

10.4.1 Residential density for multiple dwellings.

A1(a) - The proposed development has a site area area of 754m2, with two dwellings proposed at a site area per dwelling of 377m2. [Compliant].

10.4.2 Setbacks and building envelopes for all dwellings.

A1(a) - The proposed dwelling is setback from the primary frontage over 4.5m. [Compliant].

A2(a)(b)(c) - Not applicable - no garage or carport proposed. [Compliant].

P3(a)(b) - The proposed dwelling has been sited and designed to a scale that does not cause an unreasonable lose of amenity to dwellings on adjacent lots (i), or the private space of an adjoining lots (ii) (refer also to shadow study on page 900 and photographs 901). As illustrated in the shadow study, the scale and position of house b, on the 21st June, has no impact on the POS of 213 Churchill ave until between 11am and midday, during which it still maintains over 50% of accessible sunlight until between 1 and 2pm. This means that there is only approximately 1.5hrs on the longest day of the year that shades more than 50% of the POS of 213. Either side of this day there will be less impact to the POS of 213 Churchill throughout the year. Note also as per the shadow study that 213 Churchill has a number of trees on the north-western boundary that currently creates similar if not further shadowing impact than the proposed new dwelling.

The siting and massing of the proposed dwelling to the side boundaries takes into consideration appropriate setbacks common to the surrounding neighbouring area. The north-west side has a setback of 5m which is similar to the existing dwelling. The south-west boundary is setback over 1.5m on the ground floor, and pulls further away from the boundary on the higher levels to minimise the visual bulk and overshadowing to 213 with the first floor setback 3.2m and the second floor 5.1m.

The total height of the dwelling from natural ground is 8.35m. The impact of the height is softened due to digging the ground floor into the site with adjacent retaining walls; and being downslope from Churchill ave. This means the the roof top of the proposed dwelling is only approx. 1m higher than the existing roof at 213 Churchill ave, and the property therefore comfortably sits within its urban context when viewed from Churchill ave. The bulk and scale of the dwelling sits within the context of the neighbourhood with a number of higher density and multi-residential projects, and is therefore an appropriate increase in density.

The materiality of the proposed dwelling uses three distinct colours to break up the height and massing. The ground floor uses a dark brown brick to create a solid plinth for the building to connect to the earth. The second and third floor share the use of a lighter cream coloured brick, giving the impression of a two story building. The top 1m of the second story uses a white painted cement sheet and glazing that is stepped back from the brick to create a thin band wrapping around the building that invokes a lightness to the roof. Where the proposed dwelling steps back off the boundary on the upper levels, painted white cement sheet has been used due to its sheet-form that creates a rhythm to the facade of the building, rather than the flat face created by brick.

10.4.3 Site coverage and private open space for all dwellings

A1(a)(b)(c) - Each dwelling has over 24m2 of private open space, with a minimum horizontal dimension of 4m, is located adjacent to a habitable room, and is located to the north-west, receiving over 3hrs sunlight to 50% area between 9-3 on on June 21st, has a gradient not steeper than 1:10 and is not used for vehicle access or parking (refer to page 101) [Compliant].

10.4.4 Sunlight and overshadowing for all dwellings

A1 - The proposed dwelling has multiple windows that face 30deg west or north and 30 deg east of north. [Compliant].

A2 (a)(b)(c) - The proposed dwelling does not cause 50% of the POS to receive less than 3hours of sunlight between 9am and 3pm on the 21st June (refer to drawing 900). [Compliant].

10.4.5 Privacy for all dwellings

A1(a)(b)(c) - There are no proposed balcony, deck, roof terrace or parking spaces that are 1m above natural ground. [Compliant].

P2(a) - A window or glazed door to a habitable room of the proposed dwelling with a floor level above 1m (this applies only to the first and second story of proposed house B) is located and designed to minimise direct views, with the following setbacks:

- North-west (side boundary) setback all levels 5m.
- South-west (side boundary) setback first floor 3.2m, second floor 5.1m.
- North-east (front boundary - road) setback, between 0.4m and 1.5m.
- South-east (House A) - setback 7.5m

Where the first and second level floors are above 1m from natural ground, the building steps backs a significant amount (as noted above) from the side boundaries to prevent overlooking from glazed windows. Both adjacent side properties are predominately private open space with trees and foliage on the boundary that will further prevent overlooking (refer to page 901).

The building front (north-east) boundary is adjacent to an unsealed road which is approximately 6.5m wide to the next property. This road services several carports, and has no throughofare for pedestrians. The first and second floors are therefore setback between 6.9m to 8.5m from the next property boundary. This will minimise any impact on the next adjacent property and importantly gains the maximum benefit of the north-eastern aspect for comfort of the occupants in House B in energy efficiency. In addition, all second floor windows have a sill height of 1350mm.

A3(a)(b) - The proposed dwelling parking spaces are adjacent to their respective dwellings. The existing House A has a windows that are adjacent to the parking for house B and have a sill height of over 1.7m above the parking space (refer to page 901). [Compliant].

10.4.7 Frontage fences for all dwellings

A1(a)(b) - No proposed changes to frontage fence. [Compliant]

10.4.8 Waste storage for multiple dwellings

A1(a)(b) - Both dwellings have bin storage for exclusive use of each dwelling. [Compliant]

DEVELOPMENT APPLICATION FOR

211 CHURCHILL AVE.

LOT 9, VOL 55834  
PID 5607522

WIND SPEED: N2  
SOIL CLASSIFICATION: H1  
CLIMATE ZONE: 7  
BAL: NONE

001 CONTENTS

- 100 EXISTING/DEMOLITION SITE PLAN
- 101 PROPOSED SITE PLAN
- 200 PROPOSED FLOOR PLAN GROUND
- 201 PROPOSED FLOOR PLAN FIRST
- 202 PROPOSED FLOOR PLAN SECOND
- 203 PROPOSED ROOF PLAN
- 300 PROPOSED ELEVATIONS NORTH-EAST, NORTH-WEST
- 301 PROPOSED ELEVATIONS SOUTH-EAST, SOUTH-WEST
- 900 SHADOW STUDY
- 901 PHOTOGRAPHS

NOTE: THIS APPLICATION IS DUE TO THE PREVIOUS PLANNING PERMIT (PLN-15-1003-01) AND FOLLOWING AMENDMENT (09/2016) NOT BEING RENEWED WITHIN 6 MONTHS OF EXPIRY.

THE FOLLOWING APPROVALS ARE CURRENT:

BUILDING APPROVAL: BLD-17-104  
PLUMBING APPROVAL: PMB-17-51

AREA ANALYSIS	
SITE:	754m2
EX. HOUSE:	101m2
PROPOSED HOUSE:	122m2
PROPOSED SITE COVERAGE	29.5%
TITLE TO BE CONVERTED TO STRATA ONCE BUILD COMPLETE	

LEVEL DATUM IS A.H.D PER HCC  
1162-RL 52.256 CONTOUR  
INTERVAL IS 0.5M

MOST BOUNDARY DIMENSIONS  
ARE UNREADABLE FROM TITLE

SEWER MANHOLE  
ASSUMED AT SIMILAR INVERT  
LEVEL TO THE STORM  
WATER MAIN AS THEY  
WERE PROBABLY LAID  
IN THE SAME TRENCH

NOTE:  
PD REFERS TO PIPE DEPTH AS  
MEASURED BY ARCHERS  
UNDERGROUND 16/12/2016

EXISTING POSITION OF SEWER  
AND STORMWATER SERVICES  
150mm SEWER AND  
300mm STORMWATER MAIN

SEWER LEVELS  
PIT 51.5 AHD  
INVERT 50.307 AHD

STORM WATER LEVELS  
PIT 51.3 AHD  
INVERT 50.05 AHD

NEIGHBOUR FENCE  
1.9m HIGH

PD. = PIPE INVERT LEVEL DEPTH

1  
100  
1:200

EXISTING/DEMOLITION SITE PLAN

NEXT 50  
ARCHITECTS

208a Collins St | Hobart | Tasmania | 7000  
PO Box 279 | South Hobart | Tasmania | 7004  
info@next50architects.com.au | T: (03) 6234 4110  
ABN: 97 606 476 804 | APB: CC4672E  
www.NEXT50Architects.com.au

REV	DATE	DESCRIPTION
-	-	-
-	-	-
-	-	-
-	-	-

GENERAL NOTES: Contractor shall verify all dimensions onsite before undertaking work or shop drawings. Written dimensions take precedence, written specification takes precedence over this drawing. DO NOT SCALE. Dimensions are indicative only, must cross reference with details and maintain minimum dimensions according to NCC. All work must be in accordance with NCC all relevant Australian Standards, drawing is copyright and the property of NEXT 50 Architects.

PROJECT  
**211 CHURCHILL AVE.**  
WENDY FANG  
211 CHURCHILL AVENUE, SANDY BAY  
SANDY BAY, TASMANIA, 7006

SCALE  
DATE  
DRAWN  
ISSUE  
REV

1:200  
30/08/2018  
BN  
Development  
-

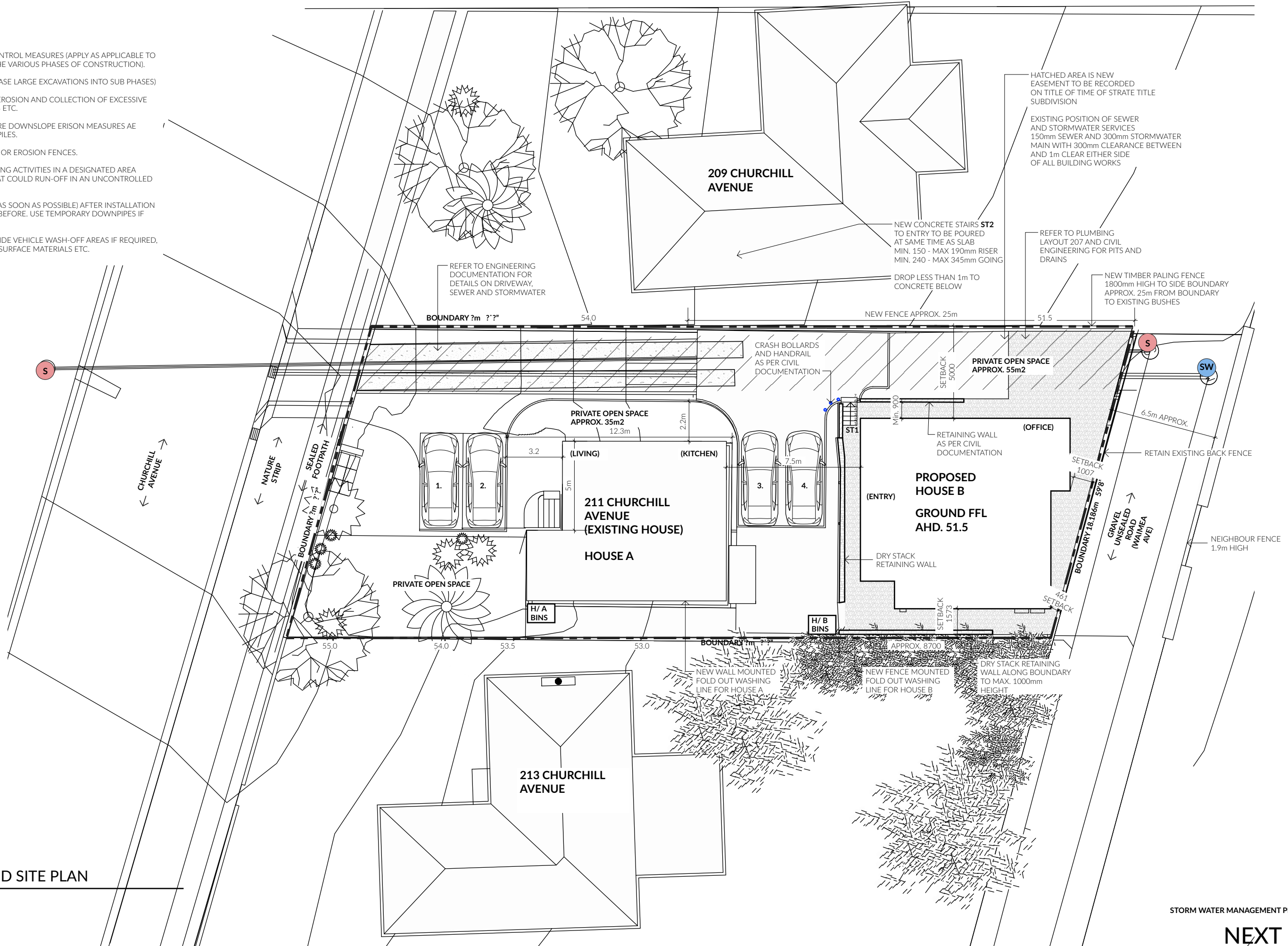


DRAWING  
**EXISTING/DEMOLITION  
SITE PLAN**  
DRAWING NO. **23816\_100**

NEXT 50  
ARCHITECTS



- S.W.M.P GENERAL NOTES:**  
SOIL AND WATER MANAGEMENT CONTROL MEASURES (APPLY AS APPLICABLE TO THE CONDITIONS OF THIS SITE AT THE VARIOUS PHASES OF CONSTRUCTION).
- 1.) MINIMISE SOIL DISTRUBANCE (PHASE LARGE EXCAVATIONS INTO SUB PHASES)
- 2.) DIVERSION DRAINS TO PREVENT EROSION AND COLLECTION OF EXCESSIVE STORM WATER IN EXCAVATION CUTS ETC.
- 3.) SEDIMENT FENCES - INSALL WHERE DOWNSLOPE ERISON MEASURES AE REQUIRED AND TO PROTECT STOCKPILES.
- 4.) PROTECT STOCKPILES, HAY BALES OR EROSION FENCES.
- 5.) UNDERTAKE SEDIMENT GENERATING ACTIVITIES IN A DESIGNATED AREA (AWAY FROM SLOPED SURFACES THAT COULD RUN-OFF IN AN UNCONTROLLED MANNER).
- 6.) INSTALL ROOF DRAINAGE EARLY (AS SOON AS POSSIBLE) AFTER INSTALLATION OF ROOFING IRON, OR PREFERABLY BEFORE. USE TEMPORARY DOWNPIPES IF DELAYED.
- 7.) STABILISE THE SITE ACCESS, PROVIDE VEHICLE WASH-OFF AREAS IF REQUIRED, AND DIVERSION DRAINAGE, STABLE SURFACE MATERIALS ETC.



**1**  
**101**  
**PROPOSED SITE PLAN**  
**1:200**

STORM WATER MANAGEMENT PLAN

**NEXT 50**  
**ARCHITECTS**

**NEXT 50**  
**ARCHITECTS**

208a Collins St | Hobart | Tasmania | 7000  
PO Box 279 | South Hobart | Tasmania | 7004  
info@next50architects.com.au | T: (03) 6234 4110  
ABN: 97 606 476 804 | APB: CC4672E  
www.NEXT50Architects.com.au

REV	DATE	DESCRIPTION
-	-	-
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-	-	-

PROJECT  
**211 CHURCHILL AVE.**  
**WENDY FANG**  
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SANDY BAY, TASMANIA, 7006

SCALE  
DATE  
DRAWN  
ISSUE  
REV

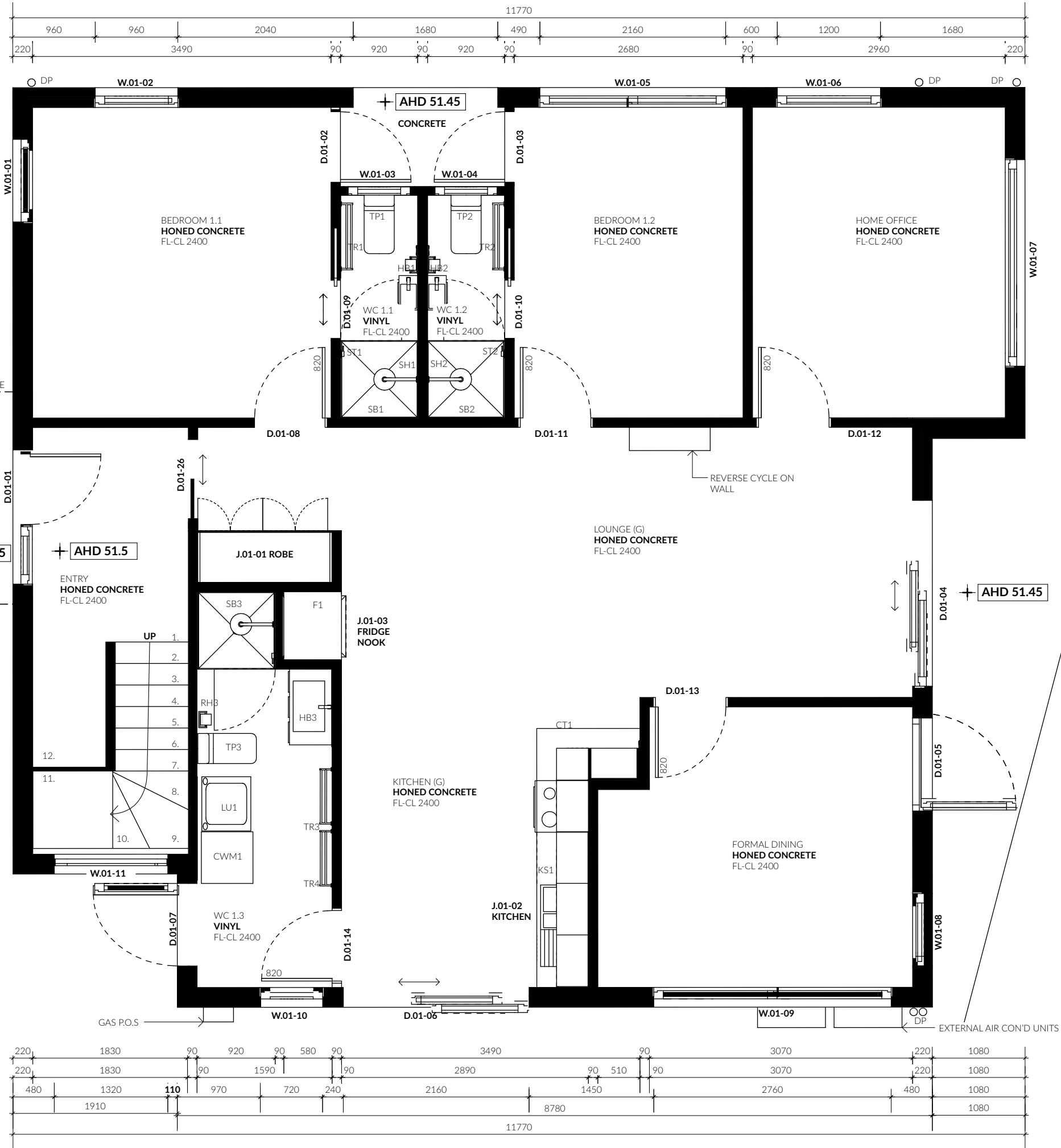
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30/08/2018  
BN  
Development  
-



DRAWING  
**PROPOSED SITE PLAN**  
DRAWING NO. **23816\_101**

GENERAL NOTES: Contractor shall verify all dimensions onsite before undertaking work or shop drawings. Written dimensions take precedence, written specification takes precedence over this drawing. DO NOT SCALE. Dimensions are indicative only, must cross reference with details and maintain minimum dimensions according to NCC. All work must be in accordance with NCC all relevant Australian Standards, drawing is copyright and the property of NEXT 50 Architects.

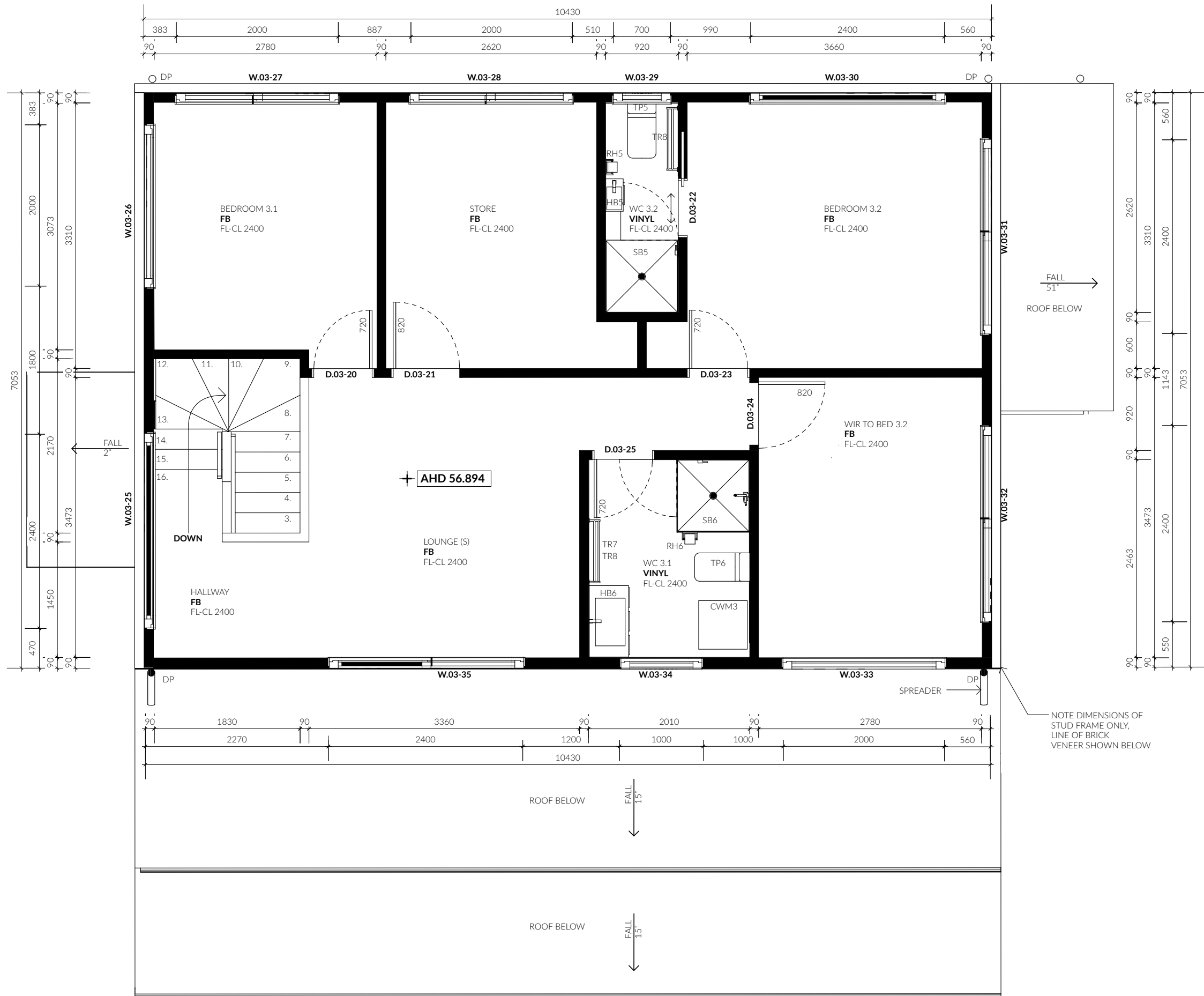
1  
200  
PROPOSED FLOOR PLAN GROUND  
1:50





1  
201  
PROPOSED FLOOR PLAN FIRST  
1:50

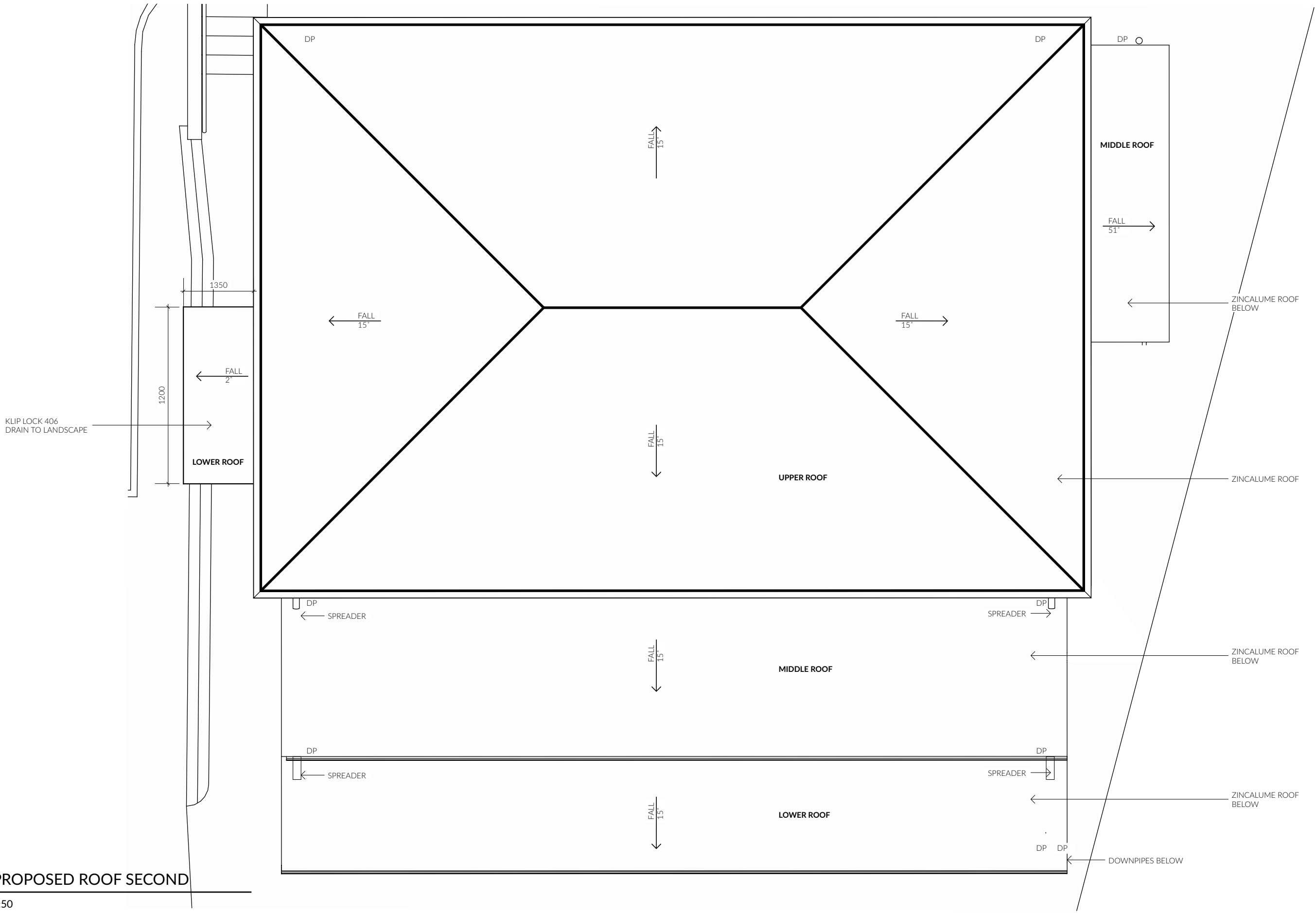


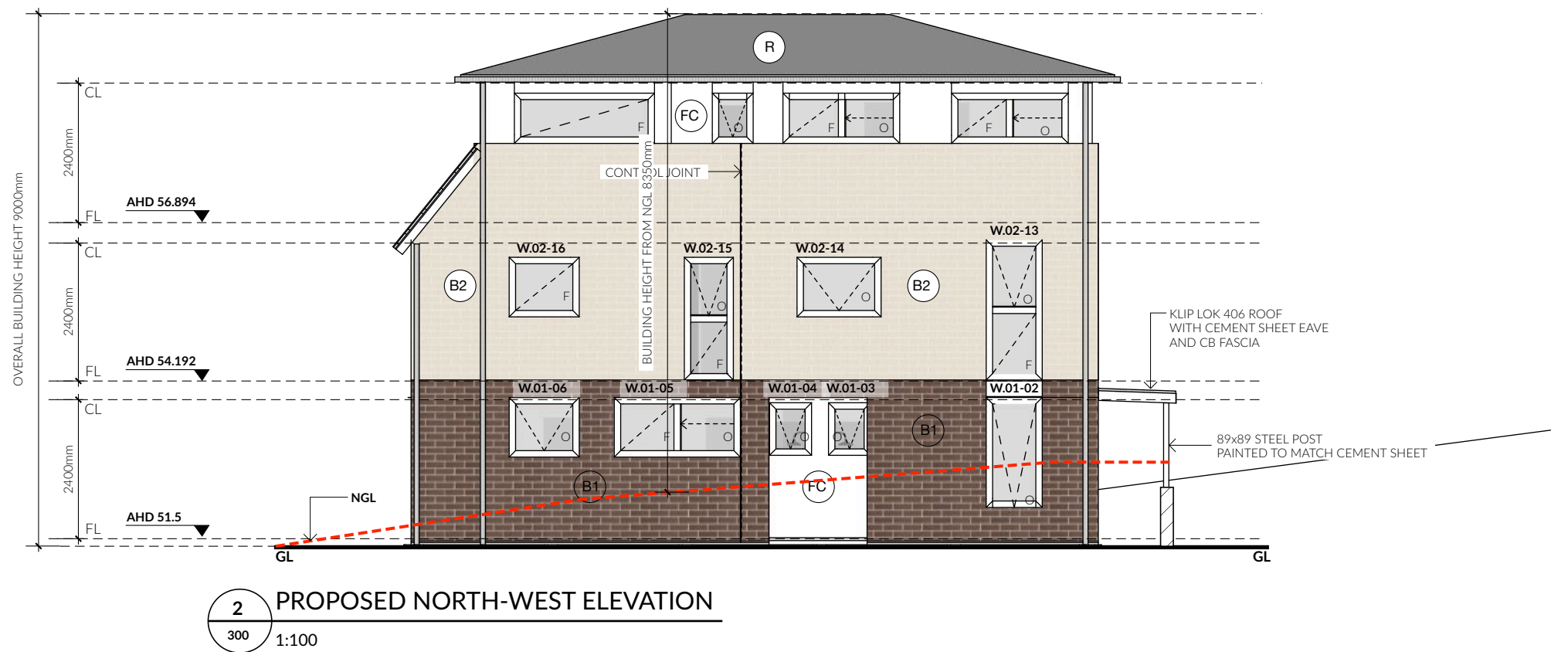
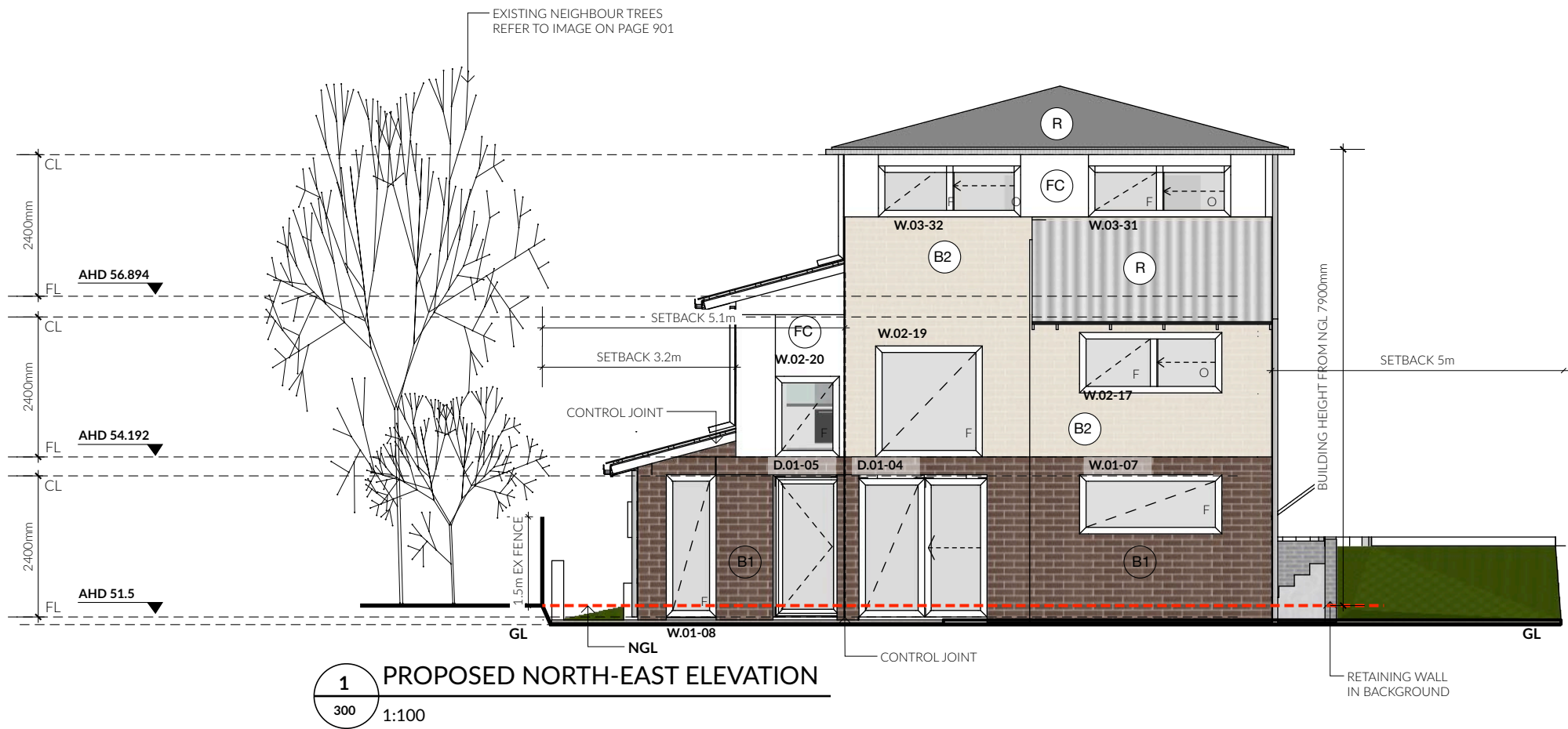


**1** PROPOSED FLOOR PLAN SECOND  
202 1:50

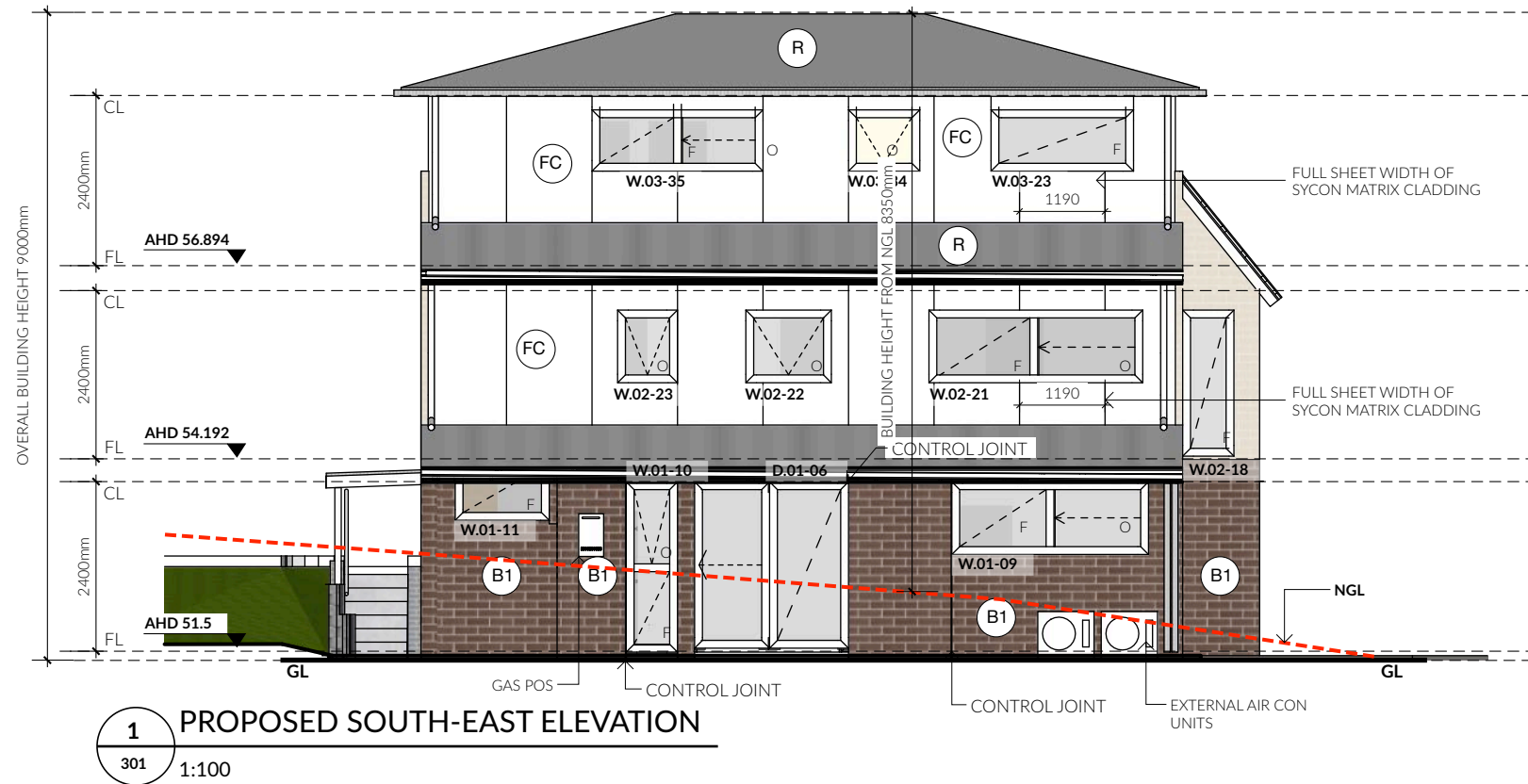


**1** PROPOSED ROOF SECOND  
203 1:50

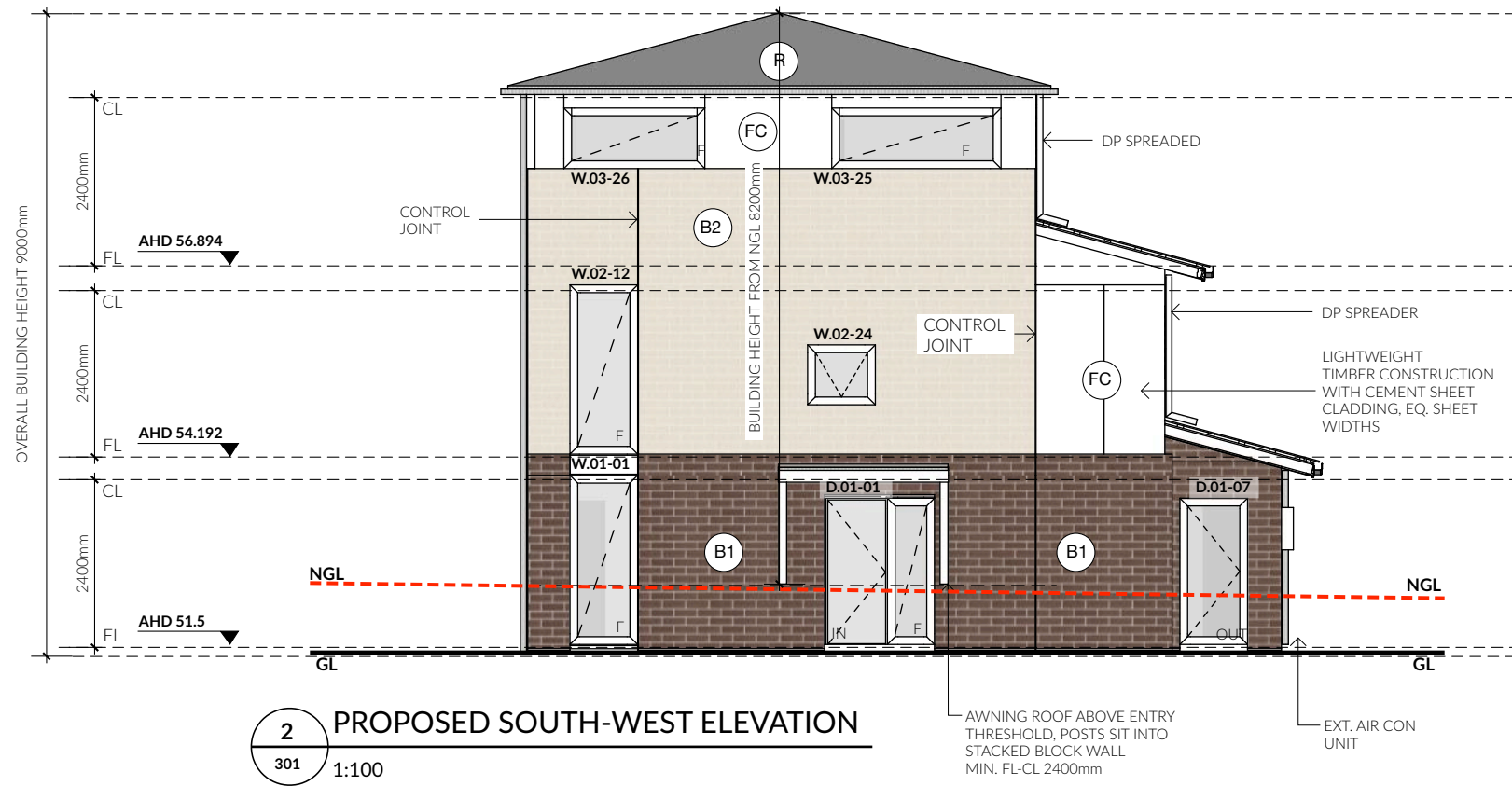






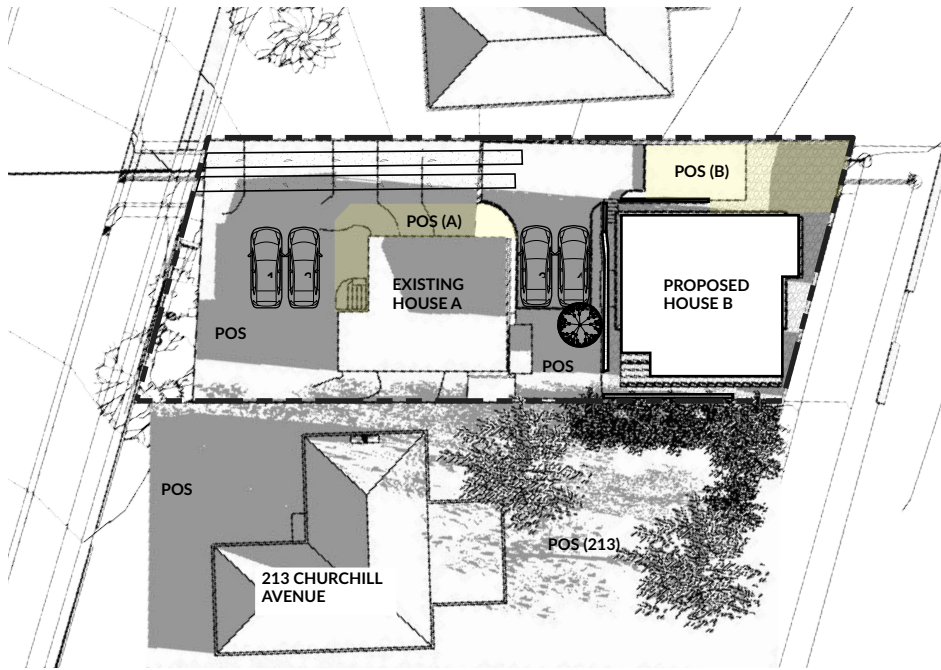


- KEY
- (R) ROOF IRON
  - (B1) BRICK TYPE 1
  - (B2) BRICK TYPE 2
  - (FC) CEMENT SHEET

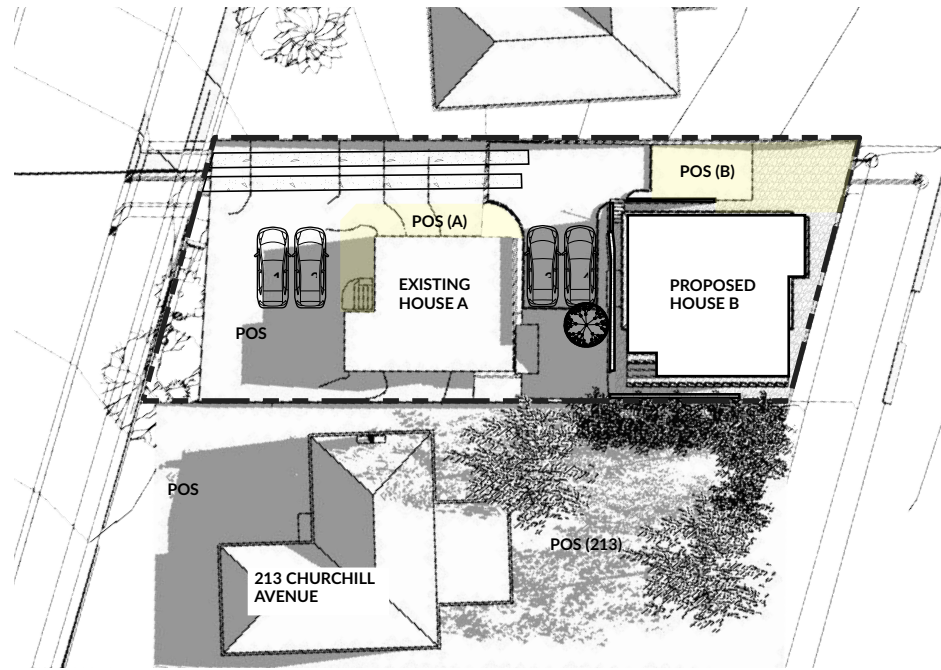


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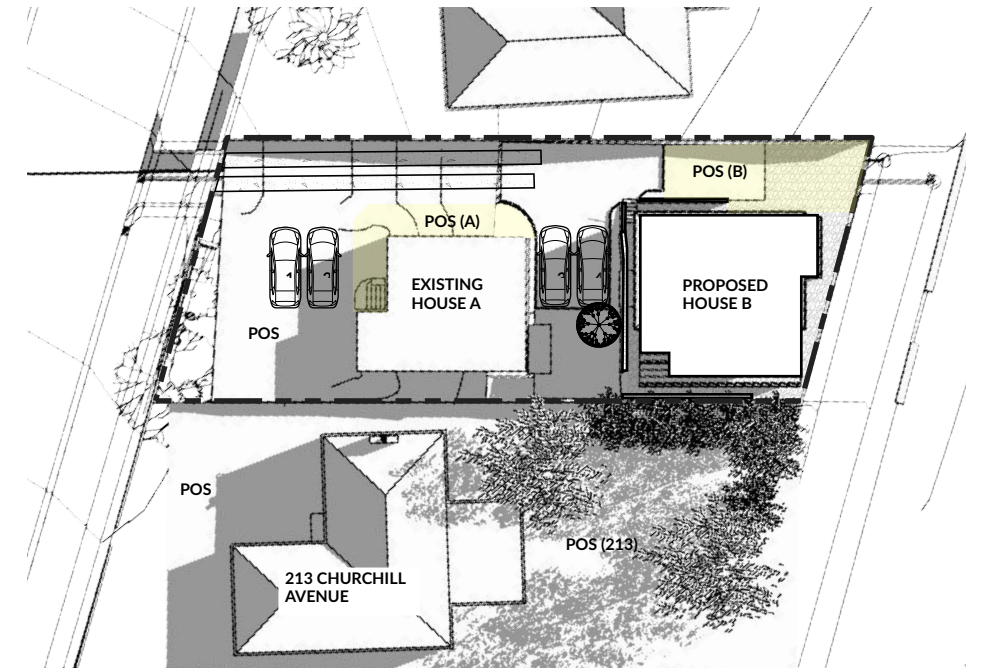




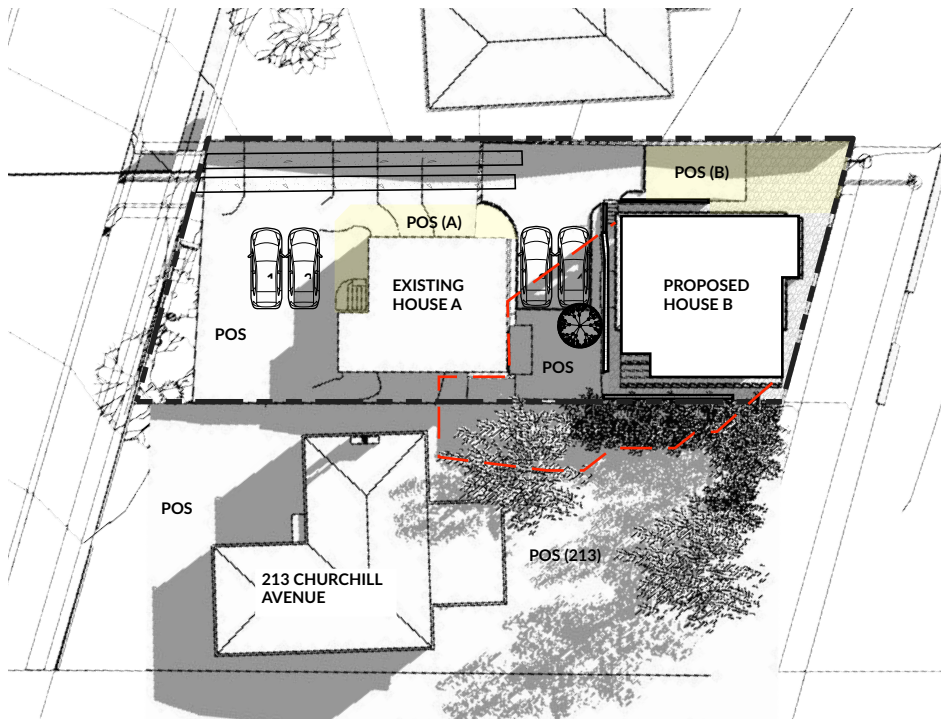
**1** 21st June 9am  
900 1:500  
POS A: NO SUN  
POS B: 50% SUN  
POS 213: 100% SUN



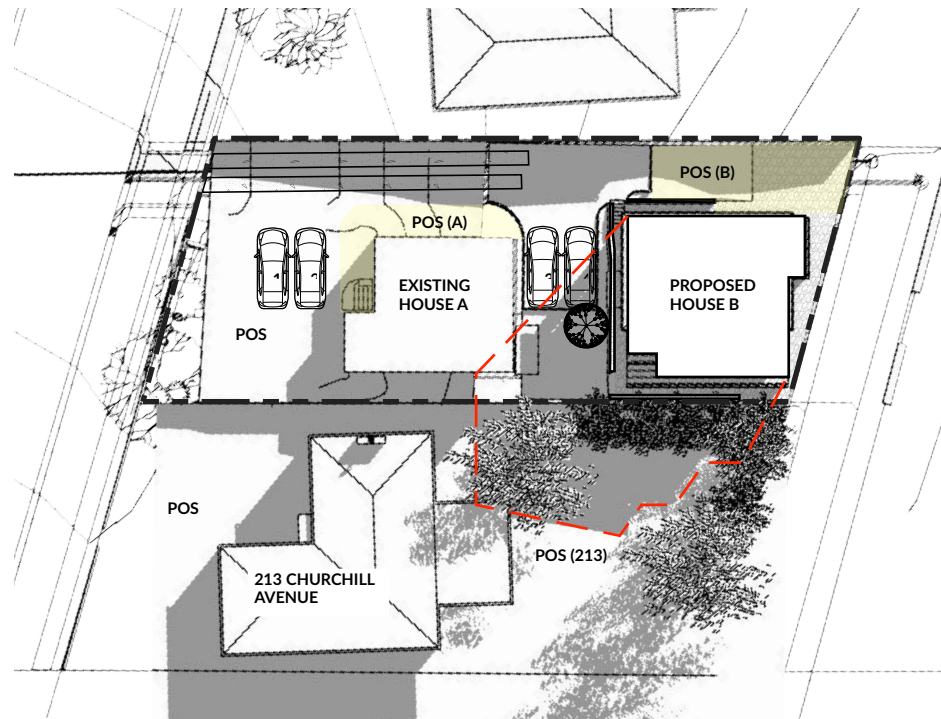
**2** 21st June 10am  
900 1:500  
POS A: 100% SUN  
POS B: 100% SUN  
POS 213: 100% SUN



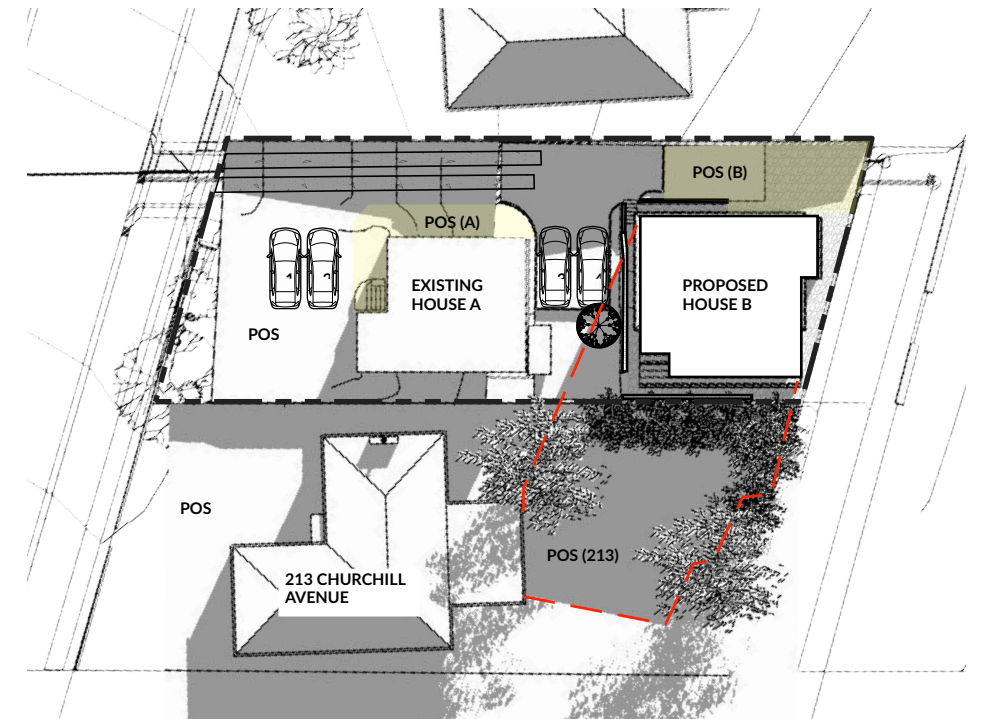
**3** 21st June 11am  
900 1:500  
POS A: 100% SUN  
POS B: 100% SUN  
POS 213: 100% SUN



**4** 21st June Midday  
900 1:500  
POS A: 100% SUN  
POS B: 60% SUN (FENCE)  
POS 213: 80% SUN



**5** 21st June 1pm  
900 1:500  
POS A: 100% SUN  
POS B: 20% SUN (FENCE)  
POS 213: 60% SUN



**6** 21st June 2pm  
900 1:500  
POS A: 30% SUN  
POS B: 0% SUN (FENCE)  
POS 213: 25% SUN





1

No. 213 TREES [10.4.2 A1]

901

NTS

TAKEN 30/08/2018 1:20pm

2

EXISTING A BACK WINDOWS [10.4.5 A3]

901

NTS



## SEARCH OF TORRENS TITLE

VOLUME 55834	FOLIO 9
EDITION 4	DATE OF ISSUE 01-Jun-2016

SEARCH DATE : 24-Jun-2016

SEARCH TIME : 09.30 AM

DESCRIPTION OF LAND

City of HOBART

Lot 9 on Plan 55834 (formerly being P1057)

Derivation : Part of 42 Acres. Gtd. to J C Firth

Prior CT 2724/26

SCHEDULE 1

M574857 TRANSFER to WENFANG WU Registered 01-Jun-2016 at 12.  
01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
BENEFITING EASEMENT: A right of carriage way over all roads  
and right of way shown on Plan No. 1057  
106405 BOUNDARY FENCES AND OTHER CONDITIONS in Transfer  
E50011 MORTGAGE to Australia and New Zealand Banking Group  
Limited Registered 01-Jun-2016 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

55834

P4

CITY OF HOBART

Scale 100' to an inch  
Part of 4200 G.M. to Joseph C. Firth

at 7/11/02  
G.M. to Joseph C. Firth  
CT 234/10

1057  
(Field Notes 799)

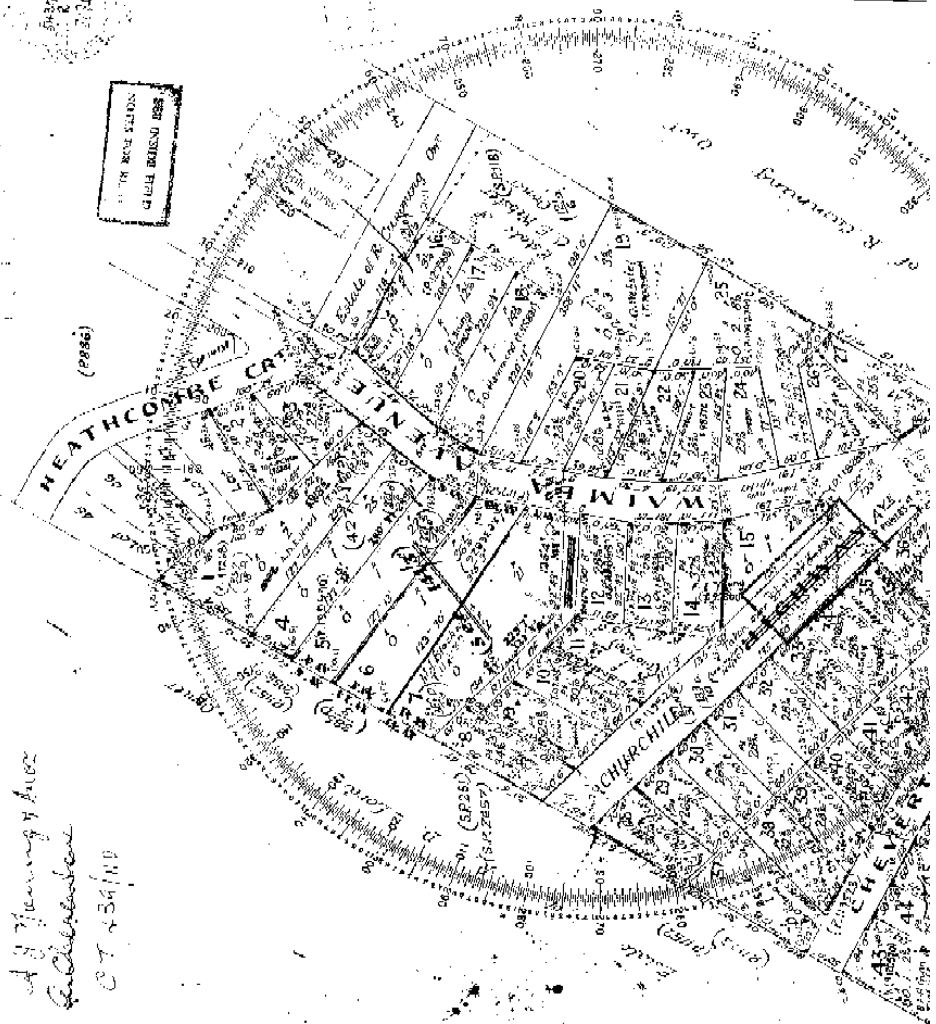
DATE	DESCRIPTION	REMARKS

SEE NOTE 1011

SEE NOTE 1011

SEE NOTE 1011

RECORDED BY  
CITY COUNCIL  
TOWN CLERK







## Submission to Planning Authority Notice

Council Planning Permit No.	PLN-18-603	Council notice date	12/09/2018
<b>TasWater details</b>			
TasWater Reference No.	TWDA 2018/01513-HCC	Date of response	18/09/2018
TasWater Contact	Anthony Cengia	Phone No.	(03) 6237 8243
<b>Response issued to</b>			
Council name	HOBART CITY COUNCIL		
Contact details	coh@hobartcity.com.au		
<b>Development details</b>			
Address	211 CHURCHILL AVE, SANDY BAY	Property ID (PID)	5607522
Description of development	Two multiple dwellings one existing, one new		
<b>Schedule of drawings/documents</b>			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
Next 50 Architects	23816 Sheet 101		30/08/2018
<b>Conditions</b>			
<p><b>SUBMISSION TO PLANNING AUTHORITY NOTICE OF PLANNING APPLICATION REFERRAL</b></p> <p>Pursuant to the <i>Water and Sewerage Industry Act 2008</i> (TAS) Section 56P(1) TasWater imposes the following conditions on the permit for this application:</p> <p><b>CONNECTIONS, METERING &amp; BACKFLOW</b></p> <ol style="list-style-type: none"> <li>1. A suitably sized water supply with metered connections / sewerage system and connections to each dwelling unit must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit.</li> <li>2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost.</li> </ol> <p><b>56W CONSENT</b></p> <ol style="list-style-type: none"> <li>3. Prior to the issue of the Certificate for Certifiable Work (Building) and/or (Plumbing) by TasWater the applicant or landowner as the case may be must make application to TasWater pursuant to section 56W of the <i>Water and Sewerage Industry Act 2008</i> for its consent in respect of that part of the development which is built within a TasWater easement or over or within two metres of TasWater infrastructure.</li> </ol> <p>The plans submitted with the application for the Certificate for Certifiable Work (Building) and/or (Plumbing) must show footings of proposed buildings located over or within 2.0m from TasWater pipes and must be designed by a suitably qualified person to adequately protect the integrity of TasWater's infrastructure, and to TasWater's satisfaction, be in accordance with AS3500 Part 2.2 Section 3.8 to ensure that no loads are transferred to TasWater's pipes. These plans must also include a cross sectional view through the footings which clearly shows;</p> <ol style="list-style-type: none"> <li>a. Existing pipe depth and proposed finished surface levels over the pipe inclusive of a driveway long and cross sectional view demonstrating that a minimum cover of 750mm will be maintained;</li> <li>b. The line of influence from the base of the footing must pass below the invert of the pipe and</li> </ol>			

be clear of the pipe trench and;

- c. A note on the plan indicating how the pipe location and depth were ascertained.

#### DEVELOPMENT ASSESSMENT FEES

- 4. The applicant or landowner as the case may be, must pay a development assessment fee of \$211.63 to TasWater, as approved by the Economic Regulator and the fees will be indexed, until the date paid to TasWater.

The payment is required within 30 days of the issue of an invoice by TasWater.

#### Advice

##### General

For information on TasWater development standards, please visit

<http://www.taswater.com.au/Development/Development-Standards>

For application forms please visit <http://www.taswater.com.au/Development/Forms>

#### Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

#### Authorised by



**Jason Taylor**

Development Assessment Manager

#### TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au