

PROPOSED ALTERATIONS

at 479 CHURCHILL AVENUE
for ANCHORAGE TASMANIA HOLDINGS PTY LTD

SCHEDULE OF DRAWINGS

ARCHITECTURAL REVISION B - 3.11.2017

| | |
|-----|--|
| A01 | DRAWING INDEX |
| A02 | SITE PLAN |
| A03 | LOWER LOWER FLOOR EXISTING / PROPOSED UNIT 1 |
| A04 | UPPER FLOOR EXISTING / PROPOSED UNIT 2 |
| A05 | PLANNING APPROVED UNIT 3 FLOOR PLAN |
| A06 | EXISTING AND PROPOSED SOUTH ELEVATION |
| A07 | EXISTING AND PROPOSED EAST ELEVATION |
| A08 | EXISTING AND PROPOSED NORTH ELEVATION |
| A09 | EXISTING AND PROPOSED WEST ELEVATION |

| GENERAL INFORMATION | |
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| Accredited Building Designer: | Monty East |
| Accreditation Number: | CC1910 |

Land title reference number: C.T. 55677 / 20

Site Area: 809 sqm

IMPORTANT

1. USE WRITTEN DIMENSIONS ONLY.

2. DO NOT SCALE DRAWINGS.

3. THE CONTRACTOR IS TO CHECK ALL LEVELS, DATUMS, AND DIMENSIONS IN RELATION TO THE DRAWINGS AND THE SITE BEFORE PROCEEDING WITH THE WORK OR SHOP DRAWINGS.

4. ENSURE THAT THIS DRAWING AND ANY ACCOMPANYING DETAILS AND/OR SPECIFICATIONS HAVE BEEN STAMPED AS 'APPROVED' BY THE RELEVANT LOCAL AUTHORITY.

5. THE PROPRIETOR IS TO ENSURE THAT ANY "CONDITIONS OF APPROVAL" ISSUED BY THE BUILDING SURVEYOR, RELEVANT COUNCIL AND OTHER STATUTORY AUTHORITIES ARE PASSED ONTO THE CONTRACTOR BEFORE CONSTRUCTION BEGINS.

6. MATERIALS AND WORKMANSHIP SHALL CONFORM WITH RELEVANT STANDARDS, BUILDING CODE OF AUSTRALIA AND PRODUCT MANUFACTURERS WRITTEN INSTRUCTIONS.

7. ANY ALTERATION TO THE CONSTRUCTION AND/OR MATERIALS INDICATED IN THESE DRAWINGS IS TO BE APPROVED BY DESIGN EAST, THE ENGINEER, THE BUILDING SURVEYOR, AND THE PROPRIETOR BEFORE PROCEEDING WITH THE WORK.

8. IF THERE ARE ANY QUERIES IN RELATION TO DIMENSIONS, LEVELS OR CONSTRUCTION DETAILS, CONTACT:

design . EAST

phone 6223 6740 email admin@designeast.com.au

SHEET No. 1 OF 9

| REV. | DESCRIPTION | DATE |
|------|-------------|------|
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| Project: | PROPOSED ALTERATIONS & ADDITIONS at 479 CHURCHILL AVENUE SANDY BAY for ANCHORAGE TASMANIA HOLDINGS PTY LTD |
| Drawing: | INDEX |

| | |
|------------------------|--------------------------|
| SCALE: 1:100 @A2 | DWG. No.: 5176 A01 |
| DRAWN: JF | DATE: 3.11.17 |

153 Davey Street Hobart
Tasmania 7000
Phone: (03) 6223 6740
Email: admin@designeast.com.au
Web: www.designeast.com.au
Accreditation No.: CC191 0

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building design and interior architecture

| SITE NOTES | |
|-------------------|----------------------|
| Property Address: | 479 CHURCHILL AVENUE |
| Property ID: | 5607872 |
| Title Reference: | 55677 / 20 |
| Site Area: | 800.6 sqm. |
| Municipality: | HOBBART CITY COUNCIL |
| Owner: | J. BOURKE |

Property Address: 479 CHURCHILL AVENUE
Property ID: 5607072
Title Reference: 55677 / 20
Site Area: 808.6 sqm.
Municipality: HOBART CITY COUNCIL
Owner: J. BOURKE

| SITE KEY | |
|----------|---|
| A | EXISTING BUILDING BELOW. (GROUND FLOOR / FIRST FLOOR). SHOWN HATCHED. |
| B | PROPOSED EXTENSION TO GROUND FLOOR AND FIRST FLOOR SHOWN HATCHED. |
| C | PROPOSED UNIT (SECOND FLOOR) |

- (A) EXISTING BUILDING BELOW.
(GROUND FLOOR / FIRST FLOOR).
SHOWN HATCHED.
- (B) PROPOSED EXTENSION TO GROUND FLOOR
AND FIRST FLOOR SHOWN HATCHED.
- (C) PROPOSED UNIT (SECOND FLOOR)

| EXISTING FLOOR AREAS | |
|-----------------------------|-----------------|
| EX. BUILDING FOOTPRINT AREA | = 180 sqm +/- |
| EX. LOT SIZE | = 808.6 sqm +/- |
| AS % OF SITE AREA | = 22.63 % |

| PROPOSED FLOOR AREAS | |
|----------------------------------|-----------|
| PROPOSED BUILDING FOOTPRINT AREA | = 340 sqm |
| AS % OF SITE AREA | = 42 % |

EX. BUILDING FOOTPRINT AREA ± 100 sqm +/-

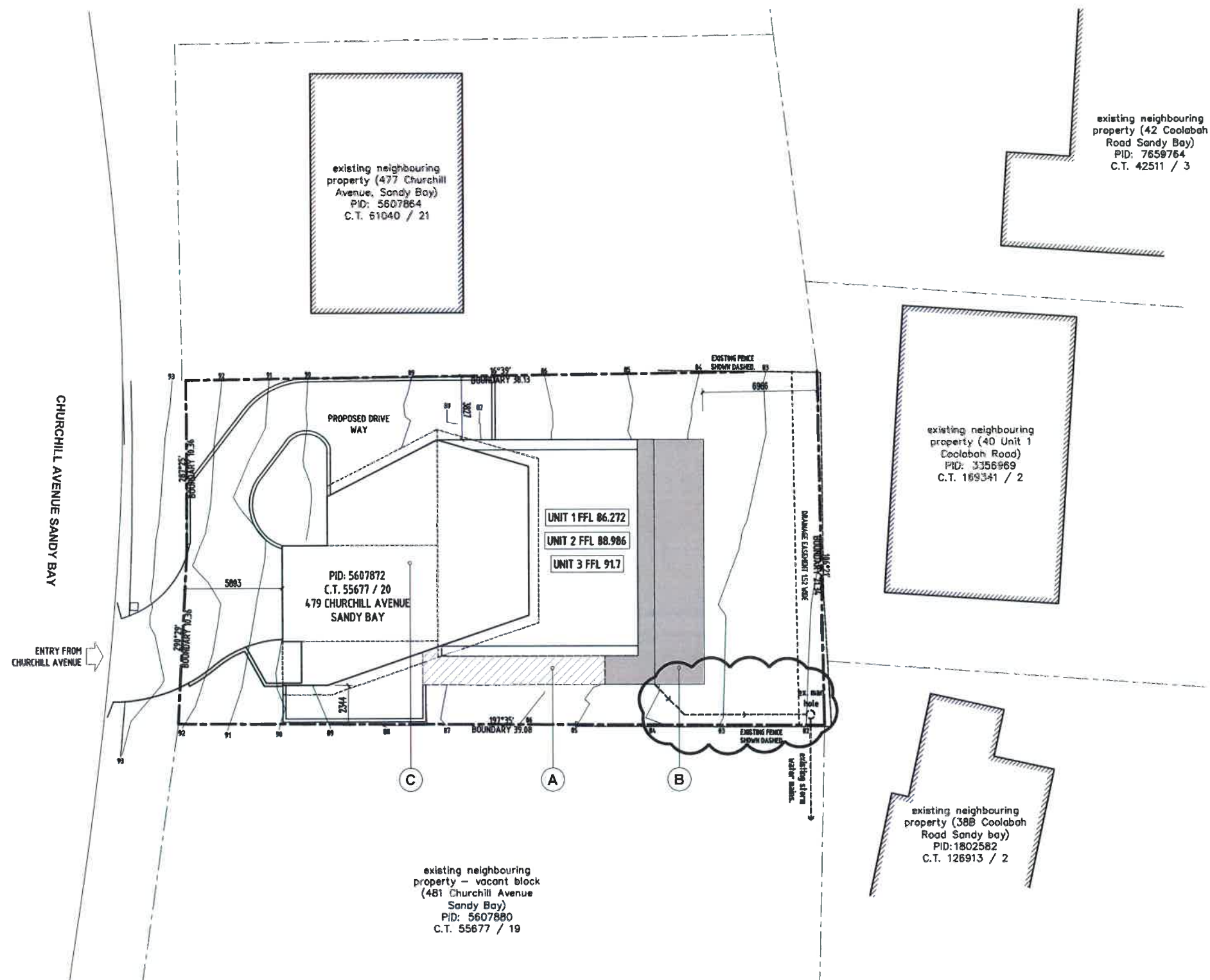
EX. LOT SIZE = 800.6 sqm +/-

AS % OF SITE AREA = 22.63 %

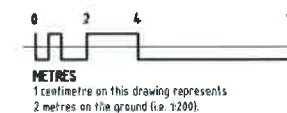
| | |
|----------------------------------|-----------|
| PROPOSED FLOOR AREAS | |
| PROPOSED BUILDING FOOTPRINT AREA | ≈ 340 sqm |
| AS % OF SITE AREA | ≈ 42 % |

PROPOSED BUILDING FOOTPRINT AREA = 340 sqm

AS % OF SITE AREA = 42 %

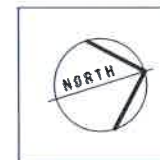


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| Project: | PROPOSED ALTERATIONS & ADDITIONS at 479 CHURCHILL AVENUE SANDY BAY for ANCHORAGE TASMANIA HOLDINGS PTY LTD |
| Drawing: | SITE PLAN |

Design: EAST registered trading name for design: EAST Pty. Ltd.

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| SCALE: | DWG. No.: |
| 1:200 | 5176 |
| @ A2 | A02 |
| DRAWN: | DATE: |
| JF | 3.11.17 |

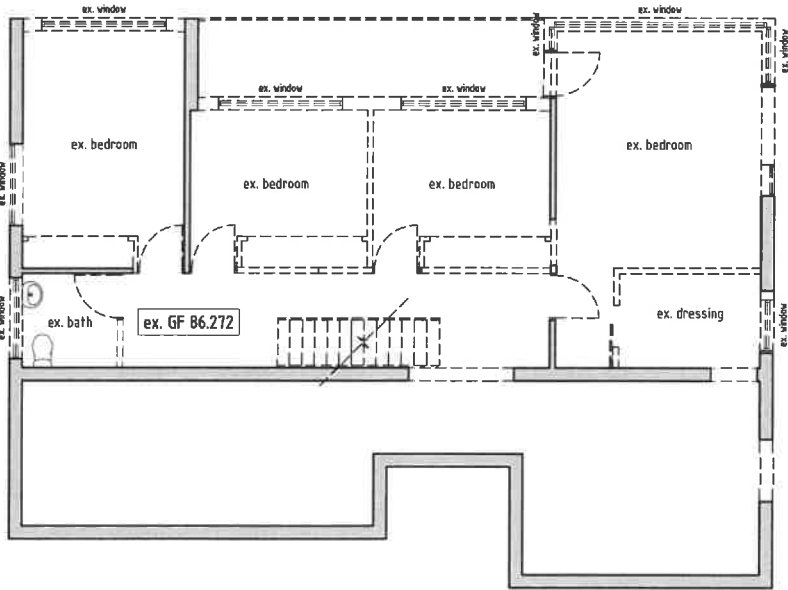
153 Davey Street Hobart
Tasmania 7000
Phone: (03) 6223 6740
Email: admin@designcast.com.au
Web: www.designcast.com.au
Accreditation No.: CC191 0

| LEGEND | |
|--------|----------------------------------|
| MARK | DESCRIPTION |
| | EXISTING WALLS TO BE RETAINED. |
| | EXISTING WALLS TO BE DEMOLISHED. |
| | PROPOSED WALLS. |

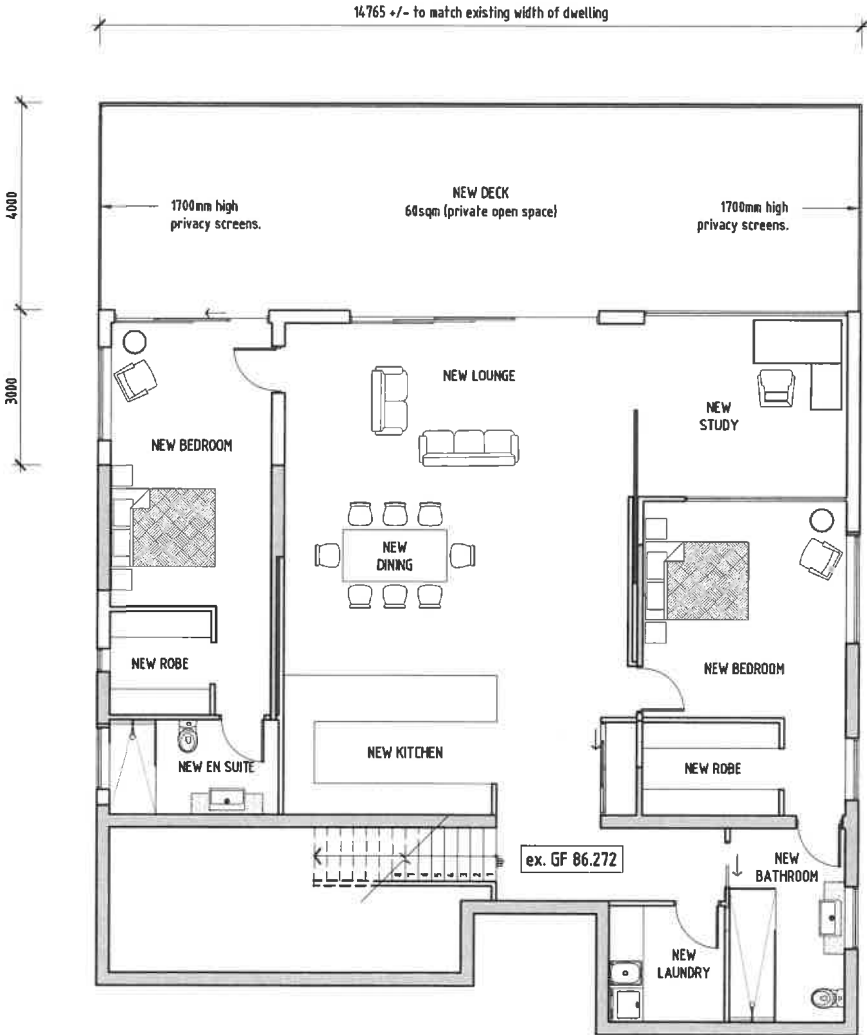
| EXISTING LOWER FLOOR AREA | |
|---------------------------|--------------|
| FIRST FLOOR (USABLE) AREA | = 121 ± sqm. |

| PROPOSED UNIT 1 FLOOR AREA | |
|----------------------------|--------------|
| FIRST FLOOR (USABLE) AREA | = 157 ± sqm. |

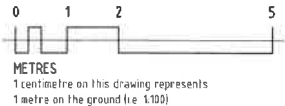
| DEMOLITION NOTES |
|---|
| <p>GENERALLY DEMOLITION WORKS MUST BE CARRIED OUT IN ACCORDANCE WITH AS 2601-2001: DEMOLITION OF STRUCTURES & REGULATIONS 29, 30 & 31 OF THE BUILDING REGULATIONS (Tas.) 2014.</p> <p>BUILDINGS PRIOR TO 1990 <u>MAY</u> CONTAIN ASBESTOS. BUILDINGS PRIOR TO 1986 <u>ARE LIKELY</u> TO CONTAIN ASBESTOS EITHER IN CLADDING MATERIAL OR IN FIRE RETARDANT INSULATION MATERIAL. THE BUILDER SHOULD CHECK &, IF NECESSARY, TAKE APPROPRIATE ACTION BEFORE DEMOLISHING, CUTTING, SANDING, DRILLING OR OTHERWISE DISTURBING THE EXISTING STRUCTURE.</p> <p>PROCEDURES & METHODS OF DEMOLITION MUST BE ADEQUATE TO PREVENT INJURY TO PERSONS & AVOID DAMAGE TO NEIGHBORING PROPERTY.</p> <p>BEFORE REMOVING EXISTING WALLS SHOWN TO BE DEMOLISHED, BUILDER SHALL CONFIRM ON-SITE WHETHER THEY ARE LOAD-BEARING OR NOT. IF IT IS FOUND THAT THEY ARE LOAD-BEARING, A STRUCTURAL ENGINEER MUST BE ENGAGED TO DETERMINE ANY BEAMS REQUIRED TO SUPPORT THESE EXISTING LOADS.</p> <p>ALL REDUNDANT STORMWATER, SEWER & WATER CONNECTIONS ASSOCIATED WITH THE DEMOLITION SHALL BE CUT & SEALED TO THE SATISFACTION OF COUNCIL'S SENIOR PLUMBING INSPECTOR.</p> <p>THE REMOVAL OF EXISTING PLUMBING FIXTURES SHALL INCLUDE ALL ASSOCIATED WASTE & VENT PIPES, FLOOR DRAINS, WATER SERVICE PIPEWORK BRACKETS, SUPPORTS etc. & SEAL OFF EXISTING SERVICES. SEAL OFF & MAKE GOOD ALL FLOOR, WALL & ROOF PENETRATIONS.</p> <p>GENERALLY, MAKE GOOD TO EXISTING FLOORS, WALLS & CEILINGS WHERE ALL DEMOLITION WORK OCCURS TO MATCH EXISTING AS & WHERE REQUIRED.</p> |



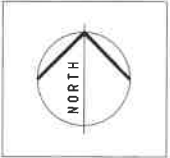
UNIT 1 - EXISTING LOWER FLOOR PLAN



UNIT 1 - PROPOSED LOWER FLOOR



| REV. | DESCRIPTION | DATE |
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| Project: | PROPOSED ALTERATIONS & ADDITIONS at 479 CHURCHILL AVENUE SANDY BAY for ANCHORAGE TASMANIA HOLDINGS PTY LTD |
| Drawing: | UNIT 1 LOWER FLOOR EXISTING / PROPOSED |

design:EAST registered trading name for design.EAST Pty. Ltd.

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| DWG. No.: | 5176 A03 |
| SCALE: | 1:100 @ A2 |
| DATE: | 3.11.17 |
| DRAWN: | JF |

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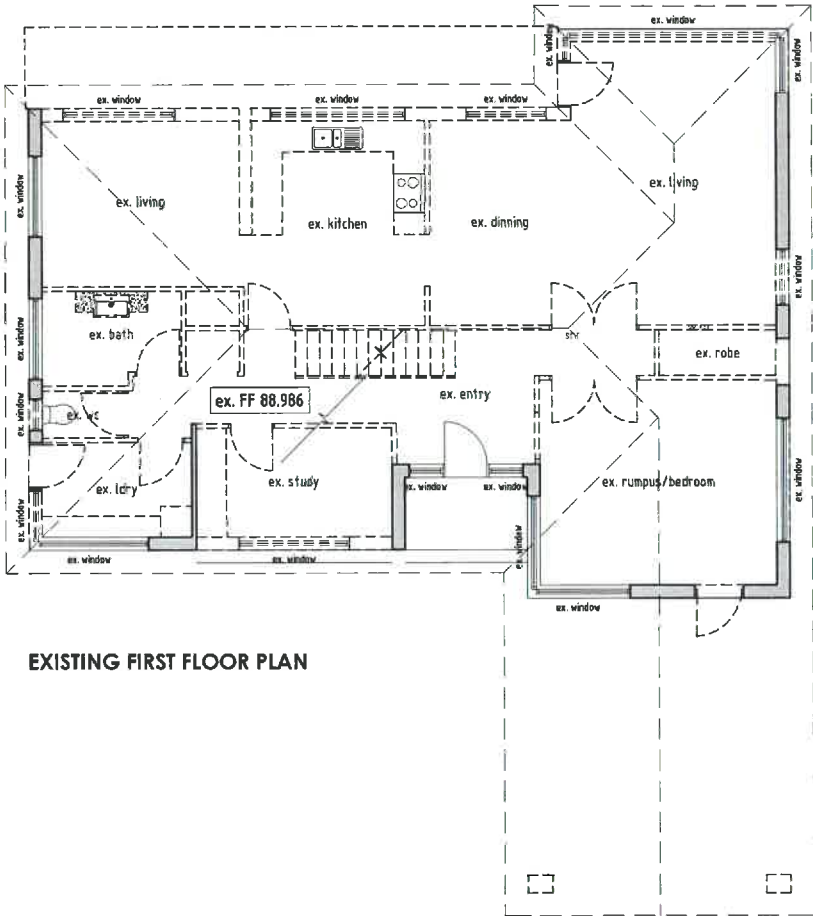
building design and interior architecture

| LEGEND | |
|--------|----------------------------------|
| MARK | DESCRIPTION |
| | EXISTING WALLS TO BE RETAINED. |
| | EXISTING WALLS TO BE DEMOLISHED. |
| | PROPOSED WALLS. |
| | PROPOSED RETAINING WALLS. |

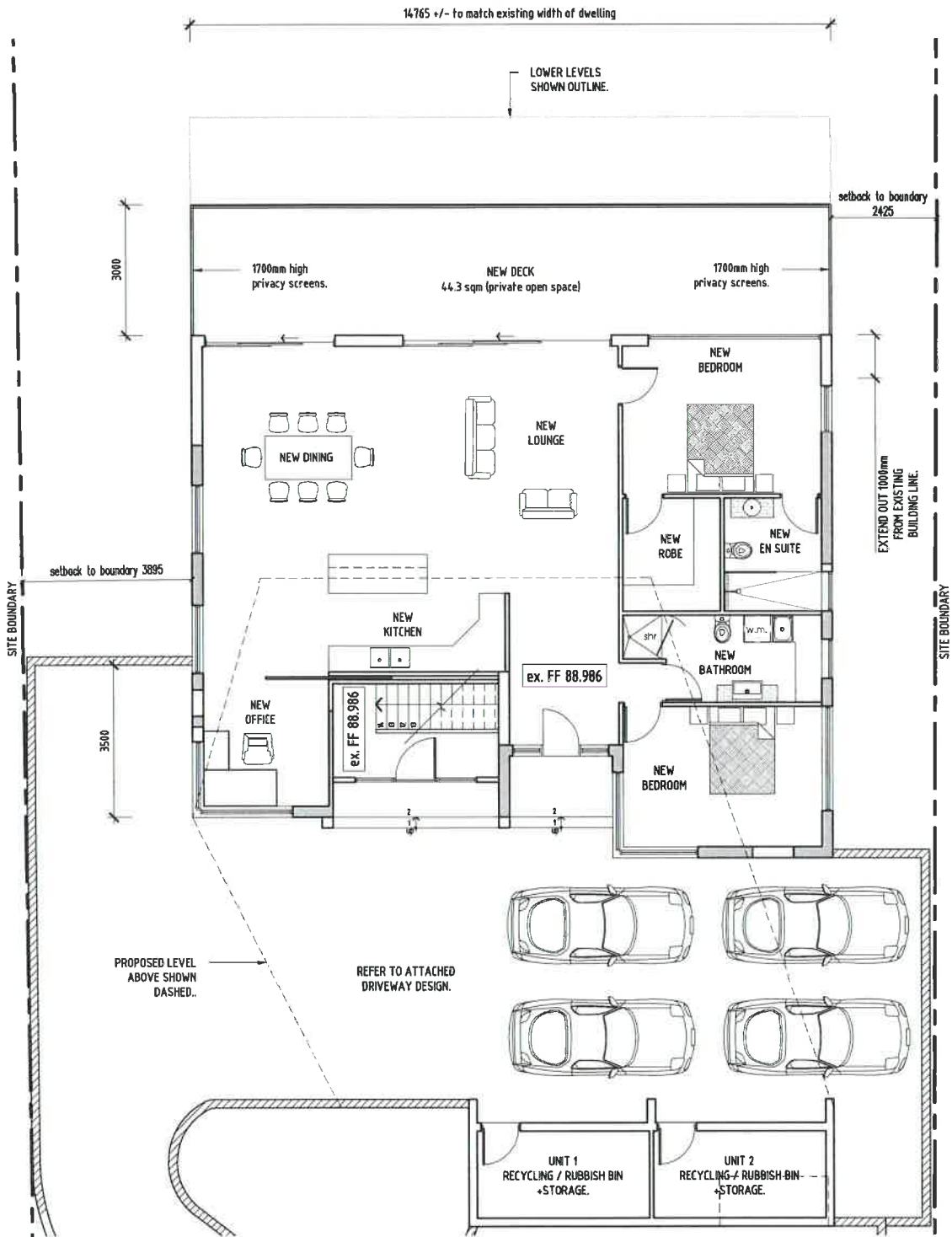
| EXISTING FIRST FLOOR AREA | |
|---------------------------|--------------|
| FIRST FLOOR (USABLE) AREA | = 121 ± sqm. |

| PROPOSED UNIT 2 FLOOR AREA | |
|----------------------------|--------------|
| FIRST FLOOR (USABLE) AREA | = 138 ± sqm. |

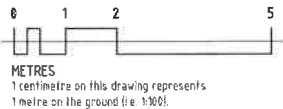
| DEMOLITION NOTES |
|---|
| <p>GENERALLY DEMOLITION WORKS MUST BE CARRIED OUT IN ACCORDANCE WITH AS 2601-2001: DEMOLITION OF STRUCTURES & REGULATIONS 29, 30 & 31 OF THE BUILDING REGULATIONS (Tas.) 2014.</p> <p>BUILDINGS PRIOR TO 1990 MAY CONTAIN ASBESTOS. BUILDINGS PRIOR TO 1986 ARE LIKELY TO CONTAIN ASBESTOS EITHER IN CLADDING MATERIAL OR IN FIRE RETARDANT INSULATION MATERIAL. THE BUILDER SHOULD CHECK &, IF NECESSARY, TAKE APPROPRIATE ACTION BEFORE DEMOLISHING, CUTTING, SANDING, DRILLING OR OTHERWISE DISTURBING THE EXISTING STRUCTURE.</p> <p>PROCEDURES & METHODS OF DEMOLITION MUST BE ADEQUATE TO PREVENT INJURY TO PERSONS & AVOID DAMAGE TO NEIGHBORING PROPERTY.</p> <p>BEFORE REMOVING EXISTING WALLS SHOWN TO BE DEMOLISHED, BUILDER SHALL CONFIRM ON-SITE WHETHER THEY ARE LOAD-BEARING OR NOT. IF IT IS FOUND THAT THEY ARE LOAD-BEARING, A STRUCTURAL ENGINEER MUST BE ENGAGED TO DETERMINE ANY BEAMS REQUIRED TO SUPPORT THESE EXISTING LOADS.</p> <p>ALL REDUNDANT STORMWATER, SEWER & WATER CONNECTIONS ASSOCIATED WITH THE DEMOLITION SHALL BE CUT & SEALED TO THE SATISFACTION OF COUNCIL'S SENIOR PLUMBING INSPECTOR.</p> <p>THE REMOVAL OF EXISTING PLUMBING FIXTURES SHALL INCLUDE ALL ASSOCIATED WASTE & VENT PIPES, FLOOR DRAINS, WATER SERVICE PIPEWORK BRACKETS, SUPPORTS etc. & SEAL OFF EXISTING SERVICES. SEAL OFF & MAKE GOOD ALL FLOOR, WALL & ROOF PENETRATIONS.</p> <p>GENERALLY, MAKE GOOD TO EXISTING FLOORS, WALLS & CEILINGS WHERE ALL DEMOLITION WORK OCCURS TO MATCH EXISTING AS & WHERE REQUIRED.</p> |



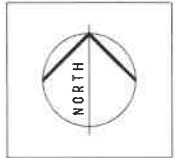
EXISTING FIRST FLOOR PLAN



PROPOSED FIRST FLOOR PLAN



| REV. | DESCRIPTION | DATE |
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| Project: | PROPOSED ALTERATIONS & ADDITIONS at 479 CHURCHILL AVENUE SANDY BAY for ANCHORAGE TASMANIA HOLDINGS PTY LTD |
| Drawing: | UNIT 2 GROUND FLOOR EXISTING / PROPOSED |
| design.EAST registered trading name for design.EAST Pty. Ltd. | |

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| DWG. No.: | 5176 |
| SCALE: | 1:100 @ A2 |
| DRAWN: | JF |
| DATE: | 3.11.17 |

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| 153 Davey Street Hobart Tasmania 7000 Phone: (03) 6223 6740 Email: admin@designeast.com.au Web: www.designeast.com.au Accreditation No.: CC191 O | |
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| LEGEND | |
|--------|---------------------------|
| MARK | DESCRIPTION |
| | PROPOSED RETAINING WALLS. |
| | PROPOSED WALLS. |

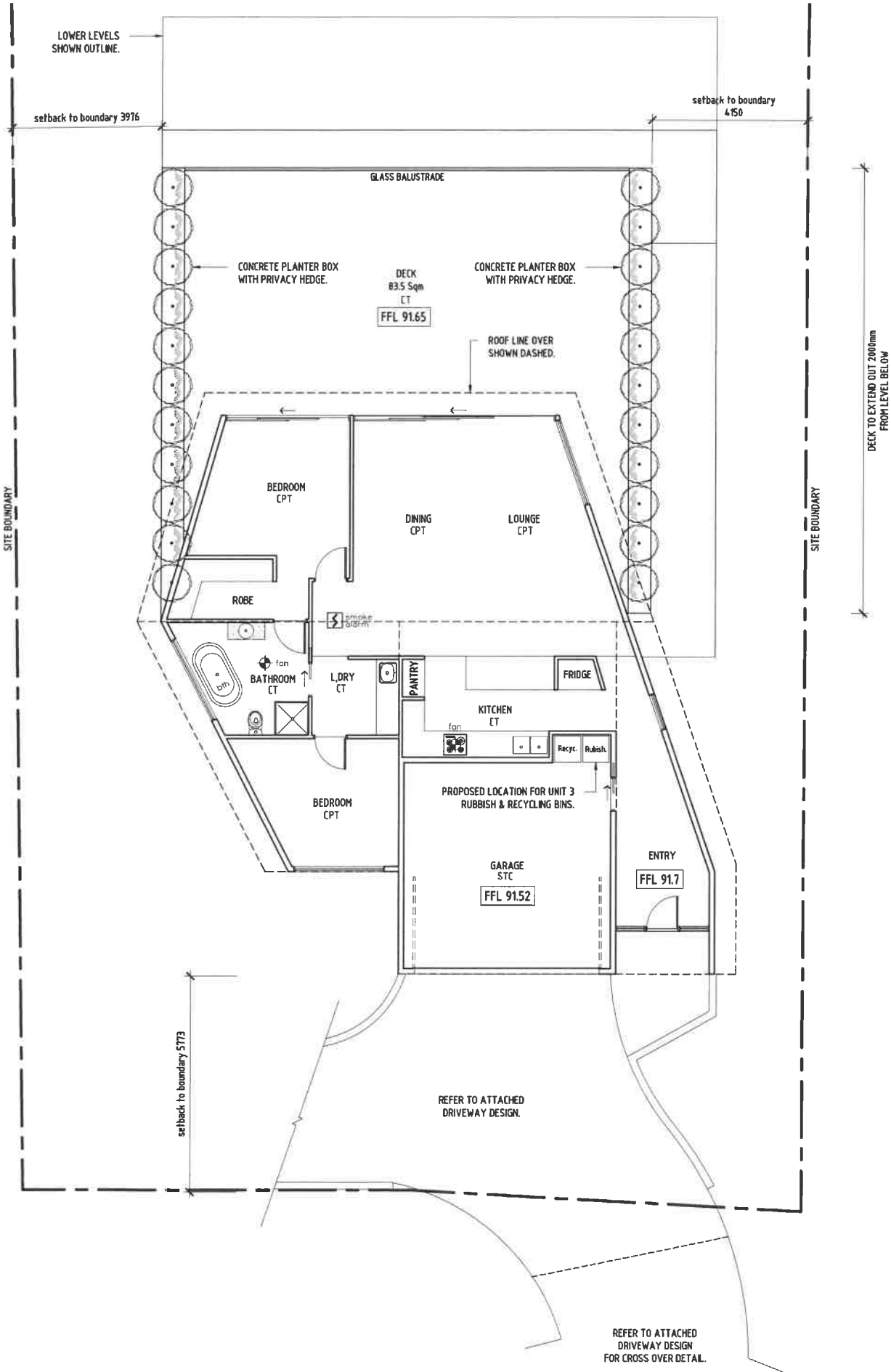
| PROPOSED UNIT 3 FLOOR AREA | |
|--------------------------------|--------------|
| UNIT 3 (EXCLUDING GARAGE) AREA | = 120 ± sqm. |

| KEY | |
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| MARK | DESCRIPTION |
| | PHOTOELECTRIC SMOKE ALARM (HARD WIRED) TO COMPLY WITH BCA 3.7.2 & AS 3786 (must be interconnected where there is more than one alarm). |
| | MECHANICAL EXHAUST FAN. INSTALL & DUCT TO OUTSIDE AIR IN ACCORDANCE WITH AS 1668.2. |

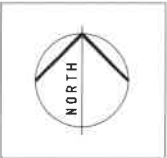
| SETOUT NOTES | |
|---|--|
| 1. USE WRITTEN DIMENSIONS ONLY, DO NOT SCALE DRAWINGS. | |
| 2. ALL LEVELS, DATUMS & DIMENSIONS SHALL BE VERIFIED ON-SITE BEFORE COMMENCING ANY WORK OR SHOP DRAWINGS. ANY ANOMALIES ARE TO BE DIRECTED TO THE DESIGNER. | |

| FLOOR FINISHES | |
|----------------|----------------------------------|
| MARK | DESCRIPTION |
| CPT | BROOM FINISHED CONCRETE SURFACE. |
| CT | CERAMIC TILES AS SELECTED. |
| STC | STEEL TROWEL FINISHED CONCRETE. |

| PLANTING SCHEDULE | | | |
|-------------------|----------------------------------|---------------------|----------|
| KEY | COMMON NAME | MATURE SIZE (h x w) | QUANTITY |
| OP | ORNAMENTAL PEAR TREE (DECIDUOUS) | 1.2M + (SCREENING) | 22 No. |
| LA | LUMA APICULATA | UP TO 1.2 METERS | 21 No. |



| REV. | DESCRIPTION | DATE |
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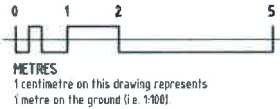
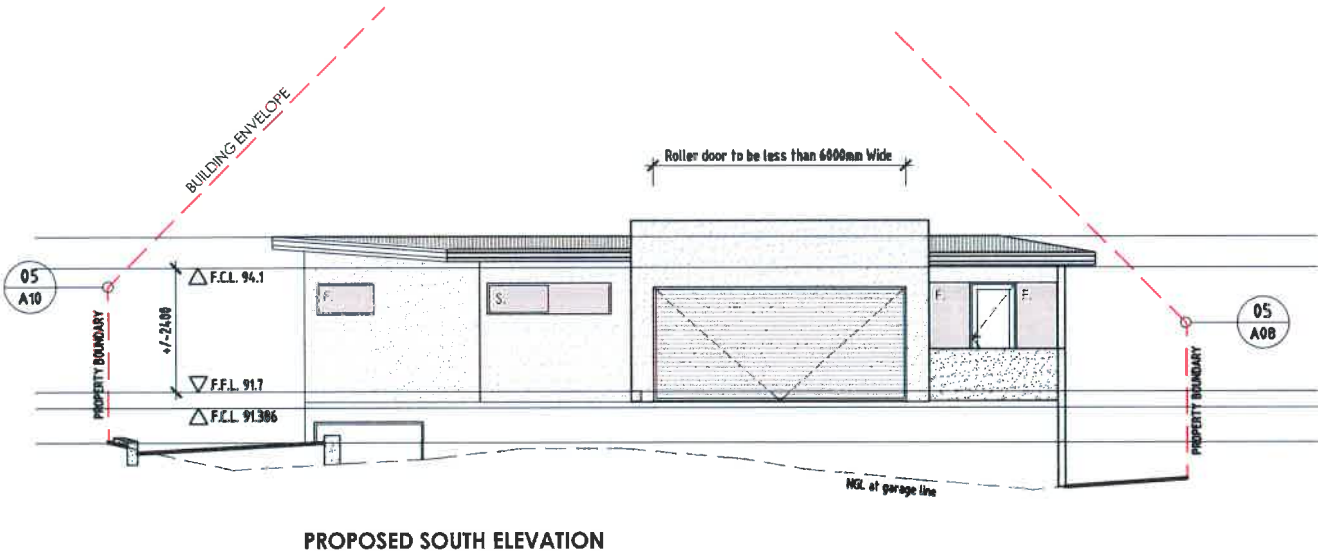
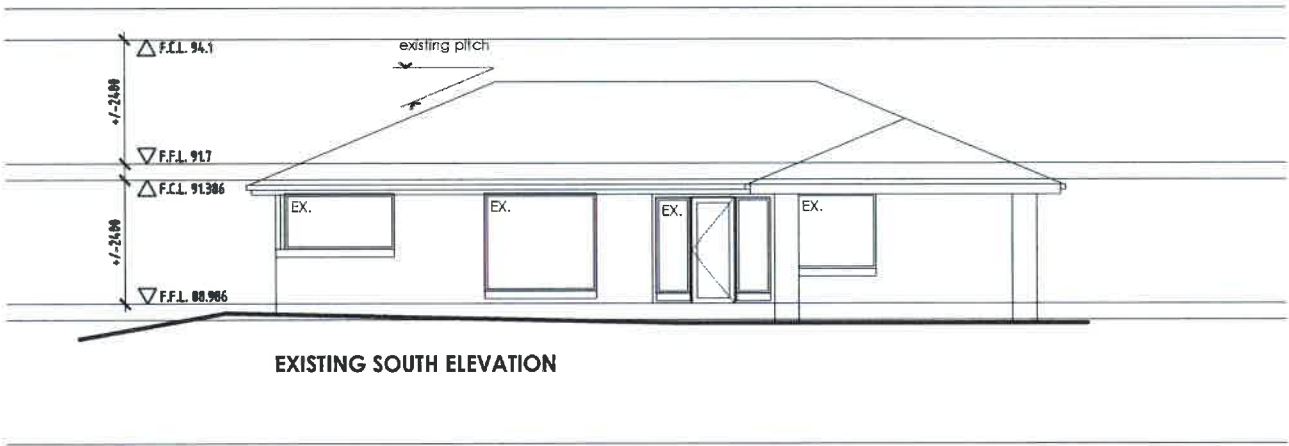


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| Project: PROPOSED ALTERATIONS & ADDITIONS at 479 CHURCHILL AVENUE SANDY BAY for ANCHORAGE TASMANIA HOLDINGS PTY LTD | Drawing: UNIT 3 (DA APPROVED) FLOOR PLAN | |
| | design.EAST registered trading name for design.EAST Pty, Ltd. | |

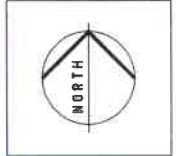
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| DWG. No.: 5176 A05 | DATE: 3.11.17 |
| SCALE: 1:100 @ A2 | DRAWN: JF |

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| LEGEND | |
|--------|---------------------------|
| EX. | - EXISTING WINDOW / DOOR. |
| F. | - FIXED WINDOW. |
| A. | - AWNING WINDOW. |
| G. | - GLAZED HINGED DOOR. |
| SD. | - SLIDING DOOR. |
| S. | - SLIDING WINDOW |



| REV. | DESCRIPTION | DATE |
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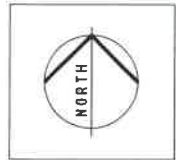
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| Project: | PROPOSED ALTERATIONS & ADDITIONS at 479 CHURCHILL AVENUE SANDY BAY for ANCHORAGE TASMANIA HOLDINGS PTY LTD |
| Drawing: | EXISTING & PROPOSED SOUTH ELEVATION design EAST registered trading name for design EAST Pty Ltd. |

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| DWG. No.: | 5176 | DATE: | 3.11.17 |
| SCALE: | 1:100 @ A2 | DRAWN: | JF |
| | A06 | | |

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| LEGEND | |
|--------|---------------------------|
| EX. | - EXISTING WINDOW / DOOR. |
| F. | - FIXED WINDOW. |
| A. | - AWNING WINDOW. |
| G. | - GLAZED HINGED DOOR. |
| SD. | - SLIDING DOOR. |

| REV. | DESCRIPTION | DATE |
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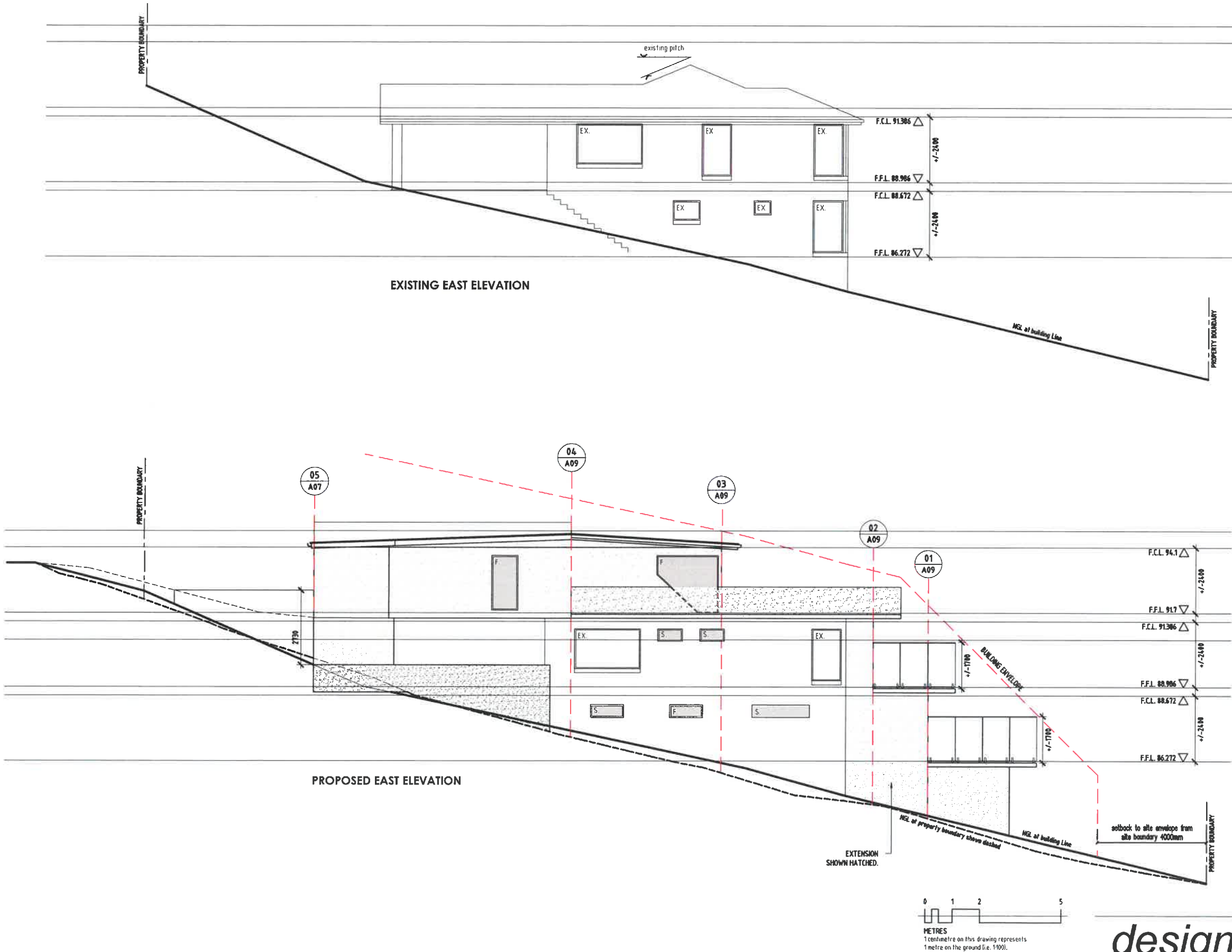
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|---|------------------------------------|
| Project: | |
| PROPOSED ALTERATIONS & ADDITIONS at 479 CHURCHILL AVENUE SANDY BAY for ANCHORAGE TASMANIA HOLDINGS PTY LTD | |
| Drawing: | EXISTING & PROPOSED EAST ELEVATION |
| design EAST registered trading name for design EAST Pty. Ltd. | |

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| DWG. No.: | 5176 | DATE: | 3.11.17 |
| SCALE: | 1:100 @ A2 | DRAWN: | JF |
| A07 | | | |

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| 153 Davey Street Hobart Tasmania 7000 | | Phone: (03) 6223 6740 | |
| Email: admin@designeast.com.au | | Web: www.designeast.com.au | |
| Accreditation No.: | | CC191 0 | |

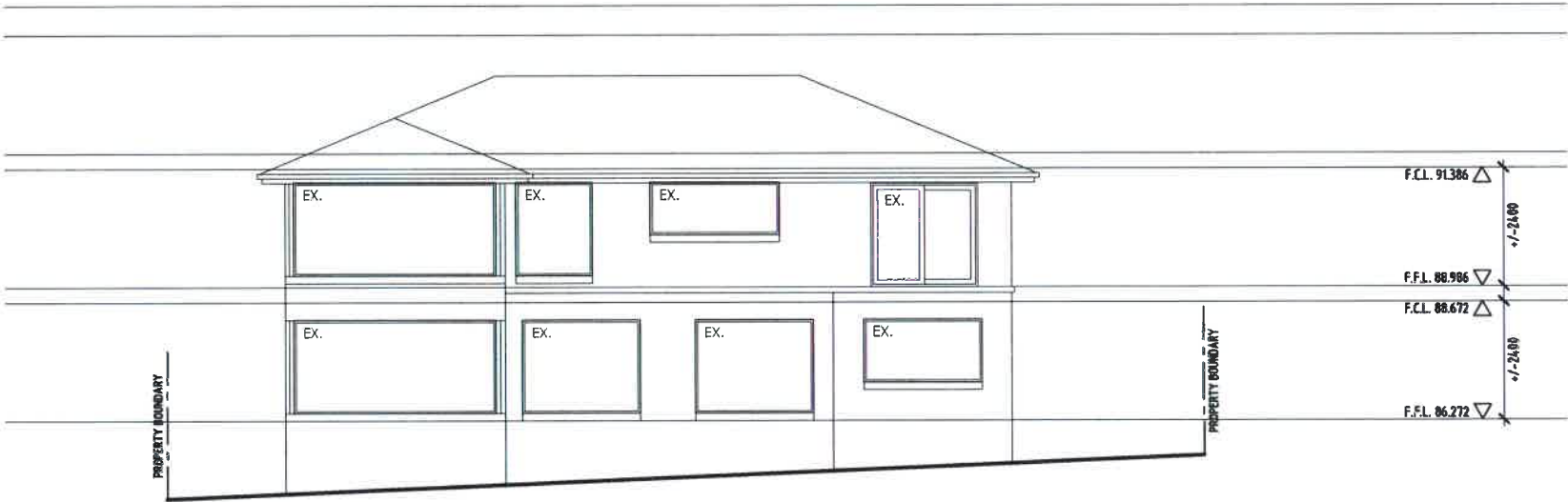
design

building design and interior architecture

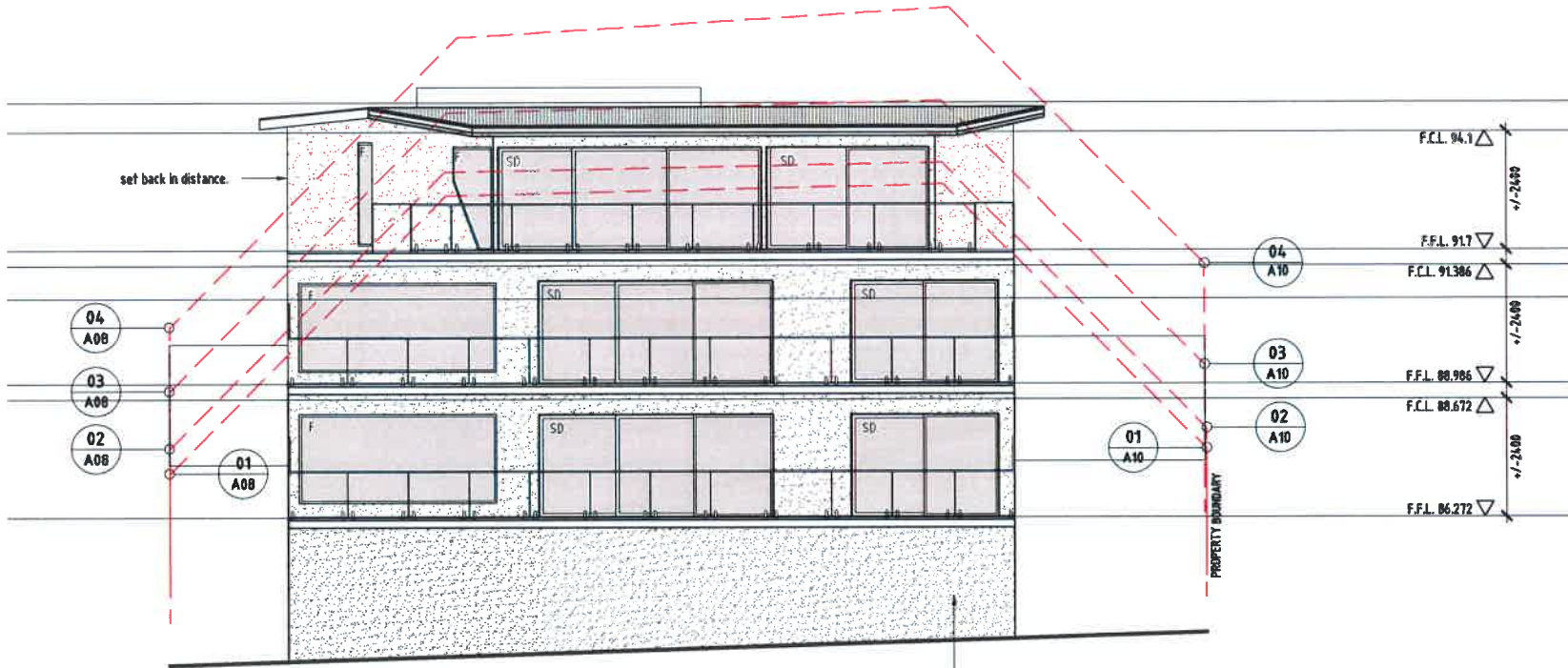


A07. EXISTING & PROPOSED EAST ELEVATION 1:100

| LEGEND | |
|--------|---------------------------|
| EX. | - EXISTING WINDOW / DOOR. |
| F. | - FIXED WINDOW. |
| A. | - AWNING WINDOW. |
| G. | - GLAZED HINGED DOOR. |
| SD. | - SLIDING DOOR. |

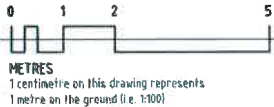


EXISTING NORTH ELEVATION

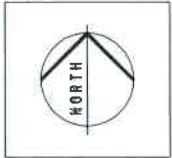


PROPOSED NORTH ELEVATION

EXTENSION
SHOWN HATCHED.



| REV. | DESCRIPTION | DATE |
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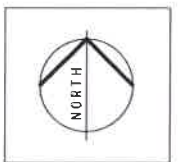


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|---|---|
| Project: | PROPOSED ALTERATIONS & ADDITIONS at 479 CHURCHILL AVENUE SANDY BAY for ANCHORAGE TASMANIA HOLDINGS PTY LTD |
| Drawing: | EXISTING & PROPOSED NORTH ELEVATION |
| design EAST registered trading name for design EAST Pty. Ltd. | |

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| SCALE: | DWG. No.: 5176 A08 | DATE: | 3.11.17 |
| 1:100 @ A2 | DRAWN: | JF | |

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|---|

EX. - EXISTING WINDOW / DOOR.
F. - FIXED WINDOW.
A. - AWNING WINDOW.
G. - GLAZED HINGED DOOR.
SD. - SLIDING DOOR.

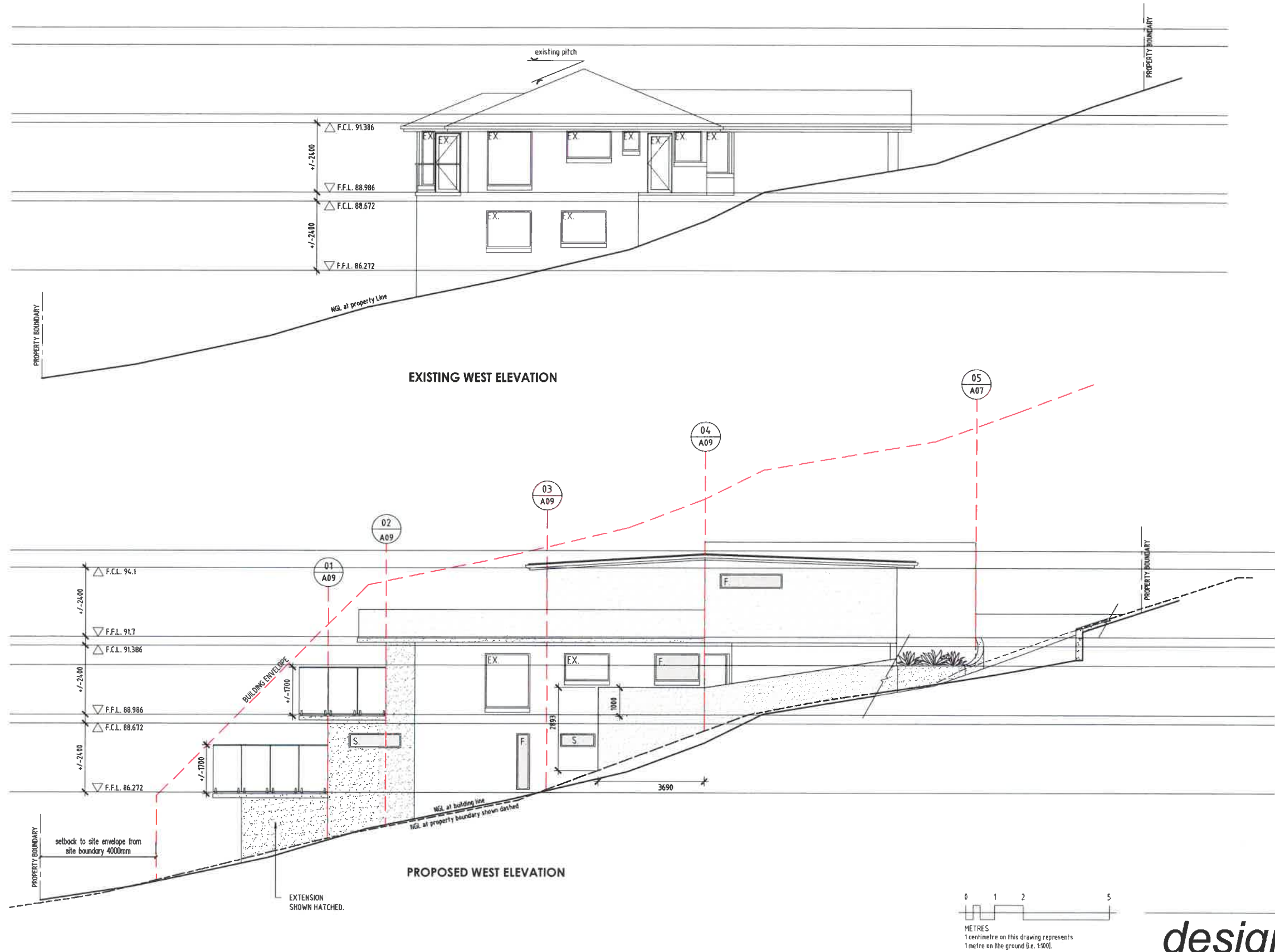
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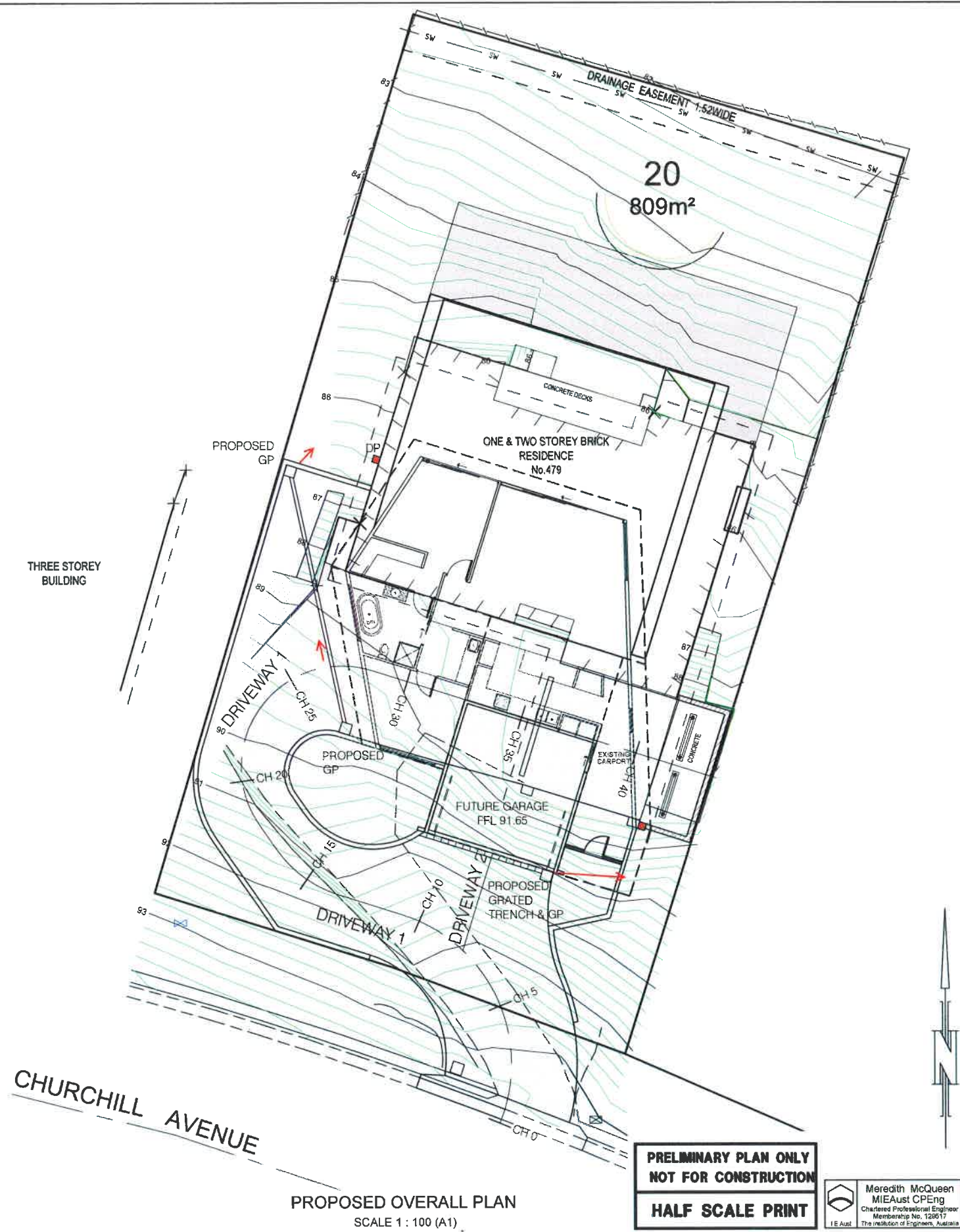
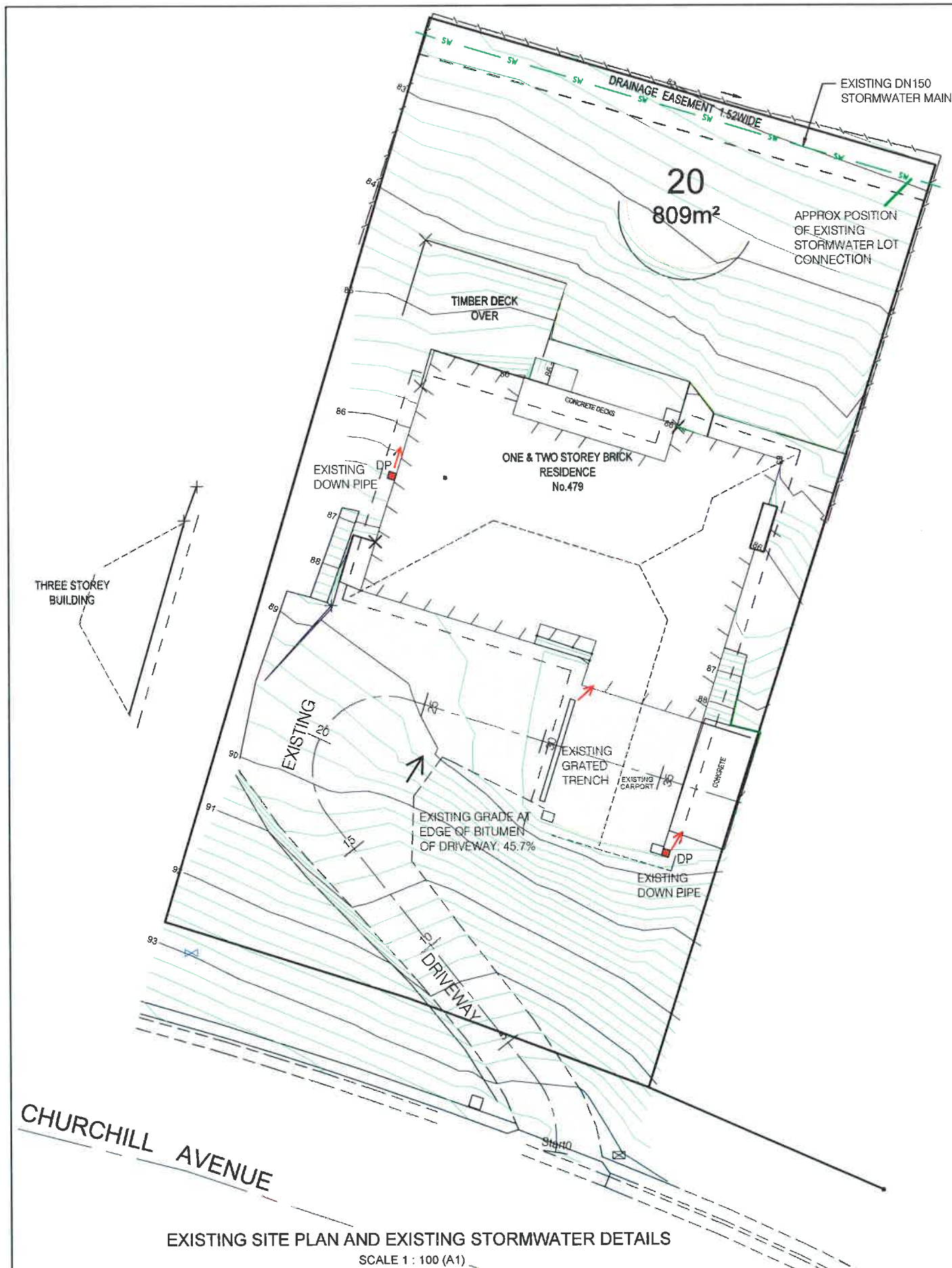
EXISTING & PROPOSED WEST ELEVATION

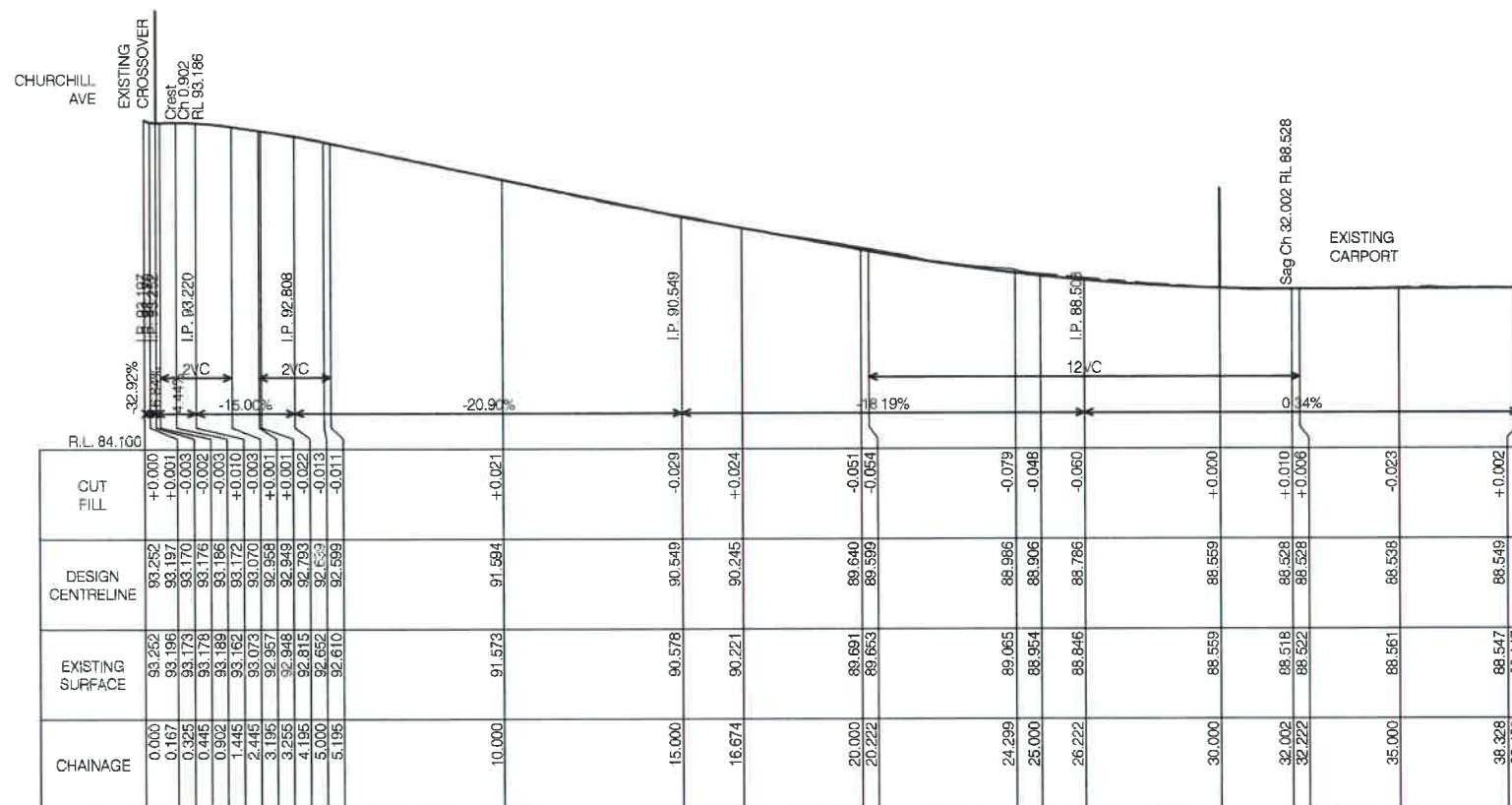
| | |
|-----------|----------------|
| DRAWN: | DATE: |
| JF | 3.11.17 |

○ EAST

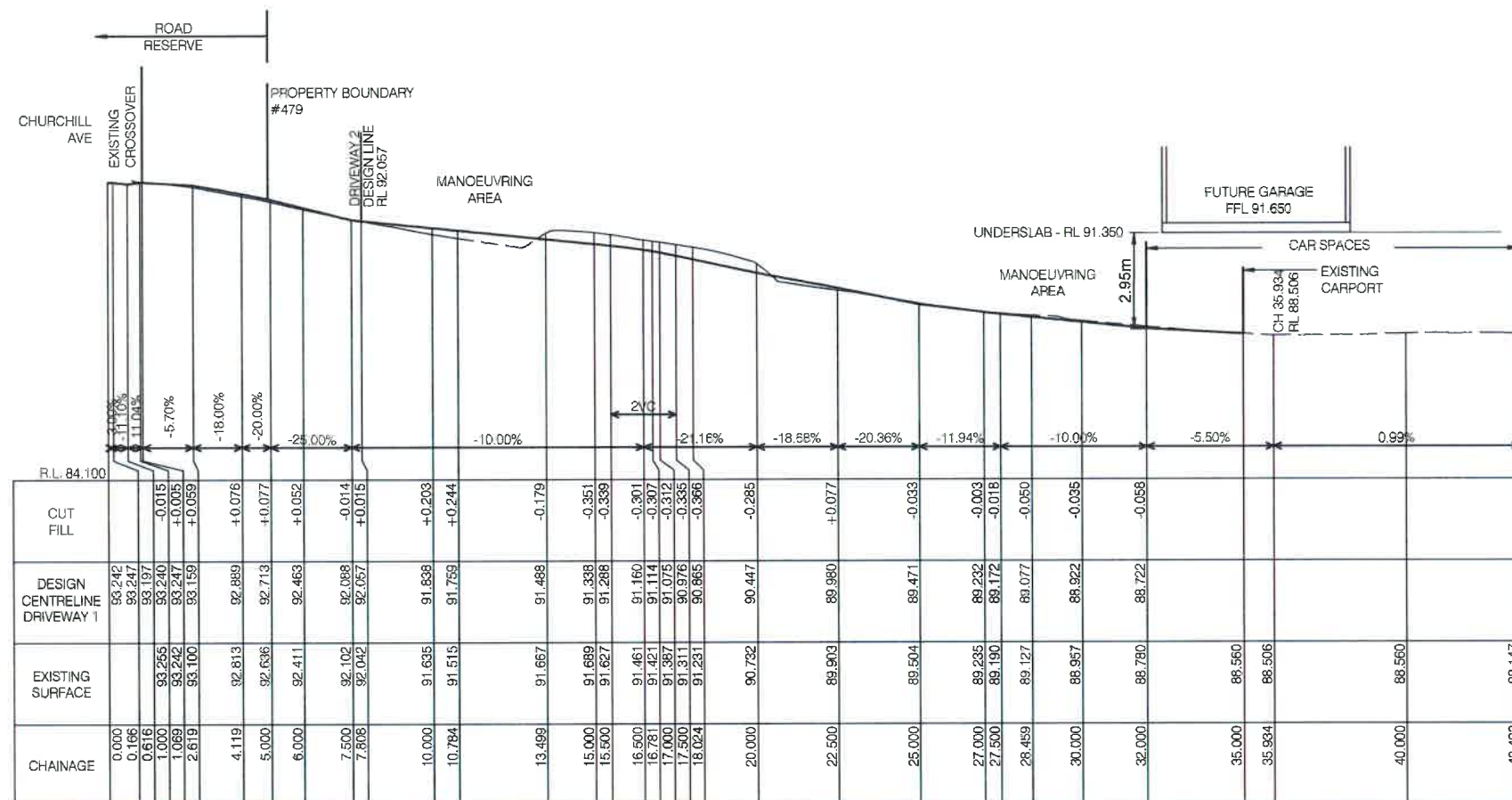
building design and interior architecture



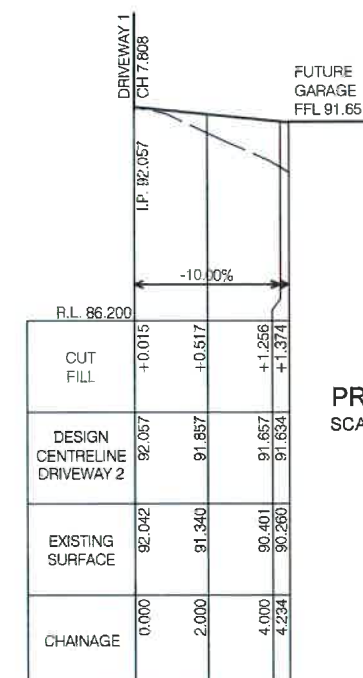




EXISTING DRIVEWAY -
LONGITUDINAL SECTION
SCALE HOR 1:100 VER 1:100 (A1)



PROPOSED DRIVEWAY 1 - LONGITUDINAL SECTION (CENTRELINE)
SCALE HOR 1:100 VER 1:100 (A1)



PROPOSED DRIVEWAY 2 - LONGITUDINAL SECTION
SCALE HOR 1:100 VER 1:100 (A1)

**PRELIMINARY PLAN ONLY
NOT FOR CONSTRUCTION
HALF SCALE PRINT**

Meredith McQueen
MIEAust CPEng
Chartered Professional Engineer
Membership No. 129517
The Institution of Engineers, Australia

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| LEARY & COX | H-2092C |
| DRAWN | CHECKED |
| K.K. | M.M. |
| DATE | |
| 1 DEC 2017 | |

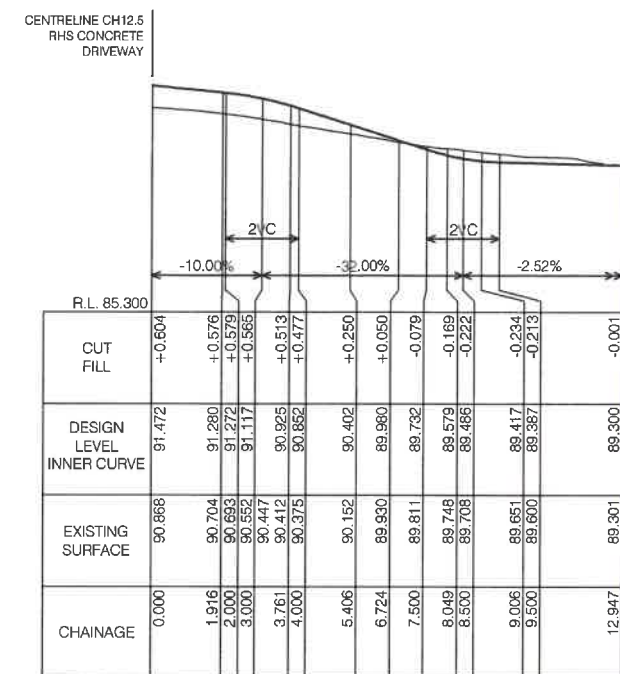
JOHN BOURKE
479 CHURCHILL AVENUE, SANDY BAY
DRIVEWAY DESIGN
DRIVEWAY - LONGITUDINAL SECTIONS



PDA Surveyors
Surveying, Engineering & Planning

127 Bathurst Street
Hobart, Tasmania, 7000
www.pda.com.au Also at: Kingston,
Launceston & Burnie
ABN 71 217 806 325
PHONE: +61 03 6234 3217
FAX: +61 03 6234 5085
EMAIL: pda.hbt@pda.com.au

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PROPOSED INNER CURVE - LONGITUDINAL SECTION
SCALE HOR 1:100 VER 1:100 (A1)

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MIEAust CPEng
 Chartered Professional Engineer
 Membership No. 129517
 The Institution of Engineers, Australia

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Hobart, Tasmania, 7000
www.pda.com.au Also at: Kingston,
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NOTES

WARNING
BEWARE OF
UNDERGROUND SERVICES

The location of underground services is approximate only and the exact position should be proven on site. No guarantee is given that all services are shown.

| | |
|------------------------------------|-------------------------------------|
| SURVEYOR LEARY & COX | CIVIL SITE DESIGN H-20920 |
| DRAWN K.K. | CHECKED M.M. |
| DATE 1 DEC 2017 | |

JOHN BOURKE
479 CHURCHILL AVENUE, SANDY BAY
DRIVEWAY DESIGN
UPPER LEVEL DRIVEWAY DETAIL PLAN

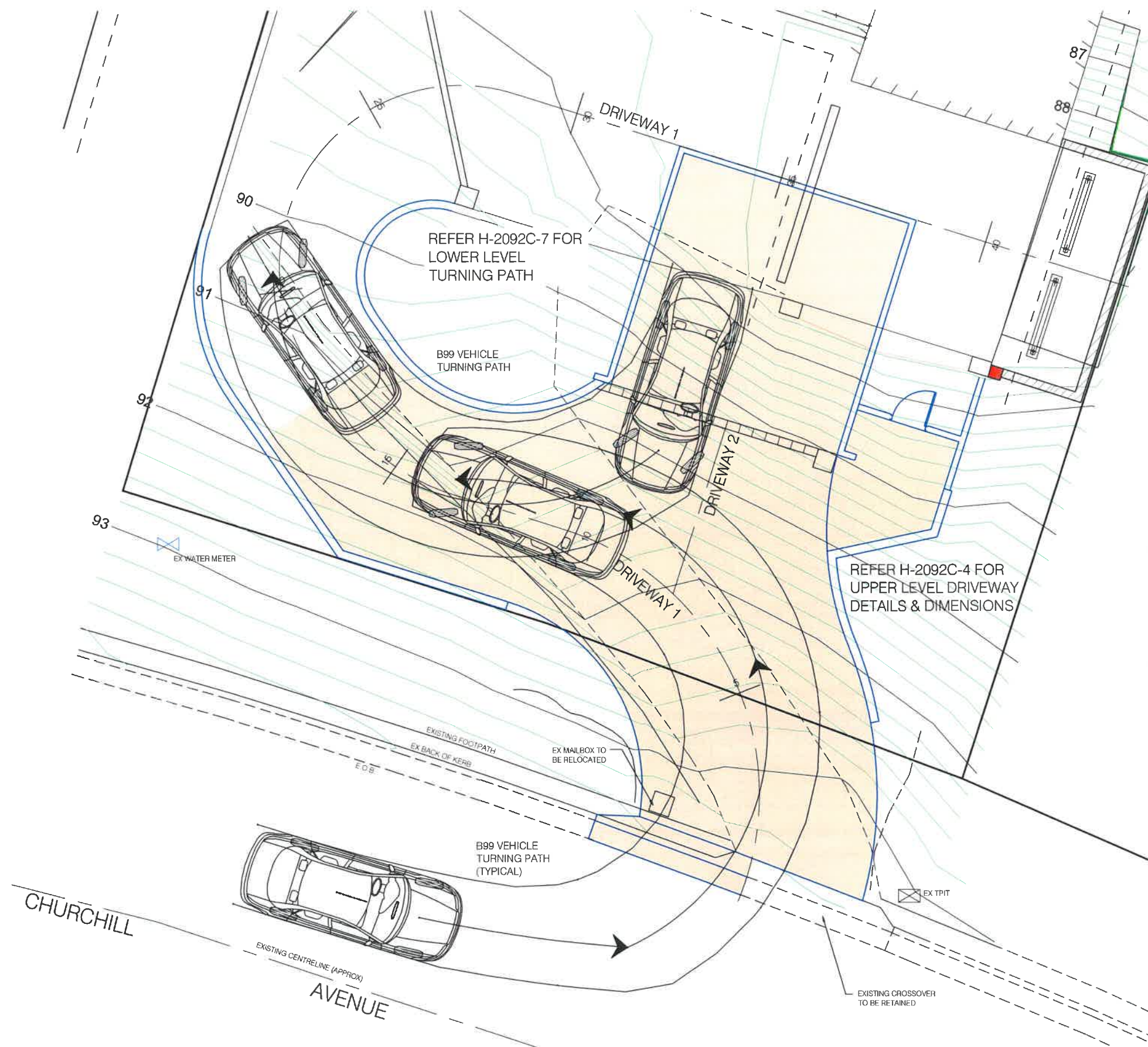


PDA Survivors

ABN 71 217 811 111
Surveying, Engineering & Planning

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H-2092C -



TRAFFIC COUNTS FOR CHURCHILL AVE:

MEASURED NOV 2017

| | |
|-----------------------|-----|
| 8am TO 9am | |
| CARS TOWARDS CITY: | 161 |
| CARS TOWARDS TAROONA: | 134 |
| TOTAL: | 295 |

| | |
|-----------------------|-----|
| 5pm TO 6pm | |
| CARS TOWARDS CITY: | 85 |
| CARS TOWARDS TAROONA: | 142 |
| TOTAL: | 227 |

FROM THIS INFORMATION,
NUMBER OF VEHICLES USING CHURCHILL AVE IN
THIS AREA IS PREDICTED TO BE APPROX 3700
WHICH IS LESS THAN 6000 VEHICLE PER DAY

**PRELIMINARY PLAN ONLY
NOT FOR CONSTRUCTION**

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Meredith McQueen
MIEAust CPEng
Chartered Professional Engineer
Membership No. 129617
The Institution of Engineers, Australia

| REV | AMENDMENTS | DRAWN | DATE | APPR |
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NOTES:

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| DATE | |
| 1 DEC 2017 | |

JOHN BOURKE
479 CHURCHILL AVENUE, SANDY BAY
DRIVEWAY DESIGN
UPPER LEVEL - B99 TURNING PATH



PDA Surveyors

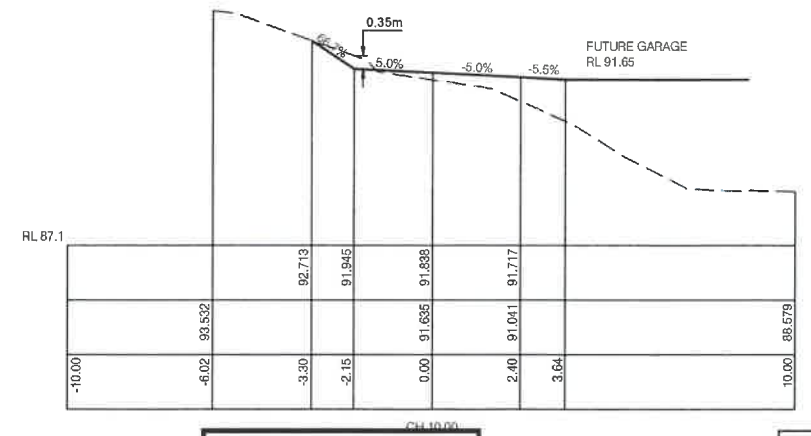
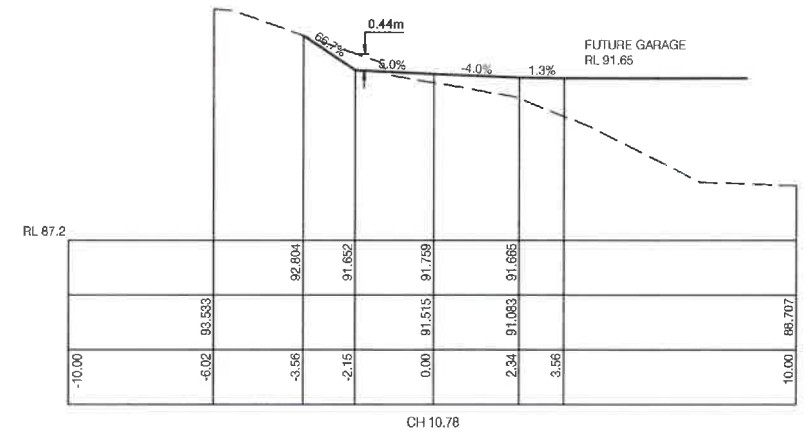
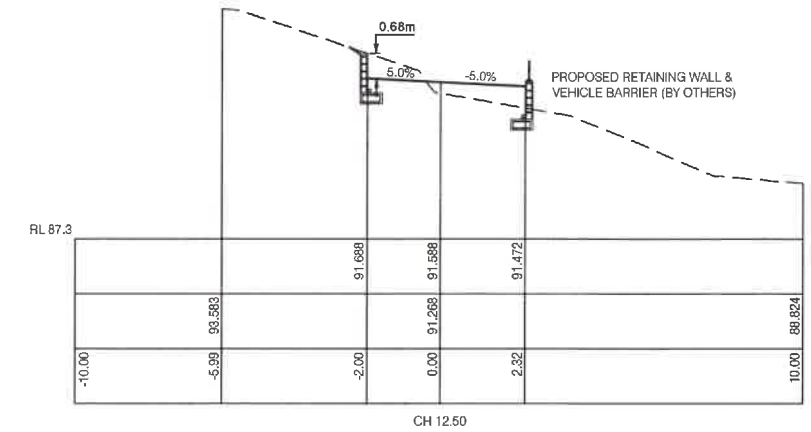
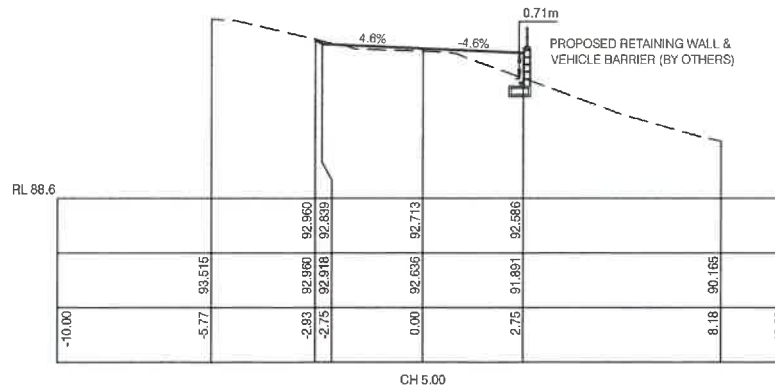
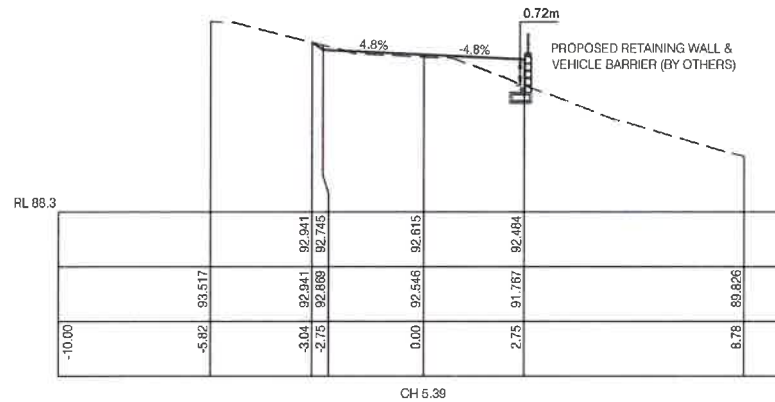
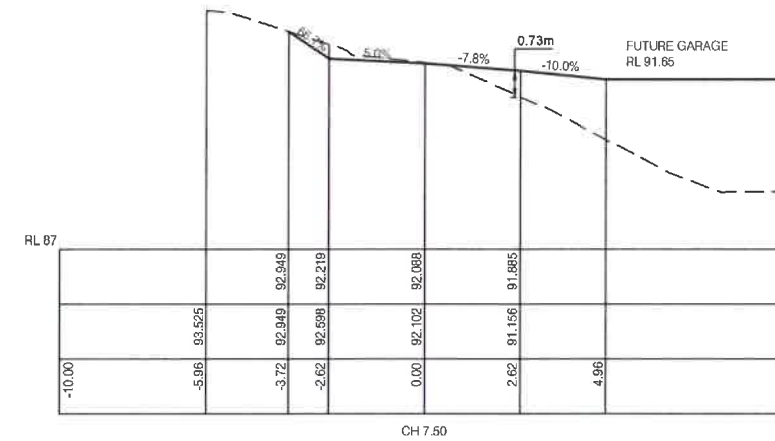
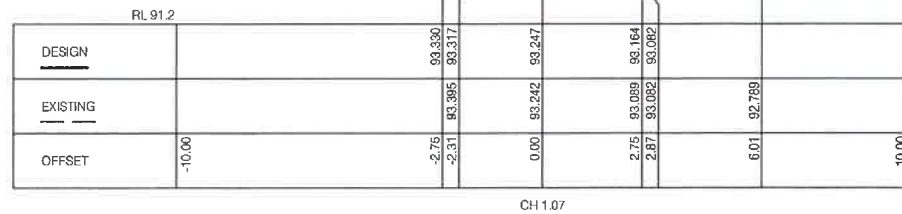
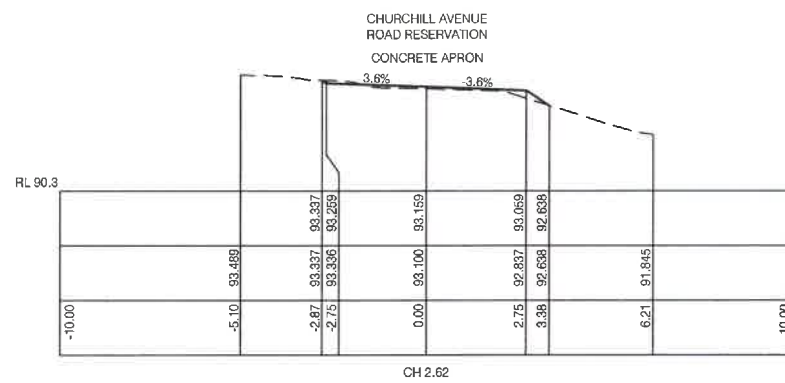
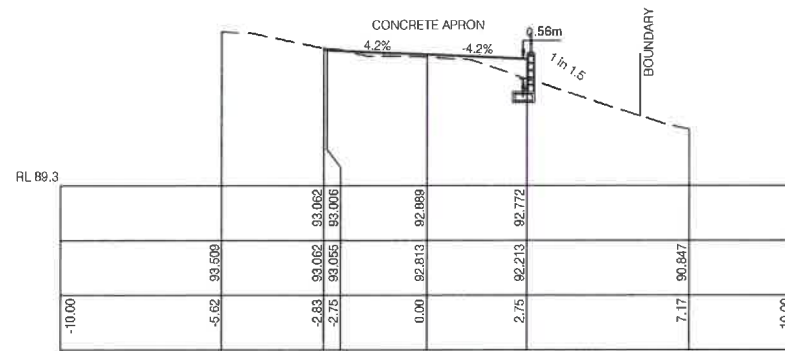
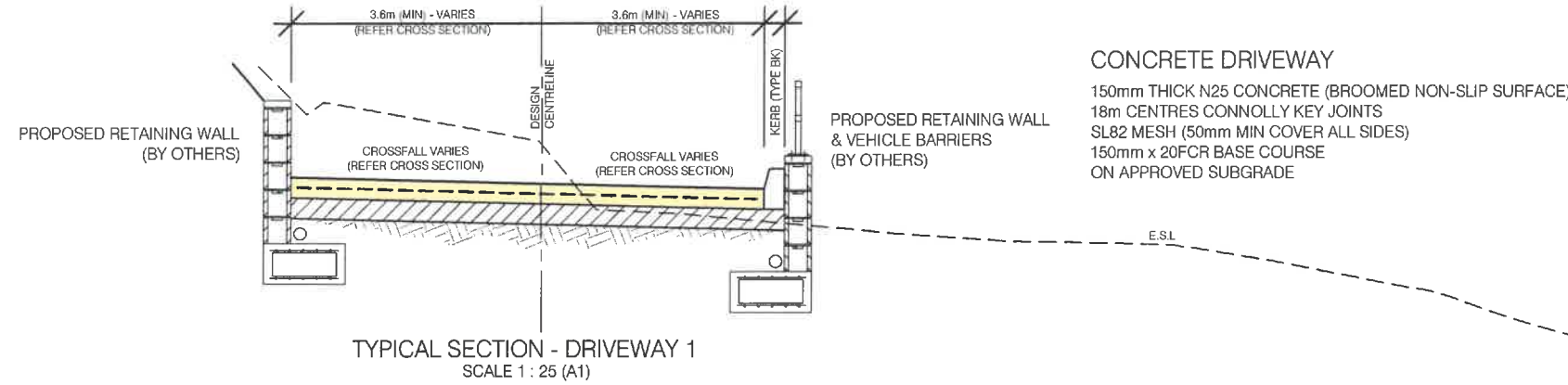
Surveying, Engineering & Planning

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EMAIL: pda.hbt@pda.com.au

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H-2092C - 6



PRELIMINARY PLAN ONLY
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HALF SCALE PRINT

Meredith McQueen
 MIEAust CPEng
 Chartered Professional Engineer
 Membership No. 126617
 The Institution of Engineers, Australia

| REV | AMENDMENTS | DRAWN | DATE | APPR |
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WARNING
BEWARE OF
UNDERGROUND SERVICES
 The location of underground services is approximate only and the exact position should be proven on site. No guarantee is given that all services are shown.

SURVEYOR
LEARY & COX
 CIVIL SITE DESIGN
H-2092C
 DRAWN
K.K.
 CHECKED
M.M.
 DATE
1 DEC 2017

JOHN BOURKE
479 CHURCHILL AVENUE, SANDY BAY
DRIVEWAY DESIGN
DRIVEWAY 1 - CROSS SECTIONS (RD RESERVATION)

PDA Surveyors
 Surveying, Engineering & Planning
 127 Bathurst Street
 Hobart, Tasmania, 7000
 www.pda.com.au Also at: Kingston,
 Launceston & Burnie
 ABN 71 217 806 325
 PHONE: +61 03 6234 3217
 FAX: +61 03 6234 5085
 EMAIL: pda.hbt@pda.com.au

SCALE
1 : 100
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(A1)
 JOB NUMBER
H-2092C - 8

22 September 2017

Ben Ikin
Senior Statutory Planner
Hobart City Council
GPO Box 503
HOBART 7001

Dear Ben

479 Churchill Avenue – New Development Application for Change of Use to Three Multiple Dwellings

All Urban Planning Pty Ltd has been engaged by the owner, Mr John Bourke, to prepare a planning assessment of the attached proposal for 3 multiple dwellings.

The proposal follows PLN-17-519 for partial demolition, alterations, extension and 2 multiple dwellings granted 4 September 2017.

Proposal

The proposal includes the following changes from the approved plans under PLN-17-519:

- Conversion of the approved dwelling on the lower and first floors to 2 x 2 bedroom dwellings;
- Alterations to the first floor parking and maneuvering area including low masonry walls on the east and western boundaries;
- Extension of approximately 1m to the northern end of the first floor living room and master bedroom onto the deck area;
- Minor external alterations to windows; and
- Deletion of the external side access pedestrian stair on the western elevation.

No changes are proposed to the approved dwelling on the top floor.

Planning Scheme

The site is zoned General Residential. There are no Code overlays on the planning scheme maps.

Residential use for multiple dwellings is permitted under 10.2 Use Table.

10.4 Development Standards for Residential Buildings and Works

10.4.1 Residential density for multiple dwellings

Objective:

To provide for suburban densities for multiple dwellings that:

- (a) make efficient use of suburban land for housing; and*
- (b) optimise the use of infrastructure and community services.*

| Development Standard | Assessment |
|---|---|
| <p>A1</p> <p><i>Multiple dwellings must have a site area per dwelling of not less than:</i></p> <ul style="list-style-type: none"> <i>(a) 325m²; or</i> <i>(b) if within a density area specified in Table 10.4.1 below and shown on the planning scheme maps, that specified for the density area.</i> | <p>The proposal for three multiple dwellings on the 809m² site equates to a site area of 269m² per dwelling which is less than the permitted standard of 325m² under part a). The site is not within a specified density area and is to be assessed under P1.</p> |
| <p>P1</p> <p><i>Multiple dwellings must only have a site area per dwelling that is less than 325 m², or that specified for the applicable density area in Table 10.4.1, if the development will not exceed the capacity of infrastructure services and:</i></p> <ul style="list-style-type: none"> <i>(a) is compatible with the density of the surrounding area; or</i> <i>(b) provides for a significant social or community housing benefit and is in accordance with at least one of the following:</i> <ul style="list-style-type: none"> <i>(i) the site is wholly or partially within 400 m walking distance of a public transport stop;</i> <i>(ii) the site is wholly or partially within 400 m walking distance of a business,</i> | <p>The proposed conversion will make efficient use of suburban land and optimize the use of infrastructure and community services. It is considered highly consistent with the Objectives under 10.4.1 and part a) of P1 in that the conversion involves almost no external change from PLN-17-519. For these reasons, in my assessment the proposed density will coexist without problem or conflict with the density of the surrounding area which is characterised by a mix of larger single dwellings and multiple dwellings.</p> |

| | |
|--|--|
| <i>commercial, urban mixed use, village or inner residential zone.</i> | |
|--|--|

10.4.2 Setbacks and building envelope for all dwellings

The proposal does not involve any changes on the frontage or affect A1 or A2.

The proposal does not alter the external building form of the approved building and is within the Permitted building envelope under A3.

The low level boundary walls associated with the parking area comply with A3(b) of 10.4.2 in that they will not exceed 9m in length or 3m in height.

10.4.3 Site coverage and private open space for all dwellings

The proposal does not alter the area of roofed buildings on the site or the site coverage and will remain below the 50% standard under A1 (42%).

Private open space

Each dwelling will have a generous north facing deck area in excess of 24m², directly accessible from the living areas. Each complies with the requirements of A2 with the exception of a minor variation to the minimum 4m dimension under A2(b)(i) for Unit 2. Total compliance could easily be achieved by extending the centre of the deck of Unit 2 a further 1m towards the north. However in my assessment that is unnecessary as the 44m² deck, with impressive river views, direct living room access and excellent solar access will comfortably achieve the Objective for the standard and the requirements of P2.

10.4.4 Sunlight and overshadowing for all dwellings

Each dwelling will have extensive north facing glazing and decks that will achieve in excess of 3 hours direct sunlight between 9am and 3pm on 21 June and will comply with A1, A2(b) and A3(b).

10.4.5 Width of openings for garages and carports for all dwellings

The proposal does not alter the approved street facing garage and complies with A1.

10.4.6 Privacy for all dwellings

The proposal does not alter the approved decks and retains the 1.7m high fixed screens facing the side boundaries. The proposal complies with A1.

The proposed windows comply with A2 either through their positioning or sill heights.

The shared parking area for Units 1 and 2 is located adjacent to the second bedroom and study areas of Unit 2. Total compliance with A3 could be achieved by removing the

windows facing the parking area or applying a screen or obscure glazing. In my assessment these alterations are unnecessary as the proposal satisfies P3. The closest parking spaces will be allocated to Unit 2 and the intended use of those rooms (as a bedroom and study as opposed to living areas) will mean that any detrimental impact through noise or light intrusion will be minimised and provide reasonable opportunity for privacy for that dwelling.

10.4.8 Waste storage for multiple dwellings

Each dwelling will have a separate storage area consistent with the requirements of A1.

E6.0 Parking and Access Code

E6.6.1 Number of Car Parking Spaces

The proposal includes 6 parking spaces (including jockey spaces for Unit 1 and 2) and complies with A1.

E6.7.2 Design of Vehicular Accesses

The width and gradient of the access and parking areas have been designed to comply with AS 2890.1 and A1(a).

E6.7.3 Vehicular Passing Areas Along an Access

The accompanying driveway design includes a 5.5m wide passing bay at the frontage.

E6.7.4 On-Site Turning

The accompanying driveway design confirms that on site turning will be accommodated on site and will comply with A1.

E6.7.5 Layout of Parking Areas

The carpark layout complies with A1.

Conclusion

The proposed conversion will make efficient use of suburban land and optimize the use of infrastructure and community services. It is considered highly consistent with the Objectives and P1 under 10.4.1 in that the conversion involves almost no external change from PLN-17-519. For these reasons, in my assessment the proposed density will coexist without problem or conflict with the density of the surrounding area which is characterised by a mix of larger single dwellings and multiple dwellings.

The proposal involves a number of minor discretions which I consider comfortably comply with the relevant performance criteria and objective for the standards.

In my assessment the proposal complies with the planning scheme and a permit should be granted pursuant to Section 57 of the Act.

I would be pleased to discuss or clarify any aspects as necessary.

Yours sincerely

A handwritten signature in blue ink, appearing to read 'Frazer Read', with a stylized, cursive script.

Frazer Read

Principal

All Urban Planning Pty Ltd

SEARCH OF TORRENS TITLE

| | |
|-----------------|------------------------------|
| VOLUME 55677 | FOLIO 20 |
| EDITION 2 | DATE OF ISSUE 04-Apr-2017 |

SEARCH DATE : 23-Jun-2017

SEARCH TIME : 02.40 PM

DESCRIPTION OF LAND

City of HOBART

Lot 20 on Sealed Plan 55677 (formerly being SP3014)

Derivation : Part of 38A-0R-12Ps. Gtd. to W. St. Paul

Gellibrand

Prior CT 2750/4

SCHEDULE 1

M621497 TRANSFER to ANCHORAGE TASMANIA HOLDINGS PTY LTD
Registered 04-Apr-2017 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP 55677 EASEMENTS in Schedule of Easements

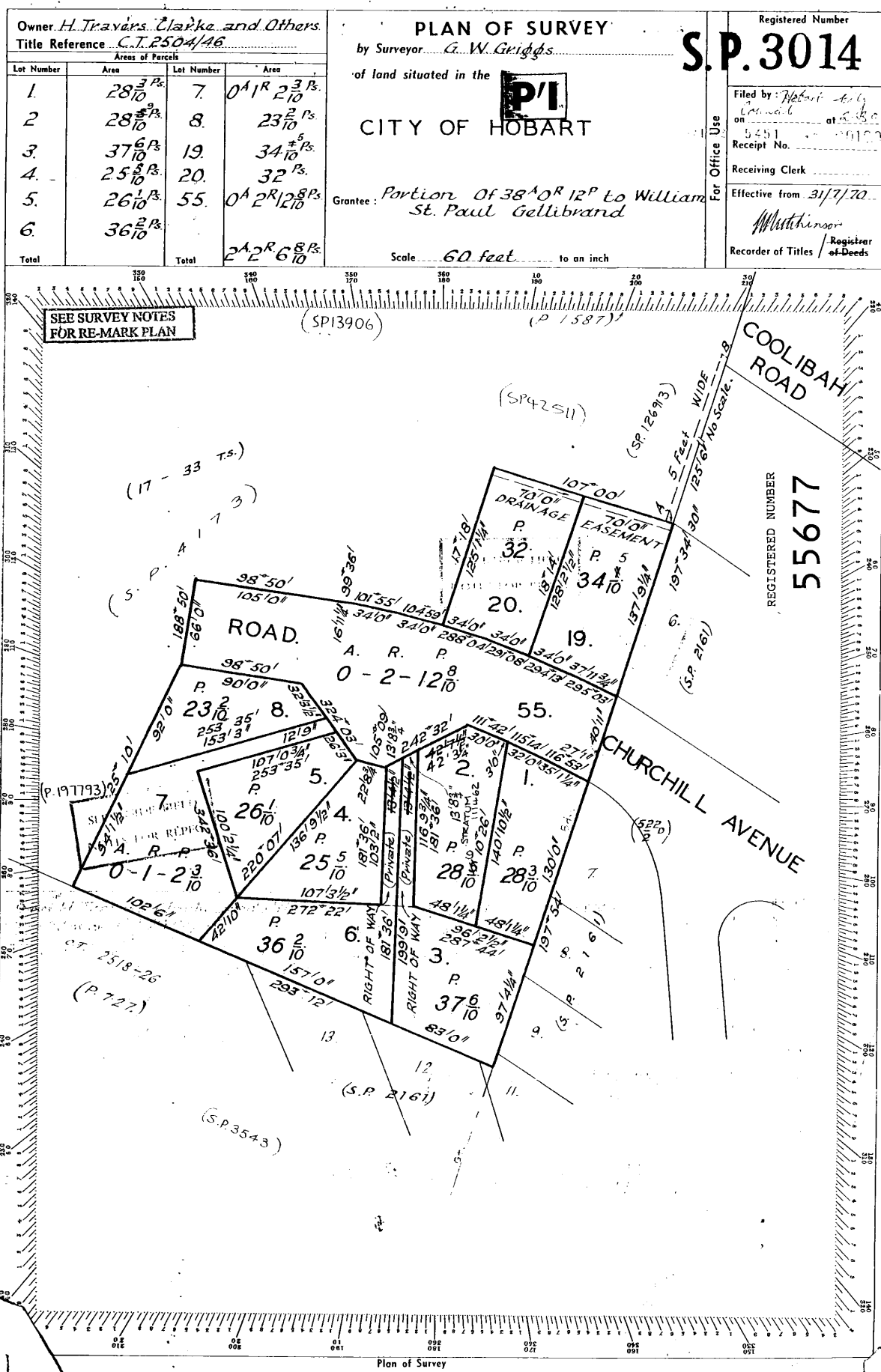
SP 55677 FENCING PROVISION in Schedule of Easements

E88257 MORTGAGE to Butler McIntyre Investments Ltd

Registered 04-Apr-2017 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations





SCHEDULE OF EASEMENTS

PLAN NO.

S.P.3014

NOTE:—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

Each Lot in Column A is:

- (1) TOGETHER WITH a Right of Drainage over the Drainage Easement and land shown hereon passing through the Lots/specified opposite thereto in Column B: and
- (2) SUBJECT TO a Right of Drainage over the Drainage Easement passing through that Lot as appurtenant to the Lots shown hereon and other land specified opposite thereto in Column C.

COLUMN A.

COLUMN B.

COLUMN C.

20

19, AB

Balance

19

AB

" 20

~~"AB" is easements as lettered on the plan~~

BALANCE means such part of the land comprised in Certificate of Title Volume 2504 Folio 46 remaining vested in the Vendors (HESTER TRAVERS CLARKE, JANET DOROTHEA TRAVERS HAYES and JOSEPHINE TRAVERS HANDBURY) at the ^{date} ~~time~~ of acceptance hereof but excluding therefrom the Lots shown on the plan.

RIGHT OF WAY

Each Lot in Column A is:

- (1) TOGETHER WITH a Right of Carriageway over the Right of Way (private) shown hereon passing through the Lots specified opposite thereto in Column B: and
- (2) SUBJECT TO a Right of Carriageway over the Right of Way ^{/(private)} passing through that Lot as appurtenant to the Lots shown hereon and ~~other land~~ specified opposite thereto in Column C.

COLUMN A.

COLUMN B.

COLUMN C.

3

6

6

6

3

3

FENCING PROVISION

In respect of Lots 1 - 8, 19, 20 & 55 the Vendors (HESTER TRAVERS CLARKE, JANET DOROTHEA TRAVERS HAYES and JOSEPHINE TRAVERS HANDBURY) shall not be required to fence.
NO profits a prendre or covenants are hereby created to benefit or burden the Lots shown on the plan

SP 3014

I hereby certify that this and the preceding Two sheets comprise a full and correct photographic copy of Sealed Plan No. S. P. 3014.

Recorder of Titles

Date 31/7/70

Tasmania

SIGNED BY HESTER TRAVERS CLARKE

the Registered Proprietor of the
land described in Certificate of
Title Volume 2504 Folio 46 in the
presence of

.....H. Clarke.....

SIGNED BY JANET DOROTHEA TRAVERS

HAYES the Registered Proprietor
of the land described in Certificate
of Title Volume 2504 Folio 46 in
the presence of:

... J. O. J. Hayes ...

SIGNED BY JOSEPHINE TRAVERS

HANDBURY the Registered Proprietor
of the Land described in Certificate
of Title Volume 2504 Folio 46 in
the presence of:

f.7. Handwriting

SIGNED on behalf of the **ENGLISH
SCOTTISH AND AUSTRALIAN BANK LIMITED**

by ~~James Earl Ray, Special Agent in Charge, Federal Bureau of Investigation, United States Department of Justice, Washington, D.C. 20535~~
~~James Earl Ray, Special Agent in Charge, Federal Bureau of Investigation, United States Department of Justice, Washington, D.C. 20535~~
~~James Earl Ray, Special Agent in Charge, Federal Bureau of Investigation, United States Department of Justice, Washington, D.C. 20535~~
~~James Earl Ray, Special Agent in Charge, Federal Bureau of Investigation, United States Department of Justice, Washington, D.C. 20535~~
 its Attorneys
 under Power No. 19119

~~xxxxxx~~ Keith Tasman Cripps
and Ronald Clyde Burgess who hereby declare
that they are the Assistant Managers Hobart
Office of the said Bank* in the presence of:

**The English Scottish and Australian
Bank Limited**—by its Attorneys

Asplenium *sp.*

Assistant Manager - Health Care

Lewinsbridge
 Bank Accountants Hobart.

de * Who declare that they have not received any notice of revocation of the said Power.

**Certified Correct for the Purpose of the
Real Property Act, 1862 as amended.**

BUTLER, McINTYRE & BUTLER

per:

This is the schedule of easements attached to the plan of Lots 1 - 8, 9, 20 and 55

.....comprising part of the land in
Certificate of Title Volume 2504 Folio 46
.....
(Insert Title Reference)

Sealed by Hobart City Council on 6 May 19 70

W. A. Fule

 Town Clerk

20 October 2017

Ben Ikin
Senior Statutory Planner
Hobart City Council
GPO Box 503
HOBART 7001

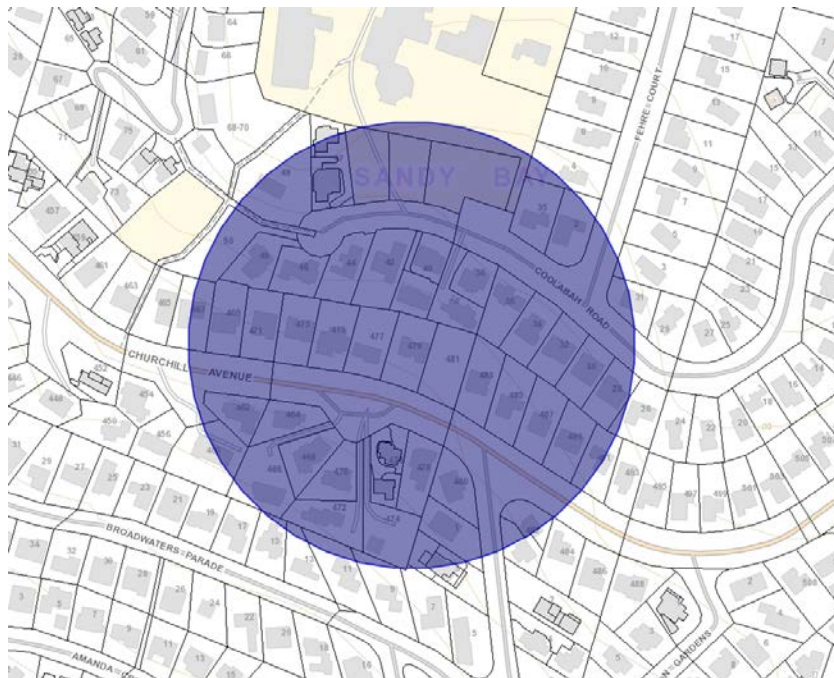
Dear Ben

Further Information – APPLICATION NO.PLN-17-753

479 Churchill Avenue – Partial Change of Use, Alterations and Change of Use to Multiple Dwellings

I refer to your letter 6 October 2017 and respond to item ii) of your request on behalf of the owner, Mr John Bourke of Anchorage Tasmania Holdings Pty Ltd.

Please see below a table setting out the site area per dwelling for all lots within approximately 100m of the site (represented by the blue circle on the figure below).



| Existing developed residential properties in the surrounding area (within 100m of the site) | Site area m² | Site area per dwelling m² |
|--|--------------------------------|---|
| 469 Churchill Ave | 690 | 690 |
| 471 Churchill Ave | 690 | 690 |
| 473 Churchill Ave | 695 | 695 |
| 475 Churchill Ave | 753 | 753 |
| 477 Churchill Ave | 770 | 770 |
| 483 Churchill Ave | 757 | 757 |
| 485 Churchill Ave | 745 | 745 |
| 487 Churchill Ave | 740 | 740 |
| 489 Churchill Ave | 690 | 690 |
| 462 Churchill Ave | 548 | 548 |
| 464 Churchill Ave | 590 | 590 |
| 466 Churchill Ave | 940 | 940 |
| 468 Churchill Ave | 640 | 640 |
| 470 Churchill Ave | 630 | 630 |
| 472 Churchill Ave | 800 | 800 |
| 474 Churchill Ave | 780 | 780 |
| 476 Churchill Ave | 708 | 354 |
| 478 Churchill Ave | 670 | 670 |
| 480 Churchill Ave | 640 | 640 |
| 482 Churchill Ave | 400 | 400 |
| 482B Churchill Ave | 400 | 400 |
| 28 Coolabah Road | 595 | 595 |
| 30 Coolabah Road | 600 | 600 |
| 32 Coolabah Road | 630 | 630 |
| 34 Coolabah Road | 660 | 660 |
| 36 Coolabah Road | 680 | 680 |
| 38 Coolabah Road | 1095 | 542 |
| 40 Coolabah Road | 830 | 415 |
| 42 Coolabah Road | 915 | 915 |
| 44 Coolabah Road | 670 | 670 |
| 46 Coolabah Road | 620 | 620 |
| 48 Coolabah Road | 588 | 588 |
| 35 Coolabah Road | 710 | 710 |
| 47 Coolabah Road | 960 | 480 |
| 49 Coolabah Road | 1600 | 1600 |
| 2 Fehre Court | 760 | 760 |
| 1 Broadwaters Parade | 650 | 650 |
| 3 Broadwaters Parade | 830 | 415 |
| Mean site area per dwelling | | 669 |
| Medium site area per dwelling | | 665 |

As can be seen from the table above, the density of the surrounding area is characterised by unit and apartment development with a density up to 354 m² and 415m², interspersed with single dwellings on medium sized lots.

The proposed density is considered to satisfy P1 in that the proposal will be compatible with and coexist comfortably the density of the surrounding area.

The proposed conversion furthers the objective of the standard under 10.4.1 in that it will make efficient use of suburban land and optimize the use of infrastructure and community services. Efficient use necessarily imports the contemplation of higher densities, and so too does optimising the use of infrastructure.

The RMPAT decision of *Henry* sets no empirical limits, but recognises that it depends on the individual circumstance of a particular proposal. While the proposed density need not be, and will almost always not be, the same as the surrounding area, what is relevant is the extent of divergence from the existing density in the particular circumstances of the particular development.

The density of the proposal is greater than the surrounding area, but nevertheless because of its relevant local circumstances, is a density that sits comfortably in the surrounding area. The test of P1 is therefore met.

When making this assessment, it must be contrasted with the situations in both RMPAT decisions in relation to Clause 10.4.1 P1- *Flood v George Town Council* (2016) TASRMPAT and *Henry Design and Consulting v Clarence City Council* (2017) TASRMPAT 11. *Flood* involved a very high density proposal resulting from an already developed small seaside block. *Henry* involved a proposal to demolish an existing building and constructing four new buildings.

The subject proposal is self evidently different. It proposes a change of use from two approved multiple dwellings to three without any relevant change in the existing approved development.

It is a development in a developed suburban context with multiple dwellings existing within the surrounding area.

There is therefore an expression of efficient use of suburban land already present in the area, to which the proposal is adding to without external change to the approved development on the site.

For the reasons set out above, in my assessment the proposal satisfies P1 of 10.4.1.

I would be pleased to discuss or clarify any aspects as necessary.

Yours sincerely

A handwritten signature in blue ink, appearing to read 'Frazer Read', with a stylized, cursive script.

Frazer Read

Principal

All Urban Planning Pty Ltd

HOBART

C.M. Terry, B. SURV. (Tas.), M.SSSI. (Director)
 H. Clement, B. SURV. (Tas.), M.SSSI (Director)
 M.S.G. Denholm, B. GEOM. (Tas.), M.SSSI (Director)
 A.M. Peacock, B. APP. SC. (SURV), M.SSSI. (Consultant)
 D. Panton, B.E. M.I.E. AUST., C.P.ENG. (Consultant)
 M. McQueen, B.E., M.I.E. AUST., C.P.ENG (Associate)
 L.H. Kiely, Ad. Dip. Civil Eng, Cert IV I.T., (Associate)
 A. Collins, Ad. Dip. Surv & Map, (Associate)

KINGSTON

A.P. (Lex) McIndoe, B. SURV. (Tas.), M.SSSI. (Director)

LAUNCESTON

J.W. Dent, OAM, B. SURV. (Tas.), M.SSSI. (Director)
 M.B. Reid, B. GEOM.(HONS) (Tas.), M.SSSI M.AIPM (Associate)

BURNIE/DEVONPORT

A.J. Hudson, B. SURV. (Tas.), M.SSSI. (Director)
 A.W. Eberhardt, B. GEOM. (Tas.), M.SSSI (Director)



PDA Surveyors

Surveying, Engineering & Planning

127 Bathurst Street
 Hobart Tasmania, 7000
 Phone (03) 6234 3217

ABN 71 217 806 325
 Email: pda.hbt@pda.com.au
 www.pda.com.au

Our Ref: H-2092C

L171201_H-2092C to Council, re Additional Information

4th December 2017

The General Manager
 Hobart City Council
 GPO Box 503
 HOBART TAS 7001

Email: coh@hobartcity.com.au

Attention: Ben Ikin, Robin Cooper

Dear Sirs,

PLN-17-753

479 Churchill Avenue, Sandy Bay
Change of Use to Multiple Dwellings
Additional Information

We attach amended concept drawings H-2092C01 to 7, dated 30th November 2017, detailing the proposed driveway and stormwater drainage for this application.

The drawings have been revised in accordance with the requests for further information from Council dated 1st November and 6th November 2017.

We note the following:

SW1.

- a) The existing stormwater details are shown on sheet 1. The existing grated trench near the existing carport will be re-used.
- b) It is proposed to install a new grated trench and grated pit to service the new upper garage and two additional grated pits in the lower driveway.
- c) All new driveway drainage will be plumbed to the existing 150mm stormwater lot connection at the rear of the title.
- d) New roofed areas can be drained via gravity to the existing stormwater lot connection.

PA 2.1

Additional information and dimensions are provided on the proposed vehicular access.

Please note:

- a) It is not proposed to construct any structures in the road reserve of Churchill Avenue.
- b) No passing bay is proposed at the entrance.
- c) The existing crossover will be widened to 5.5m as shown on sheet 4, to comply with IPWEA standard drawings.
- d) The long section of the driveway centreline has been amended to TSD-R09 to prevent "bottoming out". The proposed finished level of the upper garage has been revised to RL91.65.
- e) The long section of the inner edge of the new driveway ramp is shown on sheet 04. At this point, the localised grade of the driveway ramp does exceed 25%, however this is judged to be a safe

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| • 3/23 Brisbane Street, Launceston, 7250 | (03) 6331 4099 | • 63 Don Road, Devonport, 7310 | (03) 6423 6875 |

gradient as the driveway centreline is less than 25% and the inner wheel path will not follow the inner edge of the driveway. It is noted that the existing driveway has an inner edge gradient over 40% grade.

- f) The swept path for a vehicle turning from Churchill Avenue into the driveway is shown on sheet 6. This action will not cause any conflict with oncoming traffic in Churchill Avenue.

PA 4.

Information on onsite turning is shown on sheets 6 and 7.

- a) The position of proposed retaining walls and vehicle barriers have been amended to clear turning paths.
- b) The drawings illustrate that there are satisfactory safe manoeuvring areas for vehicles in the lower and upper parking areas to exit the property in a forward direction.
- c) Traffic counts undertaken in this section of Churchill Avenue indicate that this section of the road carries fewer than 6000 vehicles per day. There are also few pedestrians on this side of the road because of the limited footpath width. As such, it is judged that an acceptable performance response for the proposed upper garage would be for these two vehicles to reverse out onto Churchill Avenue, as an alternative.

PA 5.1

The layout and dimensions of the proposed car parking spaces are shown in sheets 4 and 5. The headroom is shown on sheet 3. These comply with AS 2890.1

- a) the minimum width of the entire driveway is 3.6 metres
- b) Extents of a proposed vehicle barriers are shown where a drop exceeds 600mm.
- c) AS 2890.1 requires spaces 1-4 to have a width of 2.4m. We propose spaces of 2.5m width minimum additional of 0.12m clearance to existing structures, that is around 0.22m total clearance. A full 300mm clearance is not required here as the vehicle has room to "straighten up" on approach to these car parks.
- d) Proposed car parking spaces will have a maximum grade of 5%
- e) Proposed turning areas will have a maximum grade of 10%
- f) Maximum driveway gradients have generally been limited to 25% where practicable.

It is judged that the final gradients will be safe, sustainable and an improvement on the existing driveway.

PA 6

A typical cross section of the proposed driveway is shown on sheet 8. The proposed new driveway will be reinforced concrete with a non-slip, broomed finish. The surface can be satisfactorily drained to the existing storm water plumbing within the title.

Generally we note that the attached concept drawings largely meet the Acceptable Solutions criteria of the Hobart Interim Planning Scheme 2015. Where AS2890.1 is not satisfied, the proposed solution is judged to be safe, efficient and convenient to all users, and an improvement on the current driveway arrangement.

Yours faithfully
PDA Surveyors



Per:

Meredith McQueen
CIVIL ENGINEER (B.E.MIEAust CPEng)