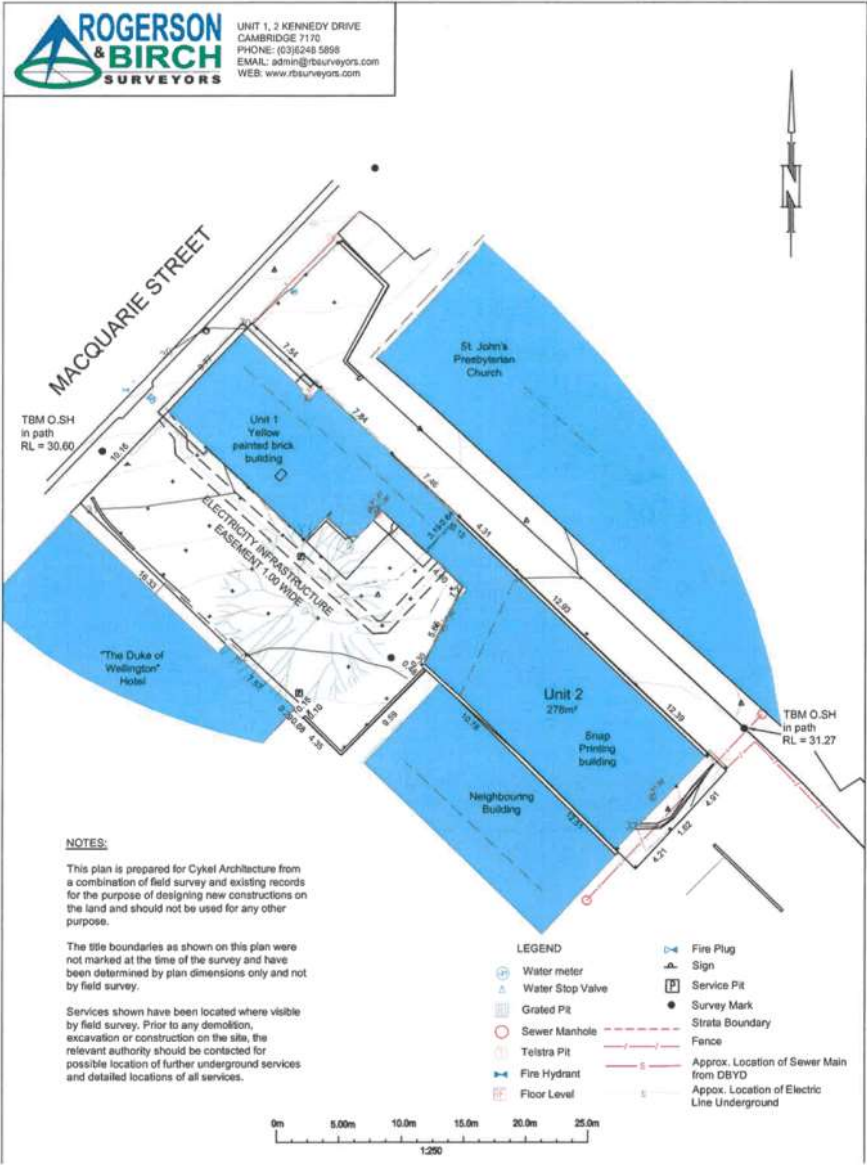
DRAWING SCHEDULE

- 01.01 SURVEY CONDITIONS
- 01.02 LOCATION PLAN
- 01.03 EXISTING PLAN
- 01.04 DEMOLITION PLAN
- 01.05 PROPOSED SITE PLAN / BOUNDARY
- 01.06 PROPOSED GROUND FLOOR PLAN
- 01.07 PROPOSED LEVEL 1 PLAN
- 01.08 LEVEL 2 & 3
- 01.09 LEVEL 4 & ROOF PLAN
- 01.10 ELEVATIONS
- 01.11 ELEVATIONS
- 01.12 ELEVATIONS
- 01.13 SOUTHERN CONTEXT ELEVATION
- 01.14 SECTION AA
- 01.15 SECTION BB
- 01.16 LANDSCAPE PLAN
- 01.17 STREET VIEW
- 01.18 DAVEY STREET VIEW



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	CYKEL ARCHITECTURE level 2 / 111 Market 52 Macquarie St, Hobart, Tas t: 037094449 c: cyc@cykelarchitect.com.au www.cykelarchitect.com.au	PROJECT: 190 MAC, 190 MACQUARIE ST HOBART TAS 7000	DRAWING: COVER	REV.	DESCRIPTION	DATE REVISED		project no	date	scale		
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								revision	checked	by	drawing no COVER	
								DA-02				



- NOTES:**
1. Builder to verify all dimensions and levels on site prior to commencement of work;
2. All construction work shall be carried out in accordance with Planning and Building permits;
3. All work to be carried out in accordance with the Building Code of Australia/National Construction Code, relevant Australian Standard local government regulations etc;
4. Materials and workmanship to conform with state building regulations, local council by laws and relevant BCA codes, Australian standards and manufacturers specifications;
5. Do not scale off drawing - dimensions to take precedence over scale. Discrepancy to be reported to architect immediately.

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PROJECT:
190 MAC,
190 MACQUARIE ST HOBART TAS 7000
DRAWING:
SURVEY CONDITIONS

REV.	DESCRIPTION	DATE
01-01	190 MACQUARIE ST APARTMENTS -	23/07/2019

PROJECT
190 MACQUARIE ST
HOBART TAS 7000

PROJECT NO.	DATE	SCALE
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REVISION	CHECKED	DRAWING NO.
01-01	19	01.01

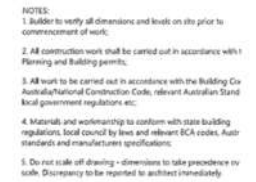
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1 LOCATION PLAN
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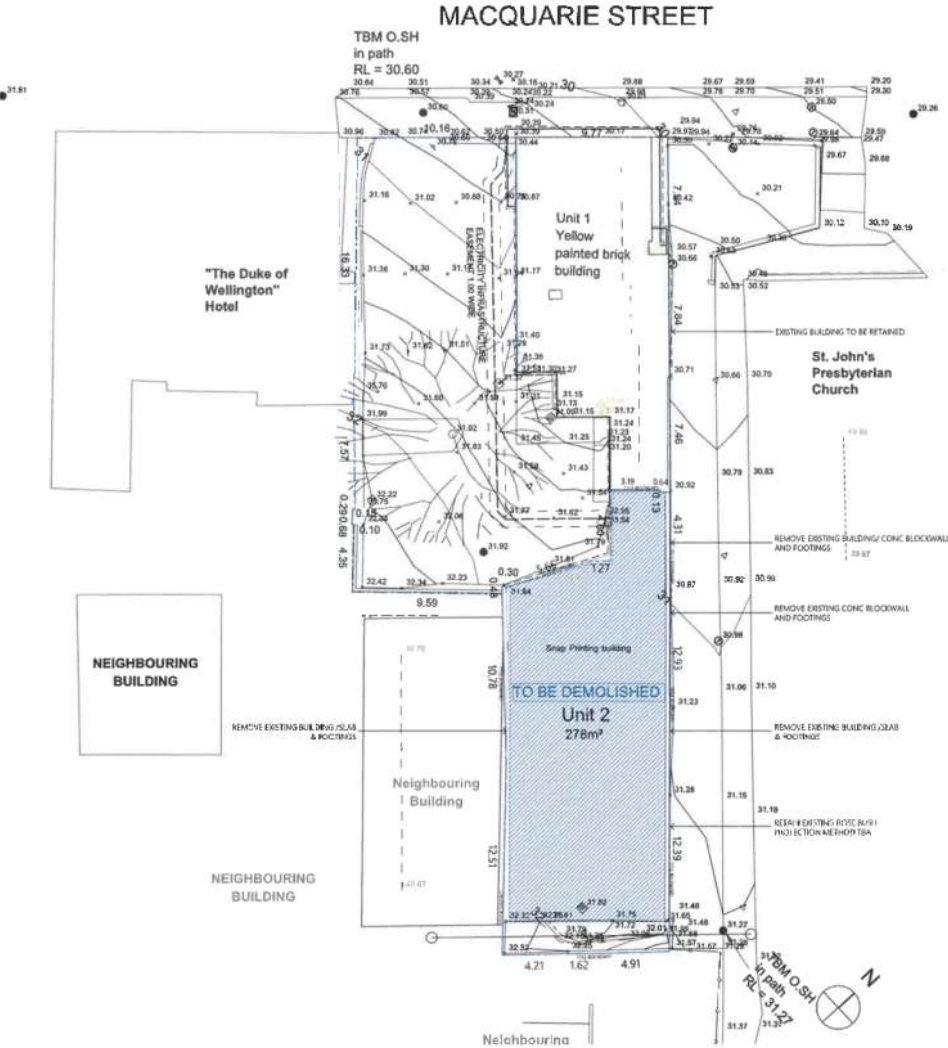
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								DESIGNER: CYKEL ARCHITECTURE	CHECKED: CYKEL	DRAWING NO: 01/02



1 EXISTING PLAN
SCALE 1:200

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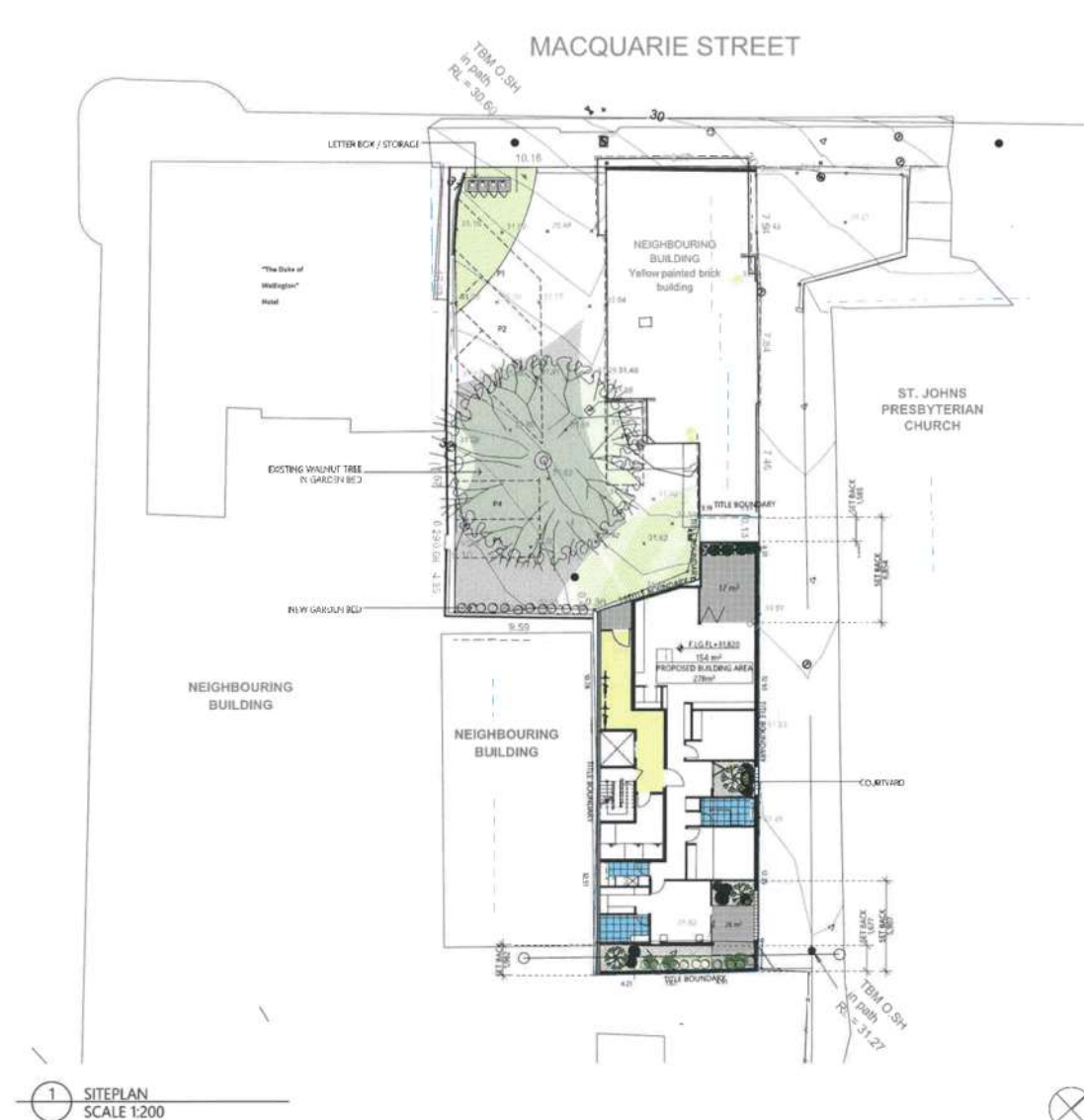
1 DEMOLITION PLAN
SCALE 1:200



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PROJECT:
190 MAC.
190 MACQUARIE ST HOBART TAS 7000
DRAWING:
DEMOLITION PLAN

REV.	DESCRIPTION	DATE	PROJECT NO.	DATE	SCALE
01	190 MACQUARIE ST APARTMENTS -	21/02/2019	190 MAC	23/07/2019	1:200 A4
02			190 MAC	19	01/04



NOTES:

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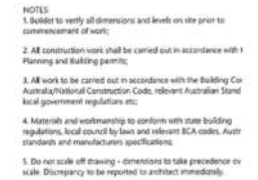
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PROJECT:
190 MAC,
190 MACQUARIE ST HOBART TAS 7000
DRAWING:
PROPOSED SITE PLAN / BOUNDARY

REV	DESCRIPTION	DATE		PROJECT NO	DATE	SCALE
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				REVISION	CHECKED	DRAWING NO
				DA-02	19	01.05



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	revision DA-01	checked sig	drawing no 01.06				



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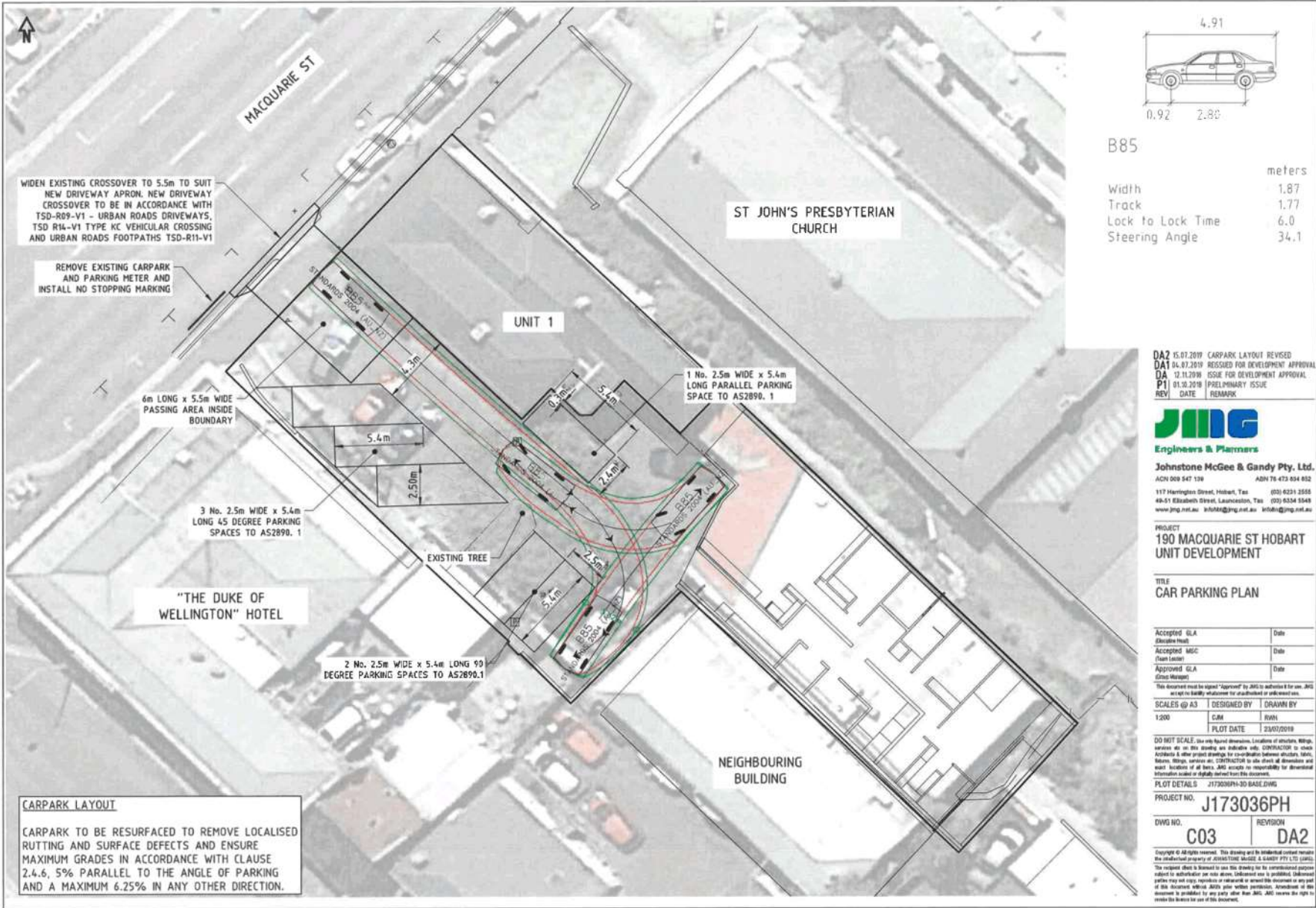
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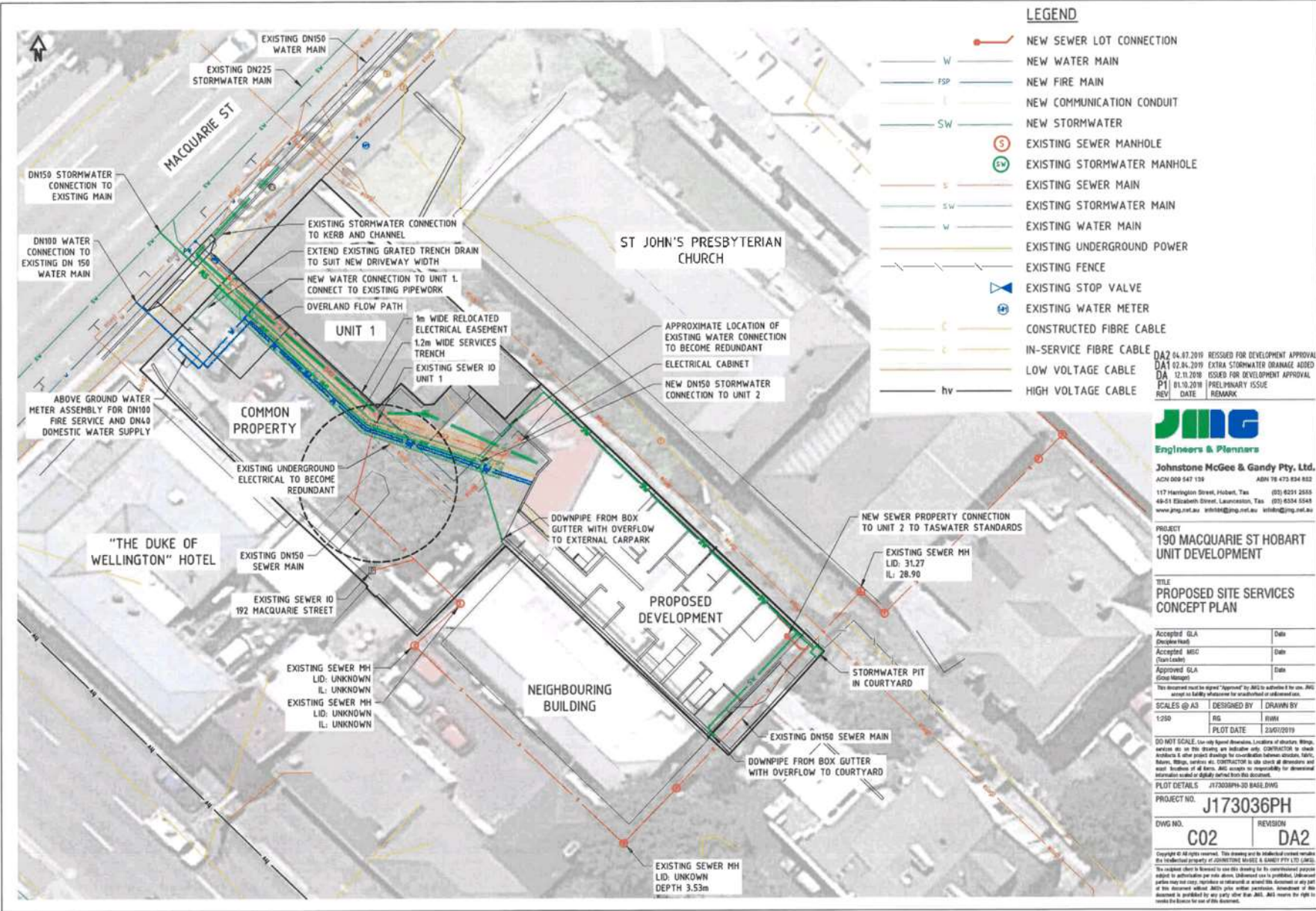


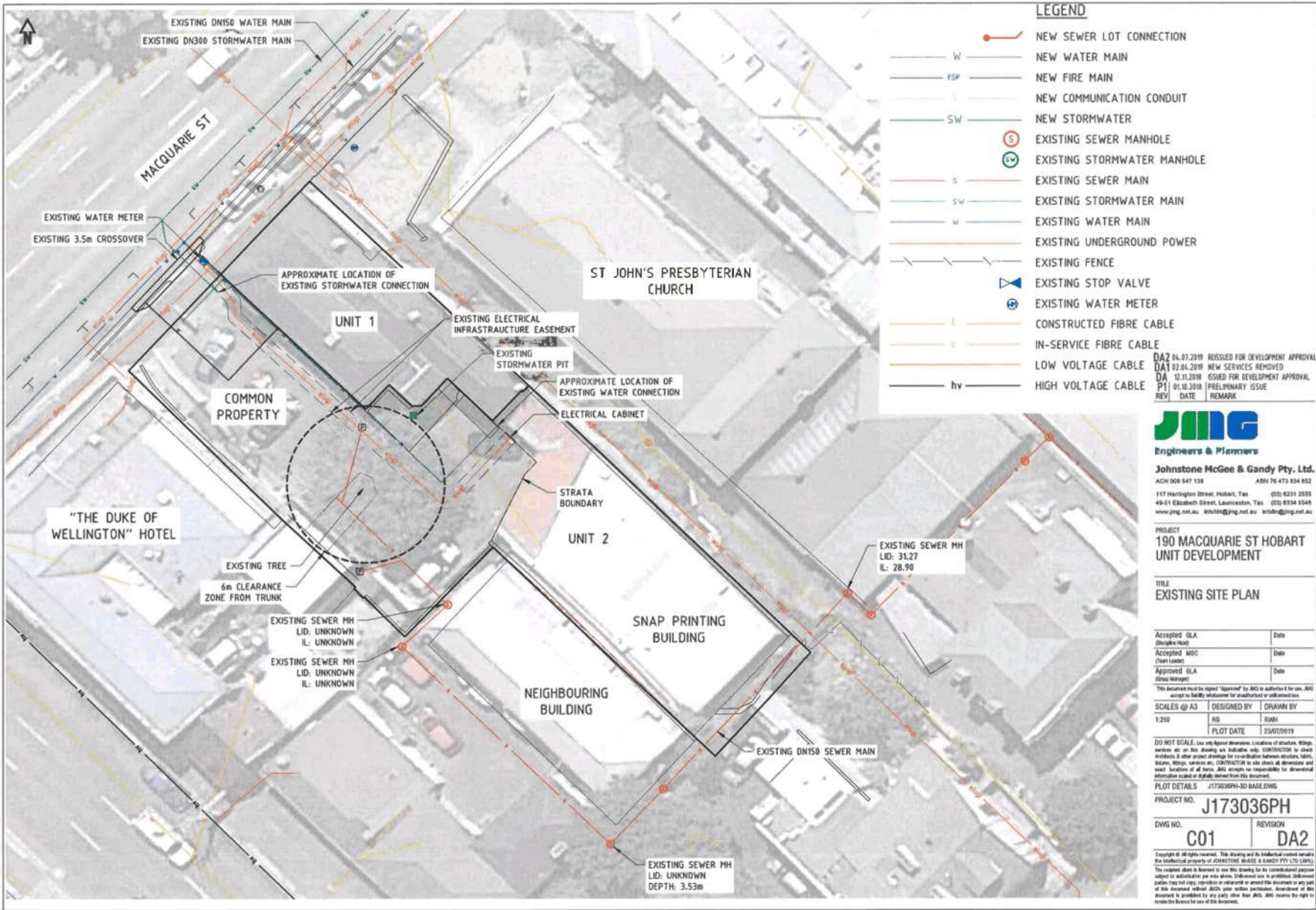
2 PROPOSED ROOF PLAN
SCALE 1:100



- NOTES:
1. Builder to verify all dimensions and levels on site prior to commencement of work.
 2. All construction work shall be carried out in accordance with Planning and Building permits.
 3. All work to be carried out in accordance with the Building Code of Australia/Functional Construction Code, relevant Australian Standard local government regulations etc.
 4. Materials and workmanship to conform with state building regulations, local council by laws and relevant BCA codes, Australian standards and manufacturers specifications.
 5. Do not scale off drawing - dimensions to take precedence on scale. Discrepancy to be reported to architect immediately.







APPENDIX D

Historic Heritage Management Strategy



HISTORIC HERITAGE MANAGEMENT STRATEGY

190 Macquarie Street, HOBART, TASMANIA

Brad Williams

For JMG Pty. Ltd. (Hobart) Pty. Ltd. August
2017 (Heritage Impact Assessment V2 – July
2019)

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This document was written by Brad Williams (BA.Hons Archaeology, MA Cultural Heritage Management) Director – Praxis Environment, with historical research part of Section 3 authored by and Alan Townsend, Consultant Historian.

Unless otherwise stated, all photographs were taken by Brad Williams, August 2017

Unless otherwise stated, the north point (or approximate) of maps and plans is to the top of the page – project north is designated as the Macquarie Street frontage.

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1. INTRODUCTION

RATIONALE, PROJECT BRIEF AND SCOPE

This project has been commissioned for Cykel Architecture (Hobart), via Johnstone McGee and Gandy Pty. Ltd. (Hobart) as an integrated historic heritage management strategy to guide any future development of the place known as 190 Macquarie Street, Hobart, Tasmania (the *subject site*).

Praxis Environment were commissioned to undertake this project, further to the brief of providing:

1. An overview site history which is the essential basis for (2) and (4) below.
2. Formulation of a brief conservation policy for the Coreen building, which would be largely limited to gaining a broad understanding of the significance of that building and environs to consider what impacts any adjacent development may have on that building. Whilst this would not constitute a full conservation management plan (as *may* be required by the planning authority), therefore would only consider the external building envelope and not include any internal analysis on the assumption that any future development of the subject site will not include this building (being under separate ownership).
3. A detailed precinct analysis of the surrounds of the subject site, including a broad understanding of the significance of adjacent places as well as wider townscape and viewscape issues that may influence any proposed development of the subject site. From this, design guidelines will be formulated which set parameters for site development which are likely to be in accordance with the precinct and Central Business Height Area provisions.
4. A statement of historical archaeological potential (SoHAP) for the subject site, which would consider the site history, key historic themes and the possibility that the site may contain any significant archaeological remains.

A second stage of the project (i.e. following development design) is to include:

5. If required by (4) – i.e. if archaeological potential is determined an archaeological impact assessment against any proposed development, and if archaeological impact is likely the formulation of an archaeological method

statement to be implemented in any future works program. Note that if no archaeological potential is determined, this step will not be necessary.

6. A heritage impact assessment (including a statement of compliance) for any future development plan which is to be measured against the policies of the CMP and SoHAP as well as the statutory requirements identified here and further articulated in (1).

DEFINITION OF PLACE

The *subject site* is 190 Macquarie Street, Hobart, however only two titles of that strata are included in the current subject site – the third, containing the Coreen building, being in separate ownership. Nonetheless an understanding of the historical evolution and context of the overall site is required in order to assess any possible impacts upon the wider site and precinct, therefore this project will consider the entire address of 190 Macquarie Street within the bounds of the brief detailed in Section 1.1.

190 Macquarie Street comprises of the following strata lots:

Part of the current study area

- C/T 96378/2 PID 7236008 (Suite 2, 190 Macquarie Street – Snap Printing building).
- C/T 96378/0, Common Property of Strata Corporation 96378.

Outside the study area, but still considered here

- C/T 96378/1 PID 7235996 (Suite 1, 190 Macquarie Street – Coreen).



Figure 1.1 – Cadastral parcels comprising the strata of 190 Macquarie Street outlined in red, the actual subject site shaded red. (www.thelist.tas.gov.au)

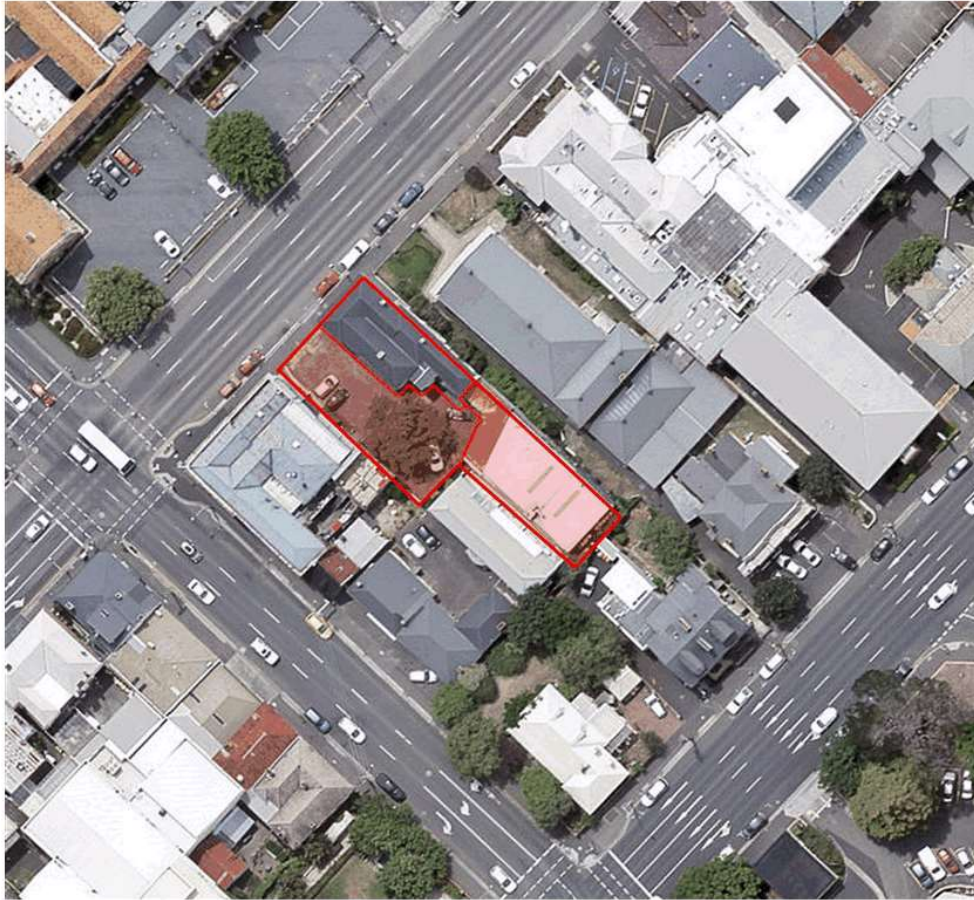


Figure 1.2 – A recent aerial photograph of the subject site (www.thelist.tas.gov.au)

METHODOLOGY

This assessment has been undertaken in accordance with the ICOMOS Australia **Burra Charter**, which is considered to be the Australian heritage industry's benchmark for assessing, understanding and managing heritage values. Figure 1.3.1 depicts this process:

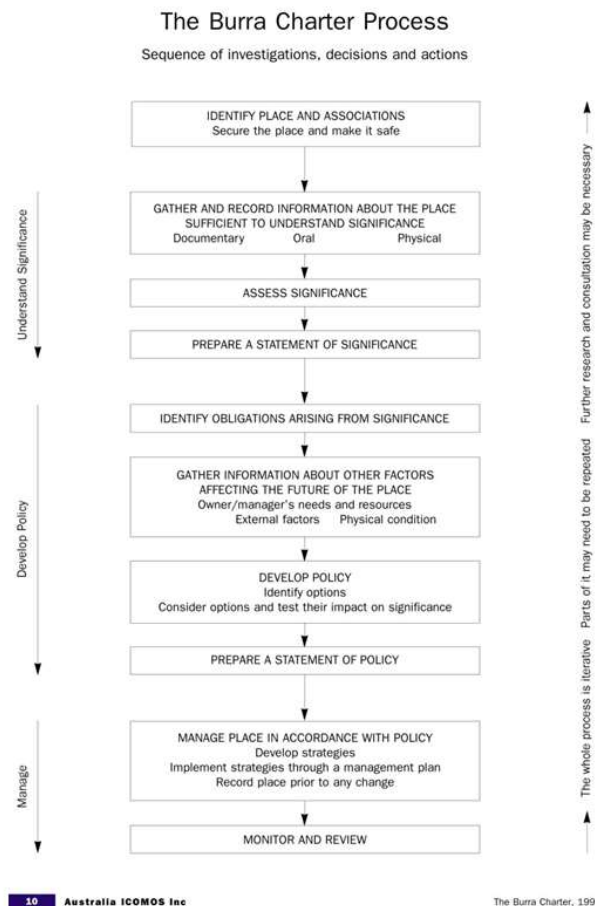


Figure 1.3– The Burra Charter Process. ICOMOS Australia.

The statutory provisions and consequent responsibilities as outlined in Section 1.2 have also been considered in formulating this document.

This document takes the principles of conservation planning, as outlined in J.S. Kerr's *The Conservation Plan*¹, in order to develop the policies upon which the conservation of the place (and assessment of development impact) is based. This document has also been developed with regard to the standard content of conservation management plans as detailed by the New South Wales Heritage Office's *A Suggested Table of Contents for a Conservation Management Plan*², as well as the New South Wales Heritage Office guidelines for the preparation of brief conservation management strategies.³

It is intended that this document be used by the design team in any forthcoming development of the place and this sets the benchmark of understanding the significance of the place against which a heritage impact assessment for any proposed development can be undertaken. Figure 1.4 depicts this process:

¹ KERR, J. (2000): *The Conservation Plan*. National Trust of NSW, Sydney.

² http://www.heritage.nsw.gov.au/docs/cmp_contents2.pdf

³ http://www.heritage.nsw.gov.au/docs/CMS_part1investigation.pdf

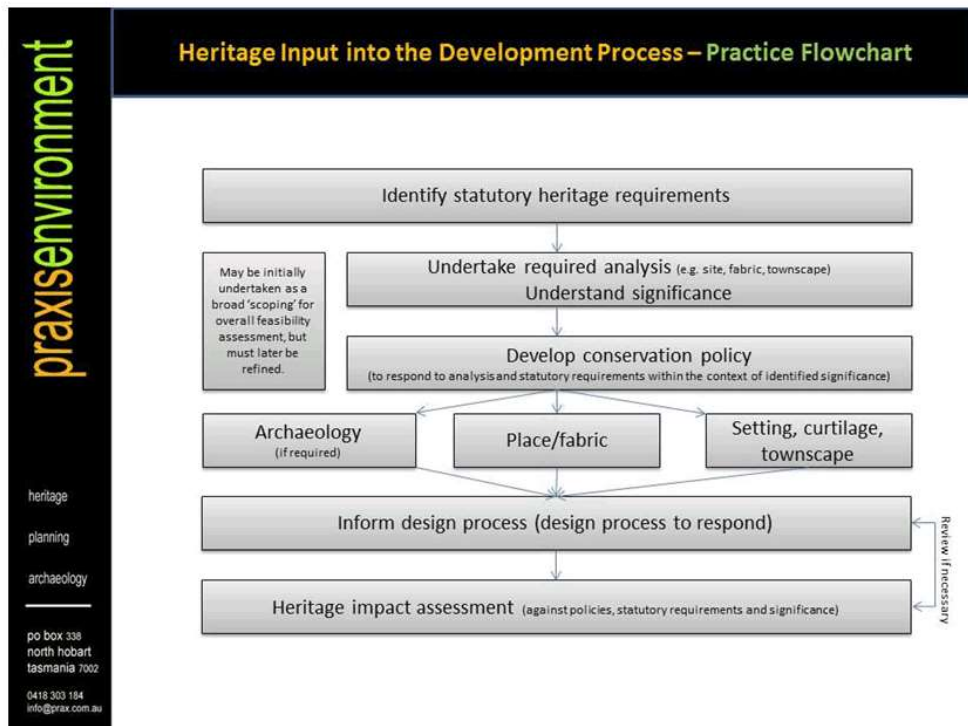


Figure 1.4 – Practice flowchart for the application of this conservation planning document.

PROJECT TEAM AND ACKNOWLEDGEMENTS

This document was written by Brad Williams, heritage consultant and historical archaeologist, Praxis Environment (Tasmania). Historical research assistance was provided by Alan Townsend, sub-consultant historian. The author would like to acknowledge the following for their assistance in this project:

- Stephen Geason – Cykel Architecture
- Matt Clark - JMG

2. STATUTORY HERITAGE REQUIREMENTS

The following heritage listings and overarching legislative provisions are relevant to the management of the historic cultural heritage values of 190 Macquarie Street, Hobart.

HOBART INTERIM PLANNING SCHEME 2015

HERITAGE PLACE

190 Macquarie Street (Coreen) is listed as a *Heritage Place* (Place#1892) on Table E13. No title reference is given so it is assumed that the listing applies to the whole (strata) title. The 'Specific Extent' column of the listing is not populated.

Further to Clause E13.5.1 of the Scheme, the Planning Authority may require the following to accompany any application for use or development of a Heritage Place:

- (a) *a conservation plan;*
- (b) *photographs, drawings or photomontages necessary to demonstrate the impact of the proposed development on the heritage values of the place;*
- (c) *a statement of significance;*
- (d) *a heritage impact statement;*
- (e) *a statement of compliance;*
- (f) *a statement of archaeological potential;*
- (g) *an archaeological impact assessment;*
- (h) *an archaeological method statement;*

Any demolition, development or subdivision of the place must be in accordance with the provisions of Part E13.7 of the Scheme (Development Standards for Heritage Places):

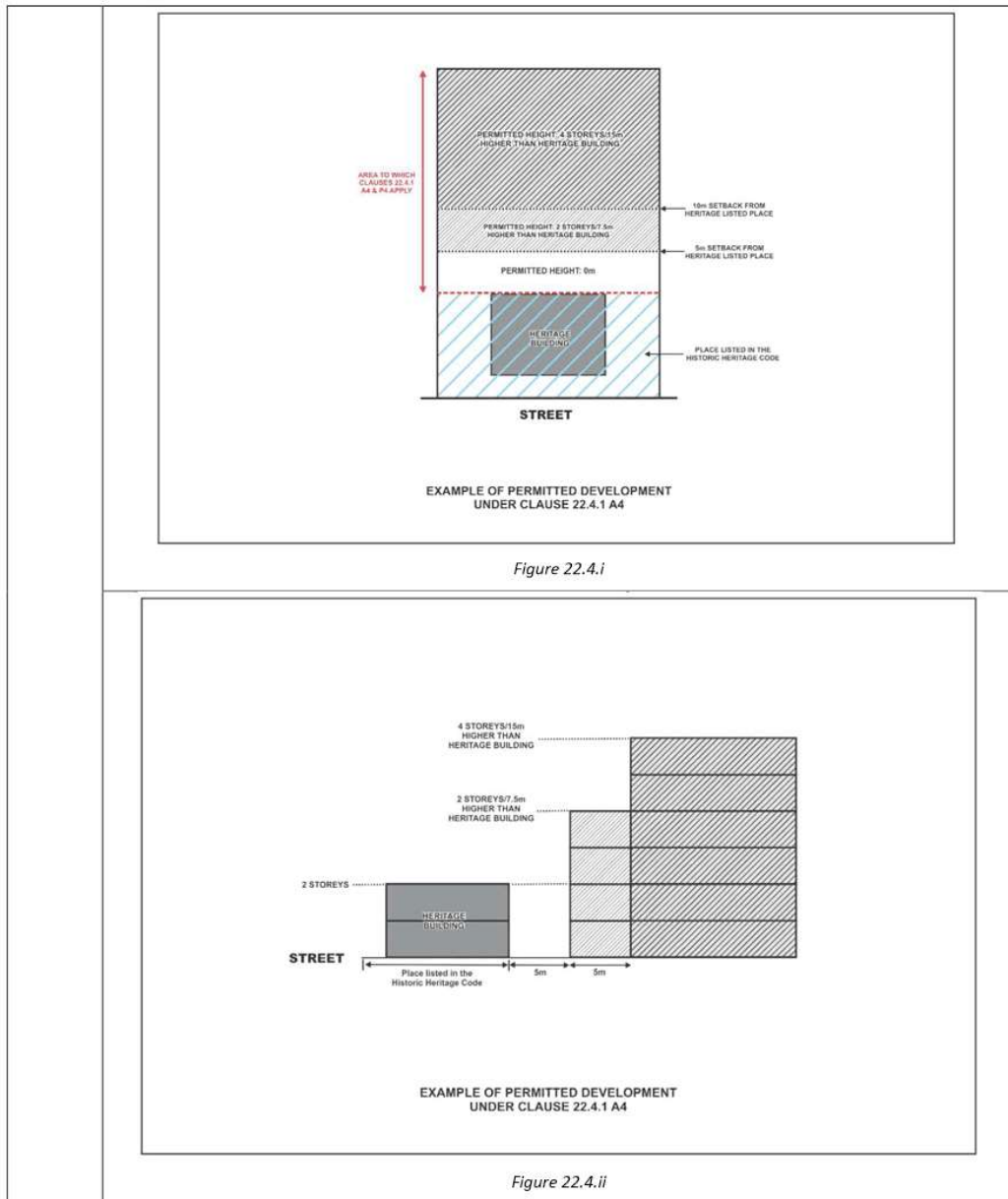
	Acceptable Solution	Performance Criteria
E.13.7.1 - Demolition	A1. No Acceptable Solution.	Demolition must not result in the loss of significant fabric, form, items, outbuildings or landscape elements that contribute to the historic cultural heritage significance of the place unless all of the following are satisfied: <ul style="list-style-type: none"> (a) there are, environmental, social, economic or safety reasons of greater value to the community than the historic cultural heritage values of the place; (b) there are no prudent and feasible alternatives; (c) important structural or façade elements that can feasibly be retained and reused in a new structure, are to be retained; (d) significant fabric is documented before demolition.
E.13.7.2 – Building and Works other than Demolition	A1. No Acceptable Solution.	P1. Development must not result in any of the following: <ul style="list-style-type: none"> (a) loss of historic cultural heritage significance to the place through incompatible design, including in height, scale, bulk, form, fenestration, siting, materials, colours and finishes; (b) substantial diminution of the historic cultural heritage significance of the place through loss of significant streetscape elements including plants, trees, fences, walls, paths, outbuildings and other items that contribute to the significance of the place.
	A2. No Acceptable Solution.	P2. Development must be designed to be subservient and complementary to the place through characteristics including: <ul style="list-style-type: none"> (a) scale and bulk, materials, built form and fenestration; (b) setback from frontage; (c) siting with respect to buildings, structures and listed elements; (d) using less dominant materials and colours.
	A3. No Acceptable Solution.	P3. Materials, built form and fenestration must respond to the dominant heritage characteristics of the place, but any new fabric should be readily identifiable as such.
	A4. No Acceptable Solution.	P4. Extensions to existing buildings must not detract from the historic cultural heritage significance of the place.
	A5. New front fences and gates must accord with original design, based on photographic, archaeological or other historical evidence.	P5. New front fences and gates must be sympathetic in design, (including height, form, scale and materials), to the style, period and characteristics of the building to which they belong.

	A6. Areas of landscaping between a dwelling and the street must be retained.	P6. The removal of areas of landscaping between a dwelling and the street must not result in the loss of elements of landscaping that contribute to the historic cultural significance of the place.
E.13.7.3 - Subdivision	A3. No Acceptable Solution.	<p>P1. A proposed plan of subdivision must show that historic cultural heritage significance is adequately protected by complying with all of the following:</p> <ul style="list-style-type: none"> (a) ensuring that sufficient curtilage and contributory heritage items (such as outbuildings or significant plantings) are retained as part of any title containing heritage values; (b) ensuring a sympathetic pattern of subdivision; (c) providing a lot size, pattern and configuration with building areas or other development controls that will prevent unsympathetic development on lots adjoining any titles containing heritage values, if required.

CENTRAL BUSINESS ZONE (AND CENTRAL BUSINESS ZONE HEIGHT AREA)

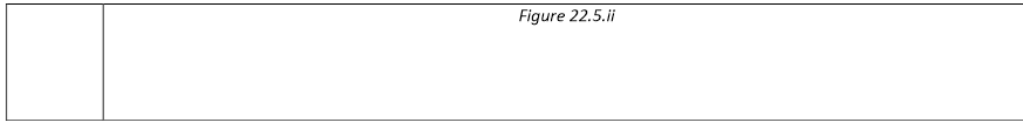
The subject site is within the Central Business Zone height area, which also has considerations for the height and design of any development on the same site as a Heritage Place (as defined by Table E13). This means that the provisions of Clause 22.4.1 (A4/P4) (A5/P5) and Clause 22.4.3 (A3/P3) must be considered.

	Acceptable Solution	Performance Criteria
22.4.1 – Building Height – Central Business Zone Height Area	<p>A4. Building height of development on the same title as a place listed in the Historic Heritage Code, where the specific extent of the heritage place is specified in Table E13.1, and directly behind that place must:</p> <p>(a) not exceed 2 storeys or 7.5m higher (whichever is the lesser) than the building height of any heritage building within the place, and be set back between 5m and 10m from the place (refer figures 22.4 i and 22.4 ii); and</p> <p>(b) not exceed 4 storeys or 15m higher (whichever is the lesser) than the building height of any heritage building within the place, and be set back more than 10m from the place (refer figures 22.4 i and 22.4 ii);</p> <p>or</p> <p>(c) comply with the building height in clauses 22.4.1 A1 and A2;</p> <p>whichever is the lesser.</p>	<p>P4. Development on the same site as a place listed in the Historic Heritage Code and directly behind that place must:</p> <p>(a) be designed, sited, arranged, finished, constructed or carried out so as to not unreasonably detract from those characteristics of the place which contribute to its historic cultural heritage significance.</p>



	<p>A5. Building height of development within 15m of a frontage and not separated from a place listed in the Historic Heritage Code by another building, full lot (excluding right of ways and lots less than 5m width) or road (refer figure 22.5 i), must:</p> <ul style="list-style-type: none"> (a) not exceed 1 storey or 4m (whichever is the lesser) higher than the facade building height of a heritage building on the same street frontage (refer figure 22.5 ii); and (b) not exceed the facade building height of the higher heritage building on the same street frontage if the development is between two heritage places (refer figure 22.5 ii); <p>or</p> <ul style="list-style-type: none"> (c) comply with the building height in Clauses 22.4.1 A1 and A2; <p>whichever is the lesser.</p>	<p>P5. Building height within 15m of a frontage and not separated from a place listed in the Historic Heritage Code by another building, full lot (excluding right of ways and lots less than 5m width) or road (refer figure 22.5 i), must:</p> <p>not unreasonably dominate existing buildings of cultural heritage significance; and</p> <ul style="list-style-type: none"> (a) not have a materially adverse impact on the historic cultural heritage significance of the heritage place.
22.4.3 – Design – Central Business Zone	<p>A3. The facade of buildings constructed within 15m of a frontage and not separated from a place listed in the Historic Heritage Code by another building, full lot (excluding right of ways and lots less than 5m width) or road (refer figure 22.5 i), must:</p> <ul style="list-style-type: none"> (a) include building articulation to avoid a flat facade appearance through evident horizontal and vertical lines achieved by setbacks, fenestration alignment, design elements, or the outward expression of floor levels; and (b) have any proposed awnings the same height from street level as any awnings of the adjacent heritage building. 	<p>P3. The facade of buildings constructed within 15m of a frontage and not separated from a place listed in the Historic Heritage Code by another building, full lot (excluding right of ways and lots less than 5m width) or road (refer figure 22.5 i), must:</p> <ul style="list-style-type: none"> (a) be of a design sympathetic to the elevational treatment and materials of the existing heritage building; and (b) not unreasonably detract from the historic cultural heritage significance of the existing heritage place.





Clause 22.4.1 (A4/P4) relates to *Building height of development on the same title as a place listed in the Historic Heritage Code, where the specific extent of the heritage place is specified in Table E13.1, and directly behind that place*. **No specific extent for the subject site is specified in Table E.13.1, and the subject site is on a separate title to the listed place - therefore this clause is not applicable.**

Clause 22.4.1 (A5/P5) relates to height of buildings *adjacent to or between* another heritage place(s) within 15 metres of a street frontage, **which is applicable to the development within 15 metres of the frontage of the subject site.**

Clause 22.4.3 (A5/P5) relates to the design of facades of development within 15 metres of a street frontage where *adjacent to or between* another heritage place(s), **which is applicable to the development within 15 metres of the frontage of the subject site.**

On-ground, the 15-metre mark from the street runs approximately along the line of the rear wall of the main portion of the Coreen building and is comprised wholly of the common property of the 190 Macquarie strata scheme. Therefore, it is assumed at this stage that no development will occur in that area in any case, therefore these provisions are not applicable if only considering development to the rear of the Coreen building.

HERITAGE PRECINCT

The subject site is within the H1 Heritage Precinct as defined by Table E13.2 and depicted on Map E13.3 of the Scheme, therefore the provisions of Clause E13.8 apply.

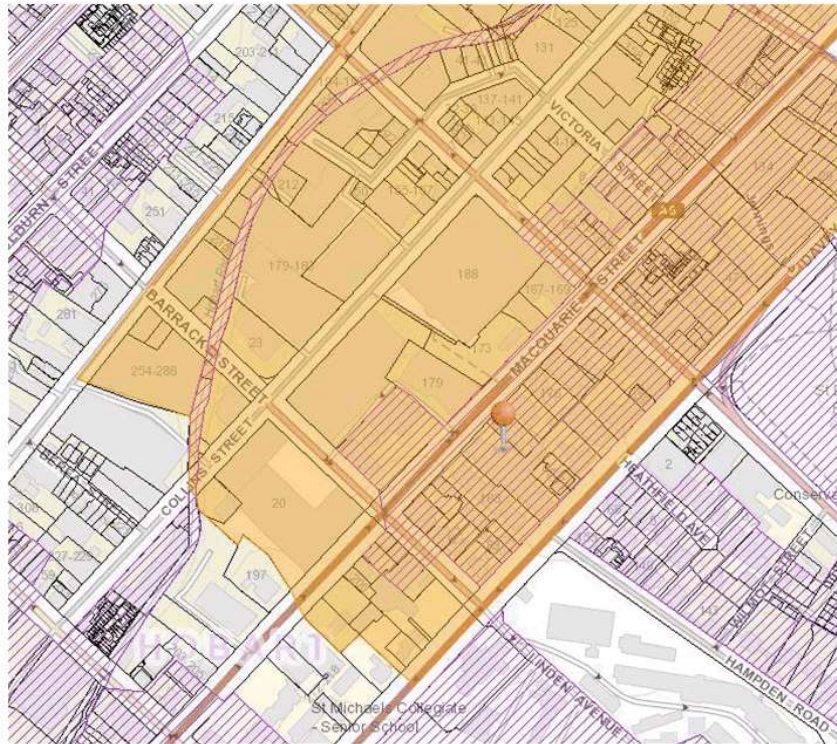


Figure 2.1 – Central business height area (orange) and heritage precinct (hatched purple) in relation to the subject site (red pin).

	Acceptable Solution	Performance Criteria
E.13.8.1 - Demolition	A1. No Acceptable Solution.	<p>Demolition must not result in the loss of any of the following:</p> <ul style="list-style-type: none"> (a) buildings or works that contribute to the historic cultural heritage significance of the precinct; (b) fabric or landscape elements, including plants, trees, fences, paths, outbuildings and other items, that contribute to the historic cultural heritage significance of the precinct; <p>unless all of the following apply:</p> <ul style="list-style-type: none"> (i) there are, environmental, social, economic or safety reasons of greater value to the community than the historic cultural heritage values of the place; (ii) there are no prudent or feasible alternatives; (iii) opportunity is created for a replacement building that will be more complementary to the heritage values of the precinct.
E.13.8.2 – Building and Works other than Demolition	A1. No Acceptable Solution.	P1. Design and siting of buildings and works must not result in detriment to the historic cultural heritage significance of the precinct, as listed in Table E13.2.
	A2. No Acceptable Solution.	P2. Design and siting of buildings and works must comply with any relevant design criteria / conservation policy listed in Table E13.2, except if a heritage place of an architectural style different from that characterising the precinct.
	A3. No Acceptable Solution.	P3. Extensions to existing buildings must not detract from the historic cultural heritage significance of the precinct.
	A4. New front fences and gates must accord with original design, based on photographic, archaeological or other historical evidence.	P4. New front fences and gates must be sympathetic in design, (including height, form, scale and materials), and setback to the style, period and characteristics of the precinct.
	A5. Areas of landscaping between a dwelling and the street must be retained.	P5. The removal of areas of landscaping between a dwelling and the street must not result in the loss of elements of landscaping that contribute to the historic cultural significance or the streetscape values and character of the precinct.

E.13.8.3 - Subdivision	A3. No Acceptable Solution.	<p>P1. Subdivision must not result in any of the following:</p> <ul style="list-style-type: none"> (a) detriment to the historic cultural heritage significance of the precinct, as listed in Table E13.2; (b) a pattern of subdivision unsympathetic to the historic cultural heritage significance of the precinct; (c) potential for a confused understanding of the development of the precinct; (d) an increased likelihood of future development that is incompatible with the historic cultural heritage significance of the precinct.
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The Statements of Significance for Heritage Precinct H1, as per Table E.13.2 of the scheme are:

1. *It contains some of the most significant groups of early Colonial architecture in Australia with original external detailing, finishes and materials demonstrating a very high degree of integrity, distinctive and outstanding visual and streetscape qualities.*
2. *The collection of Colonial, and Victorian buildings exemplify the economic boom period of the early to mid nineteenth century.*
3. *The continuous two and three storey finely detailed buildings contribute to a uniformity of scale and quality of street space.*
4. *It contains a large number of landmark residential and institutional buildings that are of national importance.*
5. *The original and/or significant external detailing, finishes and materials demonstrating a high degree of importance.*

PLACE OF ARCHAEOLOGICAL POTENTIAL

The subject site is included in Table E.13.4 (Places of Archaeological Potential), as defined by Figure E.13.4.1 of the scheme, therefore Clause E.13.10.1 of the scheme applies:

	Acceptable Solution	Performance Criteria
E.13.10.1 – Building and Works other than Demolition	A1. Building and works do not involve excavation or ground disturbance.	<p>P1. Buildings, works and demolition must not unnecessarily impact on archaeological resources at places of archaeological potential, having regard to:</p> <ul style="list-style-type: none"> a) the nature of the archaeological evidence, either known or predicted; b) measures proposed to investigate the archaeological evidence to confirm predictive statements of potential; c) strategies to avoid, minimise and/or control impacts arising from building, works and demolition; d) where it is demonstrated there is no prudent and feasible alternative to impacts arising from building, works and demolition, measures proposed to realise both the research potential in the archaeological evidence and a meaningful public benefit from any archaeological investigation; (e) measures proposed to preserve significant archaeological evidence 'in situ'.
E.13.10.2 – Subdivision	A1. Subdivision provides for building restriction envelopes on titles over land defined as the Place of Archaeological Potential in Table E13.4.	<p>P1. Subdivision must not impact on archaeological resources at Places of Archaeological Potential through demonstrating either of the following:</p> <ul style="list-style-type: none"> (a) that no archaeological evidence exists on the land; (b) that there is no significant impact upon archaeological potential.

SIGNIFICANT TREES CODE

The *Juglans regia* (English walnut) tree in the carpark of the subject site is included on Table E.24.1 of the scheme (ref M10). Accordingly, the provisions of Clause E.24 of the scheme are applicable. Whilst Clause E.24.4 provides some development exempt from the code largely around safety and maintenance of the significant tree, Clause E26 provides development standards for significant trees:

	Acceptable Solution	Performance Criteria
<i>E24.6.1 Lopping, pruning, removal or destruction of significant trees</i>	<i>No Acceptable Solution.</i>	<p><i>The lopping, pruning, removal or destruction of any tree listed in Table E24.1 may be approved having regard to all of the following:</i></p> <ul style="list-style-type: none"> <i>(a) the impact that the proposed tree removal, lopping or pruning would have on the character of the area or the appearance of development on the site;</i> <i>(b) whether the removal or destruction of the tree is appropriate due to the tree being near the end of its expected life span or being in poor health;</i> <i>(c) the proposed means of lopping, pruning, destruction or removal of vegetation;</i> <i>(d) the need to maintain and protect the amenity value of the tree and the general area and its landscape and heritage significance;</i> <i>(e) any hazards the tree poses to the health, welfare and safety of persons and to property;</i> <i>(f) the impact on the appearance or setting of any place of cultural heritage significance;</i> <i>(g) whether pruning or lopping will adversely affect the health, appearance or significance of the tree;</i> <i>(h) any proposed replacement plantings.</i>

HISTORIC CULTURAL HERITAGE ACT 1995

190 Macquarie Street (Coreen) is listed on the Tasmanian Heritage Register; therefore, the place is subject to the provisions of the *Historic Cultural Heritage Act 1995* (HCHA). The Tasmanian Heritage Council would assess any proposed development of the place against Part 6 of the HCHA, via the provisions of a range of Practice Notes and the Tasmanian Heritage Council's *Works Guidelines for Historic Heritage Places*.⁴

ENVIRONMENT PROTECTION & BIODIVERSITY CONSERVATION ACT 1999

The place is not included on the National or Commonwealth Heritage Lists, therefore the historic cultural heritage provisions of the Environment Protection and Biodiversity Conservation Act 1999 are not applicable.

ABORIGINAL HERITAGE ACT 1975 (AMENDED 2017)

An assessment of any possible Aboriginal heritage values is not part of the brief for this report; nonetheless the provisions of the *Aboriginal Heritage Act 1975* are applicable to the place. A search of the Tasmanian Aboriginal Heritage sites register (Job # 15186920) did not identify any registered Aboriginal relics or apparent risk of impacting Aboriginal relics (search valid until 29/4/19). The Tasmanian Government's *Unanticipated Discovery Plan – Procedure for the management of unanticipated discoveries of Aboriginal relics in Tasmania* must be adhered to in the event that any Aboriginal heritage items are discovered during the course of any works.

⁴ http://heritage.tas.gov.au/Documents/Works_Guidelines_FINAL_Nov2015.pdf

3. DOCUMENTARY EVIDENCE – HISTORICAL BACKGROUND

As outlined in the methodology in Section 1.3, the key to assessing historic heritage significance is to gain an understanding of the history of the place, the context of it within its surrounds, associated thematic contexts, and other intangible values (e.g. community value, value associated with people, events etc.). To enable this assessment, this research will focus on the physical development of the subject area, in order to provide the most detailed possible account of the structures erected on this site, their purposes, and their fate since European settlement in 1804.

SOURCE MATERIAL - METHODOLOGY

The following overview of the known physical development history of the site aims to aid in the understanding of the significance of the site and surrounds, and prediction of any possible archaeological remains. This does not represent a comprehensive site history and has been limited to a history of the physical development of the site as relevant to the Coreen building, immediate environs/precinct and archaeological resource.

Primary sources

Broadly, the primary sources consulted in the development of the statement of archaeological potential include:

- Lands Services Department (LSD) series (Tasmanian Archive and Heritage Office).
- Department of Primary Industry, Parks, Water and Environment (DPIPWE) aerial photo collection (Service Tasmania).
- DPIPWE – Land Data Branch, historic map collection (basement)
- DPIPWE – Land Data Branch, titles.
- Historic newspapers, via the National Library of Australia's *Newspapers Online* portal.
- Hobart City Council building files (AE471 series, Tasmanian Archive and Heritage Office).
- Valuation rolls, as published in the Hobart Town Gazette.

Secondary sources

No relevant secondary source material was found which directly relate to the subject site. No previous conservation planning or historical works include the site specifically.

HISTORICAL DEVELOPMENT OF THE SUBJECT SITE

PRE 1804:

The land was the home of the Mouheneener people, who utilised and managed the land for tens of thousands of years, prior to displacement by European settlers in 1804.

1810S-20S – SETTLEMENT, STREET GRIDDING AND SUBDIVISION:

Subsequent to the settlement of Sullivan's Cove in 1804, following the disbandment of the initial European settlement of Ridson Cove, the settlement of Hobart Town began to grow in a somewhat organic matter. Following Governor Macquarie's inspection of 1811, Surveyor James Meehan was engaged to rationalise the layout of the settlement and install a grid-pattern of streets, as seen on his 1811 survey plan (DPIPWE Hobart 131). At this time, Macquarie Street was formalised, however settlement was concentrated further eastward around the Sullivan's Cove area. In 1818, Thomas Birch lead the charge of development further up Macquarie Street with the construction of Macquarie House (151 Macquarie Street) and soonafter other substantial buildings began to appear further up Macquarie Street (e.g. Hanby Villa, 1819, 197 Macquarie Street).

INITIAL DEVELOPMENT

As can be seen from the overlay of the present title with Sprent's 1843 survey (see Fig 3.5) this title comprises all or part of three original grants. Now known as 190-192 Macquarie Street, the area including the subject site and the adjacent hotel, until the early 20th century, was known as 106 and 108 Macquarie Street, with a roughly square addition to 106 Macquarie Street added from part of a third grant. For the sake of simplicity, this report will break the history into two sections – 106 Macquarie St (with later addition) and 108 Macquarie Street (of which only a portion is part of the subject site that was later added from the hotel allotment).



Figure 3.1 – Key to early land grants as discussed below. Yellow – Lowes grant formerly known as 106 Macquarie Street. Blue – McLachlan grant formerly known as 108 Macquarie Street. Orange – Further McLachlan grant formerly part of 5 Barrack Street (added by Crowther in 1935).

106 MACQUARIE STREET (LARGELY COMPRISING 190 MACQUARIE STREET AND THE SITE OF COREEN)

This component (later 190 Macquarie Street) comprises all of 16 perches granted to Thomas Yardley Lowes⁵, as well as a small addition at the rear which was part of 1 rood 28 perches granted to Charles McLachlan⁶.

⁵ DPIPWE DL Mem 3/2745

⁶ DPIPWE DL Mem 3/2911

The larger component (i.e. 16 perches) was granted 25th April 1839 to Thomas Yardley Lowes⁷, a prominent merchant, distiller and landowner in Hobart Town⁸. Early maps of Hobart Town (e.g. Figure 3.2-3.5) show a structure in the vicinity of this allotment, but their accuracy is doubtful and it is likely that this refers to the earlier timber building on the adjacent lot (i.e. former 108 Macquarie Street). However Sprent's 1843 survey clearly shows a substantial masonry building on this site adjacent to that earlier timber building on the adjoining site. Lowes sold the property in May 1845 to David Watson Bush for £460⁹. Bush had arrived in Van Diemen's Land in 1812 and developed a substantial portfolio of city property, as well as being licensee of the Tasmanian Inn¹⁰. The Macquarie street property was still in Bush's possession when he died in March 1866. Following the death of Bush's widow in 1880, the trustees began preparations to sell many of Bush's city properties.¹¹ In February 1881, this allotment was put up for public auction, and was described as:

*"Lot 1- Two story eight roomed dwelling house, opposite the Hutchins School and adjoining St John's Church, having a frontage on Macquarie Street of 53 links, with stable and hay loft over, with garden ground, occupied by Miss O'Meagher"*¹²

This must be the two-storey house which can clearly be seen in Figure 3.6, portions of which appear to have survived in the current building format. The property passed in at auction, but was sold shortly after to Alexander McGregor, a merchant and ship owner, for £550. Description of the land conveyed mentions a frontage of 53 ½ links along Macquarie Street, confirming that this is the property formerly known as 106 Macquarie Street.¹³

The property stayed in the McGregor family until 1925. Alexander McGregor had died in August 1896, leaving the property to his widow Margaret, who eventually re-married to a Thomas Bennison. Margaret (McGregor) Bennison died in September 1924, with the property being sold to William Edward Lodewyk Hamilton Crowther, a prominent Hobart doctor, in March 1925 for £1600¹⁴. Two years later, Crowther also acquired the adjoining property (formerly 108 Macquarie Street) – see below. It is likely that Crowther redeveloped the property with a substantial renovation and front addition to the earlier masonry building which forms the current *Coreen* building.

⁷ DPIPWE DL Mem 3/2745

⁸ E. M. Geddes, 'Lowes, Thomas Yardley (1798–1870)', Australian Dictionary of Biography, National Centre of Biography, Australian National University, <http://adb.anu.edu.au/biography/lowes-thomas-yardley-2378/text3129>, published first in hardcopy 1967, accessed online 20 October 2017

⁹ DPIPWE DL Mem 3/2745

¹⁰ *Launceston Examiner* 31 March 1866, p2

¹¹ DPIPWE DL Mem 6/7836

¹² *The Mercury* 2 February 1881, p.4

¹³ DPIPWE DL Mem 6/7836

¹⁴ DPIPWE DL Mem 16/8334

Crowther also acquired, in August 1935, a small square parcel of land at the rear of 108 Macquarie Street. This was purchased from Josiah Charles Eagle Knight (price unclear)¹⁵. This land was a very small portion of a 1 rood 28 perch township allotment granted in October 1840 to Charles McLachlan. The grant formed a corner block on Barrack and Davey Street¹⁶ and was later part of the backyard of 5 Barrack Street. Subsequent evolution of the title (see individual memorials listed below)¹⁷ does not appear to shed any light on why Dr Crowther wished to add this small portion to his adjoining Macquarie Street properties in 1935.

108 MACQUARIE STREET (NOW 190-192 MACQUARIE STREET)

This component of the present title comprises all of 14 perches granted to Charles McLachlan in October 1840¹⁸. McLachlan sold this grant, with its 42 ½ link frontage on Macquarie Street, to David Dunkley, Iron Monger, in May 1847 for £330.¹⁹ This purchase price clearly indicates a structure on the block – likely to be the single storey building seen on Figure 3.6. There is some confusion as to the nature of this building, the c1832 survey of Hobart (Figure 3.2) implies a masonry building on this lot, which roughly correlates to a building on the 1839 Frankland survey (Figure 3.3) and 1841 census map (Figure 3.4) – neither of which differentiate between building materials. However, the Sprent survey of 1843 clearly depicts this as a timber building. Whether the c1832 depiction is in error, or whether an earlier masonry building was replaced with a timber building between 1832-1843 is not clear.

By the time of his death in 1860, Dunkley had expanded his Macquarie Street property up to the corner of Macquarie and Barrack Streets (the site of the Duke of Wellington hotel). Surviving records of land sales for this block leave out some details (such as how and when Dunkley expanded the block). All that is certain is that after Dunkley's death in 1860, the trustees of his estate sold this larger block to the Cascade Brewery Company for £3500 (date unknown)²⁰. A second Memorial of Indenture from 1927 is equally confusing; this memorial lists that the Cascade Brewery Company sold the original smaller block (i.e. 108 Macquarie Street) to George Edward Hall. The same memorial lists that no contract was registered for this sale; hence we do not know when the block was sold to Hall or for what price. All that can be ascertained from these documents is that in January 1927, Hall sold the block (formerly 108 Macquarie Street) to Dr E.L.H. Crowther for £1000²¹.

¹⁵ DPIPWE DL Mem 19/5343

¹⁶ DPIPWE DL Mem 3/2911

¹⁷ See DPIPWE DL Mem 3/2911, 6/3358, 19/5343

¹⁸ DPIPWE DL Mem 3/2791

¹⁹ DPIPWE DL Mem 3/2791

²⁰ DPIPWE DL Mem 10/5490

²¹ DPIPWE DL Mem 17/5885

Thus, by 1927, Dr Crowther owned both 108 and 106 Macquarie Street, and by 1935, added to the title the small square lot at the rear of 106 Macquarie (see above). With that addition, Dr Crowther was in possession of the title as it is now exists.

Between 1908 and 1946 the timber building at 108 Macquarie Street was demolished, probably during the 1920's when Crowther appears to have been undertaking substantial works to the place with the renovation and front addition of *Coreen*. The site remained largely unchanged from the 1940s to the 1980s when the existing commercial premises at rear were constructed (1982). Whilst having been a separate site to the adjacent hotel for most of the 20th, the site has had an association with that establishment through occasional common ownership.



Figure 3.2 – Excerpt from a c1830s map of Hobart and surrounds, showing a masonry building on what was 108 Macquarie Street, the subject site denoted in red. DPIWE Map Hobart 5.

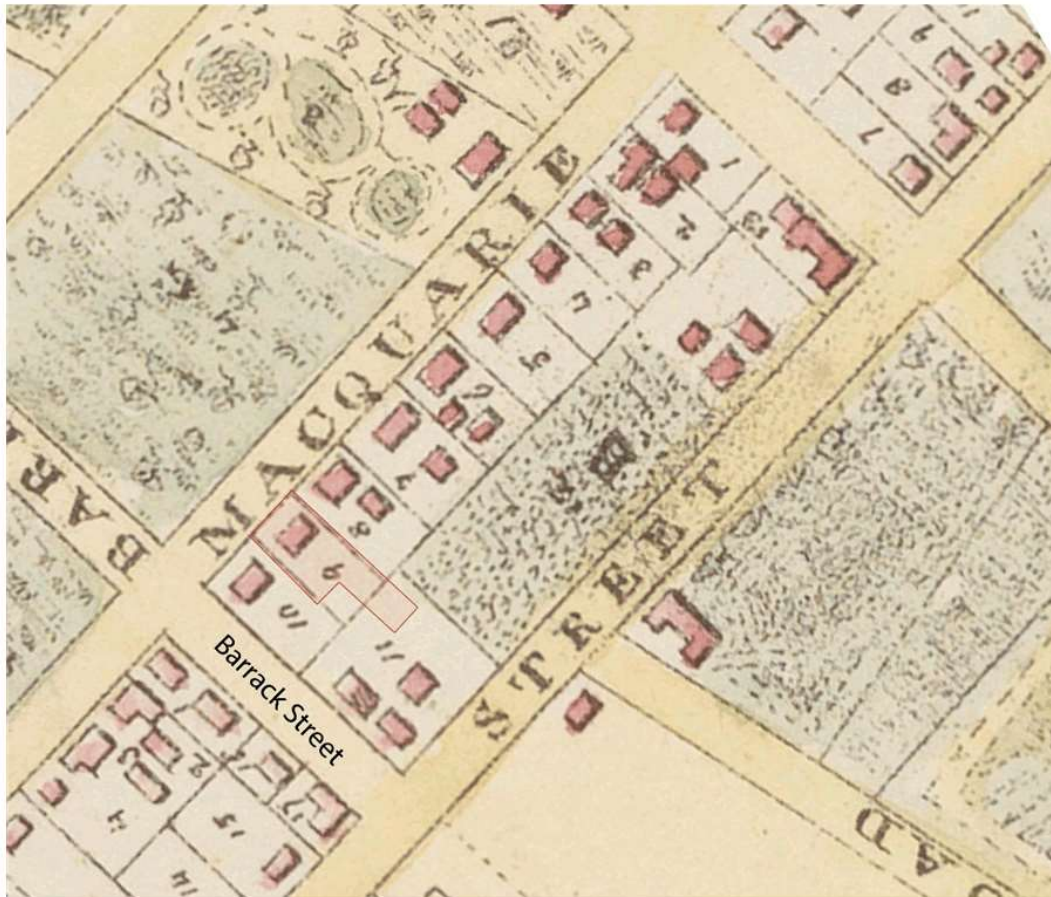


Figure 3.3 – Excerpt from Frankland's 1839 map of Hobart and surrounds, the subject site outlined in red, showing the building that was probably limited to the area of the site known as 108 Macquarie Street. **Note, that the accuracy of this map is known to be dubious.** State Library of Tasmania, Allport Stack 912.94661MAP.



Figure 3.4 - Excerpt from the 1841 census map of Hobart and surrounds. **Note, that the accuracy of this map is known to be dubious.** Tasmanian Archive and Heritage Office, CSO8-17-578.



Figure 3.5 - Excerpt from Sprenst's c1843 map of Hobart and surrounds, showing a timber building on the frontage of the site known as 108 Macquarie Street and a masonry building on 106 Macquarie Street – likely to be the earlier portion of *Coreen*, the subject site denoted in red. (www.thelist.tas.gov.au).

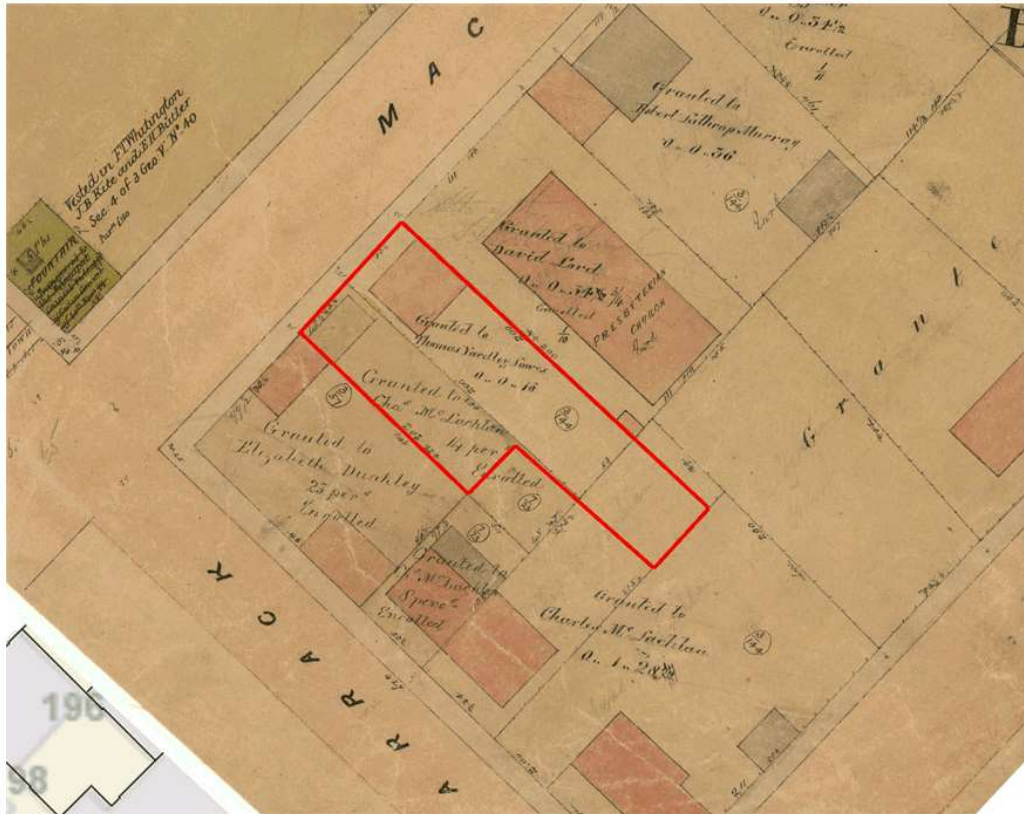


Figure 3.5a – Detail of Figure 3.5.



Figure 3.6 – Excerpt from a panorama of Hobart (1878) showing the two buildings fronting 106-108 Macquarie Street – the two storey being the earlier portion of *Coreen*, the single storey being the earlier McLachlan building. Tasmanian Archive and Heritage Office AUTAS001136156486.



Figure 3.7 – Excerpt from a panorama of Hobart (c1890) showing a similar arrangement to that shown in in Figure 3.6. Tasmanian Archive and Heritage Office NS 1013-1-494.

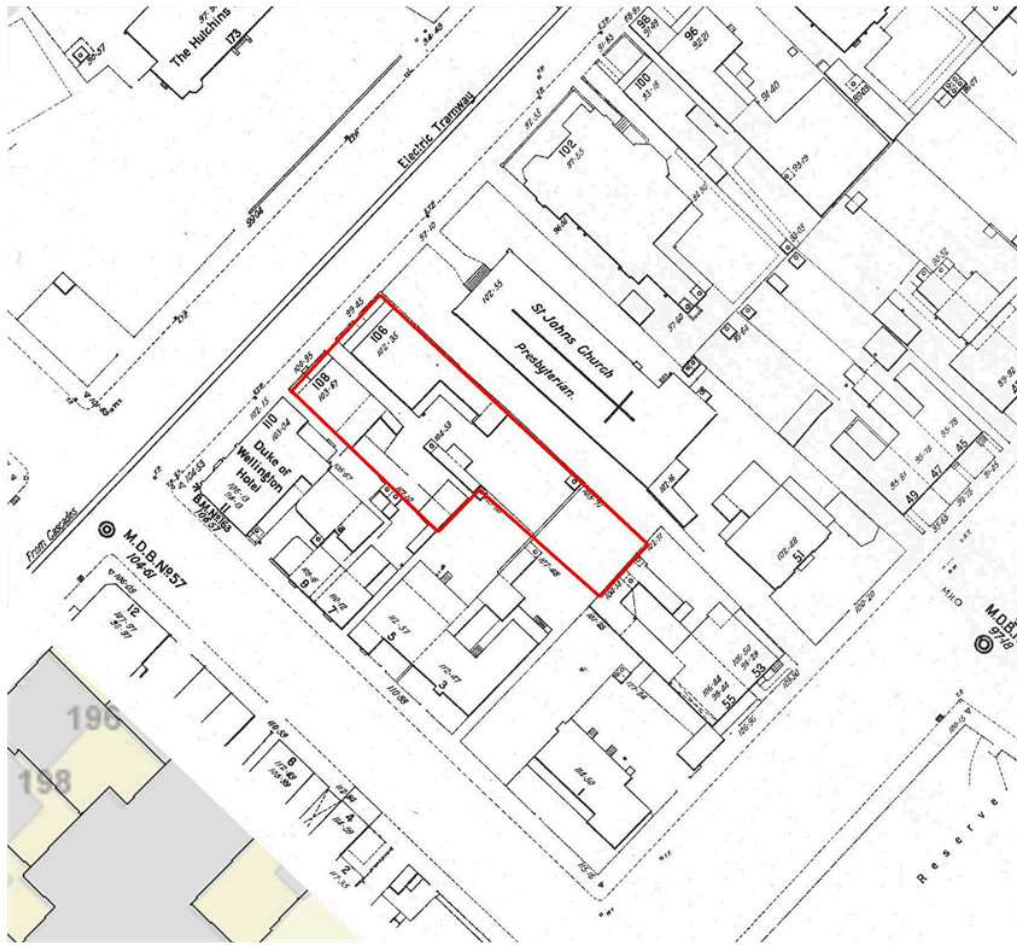


Figure 3.8 - Excerpt from a 1907 Metropolitan Drainage Board plan of the Hobart CBD, the subject site denoted by red lines. This shows the two buildings as described above 9106-108 Macquarie Street) and the rear of what was then 3 Barrack Street (now 5) still part of a separate allotment prior to Crowther's purchase in 1935. State Library of Tasmania TL.MAP 881.11 GBBB (Map Hobart 43).



Figure 3.9 – Excerpt from the 1946 aerial run of Hobart, the subject site denoted by red lines (Hobart 1946 Run 1, 10894).



Figure 3.10 – Excerpt from the 1958 aerial run of Hobart, the subject site denoted by red lines (Hobart 1958 Run 5, T332-12).



Figure 3.11 – Excerpt from the 1968 aerial run of Hobart. Note that this is on an oblique angle which does not necessarily represent building footprints. (Hobart 1958 Run 6, 153).

4. DESCRIPTION OF THE CURRENT FORM OF THE PLACE



Figure 4.1 – Cadastral parcels comprising the subject site (www.thelist.tas.gov.au)



Figure 4.2 – Major site features as referred to in this description (www.thelist.tas.gov.au)

COREEN

Coreen is a two-storey painted brick residence with a shallow pitched hipped roof clad in corrugated galvanised iron. The rear roof form is a double-hip with central valley and the rear wing also has a shallow pitched hipped roof at a lower level than the main roof. The building is somewhat an amalgam of architectural style, with the streetfront presenting as an inter-war residential/commercial frontage and the rear exhibiting some remnant characteristics of a mid-c19th residence.

A portion of the original building that is now Coreen can be seen as the rear (approx.) 2/3 of the building as a two-storey brick building (see Figures 3.6-3.7 for the earlier form of the building) which has been truncated by the addition of the c1920s frontage. The break between the new and older part of the building is clear with a line in the different brick

patterns on the western side, a break in the roof form and more pronounced detailing on the front (newer) portion – in particular a pronounced stringcourse and corbelled eaves. It is likely that the front portion, possibly only representing half a room) of the original building was largely truncated for the addition of the newer frontage, as the line of the 'break' appears to be further rearward than the front line of the building on earlier surveys (e.g. Figures 3.4-3.5).

The rear (older) portion of the building is an unremarkable example of a highly modified mid-c19th larger-scale inner-city residence. Whilst internal inspection was not undertaken, the exterior of the building has been heavily modified and renovated with newer windows (probably contemporary with the c1920s renovation) and a rear wing (probably a late c19th addition) which has been partially obscured by a more recent two-storey entry addition.



Figure 4.3 – The street elevation and eastern wall of Coreen.

Coreen has a prominent streetfront presence – being set right to the street whereas most other contemporary buildings in this part of Macquarie Street have a small setback. The entrance is to the western side and the front windows exhibit more of a commercial presence than that of a domestic building.



Figure 4.4 – The street elevation and western wall of Coreen.



Figure 4.5 – The rear wall and rear wing/extension of Coreen.

THE COMMERCIAL BUILDING AT REAR

With the exception of the common property of the strata, the entire subject site is covered by a single-storey commercial building which was constructed around 1982. The bulk of the building is a warehouse style development, with a skillion at the front (returning to the rear of *Coreen* containing an office and amenities. This building was not internally inspected and is not described in detail here as it is clearly of no heritage significance, contributes nothing to the heritage precinct and is clearly to not part of the intent of any heritage listing.



Figure 4.6 – The commercial building at the rear of 190 Macquarie Street.

THE WALNUT TREE

The walnut tree in the central area of the site is visible in the 1946 aerial photograph as an advanced tree and is likely to derive either from the Cascade Brewing Company ownership of that per of the site and the adjacent hotel, or possibly the Crowther (1927+). The tree is approximately 12 metres high with a branch spread of approximately 11 metres.

5. TOWNSCAPE SETTING OF THE PLACE

CHARACTERISING THE IMMEDIATE SURROUNDS

As per Section 2, the subject site is within the H1 Heritage Precinct under the Hobart Interim Planning Scheme 2015. The Statements of Significance for Heritage Precinct H1, as per Table E.13.2 of the scheme are:

1. *It contains some of the most significant groups of early Colonial architecture in Australia with original external detailing, finishes and materials demonstrating a very high degree of integrity, distinctive and outstanding visual and streetscape qualities.*
2. *The collection of Colonial, and Victorian buildings exemplify the economic boom period of the early to mid nineteenth century.*
3. *The continuous two and three storey finely detailed buildings contribute to a uniformity of scale and quality of street space.*
4. *It contains a large number of landmark residential and institutional buildings that are of national importance.*
5. *The original and/or significant external detailing, finishes and materials demonstrating a high degree of importance.*

That precinct covers much of the Hobart CBD, therefore it is relevant to consider the more specific nature and historical context of the near environs of 190 Macquarie Street, in order to guide what may be appropriate development on the rear portion of that site in a way which is more specific to the immediate context of the site.

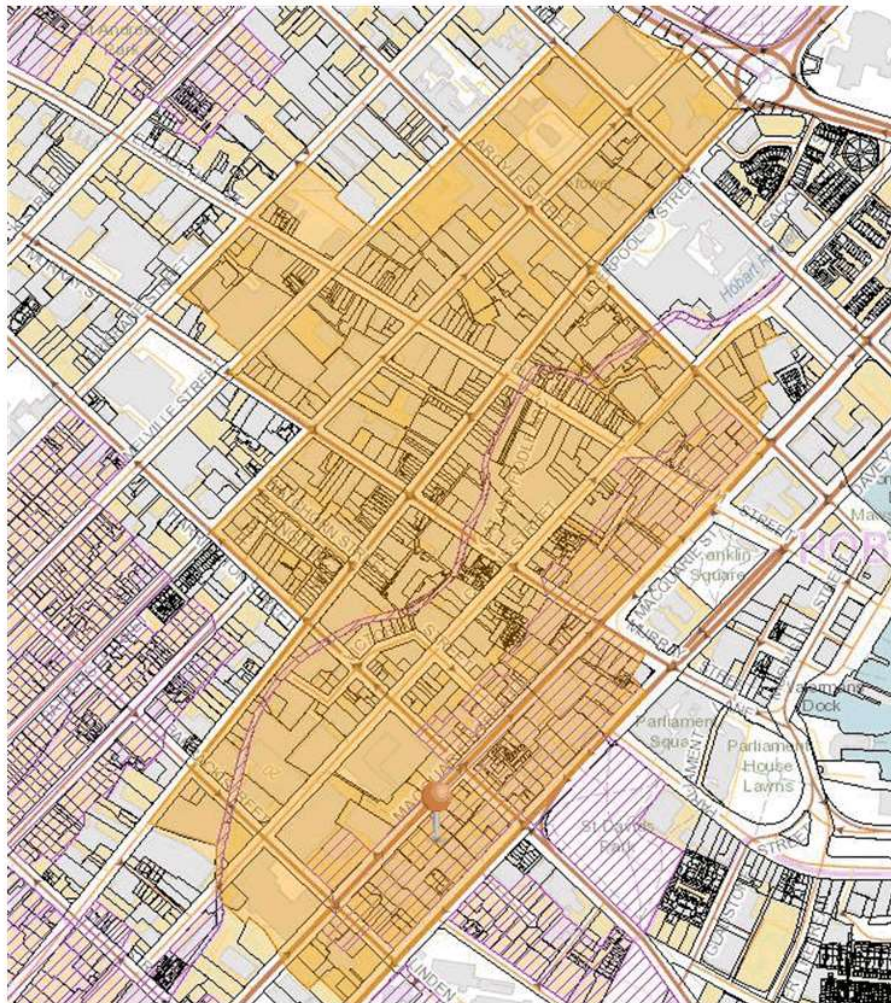


Figure 5.1 – The H1 Heritage Precinct (purple hatching). From www.thelist.tas.gov.au

The city block bounded by Macquarie, Davey, Harrington and Barracks Streets (the *subject* block) is characterized largely by larger (former) residential buildings built with a narrow street setback and generally dating from the latter half of the 19th and early 20th century. Examples being depicted on Figure 4.2 (red dots), with all of these having been converted to non-residential uses (offices, health care, hotel etc.). Other smaller residential buildings from that era are also depicted (orange dots) and commercial buildings from that era (green dots). The church adjacent to 190 Macquarie depicted by a blue dot.



Figure 5.2 – Remaining later c19th and early c20th large (former) residences in the block bounded by Macquarie, Davey, Harrington and Barrack Streets. Adapted from GoogleEarth.

Historically, these types of residences were more common, many having been lost, particularly on the opposite side of Macquarie Street in this area, as depicted on the 1907 Metropolitan Drainage Board plans (blue dots on Figure 4.3). A typifying feature of all these residences were their larger backyard spaces (shaded green on Figure 4.3)

That survey also depicts (as the streetscape sill does to a degree) the very different urban form opposite the subject site of the former Hutchins school, built on the site of the former Government Gardens which was always an unusual large (non-parkland) open space in the Hobart CBD.²² St John's Church is the 'odd' feature within that block – whilst an undoubtedly important part of that precinct, that site presents a different form of the urban fabric than the typifying large residences.

²² For a further analysis of the development of the urban form of the block bounded by Macquarie, Harrington, Barrack and Collins Streets, see: Praxis Environment (July 2014): *Statement of Archaeological Potential Archaeological Impact Assessment & Method Statement Streetscape/Precinct Conservation Policy & Streetscape/Precinct Heritage Impact Assessment. Fragrance Hotel Development - 173-177 Macquarie Street HOBART TASMANIA.*

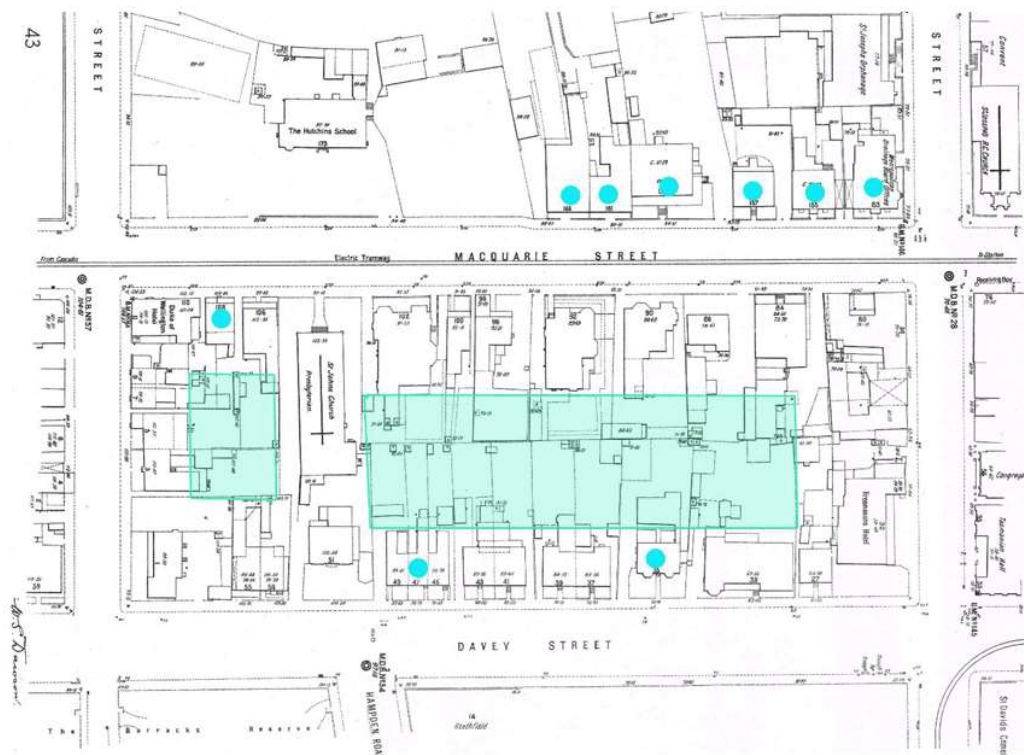


Figure 5.3 – ‘Lost’ large c19th residences in the immediate surrounds of 190 Macquarie Street (blue dots) as well as the typifying backyard spaces of those buildings within the subject block. Adapted from Metropolitan Drainage Board 1907 Plans (sheet 9, as cited in Section 3).

That pattern of development is typical of the evolution of that block right from settlement, with the same backyard open space being evident in the 1840s Sprent survey of Hobart, with a number of ‘first generation’ buildings on the street frontages which were replaced with the current later c19th and early c20th buildings as prosperity grew and the area became an inner city residential development hotspot.



Figure 5.4 – The earlier configuration of development within the subject block showing larger residences built near the street frontage and large backyard areas. Adapted from the 1840s Spent Survey (as cited in Section 3).

In a wider context, the area between Davey and Macquarie Streets was historically typified by that close to the street building (generally large residences) and large backyards, which is different to the surrounding areas, where to the south-east development was constrained by the presence of Anglessea Barracks, and to the north-west development occurred in a different pattern dictated by the relationship to the Hobart Rivulet. This resulted in a swathe of undeveloped land in the central portion of those allotments just below the ridge which carried Macquarie Street.

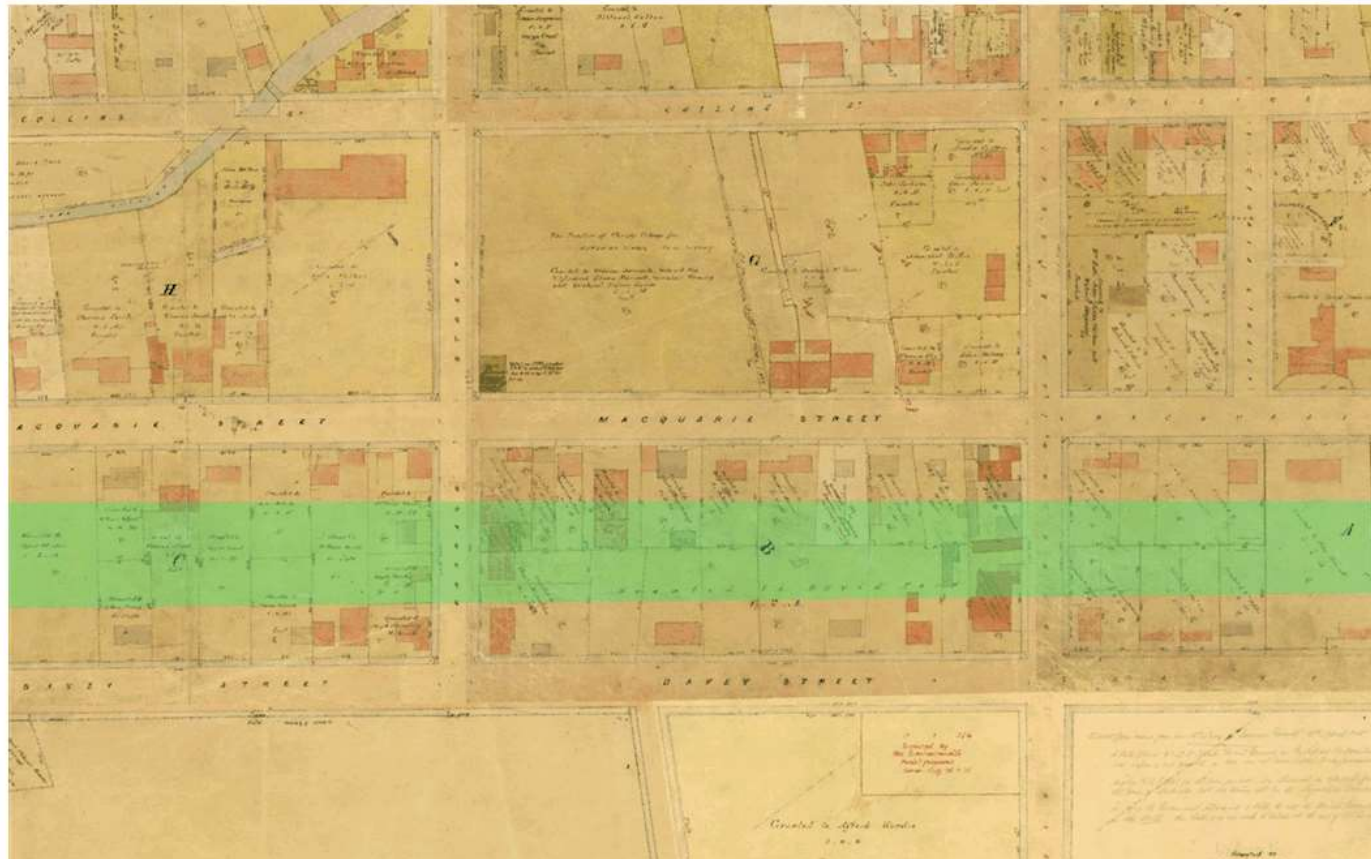


Figure 5.5 – The wider early development pattern of the area between Macquarie and Davey Streets (between Antill and Murray Streets) showing larger residences built near the street frontage and large backyard areas. Adapted from the 1840s Spent Survey (as cited in Section 3).

The consequence of this nineteenth century pattern of development is that the large backyard spaces of these large inner-city residential properties survived well into the twentieth century as a quasi-open space below the ridge of Macquarie Street – the pressure of development on these gentrified residences being less than those nearby areas (e.g. along the rivulet and in the more commercial areas of the precinct) as retention of those backyards would have been somewhat of a status symbol for the inhabitants of these houses.

That changed in the mid-twentieth century, when inner-city living began to fall out of favour, and such large residences were rapidly redeveloped, either levelled and modern buildings replacing them (such as those on the northern side of Macquarie Street, from Harrington Street to 177 Macquarie Street – 5 in all), or converted to multiple flats, and/or subjected to a change of use and turned into offices, professional suites etc. (such as 186 Macquarie Street which became St Helens Hospital). As noted above, *all* of the former large residences in the subject block have been turned into non-residential uses, and with which comes the redundancy of the domestic backyards – opening these to further development.

Such infill development has occurred along most of the central section of the subject block, notably 186 Macquarie (St Helens Hospital – 3-5 storey), 180 Macquarie (Nurses Federation – 5 storey), 172 Macquarie (Macquarie Manor – 3-4 storey) as well as numerous two storey backyard buildings/substantial extensions (e.g. 174 Macquarie). Figure 5.6 depicts these larger infill buildings and the general height of building in the nearby area affected by the heritage precinct. The following colour code has been used:

Green – Single storey

Purple – Two storey (or equivalent)

Yellow – 2-4 storey

Red – 5 storey.

The figure depicts that:

- Invariably, development facing Macquarie Street in this area is two-storey with minimal street setback.
- The streetfront development of Davey Street is more diverse with a general pattern of single to four storey development.
- Any higher development is limited to the interior area of the block, and also to a maximum of five storey.



Figure 5.6 – General building heights in the area bounded by Davey, Macquarie, Barrack and Harrington Streets – colour coding as per above. Based on www.thelist.tas.gov.au

On a wider lens (and noting that these are outside of the heritage precinct) but still within the wider townscape context of the subject site, is a fringe of substantially higher development. Although these are not a direct consideration in assessing development within the heritage precinct itself, the presence of these buildings in the townscape as a peripheral and/or backdropping element should be a consideration in understanding the wider townscape development and urban form of the area. Figure 5.6 depicts the 6+ storey development in the vicinity of the subject site (shaded blue) and several other 3+ storey buildings fringing the subject site (colour code as per above).

This pattern of townscape development has been considered in the formulation of the conservation policies, particularly regarding bulk and height, in Section 8.



Figure 5.7 – General building heights in the wider area surrounding the subject site Streets – colour coding as per above (note that this includes the approved, but not yet constructed, building at 179 Macquarie Street. Based on www.thelist.tas.gov.au)

ADJACENT HERITAGE PLACES

The specific heritage provisions of the Hobart Interim Planning Scheme 2015 do not have explicit adjacency provisions, however the provisions relating to development within a Heritage Precinct (i.e. E.13.8) require consideration of heritage impact of any proposed development within that precinct – adjacent heritage places therefore being part of such precinct, accordingly possible impact upon those places can be considered.

Further, the Central Business Zone (Central Business Height Area), through Clauses 22.4.1 and 22.4.3 has provisions relating to development on the same site and adjacent to a heritage place. The subject site is the same site as the Coreen building (despite the strata titling) and it is between two heritage places – the Duke of Wellington Hotel and St John's

Church/Bellkirk. Whilst Section 2 has determined that these clauses are either not applicable to the subject site, or only applicable for development forward of the rear building line of the Coreen building, the tenor of what these clauses seeks to achieve is likely to be consistent with the objectives of the Heritage Precinct provisions.

Therefore, the following adjacent places will be considered here in order to provide development guidelines for the subject site (note that all of these places are listed on the Tasmanian Heritage Register):

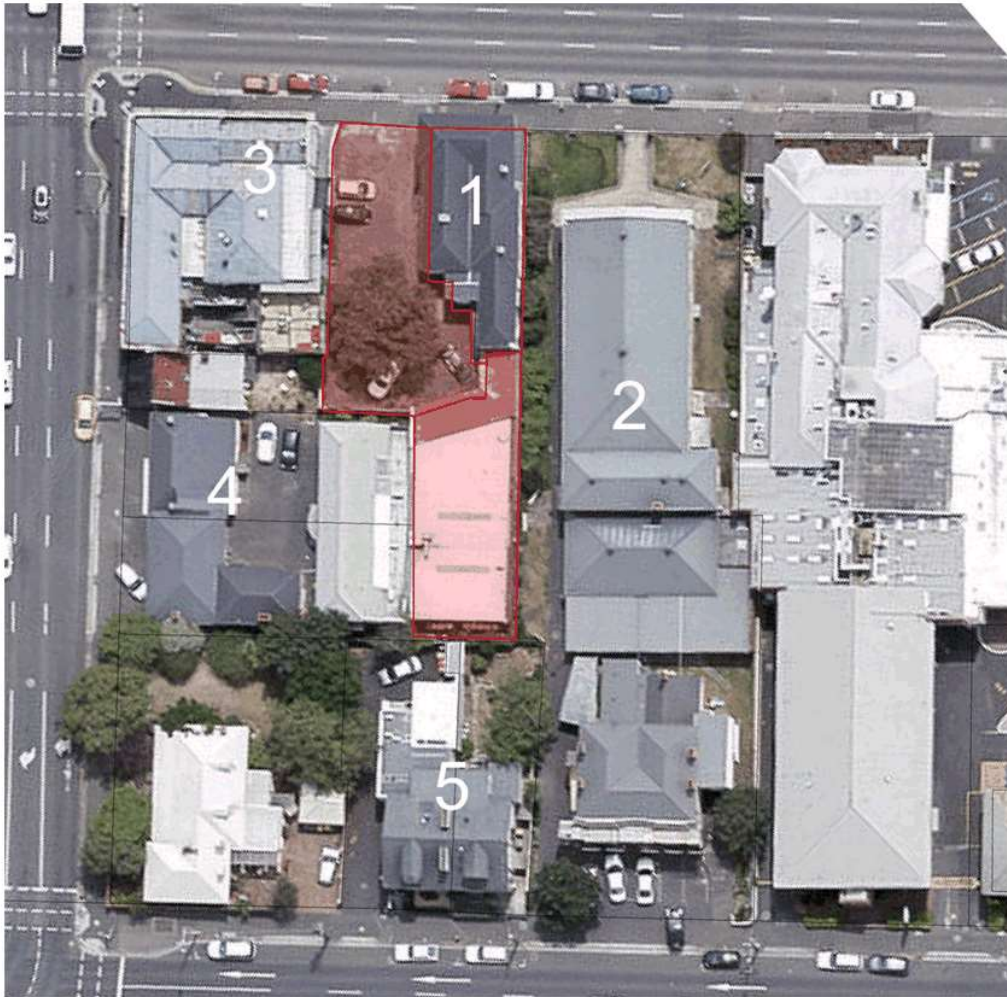


Figure 5.8 – Adjacent heritage places considered in the current assessment.

#	Place	Brief description	Possible impact from development on the subject site.
1	Coreen	Coreen is a substantial former residence of (at first glance) late-Victorian styling which is built right to the Macquarie Street boundary. As per the description below, it is likely that the building consists of an earlier 2-storey building with a further 2-storey building added to the frontage in a more contemporary (i.e. c1900) styling and the older building being modernized and becoming ancillary to that newer building. A wing at the rear is probably contemporary with the Macquarie Street frontage.	Although on the same site as the subject site, Coreen is on a separate strata title, therefore <i>direct</i> impact from any proposed development cannot occur. Any development at the rear of Coreen may, if higher than 3-storey, have the effect of backdropping the building. Coreen is built to Macquarie Street therefore will always remain the dominant element in the near-streetscape and any development at rear would read somewhat as separate to that building. The curtilage of Coreen is already compromised (although not in a majorly adverse way) by the existing building on the subject site, however that development, and any future development, is buffered from the bulk of the Coreen building by the wing and the common space of the strata scheme. Development higher than 3-storey would provide some backdropping however as per above any perceived impact could be mitigated by appropriate articulation and finishes. This is further discussed when considering Vantage Points 5-7 below.
2	St John's Church and 'Bellkirk'	This title runs from Macquarie Street to Davey Street and contains the substantial classically designed 1840s sandstone chapel set just back from Macquarie Street and the two-storey Georgian styled sandstone residence, Bellkirk (c1850) set just back from Davey Street. A series of c20th infill developments associated with church use links the rear of each building. A (private) laneway from Davey to Macquarie Streets along the subject site side of this allotment with the chapel building set back approximately 4-metres from that side boundary and the rear	<p>The scale and streetscape presence of the church itself means that it will always remain a dominant element in the streetscape and any development on the subject site would only backdrop the chapel from rear of the centre-line of that building. Any three-storey development would be of a height similar to the church and any higher development would merely form a discrete backdrop to that building (subject to design and finish details). This is further discussed when considering Vantage Point 7 below.</p> <p>Currently, the boundary between the subject site and the open space beside the church is a high and blank concrete wall. Any development of the subject site has the potential to</p>

		building line of Coreen runs approximately through the centre of the main body of the church, the subject site being well set back from the front elevation of that building. The rear line of the subject site runs approximately 8-metres from the rear building line of Bellkirk.	<p>better articulate or enliven that wall (subject to planning/building code issues) and (with consultation with the church authorities) have the potential to invigorate that space. This is further discussed later in this document.</p> <p>Similarly, any development on the subject site would have a rear setback from Bellkirk, and development up to 3-storeys would have no backdropping impact upon that place. Higher development would provide some backdropping however as per above any perceived impact could be mitigated by appropriate articulation and finishes. This is further discussed when considering Vantage Point 9 below.</p>
3	Conjoined townhouses, 81-83 Davey Street	A fine example of a two-storey mid-c19th conjoined and paired townhouses set just back from Davey Street. These have attic room extensions as well as a modern extension at the rear. The rear of the subject site is set back approximately 16 metres from the rear building line of these houses.	As per the discussion above regarding Bellkirk, development up to 3-storeys high would have no backdropping impact. Higher development would provide some backdropping however as per above any perceived impact could be mitigated by appropriate articulation and finishes. This is further discussed when considering Vantage Point 8 below.
4	Conjoined cottages, 5-7 Barrack Street	A pair of mid-c19th conjoined cottages with a small setback from Barrack Street. One of these cottages has been partially demolished to allow vehicular access to the backyard where a single-storey modern building houses commercial premises.	It is unlikely that any development on the subject site would have unreasonable adverse heritage impact upon these places, given that they have a substantial setback from the site (approx. 20m) and have other recent development in between. Note that the integrity of these buildings from a streetscape perspective is low, and any development on the subject site would (at worst) merely distantly backdrop these buildings.
5	The Duke of Wellington Hotel	A mid-c20th hotel building set on the corner of Macquarie and Barrack Streets, the façade of which is in remarkably original condition. The common property of the 190 Macquarie Street	Whilst the subject site is directly adjacent to the rear of the hotel, the common property of the strata (assumed to not be developed in the short term at least) provides a substantial setback of any development at the rear of the subject site. Such development, if 2-3 storey, would not be discernible as a backdropping element of the hotel from wider viewfields.

		strata extends 13 metres to the rear of the rear corner of the heritage building.	Higher development would provide some backdropping however as per above any perceived impact could be mitigated by appropriate articulation and finishes. This is further discussed when considering Vantage Point 5 below.
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KEY VIEWS AND VISTAS

Section 5.1 having discussed the townscape development of this part of the heritage precinct, and backyard development of larger former residential properties being a well-precedented evolution of the urban form, this section will consider what overall bulk/form any new development of the subject site might take in order to avoid undue adverse impact on the residual heritage values of that precinct, as well as avoiding such impact upon the nearby/adjacent heritage places as discussed in Section 5.2.

Key vistas and views to 190 Macquarie Street are depicted on Figures 5.10 which is based both on viewlines which allow the greatest view of the Coreen building, but also views where any development at the rear of the subject site may have the maximum visibility from around, and within the context of, the heritage precinct. Views to Coreen and that part of the precinct are not gained from any other ground-level vantage points in the near (or even wider) area therefore these have not been considered here. Ordinarily, historically important views would be considered, however in this case there are not any particularly historically important views of relevance – for example, views to the Coreen building and near environs as depicted in Section 3 are no longer possible due to surrounding development, therefore have not been considered here. In each case, the red arrow depicts the *approximate* location of any backyard development of 190 Macquarie Street.



Figure 5.10 – Key viewlines to 190 Macquarie Street and the Macquarie Street streetscape in the near vicinity (adapted from GoogleEarth)

Point	Importance of viewline to Coreen, nearby heritage buildings and/or the precinct in general.	Possible impact of any proposed development of the site
<p>1. From further up Macquarie Street (near Hanby Villa).</p>	<div data-bbox="712 363 1765 911" data-label="Image"> </div> <p>Coreen and adjacent heritage places are not easily visible from this viewline – which represents the view down the ‘spine’ of Macquarie Street running through the heritage precinct.</p> <p>This view is typified by smaller street front development (1-3 storeys) with higher development (i.e. 2-5 storey) set back behind those street front buildings and the much higher developments to the street front further down Macquarie Street backdropping this view.</p>	<p>Any larger development (within the general planning scheme height limits) would not be prominent in relation to Coreen in this viewline and be consistent with the general pattern of development. Even higher development is unlikely to have an impact and would read as a backdropping or flanking element consistent with the other larger buildings in this viewline.</p>

2. From corner of
Macquarie and Harrington
Streets



Similarly, Coreen and adjacent heritage places are barely discernible from this viewline and form part of a contiguous 2-storey street frontage which typifies the southern side of Macquarie Street and the higher development at the rear (e.g. Nurses Federation and St Helen’s Hospital) are not visible from this point. The northern side of Macquarie Street comprises of larger scale hotel and commercial development which is inconsistent with the tenor of the opposite side of the street.

Any development at the rear of 190 Macquarie Street of a similar scale as the Nurses Federation and St Helens buildings would not be visible from this (or even slightly nearer) vantage points owing to the setback afforded by the title configuration of the 190 Macquarie Strata. Even higher development (within the general planning scheme height limits) is unlikely to have an impact and would read as an element flanking the lower street frontages which would retain their prominence.

<p>3. From corner of Davey and Harrington Streets.</p>	<div data-bbox="822 244 1641 844" data-label="Image"> </div> <div data-bbox="510 858 1211 997" data-label="Text"> <p>This viewline is typified by the 2-storey former residential buildings on the Davey Street frontage. The higher development (e.g. St Helens Hospital) is just visible to the rear of this street front development and steps back in a manner which allows the lower buildings to retain a contiguous prominence.</p> </div> <div data-bbox="1211 858 1957 1070" data-label="Text"> <p>Any development at the rear of 190 Macquarie Street of a similar scale as the Nurses Federation and St Helens buildings would not be visible from this (or even slightly nearer) vantage points owing to the setback afforded by the allotments fronting Davey Street. Even higher development (within the general planning scheme height limits) is unlikely to have an impact and would read as an element flanking the lower street frontages which would retain their prominence.</p> </div>
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4. From further up Davey Street (near Collegiate).



The townscape from this viewline (almost outside the H1 Heritage Precinct) represents a very diverse range of built forms and 190 Macquarie Street and adjacent heritage places are not visible. Larger built forms such as Collegiate, the higher buildings backdropping and flanking the vicinity of 190 Macquarie (e.g. the Commonwealth building, Lands building, Telstra building etc.) dominate this viewline.

A large development (within the general planning scheme height limits) on the rear of 190 Macquarie Street would have little or no impact upon this viewline and if visible would form part of the existing townscape backdrop of the buildings surrounding the subject site.

5. From corner of Barrack
and Macquarie Street.



This viewline highlights the contiguous street front grouping of the Duke of Wellington Hotel, Coreen and the Henry Hunter designed residence now forming the frontage of St Helen's Hospital – representing an important part of the heritage precinct.

Any development at the rear of 190 Macquarie Street up to 3-storeys would not be visible nor prominent in this viewline. Higher development (within the general planning scheme height limits) would act as a backdropping element of the Duke of Wellington Hotel and read as a stepping away from the street frontage, maintaining the street front and corner prominence of this group of buildings.

<p>6. From directly opposite 190 Macquarie Street</p>	<div data-bbox="831 244 1635 786" data-label="Image"> </div> <div data-bbox="517 799 1205 975" data-label="Text"> <p>This viewline, with the inclusion of St John's Church and the break in the street front form resulting from the demolition of the building formerly between Coreen and the Duke of Wellington Hotel represents a less contiguous grouping within the precinct. Nonetheless, Coreen and the Duke of Wellington provide a consistent street frontage representative of the tenor of this part of the precinct.</p> </div> <div data-bbox="1220 799 1957 1198" data-label="Text"> <p>Development to the rear of 190 Macquarie Street would be visible in this viewline, however the setback from Macquarie Street resulting from the strata configuration of 190 Macquarie Street means that any such development would be recessive to the street frontage and be read as a rearward layer of development as per the pattern of development of the central portion of the subject block. At this close scale height becomes somewhat less relevant with the key focal point of this viewline being the street front development which would remain unchanged.</p> <p>If ever the strata configuration of 190 Macquarie Street was changed to allow street front development, retaining this as two storey at the street frontage would act to repair the broken urban form resulting from the loss of the earlier building and adding to the contiguous street frontages of the near environs.</p> </div>
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7. From 179 Macquarie
Street

As per viewline 6, this viewline also demonstrates a non-contiguous grouping of building types and setbacks within the heritage precinct, although when considering the larger street front setback of the precursor building of Coreen which related to the street frontage of St John's Church hints at an earlier settlement pattern of the area.

Any development at the rear of 190 Macquarie Street of three storeys or less would not be visible in this viewline, being masked by St John's. Any higher development (within the general planning scheme height limits) would backdrop St John's Church which would still remain as the predominant street front element in this viewline.

<p>8. From corner of Hampden Road and Davey Street.</p>	<div data-bbox="784 244 1680 852" data-label="Image"> </div> <div data-bbox="510 863 1211 1048"> <p>This viewline, although containing several heritage buildings, has a low degree of contiguity with buildings of very different styles, setbacks, orientation and the modern intrusion of the portion of St Helen's Hospital.</p> </div> <div data-bbox="1211 863 1957 1048"> <p>Any development at the rear of 190 Macquarie Street of three storeys or less would not be visible in this viewline, being masked by Bellkirk. Any higher development (within the general planning scheme height limits) would backdrop Bellkirk which would still remain as the predominant street front element in this viewline.</p> </div>
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9. From directly behind
190 Macquarie Street (on
Davey Street).



This viewline, although containing several heritage buildings, has a low degree of contiguity with buildings of very different styles, setbacks and orientation. The rear area of 81-83 is prominent in this viewline with the rear of 190 Macquarie Street visible beyond.

Any development higher than the current building at 190 Macquarie Street would be visible in this viewline at the rear of 81-83 Davey Street, however the setback (approximately 15 metres) from the rear of that building would act to buffer that view.

Visibility of such development is unavoidable, therefore design approaches as detailed in the conservation policy of the current document should be employed to minimise any visual impact upon the backdrop of 81-83 Davey Street.

10. From the corner of
Barrack and Davey Streets.



Whilst this viewline contains two heritage buildings and is on the edge of the heritage precinct, the area between these buildings is prominent, albeit not considered to be significant given the different orientations of those buildings (i.e. each facing a different street).

Any development higher than the current building at 190 Macquarie Street would be visible in this viewline at the rear of 81-83 Davey Street, and 1 Barrack Street, however the setback (approximately 15 metres) from the rear of that building would act to buffer that view.

Visibility of such development is unavoidable, therefore design approaches as detailed in the conservation policy of the current document should be employed to minimise any visual impact upon the backdrop of 81-83 Davey Street and 1 Barrack Street.

The following salient points are drawn from the discussion above as they relate to the townscape development, setting and key viewlines relating to the subject site:

- The Macquarie Street frontage (on the southern side between Barrack and Harrington Streets) presents a reasonably contiguous and intact late-c19th/early-c20th precinct of large former residential buildings – invariably two-story buildings. This provides a key focal point of the precinct at the streetfront.
- The internal section of the block bounded by Macquarie, Davey, Barrack and Harrington Streets has been subject to later infill and has the potential for further infill without detriment to the street frontages of those streets (i.e. the contiguous development as described above would remain the predominant characterising feature of those frontages).
- Development 3-storeys high on the rear of 190 Macquarie Street is unlikely to be prominent (or even discernible) in most key viewlines.
- Higher development would backdrop several of the heritage buildings in the vicinity of 190 Macquarie Street, however the inevitable setbacks dictated by the internalisation of the subject site would ensure that the existing buildings would retain their streetscape prominence and remain contributory and consistent with the current streetfront form to the heritage precinct.
- Overall height of any development of the subject site therefore should be responsive to ordinary height provisions of the planning scheme, rather than being heritage specific (i.e. it is likely that any height permissible under the zoning provisions of the scheme is acceptable under the Historic Heritage Code).
- The only prominent viewlines where *any* development of the rear of 190 Macquarie Street would be visible is from Davey Street, backdropping 81-83 Davey Street and 1 Barrack Street. This is unavoidable and design approaches (as guided by the conservation policy) should seek to mitigate any impact.

6. ASSESSMENT OF HISTORIC CULTURAL HERITAGE SIGNIFICANCE

The following statements of significance are based on the national HERCON standard for statements of significance, based on the amount of information currently at-hand as detailed in this document. Note that natural history and indigenous heritage values have not been assessed here, as these are beyond the scope of this assessment.

The assessment methodology for each criterion follows the methodology details in the Tasmanian Government's *Assessing Historic Heritage Significance for Application with the Historic Cultural Heritage Act 1995* (October 2011) which is considered to represent a sound approach to assessing values (and from which the expanded definitions in the table below are drawn).

Note that the building at the rear of 190 Macquarie Street (c1982) is obviously not considered to be of any historic cultural heritage value, therefore has not been assessed at length here.

A. IMPORTANCE TO THE COURSE, OR PATTERN OF OUR CULTURAL OR NATURAL HISTORY.

A place is of importance to the course or pattern of Tasmania's history if that place is the product of, or is an example of, or was influenced by, or has influenced, or is associated with, or has a symbolic association with, or is the site of – an event, phase, period, process, function, movement, custom or way of life (including values, aspirations, tastes and fashions) which has made a strong, noticeable or influential contribution to the evolution or pattern of the settlement and development of Tasmania.

190 MACQUARIE STREET

Coreen is of historic heritage significance as a contributory element to the general tenor of streetfront development of Macquarie Street generally deriving from the early c20th as the second phase of development of that area following 'gentrification' as an inner-city housing precinct. It is an unusual building within this context as an earlier building which has been 'gentrified' in the inter-war period whereas other larger residences in the area are either substantial mid-c19th or early c20th residence – this being somewhat 'hybridised'.

THE WIDER ENVIRONS AND PRECINCT

The wider precinct is of historic heritage significance as representing an evolving area of inner-city Hobart. Archaeological remains are likely to represent the first phase of settlement of this town block, which was largely further developed as substantial mid-c19th townhouses, which again were generally redeveloped as early c20th inner-city gentrified housing. This significance has been somewhat diminished by the commercialisation of this area, with few of these larger residences still used for residential purposes.

B. POSSESSION OF UNCOMMON, RARE OR ENDANGERED ASPECTS OF OUR CULTURAL OR
NATURAL HISTORY.

A place demonstrates rare or uncommon aspects of Tasmania's heritage if that place illustrates in its fabric an event, phase, period, process, function, movement, custom or way of life (including values, aspirations, tastes and fashions) which, or an aspect of which: (i) was considered uncommon or unusual at the time of its origin; (ii) is no longer practised AND is of special interest; or (iii) was once commonplace but for which there is little surviving evidence in Tasmania.

190 MACQUARIE STREET

Coreen and the wider 190 Macquarie Street is not considered to possess any uncommon, rare or endangered aspects of our cultural or natural history.

THE WIDER ENVIRONS AND PRECINCT

The wider environs are not considered to possess any uncommon, rare or endangered aspects of our cultural or natural history.

C. POTENTIAL TO YIELD INFORMATION THAT WILL CONTRIBUTE TO AN UNDERSTANDING OF OUR CULTURAL OR NATURAL HISTORY.

A place has the potential to yield information that will contribute to an understanding of Tasmania's history if, through analysis and further examination or research of the place and its fabric (including artefacts), it can provide information that could not be derived from any other source. While this criterion in Tasmania is most often used to define archaeological research potential, it may also be used for the research potential of architectural design, construction techniques, historical gardens, etc.

See Section 7 for an assessment of the likely ability of the place to yield information that may contribute to an understanding of Tasmania's history.

D. IMPORTANT IN DEMONSTRATING THE PRINCIPAL CHARACTERISTICS OF A CLASS OF CULTURAL OR NATURAL PLACES OR ENVIRONMENTS.

This criterion is concerned with representativeness. A place included under this criterion should demonstrate the principal characteristics of a particular class of cultural place if that place displays the defining features, qualities or attributes of its type, where type or class of place illustrates a range of human activities including a way of life, a custom, an ideology or philosophy, a process, a land use, a function, a form, a design, a style, a technique or some other activity or achievement. To be considered a good representative example, the place should have a high level of intactness.

190 MACQUARIE STREET

Coreen and the wider 190 Macquarie Street is not considered to exhibit the principal characteristics of any particularly notable class of place – being a c1840s building which has been significantly renovated and converted during the late 1800s and inter-war period.

THE WIDER ENVIRONS AND PRECINCT

The wider environs of 190 Macquarie Street is not considered to exhibit any particular class of place of any notable degree of achievement or intactness beyond the statements of significance for the precinct as listed here in Section 2.

E. IMPORTANCE IN EXHIBITING PARTICULAR AESTHETIC CHARACTERISTICS

This criterion may be interpreted as a place being important because of its aesthetic significance if that place exhibits sensual qualities that can be judged against various ideals including beauty, picturesqueness, evocativeness, expressiveness, landmark presence, symbolism or some other quality of nature or human endeavour.

190 Macquarie Street, nor its environs are considered to exhibit any particular notable aesthetic qualities.

**F. IMPORTANCE IN DEMONSTRATING A HIGH DEGREE OF CREATIVE OR TECHNICAL
ACHIEVEMENT AT A PARTICULAR PERIOD.**

A place is important in demonstrating a high degree of creative or technical achievement if that place illustrates artistic or technical excellence, innovation, accomplishment, extension or creative adaptation in a variety of fields of human endeavour including but not exclusive to art, engineering, architecture, industrial or scientific design, landscape design, evolved design, construction, fabrication, manufacture, or craftsmanship.

No part of 190 Macquarie Street or wider environs is considered to exhibit any high degree of creative or technical achievement worthy of the assignment of historic heritage significance.

**G. STRONG OR SPECIAL ASSOCIATION WITH A PARTICULAR COMMUNITY OR CULTURAL GROUP
FOR SOCIAL, CULTURAL OR SPIRITUAL REASONS.**

A place has a special associational value if it is associated with a person, organisation or group of people who or which is of importance to the history of Tasmania. In this context, importance may relate not only to the great and well-known, but also to the influential, the exemplary, and the innovative.

No part of 190 Macquarie Street or to environs are considered to demonstrate a strong association with any particular community of cultural group beyond the broad streetscape and townscape associations identified in the precinct statements of significance as detailed in Section 2.

**H. SPECIAL ASSOCIATION WITH THE LIFE OR WORKS OF A PERSON, OR GROUP OF PERSONS, OF
IMPORTANCE IN OUR HISTORY.**

A place has a special associational value if it is associated with a person, organisation or group of people who or which is of importance to the history of Tasmania. In this context, importance may relate not only to the great and well-known, but also to the influential, the exemplary, and the innovative.

190 Macquarie Street is not known to have any strong or demonstrable association with the life and works of any person or group of importance in our history.

7. STATEMENT OF HISTORICAL ARCHAEOLOGICAL POTENTIAL

ARCHAEOLOGICAL METHODOLOGY

This statement of archaeological potential is derived from a process which identifies the potential of the site to yield archaeological remains, the significance of any remains, and their potential to yield meaningful information about the site, and which might contribute to relevant key archaeological and historical themes. The following briefly outlines the methodology followed:

Determining general archaeological potential: Through a desktop analysis of historical data and secondary sources, as well as non-invasive site observations, an understanding of the evolution of the site has been gained which has allowed an assessment of the archaeological potential (however significant) of any part of the site - resulting in substantiated predictions of the likelihood of finding something upon any particular part of the site. This has been done by analysing primary source material, summarising the developmental history of the site and developing a chronological narrative detailing an overview of the history of all known features to have ever existed on the site. Where possible, developmental overlays have been developed from historic maps, plans, photographs and other visual documentation. This overlay has been supported by other observations providing supplementary information, and also includes processes such as demolition and disturbance which may have removed or destroyed potential remains – and may have diminished the archaeological potential.

Assessing the significance and potential of any likely archaeological resources to yield meaningful information: Upon understanding the archaeological potential through desktop and site analysis, the next step was to understand its relationship to any aspect of the identified significance of the place – e.g. do the remains have the potential to demonstrate an aspect of the significance of the site or related key historic theme? The potential for any of the archaeological remains to demonstrate important aspects of the history of the site, whether in a state, regional or thematic context, is to be considered.

Understanding possible impact of development and formulation of management strategies:

Based on any identified archaeological potential and significance of the site, consideration will be given as to whether the proposed development will impact upon any likely archaeological remains and if necessary broad management strategies will be proposed to manage any impact.

Table 1 (below) demonstrates the steps of this assessment:

Methodology for formulation of the statement of archaeological potential		
	If 'no'	If 'yes'
1. Archaeological potential. Are you likely to find something if you dig here? (i.e. a <u>Statement of Archaeological Potential</u>).	Further action may not be required, although a contingency plan may be required for unexpected finds.	The significance of the archaeological potential should be investigated.
2. Significance. Could anything you find here greatly contribute to our understanding of the site or related significant theme?	Further action may not be required.	The likely integrity of the archaeological remains should be investigated.
3. Integrity. Are any archaeological remains likely to be intact?	Further action may not be required, although a contingency plan is required for unexpected integrity.	The likelihood of significant archaeological remains is confirmed.
4. Impact Will proposed works impact upon the significant archaeological remains? i.e. an <u>Archaeological Impact Assessment</u> .	Further action may not be required, although a contingency plan may be required for unexpected impacts.	An <u>Archaeological Method Statement</u> will be required to detail how impact will be managed/mitigated.

HISTORICAL BACKGROUND AND SUMMARY OF SITE DEVELOPMENT

As per the methodology above, the historical background of the subject site has been provided here in Section 3 – which provides the basis for the formulation of the statement of historical archaeological potential.

The Figures in Section 3 provide a visual indication of the early layout(s) of the site, which are considered here as the first step in understanding archaeological potential – i.e. the physical evolution of the site layout (on a two-dimensional plane at this stage). Figures 7.1 to 7.7 are overlays of site development as depicted on those plans, georeferenced to a range of known reference points both on the site and in the wider environs:



Figure 7.1 – Overlay of the footprint of the pre1832 buildings (green) in relation to the subject site (red) – drawn from the c1832 survey.



Figure 7.2 – Overlay of the footprint of the pre1839 buildings (yellow) in relation to the subject site (red) – drawn from the 1839 Frankland Survey.

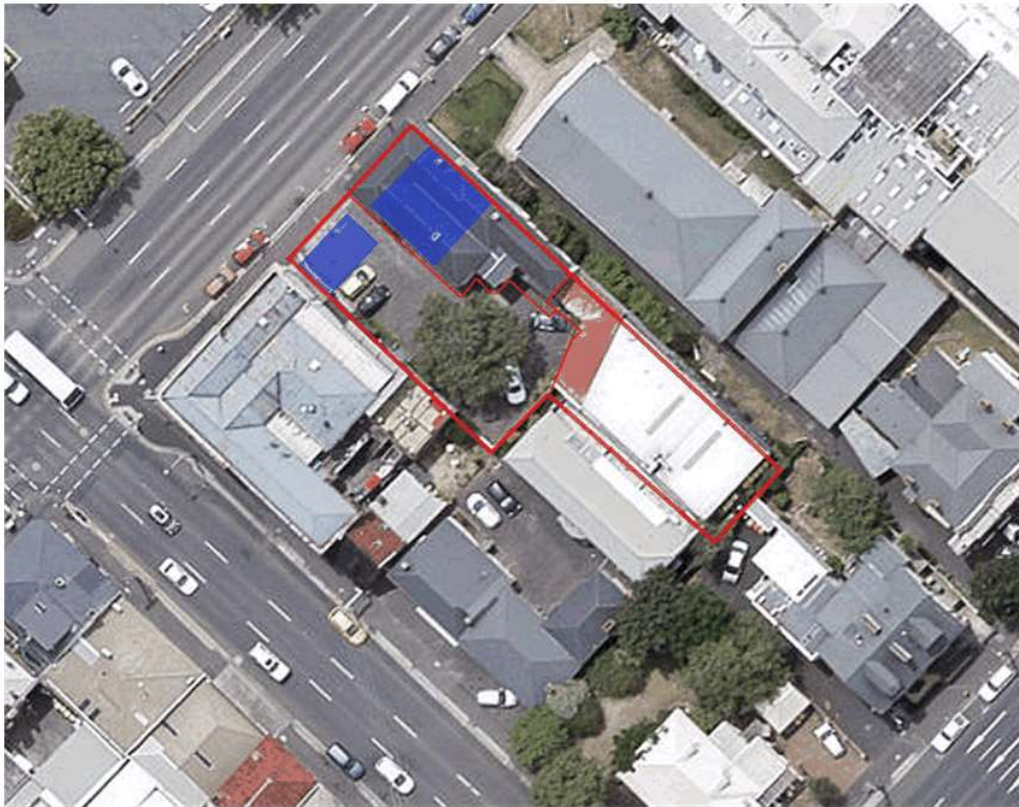


Figure 7.3 – Overlay of the footprint of the pre1843 buildings (blue) in relation to the subject site (red) – drawn from the 1843 Sprent map.

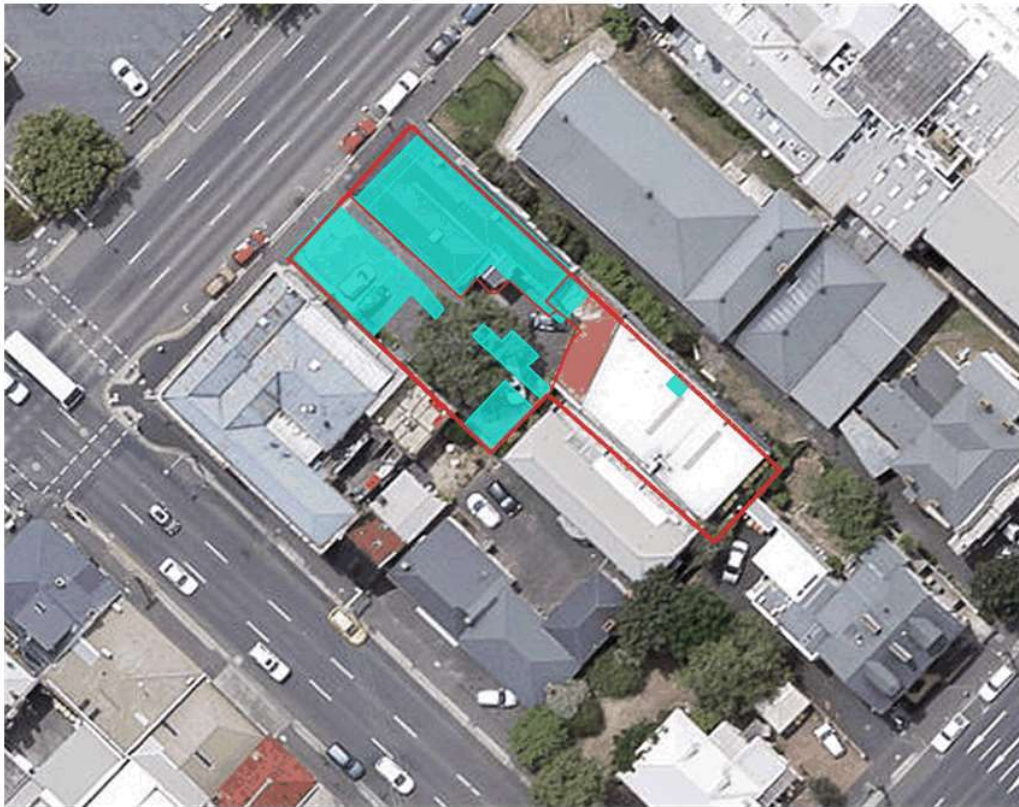


Figure 7.4 – Overlay of the footprint of the pre-1907 buildings (blue) in relation to the subject site (red) – drawn from the 1908 Metropolitan Drainage Board plans.



Figure 7.5 – Composite overlay of the footprint of all known pre-1910 buildings and site features, deriving from the known most accurate plans (colours as per coding above) in relation to the subject site (red).

From the information in Section 3 and as detailed in the overlays above, the following broad 'periods' of occupation (and associated likely activity) can be applied to the site:

- Initial settlement (timber building on the carpark area – pre-1832). Note that this *may* be the second building on that site.
- Second building phase (masonry building that is the basis of *Coreen* – early 1840s)
- Coreen extension – c1920s
- Demolition of earlier timber building - first quarter of the c20th
- Coreen renovation and extension - c1930.

POSSIBLE ARCHAEOLOGICAL REMAINS AND THEIR SIGNIFICANCE AND RESEARCH FRAMEWORK

As per the site history outlined in Section 3, the development of the subject site is very simple, being the location of two pre-1840 (one possibly pre-1830) houses. Whilst the Coreen site still retains its original development (albeit substantially modified) the frontage of the vacant portion of the land has been the site of (possibly) two periods of residential development from c1830 or earlier – that residential use continuing until the mid-c20th. The archaeological potential of the site therefore lies in the ability to demonstrate 120+ years of Hobart CBD-fringe residential occupation and associated themes.

Whilst this is not a rare theme, nor is ‘everyday life’ a particularly pertinent theme in the history of colonial Tasmania, as per the section below any archaeological remains has the potential to build upon existing datasets of colonial residential life in Hobart. Nonetheless, this scope of archaeological potential is somewhat narrow in comparison to sites which may represent commercial, administrative, industrial (etc.) themes.

The subject site therefore has the potential to yield archaeological remains associated with a comparatively limited range of historic themes – generally limited to c1830+ residential occupation of inner city housing and generally limited to the carpark area which was the site of a pre-1832 medium-sized inner city residence. Nonetheless, archaeological analysis of such has the potential to add depth to other similar such analyses of early-mid Victorian Hobart domestic sites - such as that undertaken as part of the Menzies Centre (Liverpool/Campbell Streets) excavations, which investigated several prominent 1820s-onwards inner-city residences (Godden Mackay Logan/Arctas). Other sites such as Judge Pedder’s house (173 Macquarie Street), Crowther’s house/surgery (177 Macquarie Street) and Orr’s house (3 Montpelier Retreat). Similarly, investigations at Peter Degraives house in Collins Street (Hadleys Hotel development, Godden Mackay Logan) and preliminary investigations at the original Hobart Port Officer’s residence at 100 Salamanca Place (Praxis Environment) have investigated prominent early inner-city residential sites. Forthcoming excavations on other prominent Hobart residences such as Kemp’s house (36 Argyle Street), will also act to build upon knowledge and provide comparative datasets of early and substantial Hobart residences.

From a wider regional perspective, archaeological data and remains yielded from the subject site, whether coupled with other Hobart/Tasmanian data, has the potential to strengthen a comparative dataset for research into intra-colonial society through comparison with mainland (and indeed inter-colonial society on an international level). For example early inner-city working-class communities such as Broadway, Cumberland/Gloucester Streets and the Rocks (Sydney) and Little Lonsdale Street (Melbourne) and portside working-class areas such as Port Adelaide, all of which have had substantial archaeological works undertaken, would provide useful datasets for the analysis of Wapping data, which would in-turn add to the depth and scope of the analysis of those collections on the range of themes as outlined above (and others).

From a temporal perspective, any remains from the earlier occupation of the site (i.e. pre-1840) represent a formative period of Hobart's European settlement and are likely to be of significance when considering their research potential.

Consistent with the 'Tiered research question' approach outlined in the Tasmanian Heritage Council's *Guidelines for Historical Archaeological Research on Registered Places*²³, the following questions could be investigated in the archaeological remains expected to be present within the subject site:

Tier 1 Questions: These questions outline the essential knowledge base needed for any site research or significance evaluations. Such questions are often empirical in nature, and straightforward answers can be sought and often identified – generally limited to a physical knowledge of that particular place. Questions relevant to the subject site may include:

- How closely did the building and site features (including outbuildings, fences etc.) conform to the historic plans?
- Can the earliest date of occupation of the place be identified? (i.e. known to be pre-1832, but not historically conclusive).
- What construction methods were used in the building and other infrastructure?
- Are the distinct use/development phases of the building distinguishable?
- Can the layout and function of the building, and indeed individual rooms or yard spaces be ascertained?
- How thoroughly was the building demolished? And what subsequent disturbance is evident?

Answers to these questions provide a foundation of information about the structure, type, use and duration of site occupation which enables the researcher to consider a second tier of questions.

Tier 2 Questions: Conclusions that can be drawn about a site that connect the material remains found on a site to specific behavior. For instance:

- How do artifacts relate to the lifeways of the households that lived on the site, or occupations undertaken on the site?
- Do any artifacts represent class, gender, taste and health/hygiene of those living on the site?
- Particularly if artifacts can be specifically dated, and with supplementary historical research, artifact assemblages from this site may contribute knowledge and provide tangible connectedness to known inhabitants and their families, and how they lived.

²³ <http://www.heritage.tas.gov.au/media/pdf/Archae%20ResGlines%20%20FINAL%20-%20June%202009.pdf>

- Similarly, do artifacts or structural remains correlate with the known activities and occupations undertaken on the site.

The material culture evident through archaeological remains on this site (noting however the possibility of disturbance) has the potential to provide a range of analytical approaches that may supplement, and/or refute, the historical record and be a very important research tool.

Tier 3 Questions: These questions represent the highest level of inquiry. Such questions associate the activities and behavior at individual sites with broad social, technological and cultural developments – which can be of interest on local, national or global lines of enquiry. Whilst these questions posed for a single site may not reach conclusions in the short term (as Tier 1 and 2 questions might) – the collection of data can contribute to future research by the provision of a comparable dataset. The goal of such research is to develop increasingly refined and tested understandings of human cultures within broader theoretical or comparative contexts. Lines of wider enquiry that findings from within the subject site may contribute to are:

- Do the conclusions on gender, class, economic and social status of the inhabitants of the buildings conform to the ‘normal’ early-mid Victorian household?
- Are there class or status differences evident in the material culture of the inhabitants of this area (subject to further historical research) when compared to, say, other early Hobart residents or residents in contemporary rural areas and/or other cities.
- Did any changes in material culture through time in the residences coincide with wider Tasmanian or local events or technology (e.g. end of convict labour, urbanisation/development of Hobart, port/railway upgrades, start of rubbish collection etc.)?

LIKELY DISTURBANCE EVENTS

Section 3 has provided a background history of the subject site and provided an overview of the likely types of development which are known to have been undertaken on the site. This has acted to build a picture of what has previously been on the site and what has had the potential to leave archaeological traces.

However, also as per the methodology in Section 7.1, it is necessary to consider the events which have possibly acted to impact (i.e. damage or remove) any archaeological remains which may derive from that site development.

The following has been considered in understanding likely disturbance events on earlier archaeological remains.

DEMOLITION OF THE EARLIER BUILDING(S)

The precise date of the demolition of the pre-1832 building at what was 108 Macquarie Street (i.e. the carpark area) is not known – it was certainly between 1908 and 1946 and *may* have been at the time that Crowther bought the land and apparently established a larger garden for *Coreen* (c1925). The proves of the building demolition is also not known, and as per the history in Section 3, the cottage that survived into the c20th *may* have replaced an earlier building prior to 1845. Accordingly, in the absence of conclusive evidence as to the method of demolition of that building(s), it must be assumed that demolition may have only been to ground level and that subsurface material may not have been thoroughly removed (also noting that this demolition is likely to have been prior to the widespread availability of heavy earthmoving equipment).

DISTURBANCE FROM MODERN SERVICE TRENCHES

There is an electricity service easement through the common-property of the strata title adjacent to the wall of *Coreen* (see Cykel Architecture sheet 01.01-02). A search of available underground asset registers reveals that an underground electrical cable and Telstra infrastructure run through the front portion of 190 Macquarie Street to service the rear building. This would have resulted in some disturbance of the archaeological resource, but in a limited (linear) area. Such trenches may be re-used in any further development/upgrade of the site/infrastructure to avoid any future possible impact. It is likely that there are privately owned underground assets within the site (e.g. stormwater, water connections etc.) however, no register of these was located during the course of this project. These, however, would probably only have minimal and localised impact upon any archaeological remains.

In summary, although further investigation of underground assets is required to definitively understand the impact that these may have had on any archaeological remains (e.g. via physical locating of both existing and redundant services), it appears that underground service trenching is unlikely to have had any major impact upon any significant archaeological remains on the site.

CURRENT SITE OBSERVATIONS

The carpark area which was the site of the former 108 Macquarie Street (i.e. the site of the c1830s building) is paved area which gradually rises rearward and forms a thoroughfare to the rear building. Site observations give no clue as to archaeological potential apart from the configuration of this area as a right-of-way would have precluded any substantial disturbance from development post-strata titling of the site.

The general ground level of the area is at, and higher than, the footpath level and is slightly built-up against the western wall of Coreen, which suggests that the site has been built up rather than cut (which would have impacted shallow archaeological remains).



Figure 7.6 – Overview of the carpark area.

ARCHAEOLOGICAL ZONING PLAN AND POLICIES

As per the methodology outlined in Section 7.1, this section has drawn upon the chronology of site development which has detailed the physical evolution of the site and events/processes which would have acted to build the archaeological record. Section 8.3 has discussed the likely significance of those archaeological remains and what they may yield in terms of research potential alongside key historic, regional, thematic and temporal lines of enquiry. Section 7.4, coupled with observations detailed in Section 8.6, has provided an assessment of the events which are likely to have impacted upon the integrity of those archaeological remains.

From the above, it is therefore possible to formulate an archaeological zoning plan, which provides an indication of the parts of the site which are likely to yield significant archaeological remains. The spatial reference provided by the zoning plan can then be coupled with archaeological management policies, which are guided by the significance of the particular remains expected and their ability to yield information as per the research questions.

Figure 7.7 depicts the areas of archaeological potential as per the above discussion:



Figure 7.7 – Archaeological zoning of the subject site, as per the table below. Adapted from www.thelist.tas.gov.au

Area	Likely remains	Likely integrity	Significance/potential
Red	Structural remains of the pre c1832 building cultural deposits relating to the use and occupation of that buildings for 80+ years.	The integrity of any remains of the earliest building and associated cultural deposits is not known at this stage.	Due to the earliness and possible integrity of any remains associated with the pre-1832 building and associated cultural deposits, these are considered to be of high archaeological potential .
Orange	Structural remains of the pre c1845 building cultural deposits relating to the use and occupation of that buildings for 80+ years.	Possibly impacted upon by the major renovations of Coreen.	Given the probable disturbance by the construction/renovation of Coreen, these remains are considered to be of medium archaeological potential .
Blue	These areas are not known to have been the site of any historical development (e.g. building footprints) however <i>may</i> contain remains of ancillary structure such as cells, cesspits, minor building foundations, drains, paving etc.	May have been subject to disturbance by the construction of the existing building at the rear of 190 Macquarie Street and associated services.	As minor/ancillary site features and with the possibility of disturbance by the construction of the existing building at the rear of 190 Macquarie Street, this area is considered to be of low/no archaeological potential .

Accordingly, the following archaeological management policies are recommended:

1. Any major excavation proposed in areas of **high archaeological potential** (red) must be preceded by an archaeological impact assessment, and if necessary an archaeological method statement, which details measures to be taken to avoid or mitigate impact upon the archaeological resource. That method statement must be in accordance with industry standard (e.g. the Tasmanian Heritage Council's Practice Note 2 – *Managing Historical Archaeological Significance in the Works Application Process*) and implemented in the works process. Minor excavations (e.g. for service trenches) must be archaeologically monitored and any significant remains must be dealt with in accordance with the THC's Practice Note 2.

Note that works as per above are likely to require a development application to Hobart City Council, who will assess the acceptability of the approach to archaeology as part of the development appraisal process. Note also that if disturbance of this area is found to be substantial, then at the discretion of the archaeologist the area may be re-designated as of low/no archaeological potential.

2. Any excavation proposed in areas of **medium archaeological potential** (orange) must be monitored by a qualified historical archaeologist and any significant remains must be dealt with in accordance with the THC's Practice Note 2.
3. Generally, no archaeological input is required for excavation in areas of **low archaeological potential** (blue), however any unexpected finds must be reported to a qualified historical archaeologist who is to assess their significance and deal with any significant finds as per (1) and (2) above. There is merit in an archaeological inspection of initial excavation in this area in order to refine archaeological judgments and to broadly document site formation processes in that area (e.g. rivulet filling/diversion). If it is found that this area has a higher than expected archaeological potential, then that part of the site is to be dealt with as per the provisions for high or medium archaeological potential at the discretion of the archaeologist.
4. Where possible, the preference is to not disturb archaeological remains, however it is acknowledged that the feasible redevelopment of the site may not be possible without doing so. Consideration should be given to any development design to minimise potential impact, however if this is not feasible the above policies (and implementation of method statements pursuant to those policies) are considered sufficient to yield the archaeological potential of the site. An archaeologist should be included in the project design team in order to manage archaeology as part of an iterative process between the client, archaeologist, designer(s) and permit authorities.

5. All results from any archaeological work on the site should be made widely available in order to support the ongoing research of the place and associated themes.

8. CONSERVATION POLICY

The underlying principle, by which all conservation practices should be guided, is the ICOMOS Australia *Burra Charter*. The statement of significance has defined the attributes of the site and surrounds of which greatest significance is assigned, thereby the priority of conserving attributes associated with such should be considered paramount compared to those of lesser significance. With the statement of significance in mind and with the adoption of Burra Charter principles this section will introduce the conservation policies developed specifically for the subject site.

As per the process outlined in Section 1, these conservation policies are to be adopted by the planners and designers of any future project and used to guide such development in a way which seeks to recognise, manage and minimise any heritage impact, in line with statutory requirements.

General Policies			
1	Policy		Objective
1.1	Approach to works	The approach to managing any works on the place must be guided by the principles of the ICOMOS Australia <i>Burra Charter</i> . ²⁴	To manage any change to the place which gives regard to the retention of the historic cultural heritage values of the place and its contribution to the precinct.
1.2	Use/development	Any use or development of the place must not have any unreasonable adverse heritage impact upon identified values of the place or precinct.	

Relationship to Coreen			
2	Policy		Objective
2.1	Building form	Any further development of the subject site should maintain an appropriate curtilage at the side and rear of Coreen (note that this is likely to be achieved by default given the strata configuration – i.e. the common property is considered to provide an appropriate curtilage).	To avoid the ‘overcrowding’ of the site and loss of any space which is important to the setting of Coreen and to retain the independence of that building.
2.2	Separation from Coreen	Any development at the rear of the subject site should maintain at least a small setback from the furthest-rearward point of Coreen.	

²⁴ <http://australia.icomos.org/wp-content/uploads/The-Burra-Charter-2013-Adopted-31.10.2013.pdf>

Relationship to adjacent buildings			
3	Policy		Objective
3.1	Relationship to 81-83 Davey Street, 1 Barrack Street and St John's Church	Any larger (i.e. 3-storey or higher) development on the subject site should seek to utilise the design approaches (as per Policies 4-5) to minimise any backdropping impact upon these places.	To minimise the prominence of any new development as a backdropping element to those buildings.
3.2	Enhancement of current relationship to St Johns Church	Subject to consultation with the church administrators, any development on the subject site should seek to enhance the qualities of the public space between the subject site and the church. Note that this is more a planning/amenity issue, but may assist in offsetting any perceived heritage impacts arising from development.	To enhance publicly accessible space within proximity to the subject site and to promote appreciation of the church grounds.

New building form, bulk and setbacks			
4	Policy		Objective
4.1	Form of any new development	Any new building need not necessarily emulate the form of any existing buildings in the surrounds, however bland 'box-like' development should be avoided (see Policy 5) and there may be some merit in borrowing general forms from the surrounding built environment if desired (e.g. steeply pitched gable and hipped roof forms).	To promote a thoughtful approach to building form which seeks to provide visual interest (yet not prominence) and if possible to subtly reference the existing built environment.
4.2.	Height of any new development	<p>Whilst an ideal outcome on the subject site would be that any new development not exceed 3 storeys (hence be largely hidden within the internal lot), higher development is likely to be acceptable subject to the utilisation of design approaches prompted here in Policies 4-5).</p> <p>Although the site is not subject to Clause 22.4.1 (height of development on the same site as a heritage building) it is considered an appropriate benchmark to adopt that Clause as policy, which would allow a building height of 4-storeys (or 15 metres, whichever is the lesser) higher if set back more</p>	To acknowledge that development higher than the 'hidden' height of 3 storeys is likely to be acceptable (subject to other policies) but to provide a conceptual maximum height which is not completely arbitrary.

		<p>than 10 metres from a heritage building, or 4-storeys (or 7.5 metres) if set back more than 5 metres.</p> <p>If it is considered that the rear wing of Coreen is of lesser significance than the bulk of the building, a 10-metre setback from all surrounding heritage buildings can be achieved with the exception of St John's Church, therefore stepping of any higher building back from that boundary above 3-storeys is desirable.</p>	
4.3	Bulk of any new development	<p>On any large-scale development (e.g. 3+ storey), design approaches should be employed to reduce apparent bulk to form 'modules' which represent some visual consistency with the bulk of buildings in the immediate vicinity - including articulation of elevations, breaking of forms or stepping height back towards the inside of the site.</p>	<p>Whilst larger-scale development is likely to be acceptable on the site, there is merit in breaking the apparent bulk of these forms as much as possible and to provide some visual cohesion with the massing of the buildings in the surrounding area.</p> <p>Note that the small footprint of the site would naturally avoid a particularly bulky building.</p>
4.4	Setbacks	<p>It is considered acceptable to build to the side and rear boundaries of the site (maintaining some setback rear of Coreen). If new development includes total (or near) site coverage and is 4+storeys, benefit may be gained by stepping higher levels away from the site.</p>	<p>To assist in reducing apparent bulk and providing modulation and articulation of form.</p>

New building design, detailing and finishes			
5	Policy		Objective
5.1	References to historical detailing, materials and finishes.	Any new building need not emulate any particular architectural style of the site or surrounds, however subtle references to traditional design elements, finishes and materials may be desirable.	To assist in providing some visual cohesion within the precinct and to interpret past architectural approaches.
5.2	Finishes to be recessive.	Any new development must be respectful to the surrounding area in terms of seeking to be as recessive as possible, via a colour and materials palette which does not provide visual dominance of any nearby building.	To ensure that any new development is as recessive as practicable within the immediate surroundings.

Other policies			
6	Policy		Objective
6.1	Archaeology	The recommendations of the statement of historical archaeological potential (as presented here in Section 7) must be implemented in any future development.	To ensure that any future development appropriately manages historical archaeology.

6.2	Subdivision	The title configuration of the subject site is not deemed significant; therefore reconfiguration need not require any heritage input provided such does not inhibit the achievement of the conservation policies in this document.	
6.3	Significant tree	If feasible, retain the existing walnut tree and protect during any works to the site.	To ensure the protection and preservation of the significant tree.

The following tables consider how these policies may be applied in compliance with the performance criteria of the scheme provisions, with additional commentary where necessary. Where possibly relevant to any proposed development of the subject site, the Acceptable Solutions have been included here as initial guidance

Clause E.13.7 (1-3) – Heritage Place

	Policy Guidance	Performance Criteria
E.13.7.1 - Demolition	The subject site does not contain any heritage fabric or feature – Coreen (the intent of the wider listing) is separate to the current subject site.	<p><i>Demolition must not result in the loss of significant fabric, form, items, outbuildings or landscape elements that contribute to the historic cultural heritage significance of the place unless all of the following are satisfied;</i></p> <ul style="list-style-type: none"> <i>(a) there are, environmental, social, economic or safety reasons of greater value to the community than the historic cultural heritage values of the place;</i> <i>(b) there are no prudent and feasible alternatives;</i> <i>(c) important structural or façade elements that can feasibly be retained and reused in a new structure, are to be retained;</i> <i>(d) significant fabric is documented before demolition.</i>
E.13.7.2 – Building and Works other than Demolition	<p>2.1. Building form.</p> <p>2.2. Separation from Coreen.</p> <p>3.1. Relationship to near heritage places.</p> <p>3.2. Enhancement of relationship to St. Johns.</p> <p>4.1. Form of new development.</p> <p>4.3. Height of new development.</p> <p>4.4. Bulk of new development.</p> <p>4.5. Setbacks.</p>	<p><i>P1. Development must not result in any of the following:</i></p> <ul style="list-style-type: none"> <i>(a) loss of historic cultural heritage significance to the place through incompatible design, including in height, scale, bulk, form, fenestration, siting, materials, colours and finishes;</i> <i>(b) substantial diminution of the historic cultural heritage significance of the place through loss of significant streetscape elements including plants, trees, fences, walls, paths, outbuildings and other items that contribute to the significance of the place.</i> <p><i>P2. Development must be designed to be subservient and complementary to the place through characteristics including:</i></p> <ul style="list-style-type: none"> <i>(a) scale and bulk, materials, built form and fenestration;</i> <i>(b) setback from frontage;</i> <i>(c) siting with respect to buildings, structures and listed elements;</i>

		<i>(d) using less dominant materials and colours.</i>
	5.1. References to historical detailing, materials and finishes. 5.2. Finishes to be recessive.	<i>P3. Materials, built form and fenestration must respond to the dominant heritage characteristics of the place, but any new fabric should be readily identifiable as such.</i>
	As the heritage building is not within the subject site, 'extensions' are not applicable, however 4.4 (setbacks) may be applicable.	<i>P4. Extensions to existing buildings must not detract from the historic cultural heritage significance of the place.</i>
	5.1. References to historical detailing, materials and finishes.	<i>P5. New front fences and gates must be sympathetic in design, (including height, form, scale and materials), to the style, period and characteristics of the building to which they belong.</i>
	6.3. Significant tree.	<i>P6. The removal of areas of landscaping between a dwelling and the street must not result in the loss of elements of landscaping that contribute to the historic cultural significance of the place.</i>
E.13.7.3 - Subdivision	6.2. Subdivision.	<i>P1. A proposed plan of subdivision must show that historic cultural heritage significance is adequately protected by complying with all of the following:</i> <ul style="list-style-type: none"> <i>(a) ensuring that sufficient curtilage and contributory heritage items (such as outbuildings or significant plantings) are retained as part of any title containing heritage values;</i> <i>(b) ensuring a sympathetic pattern of subdivision;</i> <i>(c) providing a lot size, pattern and configuration with building areas or other development controls that will prevent unsympathetic development on lots adjoining any titles containing heritage values, if required.</i>

Clause E.13.7 (1-3) – Heritage Precinct

	Policy Guidance	Performance Criteria
E.13.7.1 - Demolition	The subject site does not contain any heritage fabric or feature – Coreen (the intent of the wider listing) is separate to the current subject site.	<p><i>Demolition must not result in the loss of any of the following:</i></p> <p>(c) <i>buildings or works that contribute to the historic cultural heritage significance of the precinct;</i></p> <p>(d) <i>fabric or landscape elements, including plants, trees, fences, paths, outbuildings and other items, that contribute to the historic cultural heritage significance of the precinct;</i></p> <p><i>unless all of the following apply;</i></p> <p>(iv) <i>there are, environmental, social, economic or safety reasons of greater value to the community than the historic cultural heritage values of the place;</i></p> <p>(v) <i>there are no prudent or feasible alternatives;</i></p> <p>(vi) <i>opportunity is created for a replacement building that will be more complementary to the heritage values of the precinct.</i></p>
E.13.7.2 – Building and Works other than Demolition	<p>2.1. Building form.</p> <p>2.2. Separation from Coreen.</p> <p>3.1. Relationship to near heritage places.</p> <p>3.2. Enhancement of relationship to St. Johns.</p> <p>4.1. Form of new development.</p> <p>4.3. Height of new development.</p> <p>4.4. Bulk of new development.</p> <p>4.5. Setbacks.</p>	<p><i>P1. Design and siting of buildings and works must not result in detriment to the historic cultural heritage significance of the precinct, as listed in Table E13.2.</i></p> <p><i>P2. Design and siting of buildings and works must comply with any relevant design criteria / conservation policy listed in Table E13.2, except if a heritage place of an architectural style different from that characterising the precinct.</i></p> <p><i>P3. Extensions to existing buildings must not detract from the historic cultural heritage significance of the precinct.</i></p> <p><i>P4. New front fences and gates must be sympathetic in design, (including height, form, scale and materials), and</i></p>

E.13.7.3 - Subdivision		<i>setback to the style, period and characteristics of the precinct.</i>
	6.3. Significant tree.	<i>P5. The removal of areas of landscaping between a dwelling and the street must not result in the loss of elements of landscaping that contribute to the historic cultural significance or the streetscape values and character of the precinct.</i>
	6.2. Subdivision.	<p><i>P1. Subdivision must not result in any of the following:</i></p> <ul style="list-style-type: none"> <i>(a) detriment to the historic cultural heritage significance of the precinct, as listed in Table E13.2;</i> <i>(b) a pattern of subdivision unsympathetic to the historic cultural heritage significance of the precinct;</i> <i>(c) potential for a confused understanding of the development of the precinct;</i> <i>(d) an increased likelihood of future development that is incompatible with the historic cultural heritage significance of the precinct.</i>

Clause E.13.10 – Place of Archaeological Sensitivity

	Policy Guidance	Performance Criteria
<i>E.13.10.1 – Building and Works other than Demolition</i>	6.1. Archaeology.	<p><i>P1. Buildings, works and demolition must not unnecessarily impact on archaeological resources at places of archaeological potential, having regard to:</i></p> <ul style="list-style-type: none"> <i>e) the nature of the archaeological evidence, either known or predicted;</i> <i>f) measures proposed to investigate the archaeological evidence to confirm predictive statements of potential;</i> <i>g) strategies to avoid, minimise and/or control impacts arising from building, works and demolition;</i> <i>h) where it is demonstrated there is no prudent and feasible alternative to impacts arising from building, works and demolition, measures proposed to realise both the research potential in the archaeological evidence and a meaningful public benefit from any archaeological investigation;</i> <i>(a) measures proposed to preserve significant archaeological evidence 'in situ'.</i>
<i>E.13.10.2 - Subdivision</i>	6.2. Subdivision.	<p><i>P1. Subdivision must not impact on archaeological resources at Places of Archaeological Potential through demonstrating either of the following:</i></p> <ul style="list-style-type: none"> <i>(c) that no archaeological evidence exists on the land;</i> <p><i>that there is no significant impact upon archaeological potential.</i></p>

Clause E.13.24 – Significant Trees

	Policy Guidance	Performance Criteria
<i>E24.6.1 Lopping, pruning, removal or destruction of significant trees</i>	6.3. Significant tree.	<p><i>The lopping, pruning, removal or destruction of any tree listed in Table E24.1 may be approved having regard to all of the following:</i></p> <ul style="list-style-type: none"> <i>(a) the impact that the proposed tree removal, lopping or pruning would have on the character of the area or the appearance of development on the site;</i> <i>(b) whether the removal or destruction of the tree is appropriate due to the tree being near the end of its expected life span or being in poor health;</i> <i>(c) the proposed means of lopping, pruning, destruction or removal of vegetation;</i> <i>(d) the need to maintain and protect the amenity value of the tree and the general area and its landscape and heritage significance;</i> <i>(e) any hazards the tree poses to the health, welfare and safety of persons and to property;</i> <i>(f) the impact on the appearance or setting of any place of cultural heritage significance;</i> <i>(g) whether pruning or lopping will adversely affect the health, appearance or significance of the tree;</i> <i>(h) any proposed replacement plantings.</i>

9. THE PROPOSED DEVELOPMENT

As per the methodology detailed in Section 1.3, Sections 1-9 of this document have been used to inform the design process of a proposed development, to which the remainder of this document will consider the compliance of that proposal with the relevant statutory heritage requirements and conservation policies as detailed in Sections 2 and 9.

As per the methodology in Section 1.3, Sections 1-9 of this document were drafted for review by the project design team and client, with preliminary comment provided in late 2017 to feed into the feasibility and initial design processes. The conservation policies were also provided for review to Hobart City Council heritage staff in late 2017.

The heritage impact assessment, archaeological impact assessment and archaeological method statement have been informed by the following documents, which form part of the development application for a proposed development on the subject site:


TO BE READ IN CONJUNCTION WITH DA ISSUE PLANS for Project 160702, Cykel Architecture, Issue DA02 18/7/19, sheets 01.01-01-18 (excerpts used here where appropriate).


10. HERITAGE IMPACT ASSESSMENT

The following Heritage Impact Assessment has been formulated in response to the applicable statutory heritage considerations as detailed in Section 2 of this document, namely:

RELATIONSHIP TO THE PRECINCT COREEN AND ADJACENT HERITAGE BUILDINGS

Figure 5.2 depicts the nearby heritage places to the subject site and Section 5 has provided an overview of the history of the townscape development and context of these places within the heritage precinct. The table on p.54-56 describes the *possible* heritage impacts that development of the subject site *could* have on those places, which has informed the conservation policies in Section 8. The following table specifically considers the proposed development alongside those possible impacts as proposed in Section 5 for each of the nearby heritage places:

Place	Image of proposed development in relation to the heritage place	Consideration of possible impact from the proposed development:
Coreen and the Duke of Wellington Hotel		<p>By virtue of the existing strata configuration, Coreen and the hotel will remain the dominant streetfront elements from Macquarie Street, with the proposed development only visible at lower levels in glimpses down the driveway and as a setback backdropping element from further distant vantage points, which is further buffered by the retention of the existing walnut tree. The intentional set-down of the building as much as practicable as well as the setback from the rear of Coreen all act to diminish the apparent height of the development in the way it backdrops the existing buildings. Given the floor-ceiling heights and high roof pitch of Coreen, the only the top two floors of the proposed building will be evident above the existing building and from near environs these will not be in the viewline as Coreen will block the upward viewlines to that building.</p> <p>The roof form has been designed to be reminiscent of that of Coreen, as an interpretation of a shallow-pitched hip form to provide some visual harmony (although less evident from this elevation as it is from other elevations) and the colour palette is similarly harmonious to both Coreen and the Duke of Wellington Hotel. The Segmented verticality of the glazing of the proposed development is similarly reminiscent to that of the façade of Coreen.</p>

'Bellkirk'		<p>The proposed building would barely provide a backdropping element upon the approach up Davey Street to Bellkirk and the conjoined townhouses and its main streetscape presence would be as a background element when viewed between these buildings. This is further buffered by the 15m+ setback from the rear line of those buildings to the proposed building which would allow it to be rightly read as a neighbour rather than as part of either of those sites. This is not inconsistent with the general tenor of infill development within this wider town block as discussed in Section 5. The recessive colour palette has been designed to seek to minimise any 'competition' between this as a subservient backdropping element and the tonal qualities of the building are designed to express the similar tones of these buildings to provide a greater visual harmony. The segmentation and stepping of the rear and north-eastern elevation have been designed to break larger elevations which will be most effective from vantage points that include Bellkirk and the conjoined houses.</p>
Conjoined townhouses, 81-83 Davey Street		<p>Looking down Davey Street, the proposed building provides a backdrop to the townhouses, but this is of a smaller apparent scale to the existing distant (larger) backdropping elements into which it blends and retains those heritage buildings as the dominant streetfront elements.</p>

<p>Conjoined cottages, 5-7 Barrack Street</p>		<p>The proposed development has a substantial setback from the rear line of these buildings (approx. 20m) and the blank wall and discrete roof form will provide a subtle visual element which will only be discernible from more distant vantage points where it blends into collective backdropping elements. The surface treatment of the wall on this elevation has subtle vertical visual cues that related to the vertical fenestration elements of the cottages, although this will be barely (if at all) visible from this and similar vantage points.</p> <p>The colour palette of this elevation is complimentary to these cottages so as to not compete with the viewfield.</p>
<p>The Duke of Wellington Hotel</p>		<p>The proposed development will not be visible upon the approach to the hotel when travelling down Macquarie Street, with existing streetfront development remaining the dominant elements. Visual attention at the higher levels will still largely be distracted by the existing higher development further down Macquarie Street (e.g. 144). From nearer viewpoints, the minimal appearance of backdropping and infill is diminished by the placement of the building rearward on the site and with some separation from the side line of the hotel which results in the proposed building being read more as a set-back neighbour rather than any form of backdropping element and the prominent corner position of the hotel is retained.</p>


St John's
Church





The proposed development when viewed from the downhill approach to St John's Church (where it has the potential to be a backdropping element) will not be discernible. The relationship between the church and Coreen will be unaffected as these will still read as cohesively scaled and dominant streetfront elements.


IMPACT UPON KEY VIEWLINES


Section 4.3 has identified a range of key view and vistas which are considered to be significant in relation to the subject site. Unless these are directly associated with the heritage values of a particular listed place, the SCPS97 does not allow consideration of these in a purely heritage context, however these may be a consideration in wider planning issues.



Point	Existing	Proposed
1. From further up Macquarie Street (near Hanby Villa).		The proposed development will not be discernible from this point.
Impact assessment		
The proposed development will not be discernible from this viewpoint as the setback from the street frontage will result in it being masked by the foreground development fronting Macquarie Street upon this approach.		
It is concluded that the proposed development has no adverse heritage impact from this vantage point.		


Point	Existing	Proposed
2. From corner of Macquarie and Harrington Streets.		The proposed development will not be discernible from this point.
	Impact assessment	
	<p>The proposed development will not be discernible from this viewpoint as the setback from the street frontage will result in it being masked by the foreground development fronting Macquarie Street upon this approach.</p> <p>It is concluded that the proposed development has no adverse heritage impact from this vantage point.</p>	



Point	Existing	Proposed
3. From corner of Davey and Harrington Streets.		The proposed development will not be discernible from this point.
	Impact assessment	
	<p>The proposed development will not be discernible from this viewpoint as the setback from the street frontage will result in it being masked by the foreground development fronting Davey Street upon this approach as well as the natural rise in topography keeping the viewer much lower than the foreground development upon approach.</p> <p>It is concluded that the proposed development has no adverse heritage impact from this vantage point.</p>	

Point	Existing	Proposed
4. From further up Davey Street (near Collegiate).		The proposed development will not be discernible from this point.
Impact assessment		
<p>Whilst the side elevation of the building will be barely visible from this vantage point, the discrete materials palette and articulation of the upper floor provides a more recessive building and the hipped roof form reducing the apparent flatness of this elevation. The building from this viewpoint will be dwarfed with the backdropping Commonwealth building and be in the same viewfield as the more distant 144 Macquarie Street, thereby reducing its individual prominence.</p> <p>It is concluded that the proposed development has no adverse heritage impact from this vantage point.</p>		

Point	Existing	Proposed
5. From corner of Barrack and Macquarie Street.		The proposed development will not be discernible from this point.
Impact assessment		
<p>The proposed development will not be discernible from this viewpoint as it is masked by the existing hotel building. From nearer viewpoints, the backdropping is diminished by the placement of the building rearward on the site and with some separation from the side line of the hotel which results in the proposed building being read more as a set-back neighbor rather than a dominant backdropping element and the prominent corner position of the hotel is retained. This is also promoted by the recessive colour of the proposed building.</p> <p>It is concluded that the proposed development has no adverse heritage impact from this vantage point.</p>		

Point	Existing	Proposed
6. From directly opposite 190 Macquarie Street.		
	Impact assessment	
	<p>It is from this vantage point that the proposed development will be most visible by virtue of direct ground-level views through the right-of-way between Coreen and the Duke of Wellington Hotel. The lower-level views will be substantially masked by the existing tree and the height of the building will not be prominent in the lower level streetscape by virtue of the substantial setback of the building behind the street frontage and rear line of Coreen. The roof form has been designed to be reminiscent of that of Coreen to provide some visual harmony and the colour palette is similarly harmonious to both Coreen and the Duke of Wellington Hotel. The Segmented verticality of the glazing of the proposed development is similarly reminiscent to that of the façade of Coreen.</p> <p>It is concluded that the proposed development has no adverse heritage impact from this vantage point.</p>	

Point	Existing	Proposed
7. From 179 Macquarie Street.		The proposed development will not be discernible from this point.
Impact assessment		
The proposed development will not be discernible over the roof of St John's Church from this vantage point and the existing two-storey development at the streetfront will remain the dominant character viewed from this point.		
It is concluded that the proposed development has no adverse heritage impact from this vantage point.		

Point	Existing	Proposed
8. From corner of Hampden Road and Davey Street.		
	Impact assessment	
	<p>From further down Davey Street, the proposed development will not be visible – being masked by the existing internal higher development. The proposed development will have a very minor backdropping presence from this vantage point when viewed between Bellkirk and the conjoined townhouses however due to the setback from the rear line of these buildings it will read as an internalised element which maintains the scale of these 2-3-storey buildings as the dominant streetfront elements. The articulation of this elevation acts to break the bulk and tonal palette provides some visual cohesion between the foreground buildings at this backdropping element. This internalised higher development is not inconsistent with the scale of such internal development further downhill (see Section 5).</p> <p>It is concluded that the proposed development has no adverse heritage impact from this vantage point.</p>	

ARCHAEOLOGICAL IMPACT ASSESSMENT

As depicted on the site plan and basement plan, (Cykel Architecture sheet 01.05), the entire footprint of the proposed development is within the area of low/no archaeological potential, therefore the likelihood of the development footprint impacting any significant archaeological remains is considered to be low.

Whilst it is expected that new/upgraded services will be required for the proposed development, if these are contained within the existing service easement (which is likely to have been substantially disturbed previously) then no archaeological impact will arise.

Only in the event that any new services are required to be run through the area of high archaeological potential (as per Figure 7.7) then any archaeological input will be required. If this is the case, it is recommended that those excavations be monitored by a qualified historical archaeologist and any significant archaeological remains be dealt with in accordance with the Tasmanian Heritage Council's Practice Note 2 (archaeology).

COMPLIANCE WITH CONSERVATION POLICIES

1	General Policies		Response
1.1	Approach to works	The approach to managing any works on the place must be guided by the principles of the ICOMOS Australia <i>Burra Charter</i> .	The current document was commissioned well-ahead of the planning process in order to understand the historic heritage values of the place and its contribution to the precinct and to guide the design process to manage any possible impacts upon such, consistent with the methodology detailed here in Section 1. It is considered that the proposal complies with these policies.
1.2	Use/development	Any use or development of the place must not have any unreasonable adverse heritage impact upon identified values of the place or precinct.	

2	Relationship to Coreen		Response
2.1	Building form	Any further development of the subject site should maintain an appropriate curtilage at the side and rear of Coreen (note that this is likely to be achieved by default given the strata configuration – i.e. the common property is considered to provide an appropriate curtilage).	The proposed development is set to the rear of Coreen and will not impact the Coreen title itself. The Demolition of the existing commercial building which has a point of attachment to the rear of Coreen, in favour of a small separation as proposed, is considered to be a positive heritage outcome for the Coreen building and the understanding of its form. It is considered that the proposal complies with these policies.
2.2	Separation from Coreen	Any development at the rear of the subject site should maintain at least a small setback from the furthest-rearward point of Coreen.	

3	Relationship to adjacent buildings		Response
3.1	Relationship to 81-83 Davey Street, 1 Barrack Street and St John's Church	Any larger (i.e. 3-storey or higher) development on the subject site should seek to utilise the design approaches (as per Policies 4-5) to minimise any backdropping impact upon these places.	<p>The architectural responses to the conservation policies provided here have sought to minimise the backdropping impact of the proposed development upon adjacent places by breaking the 'block' form of the proposal and taking some design hints from the form, patterns and material/colour palettes of the surrounding built environment.</p> <p>It is considered that the proposal complies with this policy.</p>

4	New building form, bulk and setbacks		Response
4.1	Form of any new development	Any new building need not necessarily emulate the form of any existing buildings in the surrounds, however bland 'box-like' development should be avoided (see Policy 5) and there may be some merit in borrowing general forms from the surrounding built environment if desired (e.g. steeply pitched gable and hipped roof forms).	<p>The building does not pretend to be a 'heritage building' but has used a suite of design approaches to 'borrow' elements from the surrounding townscape context in a modern and interpretive manner. This includes the shallow hipped roof form, recessive materials and colour palette and verticality of fenestrative detail (with visual cues from Coreen).</p> <p>It is considered that the proposal complies with this policy.</p>
4.2.	Height of any new development	Whilst an ideal outcome on the subject site would be that any new development not exceed 3 storeys (hence be largely hidden within the internal lot), higher development is likely to be acceptable subject to the utilisation of design approaches prompted here in Policies 4-5).	<p>Whilst the development is in effect five storeys, the upper floor occupies what is interpreted as roofspace and the ground floor is reminiscent of a semi-basement. The building would be just under 15 metres in overall height and has a streetfront setback greater than 10 metres, therefore accords with the principles espoused by the Central Business Height area which has been provided as a benchmark in the design process to achieve some consistency and cohesion with the wider area.</p>

		<p>Although the site is not subject to Clause 22.4.1 (height of development on the same site as a heritage building) it is considered an appropriate benchmark to adopt that Clause as policy, which would allow a building height of 4-storeys (or 15 metres, whichever is the lesser) higher if set back more than 10 metres from a heritage building, or 4-storeys (or 7.5 metres) if set back more than 5 metres.</p> <p>If it is considered that the rear wing of Coreen is of lesser significance than the bulk of the building, a 10-metre setback from all surrounding heritage buildings can be achieved with the exception of St John's Church, therefore stepping of any higher building back from that boundary above 3-storeys is desirable.</p>	<p>It is considered that the proposal complies with this policy.</p>
4.3	Bulk of any new development	<p>On any large-scale development (e.g. 3+ storey), design approaches should be employed to reduce apparent bulk to form 'modules' which represent some visual consistency with the bulk of buildings in the immediate vicinity - including articulation of elevations, breaking of forms or stepping height back towards the inside of the site.</p>	<p>Design approaches of segmenting prominent facades seeks to break these facades – which due to the limited footprint of the building are not considered to be expansive in any case. This segmentation and stepping provides some visual interest to what could have been a more 'block-like' development however the recessive nature of the materials and finishes also seeks to not overly promote the visual qualities of the building.</p> <p>It is considered that the proposal complies with this policy.</p>

4.4	Setbacks	It is considered acceptable to build to the side and rear boundaries of the site (maintaining some setback rear of Coreen). If new development includes total (or near) site coverage and is 4+storeys, benefit may be gained by stepping higher levels away from the site.	By virtue of the limited footprint of the building and the stepping of prominent elevations, the proposed building will read as an internalized neighbour to adjacent buildings and not compete with their streetfront qualities. It is considered that the proposal complies with this policy.
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5	New building design, detailing and finishes		Response
5.1	References to historical detailing, materials and finishes.	Any new building need not emulate any particular architectural style of the site or surrounds, however subtle references to traditional design elements, finishes and materials may be desirable.	The proposed building will be a clearly modern element but has taken reference from the diverse surrounding built form (e.g. interpretation of roof pitches, colour/materials palettes) to provide some visual cohesion and linkages with those buildings. It is considered that the proposal complies with this policy.
5.2	Finishes to be recessive.	Any new development must be respectful to the surrounding area in terms of seeking to be as recessive as possible, via a colour and materials palette which does not provide visual dominance of any nearby building.	The proposed colour and material palette is designed to be recessive and to not unnecessarily compete with the colours and materials of the diverse surrounding built environment. It is considered that the proposal complies with this policy.

6	Other policies		Response
6.1	Archaeology	The recommendations of the statement of historical archaeological potential (as presented here in Section 7) must be implemented in any future development.	<p>The archaeological impact assessment has concluded that the proposal is unlikely to impact any significant archaeological remains and a precautionary recommendation has been made to ensure any new service lines outside the existing service easement are archaeologically monitored.</p> <p>It is considered that the proposal complies with this policy.</p>
6.2	Subdivision	The title configuration of the subject site is not deemed significant; therefore, reconfiguration need not require any heritage input provided such does not inhibit the achievement of the conservation policies in this document.	<p>Whilst the proposed development will further strata-title the existing title configuration, it will not result in any heritage detriment as the current title configuration is not deemed significant.</p> <p>It is considered that the proposal complies with this policy.</p>

COMPLIANCE WITH STATUTORY PROVISIONS

Further to the statutory heritage provisions detailed in Section 2, the following Clauses of the Hobart Interim Planning Scheme apply to the place and the proposed development. The commentary on the proposed development draws upon the heritage impact assessment formulated in Sections 12.1-12.3 and the summary of compliance with the conservation policies of this document as discussed in Section 12.4.

The following assessment has been undertaken within the framework of the Hobart Interim Planning Scheme 2015. Note that as per Section 2, part of the subject site is listed on the Tasmanian Heritage Register, therefore subject to the provisions of the Historic Cultural Heritage Act 1995. That Act has less prescriptive provisions, however it is expected that the Tasmanian Heritage Council's assessment of the proposed development will utilise a similar approach and rely on the heritage impact assessment provided here in Section 12.

CLAUSE E.13.7 – DEVELOPMENT STANDARDS FOR HERITAGE PLACES

	Performance Criteria	Commentary on proposed development
E.13.7.1 - Demolition	<p><i>Demolition must not result in the loss of significant fabric, form, items, outbuildings or landscape elements that contribute to the historic cultural heritage significance of the place unless all of the following are satisfied;</i></p> <ul style="list-style-type: none"> <i>(a) there are, environmental, social, economic or safety reasons of greater value to the community than the historic cultural heritage values of the place;</i> <i>(b) there are no prudent and feasible alternatives;</i> <i>(c) important structural or façade elements that can feasibly be retained and reused in a new structure, are to be retained;</i> <i>(d) significant fabric is documented before demolition.</i> 	The proposal does not result in the demolition of any significant heritage fabric.
E.13.7.2 – Building and	<p><i>P1. Development must not result in any of the following:</i></p> <ul style="list-style-type: none"> <i>(a) loss of historic cultural heritage significance to the place through incompatible design, including in height, scale, bulk, form,</i> 	<p>a) Whilst the proposed building is higher than the buildings immediately surrounding, the overall height is consistent with the tenor of the infill development of the central portion of this town block further down Macquarie/Davey Streets and</p>

	<p><i>fenestration, siting, materials, colours and finishes;</i></p> <p><i>(b) substantial diminution of the historic cultural heritage significance of the place through loss of significant streetscape elements including plants, trees, fences, walls, paths, outbuildings and other items that contribute to the significance of the place.</i></p>	<p>when viewed as part of the wider townscape is not inconsistent (and indeed much smaller) than much to the existing higher and larger tower block development in the wider environs. Setbacks from existing buildings are generous owing to the title configuration and a recessive materials and colour palette has been utilised with a range of design elements to break any large/blank expanses and to give the building a lesser prominence in relation to existing buildings and the streetscape. Design elements such as some of the fenestrative proportions, hinting at existing roof forms etc. act to promote the proposed development as a harmonious neighbour in the background to its streetfront antecedents.</p> <p>b) No significant streetscape elements will be diminished or lost as a result of the proposed development.</p>
	<p><i>P2. Development must be designed to be subservient and complementary to the place through characteristics including:</i></p> <p><i>(a) scale and bulk, materials, built form and fenestration;</i></p> <p><i>(b) setback from frontage;</i></p> <p><i>(c) siting with respect to buildings, structures and listed elements;</i></p> <p><i>(d) using less dominant materials and colours.</i></p> <p><i>P3. Materials, built form and fenestration must respond to the dominant heritage characteristics of the place, but any new fabric should be readily identifiable as such.</i></p>	<p>a) The proposed development, whilst substantially higher than the surrounding built forms, achieves a level of subservience by means of its substantial setback from the street frontage. As per the precinct analysis in Section 5, there is a precedent for this higher development in the internal areas of the block bounded by Davey, Macquarie, Barrack and Harrington Streets and the proposed development is consistent with that and not considered to be uncomplimentary to that established pattern of townscape development. The predominant two-storey scale of earlier development will be maintained.</p> <p>b) The proposed development has a substantial setback from the frontage (approx. 28 metres) therefore achieves a subservience in the streetscape and allows the predominantly two-storey streetfront form of this part of Macquarie Street to remain.</p>

		<p>c) The proposed building increases the existing setback of more recent buildings from the rear wall of Coreen therefore results in a greater ability to read the form of that listed building and to view it more in-the-round.</p> <p>d) The proposed building utilises a recessive and subdued colour and materials palette which is complimentary to the existing heritage building and those in the near surrounds.</p>
	<i>P4. Extensions to existing buildings must not detract from the historic cultural heritage significance of the place.</i>	The proposal does not involve extension to any significant building(s). The proposal removes a modern building which is directly adjacent to Coreen therefore resulting in a benefit in promoting further curtilage for that building.
	<i>P5. New front fences and gates must be sympathetic in design, (including height, form, scale and materials), to the style, period and characteristics of the building to which they belong.</i>	Not applicable – no new front fencing is proposed.
	<i>P6. The removal of areas of landscaping between a dwelling and the street must not result in the loss of elements of landscaping that contribute to the historic cultural significance of the place.</i>	<p>The proposal retains the significant walnut tree and will result in no loss of significant landscape elements between the development site and the street.</p> <p>To further protect the tree, any construction management plan must put in place provisions for the protection of the tree, and if possible underground services should be as distant as possible to the tree (noting that the service easement is distant to the tree – which also has archaeological advantages).</p>

E.13.7.3 - Subdivision	<p><i>P1. A proposed plan of subdivision must show that historic cultural heritage significance is adequately protected by complying with all of the following:</i></p> <ul style="list-style-type: none"> <i>(d) ensuring that sufficient curtilage and contributory heritage items (such as outbuildings or significant plantings) are retained as part of any title containing heritage values;</i> <i>(e) ensuring a sympathetic pattern of subdivision;</i> <i>(f) providing a lot size, pattern and configuration with building areas or other development controls that will prevent unsympathetic development on lots adjoining any titles containing heritage values, if required.</i> 	<p>The proposal will be a further strata subdivision of the existing strata. The title configuration of the site has been changed during the early c20th therefore is not considered significant. Coreen will remain in its existing title as part of that reconfiguration.</p>
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CLAUSE E.13.8 - HERITAGE PRECINCT

The following table makes commentary on the proposed development against the statements of significance for the heritage precinct in order to understand the possible impact of the proposal upon that significance:

Statement of significance	Commentary on proposed development
<i>It contains some of the most significant groups of early Colonial architecture in Australia with original external detailing, finishes and materials demonstrating a very high degree of integrity, distinctive and outstanding visual and streetscape qualities.</i>	<p>Whilst the precinct contains some clearly significant colonial buildings, Section 5 has demonstrated that most of these are second-generation development from the late-c19th and early c20th – evidence to support that these are some of the most significant groups of colonial buildings in Australia is somewhat lacking.</p> <p>Nonetheless, the precinct certainly contains a diverse, yet somewhat cohesive collection of mid-c19th to early c-20th buildings which share the character of larger-scale inner-city residential buildings, most of which have been re-purposed for commercial purposes which demonstrate the evolution of the precinct and the later c20th suburbanisation of Hobart with that repurposing from purely residential.</p> <p>The proposed development is consistent (in some cases lower) with the c20th infill development of the inner portion of the block bounded by Davey, Macquarie, Harrington and Barrack Streets and represents the continuum of the evolution of the precinct. In fact, the residential nature of the proposal somewhat reinstates an earlier land-use pattern as the area currently has very little residential usage.</p>
<i>The collection of Colonial, and Victorian buildings exemplify the economic boom period of the early to mid nineteenth century.</i>	<p>The proposed development, being largely internalised and only backdrops certain vantage points of the precinct does not impact the streetfront ability of the precinct to demonstrate a mix of Colonial and Victorian buildings (and indeed Federation and Edwardian) which characterise the precinct.</p> <p>It is noted that the particular area of the precinct is characterised by wholly 2-storey development at the street frontage. The ~28-metre setback of the proposed development will not inhibit the appreciation of that uniformity of streetfront scale and in most instances will blend into the other internal and peripheral backdropping elements within and surrounding the precinct.</p>
<i>The continuous two and three storey finely detailed buildings contribute to a uniformity of scale and quality of street space.</i>	

<i>It contains a large number of landmark residential and institutional buildings that are of national importance.</i>	No place in the heritage precinct is included on the National Heritage List, therefore this statement of significance is dubious. Whilst St John's Church and the adjacent hotel are certainly landmark buildings of state significance, the streetscape impact analysis has demonstrated that the proposed development is set well back from the streetfront of these buildings therefore allows them to retain their prominent landmark qualities. Whilst the proposed development would backdrop these buildings, the range of design tools to promote the recessive nature of the building and to visually break the bulk and height of the proposed building acts to assist in maintaining the landmark qualities of these nearby buildings.
<i>The original and/or significant external detailing, finishes and materials demonstrating a high degree of importance.</i>	The proposal does not involve any changes or alterations to any existing building therefore will not impact upon this statement of significance.

The following table considers the possible impact of the proposed development against the specific Performance Criteria for the heritage precinct under Clause E.13.8 of the scheme:

	Performance Criteria	Commentary on proposed development
E.13.8.1 - Demolition	<p><i>Demolition must not result in the loss of any of the following:</i></p> <p style="margin-left: 40px;">(a) <i>buildings or works that contribute to the historic cultural heritage significance of the precinct;</i></p> <p style="margin-left: 40px;">(b) <i>fabric or landscape elements, including plants, trees, fences, paths, outbuildings and other items, that contribute to the historic cultural heritage significance of the precinct;</i></p> <p><i>unless all of the following apply;</i></p> <p style="margin-left: 40px;">(i) <i>there are, environmental, social, economic or safety reasons of greater value to the community than the historic cultural heritage values of the place;</i></p> <p style="margin-left: 40px;">(ii) <i>there are no prudent or feasible alternatives;</i></p> <p style="margin-left: 40px;">(iii) <i>opportunity is created for a replacement building that will be more complementary to the heritage values of the precinct.</i></p>	<p>The proposal does not result in the demolition of any significant heritage fabric.</p>
E.13.8.2 – Building and Works other than Demolition	<p><i>P1. Design and siting of buildings and works must not result in detriment to the historic cultural heritage significance of the precinct, as listed in Table E13.2.</i></p> <p><i>P2. Design and siting of buildings and works must comply with any relevant design criteria / conservation policy listed in Table E13.2, except if a heritage place of an architectural style different from that characterising the precinct.</i></p> <p><i>P3. Extensions to existing buildings must not detract from the historic cultural heritage significance of the precinct.</i></p>	<p>See table above, and discussion at E.13.7.2 (P2-P3).</p> <p>Whilst the statements of significance for the precinct don't explicitly constitute 'design criteria/conservation policy', the table above considers whether the proposed development might impact the values inherent in those statements of significance.</p> <p>The proposal does not involve extension to any significant building(s). The proposal removes a modern building which is directly adjacent to Coreen therefore resulting in a benefit in promoting further curtilage for that building.</p>

	<i>P4. New front fences and gates must be sympathetic in design, (including height, form, scale and materials), and setback to the style, period and characteristics of the precinct.</i>	Not applicable – no new front fencing is proposed.
	<i>P5. The removal of areas of landscaping between a dwelling and the street must not result in the loss of elements of landscaping that contribute to the historic cultural significance or the streetscape values and character of the precinct.</i>	The proposal retains the significant walnut tree and will result in no loss of significant landscape elements between the development site and the street.
E.13.8.3 - Subdivision	<p><i>P1. Subdivision must not result in any of the following:</i></p> <ul style="list-style-type: none"> <i>(i) detriment to the historic cultural heritage significance of the precinct, as listed in Table E13.2;</i> <i>(ii) a pattern of subdivision unsympathetic to the historic cultural heritage significance of the precinct;</i> <i>(iii) potential for a confused understanding of the development of the precinct;</i> <i>(iv) an increased likelihood of future development that is incompatible with the historic cultural heritage significance of the precinct.</i> 	<p>The proposal will be a further strata subdivision of the existing strata. The title configuration of the site has been changed during the early c20th therefore is not considered significant. Coreen will remain in its existing strata title as part of that reconfiguration.</p>

CLAUSE E.13.10 PLACE OF ARCHAEOLOGICAL POTENTIAL

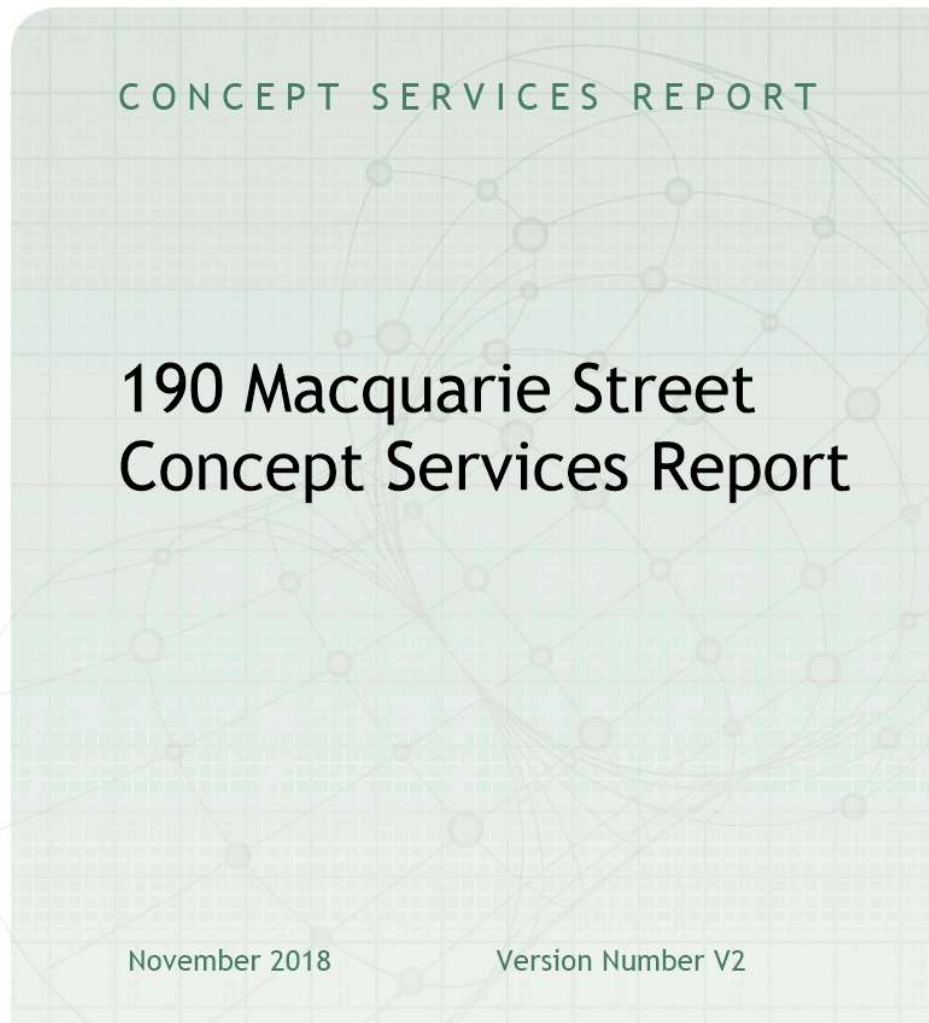
	Performance Criteria	Comment
	<i>P1. Buildings, works and demolition must not unnecessarily impact on archaeological resources at places of archaeological potential, having regard to:</i>	
<i>E.13.10.1 – Building and Works other than Demolition</i>	<i>the nature of the archaeological evidence, either known or predicted;</i>	The statement of historical archaeological potential as devised in section 7 depicts that the footprint of the proposed development is not within an archaeologically sensitive area.
	<i>measures proposed to investigate the archaeological evidence to confirm predictive statements of potential;</i>	
	<i>strategies to avoid, minimise and/or control impacts arising from building, works and demolition;</i>	It is recommended that any excavations in the area of high archaeological potential (e.g. service trenches outside the existing service easement) be archaeologically monitored and any significant remains managed in accordance with the Tasmanian Heritage Council's Practice Note 2 (archaeology).
	<i>where it is demonstrated there is no prudent and feasible alternative to impacts arising from building, works and demolition, measures proposed to realise both the research potential in the archaeological evidence and a meaningful public benefit from any archaeological investigation;</i>	As the majority of the development footprint is outside the area of high archaeological potential, it is not considered necessary that there be any design amendment to avoid impact, therefore the current proposal is considered the best alternative in terms of minimum/no impact.
	<i>measures proposed to preserve significant archaeological evidence 'in situ'.</i>	Apart from the possibility of some limited disturbance that may arise through service trenches, it is likely that the majority of the archaeological resource will remain unaffected by the proposal.

CLAUSE E.13.24 – SIGNIFICANT TREES CODE

	Performance Criteria	Commentary on proposed development
<i>E24.6.1 Lopping, pruning, removal or destruction of significant trees</i>	<p><i>The lopping, pruning, removal or destruction of any tree listed in Table E24.1 may be approved having regard to all of the following:</i></p> <ul style="list-style-type: none"> <i>(v) the impact that the proposed tree removal, lopping or pruning would have on the character of the area or the appearance of development on the site;</i> <i>(vi) whether the removal or destruction of the tree is appropriate due to the tree being near the end of its expected life span or being in poor health;</i> <i>(vii) the proposed means of lopping, pruning, destruction or removal of vegetation;</i> <i>(viii) the need to maintain and protect the amenity value of the tree and the general area and its landscape and heritage significance;</i> <i>(ix) any hazards the tree poses to the health, welfare and safety of persons and to property;</i> <i>(x) the impact on the appearance or setting of any place of cultural heritage significance;</i> <i>(xi) whether pruning or lopping will adversely affect the health, appearance or significance of the tree;</i> <i>(xii) any proposed replacement plantings.</i> 	<p>The proposal retains the significant walnut tree.</p> <p>It is recommended that any construction management plan include measures to physical protect the tree and that any service lines be position as far away as practicable from the tree.</p>

APPENDIX E

Concept Services Report





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APPENDIX A - ARCHITECTURAL PLANS

APPENDIX B - SERVICES PLANS AND TURNING PATHS

APPENDIX C - DBYD PLANS

APPENDIX D - SEWER AND WATER CALCULATIONS

1. Introduction

This report identifies the service requirements for the planned Unit Development at 190 Macquarie Street - Title Reference 96378/2. The development involves the demolition of the existing building and construction of a new apartment block, consisting of four 3-bedroom apartments over 4 levels.

A site layout is as per Figure 1:



Figure 1: Existing Site Layout

2. Roads and Access

The site is accessed from Macquarie Street via a 3.5m wide crossover onto the strata title (CT 96378/0) located adjacent to the Duke of Wellington Hotel. There is existing carparking located in this area for approximately seven vehicles, not all spaces would be compliant under current standards though.

A new 5.5m wide crossover and driveway apron to the property boundary is proposed, with the provision for a 5.5m wide x 6m long passing bay inside the boundary in accordance with AS2890.1 Clause 3.2.2. Six parking spaces are to be provided on the common property utilising angle, parallel and 90-degree spaces which comply with the off-street parking code AS 2890-1 and turning is to be provided at the eastern end of the carpark. Turning paths for this movement are shown on drawing J173036-C03 in Appendix B.

Refer to the separate Traffic Impact Assessment Report for further details on roads, carpark and site access.

3. Stormwater

There is an existing DN300 stormwater main on the southern side of Macquarie Street (the same side of the road as the site) that can service the proposed development. All carparks, roadways, the building roof and ground floor level can be gravity fed to the DN300 main in Macquarie Street.

3.1 Internal Stormwater System

The existing site is entirely impervious with a one storey building currently occupying the proposed footprint. Table 1 outlines the expected stormwater flow rates from 1% and 5% AEP rainfall events. The difference in the catchment size from pre to post development reflects the increase in vertical surface. The area of catchment created by the building walls was calculated using AS3500.3:2018.

Table 1: Stormwater Runoff for 1% and 5% AEP Rainfall Events

	Area (m ²)	1% AEP Flow (m ³ /s)	5% AEP Flow (m ³ /s)
Pre-Development	290	0.010	0.006
Post-Development	520	0.018	0.012

Full details of the stormwater calculations are provided in Appendix D. See Section 9 for response to planning scheme requirements.

3.2 External Stormwater System

Table 1 indicates that the difference in the vertical surface area from pre to post development will increase the localised runoff from 190 Macquarie Street by 6l/s. The rain collected by the post-development vertical face of the building would have previously fallen onto the already impervious adjacent properties. Runoff would then have entered the major stormwater system either slightly further upstream, or downstream (depending on the wind direction), of the 190 property connection. As such the proposed development will have no impact on the downstream stormwater infrastructure - this is also outlined in Drawing J173036PH-C05, Appendix C. Catchment analysis suggests a pre-development flow of 71l/s would be experienced in the existing Macquarie Street stormwater main (DN300) adjacent to the 190 property. This flow would increase to 77l/s post-development, but still fall comfortably within the pipes calculated capacity of 206l/s. As previously stated, downstream of the connection from 188 Macquarie Street there would be no increase in flow as a result of the development, it is therefore unnecessary to detain any stormwater runoff on site.

3.3 Proposed Stormwater Treatment

Water Sensitive Urban Design treatment measures are not required under the current planning scheme. See Section 9 for response to planning scheme requirements.

4. Water

Existing Supply

The area is serviced by TasWater with an existing DN150 main running either side of Macquarie Street. The site is serviced from the Hobart City Low Level System which has a TWL of 106m and a bottom water level of 97m AHD.

Demand

The table below details the probable simultaneous demand (PSD) for the proposed development.

>2 Storeys, High Density, Dwelling			
	1 Bedroom	2 Bedroom	3+ Bedroom
Factor/dwelling	0.5	0.75	1
No. of Units	0	0	4
ET	0	0	4
			Sum
			4

	Quantity	Units
Number of Units/Homes/Town Houses	4	ET's
Probable Simultaneous Demand (PSD) As per AS/NZS 3500.1:2003 Section 3	1.03	L/s

Property Connection

Based on TasWater metering guidelines, a DN32 property connection will be required to service the apartments.

Operating Water Pressures

The tenanted floor levels of the building range in height from RL 31.82 to RL 40.82m AHD. Based on the reservoir being one third full, static water pressures within the building will vary between 669 & 581 kPa which meets the TasWater operating pressure guidelines. Pressure limiting valves will need to be installed to reduce pressures within the units to 500 kPa.

5. Fire

Spread over four levels, the total floor area for the proposed development is greater than 500m², as such it shall be provided with fire hydrant and fire hose reel systems to AS2419 & AS 2441. A flow of 10L/sec is required for the fire hydrants, and the need for a fire hydrant booster connection will be assessed as part of the detailed design. Sprinkler requirements also to be confirmed during detailed design phase.

6. Sewer

The area is serviced by TasWater with a DN150 gravity main connecting to the rear of Unit 1 and flowing, via the existing strata title carpark, to the rear of 5-7 Barrack Street. It then passes through the rear of 190, 188 & 186 Macquarie Street before discharging to an existing DN150 main on Davey Street.



Figure 2 - TasWater Sewer Infrastructure

The new development will discharge to the existing DN150 main inside the rear of the property boundary. The FFL of the ground floor is 31.82m, allowing gravity drainage to the existing sewer manhole at the rear of 188 Macquarie Street (as shown on the detailed plan in Appendix B) with an IL 28.90.

Table 2 provides calculation of the additional ET's generated by the development.

Table 2: Residential Sewer Flow Calculations

	Value	Units
Equivalent Tenements	4	(-)
Average Dry Weather Flow	0.02	(L/s)
Peak Dry Weather Flow	0.39	(L/s)
Total Design Flow	0.42	(L/s)

7. Power, Telecommunications, Lighting and Gas

7.1 Power

Existing Services

TasNetworks have an underground electrical supply available in Macquarie Street, it is assumed that this system will have enough capacity to supply the additional four apartments created by this development. There exists an electrical underground easement over the strata title that is currently servicing an electrical cabinet which supplies power to Units 1 and 2. If required by TasNetworks to supply power to the new development, this easement will be relocated closer to the existing dwelling to allow for the installation of new services with minimal impact on the existing tree. This will be achieved through either the existing mains or, if required, the mains will be upsized. Refer to plan J173036PH-C01 in Appendix B for details. Power supply requirements will be assessed further in detailed design.

7.2 Telecommunications

NBN Services are available in Macquarie Street and it is expected that these will have enough capacity to provide an NBN connection to each of the proposed apartments with a new lead in conduit to be installed across the strata title.

7.3 Lighting

Existing street lighting infrastructure is in place in Macquarie Street. Security lighting in accordance with AS/NZS 1158.3.1:2005 will be provided for all parking areas.

7.4 Gas

There is an existing DN90 main in Macquarie Street which could service the proposed development were gas required within the building.

8. Council and Service Authority Access and Ownership

There is an existing 1m wide easement for electrical infrastructure to service the proposed apartments, this easement will be relocated closer to the existing dwelling to allow for the installation of a new private services easement. This easement will be required for stormwater, water and communications infrastructure across the strata title.

A 2.5m implied easement would exist over the current TasWater sewer main located within the property.

9. Planning Scheme Requirements

The applicable clauses of the *Hobart Interim Planning Scheme 2015* are addressed below.

E7.7.1 - A1

Stormwater from new impervious surfaces must be disposed of by gravity to public stormwater infrastructure.

Response:

The stormwater generated from the new building will be discharged by gravity to the existing DN300 main on Macquarie Street.

E7.7.1 - A2

A stormwater system for a new development must incorporate water sensitive urban design principles for the treatment and disposal of stormwater if any of the following apply:

- a) the size of new impervious area is more than 600 m²;
- b) new car parking is provided for more than 6 cars;
- c) a subdivision is for more than 5 lots.

Response:

- a) The size of the new impervious area is 278m²
- b) No new carparking is required.
- c) The development is not a subdivision of lots.

As none of the above exceed the planning scheme requirements, the site does not require the installation of WSUD measures.

E7.7.1 - A3

A minor stormwater drainage system must be designed to comply with all the following:

- a) be able to accommodate a storm with an ARI of 20 years in the case of non-industrial zoned land and an ARI of 50 years in the case of industrial zoned land, when the land serviced by the system is fully developed;
- b) stormwater runoff will be no greater than pre-existing runoff or any increase can be accommodated within existing or upgraded public stormwater infrastructure.

Response:

A new stormwater connection to the DN300 main in Macquarie Street will have capacity for the post-development 5% AEP flow. The flow in the DN300 main will remain unchanged apart from the short section between properties 188 and 190 Macquarie Street which is able to accommodate the increased flow - see Section 3.2.

E7.7.1 - A4

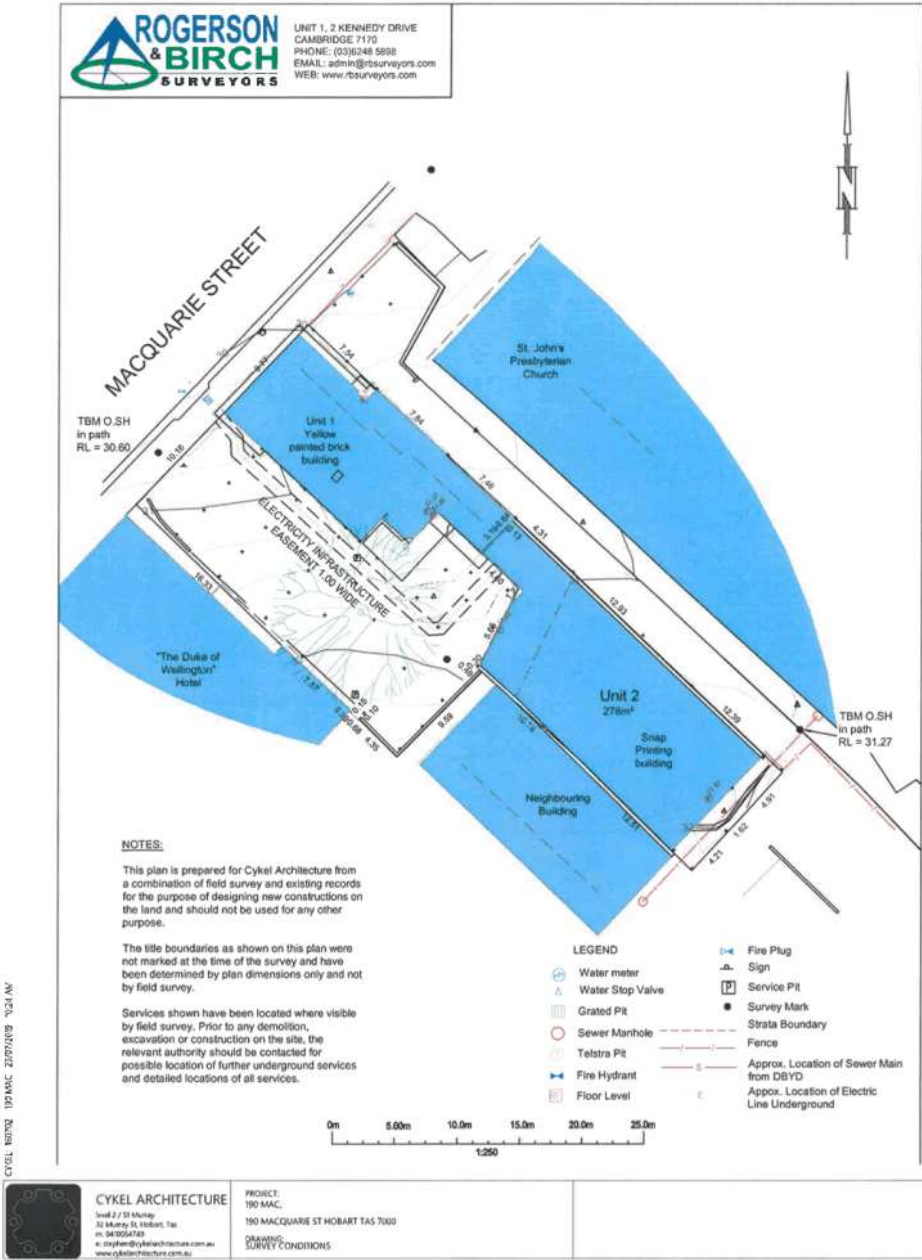
A major stormwater drainage system must be designed to accommodate a storm with an ARI of 100 years.

Response:

Concept stormwater drainage is shown on drawing J173036PH-C02. Gravity drainage capable of conveying the 1:100 ARI flows from the box gutter downpipes can be installed under the building to convey flows to a surcharge pit located in the carpark on the western side of the building.

From this point Unit 2 surface levels fall away from the building, this will take overland flow along the southern side of Unit 1 before crossing the footpath into Macquarie Street. The post-development 1% AEP flows will not differ from those currently coming from the site, suggesting the overland flow on Macquarie Street will remain the same also.

APPENDIX A
ARCHITECTURAL PLANS



NOTES:

1. Builder to verify all dimensions and levels on site prior to commencement of work;
2. All construction work shall be carried out in accordance with Planning and Building permits;
3. All work to be carried out in accordance with the Building Code of Australia/National Construction Code, relevant Australian Standard local government regulations etc;
4. Materials and workmanship to conform with state building regulations, local council by laws and relevant BCA codes, Australian standards and manufacturers specifications;
5. Do not scale off drawing - dimensions to take precedence over scale. Discrepancy to be reported to architect immediately.

- NOTES:
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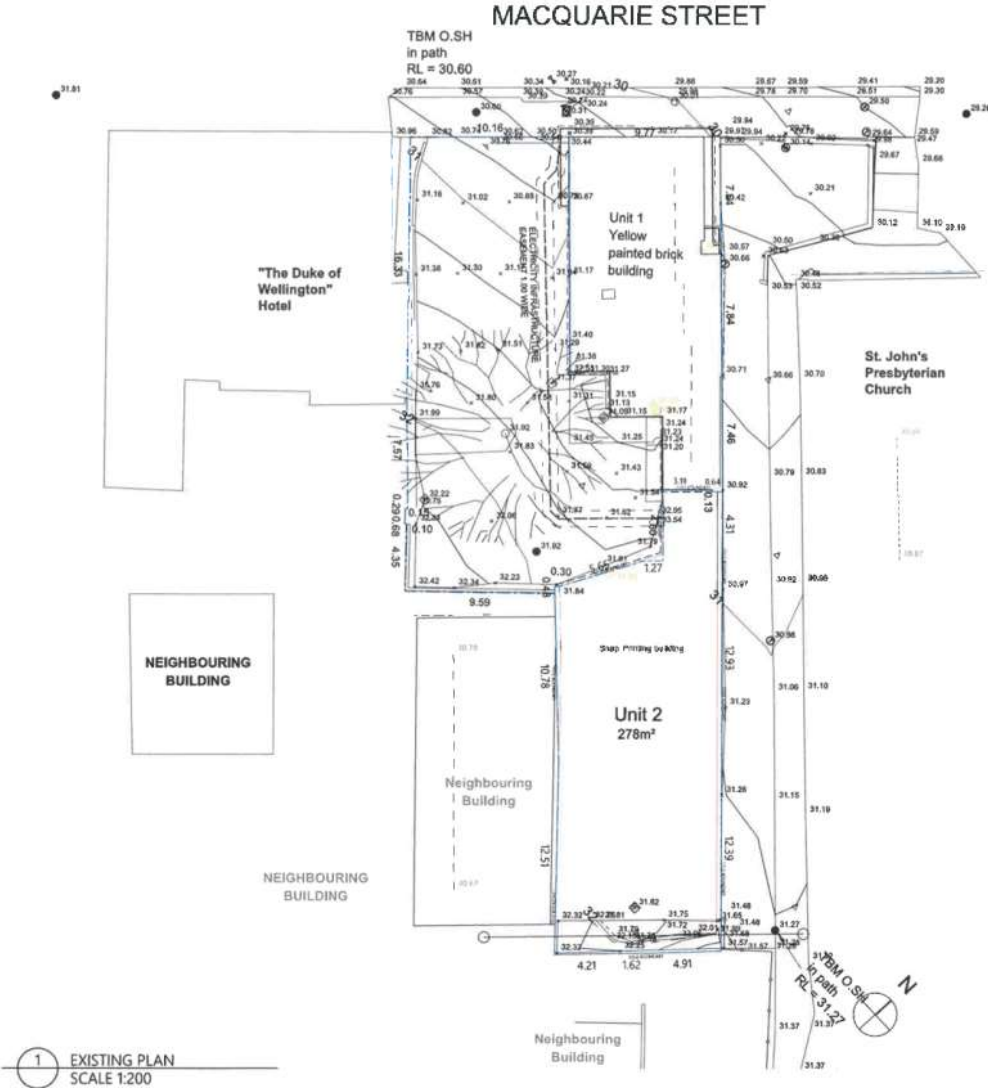


1 LOCATION PLAN
NOT TO SCALE

C:\P\190 MAC - 23/06/2019 10:24 AM

	CYKEL ARCHITECTURE Level 2/114 Murray 32 Murray St, Hobart, Tas ph: 0420254749 e: info@cykelarchitecture.com.au www.cykelarchitecture.com.au	PROJECT: 190 MAC, 190 MACQUARIE ST HOBART TAS 7000 DRAWING: LOCATION PLAN		REV.	DESCRIPTION	DATE		PROJECT NO	DATE	SCALE
				1	190 MACQUARIE ST APARTMENTS -	23/05/2019		160702	23/05/2019	1:1 @A2
								revision	DA-02	checked 19 drawing no 0102

- NOTES:
- 1. Builder to verify all dimensions and levels on site prior to commencement of work.
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 - 5. Do not scale off drawing - dimensions to take precedence over scale. Discrepancy to be reported to architect immediately.



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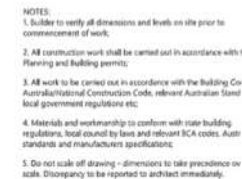
CYKEL ARCHITECTURE
level 2 / 11 Monty
32 Murray St, Hobart, Tas
t: 03 5054 149
e: info@cykelarchitecture.com.au
www.cykelarchitecture.com.au

PROJECT:
190 MAC,
190 MACQUARIE ST HOBART TAS 7000

DRAWING:
EXISTING PLAN

REV.	DESCRIPTION	DATE/ISSUED
04-02	190 MAC/2115 ST APARTMENTS	23/07/2019

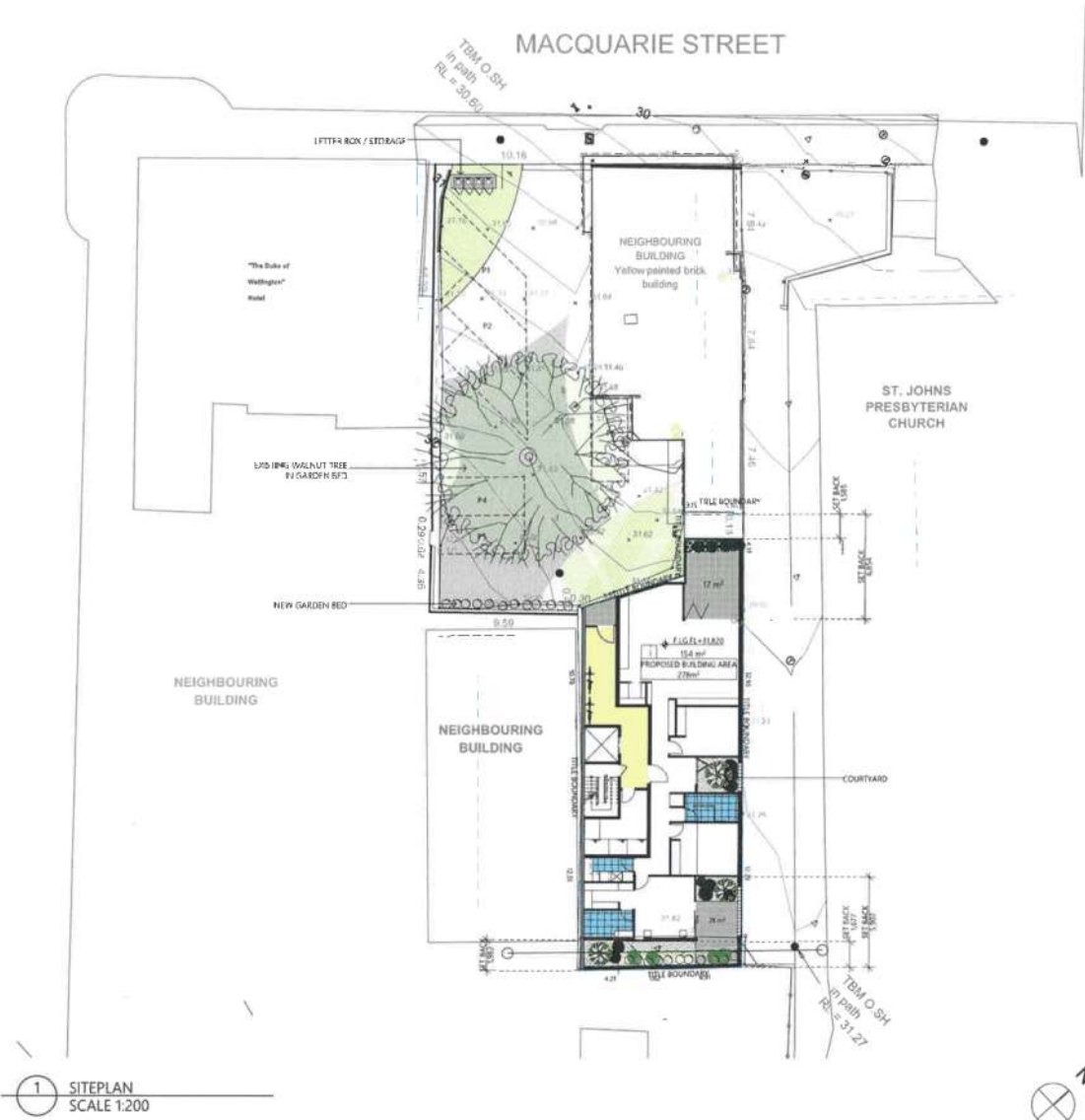
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revision	04-02	checked	sg	drawing no	0103



1 DEMOLITION PLAN
SCALE 1:200

[illegible]

- NOTES:
- 1. Builder to verify all dimensions and levels on site prior to commencement of work;
 - 2. All construction work shall be carried out in accordance with Planning and Building permits;
 - 3. All work to be carried out in accordance with the Building Code of Australia/Australian Construction Code, relevant Australian Standard local government regulations, etc;
 - 4. Materials and workmanship to conform with state building regulations, local council by laws and relevant BCA codes, AS/NZ standards and manufacturers specifications;
 - 5. Do not scale off drawing - dimensions to take precedence over scale. Discrepancy to be reported to architect immediately.



1 SITEPLAN
SCALE 1:200

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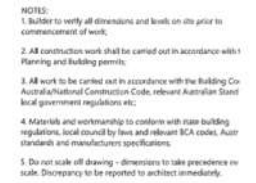
 CYKEL ARCHITECTURE Unit 2 / 31 Murray 32 Murray St, Hobart, Tas 61 0419054149 e: info@cykelarchitecture.com.au www.cykelarchitecture.com.au	PROJECT: 190 MAC, 190 MACQUARIE ST HOBART TAS 7000 DRAWING: PROPOSED SITE PLAN / BOUNDARY		<table><tr><th>REV.</th><th>DESCRIPTION</th><th>DATE</th></tr><tr><td>DA-02</td><td>190 MACQUARIE ST APARTMENTS -</td><td>28/07/2019</td></tr></table>	REV.	DESCRIPTION	DATE	DA-02	190 MACQUARIE ST APARTMENTS -	28/07/2019	<table><tr><td colspan="2">CYKEL ARCHITECTURE 190 MACQUARIE ST HOBART TAS 7000</td></tr><tr><td>project no</td><td>160702</td></tr><tr><td>date</td><td>23/07/2019</td></tr><tr><td>scale</td><td>1:200 @A2</td></tr><tr><td>revision</td><td>DA-02</td></tr><tr><td>checked</td><td>lg</td></tr><tr><td>drawing no</td><td>0105</td></tr></table>	CYKEL ARCHITECTURE 190 MACQUARIE ST HOBART TAS 7000		project no	160702	date	23/07/2019	scale	1:200 @A2	revision	DA-02	checked	lg	drawing no	0105
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project no	160702																							
date	23/07/2019																							
scale	1:200 @A2																							
revision	DA-02																							
checked	lg																							
drawing no	0105																							



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 4. Materials and workmanship to conform with state building regulations, local council by laws and relevant BCA codes, Austr standards and manufacturers specifications;
 5. Do not scale off drawing - dimensions to take precedence on scale. Discrepancy to be reported to architect immediately.

C:\VEL 150702 - 190 MAC 28/07/2019 16:24 AM

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							106 MATTY 190 ST HOBART TAS	23/07/2019	1:100 G.A2



NOTES:

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3. All work to be carried out in accordance with the Building Code Australia/National Construction Code, relevant Australian Standard local government regulations etc;
4. Materials and workmanship to conform with state building regulations, local council by laws and relevant BCA codes, Austr standards and manufacturers specifications;
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CYTEL: 16JF12 190 MAC 23/07/2019 16:24 AM

1 PROPOSED SECOND FLOOR
SCALE 1:100

2 PROPOSED THIRD FLOOR PLAN
SCALE 1:100

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					revision no DA-02	checked ag	drawing no 01/01	



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CYKEL ARCHITECTURE
Level 2/111 Murray
32 Murray St Hobart, Tas
61 047954749
info@cykelarchitecture.com.au
www.cykelarchitecture.com.au

PROJECT:
190 MAC,
190 MACQUARIE ST HOBART TAS 7000
DRAWING:
LEVEL 4 & ROOF PLAN

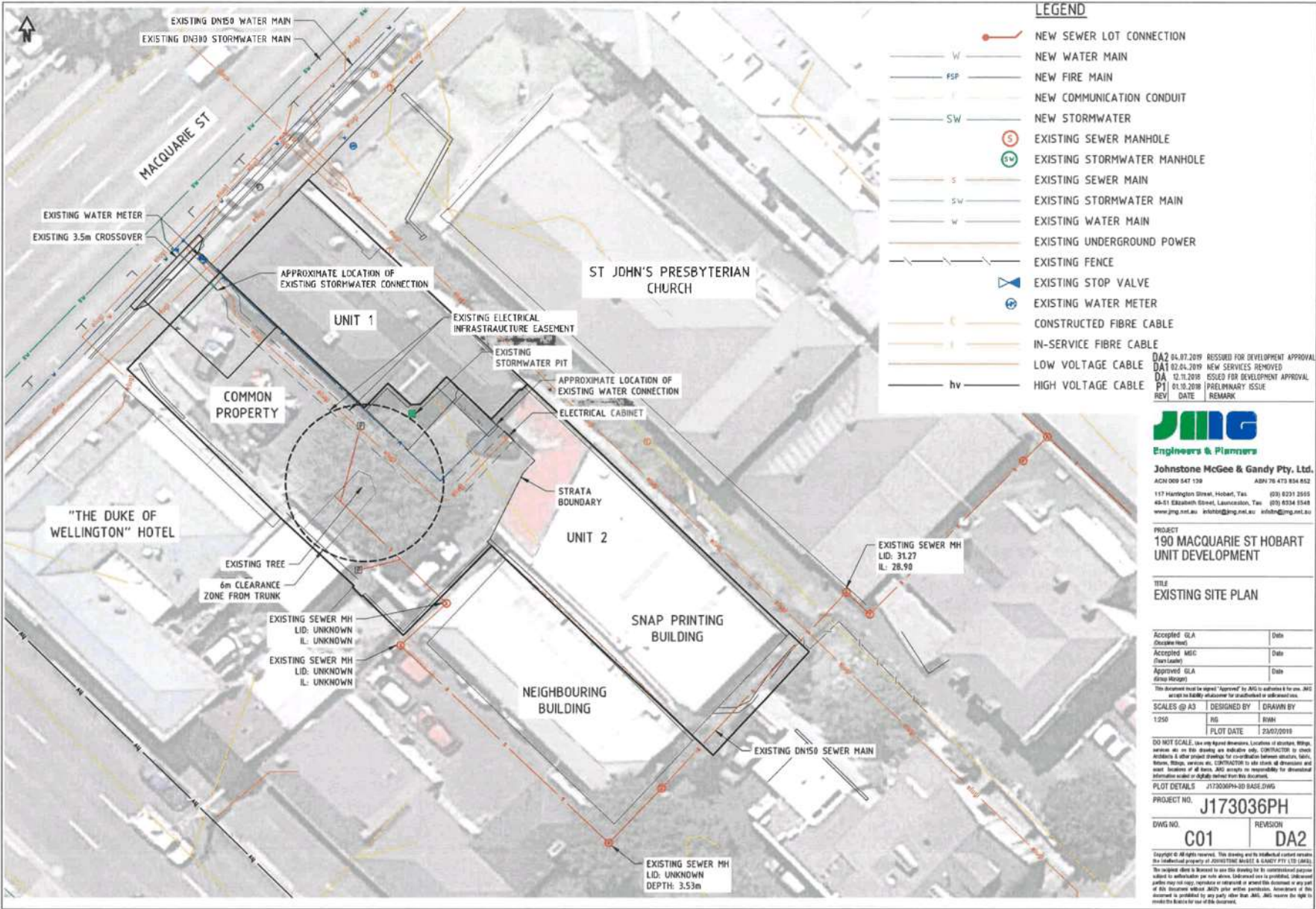
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DA-01 190 MACQUARIE ST APARTMENTS -
DATE: 23/07/2019

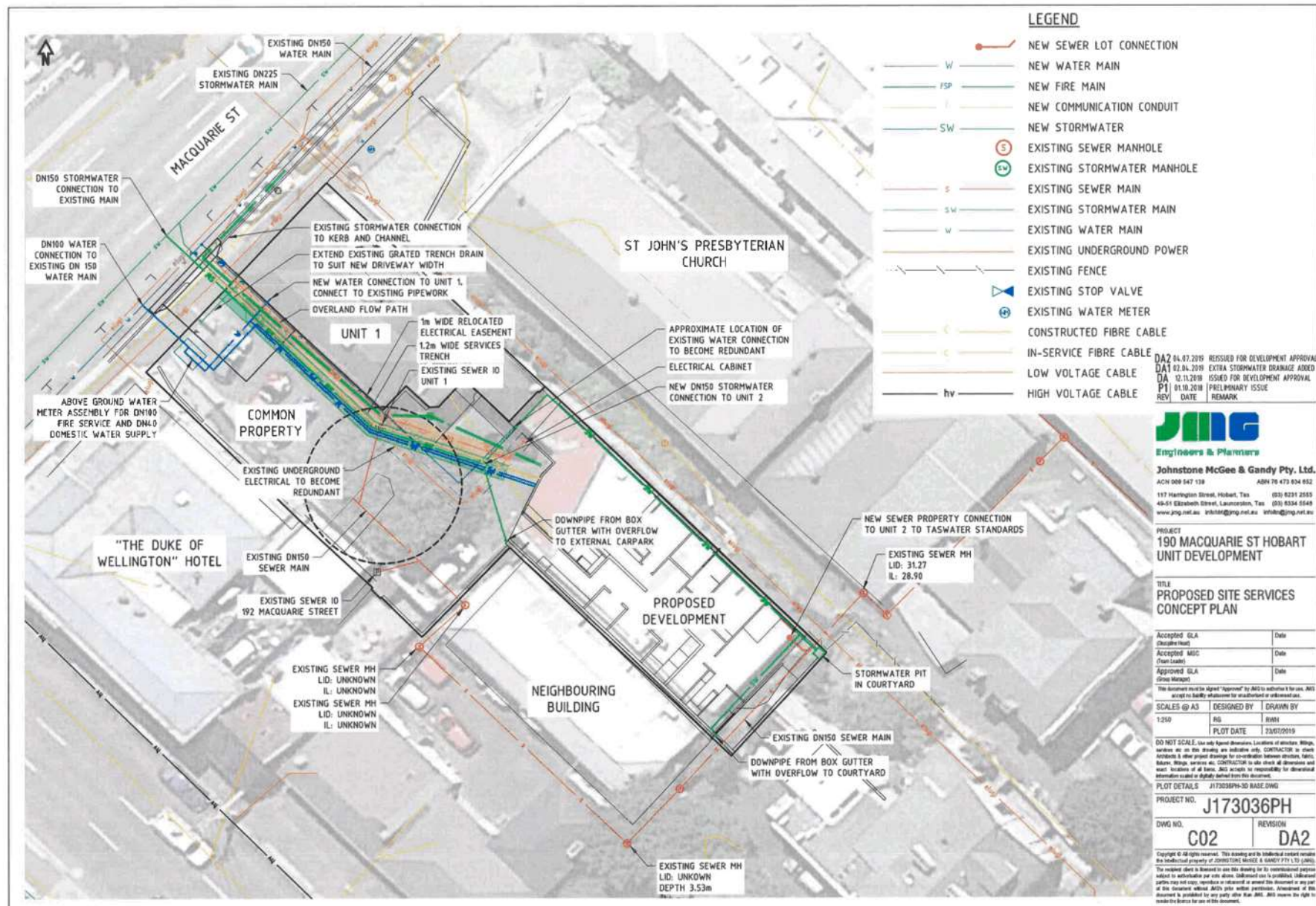
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INFORMATION
190 MACQUARIE ST
HOBART TAS 7000

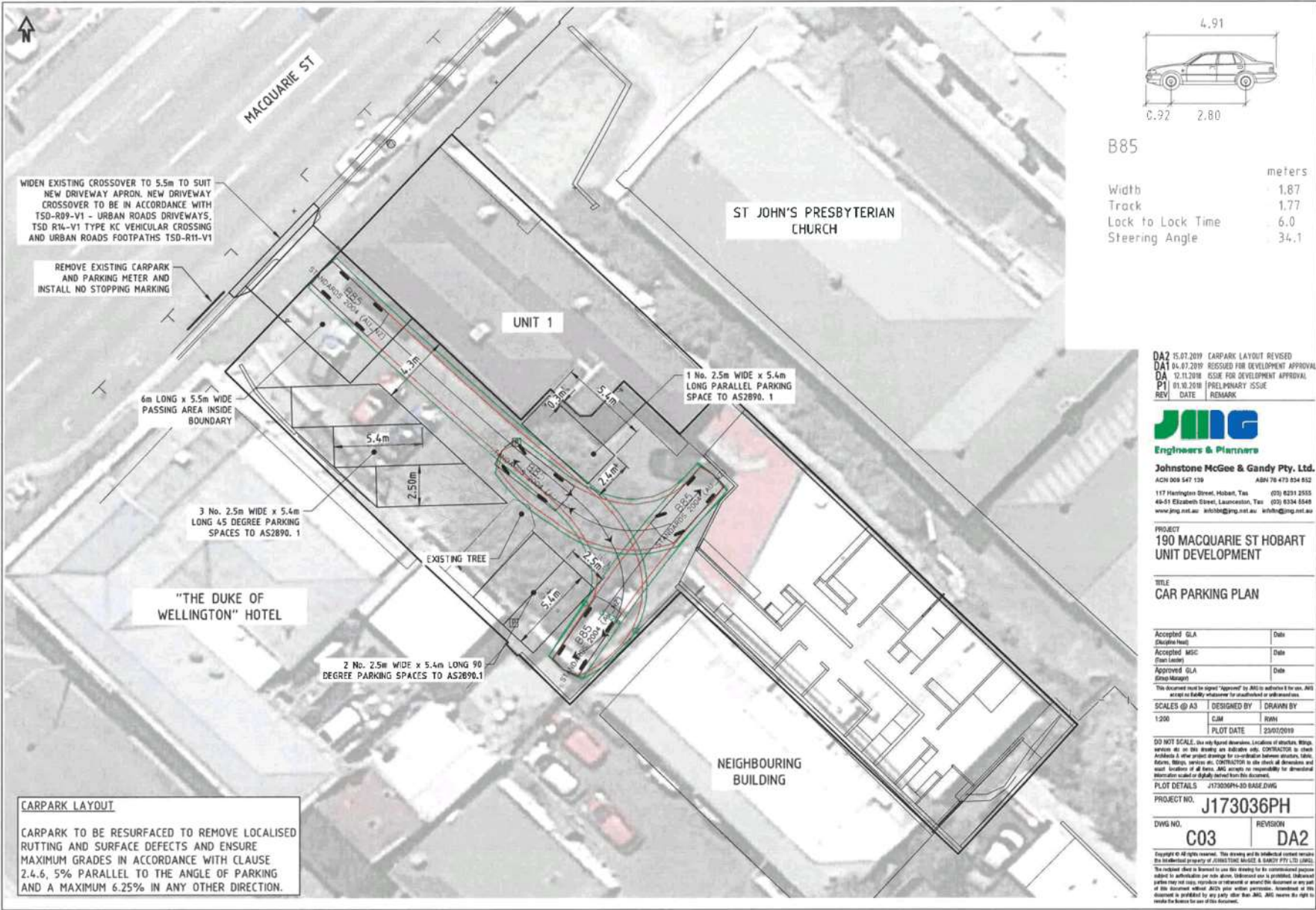
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REVISION	CHECKED	DRAWING REV
CA-02	kg	01.09

APPENDIX B

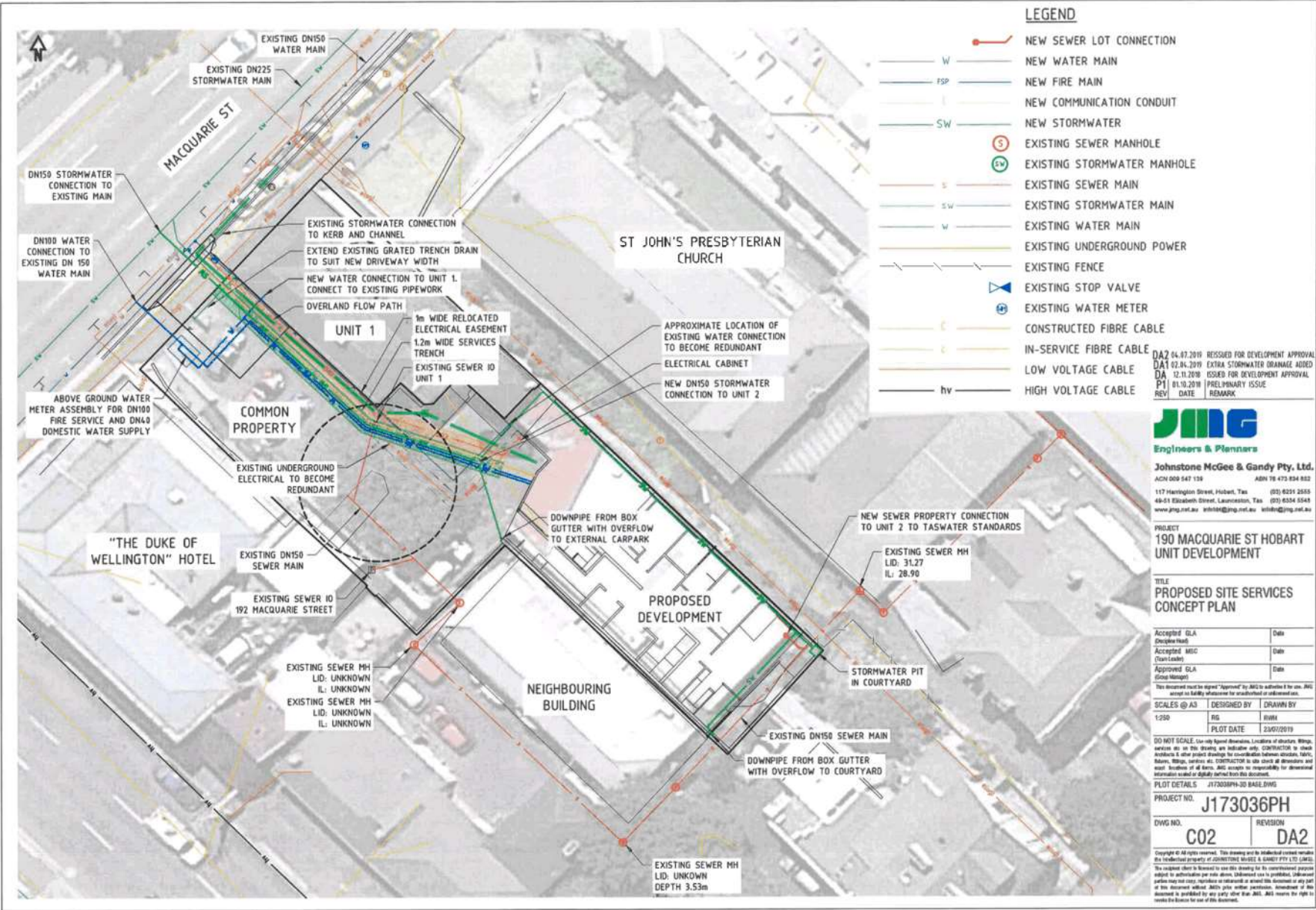
SERVICES PLANS AND TURNING PATHS

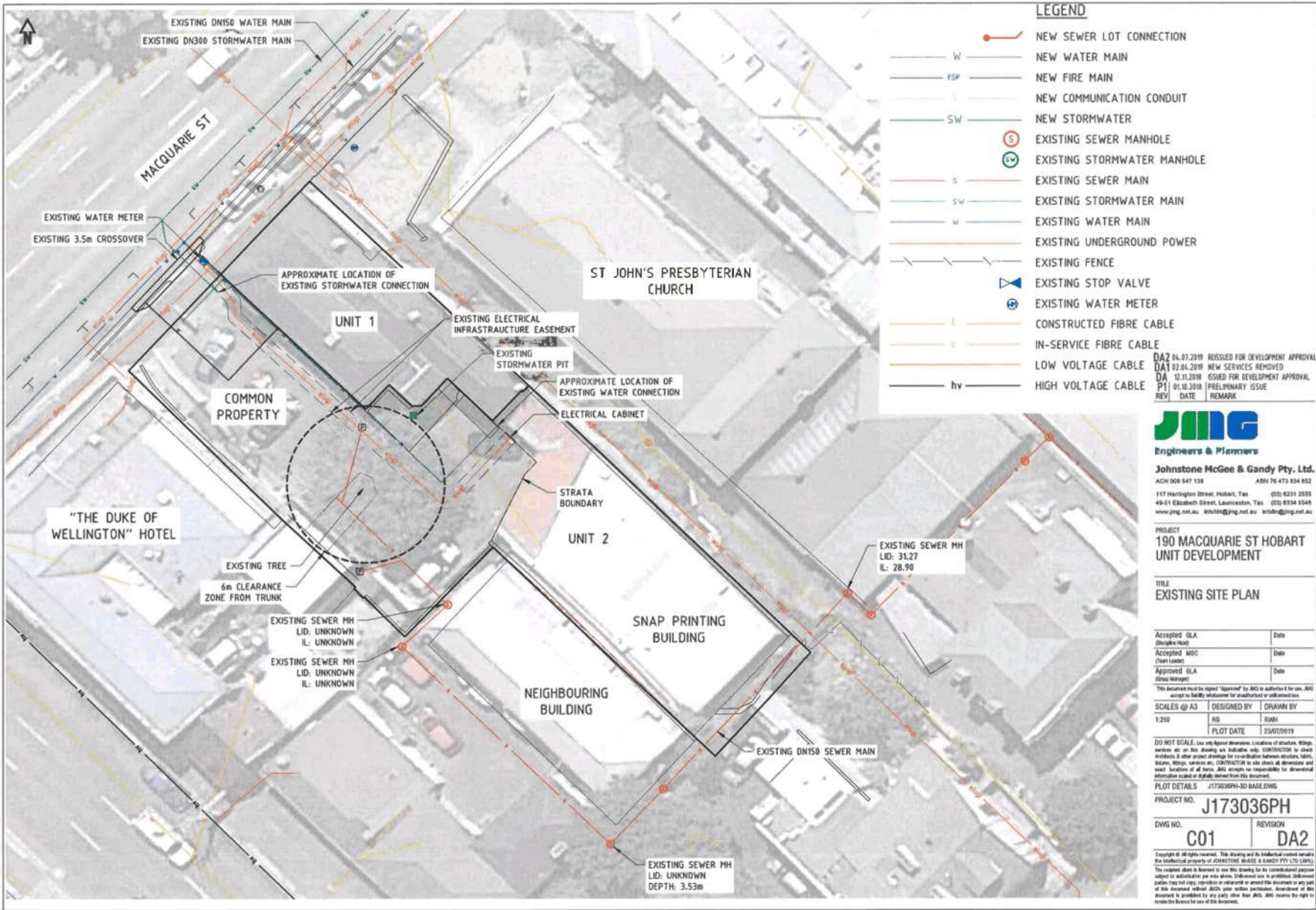






APPENDIX C
DBYD PLANS





APPENDIX B

SERVICES PLANS AND TURNING PATHS



NOTES:

1. **Builder to verify all dimensions and levels on site prior to commencement of work;**
2. **All construction work shall be carried out in accordance with Planning and Building permits;**
3. **All work to be carried out in accordance with the Building Co-Australian/Colonial Construction Code, relevant Australian Standard local government regulations etc;**
4. **Materials and workmanship to conform with state building regulations, local council by laws and relevant BCA codes, Australian standards and manufacturers specifications;**
5. **Do not scale off drawing - dimensions to take precedence in scale. Occupancy to be reported to architect immediately.**

1. Builder to verify all dimensions and levels on site prior to commencement of work;
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3. All work to be carried out in accordance with the Building Code of Australia/National Construction Code, relevant Australian Standard government regulations etc;
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5. Do not scale off drawing - dimensions to take precedence over scale. Discrepancy to be reported to architect immediately.



1 PROPOSED SECOND FLOOR
SCALE 1:100



2 PROPOSED THIRD FLOOR PLAN
SCALE 1:100

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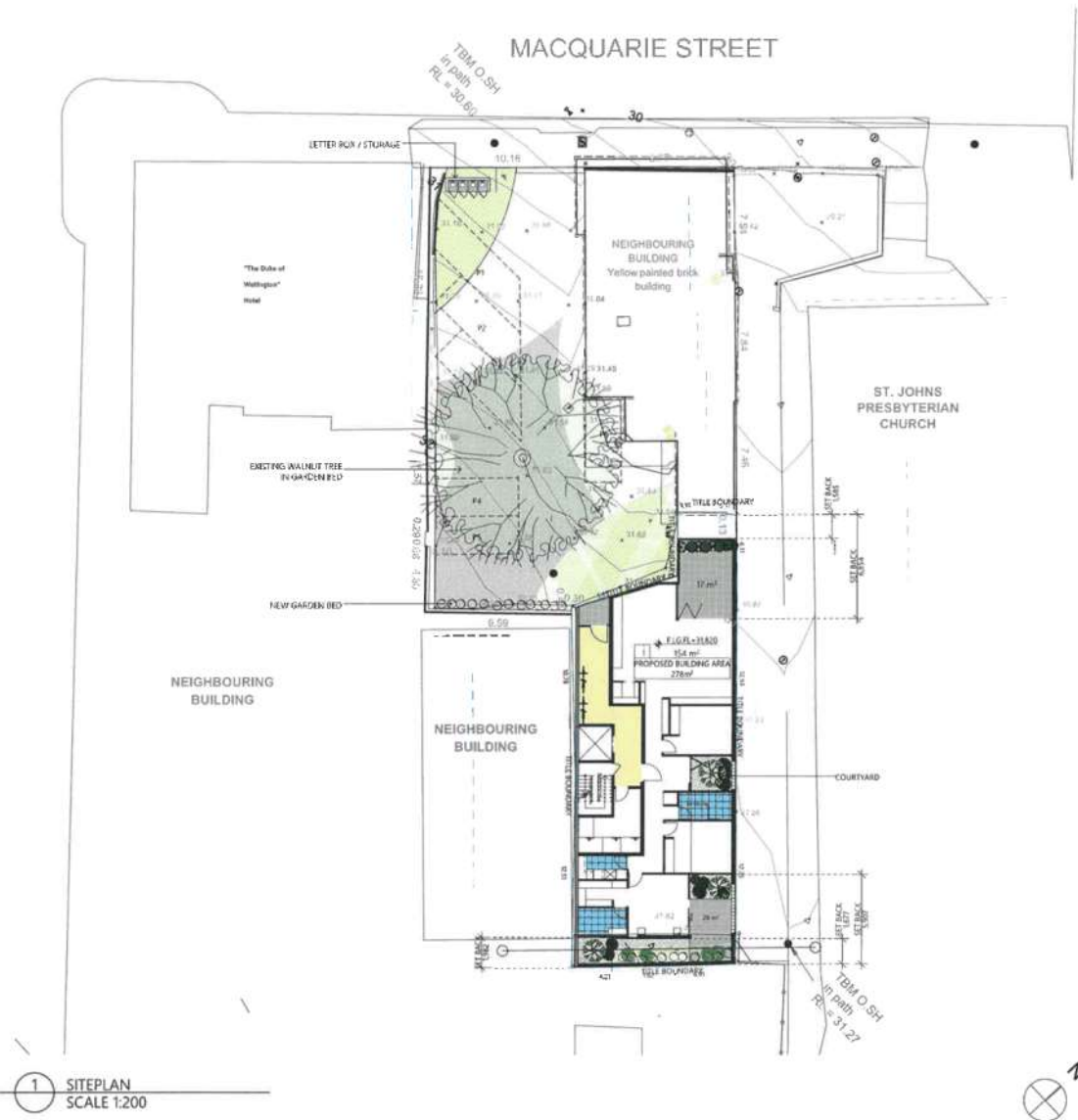


- NOTES
1. Builder to verify all dimensions and levels on site prior to commencement of work.
 2. All construction work shall be carried out in accordance with Planning and Building permits.
 3. Effluent to be carried out in accordance with the following: City of Australia National Construction Code, relevant Australian Standard local government regulations etc.
 4. Materials and workmanship to conform with state building regulations, local council by laws and relevant BCA needs, Australian standards and manufacturers specifications.
 5. Do not scale off drawing - dimensions to take precedence over scale. Discrepancy to be reported to architect immediately.

CYKEL 160702 100 MAC 24/07/2019 10:24 AM

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					DA-01	190 MACQUARIE ST 4th FLOOR PLAN	28/07/2019		160702	23/07/2019	1:100 @A2
									revision	checked	by

- NOTES:
- 1. Builder to verify all dimensions and levels on site prior to commencement of work.
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 - 3. All work to be carried out in accordance with the Building Code of Australia/National Construction Code, relevant Australian Standard local government regulations etc.
 - 4. Materials and workmanship to conform with state building regulations, local council by laws and relevant BCA codes, Australian standards and manufacturers specifications.
 - 5. Do not scale off drawing - dimensions to take precedence over scale. Discrepancy to be reported to architect immediately.

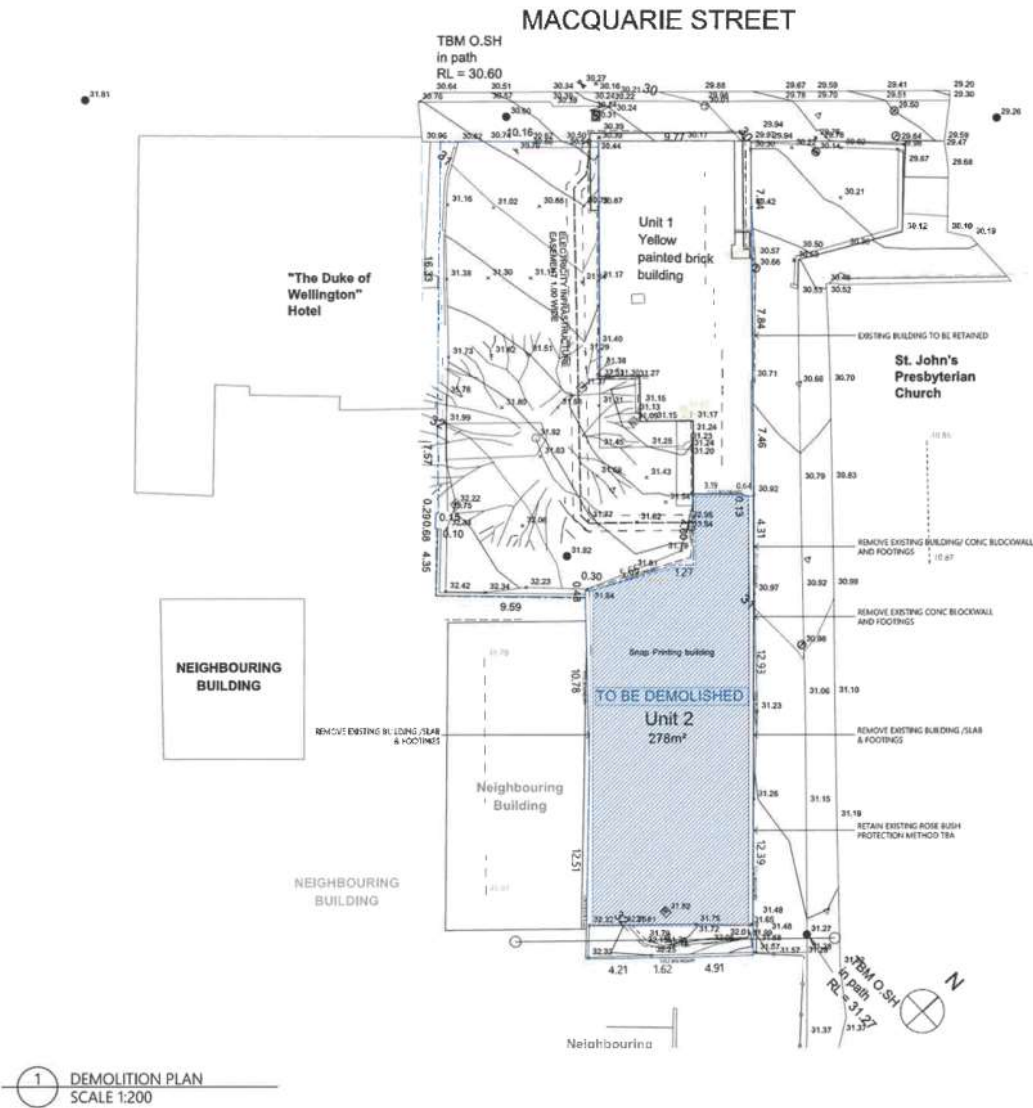


1 SITEPLAN
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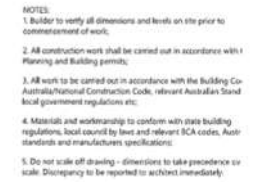
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Project no	160702	date	23/07/2019	scale	1:200 @A2																		
revision	DA-02	checked	ig	drawing no	01.05																		

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	CYKEL ARCHITECTURE level 2 / 51 Murray 17 Murray St, Hobart, Tas 7000 t: 03 5330 5144 e: stephen@cykelarchitecture.com.au www.cykelarchitecture.com.au	PROJECT: 190 MAC, 190 MACQUARIE ST HOBART TAS 7000 DRAWING: DEMOLITION PLAN		REV	DESCRIPTION	DATE		DESIGNED	DATE	SCALE			
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											CHECKED	25/07/2019	
											REVIEWER	01/04	
											DA-01	01/04	



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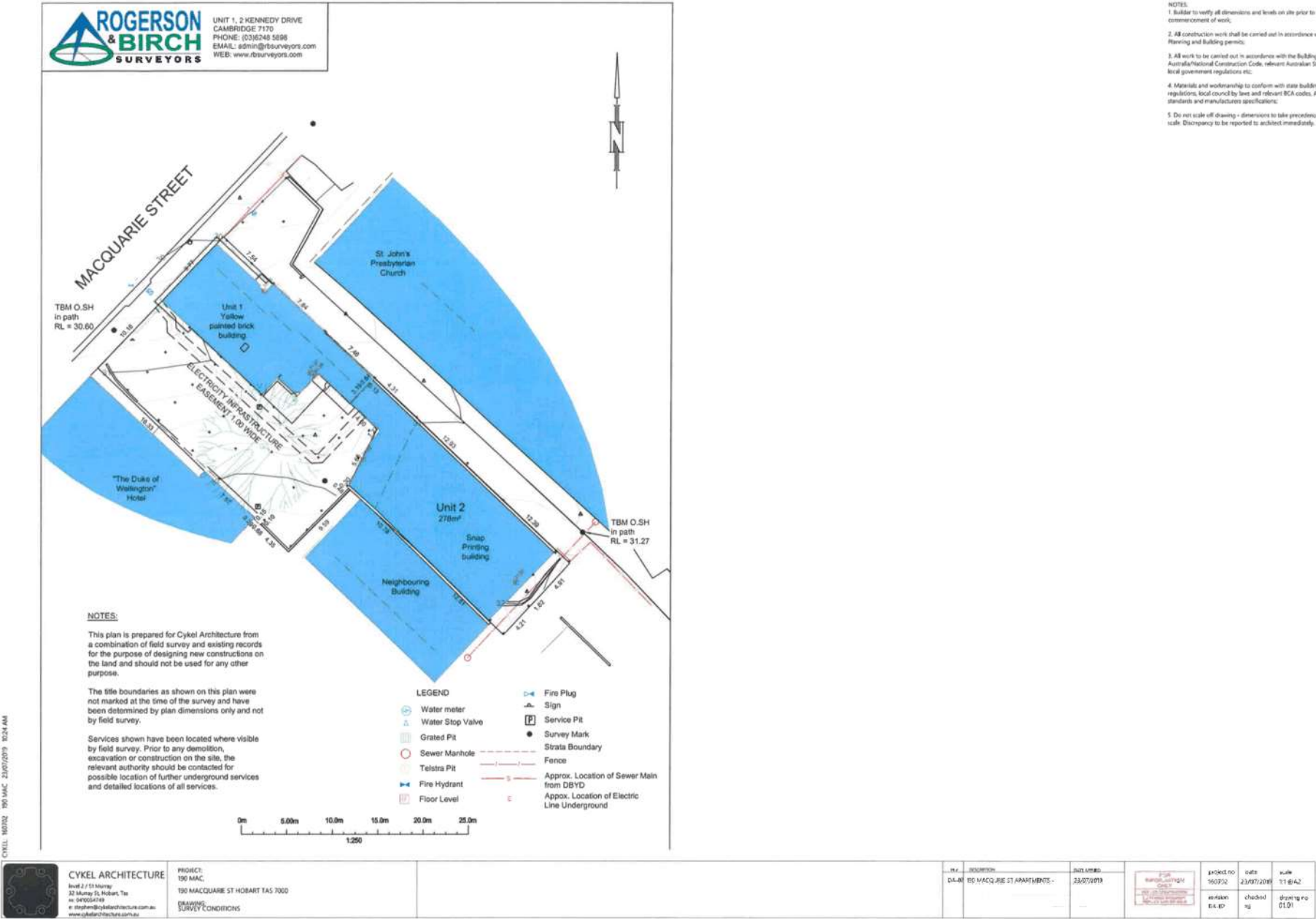
- NOTES:
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1 LOCATION PLAN
NOT TO SCALE

CYKEL 160702 192 MAC 28/07/2019 10:24 AM

	CYKEL ARCHITECTURE level 2 / 11 Murray 82 Murray St, Hobart, Tas t: 0410054148 e: info@cykelarchitecture.com.au www.cykelarchitecture.com.au	PROJECT: 190 MAC, 190 MACQUARIE ST HOBART TAS 7000 DRAWING: LOCATION PLAN		REV.	DESCRIPTION	DATE/APP'D		project no	date	scale
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								DA-02	sg	01.02



PROJECT: 190 MAC
ISSUE: DA-02

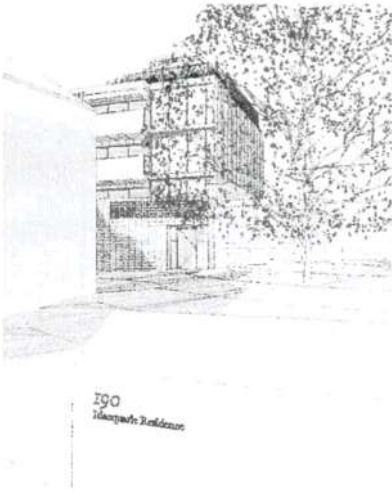
PROJECT NO: 160702
ADDRESS: 190 MACQUARIE ST HOBART TAS 7000
DATE OF ISSUE: 23/07/2019

PROPERTY ID.: PHOLIO :0 FLAT : 2
TITLE REFERENCE: 96378

CLIMATE ZONE: 7
BAL RATING: N/A
PLANNING SCHEME:

DRAWING SCHEDULE

- 01.01 SURVEY CONDITIONS
- 01.02 LOCATION PLAN
- 01.03 EXISTING PLAN
- 01.04 DEMOLITION PLAN
- 01.05 PROPOSED SITE PLAN / BOUNDARY
- 01.06 PROPOSED GROUND FLOOR PLAN
- 01.07 PROPOSED LEVEL 1 PLAN
- 01.08 LEVEL 2 & 3
- 01.09 LEVEL 4 & ROOF PLAN
- 01.10 ELEVATIONS
- 01.11 ELEVATIONS
- 01.12 ELEVATIONS
- 01.13 SOUTHERN CONTEXT ELEVATION
- 01.14 SECTION AA
- 01.15 SECTION BB
- 01.16 LANDSCAPE PLAN
- 01.17 STREET VIEW
- 01.18 DAVEY STREET VIEW




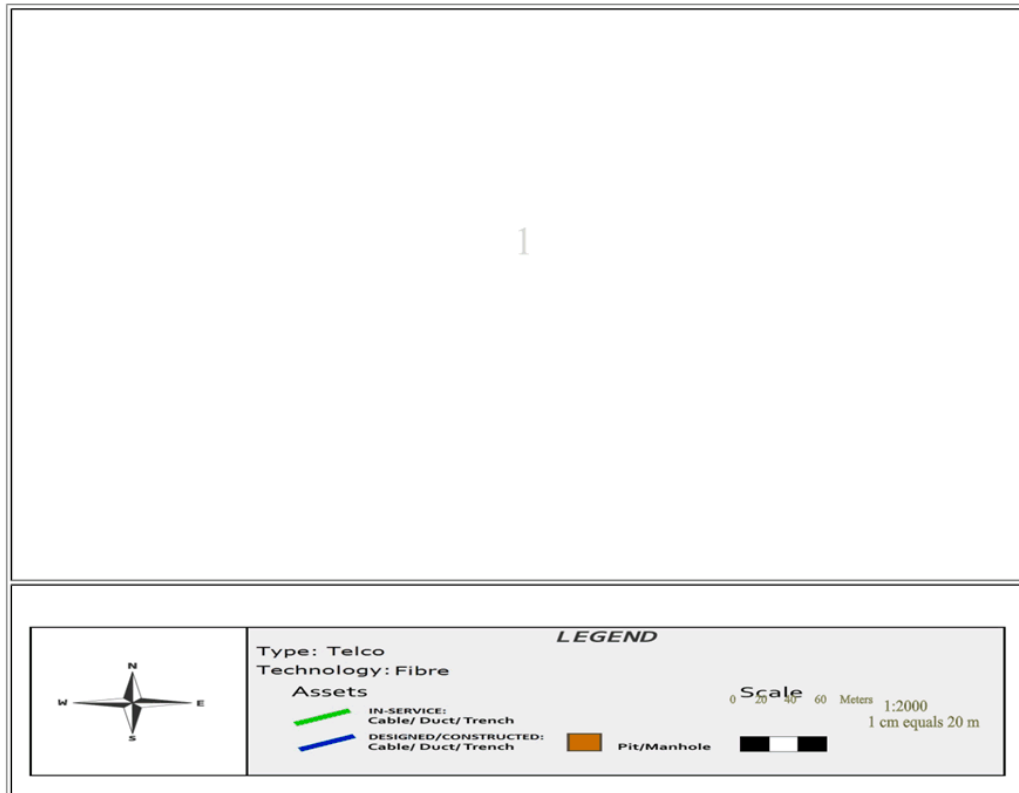
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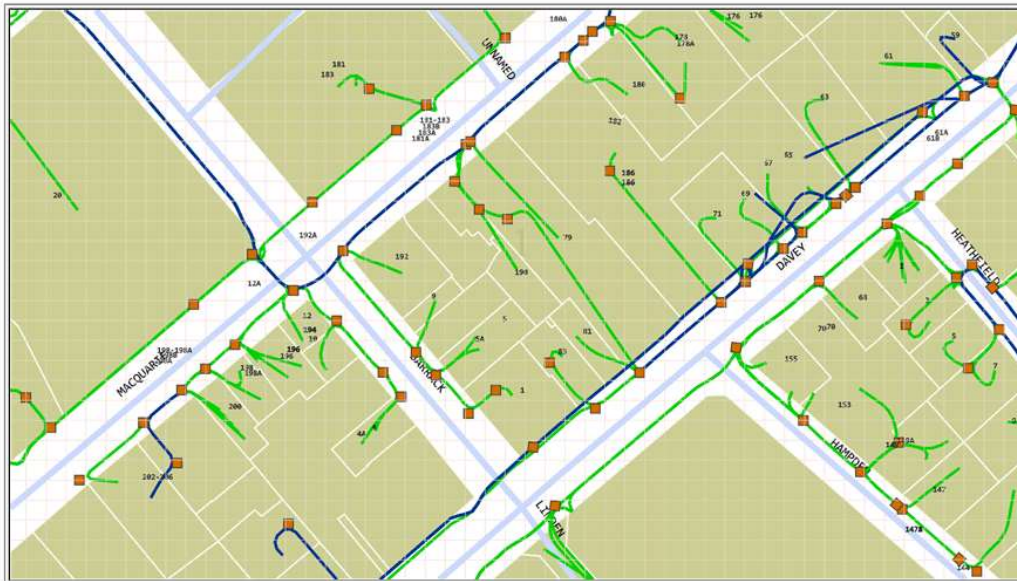
	CYKEL ARCHITECTURE level 2 / 20 Henry 124 Macquarie St, Hobart, Tas 7000 t: 03 6260 2248 e: helen@cykelarchitects.com.au www.cykelarchitects.com.au	ADDRESS: 190 MAC, 190 MACQUARIE ST HOBART TAS 7000	DRAWING: COVER	NO.	DESCRIPTION DA-02 190 MACQUARIE ST APARTMENTS -	DATE & TIME 23/07/2019		PROJECT NO	DATE	SCALE
								160702	23/07/2019	1:1
								revision	checked	drawing no
								DA-02	89	COVER



Indicative Plans

Issue Date:	10/05/2018	
Location:	190 Macquarie Street, Hobart, TAS-7000	





Emergency Contacts

You must immediately report any damage to **nbn™** network that you are/become aware of.
Notification may be by telephone - 1800 626 329.

12 May 2018

Ms Susan Turner

Johnstone McGee & Gandy Pty Ltd

117 Harrington Street, Hobart 7000

Sequence: 71318575



Location specified in request (Site): 190 Macquarie Street, Hobart

TasNetworks HAS RECORDS OF UNDERGROUND ASSETS IN OR AROUND THE SITE

Thank you for your recent Dial Before You Dig inquiry. TasNetworks works with Dial Before You Dig to provide you with:

- a) information regarding our records relating to the general location of any underground assets owned by TasNetworks located in the vicinity of the Site;
- b) information regarding how to arrange on-site location services to assist you with identifying the exact location of TasNetworks' underground assets;
- c) general information on how to work safely near TasNetworks' underground and overhead assets; and
- d) your legal obligations:
 - i. not to unlawfully interfere with TasNetworks' assets (both underground and overhead); and
 - ii. to notify TasNetworks of work that may affect our assets (both underground and overhead).

Our assets

TasNetworks owns and maintains both electrical and fibre optic assets. These assets may be located underground or overhead.

Our records

TasNetworks has records that there are underground assets owned by TasNetworks located in or around the Site. The approximate locations of these underground assets are set out in the plans **enclosed**. Please note that the plans and information provided with this letter are a guide only and may not provide an exact location of TasNetworks' underground assets. To ensure that the exact location of TasNetworks' assets has been marked out before you start works please arrange an on-site location.

Your obligations

It is important that you understand what your obligations are when it comes to working in the vicinity of TasNetworks' underground assets. You must:

- undertake your own searches, investigations, and enquiries to ensure that the information provided in this letter is accurate, reliable and complete;

TasNetworks Pty Ltd
ABN 24 167 357 299
PO Box 606, Moonah Tasmania 7009

12 May 2018

71318575

190 Macquarie Street, Hobart

- obtain updated plans from TasNetworks if you undertake work more than 30 days from the date of this letter. Updated plans will be provided free of charge at your request;
- when undertaking any work near any of TasNetworks' assets, work safely, exercising reasonable skill, care and diligence so that you do not interfere with any of TasNetworks' assets. We note that it is an offence under section 109 of the *Electricity Supply Industry Act 1995* (Tas) to interfere with TasNetworks' electrical infrastructure or an electrical installation without TasNetworks' consent;
- provide us with notice at least 7 business days prior to the proposed works. We note that failure to provide TasNetworks with this notice is an offence under section 110 of the *Electricity Supply Industry Act 1995* (Tas); and
- **IMMEDIATELY REPORT ANY DAMAGE TO TasNetworks NETWORK TO 13 2004.**

Working near electricity infrastructure

Electricity infrastructure is inherently dangerous. As such, it is fundamental that you treat electricity with respect.

On-site Location Services

As the location of TasNetworks' assets on the enclosed plans are approximate only, TasNetworks recommends you engage the services of an accredited cable location service provider to ascertain the exact location of such assets. Contact information for cable location and underground service location services can be found in the Yellow Pages at www.yellowpages.com.au under "cable location" or through the National Utility Locating Contractors Association at www.nulca.com.au.

Private assets

TasNetworks does not maintain records for privately owned infrastructure. As such, the information provided in this letter does not include information regarding privately owned cables and/or other infrastructure (both underground and overhead). You will need to make further enquiries about the location of privately owned assets with the relevant property owner.

TasNetworks will not be liable to you or any person for any loss or damage (whether direct, indirect, special, consequential or otherwise) suffered or incurred if you (or any other person) act, or fail to act, on any information set out in this letter.

Regards,

Emily

Customer Service Centre Officer,
TasNetworks Pty Ltd

Phone: 1300 137008
Fax: 03 6237 3453

TasNetworks Pty Ltd
ABN 24 167 357 299
PO Box 606, Moonah Tasmania 7009



MAP LEGEND INFORMATION

HV	- High Voltage
LV	- Low Voltage
UG	- Underground
OH	- Overhead
Std	- Standard



Key to symbols used on TasNetworks underground asset plans

---	Streetlight cable	—	Potend Or Joint	□	Manhole	○	HV, LV Pole
----	Service Duct	▢	Cabinet	□	Service Pit	▭	Steel/concrete Pole
—●	Sealed end on UG Cable	S%	Turret with switch	●	Service Post	●H	Std Fuse Base with lamp
		□	Feeder Pillar	T	Telephone Cabinet	▭	Road Crossing duct

▨	Zone Substation	▨	Substation	H L	Typical section through crossing
				2-125 PVC	

Underground Cable (Black/White plans)

—	HV/LV Cable
---	-------------

Underground Cable (Colour plans)

----	HV Cable	-----	LV Cable
------	----------	-------	----------

Key to symbols used on TasNetworks overhead asset plans (Colour plans)

—	OH powerline assets
---	---------------------

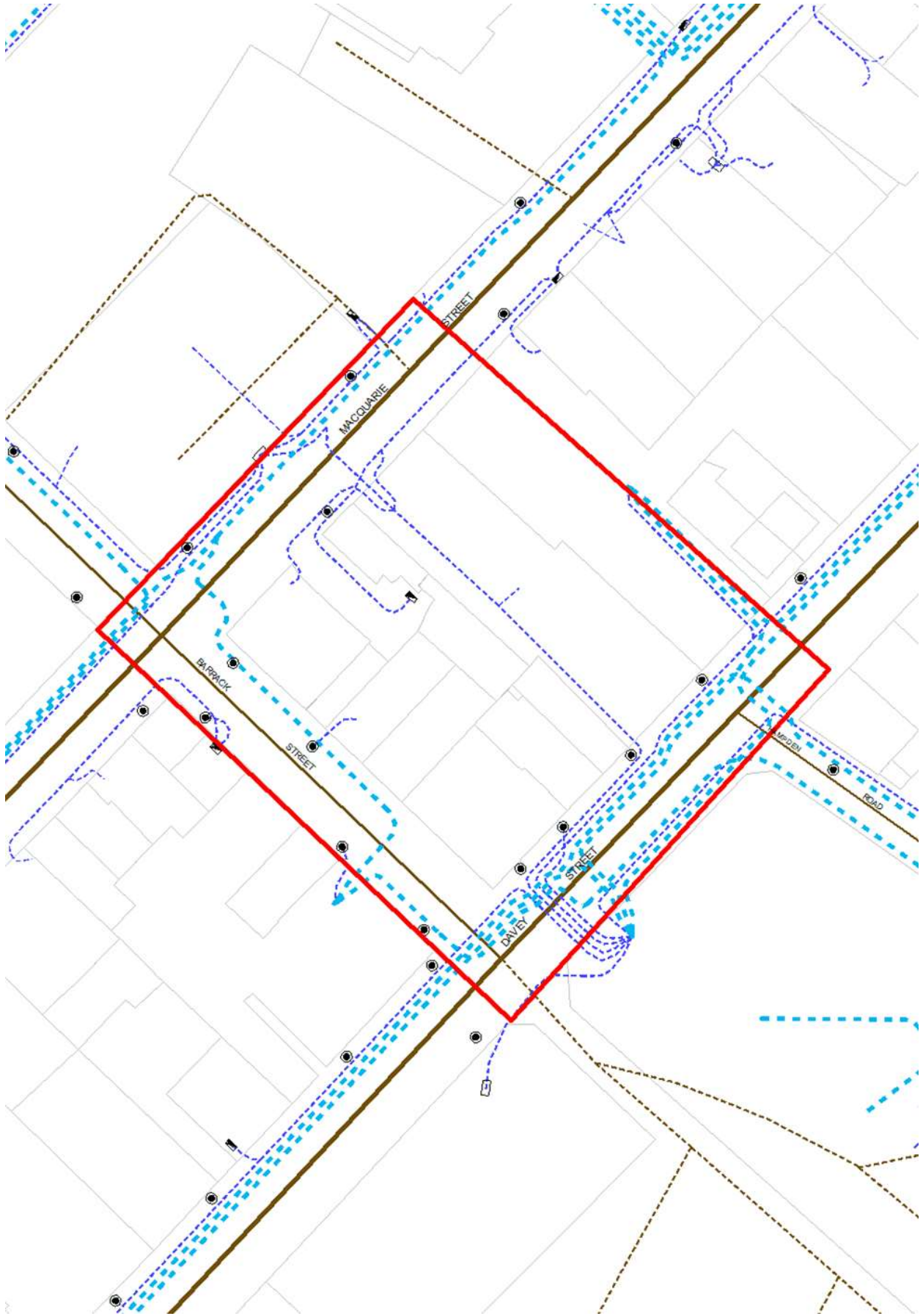
Key to generic symbols used on TasNetworks asset plans (Colour plans)

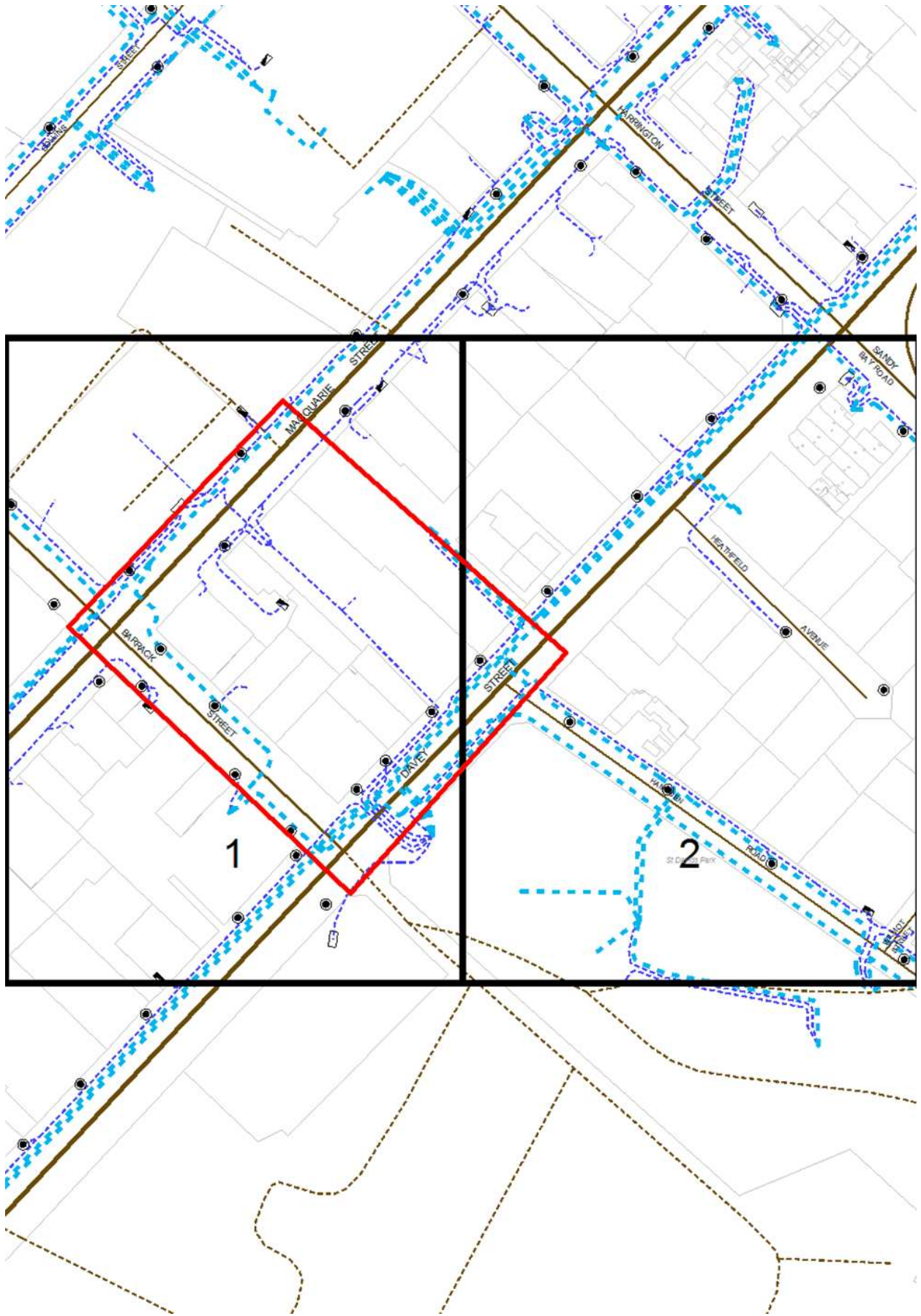
□	Property Parcel	15	Address Number
—	—	—	—
			Road Centrelines

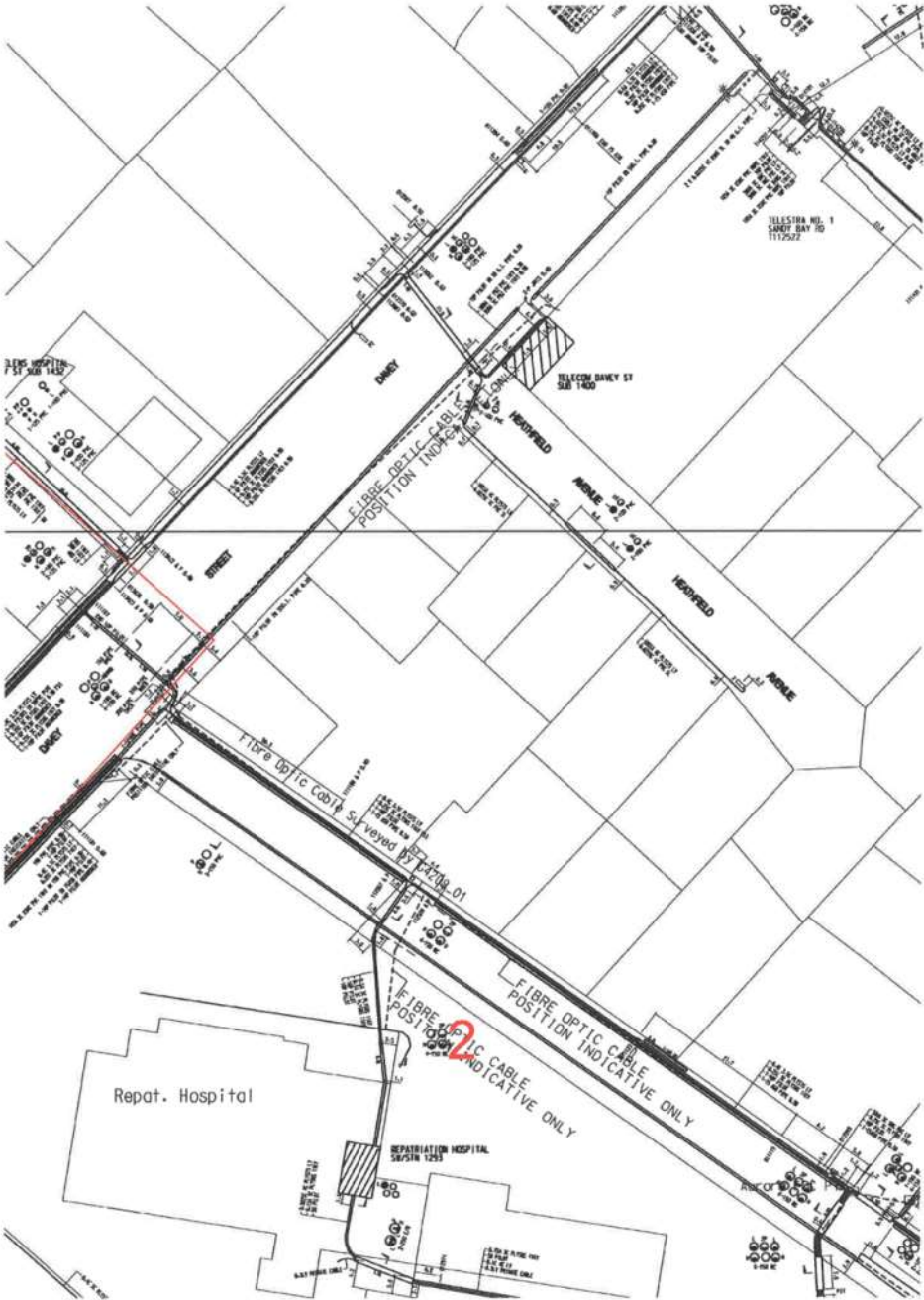
Plan description

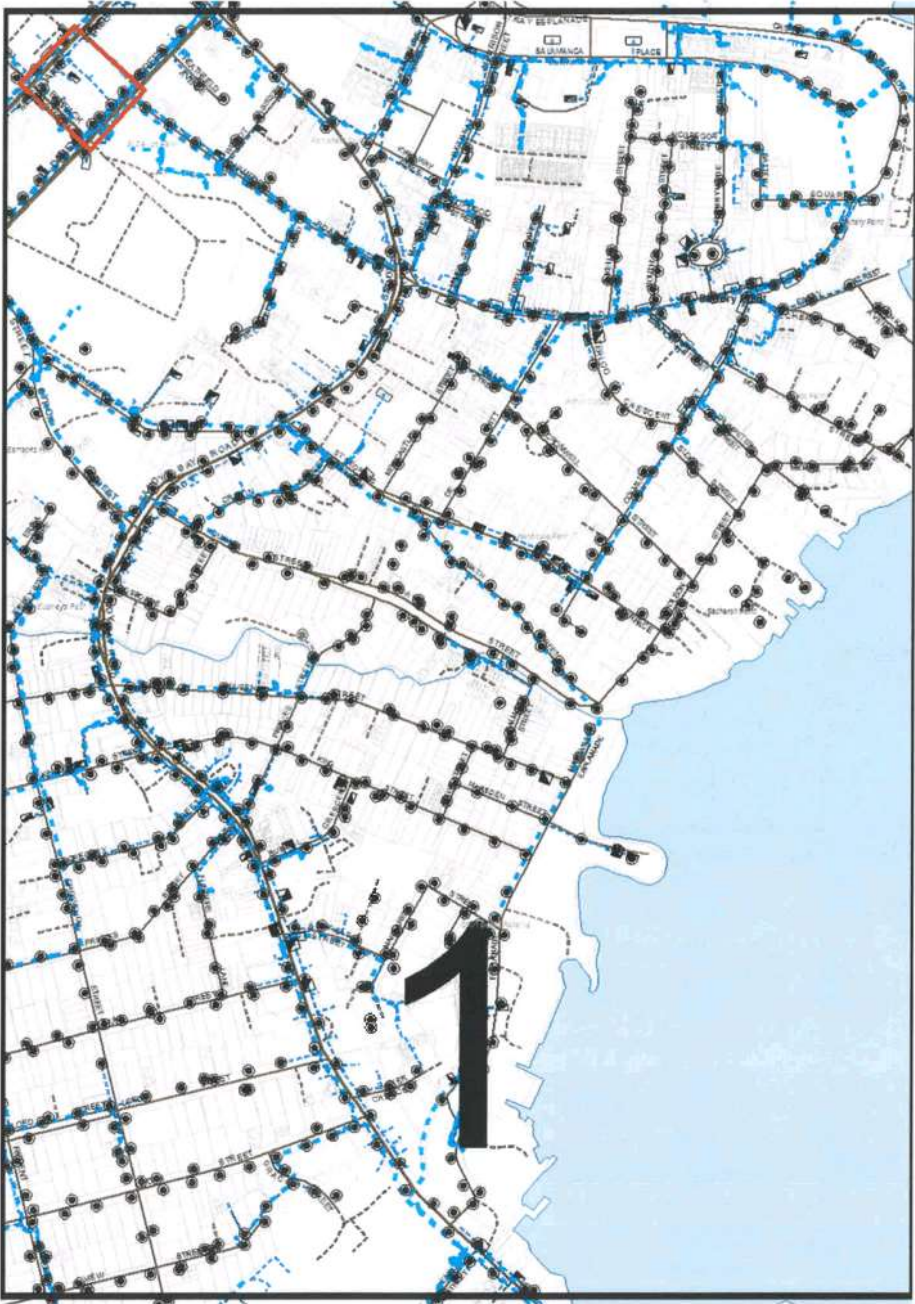
All maps on the following pages highlight the Site in a **bold red** colour.

- If underground electricity assets owned by TasNetworks exist within our records in the vicinity of the Site, a colour overview and index map is included, followed by black and white underground asset detail plan(s). TasNetworks-owned or modelled underground electricity assets are shown as either **dashed blue** or **solid black** lines as defined in the above legend.
- If overhead powerline assets owned or modelled by TasNetworks exist within our records in vicinity of the Site, a colour overview and index map is included followed by colour overhead powerline assets plan(s). TasNetworks-owned or modelled overhead powerline assets are shown as **bold blue** lines as defined in the above legend.





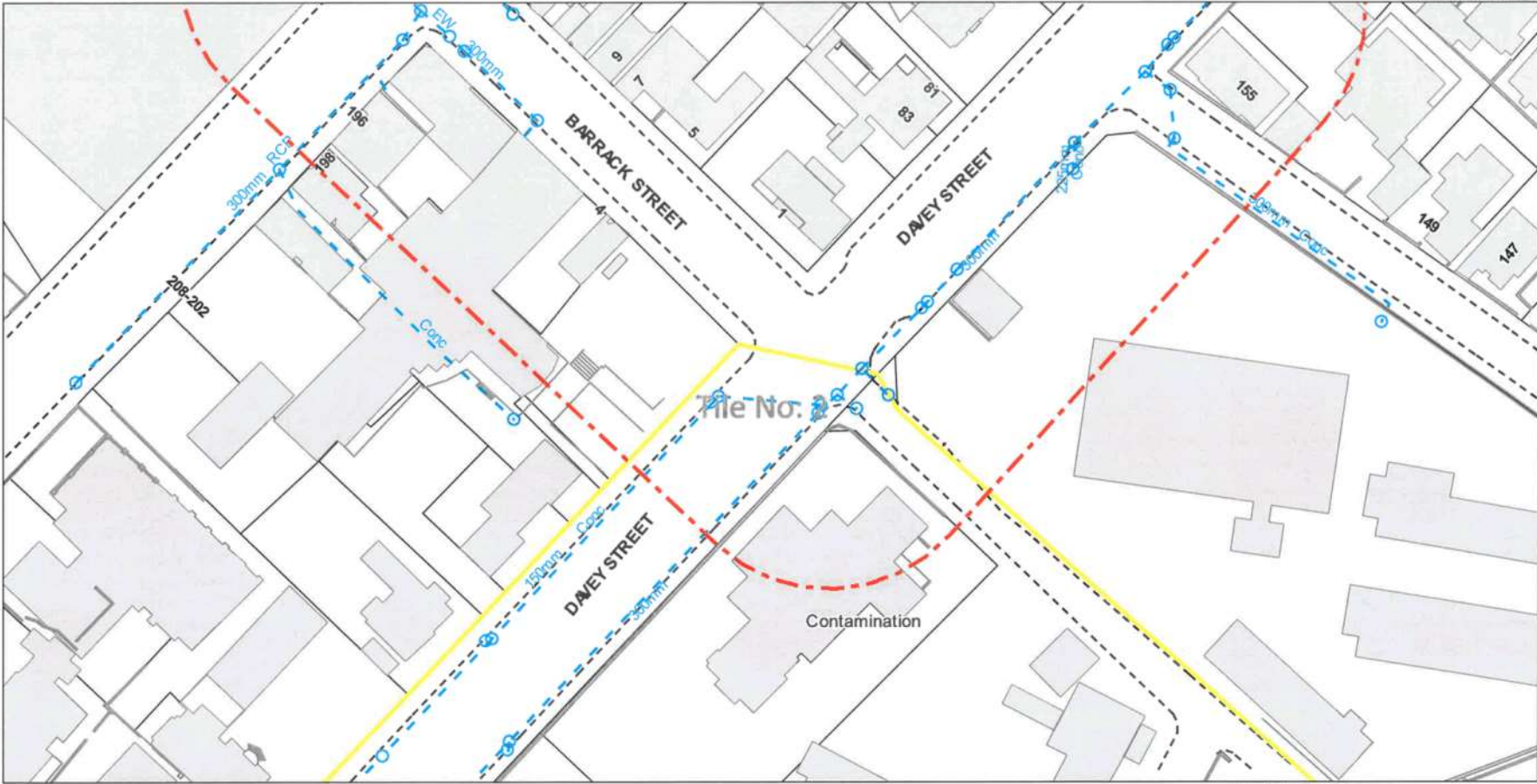






Hobart City Council

Location of Works: 190 Macquarie Street, Hobart, TAS 7000



Create Date: 10/05/2018
Sequence Number: 71318577
DBYD Job Number: 14191617

The Hobart City Council does not warrant the information contained on this plan is correct.
A field survey must be conducted before the information contained in this plan is relied upon.
Please refer to the "Important Information for Customers" included with this plan for further details.

DISCLAIMER: While reasonable measures has been taken to ensure the accuracy of the information contained in this plan response, neither Hobart City Council or PelicanCorp shall have any liability whatsoever in relation to any loss, damage, cost or expense arising from the use of this plan response or the information contained in it or the completeness or accuracy of such information. Use of such information is subject to and constitutes acceptance of these terms.

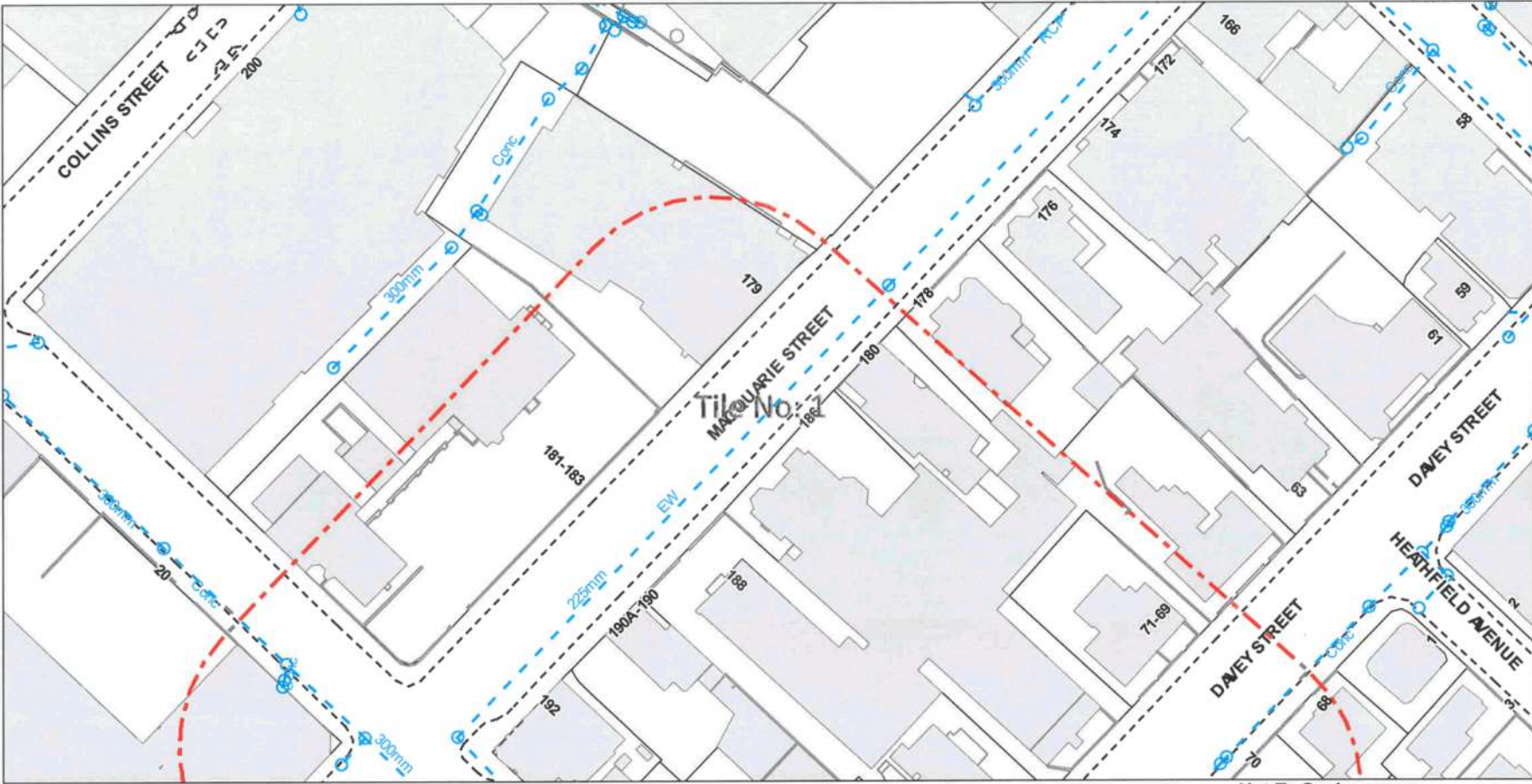
Not To Scale



- Drainage Pits or Manholes
- Drainage Pipes and Branches
- Electric and Communications
- DBYD Enquiry

Hobart City Council

Location of Works: 190 Macquarie Street, Hobart, TAS 7000



Not To Scale



Create Date: 10/05/2018
Sequence Number: 71318577
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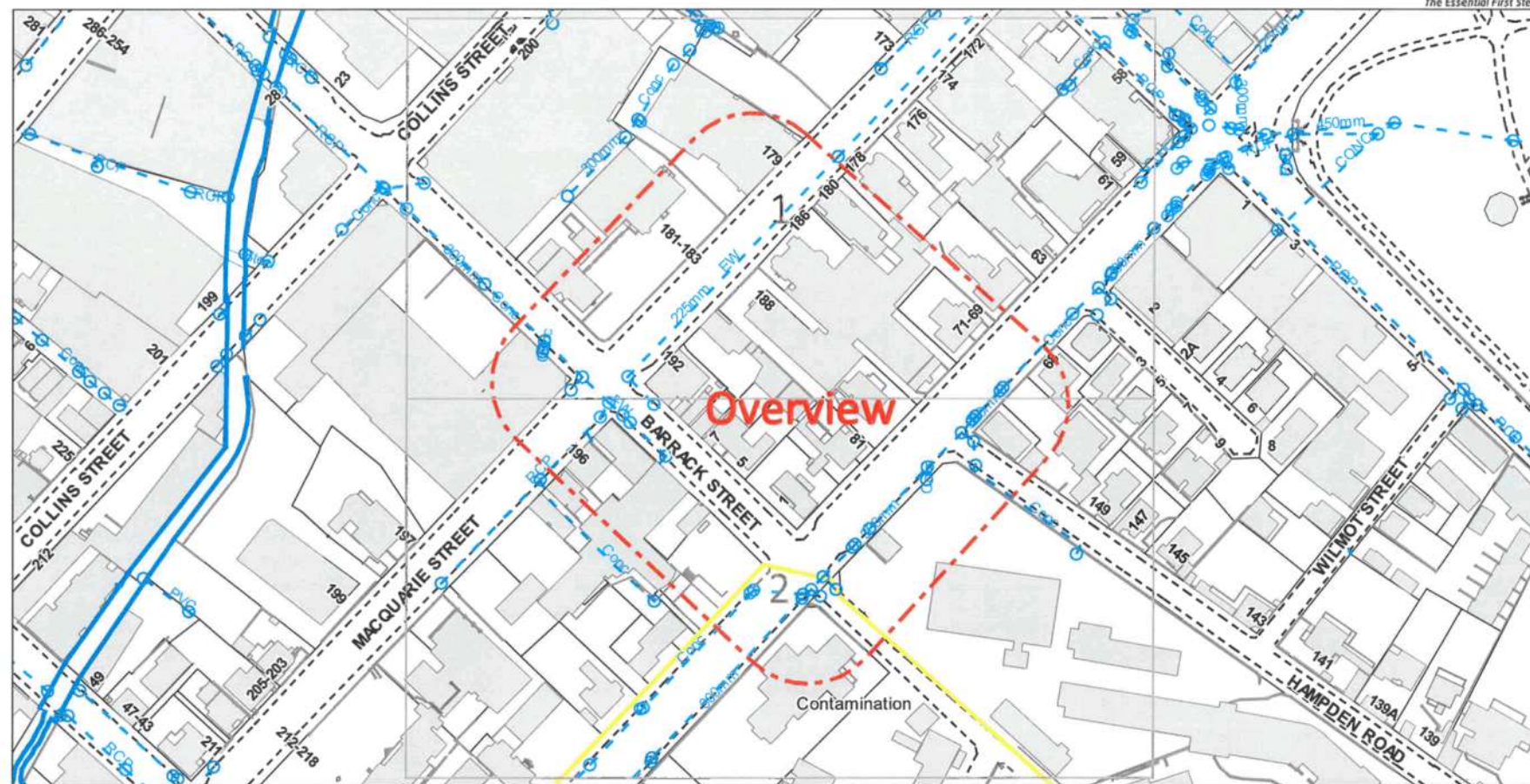
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- Drainage Pits or Manholes
- Drainage Pipes and Branches
- Electric and Communications
- DBYD Enquiry

Hobart City Council

Location of Works: 190 Macquarie Street, Hobart, TAS 7000



Create Date: 10/05/2018
Sequence Number: 71318577
DBYD Job Number: 14191617

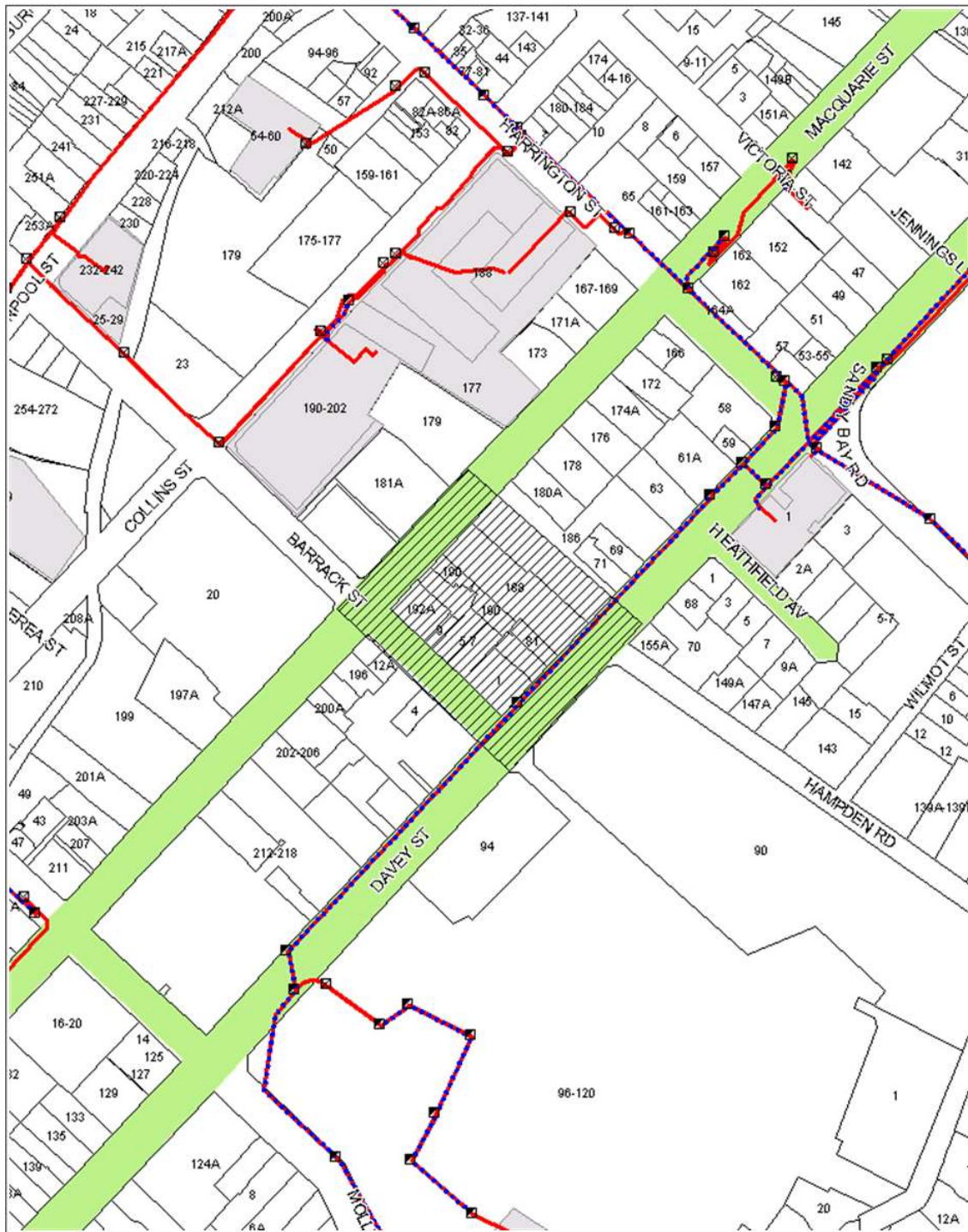
The Hobart City Council does not warrant the information contained on this plan is correct.
A field survey must be conducted before the information contained in this plan is relied upon.
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Not To Scale



- Drainage Pits or Manholes
- Drainage Pipes and Branches
- Electric and Communications
- DBYD Enquiry



WARNING: This document is confidential and may also be privileged. Confidentiality nor privilege is not waived or destroyed by virtue of it being transmitted to an incorrect addressee. Unauthorised use of the contents is therefore strictly prohibited. Any information contained in this document that has been extracted from our records is believed to be accurate, but no responsibility is assumed for any error or omission. Optus Plans and information supplied are valid for 30 days from the date of issue. If this timeline has elapsed please raise a new enquiry.

Sequence Number: 71318578

Date Generated: 10/05/2018

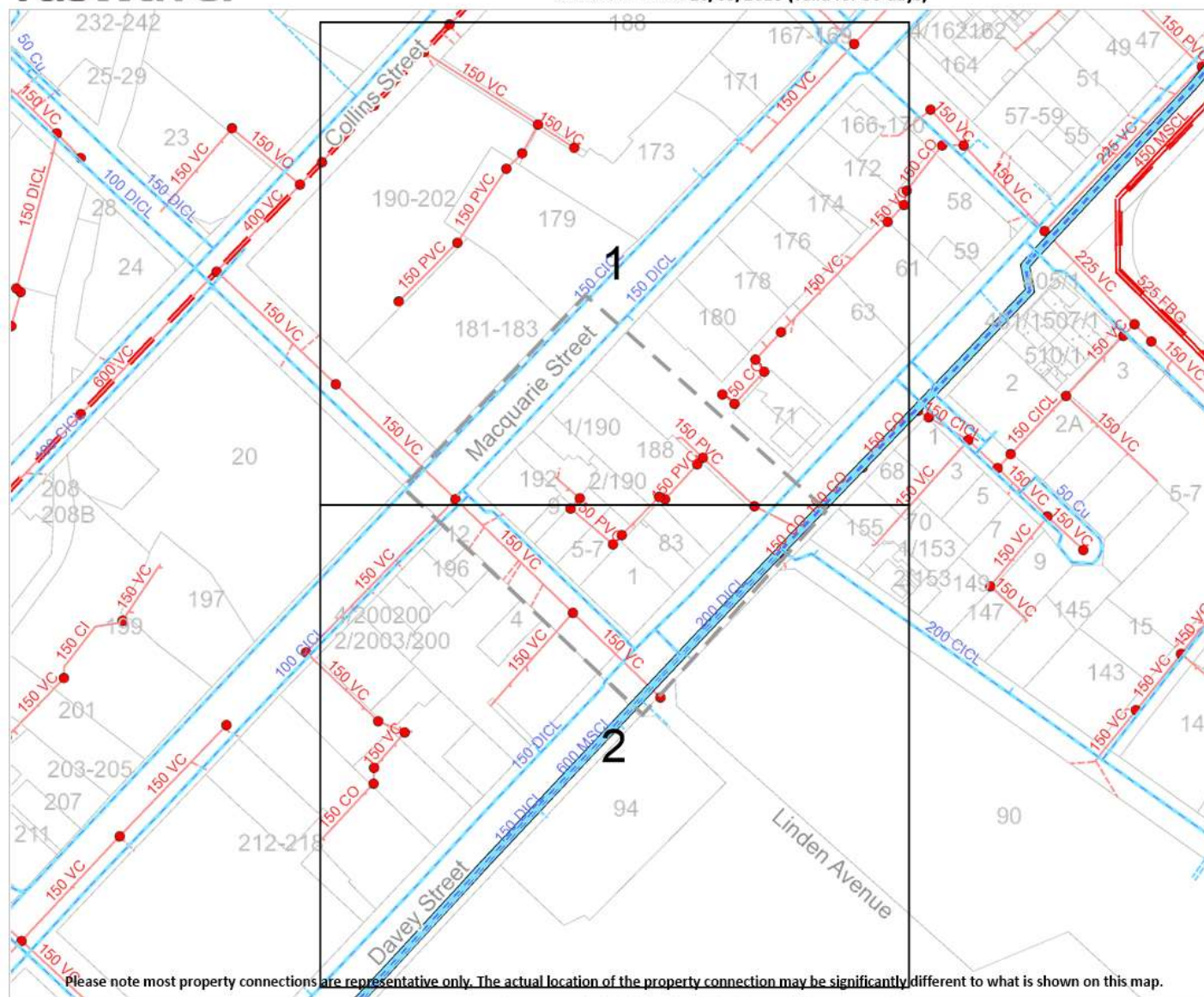


For all Optus DBYD plan enquiries –
Email: Fibre.Locations@optus.net.au
For urgent onsite assistance contact 1800 505 777
Optus Limited ACN 052 833 208





Sequence Number: **71318579**
 Location: 190 Macquarie Street, Hobart, TAS 7000
 Date Generated: **10/05/2018 (valid for 30 days)**



Please note most property connections are representative only. The actual location of the property connection may be significantly different to what is shown on this map.

Plans generated by PelicanCorp TicketAccess Software www.pelicancorp.com

Legend

- DBYD Enquiry
- [H] Fire Hydrant
- - - Water Property Connection
- Water Main
- Water Main (Critical)
- Sewer Maintenance Hole
- - - Sewer Property Connection
- Sewer Pressurised Main (Critical)
- Sewer Gravity Main (Critical)
- Sewer Gravity Main
- Stormwater Maintenance Hole
- - - Stormwater Property Connection
- Stormwater Gravity Main
- - - Recycled Water Property Connection
- Recycled Water Main
- A Abandoned Line Sewer

In an emergency contact TasWater
Phone: 13 6992



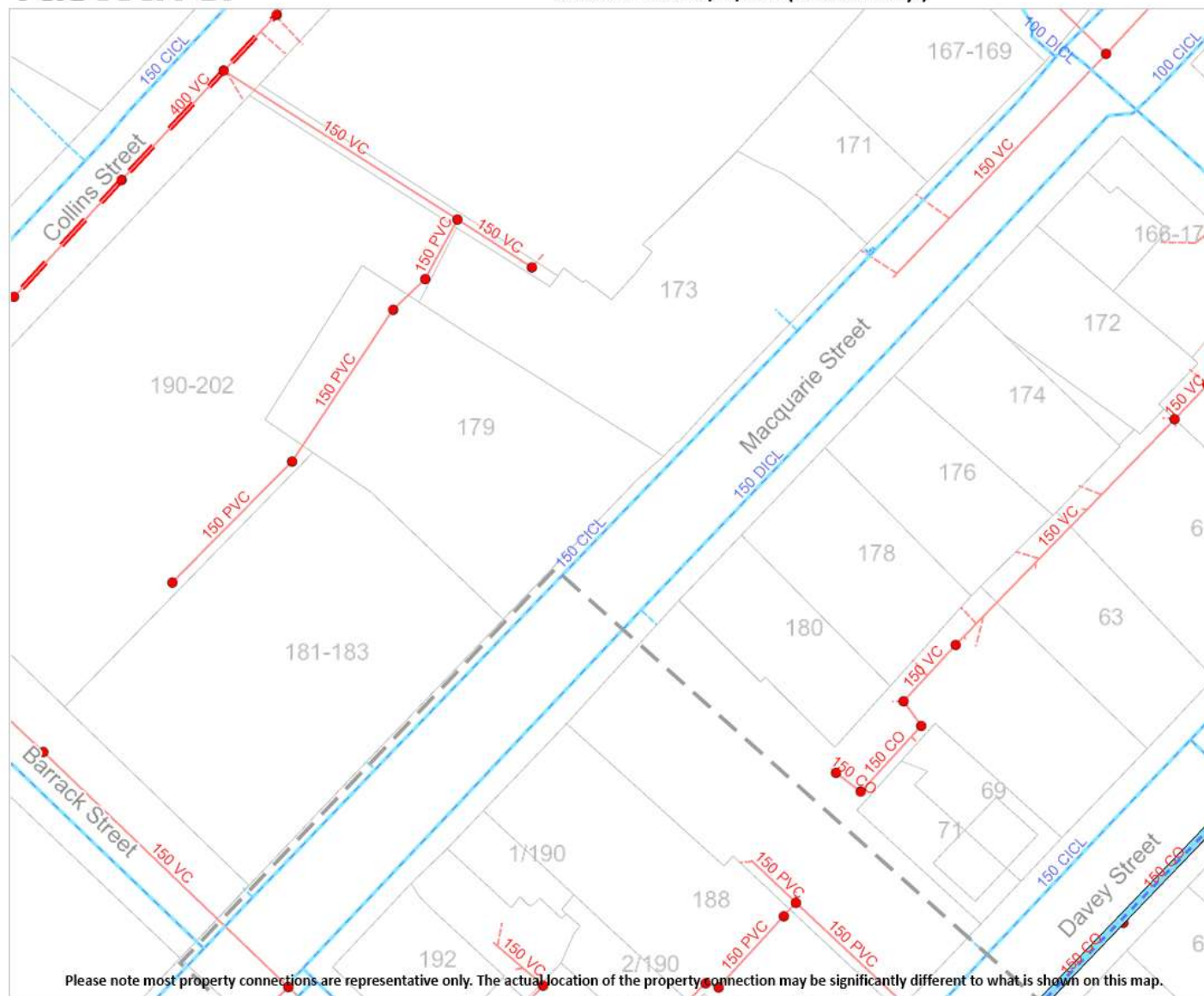
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Disclaimer: The plan is provided in response to a Dial Before You Dig request. While all reasonable care has been taken to ensure the accuracy of the information on this plan, its purpose is to provide a general indication of the location of TasWater infrastructure. The information provided may contain errors or omissions and the accuracy may not suit all users. A site inspection and investigation is recommended before commencement of any project based on this data.

TasWater Plan v4.0 (17/10/2017)



Sequence Number: **71318579**
 Location: 190 Macquarie Street, Hobart, TAS 7000
 Date Generated: **10/05/2018 (valid for 30 days)**



Please note most property connections are representative only. The actual location of the property connection may be significantly different to what is shown on this map.

Plans generated by PelicanCorp TicketAccess Software www.pelicancorp.com

Legend

- DBYD Enquiry
- [H] Fire Hydrant
- Water Property Connection
- Water Main
- Water Main (Critical)
- Sewer Maintenance Hole
- Sewer Property Connection
- Sewer Pressurised Main (Critical)
- Sewer Gravity Main (Critical)
- Sewer Gravity Main
- Stormwater Maintenance Hole
- Stormwater Property Connection
- Stormwater Gravity Main
- Recycled Water Property Connection
- Recycled Water Main
- A Abandoned Line Sewer

In an emergency contact TasWater
Phone: 13 6992



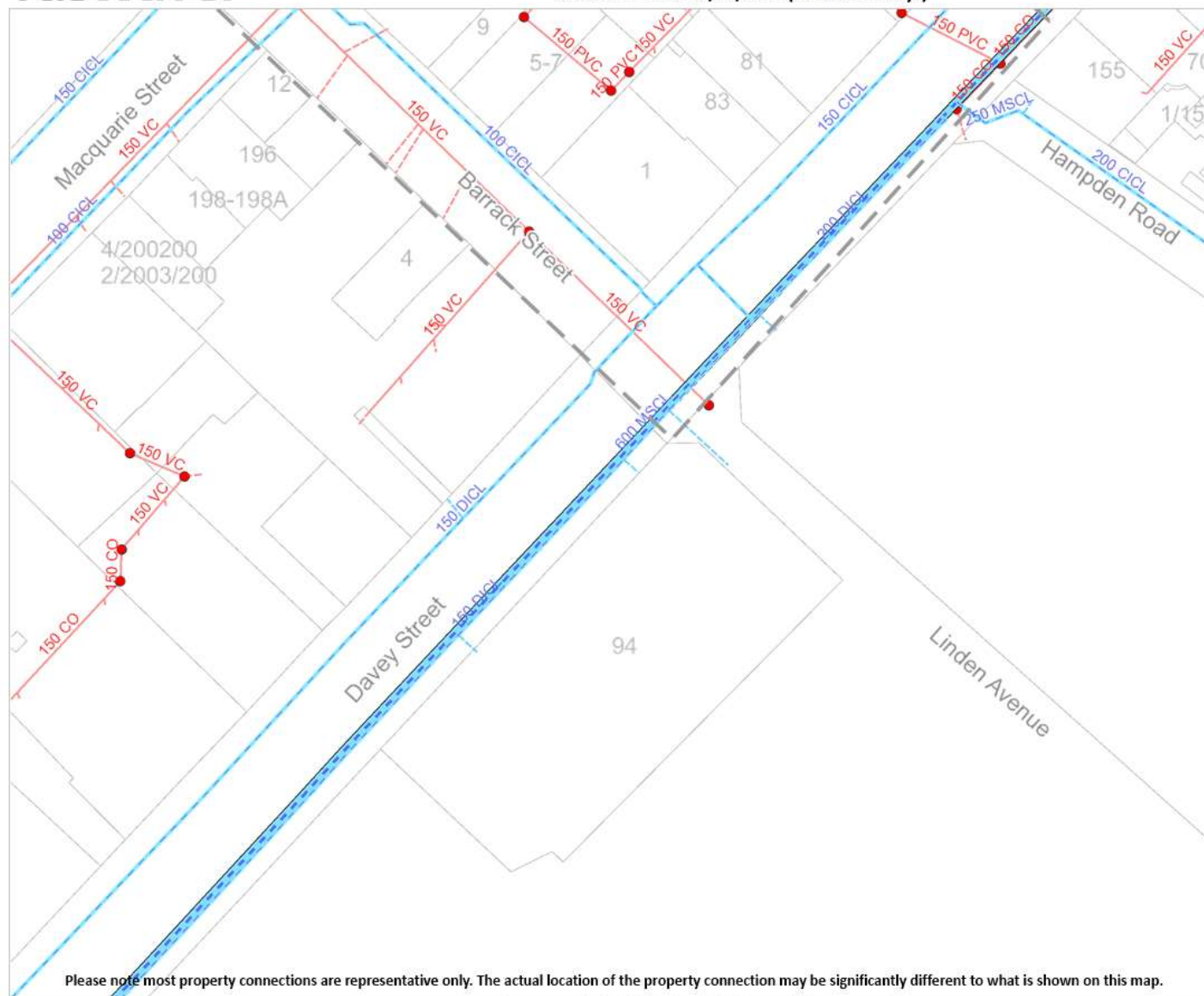
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Disclaimer: The plan is provided in response to a Dial Before You Dig request. While all reasonable care has been taken to ensure the accuracy of the information on this plan, its purpose is to provide a general indication of the location of TasWater infrastructure. The information provided may contain errors or omissions and the accuracy may not suit all users. A site inspection and investigation is recommended before commencement of any project based on this data.

TasWater Plan v4.0 (17/10/2017)



Sequence Number: **71318579**
 Location: 190 Macquarie Street, Hobart, TAS 7000
 Date Generated: **10/05/2018 (valid for 30 days)**



Please note most property connections are representative only. The actual location of the property connection may be significantly different to what is shown on this map.

Plans generated by PelicanCorp TicketAccess Software www.pelicancorp.com

Legend

- DBYD Enquiry
- [H] Fire Hydrant
- Water Property Connection
- Water Main
- Water Main (Critical)
- Sewer Maintenance Hole
- Sewer Property Connection
- Sewer Pressurised Main (Critical)
- Sewer Gravity Main (Critical)
- Sewer Gravity Main
- Stormwater Maintenance Hole
- Stormwater Property Connection
- Stormwater Gravity Main
- Recycled Water Property Connection
- Recycled Water Main
- A Abandoned Line Sewer

In an emergency contact TasWater

Phone: 13 6992



Scale: **1:1000**

Disclaimer: The plan is provided in response to a Dial Before You Dig request. While all reasonable care has been taken to ensure the accuracy of the information on this plan, its purpose is to provide a general indication of the location of TasWater infrastructure. The information provided may contain errors or omissions and the accuracy may not suit all users. A site inspection and investigation is recommended before commencement of any project based on this data.

TasWater Plan v4.0 (17/10/2017)

Form
BMSDOC-18-999Status - Approved
Current Version - 11.0
Published Date: Nov 2016

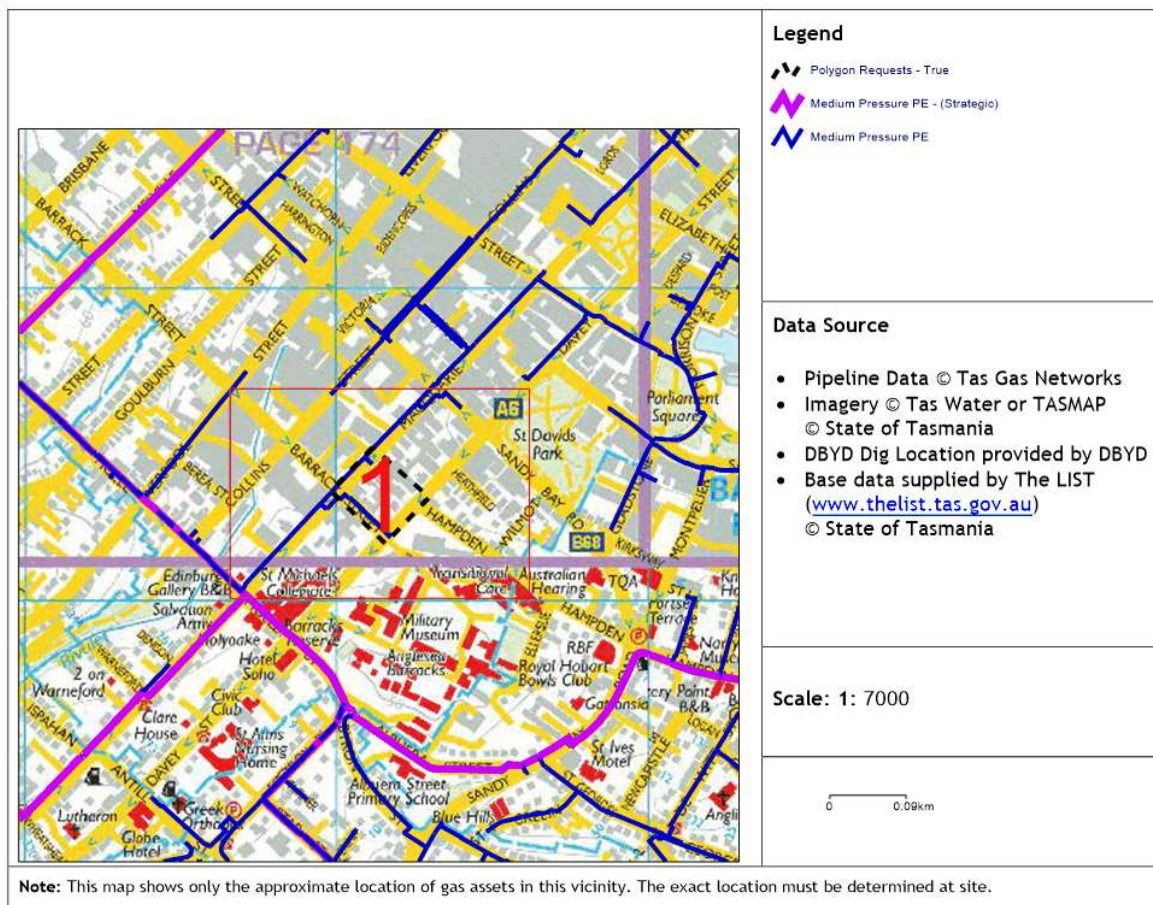
DBYD Requirements of Work - Non-Strategic Polyethylene Pipe

DBYD Sequence Number	71318580	DBYD Enquiry Date	10/05/2018
Location	190 Macquarie Street Hobart		
Enquirer's Name	Johnstone McGee & Gandy Pty Ltd - Ms Susan Turner		
Enquirer's Address	117 Harrington Street		
Response email	sturner@jmg.net.au	ASSET TYPE	Non-Strategic

Tas Gas Networks operates high pressure gas infrastructure in the area of your interest, which:

is affected by your proposed works or your interest. (Planning & Design, 23)

Tas Gas assets in your area of interest are shown below. Please refer to this document for the requirements to begin work near these assets. Thank you for your assistance maintaining a safe and secure gas pipeline network.

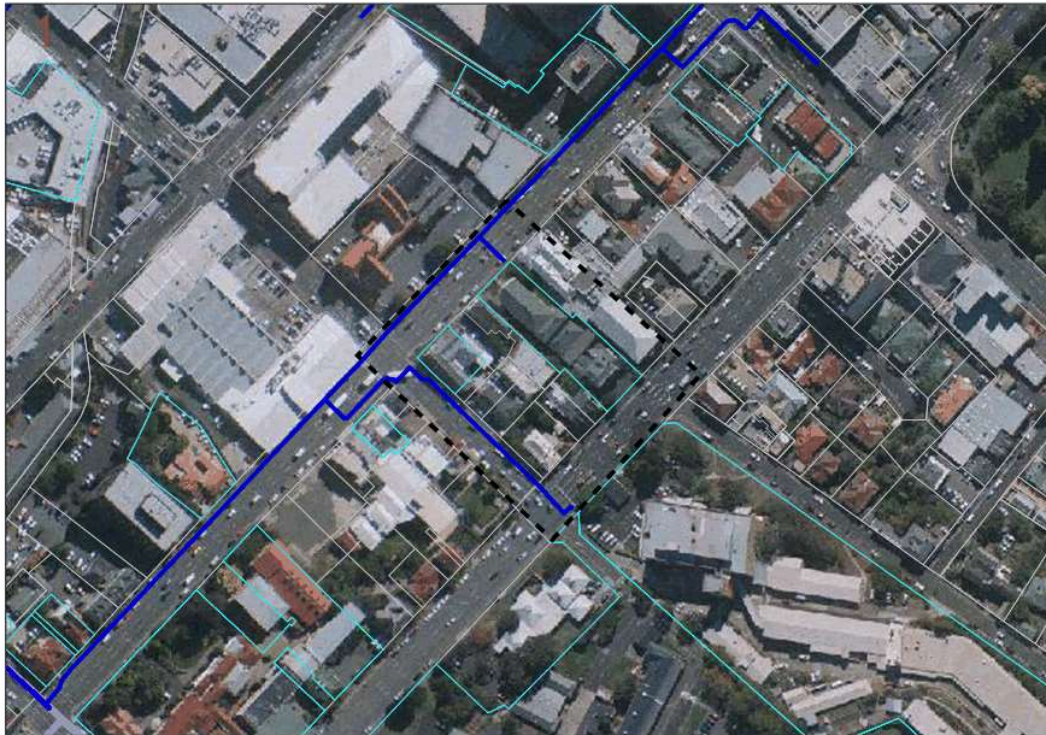


Tas Gas Networks, 5 Kiln Court, St. Leonards, TAS, 7250 | Ph: 03 6336 9350 | Fax 03 6336 9355 | Email: TasGas.DBYD@tasgas.com.au

"Safety by choice - not by chance"

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Current Version - 11.0

DBYD Requirements of Work - Non-Strategic Polyethylene Pipe



Map Sheet: 1

DBYD Sequence Number: 71318580

Scale: 1: 2000

0 0.02km

Legend

- Polygon Requests - True
- Property Boundary
- Customer Services
- Medium Pressure PE - (Strategic)
- Medium Pressure PE

Map Key

1

Data Source

- Pipeline Data © Tas Gas Networks
- Imagery © Tas Water or TASMAP © State of Tasmania
- DBYD Dig Location provided by DBYD
- Base data supplied by The LIST (www.thelist.tas.gov.au)
© State of Tasmania

Note: This map shows only the approximate location of gas assets in this vicinity. The exact location must be determined at site.*"Safety by choice - not by chance"*

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DBYD Requirements of Work - Non-Strategic Polyethylene Pipe

REQUIREMENTS TO BEGIN WORK

Dear DBYD Enquirer,

The maps attached indicate that you may be planning works near a Tas Gas Networks Non-Strategic gas asset.

The following steps must be followed prior to work within 25 metres of a Tas Gas Non-Strategic asset.

Failure to follow these steps can result in financial penalties, prosecution and serious safety risks.

1. Book a Tas Gas Service Technician to mark out (trace) gas assets within 25 m of all works

Call Tas Gas reception on (03) 6336 9350 with at least 48 hours' notice to book a Gas Service Technician to mark out nearby assets.

Note: Gas assets can be marked out with or without the enquirer on site. There is no charge for this service within standard working hours.

Failure to comply with these conditions may expose you to serious safety risks, financial penalties, and/or prosecution under sections 123 & 125 of the Gas Act 2000 as amended. This document does not constitute approval to initiate works.

Regards,

Tas Gas

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DBYD Requirements of Work - Non-Strategic Polyethylene Pipe

Strategic Steel (Transmission) Pipelines

- Works to be under a Tas Gas Permit to Work (Cold Work).
- Tas Gas standover required for all works.
- Third party must be issued with and work to an Engineering Assessment.
- Third party must be issued with and work to a 3rd Party Works Agreement.
- Asset Manager or delegate must be notified of unplanned works.
- Third party must be issued with and work to an Engineering Assessment.
- Third party must be issued with and work to a Third Party Works Agreement.
- TGN Permit to Work required if the pipeline is within a Gas Supply Easement (*i.e. Cross country*).
- Standover or regular intermittent required (24x7) depending on the works and the experience of workers.
- Third party must be issued with and work to an Engineering Assessment.
- Third party must be issued with and work to a Third Party Works Agreement.
- TGN Permit to Work required if the pipeline is within a Gas Supply Easement (*i.e. Cross country*).
- Standover or regular intermittent required (24x7) depending on the works and the experience of the workers.
- TGN Asset Manager or delegate shall be notified if works involve blasting.
- A Permit to Work is required if the pipeline is within a Gas Supply Easement (*i.e. Cross country*).

Strategic PE Assets

- Tas Gas standover required for all works.
- Third party must be issued with and work to a 3rd Party Works Agreement.
- Gas assets must be marked out (traced) by Tas Gas.
- Asset Manager or delegate must be notified of unplanned works.
- Third party may be issued with and required to work to an Engineering Assessment (depending on site conditions).
- Third party must be issued with and work to a 3rd Party Works Agreement.
- Gas assets must be marked out (traced) by Tas Gas.
- Third party may be issued with and required to work to an Engineering Assessment (depending on site conditions).
- Assets must be marked out (traced) by Tas Gas.
- No requirements to begin work unless otherwise notified by Tas Gas.

Non-Strategic Assets

- Gas assets must be marked out (traced) by Tas Gas.
-
-
- No requirements to begin work unless otherwise notified by Tas Gas.

	THE INFORMATION ON THIS DRAWING IS SUBJECT TO COPYRIGHT AND IS NOT TO BE COPIED IN WHOLE OR IN PART WITHOUT THE WRITTEN APPROVAL OF THE ASSET OWNER		04 Notes amended AL 26/10/16 AGB	TAS GAS NETWORKS - 699 GENERAL							
	03 Notes amended AGB 26/05/15 AGB	STANDARD DETAILS									
	02 Notes amended AGB 23/09/13 AGB	ASSET PROTECTION REQUIREMENTS									
	01 Notes amended AGB 19/10/13 AGB	Rev	By	Date	Appr	BY	SIGNED	DATE	SCALE	NTS	PROJ No
DESIGN		AGB						23/09/13	FILE	TGN-699-NW-RM-001.DWG	
DRAWN		DOG						23/09/13	SUPERCEDES		A4
CHECKED		AGB						23/09/13	SHEET	DRAWING NUMBER	REV No
APPROVED		AGB						23/09/13	1 of 1	TGN-699-NW-RM-001	04
CONSULTANT:		STATUS:		DRAFT		APPROVED		AGB		23/09/13	

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DBYD Requirements of Work - Non-Strategic Polyethylene Pipe

ADDITIONAL WORK REQUIREMENTS

1. A Tas Gas Engineer must be notified of any blasting work within 100 m of gas assets. Blasting work poses a different set of risks due to ground-borne vibrations, and must be monitored to ensure the safety of all personnel and infrastructure.
2. Tas Gas provides free asset location services. Please contact Tas Gas on (03) 6336 9350 with 48 hours' notice to request an asset location.
3. Under no circumstances should excavation or boring/drilling works take place within 1 metre (horizontal) of Tas Gas Strategic mains or pipelines without a Tas Gas representative on site.
4. Third parties must be issued with a *Third Party Works Agreement* for planned excavation within 25 m of Strategic Steel pipelines and 5 m of Strategic PE mains.
5. Vacuum Trucks used to expose gas assets must have a nozzle pressure not greater than 135 bar (2000 psi). Pressures above this can damage PE pipe and steel pipeline coatings.
6. Refer to the following pages for minimum clearances between gas and other assets. If these clearances cannot be achieved, a Tas Gas Engineer must provide approval before installation.
7. No structure or installation is permitted above or directly adjacent to any Tas Gas main or service without the prior written approval of the Tas Gas Asset Manager, or delegate. Loads from adjacent structures or installations must not transfer to gas assets.
8. Tas Gas DBYD documents are valid for 60 days from issue. DBYD documents must be requested for each new work proposal.
9. If you smell gas or hear gas escaping from a gas asset, follow the Gas Emergency procedure on page 7.
10. If damage, denting, scouring or gouging occurs to pipe or pipe coating, contact Tas Gas immediately on 180 2111. Minor damage to pipeline coatings can affect the pipes integrity and the safety of the pipe may be severely compromised if left unreported.
11. Contact us for further information on (03) 6336 9350.

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DBYD Requirements of Work - Non-Strategic Polyethylene Pipe

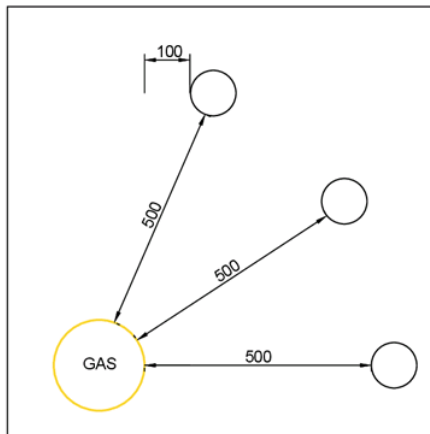
CLEARANCES BETWEEN ASSETS

Minimum clearances between gas pipelines and mains and other infrastructure:

- 300 mm where assets cross a gas main or pipeline (500 mm for electrical assets).
- 500 mm where assets are laid parallel to a gas main.
- 300 mm between the bottom of road boxing and the top of a gas main or pipeline.
- 500 mm between earthing stakes and any gas asset.

Electrical assets are not permitted to cross above gas assets unless approved by a Tas Gas Engineer. Approval may be granted for low voltage electrical asset where the minimum separation requirements are achieved.

The following diagram can be used for assistance:



NOTE: Minimum separation to be 500 mm with a horizontal separation of 100 mm (500 mm horizontal separation required for electrical assets).

Minimum clearances between gas services (usually 20 or 32 mm PE) and other infrastructure:

- 150 mm where assets cross a gas services (500 mm for electrical assets).
- 300 mm where assets are laid parallel to a gas service (500 mm for electrical assets).
- 150 mm between the base of a concrete driveway or footpath a gas service.
- 300 mm between the bottom of road boxing and the top of a gas service.
- 500 mm between all gas assets and earthing stakes.
- No separation requirement between gas services installed in conduits and other assets (excluding electrical assets).

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DBYD Requirements of Work - Non-Strategic Polyethylene Pipe

GAS EMERGENCY PROCEDURE

*Basic steps for Third Parties in the event of a gas escape***GAS EMERGENCY PHONE NUMBER: 180 2111**

1. Remove and/or switch off all ignition sources **except diesel plant** in the immediate area (i.e. extinguish cigarettes and naked flames; turn off petrol and electrical motors and vehicles, mobile phones and battery operated equipment).
2. **DO NOT turn off diesel** powered machinery, or restart it, until instructed to do so by an appointed Gas Officer from Tas Gas.
3. Never cover a damaged gas main or service; or attempt to carry out a repair. The temptation will be to cover the leaking pipe with earth or sand or even an excavator bucket. This is not advised and could cause more serious issues with gas being diverted into other underground voids, drill bore holes etc.
4. Determine the wind direction and move away from the immediate gas escape area towards the source of the wind. Move **at least** 100 m (approximately 6 residential houses) to where the area is open and air is freely circulating. Gas can only burn if exposed to an ignition source – do NOT use naked flames, smoke, or use mobile phones in the vicinity.
5. Contact **180 2111** and report details of the gas escape or alternatively, contact **000** if other services or infrastructure have been affected and/or if injury or property damage has occurred.
6. Wait for Tas Gas' emergency team to arrive on site.
7. Prevent onlookers and other non-emergency vehicles from entering the area. Where possible keep access to the immediate area free for emergency vehicles.
8. **DO NOT** attempt to evacuate houses or premises adjacent to the gas escape unless directed to do so by emergency service personnel or an appointed Gas Officer from Tas Gas.
9. When the Tas Gas' emergency team arrives on site, co-operate and do as instructed. You will be advised when it is safe to re-enter the immediate area.

During an uncontrolled escape, natural gas will behave in the following ways:

- In open excavation where there is a clear path to the atmosphere, natural gas will rise, dilute and disperse in the air.
- If the path to the atmosphere is blocked, the gas will travel through ducts, drains, sewers and voids plus follow the line of other buried utility services. This can lead to gas entering a building or other confined spaces, and may lead to a fire or explosion.

Attendance of Emergency Services:**Police primary roles:**

- Safeguard life and to restrict pedestrian access and vehicular movements near the gas leak;
- Instigate road closures and control onlookers and other third parties;
- Protect any crime scene that may be present; and
- Provide advice and information at a general level to enquirers, media and government entities.

Fire Service primary roles:

- Safeguard life and property;
- Secure the area and then undertake evacuations as required or as requested;
- Set up control spray monitors if the gas escape has ignited to cool adjacent structures or facilities, or to dampen areas around the gas leak site to reduce the risk of sparks. The area should NOT be flooded with water so delaying any repairs or isolation of the gas; and
- Do NOT try to extinguish the fire as unburned gas creates a greater risk.

"Safety by choice - not by chance"

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DBYD Requirements of Work - Non-Strategic Polyethylene Pipe

DUTY OF CARE

- It is the responsibility of the person(s) carrying out the works to exercise their Duty of Care, and have the utmost regard for the safety of property and life. Tas Gas Networks have provided these minimum Conditions of Works and they must be complied with by the person(s) carrying out the works. Under no circumstances will Tas Gas Networks accept liability for the acts or omissions of person(s) carrying out works.
- Service lines from the gas mains to consumer premises are not shown on DBYD documents in many instances. The outlines of connected properties are shown in light blue on the map on page 2 of this document. The location of any below ground gas asset must be proven by hand excavation. Restrictions on excavating near gas assets are stated on Page 5.
- Every care has been taken to ensure that the location of gas mains shown on Tas Gas plans or given verbally is accurate. Variations from records do exist and complete accuracy cannot be guaranteed. Tas Gas does not accept any responsibility for any inaccuracies of its plans. If in doubt, contact a Tas Gas Asset Engineer on (03) 6336 9350.
- If damage does occur to a Tas Gas asset, Tas Gas reserves the right to make safe and repair the asset at its discretion, and may seek compensation for damage to property and/or prosecution under Sections 123 and 125 of the Gas Act 2000 as amended.

LEGISLATIVE REQUIREMENTS

It should be noted that any excavation works near gas assets are deemed to be "High Risk Construction Work" in accordance with the Work Health and Safety Regulations 2012 (Clause 291(i)). This puts a requirement on the person undertaking the work to prepare, amongst other things, a Safe Work Method Statement before the works commence (Clause 299). TGN will most likely request to see this document before works are allowed to commence. Accordingly, you must read, understand and comply with documents issued as part of this enquiry.

"Safety by choice - not by chance"

APPENDIX D

SEWER AND WATER CALCULATIONS

190 Macquarie Street - Unit Development

Sewer Design Calculations

WSA CALCULATIONS		CALCULATED VALUES	UNITS	COMMENTS
DESIGN FLOW	PDWF + GWI + RDI	0.42415565	L/s	Design flow result
PDWF	d x ADWF	0.391469156	L/s	
d	$0.011(\text{LOG}(A))^4 - 0.19(\text{LOG}(A))^3 + 1.4(\text{LOG}(A))^2 - 4.68\text{LOG}(A) + 7$	18.79172213		
A	Gross Area of Development	0.029	Ha	Determine area (m2) off plans
ADWF				
ADWF	$0.001738 \cdot \text{EP} \cdot (150 \text{ L/d/EP} - \text{as per TasWater})$	0.020832	L/s	
EP	3 x ET	12		TasWater overrides WSA
ET	Total Equivalent Tenements	4		TasWater Assumption (right)
GWI	$0.025 \times A \times \text{Portion}(\text{wet})$	0.0005076	L/s	
Portion _{wet}	Portion of Network where GW > Pipe RL	0.7		TasWater Assumption (5.5.5.2)
RDI	$0.028 \times A_{\text{eff}} \times C \times I$	0.032178994	L/s	
A _{eff}	$A \times (\text{Density}/150)^{0.5}$ OR A	0.029		Density > < 150
Density	EP/A	413.7931034		
C	Suspect + Naspect	1.4		
Suspect	Soil Aspect	0.8		TasWater Assumption
Naspect	Network Defects Aspect	0.6		TasWater Assumption
I	$I_{1.2} \times \text{Factor}_{\text{size}} \times \text{Factor}_{\text{containment}}$	28.30664522		
I(1.2)	1 hr duration rainfall intensity, ARI 2 years	11.8		Determined from BOM
Factor(size)	$(40/A)^{0.12}$	2.38100024		
Factor(containment)	$0.77 \times (10^4 / (0.43X)) / (10^4 / (0.14X^2))$	1.007504409		
X	log(ARI)	0.301029905		
ARI	Annual Recurrence Interval	2		TasWater Assumption

Total ET	4
----------	---

TasWater Supplement Appendix B

1-2 Storeys, Medium Density, Dwelling				
	1 Bedroom	2 Bedroom	3 Bedroom	
Factor/dwelling	0	0.75	1	
No. of Units	0	0	0	Sum
ET	0	0	0	0

>2 Storeys, High Density, Dwelling				
	1 Bedroom	2 Bedroom	3+ Bedroom	
Factor/dwelling	0.5	0.75	1	
No. of Units	0	0	4	Sum
ET	0	0	4	4

Accommodation (permanent)		
	Nursing Home / Special Care Home	
Factor/Bed	0.971	
No. of Beds	0	Sum
ET	0	0

Meal Preparation				
	Catering	Restaurant/Café	Take Away/Fast Food (no public amenities)	Take Away/Fast Food (incl. public amenities)
Factor/GBFA m2	0.008	0.008	0.024	0.048
GBFA m2	0	0	0	0
ET	0	0	0	0

Services		
	Industrial Laundry	Laboratories
Factor/GBFA m2	0.24	0.084
GBFA m2	0	0
ET	0	0

Business (excl. food preparation)		
	Office	Single Retail Shop
Factor/GBFA m2	0.008	0.003
GBFA m2	0	0
ET	0	0

190 Macquarie Street - Unit Development

Water Calculations

Water Requirements**Probable Simultaneous Demand Calculation**

ET's < 100

For a water flow estimate, use: AS/NZS 3500.1:2003 Section 3

Number of Units/Homes/Town Houses	Quantity	Units
	4	ET's
Probable Simultaneous Demand (PSD)	1.03	L/s

Comments
 Depends on the no. of units (Cell B10),
 determine from: AS/NZS 3500.1:2018
 Table 3.2.3

Total ET	4.35
----------	------

TasWater Supplement Appendix B**1-2 Storeys, Medium Density, Dwelling**

	1 Bedroom	2 Bedroom	3 Bedroom	
Factor/dwelling	0.4	0.6	0.8	
No. of Units	0	0	0	Sum
ET	0	0	0	0

>2 Storeys, High Density, Dwelling

	1 Bedroom	2 Bedroom	3 Bedroom	
Factor/dwelling	0.33	0.5	0.67	
No. of Units	0	2	5	Sum
ET	0	1	3.35	4.35

Accommodation (permanent)**Nursing Home/Special Care Home**

Factor/Bed	0.657	
No. of Beds	0	Sum
ET	0	0

Meal Preparation

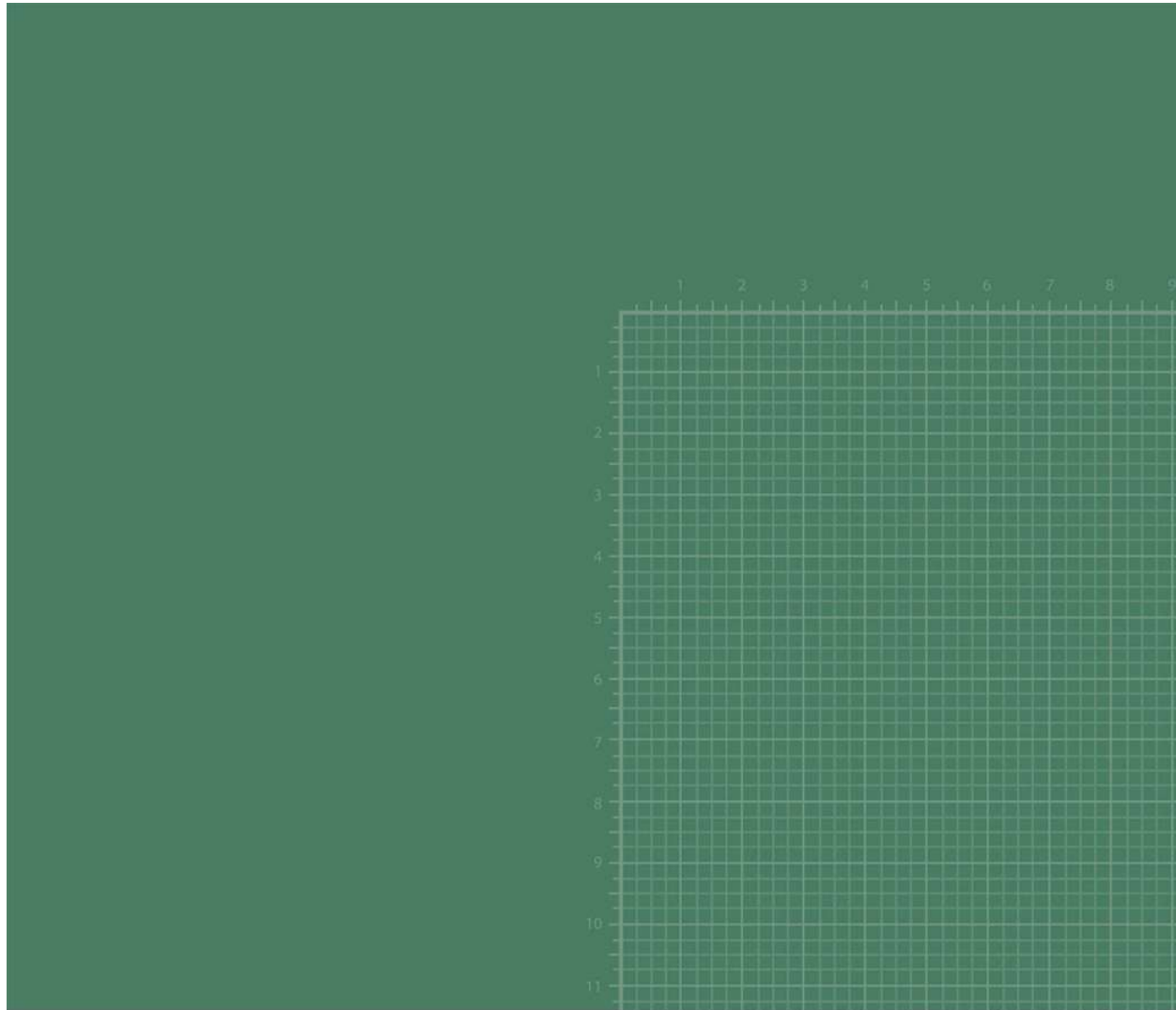
	Catering	Restaurant/Café	Take Away/Fast Food (no public amenities)	Take Away/Fast Food (incl. public amenities)	
Factor/GBFA m2	0.005	0.005	0.015	0.03	
GBFA m2	0	0	0	0	Sum
ET	0	0	0	0	0

Services**Industrial Laundry****Laboratories**

Factor/GBFA m2	0.24	0.084	
GBFA m2	0	0	Sum
ET	0	0	0

Business (excl. food preparation)**Single Retail Shop**

Factor/GBFA m2	0.004	0.002	
GBFA m2	0	0	Sum
ET	0	0	0

**Johnstone McGee and Gandy Pty Ltd**

incorporating Dale P Luck & Associates
(trading as JMG Engineers and Planners)
ABN 76 473 834 852 ACN 009 547 139

www.jmg.net.au

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infohbn@jmg.net.au



APPENDIX F

Arboricultural Assessment and Addendum



ARBORICULTURAL ASSESSMENT

190 Macquarie Street, Hobart

For: Matthew Clark
ASSOCIATE / SENIOR TOWN PLANNER

JOHNSTONE, MCGEE & GANDY PTY LTD
117 Harrington St Hobart TAS 7000

Via email: mclark@jmg.net.au

Alister Hodgman
Diploma (Hort/Arb)

Element Tree Services
23 King Street, Bellerive
TAS 7018
ph.: 0417144192
alister@elementtree.com.au

3rd November 2017

Arboricultural Assessment -
190 Macquarie Street**1. Terms of Reference**

- This report was requested by Matthew Clark to assess a mature walnut growing in the carpark at 190 Macquarie Street, Hobart
 - The purpose of this report is to identify the current condition of the tree, assess the risk that it poses and prescribe options for its future management.
 - The inspection was undertaken from the ground on the 3rd of November 2017.
 - Risk was assessed using the Quantified Tree Risk Assessment method.¹

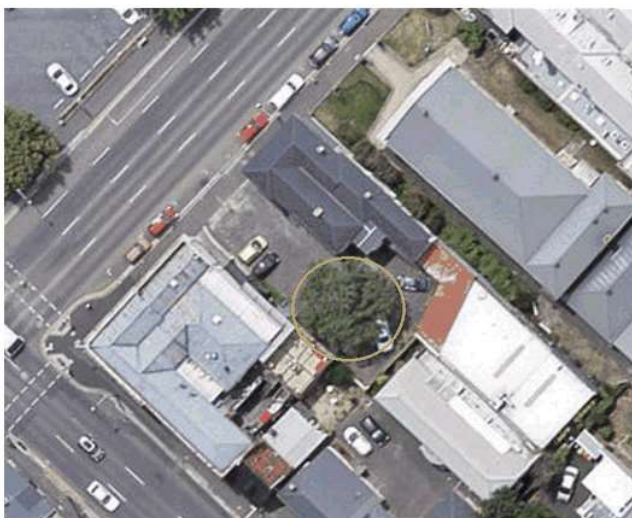


Fig. 1 - an aerial image of the site indicating the tree which is subject to this report. Image courtesy of listmap.

2. Site Findings

Common walnut
(*Juglans regia*)

Height: 10 m

Health: Fair
Structure: Good

Fig. 2 - the walnut as seen looking to the south-east. Note the moderate foliage coverage.

¹ For further information regarding this method please visit <http://qtra.co.uk/>

Arboricultural Assessment -
 190 Macquarie Street

The single stem currently appears stable in the ground. A large scaffold develops at approximately 1 meter and includes bark within the attachment. Although this is a defect, it is unlikely to increase the likelihood of failure at this point.

The crown appears to be in slow decline. Approximately 20 percent of its mass is comprised of twiggy dieback, a pattern not uncommon with mature walnuts.

The tree appears influenced by north-westerly winds and it has developed a bias towards the south-east.

In its current situation, I expect the tree may decline over the next 10 – 20 years.

3. Risk Assessment

As the tree remains relatively defect free, it is expected that the most probable failure type would be the loss of a small lateral branch in a strong wind event.

It is important to recognise that a tree can fail 24 hours a day, 365 days a year, a consideration when assessing its target potential.

Risk was assessed using the Quantified Tree Risk Assessment method. The following table shows the risk calculation for the tree in its current situation.

Target	Tree Part	Target Range	Part Range (dia.)	Probability of Failure	Risk of Harm
Humans (pedestrians)	Trunk	7/hr – 2/hr	>450 mm	7	≤1/1,000,000
Humans (pedestrians)	Branch	7/hr – 2/hr	25 mm – 100 mm	5	≤1/1,000,000
Property (Parked Vehicles)	Trunk	£20,000 - £2000	Fixed Range	7	≤1/1,000,000
Property (Parked Vehicles)	Branch	£2,000 - £200	Fixed Range	5	≤1/1,000,000

Based on the above assessment, each scenario of failure poses a broadly acceptable risk. Using guidance supplied by QTRA, a broadly acceptable risk is considered as low as reasonably practical and no action is required.

The assessment doesn't rule out the potential of tree failures, but quantifies the likelihood of an incident occurring. On the day of inspection, there was no evidence of major faults that were likely to lead to a significant failure. Based on my observations, I do not believe this tree poses an unacceptable level of risk at present.

4. Discussion

The mature walnut is included on the Hobart City Council Significant Tree Register. Any significant works to, or around the tree, may have planning implications.

Arboricultural Assessment -
190 Macquarie Street

Over the last 10 years it has been observed that many mature walnuts growing around Hobart appear stressed. It is unclear what is causing this decline, but it is thought that a change in rainfall is contributing to this.

As this tree is surrounded by materials that radiate heat, I am not surprised that this specimen is struggling. In its current situation it would be very difficult to modify the growing conditions, without the loss of the carparking spaces.

At present, there is no requirement to undertake significant maintenance on this tree, but the dead wood could be removed. This work is not a risk reduction recommendation, but will increase its aesthetic appeal.

5. Conclusion

- **According to the quantified tree risk assessment, this tree poses a broadly acceptable risk.**
- **Broadly acceptable risks are considered as low as reasonably practical (ALARP).**
- **QTRA does not recommend acting to reduce a risk that is ALARP.**

Yours sincerely,



Alister Hodgman

Arboricultural Assessment -
190 Macquarie Street

Appendix 1 – QTRA thresholds

Thresholds	Description	Action
1/1 000	Unacceptable Risks will not ordinarily be tolerated	<ul style="list-style-type: none"> Control the risk
	Unacceptable (where imposed on others) Risks will not ordinarily be tolerated	<ul style="list-style-type: none"> Control the risk Review the risk
	Tolerable (by agreement) Risks may be tolerated if those exposed to the risk accept it, or the tree has exceptional value	<ul style="list-style-type: none"> Control the risk unless there is broad stakeholder agreement to tolerate it, or the tree has exceptional value Review the risk
1/10 000	Tolerable (where imposed on others) Risks are tolerable if ALARP	<ul style="list-style-type: none"> Assess costs and benefits of risk control Control the risk only where a significant benefit might be achieved at reasonable cost Review the risk
1/1 000 000	Broadly Acceptable Risk is already ALARP	<ul style="list-style-type: none"> No action currently required Review the risk



Alister Hodgman
Diploma (Hort/Arb)

Element Tree Services
23 King Street, Bellerive
TAS 7018
ph.: 0417144192
alister@elementtree.com.au

14th November 2018

For: Matthew Clark
ASSOCIATE / SENIOR TOWN PLANNER
JOHNSTONE, MCGEE & GANDY PTY LTD
117 Harrington St Hobart TAS 7000

Via email: mclark@img.net.au

Dear Matthew,

I am writing to provide further information regarding the proposed works around the mature walnut at 190 Macquarie Street, Hobart.

Using guidance supplied by the Australian Standard – *Protection of trees on development sites*, I have calculated this tree to have a structural root zone (SRZ) of 2.80m and a tree protection zone (TPZ) of 8.76m radius from the centre of the trunk.

The trenching required to install the new water main, fire main and communications cable will critically damage the SRZ. It is expected that the 900mm wide trench will go within 1m of the trunk which will sever many of the large woody roots, increasing the probability of whole trunk failure.

Although the TPZ damage only has an incursion footprint of approximately 8%, the works will virtually sever all of the roots on the northern side of the tree representing an incursion approximately 30% of the total TPZ.

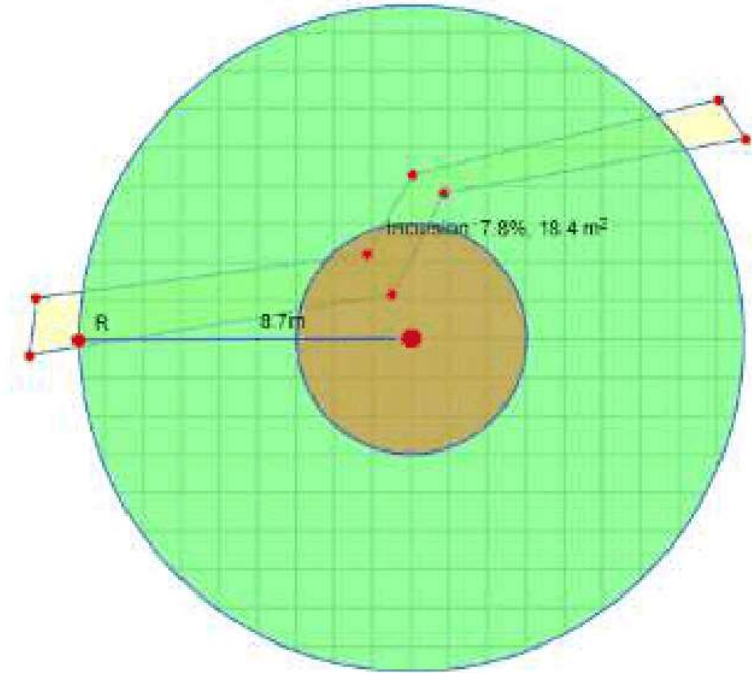
Given the condition of the tree, and the species profile, I expect that the works outlined in the current proposal will result in a major health decline of this tree, to the point it will most likely expire.

Where possible, I recommend that the current design is reworked in an effort to move the infrastructure away from the tree. If this is not possible, the excavation methods employed should be low impact such as vacuum truck, hand digging or drilling. If significant roots are encountered there may still be an impact on the health of this specimen.

Yours sincerely,

Alister Hodgman

Appendix 1 - TPZ incursion





Alister Hodgman
Diploma (Hort/Arb)

Element Tree Services
23 King Street, Bellerive
TAS 7018
ph.: 0417144192
alister@elementtree.com.au

5th July 2019

For: Matthew Clark
ASSOCIATE / SENIOR TOWN PLANNER
JOHNSTONE, MCGEE & GANDY PTY LTD
117 Harrington St Hobart TAS 7000

Via email: mclark@img.net.au

Tree Protection – 190 Macquarie Street

Dear Matthew,

At your request, I am writing to discuss the protection options for the mature walnut, which is subject to works at 190 Macquarie Street, Hobart. This report builds on my previous assessments undertaken during 2018.

The recent root mapping with the ground penetrating radar has shown some of the woody sections, but its accuracy does not appear conclusive as only very few individual roots were identified.

The proposed Site Services Concept Plan Rev. DA2 shows the new stormwater connection passing through the tree protection zone (TPZ) to the north of the trunk. I have calculated the incursion as approximately 23% of the total TPZ, which is considered a major incursion. I understand that due to the location of existing services, this alignment is as far away from the tree as possible.

Given the difficulty faced in installing these services, and the significant TPZ incursion, traditional excavation is not suitable in this instance. The following steps should be taken to install the services:

- A. The work zone should be marked out in accordance with the plan and engineers to sign off when satisfied. Once this zone is established, fencing installed to delineate it from the remainder of the site. If this is not possible, the ground should be painted to indicate the work zone. No other works are to be undertaken within the TPZ (8.76m radius from the centre of the trunk) unless authorised by the supervising arborist.

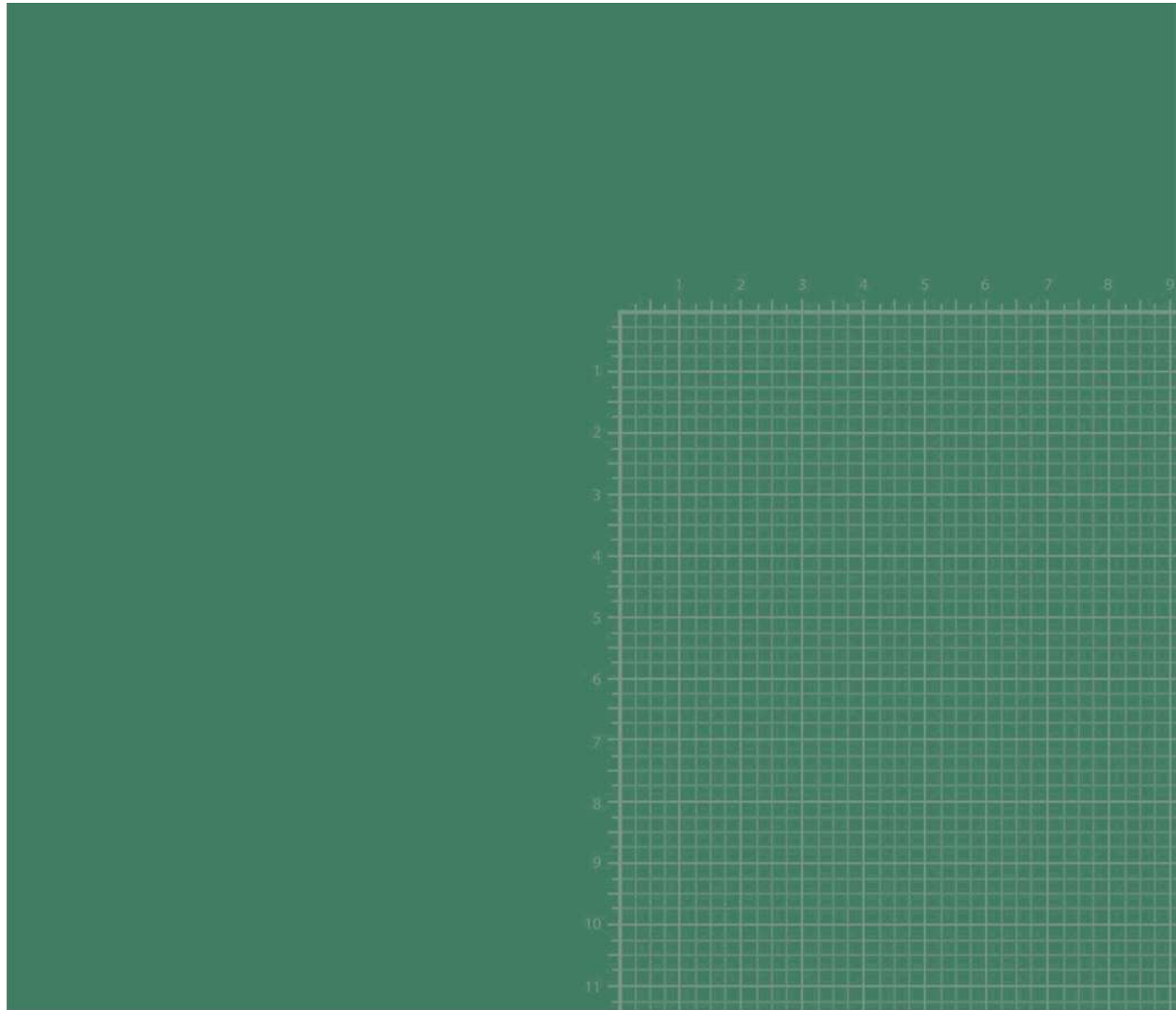
- B. Once the work zone is established, the pavers can be removed by hand. These should either be removed from site or stacked outside of the TPZ.
- C. Excavation of the work zone can commence by hand or if not practical, a low pressure vacuum truck. This should be completed under the supervision of an arborist to reduce the likelihood of damaging the roots.
- Ideally, only small sections of the trench should be excavated at a time and the plumbing installed in stages to avoid the roots drying out.
 - Where possible, roots should not be severed to install the pipework. If this is unavoidable, the root pruning should be completed under the supervision of an arborist.
 - If roots are to be left exposed and will potentially dry out, they should be covered with hessian and continually kept moist.
- D. Backfilling of the trench should be completed as soon as possible. I expect aggregate will be required around the plumbing, but this should be topped with a good structural soil to encourage future root growth and reduce compaction. The structural soil should have a composition of 3 parts aggregate (40 -70mm) to 2 parts clay loam. This should be watered in with 200 litres of water to 2 litres of kelp extract. This fertilizing completed monthly over the following spring, summer and autumn.
- E. Once the soil has been introduced, it can be topped with FCR to form the paving base. Ideally, new porous paving should be installed to ensure water can pass through the structural soil and encourage future root development.

Although it is unclear if the walnut will tolerate the works, the above method will give the tree the best chance of long term survival. As the works will be completed by a third party, a responsible person should be made accountable to ensure the contractors are completing the works in accordance with the above method.

Yours sincerely,



Alister Hodgman

**Johnstone McGee and Gandy Pty Ltd**

incorporating Dale P Luck & Associates
(trading as JMG Engineers and Planners)
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ATTACHMENT B
Crown Consent

Department of State Growth

Salamanca Building Parliament Square
4 Salamanca Place, Hobart TAS
GPO Box 536, Hobart TAS 7001 Australia
Email permits@stategrowth.tas.gov.au Web www.stategrowth.tas.gov.au
Ref: D19/13309



Mr Garry Baker
JMG Engineers and Planners
117 Harrington Street
HOBART TAS 7000

Dear Mr Baker

Crown Landowner Consent Granted – 190 Macquarie Street, Hobart

I refer to your recent request for Crown landowner consent relating to the development application at 190 Macquarie Street, Hobart for access to be upgraded and removal of on street parking at development site.

I, Tim Leaman, A/Manager Network Planning, State Roads, the Department of State Growth, having been duly delegated by the Minister under Section 52 (1F) of the *Land Use Planning and Approvals Act 1993* (the Act), and in accordance with the provisions of Section 52 (1B) (b) of the Act, hereby give my consent to the making of the application, insofar as it affects the State road network and any Crown land under the jurisdiction of this Department.

The consent given by this letter is for the **making of the application only** insofar as that it impacts Department of State Growth administered Crown land and is with reference to your application dated 16 January 2019, and the documents approved, as follows:

Approved Document Name	Author	Date Received	Notes
Application for Crown Landowner Consent	JMG Engineers and Planners	16 January 2019	
Planning Report – 190 Macquarie Street	JMG Engineers and Planners	16 January 2019	
PLN-19-3 – Hobart City Council Planning Permit application		11 September 2019	
Amended Planning Report V2 – 190 Macquarie Street	JMG Engineers and Planners	9 September 2019	

In giving consent to lodge the subject development application, the Department notes the following applicable advice:

In giving consent to lodge the subject development application, the Department notes that the proposed access to the State road network will require the following additional consent:

The consent of the Minister under Section 16 of the *Roads and Jetties Act 1935* to undertake works within the State road reservation.

For further information please visit <http://www.transport.tas.gov.au/road/permits> or contact permits@stategrowth.tas.gov.au.

- 2 -

On sealed State roads all new accesses must be sealed from the road to the property boundary as a minimum.

Pursuant to Section 16AA of the *Roads and Jetties Act 1935*, where a vehicle access has been constructed from land to a State highway or subsidiary road, the owner of that land is responsible for the maintenance and repair of the whole of the vehicular access.

Please also note the following:

- It is noted that the Planning Report refers to Hobart City Council as the relevant road authority. However, the relevant road authority is the Department of State Growth;
- With Macquarie Street now being in State ownership, parking availability and traffic flows along both streets may be subject to change as further investigation into traffic growth and operational issues identifies a need to alter current arrangements;
- No lane closures will be permitted during peak travel periods for the purposes of construction.

The Department reserves the right to make a representation to the relevant Council in relation to any aspect of the proposed development relating to its road network and/or property.

Yours sincerely



Tim Leaman
A/MANAGER NETWORK PLANNING

Delegate of
Minister for Infrastructure and Transport
Michael Ferguson MP

25 September 2019

cc: General Manager, Hobart City Council

Planning: #169275

PLN-19-3

Property

190 MACQUARIE STREET HOBART TAS 7000

People

Applicant

*

c/- JMG Engineers and Planners
Garry Baker
117 Harrington Street
HOBART TAS 7000
03 6231 2555
delphinstone@jmg.net.au

Owner

*

c/- JMG Engineers and Planners
Garry Baker
117 Harrington Street
HOBART TAS 7000
03 6231 2555
delphinstone@jmg.net.au

Entered By

DANA ELPHINSTONE
117 HARRINGTON STREET
HOBART TAS 7000
03 6231 2555
delphinstone@jmg.net.au

Use

Multiple dwellings

Details

Have you obtained pre application advice?

*

If YES please provide the pre application advice number eg PAE-17-xx

Are you applying for permitted visitor accommodation as defined by the State Government Visitor Accommodation Standards? Click on help information button for definition. If you are not the owner of the property you MUST include signed confirmation from the owner that they are aware of this application.

*

• = No

Is the application for SIGNAGE ONLY? If yes, please enter \$0 in the cost of development, and you must enter the

number of signs under Other Details below.

* ☐ No

If this application is related to an enforcement action please enter Enforcement Number

Details

What is the current approved use of the land / building(s)?

* General retail and hire

Please provide a full description of the proposed use or development (i.e. demolition and new dwelling, swimming pool and garage)

* Multiple Dwelling Apartment Building with Underground Parking

Estimated cost of development

* 2500000.00

Existing floor area (m2) Proposed floor area (m2) Site area (m2)

Carparking on Site

Total parking spaces Existing parking spaces

N/A

☐ Other (no selection chosen)

Other Details

Does the application include signage?

* ☐ No

How many signs, please enter 0 if there are none involved in this application?

* 0

Tasmania Heritage Register

Is this property on the Tasmanian Heritage Register?

* ☐ Yes

Documents

Required Documents

Title (Folio text and Plan and Schedule of Easements)

* 190 Macquarie Street - Title Information.pdf

Plans (proposed, existing)

* 190 Macquarie Street - Proposal Plans & Photo Montages.pdf

Supporting Documents

Concept Servicing Plan

190 Macquarie Street - Concept Services Report.pdf

Concept Servicing Plan

190 Macquarie Street - Concept Services Report.pdf

Traffic Impact Assessment

190 Macquarie Street - Traffic Impact Assessment.pdf

Planning Report

190 Macquarie Street - Planning Report - December 2018.pdf

Heritage Report

190 Macquarie Street - Historic Heritage Management Strategy.pdf

Arboricultural Assessment

190 Macquarie Street - Arboricultural Assessment & Addendum.pdf

PLN-19-3

COUNCIL OR CROWN LAND

If the land that is the subject of this application is owned or administered by either the Crown or Hobart City Council, the consent of the Minister of the Crown or the General Manager of the Council, whichever is applicable, must be included here. This consent should be completed and signed by either the Minister, the General Manager of Hobart City Council, or their delegate (as specified in Subsections 52 (1D-1G) of the Land Use Planning and Approvals Act 1993).

I, Andrew Hargravebeing responsible for the administration of land at 190 Macquarie Street, insofar as it affects the State Road Network

declare that I have given permission for the making of this application for

Date.. 12 September 2019|

Signature.....

Delegate of
Minister for Infrastructure
Michael Ferguson MP

| on street parking at development site

(This consent is for the making of the application only, and does not constitute a commitment to occur.)



ATTACHMENT C
Owner Notification

Contact: Karen Abey
Our Ref: KMA/NAB:192667

12 September 2019

Strata Corporation No. 96378, 190-192 Macquarie Street
190-192 Macquarie Street
HOBART TAS 7001

By hand & left at the address

Dear Sirs,

Development application

We act for Garry Baker, who is the owner of Suite 2, 190 Macquarie Street, Hobart. This property is one of the two lots in the strata scheme of which you are the body corporate. Tasos Pty Limited is the owner of Suite 1, at that same address, which is the other lot owner.

Mr Baker has made a development application (**DA**) to the Hobart City Council in relation to his property (reference PLN-19-3), a copy of which is **enclosed**. Part of the DA relates to the common property for this strata scheme. You are the registered owner of that property, which is held on trust for the owners of the lots. The owners of the lots have an equitable interest in the common property and, as a consequence, Tasos Pty Limited will be notified of the DA separately.

It is a requirement of the applicable planning legislation that where an applicant for a permit is not the owner of the land in respect of which the permit is required, the applicant must notify the owner of the intention to make the application and include a declaration that it has done so in the application. The purpose of this letter is to comply with that requirement. You are not required to provide your consent to the DA.

Tasos Pty Ltd, through its solicitor, has raised various objections to the works proposed in the DA. The issues raised are private law matters which will be addressed separately and not as part of the planning process.

Yours faithfully
Simmons Wolfhagen



Karen Abey

Managing Associate | Local Government, Planning & Development Law
karen.abey@simwolf.com.au

SIMMONS WOLFHAGEN

cc: Dr G Hall
Tasos Pty Ltd
Suite 1, 190 Macquarie Street
HOBART TAS 7001

By hand (letter only, not enclosures)

And: Abetz Curtis
Solicitors for Dr G Hall
Nathan Street

By email: nstreet@abetzcurtis.com.au

Contact: Karen Abey
Our Ref: KMA:NAB:192667

12 September 2019

Tasos Pty Ltd
Suite 1, 190 Macquarie Street
HOBART TAS 7001

By hand & left at the address

Dear Sirs,

Development application

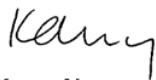
We act for Garry Baker, who is the owner of Suite 2, 190 Macquarie Street, Hobart. This property is one of the two lots in the strata scheme of which you are the owner of the other lot.

Mr Baker has made a development application (**DA**) to the Hobart City Council in relation to his property (reference PLN-19-3), a copy of which is **enclosed**. Part of the DA relates to the common property for this strata scheme. The body corporate is the registered owner of that property, which is held on trust for the owners of the lots. The owners of the lots have an equitable interest in the common property.

It is a requirement of the applicable planning legislation that where an applicant for a permit is not the owner of the land in respect of which the permit is required, the applicant must notify the owner of the intention to make the application and include a declaration that it has done so in the application. Notice has separately been provided to the body corporate (copied to you). Through an abundance of caution, we also notify you of the DA as one of the equitable owners of the common property.

You have raised, through your solicitor, various objections to the works proposed in the DA. The issues raised are private law matters which will be addressed separately and not as part of the planning process.

Yours faithfully
Simmons Wolfhagen



Karen Abey
Managing Associate | Local Government, Planning & Development Law
karen.abey@simwolf.com.au

SIMMONS WOLFHAGEN

cc: Abetz Curtis
Solicitors for Dr G Hall
Nathan Street

By email: nstreet@abetzcurtis.com.au

Application Referral Cultural Heritage - Response

From:	Sarah Waight
Recommendation:	Proposal is acceptable subject to conditions.
Date Completed:	
Address:	190 MACQUARIE STREET, HOBART ADJACENT ROAD RESERVE
Proposal:	Demolition and New Building for Four Multiple Dwellings and Works in Road Reserve
Application No:	PLN-19-3
Assessment Officer:	Adam Smee,

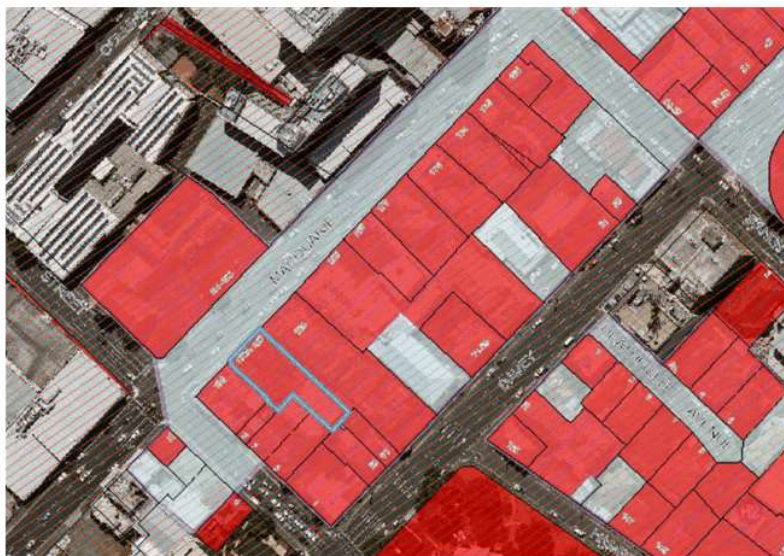
Referral Officer comments:

This site is heritage listed in table E13.1 of the Historic Heritage Code, is located in Heritage Precinct Hobart 1 and is also located in a Place of Archaeological Potential. On the site is also a tree listed in the Significant Trees Code E24.0 and listed in Table E24.1 of that Code. The subject site has several buildings, one known as 'Coreen'. Images of the site are in an attachment to this report.

This precinct is significant for reasons including:

1. It contains some of the most significant groups of early Colonial architecture in Australia with original external detailing, finishes and materials demonstrating a very high degree of integrity, distinctive and outstanding visual and streetscape qualities.
2. The collection of Colonial, and Victorian buildings exemplify the economic boom period of the early to mid nineteenth century.
3. The continuous two and three storey finely detailed buildings contribute to a uniformity of scale and quality of street space.
4. It contains a large number of landmark residential and institutional buildings that are of national importance.
5. The original and/or significant external detailing, finishes and materials demonstrating a high degree of importance.

The proposal is for the demolition of an existing building behind Coreen, which dates to c.1980 (occupied by Snap Printing - See figures 5 and 6) and the construction of an apartment block with four apartments and a roof top terrace which is partially roofed. The proposed apartment immediately adjoins the boundary a building also located on the boundary, known as the Barrack St General Practice. This is a two storey building built approximately c.1985-7. On the north-east boundary, the proposed apartment block is located directly on the boundary and adjoins a laneway that runs down the side of the church, St Johns Presbyterian Church and associated buildings which are single and two storeys in height. The laneway is privately owned but is generally opened by the church for members of the public to use. To the rear of the subject property is a conjoined two storey terrace with attic rooms at 81 and 83 Davey Street. To the front of 190 Macquarie Street is a two storey building called Coreen. On the corner of Macquarie and Barrack Street is the Duke of Wellington Hotel, a two storey building that immediately adjoins the subject property. Another adjoining property at 9 Barrack Street is single storey with attic rooms. All of these properties are heritage listed properties in Table E13.1 of the Scheme.



The subject site is outlined in blue. Red denotes heritage listed buildings and the grey shading with purple outline denotes the heritage precinct. Source: Council Geocortex

The heritage listing entry in table E13.1 for 190 Macquarie Street describes it as Coreen, but has no entry or descriptor in the General Description column and has no C.T. reference in that particular column. As such, the heritage listing applies to the entire parcel of land and all elements on it rather than specific parts of the three strata lots that make up the site. Therefore, the following provisions of the Scheme apply:

- E13.7.1 Demolition (Heritage Place)
- E13.7.2 Building and Works other than Demolition (Heritage Place)
- E13.8.1 Demolition (Heritage Precinct)
- E13.8.2 Building and Works other than Demolition (Heritage Precinct)
- E13.10.1 Building, works and Demolition (Place of Archaeological Potential)
- E24.6.1 Lopping, pruning, removal or destruction of significant trees

Comment in this report regarding the walnut tree which is a significant tree is limited to the contribution the tree makes to the heritage listed place and heritage precinct. (see figures 6, 7 and 8 for images of the tree) A full assessment under E24.6.1 has been undertaken by Council's Park's Planner.

Representations:

Nine (9) representations were received. Eight (8) against and one (1) for the proposal. The following heritage comments were made:

- "I am concerned that this development, if approved, will diminish the heritage value of the area and, in particular, dwarf the surrounding buildings to such an extent that it will dominate and compromise their place in the precinct."
- A rose bush on the wall has significant cultural and heritage values and it would seem impossible for the development not to destroy the rose.
- The development is in an area of Hobart with significant heritage value but the proposal is not in keeping with this value or the expectations of developments that apply to heritage places.
- "The appearance of the proposed building is not sympathetic to surrounding buildings in its look and feel, including height, design and materials."
- "The value to Hobart of heritage buildings and precincts, particularly at a time of high tourism growth, is inestimable. It is difficult to see how the proposed building will not

detract from the elegant, period facades that are a feature of the surrounding street-scape."

- "The work involved to construct the building will in all likelihood result in the death of a heritage tree; a beautiful, natural feature that contributes to the heritage quality of the area."
- "There are contiguous heritage properties all along the side of Macquarie Street where the development is proposed. Indeed, the site itself is a heritage site once 190-192 Macquarie Street. The site is surrounded by heritage listed properties on all sides."
- The area is characterised by two-storey (and earlier single-storey) heritage buildings.
- "The proposed development does not reflect any characteristics of the surrounding heritage, commercial built environment, does not blend in or pay respect to the precinct."
- "Demolition and disturbance at the site is assumed to yield remains limited to c1830+. No assessment was undertaken as part of the application to Aboriginal heritage values."
- "The application provides a risk assessment in relation to the walnut tree listed on the Hobart City Council's Significant Tree Register. The arborists report points out the risks to the tree and the likelihood of survival but makes no mitigation strategies."
- "Although it is stated that the walnut tree will be saved, it is very likely that excavation and construction work will damage its root system. There does not appear to be adequate provisions for protecting the tree."
- "It has no resemblance, or empathy with any of the surrounding architecture and totally fails to meet the Performance Criteria stated as mandatory in a heritage place."
- Coreen, the house at the front of the block is believed to have been the home of Sir William Crowther and was his home and medical practice. The proposal is in the garden of his home.
- "This heritage place deserves a better fate than being lost to a modern 'high rise' block of flats."
- All adjacent places are heritage listed and this dictates the need for sensitive redevelopment to maintain irreplaceable heritage values.
- "The proposed building has no features that are compatible with the historic culture."
- It is not sympathetic to or subservient to the heritage values of the place.
- The walnut tree is significant in the streetscape and found to be in fair health with a good structure and that the damage to the works in the structural root zone may critically damage the tree.
- It is of a large scale and bulk compared to the closest building and there is no effort to subserve or complement the heritage characteristics of the place.
- The materials, built form do not respond to the heritage characteristics of the place.
- levels 3 and 4 will dominate the place, showing clearly and blocking the sky above the roofline of 'Coreen'.
- The features of the design are unsympathetic to the character of the precinct and makes no overtures to its place or any neighbours.
- "The development is not subservient and complementary to the place and the building does not respond to the dominant heritage characteristics of the place, under E13.7.2."
- "The development of this modern, boxy, five storey, nearly 15 metre high tower within a six (6) metres from a building of significant heritage value. This will result in a loss of heritage significance due to the design, height, scale, bulk, form, materials and colours."
- "The proposed building is 4.6 metres higher than Coreen, has extensive reflective glazing facing towards Macquarie Street and Coreen and its bulk consumes the entirety of the strata lot and dominates the heritage place. It will be the dominant structure within the heritage place to the detriment of Coreen."
- "It is also telling that the development fails to conform with the recommendations of the Conservation Policy submitted with the Development Application. This failure is demonstrated by: (a) the development failing to maintain an appropriate curtilage to the rear of Coreen, it will be within six (6) metres of Coreen; (b) 40% higher (including the roof terrace) than the recommended three (3) storeys and will have the effect of

backdropping Coreen; (c) is a bland 'box like' development (despite the inclusion of the token pitched roof of the roof terrace); and (d) it fails to reduce its apparent bulk and is not respectful to the surrounding area.

- The development has not been designed in a way that is subservient to the place in its characteristics. The development's scale, bulk, built form, siting with respect to the Coreen building and the use of dominant materials and colours mean that on any reasonable view it cannot be said to be subservient and complementary to its place. Instead it dominates and overbears the place.
- It is over height compared to the surrounding heritage buildings. It is located on a higher portion of the block and would interrupt the skyline.
- The use of sheet metal cladding, concrete panels and large windows are all designs of a modern commercial building and are not sympathetic to the heritage.
- The elevations show a large panelled wall and a towering brick veneer wall that will negatively impact the church and the adjoining garden walkway that is a significant part of this heritage place. The proposed bulky walls on all sides also have a negative impact on the visual skyline shapes formed by the surrounding heritage buildings by filling in the roof shapes of the heritage buildings and trees.
- The proposed roof top pergola as from the street will appear to be scaffolding causing an unattractive and uncharacteristic appearance of the building being under construction.
- The aboricultural assessment states that the trenching "will result in a major health decline of this tree, to the point it will most likely expire."
- The proposal states that the parking spaces that surround the tree would be sealed or re-sealed. As the current paving at the site allows an amount of rain to seep between the pavers and reach the trees roots, any re-sealing in the vicinity of the trees root zones would need to maintain the availability of this water.
- "The proposed building height, setback, and design is visually recessive and respects the adjacent heritage place and surrounding precinct."

Specific response to the issues raised are dealt within the following assessment comment for each Historic Heritage Code clause provision.

In terms of clause 22.4 Development Standards for Buildings and Works in the Central Business Zone, the proposal is not within a specific extent of a heritage listed place (as defined under Table E13.1) and is not within 15 metres of a frontage. Therefore, the clauses 22.4.1 A4 and P4 and clause 22.4.1 A5 and P5 do not apply.

The proposal is supported by the following document: Historic Heritage Management Strategy dated August 2017 and including a Heritage Impact Assessment dated November 2018 by Praxis Environment. The report provides:

- An overview of the site history
- Conservation policy
- Precinct analysis
- Design Guidelines
- Statement of Historic Archaeological Potential
- Heritage impact assessment

The site history describes the evolution of the site from a number of buildings to boundary alterations and properties changing hands. In the c.1840s, there were two small buildings on the subject land a small timber building (currently that land used for carparking and access to the rear of the subject property) and a two storey masonry building once owned by Dr William Crowther (an earlier portion of the current Coreen). Coreen is the building to the front of the lot and comprises an earlier masonry building owned by Crowther which was added to in the 1920s. To the rear of the building is a single storey commercial building (c.1980) which has been occupied by Snap Printing.

The proposal must be assessed against the following clauses of the Historic Heritage Code of the Scheme. The relative objective of each section is also included

E13.7.1 Demolition

Objective:

To ensure that demolition in whole or part of a heritage place does not result in the loss of historic cultural heritage values unless there are exceptional circumstances.

E13.7.1 P1

Demolition must not result in the loss of significant fabric, form, items, outbuildings or landscape elements that contribute to the historic cultural heritage significance of the place unless all of the following are satisfied;

- (a) there are, environmental, social, economic or safety reasons of greater value to the community than the historic cultural heritage values of the place;*
- (b) there are no prudent and feasible alternatives;*
- (c) important structural or façade elements that can feasibly be retained and reused in a new structure, are to be retained;*
- (d) significant fabric is documented before demolition.*

Demolition as part of this proposal is limited to works/excavation associated with services and access for the apartments, foundations for the new building and the demolition of all structures within the subject strata lot. The existing building is a concrete block construction with a metal skillion roof structure. (see figures 1, 2, 4, 5, 6 and 7)

The significant tree is visible from the street and makes a positive contribution to the street and setting of the listed building. It is listed for the following reason:

"The tree forms a significant component in the streetscape in an area where there is a lack of garden." (Category 6 - Trees that have local significance) It is therefore considered that a comprehensive Construction Management Plan that references the Australian Standard would help protect the tree.

The structure itself is not a significance form or item. It does not have significant fabric within it that contributes to the heritage significance of the place. Therefore, there is no heritage loss and as such, the proposal satisfies E13.7.1 P1.

E13.7.2 Buildings and Works other than Demolition

Objective:

To ensure that development at a heritage place is:

- (a) undertaken in a sympathetic manner which does not cause loss of historic cultural heritage significance; and*
- (b) designed to be subservient to the historic cultural heritage values of the place and responsive to its dominant characteristics.*

E13.7.2 P1

Development must not result in any of the following:

- (a) loss of historic cultural heritage significance to the place through incompatible design, including in height, scale, bulk, form, fenestration, siting, materials, colours and finishes;*
- (b) substantial diminution of the historic cultural heritage significance of the place through loss of significant streetscape elements including plants, trees, fences, walls, paths, outbuildings and other items that contribute to the significance of the place.*

It is clear that the proposed apartment block will be taller than surrounding buildings and will be visible from some view points. The proposal has four levels of apartments with a partially covered open courtyard/deck on the roof and as such its visibility is unavoidable particularly given that immediately surrounding buildings range in height from one to two to two storeys with attic space and the fact that the proposal is located on the higher end of the ridgeline. (see

pages 110-121 of the Praxis Report for the applicant's assessment of the proposal).

However, within this block bounded by Barrack, Macquarie, Harrington and Davey Street there are already buildings that are four and five storeys high located to the rear or internally to the block. The overall effect is of a stepped massing to the centre of the block and while these four and five storey buildings are visible above the roof lines of the buildings around the edge, no one building is individually prominent. As such the cohesiveness of the streetscape of listed buildings remains strong as does the overall character of this particular block.

The proposed apartment block is not considered to be of a design that is incompatible to Careen, although it is recognised that it has a modern appearance with contemporary materials and character. The proposed materials, colours, finishes and fenestration, scale, height, bulk and form of the building are not considered to be incompatible, but the proposal would benefit from further resolution of the external finishes, colours and materials. This could be achieved by a condition of permit. There is no loss of streetscape elements that contribute to the significance of the place. It is therefore considered that the proposal satisfies E13.7.2 P1.

E13.7.2 P2

Development must be designed to be subservient and complementary to the place through characteristics including:

- (a) scale and bulk, materials, built form and fenestration;*
- (b) setback from frontage;*
- (c) siting with respect to buildings, structures and listed elements;*
- (d) using less dominant materials and colours.*

As already outlined above, the apartment block is behind Careen which is on the same listed site. The proposed apartments are taller than Careen but are set to the rear. The distance between the two varies depending on where the measurements are taken. The strata lot has a faceted frontage facing Macquarie Street and therefore the proposed building is also somewhat faceted. For example, the distance between the rear narrower two storey segment along the north east boundary is 6.8 metres to the rear courtyard wall of apartment 1. On the other hand, the wall of the dining area of apartment 1 is closer and is 4.8 metres from that same rear extension of Careen. The overall distance of the strata lot of the proposed apartments from the Macquarie Street frontage is 23.4 metres. As such, Careen remains dominant in the street with the new apartments as a layer, albeit a taller one, to the rear. While the Praxis report states that the "proposed building utilises a recessive and subdued colour and materials palette which is complementary to the existing heritage building and those in the near surrounds", this is not explicit in the photomontage and architectural renderings. A condition is therefore recommended for any permit granted requiring the submission of a more comprehensive materials and colour palette to achieve this end. On this basis, it is considered that the proposal satisfies E13.7.2 P2.

E13.7.2 P3

Materials, built form and fenestration must respond to the dominant heritage characteristics of the place, but any new fabric should be readily identifiable as such.

For the reasons outlined above, the proposal does demonstrate a built form that is not inconsistent with the heritage values of the place and utilises materials and fenestration pattern that does likewise. Clearly the fabric of the new development will be readily identifiable as new. In this respect, the proposal satisfies E13.7.2 P3 with the condition recommended in the discussion for E13.7.2 P1 and P2.

E13.8.1 Demolition

Objective:

To ensure that demolition in whole or in part of buildings or works within a heritage precinct

does not result in the loss of historic cultural heritage values unless there are exceptional circumstances

E13.8.1 P1

Demolition must not result in the loss of any of the following:

(a) buildings or works that contribute to the historic cultural heritage significance of the precinct;

(b) fabric or landscape elements, including plants, trees, fences, paths, outbuildings and other items, that contribute to the historic cultural heritage significance of the precinct; unless all of the following apply;

(i) there are, environmental, social, economic or safety reasons of greater value to the community than the historic cultural heritage values of the place;

(ii) there are no prudent or feasible alternatives;

(iii) opportunity is created for a replacement building that will be more complementary to the heritage values of the precinct.

Demolition as part of this proposal is limited to works/excavation associated with the services and access, foundations for the building and the removal of all structures within the subject site. The existing building is built of concrete block and has a metal skillion roof. (see figures 1, 2, 4, 5, 6 and 7) This structure, which dates to the c.1980s is not significant within the precinct having a neutral presence and is not a building due to its design, form and location that contributes to the heritage significance of the place.

As discussed above, the proposal will require a comprehensive and well executed Construction Management Plan for the works to satisfy subclause (b) given there is potential for the works, including excavation for footings, and construction vehicle movements and deliveries, to result in the loss or damage of tree roots or limbs of the significant tree, not to mention detriment to its long term health and vigour. This can be achieved by a condition of permit.

The matter of the potential damage or destruction of a rose of cultural heritage value located on a neighbouring property during demolition and construction can be addressed by a condition of permit requiring the rose on its climbing frame to be supported and the protected during construction to the satisfaction of the neighbouring land owner.

The replacement building is four storeys high with a partially roofed courtyard on the top. It has a face brick wall at ground level, metal louvres and steel powdercoated balustrades. On the east elevation the walls and roof are finished in Colorbond in Basalt (mid to dark grey) and a brick veneer cladding. The west elevation is finished in pre-cast concrete panels with rebates and a sandblasted finish and the south elevation includes a lightweight wall cladding. While colours are not specified, there is some evidence of what is being proposed in the photo montages with colours shown in browns and greys with the brick pattern on the south elevation that is often called 'hit and miss' brickwork which is visible from Davey Street. Even without the colour specifics, the design of the proposed building is relatively well resolved in detail, has articulation in the elevation and introduces materials and detailing that show some relationship to the building materials already used within the precinct. In this respect, it could be argued that the replacement building, based on its siting within the centre of the block and use of materials is more complementary to the heritage values of the precinct than the existing building.

Therefore, when assessed against clause E13.8.1 P1 it is considered that the proposal complies.

E13.8.2 Buildings and Works other than Demolition

Objective:

To ensure that development undertaken within a heritage precinct is sympathetic to the character of the precinct.

E13.8.2 P1

Design and siting of buildings and works must not result in detriment to the historic cultural heritage significance of the precinct, as listed in Table E13.2.

The Macquarie Concise Dictionary (5th edition) definition of detriment means; 'loss, damage or injury' and 'a cause of loss or damage'. The precinct, in particular this block bounded by Barrack, Macquarie, Harrington and Davey Street, has a high degree of uniformity of scale, with buildings being single, two and three storeys around the street edge with an example of four and five storey buildings within the centre. For example, at 180 Macquarie Street, the Nurses Federation building is located behind a heritage listed building, but is constructed within the centre of the block and is five stories high. The top back of this building can be viewed from various locations along Davey Street and other vistas. In this situation, it is an example of how a taller building located within the centre of a block is less visible than one on the street edge when a stepped, incremental massing effect toward the centre of the block, is created. Clearly, the example at 180 Macquarie Street and the current proposal being assessed are very different in terms of the use of cladding, form, design resolution and, as such, comparisons are of a very general nature. However, in terms of the general principal of whether or not the proposed apartment block detracts from the character of the precinct, it is considered that due to its siting and design of the development behind Careen, located within the centre of the block and largely obscured from view by surrounding buildings, the proposed building does not result in detriment to the continuity of scale of buildings and street space. The proposal is considered to satisfy E13.8.2 P1.

*E13.10.1 Building, Works and Demolition**Objective*

To ensure that building, works and demolition at a place of archaeological potential is planned and implemented in a manner that seeks to understand, retain, protect, preserve and otherwise appropriately manage significant archaeological evidence.

E13.10.1 P1

Buildings, works and demolition must not unnecessarily impact on archaeological resources at places of archaeological potential, having regard to:

- (a) the nature of the archaeological evidence, either known or predicted;*
- (b) measures proposed to investigate the archaeological evidence to confirm predictive statements of potential;*
- (c) strategies to avoid, minimise and/or control impacts arising from building, works and demolition;*
- (d) where it is demonstrated there is no prudent and feasible alternative to impacts arising from building, works and demolition, measures proposed to realise both the research potential in the archaeological evidence and a meaningful public benefit from any archaeological investigation;*
- (e) measures proposed to preserve significant archaeological evidence 'in situ'.*

The application documents (Praxis Report) describes in a statement of archaeological potential what are the archaeologically sensitive areas. It confirms that the footprint of the proposed development is not within an archaeological sensitive area. It recommends that the service trenches in areas of high archaeological potential be monitored and any significant remains managed in accordance with the Tasmanian Heritage Council's Practice Note 2 (Archaeology). This can be achieved by a condition of any permit granted. The proposal complies with E13.10.1 P1.

In relation to E24.0 Significant Trees Code the following provisions apply:

*E24.6.1**Objective:*

To ensure that significant trees are not unnecessarily destroyed and are managed in a way that maintains their health and appearance.

E24.6.1 P1:

The lopping, pruning, removal or destruction of any tree listed in Table E24.1 may be

approved having regard to all of the following:

- (v) the impact that the proposed tree removal, lopping or pruning would have on the character of the area or the appearance of development on the site;*
- (vi) whether the removal or destruction of the tree is appropriate due to the tree being near the end of its expected life span or being in poor health;*
- (vii) the proposed means of lopping, pruning, destruction or removal of vegetation;*
- (viii) the need to maintain and protect the amenity value of the tree and the general area and its landscape and heritage significance;*
- (ix) any hazards the tree poses to the health, welfare and safety of persons and to property;*
- (x) the impact on the appearance or setting of any place of cultural heritage significance;*
- (xi) whether pruning or lopping will adversely affect the health, appearance or significance of the tree;*
- (xii) any proposed replacement plantings.*

No works to the tree are being proposed per se, however the applicant's arborists report does note that the works around the tree could impact negatively on the tree. Works will include excavation around the base of the tree for services, vehicular traffic such as cranes and trucks, for delivery and construction and changes to the ground surface post the completion of the development. A condition is therefore recommended for any permit granted requiring a comprehensive Construction Management Plan that uses the Australian Standard AS 4970-2009 *Protection of trees on development sites*. Therefore the proposal satisfies E24.6.1 P1.

In conclusion the proposal satisfies the following clauses of the Historic Heritage Code: E13.7.2 P1, P2, P3, E13.8.2 P3, E13.10.1 P1 and Significant Trees Code: E24.6.1 P1. Conditions are recommended.

Sarah Waight
Acting Senior Cultural Heritage Officer
5 September 2019

ATTACHMENT TO CULTURAL HERITAGE REFERRAL
RESPONSE

Fig. 1 - View of building to be demolished constructed of concrete block with metal roof. Photo taken from the rear of the second storey of 83 Davey Street. St John's Presbyterian Church appears in the background. Source: Council image.



Fig. 2 – Image of rear roof plane of 5-7 Barrack Street with external louvres. The flat roof is the subject building to be demolished. Photo taken from the rear of the second storey of 83 Davey Street. Source: Council image.



Fig. 3 – Image from the waiting room within 5-7 Barrack Street through external louvres. The air-conditioning unit on the roof of the subject building is visible and St John's Presbyterian Church is visible in the background. Source: Council image.



Fig. 4 – Image of climbing rose growing over a frame attached to the wall of the building proposed to be demolished. Source: Council image.



Fig. 5 – Part of the single storey building proposed to be demolished and Carreen on the left. Source: Council image.



Fig. 6 – Subject building proposed to be demolished, with the significant tree to the top right. Source: Council image



Fig. 7 – View from Macquarie Street with the walnut tree (tree listed as a significant tree) in the centre, Careen to the left and the Snap printing office to the rear. Source: Council image.



Fig. 8 – View from subject site toward Macquarie Street with the walnut tree (significant tree) on the left and Careen to the right. Source: Council image.

URBAN DESIGN ADVISORY PANEL
MINUTES
26/6/2019**7. PLN-19-3 – 190 Macquarie Street Hobart and Adjacent road Reserve –
Demolition and new building for Four Multiple Dwellings and Works in Road
Reserve (Amended Proposal)**

The Panel met with the Principal and Senior Town Planner Matt Clark, JMG Engineers and Planners, Director Stephen Geason, Cykel Architecture and Alister Hodgman, from Element Tree Services who presented the proposal and responded to questions.

The Panel subsequently met in camera to discuss the proposal in detail and the advice below is provided for the consideration of the proponents, officers and Aldermen.

Description:

The proposal is for the demolition of the existing building on the above property and the construction of a new four storey building, containing a residential apartment on each level.

More specifically the proposal includes:

- Works in the road reserve including removal of an existing car park and parking meter and widening of the existing crossover to the property from Macquarie Street.
- Demolition of the existing building on the site (currently occupied by Snap Printing).
- Six car parking spaces adjacent to the driveway.
- The apartment proposed on the ground floor would have a floor area of 143m² and three bedrooms. The apartments on the remaining floors would have smaller floor areas of 133m² respectively but would also have three bedrooms.

URBAN DESIGN ADVISORY PANEL
MINUTES
26/6/2019

- Proposed external materials for the development include face brick and brick veneer walls, metal sheet wall and lightweight wall cladding and a multi-pitch Colorbond roof.

Comments:

Overall the Panel was in support of the proposal and thanked the applicants for taking on the previous advice from the Panel with this amended plan.

The Panel agreed with the proposed new protections around the walnut tree and advised that a detailed landscape plan by a registered landscape architect should be provided. The plan would indicate the use of permeable paving, a temporary fence during construction and bollards and edging protecting the tree and adjacent garden space from vehicle egress. An irrigation system is required.

The panel highly recommends that ongoing advice from the arboriculturalist is sought both during documentation of the project and at specified hold points during construction and in the 12 month plant establishment period.

The amended design' with the reduction in height is now considered to be of a scale consistent with this area of the Heritage Precinct.

**7.1.3 30 MCROBIES ROAD (CT 160085/3 AND CT 126957/1) SOUTH
HOBART - PARTIAL DEMOLITION, NEW WASHDOWN FACILITY
AND ASSOCIATED WORKS
PLN-19-200 - FILE REF: F19/136855**

Address: 30 McRobies Road (CT 160085/3 and CT 126957/1) South Hobart

Proposal: Partial Demolition, New Washdown Facility and Associated Works

Expiry Date: 8 November 2019

Extension of Time: Not applicable

Author: Victoria Maxwell

RECOMMENDATION

That pursuant to the *Hobart Interim Planning Scheme 2015*, the Council approve the application for partial demolition, new washdown facility and associated works at 30 McRobies Road (CT 166085/3 & CT 166085/5 & CT 126957/1) South Hobart TAS 7004 for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

GEN

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-19-200 30 MCROBIES ROAD SOUTH HOBART TAS 7004 - Final Planning Documents except where modified below.

Reason for condition

To clarify the scope of the permit.

TW

The use and/or development must comply with the requirements of TasWater as detailed in the form Submission to Planning Authority Notice, Reference No. TWDA 2019/00583-HCC dated 17th May 2019 as attached to the permit.

Reason for condition

To clarify the scope of the permit.

ENG sw1

All stormwater from the proposed development (including but not limited to: roofed areas, ag drains, retaining wall ag drains and impervious surfaces such as driveways and paved areas) must be drained to the Council's stormwater infrastructure prior to commencement of use.

Reason for condition

To ensure that stormwater from the site will be discharged to a suitable Council approved outlet.

ENG sw2.1

A pre-construction CCTV recording of the Council's stormwater main within/adjacent to the proposed development, along with photos of any drainage structures to be connected to or modified, must be submitted to Council prior to the commencement of work.

The post-construction CCTV recording and photos will be relied upon to establish the extent of any damage caused to Council's stormwater infrastructure during construction. If the owner/developer fails to provide Council with pre-construction CCTV recording then any damage to Council's infrastructure identified in the post-construction CCTV recording will be deemed to be the responsibility of the owner.

Reason for condition

To ensure that any of the Council infrastructure and/or site-related service connections affected by the proposal will be altered and/or reinstated at the owner's full cost.

ENG sw2.2

A post-construction CCTV recording of the Council's stormwater main within/adjacent to the proposed development, along with photos of any existing drainage structures connected to or modified as part of the development, must be submitted to Council upon completion of work.

The post-construction CCTV recording and photos will be relied upon to establish the extent of any damage caused to Council's stormwater infrastructure during construction. If the owner/developer fails to provide Council with pre-construction CCTV then any damage to Council's infrastructure identified in the post-construction CCTV will be deemed to be the responsibility of the owner.

Reason for condition

To ensure that any of the Council infrastructure and/or site-related service connections affected by the proposal will be altered and/or reinstated at the owner's full cost.

ENG sw6

The new stormwater connection and drainage infrastructure must be constructed (the new connection to be completed by the Council at the owner's expense), prior to the commencement of use.

Detailed engineering drawings and supporting computations for the proposed new stormwater connection and drainage infrastructure must be submitted and approved prior to commencement of work. The detailed engineering drawings and supporting computations must:

- 1. Be prepared by a suitably qualified person;**
- 2. Clearly show the location, size, pipe type and class, invert levels, and method of construction of the proposed connection;**
- 3. Include longitudinal section(s)/levels and grades to the point of discharge;**
- 4. Include a trafficable wash-water containment bund across the entrance to the wash bay;**

5. Include appropriate scour protection at the end of the asphalt lined swale drain;
6. Provide detail of the power trench where it crosses Council's 1500mm main including levels, depths, clearances, cover etc; and
7. Show 3% CSFCR backfill in the power trench where it crosses Council's 1500mm main.

All work required by this condition must be undertaken in accordance with the approved design drawings.

Advice:

An [*application for a new stormwater connection*](#) is required

Once the detailed engineering plans and computations have been approved Council will issue a condition endorsement (see general advice on how to obtain condition endorsement).

Consent from the General Manager of the Council in accordance with section 73 Building Act 2016 will be required for any building work over an existing drain or within one metre from the edge of the existing drain measured horizontally. Also consent is required from all parties with the benefit of the easement in accordance with section 74 Building Act 2016 for any works proposed within the easement. In order to obtain consent from the General Manager of the Council, it is required that a request to the General Manager of Council is made for consent. The request should be supported by the written consent of all parties with the benefit of the easement confirming their consent to the proposed works within the easement. If Council grants a permit authorising the proposal under the Land Use Planning and Approvals Act 1993 and Hobart Interim Planning Scheme 2015, works must not commence unless and until the consent is obtained under Building Act 2016 to the proposed works involving or in proximity of existing drains and service easements, and all conditions of such consent are complied with.

Clearance between footings or other works must be to the nearest outside edge of the Council stormwater main and clearly shown on the drawings.

Where applicable, zone of influence is to be clearly shown on the drawings.

Reason for condition

To ensure that stormwater from the site is drained adequately and will be discharged to a suitable Council approved outlet.

ENG 4

The access driveway and truck turning area approved by this permit must be constructed to a sealed standard (spray seal, asphalt, concrete, pavers or equivalent Council approved) and surface drained to the Council's stormwater infrastructure prior to the commencement of use.

Reason for condition

To ensure the safety of users of the access driveway and turning area, and that it does not detract from the amenity of users, adjoining occupiers or the environment by preventing dust, mud and sediment transport.

ENV 1

Sediment and erosion control measures sufficient to prevent sediment from leaving the site must be installed prior to any disturbance of the site, and maintained until all areas of disturbance have been stabilized or re-vegetated.

Advice: For further guidance in preparing a Soil and Water Management Plan – in accordance with Fact sheet 3 Derwent Estuary Program click [here](#).

Reason for condition

To avoid the sedimentation of roads, drains, natural watercourses, Council land that could be caused by erosion and runoff from the development, and to comply with relevant State legislation.

ENVHE 1

Recommendations in the report titled 'Potentially Contaminated Land Code: Environmental Site Assessment (PCLC ESA) Report - 30 McRobies Road, South Hobart, Version R01' (the Report) must be implemented during the excavation works:

- 1. 'Direct Contact with PCS' and 'Ingestion of PCS' as listed in 'Table 3: Onsite controls and screening during excavation works' of the Appendix A - Contamination Management Plan.**
- 2. The Report does confirm that excavated material is suitable for reuse onsite, however if it is planned to be removed from the investigation area, the EPA Information Bulletin 105 'Classification and Management of Contaminated Soil for Disposal' must be implemented.**

Reason for condition

To ensure that the works are carried out with minimal risk to workers and the environment.

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

CONDITION ENDORSEMENT ENGINEERING

All engineering drawings required to be submitted and approved by this planning permit must be submitted to the City of Hobart as a CEP (Condition Endorsement) via the City's [Online Service Development Portal](#). When lodging a CEP, please reference the PLN number of the associated Planning Application. Each CEP must also include an estimation of the cost of works shown on the submitted engineering drawings. Once that estimation has been confirmed by the City's Engineer, the following fees are payable for each CEP submitted and must be paid prior to the City of Hobart commencing assessment of the engineering drawings in each CEP:

Value of Building Works Approved by Planning Permit Fee:

Up to \$20,000: \$150 per application.

Over \$20,000: 2% of the value of the works as assessed by the City's Engineer per assessment.

These fees are additional to building and plumbing fees charged under the Building and Plumbing Regulations.

Once the CEP is lodged via the [Online Service Development Portal](#), if the value of building works approved by your planning permit is over \$20,000, please contact the City's Development Engineer on 6238 2715 to confirm the estimation of the cost of works shown on the submitted engineering drawings has been accepted.

Once confirmed, please call one of the City's Customer Service Officers on 6238

2190 to make payment, quoting the reference number (ie. CEP number) of the Condition Endorsement you have lodged. Once payment is made, your engineering drawings will be assessed.

BUILDING PERMIT

You may need building approval in accordance with the *Building Act 2016*. Click [here](#) for more information.

This is a Discretionary Planning Permit issued in accordance with section 57 of the *Land Use Planning and Approvals Act 1993*.

PLUMBING PERMIT

You may need plumbing approval in accordance with the *Building Act 2016*, *Building Regulations 2016* and the National Construction Code. Click [here](#) for more information.

SPECIAL CONNECTION PERMIT

You may need a Special Connection Permit (Trade Waste) in accordance with the *Plumbing Regulations 2014* and the Tasmanian Plumbing Code. Click [here](#) for more information.

BUILDING OVER AN EASEMENT

In order to build over the service easement, you will require the written consent of the person on whose behalf the easement was created, in accordance with section 74 of the *Building Act 2016*.

NEW SERVICE CONNECTION

Please contact the Hobart City Council's City Amenity Division to initiate the application process for your [new stormwater connection](#).

STORMWATER

Please note that in addition to a building and/or plumbing permit, development must be in accordance with the Hobart City Council's Infrastructure By law. Click [here](#) for more information.

STRUCTURES CLOSE TO COUNCILS' STORMWATER MAIN

The design of structures (including footings) must provide protection for the Council's infrastructure. For information regarding appropriate designs please contact the Council's City Amenity Division.

STORM WATER / ROADS / ACCESS

Services to be designed and constructed in accordance with the (IPWEA) LGAT – standard drawings. Click [here](#) for more information.

NOISE REGULATIONS





Click [here](#) for information with respect to noise nuisances in residential areas.

FEES AND CHARGES

Click [here](#) for information on the Council's fees and charges.

DIAL BEFORE YOU DIG

Click [here](#) for dial before you dig information.

- | | |
|---------------|---|
| Attachment A: | PLN-19-200 - 30 MCROBIES ROAD (CT 166085/3 & CT 166085/5 & CT 126957/1) SOUTH HOBART TAS 7004 - Planning Committee or Delegated Report ↓  |
| Attachment B: | PLN-19-200 - 30 MCROBIES ROAD SOUTH HOBART TAS 7004 - CPC Agenda Documents ↓  |
| Attachment C: | PLN-19-200 - 30 MCROBIES ROAD SOUTH HOBART TAS 7004 - CPC Referral Officer Reports ↓  |
| Attachment D: | PLN-19-200 - 30 MCROBIES ROAD SOUTH HOBART TAS 7004 - CPC Supporting Documents (Supporting information)  |

**APPLICATION UNDER HOBART INTERIM PLANNING SCHEME 2015**

Type of Report: Committee
Committee: 4 November 2019
Expiry Date: 8 November 2019
Application No: PLN-19-200
Address: 30 MCROBIES ROAD (CT 166085/3 & CT 166085/5 & CT 126957/1) ,
SOUTH HOBART
Applicant: (JMG Engineers and Planners on behalf of Hobart City Council - Parks and
City Amenity)
117 Harrington Street
Proposal: Partial Demolition, New Washdown Facility and Associated Works
Representations: Nil
Performance criteria: Utilities Zone - 28.2 P1 - Noise
Utilities Zone - 28.3.4 P1 - Commercial Vehicle Movements
Potentially Contaminated Land Code - Excavation - E 2.6.2 P1

1. Executive Summary

- 1.1 Planning approval is sought for Partial Demolition, New Washdown Facility and Associated Works at the McRobies Gully Waste Management Centre.

- 1.2 More specifically the proposal includes:
- excavation of underlying sub base;
 - excavation of earthen batter to the eastern side of the development area to enlarge trafficable area;
 - excavation of soil profile to allow installation of a ~5,000L silt arrestor pit and 3000L holding well;
 - installation and realignment of services;
 - concrete resurfacing;
 - reinstatement of asphalt;
 - construction of steel open ended structure;
 - construction of 6.4m x 9m steel shed with 6.3m high walls to the eaves and maximum height of 7.065m to the roof ridge;
 - a second shed of 4.7m x 1.5m will be attached to the side of the main structure to house the water treatment system;
 - two (2) 2 x 1.850 m wide doors will enclose the shed;
 - the height will facilitate garbage trucks to raise their compaction compartment inside the shed to facilitate washing;
 - the sheds will be walled in Monument colorbond roof and walls;
 - asphalt will be laid around the shed; and
 - washdown waters will be directed to sewer.
- 1.3 The proposal relies on performance criteria to satisfy the following standards and codes:
- 1.3.1 Zone Use Standards - Noise and Commercial Vehicle Movements
 - 1.3.2 Potentially Contaminated Code
- 1.4 No representations were received during the statutory advertising period between 24/09 and 08/10/2019.
- 1.5 The proposal is recommended for approval subject to conditions.
- 1.6 The final decision is delegated to Council.

2. Site Detail

- 2.1 The site is located within the McRobies Gully Waste Management Centre. The Centre comprises a large portion of land in South Hobart. The area the subject of this application is located on the southern side of the internal road, some 75 metres from the entrance gates. The development site straddles three titles all in Council ownership. Surrounding development to the south is generally single residential dwellings. The closest dwelling is approximately 100m from the development site.

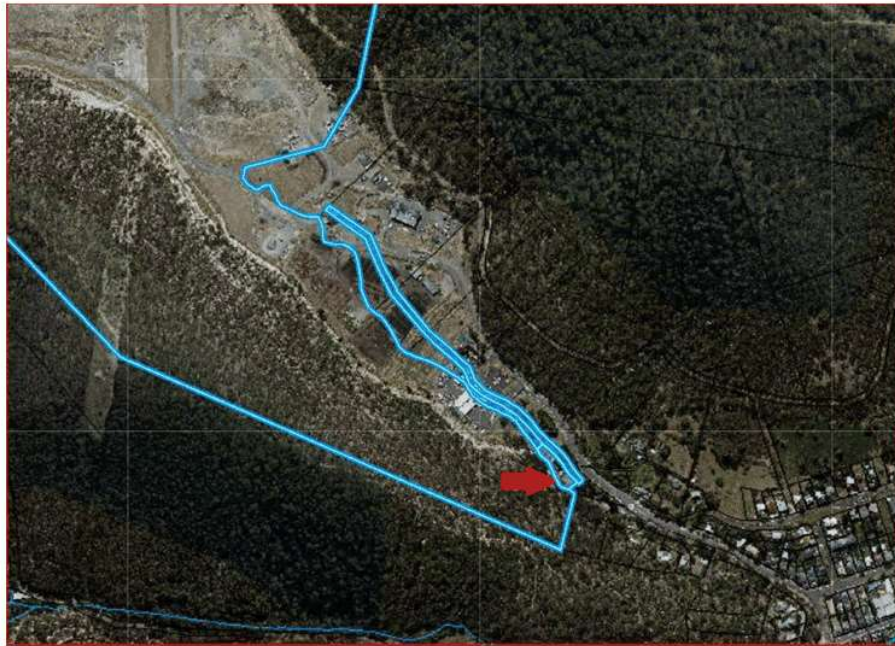


Figure 1: Location Plan (Geo Cortex, 2019)

The site is accessed from a separate road to the west of the main gates. This access road separates commercial and works vehicles from the general public. There is no access onto the main public road within the site.



Figure 2: entrance to the McRobies Gully Waste Management Centre, showing second access road to development site (Google Streetview, 2019)

The development site is a bitumen covered flat area adjacent to the leachate ponds below the concrete drainage channel that runs to the west of the Resource Work Cooperative Tip Shop.



Figure 3: Site Plan (Google Maps, 2019)

The building site is flat and approximately 8 metres below the public road level. Native vegetation screens the site from the main Waste Management Centre access road. The site lies within a small gully depression and is not visible to surrounding properties.

3. Proposal

3.1 Planning approval is sought for Partial Demolition, New Washdown Facility and Associated Works at the McRobies Gully Waste Management Centre.

3.2 More specifically the proposal includes:

- excavation of underlying sub base;
- excavation of earthen batter to the eastern side of the development area to enlarge trafficable area;
- excavation of soil profile to allow installation of a ~5,000L silt arrestor pit and 3000L holding well;
- installation and realignment of services;
- concrete resurfacing;
- reinstatement of asphalt;
- construction of steel open ended structure;
- construction of 6.4m x 9m steel shed with 6.3m high walls to the eaves and maximum height of 7.065m to the roof ridge;
- a second shed of 4.7m x 1.5m will be attached to the side of the main structure to house the water treatment system;
- two (2) 2 x 1.850 m wide doors will enclose the shed;
- the height will facilitate garbage trucks to raise their compaction compartment inside the shed to facilitate washing;
- the sheds will be walled in Monument colourond roof and and walls;
- asphalt will be laid around the shed; and
- washdown waters will be directed to sewer.

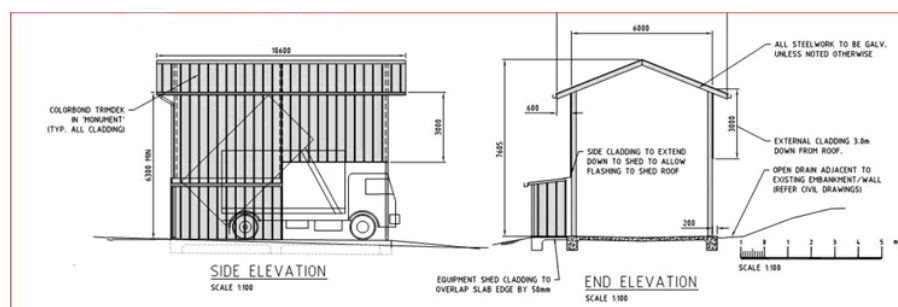


Figure 4: Shed elevations (JMG, 2019)

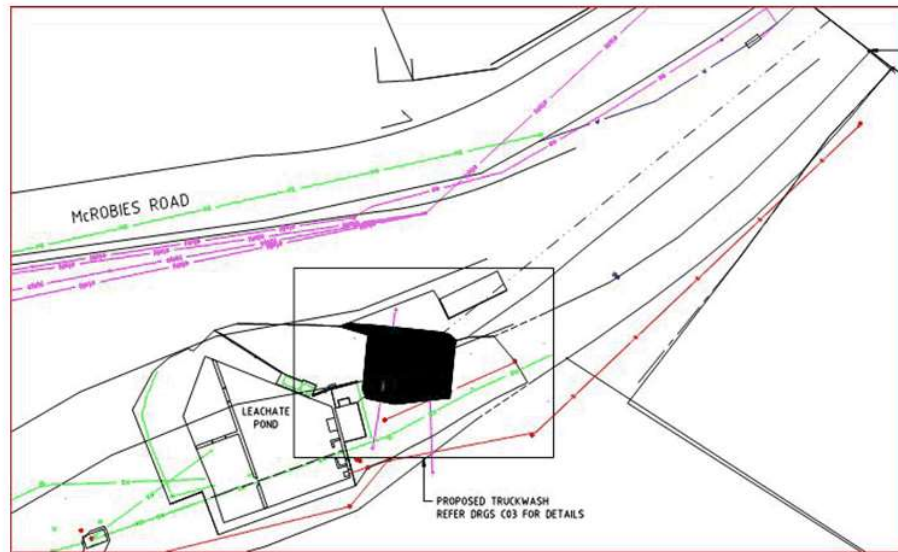


Figure 5: Site plan for development (JMG, 2019)

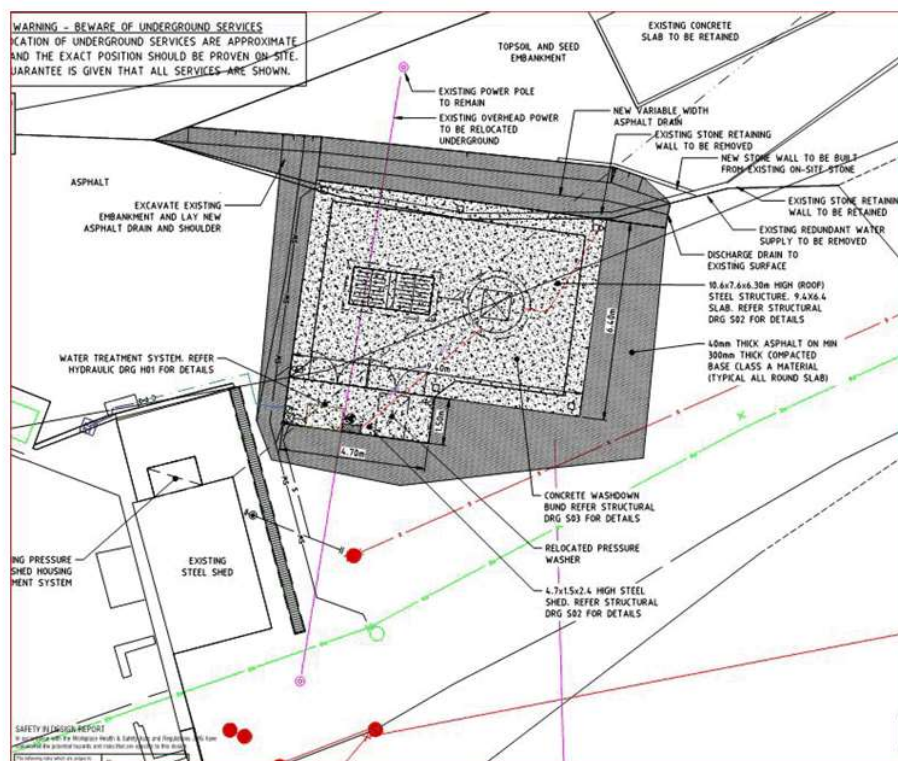


Figure 6: Area to be asphalt surface around shed (JMG, 2019)

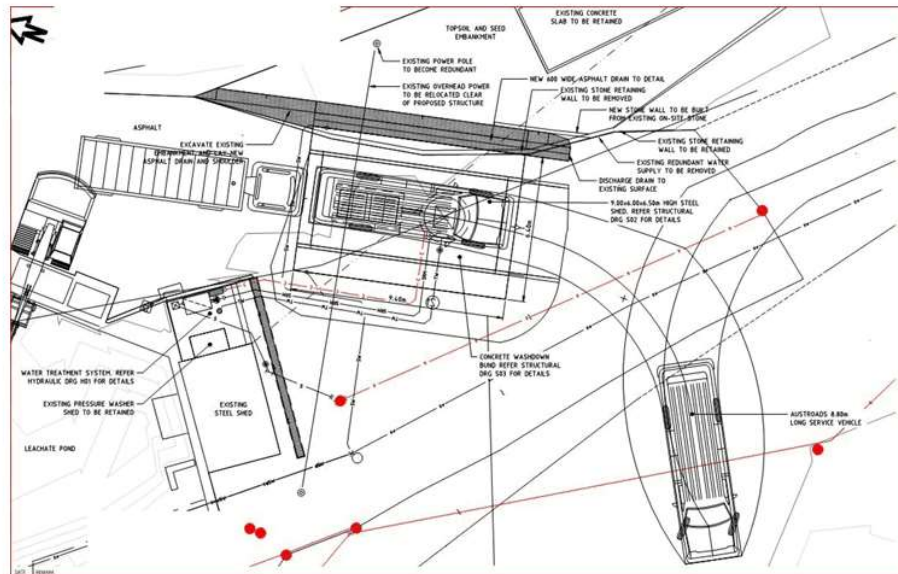


Figure 7: Truck turning area (JMG, 2019)

4. Background

- 4.1 This application is part of the tender process for upgrading facilities and services to improve refuse collection at the McRobies Gully Waste Management Centre for the City of Hobart. Truck washdown currently occurs on site, however this will provide a better environmental outcome, by directing washdown trade waste to sewerage services.

5. Concerns raised by representors

- 5.1 No representations were received during the statutory advertising period between 24th September and 8th October 2019.

6. Assessment

- 6.1 The *Hobart Interim Planning Scheme 2015* is a performance based planning scheme. To meet an applicable standard, a proposal must demonstrate compliance with either an acceptable solution or a performance criterion. Where a proposal complies with a standard by relying on one or more performance criteria,

the Council may approve or refuse the proposal on that basis. The ability to approve or refuse the proposal relates only to the performance criteria relied on.

- 6.2 The site is located within the Utilities zone of the *Hobart Interim Planning Scheme 2015*.
- 6.3 The existing use is Utilities, as is the proposed use. Utilities uses are a Permitted use in the zone.
- 6.4 The proposal has been assessed against:
 - 6.4.1 Part D - 28 Utilities Zone
 - 6.4.2 E6.0 Parking and Access Code
 - 6.4.3 E7.0 Stormwater Management Code
 - 6.4.4 E2.0 Potentially Contaminated Land Code
- 6.5 The proposal relies on the following performance criteria to comply with the applicable standards:
 - 6.5.1 Part D 28.2 - Noise
 - 6.5.2 Part D 28.3.4 - Commercial Vehicle Movements
 - 6.5.3 Part E 2.6.2 - Excavation
- 6.6 Each performance criterion is assessed below.
- 6.7 Utilities Zone 28.3.2 Noise
 - 6.7.1 The acceptable solution at clause 28.3.2 requires noise emission monitoring at the boundary of a Residential zone to be undertaken in accordance with the methods in the Tasmanian Noise Measurement Procedures Manual issued by the Director of Environmental Management.
 - 6.7.2 The proposal did not include any monitoring of noise.
 - 6.7.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.
 - 6.7.4 The performance criterion at clause 28.3.2 P1 provides as follows:

Noise emissions measured at the boundary of a residential zone must not cause environmental harm within the residential zone.

- 6.7.5 The closest residential zone boundary is approximately 12m east of the proposed development and works. However, it must be stressed that the boundary of the zone encompasses the McRobies Road road reservation. The closest house is approximately 100m from the development site.

The applicant's advise is that the proposal will not intensify the use of the site or the way in which trucks manoeuvre around the site. The sources of noise at the site will remain the same, including truck manoeuvring and washdown using a high pressure hose. These noise emissions are not significant.

It can be argued that the addition of a shed would decrease any noise from the truck wash and so decrease any noise emitting to adjacent residential areas. In addition, this noise is not likely to be significant compared with the access road to the Waste Management Centre, which is closer to the residential properties than the proposed development and works.

Therefore, the activities will not affect noise levels to cause environmental harm within the residential zone.

- 6.7.6 The proposal complies with the performance criterion.

6.8 Utilities Zone - 28.3.4 - Commercial Vehicle Movements

- 6.8.1 The acceptable solution at clause 28.3.4 requires hours of operation to be between 7.00 am to 7.00 pm Monday to Friday and 9.00 am to 5.00 pm Saturdays, with no operation on Sundays and public Weekends..
- 6.8.2 The proposal includes operating hours between 7.30 am to 4.15 pm Monday to Friday and 7.30 am to 4.15 pm on Saturday, Sunday and Public Holidays.
- 6.8.3 The proposal does not comply with the acceptable solution; therefore assessment against the performance criterion is relied on.
- 6.8.4 The performance criterion at clause 28.3.4 provides as follows:

Commercial vehicle movements, (including loading and unloading and garbage removal) to or from a site within 50 m of a residential zone must not result in unreasonable adverse impact upon residential amenity having regard to all of the following:

- (a) the time and duration of commercial vehicle movements;*
- (b) the number and frequency of commercial vehicle movements;*
- (c) the size of commercial vehicles involved;*
- (d) the ability of the site to accommodate commercial vehicle turning movements, including the amount of reversing (including associated warning noise);*
- (e) noise reducing structures between vehicle movement areas and dwellings;*
- (f) the level of traffic on the road;*
- (g) the potential for conflicts with other traffic.*

The proposed development and works is within 50m of a residential zone and approximately 100m from the closest dwelling. There are four dwellings within 150m of the site.



Figure 9: Surrounding dwellings (Google Maps, 2019)

6.8.5 Notwithstanding the surrounding residential development, it is considered that the proposal will not result in unreasonable adverse impact upon residential amenity having regard to all of the following:

- The time and duration, as the existing rate and times of commercial vehicle movements will not change;
- There will not be additional or more frequent truck movement at the

- site due to the proposed development and works;
- There will be no increase in the size of commercial vehicles involved;
- There will be no change to the ability of the site to accommodate commercial vehicle turning movements, including the amount of reversing (including associated warning noise);
- The proposed washdown building will act as a noise barrier and decrease the existing noise levels from truck washing activities.

In addition, there is existing landscaping comprising trees and shrubs to the east of the proposed development site along the eastern boundary of the Waste Management Centre, to a depth of 21m.

There will be no change to the level of traffic on the road or potential for conflicts with other traffic, as the trucks will manoeuvre around the site in the same way and use the separate access.

Therefore, it is considered that there will be no increase in unreasonable adverse impact upon residential amenity, and there will potentially be a slight reduction in noise levels at the site due to the new wash building.

6.8.6 The proposal complies with the performance criterion.

6.9 Potentially Contaminated Land Code - Part E 2.6.2 - Excavation

6.9.1 There is no acceptable solution for clause E 2.6.2.

6.9.2 The proposal includes work involving excavation of more than 1m² on potentially contaminated land.

6.9.3 There is no acceptable solution; therefore assessment against the performance criterion is relied on.

6.9.4 The performance criterion at clause E 2.6.2 P1 provides as follows:

Excavation does not adversely impact on health and the environment, having regard to:

(a) an environmental site assessment that demonstrates there is no evidence the land is contaminated; or

(b) a plan to manage contamination and associated risk to human health and the environment that includes:

(i) an environmental site assessment;

(ii) any specific remediation and protection measures required to be implemented before excavation commences; and

(iii) a statement that the excavation does not adversely impact on

human health or the environment.

- 6.9.5 The application was referred to the City's Environmental Health Officer, who advised as follows:

P1b(i) An Environmental Site Assessment (ESA) prepared in accordance with the National Environmental Protection Measure (Assessment of Site Contamination) Measure 1999 was completed by Simon Chislett of EM&C Pty Ltd and submitted to Council on 7 August 2019.

P1(b)(ii) Should offsite disposal of excavated material be necessary, specific remediation and protection measures required to be implemented before excavation commences are:

- *Measures identified within the Tasmanian Soil Disposal Guidelines (Information Bulletin 105: Classification and Management of Contaminated Soil for Disposal (v2, 2018).*

P1(b)(iii) The planned excavation does not adversely impact on human health or the environment. The assessed level of site contamination does not present an unacceptable risk to workers involved in redevelopment of the site, or future users of the site, as a result of proposed excavation of the site.

- 6.9.6 The proposal complies with the performance criterion subject to condition.

7. Discussion

- 7.1 Planning approval is sought for Partial Demolition, New Washdown Facility and Associated Works at the McRobies Gully Waste Management Centre.
- 7.2 The application was advertised and no representations were received.
- 7.3 The proposal has been assessed against the relevant provisions of the planning scheme and is considered to perform well.
- 7.4 The proposal has been assessed by other Council officers, including the Council's Development Engineer, Environmental Development Planner, Environmental Health Officer, Open Space Planner and Stormwater Assets Officer. The officers have raised no objection to the proposal, subject to conditions.

7.5 The proposal is recommended for approval.

8. Conclusion

8.1 The proposed Partial Demolition, New Washdown Facility and Associated Works at 30 MCROBIES ROAD (CT 166085/3 & CT 166085/5 & CT 126957/1) SOUTH HOBART TAS 7004 satisfies the relevant provisions of the *Hobart Interim Planning Scheme 2015*, and as such is recommended for approval.

9. Recommendations

That: Pursuant to the *Hobart Interim Planning Scheme 2015*, the Council approve the application for Partial Demolition, New Washdown Facility and Associated Works at 30 MCROBIES ROAD (CT 166085/3 & CT 166085/5 & CT 126957/1) SOUTH HOBART TAS 7004 for the reasons outlined in the officer's report and a permit containing the following conditions be issued:

GEN

The use and/or development must be substantially in accordance with the documents and drawings that comprise PLN-19-200 30 MCROBIES ROAD SOUTH HOBART TAS 7004 - Final Planning Documents except where modified below.

Reason for condition

To clarify the scope of the permit.

TW

The use and/or development must comply with the requirements of TasWater as detailed in the form Submission to Planning Authority Notice, Reference No. TWDA 2019/00583-HCC dated 17th May 2019 as attached to the permit.

Reason for condition

To clarify the scope of the permit.

ENG sw1

All stormwater from the proposed development (including but not limited to: roofed areas, ag drains, retaining wall ag drains and impervious surfaces such as driveways and paved areas) must be drained to the Council's stormwater infrastructure prior to commencement of use.

Reason for condition

To ensure that stormwater from the site will be discharged to a suitable Council approved outlet.

ENG sw2.1

A pre-construction CCTV recording of the Council's stormwater main within/adjacent to the proposed development, along with photos of any drainage structures to be connected to or modified, must be submitted to Council prior to the commencement of work.

The post-construction CCTV recording and photos will be relied upon to establish the extent of any damage caused to Council's stormwater infrastructure during construction. If the owner/developer fails to provide Council with pre-construction CCTV recording then any damage to Council's infrastructure identified in the post-construction CCTV recording will be deemed to be the responsibility of the owner.

Reason for condition

To ensure that any of the Council infrastructure and/or site-related service connections affected by the proposal will be altered and/or reinstated at the owner's full cost.

ENG sw2.2

A post-construction CCTV recording of the Council's stormwater main within/adjacent to the proposed development, along with photos of any existing drainage structures connected to or modified as part of the development, must be submitted to Council upon completion of work.

The post-construction CCTV recording and photos will be relied upon to establish the extent of any damage caused to Council's stormwater infrastructure during construction. If the owner/developer fails to provide Council with pre-construction CCTV then any damage to Council's infrastructure identified in the post-construction CCTV will be deemed to be the responsibility of the owner.

Reason for condition

To ensure that any of the Council infrastructure and/or site-related service connections affected by the proposal will be altered and/or reinstated at the owner's full cost.

ENG sw6

The new stormwater connection and drainage infrastructure must be constructed (the new connection to be completed by the Council at the owner's expense), prior to the commencement of use.

Detailed engineering drawings and supporting computations for the proposed

new stormwater connection and drainage infrastructure must be submitted and approved prior to commencement of work. The detailed engineering drawings & supporting computations must:

1. Be prepared by a suitably qualified person;
2. Clearly show the location, size, pipe type and class, invert levels, and method of construction of the proposed connection;
3. Include longitudinal section(s)/levels and grades to the point of discharge;
4. Include a trafficable wash-water containment bund across the entrance to the wash bay;
5. Include appropriate scour protection at the end of the asphalt lined swale drain;
6. Provide detail of the power trench where it crosses Council's 1500mm main including levels, depths, clearances, cover etc; and
7. Show 3% CSFCR backfill in the power trench where it crosses Council's 1500mm main.

All work required by this condition must be undertaken in accordance with the approved design drawings.

Advice:

- An [application for a new stormwater connection](#) is required
- Once the detailed engineering plans and computations have been approved Council will issue a condition endorsement (see general advice on how to obtain condition endorsement).
- Consent from the General Manager of Council in accordance with section 73 Building Act 2016 will be required for any building work over an existing drain or within one metre from the edge of the existing drain measured horizontally. Also consent is required from all parties with the benefit of the easement in accordance with section 74 Building Act 2016 for any works proposed within the easement. In order to obtain consent from the General Manager of Council, it is required that a request to the General Manager of Council is made for consent. The request should be supported by the written consent of all parties with the benefit of the easement confirming their consent to the proposed works within the easement. If Council grants a permit authorising the proposal under the Land Use Planning and Approvals Act 1993 and Hobart Interim Planning Scheme 2015, works must not commence unless and until the consent is obtained under Building Act 2016 to the proposed works involving or in proximity of existing drains and service easements, and all conditions of such consent are complied with.
- Clearance between footings or other works must be to the nearest outside edge of the Council stormwater main and clearly shown on the drawings.

- *Where applicable, zone of influence is to be clearly shown on the drawings.*

Reason for condition

To ensure that stormwater from the site is drained adequately and will be discharged to a suitable Council approved outlet.

ENG 4

The access driveway and truck turning area approved by this permit must be constructed to a sealed standard (spray seal, asphalt, concrete, pavers or equivalent Council approved) and surface drained to the Council's stormwater infrastructure prior to the commencement of use.

Reason for condition

To ensure the safety of users of the access driveway and turning area, and that it does not detract from the amenity of users, adjoining occupiers or the environment by preventing dust, mud and sediment transport.

ENV 1

Sediment and erosion control measures sufficient to prevent sediment from leaving the site must be installed prior to any disturbance of the site, and maintained until all areas of disturbance have been stabilized or re-vegetated.

Advice: For further guidance in preparing a Soil and Water Management Plan – in accordance with Fact sheet 3 Derwent Estuary Program click [here](#).

Reason for condition

To avoid the sedimentation of roads, drains, natural watercourses, Council land that could be caused by erosion and runoff from the development, and to comply with relevant State legislation.

ENVHE 1

Recommendations in the report titled 'Potentially Contaminated Land Code: Environmental Site Assessment (PCLC ESA) Report - 30 McRobies Road, South Hobart, Version R01' (the Report) must be implemented during the excavation works:

1. **'Direct Contact with PCS' and 'Ingestion of PCS' as listed in 'Table 3: Onsite**

controls and screening during excavation works' of the Appendix A - Contamination Management Plan.

2. The Report does confirm that excavated material is suitable for reuse onsite, however if it is planned to be removed from the investigation area, the EPA Information Bulletin 105 'Classification and Management of Contaminated Soil for Disposal' must be implemented.

Reason for condition

To ensure that the works are carried out with minimal risk to workers and the environment.

ADVICE

The following advice is provided to you to assist in the implementation of the planning permit that has been issued subject to the conditions above. The advice is not exhaustive and you must inform yourself of any other legislation, by-laws, regulations, codes or standards that will apply to your development under which you may need to obtain an approval. Visit the Council's [website](#) for further information.

Prior to any commencement of work on the site or commencement of use the following additional permits/approval may be required from the Hobart City Council.

CONDITION ENDORSEMENT ENGINEERING

All engineering drawings required to be submitted and approved by this planning permit must be submitted to the City of Hobart as a CEP (Condition Endorsement) via the City's [Online Service Development Portal](#). When lodging a CEP, please reference the PLN number of the associated Planning Application. Each CEP must also include an estimation of the cost of works shown on the submitted engineering drawings. Once that estimation has been confirmed by the City's Engineer, the following fees are payable for each CEP submitted and must be paid prior to the City of Hobart commencing assessment of the engineering drawings in each CEP:

Value of Building Works Approved by Planning Permit Fee:

- Up to \$20,000: \$150 per application.
- Over \$20,000: 2% of the value of the works as assessed by the City's Engineer per assessment.

These fees are additional to building and plumbing fees charged under the Building and Plumbing Regulations.

Once the CEP is lodged via the [Online Service Development Portal](#), if the value of building works approved by your planning permit is over \$20,000, please contact the City's Development Engineer on 6238 2715 to confirm the estimation of the cost of works shown on the submitted engineering drawings has been accepted.

Once confirmed, please call one of the City's Customer Service Officers on 6238 2190 to make payment, quoting the reference number (ie. CEP number) of the Condition Endorsement you have lodged. Once payment is made, your engineering drawings will be assessed.

BUILDING PERMIT

You may need building approval in accordance with the *Building Act 2016*. Click [here](#) for more information.

This is a Discretionary Planning Permit issued in accordance with section 57 of the Land Use Planning and Approvals Act 1993.

PLUMBING PERMIT

You may need plumbing approval in accordance with the *Building Act 2016*, *Building Regulations 2016* and the National Construction Code. Click [here](#) for more information.

SPECIAL CONNECTION PERMIT

You may need a Special Connection Permit (Trade Waste) in accordance with the *Plumbing Regulations 2014* and the Tasmanian Plumbing Code. Click [here](#) for more information.

BUILDING OVER AN EASEMENT

In order to build over the service easement, you will require the written consent of the person on whose behalf the easement was created, in accordance with section 74 of the *Building Act 2016*.

NEW SERVICE CONNECTION

Please contact the Hobart City Council's City Amenity Division to initiate the application process for your [new stormwater connection](#).

STORM WATER

Please note that in addition to a building and/or plumbing permit, development must be in accordance with the Hobart City Council's Infrastructure By law. Click [here](#) for more information.

STRUCTURES CLOSE TO COUNCILS' STORMWATER MAIN

The design of structures (including footings) must provide protection for the Council's infrastructure. For information regarding appropriate designs please contact the Council's City Amenity Division.

STORM WATER / ROADS / ACCESS

Services to be designed and constructed in accordance with the (IPWEA) LGAT – standard drawings. Click [here](#) for more information.

NOISE REGULATIONS

Click [here](#) for information with respect to noise nuisances in residential areas.

FEES AND CHARGES

Click [here](#) for information on the Council's fees and charges.

DIAL BEFORE YOU DIG

Click [here](#) for dial before you dig information.



(Victoria Maxwell)

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.



(Cameron Sherriff)

Acting Senior Statutory Planner

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

Date of Report: 4 September 2019

Attachment(s):

Attachment A - CPC Agenda Documents

Attachment B - Referral Officer Reports

Attachment C - CPC Supporting Documents



Submission to Planning Authority Notice

Council Planning Permit No.	PLN-19-200	Council notice date	30/04/2019
TasWater details			
TasWater Reference No.	TWDA 2019/00583-HCC	Date of response	17 May 2019
TasWater Contact	Greg Clausen	Phone No.	(03) 6237 8242
Response issued to			
Council name	HOBART CITY COUNCIL		
Contact details	coh@hobartcity.com.au		
Development details			
Address	30 MCROBIES RD, SOUTH HOBART	Property ID (PID)	3273346
Description of development	Recycling and waste disposal upgrade		
Schedule of drawings/documents			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
JMG	Site Plan	T1	26/02/2019
JMG	General Arrangement	T1	26/02/2019
Conditions			
Pursuant to the <i>Water and Sewerage Industry Act 2008</i> (TAS) Section 56P(1) TasWater imposes the following conditions on the permit for this application:			
CONNECTIONS, METERING & BACKFLOW			
1. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost..			
TRADE WASTE			
2. Prior to the commencement of operation the developer/property owner must obtain Consent to discharge Trade Waste from TasWater.			
3. The developer must install appropriately sized and suitable pre-treatment devices prior to gaining Consent to discharge.			
4. The Developer/property owner must comply with all TasWater conditions prescribed in the Trade Waste Consent			
DEVELOPMENT ASSESSMENT FEES			
5. The applicant or landowner as the case may be, must pay a development assessment fee of \$351,28, to TasWater, as approved by the Economic Regulator and the fees will be indexed, until the date they are paid to TasWater. The payment is required within 30 days of the issue of an invoice by TasWater.			
Advice			
General			
For information on TasWater development standards, please visit http://www.taswater.com.au/Development/Development-Standards			
For application forms please visit http://www.taswater.com.au/Development/Forms			
Trade Waste			
Prior to any Building and/or Plumbing work being undertaken, the applicant will need to make an application to TasWater for a Certificate for Certifiable Work (Building and/or Plumbing). The Certificate			



for Certifiable Work (Building and/or Plumbing) must accompany all documentation submitted to Council. Documentation must include a floor and site plan with:

1. Location of all pre-treatment devices i.e. Oil Water Separator;
2. Schematic drawings and specification (including the size and type) of any proposed pre-treatment device and drainage design; and
3. Location of an accessible sampling point in accordance with the TasWater Trade Waste Flow Meter and Sampling Specifications for sampling discharge.

At the time of submitting the Certificate for Certifiable Work (Building and/or Plumbing) a Trade Waste Application form is also required.

If the nature of the business changes or the business is sold, TasWater is required to be informed in order to review the pre-treatment assessment.

The application forms are available at <http://www.taswater.com.au/Customers/Liquid-Trade-Waste/Commercial>.

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

Authorised by

A handwritten signature in black ink, appearing to read "J. Taylor".

Jason Taylor
Development Assessment Manager

TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au

Planning: #175491

Property

30 MCROBIES ROAD SOUTH HOBART TAS 7004

People

Applicant

*

JMG Engineers and Planners on behalf of Hobart City
Council - Parks and City Amenity117 Harrington Street
HOBART TAS 7000
62312555
gnewman@jmg.net.au

Owner

*

Hobart City Council

Town Hall
Maquarie Street
HOBART TAS 7001
62382711
coh@hobartcity.com.au

Entered By

FRANCES BEASLEY
117 HARRINGTON STREET
HOBART TAS 7000
62312555
iboss@jmg.net.au**Use**

Other

Details

Have you obtained pre application advice?

☒ No

If YES please provide the pre application advice number eg PAE-17-xx

Are you applying for permitted visitor accommodation as defined by the State Government Visitor Accommodation Standards? Click on help information button for definition. If you are not the owner of the property you MUST include signed confirmation from the owner that they are aware of this application.

*

☒ No

Is the application for SIGNAGE ONLY? If yes, please enter \$0 in the cost of development, and you must enter the number of signs under Other Details below.

*

☐ No

If this application is related to an enforcement action please enter Enforcement Number

Details

What is the current approved use of the land / building(s)?

*

Recycling and Waste Disposal

Please provide a full description of the proposed use or development (i.e. demolition and new dwelling, swimming pool and garage)

*

Upgrade of garbage truck wash facility and associated earthworks and infrastructure

Estimated cost of development

*

180000.00

Existing floor area (m2)

Proposed floor area (m2)

Site area (m2)

Carparking on Site

N/A

Existing parking spaces

Total parking spaces

0

☐ Other (no selection chosen)

Other Details

Does the application include signage?

*

☐ No

How many signs, please enter 0 if there are none involved in this application?

*

0

Tasmania Heritage Register

Is this property on the Tasmanian Heritage Register?

☐ No

Documents

Required Documents

Title (Folio text and Plan and Schedule of Easements)

*

Appendix B - Title Information.pdf

Plans (proposed, existing)

*

Appendix D - Proposal Plans.pdf

GM or Crown consent

Appendix C - S52 Approval Request.pdf

Supporting Documents

Planning Report

McRobies Truck Wash Planning Report .pdf

Contamination Management Plan

Appendix E - Contamination Management Plan.pdf

PLANNING REPORT

HOBART CITY COUNCIL

30 MCROBIES ROAD



April 2019

**Johnstone McGee & Gandy Pty Ltd**

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Executive Summary

Hobart City Council seek to upgrade the current garbage truck wash facility located within the HCC Disposal Area, at 30 McRobies Road, South Hobart.

The subject titles form part of the McRobies Gully Waste Management Centre.

The proposed development is for:

- removal of the existing wash down area;
- installation of a new large steel wash structure (building); and
- associated earth works and infrastructure services provision.

The proposal retains the existing leachate pond, interceptor trap, existing steel shed and existing site access arrangements.

The development is located on land zoned Utilities and the proposed development generates the following discretions under the *Hobart Interim Planning Scheme 2015* (the Scheme):

- 28.3.2 Noise - Performance Criteria P1
- 28.3.4 Commercial Vehicle Movements - Performance Criteria P1
- E 2.6.2 Excavation - Performance Criteria P1

The proposal has been assessed against all relevant scheme criteria and found to comply with Acceptable Solutions or demonstrate that it satisfies relevant Performance Criteria. The application is considered to be acceptable with respect to the Planning Scheme requirements and therefore ought to be supported by the Planning Authority.

1. Introduction

JMG Engineers and Planners have been engaged by Hobart City Council to prepare a report in support of a planning permit application (Appendix A) for upgrading the garbage truck wash facility at 30 McRobies Gully Road, South Hobart namely, McRobies Gully Waste Management Centre.

This report serves to provide an assessment of the proposed development against the provisions of the *Hobart Interim Planning Scheme 2015* ('the Planning Scheme').

2. Site Location & Context

The development site is located on the western shore of greater Hobart and is comprised of a number of titles on land identified as 30 McRobies Road, South Hobart. The proposed works are contained within two titles CT 166085/5 and CT 166085/3 (Appendices B) as shown in Figure 1 below that make up a small part of the McRobies Gully Waste Management Centre site.



Figure 1 Existing context of the proposed development site (highlighted in light blue)

The proposed development and works are located approximately 75 m from the existing facility access which is located south of the main entry gate to the McRobies Gully Waste Management Centre. The proposed works are generally confined to the area highlighted in orange in Figure 2 below.



Figure 2 Titles in light blue and Zoning of the site and surrounding area

The proposed development area is located on land zoned Utilities and is located within a Bushfire Prone Area. The subject titles are partially covered by a Landslide Hazard Area (medium risk) along the south western boundary of CT 166085/5, which is clear of the proposed development area.

The site has an existing sealed access to a public road, McRobies Gully.

Land to the south of the site is zoned Environmental Management, land to south-east is zoned General Residential and land to the east is zoned Environmental Living (12m from the proposed works). The nearest sensitive use to the existing facility is a dwelling, approximately 85m to the southeast of the proposed works, at 31 McRobies Road.

The Tip is owned by Hobart City Council and a letter has been included in this report to support a Section 52 application (Appendix C).

Proposed Development

The proposed development and works is an upgrade to the existing washdown facility involving the removal of the existing wash down area; installation of a new large steel wash structure (building); relocation of existing pressure washer to new shed housing treatment system; and associated earth works and infrastructure services provision.

The proposal retains the existing; leachate pond; interceptor trap; steel shed; and site access arrangements. The proposed development is an upgrade to the existing facilities and does not result in any intensification of the existing use at the site. No additional staff will be required to operate the upgraded facility. There will not be an increase in the number of vehicles being washed at the site. Accordingly, the proposal does not increase the existing vehicle movements to the site or significantly change the way they manoeuvre at the wash bay. There will not be an increase in associated wastewater generated from the wash down activities and wastewater will be discharged to the sewer via a treatment system. The existing discharge connection from the existing washdown facility and the leachate pond will be abandoned.

Detailed plans of the proposed development and works are shown in Appendix D.

3. Hobart Interim Planning Scheme 2015

3.1 Utilities Zone

The use of the facility is subservient to the existing Recycling and Waste Disposal use on the site, which is a permitted use.

The proposed development and works has been considered against the provisions of Clause 28.3 Use Standards below.

28.3 Use Standards

28.3.1 Hours of Operation

Objective:	
To ensure that hours of operation do not have unreasonable impact on residential amenity on land within a residential zone.	
Acceptable Solutions	Performance Criteria
A1 Hours of operation of a use within 50 m of a residential zone must be within 7.00 am to 7.00 pm, except if: (i) for office and administrative tasks; or (ii) a Utilities use.	

The closest residential zone is 12m to the east of and so is within 50m of the proposed works. However, the proposed hours of works are 7:30AM to 4:15PM Monday to Friday and 7:30 AM to 4:15PM on Saturday -Sunday and public holidays.

It is considered that the proposed development and works is compliant with Acceptable Solution A1.

28.3.2 Noise

Objective:	
To ensure that noise emissions do not cause environmental harm and do not have unreasonable impact on residential amenity on land within a residential zone.	
Acceptable Solutions	Performance Criteria
A1 Noise emissions measured at the boundary of a residential zone must not exceed the following: (a) 55 dB(A) (LAeq) between the hours of 7.00 am to 7.00 pm; (b) 5dB(A) above the background (LA90) level or 40dB(A) (LAeq), whichever is the lower, between the hours of 7.00 pm to 7.00 am; (c) 65dB(A) (LAmx) at any time. Measurement of noise levels must be in accordance with the methods in the Tasmanian Noise Measurement Procedures Manual, issued by the Director of Environmental Management, including adjustment of noise levels for tonality and impulsiveness.	Noise emissions measured at the boundary of a residential zone must not cause environmental harm within the residential zone.

Noise levels are to be averaged over a 15 minute time interval.	
---	--

There is no noise assessment included in this application and thus the acceptable solution is not met. Accordingly, the performance criteria is addressed.

The closest residential zone is 12m east of the proposed development and works.

The proposal will not intensify the use of the site or the way in which trucks manoeuvre around the site. The sources of noise at the site will remain the same including truck manoeuvring and wash down using a high pressure hose. These noise emissions are not significant. The addition of a shed would decrease any noise from the truck wash and so decrease any noise emitting to adjacent residential areas. In addition, this noise is not likely to be significant compared with the access road to the Waste Management Centre, which is closer to the residential property than the proposed development and works.

Therefore, the activities will not affect noise levels to cause environmental harm within the residential zone.

It is considered that the proposed development and works is compliant with Performance Criteria P1.

The proposal does not include any external lighting. Therefore clause 28.3.3 is not applicable.

28.3.4 Commercial Vehicle Movements

Objective:	
To ensure that commercial vehicle movements not have unreasonable impact on residential amenity on land within a residential zone.	
Acceptable Solutions	Performance Criteria
A1 Commercial vehicle movements, (including loading and unloading and garbage removal) to or from a site within 50 m of a residential zone must be within the hours of: (a) 7.00 am to 7.00 pm Mondays to Fridays inclusive; (b) 9.00 am to 5.00 pm Saturdays; (c) Nil Sundays and Public Holidays.	P1 Commercial vehicle movements, (including loading and unloading and garbage removal) to or from a site within 50 m of a residential zone must not result in unreasonable adverse impact upon residential amenity having regard to all of the following: (a) the time and duration of commercial vehicle movements; (b) the number and frequency of commercial vehicle movements; (c) the size of commercial vehicles involved; (d) the ability of the site to accommodate commercial vehicle turning movements, including the amount of reversing (including associated warning noise); (e) noise reducing structures between vehicle movement areas and dwellings; (f) the level of traffic on the road; (g) the potential for conflicts with other traffic.

The site is within 50m of a residential zone as there is an environmental living zone 12m to the east of the proposed development and works. The proposed hours of operation are from 7:30AM to 4:15PM Monday to Friday and 7:30 AM to 4:15PM on Saturday -Sunday and public holidays.

Accordingly, the proposed development and works is assessed against Performance Criteria P1.

The proposed development and works is within 50m of a residential zone however, it will not result in unreasonable adverse impact upon residential amenity having regard to all of the following:

The time and duration of commercial vehicle movements will not change (a).

There will not be additional or more frequent truck movement at the site due to the proposed development and works (b).

There will be no increase in the size of commercial vehicles involved (c).

There will be no change to the ability of the site to accommodate commercial vehicle turning movements, including the amount of reversing (including associated warning noise) (d).

The proposed wash down building will act as a noise barrier and decrease the existing noise levels from truck washing activities (e). In addition, there is existing landscaping comprising trees and shrubs to the east of the proposed development and works (Figure 2) along the eastern boundary of the Waste Management Centre, to a depth of 21m.

There will be no change to the level of traffic (f) on the road or potential for conflicts (g) with other traffic as the trucks will manoeuvre around the site in the same way.

Therefore, there will be no increase in unreasonable adverse impact upon residential amenity, and there will potentially be a slight reduction in noise levels at the site due to the new wash building.

It is considered that the proposed development and works is compliant with Performance Criteria (P1).

28.4 Development Standards for Buildings and Works

28.4.1 Building Height

Objective:	
To ensure that building height contributes positively to the streetscape and does not result in unreasonable impact on residential amenity of land in a residential zone.	
Acceptable Solutions	Performance Criteria
A1 Building height must be no more than: 10 m.	

The maximum height of the proposed building is 6.05m (Appendix D, Drawing S02) which is less than the acceptable height of 10m.

It is considered that the proposed development and works is compliant with Acceptable Solution A1.

Acceptable Solutions	Performance Criteria
A2 Building height within 10 m of a residential zone must be no more than 8.5 m.	

The proposed building is 12m from the nearest residential zone, the environmental living zone to the east.

It is considered that the proposed development and works is compliant with Acceptable Solution A1.

28.4.2 Setbacks

Objective:	
To ensure that building setback contributes positively to the streetscape and does not result in unreasonable impact on residential amenity of land in a residential zone.	
Acceptable Solutions	Performance Criteria
A1 Building setback from frontage must be no less than: 5 m	

The proposed lots to be developed do not front onto a road. The distance to the proposed development and works is 54m from the frontage on a lot which also forms part of the tip site (but on which no works are proposed), adjacent to McRobies Road.

It is considered that the proposed development and works is compliant with the Acceptable Solution A1.

Acceptable Solutions	Performance Criteria
A2 Building setback from a residential zone must be no less than: (a) 5 m; (b) half the height of the wall, whichever is the greater.	

The proposed building is 13m from the residential zone adjacent to McRobies Road.

It is considered that the proposed development and works is compliant with Acceptable Solution A1.

As there is no frontage onto the proposed lots to be developed clause 28.4.3 is not applicable.

There are no proposed outdoor storage areas, as shown in the proposal plans in Appendix D, therefore, clause 28.4.4 is not applicable.

There are no proposed changes to the current fencing arrangement, therefore 28.4.5 is not applicable.

3.2 E1.0 Bushfire-Prone Areas Code

The proposed development and works is located within a bushfire prone area - however the proposal is not for a subdivision and is not for a vulnerable or hazardous use. Accordingly the code is not applicable at the planning stage.

3.3 E2.0 Potentially Contaminated Land Code

The proposed development and works is located on land comprising the Hobart Waste Treatment facility.

The current facilities include a leachate pond which collects most of the leachate from the McRobies landfill (Page 6, Contamination Management Plan) which is to remain and not be modified as part of this proposal.

Table E2.2 Potentially Contaminating Activities includes "Landfill sites, including on-site waste disposal and refuse tips". The code is considered to apply as per Clause E2.2.1 (b) "development on potentially contaminated land". The works associated with the proposed upgrade will involve disturbance of more than 1m² of land and are not exempt from the code as per E2.4.4 and the proposal has been assessed against the relevant Use and Development Standards of the Scheme.

E2.5 Use Standards

As there is no proposed change to the use and therefore the use standards do not apply.

E2.5 Development Standards

E2.6.2 Excavation

Objective:	
To ensure that works involving excavation of potentially contaminated land does not adversely impact on human health or the environment.	
Acceptable Solutions	Performance Criteria
A1	P1
No acceptable solution.	Excavation does not adversely impact on health and the environment, having regard to: (a) an environmental site assessment that demonstrates there is no evidence the land is contaminated; or (b) a plan to manage contamination and associated risk to human health and the environment that includes: (i) an environmental site assessment; (ii) any specific remediation and protection measures required to be implemented before excavation commences; and (iii) a statement that the excavation does not adversely impact on human health or the environment.

There are no acceptable solutions for this clause and the performance criteria (P1) is addressed accordingly.

The Contamination Management Plan (Appendix E) meets the requirements of P1 (b) as it is a plan to manage contamination and associated risk to human health and the environment. The Contamination Management Plan recommends:

- That a suitably qualified environmental consultant be engaged by the contractor to develop a Sampling and Assessment Plan to assess the risk to human health and the environment as a result of the construction works. Note this does not include a full detailed site assessment of assess the site in accordance with the National Environment Protection (Assessment of Site Contamination) Measure 1999 (NEP(ASC)M). (i)
- The contractor is to engage a suitably qualified environmental consultant to undertake the onsite assessment prior to the commencement of works, to supervise the excavation, stockpiling and management of potentially contaminated soil and groundwater and to complete a report which provides the findings of the assessment and any additional remediation or protection measures, not already included in this report, which are required to be implemented prior to excavation works commencing for the proposed construction works. (ii)
- The environmental consultant prepare a report of the methodology and findings of the onsite assessment and submit the report to City of Hobart within 4 weeks of construction completion. (iii)

- General safety requirements however the SAP will provide more specific details in terms of stockpiling of soils and management of groundwater on the site during excavation works. (iii)

It is considered that the proposed development and works is compliant with Performance Criteria (P1).

3.4 E3.0 Landslide Code

The subject titles are subject to the Landslide Hazard Area (medium risk) - however the proposed development and works is located in an area of the site that is clear of the Landslide Hazard Area overlay (refer Figure 2). Accordingly the code is not applicable at the planning stage.

3.5 E 5.0 Road and Railway Assets Code

The proposed development and works will not intensify the existing vehicle movements to and from the site, accordingly it is considered that the code is not applicable.

3.6 E 6.0 Parking and Access Code

The Parking and Access code applies to all use and development - clause E6.2.1.

Parking for the tip is provided at the main tip area which is not being assessed as a part of this proposal. The lots in which the proposed development and works are to take place do not have any associated parking. There will be no increase in staff working at the site or increase in garbage trucks using the site due to the proposed development and works. Therefore, the use standards of this code are not applicable.

E 6.7 Development Standards

E6.7.1 Number of Vehicular Accesses

Objective:	
To ensure that:	
(a) safe and efficient access is provided to all road network users, including, but not limited to: drivers, passengers, pedestrians, and cyclists, by minimising: (i) the number of vehicle access points; and (ii) loss of on-street car parking spaces; (b) vehicle access points do not unreasonably detract from the amenity of adjoining land uses; (c) vehicle access points do not have a dominating impact on local streetscape and character.	
Acceptable Solution	Performance Criteria
A1 The number of vehicle access points provided for each road frontage must be no more than 1 or the existing number of vehicle access points, whichever is the greater.	

There is one vehicle access point associated with the proposal site lots and no new access points proposed as a part of this proposal.

It is considered that the proposed development and works is compliant with Acceptable Solution A1.

The proposed development and works does not involve any works on the existing access to the site, which is via lots CT166085/6 and CT 80250/1. The proposal does not intensify the traffic at the site, the access is existing and currently used by commercial vehicles, accordingly this clause E6.7.2 and E6.7.3 does not apply.

However, manoeuvring on the site as shown in the turning paths plan C03, in Appendix D have been designed in accordance with Australian Standards AS2890.2-2002.

E 6.7.4 On-Site Turning

Objective:	
To ensure safe, efficient and convenient access for all users, including drivers, passengers, pedestrians and cyclists, by generally requiring vehicles to enter and exit in a forward direction.	
Acceptable Solution	Performance Criteria
A1 On-site turning must be provided to enable vehicles to exit a site in a forward direction, except where the access complies with any of the following: (a) it serves no more than two dwelling units; (b) it meets a road carrying less than 6000 vehicles per day.	

The turning paths plan C03, in appendix D shows that vehicles can exit a site in a forward direction.

It is considered that the proposed development and works is compliant with Acceptable Solution A1.

There is no existing or proposed parking on the lots associated with the proposed development and works as the trucks continually move through the wash, thus clause E6.7.5 is not applicable.

E6.7.6 Surface Treatment of Parking Areas

Objective:	
To ensure that parking spaces and vehicle circulation roadways do not detract from the amenity of users, adjoining occupiers or the environment by preventing dust, mud and sediment transport.	
Acceptable Solution	Performance Criteria
A1 Parking spaces and vehicle circulation roadways must be in accordance with all of the following: (a) paved or treated with a durable all-weather pavement where within 75m of a property boundary or a sealed roadway; (b) drained to an approved stormwater system, unless the road from which access is provided to the property is unsealed.	

Roadways and truck wash areas on the lots containing the proposed works are paved with a durable all-weather pavement and drained to an approved stormwater system. The proposed development and works as shown in Appendix D will not result in any removal of paved areas. There is no existing or proposed parking on the lots associated with the proposed development and works.

It is considered that the proposed development and works is compliant with Acceptable Solution A1.

There is no existing or proposed parking on the lots associated with the proposed development and works, thus clause E6.7.7 and E6.7.8 is not applicable.

The proposed development and works for the use of the washdown facility are not intended to facilitate inward or outward bound goods and therefore clause E6.7.13 is not applicable.

However, the turning plan in appendix D shows that vehicles can adequately manoeuvre around the site and the site is not intended for public use.

The proposed development and works does not involve any works on the existing access to the site, which is via CT166085/6 and CT 80250/1. The proposal does not intensify the traffic at the site, the access is existing and currently used by commercial vehicles, accordingly clause E6.7.14 does not apply.

3.7 E 7.0 Stormwater Management Code

E7.7 Development Standards

Supporting information for the following clauses is contained in drawings in appendix D.

E7.7.1 Stormwater Drainage and Disposal

There are no new impervious surfaces proposed by this development and works as there is an existing slab in the location of the proposed building. Therefore, clause E7.7.1A1 does not apply.

As the size of the new development is approximately 60m² which is less than 600m², clause is E7.7.1A2 is not applicable.

Acceptable Solution	Performance Criteria
<p>A3</p> <p>A minor stormwater drainage system must be designed to comply with all of the following:</p> <p>(a) be able to accommodate a storm with an ARI of 20 years in the case of non-industrial zoned land and an ARI of 50 years in the case of industrial zoned land, when the land serviced by the system is fully developed;</p> <p>(b) stormwater runoff will be no greater than pre-existing runoff or any increase can be accommodated within existing or upgraded public stormwater infrastructure.</p>	

Figure HO2 in Appendix D shows that stormwater from the new building is disposed of by gravity to public stormwater infrastructure. There are no new impervious surfaces proposed by this development and works as there is an existing slab in the location of the proposed building. The drainage is designed to comply with stormwater runoff that will not be greater than pre-existing runoff (b).

It is considered that the proposed development and works is compliant with Acceptable Solution A1.

The proposed development and works does not comprise a major stormwater drainage system and so clause E7.1.1 A4 does not apply.

3.8 E 9.0 Attenuation Code

The current facilities on the lots containing the proposed development and works, include a leachate pond which is to remain and not be modified as part of this proposal. Therefore none of the clauses in the Attenuation Code apply to this proposal.

4. Impact Assessment

4.1 Traffic and Transport Networks

There will be no increase in traffic due to the proposed development and works and therefore a traffic assessment is not required and there is not expected to be any negative effects to traffic and transport networks as a result of the proposed development and works.

4.2 Environmental

There will be 200L of truckwash stored at the site a maximum of 1000L/h (0.28L/s) (0.28L/s) wastewater produced from the truckwash. The site currently drains to the stormwater drain and there is no proposed change to this arrangement. There is no increase in the intensity of use of the site as there will not be additional vehicles using the site for wash down as a result of the proposed development and works. As there will not be an increase in intensity of use of the truckwash facility, there is not expected to be any adverse effects in relation to attenuation of odour or other negative effects as a result of the proposed development and works.

This proposal is improving the quality of wash down facilities at the Waste Management Centre which reduces the negative environmental impacts of the trucks spreading contaminated soil, dust and odour from the tip. The new building will reduce noise from the washdown activities and improve the appearance of this service facility.

The site is potentially contaminated as it is a landfill. A Contamination Management Plan (Appendix E) is included in this report.

4.3 Economic Impacts

Beyond the economic stimulus from the construction activity, there is likely to be no significant economic impacts of this proposal.

5. Conclusion & Recommendations

The proposed development and works is for the upgrading the garbage truck wash facilities at 30 McRobies Gully Road, South Hobart and includes the removal of the existing wash down area; installation of a new large steel wash structure (building); relocation of existing pressure washer to new shed housing treatment system and associated earth works and other infrastructure services provision.

The proposal retains the existing; leachate pond; interceptor trap; steel shed and site access arrangements. The proposed development and works is an upgrade to the existing facilities and does not result in any intensification of the existing use at the site.

The following discretions under the Hobart Interim Planning Scheme 2015 (the Scheme) have been addressed in this report:

- 28.3.2 Noise - Performance Criteria P1 It was found that activities at the site would not result in noise levels likely to cause environmental harm within the residential zone. If anything, the new wash structure (building) will act as a noise barrier.
- 28.3.4 Commercial Vehicle Movements - Performance Criteria P1 This report has assessed there will be no increase in unreasonable adverse impact upon residential amenity.
- E 2.6.2 Excavation - Performance Criteria P1 A contamination management plan has been included (Appendix E) as a part of this assessment to manage the risks associated with the proposed excavation of potentially contaminated land at the site.

Commented [MC1]: Say why they should be exercised.

The proposal has been assessed against all relevant elements of the Scheme and either complies with Acceptable Solutions or demonstrates that associated performance criteria are satisfied. In conclusion, the application is considered to be acceptable with respect to the Planning Scheme requirements and therefore ought to be supported by the Planning Authority.

APPENDIX A

Application Form (portal)

APPENDIX B

Title Information

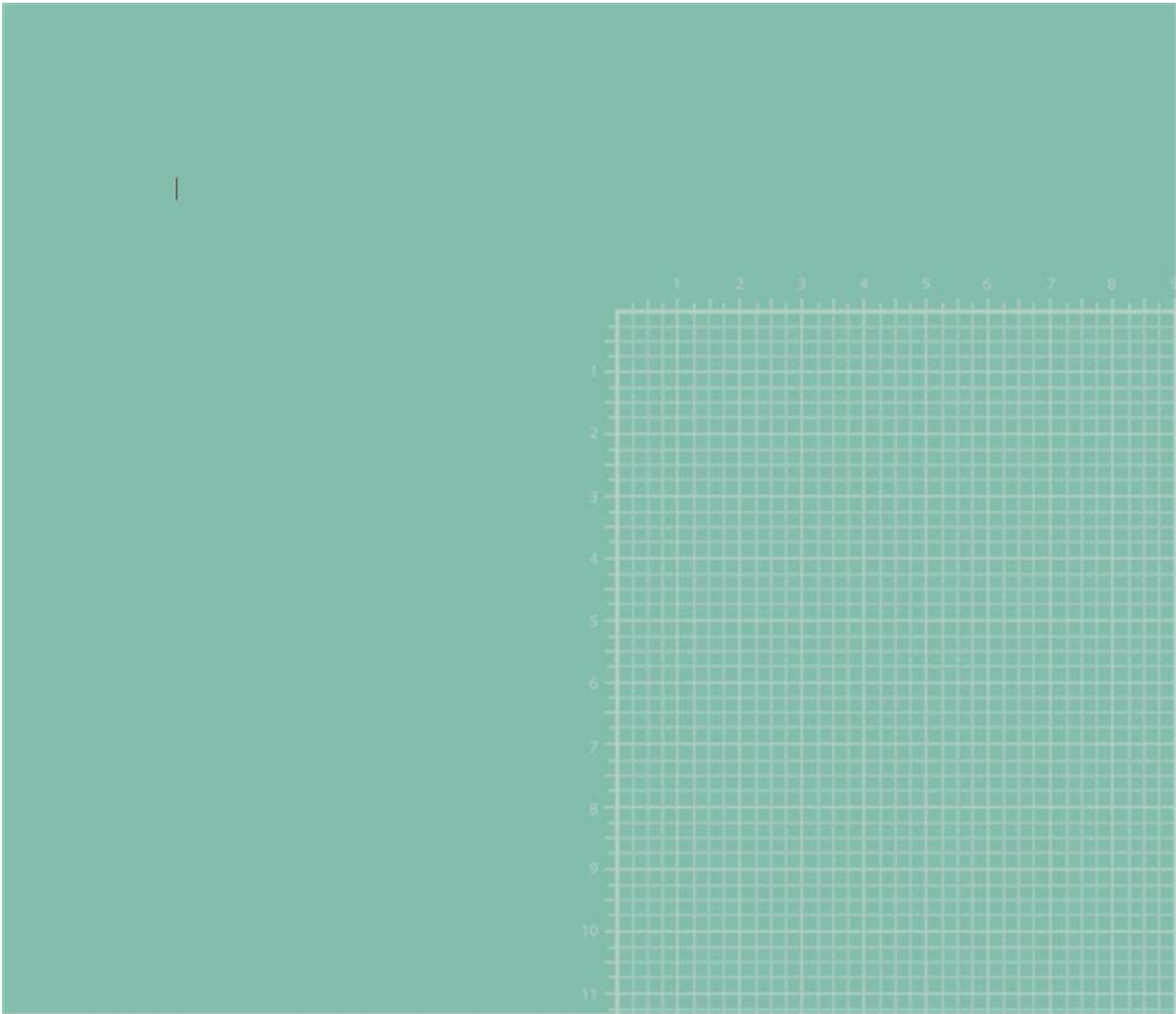
APPENDIX C

Section 52 Approval Request

APPENDIX D
Proposal Plans

APPENDIX E

Contamination Management Plan



Johnstone McGee & Gandy Pty Ltd

ABN 76 473 834 852 ACN 009 547 139

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JMG Ref: J181204CH

30 April 2019

Cameron Sherriff
Planner
Hobart City Council
Via Hobart City Council Portal

Attention: Cameron Sherriff

Dear Mr. Sherriff,

30 McRobies Road, South Hobart - RFI RESPONSE - PLN-19-200

We write in response to Council's Request for Further Information letter dated 29 April 2019 regarding the landslide code.

Landslide Code

Regarding potential landslide risk at the site, we can confirm there are no 'major' works proposed.

I trust that the above satisfies Council's request however, should Council require any further information or clarification with respect to this application, please contact me on 6231 2555 or at gnewman@jmg.net.au.

Yours faithfully
JOHNSTONE MCGEE & GANDY PTY LTD

A handwritten signature in black ink, appearing to read 'Gillian Newman'.

Gillian Newman
TOWN PLANNER

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Johnstone McGee &
Gandy Pty Ltd
ABN 76 473 834 852
ACN 009 547 139
as trustee for Johnstone
McGee & Gandy
Unit Trust

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Attn: General Manager, Hobart City Council

Town Hall, Macquarie St
GPO Box 503
Hobart, Tasmania, 7001
Australia

Dear Sir / Madam,

LANDOWNER CONSENT FOR MAKING APPLICATIONS UNDER THE LAND USE PLANNING AND APPROVALS ACT 1993

It is understood that JMG Engineers & Planners will prepare and lodge development applications on behalf of Hobart City Council for the wash down building and associated works at the South Hobart tip.

The abovementioned properties is currently owned by the Hobart City Council.

In accordance with s.52(1B) of the *Land Use Planning and Approvals Act 1993*, I give consent as landowner for JMG Engineers & Planners to make the abovementioned applications.

Yours sincerely,


ACTING / General Manager,
Hobart City Council



Submission to Planning Authority Notice

Council Planning Permit No.	PLN-19-200	Council notice date	30/04/2019
TasWater details			
TasWater Reference No.	TWDA 2019/00583-HCC	Date of response	17 May 2019
TasWater Contact	Greg Clausen	Phone No.	(03) 6237 8242
Response issued to			
Council name	HOBART CITY COUNCIL		
Contact details	coh@hobartcity.com.au		
Development details			
Address	30 MCROBIES RD, SOUTH HOBART	Property ID (PID)	3273346
Description of development	Recycling and waste disposal upgrade		
Schedule of drawings/documents			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
JMG	Site Plan	T1	26/02/2019
JMG	General Arrangement	T1	26/02/2019
Conditions			
Pursuant to the <i>Water and Sewerage Industry Act 2008</i> (TAS) Section 56P(1) TasWater imposes the following conditions on the permit for this application:			
CONNECTIONS, METERING & BACKFLOW			
1. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost..			
TRADE WASTE			
2. Prior to the commencement of operation the developer/property owner must obtain Consent to discharge Trade Waste from TasWater.			
3. The developer must install appropriately sized and suitable pre-treatment devices prior to gaining Consent to discharge.			
4. The Developer/property owner must comply with all TasWater conditions prescribed in the Trade Waste Consent			
DEVELOPMENT ASSESSMENT FEES			
5. The applicant or landowner as the case may be, must pay a development assessment fee of \$351,28, to TasWater, as approved by the Economic Regulator and the fees will be indexed, until the date they are paid to TasWater. The payment is required within 30 days of the issue of an invoice by TasWater.			
Advice			
General			
For information on TasWater development standards, please visit http://www.taswater.com.au/Development/Development-Standards			
For application forms please visit http://www.taswater.com.au/Development/Forms			
Trade Waste			
Prior to any Building and/or Plumbing work being undertaken, the applicant will need to make an application to TasWater for a Certificate for Certifiable Work (Building and/or Plumbing). The Certificate			



for Certifiable Work (Building and/or Plumbing) must accompany all documentation submitted to Council. Documentation must include a floor and site plan with:

1. Location of all pre-treatment devices i.e. Oil Water Separator;
2. Schematic drawings and specification (including the size and type) of any proposed pre-treatment device and drainage design; and
3. Location of an accessible sampling point in accordance with the TasWater Trade Waste Flow Meter and Sampling Specifications for sampling discharge.

At the time of submitting the Certificate for Certifiable Work (Building and/or Plumbing) a Trade Waste Application form is also required.

If the nature of the business changes or the business is sold, TasWater is required to be informed in order to review the pre-treatment assessment.

The application forms are available at <http://www.taswater.com.au/Customers/Liquid-Trade-Waste/Commercial>.

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

Authorised by

A handwritten signature in black ink, appearing to read "J. Taylor".

Jason Taylor
Development Assessment Manager

TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au

GENERAL**WORK HEALTH & SAFETY NOTICE:**

JMG HAVE CONSIDERED THE HAZARDS AND RISKS ASSOCIATED WITH THE CONSTRUCTION, OPERATION, MAINTENANCE AND EVENTUAL DEMOLITION OF THIS PROJECT. THERE ARE A NUMBER OF HAZARDS AND HENCE RISKS WHICH ARE NOT UNIQUE TO THIS PROJECT WHICH NEED TO BE MANAGED DURING THESE PHASES. JMG REMIND CONSTRUCTORS, OPERATORS, MAINTAINERS AND DEMOLISHERS OF THEIR RESPONSIBILITIES UNDER WORK HEALTH & SAFETY ACTS AND REGULATIONS. THE FOLLOWING RISKS HAVE BEEN IDENTIFIED WHICH ARE UNUSUAL TO THIS PROJECT:

NIL

UNLESS SPECIFIED OTHERWISE BY DOCUMENTATION SPECIFIC TO THIS PROJECT ALL DIMENSIONS, MATERIALS, WORKMANSHIP ETC SHALL COMPLY WITH DSG STANDARD CONTRACT DOCUMENTS AND SPECIFICATIONS (R SERIES) AND IPWEA SUBDIVISION STANDARD DRAWINGS ISSUED NOVEMBER 2013.

ONLY THOSE SERVICES CONSPICUOUS DURING FIELD SURVEYS HAVE BEEN PLOTTED. THE LOCATION OF THESE SERVICES IS APPROXIMATE ONLY AND NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN. THE CONTRACTOR SHALL CONFIRM ON SITE PRIOR TO THE START OF WORKS THE LOCATION OF ALL SERVICES WITH THE RELEVANT AUTHORITY.

THE CONTRACTOR SHALL CONTROL RUNOFF FROM THE SITE IN ORDER TO PROTECT DOWNSTREAM ENVIRONMENTAL VALUES. EXISTING STORMWATER INLETS SHALL BE PROTECTED USING FILTER SOCKS IN ACCORDANCE WITH DERWENT ESTUARY PROGRAM FACT SHEET 15 FOR THE DURATION OF WORKS.

WHERE REQUIRED BY COUNCIL AND/OR TASWATER THE CONTRACTOR SHALL PREPARE IN ELECTRONIC (.DWG) FORMAT "AS CONSTRUCTED" DRAWINGS TO THE SATISFACTION OF COUNCIL MUNICIPAL ENGINEER AND/OR TASWATER SHOWING THE AS INSTALLED LOCATION OF ALL ABOVE AND BELOW GROUND WORKS. CONFIRMATION OF APPROVAL, FROM THE RELEVANT AUTHORITY, OF THE THE COMPLETED DRAWINGS SHALL BE SUBMITTED TO THE SUPERINTENDENT PRIOR TO THE ISSUING OF THE CERTIFICATE OF PRACTICAL COMPLETION.

EARTHWORKS

DEMOLISH AND REMOVE ALL CONCRETE SLABS, KERBS, WALLS ETC. AS NOTED AND REQUIRED FOR THE CONSTRUCTION OF THE NOMINATED WORKS.

FOLLOWING DEMOLITION AND REMOVAL OF SLABS, KERBS ETC. AND STRIPPING OF THE SITE TO THE REQUIRED FORMATION LEVELS, GRADE SUB-GRADE TO A SMOOTH PROFILE AND CONSOLIDATE TO 98% MAXIMUM DRY DENSITY (AS 1289.5) PROOF ROLL USING A SINGLE AXLE RIGID TRUCK WITH A FULL LEGAL LIMIT LOAD, REMOVE ANY UNSUITABLE SOFT, WET OR HEAVING MATERIAL AS DIRECTED BY THE SUPERINTENDENT AND REPLACE WITH COMPACTED SELECT FILL IN LAYERS NOT EXCEEDING 200mm LOOSE TO ACHIEVE 98% STANDARD COMPACTION (AS1289.5).

ANY IMPORTED FILL MATERIAL FOR UNDER ROADWAYS SHALL BE WELL GRADED AND HAVE A MINIMUM CBR VALUE OF 15% AND SHALL BE COMPACTED TO A MINIMUM OF 95% STANDARD COMPACTION TO AS1289 IN LAYERS NOT EXCEEDING 200mm LOOSE THICKNESS.

DURING FORMATION WORKS THE CONTRACTOR SHALL ENSURE THAT ADEQUATE STEPS ARE TAKEN TO PROTECT THE SUBGRADE FROM WET WEATHER PRIOR TO THE PLACEMENT OF THE SUB-BASE. NO CLAIM WILL BE CONSIDERED AS A RESULT OF THE CONTRACTORS FAILURE TO PROTECT THE WORKS.

ROADWORKS

WHERE NEW WORKS ABUT EXISTING, SAWCUT ALL INTERFACES TO NEAT STRAIGHT LINES AND RECTANGULAR SHAPES AND MAKE GOOD TO MATCH.

BACKFILL ALL TRENCHES AND EXCAVATIONS WITHIN VEHICLE PAVEMENTS FULL DEPTH WITH 20mm FINE CRUSHED ROCK CONSOLIDATED IN MAXIMUM 150 LAYERS TO 96% MODIFIED COMPACTION.

PRIOR TO THEIR USE, SUBMIT MATERIAL PROPERTIES AND SOURCE FOR ALL ROAD MAKING MATERIALS. UNLESS NOTED OTHERWISE PAVEMENT MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF DSG SPECIFICATION R40 FOR BASE CLASS A AND SUB-BASE 1 MATERIALS.

EACH COMPLETED PAVEMENT LAYER SHALL BE COMPACTED TO A MINIMUM DDR OF 96% FOR SUB-BASE AND 98% FOR BASE COURSE AND PROOF ROLLED IN THE PRESENCE OF THE SUPERINTENDENT USING A SINGLE AXLE RIGID TRUCK WITH A FULL LEGAL LIMIT LOAD.

CONSTRUCT PAVEMENT BETWEEN NOMINATED LEVELS TO SMOOTH GRADES AND TRANSITION TO DRAIN TO PITS, KERB AND GUTTER, V-DRAINS ETC.

HOTMIX AND PAVED SURFACES SHALL HAVE A BITUMEN EMULSION PRIME COAT APPLIED TO THE CLEAN SWEEP SURFACE OF THE BASE COURSE.

CONCRETE COMPRESSIVE STRENGTH SHALL BE :

PAVEMENTS AND GRATED TRENCH - N32

PITS, & MINOR WORKS - N25.

WORKMANSHIP, MATERIALS AND DESIGN SHALL BE IN ACCORDANCE WITH AS3600 AND THE ASSOCIATED CODES LISTED THEREIN. REFER STRUCTURAL DRAWINGS FOR SLAB CONCRETE SPECIFICATION

GRADE AND ROLL MINIMUM 150 TOPSOIL TO ALL GRASSED AREAS AND PLANTERS. WHERE NECESSARY TO RAISE LEVELS, PLACE AND CONSOLIDATE GENERAL FILL FROM SITE BENEATH TOPSOIL, HYDROMULCH AND SEED DISTURBED AREAS WITH TYPE A SEED MIX TO DSG SPECIFICATION R70.

PERMITS

THE CONTRACTOR IS RESPONSIBLE FOR SEEKING AND COMPLYING WITH A COUNCIL BUILDING PERMIT

SAFETY IN DESIGN REPORT

in accordance with the WorkHealth & Safety Act and Regulations JMG have considered the potential hazards and risks that are specific to this design.

The following risks which are unique to this design have been identified:	Nil.
This report does not relieve contributors from their responsibilities under the Act to identify, assess, mitigate and manage all aspects of risk and safety.	

T1 25.02.2019 FOR TENDER & APPROVAL
 REV DATE REMARK

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Accepted GLA (Design Note)	Date
Accepted JWB (Design Note)	Date
Approved GLA (Design Note)	Date

SCALES @ A3	DESIGNED BY
N.T.S.	JWB MJR
	PLOT DATE
	26/02/2019

DO NOT SCALE. Use only figure dimensions. Locations of structure, fittings, services etc. on this drawing are relative only. CONTRACTOR to visit site and confirm all dimensions. CONTRACTOR to site check all dimensions and make suitable if all items. JMG accepts no responsibility for incorrect information supplied or errors derived from this document.



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PROJECT
**McROBIES GULLY
 TRUCK WASH
 SOUTH HOBART**

TITLE
CIVIL NOTES SHEET

PROJECT NO. **J181204CH**

DWG NO.

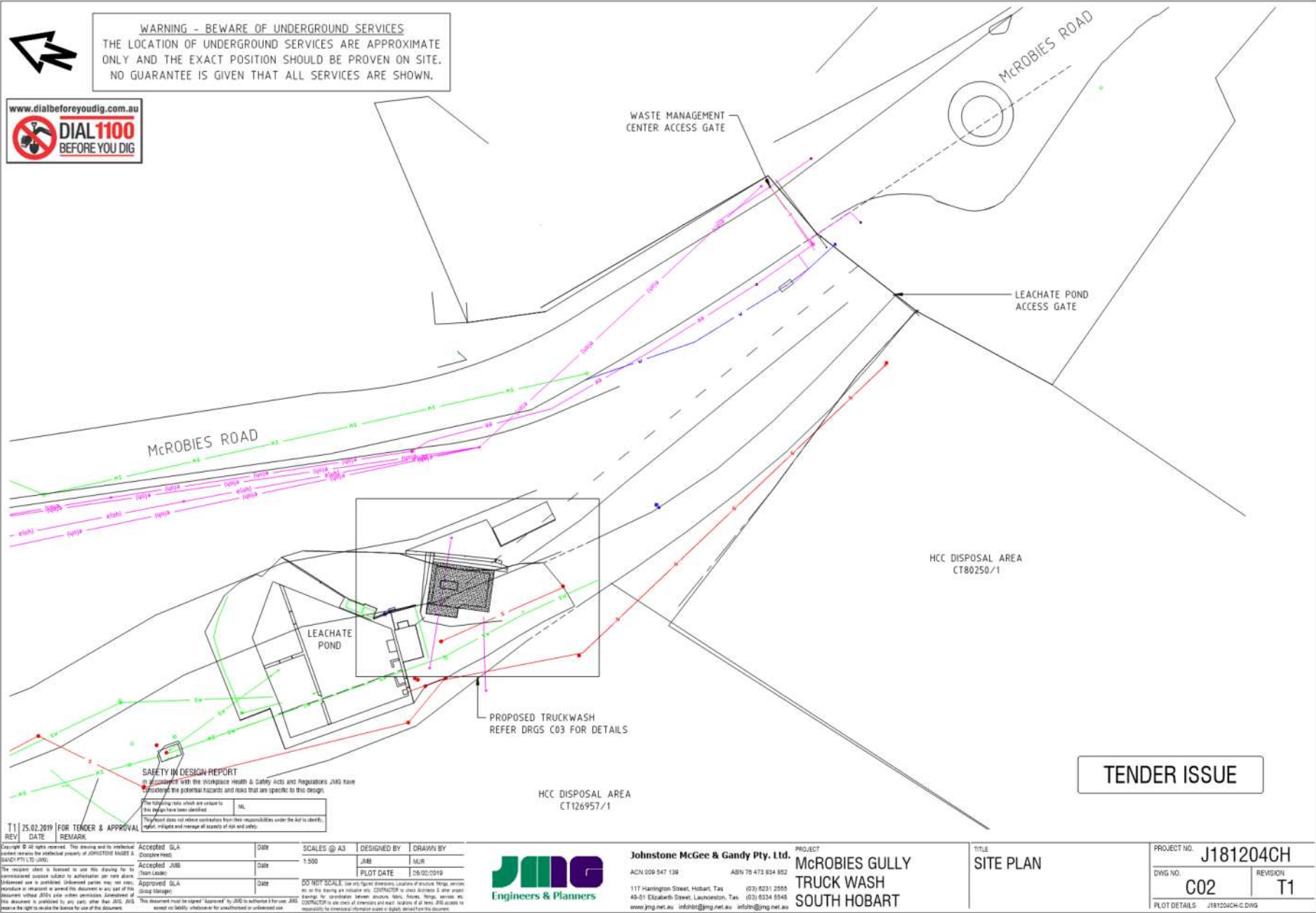
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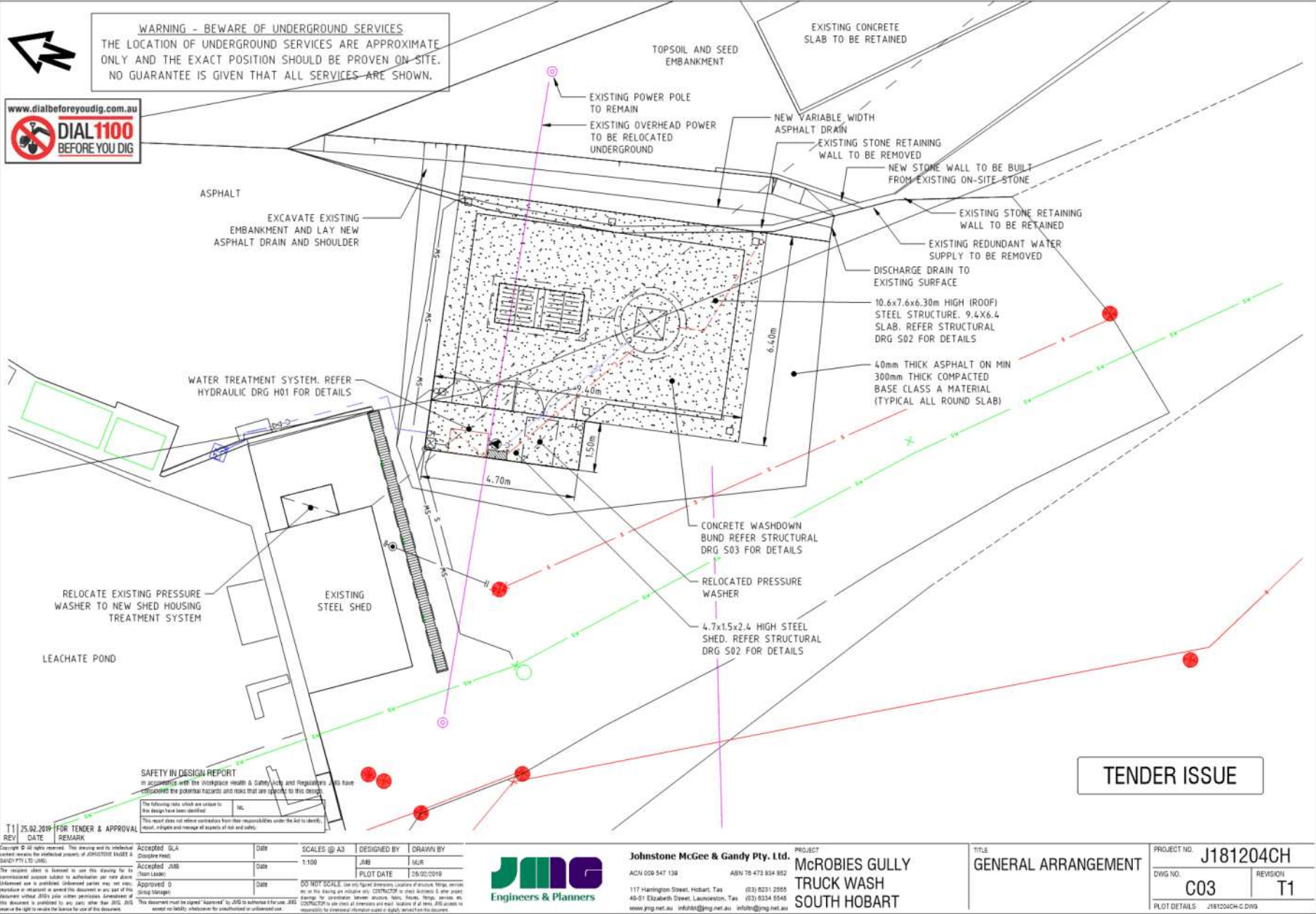
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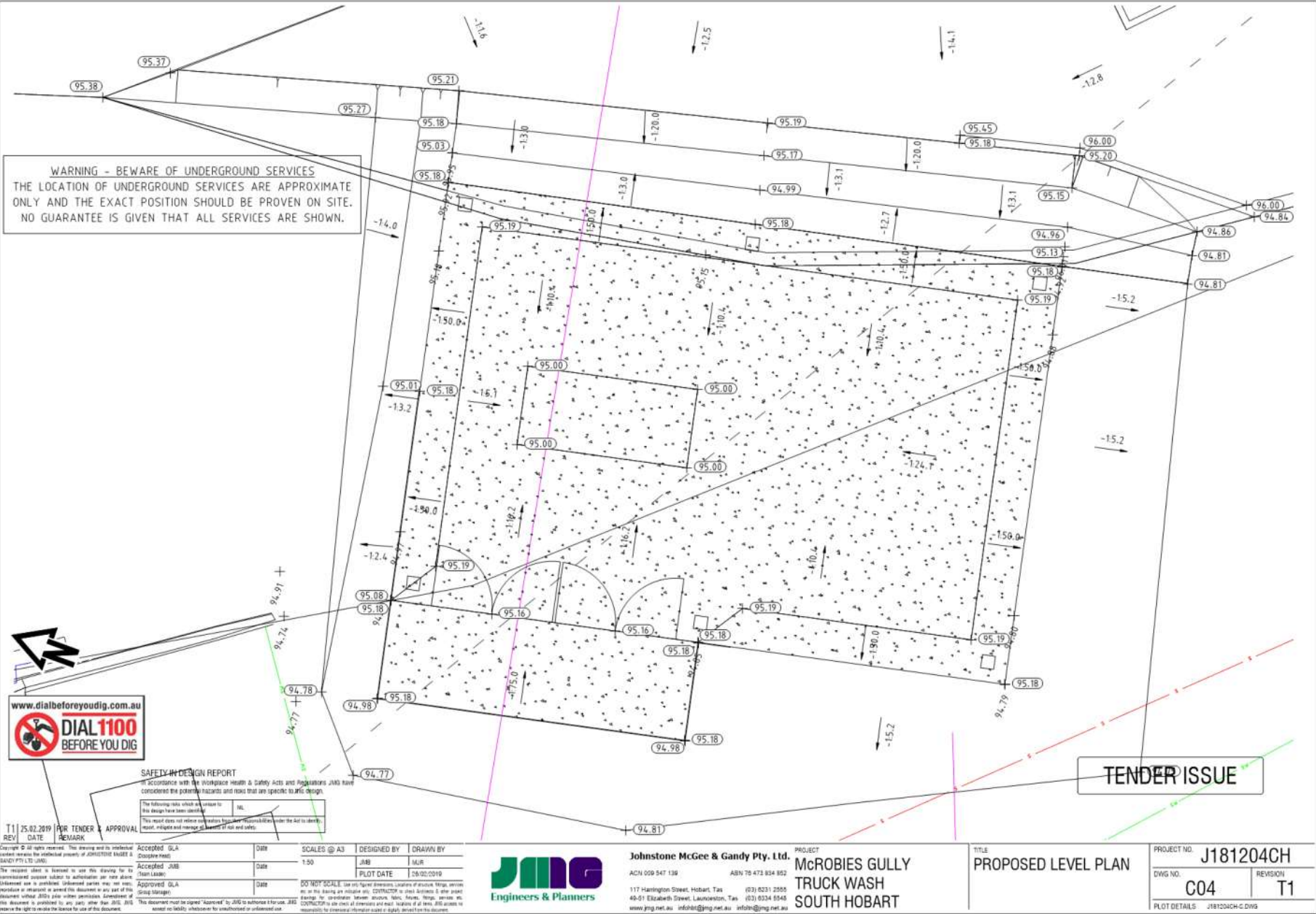
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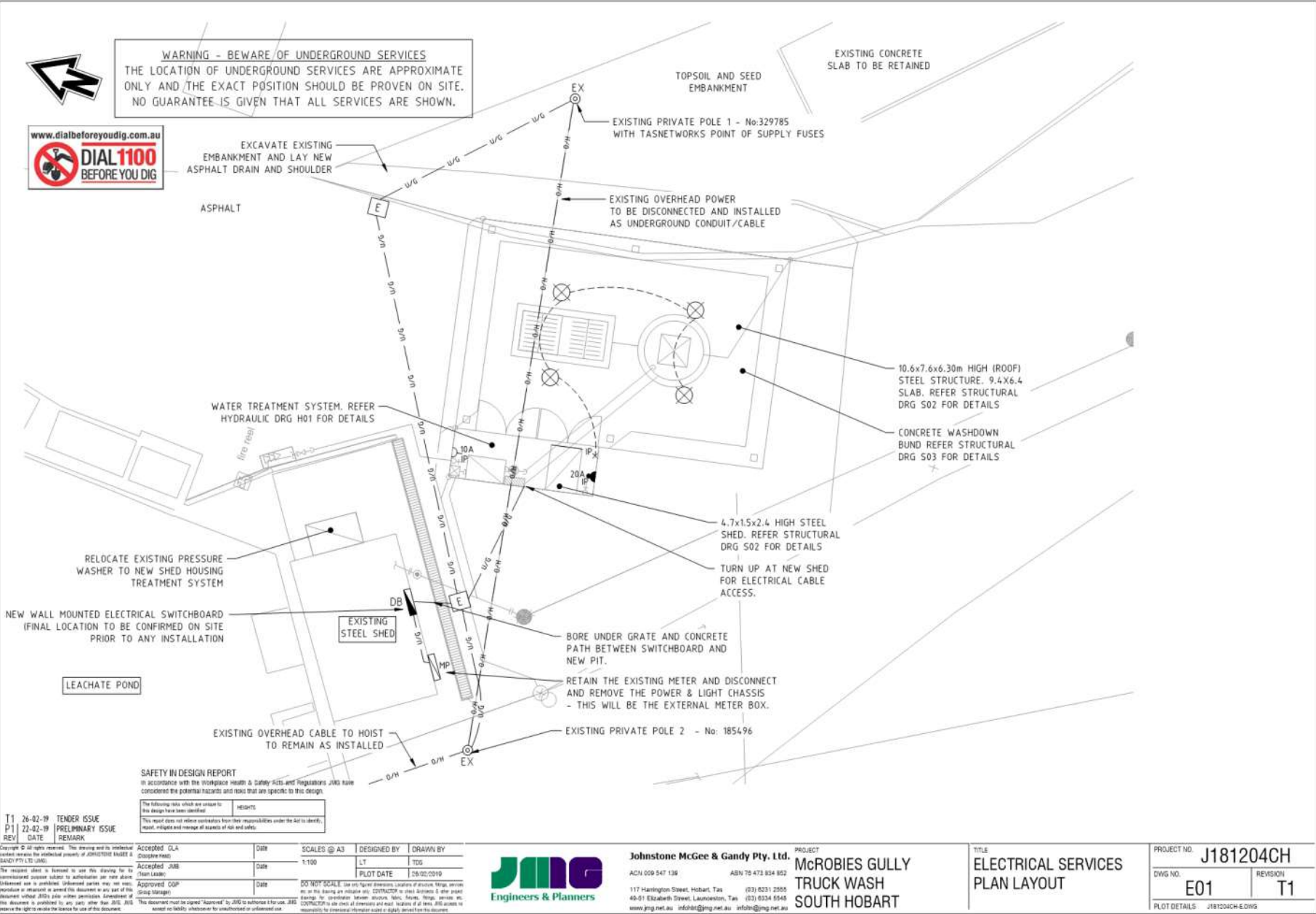
PLOT DETAILS J181204CH-C.DWG

TENDER ISSUE
















NOTES

GENERAL NOTES

- ALL WORKS SHALL COMPLY WITH THE REQUIREMENTS OF AS/NZS 3000, AS/NZS 3008, CITY OF HOBART AND TASNETWORKS.
- THE EXISTING SITE SWITCHBOARD IS LOCATED ON THE FRONT OF THE SITE SHED. THIS SHALL REMAIN COMPLETE WITH TARIFF METER, DISCONNECT AND REMOVE THE LIGHT AND POWER SECTION. LABEL THE ENCLOSURE "METER PANEL". IDENTIFY THE CURRENT CIRCUITS, DISCONNECT AND RE-CONNECT AT THE NEW SWITCHBOARD.
- THE NEW SWITCHBOARD SHALL BE PROVIDED COMPLETE WITH ALL ACCESSORIES NECESSARY FOR THE CORRECT OPERATION OF THE EXISTING SITE INSTALLATIONS AND THE NEW INSTALLATIONS INCLUDING EARTING CAPTURE EXISTING SUB-CIRCUITS WITHIN THE EXISTING SITE, DISCONNECT AND RECONNECT TO THE NEW SWITCHBOARD, EXTEND CIRCUITS AS REQUIRED AND TERMINATE ON RCD PROTECTED CIRCUITS, PROVIDE FOR THE LIGHTING AND POWER REQUIREMENTS.
- THE EXISTING ABC CABLE SUB-MAIN SHALL BE DISCONNECTED WITH A NEW 1 x 4c 25mm² XLPE CABLE TO BE CABLED VIA THE UNDERGROUND CONDUIT INSTALLATION AND DRAW THROUGH PITS INDICATED ON THE PLAN LAYOUT BETWEEN PRIVATE POLE 1 AND 2.
- INSTALL THE NEW SUBMAIN VIA A CONDUIT UP THE EXISTING POLE 1 AND TERMINATE AT THE EXISTING FUSES.
- UNDERGROUND CONDUITS SHALL BE ORANGE PVC HEAVY DUTY ELECTRICAL, BUTTED IN CLEAN SAND, MINIMUM 50mm BEDDING AND 50mm COVER TO TOP OF CONDUIT.
- BURY CONDUIT WITH 0.6m COVER IN ACCORDANCE WITH AS/NZS 3000 REQUIREMENTS.
- PROVIDE PROPRIETARY CONCRETE MOULDED PITS SUFFICIENT TO INSTALL REQUIRED UNDERGROUND CONDUIT/CABLE. PIT COVERS SHALL BE HEAVY DUTY TARRIFFABLE. PROVIDE DRAINAGE FROM BOTTOM OF PITS INTO TRENCH FILLED WITH CRUSHED ROCK.
- ACCURATELY RECORD THE ROUTE OF UNDERGROUND CABLE BEFORE BACKFILLING. MARK LOCATIONS USING ROUTE MARKERS.
- PROVIDE A 150mm WIDE MARKER TAPE BEARING THE WORDS "WARNING -ELECTRIC CABLE BURIED BELOW" LAID IN THE TRENCH 150mm BELOW GROUND LEVEL.
- PROVIDE AN UNDERGROUND CABLE ROUTE BETWEEN THE NEW SWITCHBOARD AND THE NEW TRUCK WASH FOR A CABLE ACCESS TO THE NEW LIGHTING AND POWER INSTALLATIONS AS PER INSTALLATION DETAILS ABOVE.
- SUPPLY AND INSTALL A POWER OUTLET FOR THE KARCHER AND AN ISOLATOR FOR THE PUMP, INSTALL IN ACCORDANCE WITH AS/NZS3000 AND TO THE MANUFACTURER'S RECOMMENDATIONS, LIAISE WITH THE HYDRAULIC INSTALLER PRIOR TO ANY INSTALLATION.
- THE NEW LIGHTING SHALL BE INSTALLED WHERE INDICATED ON THE PLAN LAYOUT WITH LOCAL SWITCHING. REFER THE MANUFACTURER'S RECOMMENDATIONS AND INSTALL WITH MOUNTING BRACKETS ON THE TRUSS FOR FULL OPERATIONS.
- ALL NEW POWER SOCKET OUTLETS, ISOLATORS AND SWITCH SHALL BE IP RATED TO SUIT THE CONDITIONS.
- PROVIDE ADEQUATE DETAILING OPERATIONS AND MAINTENANCE INSTRUCTIONS TO PROVIDE A COMPREHENSIVE INSTRUCTION REFERENCE FOR THE PRINCIPAL.

- DB**
 NEW WALL MOUNTED SWITCHBOARD AS PER CONCEPT PLUS -DIN-T (800H x 485W x 131D) COLOUR GREY, WITH SEPERATE 100A/415V MAIN SWITCH AND 36 POLES
- MP**
 RETAIN THE EXISTING TARIFF METER IN SITU. ENCLOSURE TO BECOME THE METER PANEL. LABEL ACCORDINGLY
- #**
 EXISTING WOODEN PRIVATE POLES WITH IDENTIFYING NUMBER, AS SHOWN, TO REMAIN AS INSTALLED
- OM —**
 OVERHEAD AERIAL CABLE
- UG —**
 UNDERGROUND CONDUIT/CABLE BETWEEN PRIVATE POLES 1 AND 2
- E**
 ELECTRICAL PIT FOR CHANGE OF DIRECTION TO BE SUITABLE FOR 210kN AS PER ACO POLYCRETE SQUARE PIT -CLASS D WITH NON-SLIP RESISTANT FLUSH COVER
- ⊗**
 NEW SURFACE MOUNTED LED HI-BAY AS PER 150W PIERLUX ECO HIGHBAY GEN 4, 5000°K WITH SYMMETRIC BEAM DISTRIBUTION AND NON-DIMMABLE (166H x 291W x 291L) CAT. No. ECOHB150W850G4. COMPLETE WITH MOUNTING BRACKET AND FIXINGS TO SURFACE MOUNT AT HIGH LEVEL OR ON THE TRUSS IN LOCATIONS AS INDICATED ON THE PLAN LAYOUT
- IP**
 MANUAL LIGHTING CONTROL WITH SWITCHWIRE. LIGHT SWITCH TO BE SUITABLE IP RATED TO SUIT THE INSTALLATION
- IP 20A**
 20A/415V 5 ROUND PIN IP RATED POWER OUTLET FOR THE KARCHER, WIRE TO AND CONNECT. INSTALL IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. LIAISE WITH HYDRAULIC INSTALLER
- IP 10A**
 10A/240V ISOLATOR FOR PUMP. LIAISE WITH HYDRAULIC INSTALLER PRIOR TO ANY INSTALLATION

SAFETY IN DESIGN REPORT

In accordance with the Workplace Health & Safety Acts and Regulations JMG have considered the potential hazards and risks that are specific to this design.

The following risks which are unique to this design have been identified:	RESISTS
This report does not relieve contributors from their responsibilities under the Act to identify, report, mitigate and manage all aspects of risk and safety.	

T1 26-02-19
P1 22-02-19
 REV DATE
 TENDER ISSUE
 PRELIMINARY ISSUE
 REMARK

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 This document must be signed 'Approved' by JMG to authorize its use. JMG does not accept any liability for any loss or damage arising from the use of this document.

Accepted: CLG (Client/Principal)	Date	SCALE: @ A3	DESIGNED BY	DRAWN BY
Approved: JMG (JMG Manager)	Date	1:100	LT	TOD
Approved: CGP (Client Manager)	Date		PLOT DATE	28/02/2019



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PROJECT
McROBIES GULLY
TRUCK WASH
SOUTH HOBART

TITLE
ELECTRICAL SERVICES
LEGEND AND NOTES

PROJECT NO. J181204CH
DWG NO. E02 **REVISION** T1
PLOT DETAILS J181204CH-E.DWG

SAFETY IN DESIGN REPORT

In accordance with the Workplace Health & Safety Acts and Regulations JMG have considered the potential hazards and risks that are specific to this design.

The following risks which are unique to this design have been identified:	Nil.
This report does not remove contractors from their responsibility under the Act to identify, report, mitigate and manage all hazards and risks on site and safety.	

GENERAL

- G1 IN THESE NOTES, APPROVED, DIRECTED, REQUIRED, REJECTED & SIMILAR EXPRESSIONS, SHALL MEAN APPROVED, DIRECTED, REQUIRED, REJECTED AND THE LIKE BY THE SUPERINTENDENT THROUGH THE CONTRACTOR.
- G2 READ THIS DRAWING IN CONJUNCTION WITH OTHER DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTION THAT MAY BE ISSUED.
- G3 BUILDING SET-OUT AND DIMENSIONS ARE DETERMINED BY THE BUILDER. DIMENSIONS EXPRESSED IN MILLIMETRES, UNITS, DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THESE DRAWINGS. SETTING OUT DIMENSIONS SHALL BE VERIFIED BEFORE COMMENCING WORK. ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND OTHER DRAWINGS IS TO BE ADVISED BEFORE PROCEEDING WITH THE WORK.
- G4 DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION & NO PART SHALL BE OVERSTRESSED.
- G5 24 HOURS NOTICE REQUIRED FOR WORK REQUIRING INSPECTION.
- G6 THE STRUCTURAL WORK SHOWN ON THESE DRAWINGS HAS BEEN DESIGNED ACCORDING TO AS 1170.2 (2011) FOR A REGIONAL WIND SPEED OF 44m/s IN TERRAIN CATEGORY 3.0 SHELTERED & FOR THE FOLLOWING LIVE LOADS:

AREA**LIVE LOAD**

SLAB	10.00 kPa (10 TONNE AXLE)
------	---------------------------

WORK HEALTH & SAFETY NOTICE:

JMG HAVE CONSIDERED THE HAZARDS AND RISKS ASSOCIATED WITH THE CONSTRUCTION, OPERATION, MAINTENANCE, AND EVENTUAL DEMOLITION OF THIS PROJECT. THERE ARE A NUMBER OF HAZARDS AND HENCE RISKS WHICH ARE NOT UNIQUE TO THIS PROJECT WHICH NEED TO BE MANAGED DURING THESE PHASES. JMG REMIND CONSTRUCTORS, OPERATORS, MAINTAINERS AND DEMOLISHERS OF THEIR RESPONSIBILITIES UNDER WORK HEALTH & SAFETY ACTS AND REGULATIONS. THE FOLLOWING RISKS HAVE BEEN IDENTIFIED WHICH ARE UNIQUE TO THIS PROJECT.

FOUNDATION

- F1 FOUNDATION DEPTHS ARE REDUCED LEVELS TO UNDERSIDE OF FOOTINGS SHOWN ON DRAWINGS ARE FOR TENDING PURPOSES. EXCAVATE THROUGH FILL AS REQUIRED TO PLACE FOOTINGS ACCORDINGLY. ALL EXCAVATIONS SHALL BE APPROVED BEFORE PLACEMENT OF STRUCTURAL FILL, HARDWARE, BLINDING AND/OR REINFORCEMENT.
- F2 FOUNDATION MATERIAL SHALL HAVE A UNIFORM BEARING CAPACITY OF 100 kPa MINIMUM.
- F3 BASES OF FOOTINGS SHALL BE HORIZONTAL, UNDO.
- F4 EXCESS DEPTHS AND WIDTHS IN FOUNDATIONS TO THOSE SPECIFIED SHALL BE FILLED WITH MINIMUM A.S. GRADE 15 CONCRETE. THE CONCRETE FILL SHALL NOT BE BORED TO THE CONCRETE UNLESS APPROVED. THE COST OF FILLING SHALL BE BORNE BY THE CONTRACTOR.
- F5 WHERE DETAILED ON THESE DRAWINGS & WHEREVER GROUND WATER IS ENCOUNTERED PROVIDE 50 CONCRETE BLINDING IMMEDIATELY AFTER APPROVAL OF FOUNDATION.

SLABS ON GRADE

- S01 SUB-BASE PREPARATION
THE SUB-BASE FOR SLABS ON GRADE SHALL BE PREPARED AS FOLLOWS:
- STRIP OFF ALL VEGETATED TOPSOIL AND CUT TO REQUIRED LEVEL 300 MM BELOW ESL (SUBJECT TO FINAL SITE CHECK)
 - PROOF ROLL SUB-BASE TO STANDARD SPECIFIED.
 - WHERE SUB-BASE DISTURBED FOR EXCAVATIONS, FILL WITH STRUCTURAL FILL TYPE A OR B THOROUGHLY COMPACTED IN 50 MAXIMUM LAYERS.

- S02 BASE PREPARATION
THE BASE FOR SLABS ON GRADE SHALL BE PREPARED AS DETAILED AND AS FOLLOWS:
- FILL WITH STRUCTURAL FILL TYPE A COMPACTED AND WATERED TO 150 MM FINISHED THICKNESS. ADDITIONAL FILL REQUIRED BELOW THIS LAYER SHALL BE TYPE A OR B STRUCTURAL FILL COMPACTED AND WATERED, PLACED IN LAYERS NOT EXCEEDING 200 FINISHED THICKNESS. ROLL INTO SUBGRADE WITH 10% STATIC DIRM.
 - COMPACTION TO MINIMUM 95% STANDARD COMPACTION TO AS 1289 U.N.O.
 - PLACE 25 MAX. SAND BLINDING WATERED & COMPACTED, UNDER ENTIRE SLAB AND SLAB THICKENINGS.
 - LAY 0.2mm PORTECOX MEMBRANE, TAPE ALL JOINTS AND SEAL ALL PENETRATIONS. PLACE UNDER ENTIRE SLAB INCLUDING SLAB THICKENINGS & INTEGRAL FOOTINGS. TURN UP AT OUTSIDE EDGES.

- S03 STRUCTURAL FILL
STRUCTURAL FILL SHALL BE AS FOLLOWS:
- TYPE A - 20 FINE CRUSHED ROCK
 - TYPE B - 40 FINE CRUSHED ROCK
 - TYPE C - 150/250 NOMINAL SIZE DOLERITE SPALLS IN 2 LAYERS.

EXCAVATED MATERIAL NOT TO BE USED WITHOUT APPROVAL.

CONCRETE

- C1 WORKMANSHIP, MATERIALS & DESIGN SHALL BE IN ACCORDANCE WITH AS 3480 & ASSOCIATED CODES LISTED THEREIN AND THE SPECIFICATION.

- C2 CONCRETE PROPERTIES SHALL BE AS FOLLOWS. REFERENCE TO BE MADE TO THE SPECIFICATION FOR OTHER REQUIREMENTS. SUPPLIER TO DESIGN MIX TO ACHIEVE THESE REQUIRED PROPERTIES. MOST CURE FOR 3 DAYS MIN. AFTER POUR.

CONCRETE MIX DETAILS						
ELEMENT & LOCATION	A.S. GRADE MPa	MAX. SLUMP	MAX. W/C RATIO	MIN. CEMENT CONT. Kg/m ³	TOTAL AIR CONT. %	OTHER MIX CRITERIA
FOOTING GROUND SLABS	S25 N32	40	0.45	240	4-8	NIL (CaCl ₂)

- C3 BEAM DEPTHS ARE WRITTEN FIRST UNDO AND INCLUDE SLAB THICKNESS IF ANY.

- C4 NO HOLES OR CHASES OTHER THAN THOSE SHOWN SHALL BE MADE WITHOUT APPROVAL.

- C5 DO NOT PLACE CONDUITS, PIPES AND THE LIKE WITHIN CONCRETE COVER.

- C6 SLABS AND BEAMS ARE TO BE POURED TOGETHER UNLESS NOTED OTHERWISE.

- C7 WHERE REINFORCEMENT IS CONTINUOUS THROUGH A POUR BREAK, SCABBLE, REMOVE ALL LOOSE MATERIAL AND DAMPEN THE OLD FACE BEFORE POURING AGAINST IT.

- C8 THE USE OF BLENDED CEMENTS, FLY ASH AND/OR CHEMICAL AD-MIXTURES SHALL NOT BE PERMITTED WITHOUT WRITTEN APPROVAL.

- C9 UNFORMED EXPOSED CONCRETE SURFACES SHALL HAVE AN APPROVED STEEL TROWELLED FINISH UNLESS SHOWN OTHERWISE.

- C10 REINFORCEMENT IS REPRESENTED DIAGRAMMATICALLY AND NOT NECESSARILY IN TRUE PROJECTION.

- C11 SPLICES IN REINFORCEMENT SHALL BE MADE ONLY AT LOCATIONS AND TO DETAILS SHOWN ON STRUCTURAL DRAWINGS UNLESS APPROVED OTHERWISE.

- C12 CONCRETE COVER TO REINFORCEMENT (INCLUDING LIGS) SHALL BE AS FOLLOWS, UNLESS OTHERWISE SHOWN. 40 MIN. FIRE RESISTANCE PERIOD ASSUMED.

EXPOSURE ENVIRONMENT	A.S. 3480 CAT.	ELEMENT	#	CONCRETE AS GRADE	COVER R/T
BELOW GROUND	A2	FOOTINGS 1	25	50	
		FOOTINGS 2	25	50	
		A1 SLAB BOT.	3	32	30
BUILDING EXTERNAL	B1	SLAB	2	32	40

- #1 = CAST AGAINST GROUND
 #2 = CAST AGAINST FORMWORK
 #3 = CAST AGAINST PORTECOX MEMBRANE

- C13 REINFORCEMENT SHALL NOT BE CUT, WELDED, BENT OR HEATED ON SITE. NOR FITMENT OR SLAB STEEL BE DISPLACED MORE THAN 0.25 TIMES THE NOMINAL SPACING WITHOUT PRIOR APPROVAL.

- C14 PLACE INDIVIDUAL BAR CHAIRS AT THE RATE OF 25 PER 1000 OF BOTTOM & TOP SLAB REINFORCEMENT AREA (750 CRS. APPROVED AND AS REQUIRED FOR ADEQUATE SUPPORT IN OTHER MEMBERS. ALL CHAIRS SUPPORTED ON APPROVED TYPE PLATES.

- C15 REINFORCEMENT SHALL BE SECURELY WIRED IN PLACE WITHOUT WELDING, UNLESS APPROVED OTHERWISE.

- C17 FABRIC SHALL BE RANDOM LAPPED WITH NO MORE THAN TWO SHEETS NESTED TOGETHER. USE ALTERNATIVE DETAIL AS REQUIRED. WHERE FABRIC ORIENTATION IS SHOWN, THIS BAR IS TO BE PLACED WITH MINIMUM COVER TO CONCRETE FACE. (ALTERNATIVE SHEETS WHERE FABRIC NESTED)

END LAP**TYPICAL DETAIL****ALTERNATIVE DETAIL**

- END LAPS NOT PERMITTED WITH ONE WAY FABRICS ABOVE RLIN. END LAP WITH SPLICE BAR AT FOLLOWING CENTRES:
 UP TO SL42
 N12 @ 400 CRS.
 SL42
 SL41
 N12 @ 200 CRS.

SIDE LAP**TYPICAL DETAIL****ALTERNATIVE DETAIL AS ABOVE**

- C18 MESH ORIENTATION FOR WALLS - HORIZONTAL BAR TO BE PLACED TO THE OUTER FACE UNLESS OTHERWISE NOTED. WHERE FABRIC PLACEMENT IS NOT PRACTICAL REPLACE WITH N12@200 EW.

- C19 REINFORCEMENT SYMBOLS AND GRADES:

- R - DENOTES STRUCTURAL GRADE PLAIN ROUND (GRADE 2500)
 N - DENOTES HOT ROLLED DEFORMED BAR (GRADE D5000) TO A.S. 4471
 SL - DENOTES BARED REINFORCING FABRIC (GRADE D500) TO A.S. 4471
 W - DENOTES HARD-DRAWN PLAIN WIRE (GRADE D500) TO A.S. 1003.

- C20 TRIMMING STEEL NOT DESIGNATED SHALL BE:

ELEMENT	LOCATION	TRIMMING REINFORCEMENT	EXTEND BEYOND CROSS OVER POINT
SLABS	INTERNAL CORNERS -PENETRATIONS -SETDOWS +25 DEEP	2/NIN EW TOP AT CORNERS	400

STEELWORK

- S1 WORKMANSHIP, MATERIALS AND DESIGN SHALL BE IN ACCORDANCE WITH A.S. 4100, ASSOCIATED CODES LISTED THEREIN AND THE SPECIFICATION.

- S2 UNLESS NOTED OTHERWISE STEEL ELEMENTS SHALL BE OF THE FOLLOWING GRADES:

- GENERAL SECTIONS - BWP 300+ RUB/UC/PPC/LARGE ANGLES:
 - GRADE 250 TO AS 3478/3479 (OTHER SECTIONS)
 PHS & SHS - GRADE 350 TO AS 1163
 CHS - 490 - GRADE 250 TO AS 1163
 CHS - 890 - GRADE 350 TO AS 1163
 PURLINS & GRTS - GRADE G450-Z200 TO AS 1397
 DURAGAL - GRADE G450L TO AS 1163

- S3 REFER TO ARCHITECT'S OR OTHER DRAWINGS FOR LINTELS, CLEATS AND MEMBERS NOT SPECIFICALLY SHOWN ON THESE DRAWINGS.

- S4 BOLTING PROCEDURES ARE IDENTIFIED AS FOLLOWS:

BOLTING PROCEDURE	GRADE MPa	BOLT TO A.S.	METHOD OF INSTALLATION	NOTES
4.6/s	4.6	AS 1111	SMUG TIGHTENED	
8.8/s	8.8	AS 1252	SMUG TIGHTENED	
8.8/TF	8.8	AS 1252	FULLY TENSIONED LOAD INDICATOR WASHERS	FRICTION TYPE JOINT
8.8/TB	8.8	AS 1252	FULLY TENSIONED LOAD INDICATOR WASHERS	BEARING TYPE JOINT

ALL BOLTS TO BE OF SUCH LENGTH THAT AT LEAST ONE FULL THREAD IS EXPOSED BEYOND THE NUT AFTER THE NUT HAS BEEN TIGHTENED.

- S5 UNLESS NOTED OTHERWISE, CONNECTIONS SHALL BE AS FOLLOWS:

CONNECTION LOCATION	BOLT NO. &/OR SIZE	PROCEDURE	CLEAT THICKNESS	NOTES
GENERAL MEMBERS	+200 MAX DIM 2/1M	4.6/s	8	WASHER UNDER ROTATING PART
PURLINS & GRTS	+200 2/M2	8.8/s	10	
RUD BRACING	2 NUTS AS SPECIFIED AS LOCK NUTS EACH END	4.6/s	8	GALVANISED BOLTS
HD BOLTS	AS DETAILED	4.6/s	AS DETAILED	HALF MOON WASHER EACH END

NOTE: ALL BOLTS TO BE HOT DIP GALV. U.N.O.

- S6 PURLINS SHALL BE SUPPLIED AS SPECIFIED WITH BRIDGING AND TIES TO MANUFACTURER'S SPECIFICATION OR 3000 MAXIMUM UNSUPPORTED LENGTH U.N.O. SUBSTITUTION SHALL NOT BE MADE UNLESS APPROVED.

- S7 WELDING CATEGORIES SHALL BE AS FOLLOWS:
 UNLESS NOTED OTHERWISE SP TO A.S. 1554
 PURLIN AND GRT CLEATS SP TO A.S. 1554.

- S8 UNLESS NOTED OTHERWISE ALL FILLET WELDS SHALL BE 4mm CONTINUOUS FILLET WELDS, SP CATEGORY.

- S9 ALL BUTT WELDS SHALL BE PRE-QUALIFIED COMPLETE PENETRATION SP CATEGORY AND SHALL UTILISE 'RUN-ON' RUN-OFF PLATES.

- S10 ELECTRODES SHALL BE:

E4xx OR E4xx	TO A.S. 1553 FOR MMAW
W500	TO A.S. 2717 FOR GHAW
W500	TO A.S. 2223 FOR FCAM
W500	TO A.S. 1858 FOR SAW

- S11 GROUT UNDER BASE PLATES SHALL BE 2:1 SAND/CEMENT MORTAR MIXED NEARLY DRY AND RAMMED HARD MINIMUM 20 THICK. ALTERNATIVELY USE MASTER BUILDER'S MASTERFLOW TYPE 87BA CEMENT GROUT FLOWABLE GRADE 20 THICK.

- S12 SUSPENDED CEILINGS, AIR CONDITIONING UNITS, DUCTWORK AND SUSPENDED PIPEWORK MUST BE SUITABLY SUPPORTED FROM THE WEB OF PURLIN. SUPPORT FROM THE FLANGE OF PURLIN SHALL NOT BE PERMITTED. LOADS FROM HEAVY UNITS OR PLANT MUST BE SUITABLY DISTRIBUTED BETWEEN THREE (3) PURLINS.

- S13 STEELWORK TO BE HOT DIP GALVANISED IS AS DESCRIBED OR NOTED AS GALV ON THE PROJECT DRAWINGS. PREPARE TO CLASS 2 / AS 1627.6. MAKE GOOD DAMAGE TO GALVANISING WITH 'DMET GALVANITE' UNLESS NOTED OTHERWISE. REFER TO SPECIFICATION FOR BARRIER AND/OR FINISH COATS.

ABBREVIATIONS (REFER A.S. C21 PART 2)

BOTTOM BRICK/BLOCK CONTROL JOINT	BBT
CONSTRUCTION JOINT	BCJ
CONTINUOUS FILLET WELD	CJW
CONTROL JOINT	CONT J
DIAMETER	DIA (OR Ø)
EACH FACE	EF
EACH WAY	EW
EXISTING SURFACE LEVEL	ESL
EXPANSION JOINT	EJ
FACE	FF
FINISHED FLOOR LEVEL	PFL
FINISHED SURFACE LEVEL	PSL
GROUND SURFACE LEVEL AS CUT	GSL
KILOSPICAL	KPa
LIVE LOAD	LL
MEGAPASCAL	MPa
NEAR FACE	NF
REDUCED LEVEL	RL
TOP AND BOTTOM	TAB
UNLESS NOTED OTHERWISE	UNO

TENDER ISSUE

T1 26.02.19 TENDER ISSUE

REV DATE REMARK

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Accepted JMG (Client/Owner)

Accepted GJA (Group Manager)

Accepted GJA (Group Manager)

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PROJECT
McROBIES GULLY
TRUCK WASH
SOUTH HOBART

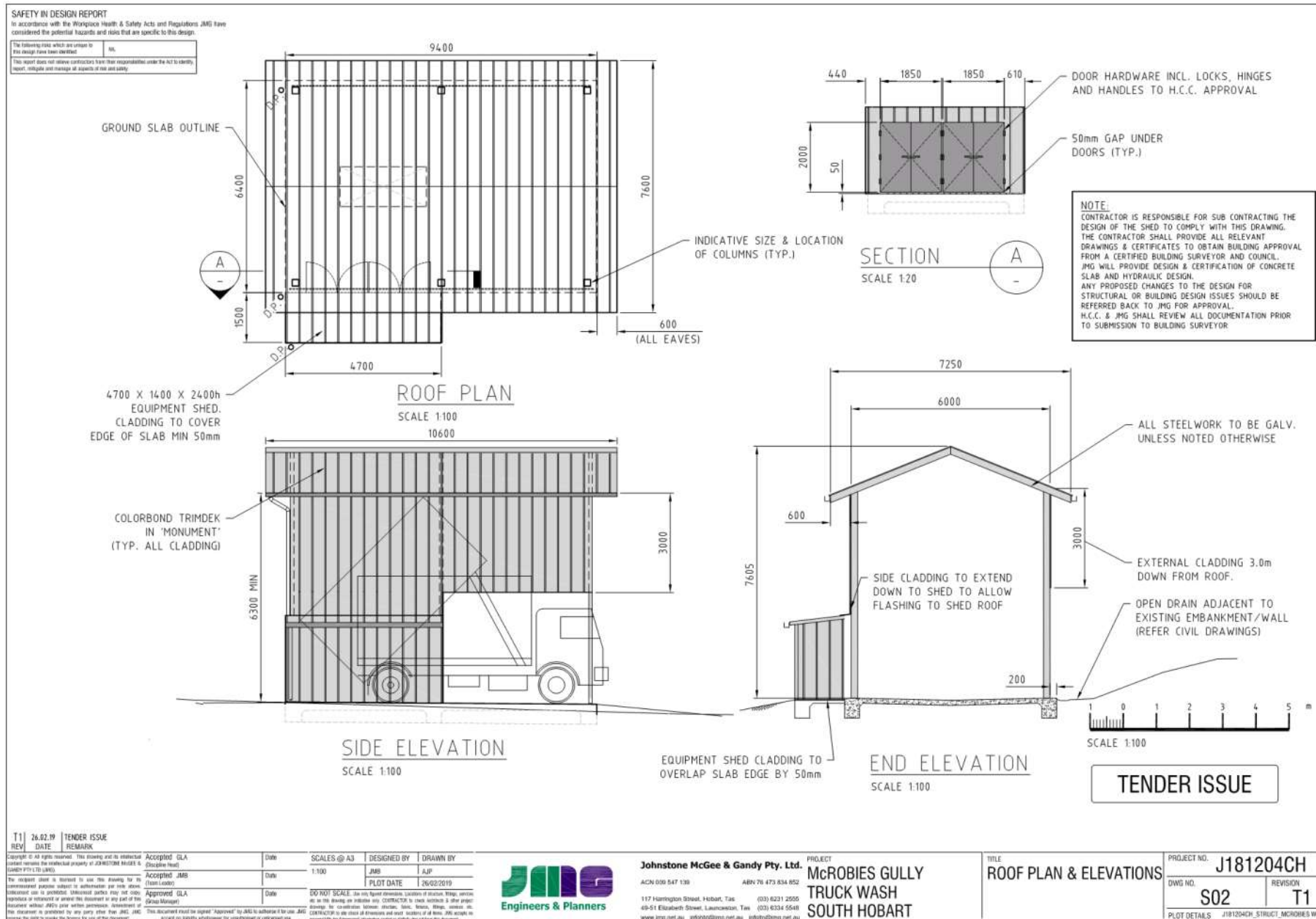
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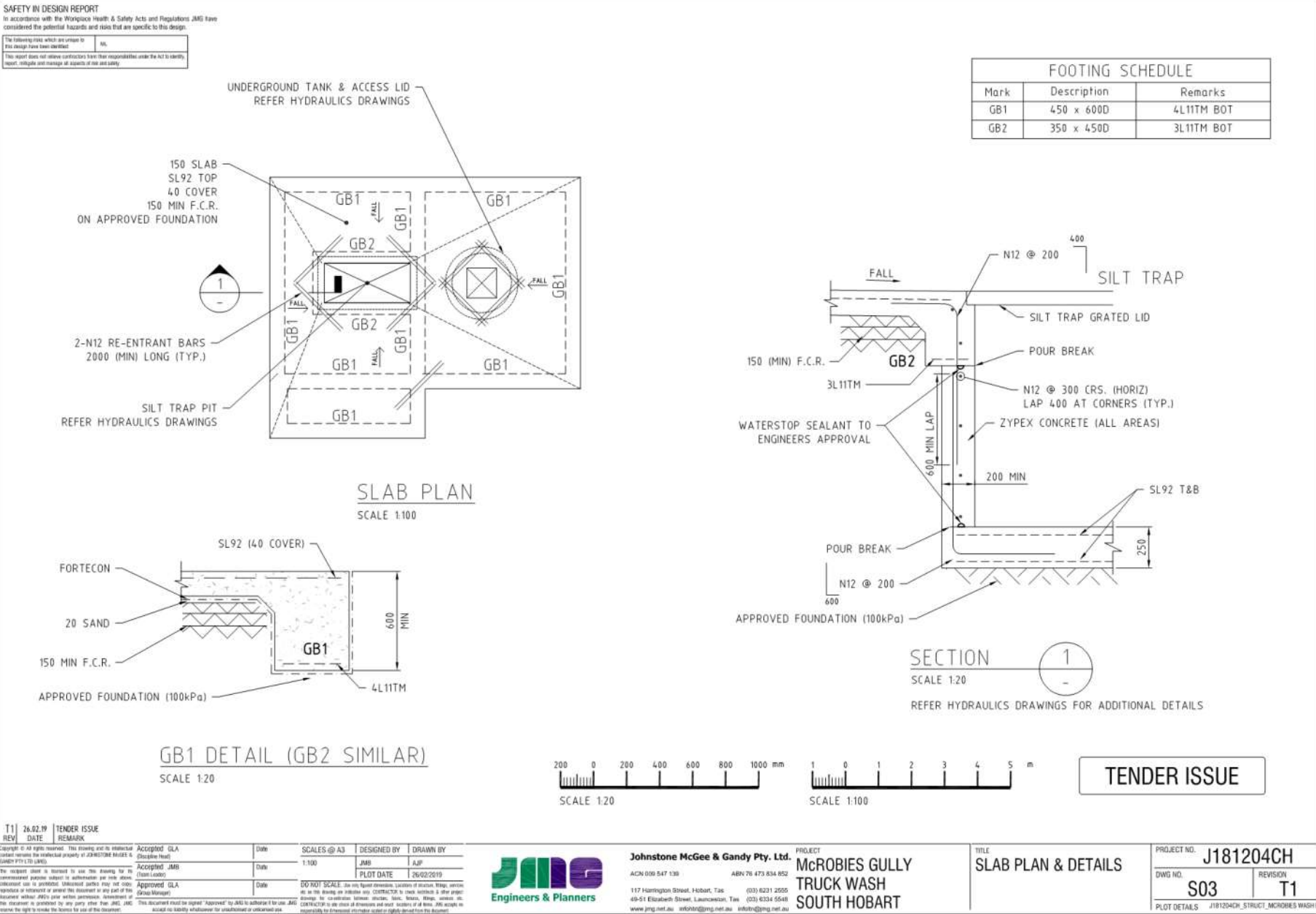
PROJECT NO. J181204CH

DWG NO. S01

REVISION T1

PLOT DETAILS J181204CH_STRUCT_McROBIES WASH DWG





McROBIES GULLY WASH BAY UPGRADE

HYDRAULIC SERVICES

HYDRAULIC NOTES

- H1 WORK HEALTH & SAFETY NOTICE: JMG HAVE CONSIDERED THE HAZARDS AND RISKS ASSOCIATED WITH THE CONSTRUCTION, OPERATION, MAINTENANCE AND EVENTUAL DEMOLITION OF THIS PROJECT. THERE ARE A NUMBER OF HAZARDS AND HENCE RISKS WHICH ARE NOT UNIQUE TO THIS PROJECT WHICH NEED TO BE MANAGED DURING THESE PHASES. JMG REMIND CONSTRUCTORS, OPERATORS, MAINTAINERS AND DEMOLISHERS OF THEIR RESPONSIBILITIES UNDER WORK HEALTH & SAFETY ACTS AND REGULATIONS, THE FOLLOWING RISKS HAVE BEEN IDENTIFIED WHICH ARE UNIQUE TO THIS PROJECT: NIL
- H2 ALL PLUMBING WILL BE IN ACCORDANCE WITH THE TASMANIAN PLUMBING REGULATIONS AS3500, NATIONAL CONSTRUCTION CODE (AND ALL REFERENCED STANDARDS AND GUIDEBOOKS) AND TO THE LOCAL AUTHORITY APPROVAL.
- H3 PLUMBING SERVICES SHALL BE CARRIED OUT IN CONJUNCTION WITH THE STAGED CONSTRUCTION PROGRAM.
- H4 PIPEWORK LAYOUTS ARE DIAGRAMMATIC ONLY. CO-ORDINATE WITH ARCHITECTURAL AND OTHER SERVICE DRAWINGS PRIOR TO INSTALLATION.
- H5 THE LOCATION OF EXISTING SERVICES WHERE SHOWN ARE APPROXIMATE ONLY & SHALL BE CONFIRMED ON SITE. WHERE POSSIBLE DETERMINE LOCATION OF EXISTING POWER, COMMUNICATIONS, GAS, WATER AND DRAINAGE SERVICES PRIOR TO COMMENCING NEW WORK.
- H6 CONCEAL ALL PIPEWORK IN CEILING SPACE, DUCTS, CAVITIES, WALL CHASES, CUPBOARD, ETC. UNLESS OTHERWISE APPROVED.
- H7 REMOVAL OF EXISTING FIXTURES AND FITTINGS. THE REMOVAL OF EXISTING PLUMBING FIXTURES SHALL INCLUDE ALL ASSOCIATED WASTE AND VENT PIPES, FLOOR DRAINS, WATER SERVICES PIPEWORK, BRACKETS, SUPPORTS, FIXINGS, ETC. AND SEAL OFF EXISTING SERVICES. SEAL OFF AND MAKE GOOD TO APPROVAL ALL FLOOR, WALL AND ROOF PENETRATIONS.
- H8 CO-ORDINATE ALL PIPEWORK WITH EXISTING SERVICES ON SITE.
- H9 REFER TO ARCHITECTURAL DRAWINGS AND FIXTURE AND EQUIPMENT TECHNICAL SPECIFICATIONS FOR PIPEWORK CONNECTIONS.
- H10 MAKE GOOD ALL DISTURBED SURFACES TO MATCH EXISTING.
- H11 REMOVE ALL EXCESS SOIL AND SURPLUS MATERIALS FROM SITE.
- H12 OBTAIN AND SUPPLY TO THE CONTRACTOR, THE WARRANTIES OFFERED BY THE MANUFACTURERS OF APPLIANCES, FIXTURES, FITTINGS AND ACCESSORIES USED IN THE WORKS AND THE LOCAL AUTHORITIES COMPLETION CERTIFICATES UPON COMPLETION OF THE WORKS.
- H13 PREPARE PROGRESSIVELY THROUGHOUT THE WORKS, AND FORWARD TO THE ARCHITECT BEFORE THE DATE OF PRACTICAL COMPLETION, 'AS-INSTALLED' DRAWINGS OF ALL PLUMBING SERVICES SHOWING PIPEWORK, PITS, MANHOLES, VALVES AND THE LIKE INCLUDING OFFSET DIMENSIONS AND DEPTHS WHERE APPLICABLE.

HYDRAULIC NOTES

- H13 ALL WATER SERVICE PIPEWORK SHALL BE COPPER TYPE B.
- H14 FOLLOWING COMPLETION OF THE WORKS, FLUSH ALL PIPING SYSTEMS AND LEAVE FREE OF FOREIGN MATTER. CLEAN OUT AERATORS, STRAINERS, FILTERS, ECT.
- H15 ALL HOT & TEMPERED WATER PIPES TO BE INSULATED WITH FULL SURROUND ARMAFLEX CELLULAR PIPE INSULATION 13mm MINIMUM WALL THICKNESS. TAPE SEAL ALL JOINTS.
- H16 ALL PENETRATIONS THROUGH EXISTING SUSPENDED FLOOR SLABS SHALL BE DRILLED TO LOCATION APPROVED BY THE STRUCTURAL ENGINEER. DRILL PILOT HOLE PRIOR TO CORE DRILLING TO ENSURE CLEARANCE OF BEAMS AND OTHER SERVICES IN SLAB. ALL PENETRATIONS SHALL BE CORE DRILLED TO SUIT PIPE SIZE. ALLOWANCE FOR 10mm CLEARANCES SHALL BE MADE FOR SEALING WITH 'FYRESET' OR SIMILAR APPROVED TO FULL DEPTH OF PENETRATION.
- H17 PROVIDE PRESSURE REDUCING VALVE IF EXISTING PRESSURE EXCEEDS 500kPa.

ABBREVIATIONS

Cu	COPPER
CW	COLD WATER
Ø	DIAMETER
DP	DOWNPIPE
EXG	EXISTING
F/A	FROM ABOVE
F/B	FROM BELOW
FFL	FINISHED FLOOR LEVEL
FHR	FIRE HOSE REEL
FW	FLOOR WASTE
FSL	FINISHED SURFACE LEVEL
HL	HIGH LEVEL
IO	INSPECTION OPENING
TD	TUNDISH
IV	ISOLATING VALVE
LL	LOW LEVEL
ORG	OVERFLOW RELIEF GULLY
RM	RISING MAIN
RPZD	REDUCED PRESSURE ZONE DEVICE
S	SEWER
SRM	SEWER RISING MAIN
S/S	STAINLESS STEEL
SV	STOP VALVE/SERVICE VALVE
SW	STORMWATER
T/A	TO ABOVE
A/B	TO BELOW
TTD	TRAPPED TUNDISH
TW	TRADE WASTE
VP	VENT PIPE

SYMBOLS

○ v	RISER/DROPPER
⋈	ISOLATION VALVE
DDD	REDUCED PRESSURE ZONE DEVICE
IOS	INSPECTION OPENING - SURFACE ACCESS
FW	FLOOR WASTE GULLY
DT	DISCONNECTOR GULLY TRAP
TD	TUNDISH
▲	PUMP
CP	CONTROL PANEL
HT	HOSE TAP

NEW PIPEWORK

— S — S — S — S —	SANITARY DRAINAGE
— SRM — SRM —	SEWER RISING MAIN
— — — — —	VENT PIPE
— TW — TW — TW —	TRADEWASTE DRAINAGE
— — — — —	COLD WATER
— — — — —	HOT WATER
— G — G — G — G —	GAS
— S — S — S — S —	EXISTING SEWER
— eSW — eSW —	EXISTING TRADEWASTE
— W — W — W — W —	EXISTING WATER
— X — X — X — X —	REDUNDANT SERVICE

EXISTING PIPEWORK

DRAWING LIST

DRAWING NUMBER	DRAWING NAME
H01	NOTES AND LEGEND
H02	WASH BAY UPGRADES
H03	DETAIL SHEET

SAFETY IN DESIGN REPORT

In accordance with the Workplace Health & Safety Acts and Regulations JMG have considered the potential hazards and risks that are specific to this design.

The following risks which are unique to this design have been identified:	NIL
This report does not relieve contractors from their responsibilities under the act to identify, report, mitigate and manage all aspects of risk and safety.	

T1	26.02.19	TENDER ISSUE
P2	15.02.19	PRELIMINARY ISSUE
P1	21.01.19	PRELIMINARY ISSUE
REV	DATE	REMARK

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	Approved: D. ATHERTON (Group Manager)	Date:	26/02/2019 PLOT DATE
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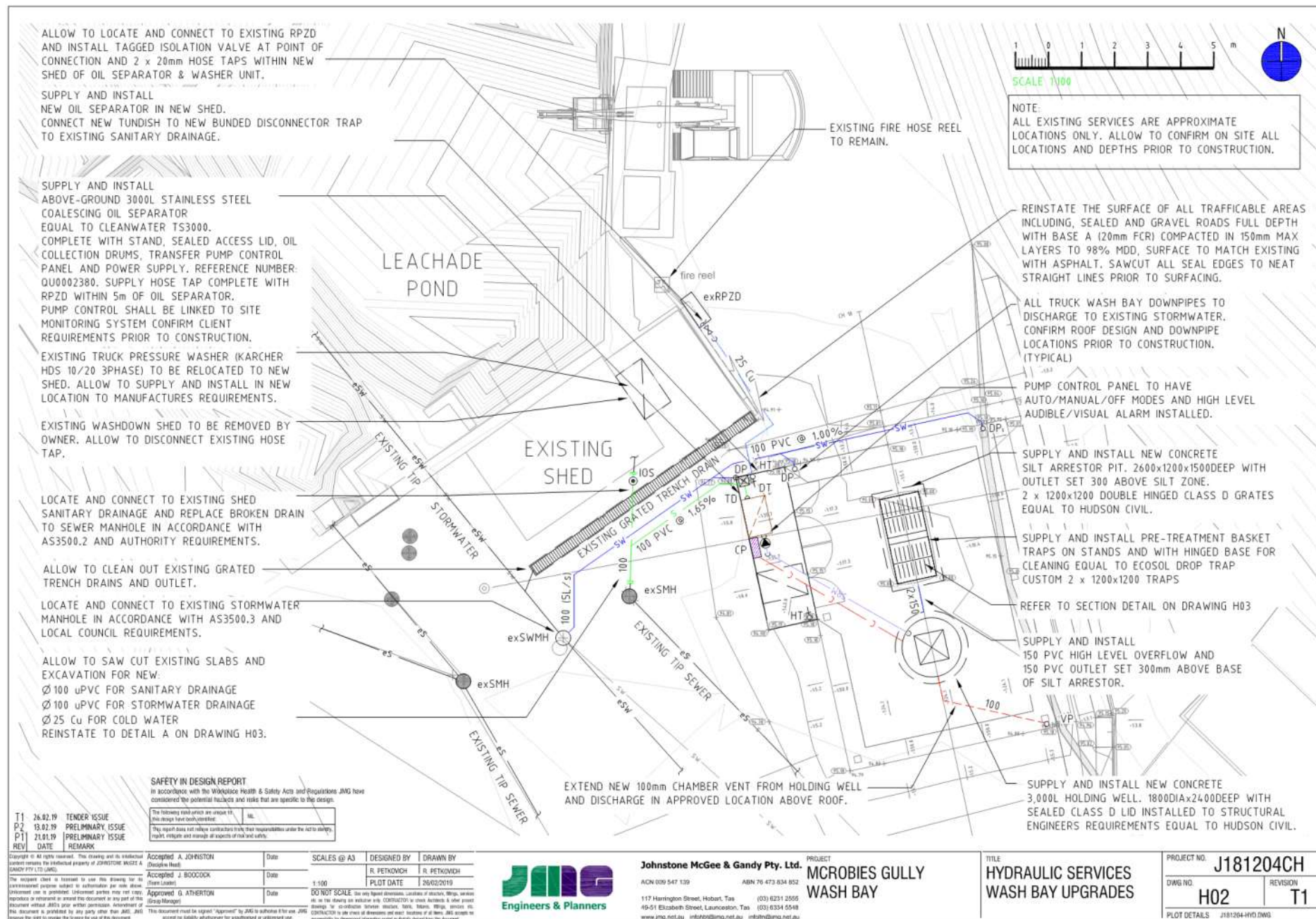
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McROBIES GULLY
WASH BAY

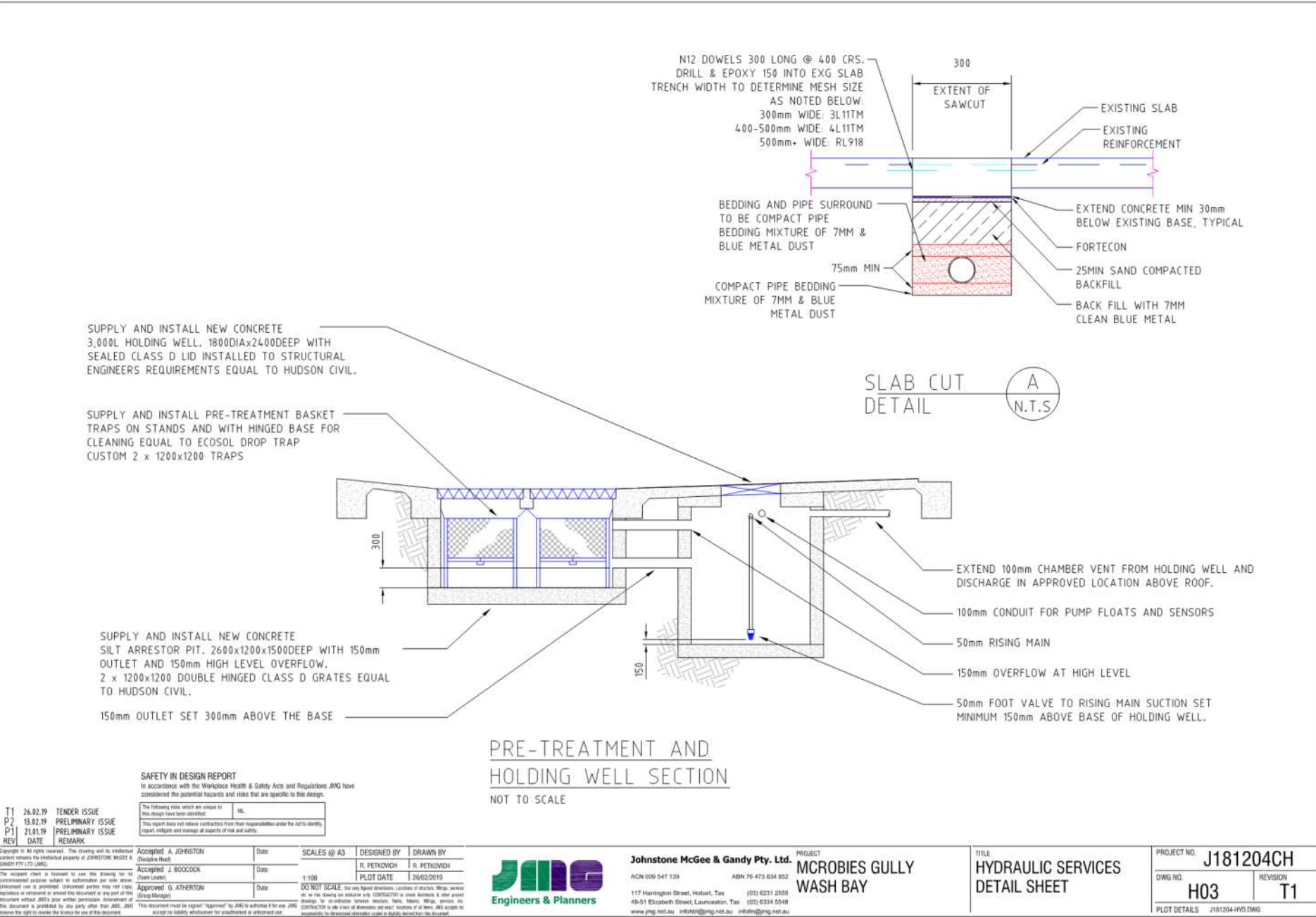
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HYDRAULIC SERVICES
NOTES AND LEGEND

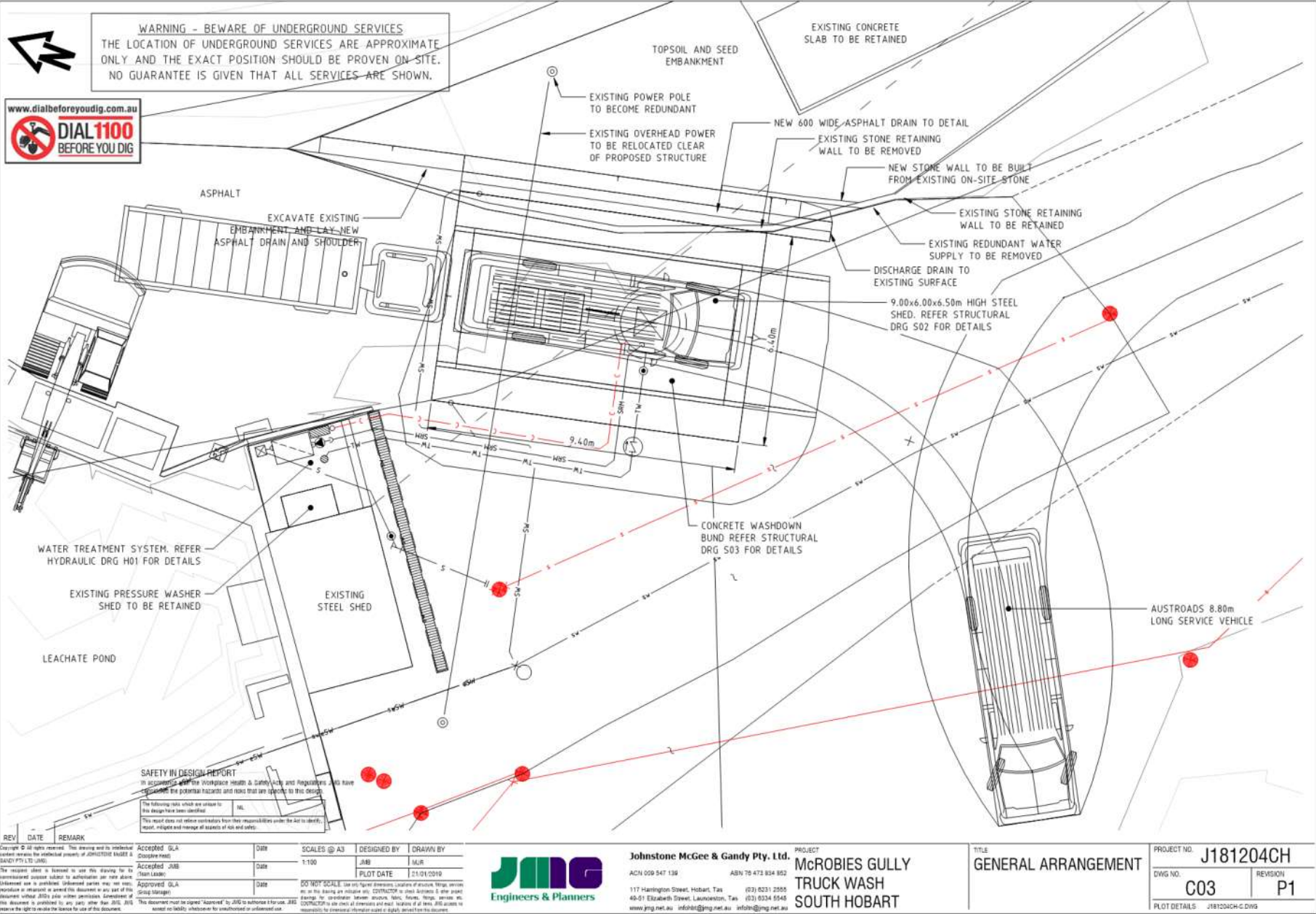
PROJECT NO: J181204CH

DWG NO: H01
REVISION: T1

PLOT DETAILS: J181204-HYD DWG





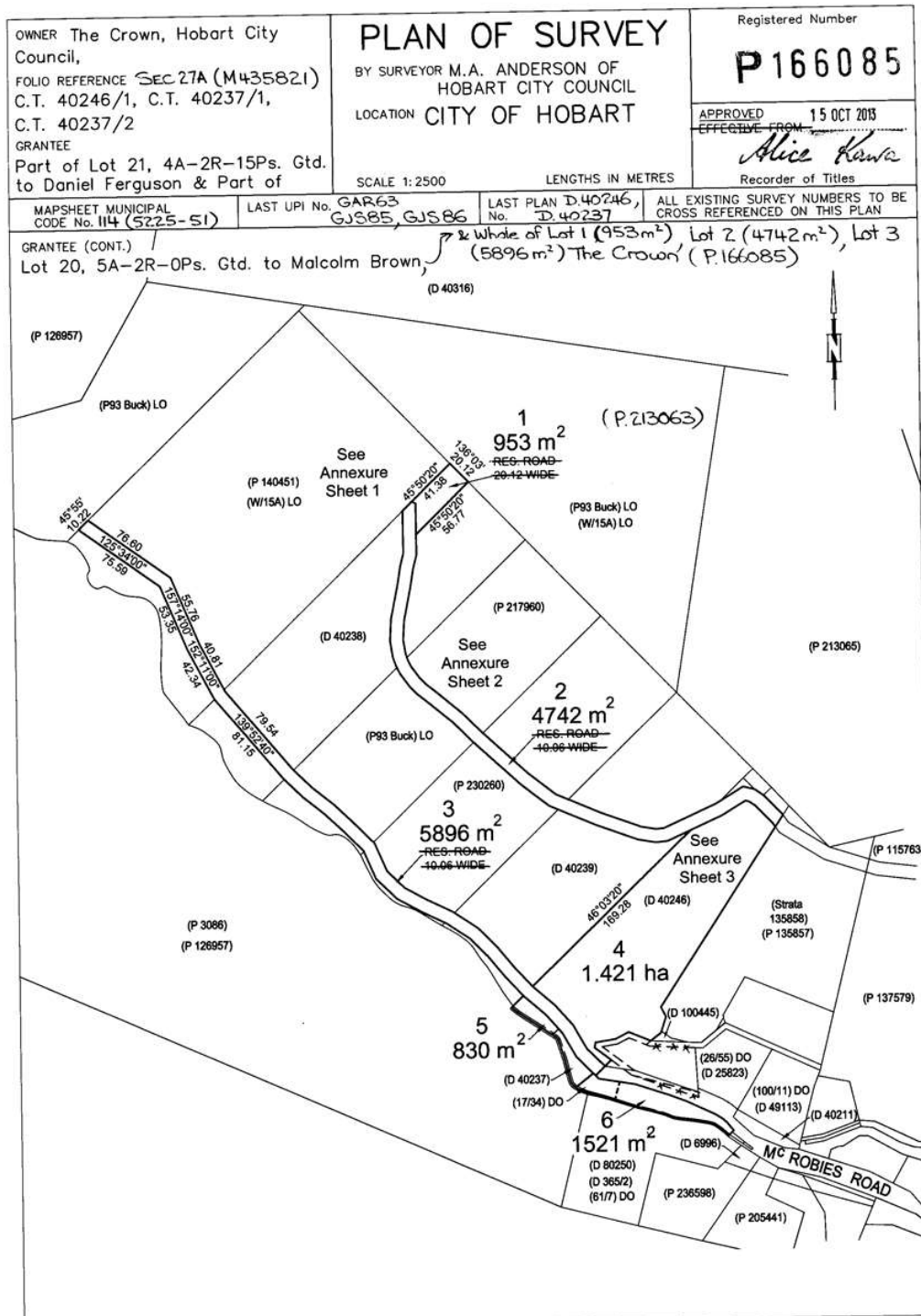




FOLIO PLAN

DEPUTY RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

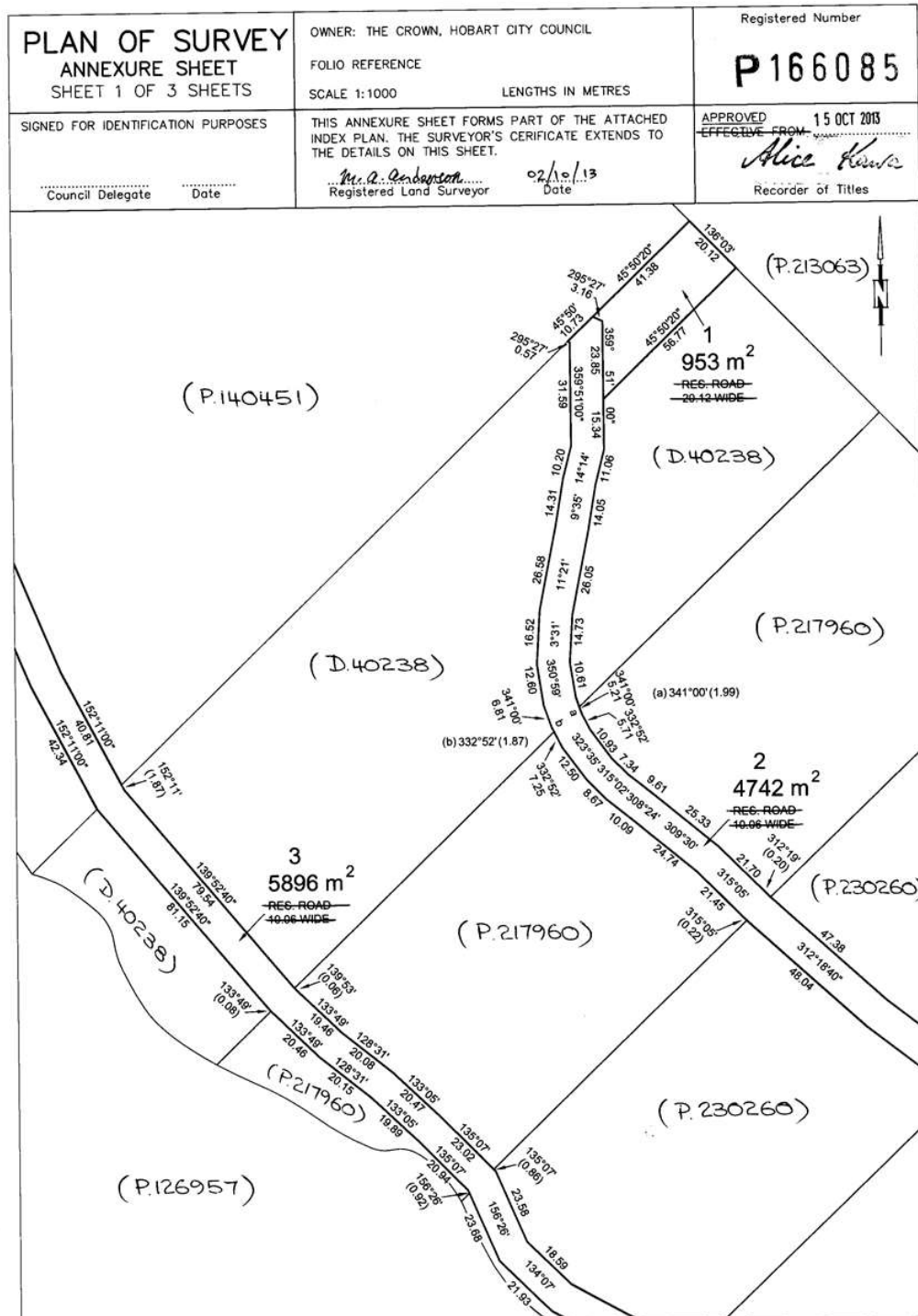




FOLIO PLAN

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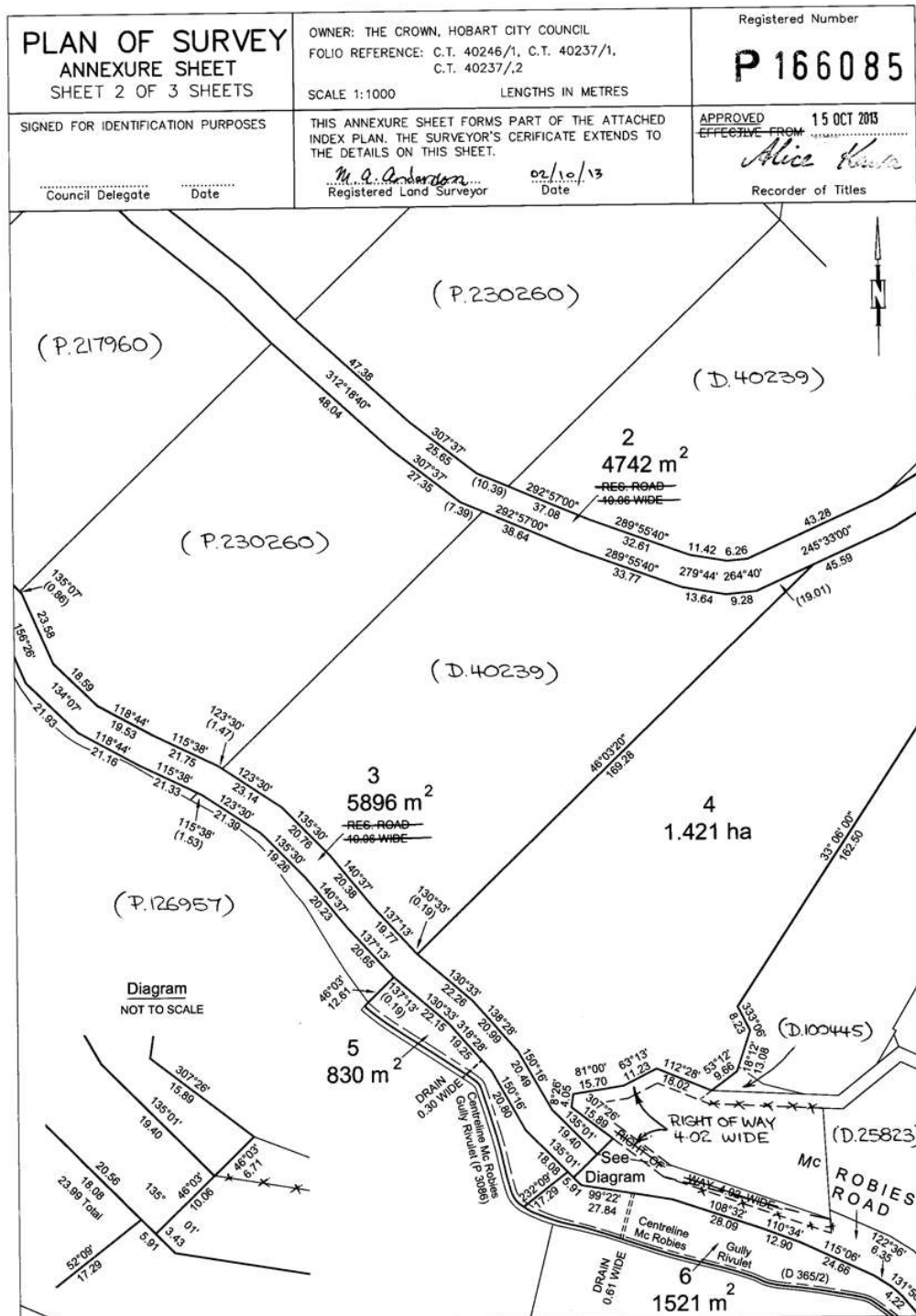




FOLIO PLAN

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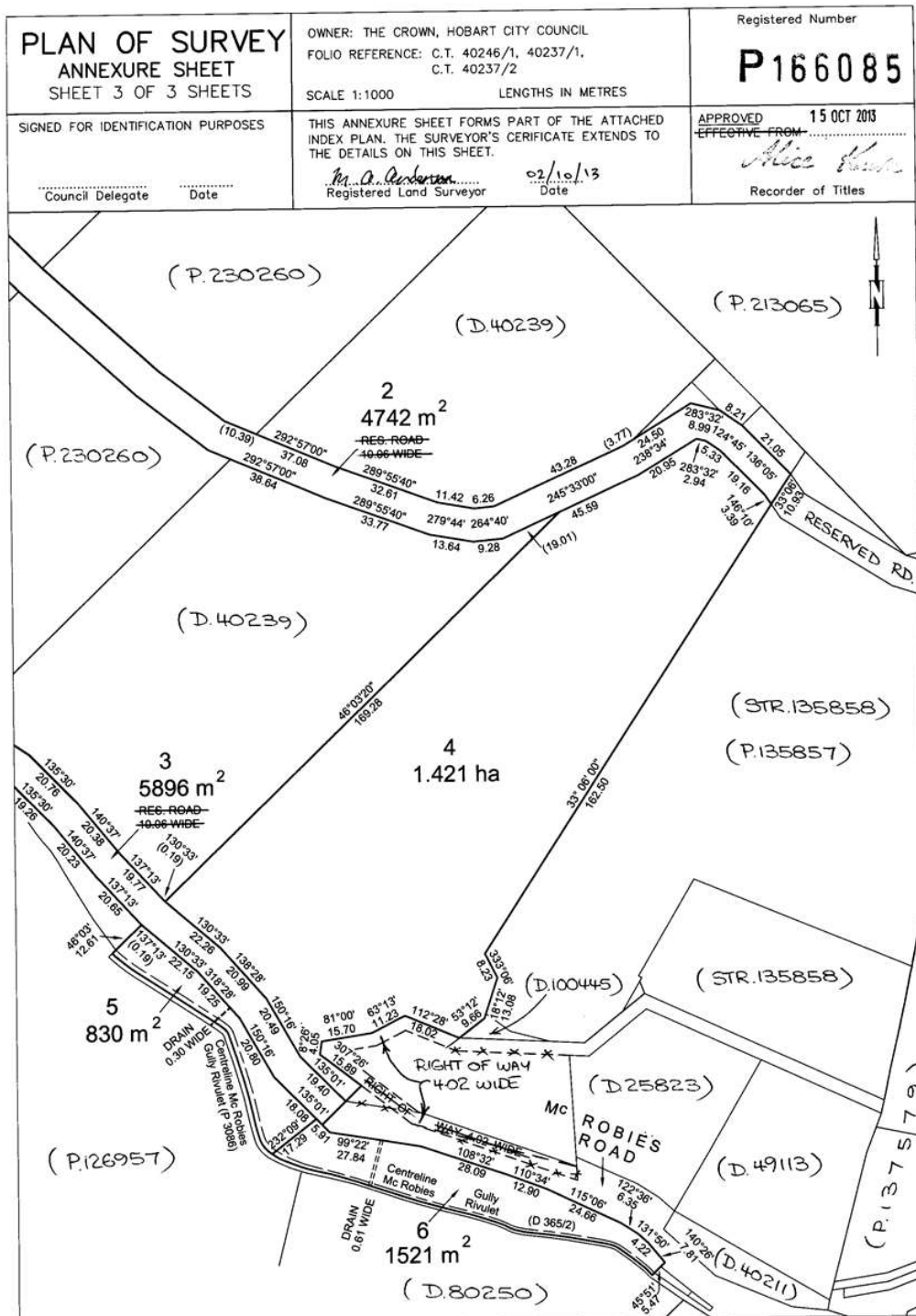




FOLIO PLAN

DEPUTY RECORDER OF TITLES

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**RESULT OF SEARCH**

DEPUTY RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

SEARCH OF TORRENS TITLE

VOLUME 166085	FOLIO 3
EDITION 2	DATE OF ISSUE 20-Feb-2014

SEARCH DATE : 13-Mar-2019

SEARCH TIME : 09.35 AM

DESCRIPTION OF LAND

City of HOBART

Lot 3 on Diagram 166085 (Section 27A of the Land Titles Act.)

Derivation : Whole of Lot 3 on Diagram 166085 Gtd. to The Crown

SCHEDULE 1D111992 TRANSFER to HOBART CITY COUNCIL Registered
20-Feb-2014 at noonSCHEDULE 2M435821 Land is limited in depth to 15 metres, excludes
minerals and is subject to reservations relating to
drains sewers and waterways in favour of the CrownUNREGISTERED DEALINGS AND NOTATIONS

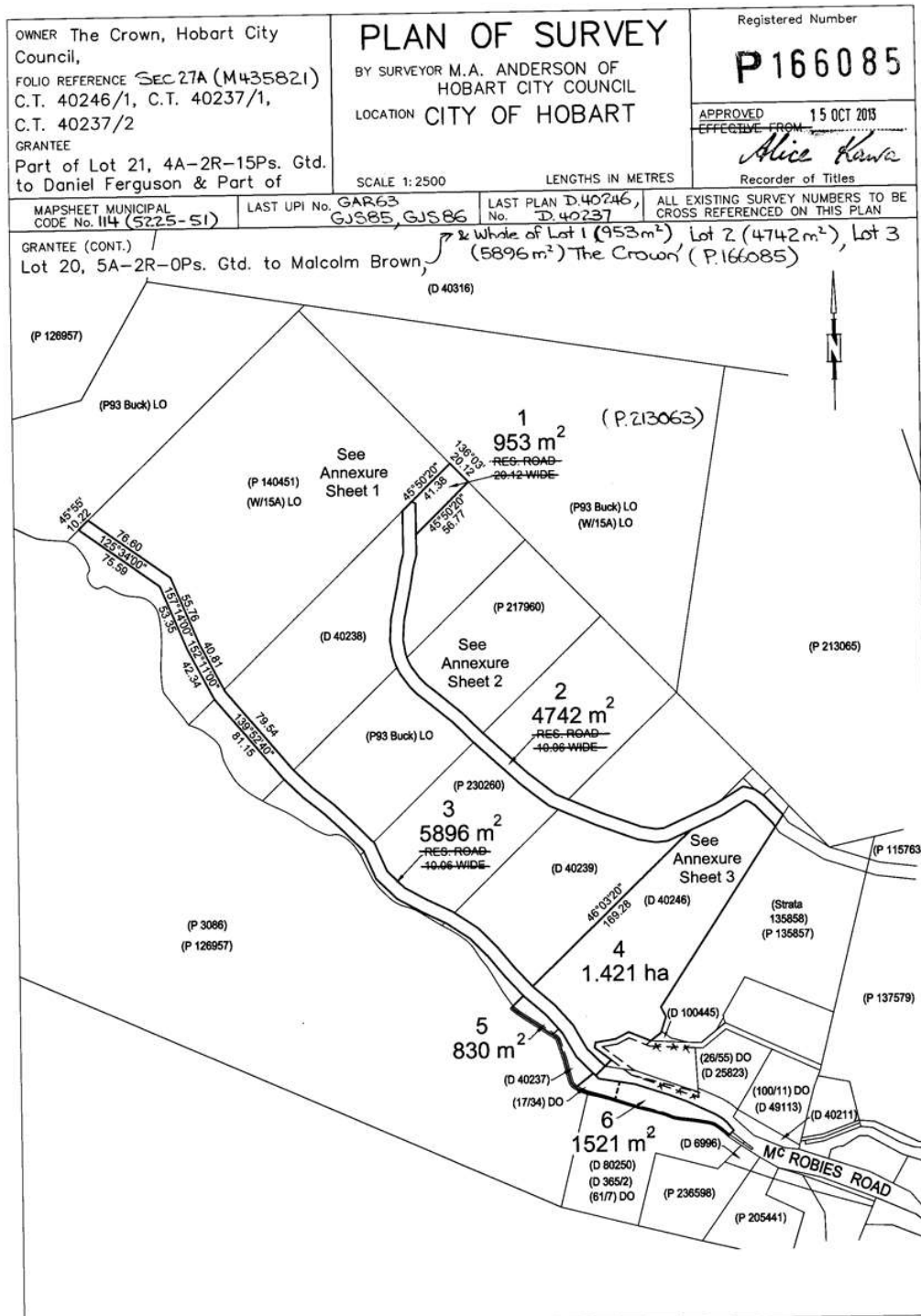
No unregistered dealings or other notations



FOLIO PLAN

DEPUTY RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

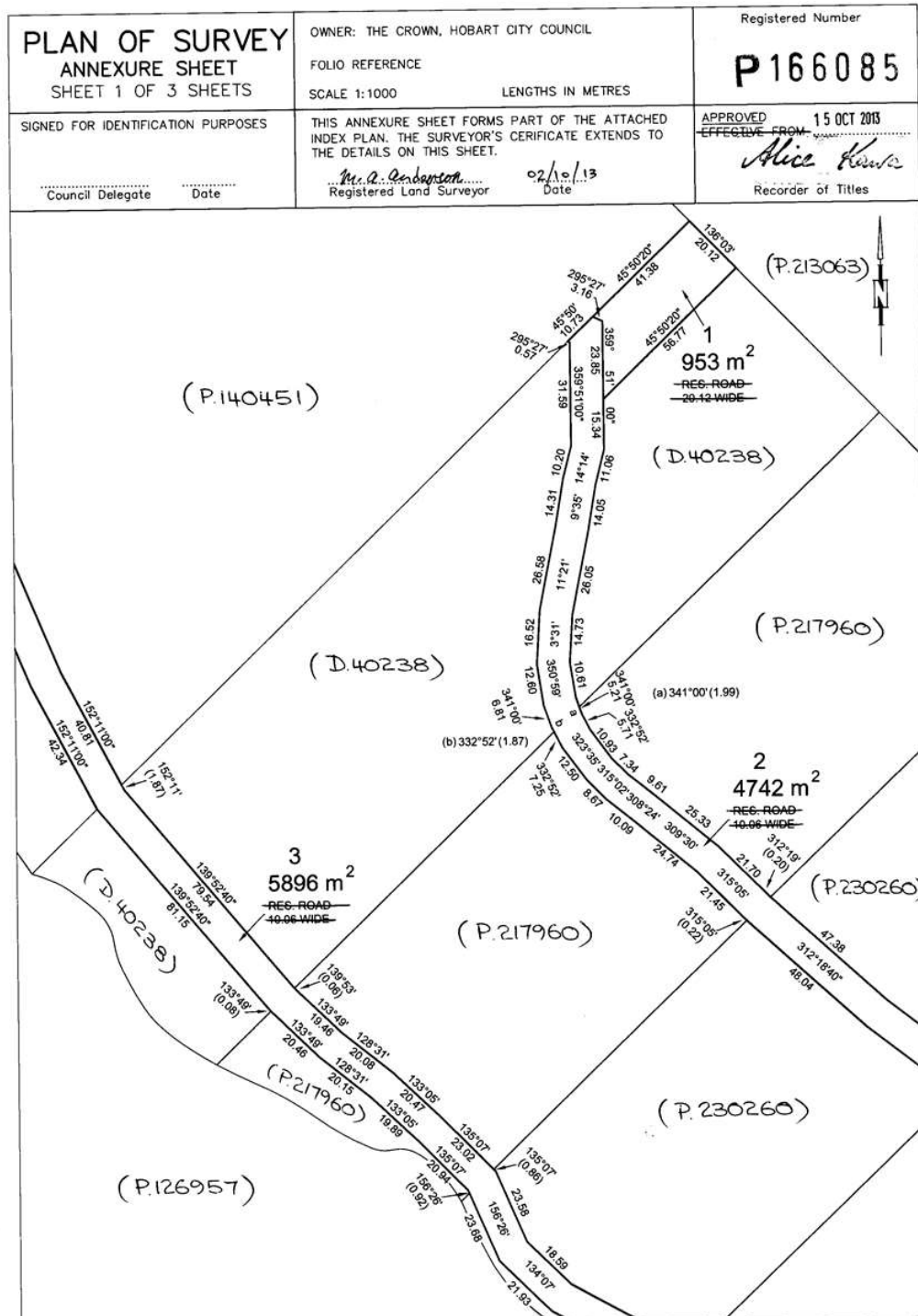




FOLIO PLAN

DEPUTY RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

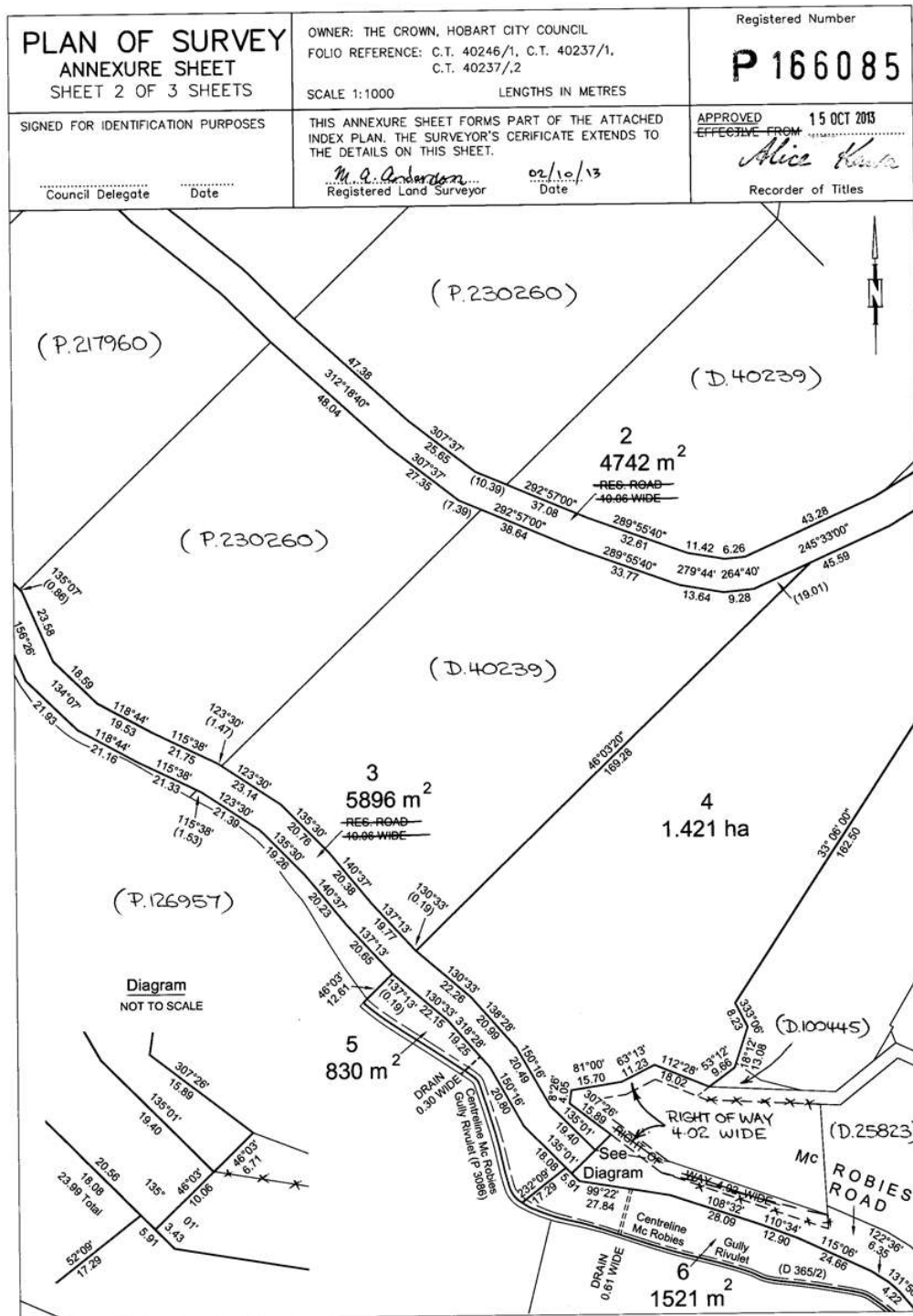




FOLIO PLAN

DEPUTY RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

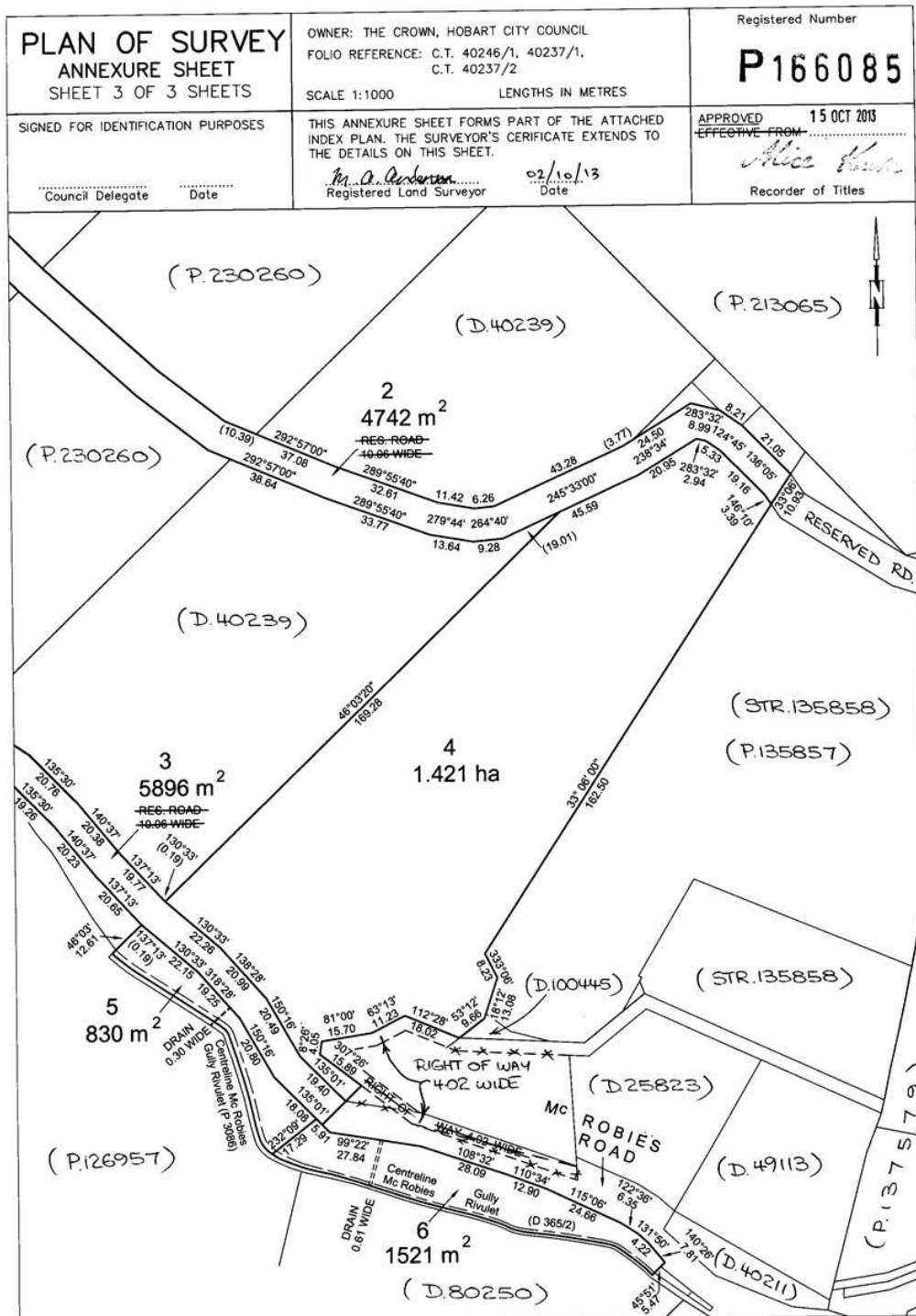




FOLIO PLAN

DEPUTY RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



**RESULT OF SEARCH**

DEPUTY RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

SEARCH OF TORRENS TITLE

VOLUME 166085	FOLIO 5
EDITION 1	DATE OF ISSUE 25-Nov-2013

SEARCH DATE : 13-Mar-2019

SEARCH TIME : 09.34 AM

DESCRIPTION OF LAND

City of HOBART

Lot 5 on Plan 166085

Derivation : Part of Lot 21, 4A-2R-15Ps. Gtd. to Daniel

Ferguson and Part of Lot 20, 5A-2R-0Ps. Gtd. to Malcolm Brown

Prior CT 40237/1

SCHEDULE 1

HOBART CITY COUNCIL

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

46/4841 CONVEYANCE - Burdening Easement: Drainage Right over
the strip of land marked Drain 0.30 metres wide on
Plan 166085UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

**RESULT OF SEARCH**

DEPUTY RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

SEARCH OF TORRENS TITLE

VOLUME 126957	FOLIO 1
EDITION 2	DATE OF ISSUE 24-Jun-2015

SEARCH DATE : 23-Aug-2019

SEARCH TIME : 03.49 PM

DESCRIPTION OF LAND

City of HOBART

Lot 1 on Plan 126957

Derivation : Part of 2660 Acres Gtd to J Allport & Anor and

Part of 2000 Acres Gtd to P Degraes

Prior CT 114735/1

SCHEDULE 1

A454296 HOBART CITY COUNCIL

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

BENEFITING EASEMENT a right of carriageway over the roadway 10.

06 wide marked B.C. on Plan No. 126957

A454297 INSTRUMENT creating covenants

UNREGISTERED DEALINGS AND NOTATIONS

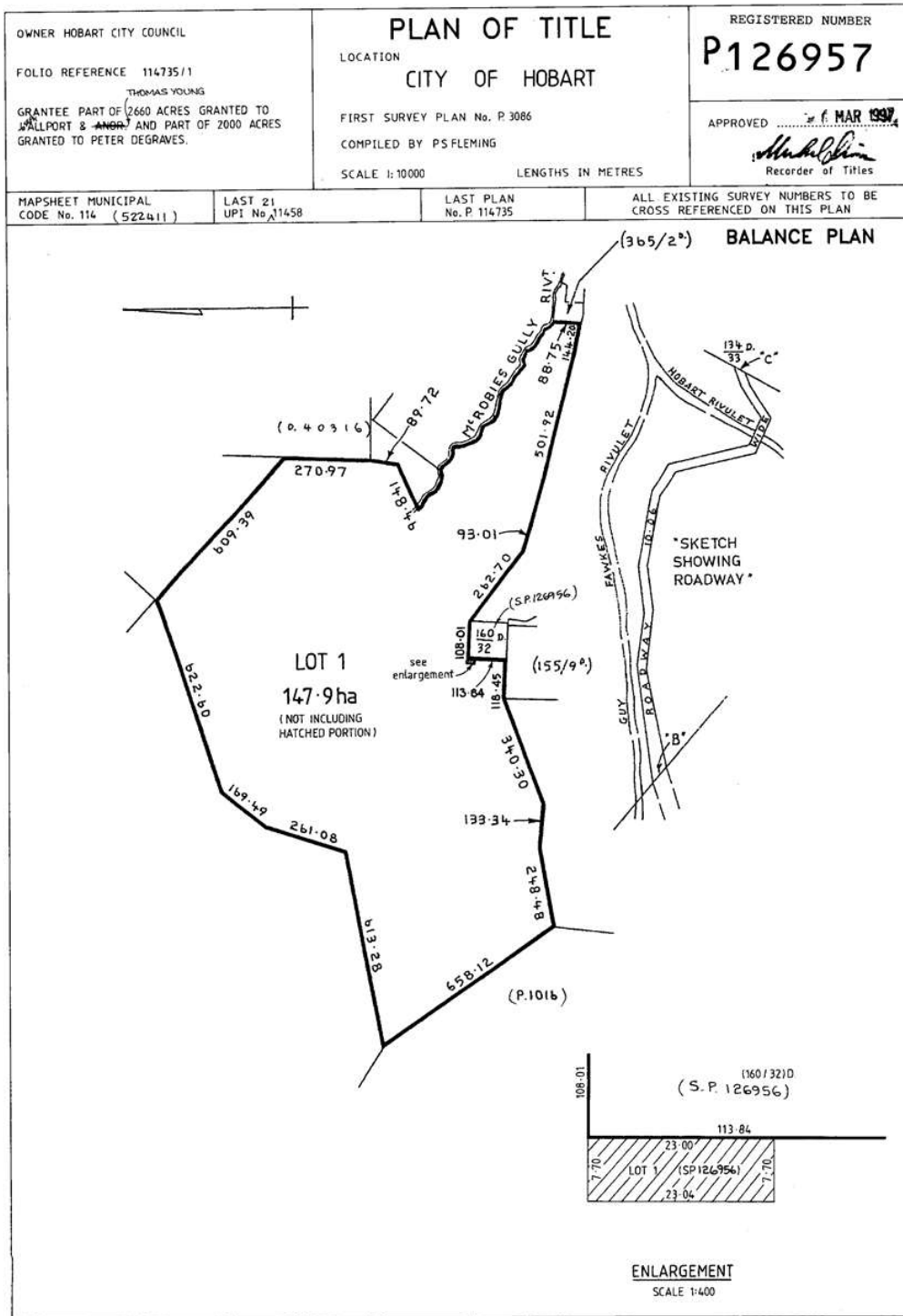
No unregistered dealings or other notations



FOLIO PLAN

DEPUTY RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



Application Referral Environmental Health - Response

From:	Christelle Seymour
Recommendation:	Proposal is acceptable subject to conditions.
Date Completed:	
Address:	30 MCROBIES ROAD (CT 166085/3 & CT 166085/5 & CT 126957/1), SOUTH HOBART
Proposal:	Partial Demolition, New Washdown Facility and Associated Works
Application No:	PLN-19-200
Assessment Officer:	Victoria Maxwell,

Referral Officer comments:

Code Application:

Code (delete that which does not apply)	Applicable (check that the Code applies to the use or development E2.2, E9.2 or E.23.2)	Exempt (check the exemptions E2.4, E9.4 or E23.4)	Permitted (the use or development is permitted if the relevant acceptable solutions are met)	Discretionary (identify the relevant acceptable solution which has not been met and which thus makes the application discretionary)
E2.0 Potentially Contaminated Land	Y	N	N	Y

POTENTIALLY CONTAMINATED LAND CODE

Clause (delete that which does not apply)	Discussion (provide brief commentary on your assessment of the application in relation to the application of the Code)
E2.5 Use Standards	N/A
E2.6 Development Standards E2.6.1 Subdivision	N/A
E2.6 Development Standards E2.6.2 Excavation	Applicable - more than 1 metre squared of land will be disturbed

P1(b)(i) An Environmental Site Assessment (ESA) prepared in accordance with the National Environment Protection Measure (Assessment of Site Contamination) Measure 1999 was completed by Simon Chislett of EM&C Pty Ltd) and submitted to Council on 7 August 2019.

P1(b)(ii) Should offsite disposal of excavated material be necessary, specific remediation and protection measures required to be implemented before excavation

commences are:

- Measures identified within the Tasmanian Soil Disposal Guidelines (Information Bulletin 105: Classification and Management of Contaminated Soil for Disposal (v2, 2018)).

P1(b)(iii) The planned excavation does not adversely impact on human health or the environment. The assessed level of site contamination does not present an unacceptable risk to workers involved in redevelopment of the site, or future users of the site, as a result of proposed excavation of the site.

Application Referral Development Engineering - Response

From:	
Recommendation:	Proposal is acceptable subject to conditions.
Date Completed:	
Address:	30 MCROBIES ROAD (CT 166085/3 & CT 166085/5 & CT 126957/1), SOUTH HOBART
Proposal:	Partial Demolition, New Washdown Facility and Associated Works
Application No:	PLN-19-200
Assessment Officer:	Victoria Maxwell,

Referral Officer comments:

E5.0 Road and railway access code N/A

Clause for Assessment	AS	PC	Comments / Discussion
E5.5.1 Existing road accesses and junctions			N/A
E5.5.2 Existing level crossings			N/A
E5.6.1 development adjacent to roads and railways			N/A
E5.6.2 road and access junctions			N/A
E 5.6.3 new level crossings			N/A
E 5.6.4 sight distance at access and junctions			N/A

E 6.0 Parking and Access Code

Clause for Assessment	AS	PC	Comments / Discussion
Clauses 6.6's are all to do with parking number assessment. These will be assessed by planner based on DE assessment of the following relevant clauses.			
Clause 6.6.1 number of parking spaces			N/A
Clause 6.7.1 number of vehicle accesses			N/A
Clause 6.7.2 design vehicle access			N/A

Clause 6.7.3 vehicle passing		N/A
Clause 6.7.4 on site turning	Y	Truck turning movements have been provided and are acceptable
Clause 6.7.5 layout of parking area		N/A
Clause 6.7.6 surface treatment Only when a new hard stand area is proposed or new development is within a car park area.	Y	Condition for area designated for turning to be sealed (ENG 4)
Clause 6.7.7 Lighting of parking area Planner and health unit to assess		Planner to assess
Clause 6.7.8 Landscaping Planner to assess		Planner to assess
Clause 6.7.9 motor bike parking		NA
Clause 6.7.10 bicycle parking		NA
Clause 6.7.11 bicycle end trip Planner to assess		Planner to assess
Clause 6.7.12 siting of car parking Planner to assess based on DE assessment of Clause 6.7.5 layout of parking area		Planner to assess
Clause 6.7.13 facilities for commercial vehicles		N/A
Clause 6.7.14 access to a road		N/A
Clause 6.7.15 access to Niree Lane		NA

PROTECTION OF COUNCIL INFRASTRUCTURE

Council infrastructure at risk	Why?
Stormwater pipes	YES - Existing 1500 main adjacent to site, CCTV required
Council road network	NO

COMMENTS:**Summary:**

- Application is for a new truck wash at the McRobies tip.
- The access to the site is an existing sealed track.
- It is proposed that trucks using the facility perform a reversing manoeuvre when exiting the shed to turn around.

CONDITIONS:

In a council related engineering context, the proposal can be supported in principal subject to the following conditions and advice:

- The area proposed for the truck turning manoeuvre to be sealed prior to commencement of use.

General Conditions:

1. ENG SW2
2. ENG SW4
3. ENG SW5
4. ENV1
5. ENG 4

ADVICE:

- Dial before you dig
- Fees and charges
- Building Permit
- Plumbing Permit
- Structures Close to Council's Stormwater Main
- New Stormwater Connection

Application Referral Enviro - City Amenity - Response

From:	Balaji Sivakumar - Stormwater asset officer Amended by Cam Cecil (Development Engineer) 18/09/19
Recommendation:	Proposal is acceptable subject to conditions.
Date Completed:	
Address:	30 MCROBIES ROAD (CT 166085/3 & CT 166085/5 & CT 126957/1), SOUTH HOBART
Proposal:	Partial Demolition, New Washdown Facility and Associated Works
Application No:	PLN-19-200
Assessment Officer:	Victoria Maxwell,

Referral Officer comments:

CODE	Applicable	Exempt	Permitted (If acceptable solutions are met)	Discretionary (Identify the relevant performance criteria)
E7.0 Stormwater Management Code	Y	N		
E11.0 Waterway and Coastal Protection Code	N	Y		
E15.0 Inundation Prone Areas Code	N	Y		
Protection of Infrastructure	Y	N		
Subdivision (LG(BMP) / Zone provisions)	N	Y		

Stormwater Management Code

Clause	Discussion
E7.7.1	
A1/P1 – Disposal	A1 MET - Roof to be connected to Council main

A2/P2 – Treatment	N/A (a) New impervious area less than 600m ² (b) No new car parks (c) No subdivision
A3/P3 – Capacity	A3 MET (a) System will be design for 5% AEP storm (b) Receiving system has sufficient capacity for increased run-off
A4/P4 – OFP	N/A

	Discussion
Protection of Council Infrastructure	Construction includes installation of underground power with the trench passing over Councils 1500 main - CCTV required; Stabilised backfill?
Subdivision	N/A
Other	<ul style="list-style-type: none"> A trafficable wash-water containment bund is required across the entrance to the shed to ensure contaminated water stays within the confines of the wash-bay. INCLUDE IN CONDITIONS
	<ul style="list-style-type: none"> Scour protection will be required at the termination point of the asphalt lined swale drain. INCLUDE IN CONDITIONS Stabilised backfill where the power trench crosses Councils 1500 main. INCLUDE IN CONDITIONS

Recommended Conditions: SW1, SW2, SW6

**7.1.4 Significant Trees Amendment - Hobart Interim Planning Scheme
2015 - PSA-19-3 - S39 Consideration of Representations
File Ref: F19/131876; PSA-19-3**

Memorandum of the Development Planner and the Acting Director City Planning of 23 October 2019 and attachments.

Delegation: Council

**REPORT TITLE: SIGNIFICANT TREES AMENDMENT - HOBART
INTERIM PLANNING SCHEME 2015 - PSA-19-3 - S39
CONSIDERATION OF REPRESENTATIONS**

REPORT PROVIDED BY: Development Planner
Acting Director City Planning

1. Report Purpose and Community Benefit

- 1.1. The purpose of this report is to consider the merits of the representations received in relation to the draft PSA-19-3 Amendment to the *Hobart Interim Planning Scheme 2015* (HIPS 2015). It also considers recommendations to the Tasmanian Planning Commission (TPC) regarding the need for any modifications to the amendment as a result of the representations received.
- 1.2. The proposal benefits the community by protecting trees that are considered to be of significant value to the residents and visitors of Hobart.

2. Report Summary

- 2.1. The proposal is to consider 10 representations (9 statutory and 1 non-statutory), made in relation to planning scheme amendment PSA-19-3 – Significant Trees.
- 2.2. The representations are provided in **Attachment B**.
- 2.3. The report also considers internal advice received in relation to a tree in the Council road reservation in Lower Jordan Hill Road.
- 2.4. At its meeting on 5 August 2019, the Council resolved to initiate the PSA-19-3 Amendment to the HIPS 2015 to insert 79 new listings into the Significant Tree List (the Council minutes from this meeting are provided as **Attachment A**).
- 2.5. The certified amendment was placed on exhibition from 5 September to 3 October 2019. All property owners, occupiers and neighbours of trees that were recommended for listing were notified by letter, including immediate neighbours to trees on Council land. Land owners and occupiers of trees not recommended to be listed were also notified, as were all nominators. This report considers the representations received during the exhibition period.
- 2.6. Of the representations:
 - 2.6.1. 2 objected to the Council decision not to list a tree;

- 2.6.2. 2 objected to trees being listed (one of which was submitted by the State Government as a landowner, and one of which was the non-statutory representation, submitted by a neighbour);
- 2.6.3. 2 supported trees being listed;
- 2.6.4. 2 were queries;
- 2.6.5. 1 did not have any specific objections but wished to note exemptions in relation to electricity infrastructure;
- 2.6.6. 1 was to clarify the position of the landowner, as they felt the sentiment of their initial submission (as considered in the Council report of 5 August 2019) was not accurately reflected.
- 2.7. Each representation was considered by the Tree Assessment Panel (the panel), which also made the initial recommendations for which trees should be listed as significant.
- 2.8. The panel proposes the Council recommend to the TPC that the following changes be made to the amendment to the Significant Tree List of the HIPS 2015:
 - 2.8.1. Insertion of listing Ref. No. E8 for 1 *Fraxinus velutina* (velvet ash) at 284-290 Elizabeth Street;
 - 2.8.2. Amendment of the listing Ref. No. S29 to include a third *Eucalyptus globulus* (Tasmanian blue gum) at 894 Sandy Bay Road by updating the address from 892 to 892-894 and changing the number of trees from 2 to 3;
 - 2.8.3. Deletion of listing Ref. No. D22 for 8 *Cupressus torulosa* (Bhutan cypress) at 70 Davey Street;
 - 2.8.4. Deletion of listing Ref. No. L36 for 1 *Eucalyptus morrisbyi* (Morrisby's gum) at Lower Jordan Hill Road (nature strip adjacent no. 60).
- 2.9. It is also proposed to recommend to the TPC that the initiated amendment document include a new Amendment PSA-19-3-5 to update the date of the City of Hobart Significant Tree Register, which is included as a Referenced Document under Appendix 1 of the HIPS 2015.
- 2.10. The recommended updated amendment document is provided as **Attachment D**, showing marked revisions.

3. Recommendation

That:

- 1. Pursuant to Section 39(2) of the former provisions of the Land Use Planning and Approvals Act 1993, the Council endorse this report as the formal statement of its opinion as to the merit of the representations received during the exhibition of the draft PSA-19-3 Amendment.***
- 2. Pursuant to Section 39(2) of the former provisions of the Land Use Planning and Approvals Act 1993, the Council recommend to the Tasmanian Planning Commission that the PSA-19-3 Amendment to the Hobart Interim Planning Scheme 2015 be finally approved, with the following changes:***
 - (a) Insertion of listing Ref. No. E8 for 1 Fraxinus velutina (velvet ash) at 284-290 Elizabeth Street;***
 - (b) Amendment of the listing Ref. No. S29 to include a third Eucalyptus globulus (Tasmanian blue gum) at 894 Sandy Bay Road by updating the address from '892' to '892 and 894' and changing the number of trees from '2' to '3';***
 - (c) Deletion of listing Ref. No. D22 for 8 Cupressus torulosa (Bhutan cypress) at 70 Davey Street;***
 - (d) Deletion of listing Ref. No. L36 for 1 Eucalyptus morrisbyi (Morrisby's gum) at Lower Jordan Hill Road (nature strip adjacent no. 60);***
 - (e) Insertion of a new Amendment PSA-19-3-5 to update Appendix 1 - Referenced and Incorporated Documents of the Hobart Interim Planning Scheme 2015 by omitting the date '14 June 2012' and substituting the date '4 November 2019' in reference to the City of Hobart Significant Tree Register.***

4. Background

- 4.1. At its meeting on 5 August 2019, the Council resolved to initiate the PSA-19-3 Amendment to the HIPS 2015 to insert 79 new listings into the Significant Tree List (Council's decision is provided in Attachment A).***

- 4.2. This resolution was the result of a public engagement process in 2018 whereby members of the public nominated trees to be included in the Significant Tree List. 194 Nominations were received from 53 nominators, totalling 1478 individual trees and 4 hedges.
- 4.3. Following the nomination process, individual owners and occupiers of land containing a nominated tree were notified. 47 submissions were received, with 11 supporting the nomination, 24 opposing, 3 expressing some concern and 9 not expressing either clear support or opposition. A further submission was received from Council's (then) City Infrastructure Division, in its role as public highway authority, expressing concern over trees being listed in the road reservation.
- 4.4. Each of the nominated trees and hedges were assessed by a Tree Assessment Panel (the panel), consisting of Council's Development Planner, Program Leader Arboriculture and Nursery, Cultural Heritage Officer and Urban Design Officer.
- 4.5. The panel made a recommendation on whether or not each tree should be listed as significant, based on whether they were considered to meet any of the 10 categories of significance under the Significant Tree Assessment Criteria.
- 4.6. 84 nominations were recommended for listing by the panel. At its meeting on 5 August 2019, the Council resolved to remove 6 trees from the amendment process as the inclusion of those trees was objected to by landowners.
- 4.7. The certified amendment was placed on exhibition from 5 September to 3 October 2019. All property owners, occupiers and neighbours of trees that were recommended for listing were notified by letter, including immediate neighbours to trees on Council land. Land owners and occupiers of trees not recommended to be listed were also advised, as were all nominators.
- 4.8. 9 representations were received during the statutory advertising period, and one representation was received a day after the statutory period ended. Copies of the representations are provided in **Attachment B**.

5. Proposal and Implementation

- 5.1. The proposal is to consider 10 representations (9 statutory and 1 non-statutory) made in relation to planning scheme amendment PSA-19-3 – Significant Trees.

- 5.2. It is also proposed that the amendment include reference to updating the date of the Significant Tree Register document, which is listed under Appendix 1 of the HIPS as a referenced document. The Significant Tree Register, updated to incorporate the datasheets of all new listings, and including all changes recommended by this report, is provided as **Attachment E**.

Representations

- 5.3. Of the 10 representations (9 statutory and 1 non-statutory):
- 5.3.1. 2 objected to the Council decision not to list a tree, and wished to support the inclusion of the tree in the amendment. Both representations related to the same tree, and were from occupiers of the land;
 - 5.3.2. 2 objected to trees being listed. One of these representations was from the State (Tasmanian Health Service) as landowner, objecting to the listing of trees relating to 2 separate nominations. The other representation was from a neighbouring landowner and was non-statutory as it was received one day outside of the statutory exhibition period;
 - 5.3.3. 2 supported trees being listed. One was from a resident adjacent to council owned street trees and the other was from a neighbour to a privately owned site;
 - 5.3.4. 2 raised queries asking for clarification. One was from a resident adjacent to council owned street trees and the other was from a neighbour to a privately owned site;
 - 5.3.5. 1 did not have any specific objections but wished to note exemptions in relation to electricity infrastructure (received from TasNetworks).
 - 5.3.6. 1 was to clarify the position of the owner, as they felt the sentiment of their initial submission, as reflected in the Council report of 5 August 2019, was not accurately categorised.
- 5.4. Representations are provided in full in **Attachment B**. The datasheets of nominations referred to in the representations are provided as **Attachment C**
- 5.5. A summary of the issues raised in the representations, along with responses from the panel, is detailed as follows:

Summary of Representation	Response
Allison Street median strip – 5 claret ash	
<ul style="list-style-type: none"> • Resident of Allison Street. • Query about the number of trees to be listed. • Request for better quality copies of exhibition documentation to be provided on the website. • Query about what the listing will mean – will Council look after the trees more proactively? One of the trees has grass/plants growing in it. • Have had problems with a tree losing large branches in storms. • Hopefully more attentive care will be given to their upkeep. 	<p>The representor was contacted and advised of the number of trees that were proposed to be listed. The uncertainty was based on the number of trees initially nominated by community members (4) and the number that were recommended by the panel to be listed (5).</p> <p>A higher resolution copy of the report attachments was provided online to improve the read quality.</p> <p>In relation to maintenance of the trees, Council's Program Leader Arboriculture and Nursery provides the following comment:</p> <p><i>'The City of Hobart already undertakes proactive cyclic inspections on street and park trees (including Allison Street). The inspections are undertaken by an experienced and qualified arborist and works are undertaken if the inspection determines that they are required. These proactive inspections resulted in proactive maintenance pruning occurring along the trees within Allison Street in January this year, removal of a tree in decline near the Hill Street end, and replacement planting of a tree as part of this year's Winter planting season. The listing of these trees in the Significant Tree Register recognises their importance to the local community and to the streetscape in general.'</i></p> <p>The panel proposes no change to the recommended amendment in response to this representation.</p>
<ul style="list-style-type: none"> • Resident of Allison Street. • Heartily support the inclusion of the trees on the list. 	<p>The support of this nomination is noted.</p>

<ul style="list-style-type: none"> • Agree with the two people who nominated the trees. They are of great beauty and commented on by visitors, especially in autumn. • They are useful for shade and their fallen leaves are used as mulch in gardens. • Any minor inconvenience is outweighed by their beauty and benefits. • The trees make the street what it is, and were a factor in choosing to live in the street. 	<p>The panel confirms these trees are considered to meet Category 1: Trees of outstanding aesthetic significance and Category 6: Trees that have local significance.</p> <p>The panel proposes no change to the recommended amendment in response to this representation.</p>
2 Amanda Crescent – white gum	
<ul style="list-style-type: none"> • Neighbour to the site. • I do not have a reservation with this tree, it is important to voice my support of this tree. • The tree is beautiful and I am so glad it will be on the Significant Tree List. • My mother would also like to express she is very happy with the tree and supports it being on the register. 	<p>The support of this nomination is noted.</p> <p>The panel confirms this tree is considered to meet Category 1: Trees of outstanding aesthetic significance and Category 2: Trees that have local significance.</p> <p>The panel proposes no change to the recommended amendment in response to this representation</p>
90 Davey Street – 5 English oak and 1 white gum 48 Liverpool Street - peppercorn	
<ul style="list-style-type: none"> • Response from Tasmanian Health Service (THS) as owner of Repat Centre and Royal Hobart Hospital. • 90 Davey Street (repat centre) now forms part of the RHH campus, providing outpatient and inpatient services with 90 hospital beds. • The site is problematic due to aging underground infrastructure, including 50 year old asbestos water mains that fail regularly. 	<p>The panel notes the concerns of the representor with regard to the trees at the Repat Centre (90 Davey Street).</p> <p>Advice provided by Council's Program Leader Arboriculture and Nursery indicates that total tree failure is not a common occurrence, and no signs of rootplate instability were noted during the inspection of the subject trees.</p>

<ul style="list-style-type: none"> • In September, the water mains ruptured due to roots intertwined around the pipe moving in heavy winds. This was a major disruption to patients, resulting in the loss of water for most of the day. A large tree (not one that was recommended for listing) had to be removed to allow for repairs. • Several of the trees recommended for listing are in similar proximity to the water main and it is anticipated the same issue is likely to reoccur. • Hospitals cannot function without water and any disruption may impact severely on inpatient health and treatment outcomes. • The trees surrounding the repat are important to the hospital for the patients and the preference is to not remove any unless absolutely necessary. However, it is probable this may be required at very short notice if the water main is disrupted again. • It is the preference of the THS that none of the identified trees on the Repat Centre site are listed. • The peppercorn tree on the RHH site (Campbell Street frontage) doesn't appear to be an issue now. However, the RHH Master Plan proposes the adjacent buildings are to be demolished and redeveloped. The tree will clearly be inside of the demolition and construction zones in the future. 	<p>It is noted that emergency works to significant trees by a public authority may be exempt from requiring a permit where the tree poses an immediate danger to persons or property.</p> <p>In relation to the peppercorn at the Royal Hobart Hospital site, the panel considers that given the peppercorn is already confined to a small wedge of land surrounded by buildings, redevelopment whilst still retaining this tree should be viable. Council's Program Leader Arboriculture and Nursery notes that the tree's root area is expected to be largely contained within the raised bed within which it is currently growing.</p> <p>It is noted that this representation presents a landowner that opposes listings on their land. Council's previous resolution of 5 August 2019 removed any listing that was subject to opposition by the landowner.</p> <p>The panel, however, still considers these trees to meet the assessment criteria for listing. Trees at both sites were considered to meet Category 6: Trees that have local significance, and trees at the Repat site were additionally considered to meet Category 1: Trees of outstanding aesthetic significance and Category 5: Trees that are recognised as a significant component of a natural landscape, historic town, park or garden.</p> <p>The panel proposes no change to the recommended amendment in response to this representation</p>

284-290 Elizabeth Street – velvet ash

- Hobart Baptist Church – owner of the site.
- Clarifies that the submission from December was not intended to directly oppose the listing of the tree.
- The concern that was expressed then, and which is still held, is that the tree will continue to be maintained by Council. Requests confirmation that this will be the case.
- The church is well aware of the significance of the tree and has taken all due care to ensure the tree's health during current building works on site (as required in the building approval).
- Whilst the nomination is not opposed, the church sees no need to make any changes to the decision made by Council to not include the tree on the register.

This tree is one of the 6 that were noted in the Council report of 5 August 2019 as being 'opposed' by the owner. Council subsequently resolved to delete this tree from the amendment process on this basis, along with the other 5 trees listed as having landowner opposition.

Prior to the start of the exhibition period, but after Council made its decision, the Church wrote to clarify that it was not their intent to directly oppose the listing of the tree, but only to raise some concerns relating to its maintenance.

After receipt of this correspondence, all adjoining landowners to the site were notified by mail and invited to make comments relating to this tree during the exhibition period, to provide equal opportunity for comment if Council were to determine the tree should progress through the amendment. No adjoining landowners submitted a representation.

The owner of the site concludes, in this current representation, that *'whilst we did not oppose the nomination, we see no need to make any changes to the decision made by Council; to not include the Velvet Ash in question on the Significant Tree Register'*.

In the panel's opinion, the tree was originally recommended for listing under significance **Category 6**: trees that have local significance, and it is still considered that this tree meets this category. The panel recommends that listing of the tree be pursued.

	<p>Council's Program Leader Arboriculture and Nursery has advised that the future of Council's maintenance of this privately owned tree is unresolved at this point. The owner will be contacted directly regarding this matter.</p> <p>The panel proposes the tree be recommended to be listed.</p>
6 Quorn Street – cypress hedge	
<ul style="list-style-type: none"> Query about which tree is proposed to be listed. 	<p>This representor owns property adjacent to 6 Quorn Avenue. The representor was advised of the location of the relevant nomination and provided with the datasheet, and responded 'it's a nice hedge' without further comment.</p> <p>The panel proposes no change to the recommended amendment in response to this representation.</p>
892-894 Sandy Bay Road – blue gum	
<ul style="list-style-type: none"> As a resident of 894 Sandy Bay Road for the last 5 years, I can vouch for the trees' significance and believe they should all be included in the register. It is rare to see trees as big within the suburbs. Their aspect right on the water means they are no danger to powerlines or buildings, and if they were to fall it would only be onto a rocky beach without any infrastructure. They are significant for not only their size but also because they provide habitat for endangered wildlife including white goshawks, white bellied sea eagles and masked owls. 	<p>The tree at 894 Sandy Bay Road was one of the 6 trees opposed by landowners that were removed from the amendment process by the Council resolution of 5 August 2019.</p> <p>This tree was nominated as one of 3 trees on 892 and 894 Sandy Bay Road. All 3 trees were originally considered by the panel to meet the significance criteria under Category 5: Trees that are recognised as a significant component of a natural landscape, historic site, town, park or garden and Category 6: trees that have local significance.</p> <p>In the opinion of the panel, while noting the landowner has not submitted a further representation and therefore still likely opposes the listing, all 3 trees still meet the assessment criteria for listing.</p>

<ul style="list-style-type: none"> Given Council has declared a climate emergency, surely they would seek to preserve large trees within their jurisdiction that act as carbon sinks. 	<p>The panel proposes the tree be recommended to be listed.</p>
<ul style="list-style-type: none"> I take issue with the decision not to include trees at 892/894 Sandy Bay Road on the Significant Tree Register. Over 9 years as a tenant of the property I have seen no less than 5 endangered species in the trees – swift parrots, 40-spotted pardalotes, sea eagles, grey goshawks and masked owls. As they are <i>E. globulus</i> (state emblem trees) directly on the water, they make a significant contribution to the natural beauty and aesthetics of the area. I strongly object to the decision not to list the trees and sincerely hope Council will reconsider this decision in order to protect the ecological/habitat role they serve for many endangered bird species and their contribution to the natural beauty of the coast. 	<p>As above.</p>
<p>General</p>	
<ul style="list-style-type: none"> Response from TasNetworks. No specific objection to the draft amendment. Highlights exemptions under the Electricity Supply Industry Act 1995 relating to work on the construction, installation, modification, maintenance, demolition or replacement of electricity infrastructure, and under the Electricity Supply Industry Regulations 2018 relating to work of minor environmental impact, such as clearing and lopping of vegetation to protect electricity infrastructure and public safety. 	<p>It is noted that there are exemptions that allow for works in relation to electricity infrastructure that could impact significant trees.</p> <p>The panel proposes no change to the recommended amendment in response to this representation</p>

70 Davey Street – Bhutan cypress

(non-statutory representation)

- Object to the inclusion of the trees planted on the boundary between 70 and 72 Davey Street.
- Note there are 7 trees, not 8 as stated. There are a number of stumps between them from trees already cut down since the original planting.
- On viewing regulations for permitted trees in urban areas in other parts of Australia, it appears likely the 8th tree and possibly others were removed at the request of Council as an unsuitable tree (refers to ACT guidelines that trees not be planted within 2m + the mature canopy radius of a footpath).
- The trees are less than 20 years old, planted by the current owners who intended them to be part of the garden, although this has remained a carpark of 20 years.
- The only thing significant about the trees is their size. They are native to Bhutan and nothing to do with Australia.
- The expected height of the trees is 45m in their natural habitat which is not appropriate for city blocks as they can grow to 3 times the allowable building height.
- The trees are classified as growing up to a lower estimate of 18m in Australia, which is still higher than the allowable building height.
- In urban areas, the species is restricted in most states due to their size and damaging root systems.

This representation is considered to be non-statutory as it was received a day after the closing date for submissions. Despite this, these trees were reviewed by the panel.

In the Council report of 5 August 2019, the panel considered these trees to meet **Category 6**: trees that have local significance, for the following reason:

‘The trees have a notable presence in the streetscape, which is a high-traffic road through Hobart’.

Since they were last assessed, the trees have been pruned significantly on the south-western side along the fenceline with the neighbouring property. This has significantly affected their streetscape presence.

The panel therefore considers that the trees no longer meet the threshold for significance under category 6.

The panel recommends that these trees are deleted from the amendment.

<ul style="list-style-type: none"> • They are a particular fire hazard due to accumulation of dead leaves, branches and pinecones, there has been one fire already that destroyed the fence. Their proximity to adjacent buildings is a hazard. • They significantly overshadow 155 Hampden Road and 72 Davey Street, resulting in loss of light and heat. • They block views from adjacent buildings. • The roots are entering the sewerage system. It is not recommended to plant this species within 6m of pipes and they are within 1-2m. The pipes have had to be cleared on several occasions. • The species is not recommended for paved areas or road verges due to root damage. They are causing damage to adjacent masonry walls. • The species should be planted at least 10m away from buildings, and they are within 2.5m from the adjacent 3 storey building. • The trees shed and affect the building and surrounds with leaves and pinecones. The sap affects car paint and clothes on nearby washing lines. • I request these trees not be listed as significant, that they be removed, and some more appropriate trees be planted in their place. 	
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5.6. The Tree Assessment Panel recommendations for the listings subject to a representation can be summarised as follows:

5.6.1. **Allison Street median strip – 5 claret ash** – that the trees remain recommended for listing.

- 5.6.2. **2 Amanda Crescent – 1 white gum** – that the tree remains recommended for listing.
- 5.6.3. **90 Davey Street – 5 English oak and 1 white gum** – that the trees remain recommended for listing (noting that the landowner now opposes the listing).
- 5.6.4. **48 Liverpool Street – peppercorn** – that the tree remains recommended for listing (noting that the landowner now opposes the listing).
- 5.6.5. **284-290 Elizabeth Street – velvet ash** – that the tree be recommended for listing, given the owner of the site did not intend for their original submission to be classified as ‘opposed’, and this classification was the basis of the Council decision to delete the tree from the amendment process.
- 5.6.6. **6 Quorn Street – cypress hedge** – that the hedge remains recommended for listing.
- 5.6.7. **894 Sandy Bay Road – blue gum** – that the tree be recommended for listing, given the support of two land occupiers (noting the property owner opposed the listing and it was previously deleted from the amendment process on this basis).
- 5.6.8. **70 Davey Street – Bhutan cypress** – that the trees be recommended to be deleted from the amendment, given recent heavy pruning has negatively affected their streetscape significance.
- 5.7. In addition to the representations received, some internal advice was received from the Council’s Roads and Environmental Engineering unit relating to a Morrisby’s gum on Lower Jordan Hill Road.
- 5.8. In the Council report of 5 August 2019, the panel recommended this tree for listing under **Category 7:** trees of a species or variety that is rare or of very localised distribution and **Category 8:** trees that are of horticultural or genetic value, as this tree is listed as an endangered species under the *Threatened Species Protection Act 1995* and the *Environment Protection and Biodiversity Conservation Act 1999*.
- 5.9. Advice received, however, indicates that the embankment where the tree is located is unstable, resulting in significant subsidence of the road pavement, including the kerb and gutter. The intended solution to this issue is to replace the existing embankment with a retaining wall, which would require removal of the tree. Options to retain the tree were considered, however it was determined that this was unfeasible without compromising the road’s integrity and removing vehicle parking.

- 5.10. In the opinion of the panel, the tree clearly meets the assessment criteria for listing as there is a specific category relating to rare trees. Despite this, however, it is apparent that the retention of the tree is likely untenable given the structural requirements in relation to the stability of the road.
- 5.11. It is noted that regardless of whether the tree is listed in the Significant Tree Code, Council will be required to seek approval from the State Government for removal of the tree given its status as an endangered species. This is perhaps the most appropriate approval process for determining whether the removal of this individual tree is detrimental to the endangered species as a whole.
- 5.12. Given the above, it is recommended that Council support deletion of the Morrisby's Gum on Lower Jordan Hill Road from the amendment process.

Significant Tree Register

- 5.13. The Significant Tree Register is a document that contains datasheets of information for all listed trees, including photographs, location maps and reasons for significance. This document sits outside of the HIPS 2015, although is noted in Appendix 1 of the scheme as a Referenced Document.
- 5.14. As this document is formally referenced within the scheme, the date of the relevant version is required to be updated. The relevant version will include all newly inserted trees, and be dated to reflect the Council's decision following this report.
- 5.15. An updated amendment document, showing marked revisions as recommended in this report, is provided in **Attachment D**. The updated Significant Tree Register, taking into account the recommendations of this report, is provided in **Attachment E**.

6. Strategic Planning and Policy Considerations

- 6.1. The proposed amendment is consistent with the Capital City Strategic plan 2019-29, in particular with the following outcomes:
 - 6.1.1. Hobart keeps a strong sense of identity, even as the city changes.
 - 6.1.2. Hobart's cityscape reflects the heritage, cultural and natural environment that make it special.

6.1.3. In City decision-making, we consider how different aspects of Hobart life connect and contribute to sense of place.

6.1.4. The natural environment is part of the city and biodiversity is preserved, secure and flourishing.

6.2. The amendment supports the community aspirations for the future of Hobart as articulated in: *Hobart: A community vision for our island capital*, particularly in relation to the statements in Pillar 1. Sense of Place and Pillar 7. Built Environment.

7. Financial Implications

7.1. Funding Source and Impact on Current Year Operating Result

7.1.1. None.

7.2. Impact on Future Years' Financial Result

7.2.1. None.

7.3. Asset Related Implications

7.3.1. None.

8. Legal, Risk and Legislative Considerations

8.1. The *Land Use Planning and Approvals Act 1993* (LUPAA) requires that planning scheme amendments must seek to further the objectives of Schedule 1 of the Act and be prepared in accordance with State Policies.

8.2. The objectives of the Act require use and development to occur in a fair, orderly and sustainable manner and for the planning process to facilitate economic development in accordance with the other Schedule 1 objectives.

8.3. It is considered that the proposed amendment meet the objectives of LUPAA, in particular it:

8.3.1. Assists sound strategic planning by supporting the achievement of the relevant Code Purpose, and not prejudicing any STRLUS objectives;

8.3.2. Is consistent with the objective to establish a system of planning instruments to be the principal way of setting objectives, policies and controls for the use, development and protection of land;

- 8.3.3. Considers effects on the environment by seeking to protect trees;
- 8.3.4. Secures a pleasant, efficient and safe working, living and recreational environment by safeguarding trees that are of value to the community;
- 8.3.5. Conserves places that are of aesthetic or historical interest
- 8.4. No State Policies are directly relevant to the proposed amendments.
- 8.5. S32(e) of the *former provisions* of LUPAA requires that planning scheme amendments must avoid the potential for land use conflicts in adjacent planning scheme areas. This amendment is not related to a change in the way land is used, but only the protection of valued trees within the Hobart municipal area. It is not expected that the amendment will create any opportunity for conflict between scheme areas.
- 8.6. S32(f) of the *former provisions* of LUPAA requires that planning scheme amendments must have regard to the impact that the use and development permissible under the amendment will have on the use and development of the region as an entity in environmental, economic and social terms. The proposed amendments aim to protect the amenity provided by trees that are valued by the community, and therefore they are considered to have a positive environmental and social impact. The amendments are also likely to support a positive economic impact as they protect values that make the region an attractive place to live, invest and visit.
- 8.7. Section 30O of LUPAA requires that an amendment to an interim planning scheme is as far as practicable consistent with the regional land use strategy. It is considered that the amendments are consistent with the strategy in that they value and protect special features in the landscape, which correlates in particular with Strategic Directions *SD6: Increasing Responsiveness to our Natural Environment*, *SD8: Supporting Strong and Healthy Communities* and *SD9: Making the Region Nationally and Internationally Competitive*.

9. Environmental Considerations

- 9.1. The proposal to protect additional trees has a positive environmental impact in terms of retaining habitat, providing shade in the city and contributing to carbon sequestration.

10. Social and Customer Considerations

- 10.1. The proposal is not considered to have any negative impact on social inclusion.

11. Marketing and Media

11.1. There are no marketing or branding implications of this amendment.

12. Community and Stakeholder Engagement

12.1. The community has been consulted relating to this amendment. The Tasmanian Planning Commission may also conduct a public hearing into the representations prior to making a final decision.

13. Delegation

13.1. This matter is delegated to the Council.

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.








Sarah Crawford
DEVELOPMENT PLANNER



James McIlhenny
ACTING DIRECTOR CITY PLANNING

Date: 23 October 2019
File Reference: F19/131876; PSA-19-3

Attachment A: Council Minutes from 5 August 2019 ↓ 
Attachment B: Representations ↓ 
Attachment C: Datasheets of Trees Subject to a Representation ↓ 
Attachment D: Amendment Document Showing Marked Changes ↓ 
Attachment E: Significant Tree Register ↓ 

10. Significant Trees Amendment - Hobart Interim Planning Scheme 2015 - PSA-19-3**File Ref: F19/70239; PSA-19-3**Ref: Open [CPC 8.1](#), 29/07/2019

That: 1. Pursuant to Section 34(1) (b) of the former provisions of the *Land Use Planning and Approvals Act 1993*, the Council resolve to initiate amendments to E24.0 Significant Trees Code of the *Hobart Interim Planning Scheme 2015* (as indicated in Attachment A to item 8.1 of the Open City Planning Committee agenda of 29 July 2019) excluding the following nominations:

- (i) Ref 59 / 290 Elizabeth Street (Velvet Ash);
 - (ii) Ref 60 / 454 Elizabeth Street (English Oak);
 - (iii) Ref 114 / 262 Macquarie Street (Bunya-Bunya and Norfolk Island Pines);
 - (iv) Ref 124 / 3c Montagu Street and 31 Toorak Avenue (Blue Gums);
 - (v) Ref 161 / 894 Sandy Bay Road (one Blue Gum – two Blue Gums on 892 Sandy Bay Road are to remain recommended for listing under Ref 161); and
 - (vi) Ref 170 / 66 Summerhill Road (White Gum))
- to:
- (a) Insert 79 new listings (741 trees and 3 hedges) into Table E24.1 Significant Tree List;
 - (b) Insert two new definitions for 'suitably qualified person (arboriculture)' and 'natural causes' under E24.3 Definition of Terms; and
 - (c) Insert a new Acceptable Solution A1 under E24.6 Development Standards to allow for a permitted pathway for the removal of significant trees that have died due to natural causes.

2. Pursuant to Section 35 of the former provisions of the *Land Use Planning and Approvals Act 1993*, the Council certify that the amendment to the Hobart Interim Planning Scheme PSA-19-3 meets the requirements of Section 32 of the former provisions of the *Land Use Planning and Approvals Act 1993* and authorise the General Manager and Deputy General Manager to sign the Instrument of Certification (marked as Attachment B to item 8.1 of the Open City Planning Committee agenda of 29 July 2019).

3. Pursuant to Section 38 of the former provisions of the *Land Use*

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Council Meeting
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Planning and Approvals Act 1993, the Council place amendment PSA-19-3 to the *Hobart Interim Planning Scheme 2015* on exhibition for a 28 day period.

4. In respect of 6 recommended listings that are under the Sullivans Cove Planning Scheme area, these listings be inserted into the Significant Trees list of the Hobart Local Provisions Schedule (marked as Attachment C to item 8.1 of the Open City Planning Committee agenda of 29 July 2019).

BURNET
SHERLOCK

That the recommendation be adopted.

AMENDMENT

HARVEY
EWIN

That the word 'excluding', appearing in the sixth line of clause 1 of the recommendation, be deleted and replaced with the word 'including'.

MOTION LOST

VOTING RECORD

AYES	NOES
Lord Mayor Reynolds	Zucco
Deputy Lord Mayor Burnet	Briscoe
Harvey	Sexton
Dutta	Thomas
Ewin	Denison
Sherlock	Behrakis

MOTION CARRIED

VOTING RECORD

AYES	NOES
Lord Mayor Reynolds	
Deputy Lord Mayor Burnet	
Zucco	
Briscoe	
Sexton	
Thomas	
Denison	
Harvey	
Behrakis	
Dutta	
Ewin	
Sherlock	

Item 9.4 was then taken.

From: [REDACTED]
To: [Records Unit](#)
Subject: Draft Amendment PSA 19 3 Significant Trees
Date: Saturday, 7 September 2019 12:07:01 PM

Hi Sarah,

Query in relation to the draft amendment PSA 19 3 Significant Trees

I live at the 20 Allison Street.

The Amendment Document and Instrument of Agreement lists 5 trees to be added to the Significant Trees Register in Allison Street. The Attachment to Report PDF is poor resolution. It appears to list 4 trees for Allison Street.

Please can you confirm how many are actually going to be put on the Significant Tree register? Please can you also upload a new version of the Attachment to the Report PDF and extend the consultation period accordingly. Thanks.

Also can you confirm what this all actually means? Does it mean Hobart City Council will actually look after the trees more proactively? The large tree outside our house has grass/plants growing in it at about 3m above ground level. If the trees are important than hopefully HCC will look after them.

We have had a lot of problems with the tree in question losing large branches in storms etc. hopefully more attentive care will now be given to their upkeep.

Thanks

[REDACTED]



West Hobart 7000

General Manager

City of Hobart

GPO Box 503, Hobart 7001



Dear Sir,

Your ref: PSA-19-3 – Significant Trees

We are writing to express our support for the inclusion of the 5 claret ash trees in Allison St on the Significant Tree List.

We entirely agree with the two people who nominated these trees for inclusion. They are trees of great beauty, often commented on by our visitors, especially in autumn when their colours are spectacular. They are also useful: like our neighbours, we enjoy the shade they provide in summer and use their fallen leaves as mulch on our garden. Any minor inconvenience they may cause is far outweighed by their beauty and the benefits they bring.

These trees make our street what it is. Indeed, when we bought our house in the street over thirty years ago, the presence of these lovely trees was a significant factor in our choice.

We therefore heartily support the inclusion of these trees on the list.

Yours truly



23/9/19

From: [REDACTED]
To: [Records Unit](#)
Subject: Hobart Interim Planning Scheme 2015: PSA-19-3 Amendment – Significant Trees
Date: Saturday, 7 September 2019 3:30:18 PM

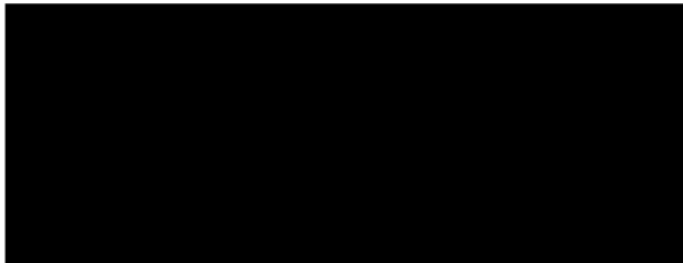
Thank you for the letter regarding the tree at 2 Amanda Crescent Sandy Bay. I live at 16 Nicholas Drive Sandy Bay, so next to the house in question.

I do not have a reservation with this tree but I think it is important to voice my support of this tree. This tree is a beautiful and I am so glad it will be on the Significant Tree List of the Hobart Interim Planning Scheme 2015.

My Mother [REDACTED] would also like me to express she is very happy with this tree & supports the tree being on the register

Regards

[REDACTED]



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CORPORATE & SUPPORT SERVICES
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Ph: 1300 135 513
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TASMANIAN
HEALTH
SERVICE

Contact: Peter Carmichael
Phone: (03) 6166 8132
Email: peter.carmichael@ths.tas.gov.au

Mr James McIlhenny
Manager Planning Policy and Heritage
GPO Box 503
Hobart 7001 TAS



Dear James

Subject: Draft amendment PSA-19-3- Hobart Interim Planning Scheme 2015 – Significant Trees

I write in response to the proposal to nominate 7 trees located on Tasmanian Health Service (THS) properties, which are to be placed onto the Significant Trees Register.

- 90 Davey Street (Repat Centre - Hospital) – 1 White Gum and 5 English Oakes Trees.
- 22 Campbell Street (Royal Hobart Hospital) - 1 Peppercorn Tree.

The 90 Davey Street site which is referred to as the Repat Centre was formally the Repatriation General Hospital operated by the Commonwealth Department of Veterans Affairs. This site was handed over to the State Government several years ago and now forms part of the THS Royal Hobart Hospital (RHH) Campus. It provides a wide range of outpatient and inpatient services and currently operates 90 hospital beds.

This site is problematic from a facilities management perspective due to the aging infrastructure; more specifically the below ground water mains which are made from asbestos cement and are now 50 years old and failing regularly.

On 11 September 2019, the mains water supply ruptured as a direct result of heavy winds causing the movement of trees and roots which were intertwined around the water mains pipe line. This was a major disruption to inpatients at the Repat Centre causing them to be without a water supply for most of the day while repairs were undertaken. To enable the urgent repairs to be carried out, a large tree was required to be removed (*refer to attached photos*). This tree was not part of the nominated trees for the Significant Tree Register.

Several of the trees which have been nominated are in a similar proximity to the water main pipe line and it is anticipated that this same issue is likely to reoccur (*refer to attached photos*).

As you can appreciate, hospitals cannot function without a water supply and any disruption may impact severely on inpatient health and treatment outcomes.

The trees surrounding the Repat Centre are important to the hospital as they provide a green and shaded environment for patients to sit and enjoy fresh air outside of the wards. It would be our preference not to remove any tree unless absolutely necessary. However, it is probable that this may be required at very short notice should the water main be disrupted again in the future.

On this basis, it is the preference of the THS that none of the trees identified on the Repat Centre site are listed onto the Significant Tree Register.

The Peppercorn Tree directly outside of 22 Campbell Street doesn't appear to be an issue now. However, the RHH Master Plan for the next stages of the redevelopment of the RHH site, propose that the E Block and Adjacent F Block buildings are to be demolished to make way for replacement buildings. The Peppercorn Tree will be clearly inside of the demolition and construction zones in the future (*refer to attached photos*).

We would be happy to discuss this further with you if you believe a different strategy for managing the trees could be developed.

Your sincerely



Jon Hughson
Director
Corporate and Support Services
Tasmanian Health Service

27 September 2019

Enc. 8 Site Photos



Mains water pipe repairs and tree removal site – 11 September 2019.
This tree is identified for the Significant Tree Register



This tree is identified for the Significant Tree Register. The water main runs across the top towards the brick building.



This tree is identified for the Significant Tree Register. The water main runs between the wall and tree.



This tree is identified for the Significant Tree Register. It is probably not impacting on any water mains.



This tree is identified for the Significant Tree Register. Note the proximity to important back flow prevention valves and water supply to the site.



-  Trees identified for placement onto Significant Tree Register
-  Water main



Peppercorn Tree identified for
Significant Tree Register. Note the
proximity to the E Block Building.



E & F Block Buildings to be demolished to make way for new building in the next stage of the RHH Masterplan.



General Manager,
City of Hobart,
GPO Box 503,
Hobart 7001

28 September 2019

Dear Sir,

**RE: Draft Amendment PSA-19-3 – Hobart Interim Planning Scheme 2015 –
Significant Trees**

I acknowledge receipt of 2 letters, both dated 4 September 2019, regarding the nomination of the Velvet Ash on our church property at 284-290 Elizabeth Street, North Hobart, Tasmania, 7000, and the decision by Council not to include said tree on the Significant Tree Register.

I am pleased that the second of the above letters acknowledged receipt of my letter to Sarah Crawford, dated 23 August, clarifying the fact that our first submission dated 14 December 2018 did not directly oppose the listing of the Velvet Ash on our property. Our concern which was expressed then, and which is still held, is that the tree will continue to be maintained Hobart City Council. Would you please confirm that Hobart City Council will continue to look after the tree?

As stated previously, the church is well aware of the significance of the tree and has taken all due care to ensure the tree's health during the current building works on site, as required in the building approval. Whilst we did not oppose the nomination, we see no need to make any changes to the decision made by Council; to not include the Velvet Ash in question on the Significant Tree Register.

Best wishes

Heather Galloway
Secretary Hobart Baptist Church



From: [REDACTED]
To: [Records Unit](#)
Subject: significant tree at 2 David Ave
Date: Thursday, 19 September 2019 12:51:35 AM

Dear Ms Crawford/Hobart City Council,

I received mail today about ...scheme 2015...significant trees.

I am not sure which tree is significant at my place. I know I have (or had, if tenants have not done anything to it) a nice camellia but not very big. I can't think of any others and it is behind the house. There is a tree on the nature strip which I/we did not plant. I can't think of any others. I have looked at the document and searched with the address 2 David Ave Sandy Bay but nothing came up. It has over 300 pages and I would prefer if it was pointed out to me which tree is in question rather than scroll thru the 300+ pages.

I like the camellia but if people wanted to expand the house then they might want to get rid of it. I want to know my choices if something has to be done by 3 October.

I am a tree lover and normally fighting for trees' future against neighbours (in other locations) but still unsure at my place there which significant tree I have!

Could you pls advise then I can perhaps comment.

Thank you.

[REDACTED]

[REDACTED]

From: [REDACTED]
To: [Records Unit](#)
Cc: [Sarah Crawford](#)
Subject: Re: Nominations for the Significant Tree List (ATTENTION: General Manager)
Date: Thursday, 3 October 2019 8:33:10 AM
Attachments: [image001.png](#)

To whom it may concern,

I'm writing to you regarding two trees at 892/894 Sandy Bay Rd. As a resident at 894 Sandy Bay Rd for the last five years, I can vouch for their significance and believe should be included in the significant trees register.

It is rare to see trees as big as these two eucalypts within the inner suburbs of Hobart. Their aspect right on the water means they are no danger to any powerlines or buildings, if they are going to fall, they are going to fall onto a rocky beach without any infrastructure. They are significant not only because of their size, but because they provide habitat for endangered wildlife. These trees give home to rich birdlife, including white goshawks, white bellied sea eagles and at least one masked owl.

Furthermore, given that Hobart City Council has declared a climate emergency, surely they would seek to preserve large trees within their jurisdiction that act as carbon sinks?

Kind Regards,

[REDACTED]
Resident, 894 Sandy Bay Rd.

On Wed, Oct 2, 2019 at 9:09 PM [REDACTED] wrote:

Dear Madam/Sir,

I write to take issue with the decision not to include trees at 892/894 Sandy Bay Rd on the Significant Tree Register (STR).

In the 9 years I have lived at this property as a tenant I have first-hand seen these trees used by no less than 5 endangered species - Swift Parrots, 40-spotted Pardalotes, Sea Eagles, Grey Goshawks and Masked Owls.

Additionally, the fact that these are the last E.Globulus (State emblem trees) directly ON the water in this immediate section of coast means that they make a significant contribution to the natural beauty and overall aesthetic of this area.

I STRONGLY object to the proposal to NOT list these trees on the SRT; That is I sincerely hope that the Council will reconsider this decision and add these trees to the SRT in order to protect the ecological/habitat role they serve for many endangered bird species in this area as well as for their contribution to the natural beauty of this section of coast.

Your Sincerely,

[REDACTED]
Resident, 894 Sandy Bay Rd, Sandy Bay 7005
[REDACTED]

On Thu, 27 Jun 2019 at 09:19, [REDACTED] wrote:

Thanks for your email Sarah,
look forward to hearing further updates
Regards
[REDACTED]

On Thu, 27 Jun 2019 at 08:19, Sarah Crawford <crawfords@hobartcity.com.au> wrote:

Hi [REDACTED]

Thank you for your email. We are very close to finalising the process – I appreciate it has taken a long time, so thank you for your patience.

We will be sending out letters to nominators and any landowners that made a submission soon to formally advise of decisions made, and to advise which Council meeting the report will be considered at.

I can advise you, however, that the noted trees at 892-894 Sandy Bay Road are considered by the panel to meet some of the assessment criteria, so they will be recommended for listing as significant trees. Council may or may not agree with this recommendation (they have the ability to overturn any recommendation made by the panel). When the planning scheme amendment is submitted to the Tasmanian Planning Commission, there will be a further advertising period and opportunity for any representor to be involved in a hearing process. The Commission will then make the final determination.

If you have any questions, please don't hesitate to contact me.

Regards

Sarah

Sarah Crawford
Development Planner | Planning Policy and Heritage



City of HOBART

16 Elizabeth Street, Hobart, Tasmania, Australia, 7000 | hobartcity.com.au
Telephone (03) 6238 2157

Please note I work Mondays, Tuesdays and Fridays

From: [REDACTED]
Sent: Wednesday, 26 June 2019 1:57 PM
To: Records Unit <RecordsUnit@hobartcity.com.au>
Subject: Significant trees register decision? (ATTN: Sarah Crawford)

Hello there,

I'm inquiring to find out the outcome of process Ref # S50-006-03/04

Regarding adding large foreshore eucalypt trees @ 892-4 Sandy Bay Rd to the Hobart Significant trees register.

Could you please advise of any developments/decisions on this matter?

Thank you

Regards,

[REDACTED]

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[REDACTED]

From: [REDACTED]
To: [Records Unit](#)
Cc: [Sarah Crawford](#); [REDACTED]
Subject: Re: Nominations for the Significant Tree List (ATTENTION: General Manager)
Date: Wednesday, 2 October 2019 9:09:10 PM
Attachments: [image001.png](#)

Dear Madam/Sir,

I write to take issue with the decision not to include trees at 892/894 Sandy Bay Rd on the Significant Tree Register (STR).

In the 9 years I have lived at this property as a tenant I have first-hand seen these trees used by no less than 5 endangered species - Swift Parrots, 40-spotted Pardalotes, Sea Eagles, Grey Goshawks and Masked Owls.

Additionally, the fact that these are the last E.Globulus (State emblem trees) directly ON the water in this immediate section of coast means that they make a significant contribution to the natural beauty and overall aesthetic of this area.

I STRONGLY object to the proposal to NOT list these trees on the SRT; That is I sincerely hope that the Council will reconsider this decision and add these trees to the SRT in order to protect the ecological/habitat role they serve for many endangered bird species in this area as well as for their contribution to the natural beauty of this section of coast.

Your Sincerely,

[REDACTED]
Resident, 894 Sandy Bay Rd, Sandy Bay 7005
[REDACTED]

On Thu, 27 Jun 2019 at 09:19, [REDACTED]

Thanks for your email Sarah,
look forward to hearing further updates
Regards
[REDACTED]

On Thu, 27 Jun 2019 at 08:19, Sarah Crawford <crawfords@hobartcity.com.au> wrote:

Hi [REDACTED]

Thank you for your email. We are very close to finalising the process – I appreciate it has taken a long time, so thank you for your patience.

We will be sending out letters to nominators and any landowners that made a submission soon to formally advise of decisions made, and to advise which Council meeting the report will be considered at.

I can advise you, however, that the noted trees at 892-894 Sandy Bay Road are considered by the panel to meet some of the assessment criteria, so they will be recommended for listing as significant trees. Council may or may not agree with this recommendation (they have the ability to overturn any recommendation made by the panel). When the planning scheme amendment is submitted to the Tasmanian Planning Commission, there will be a further advertising period and opportunity for any representor to be involved in a hearing

process. The Commission will then make the final determination.

If you have any questions, please don't hesitate to contact me.

Regards

Sarah

Sarah Crawford

Development Planner | Planning Policy and Heritage



City of HOBART

16 Elizabeth Street, Hobart, Tasmania, Australia, 7000 | hobartcity.com.au
Telephone (03) 6238 2157

Please note I work Mondays, Tuesdays and Fridays

From: [REDACTED]

Sent: Wednesday, 26 June 2019 1:57 PM

To: Records Unit <RecordsUnit@hobartcity.com.au>

Subject: Significant trees register decision? (ATTN: Sarah Crawford)

Hello there,

I'm inquiring to find out the outcome of process Ref # S50-006-03/04

Regarding adding large foreshore eucalypt trees @ 892-4 Sandy Bay Rd to the Hobart Significant trees register.

Could you please advise of any developments/decisions on this matter?

Thank you

Regards,



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From: [Odin Kelly](#)
To: [Sarah Crawford](#); [Representation](#)
Subject: RE: significant trees amendment
Date: Tuesday, 1 October 2019 9:31:28 AM
Attachments: [image004.png](#)
[image005.png](#)

Hi Sarah

Thank you for providing updated documentation regarding the draft amendment PSA-19-3 – HIPS 2015 – Significant Trees.

TasNetworks has no specific objection to the draft amendment but would like highlight the following exemptions that it is awarded under the Electricity Supply Industry Act 1995 and Electricity Supply Industry Regulations 2018.

ESI Act 1995

s57. Work on electricity infrastructure

Where –

*(a) an electricity entity proposes to carry out work on the construction, installation, modification, maintenance, demolition or replacement of electricity infrastructure; and
(b) the work is of a kind classified by the regulations as work of minor environmental impact –*

the work is not to be regarded as development for the purposes of the Land Use Planning and Approvals Act 1993 and is not subject in any other way to that Act

ESI Regulations 2018

s8. Work of minor environmental impact

For sections 52(5) and 57(b) of the Act, the following work is classified as being of minor environmental impact:

... (e) the clearing or lopping of trees, branches or other vegetation to the extent necessary for the protection of electricity infrastructure or public safety;

If you require any further clarification, please don't hesitate to contact me

Regards



Odin Kelly

Consultant Planner

Strategic Asset Management

P: 6271 6717 E odin.kelly@tasnetworks.com.au

Monday & Wednesday

1 – 7 Maria Street, Lenah Valley 7008
PO Box 606, Moonah TAS 7009

www.tasnetworks.com.au

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From: Sarah Crawford <crawfords@hobartcity.com.au>

Sent: Monday, 16 September 2019 12:44 PM

To: Odin Kelly <Odin.Kelly@tasnetworks.com.au>

Subject: significant trees amendment

Hi Odin,

The report attachments have now been updated with a better quality version on the website.

Please let me know if you have any questions about specific trees.

Regards

Sarah

Sarah Crawford

Development Planner | Planning Policy and Heritage



City of HOBART

16 Elizabeth Street, Hobart, Tasmania, Australia, 7000 | hobartcity.com.au

Telephone (03) 6238 2157

Please note I work Mondays, Tuesdays and Fridays

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From: [REDACTED]
To: [Records Unit](#)
Subject: Draft Amendment PSA -19-3 Hobart significant trees
Date: Friday, 4 October 2019 2:09:55 PM

James McIlhenny, Manager Planning Policy and Heritage
Hobart City Council - significant trees register.

Dear Sir,

I am writing in response to your letter (Ref: PSA-19-3), dated 04 September 2019, and to record my objection to the inclusion on the register of trees planted on the boundary between 70 and 72 Davey Street.

Please refer to a photo of the trees in question - please note that there are 7 trees, not 8 as stated in the planning application. Please also note the number of trees already cut down (ie the number of stumps remaining between the existing 7 trees), since the original planting.

On viewing the regulations for permitted trees in urban areas in other parts of Australia, it appears likely that the eighth tree, and possibly others, were removed at the request of the Council as it was deemed unsuitable by the Council - a category 4 tree shall 'not be planted within 2.0m + the mature canopy radius' of a footpath of 1.8m Ref:

https://www.tccs.act.gov.au/_data/assets/pdf_file/0005/396887/ds23_plantspecies.pdf p23-6

I would like to object to the inclusion of these trees on the register for the following bases:

1. **The trees are fewer than 20 years old**, and to my knowledge were planted not long after the current owners bought the property. At the time the current owners had a conversation with my mother, who owned the property at the time, and said it would be part of a garden they were to develop 'in the near future'. That future garden has been a parking lot for the last 20 or so years. There is no space in the parking lot, or ground, that is not concreted except for the narrow strip in which the trees in question are planted.
2. 'Significant' means 'sufficiently great or important to be worthy of attention; noteworthy.' Its synonyms include remarkable, outstanding, important, of consequence (Ref: <http://english.oxforddictionaries.com/significant>). The only things significant about these trees is their size. They are a tree **native to Bhutan, and nothing to do with Australia**.
3. The expected height of the trees in their native habitat is estimated at up to 45m (approximately 16 storeys). (Ref: https://en.wikipedia.org/wiki/Cupressus_torulosa). This **height of tree is not appropriate for city blocks**. The planning scheme for this area is 15m/5 storeys (ref: [City of Hobart, elector poll details, sent by the Council to residents in c.April 2019](#)). That is, these trees may grow to 3 times the height of the allowable building height.
4. These trees are classified by the Water Corporation as '**large trees**' **expected to grow 12-18m** (approximately 6-7 storeys) high in Australia (Ref: <https://www.watercorporation.com.au/-/media/files/builders-and-developers/building/select-the-right-tree.pdf>). Even at this lower estimation they are still significantly higher than the allowable building height of 5 storeys.
5. **In urban areas, these trees are restricted in most states of Australia**, due to their size and damaging root systems. See refs below, for Victoria, ACT and NSW.
6. In Melbourne, due to their size, these trees are **recommended only for parks and park edges**, or boulevards with large central medians (Ref: <https://www.melbourne.vic.gov.au/SiteCollectionDocuments/urban-forest-diversity-guidelines.pdf> p56-58).
7. **These trees are a large fire hazard**. Their habits of defoliating inside the outer green exterior leaves a tinder of dead leaves, branches and pinecones that lights very readily. I have already had one fire that spread rapidly up through the branches due to the accumulated litter that settles in the branches and forks. It also destroyed the wooden fence about 40cm from the trunks. The closeness of the planting to the adjacent buildings (approximately 2.5m) in violation of the 10m setback increases this hazard further.
8. **The trees obscure light (and thus heat)** from all three residential levels at 155 Hampden Rd/72 Davey St. My mother owned the property at the time they were planted, and I remember them growing quickly to obscure daylight from the lower units. My ex-husband and I bought the property about 10 years ago, by which time the trees were starting to obscure daylight from the upper units (the third floor from the ground). They now completely obscure light (and heat) from all units to an extent that lights and heating are needed for large parts of the day, particularly in winter. The trees are so large, that prior to pruning from above the laneway at 72 Davey St, the branches were touching the windows.
9. **In addition to blocking all sunlight, the trees also block all views**. As stated in Council documents recently circulated to city residents 'Views of the water and the mountain are important to Hobart's residents and visitors' (Ref: [City of Hobart Elector poll document- reasons to support the recommendations/yellow section](#)).
10. **These trees are entering the sewerage system**. They are invasive and are not recommended for planting within 6m of sewerage lines (Ref: <https://www.watercorporation.com.au/-/media/files/builders-and-developers/building/select-the-right-tree.pdf>). The sewerage line runs within 1 m of the trees at the Davey St end, and about 2 m at the end furthest from Davey St. I have had to have plumbers clear my drains on several occasions. I have spoken with the owners of the trees and their response has been to suggest that I should replace my pipes so there trees can continue to grow.
11. These trees have a vigorous root system and consequently are **not recommended in paved areas (or road verges) due to the disruption to infrastructure caused by the roots**. Ref: https://www.tccs.act.gov.au/_data/assets/pdf_file/0005/396887/ds23_plantspecies.pdf p23-24. The masonry walls within half a metre of these plantings are showing signs of damage.
12. **The minimum set back from other buildings is set at 10m, due to the invasive nature of the tree roots**, and the

- potential for damage to footpaths, foundations, and other aboveground (eg masonry walls) and underground structures (including sewerage as mentioned above) . The trees in question are planted about 2.5m from a three storey building. Ref: https://www.tccs.act.gov.au/_data/assets/pdf_file/0005/396887/ds23_plantspecies.pdf, p23-24
13. Finally, **the shedding properties of the trees also impact the surrounding** buildings and grounds: I have had leaf guards installed in an effort to counteract the significant shedding of leaves/pinecones and other debris, to little avail. I have to continually sweep the adjacent driveway/lane to keep it clean, I need to also regularly clean the debris from the car parked there (it spoils the paintwork if left), and the washed clothes on the washing lines are also affected by staining associated with the sap which exudes from the leaves. (The driveway/lane is used for washing lines for 4 groups of tenants, and parking.)

Botanical name: Cupressus torulosa

Code: CUt

Height x width: 15mx8m

Not suitable for: Paved areas. Road verges.

Min. clearance from building setback (m): 10

Tree shape category: 4

Root barrier zone (m): N/R

Management and siting notes: Vigorous root system.

Design characteristics: Bhutan or Himalayan cypress. Pyramidal shape. Screening plant.

Ref: https://www.tccs.act.gov.au/_data/assets/pdf_file/0005/396887/ds23_plantspecies.pdf p23-24

<https://www.melbourne.vic.gov.au/SiteCollectionDocuments/urban-forest-diversity-guidelines.pdf>

In summary, I request that these trees not be listed as significant, that they be removed, and some more appropriate trees be planted in their place.

Yours sincerely,



University of Tasmania Electronic Communications Policy (December, 2014).

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Reference: 6

Address	Allison Street median strip, West Hobart
Name of Tree/s	<i>Fraxinus angustifolia</i> subsp. <i>Oxycarpa</i> 'Raywood' – Claret ash (5 trees)



Owners of the Land	City of Hobart	
Nominators reasons for nomination	<i>Nominator 1</i> Categories 1, 2, 5, 6, 9 and 10	<i>Nominator 2</i> Categories 1, 2, 3, 5, 6, 7, 8, 9 and 10
	These are the most beautiful trees in all seasons, particularly autumn when they go from beautiful to stunning. They give the street	The trees are of great beauty in all seasons, providing much needed and appreciated shade in summer and allowing light in winter. Greatly

	<p>unique character and are a real West Hobart land mark. Our human and wildlife community love them and West Hobart would be less without them.</p> <p>admired by residents and visitors and, indeed, loved by residents. Residents collect the leaves in winter as they provide wonderful mulch for garden beds. There is just one resident who doesn't appreciate the splendour. All others would be very upset should anything happen to these trees. Please Note that I am not familiar with "IT" and I may have not provided enough information for your needs. Please 'phone if you need more. I would like to add that the trees would benefit from some pruning, photos show that up until the 1970s they were pollarded each year. Thank you for the opportunity. Annie Bird.</p>
Assessment panel comments	<p>These trees are a prominent aspect of the streetscape, and are clearly appreciated by many residents. They are considered to meet the following assessment criteria:</p> <p>CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.</p> <ul style="list-style-type: none">• This group of trees forms an attractive row, particularly due to their striking seasonal colour changes. <p>CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.</p> <ul style="list-style-type: none">• These trees are a significant element in the streetscape, and are well-known by locals. Their loss would be significant to many residents.
Recommendation	<p>That the trees be listed on the Significant Tree Register.</p>



Reference: 8

Address	2 Amanda Crescent, Sandy Bay
Name of Tree/s	<i>Eucalyptus viminalis</i> – white gum



Owners of the Land	Privately owned
Nominators reasons for nomination	<p>Categories 1, 7 and 9</p> <p>One of very few outlying native gum tree(s) in hobart. Habitat tree(s) for insect-, nectar-, lerp- and seed-feeding birds. Without these trees many endemic honeyeaters and smaller native birds would not exist in suburban Hobart. This is an exceptionally aesthetic tree.</p>
Assessment panel comments	<p>This tree has an outstanding form and a high aesthetic value. It is located on a prominent corner, and is a significant element of the streetscape. It is considered to meet the following assessment criteria:</p> <p>CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.</p>

-
- The tree has very high aesthetic value due to its form and canopy.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- The tree is a significant visual component of the streetscape, and would be a highly recognisable feature for locals.

Recommendation

That the tree be listed on the Significant Tree Register.



Reference: 45

Address	90 Davey Street, Hobart
Name of Tree/s	<i>Eucalyptus viminalis</i> subsp. <i>Viminalis</i> - white gum (2 trees) and <i>Quercus robur</i> – English oak (1 tree)



Owners of the Land	Crown – Repatriation hospital
Nominators reasons for nomination	<i>Nominator 1</i>

Categories 1, 2, 4, 5 and 6

The two blue gums are significant to Tasmania as our state's floral emblem and grown in the city to such height they are rare and valuable landmarks. The oak has possible heritage value (as part of memorial park) and serves to green street and screen ugly building. possibly planted as soldier memorials before hospital was built

Nominator 2 (eucalypts only)

There are few Eucalypts in this area of town. The listed trees on the Barracks site to the south are not really publicly accessible. This streetscape is dominated by introduced trees including very large oaks and the big pine on the corner of Hampden and Davey which is not in great shape. This tree has lovely form and provides a nice place to be esp as the hospital building behind accommodates terminal patients, good to have good trees for people to be with in times of stress, patients as well as friends and family

**Assessment panel
comments**

Though only one oak tree has been nominated, there are 5 oaks on the site. Most of these oaks are of significant size and have significant street presence. Two of the oaks (along Davey street) are smaller than expected for their age due to their location (one underneath large conifers and the other within a carpark), however these two oaks are still considered to be a significant element of the overall setting, particularly the tree opposite the intersection with Barrack Street. The two eucalypts are not of a particularly significant age or size, but the larger of the two does form an important part of the overall plantings at the site. All of these trees on the site have particular community significance as they are associated with the Whittle Ward (palliative care unit), and are likely to assist with the wellbeing of patients. As a group, it is considered that the 5 oaks and one larger eucalypt meet the following criteria for listing:

CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.

- These trees, as a set of plantings, have an outstanding visual impact in a city-fringe area.

CATEGORY 5. TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

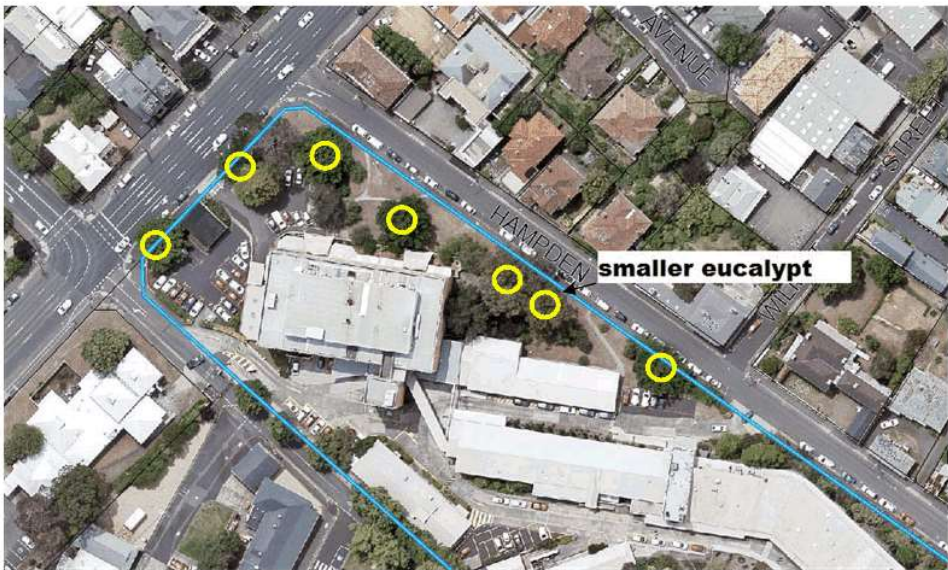
- The established garden setting of these mature trees on this corner gives unique character to the streetscape and their loss would fundamentally alter that character.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- These trees have a significant presence in the streetscape, and also are likely to have significant impact on those using the facilities on the site. The nature of the palliative care unit being occupied by very vulnerable members of the community enhances the significance of this garden. Patients are likely to benefit emotionally from the established green surroundings.

Recommendation

List 5 oak trees and 1 white gum in the Significant Tree Register.



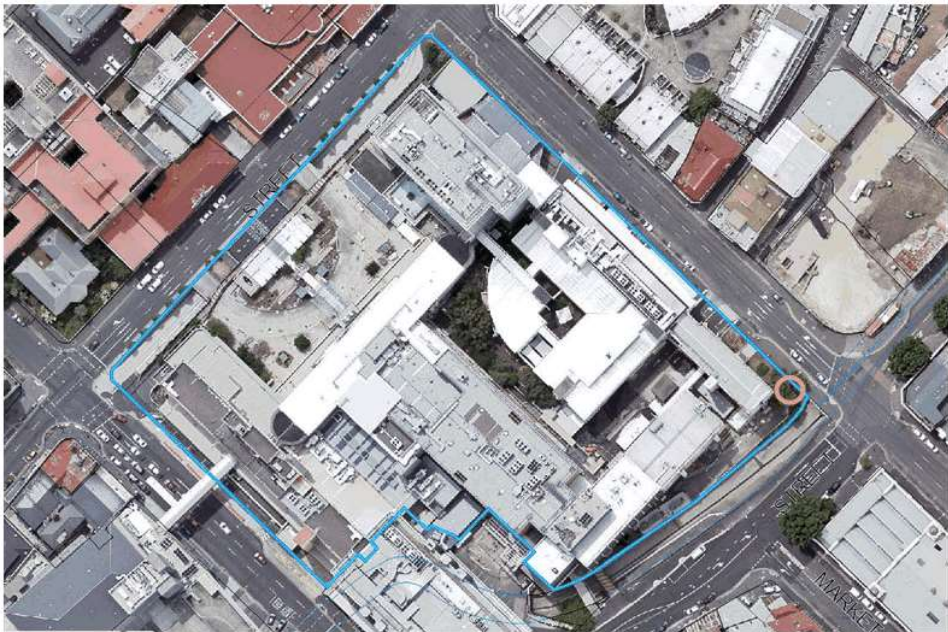
Reference: 100

Address	48 Liverpool Street, Hobart (Royal Hobart Hospital, Campbell/Collins corner)
Name of Tree/s	<i>Schinus molle</i> – Peppercorn tree



Owners of the Land	Crown (department of Health and Human Services)
Nominators reasons for nomination	<p>Categories 1, 2 and 6</p> <p>There are very few trees in this area of the cbd. Peppercorn trees are less numerous now. It has survived much change. Almost every time I walk past this tree somebody is sitting under it. It is next to the only section of Hobart Rivulet that is uncovered on this side of the cbd so it is an important section of land/streetscape.</p>
Assessment panel comments	<p>This tree is in a prominent location in the streetscape, on a corner and fronting a very busy road.</p> <p>There are very few mature trees in this area of the city, and so the tree has increased importance.</p> <p>The tree is considered to meet the following assessment criterion:</p> <p>CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.</p> <ul style="list-style-type: none"> This tree is an important component of the streetscape in an area that is densely

	developed. It provides shade and a place to sit, likely in particular for visitors to the hospital. Its loss would be significant given the lack of mature trees in Campbell Street.
Recommendation	That the tree be listed on the Significant Tree Register.



Reference: 59

Address	284-290 Elizabeth Street, North Hobart
Name of Tree/s	<i>Fraxinus velutina</i> – velvet ash



Owners of the Land	Baptist Union of Tasmania
Nominators reasons for nomination	Categories 1, 2, 3, 5, 6, 8 and 9 It is a significant example of ash tree in a setting with very little green space.

Assessment panel comments	<p>This tree is a prominent addition to a streetscape that contains few large trees. It has bright green foliage and provides welcome shade for pedestrians along this well-frequented transport route. The tree is considered to meet the following assessment criterion:</p> <p>CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.</p> <ul style="list-style-type: none">• This tree has prominence in the streetscape and an attractive form and foliage colour. It provides welcome visual relief in this location, and its loss would be pronounced to locals and commuters. <p>Note: a submission was received from the landowner objecting to the nomination.</p>
Recommendation	<p>That the tree be listed on the Significant Tree Register.</p>



Reference: 151

Address	6 Quorn Street (corner of Quorn Street and David Avenue), Sandy Bay
Name of Tree/s	<i>Cupressus macrocarpa</i> / <i>Hesperocyparis macrocarpa</i> – Monterey cypress



Owners of the Land	Privately owned
Nominators reasons for nomination	Categories 1, 5 and 6 This continuous hedge forms a strong visual boundary on two street frontages to a 1920s bungalow behind. Its small gate opening on the corner adds to the mystery and aesthetic qualities of the street and house.
Assessment panel comments	This is a large and well-formed hedge. It is prominent in the streetscape, particularly due to its location on the corner of the street. It is considered to meet the following assessment criteria: CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.

-
- This hedge is well cared for, even and dense. It has high aesthetic value, which is increased by the small, arched pedestrian access opening.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- The hedge has a striking prominence in the streetscape, emphasised due to its location on the corner. The loss of the hedge would have a significant impact on the local area.

Recommendation

That the tree be listed on the Significant Tree Register.



Reference: 161	
Address	892-894 Sandy Bay Road, Sandy Bay
Name of Tree/s	<i>Eucalyptus globulus</i> – Tasmanian blue gum (3 trees)



Owners of the Land	Privately owned
Nominators reasons for nomination	<p>Categories 7 and 9</p> <p>One of very few outlying native gum tree(s) in hobart. Habitat tree(s) for insect-, nectar-, lerp- and seed-feeding birds. Without these trees many endemic honeyeaters and smaller native birds would not exist in suburban Hobart.</p>
Assessment panel comments	<p>These trees are large, have a good form, and are located right on the shoreline of the River Derwent. It is considered that the trees have a significant presence from the River Derwent, looking back towards the shore, particularly as they reference the native vegetation that would previously have dominated this shoreline. There are few large eucalypts left along the shore in this area. There are two significant trunks on 892 Sandy Bay Road that the owner considers may in fact form part of a single tree. It is unclear whether this is the case or not, so for clarity the listing should refer to two trees on this site to ensure both of these primary dominant are covered. Together with the single tree on the adjacent 894 Sandy Bay Road, this makes three trees. These trees are all considered to meet the following assessment criteria:</p> <p>CATEGORY 5. TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.</p> <ul style="list-style-type: none"> The trees are considered to contribute significantly to the shoreline of the River Derwent in this area. There are only a few large eucalypts remaining in this stretch of shoreline, and they are worth protecting for their connection to the previous native vegetation that would have dominated in this area. Their loss would remove the final remnants of this character, mainly as visible from the river as a public domain. <p>CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.</p> <ul style="list-style-type: none"> These trees would be prominent when viewed from watercraft using the public domain of the river. The remaining few large native trees along the coastline have strong local significance. <p>Note: a submission was received from the landowner of 894 objecting to the nomination. Another submission was received from the occupier of 894 supporting the nomination. A further submission was received from the owner of 892 supporting the nomination.</p>
Recommendation	That the trees be listed on the Significant Tree Register.



Reference: 48

Address	70 Davey Street, Hobart
Name of Tree/s	<i>Cupressus torulosa</i> – Bhutan cypress (8 trees)



Owners of the Land	Privately owned
Nominators reasons for nomination	Categories 1, 5 and 6 Groups of Bhutan Cypress trees are a feature of Hobart and they appear on the skyline. This is an unusual example within the city.
Assessment panel comments	This row of trees has a significant presence in the streetscape, and are considered to meet the following criteria: CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE. <ul style="list-style-type: none"> The trees have a notable presence in the streetscape, which is a high-traffic road through Hobart.
Recommendation	That the trees be listed on the Significant Tree Register.



Reference: 105

Address	60 Lower Jordan Hill Road (nature strip adjacent), West Hobart
Name of Tree/s	<i>Eucalyptus morrisbyi</i> (Morrisby's gum)



Owners of the Land	City of Hobart
---------------------------	----------------

Nominators reasons for nomination	<p>Categories 1, 5, 7, 8 and 9</p> <p>the flowering eucalypt at the top end of Lower Jordan Hill rd is magnificent when in full flower...I was told by a local that it is from a species rare and endemic to Tasmania and I believe it is a <i>risdonii</i> (though I gather from brief google research these are reportedly only found on the Eastern Shore)...the tree makes a wonderful contribution to the street and locality generally... it quite takes our breath away when it is in full flower and it would be a tragedy for it to not be included on the significant tree list.</p>
Assessment panel comments	<p>This tree is not significantly large or old, however the species (<i>Eucalyptus morrisbyi</i>) is listed as endangered under the <i>Threatened Species Protection Act 1995</i> and the <i>Environment Protection and Biodiversity Conservation Act 1999</i>. It is not growing within its natural distribution area, however it is still worthy of protection given the status of the species. As such, it is considered that the tree meets the following assessment criteria:</p> <p>CATEGORY 7. TREES OF A SPECIES OR VARIETY THAT IS RARE OR OF VERY LOCALISED DISTRIBUTION.</p> <ul style="list-style-type: none">• The tree is of an endangered species. <p>CATEGORY 8. TREES THAT ARE OF HORTICULTURAL OR GENETIC VALUE.</p> <ul style="list-style-type: none">• As an endangered species, the seeds from this tree may have horticultural or genetic value.
Recommendation	<p>That the tree be listed on the Significant Tree Register.</p>



AMENDMENTS TO THE PLANNING SCHEME ORDINANCE**Amendment PSA-19-3-1**

Amend E24.3 Definition of Terms under E24.0 Significant Trees Code of the Hobart Interim Planning Scheme 2015 by inserting a new definition under the definition for 'Destruction', as follows:

Suitably qualified person (arboriculture)	Means a person possessing the qualifications, knowledge, skills and experience to provide advice on the health, condition and management of trees.
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Amendment PSA-19-3-2

Amend E24.3 Definition of Terms under E24.0 Significant Trees Code of the Hobart Interim Planning Scheme 2015 by inserting a new definition under the definition for 'Destruction', as follows:

Natural causes	Means any natural means resulting in the death or destruction of a tree, such as age, disease, environmental stress, pest infestation or storm damage, but not including actions by a person causing the death or destruction of a tree.
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Amendment PSA-19-3-3

Amend E24.6 Development Standards under E24.0 Significant Trees Code of the Hobart Interim Planning Scheme 2015 by omitting 'No Acceptable Solution', and inserting a new acceptable solution, as follows:

'A1

the lopping, pruning, removal or destruction of any tree listed in Table E24.1 that is determined to be dead from natural causes, based on a written statement to that effect prepared by a suitably qualified person.'

Amendment PSA-19-3-4

Amend Table E24.1 Significant Tree List under E24.0 Significant Tree Code of the Hobart Interim Planning Scheme 2015 by inserting the following listings in alphabetical order:

PSA-19-3 Amendment

Street Number	Street / Property / Location	Ref No.	Botanical name	Common name	No. of trees
	Aberdeen Street (adjacent to the Aquatic Centre, and University Rose Gardens)	A6	<i>Quercus robur</i>	English oak	12
	Allison Street median strip	A7	<i>Fraxinus angustifolia</i> subsp. <i>Oxycarpa</i> 'Raywood'	Claret ash	5
	Alt-Na-Craig Avenue (side of 23 Auvergne Avenue)	A8	<i>Eucalyptus viminalis</i>	White gum	2
2	Amanda Crescent	A9	<i>Eucalyptus viminalis</i>	White gum	1
17	Beach Road (Long Beach Reserve)	B24	<i>Eucalyptus globulus</i>	Tasmanian blue gum	13
67	Brisbane Street	B25	<i>Cupressus torulosa</i>	Bhyutan cypress	1
	Chessington Court (roundabout at end of cul-de-sac)	C4	<i>Eucalyptus globulus</i>	Tasmanian blue gum	2
2	Churchill Ave University of Tasmania (opposite union building on Churchill Avenue)	C5	<i>Eucalyptus globulus</i>	Tasmanian blue gum	6
2	Churchill Ave - University of Tasmania (centre of UTAS campus)	C6	<i>Eucalyptus globulus</i> and <i>Eucalyptus pulchella</i>	Tasmanian blue gum and white peppermint	5
	Churchill Avenue (adjacent The Hutchins School oval)	C7	<i>Eucalyptus globulus</i> and <i>Eucalyptus viminalis</i> .	Tasmanian blue gum and white gum	3
208-210	Collins Street	C8	<i>Eucalyptus melliodora</i>	Yellow box	2
4	Colville Street (Avon Court Apartments)	C9	<i>Magnolia grandiflora</i>	Magnolia	1
	Colville Street (nature strip adjacent to 12 St Georges Terrace)	C10	<i>Eucalyptus globulus</i>	Tasmanian blue gum	2
35	Congress Street	C11	<i>Corylus avellana</i> 'contorta'	Twisted hazelnut	1
	D'Arcy Street (southern side adjacent to South Hobart playground)	D20	<i>Tilia cordata</i> and <i>Quercus Coccinea</i>	small-leaved lime and scarlet oak	11
	Darling Parade (nature strip adjacent to no. 9)	D21	<i>Eucalyptus globulus</i>	Tasmanian blue gum	2

PSA-19-3 Amendment

70	Davey Street	D22	Cupressus torulosa	Bhutan Cypress	8
90	Davey Street	D23	<i>Eucalyptus viminalis</i> subsp. <i>viminalis</i> and <i>Quercus robur</i>	White gum and English oak	6
161	Davey Street (at rear on parcel of land between 161 Davey Street and 260 Macquarie Street)	D24	<i>Juglans regia</i>	English walnut	1
142	Davey Street (St Ann's aged care)	D25	<i>Quercus robur</i>	English oak	7
336	Davey Street	D26	<i>Araucaria heterophylla</i>	Norfolk pine	2
2	Davies Avenue (between Doone Kennedy Aquatic Centre and Tennis Centre)	D27	<i>Eucalyptus viminalis</i>	White gum	24
2	Davies Avenue (Soldiers Memorial Avenue, Queens Domain)	D28	<i>Cedrus deodara</i> , <i>Cedrus atlantica glauca</i> , <i>Cedrus libani</i> and <i>Cupressus sempervirens</i>	Deodar, blue atlas cedar, Italian cypress, and cedar of Lebanon	537
2	Davies Avenue (alongside Soldiers Memorial Avenue)	D29	<i>Eucalyptus viminalis</i>	White gum	1
	Elizabeth Street (adjacent to 81 Elizabeth St - Commonwealth Bank)	E7	<i>Metasequoia glyptostroboides</i>	Dawn redwood	3
284-290	Elizabeth Street	E8	<i>Fraxinus velutina</i>	Velvet ash	1
448-450	Elizabeth Street (Lyndhurst)	E9	<i>Cedrus deodara</i>	Deodar	1
15	Fitzroy Place	F14	<i>Quercus robur</i>	English oak	1
	French Street (French Street reserve)	F15	<i>Eucalyptus globulus</i>	Tasmanian blue gum	2
	Glen St (end of road, adjacent to no. 6)	G3	<i>Eucalyptus globulus</i>	Tasmanian blue gum	1
40	Gordon Avenue	G4	<i>Cupressus torulosa</i>	Bhutan cypress	3
126-146	Goulburn Street (Goulburn Street Primary School)	G5	<i>Quercus robur</i>	English oak	2
	Goulburn Street and Barton Avenue corner)	G6	<i>Ulmus glabra 'lutescens'</i>	Golden elm	1

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15	Gourlay Street (Lansdowne Crescent Primary School)	G7	<i>Quercus robur</i>	English oak	1
164	Harrington Street (St Mary's College)	H4	<i>Aesculus hippocastanum</i>	horse chestnut	1
	Hill Street (roundabout at Warwick St intersection)	H5	<i>Platinus x acerifolia</i>	London Plane tree	1
	Hill Street (roundabout at Pine Street intersection)	H6	<i>Platinus x acerifolia</i>	London Plane tree	3
98	King Street	K2	<i>Phoenix canariensis</i>	Date palm	1
	Lansdowne Crescent (West Hobart Oval)	L28	<i>Acacia melanoxylon</i>	blackwood	1
	Lansdowne Crescent (road reserve between Allison Street and Warwick Street)	L29	<i>Platinus x acerifolia</i>	London plane trees	5
268	Lenah Valley Road (Ancanthe Park)	L30	<i>Eucalyptus globulus</i>	Tasmanian blue gum	1
	Linear park (next to rivulet bridge at end of Anglesea Street, on boundary of South Hobart Primary School)	L31	<i>Cedrus deodara</i>	Deodar	3
	Liverpool Street (Campbell /Collins Street corner adjacent to RHH)	L32	<i>Schinus molle</i>	Peppercorn tree	1
67	Lord Street	L33	<i>Cedrus atlantica 'Glauc'</i>	blue atlas cedar	1
	Lord Street (Regent Street intersection - median strip)	L34	<i>Eucalyptus globulus</i>	Tasmanian blue gum	1
85	Lord Street	L35	<i>Cupressus sempervirens</i>	Italian Cypress	1
	Lower Jordan Hill Road (nature strip adjacent no. 60)	L36	<i>Eucalyptus morrisbyi</i>	Morrisbys Gum	1

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89-93	Macquarie Street	M13	<i>Araucaria heterophylla</i>	Norfolk pine	1
	Manresa Court (road reserve opposite no. 13)	M15	<i>Eucalyptus globulus</i>	Tasmanian blue gum	1
	McKenzie Street (adjacent to child care centre at 24-26 Weld Street)	M16	<i>Ulmus glabra 'lutescens'</i>	Golden elm	1
23	Nelson Road, and Peel Street (boundary of Queensborough oval, including small separate section at end of Peel St)	N1	<i>Cupressus/Hesperocyparis macrocarpa</i>	Monterey cypress	Hedge and 1 tree
23	Nelson Road (Queensborough Oval)	N2	<i>Pinus radiata</i>	radiata pine	4
	Nelson Road (Road reserve adjacent to 108-108A Nelson Rd)	N3	<i>Eucalyptus globulus</i>	Tasmanian blue gum	1
228	New Town Road (Ogilvie High School)	N4	<i>Salix babylonica</i>	weeping willow	1
228	New Town Road (Ogilvie High School)	N5	<i>Quercus palustris</i>	Pin oak	1
13	Parliament Street	P1	<i>Cupressus/Hesperocyparis macrocarpa</i>	Monterey cypress	hedge
	Petty Street nature strip	P2	<i>Corymbia ficifolia</i>	flowering gum	1
113	Princes Street (Princes Street Primary School)	P3	<i>Platanus acerifolia</i>	London Plane Tree	2
6	Proctors Road	P4	<i>Phoenix dactylifera</i>	Date palm	1
6	Quorn St (corner of Quorn and David Ave)	Q3	<i>Cupressus/Hesperocyparis macrocarpa</i>	Monterey cypress	hedge

PSA-19-3 Amendment

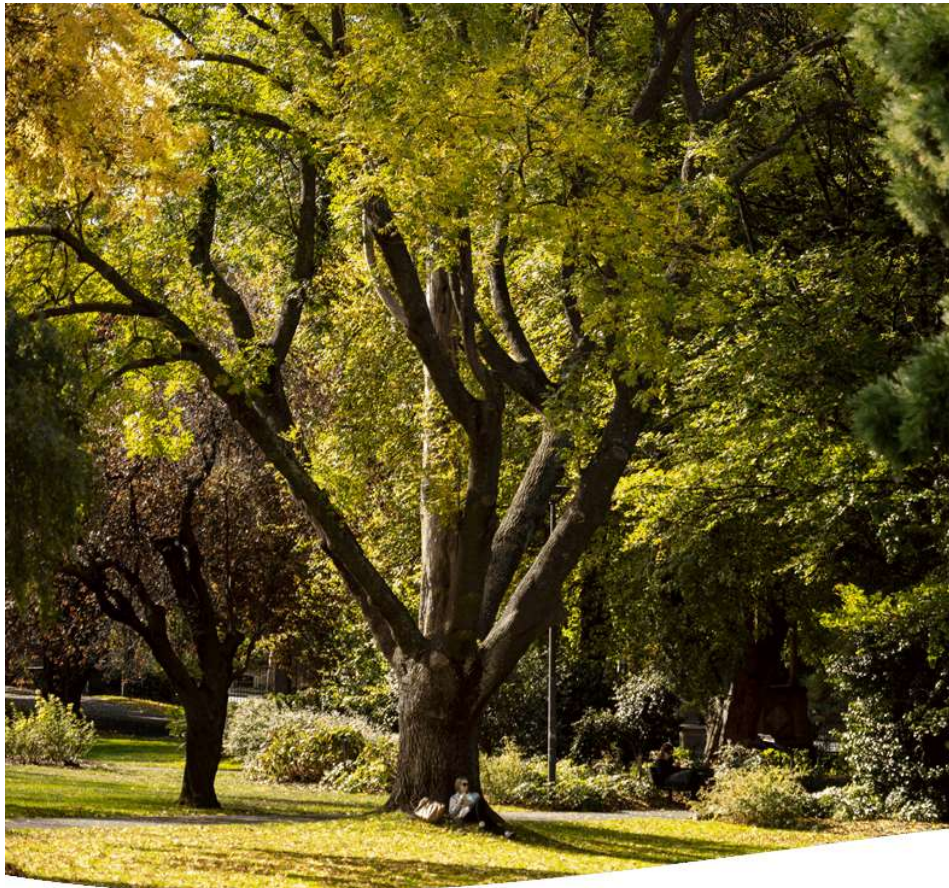
	Risdon Road (trees located either side of the road outside no 74 - Lauderdale Cottage)	R3	<i>Platanus x acerfolia</i> and <i>Ulmus procera</i>	London plane tree and English elm	2
	Salier Crescent (road reserve, adjacent to no 15 next to bus stop)	S22	<i>Fraxinus oxycarpa</i> 'Raywoodii'	Claret Ash	1
20	Sandy Bay Road (St Davids Park)	S23	<i>Fagus sylvatica</i> and <i>Tilia cordata</i>	European beech and small-leaved lime	4
20	Sandy Bay Road (St Davids Park)	S24	<i>Eucalyptus globulus</i>	Tasmanian blue gum	1
117	Sandy Bay Road	S25	<i>Eucalyptus viminalis</i>	White gum	1
629-663	Sandy Bay Rd (Alexandra Battery Park, Churchill Avenue frontage)	S26	<i>Eucalyptus viminalis</i>	White gum	1
646A	Sandy Bay Road	S27	<i>Eucalyptus globulus</i>	Tasmanian blue gum	2
706	Sandy Bay Road	S28	<i>Eucalyptus globulus</i>	Tasmanian blue gum	1
892 and 894	Sandy Bay Rd	S29	<i>Eucalyptus globulus</i>	Tasmanian blue gum	2 3
	Sandy Bay Road (between Derwentwater and Waimea Avenues)	S30	<i>Platanus x acerifolia</i>	London plane tree	12
908	Sandy Bay Rd (The Grange Picnic Area)	S31	<i>Eucalyptus globulus</i>	Tasmanian blue gum	1
	Suncrest Avenue (Road reserve adjacent to no. 5)	S33	<i>Chamaecyparis lawsoniana</i>	Lawson cypress	2
120	Swanston Street	S34	<i>Eucalyptus globulus</i>	Tasmanian blue gum	1
29	Tower Road (front garden)	T1	<i>Phoenix dactylifera</i>	Date palm	1
36	View St	V1	<i>Fagus sylvatica</i> 'Purpurea'	copper beech	1
168	Warwick Street	W9	<i>Pyrus communis</i>	Pear tree	1

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224	Warwick Street	W10	<i>Pyrus communis</i>	Pear tree	1
58	Wentworth Street	W11	<i>Ulmus minor</i> <i>'Variegata'</i>	Silver elm	1
	Woodcutters Drive (Tolmans Hill park)	W12	<i>Eucalyptus globulus</i>	Tasmanian blue gum	1
17	Woodcutters Road	W13	<i>Eucalyptus globulus</i>	Tasmanian blue gum	1

Amendment PSA-19-3-5

Amend Appendix 1 – Referenced and Incorporated Documents of the Hobart Interim Planning Scheme 2015 by omitting the date '14 June 2012' and substituting the date '4 November 2019' in the table titled Referenced Documents.



HOBART INTERIM PLANNING SCHEME 2015

SIGNIFICANT TREE REGISTER

Updated November 2019



City of **HOBART**

Significant Tree Register Contents:

Street Number	Street / Property / Location	Ref No.	Botanical name	Common name	No. of trees
20	Adelaide Street	A1	<i>Cupressus torulosa</i>	Bhutan Cypress	1
20	Adelaide Street	A2	<i>Cupressus torulosa</i>	Bhutan Cypress	21
	Albuera Street (road reserve adjacent to 96-120 Davey Street, near intersection with Byron Street)	A3	<i>Eucalyptus globulus</i>	Tasmanian Blue Gum	4
23	Albuera Street	A4	<i>Quercus robur</i>	English Oak	3
	Arthur Circus	A5	<i>Aesculus hippocastanum</i>	Horse chestnut	3
	Aberdeen Street (adjacent to the Aquatic Centre, and University Rose Gardens)	A6	<i>Quercus robur</i>	English oak	12
	Allison Street median strip	A7	<i>Fraxinus angustifolia</i> subsp. <i>Oxycarpa</i> 'Raywood'	Claret ash	5
	Alt-Na-Craig Avenue (side of 23 Auvergne Avenue)	A8	<i>Eucalyptus viminalis</i>	White gum	2
2	Amanda Crescent	A9	<i>Eucalyptus viminalis</i>	White gum	1
61	Bay Road, 'Runnymede'	B2	<i>Araucaria heterophylla</i>	Norfolk Island Pine	1
61	Bay Road, 'Runnymede'	B3	<i>Corynocarpus laevigatus</i>	Karaka or New Zealand Laurel	1
61	Bay Road, 'Runnymede'	B4	<i>Juglans regia</i>	English Walnut	1
61	Bay Road, 'Runnymede'	B5	<i>Photinia serrulata</i>	Chinese Hawthorn	1
71	Brooker Avenue, Domain House Site (adjacent to Edward Street)	B6	<i>Quercus robur</i>	English Oak	2
71	Brooker Avenue, Domain House Site (Edward Street and Brooker Highway corner)	B7	<i>Abies numidica</i>	Algerian Fir	1
71	Brooker Avenue, Domain House Site (near Graphics building)	B8	<i>Quercus robur</i>	English Oak	1
71	Brooker Avenue, Domain House Site (southern boundary of the site)	B9	<i>Cedrus deodara</i>	Deodar Cedar	1
71	Brooker Avenue, Domain House Site (southern boundary of the site)	B10	<i>Cedrus atlantica</i> 'Glaucua'	Atlas Blue Cedar	1

Street Number	Street / Property / Location	Ref No.	Botanical name	Common name	No. of trees
71	Brooker Avenue, Domain House Site (southern boundary of the site)	B11	<i>Araucaria bidwillii</i>	Bunya Bunya	1
71	Brooker Avenue, Domain House Site (southern boundary of the site)	B12	<i>Abies pinsapo</i>	Spanish Fir	1
71	Brooker Avenue, Domain House Site (southern boundary of the site)	B13	<i>Aesculus hippocastanum</i>	Horse Chestnut	1
71	Brooker Avenue, Domain House Site (southern boundary of the site)	B14	<i>Abies numidica</i>	Algerian Fir	1
71	Brooker Avenue, Domain House Site (southern boundary of the site)	B15	<i>Abies pinsapo var Glauca</i>	Spanish Fir	1
71	Brooker Avenue, Domain House Site (southern boundary of the site)	B16	<i>Laurus nobilis</i>	Bay Laurel	1
71	Brooker Avenue, Domain House Site (southern boundary of the site)	B17	<i>Cedrus atlantica 'Glauca'</i>	Atlas Blue Cedar	1
71	Brooker Avenue, Domain House Site, Aberdeen Street frontage	B18	<i>Pinus wallichiana</i>	Bhutan Pine	1
71	Brooker Avenue, Domain House Site, Aberdeen Street frontage	B19	<i>Araucaria columellaris</i>	Cook Pine	1
71	Brooker Avenue, Domain House Site, Aberdeen Street frontage	B20	<i>Casaurina obesa</i>	Swamp Oak	1
71	Brooker Avenue, Domain House Site, Aberdeen Street frontage	B21	<i>Casaurina obesa</i>	Swamp Oak	1
71	Brooker Avenue, Domain House Site, adjacent to tennis court.	B22	<i>Thuja occidentalis 'Pyramidalis compacta'</i>	White Cedar	12
186	Bathurst Street	B23	<i>Schinus areira</i>	Peppercorn Tree	1
17	Beach Road (Long Beach Reserve)	B24	<i>Eucalyptus globulus</i>	Tasmanian blue gum	13
67	Brisbane Street	B25	<i>Cupressus torulosa</i>	Bhyutan cypress	1
1, 9, 11, 13 & 15	Cedar Court	C1	<i>Cupressus macrocarpa</i>	Monterey Cypress	Hedge
30	Cromwell Street	C2	<i>Abies pinsapo</i>	Spanish fir	1
30	Cromwell Street	C3	<i>Abies numidica</i>	Algerian fir	1
	Chessington Court (roundabout at end of cul-de-sac)	C4	<i>Eucalyptus globulus</i>	Tasmanian blue gum	2

Street Number	Street / Property / Location	Ref No.	Botanical name	Common name	No. of trees
2	Churchill Ave University of Tasmania (opposite union building on Churchill Avenue)	C5	<i>Eucalyptus globulus</i>	Tasmanian blue gum	6
2	Churchill Ave - University of Tasmania (centre of UTAS campus)	C6	<i>Eucalyptus globulus</i> and <i>Eucalyptus pulchella</i>	Tasmanian blue gum and white peppermint	5
	Churchill Avenue (adjacent The Hutchins School oval)	C7	<i>Eucalyptus globulus</i> and <i>Eucalyptus viminalis</i> .	Tasmanian blue gum and white gum	3
208-210	Collins Street	C8	<i>Eucalyptus melliodora</i>	Yellow box	2
4	Colville Street (Avon Court Apartments)	C9	<i>Magnolia grandiflora</i>	Magnolia	1
	Colville Street (nature strip adjacent to 12 St Georges Terrace)	C10	<i>Eucalyptus globulus</i>	Tasmanian blue gum	2
35	Congress Street	C11	<i>Corylus avellana</i> 'contorta'	Twisted hazelnut	1
96-120	Davey Street, Anglesea Barracks,	D1	<i>Eucalyptus globulus</i>	Tasmanian Blue Gum	1
96-120	Davey Street, Anglesea Barracks, (Linden Avenue)	D2	<i>Tilia x europaea</i>	European Linden (Common Lime)	22
2	Davies Avenue, rear of Hobart Aquatic Centre, 'The Hollow'	D3	<i>Pinus ponderosa</i>	Ponderosa Pine	1
2	Davies Avenue, rear of Hobart Aquatic Centre, 'The Hollow'	D4	<i>Pinus sabiniana</i>	Digger Pine	1
2	Davies Avenue, rear of Hobart Aquatic Centre, 'The Hollow'	D5	<i>Cedrus atlantica</i>	Atlas Cedar	1
2	Davies Avenue, rear of Hobart Aquatic Centre, 'The Hollow'	D6	<i>Pinus wallichiana</i>	Bhutan Pine	1
2	Davies Avenue, rear of Hobart Aquatic Centre, 'The Hollow'	D7	<i>Pinus nigra</i> var. <i>maritima</i>	Corsican Pine	1
2	Davies Avenue, rear of Hobart Aquatic Centre, 'The Hollow'	D8	<i>Cedrus atlantica</i>	Atlas Cedar	1
2	Davies Avenue, rear of Hobart Aquatic Centre, 'The Hollow'	D9	<i>Pinus canariensis</i>	Canary Island Pine	1
2	Davies Avenue, rear of Hobart Aquatic Centre, 'The Hollow'	D10	<i>Cedrus atlantica</i>	Atlas Cedar	1

Street Number	Street / Property / Location	Ref No.	Botanical name	Common name	No. of trees
2	Davies Avenue, rear of Hobart Aquatic Centre, 'The Hollow'	D11	<i>Pinus nigra var. maritima</i>	Corsican Pine	1
2	Davies Avenue, rear of Hobart Aquatic Centre, 'The Hollow'	D12	<i>Pinus attenuata</i>	Knobcone Pine	1
2	Davies Avenue, TCA Ground	D13	<i>Ulmus procera</i>	English Elm	1
251	Davey Street ('The Hermitage')	D14	<i>Quercus robur</i>	English Oak	1
309	Davey Street ('Toogooloowa')	D15	<i>Cupressus lusitanica</i>	Mexican Cypress	1
320	Davey Street ('Lindfield')	D16	<i>Cupressus torulosa</i>	Bhutan Cypress	9
301	Davey Street	D17	<i>Sequoiadendron giganteum</i>	Giant Sequoia	1
344	Davey Street	D18	<i>Abies nordmanniana</i>	Caucasian Fir	1
344	Davey Street	D19	<i>Corymbia ficifolia</i>	Red Flowering Gum	1
	D'Arcy Street (southern side adjacent to South Hobart playground)	D20	<i>Tilia cordata</i> and <i>Quercus Coccinea</i>	small-leaved lime and scarlet oak	11
	Darling Parade (nature strip adjacent to no. 9)	D21	<i>Eucalyptus globulus</i>	Tasmanian blue gum	2
90	Davey Street	D23	<i>Eucalyptus viminalis</i> subsp. <i>viminalis</i> and <i>Quercus robur</i>	White gum and English oak	6
161	Davey Street (at rear on parcel of land between 161 Davey Street and 260 Macquarie Street)	D24	<i>Juglans regia</i>	English walnut	1
142	Davey Street (St Ann's aged care)	D25	<i>Quercus robur</i>	English oak	7
336	Davey Street	D26	<i>Araucaria heterophylla</i>	Norfolk pine	2
2	Davies Avenue (between Doone Kennedy Aquatic Centre and Tennis Centre)	D27	<i>Eucalyptus viminalis</i>	White gum	24
2	Davies Avenue (Soldiers Memorial Avenue, Queens Domain)	D28	<i>Cedrus deodara</i> , <i>Cedrus atlantica glauca</i> , <i>Cedrus libani</i> and <i>Cupressus sempervirens</i>	Deodar, blue atlas cedar, Italian cypress, and cedar of Lebanon	537
2	Davies Avenue (alongside Soldiers Memorial Avenue)	D29	<i>Eucalyptus viminalis</i>	White gum	1
3	Elboden Street, 'Manilla'	E1	<i>Araucaria heterophylla</i>	Norfolk Island Pine	1
6	Elboden Street, Jane Franklin Hall	E2	<i>Populus nigra</i> cv. 'Italica'	Lombardy Poplar	1

Street Number	Street / Property / Location	Ref No.	Botanical name	Common name	No. of trees
	Earl Street (road reserve opposite 4-12 Earl Street) (Council asset numbers: AL61590002, AL61590005, AL61590009, AL615900014 and AL615900017)	E3	<i>Ulmus procera</i>	English Elm	5
	Earl Street (along University of Tasmania boundary)	E4	<i>Crataegus monogyna</i>	Common Hawthorn	Hedge
446	Elizabeth Street	E5	<i>Ficus macrophylla</i>	Moreton Bay Fig	1
7	Emmett Place	E6	<i>Araucaria bidwillii</i>	Bunya Pine	1
	Elizabeth Street (adjacent to 81 Elizabeth St - Commonwealth Bank)	E7	<i>Metasequoia glyptostroboides</i>	Dawn redwood	3
284-290	Elizabeth Street	E8	<i>Fraxinus velutina</i>	Velvet ash	1
448-450	Elizabeth Street (Lyndhurst)	E9	<i>Cedrus deodara</i>	Deodar	1
20	Fitzroy Crescent, Fitzroy Gardens	F1	<i>Platanus x hispanica</i>	Plane Tree	46
	Fitzroy Place, (road reserve)	F2	<i>Platanus x hispanica</i>	London Plane Tree	45
3	Fisher Avenue	F3	<i>Cupressus macrocarpa</i>	Monterey Cypress	Hedge
	Fisher Avenue (road reserve adjacent to 3 Fisher Avenue)	F4	<i>Tilia cordata</i>	Small-Leaved Lime	2
6	Fisher Avenue	F5	<i>Liriodendron tulipifera</i>	Tulip Tree	1
10	Fisher Avenue	F6	<i>Cedrus deodara</i>	Deodar	1
10	Fisher Avenue	F7	<i>Cedrus atlantica f. glauca</i>	Blue Atlas Cedar	1
	Fisher Avenue (road reserve adjacent to 33 Fisher Avenue)	F8	<i>Ulmus glabra</i> 'Lutescens'	Golden Wych Elm	1
	Fisher Avenue (road reserve adjacent to 35 Fisher Avenue)	F9	<i>Fraxinus oxycarpa</i> 'Raywood'	Claret Ash	Note: this tree has been removed
46	Fisher Lane	F10	<i>Ulmus procera</i>	English Elm	1
1	Fisher Lane	F11	<i>Crataegus sp.</i>	Hawthorn	Hedge
	Fitzroy Crescent, Fitzroy Gardens (upper)	F12	<i>Quercus robur</i>	English Oak	4
	Fitzroy Crescent, Fitzroy Gardens (upper and lower)	F13	<i>Ulmus minor</i> 'Variegata'	Variegated Elm	4
15	Fitzroy Place	F14	<i>Quercus robur</i>	English oak	1
	French Street (French Street reserve)	F15	<i>Eucalyptus globulus</i>	Tasmanian blue gum	2
50	Grays Road	G1	<i>Nothofagus cunninghamii</i>	Myrtle	1
	Gregson Avenue (bushland at end of Gregson Avenue)	G2	<i>Eucalyptus viminalis</i>	White Gum	3

Street Number	Street / Property / Location	Ref No.	Botanical name	Common name	No. of trees
	Glen St (end of road, adjacent to no. 6)	G3	<i>Eucalyptus globulus</i>	Tasmanian blue gum	1
40	Gordon Avenue	G4	<i>Cupressus torulosa</i>	Bhutan cypress	3
126-146	Goulburn Street (Goulburn Street Primary School)	G5	<i>Quercus robur</i>	English oak	2
	Goulburn Street and Barton Avenue corner)	G6	<i>Ulmus glabra 'lutescens'</i>	Golden elm	1
15	Gourlay Street (Lansdowne Crescent Primary School)	G7	<i>Quercus robur</i>	English oak	1
80-82	Hampden Road	H2	<i>Ulmus procera</i>	English elm	1
103	Hampden Road	H3	<i>Fraxinus excelsior</i>	English ash	1
2	Heathorn Avenue	H1	<i>Phoenix canariensis</i>	Canary Island Palm	2
164	Harrington Street (St Mary's College)	H4	<i>Aesculus hippocastanum</i>	horse chestnut	1
	Hill Street (roundabout at Warwick St intersection)	H5	<i>Platanus x acerifolia</i>	London Plane tree	1
	Hill Street (roundabout at Pine Street intersection)	H6	<i>Platanus x acerifolia</i>	London Plane tree	3
121	King Street	K1	<i>Ulmus procera</i>	English Elm	1
98	King Street	K2	<i>Phoenix canariensis</i>	Date palm	1
	Lambert Avenue, (road reserve)	L1	<i>Quercus robur</i>	English Oak	10
394	Liverpool Street	L2	<i>Cupressus lusitanica</i>	Mexican Cypress	1
1	Longview Avenue	L3	<i>Fraxinus excelsior 'Aurea'</i>	Golden Ash	1
11	Lower Domain Road, Royal Tasmanian Botanical Gardens	L4	<i>Sequoiadendron giganteum</i>	Big Tree (Wellingtonia)	1
11	Lower Domain Road, Royal Tasmanian Botanical Gardens	L5	<i>Pinus taeda</i>	Loblolly Pine	1
11	Lower Domain Road, Royal Tasmanian Botanical Gardens	L6	<i>Pinus roxburghii</i>	Long-leaved Indian Pine	3
11	Lower Domain Road, Royal Tasmanian Botanical Gardens	L7	<i>Pinus canariensis</i>	Canary Island Pine	1
11	Lower Domain Road, Royal Tasmanian Botanical Gardens	L8	<i>Abies pinsapo</i>	Spanish Fir	1
11	Lower Domain Road, Royal Tasmanian Botanical Gardens	L9	<i>Cupressus funebris</i>	Cypress	1
11	Lower Domain Road, Royal Tasmanian Botanical Gardens	L10	<i>Cephalotaxus harringtonia</i>	Japanese Plum-yew	1

Street Number	Street / Property / Location	Ref No.	Botanical name	Common name	No. of trees
11	Lower Domain Road, Royal Tasmanian Botanical Gardens	L11	<i>Pinus wallichiana</i>	Himalayan Pine	1
11	Lower Domain Road, Royal Tasmanian Botanical Gardens	L12	<i>Pinus gerardiana</i>	Gerard's Pine	1
11	Lower Domain Road, Royal Tasmanian Botanical Gardens	L13	<i>Sequoiadendron giganteum</i>	Big Tree (Wellingtonia)	2
11	Lower Domain Road, Royal Tasmanian Botanical Gardens	L14	<i>Metasequoia glyptostroboides</i>	Dawn Redwood	1
11	Lower Domain Road, Royal Tasmanian Botanical Gardens	L15	<i>Tilia petiolaris</i>	Weeping Silver Lime	<i>Note: this tree has been removed</i>
11	Lower Domain Road, Royal Tasmanian Botanical Gardens	L16	<i>Pinus sabiniana</i>	Digger Pine	1
11	Lower Domain Road, Royal Tasmanian Botanical Gardens	L17	<i>Cupressus goveniana</i>	Gowen Cypress	1
11	Lower Domain Road, Royal Tasmanian Botanical Gardens	L18	<i>Agathis robusta</i>	Queensland Kauri	1
11	Lower Domain Road, Royal Tasmanian Botanical Gardens	L19	<i>Juniperus oxycedrus</i>	Prickly Juniper	1
11	Lower Domain Road, Royal Tasmanian Botanical Gardens	L20	<i>Syzigium australe</i>	Lilly Pilly	1
11	Lower Domain Road, Royal Tasmanian Botanical Gardens	L21	<i>Tilia tomentosa</i>	Silver Lime	1
11	Lower Domain Road, Royal Tasmanian Botanical Gardens	L22	<i>Corymbia maculata</i>	Spotted Gum	1
11	Lower Domain Road, Royal Tasmanian Botanical Gardens	L23	<i>Eucalyptus cladocalyx</i>	Sugar Gum	1
11	Lower Domain Road, Royal Tasmanian Botanical Gardens	L24	<i>Pseudotsuga menziesii</i>	Douglas Fir	1
11	Lower Domain Road, Royal Tasmanian Botanical Gardens	L25	<i>Quercus suber</i>	Cork Oak	1
11	Lower Domain Road, Royal Tasmanian Botanical Gardens, Lower Domain Road	L26	<i>Abies nordmanniana</i>	Caucasian Fir	1

Street Number	Street / Property / Location	Ref No.	Botanical name	Common name	No. of trees
83	Lord Street	L27	<i>Cupressus sempervirens</i>	Italian Cypress	2
	Lansdowne Crescent (West Hobart Oval)	L28	<i>Acacia melanoxylon</i>	blackwood	1
	Lansdowne Crescent (road reserve between Allison Street and Warwick Street)	L29	<i>Platanus x acerifolia</i>	London plane trees	5
268	Lenah Valley Road (Ancanthe Park)	L30	<i>Eucalyptus globulus</i>	Tasmanian blue gum	1
	Linear park (next to rivulet bridge at end of Anglesea Street, on boundary of South Hobart Primary School)	L31	<i>Cedrus deodara</i>	Deodar	3
	Liverpool Street (Campbell /Collins Street corner adjacent to RHH)	L32	<i>Schinus molle</i>	Peppercorn tree	1
67	Lord Street	L33	<i>Cedrus atlantica 'Glaucous'</i>	blue atlas cedar	1
	Lord Street (Regent Street intersection - median strip)	L34	<i>Eucalyptus globulus</i>	Tasmanian blue gum	1
85	Lord Street	L35	<i>Cupressus sempervirens</i>	Italian Cypress	1
326	Macquarie Street	M1	<i>Tilia x europaea</i>	Common Lime	1
377	Macquarie Street	M2	<i>Quercus robur</i>	English Oak	1
377	Macquarie Street	M3	<i>Ulmus procera</i>	English Elm	2
212-218	Macquarie Street, St Michael's Collegiate, (School)	M4	<i>Ulmus parvifolia</i>	Chinese Elm	1
1	Mortimer Avenue	M5	<i>Cupressus Lorulosa</i>	Bhutan Cypress	32
16	Mortimer Avenue	M6	<i>Betula pendula</i>	Silver Birch	1
18	Mortimer Avenue	M7	<i>Betula pendula</i>	Silver Birch	1
55	Mt Stuart Road	M8	<i>Taxus baccata 'Aurea'</i>	Irish Yew	1
23	Murray Street, St Davids Cathedral,	M9	<i>Quercus ilex</i>	Holm oak	1
190-190A	Macquarie Street	M10	<i>Juglans regia</i>	English Walnut	1
55	Mount Stuart Road	M11	<i>Laurus nobilis</i>	Bay Tree	1
408	Macquarie Street	M12	<i>Cupressus torulosa</i>	Bhutan Cypress	2
89-93	Macquarie Street	M13	<i>Araucaria heterophylla</i>	Norfolk pine	1
	Manresa Court (road reserve opposite no. 13)	M15	<i>Eucalyptus globulus</i>	Tasmanian blue gum	1
	McKenzie Street (adjacent to child care centre at 24-26 Weld Street)	M16	<i>Ulmus glabra 'lutescens'</i>	Golden elm	1

Street Number	Street / Property / Location	Ref No.	Botanical name	Common name	No. of trees
23	Nelson Road, and Peel Street (boundary of Queensborough oval, including small separate section at end of Peel St)	N1	<i>Cupressus/Hesperocyparis macrocarpa</i>	Monterey cypress	Hedge and 1 tree
23	Nelson Road (Queensborough Oval)	N2	<i>Pinus radiata</i>	radiata pine	4
	Nelson Road (Road reserve adjacent to 108-108A Nelson Rd)	N3	<i>Eucalyptus globulus</i>	Tasmanian blue gum	1
228	New Town Road (Ogilvie High School)	N4	<i>Salix babylonica</i>	weeping willow	1
228	New Town Road (Ogilvie High School)	N5	<i>Quercus palustris</i>	Pin oak	1
14	Old Farm Road	01	<i>Notalaea ligustrina</i>	Native Olive	1
	Ogilvie Street and Canning Court corner (road reserve adjacent to 4 Ogilvie Street)	02	<i>Eucalyptus viminalis</i>	Manna Gum	1
13	Parliament Street	P1	<i>Cupressus/Hesperocyparis macrocarpa</i>	Monterey cypress	hedge
	Petty Street nature strip	P2	<i>Corymbia ficifolia</i>	flowering gum	1
113	Princes Street (Princes Street Primary School)	P3	<i>Platanus acerifolia</i>	London Plane Tree	2
6	Proctors Road	P4	<i>Phoenix dactylifera</i>	Date palm	1
	Quayle Street (median strip)	Q1	<i>Plantanus x hispanica</i>	Plane tree	23
	Quayle Street (opposite 4 Quayle Street)	Q2	<i>Eucalyptus globulus</i>	Blue gum	1
6	Quorn St (corner of Quorn and David Ave)	Q3	<i>Cupressus/Hesperocyparis macrocarpa</i>	Monterey cypress	hedge
68	Risdon Road	R1	<i>Araucaria heterophylla</i>	Norfolk Island Pine	2
16	Rosehill Crescent	R2	<i>Eucalyptus viminalis</i>	White Gum	1
	Risdon Road (trees located either side of the road outside no 74 - Lauderdale Cottage)	R3	<i>Platanus x acerifolia</i> and <i>Ulmus procera</i>	London plane tree and English elm	2
	St Johns Avenue, St Johns Park	S1	<i>Quercus robur</i>	English Oak	24
12	St Johns Avenue, St Johns Park (near Creek Road frontage)	S2	<i>Aesculus hippocastanum</i>	Horse Chestnut	1
209	Strickland Avenue,	S3	<i>Eucalyptus viminalis</i>	White Gum	1
9	Summerhill Road	S4	<i>Acer palmatum</i>	Japanese Maple	1
64	Summerleas Road	S5	<i>Eucalyptus pulchella</i>	White Peppermint	2

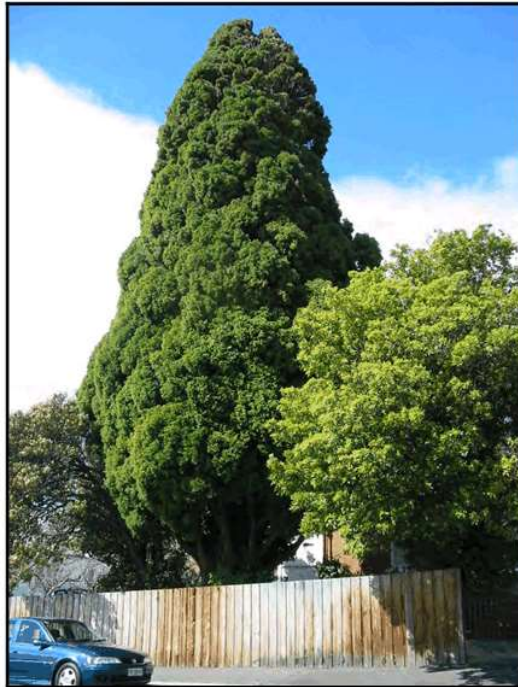
Street Number	Street / Property / Location	Ref No.	Botanical name	Common name	No. of trees
	Sandy Bay Road, Maning Ave Reserve	S6	<i>Ulmus procera</i>	English Elm	1
51-53	Sandy Bay Road	S7	<i>Quercus robur</i>	English Oak	2
51-53	Sandy Bay Road	S8	<i>Arbutus unedo</i>	Irish Strawberry Tree	1
51-53	Sandy Bay Road	S9	<i>Magnolia grandiflora</i>	Magnolia	2
	Sandy Bay Road (road reserve adjacent to 55A Sandy Bay Road)	S10	<i>Quercus robur</i>	English Oak	1
469	Sandy Bay Road	S11	<i>Phoenix canariensis</i>	Canary Island Palm	1
564	Sandy Bay Road	S12	<i>Fagus sylvatica</i> 'Purpurea'	European Copper Beech	1
564	Sandy Bay Road	S13	<i>Pyrus communis</i>	Common Pear	1
609	Sandy Bay Road	S14	<i>Phoenix canariensis</i>	Canary Island Palm	1
9	St Johns Avenue	S16	<i>Ulmus procera</i>	English Elm	1
14	St Johns Avenue	S17	<i>Quercus robur</i>	English Oak	2
74	Sandy Bay Road	S18	<i>Ulmus procera</i>	English elm	3
	Sandy Bay Road (road reserve adjacent to 82 Sandy Bay Road)	S19	<i>Ulmus procera</i>	English elm	4
	Sandy Bay Road (road reserve adjacent to 82 Sandy Bay Road)	S20	<i>Cupressus torulosa</i>	Bhutan cypress	1
410	Sandy Bay Road	S21	<i>Sequoiadendron giganteum</i>	Giant sequoia	2
	Salier Crescent (road reserve, adjacent to no 15 next to bus stop)	S22	<i>Fraxinus oxycarpa</i> 'Raywoodii'	Claret Ash	1
20	Sandy Bay Road (St Davids Park)	S23	<i>Fagus sylvatica</i> and <i>Tilia cordata</i>	European beech and small-leaved lime	4
20	Sandy Bay Road (St Davids Park)	S24	<i>Eucalyptus globulus</i>	Tasmanian blue gum	1
117	Sandy Bay Road	S25	<i>Eucalyptus viminalis</i>	White gum	1
629-663	Sandy Bay Rd (Alexandra Battery Park, Churchill Avenue frontage)	S26	<i>Eucalyptus viminalis</i>	White gum	1
646A	Sandy Bay Road	S27	<i>Eucalyptus globulus</i>	Tasmanian blue gum	2
706	Sandy Bay Road	S28	<i>Eucalyptus globulus</i>	Tasmanian blue gum	1
892 and 894	Sandy Bay Rd	S29	<i>Eucalyptus globulus</i>	Tasmanian blue gum	3
	Sandy Bay Road (between Derwentwater and Waimea Avenues)	S30	<i>Platanus x acerifolia</i>	London plane tree	12

Street Number	Street / Property / Location	Ref No.	Botanical name	Common name	No. of trees
908	Sandy Bay Rd (The Grange Picnic Area)	S31	<i>Eucalyptus globulus</i>	Tasmanian blue gum	1
	Suncrest Avenue (Road reserve adjacent to no. 5)	S33	<i>Chamaecyparis lawsoniana</i>	Lawson cypress	2
120	Swanston Street	S34	<i>Eucalyptus globulus</i>	Tasmanian blue gum	1
29	Tower Road (front garden)	T1	<i>Phoenix dactylifera</i>	Date palm	1
36	View St	V1	<i>Fagus sylvatica</i> 'Purpurea'	copper beech	1
4	Weld Street	W1	<i>Cupressus species</i>	Cypress species	1
4	Weld Street	W2	<i>Sophora microphylla</i>	Kowhai	1
	Wentworth Street, (road reserve adjacent to 98 Wentworth Street)	W4	<i>Eucalyptus globulus</i>	Tasmanian Blue Gum	1
40	Waterworks Road	W6	<i>Eucalyptus globulus</i>	Tasmanian Blue Gum	1
46	Waterworks Road	W7	<i>Eucalyptus globulus</i>	Tasmanian Blue Gum	1
26	Willowdene Avenue	W8	<i>Salix babylonica</i>	Weeping Willow	1
168	Warwick Street	W9	<i>Pyrus communis</i>	Pear tree	1
224	Warwick Street	W10	<i>Pyrus communis</i>	Pear tree	1
58	Wentworth Street	W11	<i>Ulmus minor</i> 'Variegata'	Silver elm	1
	Woodcutters Drive (Tolmans Hill park)	W12	<i>Eucalyptus globulus</i>	Tasmanian blue gum	1
17	Woodcutters Road	W13	<i>Eucalyptus globulus</i>	Tasmanian blue gum	1

Reference: A1

Address 20 Adelaide St
South Hobart

Name of Tree/s *Cupressus torulosa* (Bhutan cypress)



Reasons for Significance**CATEGORY 1 TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.**

Reasons:

- The tree has good form and structure.
- The tree is a landmark in the street.

CATEGORY 5 TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

Reasons:

- The tree forms a significant component of the streetscape.

CATEGORY 6 TREES THAT HAVE LOCAL SIGNIFICANCE

Reasons:

- The tree forms a significant component of the streetscape.
-



Reference: A2

Address	20 Adelaide St South Hobart
Name of Tree/s	<i>Cupressus torulosa</i> (Bhutan cypress) group 21 Trees



Reasons for significance**CATEGORY 1 TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.**

Reasons:

- The hedge forms a significant component of the streetscape.

CATEGORY 5 TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

Reasons:

- The tree forms a significant component of the streetscape.

CATEGORY 6 TREES THAT HAVE LOCAL SIGNIFICANCE.

Reasons:

- The tree forms a significant component of the streetscape.
-



Reference: A3

Address	Albuera Street (road reserve adjacent to 96-120 Davey Street, near intersection with Byron Street) Sandy Bay	
Name of Tree/s	<i>Eucalyptus globulus</i> (Tasmanian blue gum) 4 Trees	HCC Asset nos. AL45130001, AL45130002, AL45130003, AL45130004

(4 *Eucalyptus globulus*)

Reasons for significance	CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE. <ul style="list-style-type: none"> Reasons: the trees, as a group, are a significant feature of the entrance to Albuera Street, and have local streetscape significance. They have a link to older, larger blue gums that were removed from the military compound.
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Reference: A4	
Address	23 Albuera Street Battery Point
Name of Tree/s	<i>Quercus robur</i> (english oak) 3 trees



(Trees located alongside the driveway of 23 Albuera Street)



(Tree located at top of driveway of 23 Albuera Street)

Reasons for Significance**CATEGORY 3. TREES THAT ARE VERY OLD OR VENERABLE.**


- Reasons: the trees are of an old age – approximately 100 years.

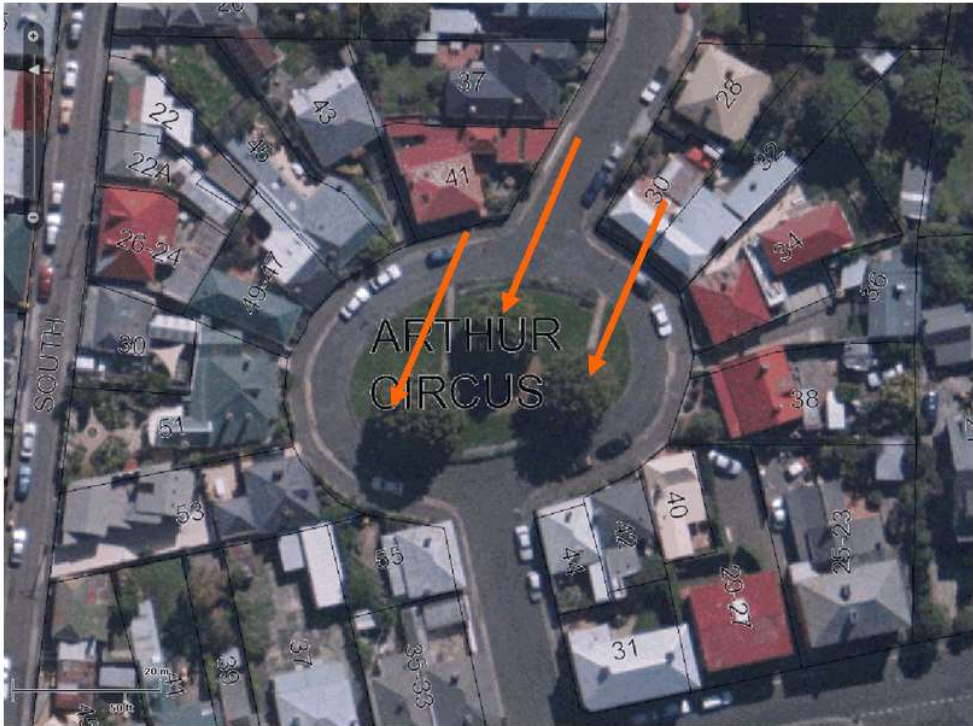
CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- Reasons: the trees are very significant to their local setting, as they are associated with the old school site and reflect the historical pattern of development. They are of significant size and aesthetic quality.
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Reference: A5

Address	Arthur Circus, Runnymede Street Battery Point
Name of Tree/s	<i>Aesculus hippocastanum</i> (horse chestnut) 3 trees
	
Assessment Group Comments	<ul style="list-style-type: none"> The trees have a beautiful form and are a significant component of the streetscape. The trees sit comfortably with the character of Battery Point. <p>(note: one of the mature trees died in 2019 and has been replaced with the same species)</p>
Reasons for Significance	<p>CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.</p> <ul style="list-style-type: none"> Reasons: The trees make a very important aesthetic contribution to this part of Battery Point. <p>CATEGORY 5. TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.</p> <ul style="list-style-type: none"> Reasons: the trees are a significant component of Arthur Circus, which is in itself a significant part of Battery Point. <p>CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.</p> <ul style="list-style-type: none"> Reasons: the trees are on a publicly accessible area, which means locals can interact with them on a personal basis. Their removal would have a marked effect on the local community.



Reference: A6

Address	Aberdeen Street (adjacent to the Aquatic Centre and University Rose Gardens), Glebe
Name of Tree/s	<i>Quercus robur</i> – English oak (12 trees)

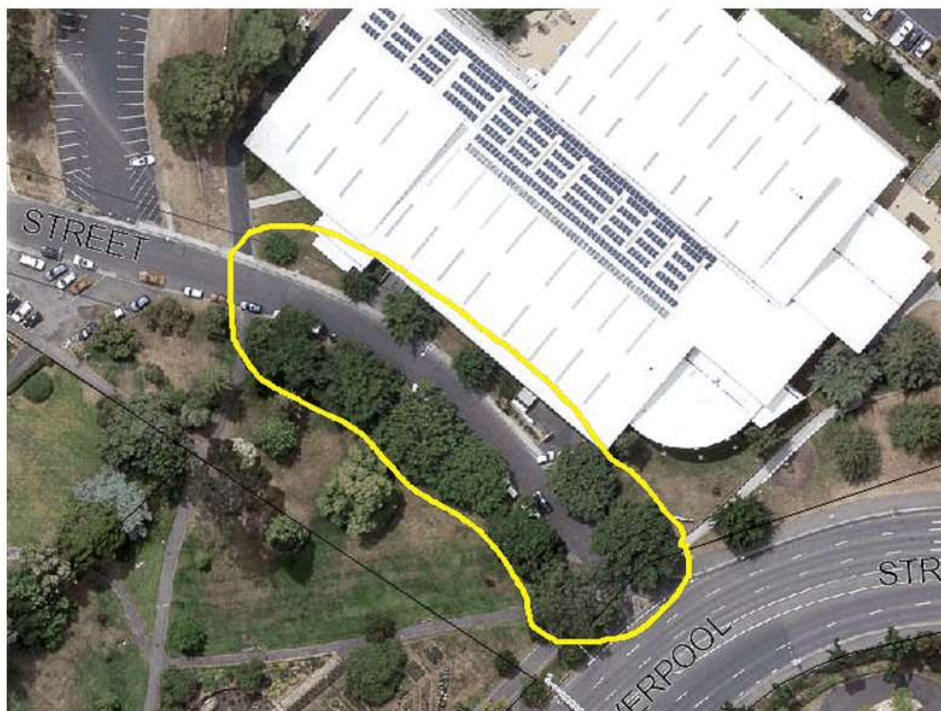


Reasons for significance	<p>The avenue of trees are a significant component of the streetscape, and it includes some very old individuals. The 4 replanted individuals, while not as old and large, complete the avenue. The trees are considered to meet the following assessment criteria:</p> <p>CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.</p> <ul style="list-style-type: none">• The trees form an avenue that is of significant aesthetic value to the streetscape. <p>CATEGORY 3. TREES THAT ARE VERY OLD OR VENERABLE.</p> <ul style="list-style-type: none">• The 8 original trees are very old – approximately 120 years. <p>CATEGORY 5. TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.</p> <ul style="list-style-type: none">• As a historic avenue of trees, these oaks have significance to this part of Hobart, and
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occupy an important public location between the University Rose Gardens and the Doone Kennedy Hobart Aquatic Centre.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE

- These trees are locally identifiable landmarks.
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Reference: A7

Address

Allison Street median strip, West Hobart

Name of Tree/s*Fraxinus angustifolia* subsp. *Oxycarpa* 'Raywood' – Claret ash (5 trees)



Reasons for significance**CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.**

- This group of trees forms an attractive row, particularly due to their striking seasonal colour changes.
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CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- These trees are a significant element in the streetscape, and are well-known by locals.
Their loss would be significant to many residents.
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Reference: A8

Address	Nature Strip adjacent to 23 Auvergne Avenue (Alt-Na-Craig frontage), Mount Stuart
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Name of Tree/s	<i>Eucalyptus viminalis</i> – White Gum (2 trees)
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Reasons for significance**CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.**

- The trees are of a good form and are aesthetically pleasing, particularly as they are a pair.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- The trees occupy a prominent location at the crest of a hill, and the streetscape would be significantly diminished if they were to be removed.
-



Reference: A9

Address	2 Amanda Crescent, Sandy Bay
Name of Tree/s	<i>Eucalyptus viminalis</i> – white gum



Reasons for significance**CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.**

- The tree has very high aesthetic value due to its form and canopy.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- The tree is a significant visual component of the streetscape, and would be a highly recognisable feature for locals.
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Reference: B2

Address	Runnymede 61 Bay Rd New Town
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Name of Tree/s	<i>Araucaria heterophylla</i> (Norfolk Island Pine)
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Owners of the Land	National Trust of Australia (Tas)
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Reasons for significance**CATEGORY 3 TREES THAT ARE VERY OLD OR VENERABLE.**

Reasons:

- The tree is 150 years old.

CATEGORY 4 TREES THAT COMMEMORATE, OR ARE REMINDERS OF, CULTURAL PRACTICES, HISTORIC EVENTS OR FAMOUS PEOPLE.

Reasons:

- The tree was planted in 1857 by Anna Maria Nixon. Copies of correspondence show that Anna Maria Nixon wrote to the Royal Society seeking shrubs and trees suitable for planting at Runnymede, and this tree is one of the Norfolk Island Pines which was recommended by the Royal Society.

CATEGORY 5 TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

Reasons:

- The tree is a significant component of the garden.

CATEGORY 6 TREES THAT HAVE LOCAL SIGNIFICANCE.

- The tree is a significant component of the local landscape.



Reference: B3

Address Runnymede
61 Bay Rd
New Town

Name of Tree/s *Corynocarpus laevigatus* (Karaka or New Zealand Laurel)



Reasons for Significance**CATEGORY 3 TREES THAT ARE VERY OLD OR VENERABLE.**

Reasons:

- The tree is 150 years old.

CATEGORY 4 TREES THAT COMMEMORATE, OR ARE REMINDERS OF, CULTURAL PRACTICES, HISTORIC EVENTS OR FAMOUS PEOPLE.

Reasons:

- The tree forms a significant component of the garden.

CATEGORY 5 TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

Reasons:

- The tree forms a significant component of the garden.
-



Reference: B4

Address Runnymede
61 Bay Rd
New Town

Name of Tree/s *Juglans regia* (English Walnut)



Reasons for Significance**CATEGORY 3 TREES THAT ARE VERY OLD OR VENERABLE.****Reasons:**

- The tree is 120 years old.

CATEGORY 4 TREES THAT COMMEMORATE, OR ARE REMINDERS OF, CULTURAL PRACTICES, HISTORIC EVENTS OR FAMOUS PEOPLE.**Reasons:**

- The tree is significant because it is thought to have been planted by Captain Charles Bayley or his brother Captain James Bayley in around 1875. They occupied Runnymede between 1862 and 1894. In this time Runnymede was a thriving and productive estate in a semi-rural setting.

CATEGORY 5 TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.**Reasons:**

- The tree forms a significant component of the garden.
-



Reference: B5

Address Runnymede
61 Bay Rd
New Town

Name of Tree/s *Photinia serrulata* (Chinese Hawthorn)



Reasons for Significance**CATEGORY 3 TREES THAT ARE VERY OLD OR VENERABLE.**

Reasons:

- The tree is 130 years old.

CATEGORY 4 TREES THAT COMMEMORATE, OR ARE REMINDERS OF, CULTURAL PRACTICES, HISTORIC EVENTS OR FAMOUS PEOPLE.

Reasons:

- It is thought to have been planted by Captain Charles Bayley or his brother Captain James Bayley in around 1875. They occupied Runnymede between 1862 and 1894. In this time Runnymede was a thriving and productive estate in a semi-rural setting.

CATEGORY 5 TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

Reasons:

- The tree forms a significant component of the garden.
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Reference: B6

Address	71 Brooker Avenue, Domain house site (adjacent to Edward Street)
Name of Tree/s	<i>Quercus robur</i> (English Oaks) 2 Trees



Reasons for Significance	<p>CATEGORY 5 TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.</p> <p>Reasons:</p> <ul style="list-style-type: none">▪ The tree has significance as part of this historic site. <p>CATEGORY 6 TREES THAT HAVE LOCAL SIGNIFICANCE.</p> <p>Reasons:</p> <ul style="list-style-type: none">▪ The tree significantly contributes to the local landscape.
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Reference: B7	
Address	71 Brooker Avenue, Domain House Site (Edwards Street and Brooker Highway)
Name of Tree/s	<i>Abies numidica</i> (Algerian Fir)
	

Reasons for Significance**CATEGORY 2 TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.**

Reasons:

- The tree is significant because it has outstanding height for the species.
- The tree is significant as it is listed by Gordon Paul in 'Hobart Domain Educational Site Conservation Study – Arboricultural Study', 1993, Volume 3 for its 'size'.

CATEGORY 3 TREES THAT ARE VERY OLD OR VENERABLE.

Reasons:

- The tree is significant as it is listed by Gordon Paul in 'Hobart Domain Educational Site Conservation Study – Arboricultural Study', 1993, Volume 3 as for its 'age'.

CATEGORY 5 TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

Reasons:

- The tree has significance as part of the historic site.
- The tree is significant as it is listed by Gordon Paul in 'Hobart Domain Educational Site Conservation Study – arboricultural Study', 1993, Volume 3 as a 'feature'.

CATEGORY 6 TREES THAT HAVE LOCAL SIGNIFICANCE.

Reasons:

- The tree significantly contributes to the local landscape.

CATEGORY 7 TREES OF A SPECIES OR VARIETY THAT IS RARE OR OF VERY LOCALISED DISTRIBUTION

Reasons:

- The tree is significant as it is a rare species in Tasmania.
 - The tree is significant as it is listed by Gordon Paul in 'Hobart Domain Educational Site Conservation Study – arboricultural Study', 1993, Volume 3 as it is 'infrequent'.
-



Reference: B8

Address	71 Brooker Avenue Domain House Site near Graphics Building
Name of Tree/s	<i>Quercus robur</i> (English Oak)

**Reasons for Significance****CATEGORY 1 TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.****Reasons:**

- The tree is significant as it is a good example of form and structure for this species.

CATEGORY 2 TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.**Reasons:**

- The tree is significant as it has an outstanding canopy spread.
- The tree is significant as it is listed by Gordon Paul in 'Hobart Domain Educational Site Conservation Study – arboricultural Study', 1993, Volume 3 for its 'size'.

CATEGORY 3 TREES THAT ARE VERY OLD OR VENERABLE.**Reasons:**

- The tree is approximately 100 years old.

CATEGORY 5 TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.**Reasons:**

- The tree has significance as part of the historic site.
- The tree is significant as it is listed by Gordon Paul in 'Hobart Domain Educational Site Conservation Study – arboricultural Study', 1993, Volume 3 as a 'feature'.

CATEGORY 6 TREES THAT HAVE LOCAL SIGNIFICANCE.**Reasons:**

- The tree significantly contributes to the local landscape.



Reference: B9

Address	71 Brooker Avenue, Domain House Site, (Southern boundary of the site)
Name of Tree/s	Cedrus deodara (<i>Deodar Cedar</i>)

**Reasons for Significance****CATEGORY 1 TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.**

Reasons:

- The tree is significant as part of a row which forms a significant aesthetic component of the garden.

CATEGORY 3 TREES THAT ARE VERY OLD OR VENERABLE.

Reasons:

- The tree is significant as it is listed by Gordon Paul in 'Hobart Domain Educational Site Conservation Study – Arboricultural Study', 1993, Volume 3 for its 'age'.
-

CATEGORY 5 TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

Reasons:

- The tree is a significant part of the historic site.
- The tree is significant as it is listed by Gordon Paul in 'Hobart Domain Educational Site Conservation Study – Arboricultural Study', 1993, Volume 3 as a 'feature'.

CATEGORY 6 TREES THAT HAVE LOCAL SIGNIFICANCE.

Reasons:

- The tree is a significant component of the local landscape.



Reference: B10

Address	71 Brooker Avenue, Domain House Site (southern boundary of site)
Name of Tree/s	<i>Cedrus atlantica</i> 'Glauca' (Atlas Blue Cedar)

**Reasons for significance****CATEGORY 1 TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.**

Reasons:

- The tree is significant as part of a row which forms a significant aesthetic component of the garden.

CATEGORY 2 TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.

Reasons:

- The tree is significant as it is listed by Gordon Paul in 'Hobart Domain Educational Site Conservation Study – Arboricultural Study', 1993, Volume 3 for its 'size'.

CATEGORY 3 TREES THAT ARE VERY OLD OR VENERABLE.

Reasons:

- The tree is significant as it is listed by Gordon Paul in 'Hobart Domain Educational Site Conservation Study – Arboricultural Study', 1993, Volume 3 for its 'age'.

CATEGORY 5 TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

Reasons:

- The tree is a significant component of a Historic site.
- The tree is significant as it is listed by Gordon Paul in 'Hobart Domain Educational Site Conservation Study – Arboricultural Study', 1993, Volume 3 as a 'feature'.

CATEGORY 6 TREES THAT HAVE LOCAL SIGNIFICANCE.

Reasons:

- The tree is a significant component of the local landscape.



Reference: B11

Address	71 Brooker Avenue, Domain House site (southern boundary of site)
Name of Tree/s	<i>Araucaria bidwillii</i> (Bunya Pine)

**Reasons for Significance****CATEGORY 1 TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.**

Reasons:

- The tree is significant as part of a row which forms a significant aesthetic component of the garden.

CATEGORY 2 TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.

- The tree is significant as it is listed by Gordon Paul in 'Hobart Domain Educational Site Conservation Study – Arboricultural Study', 1993, Volume 3 for its 'size'.

CATEGORY 5 TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

Reasons:

- The tree is a significant component of the historic site.
- The tree is significant as it is listed by Gordon Paul in 'Hobart Domain Educational Site Conservation Study – Arboricultural Study', 1993, Volume 3 as a 'feature'.

CATEGORY 6 TREES THAT HAVE LOCAL SIGNIFICANCE.

Reasons:

- The tree is a significant component of the local landscape.

CATEGORY 9 TREES THAT ARE SIGNIFICANT FOR REASONS THAT ARE DIFFICULT TO CATEGORISE.

Reasons:

- The tree is significant because of its peculiar and distinct shape.



Reference: B12

Address	71 Brooker Avenue Domain House Site on southern boundary of the site
Name of Tree/s	<i>Abies pinsapo</i> (Spanish Fir)

**Reasons for Significance****CATEGORY 1 TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.**

Reasons:

- The tree is significant as part of a row which forms a significant aesthetic component of the garden.

CATEGORY 2 TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.

- The tree is significant as it is listed by Gordon Paul in 'Hobart Domain Educational Site Conservation Study – Arboricultural Study', 1993, Volume 3 for its 'size'.

CATEGORY 3 TREES THAT ARE VERY OLD OR VENERABLE.

- The tree is significant as it is listed by Gordon Paul in 'Hobart Domain Educational Site Conservation Study – Arboricultural Study', 1993, Volume 3 for its 'age'.

CATEGORY 5 TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

Reasons:

- The tree is a significant component of the historic site.
- The tree is significant as it is listed by Gordon Paul in 'Hobart Domain Educational Site Conservation Study – Arboricultural Study', 1993, Volume 3 as a 'feature'.

CATEGORY 6 TREES THAT HAVE LOCAL SIGNIFICANCE.

Reasons:

- The tree is a significant component of the local landscape

CATEGORY 7 TREES OF A SPECIES OR VARIETY THAT IS RARE OR OF VERY LOCALISED DISTRIBUTION.

Reasons:

- The tree is significant as it is a rare species in Hobart.
- The tree is significant as it is listed by Gordon Paul in 'Hobart Domain Educational Site Conservation Study – Arboricultural Study', 1993, Volume 3 as it is 'infrequent'.



Reference: B13

Address	71 Brooker Avenue, Domain House site (southern boundary of site)
Name of Tree/s	<i>Aesculus hippocastanum</i> (Horse Chestnut)

**Reasons for Significance****CATEGORY 1 TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE**

- The tree is significant as part of a row which forms a significant aesthetic component of the garden, despite not being a good specimen individually.

CATEGORY 5 TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.**Reasons:**

- The tree is a significant component of the historic site.

CATEGORY 6 TREES THAT HAVE LOCAL SIGNIFICANCE.**Reasons:**

- The tree is a significant component of the local landscape.
-



Reference: B14	
Address	71 Brooker Avenue, Domain House Site (southern boundary of site)
Name of Tree/s	<i>Abies numidica</i> (Algerian Fir)
	

Reasons for Significance**CATEGORY 2 TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.****Reasons:**

- The tree is significant because it has outstanding height for the species.
- The tree is significant as it is listed by Gordon Paul in 'Hobart Domain Educational Site Conservation Study – Arboricultural Study', 1993, Volume 3 for its 'size'.

CATEGORY 3 TREES THAT ARE VERY OLD OR VENERABLE.**Reasons:**

- The tree is significant as it is listed by Gordon Paul in 'Hobart Domain Educational Site Conservation Study – Arboricultural Study', 1993, Volume 3 as for its 'age'.

CATEGORY 5 TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.**Reasons:**

- The tree has significance as part of the historic site.
- The tree is significant as it is listed by Gordon Paul in 'Hobart Domain Educational Site Conservation Study – arboricultural Study', 1993, Volume 3 as a 'feature'.

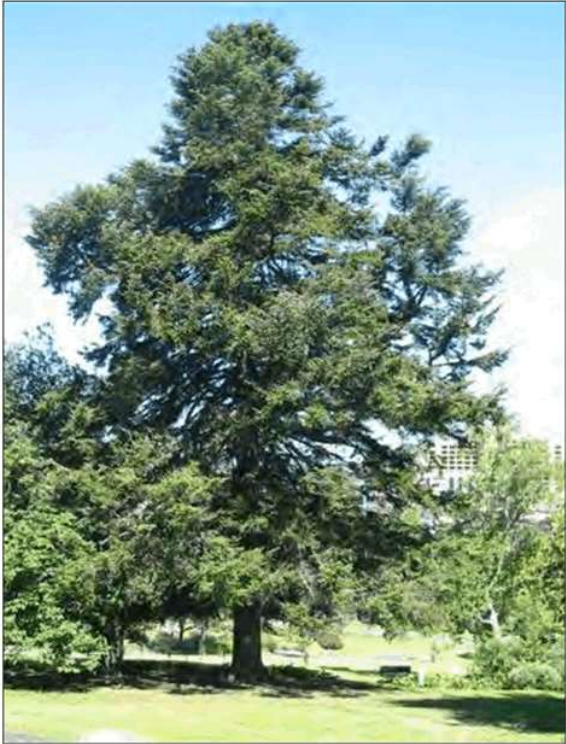
CATEGORY 6 TREES THAT HAVE LOCAL SIGNIFICANCE.**Reasons:**

- The tree significantly contributes to the local landscape.

CATEGORY 7 TREES OF A SPECIES OR VARIETY THAT IS RARE OR OF VERY LOCALISED DISTRIBUTION**Reasons:**

- The tree is significant as it is a rare species in Tasmania.
 - The tree is significant as it is listed by Gordon Paul in 'Hobart Domain Educational Site Conservation Study – arboricultural Study', 1993, Volume 3 as it is 'infrequent'.
-



Reference: B15	
Address	71 Brooker Avenue, Domain house site (southern boundary of the site)
Name of Tree/s	<i>Abies pinsapo</i> var <i>Glauca</i> (Blue Spanish Fir)
	

Reasons for Significance**CATEGORY 1 TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.**

Reasons:

- The tree is significant as part of a row which forms a significant aesthetic component of the garden.

CATEGORY 2 TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.

Reasons:

- The tree is significant as it is listed by Gordon Paul in 'Hobart Domain Educational Site Conservation Study – arboricultural Study', 1993, Volume 3 for its 'size'.

CATEGORY 3 TREES THAT ARE VERY OLD OR VENERABLE.

Reasons:

- The tree is significant as it is listed by Gordon Paul in 'Hobart Domain Educational Site Conservation Study – arboricultural Study', 1993, Volume 3 for its 'age'.

CATEGORY 5 TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

Reasons:

- The tree is a significant component of the historic site.
- The tree is significant as it is listed by Gordon Paul in 'Hobart Domain Educational Site Conservation Study – arboricultural Study', 1993, Volume 3 as a 'feature'.

CATEGORY 6 TREES THAT HAVE LOCAL SIGNIFICANCE.

Reasons:

- The tree is a significant component of the local landscape.

CATEGORY 7 TREES OF A SPECIES OR VARIETY THAT IS RARE OR OF VERY LOCALISED DISTRIBUTION.

Reasons:

- The tree is significant as it is a rare species.
 - The tree is significant as it is listed by Gordon Paul in 'Hobart Domain Educational Site Conservation Study – arboricultural Study', 1993, Volume 3 as it is 'infrequent'.
-



Reference: B16

Address 71 Brooker Avenue, Domain House Site (southern boundary of the site)

Name of Tree/s *Laurus nobilis* (Bay Laurel)



Reasons for Significance**CATEGORY 1 TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.**

Reasons:

- The tree is significant as part of a row which forms a significant aesthetic component of the garden.

CATEGORY 2 TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.

- The tree is significant as it is very large for its species.

CATEGORY 5 TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

Reasons:

- The tree is a significant component of the historic site.

CATEGORY 6 TREES THAT HAVE LOCAL SIGNIFICANCE.

Reasons:

- The tree is a significant component of the local landscape.
-



Reference: B17

Address	71 Brooker Avenue Domain House Site on southern boundary of the site
Name of Tree/s	<i>Cedrus atlantica</i> 'Glauca' (Atlas Blue Cedar)



Reasons for Significance**CATEGORY 3 TREES THAT ARE VERY OLD OR VENERABLE.**

Reasons:

- The tree is significant as it is listed by Gordon Paul in 'Hobart Domain Educational Site Conservation Study – arboricultural Study', 1993, Volume 3 for its 'age'.

CATEGORY 5 TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

Reasons:

- The tree is a significant component of the historic site.

CATEGORY 6 TREES THAT HAVE LOCAL SIGNIFICANCE.

Reasons:

- The tree is a significant component of the local landscape.
-



Reference: B18	
Address	71 Brooker Avenue, Domain House Site, Aberdeen Street
Name of Tree/s	<i>Pinus wallichiana</i> (Bhutan Pine)



Reasons for Significance**CATEGORY 2 TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.****Reasons:**

- The tree is significant for its size. It is listed by Gordon Paul in 'Hobart domain Educational Site Conservation Study – Arboricultural Survey and Study', 1993, Volume 3, for its 'size'.

CATEGORY 3 TREES THAT ARE VERY OLD OR VENERABLE.**Reasons:**

- The tree is significant as it is listed by Gordon Paul in 'Hobart domain Educational Site Conservation Study – Arboricultural Survey and Study', 1993, Volume 3, for its 'age'.

CATEGORY 5 TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.**Reasons:**

- The tree has significance as part of the Historic site.

CATEGORY 6 TREES THAT HAVE LOCAL SIGNIFICANCE.**Reasons:**

- The tree significantly contributes to the local landscape.

CATEGORY 7 TREES OF A SPECIES OR VARIETY THAT IS RARE OR OF VERY LOCALISED DISTRIBUTION.**Reasons:**

- The tree is significant as it is listed by Gordon Paul in 'Hobart domain Educational Site Conservation Study – Arboricultural Survey and Study', 1993, Volume 3, as it is 'rare'.
-



Reference: B19

Address 71 Brooker Avenue, Domain House site, Aberdeen Street

Name of Tree/s *Araucaria columellaris* (Cook Pine)

**Reasons for significance**

CATEGORY 5 TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

Reasons:

- The tree has significance as part of a Historic site.

CATEGORY 6 TREES THAT HAVE LOCAL SIGNIFICANCE.

Reasons:

- The tree significantly contributes to the local landscape.

CATEGORY 7 TREES OF A SPECIES OR VARIETY THAT IS RARE OR OF VERY LOCALISED DISTRIBUTION.

Reasons:

- The tree is significant as it is a rare species in Hobart. There are no other known examples in Hobart.
 - The tree is significant as it is listed by Gordon Paul in 'Hobart domain Educational Site Conservation Study – Arboricultural Survey and Study', 1993, Volume 3, as it is 'infrequent'
-



Reference: B20

Address

71 Brooker Avenue, Domain House Site, Aberdeen Street

Name of Tree/s

Casuarina obesa (Swamp Oak)

Reasons for Significance

CATEGORY 5 TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

Reasons:


- The tree has significance as part of this historic site.

CATEGORY 6 TREES THAT HAVE LOCAL SIGNIFICANCE.

Reasons:

- The tree significantly contributes to the local landscape.



Reference:B21	
Address	71 Brooker Avenue, Domain House Site, Aberdeen Street
Name of Tree/s	<i>Casuarina obesa</i> (Swamp Oak)
	
Reasons for Significance	<p>CATEGORY 5 TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.</p> <p>Reasons:</p> <ul style="list-style-type: none">▪ The tree has significance as part of this historic site.



Reference: B22

Address	71 Brooker Avenue, Domain House Site, adjacent to tennis court
Name of Tree/s	<i>Thuja occidentalis</i> 'Pyramidalis compacta' White Cedar, 12 Trees



Reasons for significance	CATEGORY 5 TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN. Reasons: <ul style="list-style-type: none">▪ The tree is listed by Gordon Paul in the 'Hobart Domain Educational Site Conservation Study – Arboricultural Survey and Study', 1993, Volume 3 as a 'feature'.▪ Significant component of the Domain House landscape.
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Reference: B23	
Address	186 Bathurst Street (Corner of Barrack and Bathurst Streets) West Hobart
Name of Tree/s	<i>Schinus areira</i> (peppercorn tree)



Reasons for Significance

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

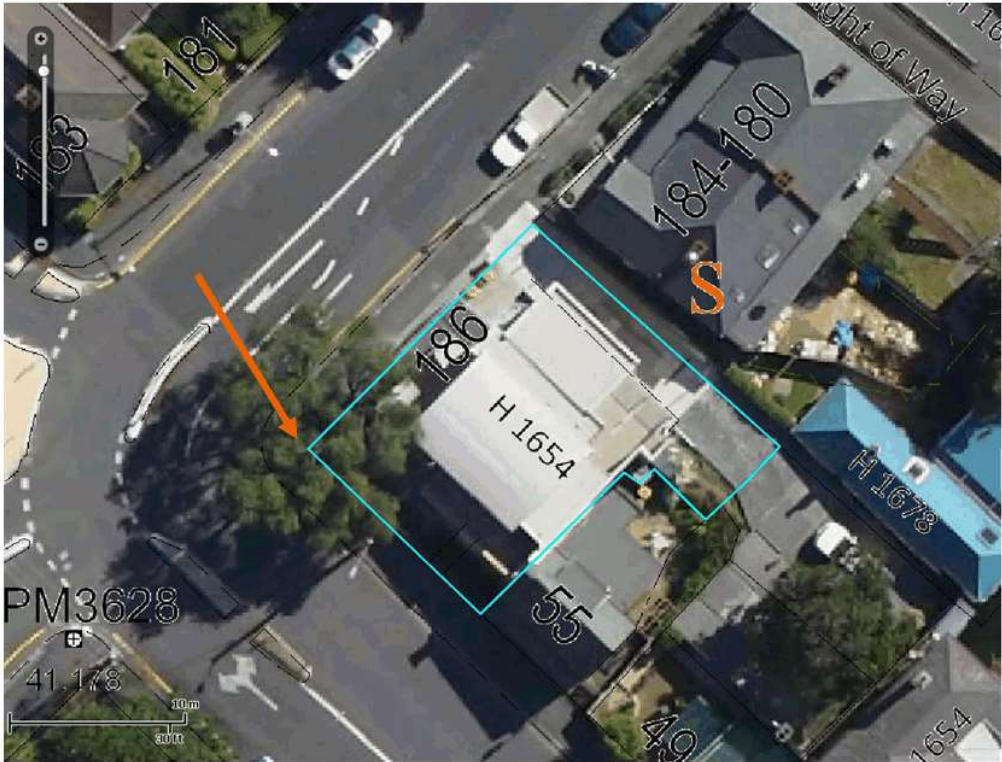
Reasons:

- The tree is a landmark and forms a significant component in the streetscape.

CATEGORY 9. TREES THAT ARE SIGNIFICANT FOR REASONS THAT ARE DIFFICULT TO CATEGORISE.

Reasons:

- The tree adds great character on the corner of Barrack and Bathurst Streets.
-



Reference: B24

Address	17 Beach Road (Long Beach Reserve), Sandy Bay
Name of Tree/s	<i>Eucalyptus globulus</i> – blue gum (13 trees)

**Reasons for significance****CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.**

- The trees as a group have an imposing and beautiful aesthetic value

CATEGORY 2. TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.

- Many of the trees are very tall, and some have a large trunk circumference and canopy spread.

CATEGORY 5. TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

- These trees are a significant part of the park, and are a visual reminder of the vegetation that would have existed in this location before it became a park.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- The trees are a strong element of a well-frequented public place and their loss would be detrimental to the local community.



Reference: B25	
Address	67 Brisbane Street
Name of Tree/s	<i>Cupressus torulosa</i> – Bhutan cypress



Reasons for significance	CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE. <ul style="list-style-type: none">This tree is a very strong component of the streetscape, particularly given its vertical, conical form, and its loss would be detrimental to the community.
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Reference: C1

Address No. 1, 9, 11, 13, 15 Cedar Court + 9 Mawhera Avenue

Name of Tree/s *Cupressus macrocarpa* (monterey cypress)

**Reasons for Significance****CATEGORY 2. TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.****Reasons:**

- The hedge is of a significant length and height..

CATEGORY 4. TREES THAT COMMEMORATE, OR ARE REMINDERS OF, CULTURAL PRACTICES, HISTORIC EVENTS OR FAMOUS PEOPLE.**Reasons:**

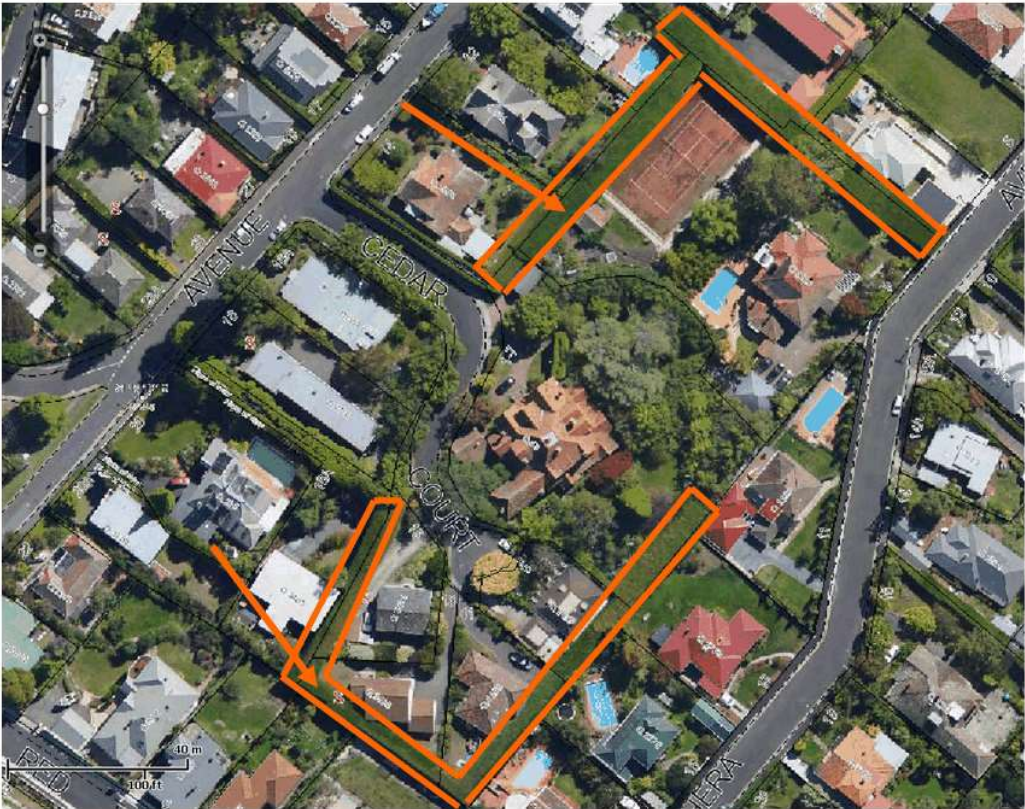
- The tree was planted by a significant person in the community. Cultural practice using this species of hedge as a boundary planting.

CATEGORY 5. TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.**Reasons:**

- The hedge is a significant component in the streetscape in which the loss of the hedge would significantly alter the character of Cedar Court.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.**Reasons:**

- The hedge has significance in the community especially for the residents of Cedar Court.
-



Reference: C2

Address	30 Cromwell Street (St Georges Anglican Church) Battery Point
Name of Tree/s	<i>Abies numidica</i> (algerian fir)

*(Abies numidica to the left)*

Assessment Group Comments	<ul style="list-style-type: none"> The trees add character and presence to the church, and frame the view of the church from the street. They have a very significant street presence. The horticultural botanist from the Royal Tasmanian Botanical Gardens has confirmed the species and noted that they are rare examples.
Reasons for Significance	<p>CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.</p> <ul style="list-style-type: none"> Reasons: the church itself is a culturally significant element of Battery Point, and the tree is an important aspect of the setting and façade of the church (even though it may not be a traditional planting for the architecture). <p>CATEGORY 7. TREES OF A SPECIES OR VARIETY THAT IS RARE OR OF VERY LOCALISED DISTRIBUTION.</p> <ul style="list-style-type: none"> Reasons: the tree is considered to be rare in cultivation in South East Australia.



Reference: C3

Address 30 Cromwell Street (St Georges Anglican Church)
Battery Point

Name of Tree/s *Abies pinsapo* (spanish fir)



(*Abies pinsapo* to the right)

Reasons for Significance **CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.**
• Reasons: the church itself is a culturally significant element of Battery Point, and the tree is an important aspect of the setting and façade of the church (even though it may not be a traditional planting for the architecture).

CATEGORY 7. TREES OF A SPECIES OR VARIETY THAT IS RARE OR OF VERY LOCALISED DISTRIBUTION.

• Reasons: the tree is considered to be rare in cultivation in South East Australia.



Reference: C4

Address	Chessington Court (centre of cul-de-sac), Sandy Bay
Name of Tree/s	<i>Eucalyptus globulus</i> – blue gum (2 trees)



Reasons for significance	CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE. <ul style="list-style-type: none">• These trees have a strong streetscape presence, and are an identifiable feature of the local community. They punctuate the end of the street strongly and occupy a prominent roundabout location near the crest of a hill.
Recommendation	That the trees be listed on the Significant Tree Register.



Reference: C5	
Address	2 Churchill Avenue (UTAS – opposite Union Building on Churchill Avenue), Sandy Bay
Name of Tree/s	<i>Eucalyptus globulus</i> – blue gum (6 trees)



Tree 1



Tree 2



Tree 3



Trees 4-6

Reasons for significance

CATEGORY 2. TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.

- Some of the trees, especially those near the bus stop, are particularly large.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- These trees have a strong presence in the streetscape, and also contribute significantly to creating a native setting to the university. Their loss would have a significant impact on the local area.
-



Reference: C6

Address	2 Churchill Avenue (UTAS – centre of campus), Sandy Bay
Name of Tree/s	<i>Eucalyptus globulus</i> – blue gum (3 trees) and <i>Eucalyptus pulchella</i> – white peppermint (2 trees)

**Reasons for significance****CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.**

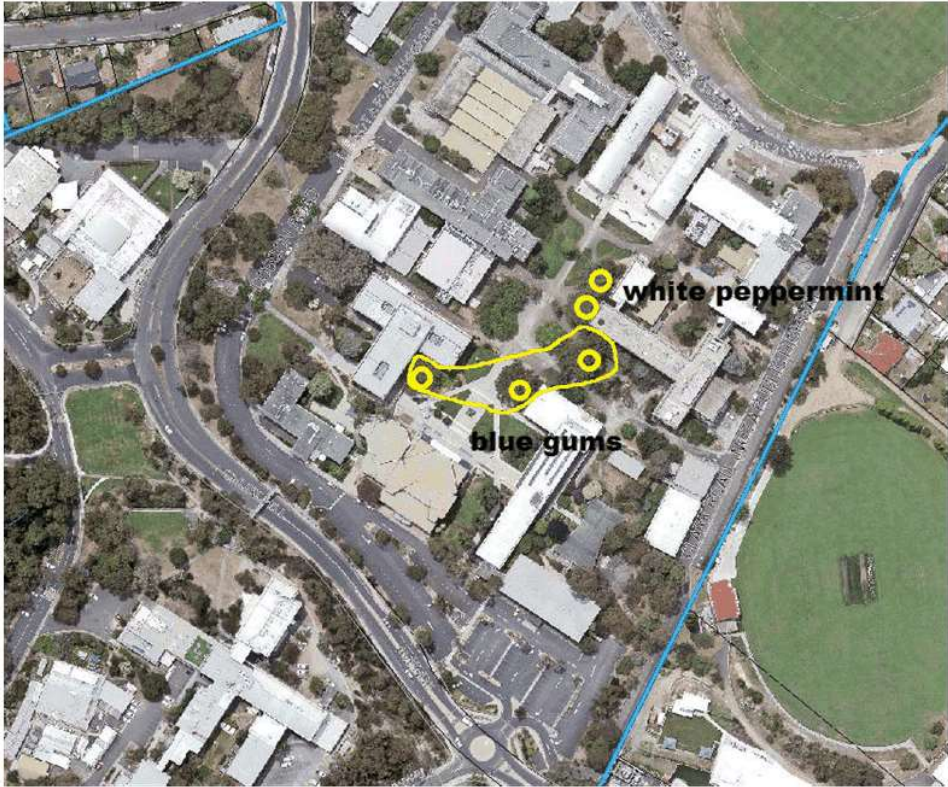
- These trees, particularly as a group, add a significant amount to the aesthetic qualities of the central campus.

CATEGORY 2. TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.

- Some of the trees are of a significant size.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- The trees are likely to be well recognised amongst students that have been through the university, and they contribute substantially to a sense of place.



Reference: C7	
Address	71 Nelson Road (Hutchins) and adjacent road reserve, Sandy Bay
Name of Tree/s	<i>Eucalyptus globulus</i> – Tasmanian blue gum (2 trees), <i>Eucalyptus viminalis</i> - white gum (1 tree)



Eucalyptus viminalis



Eucalyptus globulus

Eucalyptus globulus

Reasons for significance**CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.**

- This group, and these three trees in particular, have strong local presence and are reflective of the native vegetation that would have existed in this area previously. They are also good screening trees for the sport oval. Their loss would certainly be noticed within the community.
-



Reference: C8

Address

208-210 Collins Street, Hobart

Name of Tree/s*Eucalyptus melliodora* – yellow box (2 trees)



Reasons for significance**CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.**

- These trees have an attractive combined form, and provide much needed shade and greenery in this city-fringe location. They are particularly striking when they are in flower. Their loss would be to the significant detriment of the local streetscape.
-



Reference: C9

Address	4 Colville Street, Battery Point
Name of Tree/s	<i>Magnolia grandiflora</i> - magnolia



**Reasons for
significance****CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.**

- The tree is visually beautiful, and would be even more so when in flower.

CATEGORY 2. TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.

- The tree has outstanding canopy spread, as well as height for its species.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

The tree is a significant component of the streetscape and has a strong presence. It would be a strong seasonal marker for locals.



Reference: C10

Address	Corner Colville and St Georges Terrace, Battery Point
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Name of Tree/s	<i>Eucalyptus globulus</i> – Blue Gum (2 trees) CoH Asset no. AL47410004, AL47410005
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Reasons for significance	CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.
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- The trees are in a prominent location, and are a landmark in the streetscape. They are significant in the local area and likely assist with wayfinding.
-



Reference: C11	
Address	35 Congress Street, South Hobart
Name of Tree/s	<i>Corylus avellana</i> 'contorta' – twisted hazelnut



Reasons for significance

This tree has an interesting form, and does not appear to be a common species in Hobart. It is considered to meet the following assessment criteria:

CATEGORY 7. TREES OF A SPECIES OR VARIETY THAT IS RARE OR OF VERY LOCALISED DISTRIBUTION.

- This species is not common in Hobart.

CATEGORY 10. TREES THAT ARE SIGNIFICANT FOR REASONS THAT ARE DIFFICULT TO CATEGORISE.

- The twisted growing habit of this variety of tree is visually interesting.
-



Reference: D1

Address	96 – 120 Davey Street, Anglesea Barracks
Name of Tree/s	<i>Eucalyptus globulus</i> (Tasmanian Blue gum)



Reasons for significance	<p>CATEGORY 6 TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.</p> <p>CATEGORY 3. TREES THAT ARE VERY OLD OR VENERABLE.</p> <p>This tree can be seen in a photo from 1850 and is thought to be one of the oldest trees in Hobart.</p> <p>CATEGORY 7 TREE(S) THAT OCCUR(S) IN A UNIQUE LOCATION OR CONTEXT AND SO PROVIDE(S) A CONTRIBUTION TO THE LANDSCAPE</p>
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Reference:D2	
Address	96-120 Davey Street, Anglesea Barrack, (Linden Avenue)
Name of Tree/s	<i>Tilia x europaea</i> (European Linden)
	
Reasons for Significance	<p>CATEGORY1 TREE(S) OF OUTSTANDING AESTHETIC SIGNIFICANCE.</p> <p>CATEGORY 5 TREE(S) SIGNIFICANTLY ASSOCIATED WITH A WELL KNOWN PUBLIC FIGURE OR ETHNIC GROUP, INCLUDING PALTINGS BY ROYALTY AND TREES ASSOCIATED WITH ABORIGINAL ACTIVITIES.</p>



Reference: D3

Address	2 Davies Avenue, rear of Hobart Aquatic Centre, 'The Hollow'
Name of Tree/s	<i>Pinus ponderosa</i> (Ponderosa Pine)

**Reasons for Significance****CATEGORY 2 TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.****Reasons:**

- The tree is significant because it has outstanding height.

CATEGORY 5 TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.**Reasons:**

- The tree is significant as it is an important component of the domain landscape, which has a history of development dating back to the 1870s

CATEGORY 6 TREES THAT HAVE LOCAL SIGNIFICANCE.**Reasons:**

- The tree is significant as it is a highly visible landmark.

CATEGORY 7 TREES OF A SPECIES OR VARIETY THAT IS RARE OR OF VERY LOCALISED DISTRIBUTION.**Reasons:**

- The tree is significant as it is a rare species in Tasmania



Reference: D4

Address	2 Davies avenue, rear of Hobart Aquatic centre, 'The hollow'
Name of Tree/s	<i>Pinus sabiniana</i> (Digger Pine)



Reasons for Significance**CATEGORY 2 TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.**

Reasons:

- The tree is significant because it has outstanding height for the species.

CATEGORY 5 TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

Reasons:

- The tree is significant as it is an important component of the domain landscape, which has a history of development dating back to the 1870s.

CATEGORY 6 TREES THAT HAVE LOCAL SIGNIFICANCE.

Reasons:

- The tree is significant as it is a highly visible landmark.

CATEGORY 7 TREES OF A SPECIES OR VARIETY THAT IS RARE OR OF VERY LOCALISED DISTRIBUTION.

Reasons:

- The tree is significant as it is a rare species in Tasmania.
-



Reference: D5

Address	2 Davies Avenue, rear of the Hobart Aquatic Centre, 'The Hollow'
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Name of Tree/s	<i>Cedrus atlantica</i> (Atlas Cedar)
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**Reasons for
Significance****CATEGORY 5 TREES THAT ARE RECOGNISED AS A SIGNIFICANT
COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN,
PARK OR GARDEN.**

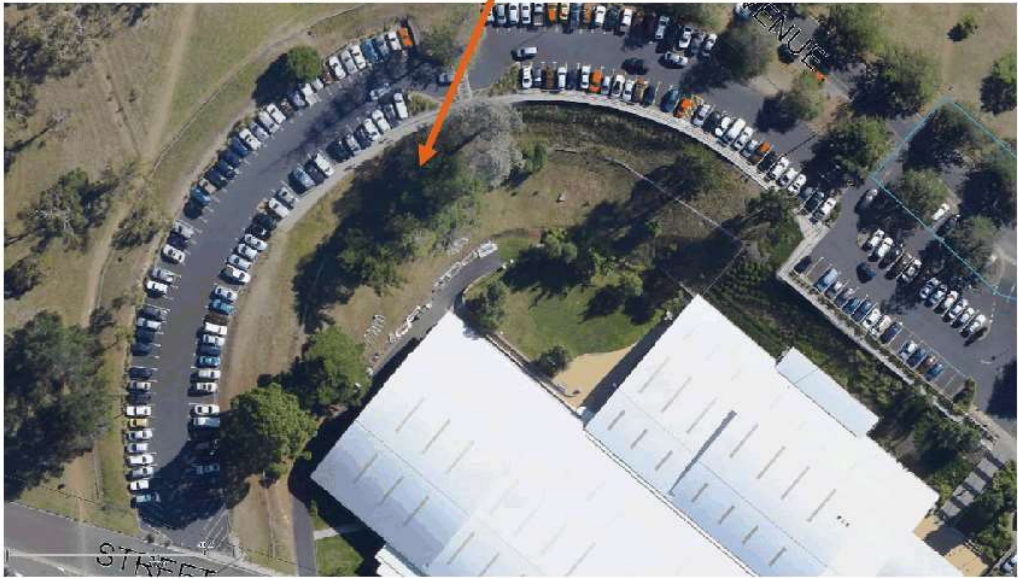
Reasons:

- The tree is significant as it is an important component of the domain landscape, which has a history of development dating back to the 1870s.

CATEGORY 6 TREES THAT HAVE LOCAL SIGNIFICANCE.

Reasons:

- The tree significantly contributes to the local landscape.
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Reference: D6

Address	2 Davies Avenue, rear of Hobart Aquatic Centre, 'The Hollow'
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Name of Tree/s	<i>Pinus wallichiana</i> (Bhutan Pine)
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**Reasons for
Significance****CATEGORY 5 TREES THAT ARE RECOGNISED AS A SIGNIFICANT
COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN,
PARK OR GARDEN.****Reasons:**

- The tree contributes to the diversity of a significant group of conifers in 'The Hollow'. The tree is significant as it is an important component of the domain landscape, which has a history of development dating back to the 1870s

CATEGORY 6 TREES THAT HAVE LOCAL SIGNIFICANCE.**Reasons:**

- The tree significantly contributes to the local landscape.
-



Reference: D7

Address	2 Davies Avenue, rear of Hobart Aquatic Centre, 'The Hollow'
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Name of Tree/s	<i>Pinus nigra var. maritima</i> (Corsican Pine)
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**Reasons for
Significance****CATEGORY 5 TREES THAT ARE RECOGNISED AS A SIGNIFICANT
COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN,
PARK OR GARDEN.****Reasons:**

- The tree contributes to the diversity of a significant group of conifers in 'The Hollow'. The tree is significant as it is an important component of the domain landscape, which has a history of development dating back to the 1870's.

CATEGORY 6 TREES THAT HAVE LOCAL SIGNIFICANCE.**Reasons:**

- The tree significantly contributes to the local landscape.
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Reference: D8

Address	2 Davies Avenue, rear of Hobart Aquatic Centre, 'The Hollow'
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Name of Tree/s	<i>Cedrus atlantica</i> (Atlas Cedar)
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**Reasons for
Significance****CATEGORY 5 TREES THAT ARE RECOGNISED AS A SIGNIFICANT
COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN,
PARK OR GARDEN.****Reasons:**

- The tree contributes to the diversity of a significant group of conifers in 'The Hollow'. The tree is significant as it is an important component of the domain landscape, which has a history of development dating back to the 1870s.

CATEGORY 6 TREES THAT HAVE LOCAL SIGNIFICANCE.**Reasons:**

- The tree significantly contributes to the local landscape.
-



Reference: D9

Address	2 Davies Avenue, rear of Hobart Aquatic Centre, 'The Hollow'
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Name of Tree/s	<i>Pinus canariensis</i> (Canary Island Pine)
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**Reasons for Significance****CATEGORY 1 TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.**

Reasons:

- The tree is significant as it has excellent form.

CATEGORY 5 TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

Reasons:

- The tree contributes to the diversity of a significant group of conifers in 'The Hollow'. The tree is significant as it is an important component of the domain landscape which has a history of development dating back to the 1870s.

CATEGORY 6 TREES THAT HAVE LOCAL SIGNIFICANCE.

Reasons:

- The tree significantly contributes to the local landscape.



Reference: D10

Address	2 Davies Avenue, rear of Hobart Aquatic Centre, 'The Hollow'
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Name of Tree/s	<i>Cedrus atlantica</i> (Atlas Cedar)
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**Reasons for
Significance****CATEGORY 5 TREES THAT ARE RECOGNISED AS A SIGNIFICANT
COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN,
PARK OR GARDEN.****Reasons:**

- The tree contributes to the diversity of a significant group of conifers in the hollow. The tree is significant as it is an important component of the domain landscape, which has a history of development dating back to the 1870s.

CATEGORY 6 TREES THAT HAVE LOCAL SIGNIFICANCE.**Reasons:**

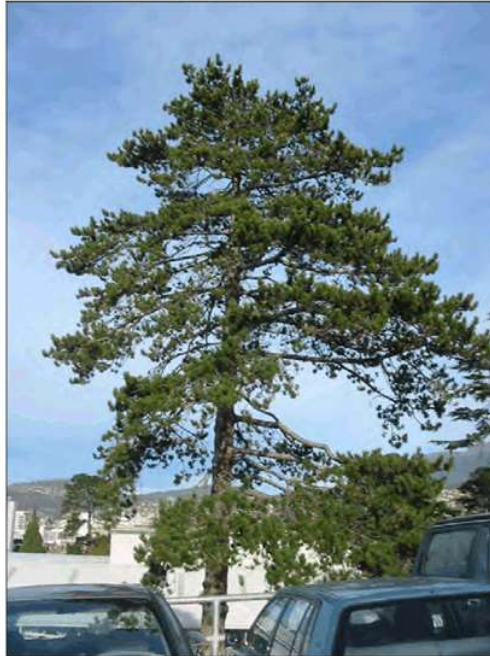
- The tree significantly contributes to the local landscape.
-



Reference: D11

Address	2 Davies Avenue, rear of Hobart Aquatic Centre, 'The Hollow'
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Name of Tree/s	<i>Pinus nigra</i> var. <i>maritima</i> (Corsican Pine)
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**Reasons for
Significance****CATEGORY 5 TREES THAT ARE RECOGNISED AS A SIGNIFICANT
COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN,
PARK OR GARDEN.****Reasons:**

- The tree contributes to the diversity of a significant group of conifers in 'The Hollow'. The tree is significant as it is an important component of the domain landscape, which has a history of development dating back to the 1870s.

CATEGORY 6 TREES THAT HAVE LOCAL SIGNIFICANCE.**Reasons:**

- The tree significantly contributes to the local landscape.
-



Reference: D12

Address 2 Davies Avenue, rear of Hobart Aquatic Centre, 'The Hollow'

Name of Tree/s *Pinus attenuata* (Knobcone Pine)



**Reasons for
Significance****CATEGORY 5 TREES THAT ARE RECOGNISED AS A SIGNIFICANT
COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN,
PARK OR GARDEN.****Reasons:**

- The tree contributes to the diversity of a significant group of conifers in 'The Hollow'. The tree is significant as it is an important component of the domain landscape, which has a history of development dating back to the 1870s.

CATEGORY 6 TREES THAT HAVE LOCAL SIGNIFICANCE.**Reasons:**

- The tree significantly contributes to the local landscape.

**CATEGORY 7 TREES OF A SPECIES OR VARIETY THAT IS RARE OR OF
VERY LOCALISED DISTRIBUTION.****Reasons:**

- The tree was described as being very rare by Roger Spencer in 'Horticultural Flora of South Eastern Australia', Volume 1, page 247.
-



Reference: D13

Address 2 Davies Avenue, TCA Ground
northern end of the ground

Name of Tree/s *Ulmus procera* (English Elm)



Reasons for Significance**CATEGORY 1 TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.****Reasons:**

- The tree is significant as it has outstanding form and has seasonal beauty.

CATEGORY 2 TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.**Reasons:**

- The tree is significant as it has outstanding canopy spread.

CATEGORY 5 TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.**Reasons:**

- The tree is significant as part of the historic site, the TCA Ground oval.

CATEGORY 6 TREES THAT HAVE LOCAL SIGNIFICANCE.**Reasons:**

- The tree is a significant component of the local landscape.
-



Reference: D14

Address	'The Hermitage' 251 Davey Street South Hobart 7004
Name of Tree/s	<i>Quercus robur</i> (English oak)



Reasons for Significance	<p>CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE</p> <p>Reasons:</p> <ul style="list-style-type: none"> The tree forms a significant aesthetic component of the streetscape. <p>CATEGORY 2. TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.</p> <p>Reasons:</p> <ul style="list-style-type: none"> The tree has a significantly large canopy spread. <p>CATEGORY 3. TREES THAT ARE VERY OLD OR VENERABLE.</p> <p>Reasons:</p> <ul style="list-style-type: none"> The tree is of an old age, between 100-120 years old. <p>CATEGORY 5. TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.</p> <p>Reasons:</p> <ul style="list-style-type: none"> The tree forms a significant component in the landscape. <p>CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.</p> <p>Reasons:</p> <ul style="list-style-type: none"> The tree forms a significant component of the streetscape having a high visibility due to its location on a busy arterial road.
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Reference: D15

Address "Toogooloowa"
309 Davey Street
South Hobart 7004

Name of Tree/s *Cupressus lusitanica* (Mexican cypress)



Reasons for Significance**CATEGORY 2. TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.**

Reasons:

- The tree is significant as it is large for the particular species in Hobart

CATEGORY 5. TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

Reasons:


- The tree is a significant component of the garden.

- **CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.**

Reasons:



- The tree forms a significant component in the landscape and is viewed as a local landmark.
-



Reference: D16	
Address	'Lindfield' 320 Davey Street South Hobart 7004
Name of Tree/s	<i>Cupressus torulosa</i> (bhutan cypress)
	
Reasons for Significance	CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE. Reasons: <ul style="list-style-type: none">▪ The trees form a significant component of the landscape and act as a local landmark.



Reference: D17

Address	301 Davey Street
Name of Tree/s	<i>Sequoiadendron giganteum</i> (giant sequoia)
 <p data-bbox="453 1041 588 1070">(Giant sequoia)</p>	 <p data-bbox="927 976 1222 1005">(Giant sequoia from Davey Street)</p>

Reasons for Significance**CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.**

- Reasons: The tree is a good specimen of its species.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- Reasons: the tree is large and visible from a number of angles, and from a reasonable distance away. It is a landmark in the local area.



Reference: D18

Address

'Moretta'
344 Davey Street
South Hobart

Name of Tree/s

Abies nordmanniana (caucasian fir)



(Caucasian fir, to left of photograph)

Reasons for significance**CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.**


- Reasons: A good specimen of its species and aesthetically pleasing in the landscape.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

Reasons: The tree is a prominent feature in the streetscape.



Reference: D19

Address	'Moretta' 344 Davey Street South Hobart	
Name of Tree/s	<i>Corymbia ficifolia</i> (red flowering gum).	
		
	(red flowering gum)	

Reasons for significance

CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.

- Reasons: A good specimen of its species and aesthetically pleasing in the landscape.

CATEGORY 2. TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.

- Reasons: The tree is very large for its species, with a good canopy spread



Reference: D20	
Address	D’Arcy Street (southern side from Cascade Rd to Davey St), South Hobart
Name of Tree/s	<i>Tilia cordata</i> (small-leaved lime) and <i>Quercus Coccinea</i> (scarlet oak) – 11 trees



Reasons for significance	<p>CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.</p> <ul style="list-style-type: none">• This row of trees create a sense of place for locals. They are well known and prominent in this streetscape, and provide shade for pedestrians and parked cars that use this busy area. They are a locally significant group of street trees.
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Reference: D21

Address

Nature strip adjacent to 7 and 9 Darling Parade, Mount Stuart

Name of Tree/s*Eucalyptus globulus* – Tasmanian blue gum (2 trees)**Reasons for significance****CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.**

The two trees occupy a prominent location in the streetscape, and are an attractive streetscape feature, particularly as a pairing.



Reference: D23	
Address	90 Davey Street, Hobart
Name of Tree/s	<i>Eucalyptus viminalis</i> subsp. <i>Viminalis</i> - white gum (1 tree) and <i>Quercus robur</i> – English oak (5 trees)



Reasons for significance	<p>CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.</p> <ul style="list-style-type: none">• These trees, as a set of plantings, have an outstanding visual impact in a city-fringe area. <p>CATEGORY 5. TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL</p>
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LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

- The established garden setting of these mature trees on this corner gives unique character to the streetscape and their loss would fundamentally alter that character.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- These trees have a significant presence in the streetscape, and also are likely to have significant impact on those using the facilities on the site. The nature of the palliative care unit being occupied by very vulnerable members of the community enhances the significance of this garden. Patients are likely to benefit emotionally from the established green surroundings.
-



Reference: D24

Address	161 Davey Street, Hobart
Name of Tree/s	<i>Juglans regia</i> – English walnut



Reasons for significance	<p>CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.</p> <ul style="list-style-type: none">• The tree has a very attractive form and canopy spread. <p>CATEGORY 2. TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.</p> <ul style="list-style-type: none">• This is a large example of a walnut tree with a wide, spreading form. <p>CATEGORY 3. TREES THAT ARE VERY OLD OR VENERABLE.</p> <ul style="list-style-type: none">• This tree is an old example, over 100 years. <p>CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.</p> <ul style="list-style-type: none">• The tree, while positioned in the centre of a block, is visible between buildings and has a
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strong presence in the local area. It can be seen from both Davey Street and Macquarie Street, which are both highly frequented by both vehicles and pedestrians. The loss of the tree would have a significant impact on the local area.



Reference: D25	
Address	142 Davey Street, Hobart
Name of Tree/s	<i>Quercus robur</i> – English oak (7 trees)



Reasons for significance	<p>CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.</p> <ul style="list-style-type: none">• The trees as a group have high aesthetic value, with each varying in shape and size. <p>CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.</p> <p>These trees are a very strong presence in the streetscape, and their loss would be very noticeable.</p>
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Reference: D26

Address336 Davey Street

Name of Tree/s*Araucaria heterophylla* – Norfolk Pine (2 trees)



Reasons for significance**CATEGORY 2.** TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.

- The trees have grown to a large and commanding size, particularly the taller of the two.

CATEGORY 3. TREES THAT ARE VERY OLD OR VENERABLE.

- The trees are over 150 years old.

CATEGORY 5. TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL

LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

- These trees are closely associated with the heritage listed property, and are a significant element of the grounds.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- These trees are strong landmark features, near the top of one of the steepest streets in Hobart. They are recognisable and distinctive in the landscape and have a strong local presence.
-



Reference: D27	
Address	2 Davies Avenue (between Aquatic Centre and tennis centre)
Name of Tree/s	<i>Eucalyptus viminalis</i> – white gum (24 trees)



Largest white gum



Wider view of the group of white gums



Two oldest white gums (tree to the right is the largest white gum)

Reasons for significance
CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.

- The trees form a cohesive group, many of which have an interesting form, and are likely to be admired by many who walk through the area.

CATEGORY 2. TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.

- One tree in particular is very large with outstanding trunk dimensions.

CATEGORY 3. TREES THAT ARE VERY OLD OR VENERABLE.

- One of the trees, and potentially two, are very old, possibly dating back to pre-European settlement of Hobart.

CATEGORY 4. TREES THAT COMMEMORATE, OR ARE REMINDERS OF, CULTURAL PRACTICES, HISTORIC EVENTS OR FAMOUS PEOPLE.

- The contribution of these trees as a historical reminder of aboriginal cultural values is significant. The trees are referenced in the book: Low, T 2014, *Where Song Began: Australia's Birds and How They Changed the World*, Penguin Australia, Melbourne. The wider area of trees is referenced as being mentioned in an 1855 exhibition in Paris for the manna gum (white gum) and their aboriginal connection. The largest of the trees is subsequently suspected in the book as being potentially the 'oldest and biggest living thing' in Hobart, possibly pre-dating European settlement.

CATEGORY 5. TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

- As part of the domain, and an area containing a public path in close proximity to the Doone Kennedy Hobart Aquatic Centre and Tennis Centre, these trees are a strong presence and link to the past.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- The trees are in a well-frequented area and their loss would drastically alter the landscape.

CATEGORY 9. TREES THAT HAVE A SIGNIFICANT CONTRIBUTION TO THE INTEGRITY OF AN ECOLOGICAL COMMUNITY.

- Many of these trees are hollow-bearing, and many others have strong potential to form hollows. They are likely to have a significant role in the local ecology. The trees listed are those with a DBH of 50cm or more.
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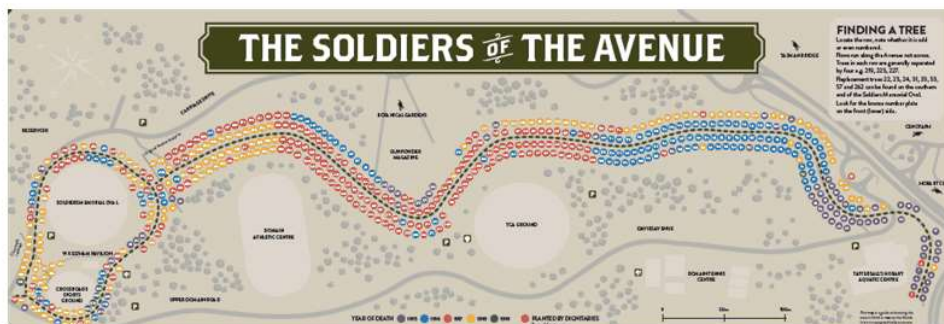


Reference: D28

Address	2 Davies Avenue (Queens Domain Soldiers Memorial Avenue)
Name of Tree/s	<i>Cedrus deodar</i> (deodar), <i>Cedrus atlantica Glauca group</i> (blue atlas cedar), <i>Cedrus libani</i> (Italian cypress), <i>Cupressus sempervirens</i> (cedar of Lebanon) (534 trees)



Reasons for significance	<p>CATEGORY 4. TREES THAT COMMEMORATE, OR ARE REMINDERS OF, CULTURAL PRACTICES, HISTORIC EVENTS OR FAMOUS PEOPLE.</p> <ul style="list-style-type: none">• The trees are commemorative of a significant event in history and have strong meaning for many people. <p>CATEGORY 5. TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.</p> <ul style="list-style-type: none">• These trees form a very distinct contribution to the Domain landscape, and their loss would greatly alter the landscape of this public space. <p>CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.</p> <ul style="list-style-type: none">• The trees have significance to walkers and visitors to the Domain, which is a primary recreation area for Hobart residents.
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Reference: D29	
Address	2 Davies Avenue (Queens Domain, near Soldiers Memorial Avenue)
Name of Tree/s	<i>Eucalyptus viminalis</i> (white gum)



Assessment panel comments	<p>CATEGORY 2. TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.</p> <ul style="list-style-type: none">The tree has a particularly large trunk circumference for the species. <p>CATEGORY 3. TREES THAT ARE VERY OLD OR VENERABLE.</p>
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- The tree appears to be well over 100 years old.

CATEGORY 5. TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

- This tree adds significantly to the native landscape elements of the domain. Losing this large, old tree would alter an important characteristic of the area.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- The tree is likely to be admired by many walkers and visitors to the Domain, which is a primary recreation area for Hobart residents. It is located alongside Soldiers Memorial Avenue.

CATEGORY 9. TREES THAT HAVE A SIGNIFICANT CONTRIBUTION TO THE INTEGRITY OF AN ECOLOGICAL COMMUNITY.

- This tree is hollow-bearing, and assists in providing supporting habitat for an endangered species (*Hydrocotyle laxifolia* - stinking pennywort) which grows around its base.
-



Reference: E1

Address	3 Elboden St South Hobart "Manilla"
Name of Tree/s	<i>Araucaria heterophylla</i> (Norfolk Island Pine)



Reasons for Significance**CATEGORY 1 TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.**

Reasons:

- The tree is significant as it has excellent form for its species.

CATEGORY 2 TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.

Reasons:

- The tree is significant as it is large for its species.

CATEGORY 5 TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

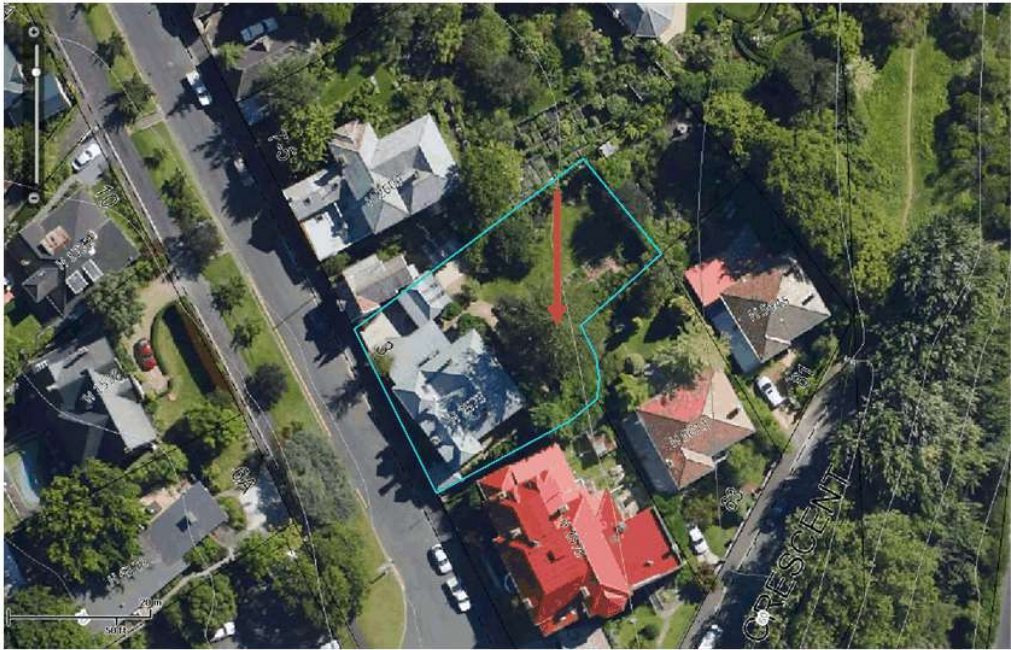
Reasons:

- The tree is a significant component of the historic site.

CATEGORY 6 TREES THAT HAVE LOCAL SIGNIFICANCE.

Reasons:

- The tree is a significant component of the local landscape.
-



Reference: E2

Address	Jane Franklin Hall 6 Elboden St South Hobart
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Name of Tree/s	<i>Populus nigra</i> cv. 'Italica' (Lombardy Poplar)
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Reasons for Significance**CATEGORY 1 TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.**

Reasons:

- The tree is significant as it has excellent form and shape.

CATEGORY 5 TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

Reasons:


- The tree forms a significant part of the garden.

CATEGORY 6 TREES THAT HAVE LOCAL SIGNIFICANCE.

Reasons:

- The tree is a significant component of the local landscape.
-

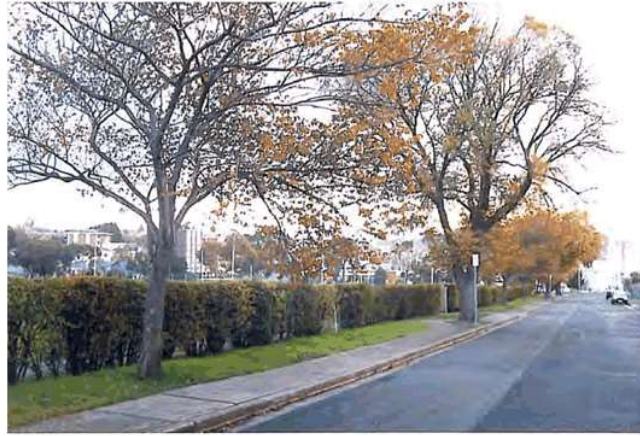


Reference: E3	
Address	Earl Street (opposite no.12 Earl St) Sandy Bay 7005
Name of Tree/s	<i>Ulmus procera</i> (English elms x 5)
	
Reasons for Significance	CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE. Reasons: <ul style="list-style-type: none">▪ The trees form a significant component in the streetscape and are recognised locally as a strong feature.



Reference: E4

Address	Earl Street (along boundary of University) Sandy Bay
Name of Tree/s	<i>Crataegus monogyna</i> (common hawthorn)

**Reasons for Significance**

CATEGORY 4. TREES THAT COMMEMORATE, OR ARE REMINDERS OF, CULTURAL PRACTICES, HISTORIC EVENTS OR FAMOUS PEOPLE.

Reasons:

- The hedge is important due to its connection with the past.

CATEGORY 5. TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

Reasons:

- The hedge is a boundary marker and a significant component in the streetscape.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

Reasons:

- The hedge is a significant component in the streetscape and recognisable locally as a feature of this street.



Reference: E5

Address	446 Elizabeth Street North Hobart
Name of Tree/s	<i>Ficus macrophylla</i> (moreton bay fig)



Reasons for Significance	<p>CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.</p> <ul style="list-style-type: none"> Reasons: The tree is visually a very significant part of the streetscape, in a fairly busy area of Hobart. <p>CATEGORY 2. TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.</p> <ul style="list-style-type: none"> Reasons: the tree is very large for its type in Hobart, and the canopy spread is extensive. <p>CATEGORY 3. TREES THAT ARE VERY OLD OR VENERABLE.</p> <ul style="list-style-type: none"> Reasons: The tree is of an old age. <p>CATEGORY 5. TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.</p> <ul style="list-style-type: none"> Reasons: the tree is a highly visible landmark in the area. <p>CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.</p> <ul style="list-style-type: none"> Reasons: - The tree is of importance to the local as a significant component of the streetscape. <p>CATEGORY 9. TREES THAT ARE SIGNIFICANT FOR REASONS THAT ARE DIFFICULT TO CATEGORISE.</p> <ul style="list-style-type: none"> Reasons: - The tree is of an interesting and intricate form, particularly with the twisting roots being visible above-ground.
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Reference: E6

Address	7 Emmett Place New Town
Name of Tree/s	<i>Araucaria bidwillii</i> (bunya pine)



(larger tree to the rear)

Reasons for Significance**CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.**

- Reasons: the tree has a beautiful full and healthy form.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- Reasons: the tree is unusual in Tasmania, and is a significant component of this local area.
-



Reference: E7

Address	81 Elizabeth Street (road reserve in front of Commonwealth Bank), Hobart
Name of Tree/s	<i>Metasequoia glyptostroboides</i> – Dawn redwood (3 trees)



Reasons for significance	<p>CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.</p> <ul style="list-style-type: none">• The trees as a group of three provide a striking aesthetic in this sparsely vegetated area of the city. <p>CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.</p> <ul style="list-style-type: none">• The trees are a significant element in the streetscape and soften and complement the adjacent building. They are locally very recognisable.
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Reference: E8

Address	284-290 Elizabeth Street, North Hobart
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Name of Tree/s	<i>Fraxinus velutina</i> – velvet ash
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Reasons for Significance**CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.**

- This tree has prominence in the streetscape and an attractive form and foliage colour. It provides welcome visual relief in this location, and its loss would be pronounced to locals and commuters.
-



Reference: E9

Address	448-450 Elizabeth Street (Lyndhurst), North Hobart
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Name of Tree/s	<i>Cedrus deodara</i> – Deodar
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Reasons for significance

CATEGORY 2. TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.

- This is a very large example of the species for Hobart.

CATEGORY 3. TREES THAT ARE VERY OLD OR VENERABLE.

- This is an old example, likely over 100 years.

CATEGORY 5. TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

- This tree is a significant element in the setting of this heritage listed property.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- The tree provides a striking contribution to the streetscape, and adds to the
-

grand appearance of the immediate surrounds, which includes some large estates and other tall trees.



Reference: F1	
Address	20 Fitzroy Crescent, Fitzroy Gardens
Name of Tree/s	<i>Platanus x hispanica</i> (Plane Tree) 46 trees





Reasons for Significance**CATEGORY 1 TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.**

Reasons:

- The trees are significant as part of a row of trees, which act to enclose Fitzroy Gardens.

CATEGORY 5 TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

Reasons:

- The trees are significant as part of the park.

CATEGORY 6 TREES THAT HAVE LOCAL SIGNIFICANCE.

Reasons:

- The trees are a significant component of the local landscape.
-



Reference: F2	
Address	Fitzroy Place, (road reserve)
Name of Tree/s	<i>Platanus x hispanica</i> (London Plane Tree) x45
	
Reasons for significance	<p>CATEGORY 6 TREES THAT ARE AN IMPORTANT PART OF AN HISTORIC SITE OR GARDEN, OR A PARK OR TOWN.</p> <p>CATEGORY 7 TREE(S) THAT OCCUR(S) IN A UNIQUE LOCATION OR CONTEXT AND SO PROVIDE(S) A CONTRIBUTION TO THE LANDSCAPE.</p>



Reference: F3

Address	3 Fisher Avenue Sandy Bay
Name of Tree/s	<i>Cupressus macrocarpa</i> (cypress hedge)




Reasons for significance	CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE. <ul style="list-style-type: none">Reasons: The hedge has an outstanding presence and form – it is well maintained and unusually long.
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CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- Reasons: the hedge is a unique feature in the local area.
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Reference: F4	
Address	Fisher Avenue (road reserve adjacent to 3 Fisher Avenue)
Name of Tree/s	<i>Tilia cordata</i> (small-leaved lime) (2 trees) HCC asset no: AL63630003 and AL63630002
	
Reasons for Significance	<p>CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.</p> <ul style="list-style-type: none">Reasons: the trees contribute significantly to the local area.



Reference: F5


Address	6 Fisher Avenue
Name of Tree/s	<i>Liriodendron tulipifera</i> (tulip tree)

**Assessment Group
Recommendation**


That the tree be listed as it falls within the following categories of significance for the reasons stated:

- **CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.**
Reasons: the tree is reasonably large and aesthetically pleasing, and makes a strong contribution to the local area.



Reference: F6	
Address	10 Fisher Avenue Sandy Bay
Name of Tree/s	<i>Cedrus deodara</i> (deodar)
<div></div> <div>Deodar (to far left)</div>	
Reasons for Significance	<ul style="list-style-type: none">CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE. Reasons: the tree is prominent in the local streetscape, and adds significantly to the aesthetic appeal of the local area.



Reference: F7	
Address	10 Fisher Avenue Sandy Bay
Name of Tree/s	<i>Cedrus atlantica f. glauca</i> (blue atlas cedar)
<div></div> <p>Blue atlas cedar</p>	
Reasons for Significance	CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE. Reasons: the tree is prominent in the local streetscape, and adds significantly to the aesthetic appeal of the local area.




Reference: F8

Address	Fisher Avenue (road reserve adjacent to 33 Fisher Avenue) Sandy Bay	
Name of Tree/s	<i>Ulmus glabra 'Lutescens'</i> (golden wych elm)	HCC asset no. AL63660014




Reasons for Significance	CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE. <ul style="list-style-type: none">Reasons: the tree is of an interesting colour and adds interest to the local area.
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Reference: F9		
Address	Fisher Avenue (road reserve adjacent to 35 Fisher Avenue) Sandy Bay	
Name of Tree/s	Fraxinus oxycarpa 'Raywoodii' (claret ash)	HCC asset no. AL78800015
		
Reasons for Significance	CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE. <ul style="list-style-type: none">Reasons: the tree adds colour and to the local area and is one of the original street trees planted during the original subdivision.	



Reference: F10	
Address	46 Fisher Avenue Sandy Bay
Name of Tree/s	<i>Ulmus procera</i> (english elm)
	
Reasons for Significance	CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE. Reasons: the tree is a visible and pleasant feature in the local streetscape.



Reference: F11

Address	Fisher lane
	Sandy Bay
Name of Tree/s	Hawthorn hedge (<i>Crataegus sp.</i>)




(Nominated hedge)



(A hedge that was removed from Fisher Avenue (older than any houses in the subdivision))

Reasons for significance	CATEGORY 5. TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN. <ul style="list-style-type: none">Reasons: the hedge is an important landmark to the historic school site, and has existed for a long time.
	CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE. <ul style="list-style-type: none">Reasons: the hedge is locally significant to the community because of its age and length.



Reference: F12	
Address	Fitzroy Crescent Fitzroy Gardens (upper) Dydneyne
Name of Tree/s	<i>Quercus robur</i> (english oak) (4 trees)
	
Reasons for Significance	<p>CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.</p> <ul style="list-style-type: none">Reasons: the trees are part of a well loved local park, and significantly contribute to the setting.



Reference: F13	
Address	Fitzroy Crescent Fitzroy Gardens (upper and lower) Dunmyrne
Name of Tree/s	<i>Ulmus minor 'Variegata'</i> (variegated elm) 4 trees



(upper Fitzroy Gardens)



(Lower Fitzroy Gardens)

Reasons for Significance	CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE. <ul style="list-style-type: none">Reasons: The trees are a significant aesthetic component of a prominent Hobart park. CATEGORY 2. TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD. <ul style="list-style-type: none">Reasons: the trees are outstanding in their size.
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CATEGORY 5. TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

- Reasons: the trees are a very significant component of the park and stand out against other trees due to their size and colour.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- Reasons: - The trees are of great importance to the local community due to their location and form.
-



Reference: F14	
Address	15 Fitzroy Place, Sandy Bay
Name of Tree/s	<i>Quercus robur</i> – English oak



Reasons for significance	<p>CATEGORY 2. TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.</p> <ul style="list-style-type: none">• The tree has a particularly large trunk circumference, greater than 1m DBH.
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CATEGORY 3. TREES THAT ARE VERY OLD OR VENERABLE.

- The tree is very old, approximately 150 years.

CATEGORY 5. TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

- This tree is a significant element of the setting of a heritage listed place. The property is listed on the Register of the National Estate and the tree is also mentioned.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- The tree makes a significant contribution to the streetscape in this area. It complements the street trees that are already listed under the significant tree register.
-




Reference: F15

Address	French Street Reserve, Sandy Bay
Name of Tree/s	<i>Eucalyptus globulus</i> – blue gum (2 trees)



Reasons for significance	<p>CATEGORY 2. TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.</p> <ul style="list-style-type: none">• These two trees are of a significant size. <p>CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.</p> <ul style="list-style-type: none">• This reserve is clearly important to residents that live close by, including for children's play. These two trees make a significant contribution to the reserve and the local area more generally. <p>CATEGORY 9. TREES THAT HAVE A SIGNIFICANT CONTRIBUTION TO THE INTEGRITY OF AN ECOLOGICAL COMMUNITY.</p> <ul style="list-style-type: none">• Both trees have hollows that are likely to make a significant contribution to habitat in the area.
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Reference: G1	
Address	50 Grays Road
Name of Tree/s	<i>Nothofagus cunninghamii</i> (Myrtle)
	
Reasons for significance	CATEGORY 1 TREES(S) OF OUTSTANDING AESTHETIC SIGNIFICANCE.



Reference: G2	
Address	Gregson Avenue (bushland at end of Gregson avenue
Name of Tree/s	<i>Eucalyptus viminalis</i> (White Gum) x 3
	
Reasons for significance	CATEGORY 7 TREE(S) THAT OCCUR(S) IN A UNIQUE LOACATION OR CONTEXT AND SO PROVIDE(S) A CONTRIBUTION TO THE LANDSCAPE. CATEGORY 10 TREE(S) THAT MAY BESIGNIFICANT FOR ANOTHER REASON I.E. LENDING SUPPORT AS A HBITAT TO OTHER SPECIES, CURIOSITIES ETC.



Reference: G3	
Address	Glen Street (road reserve adjacent no 6), South Hobart
Name of Tree/s	<i>Eucalyptus globulus</i> – Tasmanian blue gum



Reasons for significance	CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE. <ul style="list-style-type: none">This tree is prominent both from Glen Street and from the linear park track. The tree has an interesting form and is recognisable in the local area.
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Reference: G4	
Address	40 Gordon Avenue, Mount Stuart
Name of Tree/s	<i>Cupressus torulosa</i> – Bhutan cypress (3 trees)



Reasons for significance**CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.**

- The trees make a strong contribution to the streetscape in the local area, and are visible from multiple vantage points. They are prominent landmark trees, particularly due to their grouping.
-



Reference: G5

Address	126-146 Goulburn Street (Goulburn Street Primary School), West Hobart
Name of Tree/s	<i>Quercus robur</i> – English oak (2 trees)

*Tree to the front of the school**Tree in the centre of the grounds*

Reasons for significance	<p>CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.</p> <ul style="list-style-type: none"> Both trees have a beautiful form and are aesthetically pleasing. The tree in the centre of the grounds has an interesting limb formation, with some limbs fused together. <p>CATEGORY 2. TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.</p> <ul style="list-style-type: none"> Both trees are large and have a wide canopy spread. <p>CATEGORY 3. TREES THAT ARE VERY OLD OR VENERABLE.</p> <ul style="list-style-type: none"> Both trees are over 100 years old. <p>CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.</p> <ul style="list-style-type: none"> The trees have a very strong presence in the local area. The tree to the Forest Road primary frontage of the school is a landmark in the streetscape, and the tree in the centre of the grounds is a focus for children's play, shade and rest. The loss of either tree would be very detrimental to the local area.
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Reference: G6	
Address	Goulburn Street and Barton Avenue corner, West Hobart
Name of Tree/s	<i>Ulmus glabra 'lutescens'</i> – golden elm



Reasons for significance	<p>CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.</p> <ul style="list-style-type: none">• This tree has a vibrant leaf colour and would be a highly visible marker of seasons. It has a beautiful spreading form. <p>CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.</p> <ul style="list-style-type: none">• The tree is very visible and noticeable in the streetscape. Its loss would make a marked difference to this local area.
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Reference: G7

Address 15 Gourlay Street, West Hobart**Name of Tree/s** *Quercus robur* – English oak



Reasons for significance**CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.**

- The tree has an attractive form and good spread, and adds aesthetically to the street presence of the school.

CATEGORY 2. TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.

- The tree is a large example with a wide spread.

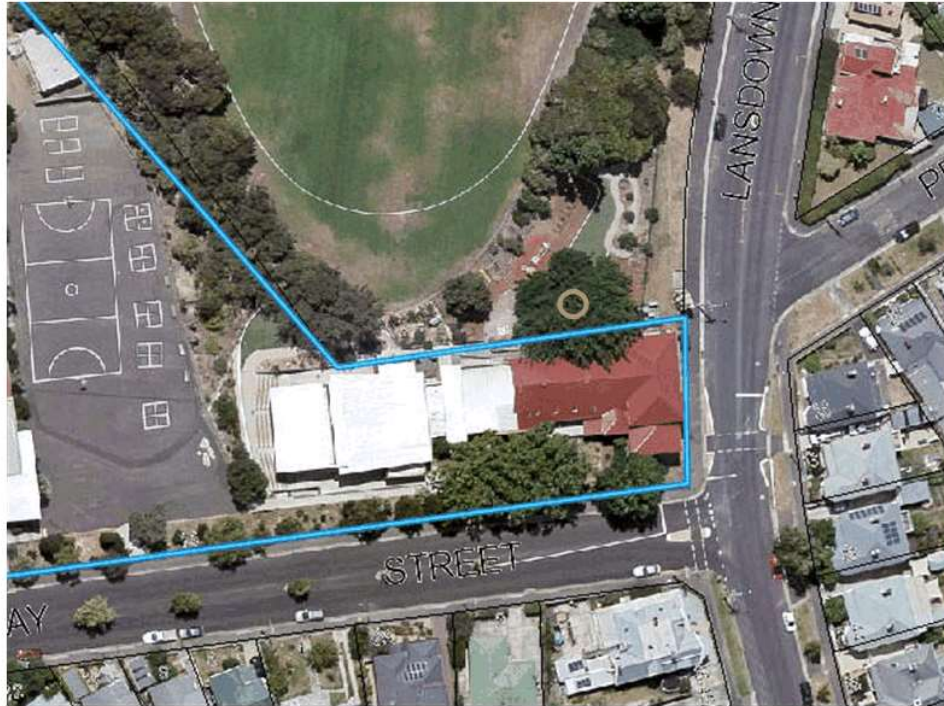
CATEGORY 3. TREES THAT ARE VERY OLD OR VENERABLE.

- The tree is over 100 years old.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- The tree makes a significant contribution to the streetscape, as well as to the school
-

grounds. Play equipment has been designed around the tree, and it is likely the presence of the tree is significant to the children who play around it.



Reference: H2	
Address	80-82 Hampden Road Battery Point
Name of Tree/s	<i>Ulmus procera</i> (english elm)



CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.	
Reasons for Significance	<ul style="list-style-type: none">Reasons: the tree is a large and prominent landmark in the local area, and would be recognised as such by the local community.



Reference: H3

Address	Narryna Heritage Museum 103 Hampden Road Battery Point
Name of Tree/s	<i>Fraxinus excelsior</i> (english ash)



(english ash to right)

Reasons for Significance	<p>CATEGORY 5. TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.</p> <ul style="list-style-type: none">Reasons: the tree forms a significant component of the historical garden setting of Narryna, as well as an important component of the streetscape. <p>CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.</p> <ul style="list-style-type: none">Reasons: the tree is prominent in the local area for its association with a heritage building and its aesthetic qualities.
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Reference: H1	
Address	2 Heathorn Avenue Sandy Bay
Name of Tree/s	<i>Phoenix canariensis</i> (canary island palm) 2 trees



Reasons for Significance	<p>CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.</p> <ul style="list-style-type: none">Reasons: the trees as a pair form a prominent landmark in the local area, and they complement the architecture of the house.
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Reference: H4

Address	164 Harrington Street (St Mary's College)
Name of Tree/s	<i>Aesculus hippocastanum</i> – Horse chestnut

**Reasons for
significance****CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.**

- This tree is aesthetically beautiful, and would be particularly striking when in flower.

CATEGORY 2. TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.

- The tree is very large, both in terms of height and canopy spread.

CATEGORY 3. TREES THAT ARE VERY OLD OR VENERABLE.

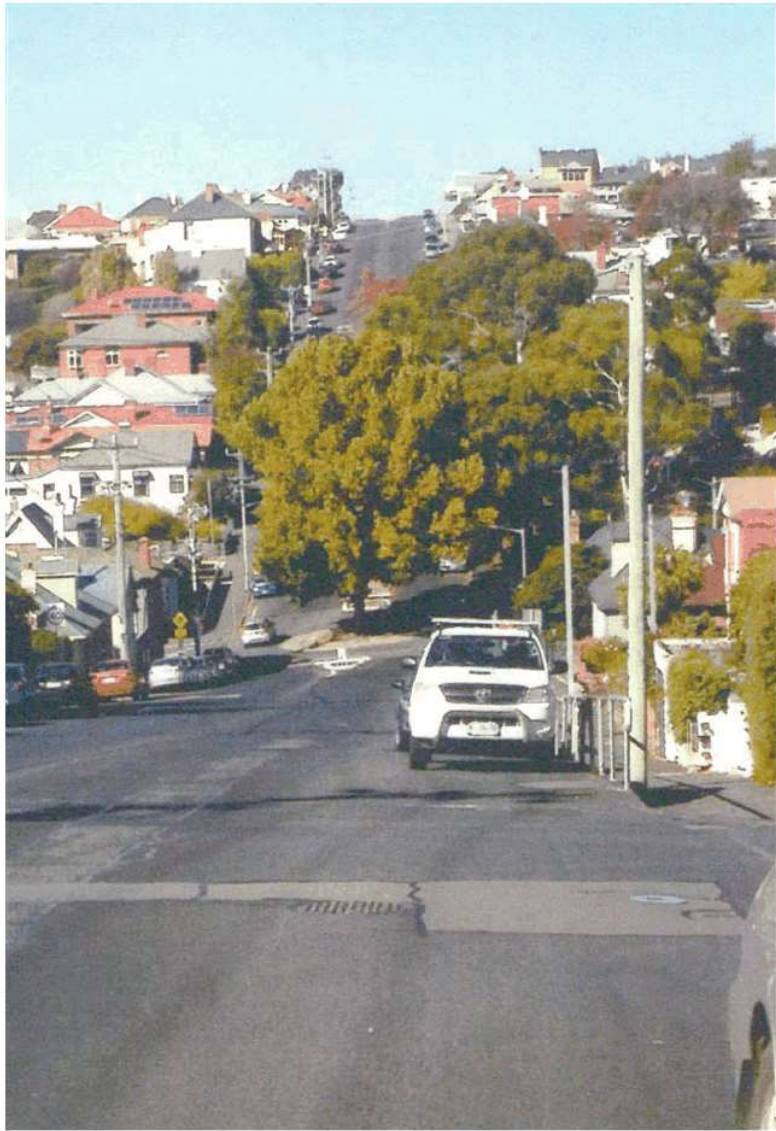
- The tree is old, over 100 years.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- The tree has a commanding presence in the streetscape and is a landmark tree in the local area, which has very few mature trees.
-



Reference: H5	
Address	Hill Street (roundabout at Warwick Street intersection) – Plane Tree
Name of Tree/s	<i>Platanus x acerifolia</i> – London plane tree



Reasons for significance	CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE. <ul style="list-style-type: none">The tree has a strong visual presence at this intersection is of a good size and form.
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CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- As the roundabout trees at the intersection with Lansdowne Crescent mark a high point of the street, this tree marks the low point. It is a significant component of this busy street and its loss would be very noticeable.
-



Reference: H6

Address	Hill Street (roundabout at Pine Street intersection) – Plane Tree
Name of Tree/s	<i>Platanus x acerifolia</i> – London plane tree (3 trees)



Reasons for significance	<p>CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.</p> <ul style="list-style-type: none"> The trees stand out visually as they are in the middle of an intersection with very few other mature trees close by. They are unusual in that the individual trees have grown in such a way that they read as a single tree. <p>CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.</p> <ul style="list-style-type: none"> By virtue of their location at the top of a hill in the middle of a busy street, these trees have a significant presence. They punctuate a high point of Hill Street, just as the roundabout tree at the intersection with Warwick Street punctuates the low point. They have significant local importance.
Recommendation	That the trees be listed on the Significant Tree Register.



Reference: K1

Address	121 King Street
Name of Tree/s	<i>Ulmus procera</i> (english elm)



Reasons for Significance	<p>CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.</p> <ul style="list-style-type: none">Reasons: The tree has an outstanding presence and form. <p>CATEGORY 2. TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.</p> <ul style="list-style-type: none">Reasons: the tree is a very large example of its type. <p>CATEGORY 3. TREES THAT ARE VERY OLD OR VENERABLE.</p> <ul style="list-style-type: none">Reasons: the tree is an old example. <p>CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.</p> <ul style="list-style-type: none">Reasons: the tree has a commanding presence and is very visible in the local streetscape.
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Reference: K2	
Address	98 King Street, Sandy Bay
Name of Tree/s	<i>Phoenix canariensis</i> – date palm



Reasons for significance**CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.**

- The tree is large and striking, and adds to the architecture of the house.

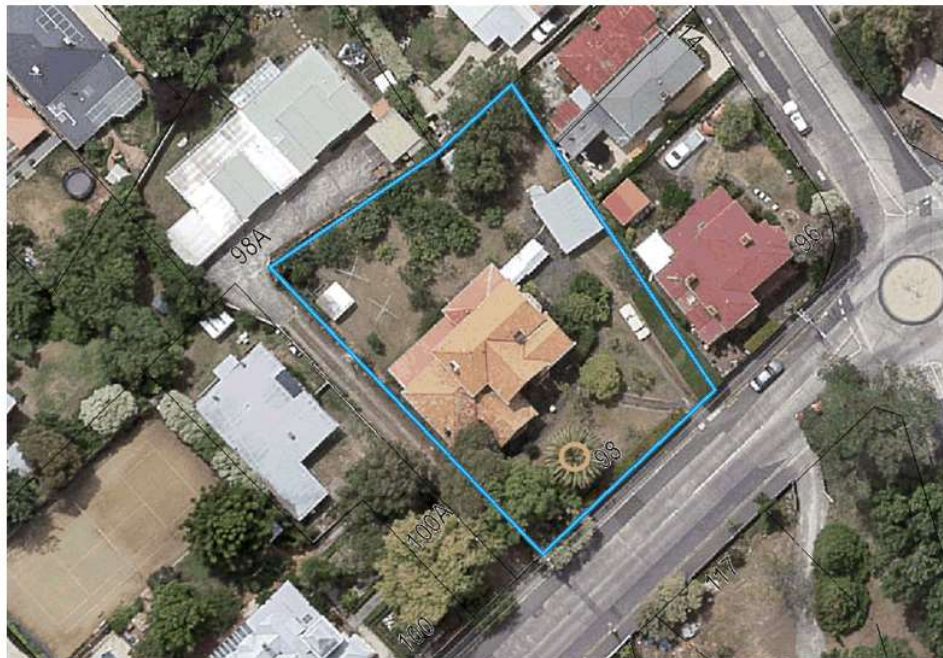
CATEGORY 2. TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.

- This tree is a large example of the species in Hobart.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- This tree stands out in the streetscape, even amongst other mature trees in the immediate area.

Note: A submission was received from the landowner supporting the nomination.



Reference: L1

Address	Lambert Ave Near junction of Sandy Bay Rd Sandy Bay
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Name of Tree/s	<i>Quercus robur</i> (English Oak) 10 Trees
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**Reasons for Significance****CATEGORY 1 TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.**

Reasons:

- The trees are significant as part of a row of trees.

CATEGORY 5 TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

Reasons:

- The trees are significant as part of the streetscape.

CATEGORY 6 TREES THAT HAVE LOCAL SIGNIFICANCE.

Reasons:

- The trees are a significant component of the local landscape.

CATEGORY 7 TREES OF A SPECIES OR VARIETY THAT IS RARE OR OF VERY LOCALISED DISTRIBUTION.

- The trees are significant as they rarely exist as part of a streetscape avenue.

That the group of trees be listed as it falls within the following categories of significance 1, 5, 6 & 7







Reference: L2

Address	394 Liverpool St West Hobart
Name of Tree/s	<i>Cupressus lusitanica</i> (Mexican Cypress)



Reasons for Significance	<p>CATEGORY 1 TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE. Reasons:</p> <ul style="list-style-type: none"> ▪ The tree is significant as it has outstanding shape and form. <p>CATEGORY 2 TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD. Reasons:</p> <ul style="list-style-type: none"> ▪ The tree is significant as it has outstanding height for the species. <p>CATEGORY 5 TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN. Reasons:</p> <ul style="list-style-type: none"> ▪ The tree is significant as part of the streetscape. <p>CATEGORY 6 TREES THAT HAVE LOCAL SIGNIFICANCE. Reasons:</p> <ul style="list-style-type: none"> ▪ The tree is a significant component of the local landscape.
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Reference: L3	
Address	1 Longview Ave Sandy Bay
Name of Tree/s	<i>Fraxinus excelsior</i> 'Aurea' (Golden Ash)
<div></div>	
Reasons for Significance	<p>CATEGORY 1 TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.</p> <p>Reasons:</p> <ul style="list-style-type: none">▪ The tree is significant because of its seasonal beauty.



Reference: L4

Address	11 Lower Domain Road, Royal Tasmanian Botanical Gardens
Name of Tree/s	<i>Sequoiadendron giganteum</i> (Big Tree (Wellingtonia))



Photo: Dr A MacFadyen, Royal Tasmanian Botanical Gardens, 2006

Reasons for significance

CATEGORY 2 TREE(S) OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.

CATEGORY 3 TREE(S) THAT ARE VERY OLD OR VENERABLE



Reference: L5

Address	11 Lower Domain Road, Royal Tasmanian Botanical Gardens
Name of Tree/s	<i>Pinus taeda</i> (Loblolly Pine)



Photo: Dr A MacFadyen, Royal Tasmanian Botanical Gardens, 2006

Reasons for significance	CATEGORY 2 TREE(S) OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.
	CATEGORY 3 TREE(S) THAT ARE VERY OLD OR VENERABLE



Reference: L6

Address	11 Lower Domain Road, Royal Tasmanian Botanical Gardens
Name of Tree/s	<i>Pinus roxburghii</i> (Long-leaved Indian Pine)



Photo: Dr A MacFadyen, Royal Tasmanian Botanical Gardens, 2006

Reasons for significance	CATEGORY 1 TREE(S) OF OUTSTANDING AESTHETIC SIGNIFICANCE.
	CATEGORY 2 TREE(S) OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.
	CATEGORY 3 TREE(S) THAT ARE VERY OLD OR VENERABLE



Reference: L7

Address	11 Lower Domain Road, Royal Tasmanian Botanical Gardens
Name of Tree/s	<i>Pinus canariensis</i> (Canary Island pine)

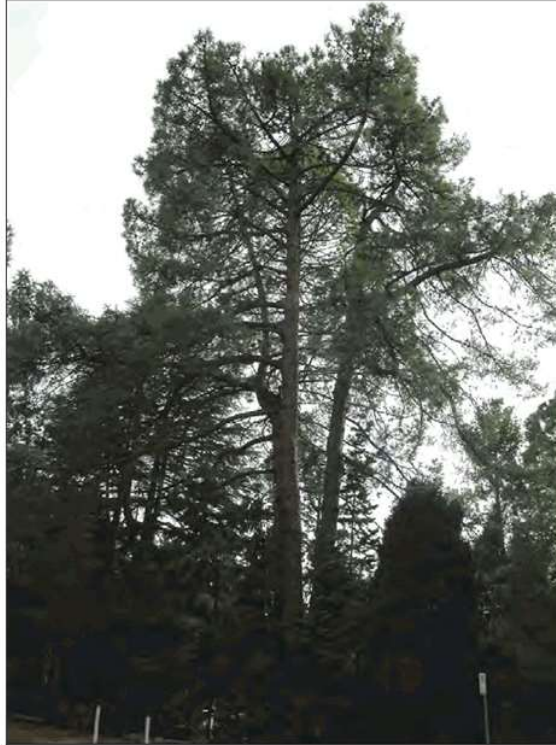


Photo: Dr A MacFadyen, Royal Tasmanian Botanical Gardens, 2006

Reasons for significance	CATEGORY 2 TREE(S) OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.
	CATEGORY 3 TREE(S) THAT ARE VERY OLD OR VENERABLE



Reference: L8

Address	11 Lower Domain Road, Royal Tasmanian Botanical Gardens
Name of Tree/s	<i>Abies pinsapo</i> (Spanish Fir)



Photo: Dr A MacFadyen, Royal Tasmanian Botanical Gardens, 2006

Reasons for significance	CATEGORY 1 TREE(S) OF OUTSTANDING AESTHETIC SIGNIFICANCE
	CATEGORY 2 TREE(S) OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.
	CATEGORY 3 TREE(S) THAT ARE VERY OLD OR VENERABLE
	CATEGORY 6 TREE(S) THAT ARE AN IMPORTANT PART OF A HISTORIC SITE OR GARDEN, OR PARK OR TOWN.



Reference: L9

Address	11 Lower Domain Road, Royal Tasmanian Botanical Gardens
Name of Tree/s	<i>Cupressus funebris</i> (Cypress)#





Photo: Dr A MacFadyen, Royal Tasmanian Botanical Gardens, 2006



Reasons for significance	CATEGORY 1 TREE(S) OF OUTSTANDING AESTHETIC SIGNIFICANCE
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Note this tree is incorrectly identified in the City of Hobart Planning Scheme 1982 Schedule I Appendix 1 as *Chamaecyparis funebris*





Reference: L10	
Address	11 Lower Domain Road, Royal Tasmanian Botanical Gardens
Name of Tree/s	<i>Cephalotaxus harringtonia</i> (Japanese Plum-yew)
<div><p>Photo: Dr A MacFadyen, Royal Tasmanian Botanical Gardens, 2006</p></div> <div></div>	
Reasons for significance	CATEGORY 8TREE(S) OR A SPECIES OR VARIETY THAT IS RARE OR OF VERY LOCALISED DISTRIBUTION.





Reference: L11	
Address	11 Lower Domain Road, Royal Tasmanian Botanical Gardens
Name of Tree/s	<i>Pinus wallichiana</i> (Himalayan Pine)
<div><div></div><div></div></div> <p>Photo: Dr A MacFadyen, Royal Tasmanian Botanical Gardens, 2006</p>	
Reasons for significance	CATEGOTY 1 TREE(S) OF OUTSTANDING AESTHETIC SIGNIFICANCE.



Reference: L12	
Address	11 Lower Domain Road, Royal Tasmanian Botanical Gardens
Name of Tree/s	<i>Pinus gerardiana</i> (Gerard's Pine)
<div></div>	
Photo: Dr A MacFadyen, Royal Tasmanian Botanical Gardens, 2006	
Reasons for significance	CATEGORY 1 TREE(S) OF OUTSTANDING AESTHETIC SIGNIFICANCE.



Reference: L13	
Address	11 Lower Domain Road, Royal Tasmanian Botanical Gardens (2 trees)
Name of Tree/s	<i>Sequoiadendron giganteum</i> (Big Tree (Wellingtonia))
<div><div></div><div></div></div>	
Reasons for significance	CATEGORY 1 TREE(S) OF OUTSTANDING AESTHETIC SIGNIFICANCE.



Reference: L14

Address	11 Lower Domain Road, Royal Tasmanian Botanical Gardens
Name of Tree/s	<i>Metasequoia glyptostroboides</i> (Dawn Redwood)



Photo: Dr A MacFadyen, Royal Tasmanian Botanical Gardens, 2006

Reasons for significance	CATEGORY 1 TREE(S) OF OUTSTANDING AESTHETIC SIGNIFICANCE. CATEGORY 2 TREE(S) OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.
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Reference: L16

Address	11 Lower Domain Road, Royal Tasmanian Botanical Gardens
Name of Tree/s	<i>Pinus sabiniana</i> (Digger Pine)



Photo: Dr A MacFadyen, Royal Tasmanian Botanical Gardens, 2006

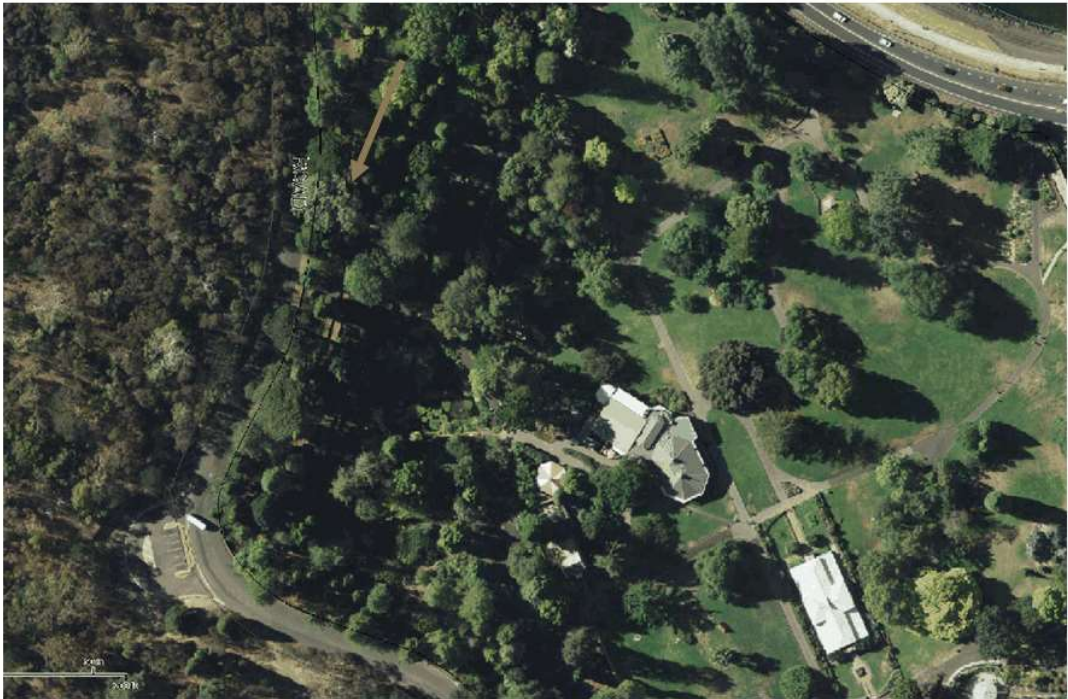
Reasons for significance

CATEGORY 2 TREE(S) OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.

CATEGORY 3 TREE(S) THAT ARE VERY OLD OR VENERABLE.

CATEGORY 6 TREE(S) THAT ARE AN IMPORTANT PART OF AN HISTORIC SITE OR GARDEN, OR PARK OR TOWN.

CATEGORY 8 TREE(S) OR A SPECIES OR VARIETY THAT IS RARE OR OF VERY LOCALISED DISTRIBUTION.



Reference: L17

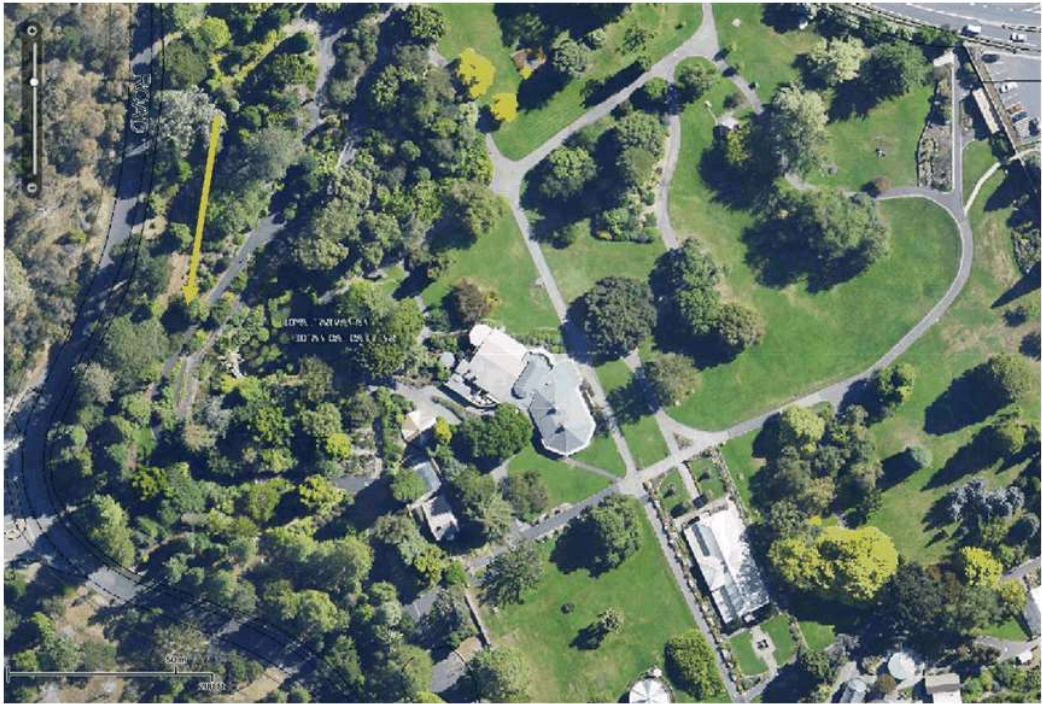
Address	11 Lower Domain Road, Royal Tasmanian Botanical Gardens
Name of Tree/s	<i>Cupressus goveniana</i> (Gowen Cypress)



Photo: Dr A MacFadyen, Royal Tasmanian Botanical Gardens, 2006



Reasons for significance	CATEGORY 2 TREE(S) OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.
	CATEGORY 3 TREE(S) THAT ARE VERY OLD OR VENERABLE.
	CATEGORY 8 TREE(S) OR A SPECIES OR VARIETY THAT IS RARE OR OF VERY LOCALISED DISTRIBUTION.



Reference: L18

Address	11 Lower Domain Road, Royal Tasmanian Botanical Gardens
Name of Tree/s	<i>Agathis robusta</i> (Queensland Kauri)



Photo: Dr A MacFadyen, Royal Tasmanian Botanical Gardens, 2006

Reasons for significance

CATEGORY 1 TREE(S) OF OUTSTANDING AESTHETIC SIGNIFICANCE.

CATEGORY 2 TREE(S) OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.

CATEGORY 3 TREE(S) THAT ARE VERY OLD OR VENERABLE.

CATEGORY 6 TREE(S) THAT ARE AN IMPORTANT PART OF A HISTORIC SITE OR GARDEN, OR PARK OR TOWN.

CATEGORY 8 TREE(S) OR A SPECIES OR VARIETY THAT IS RARE OR OF VERY LOCALISED DISTRIBUTION.



Reference: L19

Address	11 Lower Domain Road, Royal Tasmanian Botanical Gardens
Name of Tree/s	<i>Juniperus oxycedrus</i> (prickly Juniper)



Photo: Dr A MacFadyen, Royal Tasmanian Botanical Gardens, 2006

Reasons for significance	CATEGORY 2 TREE(S) OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.
	CATEGORY 3 TREE(S) THAT ARE VERY OLD OR VENERABLE.
	CATEGORY 6 TREE(S) THAT ARE AN IMPORTANT PART OF AN HISTORIC SITE OR GRADEN, OR PARK OR TOWN.
	CATEGORY 8 TREE(S) OR A SPECIES OR VARIETY THAT IS RARE OR OF VERY LOCALISED DISTRIBUTION.



Reference: L20

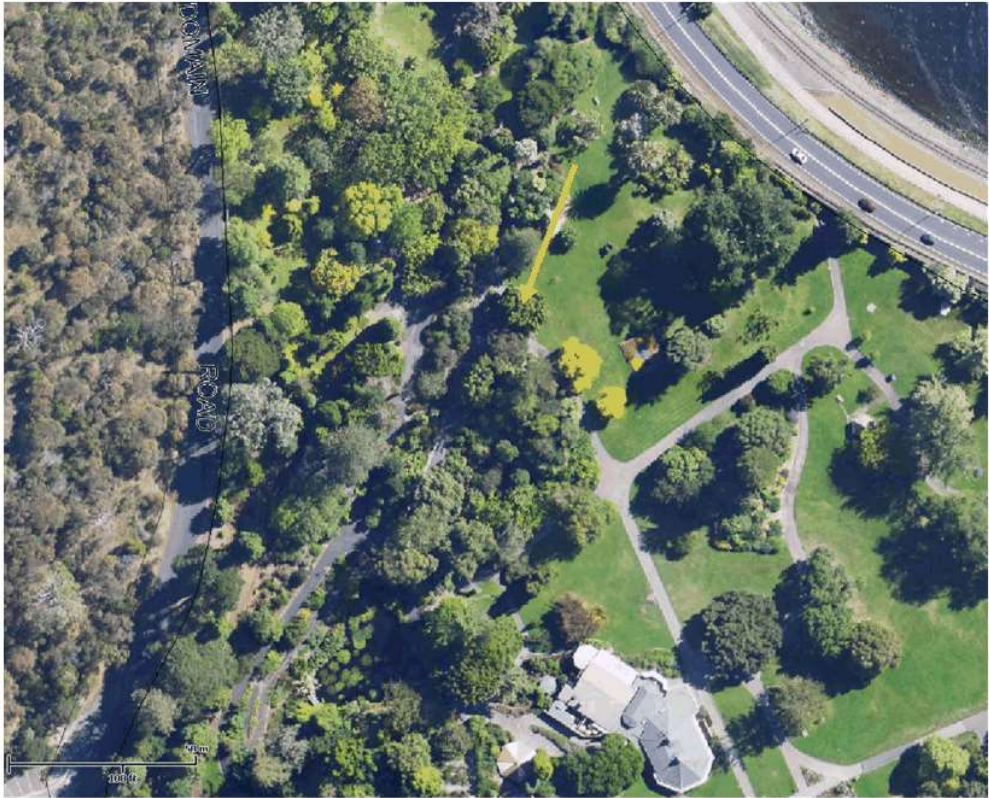
Address	11 Lower Domain Road, Royal Tasmanian Botanical Gardens
Name of Tree/s	<i>Syzigium australe</i> (Lilly Pilly)#



Photo: Dr A MacFadyen, Royal Tasmanian Botanical Gardens, 2006

Reasons for significance	CATEGORY 3 TREE(S) THAT ARE VERY OLD OR VENERABLE.
	CATEGORY 6 TREE(S) THAT ARE AN IMPORTANT PART OF AN HISTORIC SITE OR GARDEN, OR PARK OR TOWN..

Note this tree is incorrectly identified in the City of Hobart Planning Scheme 1982 Schedule I Appendix 1 as *Acmena smithii*




Reference: L21

Address	11 Lower Domain Road, Royal Tasmanian Botanical Gardens
Name of Tree/s	<i>Tilia tomentosa</i> (Silver Lime)



Reasons for significance	CATEGORY 6 TREE(S) THAT ARE AN IMPORTANT PART OF AN HISTORIC SITE CATEGORY 8 TREE(S) OR A THAT IS RARE OR OF VERY LOCALISED DISTRIBUTION.
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Reference: L22	
Address	11 Lower Domain Road, Royal Tasmanian Botanical Gardens
Name of Tree/s	<i>Corymbia maculata</i> (Spotted Gum) (previously known as <i>Eucalyptus maculata</i>)
	
Reasons for significance	<p>CATEGORY 1 TREE(S) OF OUTSTANDING AESTHETIC SIGNIFICANCE.</p> <p>CATEGORY 2 TREE(S) OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.</p> <p>CATEGORY 6 TREE(S) THAT ARE AN IMPORTANT PART OF AN HISTORIC SITE OR GARDEN, OR PARK OR TOWN.</p>



Reference: L23

Address	11 Lower Domain Road, Royal Tasmanian Botanical Gardens
Name of Tree/s	<i>Eucalyptus cladocalyx</i> (Sugar Gum)



Photo: Dr A MacFadyen, Royal Tasmanian Botanical Gardens, 2006

Reasons for significance	CATEGORY 1 TREE(S) OF OUTSTANDING AESTHETIC SIGNIFICANCE.
	CATEGORY 2 TREE(S) OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.
	CATEGORY 6 TREE(S) THAT ARE AN IMPORTANT PART OF AN HISTORIC SITE OR GARDEN OR PARK OR TOWN..



Reference: L24

Address	11 Lower Domain Road, Royal Tasmanian Botanical Gardens
Name of Tree/s	<i>Pseudotsuga menziesii</i> (Douglas fir)



Photo: Dr A MacFadyen, Royal Tasmanian Botanical Gardens, 2006

Reasons for significance	CATEGORY 2 TREE(S) OF OUTSTANDING DIENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.
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Reference: L25

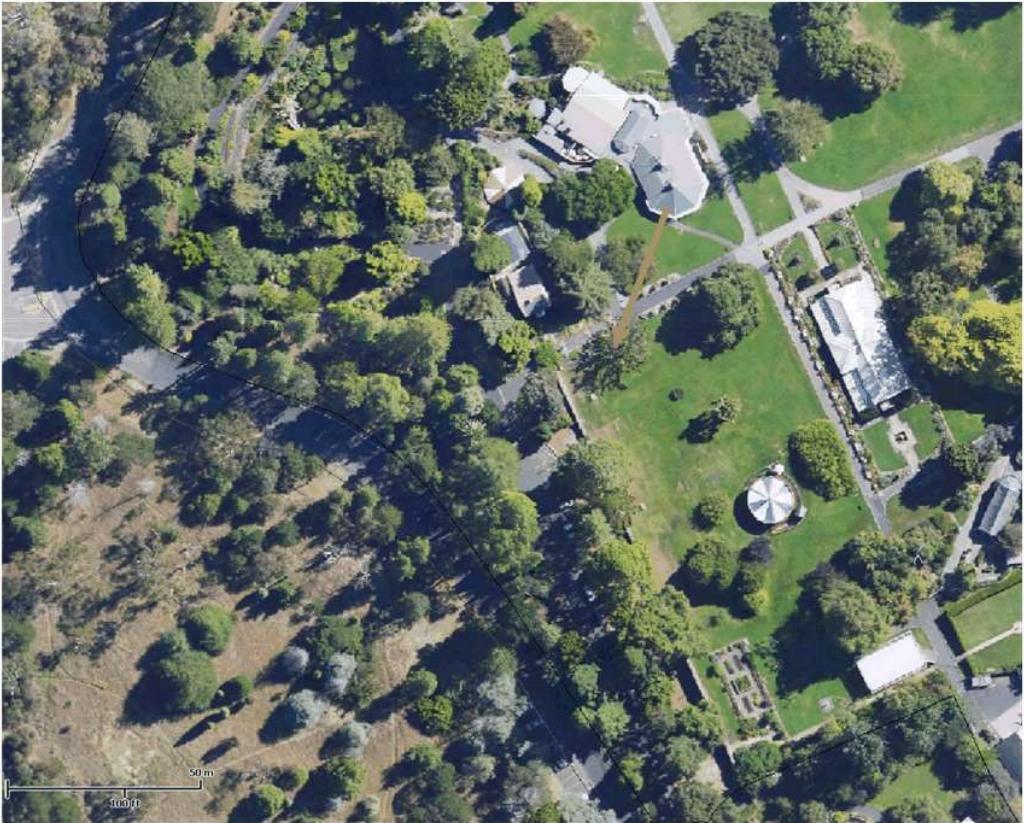
Address	11 Lower Domain Road, Royal Tasmanian Botanical Gardens
Name of Tree/s	<i>Quercus robur</i> (English Oak)



Photo: Dr A MacFadyen, Royal Tasmanian Botanical Gardens, 2006



Reasons for significance	CATEGORY 1 TREE(S) OF OUTSTANDING AESTHETIC SIGNIFICANCE. CATEGORY 6 TREE(S) THAT ARE AN IMPORTANT PART OF AN HISTORIC SITE OR GARDEN, OR PARK OR TOWN. CATEGORY 7 TREE(S) THAT OCCUR(S) IN A UNIQUE LOCATION OR CONTEXT AND SO PROVIDE(S) A CONTRIBUTION TO THE LANDSCAPE.
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Reference: L26

Address	11 Lower Domain Road, Royal Tasmanian Botanical Gardens
Name of Tree/s	<i>Abies nordmanniana</i> (Caucasian Fir)



Photo: Dr A MacFadyen, Royal Tasmanian Botanical Gardens, 2006

Reasons for significance	CATEGORY 2 TREE(S) OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.
	CATEGORY 6 TREE(S) THAT ARE AN IMPORTANT PART OF AN HISTORIC SITE OR GARDEN, OR PARK OR TOWN.



Reference: L27

Address 83 Lord Street
SANDY BAY 7005

Name of Tree/s *Cupressus sempervirens* (Italian cypress) 2 trees



Third tree not located on property.

Reasons for Significance

CATEGORY 5. TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

Reasons:

- Trees form a significant component in the streetscape and are recognised as landmarks.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

Reasons:

- Trees are a prominent landmark and form a significant component of the streetscape. The local community would recognise these two trees as integrated into the local landscape.
-



Reference: L28

Address

West Hobart Oval (Lansdowne Crescent), West Hobart

Name of Tree/s*Acacia melanoxylon* - Blackwood



Reasons for significance**CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.**

- The tree has wide-spreading, twisted branches which provide significant aesthetic interest.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- This tree stands out in the streetscape, even against other vegetation in the background. It has low, spreading branches which likely provide opportunities for children from the adjacent school to play, climb or sit on them. It also provides shade to the footpath for pedestrians.

CATEGORY 10. TREES THAT ARE SIGNIFICANT FOR REASONS THAT ARE DIFFICULT TO CATEGORISE.

- This tree has an unusual form, with twisting branches – some being low-lying and horizontally very long.
-



Reference: L29

Address	Lansdowne Crescent (road reserve between numbers 54-66), West Hobart
Name of Tree/s	<i>Platanus x acerifolia</i> – London plane trees (5 trees)



Reasons for significance	<p>CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.</p> <ul style="list-style-type: none">• These trees as a group have a beautiful visual presence in the street. <p>CATEGORY 2. TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.</p> <ul style="list-style-type: none">• Some of the trees are large examples <p>CATEGORY 3. TREES THAT ARE VERY OLD OR VENERABLE.</p> <ul style="list-style-type: none">• The trees are likely to be over 100 years old. <p>CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.</p> <ul style="list-style-type: none">• These trees are a highly significant part of this streetscape, and are well-recognised trees in the local area.
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Reference: L30

Address	268 Lenah Valley Road (Ancanthe Park)
Name of Tree/s	<i>Eucalyptus globulus</i> – Tasmanian blue gum



Reasons for significance	<p>This tree is in a prominent location at the entry to a public park, near a bus shelter. It is considered to meet the following assessment criterion:</p> <p>CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.</p> <ul style="list-style-type: none">• The tree stands out as a landmark tree, particularly due to its prominent location. Its loss would be to the detriment of the park and the wider local area.
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Reference: L31

Address	Linear Park (next to rivulet bridge at end of Anglesea Street, on boundary of South Hobart Primary School), South Hobart
Name of Tree/s	<i>Cedrus deodar</i> – deodar cedar (3 trees)

**Reasons for significance****CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.**

- These trees are a noticeable and attractive presence in their location, providing a strong contrast to other trees in the area. They lend amenity to the adjacent school and their loss would likely be detrimental to the local community.



Reference: L32

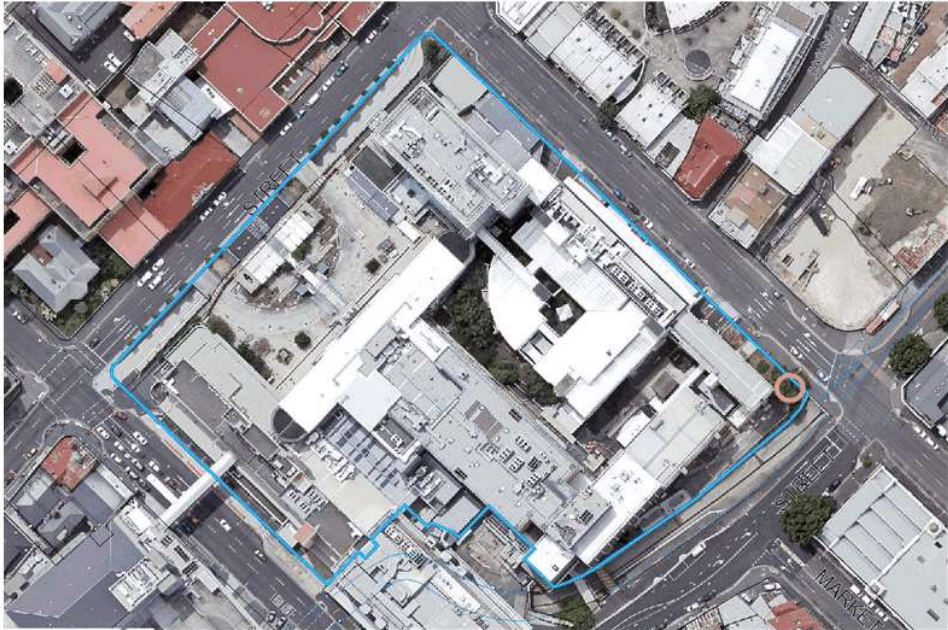
Address 48 Liverpool Street, Hobart (Royal Hobart Hospital, Campbell/Collins corner)

Name of Tree/s *Schinus molle* – Peppercorn tree



Reasons for significance **CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.**

- This tree is an important component of the streetscape in an area that is densely developed. It provides shade and a place to sit, likely in particular for visitors to the hospital. Its loss would be significant given the lack of mature trees in Campbell Street.
-



Reference: L33

Address

67 Lord Street, Sandy Bay

Name of Tree/s*Cedrus atlantica 'Glauca'* - blue atlas cedar



Reasons for significance**CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.**

- The tree has a distinctive form and foliage colour that gives it prominence in its local setting, even against other vegetation in the streetscape.
-



Reference: L34	
Address	Lord Street/Regent Street intersection
Name of Tree/s	<i>Eucalyptus globulus</i> – Tasmanian blue gum



Reasons for significance**CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.**

- The tree has significant aesthetic value due to its size, form and commanding presence.

CATEGORY 2. TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.

- This is a tall blue gum with a wide trunk circumference.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- The tree is a significant and highly visible component of the streetscape, and is a local landmark tree.
-



Reference: L35

Address	85 Lord Street, Sandy Bay
Name of Tree/s	<i>Cupressus sempervirens</i> (Italian Cypress)



Reasons for significance

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- The tree has prominence in the streetscape and the wider local setting. It is a recognisable tree in the local area. It completes a set of three Italian Cypress of similar height, together with the two listed trees at 83 Lord Street.



Reference: M1

Address 326 Macquarie St
South Hobart

Name of Tree/s *Tilia x europaea* (Common Lime)



Reasons for Significance**CATEGORY 1 TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.****Reasons:**

- The tree is significant as it has outstanding shape and form.

CATEGORY 3 TREES THAT ARE VERY OLD OR VENERABLE.**Reasons:**

- The tree is significant as it is over 100 years old.

CATEGORY 5 TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.**Reasons:**

- The tree is significant as part of the streetscape.

CATEGORY 6 TREES THAT HAVE LOCAL SIGNIFICANCE.**Reasons:**

- The tree is a significant component of the local landscape.
-



Reference: M2	
Address	377 Macquarie St Males Sand & Loam Supplies South Hobart
Name of Tree/s	<i>Quercus robur</i> (English Oak)



Reasons for Significance	CATEGORY 6 TREES THAT HAVE LOCAL SIGNIFICANCE. Reason: <ul style="list-style-type: none">▪ The tree is a significant component of the local landscape
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Reference: M3	
Address	377 Macquarie St Males Sand & Loam Supplies South Hobart
Name of Tree/s	<i>Ulmus procera</i> (English Elms) 2 Trees



Reasons for Significance

CATEGORY 1 TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.

Reasons:

- The tree is significant as it is an outstanding example of the species and for its seasonal beauty.

CATEGORY 2 TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.

Reasons:

- The tree is significant as it is outstanding in height and canopy spread.

CATEGORY 3 TREES THAT ARE VERY OLD OR VENERABLE.

Reasons:

- The tree is significant as it is over 100 years.

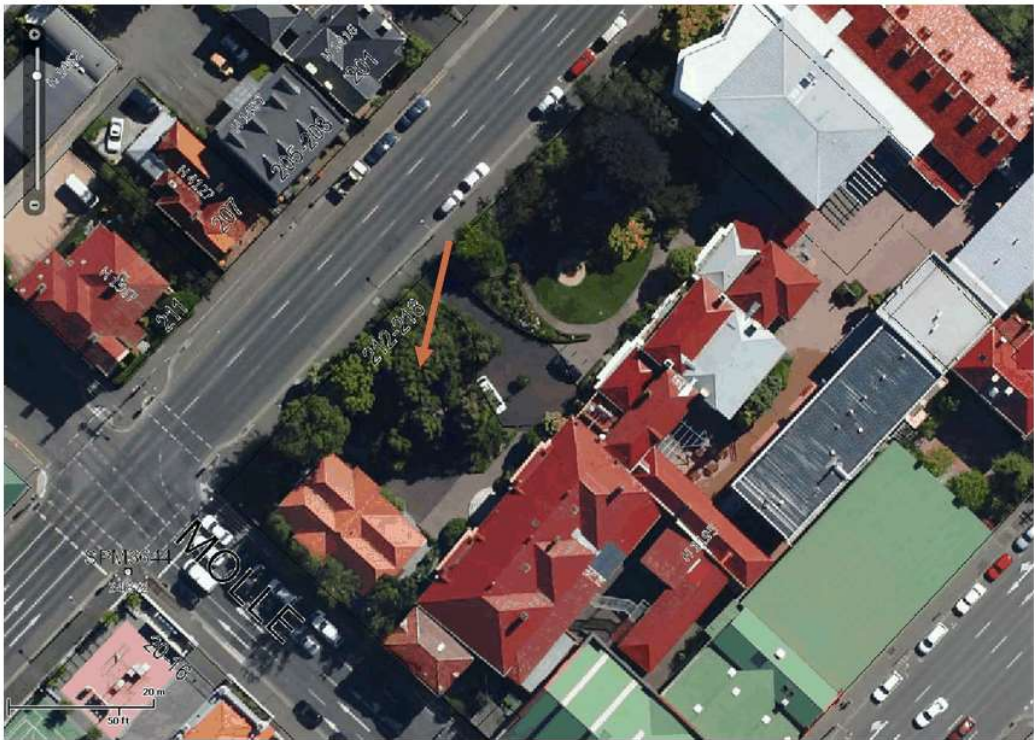
CATEGORY 6 TREES THAT HAVE LOCAL SIGNIFICANCE.


Reasons:

- The tree is a significant component of the local landscape.
-



Reference: M4	
Address	212-218 Macquarie Street, St Michael's Collegiate
Name of Tree/s	<i>Ulmus parvifolia</i> (Chinese Elm)
	
Reasons for significance	CATEGORY 1 TREE(S) OF OUTSTANDING AESTHETIC SIGNIFICANCE.



Reference: M5	
Address	1 Mortimer Avenue (previously 1 Auvergne Avenue)
Name of Tree/s	<i>Cupressus torulosa</i> (Bhutan Cypress) x 32
	
Reasons for significance	CATEGORY 7 TREE(S) THAT OCCUR(S) IN A UNIQUE LOCATION OR CONTEXT AND SO PROVIDE(S) A CONTRIBUTION TO THE LANDSCAPE.



Reference: M6

Address	16 Mortimer Avenue Mt Stuart
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Name of Tree/s	<i>Betula pendula</i> (Silver Birch)
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**Reasons for Significance****CATEGORY 3 TREES THAT ARE VERY OLD OR VENERABLE.**

Reasons:

- The tree is significant as it is over 50 years which is old for the species.

CATEGORY 5 TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

Reasons:

- The tree is significant for its contribution to the garden.
-



Reference: M7


Address	18 Mortimer Avenue Mt Stuart
Name of Tree/s	<i>Betula pendula</i> (Silver Birch)




Reasons for Significance

- CATEGORY 3 TREES THAT ARE VERY OLD OR VENERABLE.**
Reasons:
- The tree is significant as it is over 50 years which is old for the species.
- CATEGORY 5 TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.**
Reasons:
- The tree is significant for its contribution to the garden.




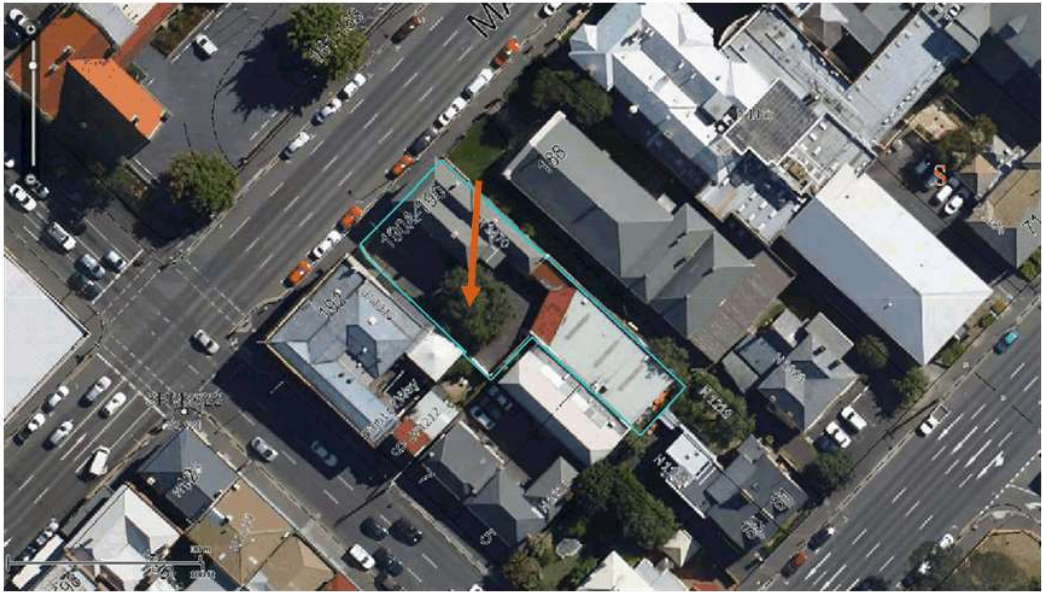
Reference: M8	
Address	55 Mount Stuart Road
Name of Tree/s	<i>Taxus baccata</i> 'Aurea' Irish Yew
	
Reasons for significance	CATEGORY 3 TREE(S) THAT ARE VERY OLD OR VENERABLE.



Reference: M9	
Address	23 Murray street, St Davids Cathedral
Name of Tree/s	<i>Quercus ilex</i> (Holm Oak)
	
Reasons for significance	CATEGORY 1 TREE(S) OF OUTSTANDING AESTHETIC SIGNIFICANCE. CATEGORY 2 TREE(S) OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.



Reference: M10	
Address	190-190A Macquarie Street (Next to The Duke + behind 9 Barrack St)
Name of Tree/s	<i>Juglans regia</i> (English walnut)
	
Reasons for Significance	<p>CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.</p> <p>Reasons:</p> <ul style="list-style-type: none">▪ The tree forms a significant component the streetscape in an area where there is a lack of garden.



Reference: M11

Address	55 Mount Stuart Road Mount Stuart
Name of Tree/s	<i>Laurus nobilis</i> (bay tree)



Reasons for Significance	CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE <ul style="list-style-type: none">Reasons: the tree is of an outstanding form, and is very visible from the surrounding area. CATEGORY 2. TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD <ul style="list-style-type: none">Reasons: the tree is very large for its species, and has a wide canopy spread. CATEGORY 3. TREES THAT ARE VERY OLD OR VENERABLE <ul style="list-style-type: none">Reasons: the tree is over 100 years old, possibly around 120 years. CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE <ul style="list-style-type: none">Reasons: the tree is important to the local area due to its age, size and visible location. CATEGORY 9. TREES THAT ARE SIGNIFICANT FOR REASONS THAT ARE DIFFICULT TO CATEGORISE <ul style="list-style-type: none">Reasons: the tree is of a very interesting form, and with its full canopy and impressive size it has a special quality. The tree has been coppiced, which has caused its interesting form.
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Reference: M12

Address	408 Macquarie Street South Hobart
Name of Tree/s	<i>Cupressus torulosa</i> (Bhutan Cypress) 2 Trees



Reasons for Significance**CATEGORY 4. TREES THAT COMMEMORATE OR ARE REMINDERS OF, CULTURAL PRACTICES, HISTORIC EVENTS OR FAMOUS PEOPLE.**

- The trees are significant as they mark the entrance to the original school.

CATEGORY 5. TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.**Reasons:**

- The trees are significant as they are part of a heritage listed site.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.**Reasons:**

- The tree is a significant component of the local landscape.
-



Reference: M13

Address	89-93 Macquarie Street, Hobart
Name of Tree/s	<i>Araucaria heterophylla</i> – Norfolk Island Pine



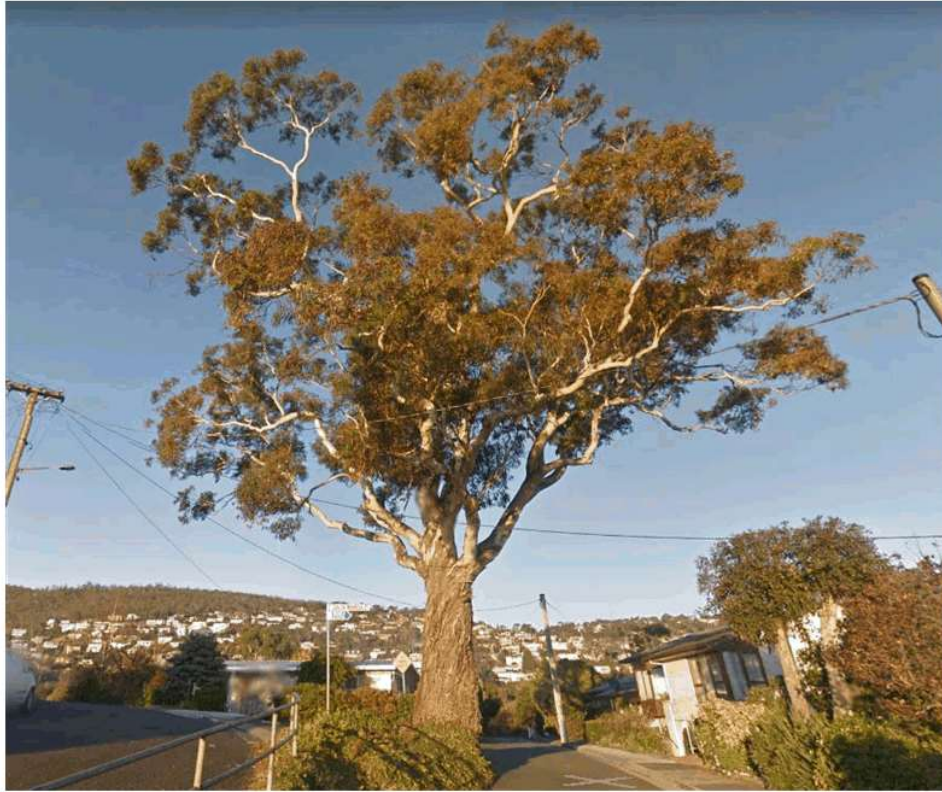
Reasons for significance	CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE. <ul style="list-style-type: none">• The tree is visually very striking, and stands out even amongst tall buildings. It has an interesting co-dominant trunk form. CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.
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-
- The tree is a very visible and commanding element of the streetscape, particularly against the large buildings on this corner. Its loss would have a significant effect on the local area.
-



Reference: M15

Address	Manresa Court nature strip, Sandy Bay
Name of Tree/s	<i>Eucalyptus globulus</i> – Tasmanian blue gum



Reasons for significance	CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE. <ul style="list-style-type: none">• This tree is visually impressive, with a large, even form. CATEGORY 2. TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD. <ul style="list-style-type: none">• The tree is a large example with a thick trunk. CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE. <ul style="list-style-type: none">• This tree has a commanding streetscape presence. CATEGORY 9. TREES THAT HAVE A SIGNIFICANT CONTRIBUTION TO THE INTEGRITY OF AN ECOLOGICAL COMMUNITY.
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-
- The tree has potential habitat hollows and therefore is ecologically significant.
-



Reference: M16

Address	McKenzie Street (adjacent to child care centre at 24-26 Weld Street), South Hobart
Name of Tree/s	<i>Ulmus glabra 'lutescens'</i> – Golden elm

**Reasons for significance****CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.**

- This tree has vibrant foliage and a large, spreading form which makes it visually striking.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- 3 members of the public nominated this tree, which indicates it is well-loved in the community. It is located along a pathway frequently used by school/daycare children and is a landmark tree.



Reference: N1

Address	23 Nelson Road and Peel Street (boundary of Queensborough Oval), Sandy Bay
Name of Tree/s	<i>Cupressus macrocarpa</i> / <i>Hesperocyparis macrocarpa</i> – Monterey cypress (hedge, including separate section at the end of peel street, and one individual tree)

**Reasons for significance****CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.**

- The hedge is very long, well-formed and aesthetically striking.

CATEGORY 2. TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.

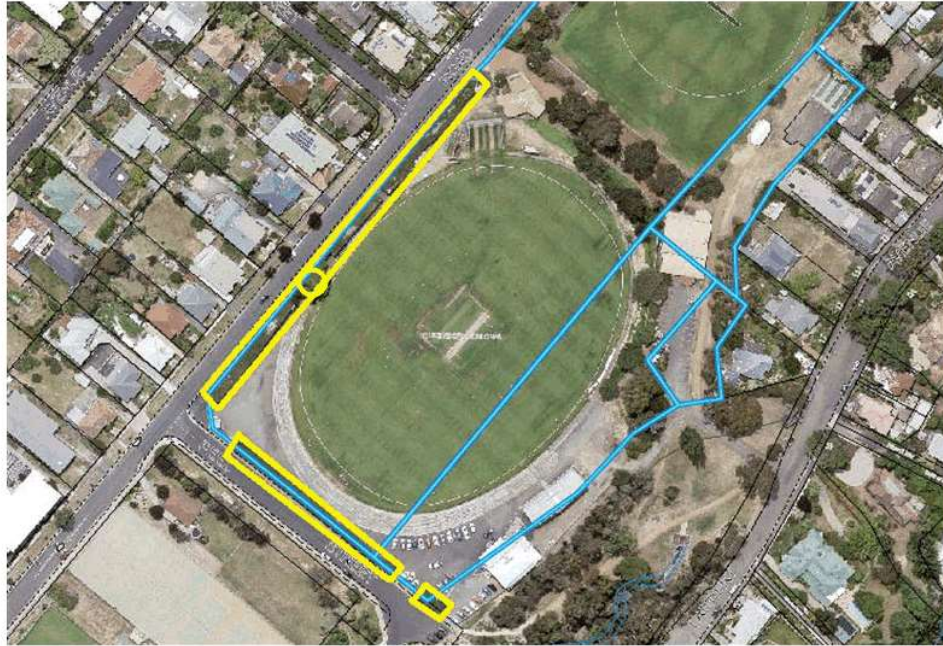
- The hedge is a very long and high example, and the individual tree is tall.

CATEGORY 5. TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

-
- The hedge and tree are a very significant component of this public oval, and their loss would fundamentally alter its character.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- Both the hedge and tree are significant landmarks, and are very dominant in the streetscape.
-



Reference: N2	
Address	23 Nelson Road (Queensborough oval), Sandy Bay
Name of Tree/s	<i>Pinus radiata</i> – radiata pine (4 trees)



Reasons for significance

CATEGORY 2. TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.

- These trees are large examples of the species

CATEGORY 3. TREES THAT ARE VERY OLD OR VENERABLE.

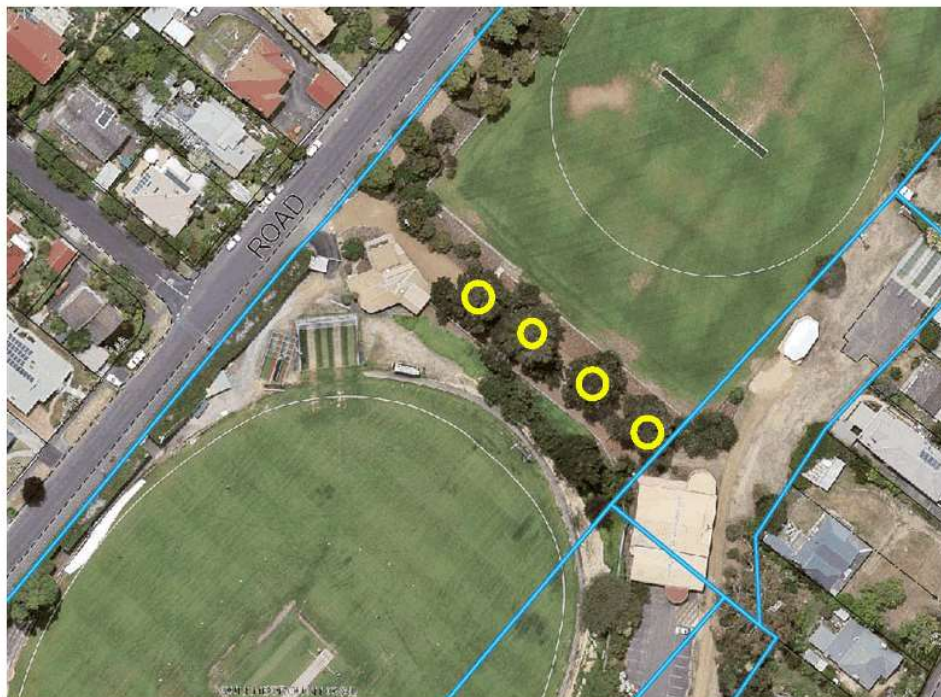
- The trees are over 100 years old.

CATEGORY 5. TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

- These trees are an important component of this public space, and play a distinct role in separating the two ovals. The character of the space would be significantly altered without these trees.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- The trees are very visible from Sandy Bay Road, and from some vantage points sit above the ridgeline of the hills behind. They would also be highly recognisable to locals and visitors who play on the fields. Their loss would be significant in the local area.
-



Reference: N3	
Address	Nature strip adjacent to 108-108A Nelson Road, Mount Nelson
Name of Tree/s	<i>Eucalyptus globulus</i> – Tasmanian blue gum



Reasons for significance**CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.**

- The tree is large, has a good even form and sits high in the streetscape with few other competing trees. It is highly visible in the streetscape, and acts as a 'gateway' tree at the entry into this suburb that is predominantly characterised by native vegetation.
-



Reference: N4	
Address	228 New Town Road (Ogilvie High School), New Town
Name of Tree/s	<i>Salix babylonica</i> – weeping willow



Reasons for significance	<p>CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.</p> <ul style="list-style-type: none">• This tree occupies a prominent location in the grounds of the school, and provides for seating and shade for students. It is clearly a valued landmark tree to the students who attend the school.
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Reference: N5

Address	228 New Town Road (Ogilvie High School), New Town
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Name of Tree/s	<i>Quercus palustris</i> – Pin oak
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Reasons for significance**CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.**

- This tree has high aesthetic value for its wide form, and long horizontal branches. It is also visually prominent in the approach to the main school building, and would be a beautiful indicator of the seasons.

CATEGORY 2. TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.

- The low, wide spread of this tree is unusually large.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- This tree is likely to have a notable presence in the experience of the school students, and would contribute to providing a sense of place in the school grounds.
-

CATEGORY 10. TREES THAT ARE SIGNIFICANT FOR REASONS THAT ARE DIFFICULT TO CATEGORISE.

- This tree has an unusual and interesting form with the spreading lower branches.
-



Reference: O1

Address 14 Old Farm Rd
South Hobart

Name of Tree/s *Notalaea ligustrina* (Native Olive)



Reasons for Significance**CATEGORY 2 TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.****Reasons:**

- The tree is significant as it is a large example of the species.

CATEGORY 3 TREES THAT ARE VERY OLD OR VENERABLE.**Reasons:**

- The tree is significant as it is over 100 years old, which is old for the species.
-



Reference: O2

Address Corner of Ogilvie Street and Canning Court
Mount Stuart

Name of Tree/s *Eucalyptus viminalis* (Manna gum)



Reasons for Significance**CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.**

Reasons:

- The tree is a significant component of the streetscape and stands as a landmark in the local area.

CATEGORY 5. TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

Reasons:

- The tree forms a significant component of the landscape.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

Reasons:

- The tree forms a significant component of the streetscape and is in a prominent position.
-



Reference: P1	
Address	13 Parliament, Sandy Bay
Name of Tree/s	<i>Cupressus macrocarpa</i> / <i>Hesperocyparis macrocarpa</i> – Monterey cypress



Reasons for significance	<p>CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.</p> <ul style="list-style-type: none">• The hedge has an attractive and interesting curved form, with an unusual ‘pop-up’ section. <p>CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.</p> <ul style="list-style-type: none">• This hedge is a strong component of the streetscape, and its loss would markedly change the local area. <p>CATEGORY 10. TREES THAT ARE SIGNIFICANT FOR REASONS THAT ARE DIFFICULT TO</p>
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CATEGORISE.

- The pruned form of this hedge is particularly unusual, with its rounded 'pop up' section.
-



Reference: P2

Address	Petty Street nature strip, West Hobart
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Name of Tree/s	<i>Corymbia ficifolia</i> – Flowering gum
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Reasons for significance	CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.
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- This tree has a presence in the streetscape due to its relatively large and even form, which would be particularly striking when in flower. Its presence adds significantly to the local
-

area.



Reference: P3

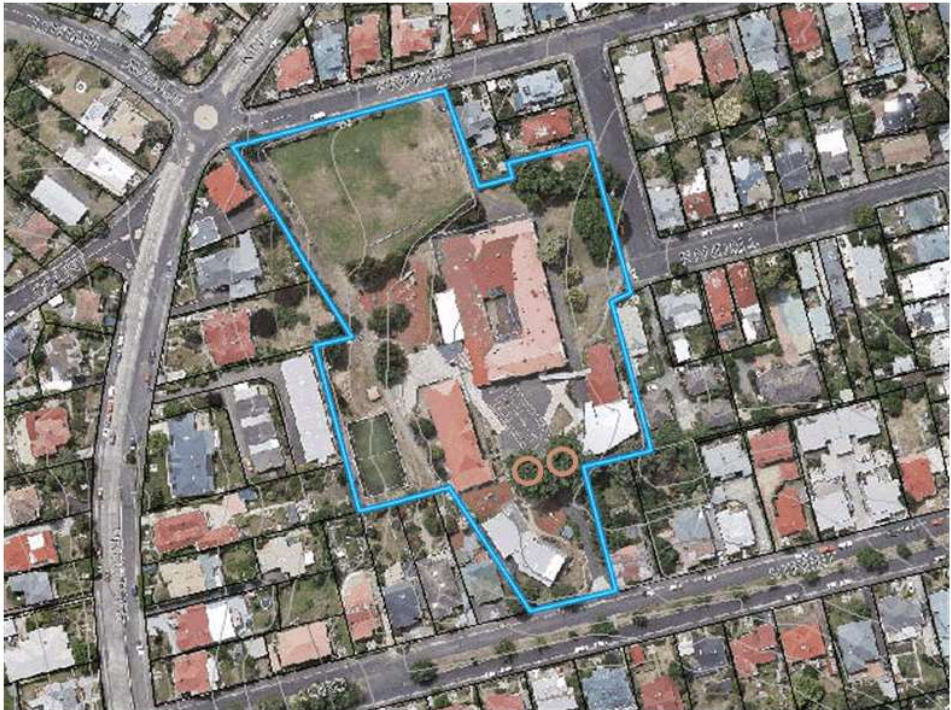
Address	113 Princes Street (Princes Street Primary), Sandy Bay
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Name of Tree/s	<i>Platanus acerifolia</i> – London Plane Tree (2 trees)
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Reasons for significance	CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.
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- These trees are a commanding element of the school grounds, and are likely to have a strong presence in the lives of the school children (indicated by the seating built around the base). They are also visible from Lord Street, and the wider Sandy Bay area. Their loss would have a significant impact on the local area.
-



Reference: P4

Address	6 Proctors Road
Name of Tree/s	<i>Phoenix dactylifera</i> – Date Palm



Reasons for significance **CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.**

- The tree has a commanding presence in the streetscape, rising above rooflines, and being separated from other large trees. It has a striking form due to its species and is well paired with the associated house.
-

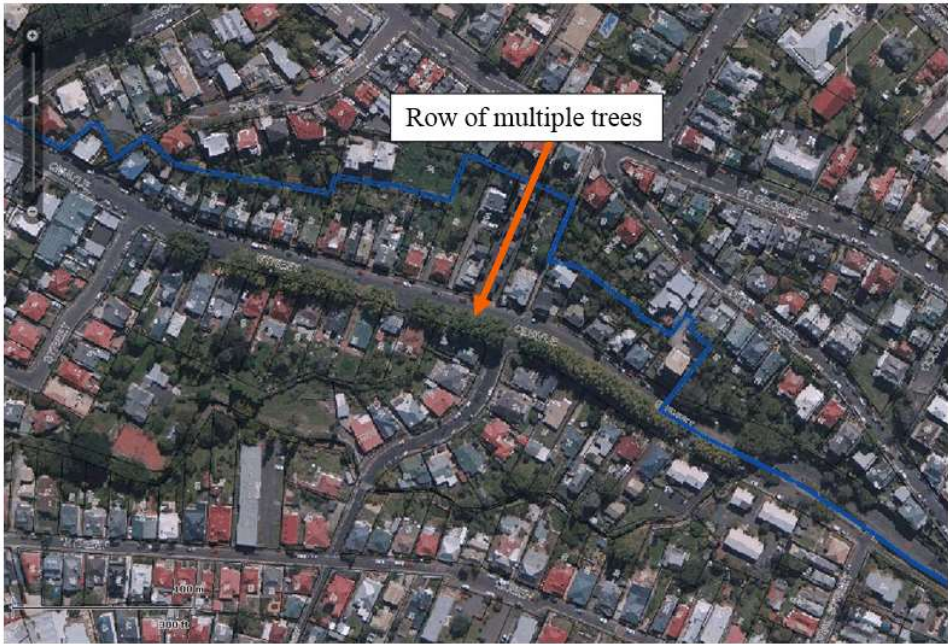


Reference: Q1

Address	Quayle Street (row along nature strip in the centre of the road) 23 trees Battery Point
Name of Tree/s	<i>Platanus x hispanica</i> (plane tree) (multiple trees) HCC Asset Numbers: AL47550001-AL475550011 and AL45240001-AL45240012



Reasons for Significance	<p>CATEGORY 5. TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.</p> <ul style="list-style-type: none"> Reasons: the trees are a defining feature of the Quayle Street streetscape. <p>CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.</p> <ul style="list-style-type: none"> Reasons: the trees are important to the local community, and give a strong sense of place.
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Reference: Q2

Address	Quayle Street (adjacent to rear of 16 Bath Street)
	Battery Point
Name of Tree/s	<i>Eucalyptus globulus</i> (blue gum) HCC asset number: AL47550012

**Reasons for significance****CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.**

- Reasons: the tree has a strong presence in the local community, and being a native species it contrasts against the largely exotic species in the locality.



Reference: Q3

Address

6 Quorn Street (corner of Quorn Street and David Avenue), Sandy Bay

Name of Tree/s*Cupressus macrocarpa* / *Hesperocyparis macrocarpa* – Monterey cypress



Reasons for significance**CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.**

- This hedge is well cared for, even and dense. It has high aesthetic value, which is increased by the small, arched pedestrian access opening.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- The hedge has a striking prominence in the streetscape, emphasised due to its location on the corner. The loss of the hedge would have a significant impact on the local area.
-



Reference: R1

Address	Poplarville 68 Risdon Road New Town
Name of Tree/s	<i>Araucaria heterophylla</i> (norfolk island pine) 2 trees



Reasons for Significance	CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE. <ul style="list-style-type: none">Reasons: the trees are aesthetically appealing due to their size and prominence. CATEGORY 2. TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD. <ul style="list-style-type: none">Reasons: Norfolk Island pine trees are by nature a tall species, but these individuals are particularly tall, and also have significant trunk dimensions.
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CATEGORY 3. TREES THAT ARE VERY OLD OR VENERABLE.

- Reasons: the trees are old – likely as old as the heritage listed house

CATEGORY 4. TREES THAT COMMEMORATE, OR ARE REMINDERS OF, CULTURAL PRACTICES, HISTORIC EVENTS OR FAMOUS PEOPLE.

- Reasons: the trees have historical connections with Hobart's past.

CATEGORY 5. TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

- Reasons: The trees are very prominent in the landscape and are significant landmarks.
-



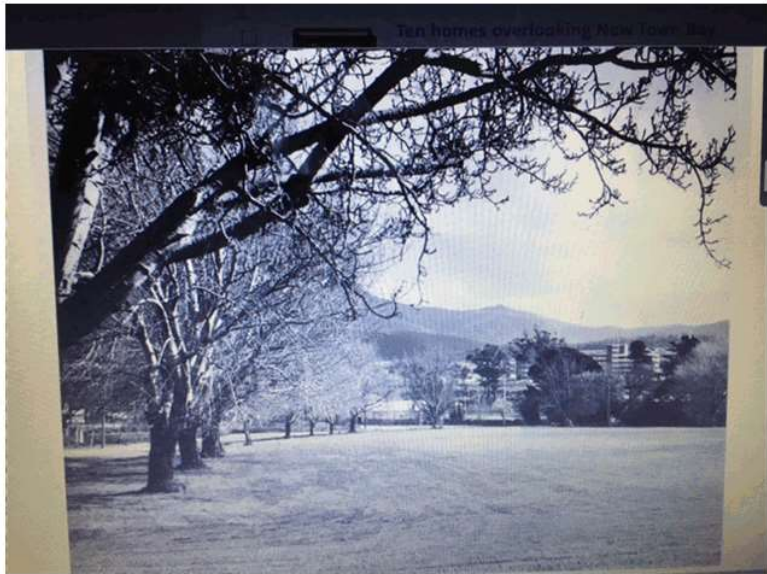
Reference: R2	
Address	16 Rosehill Crescent Lenah Valley
Name of Tree/s	<i>Eucalyptus viminalis</i> (white gum)



Reasons for Significance	CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE. <ul style="list-style-type: none">Reasons: The tree is aesthetically significant in its setting as it is one of the largest examples left in the developed area.
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Reference: R3	
Address	Risdon Road (either side of road outside 74 Risdon Road – Lauderdale), New Town
Name of Tree/s	<i>Platanus x acerfolia</i> and <i>Ulmus procera</i> – London plan tree and English elm (2 trees)



Reasons for significance

CATEGORY 2. TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.

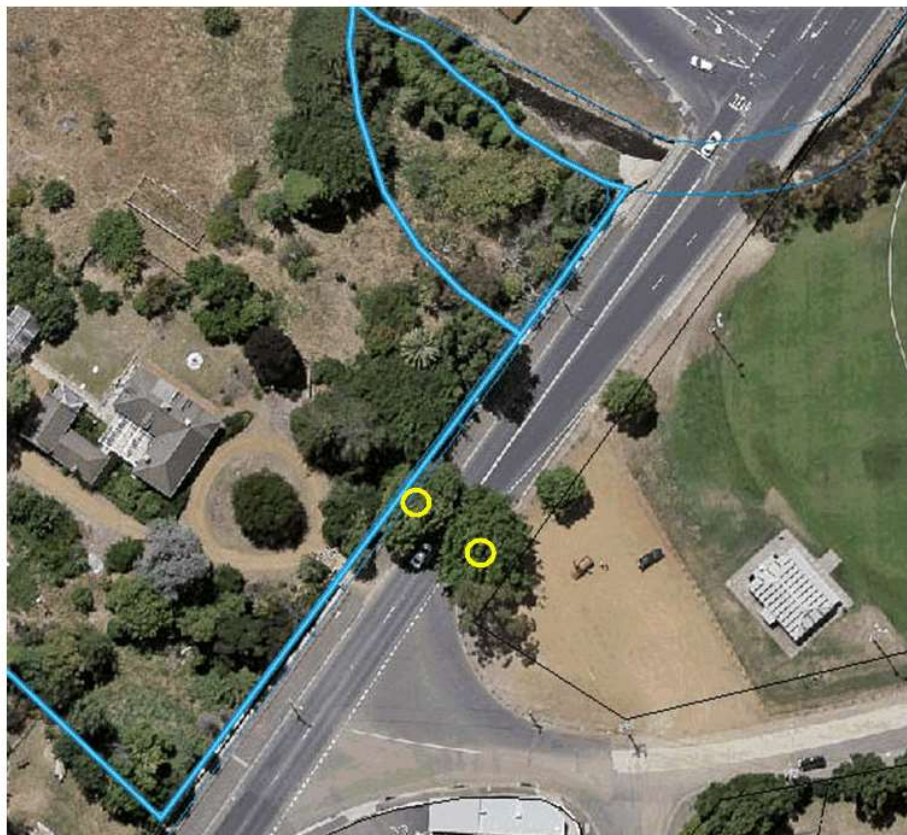
- These are large examples of the species, with a wide trunk circumference.

CATEGORY 3. TREES THAT ARE VERY OLD OR VENERABLE.

- These trees are over 100 years old.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- These trees have a very prominent presence in the streetscape of this busy road. They act as 'gateway' trees into New Town and are strong local landmarks.
-



Reference: S1	
Address	St Johns Avenue, St Johns Park
Name of Tree/s	<i>Quercus robur</i> (English Oak) x 24
	
	
Reasons for significance	CATEGORY 4 TREE(S) THAT COMMEMORATE OR HAVE ASSOCIATIONS WITH AN IMPORTANT HISTORICAL EVENT.



Reference:S2

Address 12 St Johns Avenue, St Johns Park (near Creek road frontage)

Name of Tree/s *Aesculus hippocastanum* (Horse Chestnut)

**Reasons for Significance**


CATEGORY 4 TREES THAT COMMEMORATE, OR ARE REMINDERS OF, CULTURAL PRACTICES, HISTORIC EVENTS OR FAMOUS PEOPLE.

Reasons:


- The tree is significant because it was planted on 19/05/1951 by Geoffrey Woodhouse to commemorate the Jubilee of the Commonwealth of Australia (plaque beside tree).
- The tree is planted on a heritage listed property.

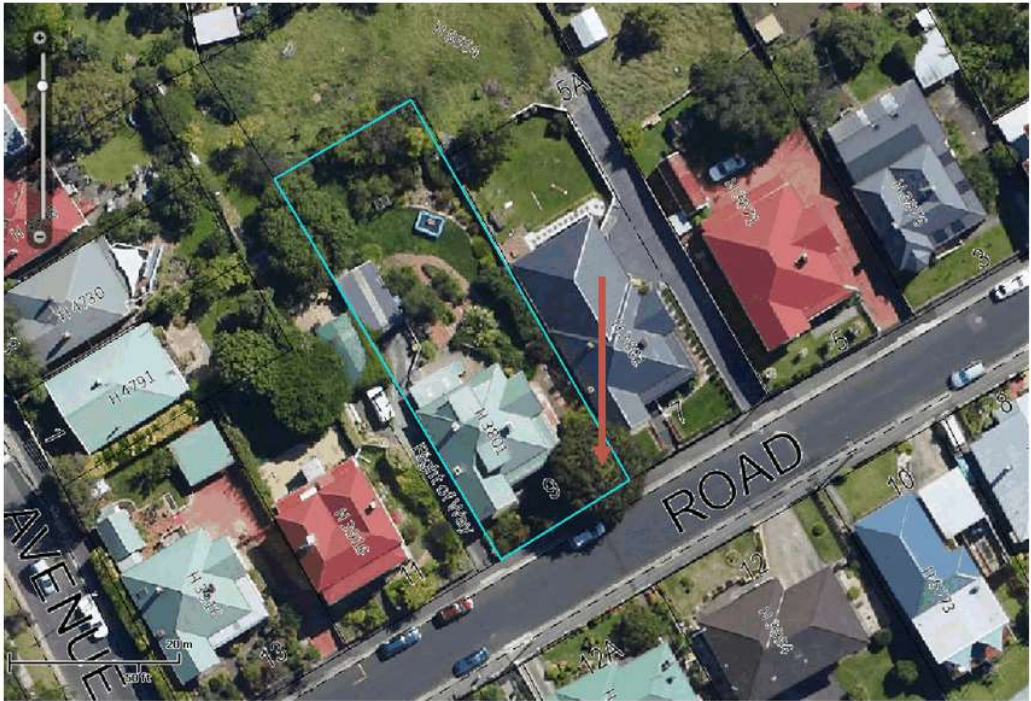
That the group of trees be listed as it falls within the following categories of significance: 4



Reference: S3	
Address	209 Strickland Ave South Hobart
Name of Tree/s	<i>Eucalyptus viminalis</i> (White Gum)
	
Reasons for Significance	<p>CATEGORY 6 TREES THAT HAVE LOCAL SIGNIFICANCE.</p> <p>Reason:</p> <ul style="list-style-type: none">▪ The tree is a significant component of the local landscape.



Reference: S4	
Address	9 Summerhill Road
Name of Tree/s	<i>Acer palmatum</i> (Japanese Maple)
	
Reasons for significance	<p>CATEGORY 2 TREE(S) OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.</p> <p>CATEGORY 6 TREE(S) THAT ARE AN IMPORTANT PART OF AN HISTORIC SITE OR GARDEN, OR A PARK OR TOWN.</p>

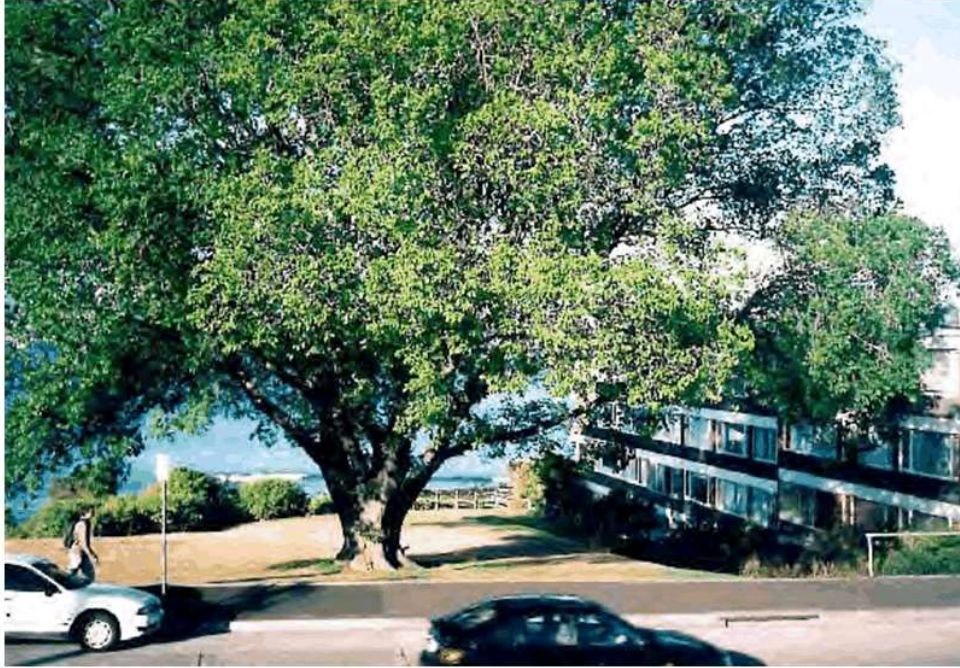


Reference: S5	
Address	64 Summerleas Road
Name of Tree/s	<i>Eucalyptus pulchella</i> (White Peppermint) x2
	
Reasons for significance	<p>CATEGORY 7 TREE(S) THAT OCCUR(S) IN A UNIQUE LOCATION R CONTEXT AND SO PROVIDE(S) A CONTRIBUTION TO THE LANDSCAPE.</p> <p>CATEGORY 8 TREE(S) OR A SPECIES OR VARIETY THAT IS RARE OR OF VERY LOCALISED DISTRIBUTION.</p>



Reference: S6

Address	Maning Avenue Reserve Sandy Bay
Name of Tree/s	<i>Ulmus procera</i> (English elm)



Reasons for Significance

CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.

Reasons:

- The tree is a significant aesthetic component of the streetscape.

CATEGORY 2. TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.

Reasons:

- Outstanding canopy spread.

CATEGORY 5. TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

Reasons:

- The tree is a significant component of Maning Reserve and the local and distant landscape.



CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

Reasons:

- The tree is of great importance to the local community and is a significant component of the streetscape.



Reference: S7

Address	Gattonside 53 Sandy Bay Road Battery Point
Name of Tree/s	<i>Quercus robur</i> (english oak) x 2
 <p>(English oak tree fronting Sandy Bay Road)</p>	
 <p>(English oak to side of building)</p>	

**Reasons for
Significance*****Oak to front of the property:*****CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.**

- Reasons: the oak to the front of the property forms a significant component of the streetscape as it has high visibility due to its location on a busy arterial road.

Oak to side of the building:**CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE**

- Reasons: this tree is large and magnificent, and adds vastly to the aesthetics of the property.

CATEGORY 2. TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.

- Reasons: the tree is large and imposing.

CATEGORY 3. TREES THAT ARE VERY OLD OR VENERABLE.

- Reasons: The tree is of an old age, and must have been planted early in the development of the garden.

CATEGORY 5. TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

- Reasons: The tree is considered to be a highly significant component of the historic setting.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- Reasons: the tree is large and attractive and is closely associated with a historical building. It is significant in its local context.
-



Reference: S8

Address Gattonside
53 Sandy Bay Road
Battery Point

Name of Tree/s *Arbutus unedo* (Irish strawberry tree)



(Strawberry tree (taller tree))

**Reasons for
Significance**

CATEGORY 2. TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.


- Reasons: the tree is of an outstanding height for its species.

CATEGORY 3. TREES THAT ARE VERY OLD OR VENERABLE.

- Reasons: The tree is of an old age, and must have been planted early in the development of the garden.
-



Reference: S9

Address	Gattonside 53 Sandy Bay Road Battery Point
Name of Tree/s	<i>Magnolia grandiflora</i> (magnolia) x 2
	
(magnolias)	
Reasons for Significance	<p>CATEGORY 3. TREES THAT ARE VERY OLD OR VENERABLE.</p> <ul style="list-style-type: none">Reasons: the magnolias are both very well established and of a considerable age (approximately 100-120 years old). <p>CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.</p> <ul style="list-style-type: none">Reasons: both trees are a visible and important aspect of the property as a whole, and contribute significantly to the local area.



Reference: S10

Address	55 Sandy Bay Road Battery Point
Name of Tree/s	<i>Quercus robur</i> (english oak) HCC asset number: AL47500001



(English oak to centre of photograph)

Reasons for Significance **CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.**

- Reasons: the tree contributes significantly to the local streetscape, particularly when coupled with the oak of a similar size and age nominated at 53 Sandy Bay Road.
-




Reference: S11	
Address	469 Sandy Bay Road Sandy Bay
Name of Tree/s	<i>Phoenix canariensis</i> (canary island palm)



Reasons for Significance	CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE. <ul style="list-style-type: none">Reasons: the tree is locally significant as it has a prominent presence in the streetscape and a strong association with the architecture of the building.
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Reference: S12	
Address	564 Sandy Bay Road (Reserve near Sandy Bay Infant School and steps to Sandy Bay Road from Nutgrove Beach) Sandy Bay
Name of Tree/s	<i>Fagus sylvatica 'Purpurea'</i> (european copper beech)
	
Reasons for Significance	CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE. Reasons: the tree is locally significant as it is in a prominent position in a public area, it has a pleasing shape and it sits well in its location.



Reference: S13

Address	564 Sandy Bay Road (Reserve near Sandy Bay Infant School and steps to Sandy Bay Road from Nutgrove Beach) Sandy Bay
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Name of Tree/s	<i>Pyrus communis</i> (common pear)
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Reasons for Significance	CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.
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	Reasons: the tree is locally significant as it is in a prominent position in a public area, and is actively enjoyed by locals (both in terms of aesthetics and the fruit).
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Reference: S14	
Address	609 Sandy Bay Road Sandy Bay
Name of Tree/s	<i>Phoenix canariensis</i> (canary island palm)
	
Reasons for Significance	CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE. Reasons: the tree is locally significant as it has a strong street presence in an important part of Sandy Bay and is a good example of its type.




Reference: S16

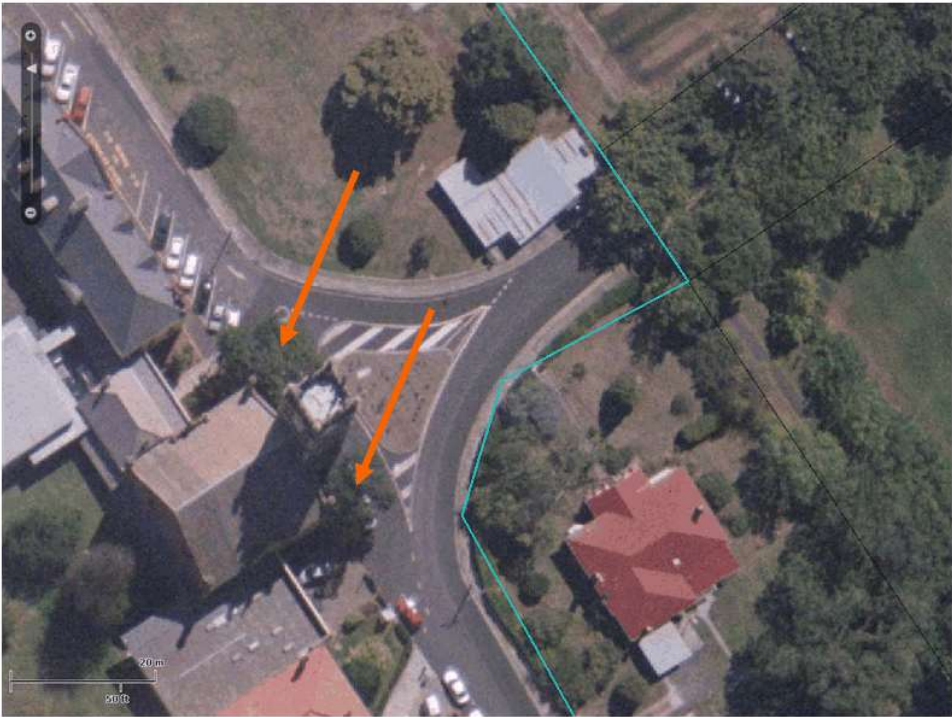
Address	9 St Johns Avenue New Town
Name of Tree/s	<i>Ulmus procera</i> (english elm)



-
- Reasons for Significance**
- CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.**
- Reasons: The tree has a good form and appears to be of good health for such an old specimen.
- CATEGORY 2. TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.**
- Reasons: The tree is one of the largest elms in Hobart.
- CATEGORY 3. TREES THAT ARE VERY OLD OR VENERABLE.**
- Reasons: The tree is estimated at 150-175 years of age.
- CATEGORY 5. TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.**
- Reasons: The tree has strong links to the history of St Johns church and its grounds.
- CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.**
- Reasons: The tree is a visible and attractive component of this important precinct.
-



Reference: S17	
Address	St Johns Anglican Church 14 St Johns Avenue New Town
Name of Tree/s	<i>Quercus robur</i> (english oak) 2 trees
	
Reasons for Significance	<p>CATEGORY 5. TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.</p> <ul style="list-style-type: none">Reasons: The trees have strong links to the history of St Johns church, and are a recognisable aspect of the church facade. <p>CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.</p> <ul style="list-style-type: none">Reasons: The trees are significant to locals who have any involvement with the church.



Reference: S18	
Address	Governor's Square 74 Sandy Bay Road Battery Point
Name of Tree/s	<i>Ulmus procera</i> (english elm) (3 trees)





(View along Sandy Bay Road – English elms to left in background)

Reasons for Significance	CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE. <ul style="list-style-type: none">Reasons: the trees are locally significant in that they enhance the local area appreciably.
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Reference: S19

Address	Beaumaris gardens 82 Sandy Bay Road Battery Point	
Name of Tree/s	<i>Ulmus procera</i> (english elms) (4 trees)	HCC Asset Numbers: AL47500006-15
<div></div> <div>(English elms)</div>		
<div></div> <div>(English elms)</div>		

Reasons for Significance CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- Reasons: the trees are locally significant in that they enhance the local area appreciably.



Reference: S20	
Address	Beaumaris gardens 82 Sandy Bay Road Battery Point
Name of Tree/s	<i>Cupressus torulosa</i> (Bhutan cypress)



(Bhutan cypress)

Reasons for Significance	CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE. <ul style="list-style-type: none">Reasons: the trees are locally significant in that they enhance the local area appreciably.
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Reference: S21	
Address	410 Sandy Bay Road
Name of Tree/s	<i>Sequoiadendron giganteum</i> (Giant Sequoia) 2 trees



Reasons for Significance**CATEGORY 1 TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.****Reasons:**

- The trees are good specimens of their species

CATEGORY 3 TREES THAT ARE VERY OLD OR VENERABLE.**Reasons:**

- The trees are of an old age, likely to be approximately 80 years.

CATEGORY 5 TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.**Reasons:**

- The trees form a significant component of the streetscape.

CATEGORY 6 TREES THAT HAVE LOCAL SIGNIFICANCE**Reasons:**

- The trees are large and visible from a number of angles, and from a reasonable distance away. They are landmarks in the local area.
-



Reference: S22	
Address	Salier Crescent (road reserve adjacent no 15), Mount Stuart
Name of Tree/s	<i>Fraxinus oxycarpa</i> 'Raywoodii' – Claret ash



Reasons for significance**CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.**

- This tree is striking for its strong seasonal colour changes and its large even form.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- The tree has a strong presence in the streetscape, and would be a significant seasonal marker to locals. There is a bus stop under this tree, and so it is likely used for shade and shelter.
-



Reference: S23

Address	St Davids Park (20 Sandy Bay Road)
Name of Tree/s	<i>Fagus sylvatica</i> – European beech (2 trees) and <i>Tilia cordata</i> – lime (2 trees)



Reasons for significance

CATEGORY 2. TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.

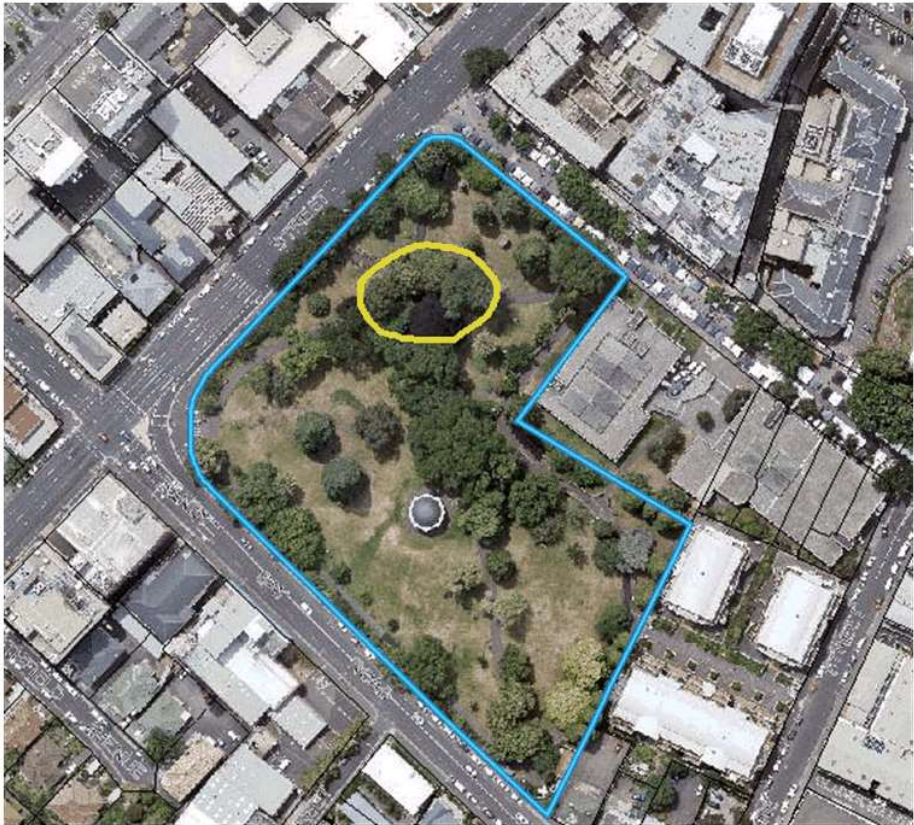
- These are large examples of the species.

CATEGORY 5. TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

- These trees have a very strong sense of place within this well-frequented public park. They mark the crossroads of major paths, and create a shaded grove effect. The park would be significantly altered if the trees were removed.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- These trees add a sense of place to this public park and are likely admired by many who use the space.



Reference: S24

Address 20 Sandy Bay Road (St David's Park), Hobart**Name of Tree/s** *Eucalyptus globulus* – Tasmanian Blue gum

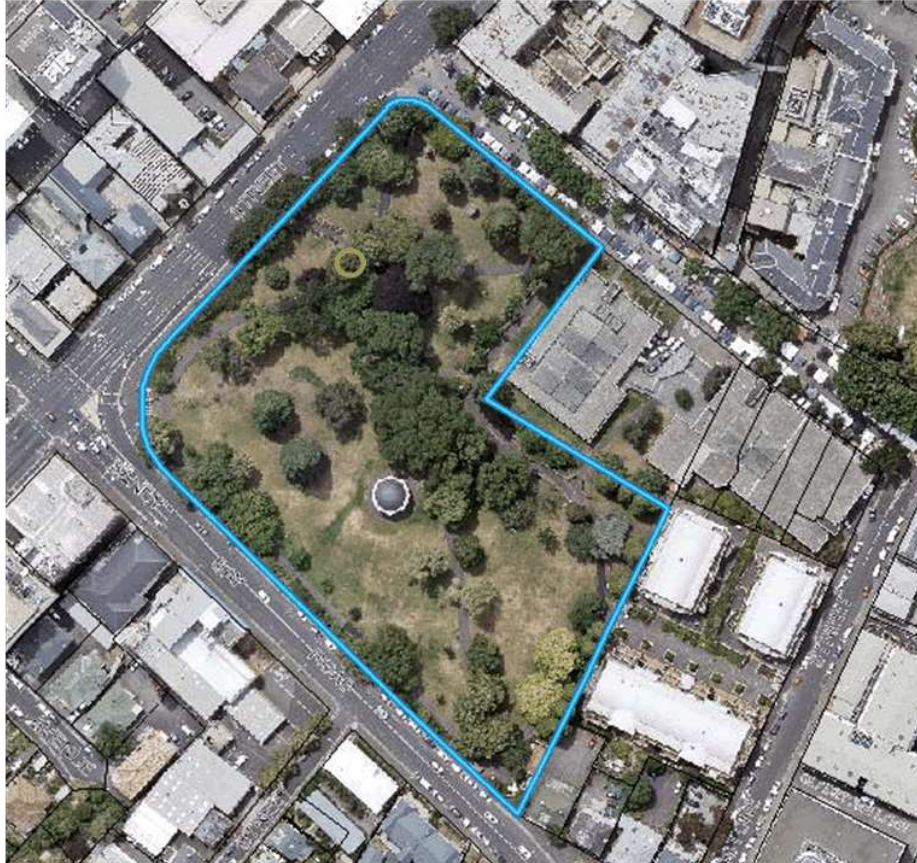


Reasons for significance **CATEGORY 5. TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.**

- This tree has an important role to play in the setting of this park. It is a replacement for a remnant blue gum, and is the only large eucalypt in the park.
-

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- The tree is prominent as the only one of its species, and is enjoyed by the many people that pass through the park each day.
-



Reference: S25

Address117 Sandy Bay Road

Name of Tree/s*Eucalyptus viminalis* – White gum



Reasons for significance**CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.**

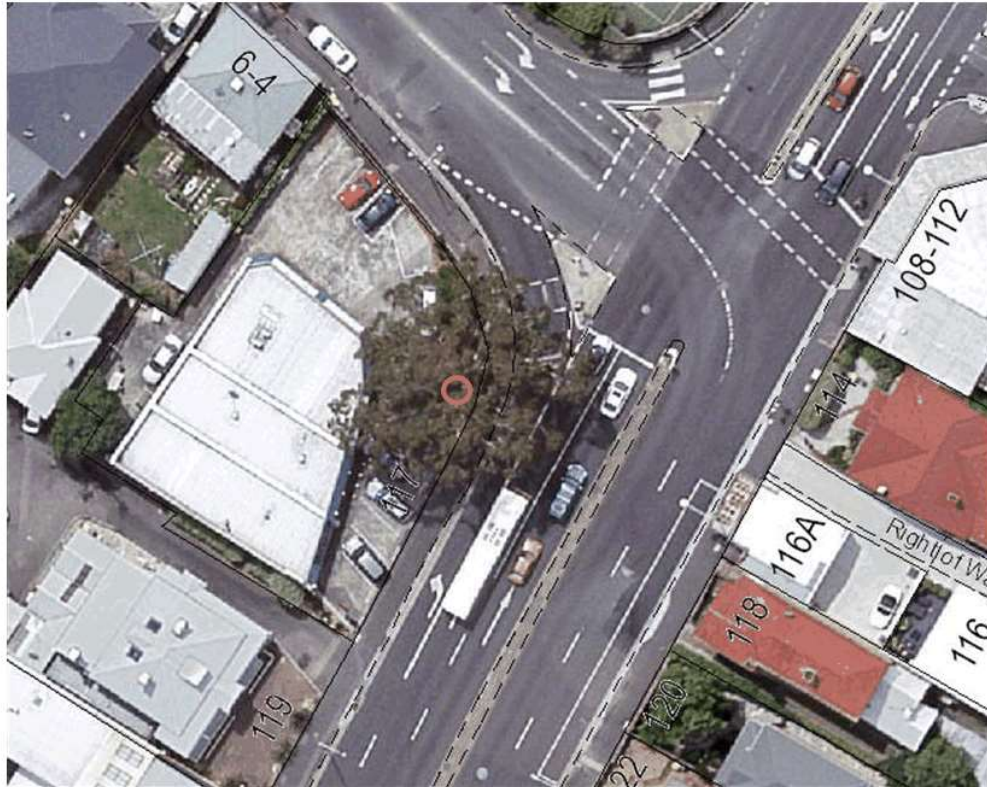
- This tree is large with an even form, and is very striking in its corner location.

CATEGORY 3. TREES THAT ARE VERY OLD OR VENERABLE.

- The tree is estimated to be over 100 years old.
-

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- The tree is on a prominent corner, with no other large trees in close proximity. It is a beautiful native tree and is a landmark in the local area.
-



Reference: S26

Address	629-663 Sandy Bay Road (Alexandra Battery Park, Churchill Avenue frontage), Sandy Bay
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Name of Tree/s	<i>Eucalyptus viminalis</i> – White gum
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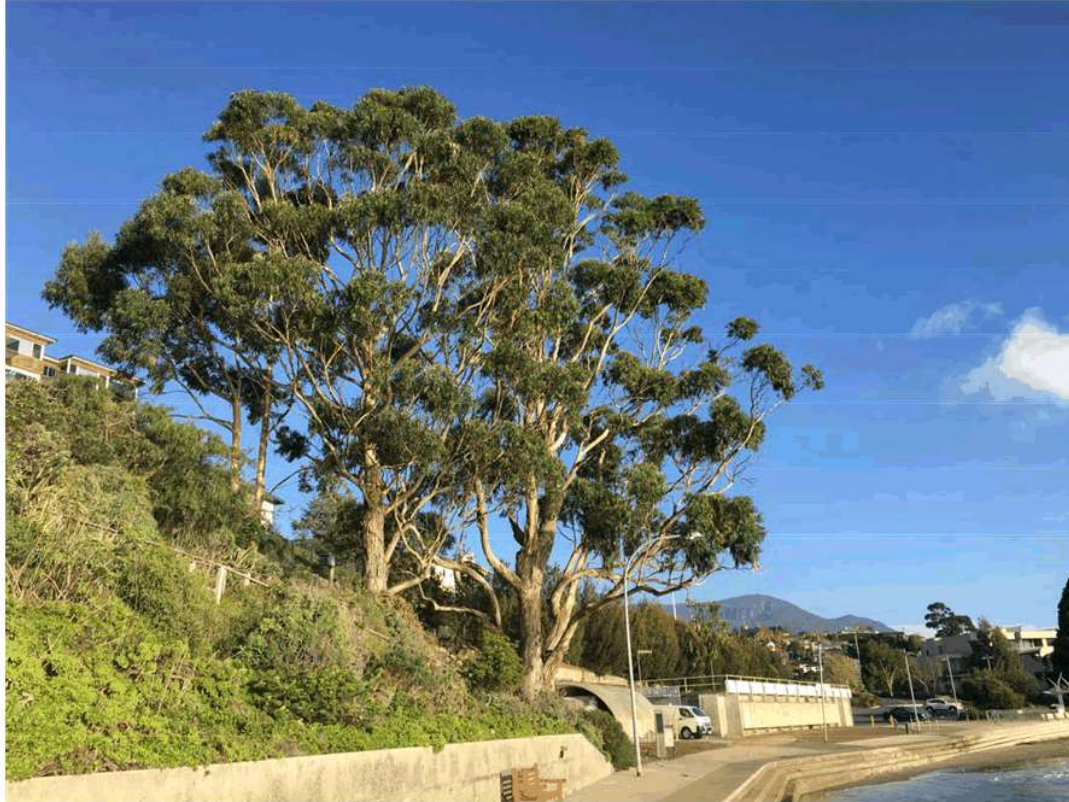
Reasons for significance**CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.**

- This tree is large, has an attractive form, and is highly visible from the Churchill Avenue frontage. It has a strong presence in both the park and the streetscape of the local area.
-



Reference: S27

Address	646A Sandy Bay Road, Sandy Bay
Name of Tree/s	<i>Eucalyptus globulus</i> – blue gum (2 trees)



Reasons for significance

CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.

- The trees, particularly as a pairing, make a strong aesthetic contribution to this well-visited location. They are of a good size and attractive form.

CATEGORY 5. TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

- These trees have a strong presence in the landscape along the foreshore, and are a reminder of vegetation that would have once been highly dominant in this area.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- The trees occupy a prominent location and are highly visible both from the street, and from the walkway along Long Beach. The loss of the trees would cause significant detriment to the local area.
-



Reference: S28	
Address	706 Sandy Bay Road, Sandy Bay
Name of Tree/s	<i>Eucalyptus globulus</i> – Tasmanian blue gum



Reasons for significance

CATEGORY 5. TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

- This tree is considered to contribute significantly to the shoreline of the River Derwent in this area. There are only a few large eucalypts remaining in this stretch of shoreline, and they are worth protecting for their connection to the previous native vegetation that would have dominated in this area. Their loss would remove the final remnants of this character, mainly as visible from the river as a public domain.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- This tree would be prominent when viewed from watercraft using the public domain of the river. The remaining few large native trees along the coastline have strong local significance.
-



Reference: S29

Address	892 and 894 Sandy Bay Road, Sandy Bay
Name of Tree/s	<i>Eucalyptus globulus</i> – Tasmanian blue gum (3 trees)



Reasons for significance

CATEGORY 5. TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

- The trees are considered to contribute significantly to the shoreline of the River Derwent in this area. There are only a few large eucalypts remaining in this stretch of shoreline, and they are worth protecting for their connection to the previous native vegetation that would have dominated in this area. Their loss would remove the final remnants of this character, mainly as visible from the river as a public domain.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- These trees would be prominent when viewed from watercraft using the public domain of the river. The remaining few large native trees along the coastline have strong local significance.



Reference: S30	
Address	Sandy Bay Road (between Derwentwater and Waimea Avenues), Sandy Bay
Name of Tree/s	<i>Platanus x acerifolia</i> – London plane tree (12 trees)



Reasons for significance

CATEGORY 5. TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

- The trees define this section of Sandy Bay Road, and their loss would result in a fundamental change to the character of the area.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- The trees are appreciated by the many motorists, cyclists and pedestrians that pass through this area. They provide shade and a strong sense of place, and have a significant impact on the amenity of the streetscape.
-



Reference: S31

Address	908 Sandy Bay Road (The Grange picnic area), Sandy Bay
Name of Tree/s	<i>Eucalyptus globulus</i> – Tasmanian blue gum



Reasons for significance

CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.

- This tree is located on a bend in the road, and sits prominently above other vegetation. It has an attractive straight form and high even canopy.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- This tree is very prominent in the streetscape and acts as a 'gateway' tree between the Hobart and Kingborough municipalities. It has very strong local significance.



Reference: S33	
Address	Nature strip adjacent to 5 Suncrest Avenue, Lenah Valley
Name of Tree/s	<i>Chamaecyparis lawsoniana</i> - Lawson cypress (2 trees)



Reasons for significance

CATEGORY 5. TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

- These trees were likely planted at the same time the adjacent house was built, and they frame the entrance to the heritage listed house symmetrically.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- These two trees are a prominent pair in the streetscape due to their reasonably large size and vertical form.
-



Reference: S34	
Address	120 Swanston Street, New Town
Name of Tree/s	<i>Eucalyptus globulus</i> – Tasmanian blue gum



Reasons for significance**CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.**

- This tree is visually beautiful, with a large, even form.

CATEGORY 2. TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.

- This is a large example of a blue gum, with a wide trunk circumference.

CATEGORY 3. TREES THAT ARE VERY OLD OR VENERABLE.

- The tree is over 100 years old.

CATEGORY 5. TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

- The tree has a very strong presence in the setting of this heritage listed site.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- This tree has a strong individual presence in the streetscape, and is likely to be seen as a landmark tree in the local area.
-



Reference: T1	
Address	29 Tower Road, New Town
Name of Tree/s	<i>Phoenix dactylifera</i> – date palm



Reasons for significance	<p>CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.</p> <ul style="list-style-type: none">• The tree has a striking form and large canopy and is visually appealing. <p>CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.</p> <ul style="list-style-type: none">• The tree has a strong streetscape presence, particularly due to its location on a corner.
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Reference: V1	
Address	36 View Street, Sandy Bay
Name of Tree/s	<i>Fagus sylvatica 'Purpurea'</i> – copper beech



Reasons for significance**CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.**

- The tree has striking copper coloured foliage and a large, even canopy.

CATEGORY 3. TREES THAT ARE VERY OLD OR VENERABLE.

- The tree is estimated to be over 100 years of age.
-



Reference: W1

Address 4 Weld St
South Hobart

Name of Tree/s *Cupressus* species (Cypress species)



Reasons for Significance

CATEGORY 5 TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

Reasons:

- The tree is significant as part of the historic site.

CATEGORY 6 TREES THAT HAVE LOCAL SIGNIFICANCE.

Reasons:

- The tree is a significant component of the local landscape.
-



Reference: W2

Address 4 Weld St
South Hobart

Name of Tree/s *Sophora microphylla* (Kowhai)

**Assessment Group
Comments**

The owner supports the nomination and states that the tree "*does appear on Henry Hunter's plan and is older than your nomination*".

Heritage listed property within Heritage Area 6.

Reasons for Significance**CATEGORY 4 TREES THAT COMMEMORATE, OR ARE REMINDERS OF, CULTURAL PRACTICES, HISTORIC EVENTS OR FAMOUS PEOPLE.****Reasons:**


- The tree is significant for its association with Henry Hunter (as it was included in Henry Hunters garden plan).

CATEGORY 5 TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.**Reasons:**

- The tree has significance as part of the historic site.



Reference: W4

Address	Wentworth St (road reserve adjacent to 98 Wentworth) South Hobart
Name of Tree/s	<i>Eucalyptus globulus</i> (Tasmanian Blue Gum)
	
Owners of the Land	HCC
Nominated By	Malcolm & Roslyn Saltmarsh 91 Wentworth St South Hobart, TAS 7004 Ph. 62235504
Nominators reasons for nomination	Categories 1, 3, 5, 6 & 9 Magnificent specimen of Tasmanian Blue Gum Dominant feature in Wentworth St and a landmark in South Hobart Attracts a number of wildlife About 50+yrs old
Reasons for Significance	CATEGORY 6 TREES THAT HAVE LOCAL SIGNIFICANCE. Reasons: <ul style="list-style-type: none"> The tree is a significant component of the local landscape.



Reference: W5

Address	136 Wentworth Street, Wellesly Park
Name of Tree/s	<i>Eucalyptus morrisbyi</i> (Morrisby's Gum)

**Reasons for Significance****CATEGORY 6 TREES THAT HAVE LOCAL SIGNIFICANCE.****Reasons:**

- The tree is a significant component of the local landscape.

CATEGORY 7 TREES OF A SPECIES OR VARIETY THAT IS RARE OR OF VERY LOCALISED DISTRIBUTION.**Reasons:**

- The tree is significant as it is a rare species.
-



Reference: W6

Address 40 Waterworks Road
Dyngryne

Name of Tree/s *Eucalyptus globulus* (Tasmanian blue gum)



Reasons for Significance**CATEGORY 2. TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.****Reasons:**

- The tree is of an outstanding height.

CATEGORY 5. TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.**Reasons:**

- The tree forms a significant component of the natural landscape.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.**Reasons:**

- The tree would be recognised locally and forms a significant component in the landscape.
-



Reference: W7

Address	46 Waterworks Road Dyynnyrne
Name of Tree/s	<i>Eucalyptus globulus</i> (tasmanian blue gum)



(Blue gum furthest from house)

Assessment Group Comments	<ul style="list-style-type: none"> • The trees are reasonably large. • The tree furthest from the house is the bigger of the two, and is better placed to be accepted into the significant tree list. The tree closer to the house could become very large and could become a danger to the house. • The tree furthest from the house is makes an aesthetic contribution to the area, and is of a good size.
Reasons for Significance	<p>CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.</p> <ul style="list-style-type: none"> • Reasons: The tree is aesthetically significant in its setting as it is one of the largest examples left amongst the developed part of the area. <p>CATEGORY 2. TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.</p> <ul style="list-style-type: none"> • Reasons: The tree is large, particularly in the residential setting.



Reference: W8	
Address	26 Willowdene Avenue Sandy Bay
Name of Tree/s	<i>Salix babylonica</i> (weeping willow)



Reasons for Significance	CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE. <ul style="list-style-type: none">Reasons: The tree is a significant and recognisable aspect of the local area.
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Reference: W9	
Address	168 Warwick Street, West Hobart
Name of Tree/s	<i>Pyrus communis</i> – Pear tree



Assessment panel comments	<p>CATEGORY 5. TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.</p> <ul style="list-style-type: none">This tree, due to its species and location, has strong links to the history of land use in West Hobart. It is a reminder of the once dominant orchards in this area. There is evidence that an orchard previously existed on this site.
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Reference: W10

Address	224 Warwick Street, West Hobart
Name of Tree/s	<i>Pyrus communis</i> – Pear tree (orchard variety)



Photograph of tree c1910-1915

Reasons for significance**CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.**

- This pear tree has a beautiful large, even form and is a significant element of this particularly aesthetically pleasing garden.

CATEGORY 2. TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.

- This is a very large pear tree, with a large, dense canopy.

CATEGORY 3. TREES THAT ARE VERY OLD OR VENERABLE.

- The tree is estimated to be between 120-150 years old.
-



Reference: W11

Address	58 Wentworth Street, South Hobart
Name of Tree/s	<i>Ulmus minor 'Variegata'</i> – silver elm



Reasons for significance	<p>CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.</p> <ul style="list-style-type: none">• The tree is large, has an even form, and complements the frontage of the building it is associated with. <p>CATEGORY 2. TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.</p> <ul style="list-style-type: none">• The tree is a large example of the species. <p>CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.</p> <ul style="list-style-type: none">• This tree is large, attractive and prominent due to its corner location. It makes a significant contribution to the streetscape, and its loss would be noticed in the local area.
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Reference: W12

Address	Tolmans Hill Park (Woodcutters Drive and Old Proctors Road), Tolmans Hill
Name of Tree/s	<i>Eucalyptus globulus</i> – Tasmanian blue gum

**Reasons for significance****CATEGORY 1. TREES OF OUTSTANDING AESTHETIC SIGNIFICANCE.**

- The tree is prominent, and has an attractive form.

CATEGORY 2. TREES OF OUTSTANDING DIMENSIONS IN HEIGHT, TRUNK CIRCUMFERENCE OR CANOPY SPREAD.

- The tree is a large example of the species with a wide trunk circumference.

CATEGORY 3. TREES THAT ARE VERY OLD OR VENERABLE.

- The tree is over 100 years old.

CATEGORY 5. TREES THAT ARE RECOGNISED AS A SIGNIFICANT COMPONENT OF A NATURAL LANDSCAPE, HISTORIC SITE, TOWN, PARK OR GARDEN.

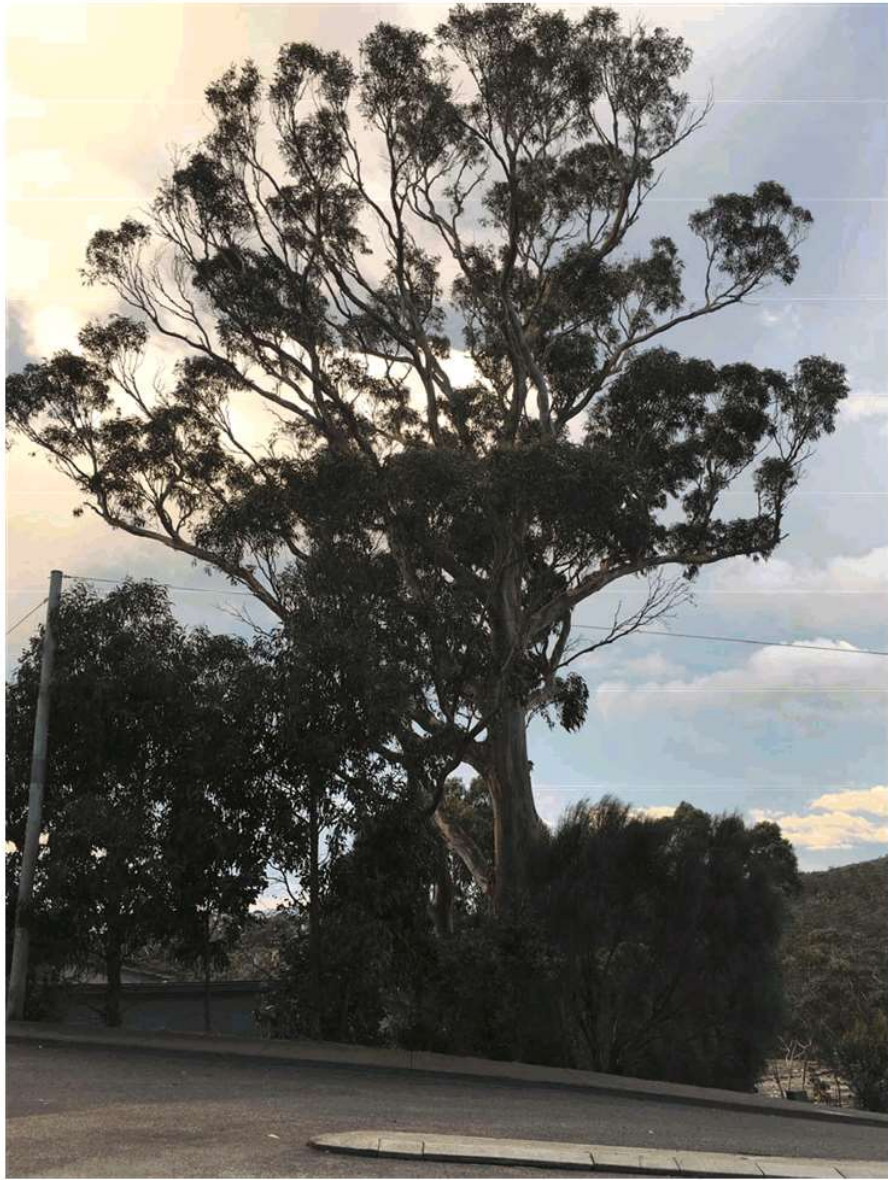
- This tree is a prominent component of this park, which has only recently been developed.
The loss of the tree would alter the unique character of this bushland suburb park.

CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.

- The tree, being a focus of the playground, is a prominent landmark which would be enjoyed by many visitors to the park.



Reference: W13	
Address	17 Woodcutters Road, Tolmans Hill
Name of Tree/s	<i>Eucalyptus globulus</i> – Tasmanian blue gum



Reasons for significance**CATEGORY 6. TREES THAT HAVE LOCAL SIGNIFICANCE.**

- This tree is a prominent element of the streetscape, and acts as a 'gateway' tree into this bushland suburb.
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8. REPORTS

8.1 City Planning Committee - Review of Structure, Delegations and Role **File Ref: F19/125130; 16/117**

Memorandum of the Deputy General Manager of 9 October 2019.

Delegation: Council



MEMORANDUM: CITY PLANNING COMMITTEE

City Planning Committee - Review of Structure, Delegations and Role

1. Introduction

- 1.1. The purpose of this memorandum is to explore potential improvements to the current structure which applies to the handling of matters submitted for consideration by the Council in its role as the planning authority under the *Land Use Planning and Approvals Act 1993*.
- 1.2. Pursuant to s23 of the *Local Government Act 1993* ('the Act'), the Council can establish, on such terms as it thinks fit, council committees to assist it in carrying out its functions under the *Local Government Act 1993* Act or any other Act.
- 1.3. Matters which require consideration and determination by the Council as the planning authority primarily include development applications and planning scheme amendments.
- 1.4. The adoption of a robust, streamlined process to accommodate the Council's responsibilities as the planning authority could reduce the complexity and uncertainty around the decision making process, both for the Council, its officers and most importantly for our customers.
- 1.5. It could also reduce the time commitments for elected members due to a reduction in frequency and duration of Council meetings.
- 1.6. Additionally it would increase the practical time available to assess development applications, due to the current downtime between consideration by the City Planning Committee and referral to Council and reduce the likelihood of decisions made by officers under delegation.

2. Background

- 2.1. From a customer service perspective, the existing process can, in certain circumstances, lack clarity for those involved.

- 2.2. The current structure of delegations means that some items are delegated to officers, some items to the City Planning Committee, some items are required to be considered by the Council and some items flow to the Council only where the Committee resolves contrary to the officer's recommendation.
 - 2.2.1 Subsequently, the Council may support the Committee's position, or, on balance, may revert to the recommendation originally put forward by the Council officer.
- 2.3. These protracted processes can cause confusion and frustration amongst parties involved and concerns within the community around the City's convoluted decision making framework. Consequently the City could suffer reputationally.
- 2.4. The lack of a clearly understood process can cause increased anxiety in what is an already emotive area for many. It could also undermine confidence in the Council.
- 2.5. Additionally, the extra steps in this process adds to the workload of elected members, often resulting in the debate on items occurring twice as it proceeds through the Committee and Council process.
- 2.6. There are a number of changes which could be made to existing processes to provide efficiencies going forward.
- 2.7. Improvements to the existing method of determining planning applications could be achieved through a number of scenarios, including:
 - 2.6.1 Increase delegations to the existing City Planning Committee. This could be achieved by delegating all officer recommendations for approval to the Committee, where the recommendation is supported by the Committee, or increasing the number of representations which trigger a delegation to the Council from the existing three to a higher number, such as five;
 - 2.6.2 Increase the membership of the City Planning Committee in order to ensure that outcomes represent the majority of elected members, thereby theoretically reducing the overturning of recommendations by the Council;
 - 2.6.3 Create a new Committee to consider all items which require consideration by the Council in its role as the planning authority; and having those items considered by this new committee tasked with dealing with such items, with the delegation to determine those matters; or alternatively
 - 2.6.4 Send all matters directly to the Council.

3 What others are doing

- 3.1 All Councils surveyed have officer delegations in place to deal with straight-forward applications.
- 3.2 A desktop review of the local planning authority function indicates that applications which fall outside officer delegations are determined either by a duly delegated Planning Authority Committee, or the full Council.
- 3.3 The following summary refers:

Kingborough	Planning authority items straight to the Council
Clarence	Planning authority items straight to the Council
Launceston	Planning authority items straight to the Council
Glenorchy	Delegation of planning authority items to the Glenorchy Planning Authority - a committee formed by the Council comprising five elected members
Burnie	Planning authority items straight to the Council
Devonport	City planning committee recommends to the Council
Derwent Valley	Planning authority items straight to the Council

4 Proposal

- 4.1 If the Council was supportive of such an approach, it is recommended that the Council establish a planning authority committee, with delegation to determine all such matters.
- 4.2 In respect to the composition of the committee, a membership of all elected members would facilitate decision-making based on full Council participation.
- 4.3 Alternatively, there may be support for fewer members who would be responsible for making determinations on the Council's behalf. Options are:

Membership	Quorum required
Five members	3
Six	4
Seven	5
Eight	5
Nine	5
Ten	6
Eleven	7
Twelve	7

However a reduction in numbers obviously reduces how representative a decision by a new planning authority committee would be.

- 4.4 In addition to a new planning authority committee, until the Council reviews all committees post the completion of the Strategic Plan, the City Planning Committee would still be to address other matters relevant to that Committee's terms of reference. It is proposed that the frequency of meetings for the existing City Planning Committee could therefore reduce to monthly.
- 4.5 In line with common practice within many councils, this would be a move to a streamlined approach to the process applied for consideration and determination of planning applications, where matters are determined either by council officers or a delegated committee or council, but not both.
- 4.6 It is proposed that a delegated committee is the best option:
- 4.6.1 A committee can operate in a more efficient manner when considering reports on specialist information and deputations, as it is not as constrained by the procedures set-out in the *Local Government (Meeting Procedures) Regulations 2015*.
- 4.6.2 A committee environment is best suited for those making deputations as it is less 'threatening' and involved in the observance of procedures and protocols.
- 4.6.3 If planning applications were considered by the full Council, the size of agendas and meeting duration would become difficult to manage.

Implementation

- 4.7 Should the Council resolve as recommended it is proposed that the change in committee structure would be implemented as soon as practical arrangements could be made. This would require advertising of meeting dates and preparation of agendas etc. It is not anticipated that this would take longer than a few weeks.

Chairperson

- 4.8 It is proposed that the Deputy Lord Mayor would be *ex officio* chairperson of the new committee. This recognises the pre-existing workload of the Lord Mayor and also provides an opportunity for the Deputy Lord Mayor to be experienced in chairing meetings for when they are required to chair Council meetings during absences of the Lord Mayor.

Duration and Frequency of Committee Meetings

- 4.9 It is proposed that the new planning authority committee would meet fortnightly. It is considered that this is the minimum duration that would facilitate dealing with development applications given the statutory timeframes.

Frequency of Council Meetings

- 4.10 As a result of the removal of planning authority items from the Council agenda, there would be an obvious reduction in the number of items contained on a Council agenda, and result in shorter meetings.
- 4.11 The planning authority items on the Council agendas over the past year has represented approximately 25% of items on the Council agenda.
- 4.12 As a result of this it is considered that the frequency of Council meetings could reduce to monthly.
- 4.13 Given that the meeting schedule for 2019 has already been well established it is proposed that a new meeting schedule be adopted which provides for less frequent Council meetings. This would be developed should the Council resolve to establish the new committee.
- 4.14 This would see the Council meetings being held on the first Monday of each month, with an extra Council meeting in the lead-up to Christmas to conclude the Council's business for the calendar year.
- 4.15 This arrangement also allows the new Planning Authority Committee and the existing City Planning Committee to remain meeting on a Monday night, a night when all elected members are currently available.
- 4.16 This, of course, would be reviewed following the Council's consideration of the remaining committees following the completion of the Strategic Plan.

Other Committees

- 4.17 The Council resolved, at its meeting of 4 December 2017, to review the Council's committee structure following completion of the review of the City's Strategic Plan.
- 4.18 The Strategic Plan has been presented to the Council and adopted recently.
- 4.19 Given the Council's existing resolution regarding the balance of the committees it is proposed that the status quo remain for the other Council committees until that review has been undertaken and considered by the Council.

Deputations

- 4.20 Further streamlining could be achieved by modifying the process for deputations.
- 4.21 Deputations do not form part of the statutory process of assessing development applications. While they may assist elected members in clarifying issues, they have no legislative function.

4.22 Options for consideration include either:

- removing deputations entirely, however it is acknowledged that this may not be desirable for the Council; or
- changing the process to reduce deputations to 2 minutes in length with no discussion, questions or debate and holding deputations at the beginning of the meeting. This would streamline the process and ensure equity to all participants in the planning process in no advantage is provided to parties able or inclined to address the committee.

Delegations

4.23 In the interests of ensuring that the streamlining of the process is optimised, it would also be desirable to review the delegations that apply to the consideration of planning applications.

4.24 Currently there are delegations in place which dictate whether the application is determined by a Council officer, the current City Planning Committee, or the Council.

4.25 It is proposed to increase the scope of delegation to officers by increasing the number of representations to a development application required (from 3 to 5) before the application is required to be considered by the Committee. The power for elected members to 'call-in' a development application for consideration by the Planning Authority Committee will still remain, however.

Alternative Option

4.26 In the event that the Council was not minded to adopt the Officer's recommendation below it is suggested that the Council still adopt new provisions for deputations and delegations as outlined above.

RECOMMENDATION***That:***

1. ***The Council establish the Planning Authority Committee pursuant to s23 of the Local Government Act 1993;***
2. ***The Council determine the Membership of the Planning Authority Committee;***
3. ***The Deputy Lord Mayor be appointed as the Chairperson of the Planning Authority Committee ex officio;***

- 4. Meetings of the Committee be held fortnightly;**
- 5. The status quo remain for the other committees until they are reviewed following the finalisation of the Council's Strategic Plan;**
- 6. The residual City Planning Committee meetings be scheduled monthly;**
- 7. To further enhance smooth business, the Council adopt new provisions for deputations providing for 2 minutes with no questions or debate for the Planning Authority Committee;**
- 8. The delegations which apply to the determination of planning applications be amended such that the number of representations required for a development application before the application is required to be considered by the Planning Authority Committee be increased from 3 to 5, but the 'call-in' powers for the Planning Authority Committee are maintained; and**
- 9. Appropriate terms of reference for the Planning Authority Committee be developed.**
- 10. Should the Council not wish to pursue establishing a Planning Authority Committee at this time, it still adopt new provisions for deputations and delegations as set out in Items 7 and 8 above.**

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.



Heather Salisbury
DEPUTY GENERAL MANAGER

Date: 9 October 2019
File Reference: F19/125130; 16/117

8.2 City Planning - Advertising Report
File Ref: F19/138096; 16/117

Memorandum of the Acting Director City Planning of 23 October 2019
and attachment.

Delegation: Committee



MEMORANDUM: CITY PLANNING COMMITTEE

City Planning - Advertising Report

Attached is advertising list for the period 8 October 2019 to 21 October 2019.

RECOMMENDATION

That the information contained in the memorandum titled 'City Planning – Advertising Report' be received and noted.

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

A handwritten signature in black ink, appearing to read "James McIlhenny", is positioned above the printed name.

James McIlhenny
ACTING DIRECTOR CITY PLANNING

Date: 23 October 2019
File Reference: F19/138096; 16/117

Attachment A: City Planning - Advertising Report ↓ 

Application	Street	Suburb	Development	Works Value	Expiry Date	Referral	Proposed Delegation	Advertising Period Start	Advertising Period End
PLN-19-579	291 SANDY BAY ROAD	SANDY BAY	Partial Demolition, Extension and Alterations	850000	23/10/2019	ayersh	Director	18/10/2019	2/11/2019
PLN-19-633	152 WARWICK STREET	WEST HOBART	Partial Demolition, Garage, Studio, Retaining Walls and Driveway Upgrades	100000	6/11/2019	ayersh	Director	18/10/2019	2/11/2019
PLN-19-226	32 BROADWATERS PARADE	SANDY BAY	Driveway, Retaining Walls, Landscaping and Front Fence	30000	30/05/2019	ayersh	Director	21/10/2019	5/11/2019
PLN-19-510	30 A NICHOLAS DRIVE	SANDY BAY	Two Multiple Dwellings	\$450,000	26/09/2019	baconr	Director	9/10/2019	23/10/2019
PLN-19-651	20 GROSVENOR STREET	SANDY BAY	Change of Use to Visitor Accommodation	\$1	12/11/2019	baconr	Director	10/10/2019	25/10/2019
PLN-19-664	3 CARR STREET	NORTH HOBART	Partial Demolition, Extension and Alterations	\$90,000	14/11/2019	baconr	Director	14/10/2019	29/10/2019
PLN-19-570	44 - 46 CROSS STREET	NEW TOWN	Subdivision (One Lot and Balance)	15000	21/10/2019	baconr	Director	21/10/2019	5/11/2019
PLN-19-614	37 BARRACK STREET	HOBART	Alterations and Change of Use to Sports and Recreation (Gymnasium)	\$30,000	1/11/2019	krafftj	Director	14/10/2019	29/10/2019
PLN-19-630	14 STAR STREET	SANDY BAY	Partial Demolition, Extension and Outbuilding	\$150,000	6/11/2019	krafftj	Director	17/10/2019	1/11/2019
PLN-19-669	56 ELIZABETH STREET	HOBART	Signage	0	15/11/2019	krafftj	Director	17/10/2019	1/11/2019
PLN-19-544	1 / 25 A ELPHINSTONE ROAD	MOUNT STUART	Partial Change of Use to Visitor Accommodation	\$0	11/10/2019	langd	Council	10/10/2019	25/10/2019
PLN-19-474	4 HURLE STREET	DYNNYRNE	Partial Demolition, Alterations and Extension	\$850,000	12/09/2019	langd	Director	11/10/2019	26/10/2019

Application	Street	Suburb	Development	Works Value	Expiry Date	Referral	Proposed Delegation	Advertising Period Start	Advertising Period End
PLN-19-581	13 DOWDING CRESCENT	NEW TOWN	Garage and Retaining Wall	\$20,000	23/10/2019	langd	Director	16/10/2019	31/10/2019
PLN-19-568	7 NOBLE DRIVE	NEW TOWN	Dwelling	\$400,000	21/10/2019	langd	Director	16/10/2019	31/10/2019
PLN-19-607	68 ADELAIDE STREET	SOUTH HOBART	Partial Change of Use to Visitor Accommodation	\$0	30/10/2019	langd	Director	17/10/2019	1/11/2019
PLN-19-86	10 A HEATHORN AVENUE	SANDY BAY	Change of Use to Visitor Accommodation	\$0	5/04/2019	maxwellv	Director	10/10/2019	25/10/2019
PLN-19-603	23 COMMERCIAL ROAD	NORTH HOBART	Partial Demolition, Extension and Alterations	\$400,000	29/10/2019	maxwellv	Director	10/10/2019	25/10/2019
PLN-19-77	71 ATHLEEN AVENUE	LENAH VALLEY	Dwelling	\$330,000	2/04/2019	maxwellv	Director	14/10/2019	29/10/2019
PLN-19-571	25 LOCHNER STREET	WEST HOBART	Partial Demolition, Extension and Alterations	\$160,000	21/10/2019	maxwellv	Director	14/10/2019	29/10/2019
PLN-19-674	1 / 563 SANDY BAY ROAD	SANDY BAY	Change of Use to Visitor accommodation	\$0	18/11/2019	maxwellv	Director	16/10/2019	31/10/2019
PLN-19-595	42 PARLIAMENT STREET	SANDY BAY	Partial Demolition, Extension, Alterations and Ancillary Dwelling	\$400,000	25/10/2019	mcclenahanm	Director	11/10/2019	26/10/2019
PLN-19-176	1 MARIEVILLE ESPLANADE	SANDY BAY	Carpark Upgrade and Associated Stormwater Works	\$400,000	9/05/2019	mcclenahanm	Council	14/10/2019	29/10/2019
PLN-19-615	49 COLVILLE STREET	BATTERY POINT	Partial Demolition, Extension and Alterations	\$250,000	1/11/2019	mcclenahanm	Director	14/10/2019	29/10/2019
PLN-19-637	764 A SANDY BAY ROAD	SANDY BAY	Extension and Alterations	\$120,000	7/11/2019	nolanm	Director	10/10/2019	25/10/2019
PLN-19-642	7 PILLINGER STREET	DYNNYRNE	Alterations	\$5,000	8/11/2019	nolanm	Director	15/10/2019	30/10/2019
PLN-19-667	7 / 7 VIEW STREET	SANDY BAY	Partial Change of Use to Visitor Accommodation	\$0	15/11/2019	nolanm	Director	17/10/2019	1/11/2019

Application	Street	Suburb	Development	Works Value	Expiry Date	Referral	Proposed Delegation	Advertising Period Start	Advertising Period End
PLN-19-611	11 CLARKE AVENUE	BATTERY POINT	Alterations	\$20,000	31/10/2019	obrienm	Director	10/10/2019	25/10/2019
PLN-19-659	103 GOULBURN STREET	WEST HOBART	Change of Use to Visitor Accommodation	\$0	14/11/2019	obrienm	Director	10/10/2019	25/10/2019
PLN-19-632	1 / 472 NELSON ROAD	MOUNT NELSON	Partial Demolition, Extension, Alterations and Front Fencing	\$120,000	6/11/2019	obrienm	Director	16/10/2019	31/10/2019
PLN-19-649	4 / 351 SANDY BAY ROAD	SANDY BAY	Change of Use to Visitor Accommodation	\$5,000	12/11/2019	smeea	Director	11/10/2019	26/10/2019
PLN-19-671	266 PARK STREET	NORTH HOBART	Partial change of use to visitor accommodation	\$0	15/11/2019	smeea	Director	11/10/2019	26/10/2019
PLN-19-622	19 - 29 CAMPBELL STREET	HOBART	Alterations	\$59,000	4/11/2019	widdowsont	Director	11/10/2019	26/10/2019
PLN-19-610	286 STRICKLAND AVENUE	SOUTH HOBART	Dwelling	\$200,000	31/10/2019	widdowsont	Director	16/10/2019	31/10/2019
PLN-19-650	308 ELIZABETH STREET	NORTH HOBART	Partial Demolition and Alterations	65000	12/11/2019	widdowsont	Director	18/10/2019	2/11/2019
PLN-19-103	315 ELIZABETH STREET	NORTH HOBART	Partial Demolition, Alterations, Fencing and Partial Change of Use to Food Services	35000	10/04/2019	widdowsont	Council	21/10/2019	5/11/2019
PLN-19-624	58 / 4 FRANKLIN WHARF	HOBART	Outdoor Dining Furniture & Change of Use to Eating Establishment	2000	5/11/2019	wilsone	Director	18/10/2019	2/11/2019

8.3 Delegated Decisions Report (Planning)
File Ref: F19/138169

Memorandum of the Acting Director City Planning of 23 October 2019
and attachment.

Delegation: Committee

**MEMORANDUM: CITY PLANNING COMMITTEE****Delegated Decisions Report (Planning)**

Attached is the delegated planning decisions report for the period 9 October 2019 to 22 October 2019.

RECOMMENDATION

That the information contained in the memorandum titled 'Delegated Decisions Report (Planning)' be received and noted.

As signatory to this report, I certify that, pursuant to Section 55(1) of the Local Government Act 1993, I hold no interest, as referred to in Section 49 of the Local Government Act 1993, in matters contained in this report.

A handwritten signature in black ink, appearing to read "James McIlhenny", is written over a light grey grid background.

James McIlhenny
ACTING DIRECTOR CITY PLANNING

Date: 23 October 2019
File Reference: F19/138169

Attachment A: Delegated Decisions Report (Planning) ↓ 

22 October 2019

Delegated Decisions Report (Planning)

52 applications found.

Planning Description	Address	Works Value	Approved	Withdrawn / Cancelled	All
			Decision	Authority	
PLN-17-1054 Multiple Dwellings (One Existing, One New) and Associated Works	792 SANDY BAY ROAD SANDY BAY TAS 7005	\$ 400,000	Withdrawn	Applicant	
PLN-18-5 Change of Use to Visitor Accommodation	4/2-8 NEWCASTLE STREET BATTERY POINT TAS 7004	\$ 8,000	Approved	Delegated	
PLN-19-186 Signage	KINGS PIER MARINA 2 FRANKLIN WHARF HOBART TAS 7000	\$ 0	Withdrawn	Applicant	
PLN-19-337 Two Multiple Dwellings	13 CHAUCER ROAD LENA VALLEY TAS 7008	\$ 250,000	Approved	Delegated	
PLN-19-396 Partial Demolition, Alterations, Extension and Carport	141 MOLLE STREET WEST HOBART TAS 7000	\$ 120,000	Approved	Delegated	
PLN-19-427 Partial Demolition and Alterations	349 ELIZABETH STREET NORTH HOBART TAS 7000	\$ 89,000	Approved	Delegated	
PLN-19-439 Two Multiple Dwellings	3 DENNING CLOSE NEW TOWN TAS 7008	\$ 674,000	Approved	Delegated	
PLN-19-450 Partial Demolition, Alterations and Extension for Ancillary Dwelling	14 WELLWOOD STREET LENA VALLEY TAS 7008	\$ 20,000	Approved	Delegated	
PLN-19-455 Alterations and Carport	320 NELSON ROAD MOUNT NELSON TAS 7007	\$ 2,500	Approved	Delegated	
PLN-19-465 Change of Use to Visitor Accommodation	1/111 PATRICK STREET WEST HOBART TAS 7000	\$ 0	Approved	Delegated	
PLN-19-479 Dwelling	3 NOBLE DRIVE NEW TOWN TAS 7008	\$ 263,000	Exempt	Delegated	
PLN-19-520 Partial Change of Use to Hotel Industry (Bottle Shop)	2 CHURCHILL AVENUE SANDY BAY TAS 7005	\$ 0	Approved	Delegated	
PLN-19-523 Multiple Dwellings (One Existing, One New)	792 SANDY BAY ROAD SANDY BAY TAS 7005	\$ 350,000	Withdrawn	Applicant	
PLN-19-524 Alterations and Outbuilding	2 SWAN STREET NORTH HOBART TAS 7000	\$ 1,500	Approved	Delegated	
PLN-19-528 Partial Demolition, Alterations and Signage	2/118-120A ELIZABETH STREET HOBART TAS 7000	\$ 120,000	Approved	Delegated	
PLN-19-529 Dwelling	2 WILLIAM COOPER DRIVE NEW TOWN TAS 7008	\$ 424,246	Not Required	Delegated	
PLN-19-533 Partial Demolition and Alterations for Business and Professional Services	394 MACQUARIE STREET SOUTH HOBART TAS 7004	\$ 80,000	Approved	Delegated	
PLN-19-536 Partial Demolition and Fencing	5A LORD STREET SANDY BAY TAS 7005	\$ 15,000	Approved	Delegated	
PLN-19-539 Partial Demolition, Extension and Alterations	14 SHEPHERD STREET SANDY BAY TAS 7005	\$ 500,000	Approved	Delegated	
PLN-19-545 Partial Demolition and Alterations	57 ELIZABETH STREET HOBART TAS 7000	\$ 475,000	Approved	Delegated	
PLN-19-560 Partial Demolition and New Carport	21 SEYMOUR STREET (COMMON PROPERTY CT 59937/0) NEW TOWN TAS 7008	\$ 6,200	Approved	Delegated	
PLN-19-562 Signage	1/10 MAGNET COURT SANDY BAY TAS 7005	\$ 8,000	Approved	Delegated	
PLN-19-563 Temporary Housing	56 WARWICK STREET HOBART TAS 7000	\$ 410,000	Approved	Delegated	
PLN-19-573 Partial Demolition, Alterations and Partial Change of Use to Home-Based Business	87 GILLON CRESCENT MOUNT STUART TAS 7000	\$ 20,000	Approved	Delegated	

CITY OF HOBART

Planning Description	Address	Works Value	Decision	Authority
PLN-19-574 Change of Use to Visitor Accommodation	2/13 QUAMBY AVENUE SANDY BAY TAS 7005	\$ 0	Approved	Delegated
PLN-19-575 New Temporary Building for Office and Signage	FRANKLIN WHARF HOBART TAS 7000	\$ 5,000	Approved	Delegated
PLN-19-582 Partial Demolition, Extension and Alterations	416 STRICKLAND AVENUE SOUTH HOBART TAS 7004	\$ 100,000	Approved	Delegated
PLN-19-585 Partial Demolition, Extension and Alterations	60 KING STREET SANDY BAY TAS 7005	\$ 350,000	Approved	Delegated
PLN-19-587 Carport	662 NELSON ROAD MOUNT NELSON TAS 7007	\$ 10,000	Approved	Delegated
PLN-19-589 Signage	15 VICTORIA STREET HOBART TAS 7000	\$ 0	Approved	Delegated
PLN-19-590 Alterations (Re-roofing)	169-173 CAMPBELL STREET HOBART TAS 7000	\$ 30,000	Approved	Delegated
PLN-19-593 Gazebo	7 SUNVALE AVENUE SANDY BAY TAS 7005	\$ 4,000	Approved	Delegated
PLN-19-597 Change of Use to Visitor Accommodation	4/8 BINNEY COURT SANDY BAY TAS 7005	\$ 0	Approved	Delegated
PLN-19-599 Partial Change of Use to Visitor Accommodation	5 PICKARD STREET LENA VALLEY TAS 7008	\$ 0	Approved	Delegated
PLN-19-600 Alterations	120-122 MURRAY STREET HOBART TAS 7000	\$ 20,000	Exempt	Delegated
PLN-19-604 Change of Use to Visitor Accommodation	4/4 JERSEY STREET SANDY BAY TAS 7005	\$ 0	Approved	Delegated
PLN-19-609 Partial Demolition, Alterations and Deck	2 TENNYSON COURT WEST HOBART TAS 7000	\$ 30,000	Withdrawn	Applicant
PLN-19-613 Change of Use to Visitor Accommodation	31 NORFOLK CRESCENT SANDY BAY TAS 7005	\$ 0	Approved	Delegated
PLN-19-616 Land Decontamination	10 EVANS STREET HOBART TAS 7000	\$ 3,000,000	Approved	Delegated
PLN-19-620 Partial Change of Use to Visitor Accommodation	1A BARTON AVENUE WEST HOBART TAS 7000	\$ 0	Approved	Delegated
PLN-19-621 Alterations	21 COOLABAH ROAD SANDY BAY TAS 7005	\$ 20,000	Approved	Delegated
PLN-19-625 Change of Use to Visitor Accommodation	389 ARGYLE STREET NORTH HOBART TAS 7000	\$ 0	Approved	Delegated
PLN-19-629 Partial Demolition and Alterations	123 HAMPDEN ROAD BATTERY POINT TAS 7004	\$ 15,000	Approved	Delegated
PLN-19-638 Change of Use to Visitor Accommodation	10 CRESWELLS ROW HOBART TAS 7000	\$ 0	Approved	Delegated
PLN-19-646 Partial Change of Use to Convenience Restaurant	2/19-21 CASTRAY ESPLANADE BATTERY POINT TAS 7004	\$ 0	Approved	Delegated
PLN-19-653 Change of Use to Visitor Accommodation	62 RISDON ROAD NEW TOWN TAS 7008	\$ 0	Approved	Delegated
PLN-19-657 Partial Change of Use to Visitor Accommodation	1 SAYER CRESCENT SANDY BAY TAS 7005	\$ 0	Approved	Delegated
PLN-19-666 Change of Use to Visitor Accommodation	78A NELSON ROAD MOUNT NELSON TAS 7007	\$ 0	Approved	Delegated
PLN-19-668 Partial Change of Use to Visitor Accommodation	6/118-120A ELIZABETH STREET HOBART TAS 7000	\$ 1	Not Required	Delegated
PLN-19-670 Partial Demolition and Alterations	14 SWANSTON STREET NEW TOWN TAS 7008	\$ 110,000	Exempt	Delegated

CITY OF HOBART

Planning Description	Address	Works Value	Decision	Authority
PLN-19-690 Partial Change of Use to Visitor Accommodation	14 PULCHELLA DRIVE TOLMANS HILL TAS 7007	\$ 0	Approved	Delegated
PLN-19-704 Partial Change of Use to Visitor Accommodation	61 OLD FARM ROAD SOUTH HOBART TAS 7004	\$ 0	Exempt	Delegated

9. QUESTIONS WITHOUT NOTICE

Section 29 of the *Local Government (Meeting Procedures) Regulations 2015*.
File Ref: 13-1-10

An Elected Member may ask a question without notice of the Chairman, another Elected Member, the General Manager or the General Manager's representative, in line with the following procedures:

1. The Chairman will refuse to accept a question without notice if it does not relate to the Terms of Reference of the Council committee at which it is asked.
2. In putting a question without notice, an Elected Member must not:
 - (i) offer an argument or opinion; or
 - (ii) draw any inferences or make any imputations – except so far as may be necessary to explain the question.
3. The Chairman must not permit any debate of a question without notice or its answer.
4. The Chairman, Elected Members, General Manager or General Manager's representative who is asked a question may decline to answer the question, if in the opinion of the respondent it is considered inappropriate due to its being unclear, insulting or improper.
5. The Chairman may require a question to be put in writing.
6. Where a question without notice is asked and answered at a meeting, both the question and the response will be recorded in the minutes of that meeting.
7. Where a response is not able to be provided at the meeting, the question will be taken on notice and
 - (i) the minutes of the meeting at which the question is asked will record the question and the fact that it has been taken on notice.
 - (ii) a written response will be provided to all Elected Members, at the appropriate time.
 - (iii) upon the answer to the question being circulated to Elected Members, both the question and the answer will be listed on the agenda for the next available ordinary meeting of the committee at which it was asked, where it will be listed for noting purposes only.

10. CLOSED PORTION OF THE MEETING

That the Committee resolve by majority that the meeting be closed to the public pursuant to regulation 15(1) of the *Local Government (Meeting Procedures) Regulations 2015* because the items included on the closed agenda contain the following matters:

- Confirm the minutes of the closed portion of the meeting
- Questions without notice in the closed portion

The following items were discussed: -

Item No. 1	Minutes of the last meeting of the Closed Portion of the Committee Meeting
Item No. 2	Consideration of supplementary items to the agenda
Item No. 3	Indications of pecuniary and conflicts of interest
Item No. 4	Planning Authority Items – Consideration of Items with Deputations
Item No. 5	City Acting as Planning Authority
Item No. 6	Questions Without Notice