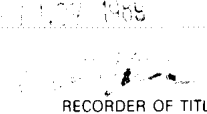


APPROVED  RECORDER OF TITLES	<b>CONVERSION PLAN</b>  CONVERTED FROM 64\7974	REGISTERED NUMBER <b>D. 41654</b>
FILE NUMBER Y.10858	GRANTEE PART OF 4-3-26 GTD. TO WILLIAM THOMAS PARRAMORE.	DRAWN A Horsey 12.10.89

05-K 2082

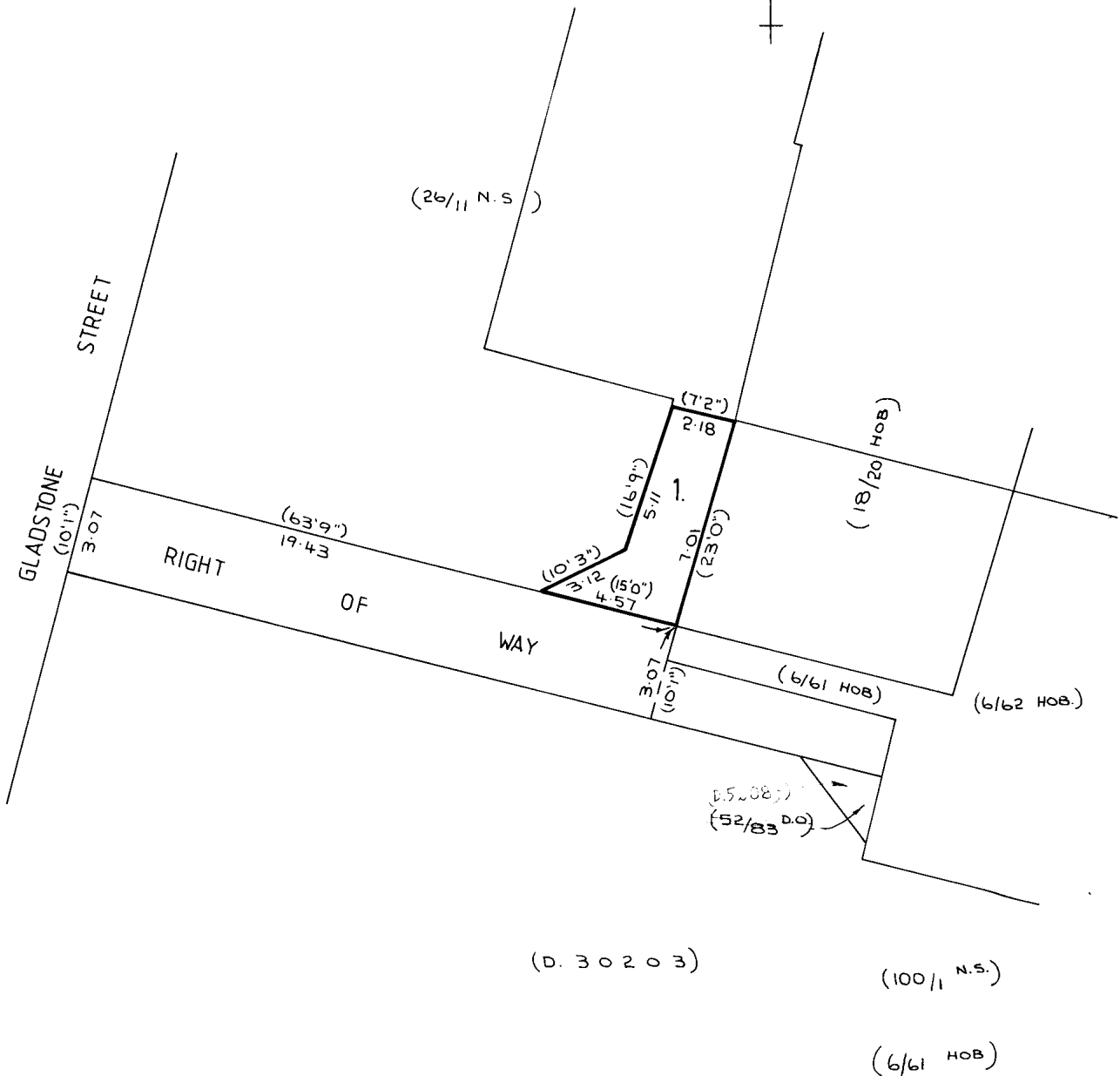
SKETCH BY WAY OF ILLUSTRATION ONLY

CITY/TOWN OF HOBART (SEC. Q 3)

~~LAND DISTRICT OF~~

~~PARISH OF~~

LENGTHS ARE IN METRES. NOT TO SCALE.  
LENGTHS IN BRACKETS IN FEET & INCHES.



*Transf. William Joseph Adams*



*to Tasmanian Land Planning Co.*

18/20 ✓

Hob.

DIAGRAM FROM ACTUAL SURVEY

CITY OF HOBART

No. OF APPLICATION

SEC. Q3.

Scale 30Ft chains to an inch.

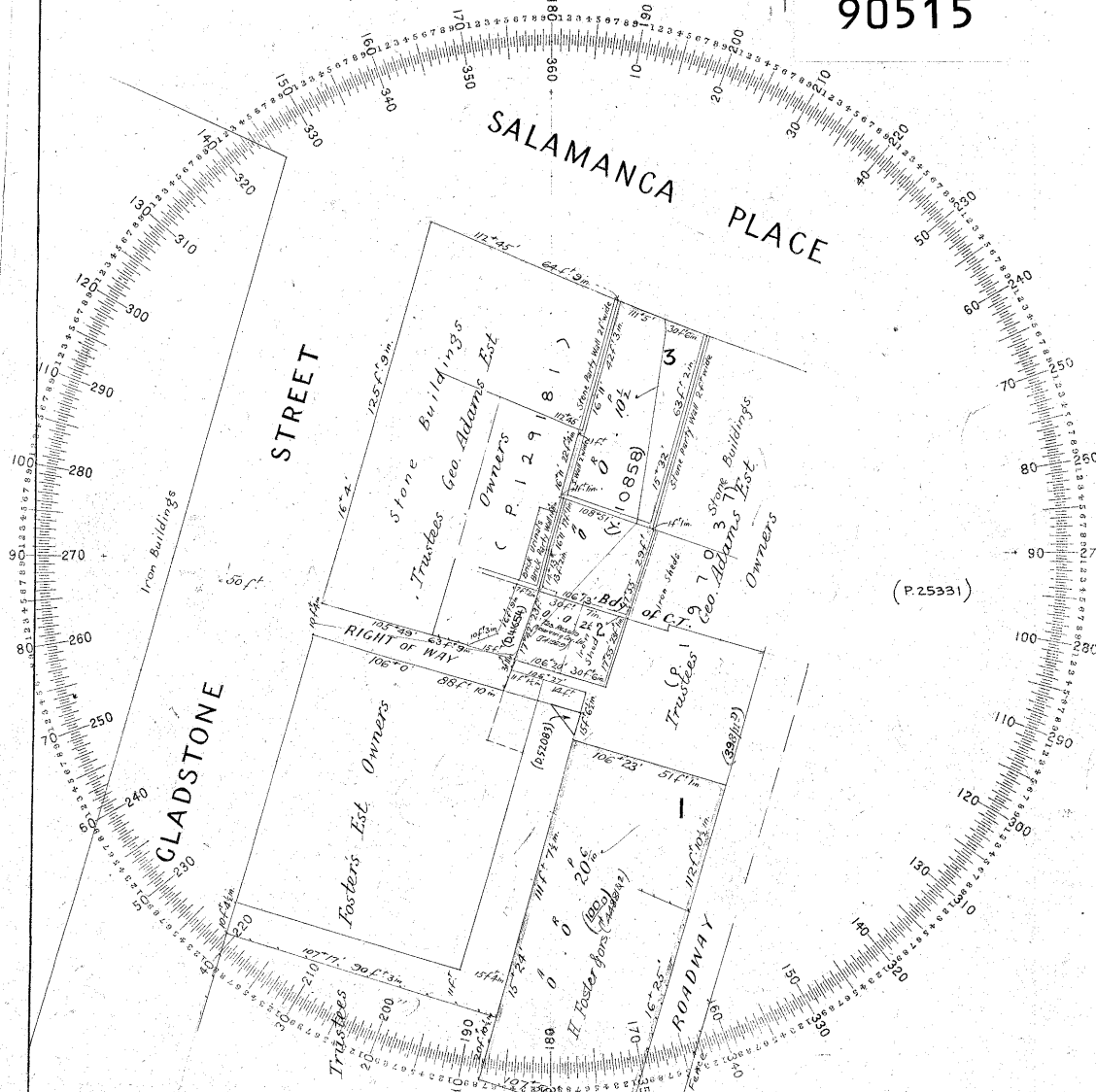
REFERENCE TO CORNERS.

CORNER	BEARING	DISTANCE IN LINKS	FROM
--------	---------	-------------------	------

REGISTERED NUMBER

90515

Portion of 4.3.26 Granted to Willm Tho: Parramore



To be filled in  
by Surveyor  
Office examination

Date of Instructions  
Survey commenced 20.5.1914  
Survey finished 10.6.1914  
Error of close 1 in 1673

Plotted by  
Finally examined by *W.F. Darling*  
Entered on General Plan by

I William Fisher Darling of Hobart  
Authorised Surveyor, of Tasmania, do solemnly and sincerely declare that  
this plan has been made from surveys executed by me or under my own  
personal supervision, inspection and field check, and that both plan and  
survey are correct, and have been made in accordance with the by-laws of  
the Surveyor's Board, dated 1st May, 1913.

And I make this solemn declaration by virtue of Section 132 of "The  
Evidence Act, 1910."

Declared at Hobart this 13<sup>th</sup> day of June 1914,  
before me,

*E. Rogers*  
Justice of the Peace.

*W.F. Darling*  
Authorised Surveyor.



*Transf. William Joseph Adams*



*to Tasmanian Land Planning Co.*

18/20 ✓

Hob.

DIAGRAM FROM ACTUAL SURVEY

CITY OF HOBART

No. OF APPLICATION

SEC. Q3.

Scale 30Ft chains to an inch.

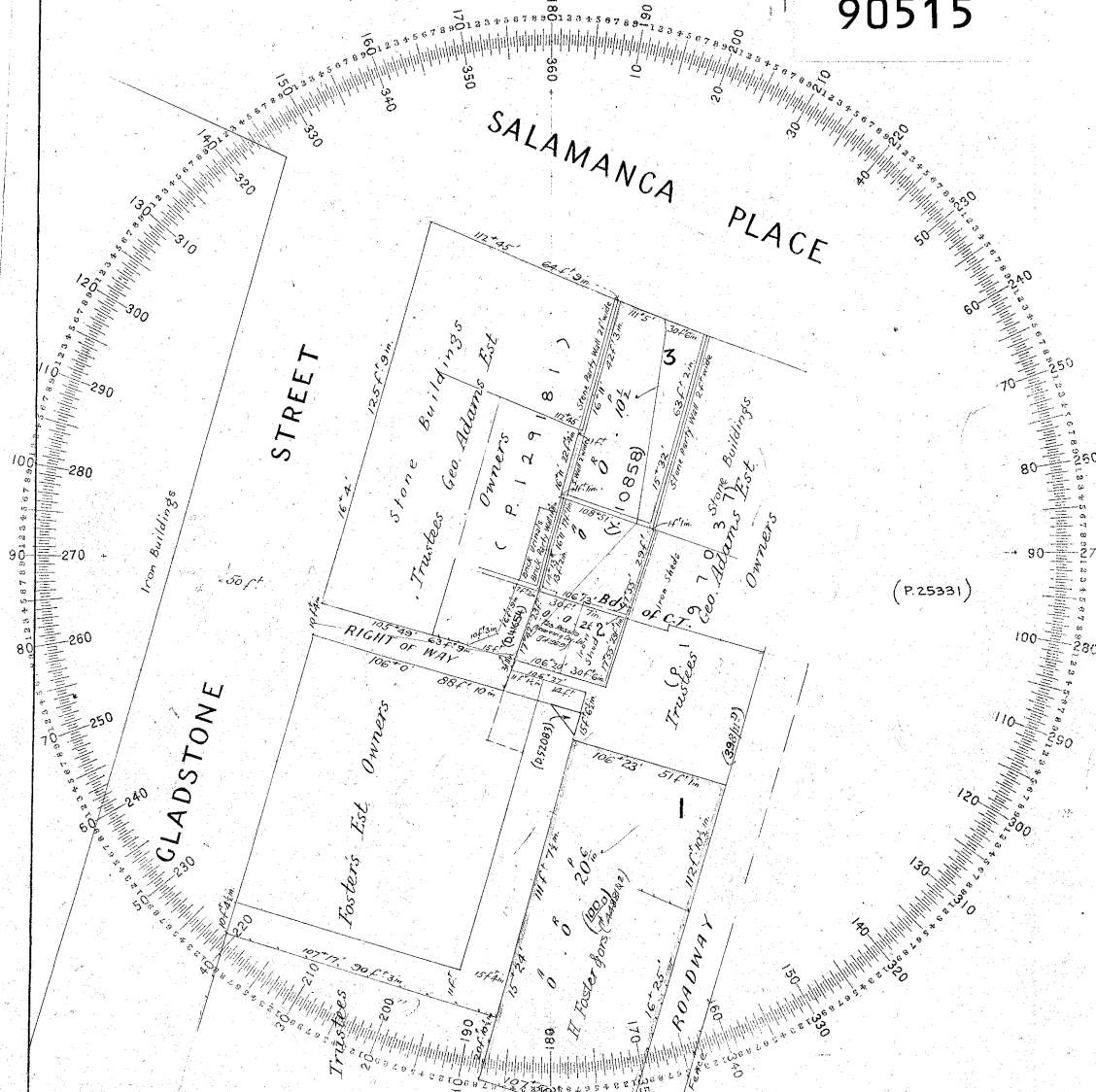
REFERENCE TO CORNERS.

CORNER	BEARING	DISTANCE IN LINKS	FROM
--------	---------	-------------------	------

REGISTERED NUMBER

90515

Portion of 4.3.26 Granted to Willm Tho: Parramore



To be filled in  
by Surveyor  
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Date of Instructions  
Survey commenced 20.5.1914  
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I William Fisher Darling of Hobart  
Authorised Surveyor, of Tasmania, do solemnly and sincerely declare that  
this plan has been made from surveys executed by me or under my own  
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the Surveyor's Board, dated 1st May, 1913.

And I make this solemn declaration by virtue of Section 132 of "The  
Evidence Act, 1910."

Declared at Hobart this 13<sup>th</sup> day of June 1914,  
before me,

*E. Rogers*  
Justice of the Peace.

*W. F. Darling*  
Authorised Surveyor.

## SEARCH OF TORRENS TITLE

VOLUME 41654	FOLIO 1
EDITION 7	DATE OF ISSUE 11-Jul-2011

SEARCH DATE : 26-Feb-2016

SEARCH TIME : 09.36 AM

DESCRIPTION OF LAND

City of HOBART

Lot 1 on Diagram 41654

Being the land secondly described in Conveyance No. 64/7974

Derivation : Part of 4A-3R-26Ps. Gtd. to W.T. Parramore

Prior CT 4611/15

SCHEDULE 1

C881784 TRANSFER to OLYMPUS SUPERANNUATION FUND (TAS) PTY LTD  
Registered 11-Jul-2011 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

35/834 CONVEYANCE: Benefiting Easement: Right to pass and  
repass over the Right of Way shown on Diagram No.  
41654

35/834 CONVEYANCE - Burdening Easement: Right to pass and  
repass (For W.J. Adams) over the said land within  
described

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

## SEARCH OF TORRENS TITLE

VOLUME 90515	FOLIO 2
EDITION 7	DATE OF ISSUE 11-Jul-2011

SEARCH DATE : 26-Feb-2016

SEARCH TIME : 09.37 AM

DESCRIPTION OF LAND

City of HOBART

Lot 2 on Diagram 90515 (formerly being 18-20HOB)

Derivation : Part of 4A-3R-26Ps. Section Q.3. Gtd. to W.T.

Parramore.

Prior CT 2787/43

SCHEDULE 1

C881784 TRANSFER to OLYMPUS SUPERANNUATION FUND (TAS) PTY LTD  
Registered 11-Jul-2011 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

## SEARCH OF TORRENS TITLE

VOLUME 90515	FOLIO 3
EDITION 7	DATE OF ISSUE 11-Jul-2011

SEARCH DATE : 26-Feb-2016

SEARCH TIME : 09.38 AM

DESCRIPTION OF LAND

City of HOBART

Lot 3 on Diagram 90515 (formerly being 18-20HOB)

Derivation : Part of 4A-3R-26Ps. Gtd. to W.T. Parramore

Prior CT 4611/16

SCHEDULE 1

C881784 TRANSFER to OLYMPUS SUPERANNUATION FUND (TAS) PTY LTD  
Registered 11-Jul-2011 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

35/834 CONVEYANCE - BENEFITING EASEMENT: Right to enter and  
erect a wall35/834 CONVEYANCE - BURDENING EASEMENT: Right to enter upon  
a party wall (For W.J. Adams and others)35/834 CONVEYANCE - BURDENING EASEMENT: Right for support  
(For W.J. Adams and others)UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

REGISTERED NUMBER

SP114251

SCHEDULE OF EASEMENTS

NOTE:—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

EASEMENTS AND PROFITS

Each lot on the plan is together with:—

- (1) such rights of drainage over the drainage easements shewn on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits à prendre described hereunder.

Each lot on the plan is subject to:—

- (1) such rights of drainage over the drainage easements shewn on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits à prendre described hereunder.

The direction of the flow of water through the drainage easements shewn on the plan is indicated by arrows.

**Lot 1 is together with the full right and liberty to maintain use cleanse repair renew and replace the spouting now projecting over the strip of land marked O.13 Spouting on the plan.**

~~No easements, no covenants and no profits à prendre are created to benefit or burden the lot shown on the plan.~~

The party wall on the plan is a party wall within the meaning of Section 34B of the Conveyancing and Law of Property Act 1884 and Lot 1 and Folio of the Register Volume 40698 Folio 3 on the plan are transferred together with and subject to all easements and other rights deriving from that section.

THE COMMON SEAL of L T LITTLE

PTY LTD (ACN 009 469 485) the  
registered proprietor of the land comprised  
in Certificate of Title Volume 59938 Folio 2  
was hereunto affixed in the presence of.



*Little*

DIRECTOR

*L. Little*

DIRECTOR  
SECRETARY

SP. 114251

THE COMMON SEAL of PERPETUAL  
TRUSTEES TASMANIAN LTD as  
 mortgagee under mortgage number B472970  
 was hereunto affixed in accordance with its  
 Articles of Association by authority of a resolution  
 of its Board of Directors in the presence of:



MANAGER

SECRETARY

SIGNED by PETER BERAKIS, VICTORIA ANNE  
BERAKIS, DENNIS BEHRAKIS and MARIA  
BEHRAKIS the registered proprietors of the  
 land comprised in Certificate of Title  
 Volume 64025 Folio 1 in the presence  
 of:

ALAN FIRTH  
 COMPANY ACCOUNTANT  
 10 TAMM ST HOBART

SIGNED by the RETIREMENT  
BENEFITS FUND INVESTMENT TRUST

by its duly constituted attorney Terence Leigh Hancock  
 pursuant to power of attorney registered  
 number 65/3433 (who declares he has no  
 notice of the revocation of such power of  
 attorney) in the presence of:

15 PRINCES ST  
 SANDY RAY  
 INVESTMENT OFFICER

As mortgagee under mortgage number we hereby consent to this Schedule of  
 Easements, and as the registered proprietors of the land comprised in Certificate  
 of Title Volume 40698 Folio 3.



SP. 114251

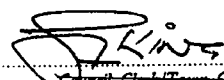
This is the schedule of easements attached to the plan of P. V. BERAKIS and D. M. BEHRAKIS  
(Insert Subdivider's Full Name)

..... affecting land in

C.T. 64025/1 STRATUM PLAN 59938  
(Insert Title Reference)

Sealed by HOBART CITY COUNCIL on 4<sup>TH</sup> JANUARY 1995

Solicitor's Reference .....

  
COUNCIL CLERK/TOWN CLERK  
MANAGER SURVEYING SERVICES

OS-K 2134

<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b>  PAGE 2 OF .....2..... PAGE/S	<b>Registered Number</b>  SP 114251
SUBDIVIDER: BEHRAKIS & ORS FOLIO REFERENCE: 64025/1	


Lot 1 is subject to the full free and absolute and perpetual right of way and passage across through and over the premises sold to the said Leslie Keith Sansom to the said messuage but on foot only and without horses and other animals or vehicles of any description by day and by night at all times and for all purposes over and along right of way 0.91 wide on the plan but so that nothing contained in this reservation shall operate or be construed so as to prevent the said Leslie Keith Sansom his heirs and assigns from maintaining the wooden posts now standing within the boundaries of the said piece of land 0.91 wide or from renewing or replacing the same.

This annexure page added this 8th day of  
October 1997



MICHAEL DIXON  
RECORDER OF TITLES

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

APPROVED  RECORDER OF TITLES	CONVERSION PLAN  CONVERTED FROM 64\7974	REGISTERED NUMBER <b>D. 41654</b>
FILE NUMBER Y.10858	GRANTEE PART OF 4-3-26 GTD. TO WILLIAM THOMAS PARRAMORE.	DRAWN A Horsey 12.10.89

05-K 2082

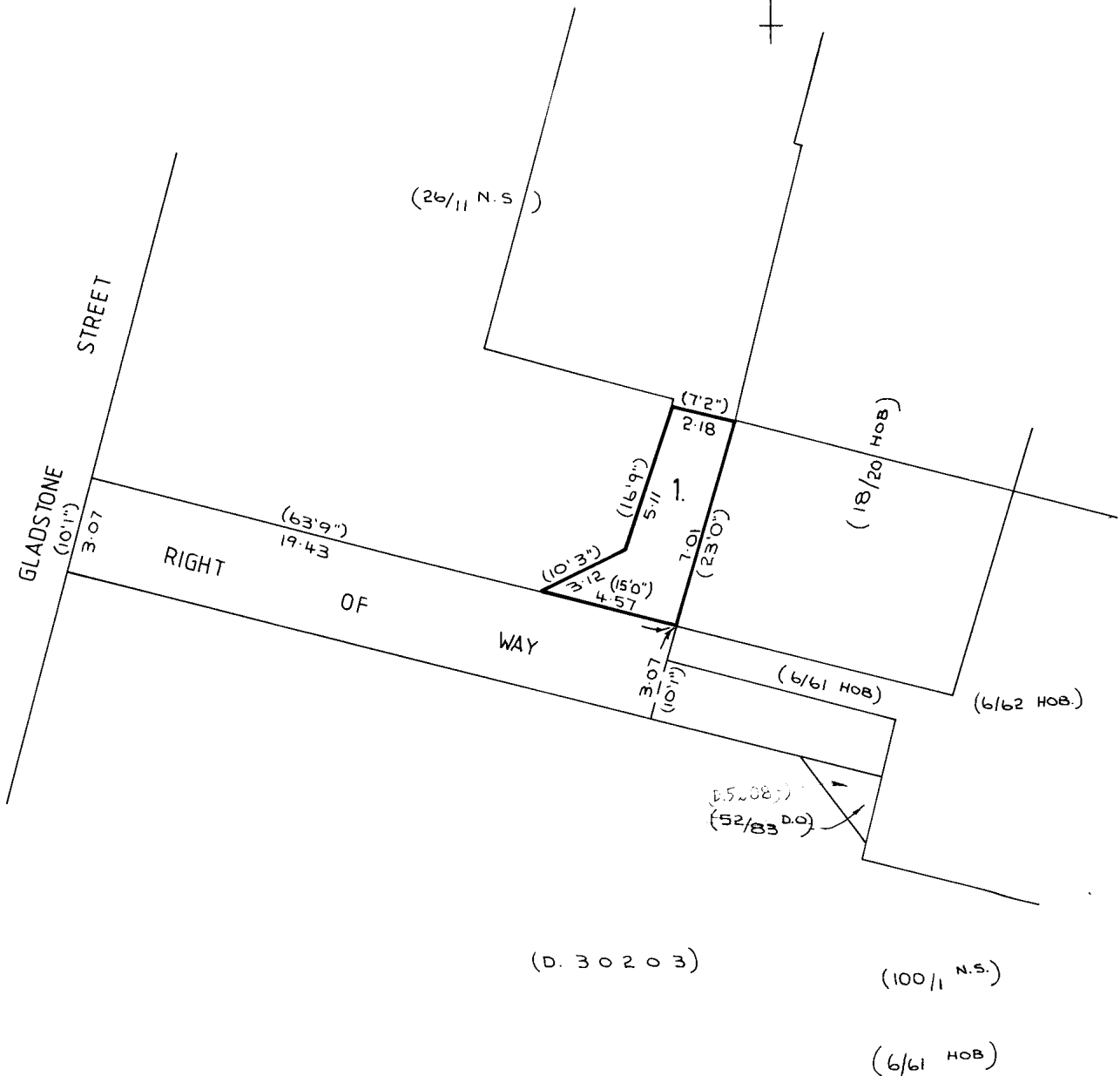
SKETCH BY WAY OF ILLUSTRATION ONLY

CITY/TOWN OF HOBART (SEC. Q3)

~~LAND DISTRICT OF~~

~~PARISH OF~~

LENGTHS ARE IN METRES. NOT TO SCALE.  
LENGTHS IN BRACKETS IN FEET & INCHES.



*Transf. William Joseph Adams*



*to Tasmanian Land Planning Co.*

18/20 ✓

Hob.

DIAGRAM FROM ACTUAL SURVEY

CITY OF HOBART

No. OF APPLICATION

SEC. Q3.

Scale 30Ft chains to an inch.

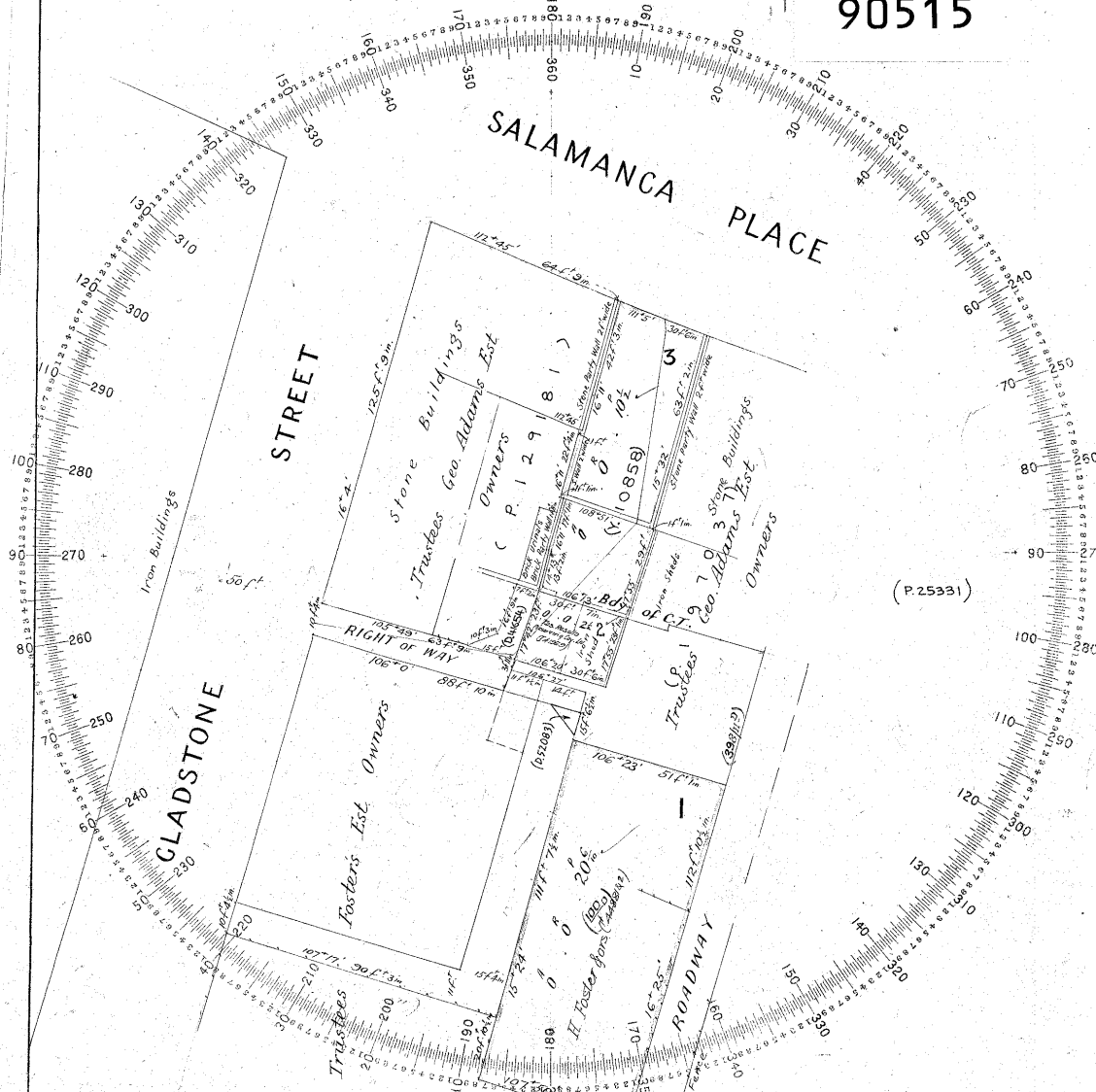
REFERENCE TO CORNERS.

CORNER	BEARING	DISTANCE IN LINKS	FROM
--------	---------	-------------------	------

REGISTERED NUMBER

90515

Portion of 4.3.26 Granted to Willm Tho: Parramore



To be filled in  
by Surveyor  
Office examination

Date of Instructions  
Survey commenced 20.5.1914  
Survey finished 10.6.1914  
Error of close 1 in 1673

Plotted by  
Finally examined by *W.F. Darling*  
Entered on General Plan by

I William Fisher Darling of Hobart  
Authorised Surveyor, of Tasmania, do solemnly and sincerely declare that  
this plan has been made from surveys executed by me or under my own  
personal supervision, inspection and field check, and that both plan and  
survey are correct, and have been made in accordance with the by-laws of  
the Surveyor's Board, dated 1st May, 1913.

And I make this solemn declaration by virtue of Section 132 of "The  
Evidence Act, 1910."

Declared at Hobart this 13<sup>th</sup> day of June 1914,  
before me,

*E. Rogers*  
Justice of the Peace.

*W.F. Darling*  
Authorised Surveyor.

*Transf. William Joseph Adams*



*to Tasmanian Land Planning Co.*

18/20 ✓

Hob.

DIAGRAM FROM ACTUAL SURVEY

CITY OF HOBART

No. OF APPLICATION

SEC. Q3.

Scale 30 Ft chains to an inch.

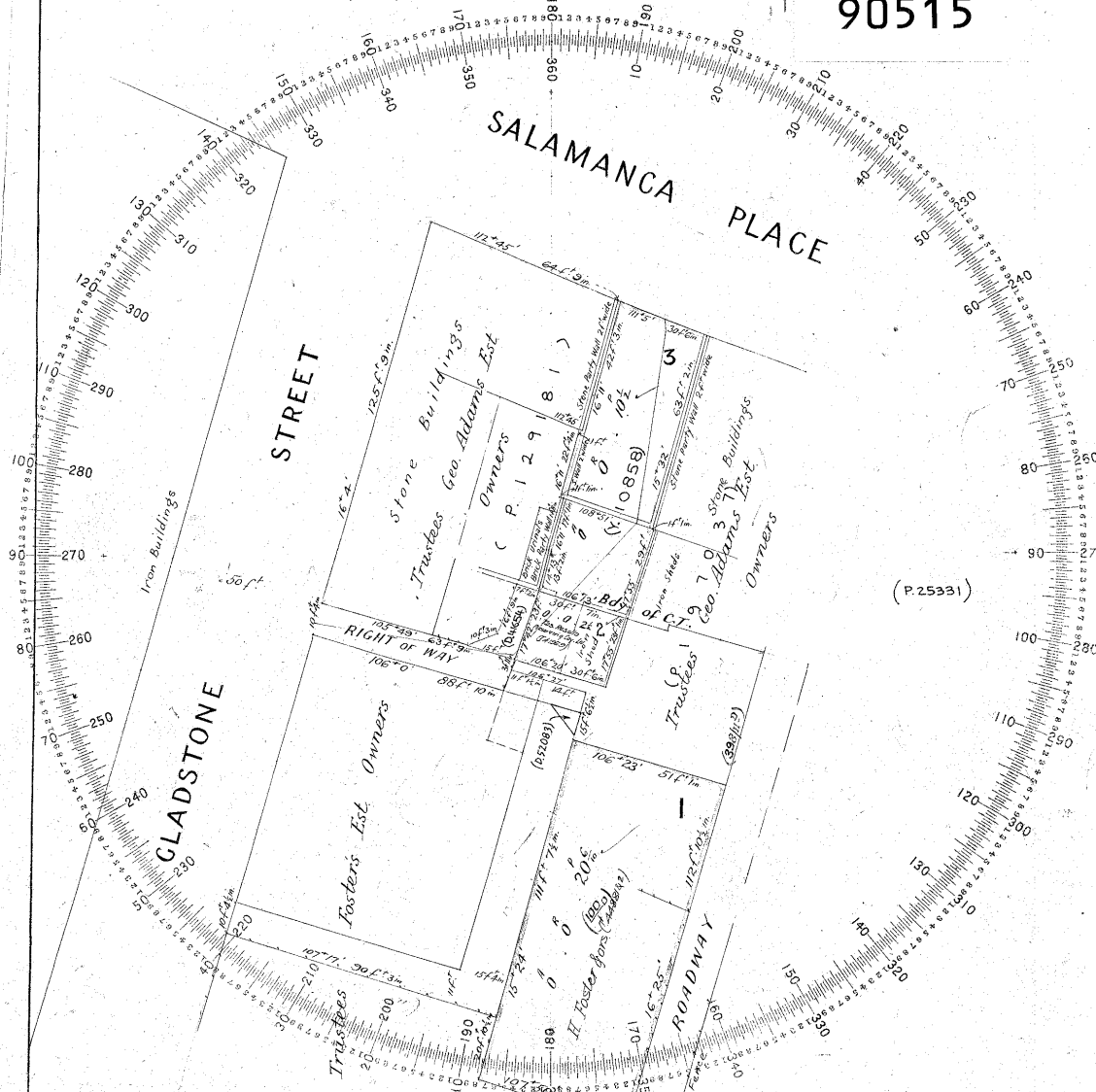
REFERENCE TO CORNERS.

CORNER	BEARING	DISTANCE IN LINKS	FROM
--------	---------	-------------------	------

REGISTERED NUMBER

90515

Portion of 4.3.26 Granted to Willm Tho: Parramore



To be filled in  
by Surveyor  
Office examination

Date of Instructions  
Survey commenced 20.5.1914  
Survey finished 10.6.1914  
Error of close 1 in 1673

Plotted by  
Finally examined by *A.F. 12.15*  
Entered on General Plan by

I William Fisher Darling of Hobart  
Authorized Surveyor, of Tasmania, do solemnly and sincerely declare that  
this plan has been made from surveys executed by me or under my own  
personal supervision, inspection and field check, and that both plan and  
survey are correct, and have been made in accordance with the by-laws of  
the Surveyor's Board, dated 1st May, 1913.

And I make this solemn declaration by virtue of Section 132 of "The  
Evidence Act, 1910."

Declared at Hobart this 13<sup>th</sup> day of June 1914,  
before me,

*E. Rogers*  
Justice of the Peace.

*W. F. Darling*  
Authorized Surveyor.

## SEARCH OF TORRENS TITLE

VOLUME 41654	FOLIO 1
EDITION 7	DATE OF ISSUE 11-Jul-2011

SEARCH DATE : 26-Feb-2016

SEARCH TIME : 09.36 AM

DESCRIPTION OF LAND

City of HOBART

Lot 1 on Diagram 41654

Being the land secondly described in Conveyance No. 64/7974

Derivation : Part of 4A-3R-26Ps. Gtd. to W.T. Parramore

Prior CT 4611/15

SCHEDULE 1

C881784 TRANSFER to OLYMPUS SUPERANNUATION FUND (TAS) PTY LTD  
Registered 11-Jul-2011 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

35/834 CONVEYANCE: Benefiting Easement: Right to pass and  
repass over the Right of Way shown on Diagram No.  
41654

35/834 CONVEYANCE - Burdening Easement: Right to pass and  
repass (For W.J. Adams) over the said land within  
described

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



## SEARCH OF TORRENS TITLE

VOLUME 90515	FOLIO 2
EDITION 7	DATE OF ISSUE 11-Jul-2011

SEARCH DATE : 26-Feb-2016

SEARCH TIME : 09.37 AM

DESCRIPTION OF LAND

City of HOBART

Lot 2 on Diagram 90515 (formerly being 18-20HOB)

Derivation : Part of 4A-3R-26Ps. Section Q.3. Gtd. to W.T.

Parramore.

Prior CT 2787/43

SCHEDULE 1

C881784 TRANSFER to OLYMPUS SUPERANNUATION FUND (TAS) PTY LTD  
Registered 11-Jul-2011 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

## SEARCH OF TORRENS TITLE

VOLUME 90515	FOLIO 3
EDITION 7	DATE OF ISSUE 11-Jul-2011

SEARCH DATE : 26-Feb-2016

SEARCH TIME : 09.38 AM

DESCRIPTION OF LAND

City of HOBART

Lot 3 on Diagram 90515 (formerly being 18-20HOB)

Derivation : Part of 4A-3R-26Ps. Gtd. to W.T. Parramore

Prior CT 4611/16

SCHEDULE 1

C881784 TRANSFER to OLYMPUS SUPERANNUATION FUND (TAS) PTY LTD  
Registered 11-Jul-2011 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

35/834 CONVEYANCE - BENEFITING EASEMENT: Right to enter and  
erect a wall35/834 CONVEYANCE - BURDENING EASEMENT: Right to enter upon  
a party wall (For W.J. Adams and others)35/834 CONVEYANCE - BURDENING EASEMENT: Right for support  
(For W.J. Adams and others)UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

REGISTERED NUMBER

SP114251

SCHEDULE OF EASEMENTS

NOTE:—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

EASEMENTS AND PROFITS

Each lot on the plan is together with:—

- (1) such rights of drainage over the drainage easements shewn on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits à prendre described hereunder.

Each lot on the plan is subject to:—

- (1) such rights of drainage over the drainage easements shewn on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits à prendre described hereunder.

The direction of the flow of water through the drainage easements shewn on the plan is indicated by arrows.

**Lot 1 is together with the full right and liberty to maintain use cleanse repair renew and replace the spouting now projecting over the strip of land marked 0.13 Spouting on the plan.**

~~No easements, no covenants and no profits à prendre are created to benefit or burden the lot shown on the plan.~~

The party wall on the plan is a party wall within the meaning of Section 34B of the Conveyancing and Law of Property Act 1884 and Lot 1 and Folio of the Register Volume 40698 Folio 3 on the plan are transferred together with and subject to all easements and other rights deriving from that section.

THE COMMON SEAL of L T LITTLE

PTY LTD (ACN 009 469 485) the registered proprietor of the land comprised in Certificate of Title Volume 59938 Folio 2 was hereunto affixed in the presence of.



*Little*

DIRECTOR

*L. Little*

DIRECTOR  
SECRETARY

SP. 114251

THE COMMON SEAL of PERPETUAL  
TRUSTEES TASMANIAN LTD as  
 mortgagee under mortgage number B472970  
 was hereunto affixed in accordance with its  
 Articles of Association by authority of a resolution  
 of its Board of Directors in the presence of:



MANAGER

SECRETARY

SIGNED by PETER BERAKIS, VICTORIA ANNE  
BERAKIS, DENNIS BEHRAKIS and MARIA  
BEHRAKIS the registered proprietors of the  
 land comprised in Certificate of Title  
 Volume 64025 Folio 1 in the presence  
 of:

ALAN FIRTH  
 COMPANY ACCOUNTANT  
 10 TAMM ST HOBART

SIGNED by the RETIREMENT  
BENEFITS FUND INVESTMENT TRUST

by its duly constituted attorney Terence Leigh Hancock  
 pursuant to power of attorney registered  
 number 65/3433 (who declares he has no  
 notice of the revocation of such power of  
 attorney) in the presence of:

15 PRINCES ST  
 SANDY RAY  
 INVESTMENT OFFICER

As mortgagee under mortgage number we hereby consent to this Schedule of  
 Easements, and as the registered proprietors of the land comprised in Certificate  
 of Title Volume 40698 Folio 3.

SP. 114251

This is the schedule of easements attached to the plan of P. V. BERAKIS and D. M. BEHRAKIS  
(Insert Subdivider's Full Name)

..... affecting land in

C.T. 64025/1 STRATUM PLAN 59938  
(Insert Title Reference)

Sealed by HOBART CITY COUNCIL on 4<sup>TH</sup> JANUARY 1995

Solicitor's Reference .....

  
Council Clerk/Town Clerk  
MANAGER SURVEYING SERVICES

OS-K 2134

<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b>  PAGE 2 OF .....2..... PAGE/S	<b>Registered Number</b>  SP 114251
SUBDIVIDER: BEHRAKIS & ORS FOLIO REFERENCE: 64025/1	

Lot 1 is subject to the full free and absolute and perpetual right of way and passage across through and over the premises sold to the said Leslie Keith Sansom to the said messuage but on foot only and without horses and other animals or vehicles of any description by day and by night at all times and for all purposes over and along right of way 0.91 wide on the plan but so that nothing contained in this reservation shall operate or be construed so as to prevent the said Leslie Keith Sansom his heirs and assigns from maintaining the wooden posts now standing within the boundaries of the said piece of land 0.91 wide or from renewing or replacing the same.

This annexure page added this 8th day of  
October 1997



MICHAEL DIXON  
RECORDER OF TITLES

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



<p>OWNER JOHN FUGLSANG DEVELOPMENTS PTY LTD. ROGER HERBERT SMART, HERBERT HAROLD SMART, BRIGHTA LILLIAN SMART, CROWN.</p> <p>FOLIO REFERENCE C.T.127792-7 C.T.126624-1 C.T.124826-3 C.T.126940-1 C.T.41879-1 C.T.41878-1</p> <p>GRANTEE PART OF 8-1-9, GTD TO J. MONTAGUE, PART OF 2-0-3, GTD TO ANDREW HAIGH, PART OF 3-4-6, GTD TO JAMES GRANT &amp; PART OF 0-5-27, GTD TO THOMAS HEWITT.</p>	<p><b>PLAN OF SURVEY</b></p> <p>BY SURVEYOR ANTHONY OWEN CARRICK</p> <p>LOCATION <b>CITY OF HOBART</b></p> <p>SCALE 1: 750 LENGTHS IN METRES</p>	<p>REGISTERED NUMBER <b>SP 128966</b></p> <p>APPROVED EFFECTIVE FROM <b>18 NOV 1997</b></p> <p><i>Michael D. Carrick</i> Recorder of Titles</p>	
MAPSHEET MUNICIPAL CODE No. 114 (522552)	LAST UPI No. FLW62 FDJ20 FAF25	LAST PLAN No. SP127792	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN

LOT 1 IS COMPILED FROM F/R 127792/7 AND THIS SURVEY & F/R 126624/1  
LOT 3 IS COMPILED FROM F/R 41879/1 AND THIS SURVEY

**SALAMANCA PLACE**

COMPILED TITLE DISTANCE AMENDED UNDER SEC 139 OF THE LAND TITLES ACT 1980

*Michael D. Carrick*  
RECORDER OF TITLES  
24/11/1997

RIGHT OF WAY "R" (PRIVATE) (LABELLED MM, KK, AA, NN) IS LIMITED IN HEIGHT FROM THE SURFACE OF THE ACCESS WAY OR RAMP TO 4 METRES ABOVE THE ACCESS WAY OR RAMP

RIGHT OF WAY "S" (PRIVATE) (LABELLED QQ, KK, AA, PP) IS LIMITED IN HEIGHT FROM GROUND LEVEL TO THE UNDERSIDE OF THE RAMP

RIGHT OF WAY "T" (PRIVATE) (LABELLED CC, OO, KK, MM) IS LIMITED IN HEIGHT FROM THE CONCRETE FLOOR TO 2.5 METRES ABOVE THE CONCRETE FLOOR

RIGHT OF WAY "U" (PRIVATE) (LABELLED II, OO, KK, LL) IS LIMITED IN HEIGHT FROM 14.33 AHD TO 16.77 AHD

RIGHT OF WAY "V" (PRIVATE) IS LIMITED IN HEIGHT FROM 14.33 AHD TO 16.83 AHD

# 25 Salamanca Place

## Drawing List

- 1526 - DA00 Location Plan
- 1526 - DA01 Site Plan
- 1526 - DA02 Ground Floor Existing + Demolition Plans
- 1526 - DA03 Ground Floor Plan
- 1526 - DA04 First Floor Existing + Demolition Plans
- 1526 - DA05 First Floor Plan
- 1526 - DA06 Second Floor Existing + Demolition Plans
- 1526 - DA07 Second Floor Plan
- 1526 - DA08 Third Floor Existing + Demolition Plans
- 1526 - DA09 Third Floor Plan
- 1526 - DA10 Fourth Floor Plan
- 1526 - DA11 Fifth Floor Plan
- 1526 - DA12 Roof Plan
- 1526 - DA13 North Elevations
- 1526 - DA14 East + West Elevations
- 1526 - DA15 Cross Sections
- 1526 - DA16 Montages 01
- 1526 - DA17 Montages 02



1

Location Plan

Site

1:500

revisions		
a	21.09.16	drawings issued for application of planning permit

APPLICATION FOR PLANNING PERMIT ONLY

original drawing size

A1

0mm	2000	4000
0mm	2000	4000
0mm	2000	4000

25 Salamanca Place

PV + DM Behrakis

Contact

GPO Box 67  
Hobart, TAS  
Australia, 7001

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circa morris-nunn architects

Contact

W glenn | 27 hunter st | hobart | tas | 7000  
03 6236 9644  
info@circamorrisnunn.com.au

These drawings show design intent and are suitable as a guide only. The builder shall check and verify all dimensions and verify all errors/omissions to the Architect. Do not scale off the drawings. Drawings are not to be used for construction purposes until issued by the Architect for construction

Location Plan / Cover

Site

status

Sketch Design

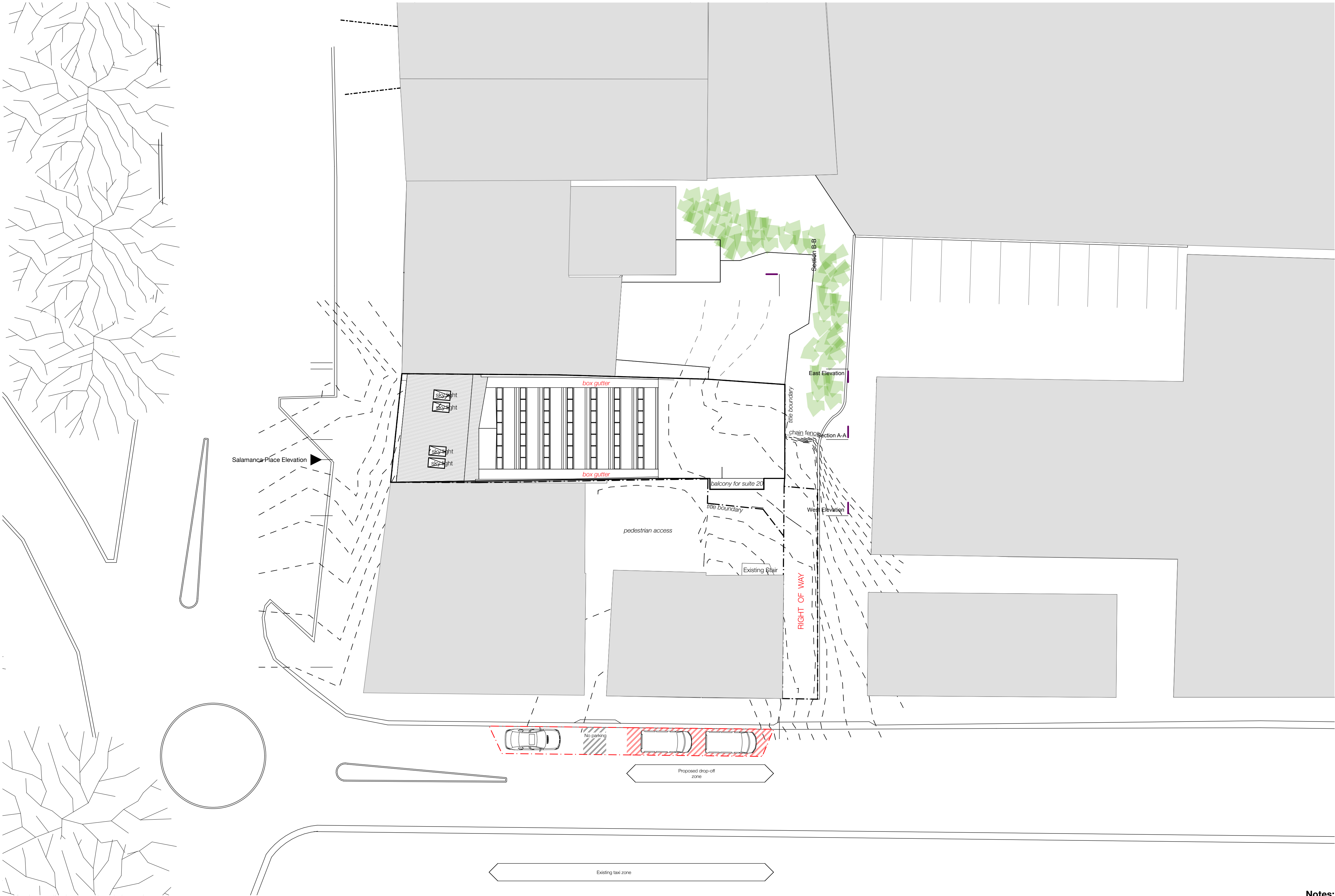
print date

Wednesday, 21 September 2016

drawing ref

1526-DA00

A



1  
-

Site Plan  
1:200

Notes:

Site Area : 418m<sup>2</sup>  
Existing Floor Area : 674m<sup>2</sup>  
Proposed Floor Area : 1248m<sup>2</sup> inc. ex.

revisions		
a	21.09.16	drawings issued for application of planning permit

APPLICATION FOR PLANNING PERMIT ONLY

original drawing size

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1:10	500	1000	2500
1:50	1000	2000	5000
1:100	2000	4000	10000
1:200	4000	8000	20000

**A1**

**25 Salamanca Place**  
**PV + DM Behrakis**

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**Site Plan**

**Site**

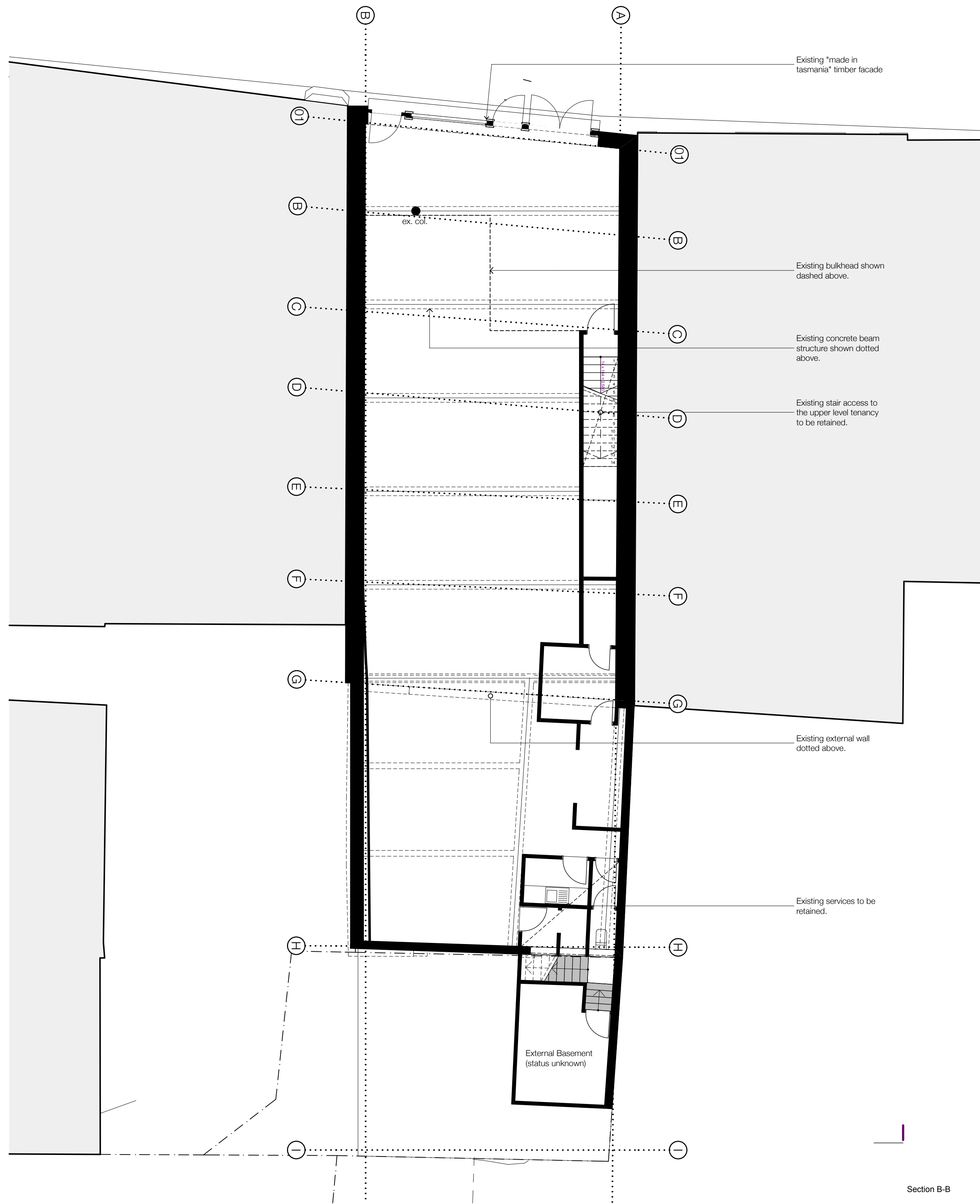
status

print date: **Wednesday, 21 September 2016**

drawing ID: **1526-DA01**

page: **A**





- Legend**
- Existing Walls
  - New Walls
  - To Be Demolished

revisions	
a	21.09.16 drawings issued for application of planning permit

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original drawing size

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1:100	1000	2000
1:200	500	1000

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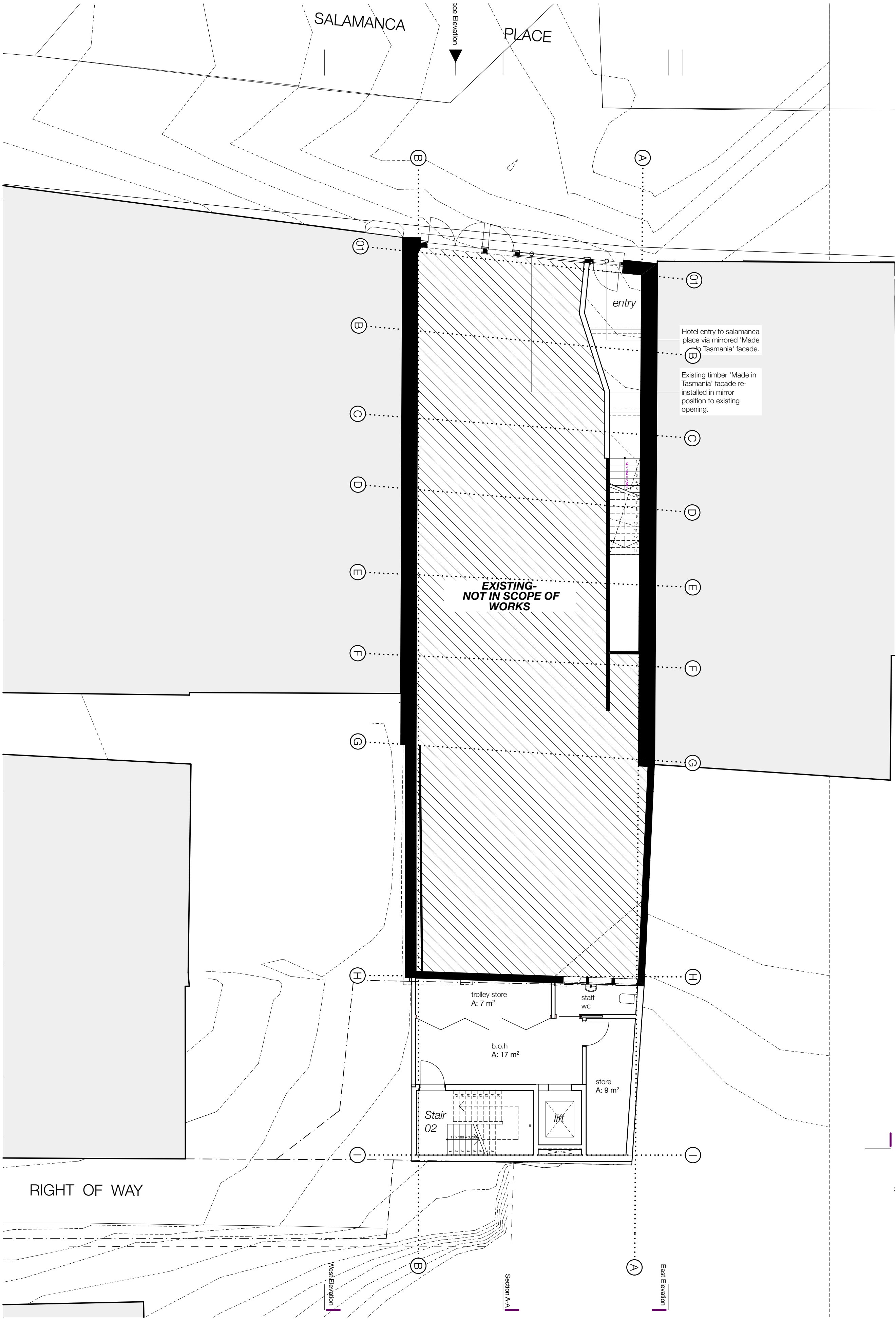
**Ground Floor ex. and demo Plan**

status **Sketch Design**

print date **Wednesday, 21 September 2016**

drawing ref **1526-DA02**

page **A**



1
-

Ground Floor Proposed  
1:100

- Legend
- Existing Walls
  - New Walls
  - To Be Demolished

revisions		
a	21.09.16	drawings issued for application of planning permit

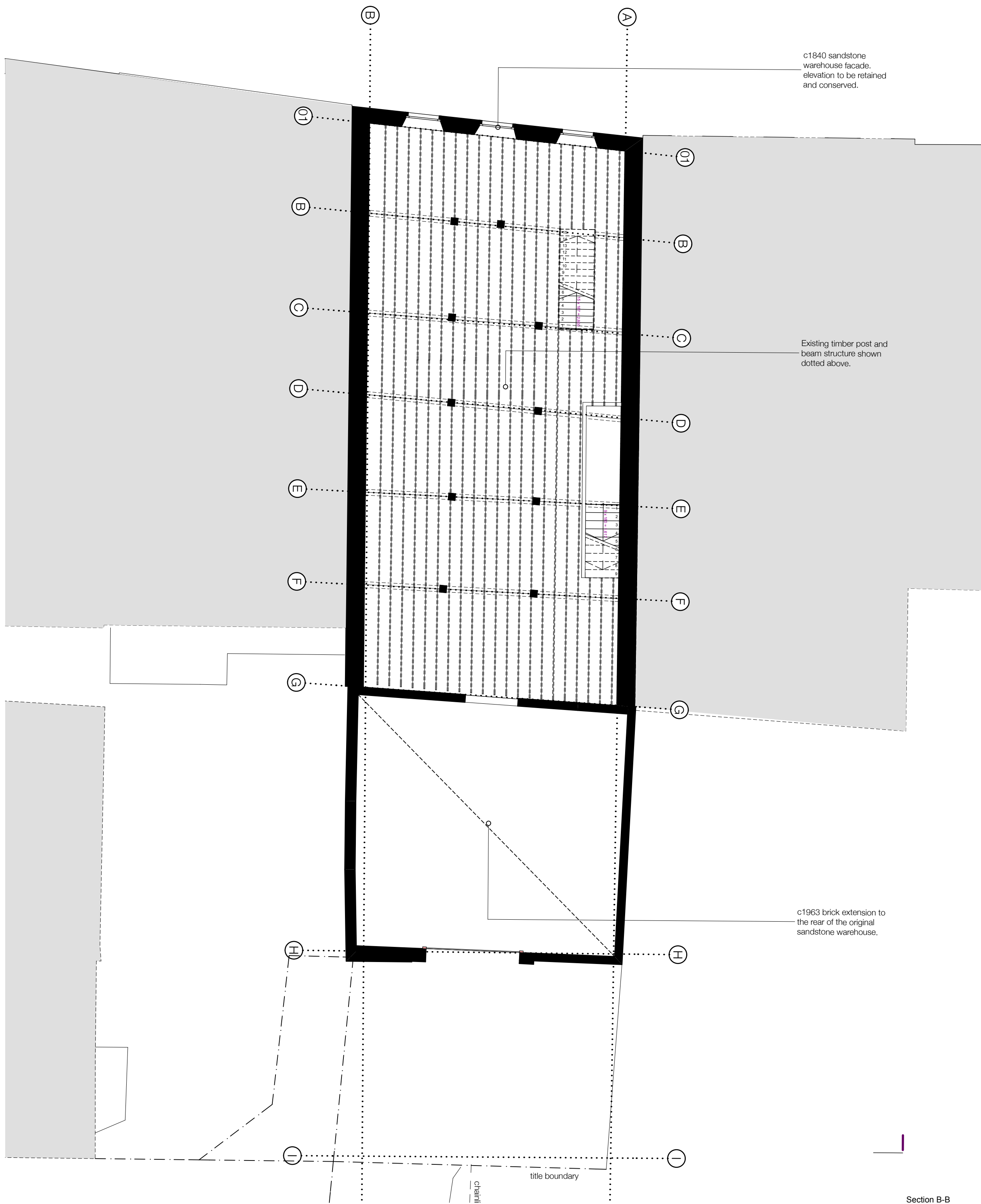
APPLICATION FOR PLANNING PERMIT ONLY

original drawing size			
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Australia, 7001

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**Ground Floor**  
**Plan**  
status **Sketch Design**  
print date **Wednesday, 21 September 2016**  
drawing ID **1526-DA03**



1 First Floor exist.  
1:100



2 First Floor Demolition  
1:100

- Legend
- Existing Walls
  - New Walls
  - To Be Demolished

revisions		
a	21.09.16	drawings issued for application of planning permit

APPLICATION FOR PLANNING PERMIT ONLY

original drawing size			
Print	100	200	500
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Print	1000	2000	5000
0mm	2000	4000	10000

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**First Floor ex. and demo**  
**Plan**

status  
**Sketch Design**  
print date  
**Wednesday, 21 September 2016**

drawing ID  
**1526-DA04**

sheet  
**A**





1  
-

First Floor Plan  
1:100

revisions

a 21.09.16 drawings issued for application of planning permit

APPLICATION FOR PLANNING PERMIT ONLY

original drawing size

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Print	1:200	1:500	1:1000	1:200	1:500
0mm	2000	4000	10000		

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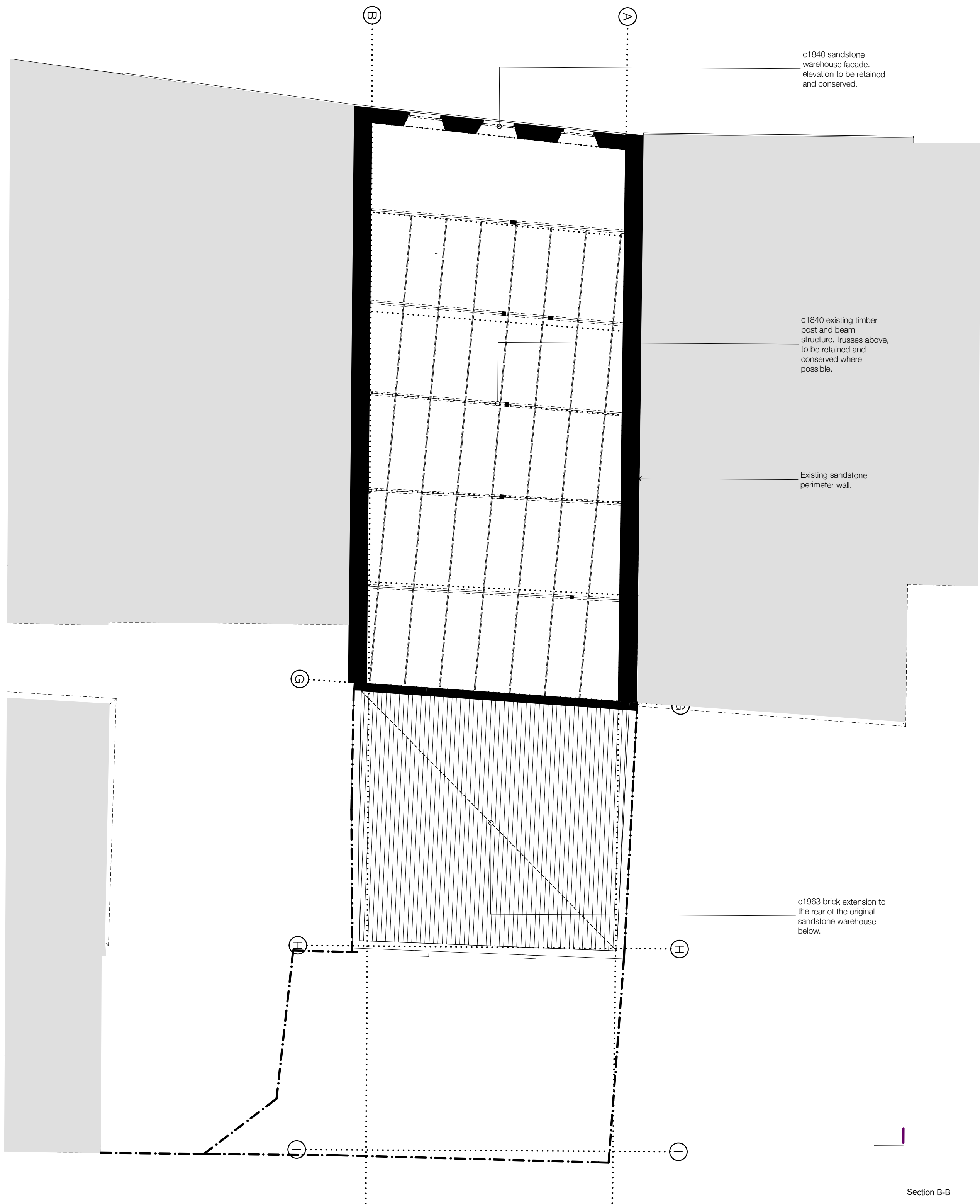
First Floor  
Plan

status  
Sketch Design

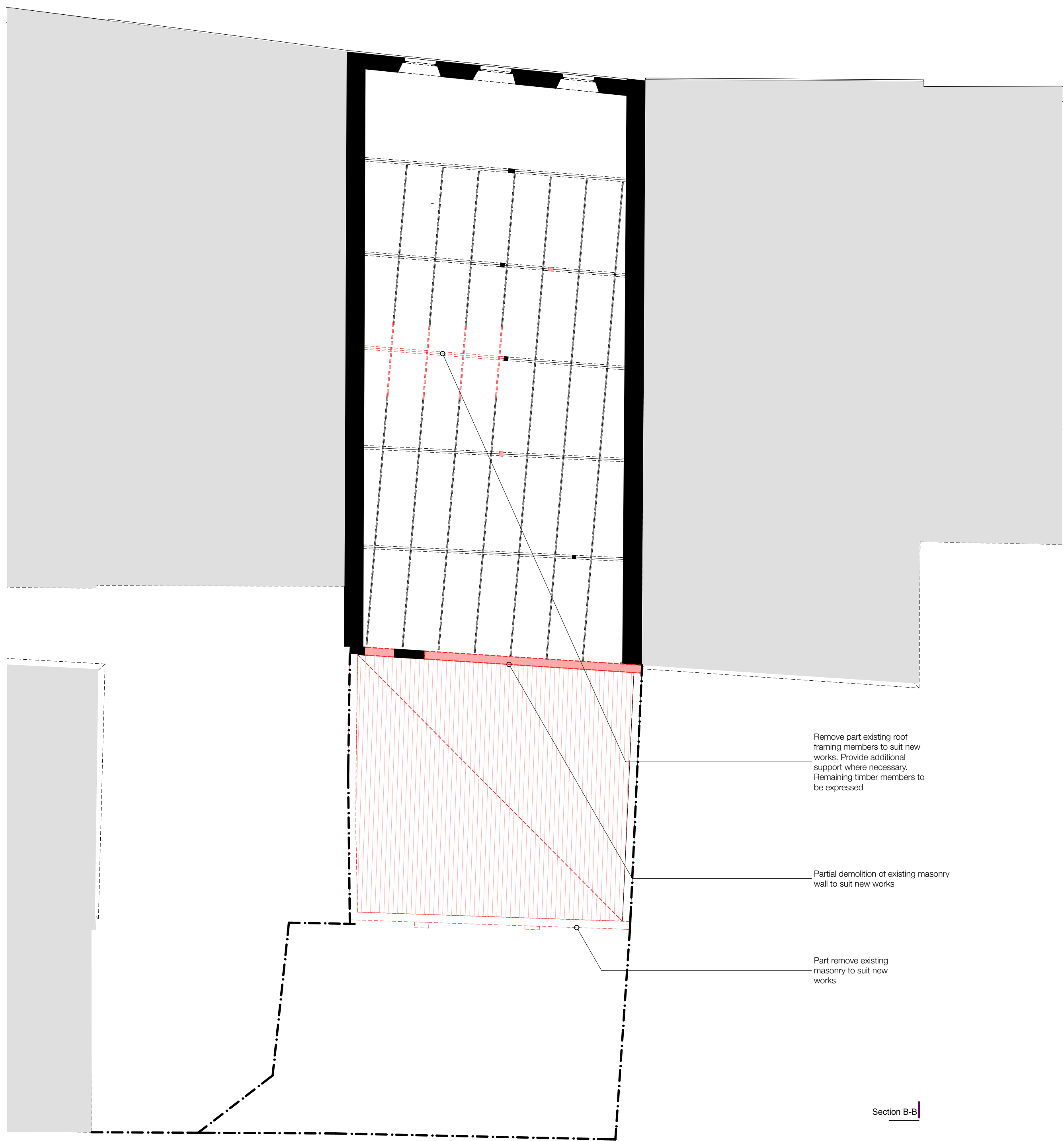
print date  
Wednesday, 21 September 2016

drawing ref  
1526-DA05

sheet  
A



1 Second Floor existing  
1:100



2 Second Floor Demolition  
1:100

- Legend
- Existing Walls
  - New Walls
  - To Be Demolished

revisions		
a	21.09.16	drawings issued for application of planning permit

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original drawing size

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Second Floor ex. and dem  
Plan

status  
Sketch Design  
print date  
Wednesday, 21 September 2016

drawing ID  
1526-DA06

1/10

A



1
-

Second Floor Plan  
1:100

revisions
a 21.09.16 drawings issued for application of planning permit

# APPLICATION FOR PLANNING PERMIT ONLY

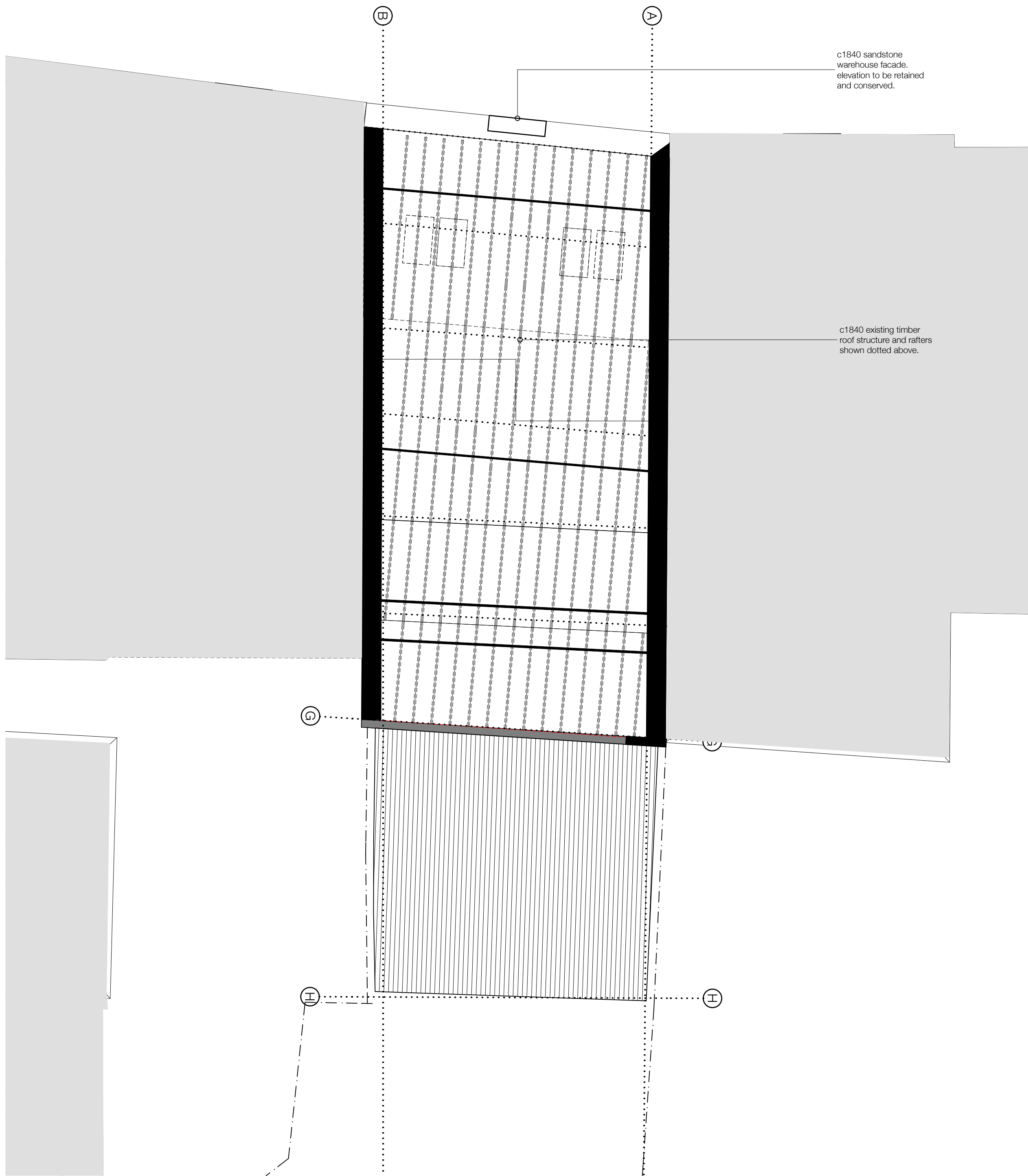
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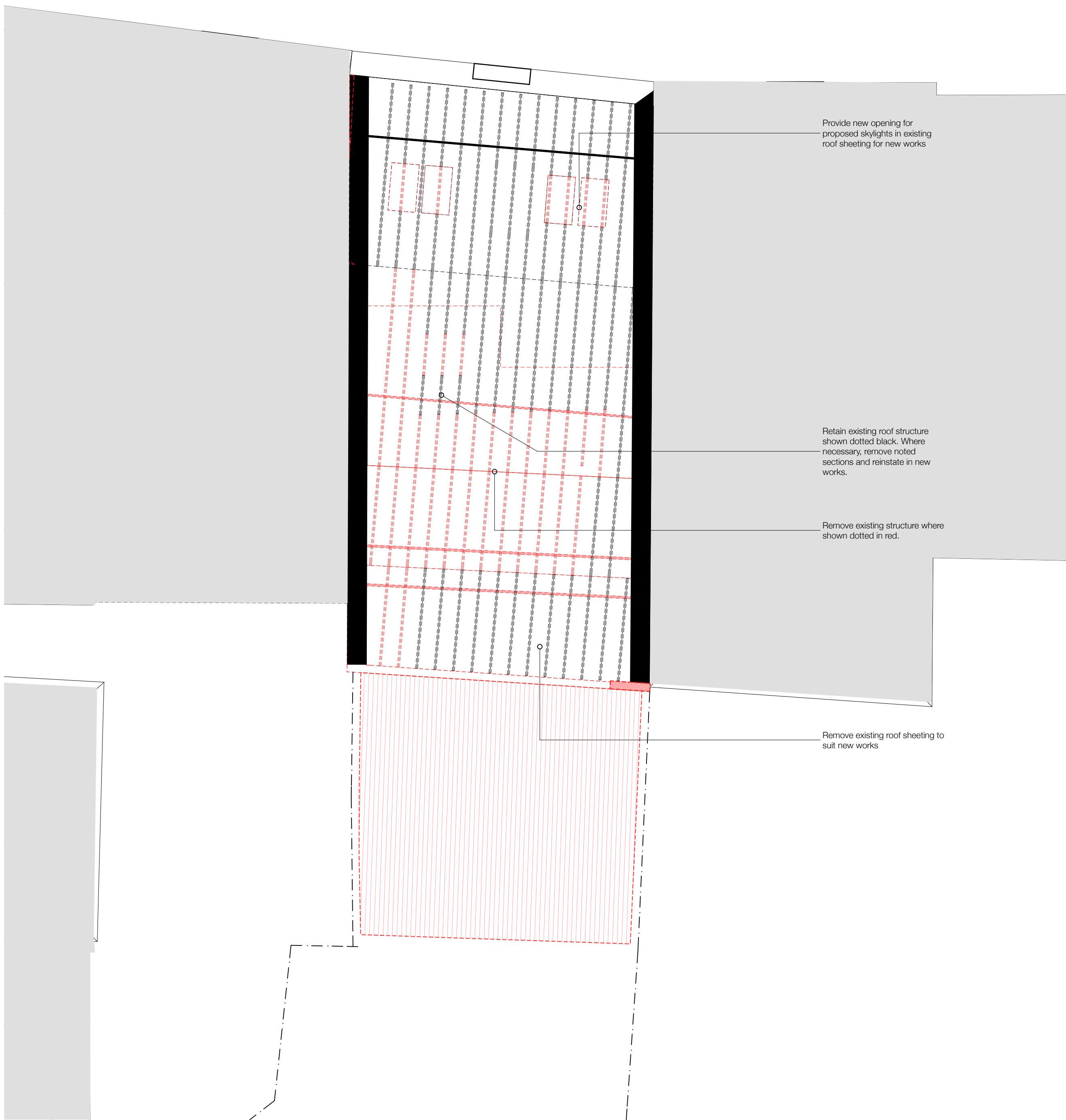
**circa morris-nunn architects**  
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info@circamorrisnunn.com.au

**Second Floor Plan**  
status **Sketch Design**  
print date **Wednesday, 21 September 2016**  
drawing ref **1526-DA07**  
sheet **A**





**1** Third Floor existing  
- 1:100



**2** Third Floor Demolition  
- 1:100

- Legend**
- Existing Walls
  - New Walls
  - To Be Demolished

revisions		
a	21.09.16	drawings issued for application of planning permit

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original drawing size

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0mm	2000	4000	

**A1**

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**Third Floor ex. and demo Plan**

status **Sketch Design**

print date **Wednesday, 21 September 2016**

drawing ID **1526-DA08**

page **A**



**Third Floor Plan**  
**1:100**

revisions		
a	21.09.16	drawings issued for application of planning permit

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original drawing size			
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**Third Floor**  
**Plan**  
status  
**Sketch Design**  
print date  
**Wednesday, 21 September 2016**

1526-DA09

A



Fourth Floor  
Plan

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status

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print date

Sketch Design

Wednesday, 21 September 2016

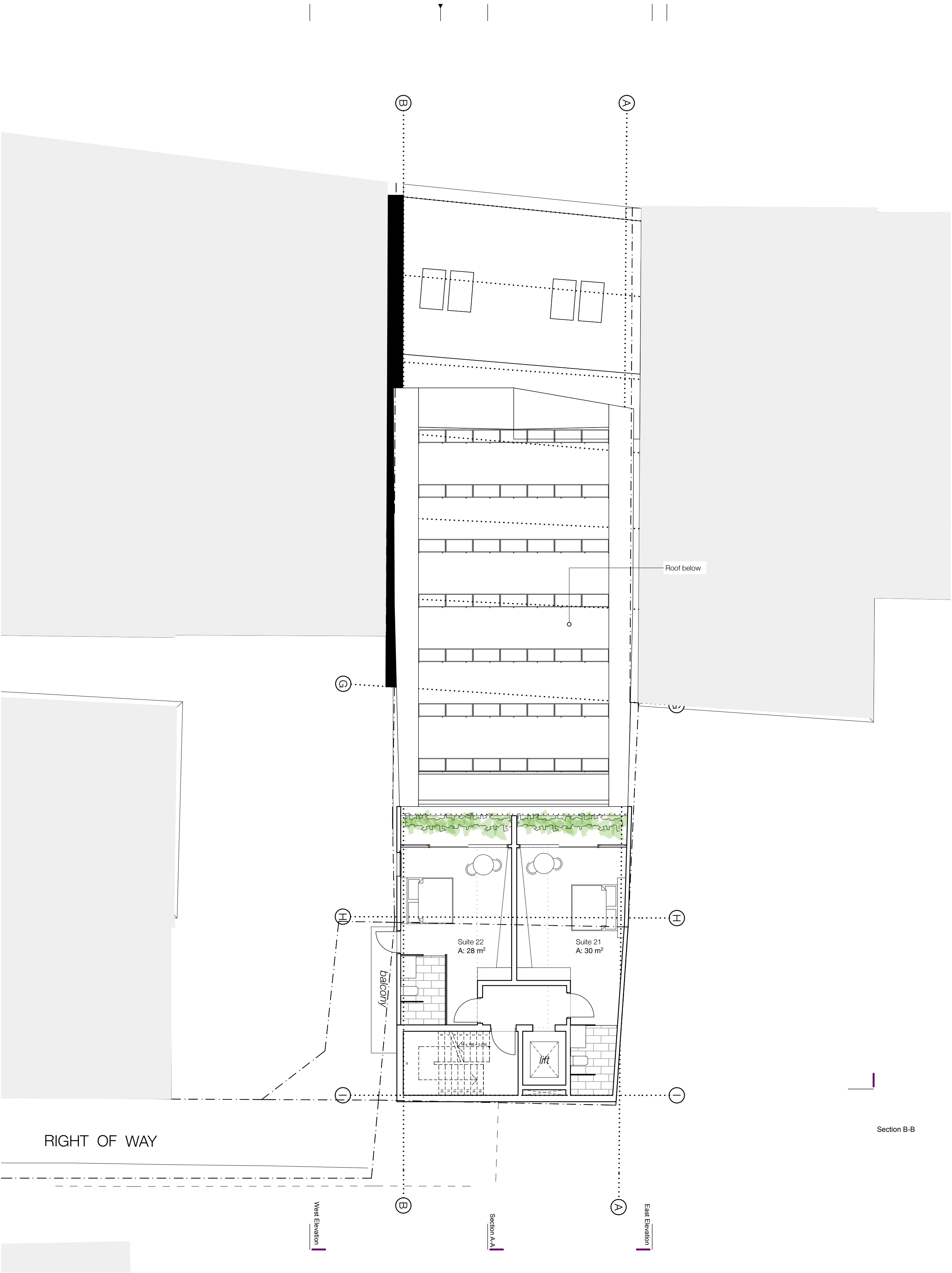
drawing nr

1526-DA10

logo

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Fifth Floor Plan  
1:100

revisions
a 21.09.16 drawings issued for application of planning permit

APPLICATION FOR PLANNING PERMIT ONLY

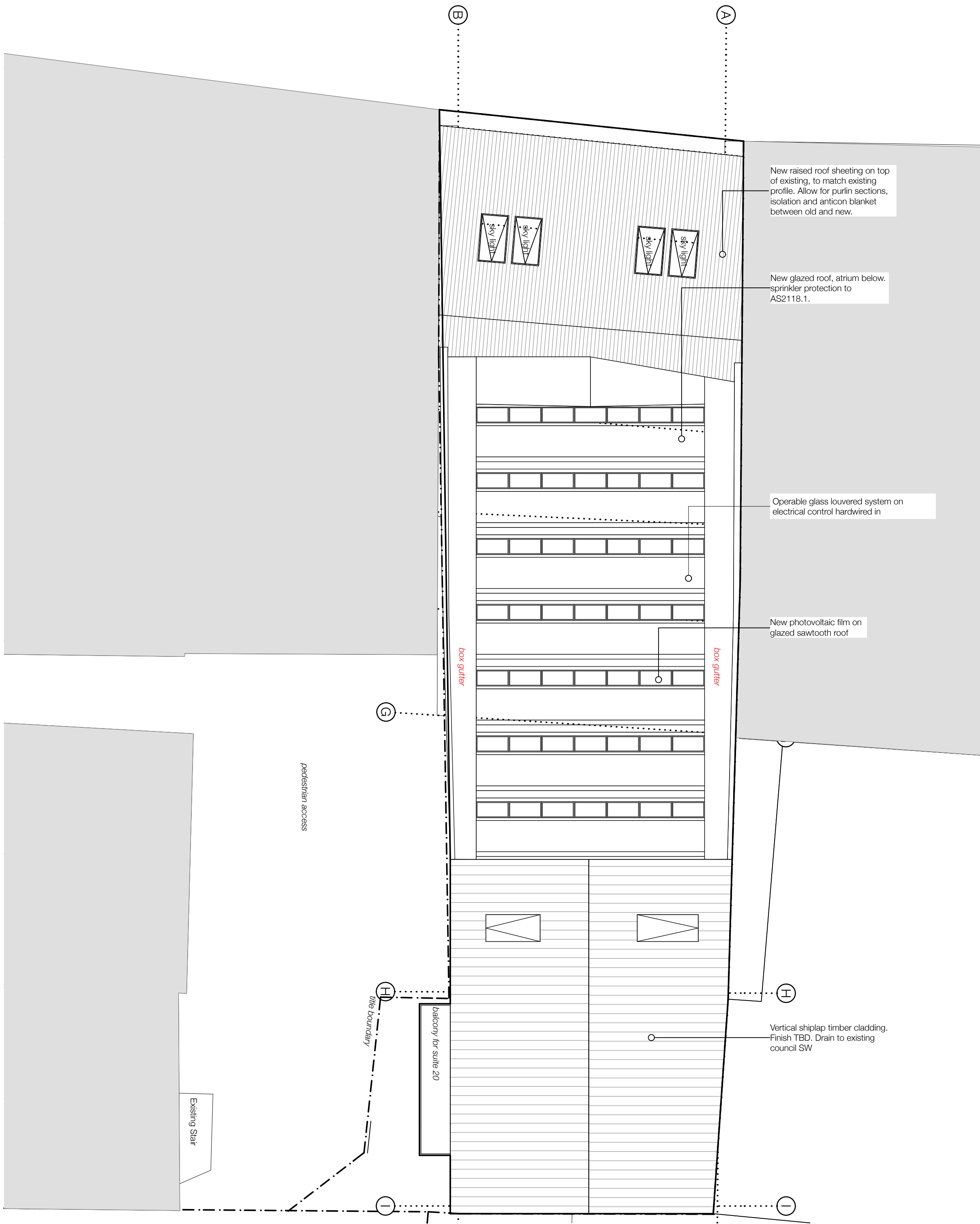
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0mm 2000 4000 10000

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**Fifth Floor Plan**  
**Plan**  
status  
**Sketch Design**  
print date  
**Wednesday, 21 September 2016**

drawing ID  
**1526-DA11**  
sheet  
**A**



1
-

Roof Plan  
1:100

revisions
a 21.09.16 drawings issued for application of planning permit

APPLICATION FOR PLANNING PERMIT ONLY

- Legend
- Existing Walls
  - New Walls
  - To Be Demolished

original drawing size									
1mm	2mm	5mm	10mm	20mm	50mm	100mm	200mm	500mm	1000mm
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**Roof Plan**  
status  
**Sketch Design**  
print date  
**Wednesday, 21 September 2016**

drawing 1P  
**1526-DA12**  
A





**1** Salamanca Place Elevation (existing)  
**1:100**



- Finishes Key**
- [CLD02] Vertical Timber Battens, Finish TBD.
  - [CLD03] X-Tend Mesh - Tension cable system to support vertical plant growth. (Transparent when no vegetation is there)
  - [CLD04] Artificial Turf Cladding
  - [CLD05] Everbrite Polycarbonate Cladding
  - [CLD06] Glazed Balustrade

**revisions**

a 21.09.16 drawings issued for application of planning permit

**1** Salamanca Place Elevation (proposed)  
**1:100**

APPLICATION FOR PLANNING PERMIT ONLY

original drawing size				A1			
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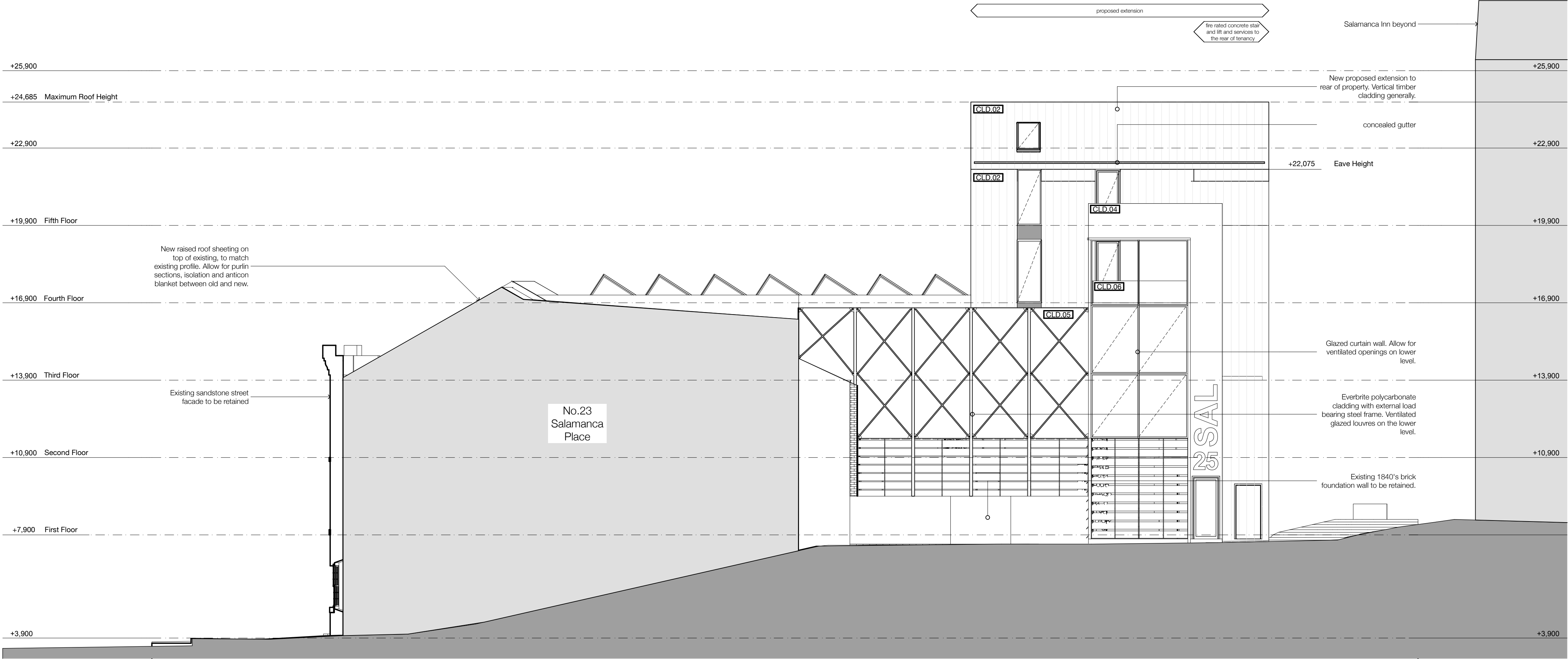
**Salamanca Place**  
**PV + DM Behrakis**  
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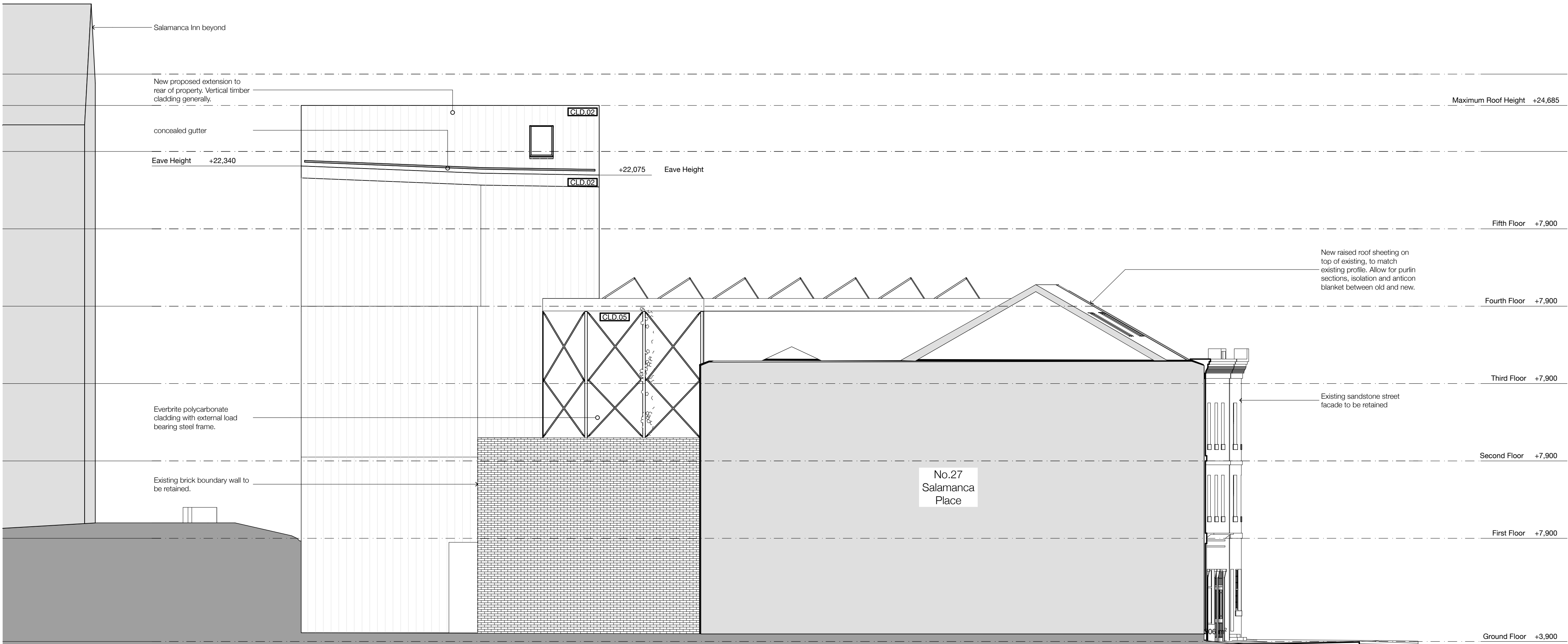
**North Elevations**  
**Elevation**  
status  
drawing 1P  
print date  
Wednesday, 21 September 2016

**1526-DA13**

**A**



1 West Elevation  
1:100



2 East Elevation  
1:100

## APPLICATION FOR PLANNING PERMIT ONLY

### Finishes Key

- [CLD01] Existing Sandstone Facade
- [CLD02] Vertical Timber Battens, Finish TBD
- [CLD03] X-Tend Mesh - Tension cable system to support vertical plant growth, (Transportation Department - TAFE)
- [CLD04] Contact Turf Cladding
- [CLD05] Everbrite Polycarbonate Cladding
- [CLD06] Glazed Balustrade

### East and West Elevations Elevation

status: Sketch Design

print date: Wednesday, 21 September 2016

drawing ID: 1526-DA14

page: A

### revisions

a 21.09.16 dr

2  
-

Project: 1526  
Location: Australia, 7001  
Scale: 1:100  
Drawing ID: 1526-DA14  
Page: A

### Salamanca Place Elevation

status: Sketch Design

print date: Wednesday, 21 September 2016

drawing ID: 1526-DA14

page: A









01 salamanca montage 01 (before)

Montage



02 salamanca montage 01 (after)

Montage

revisions

a 21.09.16 drawings issued for application of planning permit

APPLICATION FOR PLANNING PERMIT ONLY

original drawing size

1:10

1:50

1:100

1:200

500

2500

5000

10000

0mm

2000

4000

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status

Sketch Design

print date

Wednesday, 21 September 2016

drawing ID

1526-DA16

sheet

A

Montages 01

Montage





01 salamanca montage 02 (before)  
Montage



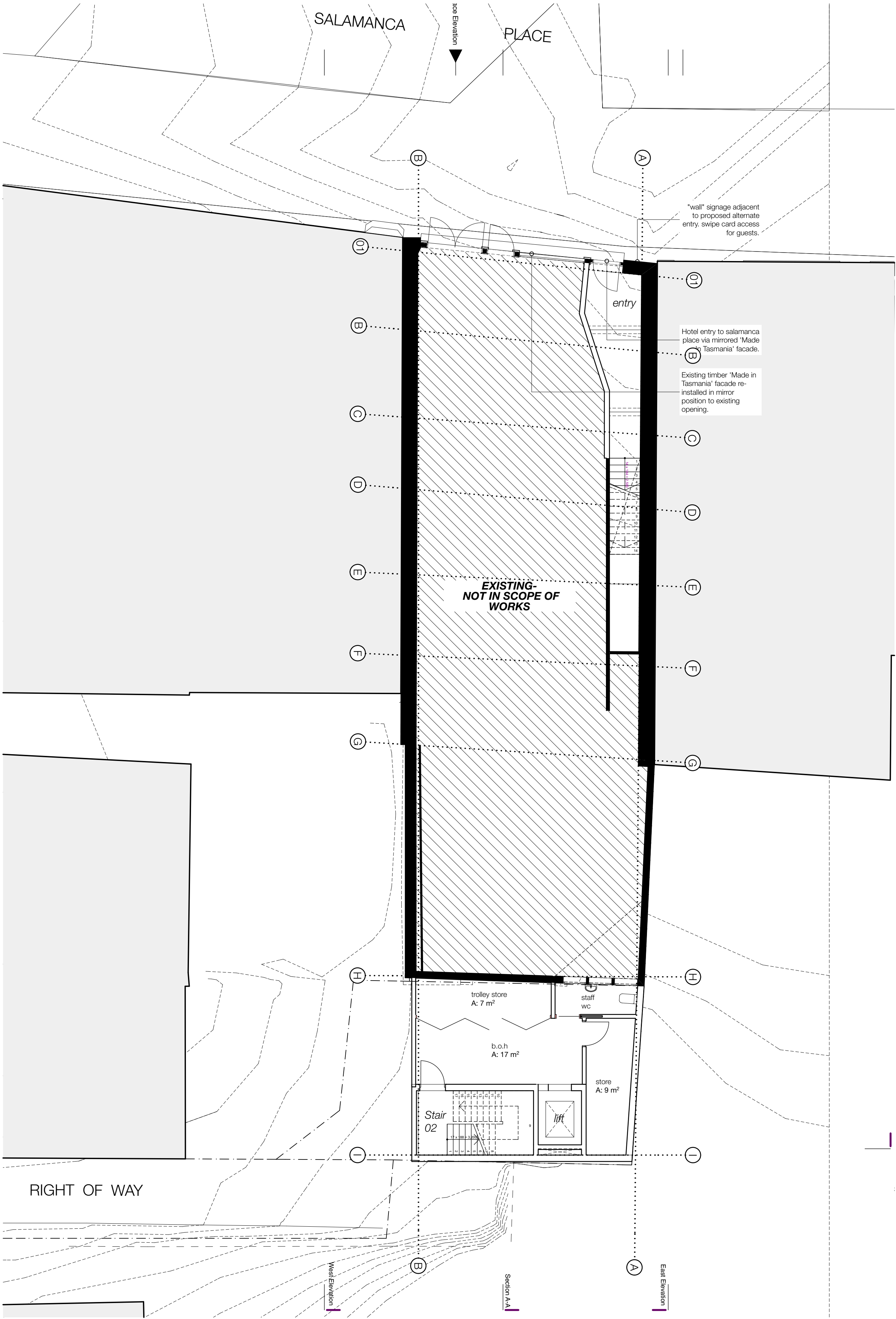
02 salamanca montage 02 (after)  
Montage

revisions		
a	21.09.16	drawings issued for application of planning permit

APPLICATION FOR PLANNING PERMIT ONLY

original drawing size		A1		25 Salamanca Place		circa morris-nunn architects		Montages 02	
				PV + DM Behrakis		Contact		Montage	
						41 ginium   27 hunter st   hobart   tas   7000			
						03 6236 9644		status	
						info@circamorrisnunn.com.au		print date	
								Wednesday, 21 September 2016	
								drawing 1P	
								1526-DA17	
								A	





**1** Ground Floor Proposed  
- 1:100

- Legend**
- Existing Walls
  - New Walls
  - To Be Demolished

revisions			
a	21.09.16	drawings issued for application of planning permit	
b	11.10.16	response to rfi	

APPLICATION FOR PLANNING PERMIT ONLY

original drawing size			
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**Ground Floor**  
**Plan**  
status **Sketch Design**  
print date **Tuesday, 11 October 2016**  
drawing rfi **1526-DA03**  
B



**1** Salamanca Place Elevation (existing)  
1:100



- Finishes Key**
- [CLD02] Vertical Timber Battens, Finish TBD.
  - [CLD03] X-Tend Mesh - Tension cable system to support vertical plant growth. (Transparent when no vegetation is there)
  - [CLD04] Artificial Turf Cladding
  - [CLD05] Everbrite Polycarbonate Cladding
  - [CLD06] Glazed Balustrade

revisions			
a	21.09.16	drawings issued for application of planning permit	
b	11.10.16	response	<b>1</b>
			-

**Salamanca Place Elevation (proposed)**  
1:100

APPLICATION FOR PLANNING PERMIT ONLY

original drawing size			
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1:200	5000		
0mm	2000	4000	10000

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**North Elevations**  
Elevation  
status  
print date  
drawing n°

**Sketch Design**  
**Tuesday, 11 October 2016**

**1526-DA13**

**B**



MONTPELIER RETREAT

Kennedy Lane

Salamanca Place

Salamanca Sq.

0 Site plan  
-  
scale 1:200

Notes:

Site Area : 498m<sup>2</sup>  
Existing Floor Area : 1522m<sup>2</sup>  
Proposed Floor Area : 1557m<sup>2</sup> inc. ex.

revisions			
a	21.09.16	drawings issued for application of planning permit	
b	11.10.16	response to rfi	

APPLICATION FOR PLANNING PERMIT ONLY

original drawing size

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1:100	1000	2000	5000
1:200	2000	4000	10000

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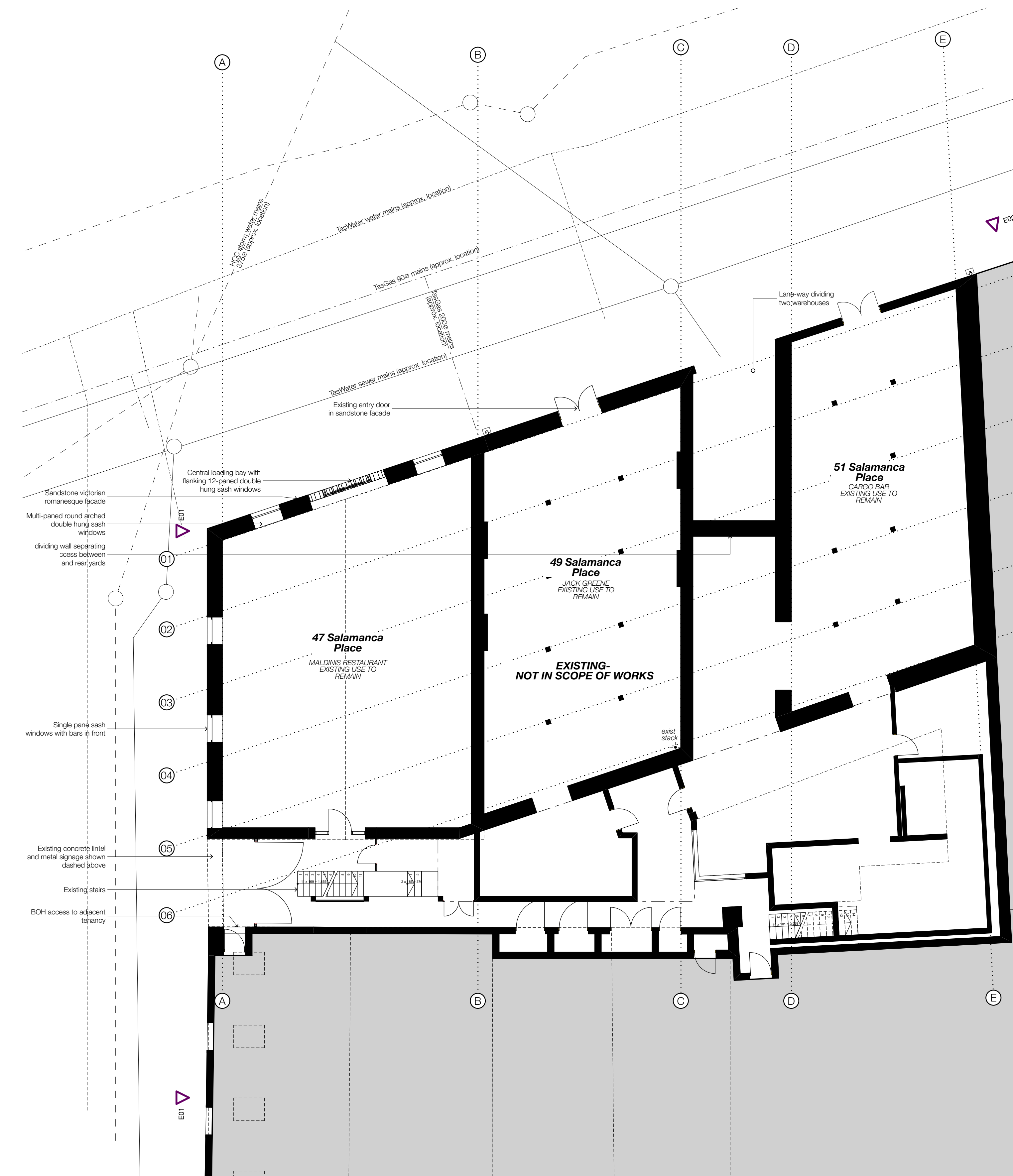
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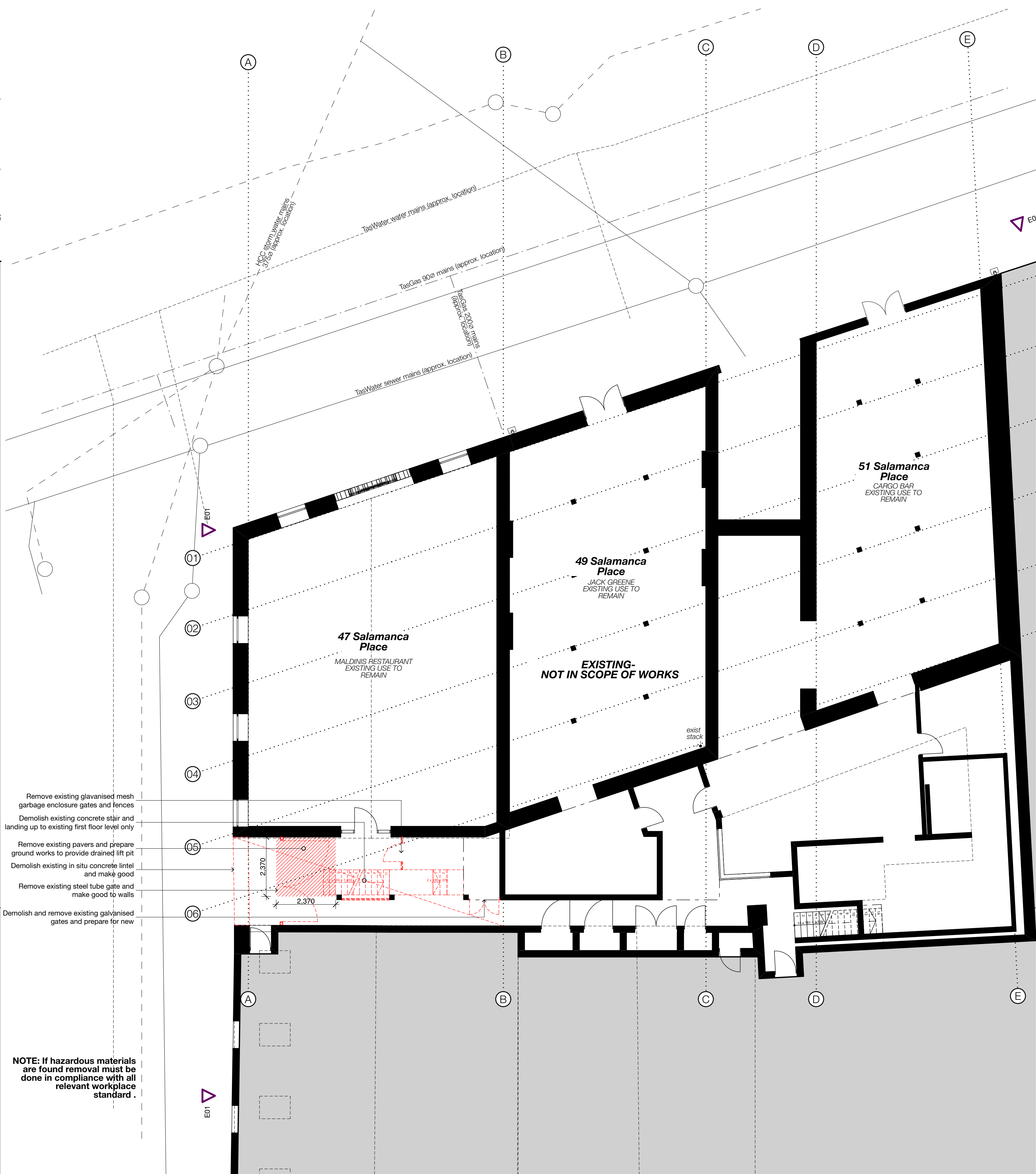
**Site plan**  
status  
print date  
drawing rfi

**Sketch Design**  
**Tuesday, 11 October 2016**  
**1528-DA01 PRB**





**1 Existing Ground plan** scale 1:100



NOTE: If hazardous materials are found removal must be done in compliance with all relevant workplace standard .

**2 Demolition Ground plan** scale 1:100

revisions	
a	21.09.16 drawings issued for application of planning permit
b	11.10.16 response to rfi

APPLICATION FOR PLANNING PERMIT ONLY

original drawing size			
A1			
DWG	100	200	500
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DWG	1000	2000	5000
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**Ground Existing + Demolition plan**  
status  
print date  
drawing rfi

**1528-DA02**  
**B**



1 Proposed Ground Floor  
- plan scale 1:100

revisions		
a	21.09.16	drawings issued for application of planning permit
b	11.10.16	response to rfi

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original drawing size

A1		1:10	1:50	1:100	1:200
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Ground Proposed  
plan  
status  
print date  
Tuesday, 11 October 2016

drawing 1/1  
1528-DA03  
B





1 Existing First plan scale 1:100



2 Demolition First plan scale 1:100

NOTE: If hazardous materials are found removal must be done in compliance with all relevant workplace standard .

revisions		
a	21.09.16	drawings issued for application of planning permit
b	11.10.16	response to rfi

APPLICATION FOR PLANNING PERMIT ONLY

original drawing size

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0mm	2000	4000	

**47-51 Salamanca Place**  
PV + DM Behrakis  
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Hobart  
TAS, 7001

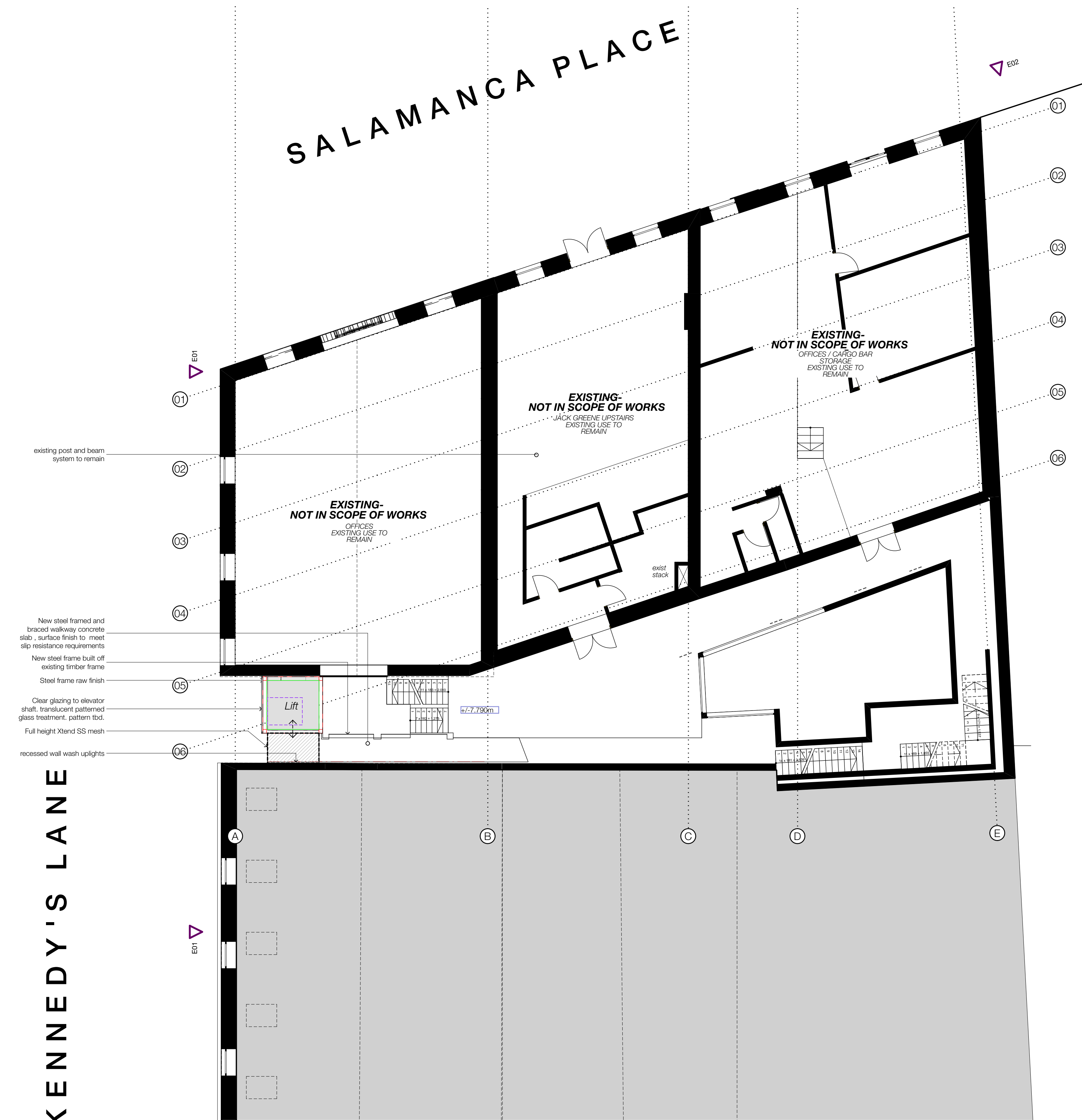
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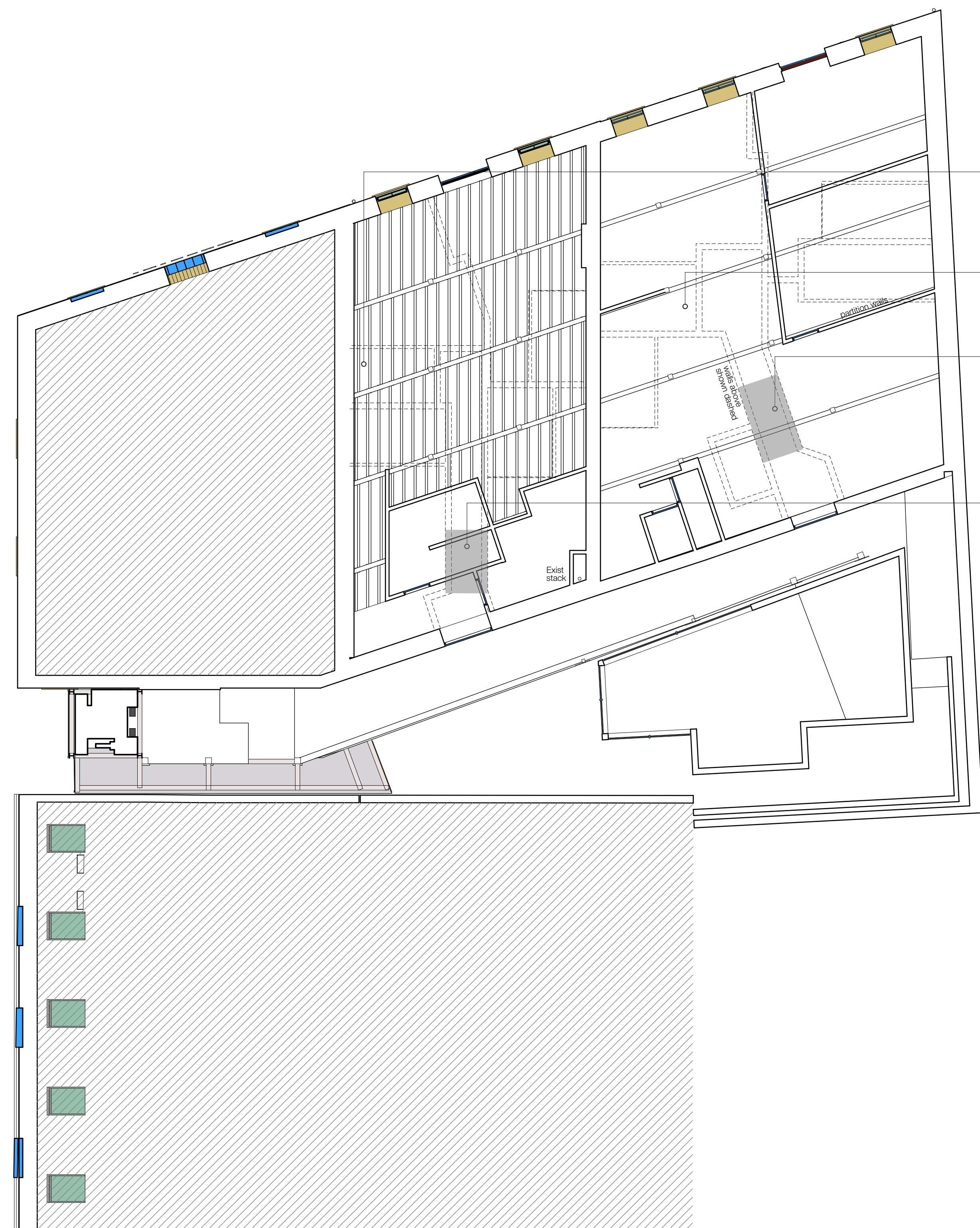
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**First Existing + Demolition plan**  
status  
print date  
drawing rfi

**1528-DA04**  
B



1 Proposed First Floor plan scale 1:100



2 Proposed First Floor RCP plan scale 1:100

revisions		
a	21.09.16	drawings issued for application of planning permit
b	11.10.16	response to rfi

APPLICATION FOR PLANNING PERMIT ONLY

original drawing size			
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TAS, 7001

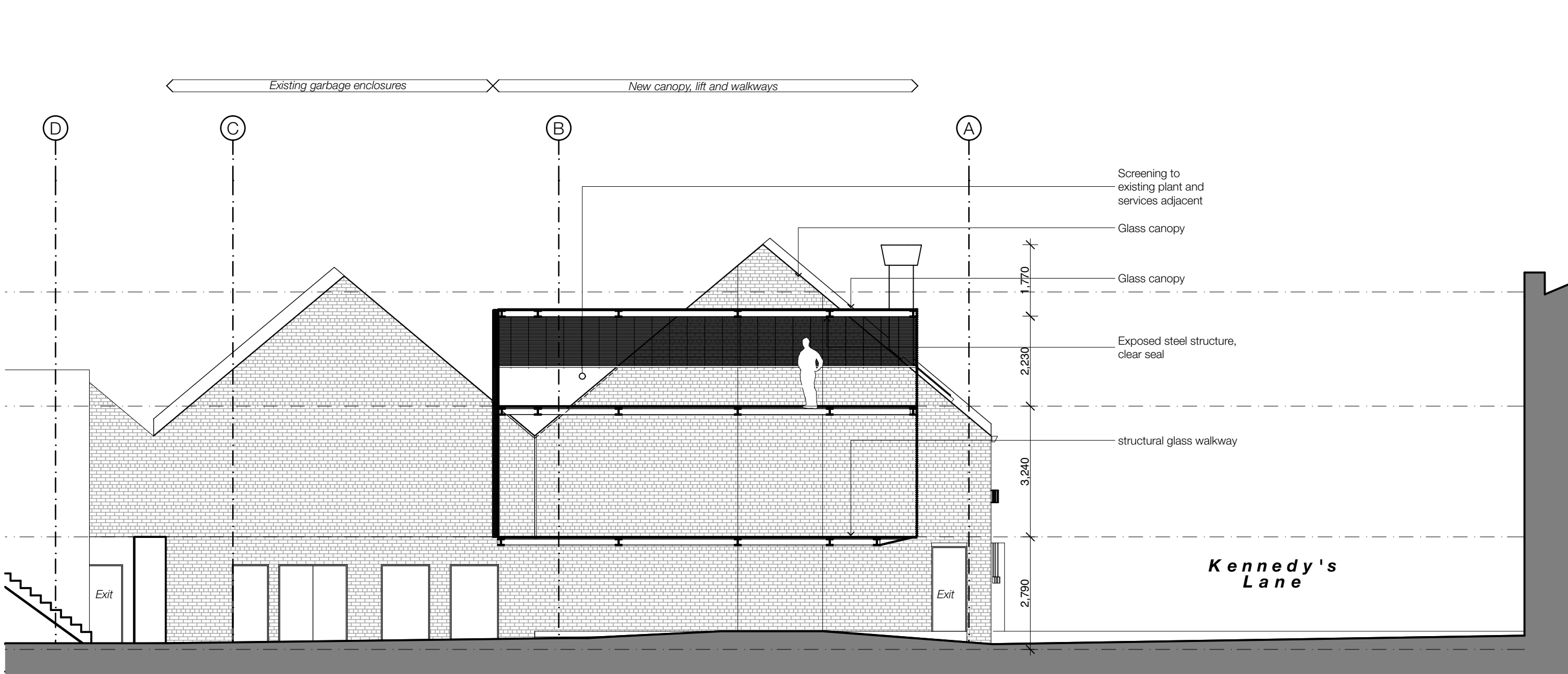
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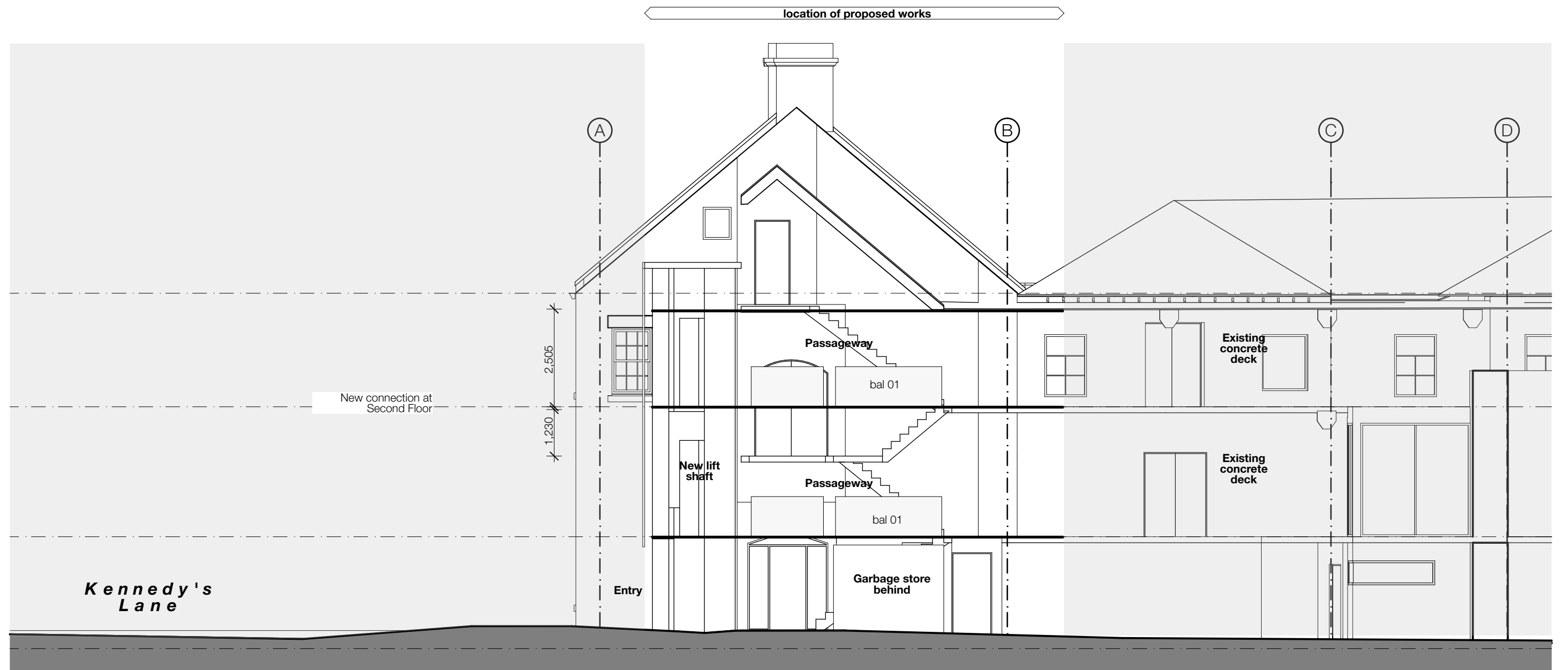
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First Proposed plan	
status	Sketch Design
print date	Tuesday, 11 October 2016
drawing ref	1528-DA05
issue	B

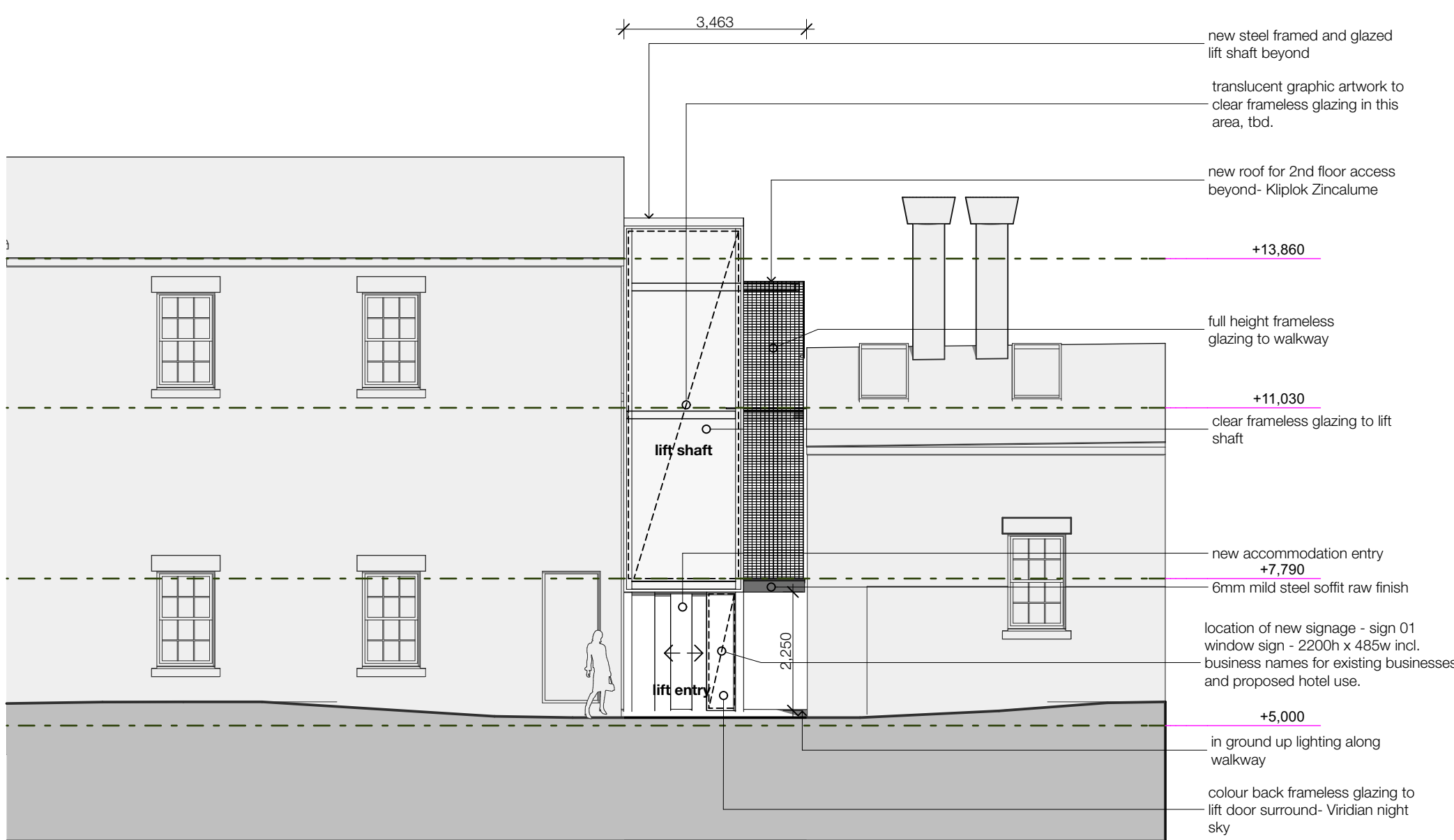
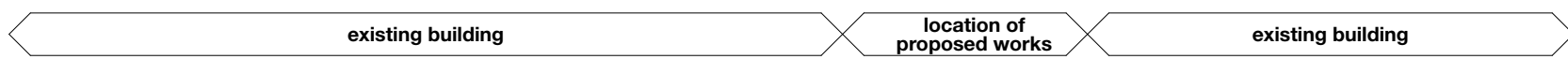




02 section A  
- sections scale 1:100



01 section B  
- sections scale 1:100



04 E01  
- Elevation scale 1:100



03 E02  
- Elevation scale 1:100

revisions		
a	21.09.16	drawings issued for application of planning permit
b	11.10.16	response to rfi

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original drawing size

A1		
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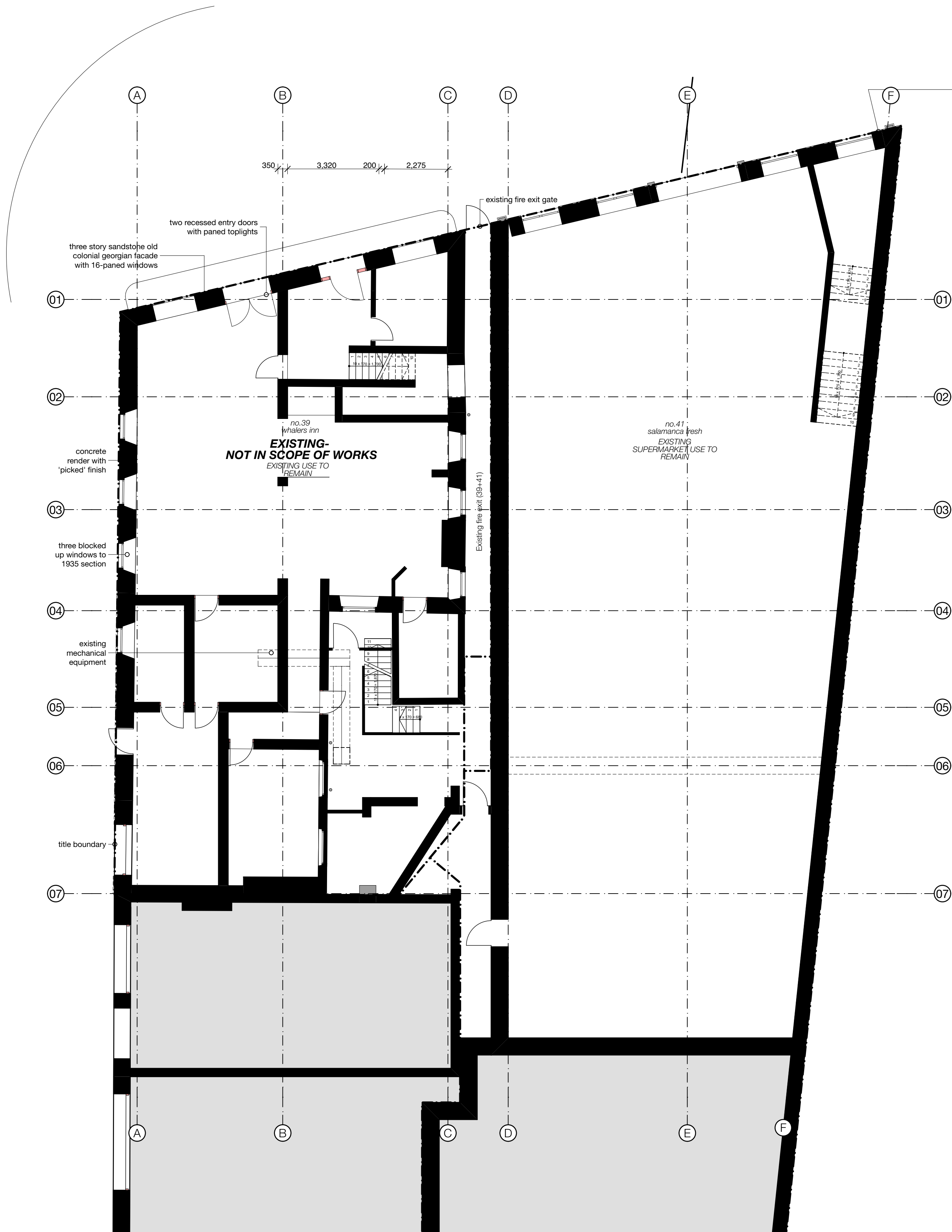
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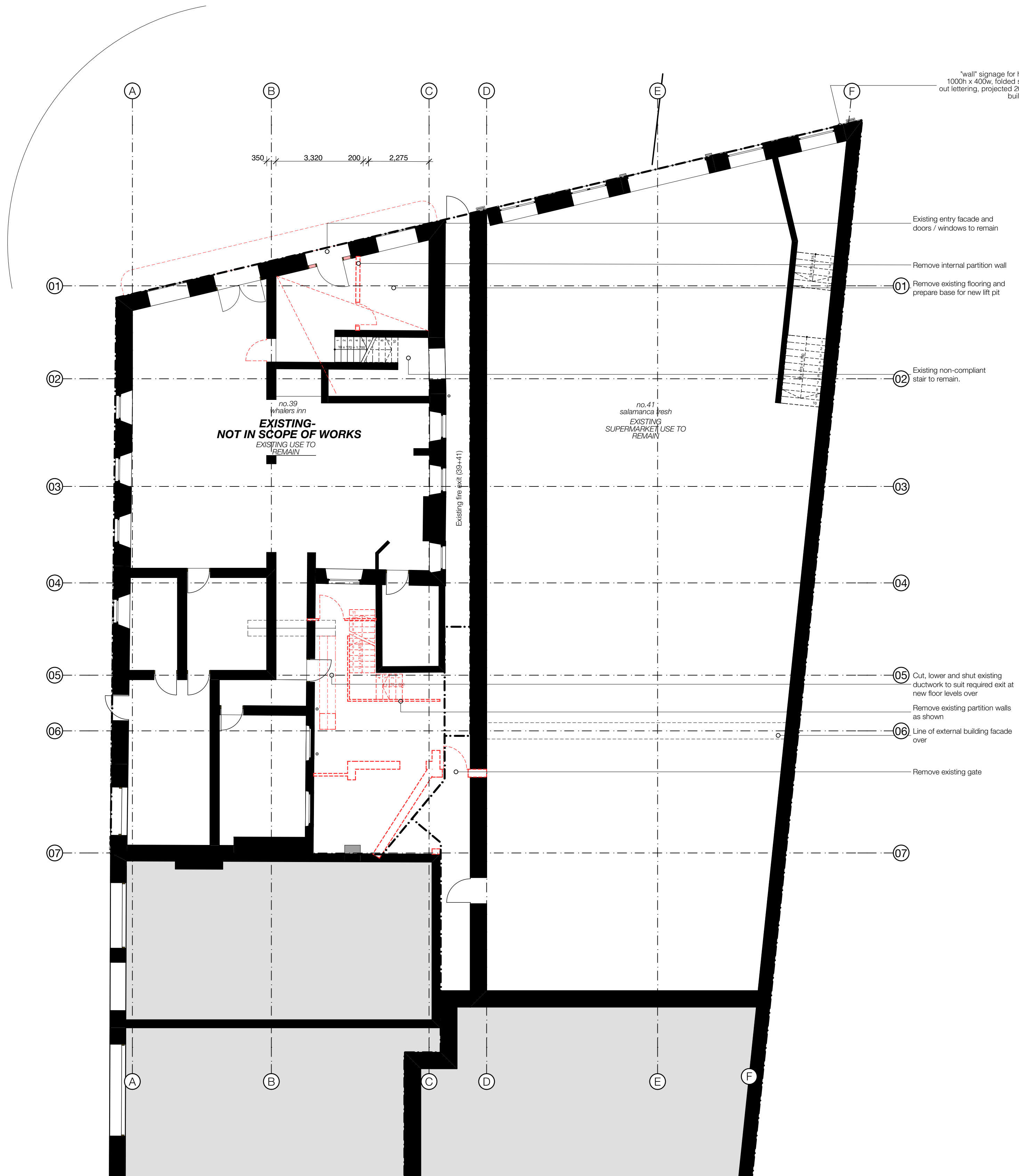
elevations +sections  
sections

status  
print date  
drawing rfi  
Tuesday, 11 October 2016

1528-DA10  
B



**01 Ground Floor Existing Plan** scale 1:100



**02 Ground Floor Demolition Plan** scale 1:100

- Legend**
- Existing Walls
  - New Walls
  - To Be Demolished

revisions		
a	21.09.16	drawings issued for application of planning permit
b	11.10.16	response to rfi

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original drawing size

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**Ground Exist + Demolition Plan**

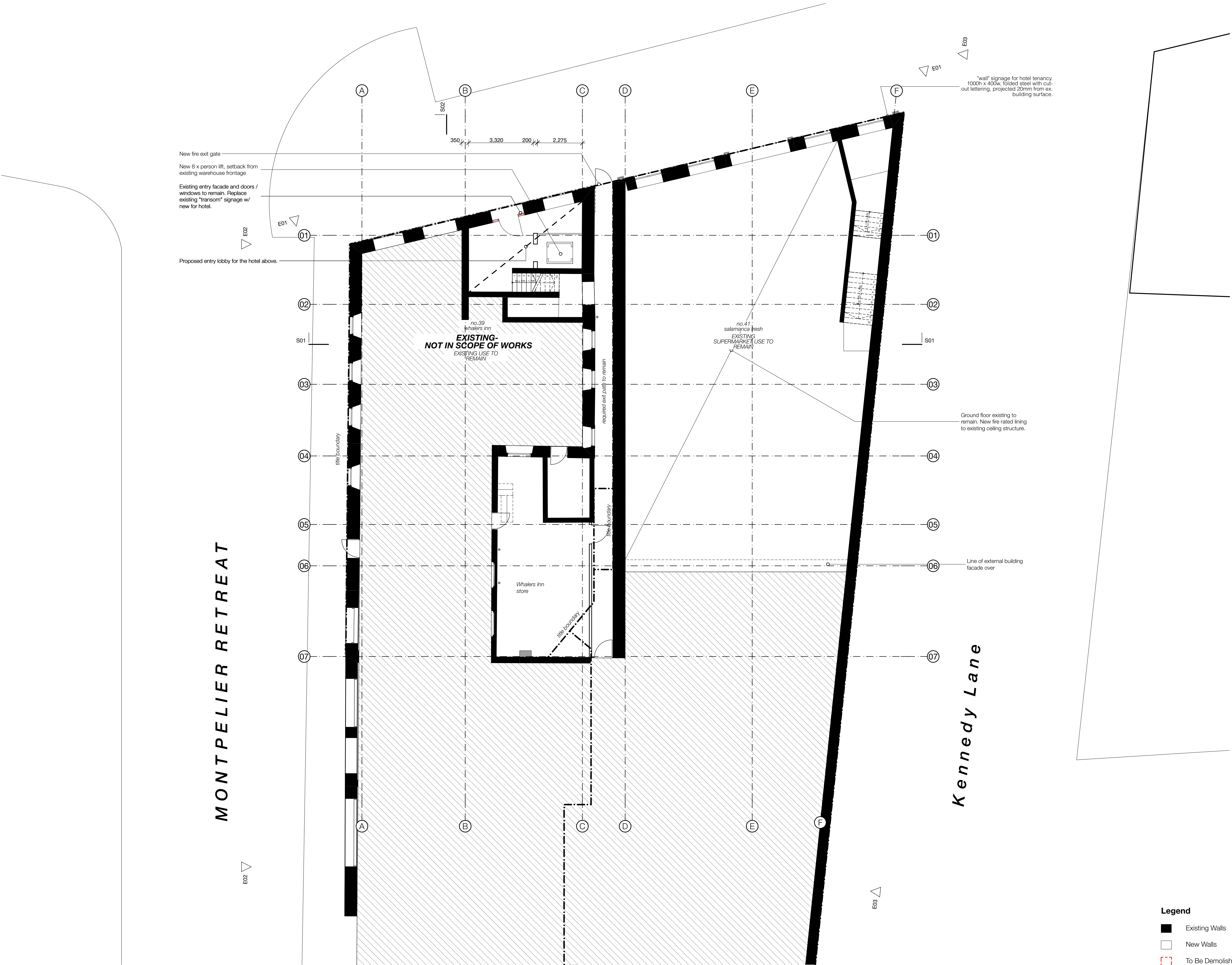
status **Sketch Design**

print date **Tuesday, 11 October 2016**

drawing n° **1529-DA02**

issue **B**





**01** Ground Floor Proposed Plan  
scale 1:100

revisions		
a	21.09.16	drawings issued for application of planning permit
b	11.10.16	response to rfi

APPLICATION FOR PLANNING PERMIT ONLY

original drawing size

0mm	2000	4000
1000	2000	4000

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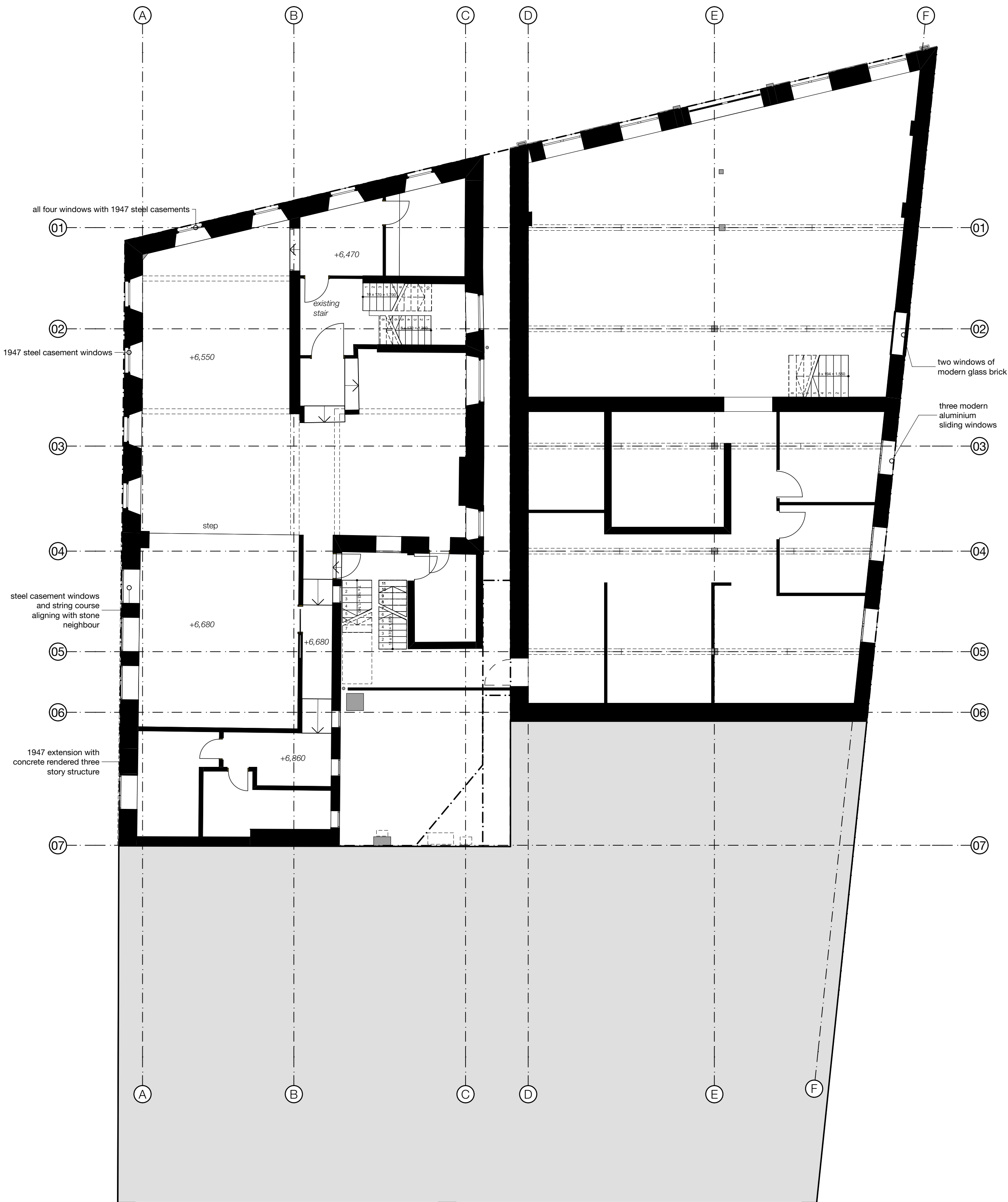
**Ground Proposed Plan**

status **Sketch Design**

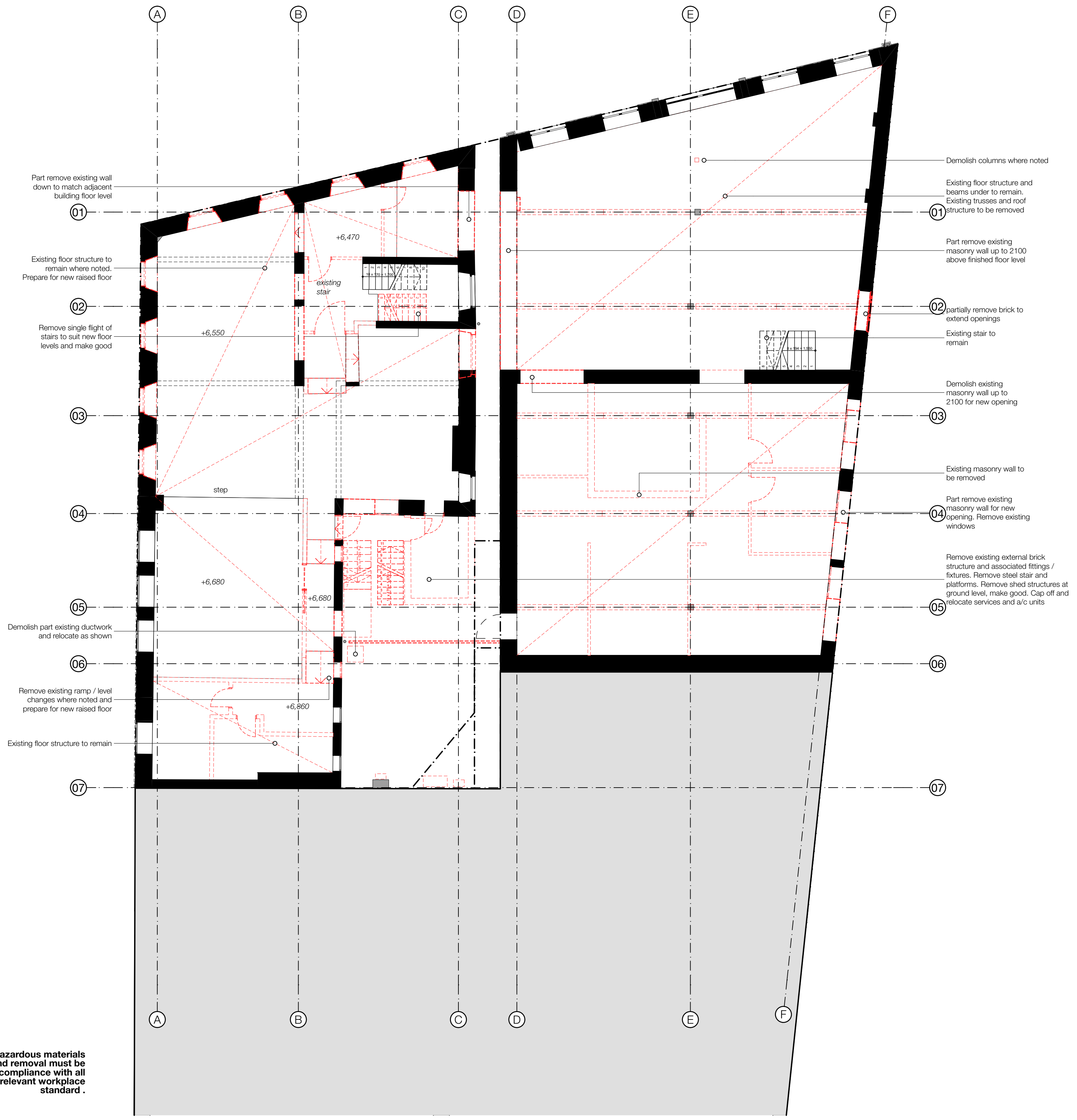
print date **Tuesday, 11 October 2016**

drawing ref **1529-DA03**

issue **B**



**01 First Floor Existing Plan** scale 1:100



**02 First Floor Demolition Plan** scale 1:100

- Legend**
- Existing Walls
  - New Walls
  - To Be Demolished

**revisions**

a	21.09.16	drawings issued for application of planning permit
b	11.10.16	response to rfi

APPLICATION FOR PLANNING PERMIT ONLY

original drawing size

0mm	2000	4000
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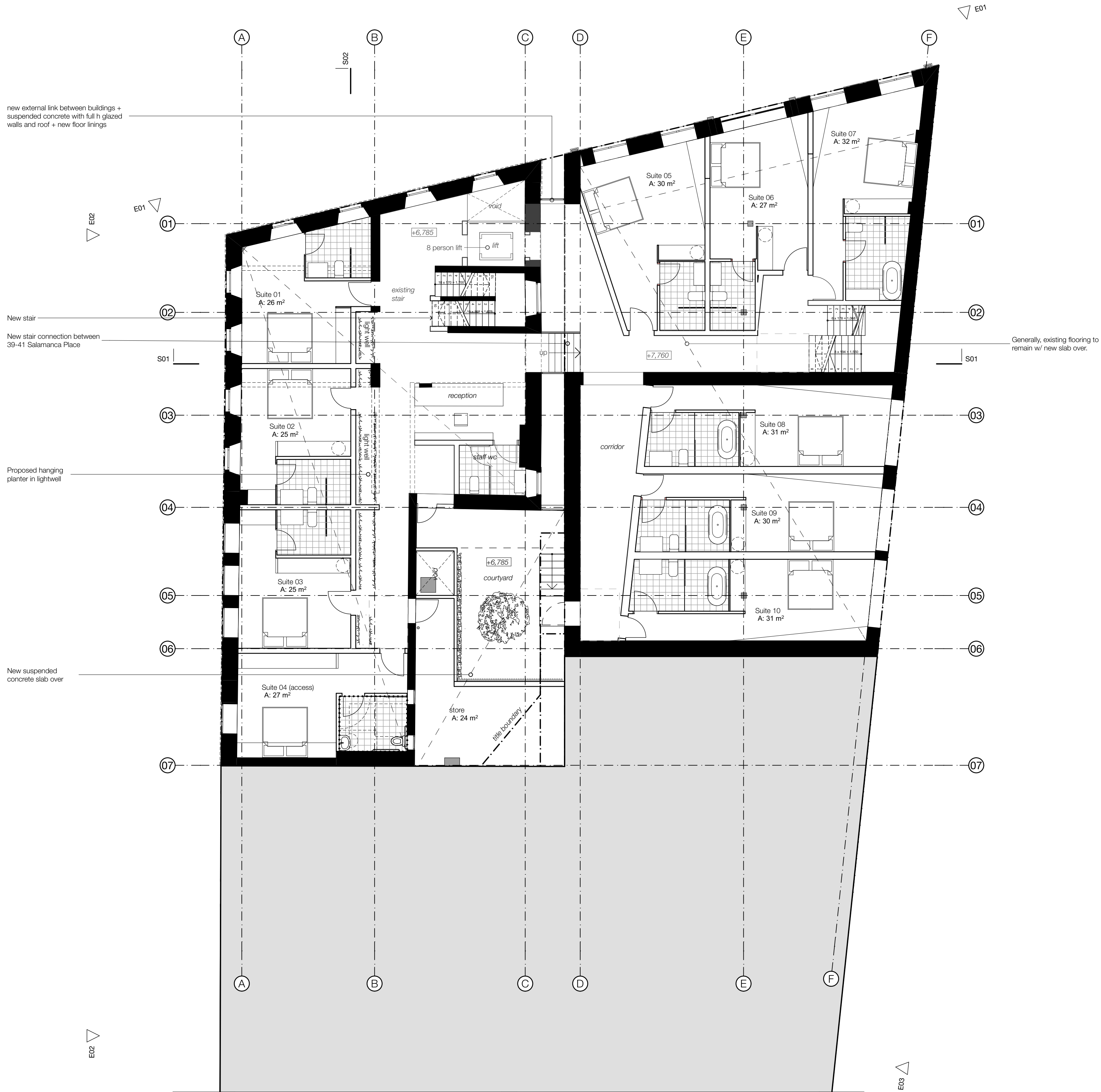
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**First Exist + Demolition Plan**

status **Sketch Design**  
print date **Tuesday, 11 October 2016**  
drawing n° **1529-DA04**  
issue **B**

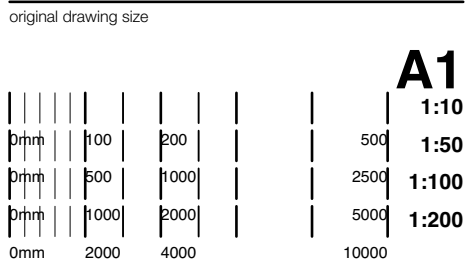




**01 First Floor Proposed Plan** scale 1:100

revisions		
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b	11.10.16	response to rfi

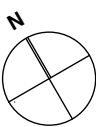
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**Legend**

- Existing Walls
- New Walls
- To Be Demolished

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**First Floor Proposed Plan**

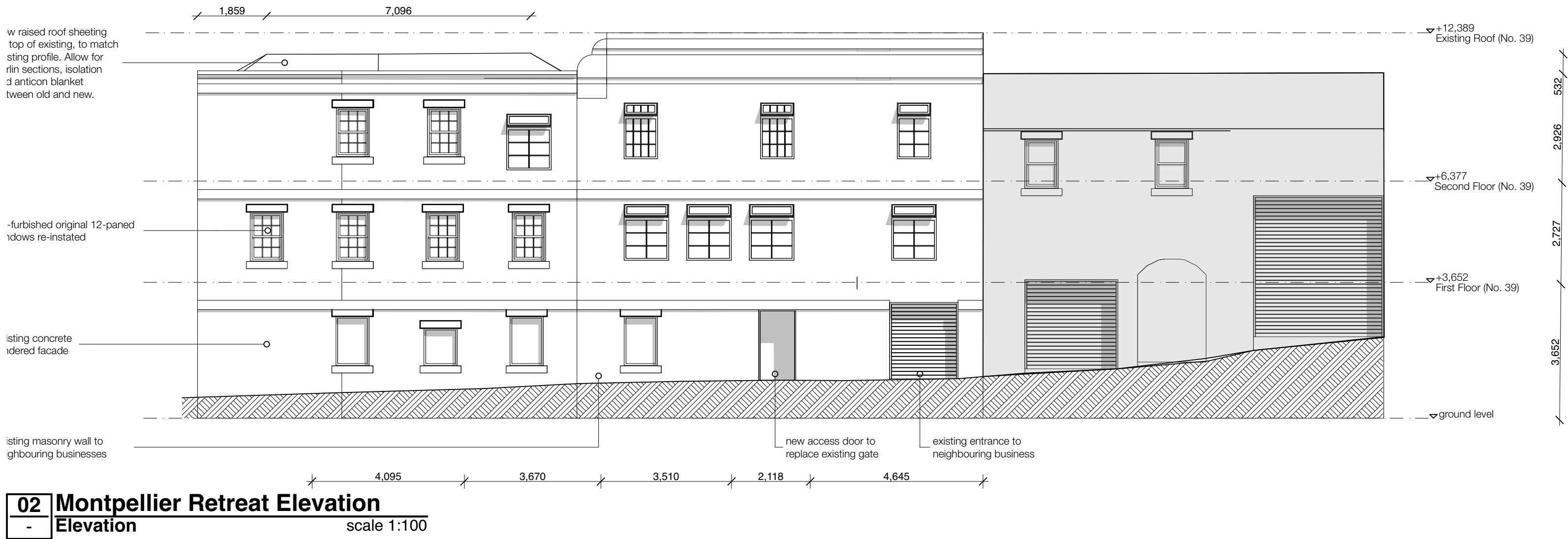
**Sketch Design**  
status  
print date  
drawing rfi  
Tuesday, 11 October 2016

**1529-DA05**  
issue

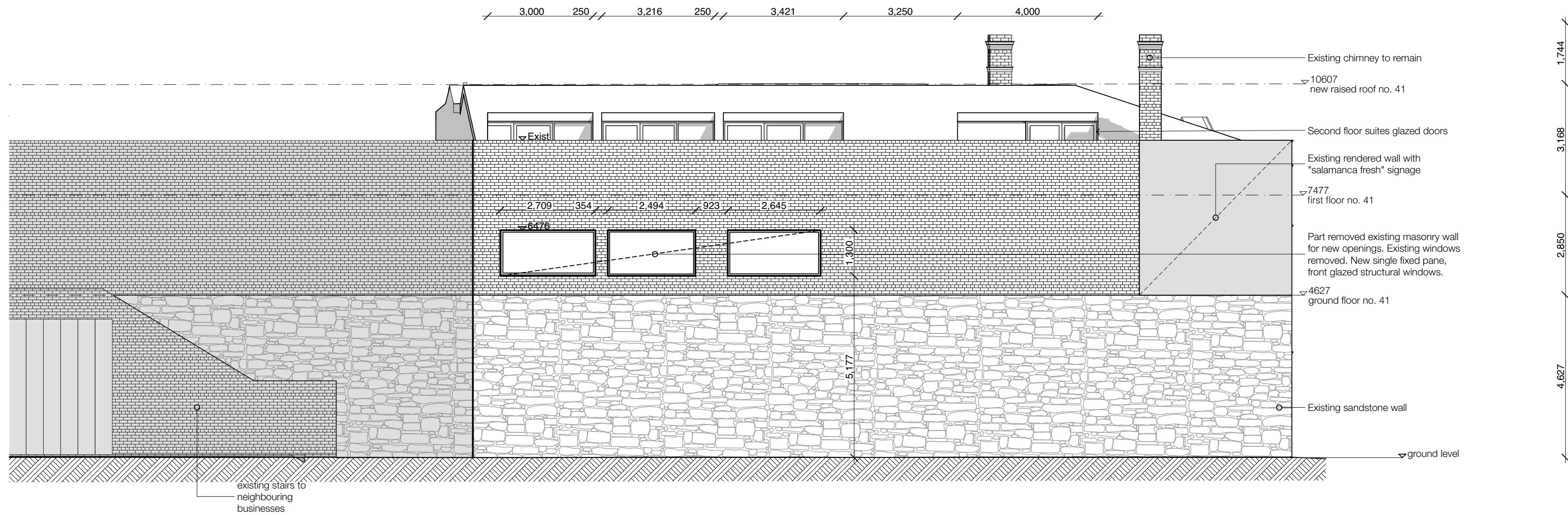
**B**



**01 Salamanca Place Elevation**  
- Elevation scale 1:100



**02 Montpellier Retreat Elevation**  
- Elevation scale 1:100



**03 Kennedy Lane Elevation**  
- Elevation scale 1:100

revisions	
a	21.09.16 drawings issued for application of planning permit
b	11.10.16 response to rfi

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original drawing size		39 Salamanca Place		circa morris-nunn architects		Elevations 01	
		PV + DM Behrakis		Contact		Elevation	
				GPO Box 67 Hobart TAS, 7001		status	
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						print date	
						Tuesday, 11 October 2016	
						drawing rfi	
						1529-DA09	
						B	



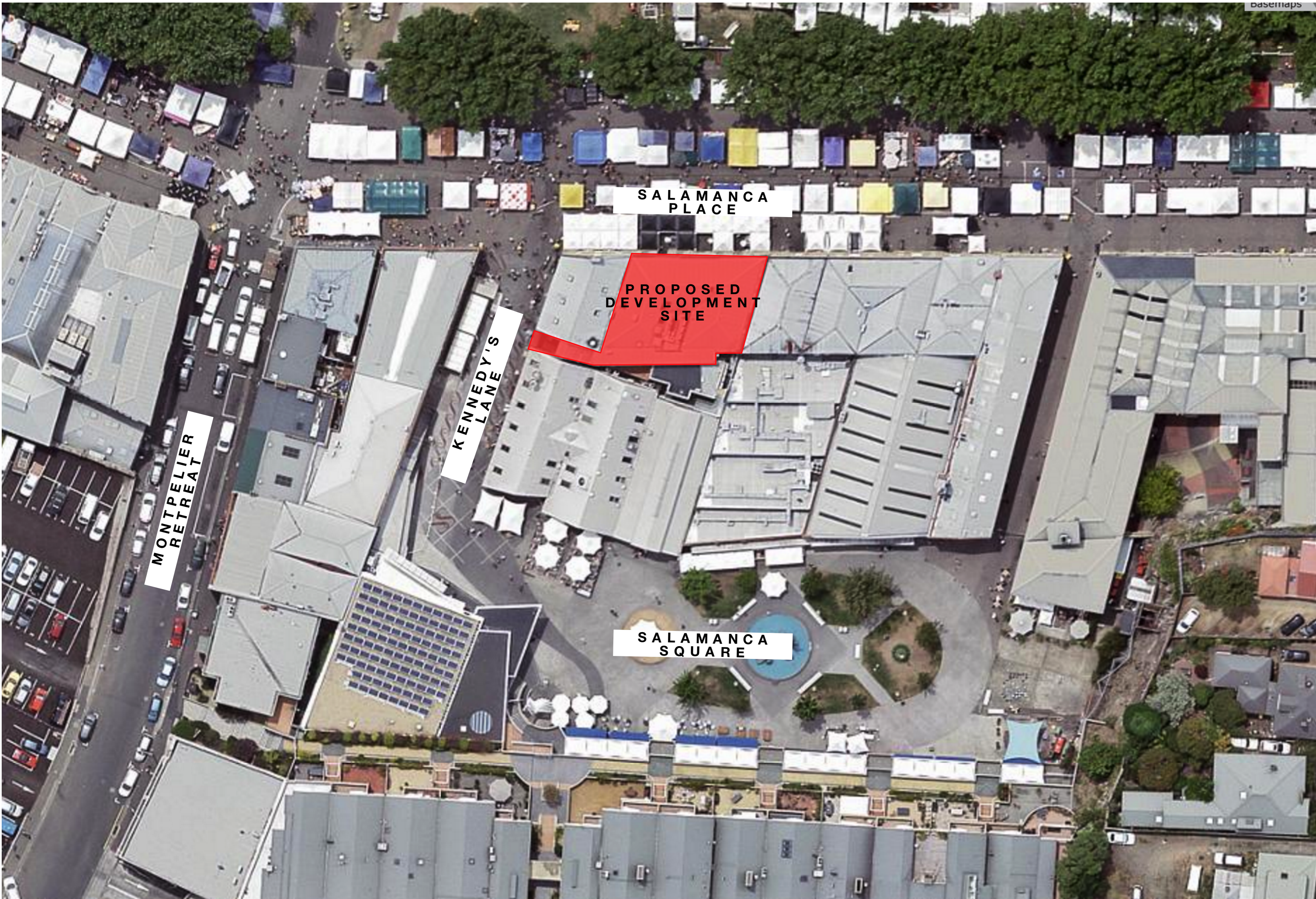
# 47-51 Salamanca Place

## Drawings List

- 1528 - DA00 Location Plan
- 1528 - DA01 Site Plan
- 1528 - DA02 Ground Floor Existing + Demolition Plans
- 1528 - DA03 Ground Floor Plan
- 1528 - DA04 First Floor Existing + Demolition Plans
- 1528 - DA05 First Floor Plan
- 1528 - DA06 Second Floor Existing + Demolition Plans
- 1528 - DA07 Second Floor Plan
- 1528 - DA08 Attic Existing + Demolition Plans
- 1528 - DA09 Attic Floor Plan+ Roof Plan

1528 - DA10 Cross section+ Elevations

1528 - DA11 Montage



1	Context plan	scale 1:500
-	plan	

revisions		
a	21.09.16	drawings issued for application of planning permit

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original drawing size

0mm	2000	4000	10000
1:10	1:50	1:100	1:200

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Location plan/cover plan

status

print date

drawing r"

Sketch Design

Wednesday, 21 September 2016

1528-DA00

issue

A



MONTPELIER RETREAT

Kennedy Lane

Salamanca Place

Salamanca Sq.

0 Site plan

scale 1:200

Notes:

Site Area : 498m<sup>2</sup>  
Existing Floor Area : 1522m<sup>2</sup>  
Proposed Floor Area : 1557m<sup>2</sup> inc. ex.

revisions

a 21.09.16 drawings issued for application of planning permit

APPLICATION FOR PLANNING PERMIT ONLY

original drawing size

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1:10	100	200	500
1:50	500	1000	2500
1:100	1000	2000	5000
1:200	2000	4000	10000

A1

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Site plan

status

print date

drawing 1/1

issue

1528-DA01

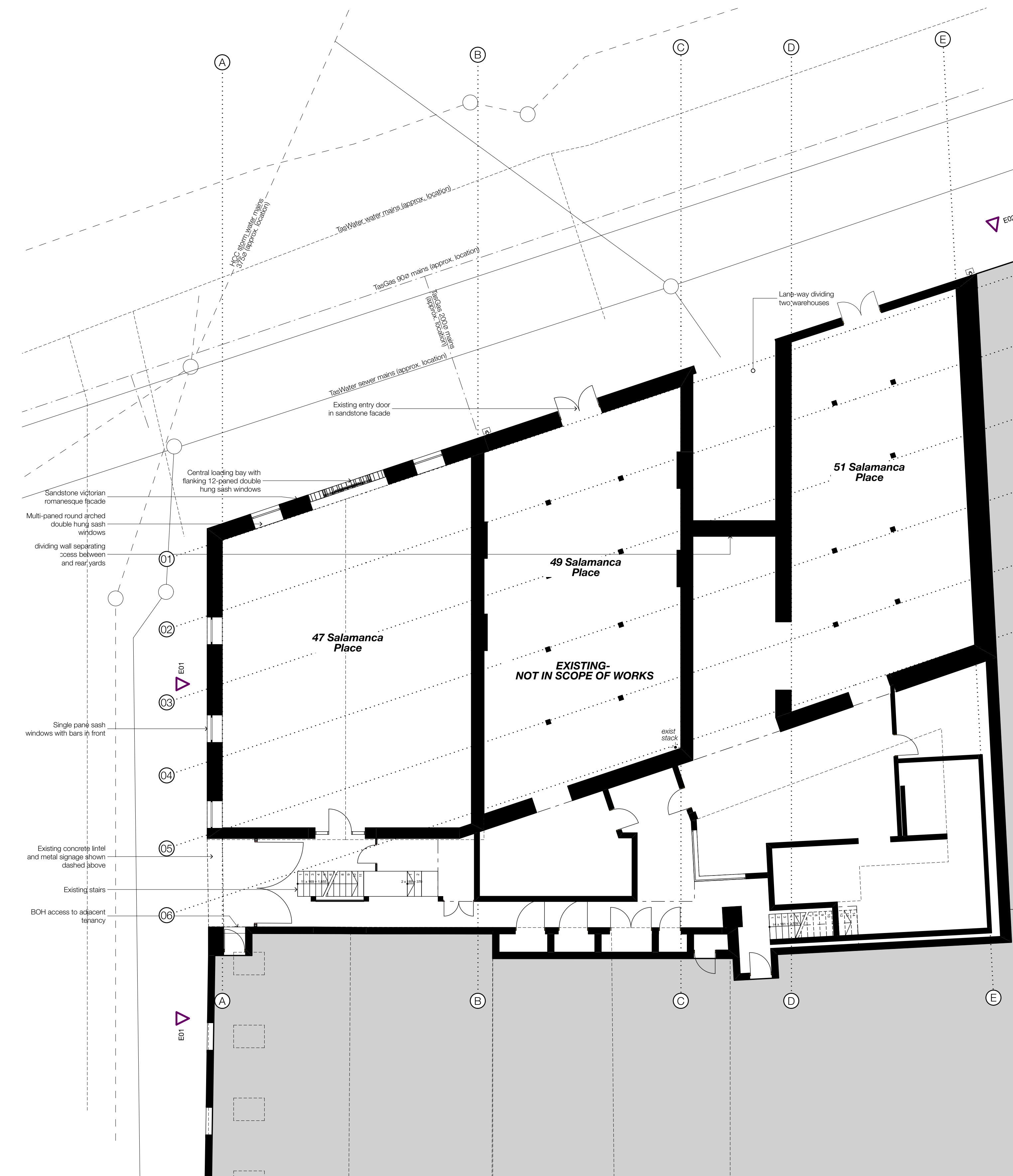
PRA

Sketch Design

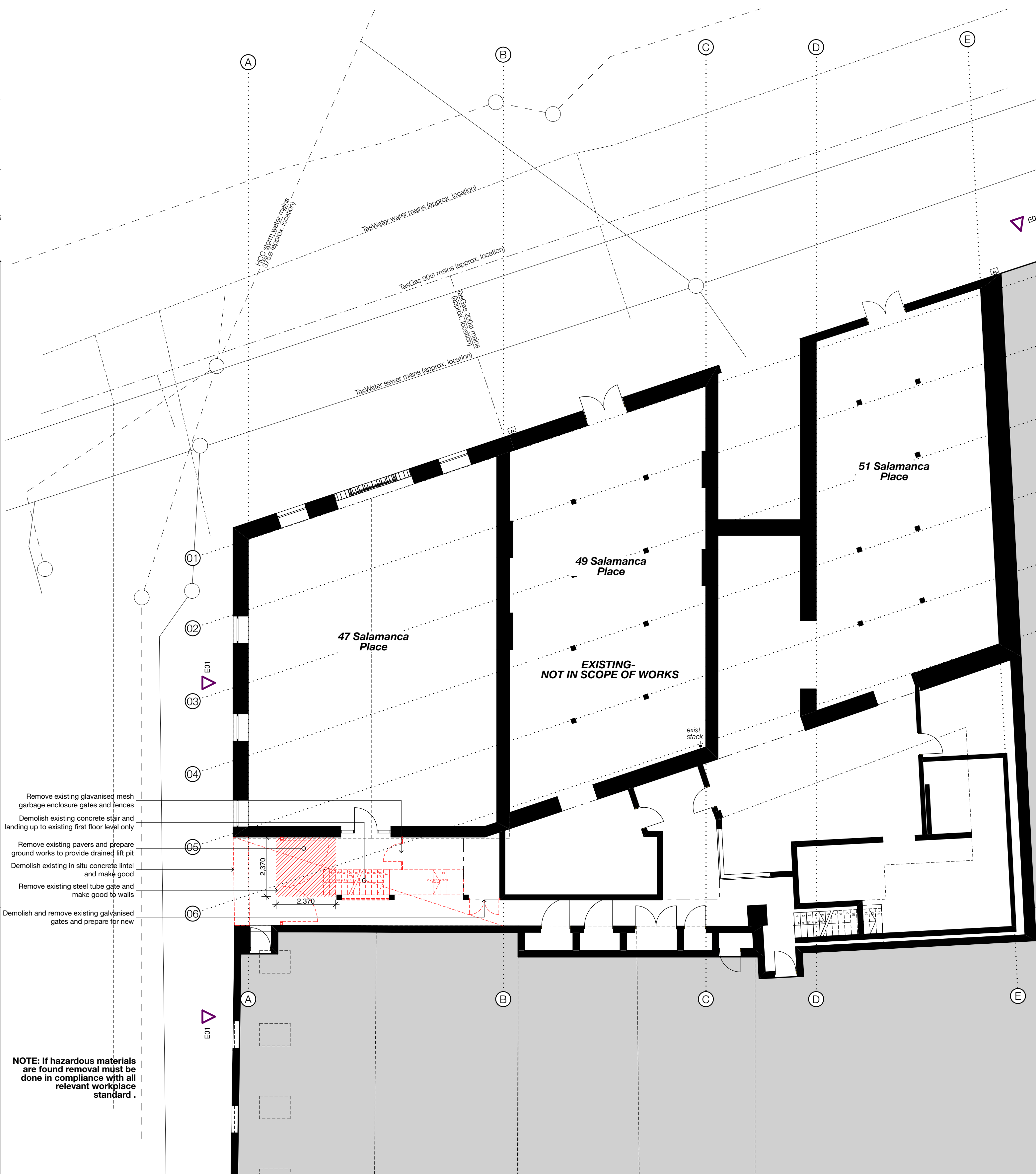
Wednesday, 21 September 2016

1528-DA01

PRA



1 Existing Ground plan scale 1:100



2 Demolition Ground plan scale 1:100

revisions	
a	21.09.16 drawings issued for application of planning permit

# APPLICATION FOR PLANNING PERMIT ONLY

original drawing size			
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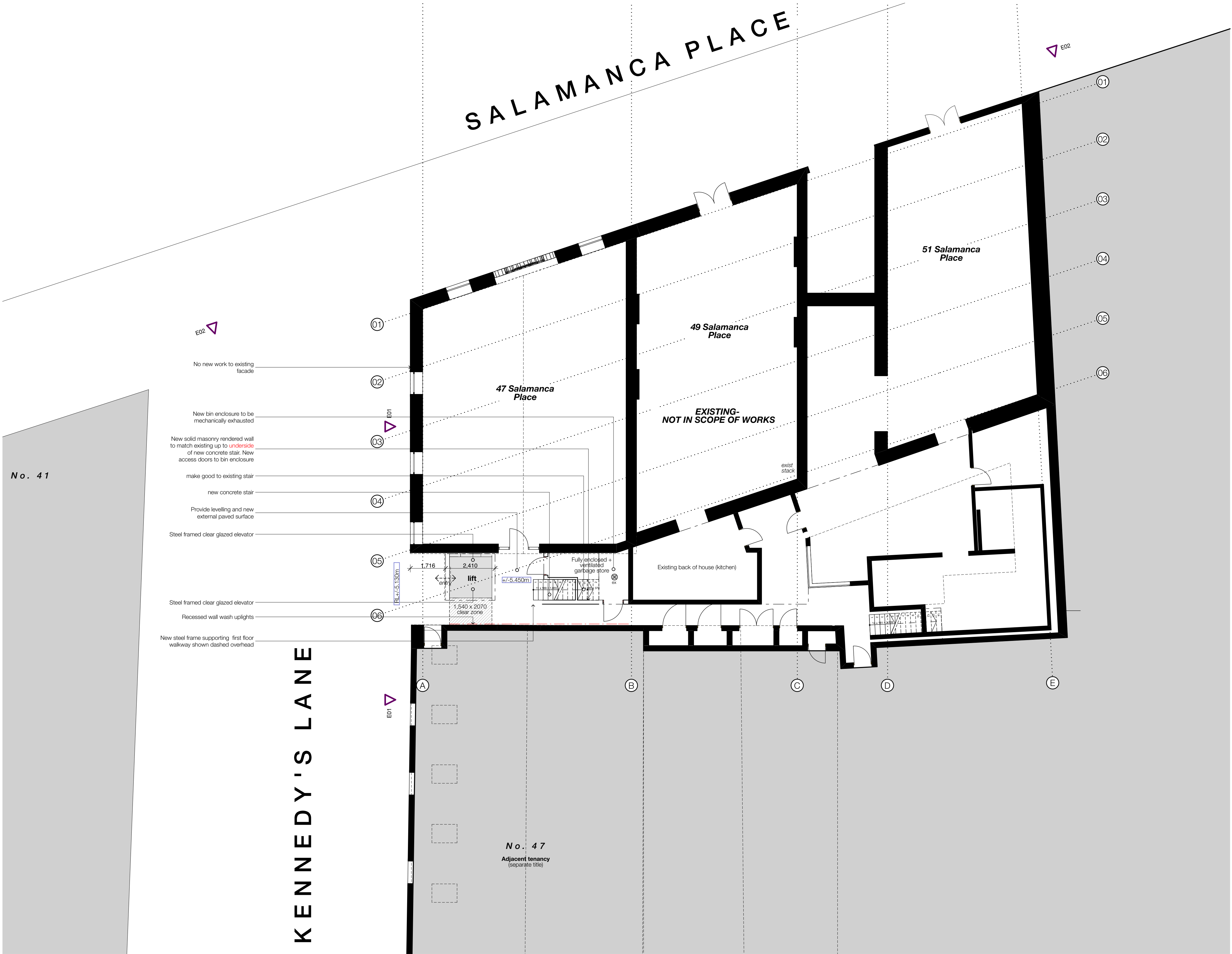
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**Ground Existing + Demolition plan**  
status **Sketch Design**  
print date **Wednesday, 21 September 2016**  
drawing ref **1528-DA02**  
issue **A**

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1 Proposed Ground Floor  
- plan scale 1:100

revisions		
a	21.09.16	drawings issued for application of planning permit

APPLICATION FOR PLANNING PERMIT ONLY

original drawing size

0mm	2000	4000
1000	2000	4000

A1

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500	2500	10000	20000
1000	5000	20000	40000

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Ground Proposed plan

status

print date

drawing r"

issue

Sketch Design

Wednesday, 21 September 2016

1528-DA03

A

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1 Existing First plan scale 1:100



2 Demolition First plan scale 1:100

NOTE: If hazardous materials are found removal must be done in compliance with all relevant workplace standard .

revisions

a	21.09.16	drawings issued for application of planning permit
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APPLICATION FOR PLANNING PERMIT ONLY

original drawing size

0mm	2000	4000
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A1

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First Existing + Demolition plan

status

Sketch Design

print date

Wednesday, 21 September 2016

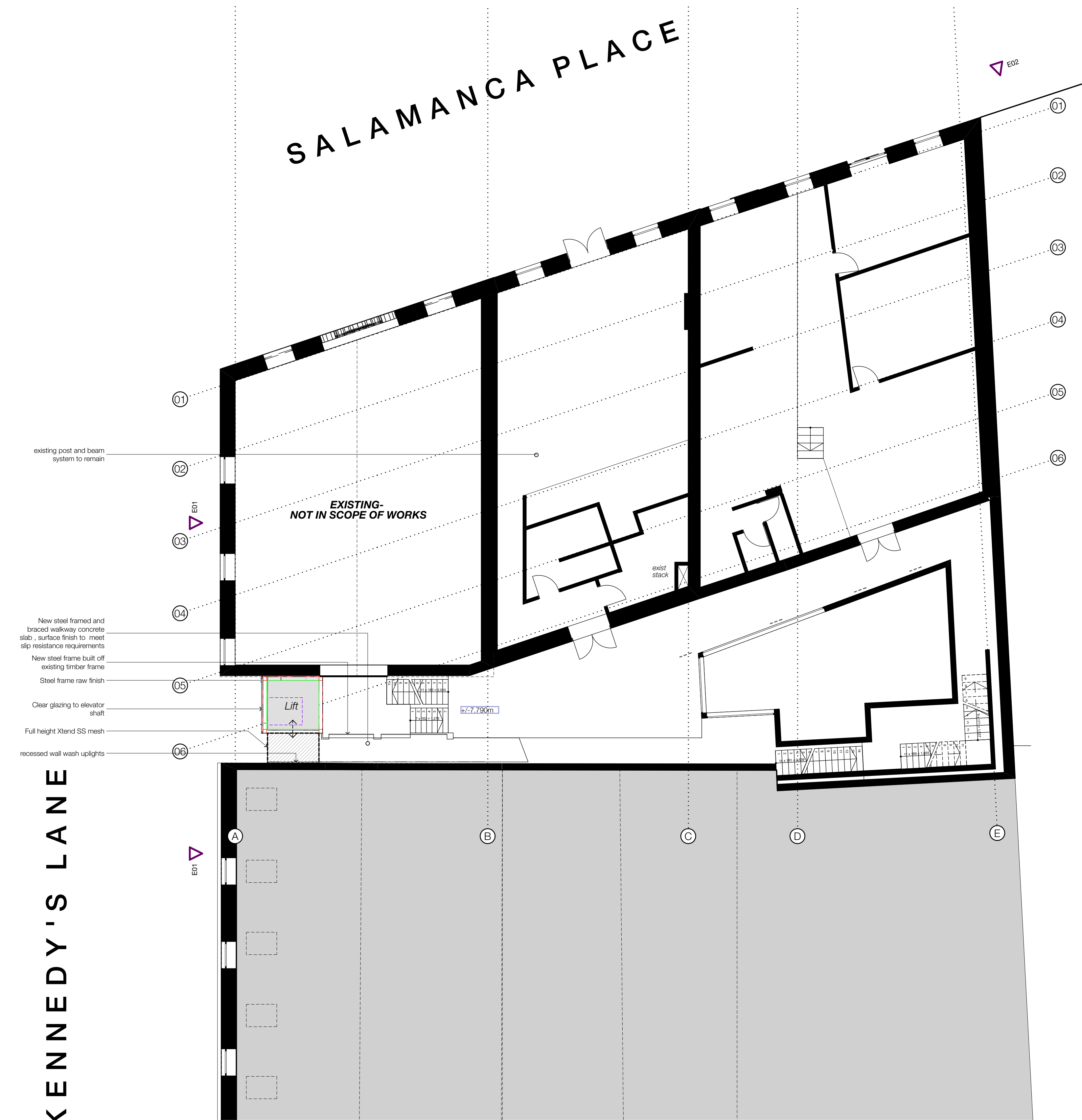
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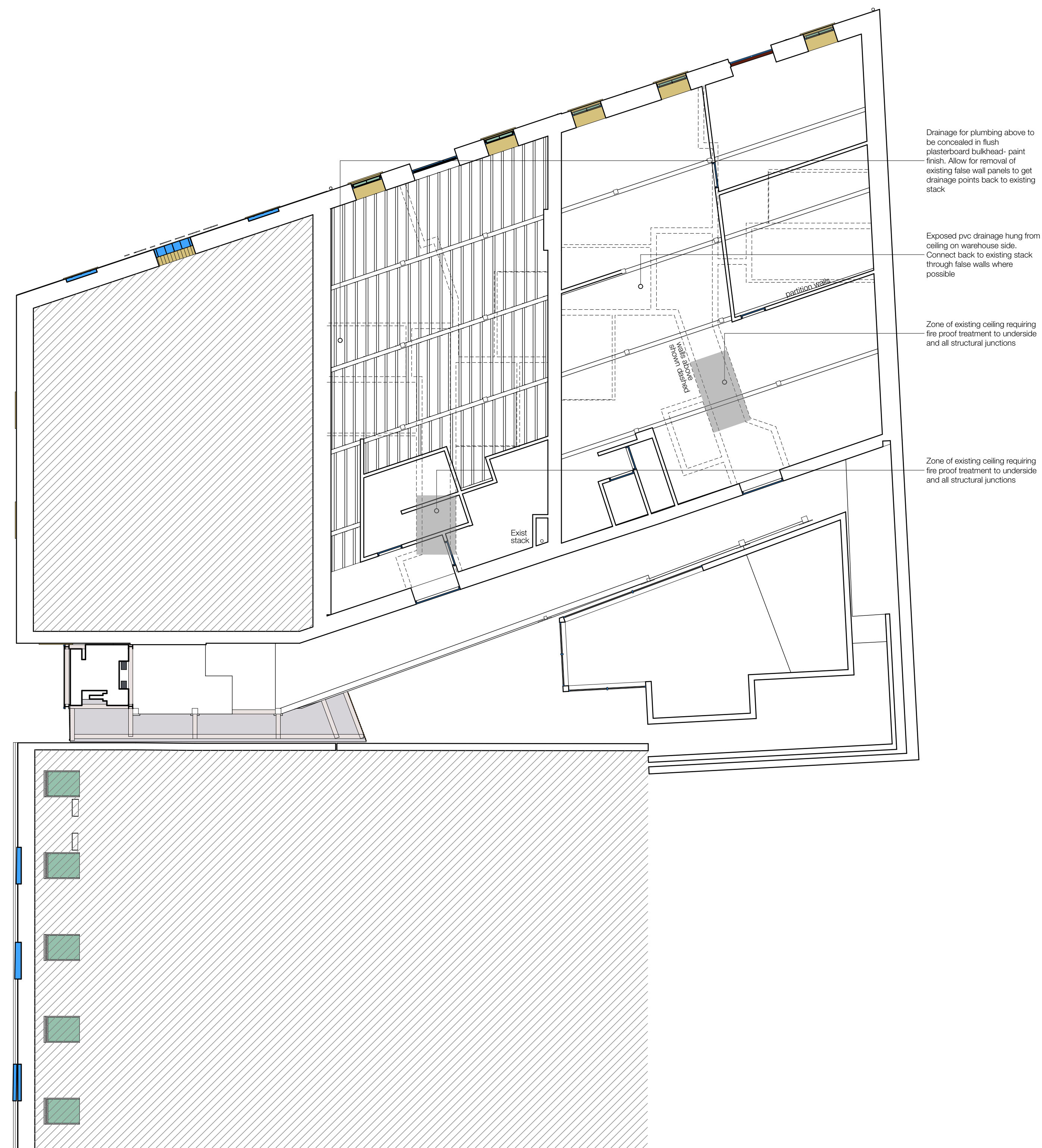
issue

A





1 Proposed First Floor plan scale 1:100



2 Proposed First Floor RCP plan scale 1:100

revisions  
a 21.09.16 drawings issued for application of planning permit

APPLICATION FOR PLANNING PERMIT ONLY

original drawing size									
A1									
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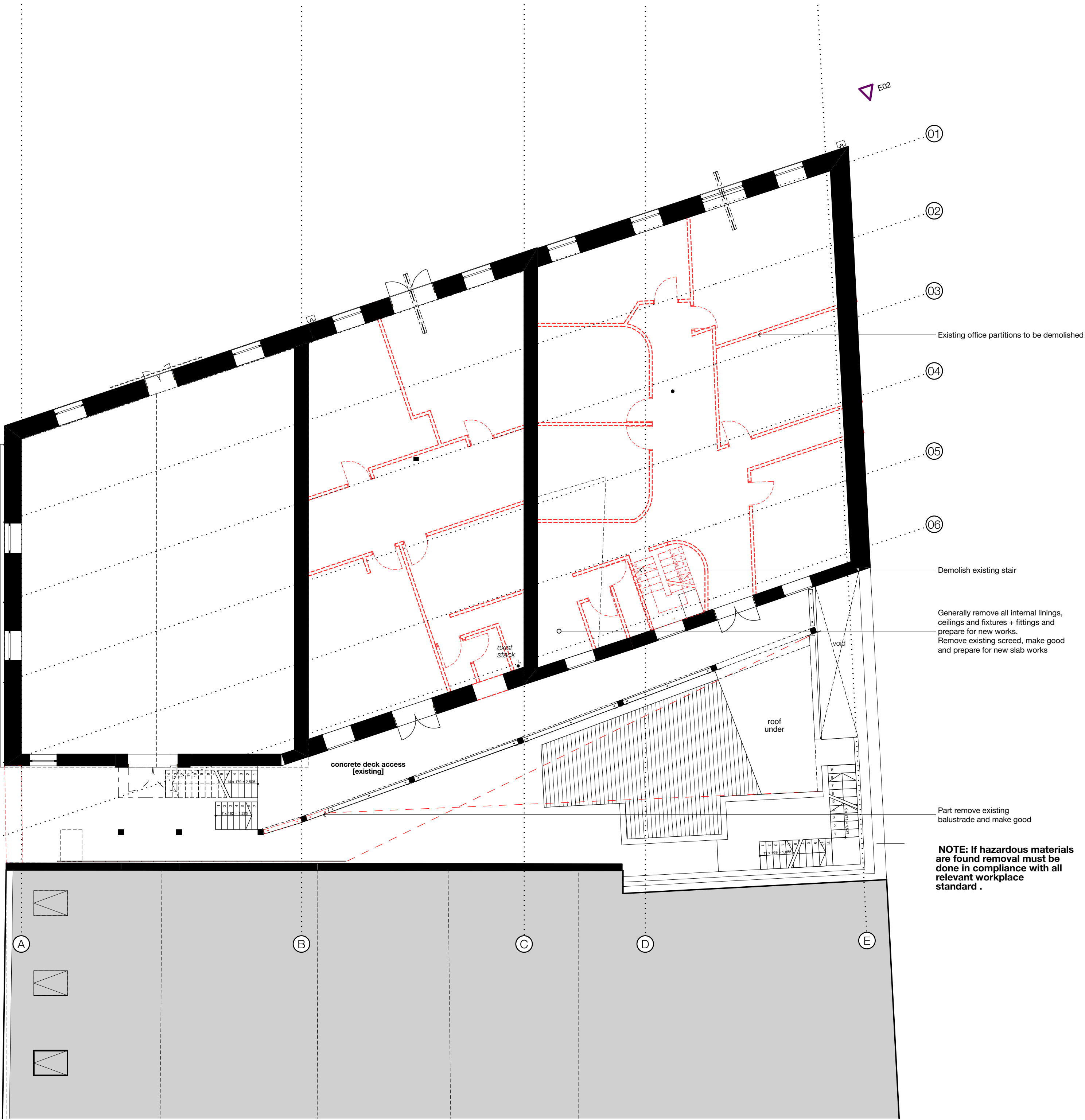
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First Proposed plan  
status  
Sketch Design  
print date  
Wednesday, 21 September 2016  
drawing ref  
1528-DA05  
issue  
A



1 Existing Second  
- 1:100

2 Demolition Second  
- 1:100

revisions		
a	21.09.16	drawings issued for application of planning permit

APPLICATION FOR PLANNING PERMIT ONLY

original drawing size

0mm	2000	4000	10000
1:10	1:50	1:100	1:200

**A1**

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**Second Existing + Demolit plan**

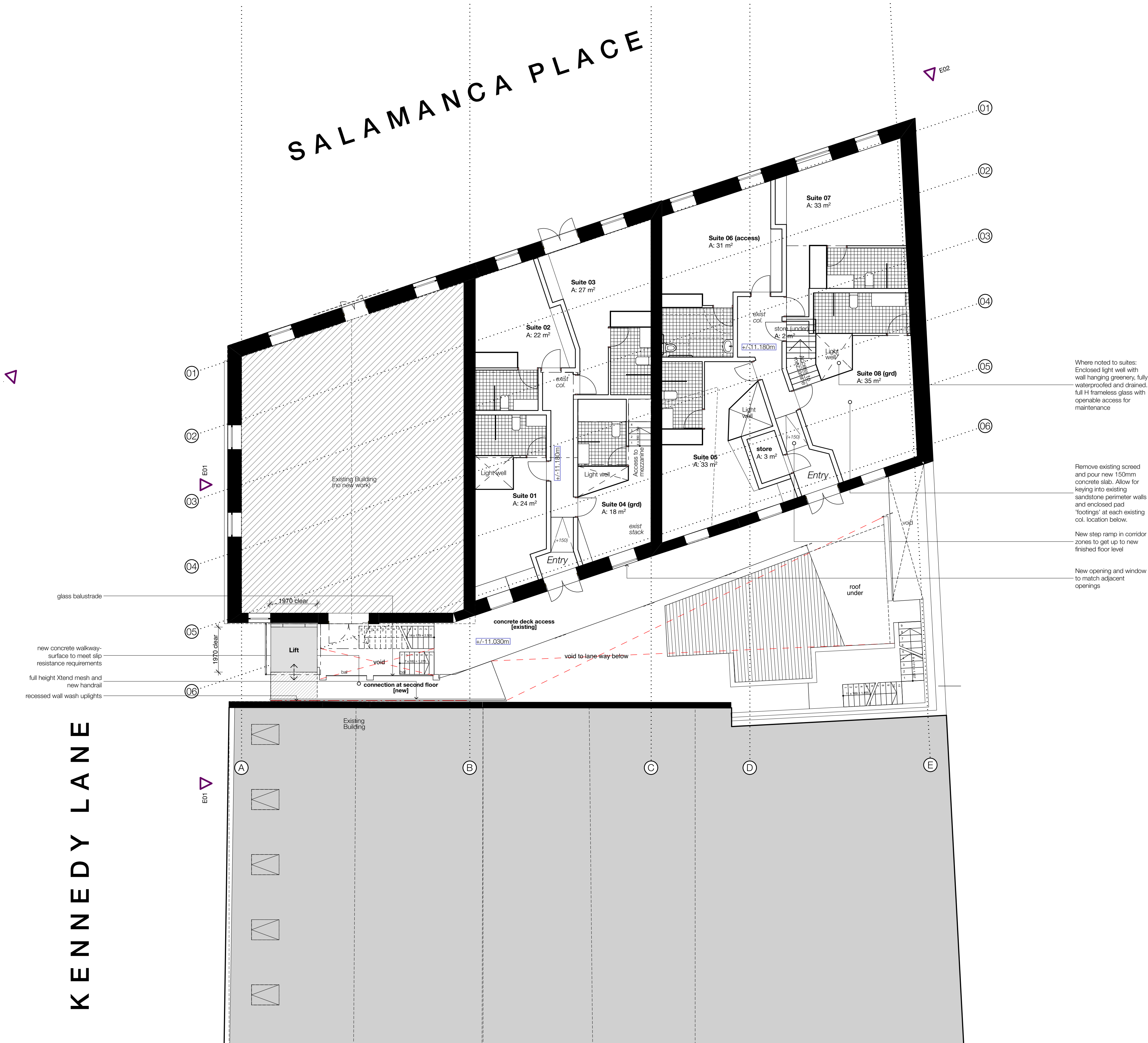
status **Sketch Design**

print date **Wednesday, 21 September 2016**

drawing ref **1528-DA06**

issue **A**





1 Proposed Second Floor  
- plan scale 1:100

revisions		
a	21.09.16	drawings issued for application of planning permit

APPLICATION FOR PLANNING PERMIT ONLY

original drawing size

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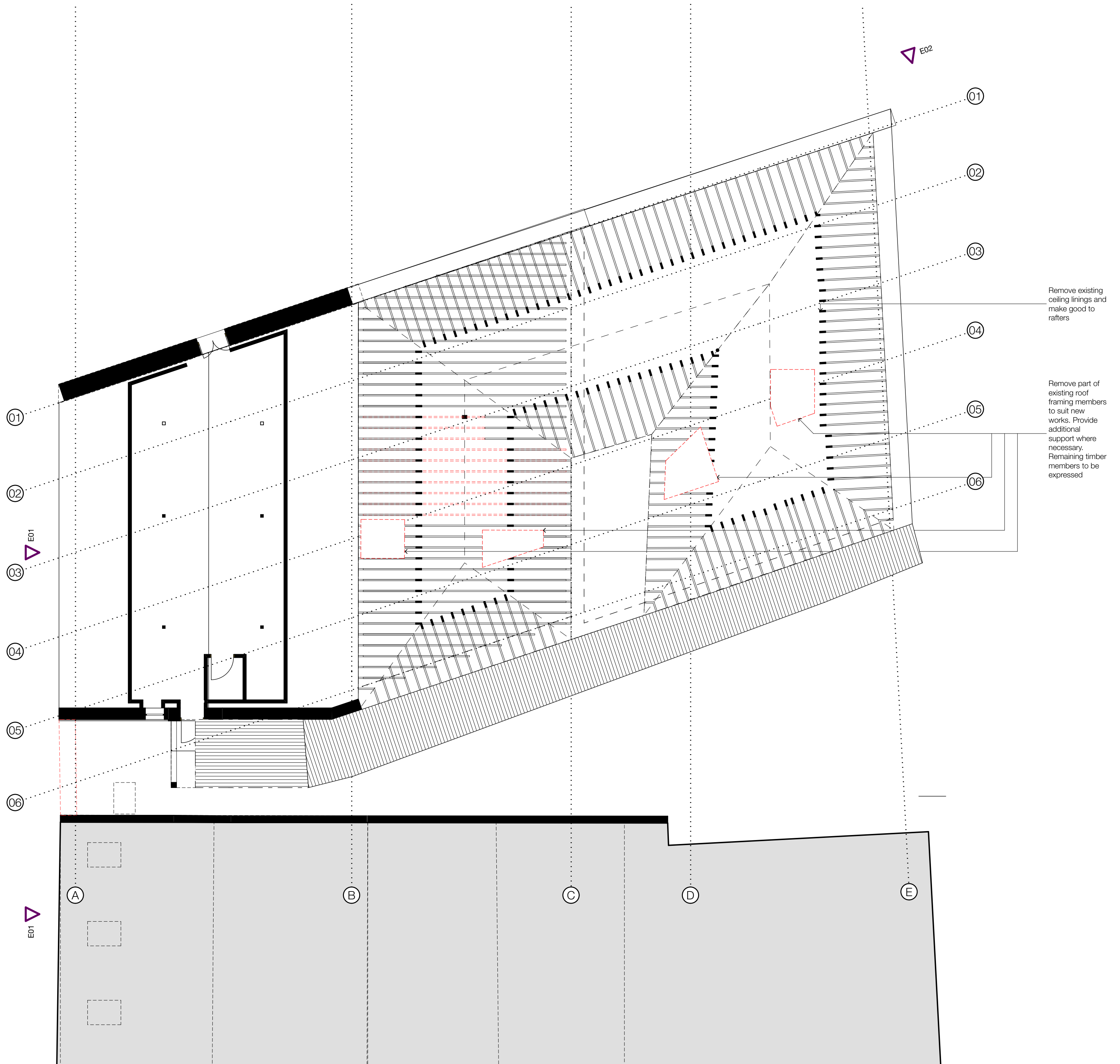
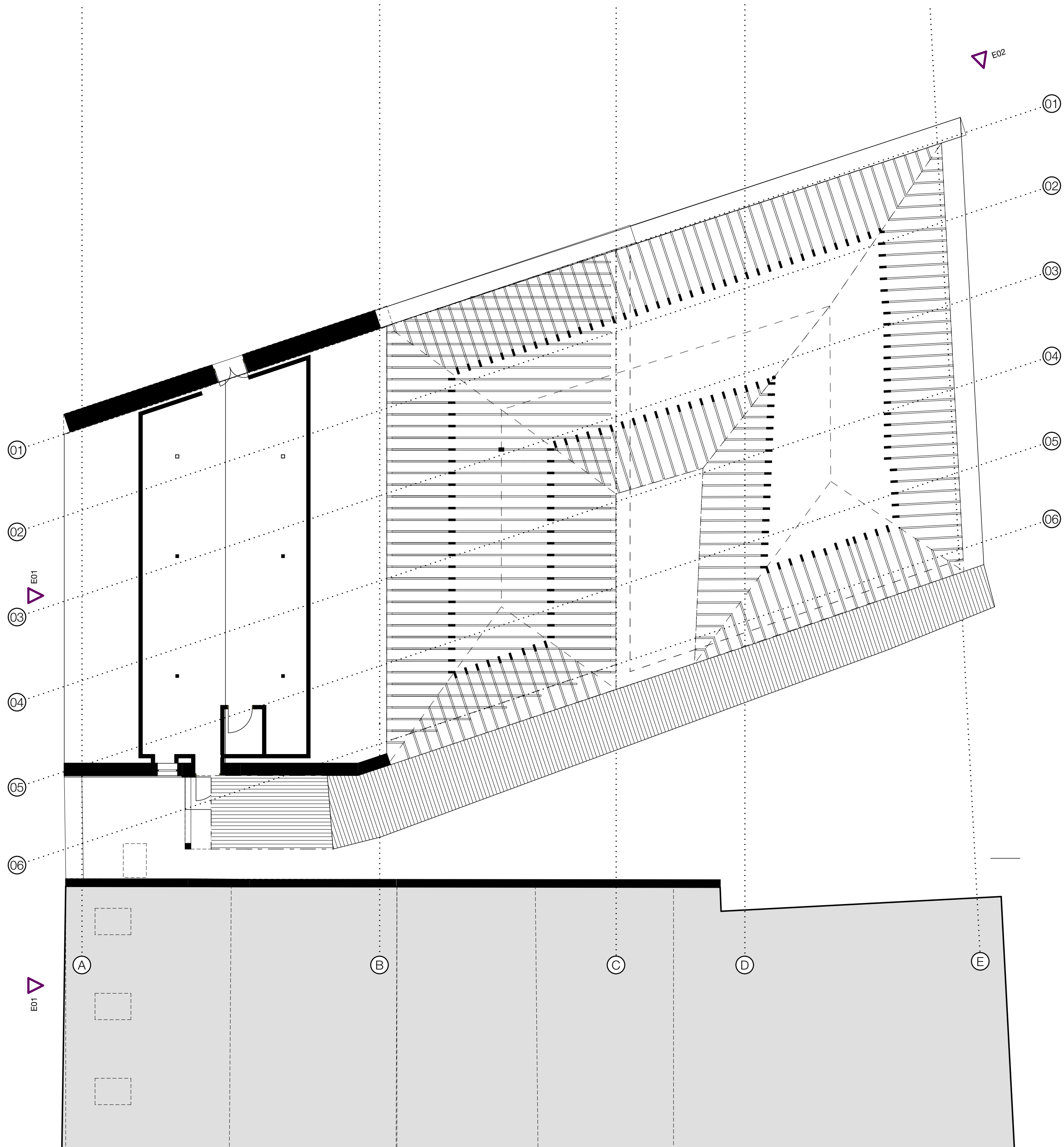
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Second Proposed  
plan  
status  
Sketch Design  
print date  
Wednesday, 21 September 2016  
drawing ref  
1528-DA07  
issue  
A

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1 Existing Attic plan scale 1:100

2 Demolition Attic plan scale 1:100

NOTE: If hazardous materials are found removal must be done in compliance with all relevant workplace standard .

revisions		
a	21.09.16	drawings issued for application of planning permit

APPLICATION FOR PLANNING PERMIT ONLY

original drawing size

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1:100	1000	2000	5000
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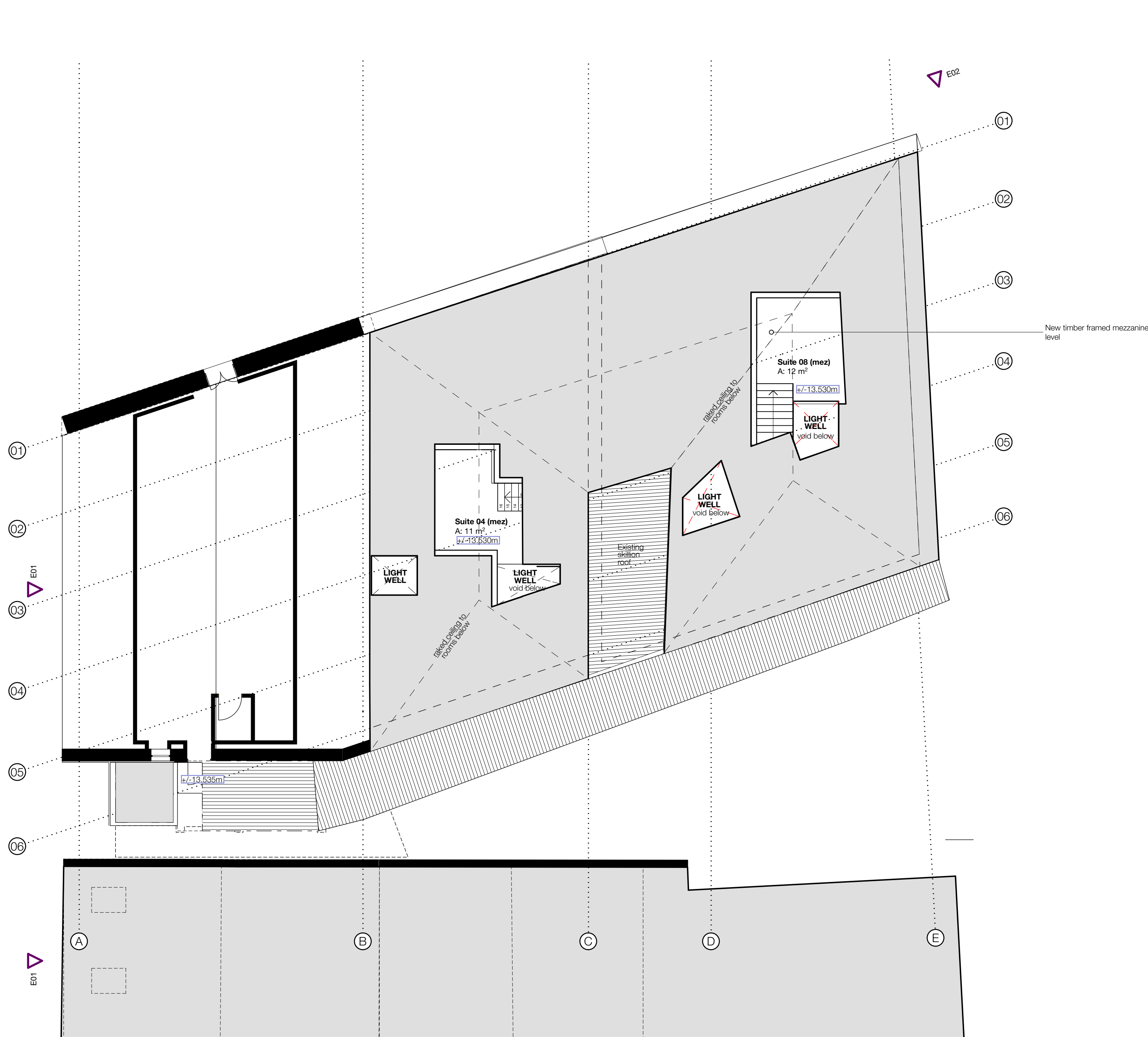
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**Attic Existing + Demolition plan**  
status  
**Sketch Design**  
print date  
**Wednesday, 21 September 2016**  
drawing ref  
**1528-DA08**  
issue  
**A**





1 Attic Proposed plan scale 1:100



2 Proposed Roof plan scale 1:100

revisions  
a 21.09.16 drawings issued for application of planning permit

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# 39-41 Salamanca Place

## Drawings List

1529 - DA00 Location Plan  
1529 - DA01 Site Plan  
1529 - DA02 Ground Floor Existing + Demolition Plans  
1529 - DA03 Ground Floor Plan  
1529 - DA04 First Floor Existing + Demolition Plans  
1529 - DA05 First Floor Plan  
1529 - DA06 Second Floor Existing + Demolition Plans  
1529 - DA07 Second Floor Plan  
1529 - DA08 Roof Plan

1529 - DA09 Elevations  
1529 - DA10 Cross Sections

1529 - DA11 Montages



01 Location Plan  
- Site scale 1:500

revisions		
a	21.09.16	drawings issued for application of planning permit

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original drawing size

0mm	2000	4000
1000	2000	4000

A1

1:10	1:50	1:100	1:200
500	1000	2000	4000

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Location Plan / Title

Site

status

print date

drawing 11

Sketch Design

Wednesday, 21 September 2016

1529-DA00

A





**01 Site Plan**  
Site scale 1:200

**Notes:**

Site Area : 590m<sup>2</sup> (39 + 41 combined)  
Existing Floor Area : 1,531m<sup>2</sup> (39 + 41 combined)  
Proposed Floor Area (inc exist) : 1,776m<sup>2</sup> (39 + 41 combined)

revisions	
a	21.09.16 drawings issued for application of planning permit

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original drawing size

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0mm	1000	2000	3000	4000

**A1**

1:10	500
1:50	1000
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Site Plan

Site

status

Sketch Design

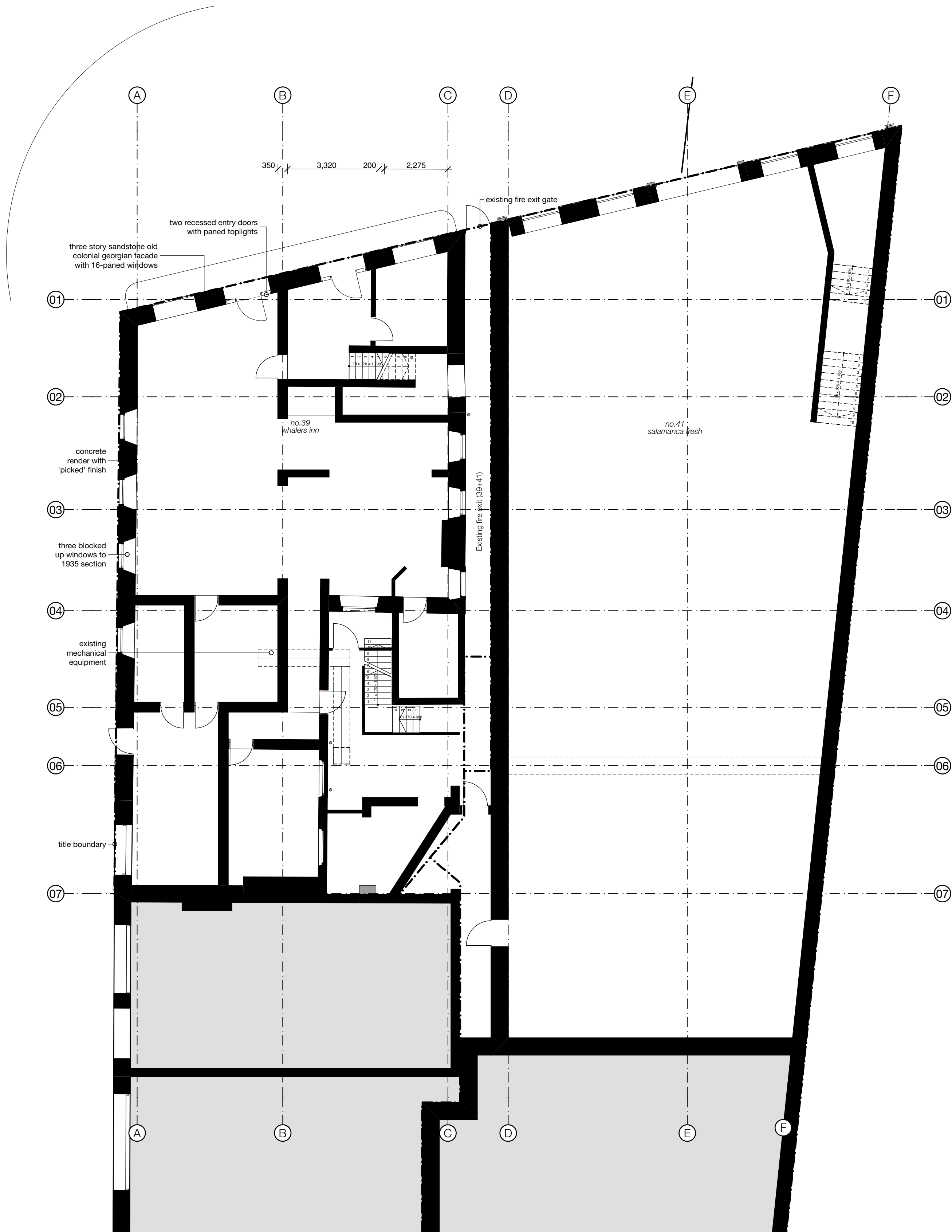
Wednesday, 21 September 2016

1529-DA01

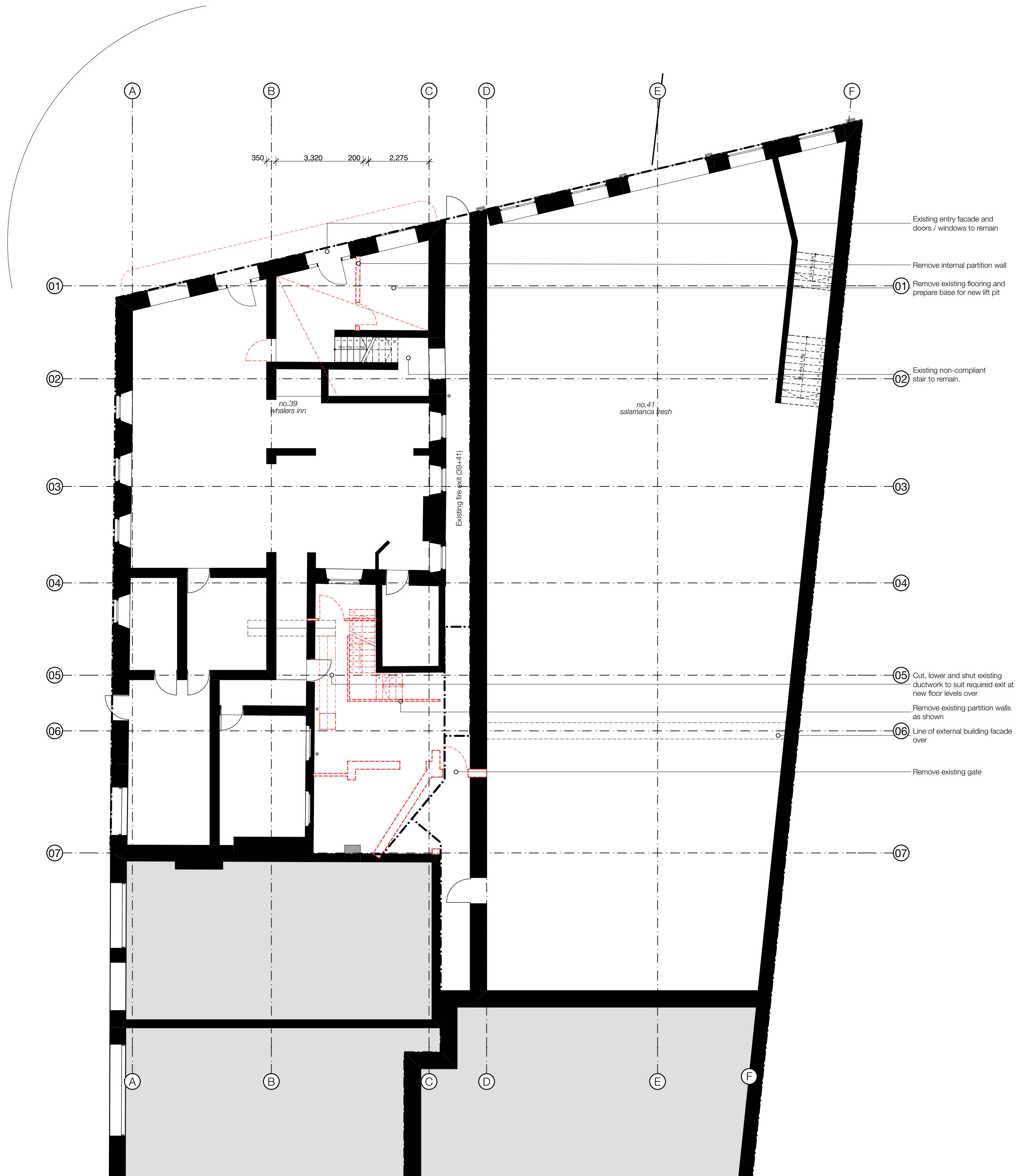
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**01 Ground Floor Existing Plan** scale 1:100



**02 Ground Floor Demolition Plan** scale 1:100

- Legend**
- Existing Walls
  - New Walls
  - To Be Demolished

revisions		
a	21.09.16	drawings issued for application of planning permit

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original drawing size

0mm	2000	4000
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**A1**  
1:10  
1:50  
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1:200

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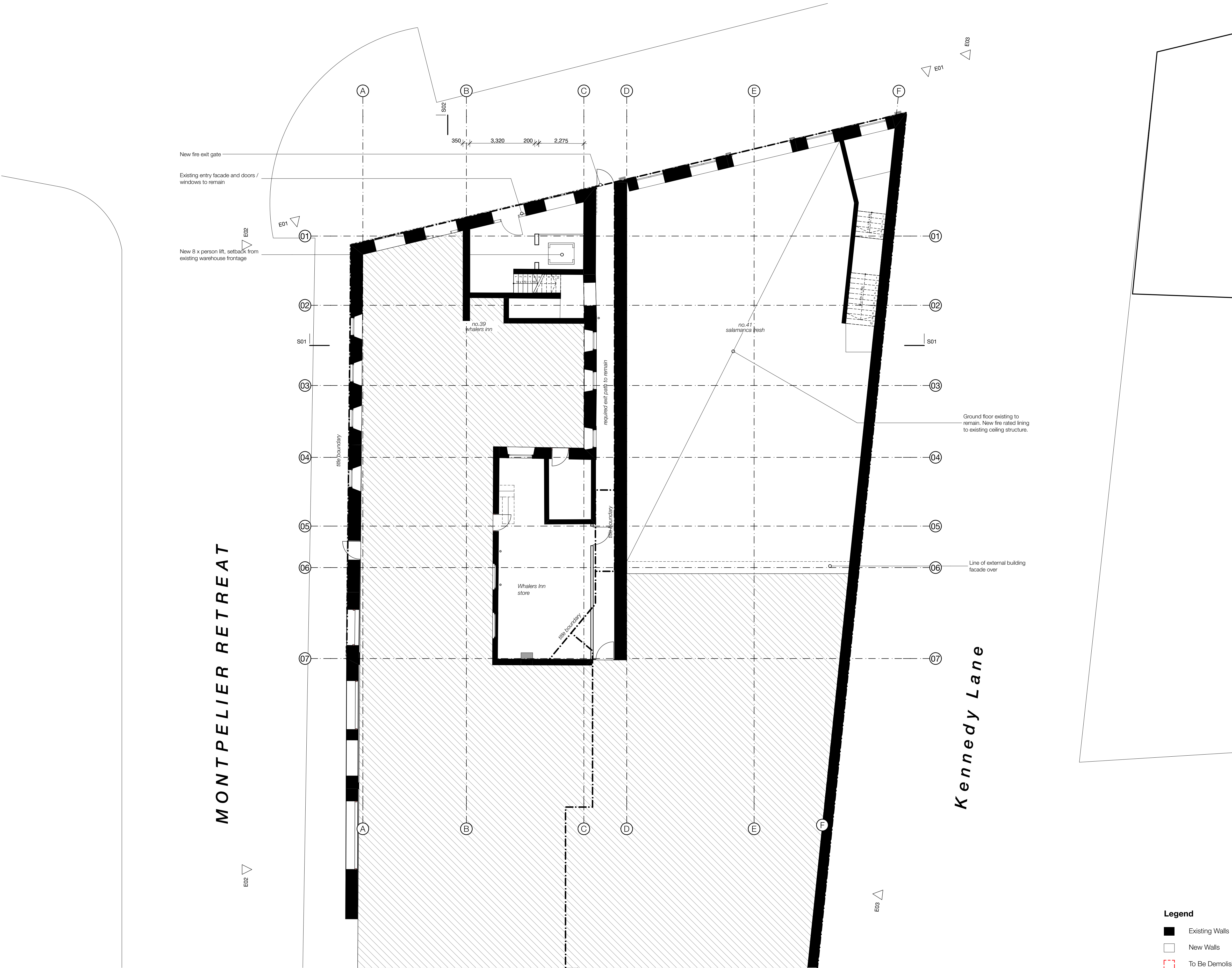
**Ground Exist + Demolition Plan**

status **Sketch Design**

print date **Wednesday, 21 September 2016**

drawing title **1529-DA02 pre**





**01** Ground Floor Proposed  
Plan  
scale 1:100

revisions	
a	21.09.16 drawings issued for application of planning permit

APPLICATION FOR PLANNING PERMIT ONLY

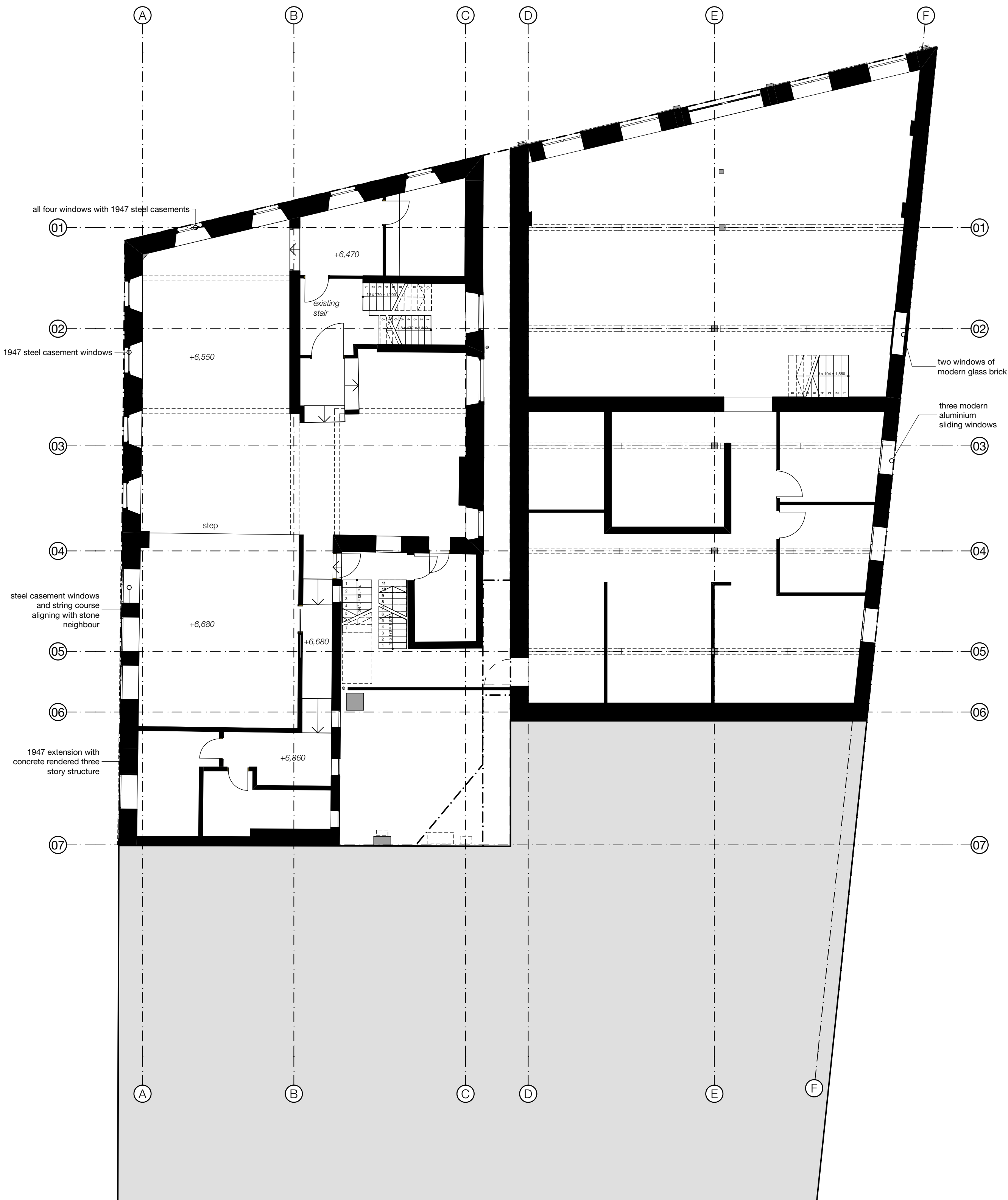
original drawing size

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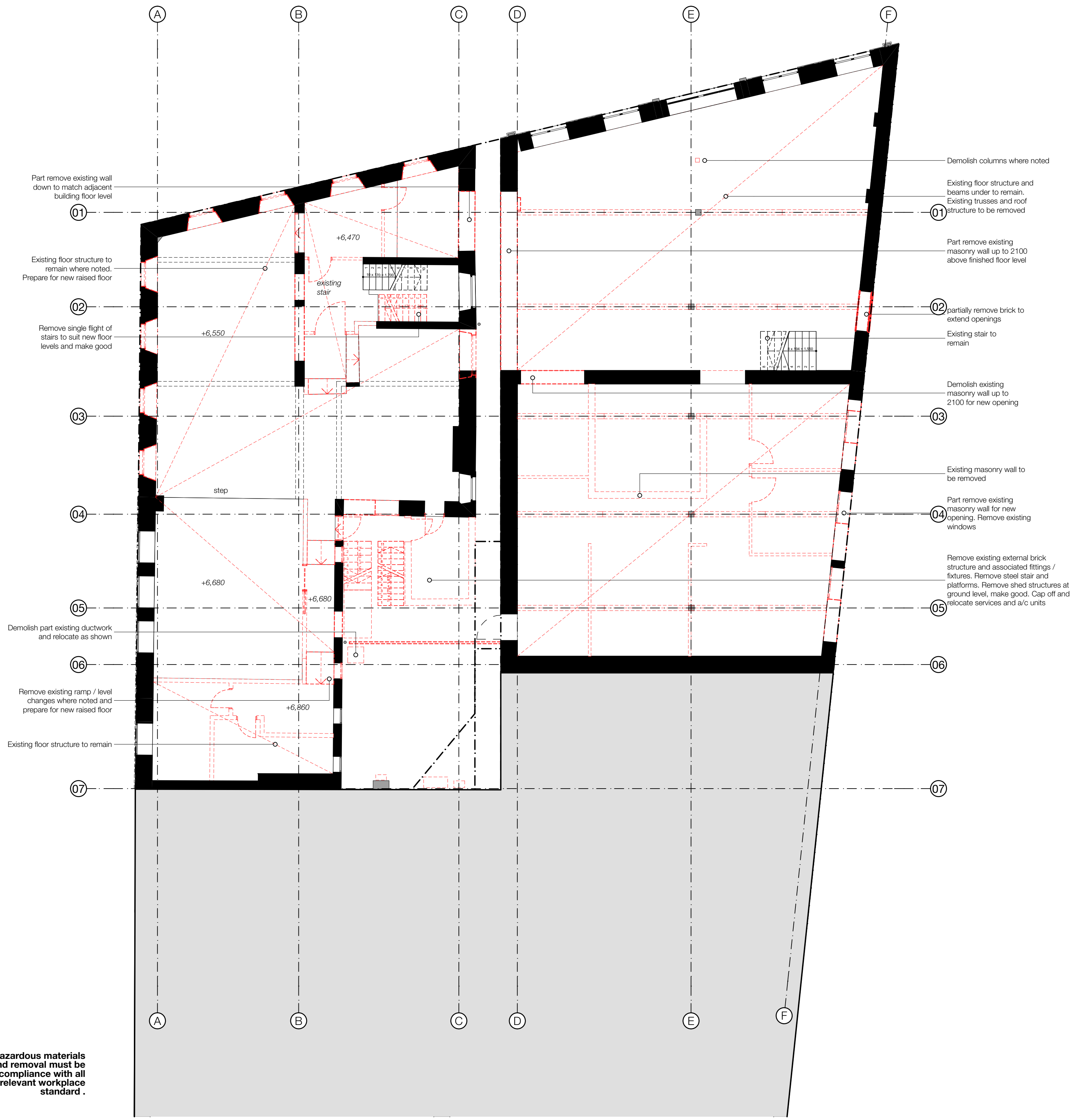
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**Ground Proposed Plan**  
status  
Sketch Design  
print date  
Wednesday, 21 September 2016  
drawing 11  
1529-DA03  
A



**01 First Floor Existing Plan** scale 1:100

NOTE: If hazardous materials are found removal must be done in compliance with all relevant workplace standard .



**02 First Floor Demolition Plan** scale 1:100

- Legend**
- Existing Walls
  - New Walls
  - To Be Demolished

revisions	
a	21.09.16 drawings issued for application of planning permit

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original drawing size

0mm	2000	4000
1000	2000	4000

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**First Exist + Demolition Plan**

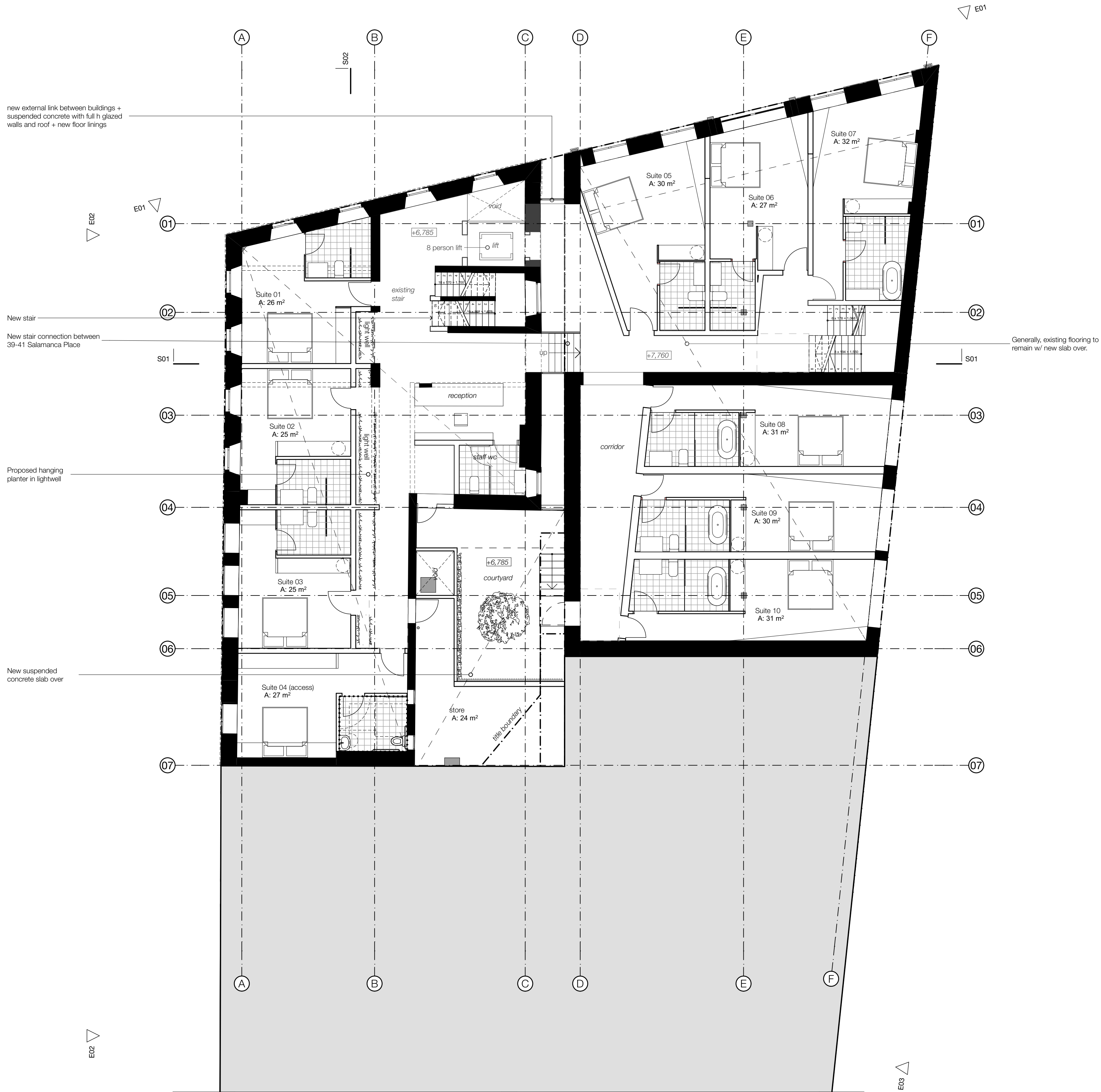
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print date **Wednesday, 21 September 2016**

drawing 11

**1529-DA04 pre**

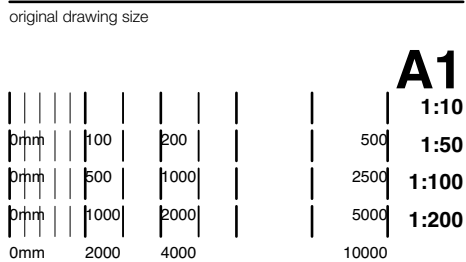




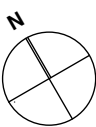
**01 First Floor Proposed Plan**  
scale 1:100

**revisions**  
a 21.09.16 drawings issued for application of planning permit

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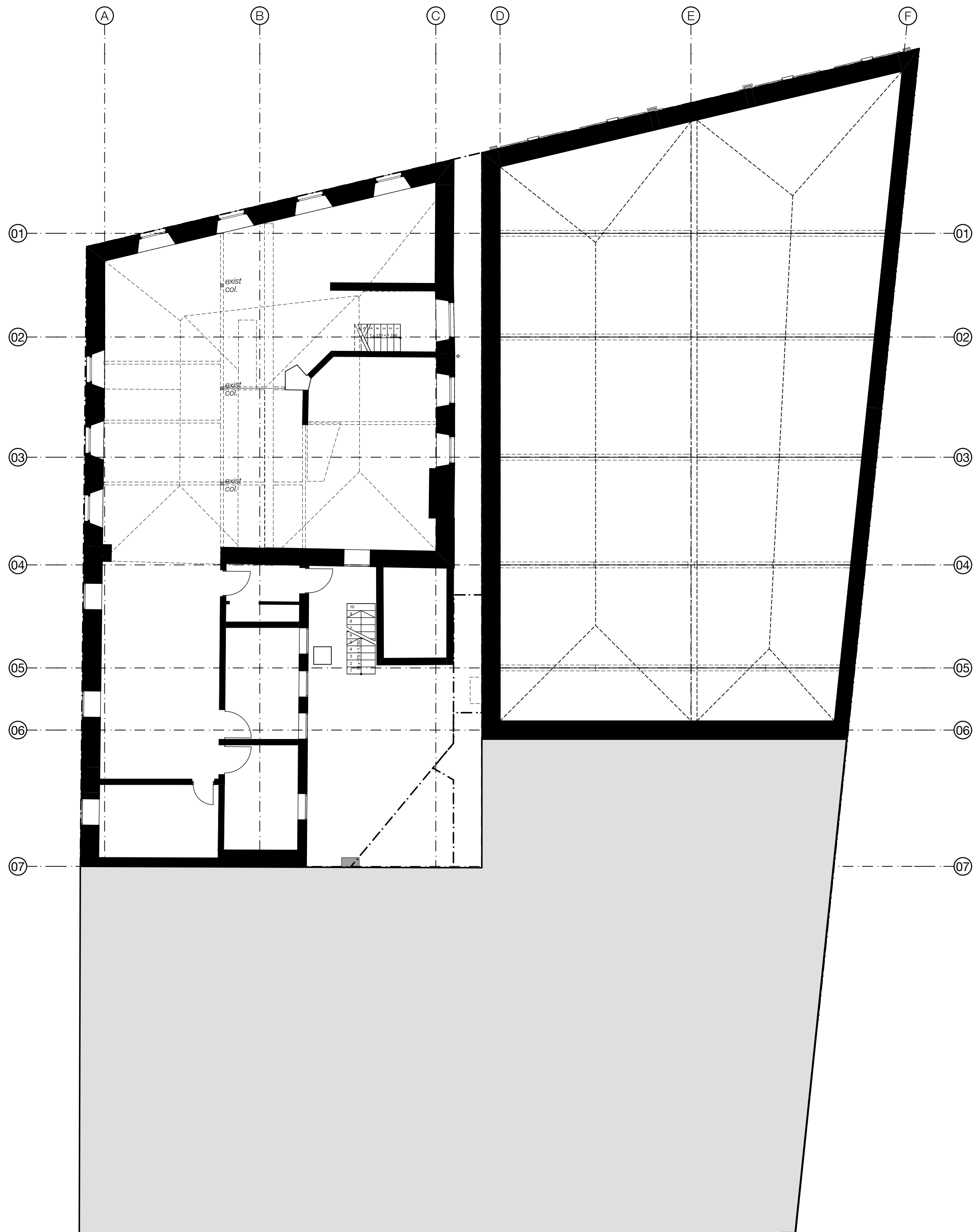
**First Floor Proposed Plan**

**Sketch Design**

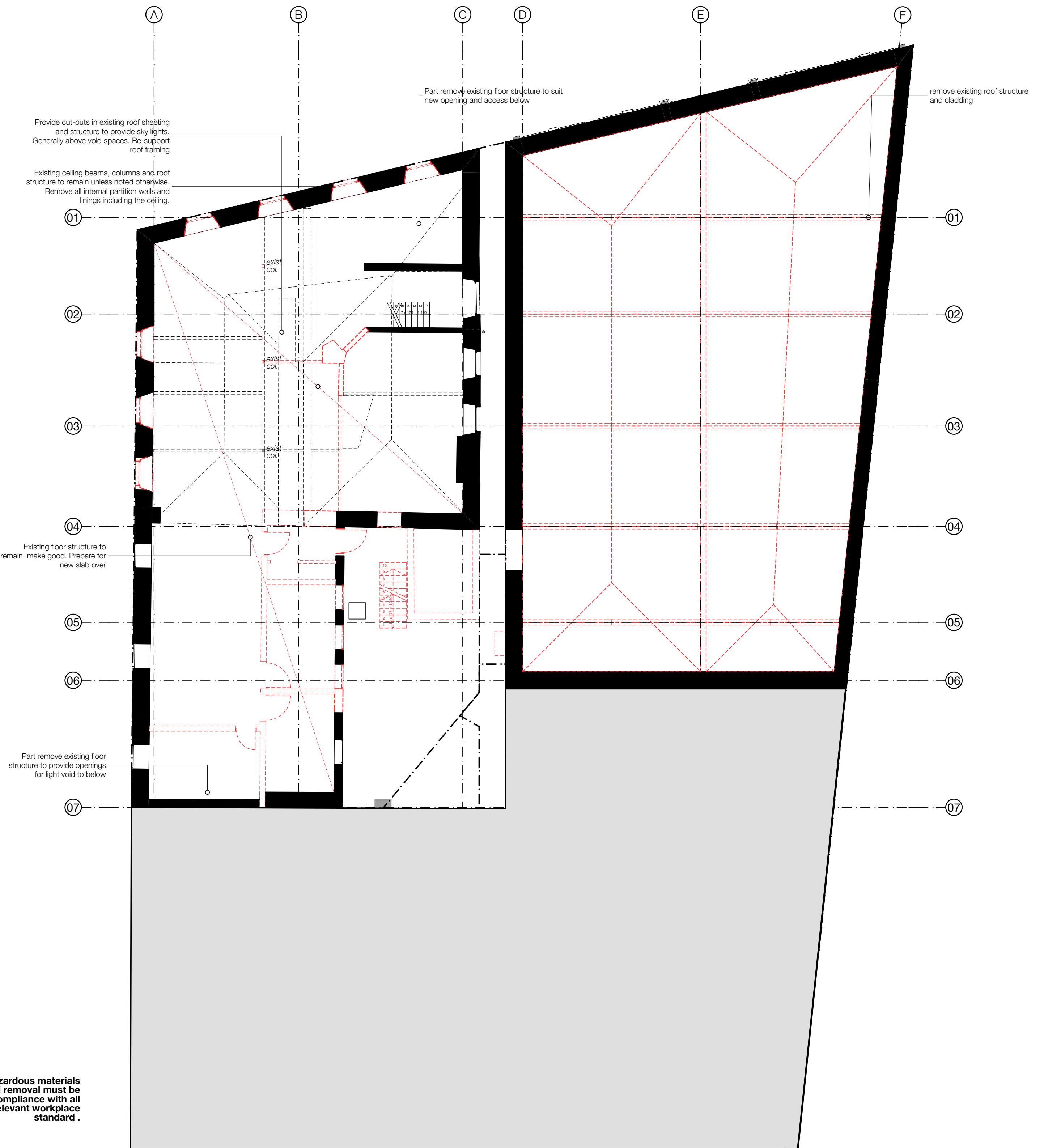
**Wednesday, 21 September 2016**

**1529-DA05**

**A**



**01 Second Floor Existing Plan** scale 1:100



**02 Second Floor Demolition Plan** scale 1:100

NOTE: If hazardous materials are found removal must be done in compliance with all relevant workplace standard.

- Legend**
- Existing Walls
  - New Walls
  - To Be Demolished

revisions		
a	21.09.16	drawings issued for application of planning permit

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original drawing size

0mm	2000	4000
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**A1**

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**Second Exist + Demolition Plan**

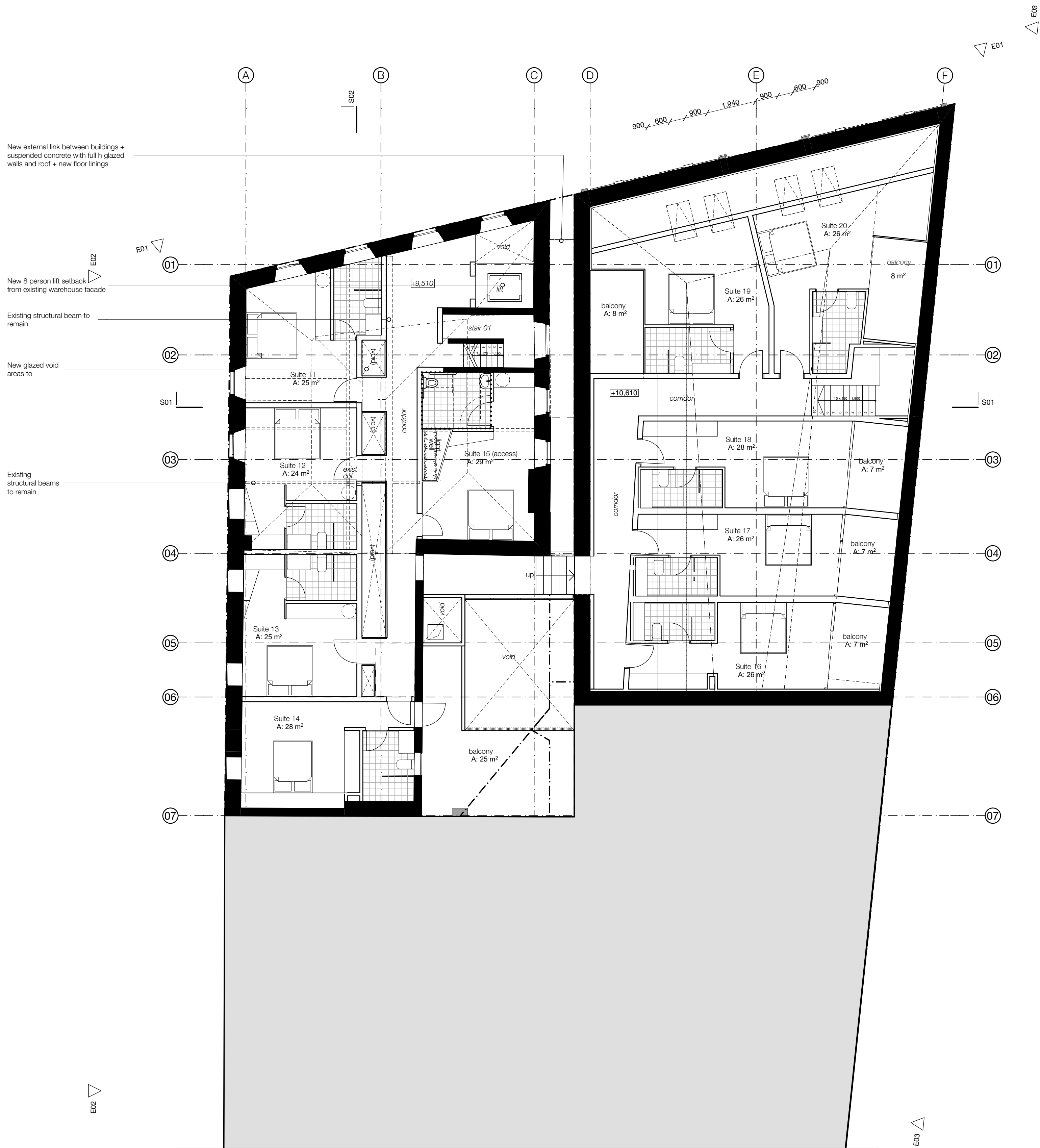
status **Sketch Design**

print date **Wednesday, 21 September 2016**

drawing 11

**1529-DA06 pre**





**01 Second Floor Proposed**  
**Plan** scale 1:100

revisions	
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## Legend

- Existing Walls
- New Walls
- To Be Demolished

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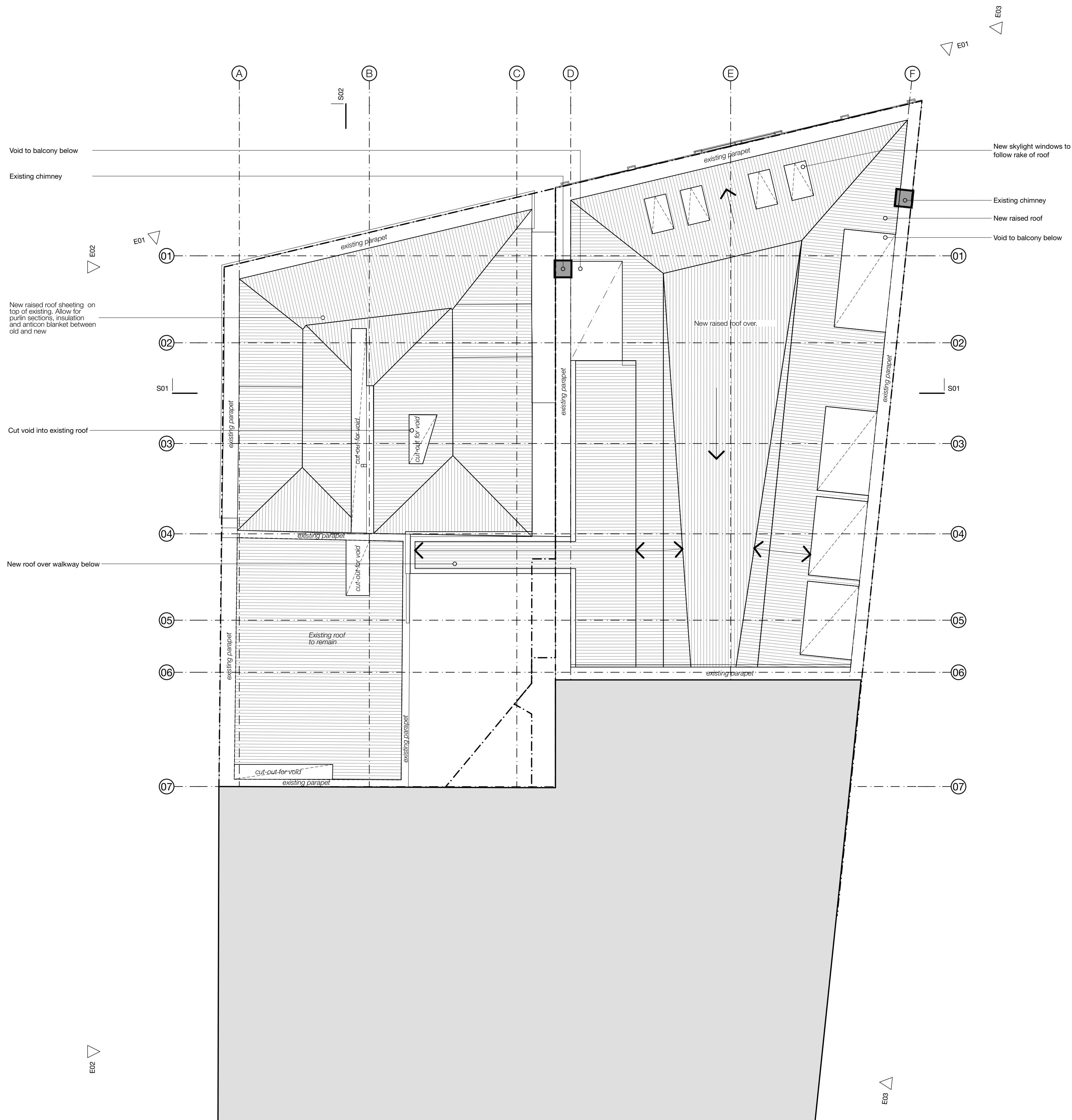
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**Second Floor Proposed**  
**Plan**

**Sketch Design**  
**Wednesday, 21 September 2016**

**1529-DA07** **A**



- Legend**
- Existing Walls
  - New Walls
  - To Be Demolished

**01 Roof Proposed Plan** scale 1:100

revisions	
a	21.09.16 drawings issued for application of planning permit

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original drawing size

0mm	2000	4000
1000	2000	4000

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**A1**  
1:10  
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**Roof Plan Proposed Plan**

status **Sketch Design**

print date **Wednesday, 21 September 2016**

drawing 11

**1529-DA08**

issue **A**

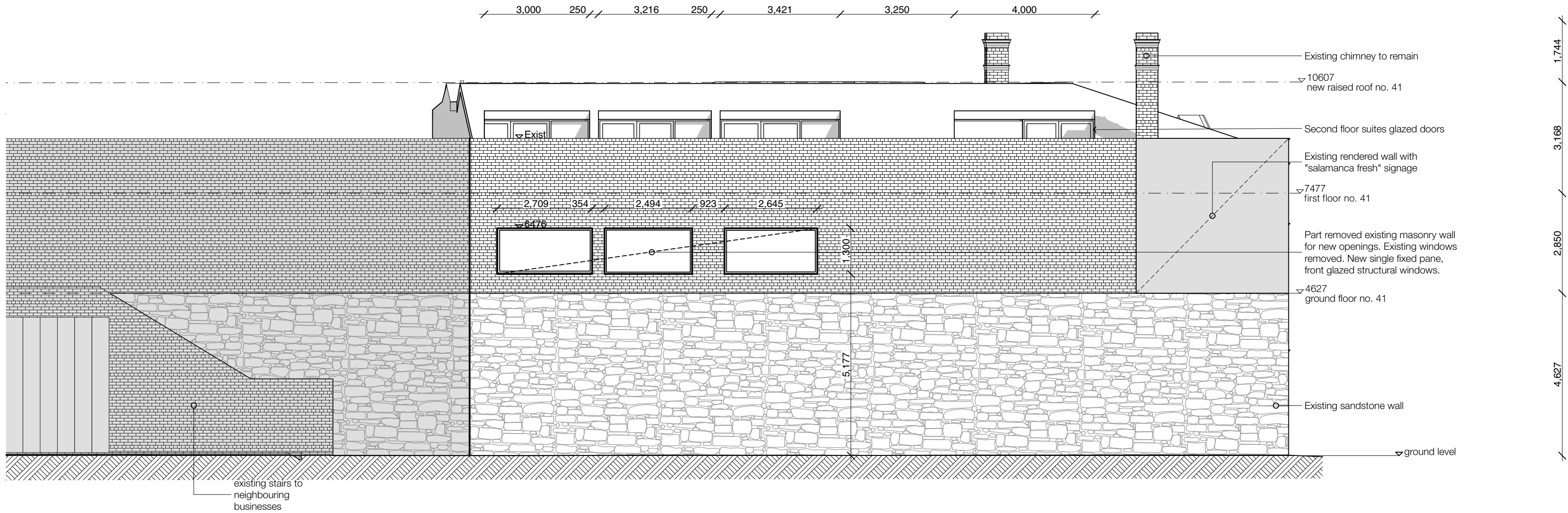




**01 Salamanca Place Elevation**  
- Elevation scale 1:100



**02 Montpellier Retreat Elevation**  
- Elevation scale 1:100

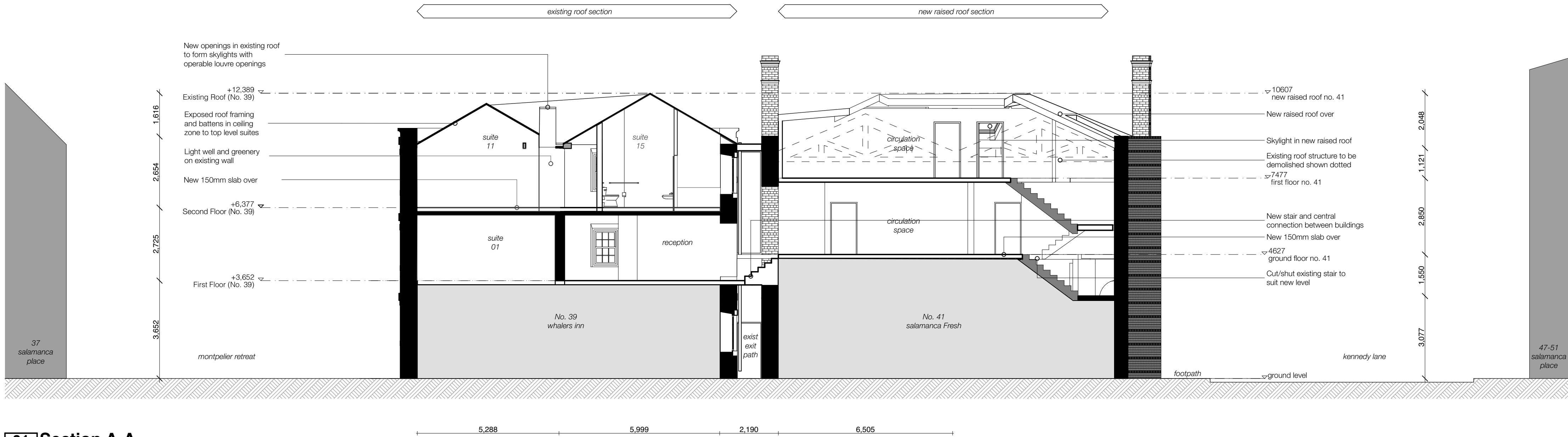


**03 Kennedy Lane Elevation**  
- Elevation scale 1:100

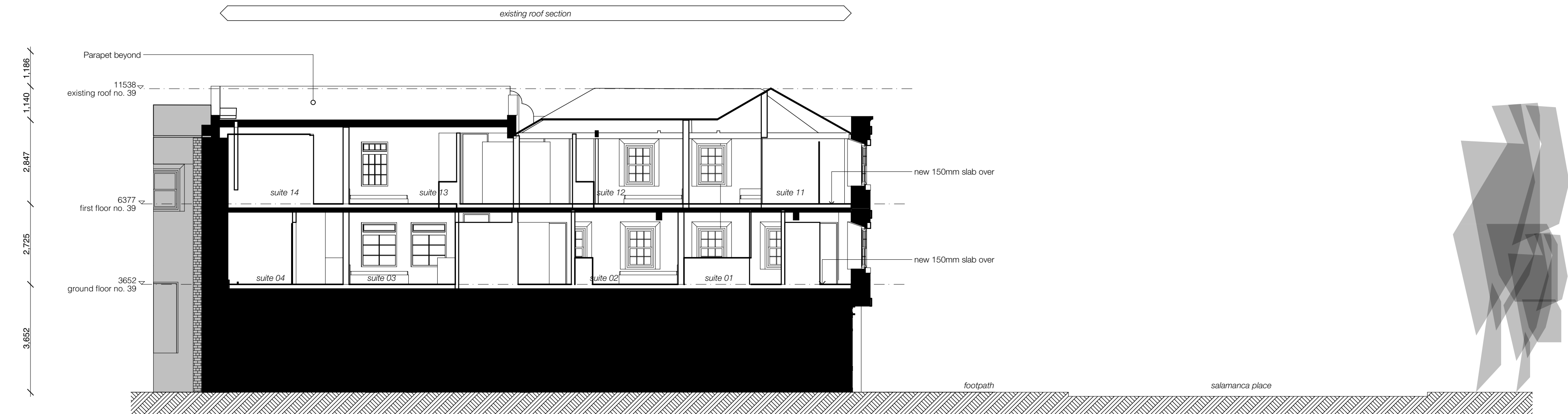
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original drawing size		<b>39 Salamanca Place</b> PV + DM Behrakis		<b>circa morris-nunn architects</b> Contact		<b>Elevations 01</b> Elevation	
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				These drawings show design intent and are suitable as a guide only. The builder shall check and verify all dimensions and verify all errors/omissions to the Architect. Do not scale off the drawings. Drawings are not to be used for construction purposes until issued by the Architect for construction.		1529-DA09	
						A	



01 Section A-A  
Section  
scale 1:100



02 Section B-B  
Section  
scale 1:100

revisions	
a	21.09.16 drawings issued for application of planning permit

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1529-DA10		A		A	





01 Kennedy Lane montage 01 (before)  
- Montage



02 Kennedy Lane montage 02 (after)  
- Montage

revisions	
a	21.09.16 drawings issued for application of planning permit

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original drawing size

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Montages 01

Montage

status

Sketch Design

print date

Wednesday, 21 September 2016

drawing 11"

1529-DA11

issue

A



Nos 25, 39, 41, 47, 49 and 51  
**Salamanca Place**

A History

by

David Young

August 2016



## **Contents**

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<b>2. 25 Salamanca Place .....</b>	<b>5</b>
<b>3. 39 and 41 Salamanca Place.....</b>	<b>16</b>
<b>4. 47, 49 and 51 Salamanca Place.....</b>	<b>31</b>
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## 1. The subdivision of Cottage Green

Prior to European invasion of Tasmania, the land around Sullivan's Cove was frequently visited by the Mouheneener Band of the South-West tribe, the general area being known to them as Nibberloone or Linghe.

In February 1804 Lieutenant-Governor Collins arrived in the natural harbour of Sullivan's Cove with a small party. Shortly thereafter, he granted the Reverend Robert Knopwood, Tasmania's first Chaplain, 30 acres of land on the northern slope of the area that was soon to be known as Battery Point. Knopwood thus became the first man to settle a parcel of land that included the thoroughfare known today as Salamanca Place. His allotment, like the rest of the land that subsequently became Hobart, was virgin bush.

The extent and position of the bush block that Collins granted Knopwood is shown in the plan below, which is based upon an attachment to the Report of the Commissioners of Survey of 1826.<sup>1</sup>



1826 plan showing Knopwood's 1804 grant<sup>2</sup>

<sup>1</sup> Rowntree, A, 1951, *Battery Point Today and Yesterday*, Adult Education Board of Tasmania, p15.

<sup>2</sup> Rowntree, p16.



In 1826 it was claimed by the Land Commissioners that the plan of Knopwood's grant was inaccurate, and in reality represented a parcel of forty-one acres, not the thirty that had been granted.<sup>3</sup> This inaccuracy, as well as vagueness pertaining to the exact location of the 'proposed road' shown in the plan on the previous page, were to dog the subdivision and sale of Knopwood's grant in the second half of the 1820s.

During the first two decades of European settlement, Knopwood did much to improve his property, a process he documented thoroughly in his diary.<sup>4</sup> He built a house (no longer extant) called Cottage Green. It stood between present-day Gladstone and Montpelier Streets, its approximate position shown as 'house' in the map on the previous page. Knopwood moved into his new home in March 1805.<sup>5</sup> He cleared much of his land and created a farm, assisted of course by convict labour. The 1834 picture below shows Cottage Green and its outbuildings (slightly to the left of centre of the picture), in relation to later developments, including quarrying carried out in the hillside on the seaward side of the building. The two houses shown next to one another in the lower left side of the picture still stand in Montpelier Street just above the hotel known in 2016 as 'Whaler's'.



**1834 representation of Cottage Green<sup>6</sup>**

In 1820 Knopwood claimed that in 1805 he had spent £1,000 on developing his property.<sup>7</sup> This left him deeply in debt and financially embarrassed. In 1816 he sold the whole of his grant for £2,000, but the sale fell through when the purchaser died before the transaction was completed. This added to Knopwood's financial woes, and by 1824 his creditors were pressing him for settlement. Consequently, on 5 March, Knopwood advertised the auction of a section of his property stretching from the River Derwent uphill towards present-day Hampton Road, and to be sold in twenty lots.<sup>8</sup> A new advertisement published on 12 March revealed the type of purchaser sought:

<sup>3</sup> HRA, 1c p548, in Rowntree, p26.

<sup>4</sup> Hudspeth, W H & Angel, S (eds), 1947, *The Diary of the Rev. Robert Knopwood, 1805-1808*, Government Printer, Hobart.

<sup>5</sup> Rowntree, p14.

<sup>6</sup> First published in *Hobart Town Magazine* vol. 3, 1834, Rowntree, p19.

<sup>7</sup> HRA vol. III pp 367-8. (Knopwood's evidence to the Bigge Commission.)

<sup>8</sup> Hudspeth, W H, 1946, *Note on Cottage Green*, Government Printer, Hobart, p31; *Hobart Town Gazette and Van Diemen's Land Advertiser*, 5 March 1824, p4c1.

ALL that truly lucrative Property, called Cottage Green, which situation for mercantile speculations cannot be equalled, there being deep water close to the shore, that will admit of a vessel of considerable burthen to dislodge her cargo with the utmost ease; combined with this it commands a most delightful and extensive view of the harbour, is close to the town, and is well supplied with fresh water. It is particularly recommended as a most eligible situation for the erection of stores, as well as respectable residences of another class.<sup>9</sup>

The advantages of the southern shore of Sullivans Cove for the building of a wharf were apparent to more significant people than auctioneers' 'puff writers'. The 1826 map on page 1 indicates how the point named Battery Point (from the siting there of Mulgrave Battery in 1818) afforded the southern shore protection from sea breezes, whereas the northern shore, the location of the wharf at that time, was exposed. Because of this, in 1824-25 the colony's Civil Engineer and Surveyor General presented a plan for the establishment there of a new harbour, costed at approximately £80,000.<sup>10</sup> Those who snapped up the blocks created by the subdivision of Cottage Green were consequently merchants, or those who aspired to be merchants.

The completion of the sales was not smooth. Knopwood believed that Lieutenant-Governor Sorell had approved the building of a road from the town of Hobart to Mulgrave Battery, which passed through Knopwood's land. (This proposed road is shown very roughly in the 1826 plan on page 1.) Sorell sailed from Van Diemen's Land in May 1824, and his successor, Lt.-Gov. Arthur, could find no convincing proof of Sorell's consent. He therefore halted the sale process while he looked into the matter. Some purchasers, such as a Mr Hamilton, promptly demanded their money back.

The dilemma was resolved in 1825, when the purchasers jointly signed a letter to Arthur in which they agreed to cede the Crown a space of 120 feet in width between their properties and high water mark, on the proviso that such land would include a road 60 feet wide, and that the remainder of it would be retained for public use. Arthur agreed to this proposal.<sup>11</sup> The colony's Civil Engineer and Architect, John Lee Archer, drew up detailed plans for the construction of a quay wall to be constructed with rock quarried from the foot of the slope up the former Knopwood property. This required further consultation with the merchants who had bought Knopwood's subdivisions. By 1828 Arthur was in a position to send the costed plan to the Home Government for approval.<sup>12</sup>

By 1830 approval had been granted and Archer's plan began to be enacted. The prison hulk *Duke of York* was anchored opposite the proposed wharf, and one hundred convicts were accommodated aboard. They worked as a chain gang,

---

<sup>9</sup> *Hobart Town Gazette and Van Diemen's Land Advertiser*, 12 March 1824, p4c2.

<sup>10</sup> *Ross's Almanac*, 1831, in Rowntree, p29.

<sup>11</sup> Rowntree, pp22-23.

<sup>12</sup> *Bent's Almanac*, 1828, in Rowntree, pp33-34.



excavating 100 feet into the sloping land. The rock was used to reclaim land, thereby increasing the depth of water at the water's edge, and to construct the new wharf; the levelled land was used as the site of the new roadway. A few years later, rock further back into the hill found a use as material for building the warehouses that now line Salamanca Place. The work-rate accelerated in 1832 when a second hulk holding a further 110 convicts was anchored alongside the *Duke of York*. Gunpowder and a wooden-railed tram system were also used to speed the process further.

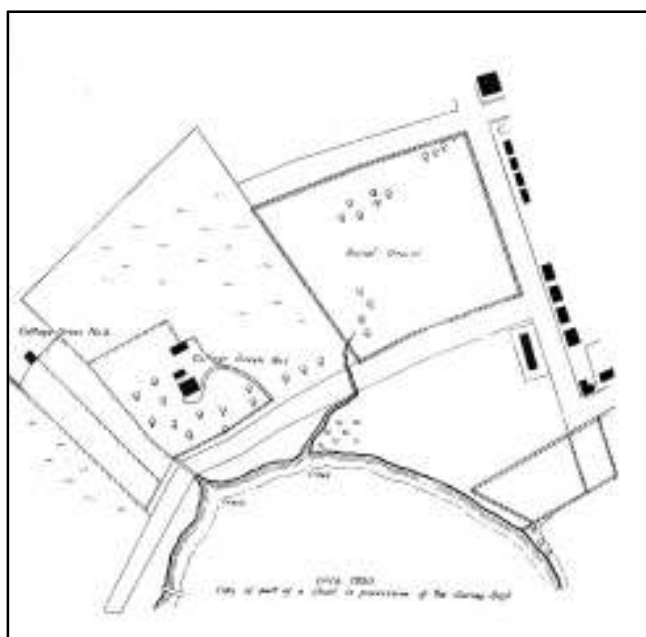
In 1831 New Wharf (as the area was soon known) was officially opened, and the price of the Knopwood's former land rose markedly. Some of those who bought allotments at the 1824 auction sold in order to realise considerable profits, without having built anything on their land.<sup>13</sup> However, many of the first purchasers, and many of those who purchased subsequently, realised that they had made solid investments, well worth the outlay of further capital. During the 1830s and '40s, the warehouses which today line Salamanca Place were erected.

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<sup>13</sup> Hope, A R, 2006, *A Quarry Speaks: a History of Hobart's Salamanca Quarry*, Hobart, pp12-25, *passim*.

## 2. 25 Salamanca Place

Knopwood's 1824 sale of lots of his property did not relieve entirely his indebtedness. One of his creditors was Edward Lord, who in 1829 was awarded a judgement over the residue of Knopwood's property. This comprised about 18 acres of land, with Cottage Green and a couple of outbuildings standing on it. Knopwood lived in the cottage at the time, but he had no choice other than to sell. The purchaser was Henry Jennings of Launceston, who bought the property in June 1829. Two months later, Jennings sold the land to Lt.-Gov. Arthur, who paid £800 for it, about £35 less than Jennings himself had paid.<sup>14</sup>



**Plan showing 12 acres of Cottage Green bought by Lt.-Gov. Arthur in 1829<sup>15</sup>**

The plan above, dating from c1820, shows the land and buildings bought by Arthur. It depicts Arthur's trapezoid block of land bounded by the Burial Ground (now St David's Park) on the north-east, by the roadway that was to be extended into Salamanca Place in c1831 on the south-east, by the road today known as Montpelier Retreat (built in 1831) on the south-west,<sup>16</sup> and by a line which Hampden Road was later to follow on the north-west.

At the end of the 1820s, Van Diemen's Land's Solicitor General raised the question of the validity of the early grants and locations that had been made in the colony. His advice to property holders, whose ownership was based solely upon acquisition of land derived from such dubious grants, was that they should have their titles ratified by the Crown, and new secure titles issued. A process to do this was initiated; it required a submission to the Supreme Court, examination of evidence to prove ownership and often a survey of the land claimed. Naturally, it cost money and took time, but it did give peace of mind. Numerous land-owners took advantage of it during the 1830s and '40s.

Knopwood's original grant had been made during the jurisdiction of Governor Gidley King, and was one of the many considered in doubt. Consequently, Arthur in 1836 applied for title to a section of the 12 acres that he had purchased. For reasons that aren't entirely clear, he left the job of applying for the grant to his private Secretary and friend, William Thomas Parramore. Arthur's detractors suggested that he did this in order to disguise the fact of his

<sup>14</sup> Deeds Office, Mem. 1/245; Hudspeth, p131.

<sup>15</sup> From Hudspeth, plate 4.

<sup>16</sup> Leg. Council Minute, 12 September 1831, in Hudspeth, p133.



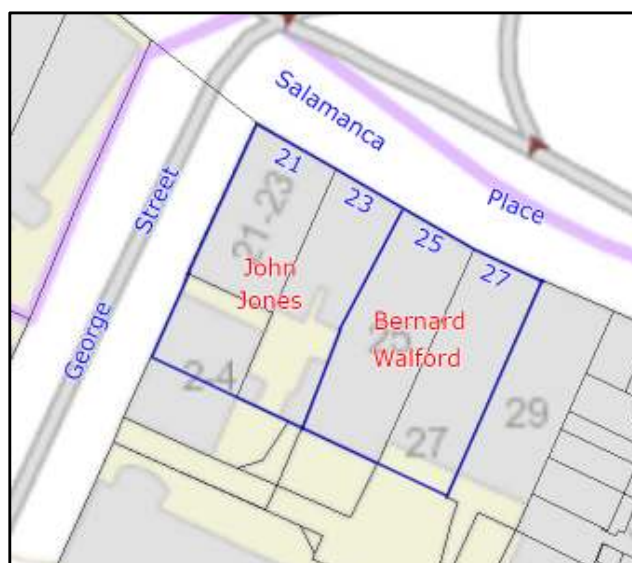
purchase, but he may have acted in this way to avoid the perception of a conflict of interest. And, in fact, Parramore acted for Arthur as a ‘front man’ in many of the latter’s grant applications, particularly those awarded to Arthur after he left the colony in 1836.<sup>17</sup> In any event the grant was awarded to Parramore in 1837.<sup>18</sup>

The land in question was for a roughly rectangular block, 4 acres 3roods 26 perches (roughly two hectares) in area. It was bounded by the Burial Ground (now St David’s Park) on the north-west, by the Retreat (now Montpelier Retreat) on the south-east, by Harrington Street (now Sandy Bay Road) on the south-west and by Salamanca Place on the north-east.

In October 1838, Parramore conveyed the two-hectare block to Arthur, with its local management put in the hands of a new trustee, John Montagu, Arthur’s nephew by marriage, the colony’s Colonial Secretary and himself the owner of a large block of Knopwood’s former land fronting the New Wharf. The memorandum of conveyance confirmed that Parramore had ‘no beneficial interest’ in the land, and his fee for service was the nominal sum of five shillings.<sup>19</sup>

Montagu did not develop the land beyond fencing it, and – shortly after the conveyance was made – laying out George Street (renamed Gladstone Street in 1882) through the middle of the block.<sup>20</sup> And, presumably in consultation with Arthur, he also sub-divided it and sold it off at intervals, when suitable purchasers could be found.

The two blocks which concern the history of 25 Salamanca Place are the two to the immediate south-east of George Street. Allowing for subsequent boundary adjustments, they are shown below, superimposed upon the 2016 LIST Map depicting the relevant portion of Salamanca Place.



**Plan showing blocks purchased by Jones and Walford**

Arthur sold the block purchased by John Jones (a spirit merchant) on 31 January 1839 for £1,536.<sup>21</sup> Bernard Walford finalised the purchase of his slightly smaller block on 12 October 1842. He paid £1,200 for it.<sup>22</sup>

<sup>17</sup> Hudspeth, p133.

<sup>18</sup> Grants Book 2 p199.

<sup>19</sup> Deeds Office, Mem. 2/2043.

<sup>20</sup> [http://www.hobart.tasfhs.org/Changed\\_Streets.html](http://www.hobart.tasfhs.org/Changed_Streets.html).

<sup>21</sup> Deeds Office, Mem. 2/2602.

<sup>22</sup> Deeds Office, Mem. 2/5741.

Bernard Walford was a member of a significant early Jewish family in Hobart. His father, Bernard Walford Sr., an Austrian Jew, was born in Vienna in 1775. He relocated to England, and was convicted at the Old Bailey in c1795. Sentenced to transportation, he spent eleven years as a convict on Norfolk Island. There, he formed a relationship with a fellow convict, Jane Molloy, and began a sizable family. His son, Bernard Walford Jr, was born on Norfolk Island in 1801.

Bernard Walford Sr and his family were among the Norfolk Islanders evacuated to Van Diemen's Land in 1807-08. They arrived in Hobart aboard the *Lady Nelson* in January 1808 and were located on a Sandy Bay block that proved entirely unsuitable for farming.<sup>23</sup> Bernard moved to the struggling township of Hobart, where he eventually set up as an innkeeper. He was the licensee of the Adam and Eve Hotel in Liverpool Street from 1820 to 1822, and of the King George Hotel, Murray Street, from 1827.<sup>24</sup> (Since the King George Hotel was on the corner of Murray and Liverpool Streets, it is possible that the Adam and Eve and the King George Hotels were one and the same building.) Bernard Walford Jr married in 1820, and worked alongside his father as co-licensee.<sup>25</sup>

Bernard Walford Sr was regarded as one of the most promising early settlers in Van Diemen's Land. He remained a practising Jew, although he became a seat-holder in St David's Church. He is best remembered as the head of the committee which in 1828 successfully petitioned Lieutenant-Governor Arthur for a grant of land on which to build a Jewish Burial Ground. Ironically, Bernard Walford Sr died in September that year, four months after Arthur's grant for the burial ground was proclaimed. He therefore became the first person to be interned there.<sup>26</sup>

After his father's death, Bernard Walford Jr continued as licensee of the King George Hotel. He ran a pub that was 'generally conducted ... in an exemplary manner', even if – in common with almost all of his fellow publicans – he was occasionally fined for Sunday trading.<sup>27</sup>

Walford was ambitious. Possibly encouraged by the trade flowing to and from New Wharf in the late 1830s, he bought into the area. It would seem that he had a business arrangement with his neighbour, John James, and it was on the latter's land that Walford built a new hotel, the George the IV, in early 1840. In April, Walford entertained more than sixty members of the Licensed Victuallers' Association to a dinner at the new tavern,<sup>28</sup> and in May it was described in the Hobart press as 'a conspicuous object'.<sup>29</sup> The George the IV, which occupied present-day 23 Salamanca Place, enjoyed a colourful career spanning many years. It was re-signed as the Admiral Hornsby and later the Esplanade Hotel. It was better known, however, as the Blue House, and doubled as a brothel. Its licensee was Ma Dwyer, notorious to seamen throughout the world. The Esplanade was closed by the Licensing Court in 1961, although in the 1990s it was incorporated into Irish Murphy's together with 21 Salamanca Place, which first obtained a license as Sinbad's in 1980, later being rebadged as Stoppy's.<sup>30</sup>

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<sup>23</sup> TAHO: Bernard Walford, correspondence file; Robson, L, 1983, *A History of Tasmania* vol. 1, OUP, p61; <http://boards.ancestry.com.au/thread.aspx?mv=flat&m=50&p=surnames.walford>.

<sup>24</sup> *Hobart Town Gazette*, 7 October 1820, 6 October 1821, 5 October 1822 and 6 October 1827.

<sup>25</sup> TAHO: RGD 36/1/1 no. 466; *Hobart Town Gazette*, 6 October 1827.

<sup>26</sup> <https://en.wikipedia.org/wiki/Talk%3AFagin>.

<sup>27</sup> *Colonial Times*, 3 May 1842 p3c5 and 21 December 1841 p3c5.

<sup>28</sup> *Hobart Town Courier and Van Diemen's Land Gazette*, 24 April 1840 p2c5.

<sup>29</sup> *Colonial Times*, 12 May 1840 p4c4.

<sup>30</sup> Dennison, C J, 2008, *Here's Cheers: A Pictorial History of Hotels, Taverns & Inns in Hobart*, Hobart City Council, pp 67 & 68.



It would seem certain that Walford commenced the purchase of both the block that he acquired from Arthur in 1842, and John James' neighbouring block (which he bought from James on the same date),<sup>31</sup> at least a year earlier. In February 1841, the *Courier* announced that 'in addition to the handsome stores already erected, Mr B Walford has commenced two others which, with the house now occupied by him, will form a very substantial pile'.<sup>32</sup> The stores referred to are no doubt the four (including the George the IV Tavern) that now stand on 21-25 Salamanca Place. The house already occupied by Bernard Walford Jr in 1841 is shown by later plans to be located immediately to the rear of the warehouse at 25 Salamanca Place and joined to it.<sup>33</sup>

To pay for his enterprises, Walford took out a mortgage from his fellow Jew, Judah Solomon, for £2,190, dated 17 October 1842.<sup>34</sup> The two men may well have enjoyed a friendly relationship, as Bernard's younger brother Benjamin, who ran a hotel in Launceston, had married into the Solomon family in 1838.<sup>35</sup> Benjamin Walford was also a business partner of Judah's brother, Joseph Solomon.<sup>36</sup>

To help finance his mortgage, Bernard Walford leased his warehouse at 25 Salamanca place to John James for fourteen years, commencing on 12 October 1842, five days before the mortgage was signed. At the time of the signing, this warehouse was occupied by John Johnson, who ran a ships' chandlery from it.<sup>37</sup> The business was evidently successful, because the *Colonial Times* reported in 1843 that 'no town in the southern hemisphere can boast of two such ship chandlery establishments as those of Messrs McEuen and Johnston [sic] at the New Wharf'.<sup>38</sup>

The 1840s was a time of depression in Van Diemen's Land, caused partly by the introduction of the Probationary System of convict administration. Bankruptcies were common, and those who over-capitalised in the boom of the 1830s found themselves highly exposed. Bernard Walford was a case in point. He was declared insolvent in May 1843, and 7 June was fixed for the first meeting of his creditors.<sup>39</sup>

Bernard Walford's assets were first put up for auction in August 1843. They were itemised as:

The King George Inn [evidently an alternative name for the George the IV Tavern, and not Walford's Hotel in Murray Street]

The store in occupation of Mr Johnson

The store in occupation of Capt. Lindsay

The store in occupation of Mr Butler

One store untenanted

One allotment of land not yet built on.<sup>40</sup>

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<sup>31</sup> Deeds Office, Mem. 2/5709.

<sup>32</sup> *Courier*, 12 February 1841 p2c5.

<sup>33</sup> TAHO: AE 417/3/3061.

<sup>34</sup> Deeds Office, Mem. 2/5742.

<sup>35</sup> TAHO: CSO 74/1/1 pp88-89.

<sup>36</sup> *Launceston Courier*, 31 May 1841 p1c3.

<sup>37</sup> Deeds Office: Mem. 3/223.

<sup>38</sup> *Colonial Times*, 1 August 1843 p3c5.

<sup>39</sup> *Courier*, 19 May 1843 p3c4.

<sup>40</sup> *Courier*, 25 August 1843 p1c5.

Evidently, the property did not sell, for it was readvertised for auction in May the following year. This time the description read:

Those highly valuable and first-rate BUSINESS PREMISES, recently built by Mr Walford, situated at the angle of Salamanca Place and George Street, close to the New Wharf, and nearly opposite the Customs House. The 'George Inn', the Ship Chandlery Store of Mr Johnson, and the spacious premises in the occupation of Mr Butler, the Woolstapler, form part of these premises, and there is ample space for the erection of other buildings on the ground, which has a frontage of 105 feet on George Street.<sup>41</sup>

This time, the property was offered in one lot, and without reserve. It was purchased at auction by its mortgagee, Judah Solomon, for £1,400, a relatively small sum, indicative of the hard economic times.<sup>42</sup> Bernard Walford did not live long after his bankruptcy. He died in August 1846 aged forty-six.<sup>43</sup>

Judah Solomon, like Bernard Walford Sr, came to the Australian colonies as a convict. Born in England in c1877, he formed a partnership with his younger brother, Joseph, with whom he opened a shop in Sheerness. In August 1819 the pair were convicted at Kent Assizes of employing burglars to repossess goods that they claimed were rightfully theirs. They were transported to Sydney, and from there to Hobart, arriving in March 1820 aboard *Castle Forbes*. In 1821 they opened a general store on the corner of Liverpool and Argyle Streets. Their business expanded into land dealing, and in Hobart the brothers acquired a substantial block of land in Argyle Street. Here, in the mid-1820s, they built Temple House, a combined business and residence, which still stands.

By 1825 Joseph had moved to Launceston, where the brothers opened a second store. They opened a third in Campbell Town in 1838, but by this time they were drifting apart; they formally severed their business partnership in 1841. Judah Solomon, who was granted his ticket-of-leave in 1823, remained in Hobart and became the sole owner of Temple House. He is remembered today for that building, and also for his role in the building of the Hobart Synagogue, Australia's first.

Judah Solomon was a leading member of the committee charged with raising funds for the building of the Synagogue. When in 1843 an application to Lieutenant-Governor Franklin for a grant of land on which to build it was refused on the grounds that the government only made such grants to Christian organisations, Judah Solomon donated a portion of the garden of Temple House for the purpose. The foundation stone was laid in August of that year, and the Synagogue, designed by the Scottish convict-architect James Thomson, was officially opened in July 1845.<sup>44</sup>

In 1826 Judah, who had left a wife and family behind in England, fathered a son, Joseph, with his housekeeper, Elizabeth Howell. Judah recognised Joseph despite his illegitimacy, and when the former died in 1856 he left most of his considerable property to him, including the Salamanca land he had purchased in 1844.<sup>45</sup> Joseph carried on business in Hobart as a merchant, in partnership with his half-brother, Isaac Solomon. In 1863 he purchased Temple House from Isaac, and lived there until his death in June 1894. He remained the

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<sup>41</sup> *Courier*, 19 April 1844 p3c5.

<sup>42</sup> Deeds Office: Mem. 3/3703.

<sup>43</sup> TAHO: RGD 35/1/2 no. 1120.

<sup>44</sup> Solomon, H J, 'Solomon, Joseph (1780-1851)' in *ADB* vol. 2, 1967, MUP (accessed on-line); <http://steelfamilyhistory.blogspot.com.au/2009/02/judah-solomon.html>;

<https://www.tasmaniangeographic.com/judah-solomon-and-building-of-the-hobart-synagogue/>

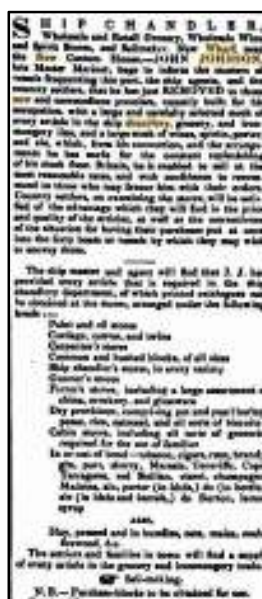
<sup>45</sup> <https://en.wikipedia.org/wiki/Talk%3AFagin>.



Throughout the Solomons' ownership of the warehouses and pub on the corner of George Street and Salamanca Place, all the buildings were leased out. No Assessment Roll identifies any member of the Solomon family as an occupant of any of the buildings between the first Hobart Assessment Roll, published in 1847, and the transfer of the property to a new owner by the executors of Joseph Solomon in 1902.

[illegible]

A year later, the size of his advertisement had increased, as had his stock.



Johnson may well have scaled down his business after this date, for his display advertisements ceased to appear in the Hobart press thereafter. Nevertheless, in Hobart's 1847 Assessment Roll, Johnson is still listed as the occupant of 25 Salamanca Place, then unnumbered.<sup>49</sup> By 1853 George Pryde, a former commander of the trading vessel, *Sea Witch*, had taken up residency in the warehouse as a ships' chandler and sailmaker,

<sup>49</sup> *Hobart Town Gazette*, 5 January 1847 p7.

announcing himself as the ‘successor to John Johnson’.<sup>50</sup> He was still in residency in 1855, when his store was robbed.<sup>51</sup> From c1854 the German import/export company, Stern Baar and Franc, appear to have occupied an upper floor.<sup>52</sup> In September 1856, George Pryde offered ‘large and commodious store with offices attached, now in the occupation of Messrs Stern, Baar and Franc’ for lease.<sup>53</sup> But in 1858 the warehouse appears to have been empty.<sup>54</sup>

By 1861 Hubert B Evans, a former mariner, was occupying the lower floor of the building, which had been converted into a shop and two flats. John Bain, a sailmaker, occupied an upper floor.<sup>55</sup> In 1876 Bain entered into a partnership with George Thomas Dale, which undertook to make ‘every descriptions of sails, tents, tarpaulins ... on the shortest notice’.<sup>56</sup> Bain seems to have vacated the sail loft in circa-1878.<sup>57</sup> Thereafter, the tenants referred to in the Hobart Assessment Rolls were all shopkeepers, who occupied the ground floor of the building. In 1877 and 1878, the tenant was Thomas Bennett. He was followed in 1879 by Robert McCrocken and in 1885 by Robert West.<sup>58</sup>

Following Joseph Solomon’s death in 1894, the building was managed by his executors, and seems to have functioned solely as a shop. The shopkeeper in 1894 and 1895 was James R Fryer (who also features in the history of 49-51 Salamanca Place); he was followed by William T Thorpe, who ran the business in 1897 and 1898. In 1899 the building again stood empty.<sup>59</sup>

The photograph below was taken during celebrations following the proclamation of the Commonwealth of Australia. It was taken shortly after the death of Queen Victoria on 22 January 1901. The revellers on the roof of the Esplanade Hotel to the right of 25 Salamanca Place have a birds-eye view of the parade, out of view in the foreground.



**25 Salamanca Place in 1901<sup>60</sup>**

<sup>50</sup> *Launceston Examiner*, 24 December 1851 p1c2; *Courier*, 7 July 1853 p4c2; *Hobart Town Gazette*, 27 March 1855 p486.

<sup>51</sup> *Colonial Times*, 18 December 1855 p3c1.

<sup>52</sup> *Hobart Town Gazette*, 25 March 1856 p273; *Hobart Mercury*, 23 December 1854 p2c1.

<sup>53</sup> *Hobart Mercury*, 3 October 1856 p3c3.

<sup>54</sup> *Hobart Town Gazette*, 16 March 1858 p320.

<sup>55</sup> *Hobart Town Gazette*, 19 December 1861 p2016.

<sup>56</sup> *Mercury*, 27 March 1876 p3c6.

<sup>57</sup> *Hobart Town Gazette*, 1 January 1879 p72.

<sup>58</sup> *Hobart Town Gazette*, 2 January 1877 p71, 1 January 1878 p72, 1 January 1879 p72; *Hobart Gazette*, 6 January 1885 p33.

<sup>59</sup> *Hobart Gazette*, 2 January 1894 p130, 1 January 1895 p38, 1 January 1897 p38, 1 January 1898 p39 & 8 August 1899 p1899.

<sup>60</sup> TAHO photo, sourced from Hope, A R, 206, *A Quarry Speaks: a History of Hobart's Salamanca Quarry*, Hobart, pp48-49.



In September 1902, Joseph Solomon's executors, the Perpetual Trustees Executors and Agency Company, sold the collection of warehouses purchased by Judah Solomon to George Adams for £5,000.<sup>61</sup>

Adams, born in England in 1839, migrated to Australia with his parents in 1855. He worked as a gold miner, stock dealer, butcher and publican before founding Tattersalls lotteries in 1881. He ran afoul of the anti-gambling lobby, and his business was kicked out of New South Wales and Queensland before Adams found a home for it in Tasmania in 1895.<sup>62</sup> Adams was a significant character in Australia's history, but his involvement with 25 Salamanca Place was minimal. He bought it, along with the other warehouses in the group, simply as an investment, and died two years after the purchase.

The warehouse at 25 Salamanca Place continued to house a shop during Adams' brief ownership.<sup>63</sup> When managed by his estate in 1905 it stood empty.<sup>64</sup> Later it was used as a depot by W L Sansom and R McGough, spirit merchants, trading under the name Ferguson and Co.<sup>65</sup>

In November 1915, George Adams' executors sold the warehouse at 25 Salamanca Place as a discreet entity to the Tasmanian Rosella Preserving Company Ltd for £2,000.<sup>66</sup> The company converted the warehouse into a factory and used it for its Tasmanian operations until 1950. The company had been founded in the late nineteenth century in Victoria by H R McCracken, a commissioning agent, and T J Press, a grocer, who started making jam and preserves in the backyards of their Melbourne homes. In 1895 the company was put on a sound commercial footing when Frederick Cato (1858-1935), the owner of the largest grocery chain in Victoria, provided financial backing. Cato became chairman of directors, and remained as such until his death.<sup>67</sup> The company had branches in Victoria and New South Wales as well as in Tasmania, and specialised in the manufacture of jams. It is perhaps best known today, however, for its tomato sauce.

From 1916 the Hobart Assessment Rolls described 25 Salamanca Place (then 8 Salamanca Place) as a 'store'.<sup>68</sup> However, Rosella advertised in the Hobart press for petrol and benzene cases, from which to manufacture tins for its products, and also for deliveries of fruit from local producers.<sup>69</sup> This strongly suggests that the warehouse had been converted into a factory.

By 1920 the company had also purchased the warehouse at 27 Salamanca Place from George Adams' estate. In Hobart's Assessment Rolls, this building is also described as a store.<sup>70</sup> It may well have been used as such. In any event, it is possible – even likely – that internal communication was established between 25 and 27 Salamanca Place while they were in common ownership.

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<sup>61</sup> Deeds Office, Mem. 10/5747.

<sup>62</sup> Denholm, D, 'Adams, George (1839-1904)', *ADB* vol. 3, 1969, MUP (accessed on-line).

<sup>63</sup> *Hobart Gazette*, 2 November 1903 p1531.

<sup>64</sup> *Tasmanian Government Gazette*, 18 December 1905 p202224.

<sup>65</sup> *Tasmanian Government Gazette*, 22 January 1922 p234; *Mercury*, 10 March 1910 p1c1, 15 April 1914 p2c4.

<sup>66</sup> Deeds Office, Mem. 13/7548.

<sup>67</sup> 'Cato, Frederick John (1858-1935)', *ADB* vol. 7, 1979, MUP;

<http://www.theaustralian.com.au/news/nation/family-fears-for-rosellas-colourful-history/story-e6frg6nf-1226532484870>.

<sup>68</sup> *Tasmanian Government Gazette*, 6 June 1916 p1119.

<sup>69</sup> *Mercury*, 11 July 1918 p1c7 & 27 July 1918 p1c4.

<sup>70</sup> *Tasmanian Government Gazette*, 21 June 1920 p1357.

Around 1930 the Rosella Preserving Company purchased land next to New Town railway station. In 1933 the company announced that it was about to build a large new factory there, and that it would be completed in time for the next fruit season.<sup>71</sup> It is safe to assume that upon completion of the new factory, 25 Salamanca Place was retained for use as a store. However, such were the times that a more pressing use was found for the building. The Depression was causing great poverty in Hobart, particularly during the winter months, and in June 1935 it was announced that a relief canteen would be set up at Rosella's Salamanca site. Those staffing the building received gifts of food from the public and distributed them to the needy.<sup>72</sup> The canteen ran until October 1935,<sup>73</sup> and there is no record of its having been reinstituted in later years.

During the Second World War, the Rosella Preserving Company again put its Salamanca store to good use. International shipping having been considerably reduced because of the risk of enemy attacks, Australians found it necessary to recycle. From July 1940, 25 Salamanca Place was used as a recycling depot, run by Scouts. Paper seems to have been the main product sought, and a man was employed to compress it into bales.<sup>74</sup>

In 1943 the Rosella Preserving Company sold its redundant Salamanca buildings. H Jones & Co. purchased 25 Salamanca Place, and seem to have allowed the Scouts to continue using it as recycling depot for the duration of the war.<sup>75</sup> H Jones & Co. probably used the building only as a store during the post-war years, the company's jam making operations being carried out in its Hunter Street factory. Salamanca Place's proximity to shipping would no doubt be seen as an advantage for storage of its completed products. If this were the case, H Jones & Co.'s management must have come to the conclusion by 1950 that the advantages of retaining the building were outweighed by the expense involved, for it sold 25 Salamanca Place to J Walch & Co. in October of that year for £5,000.<sup>76</sup>

The firm of J Walch & Sons, stationers, printers, and booksellers, began in 1846. Since 1861 it operated from a substantial building in Macquarie Street.<sup>77</sup> It is likely that it purchased 25 Salamanca Place for use as a store. The company retained the building until 1963, when it sold it to W H Ikin & Son Pty Ltd.<sup>78</sup>

The plan on the next page accompanied this conveyance, and shows the configuration of the land on which the warehouse at 25 Salamanca Place was built.

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<sup>71</sup> *Mercury*, 20 September 1933

<sup>72</sup> *Mercury*, 6 June 1935 p5c6.

<sup>73</sup> *Mercury*, 23 October 1913 p5c8.

<sup>74</sup> *Mercury*, 3 July 1940 p4c5.

<sup>75</sup> *Tasmanian Government Gazette*, 29 May 1944 p1037.

<sup>76</sup> Deeds Office, Mem. 25/3364.

<sup>77</sup> <http://search.archives.tas.gov.au/default.aspx?detail=1&type=A&id=NG00067>.

<sup>78</sup> Deeds Office, Mem. 35 834.





**Plan of 25 Salamanca Place, 1963<sup>79</sup>**

W H Ikin & Son was a family-based private company retailing fruit and vegetables. It was incorporated in 1955.<sup>80</sup> The photograph below, probably taken during the 1960s, shows that the façade of the building had changed little since 1901, the main alternation being to the vehicular entrance on the left. Internally, there were considerable changes, commissioned to suit the requirements of W H Ikin and Son, and implemented soon after the company bought the building.<sup>81</sup>



**25 Salamanca Place c1960s<sup>82</sup>**

<sup>79</sup> *Ibid.*

<sup>80</sup> <https://www.aus61business.com/company/W-H-Ikin-Son-Proprietary-Limited>.

<sup>81</sup> TAHO: AE 417/3/3061.

<sup>82</sup> Dennison, p67 (photograph source described by the author on p262 as 'unknown').

By 1985 W H Ikin & Co was leasing 25 Salamanca Place to its competitor in the retail food business, Clements & Marshall, as the photograph below shows.



**1985 photo of 25 Salamanca Place<sup>83</sup>**

In August 1985 WH Ikin & Son sold 25 Salamanca Place to Judith Ann Richter.<sup>84</sup> The following year the façade of the building was considerably remodelled to suit the new lessee, Lifestyle Furniture. In November 1989 Judith Richter sold the building to four members of the Behrakis family as tenants-in-common.<sup>85</sup> It has continued to be leased as a retail outlet.

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<sup>83</sup> Photo identified as a 1985 National Trust photo, sourced in TAHO: AE417/8/1967.

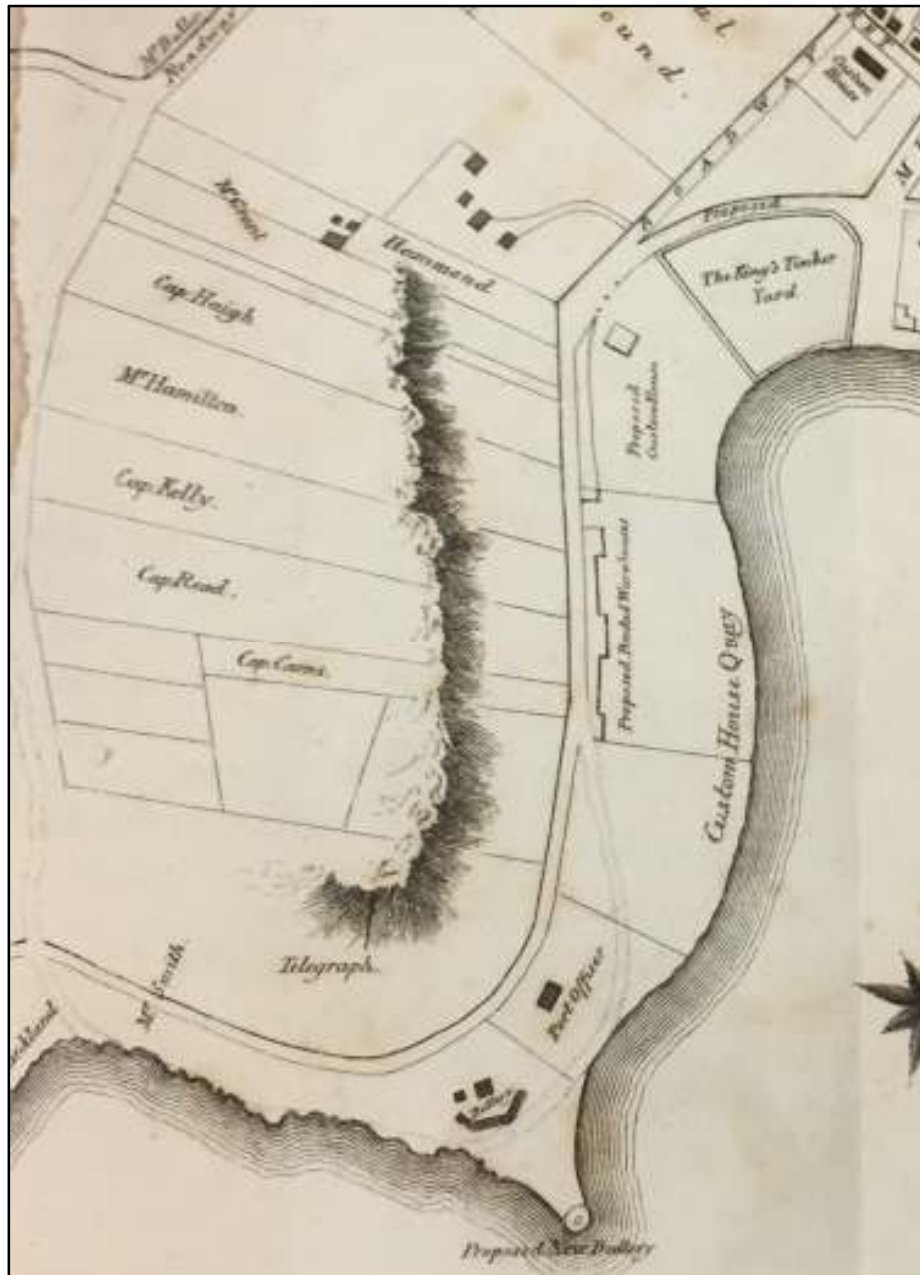
<sup>84</sup> Deeds Office, Mem. 61/7974.

<sup>85</sup> Deeds Office, Mem. 65/8445.



### 3. 39 and 41 Salamanca Place

The map below is a section of one that appeared in 1832 in an emigrants' guide.<sup>86</sup>



**1832 map showing land ownership near New Wharf**

The map shows who owned the blocks of land stretching back from New Wharf in c1827, some years before the map was published. The absence of Montpelier Retreat (built in 1831) suggests that it depicts the state of affairs before this event. And the identification of 'Hammond' as owner of the block of land with the location of that street as its north-eastern boundary suggests that the map dates from prior to October 1827, when (according to the historian, Amy Rowntree) James Meers Hammond sold his block of land to Thomas

<sup>86</sup> Goodridge, C M, 1832, *Narrative of a Voyage to the South Seas & the Shipwreck of the Princess of Wales Cutter and Statistical View of Van Diemen's Land ... forming a Complete Emigrant's Guide*, W C Featherstone, Exeter, UK, p147.

Hewitt.<sup>87</sup> Hammond was a merchant who died in 1830.<sup>88</sup> Not a great deal more seems known about him, and although some structures are shown on his property, the inn at the corner of today's Salamanca Place and Montpelier Retreat (known in 2016 as Whaler's) is not shown. This suggests that Thomas Hewitt, the owner after 1827, had it built.

When was the inn built? It is difficult to answer this question precisely. In her 1951 book, *Battery Point Today and Tomorrow*, Ms Rowntree stated that the inn was the first built on the waterfront, that it was the second to be built in Hobart, and that it was probably opened in the late 1820s. Unfortunately, she did provide any references to support these views. Nevertheless, they seem to have been accepted by the present licensee of Whaler's, who in 2016 announced on a sign outside the pub that it was built in 1829.

Despite these claims, the earliest reference that has been found by the present researcher dates from 27 October 1835, when Reay Clark begged to 'acquaint his friends and the public that he ha[d] opened a wholesale and retail wine and spirit store, on the New Wharf, Hobart Town, called The Whaler's Return, and having supplied himself with an extensive stock of wine and spirits, porter, ales, &c. of the choicest description, he hope[d] to obtain a share of public support'.<sup>89</sup> The wording strongly suggests that the pub had just been opened for the first time. And, while it is possible that the inn was built some years earlier and that in its early years it sold alcohol in a less well publicised way, in the absence of proof it is prudent to put its date of construction as no earlier than 1834/35.

Mr Clark followed up his first advertisement with a larger one a few weeks later, in which he detailed his extensive stock.

**NOTICE.**

**R**EAY CLARKE begs to acquaint his friends and the public, that he has opened a Wholesale and Retail Wine and Spirit Store, on the New Wharf, Hobart town, called "The Whaler's Return," and having supplied himself with an extensive stock of—

Wines,  
Spirits,  
Porter,  
Ales, &c.

of the choicest description, he hopes to obtain a share of public support.

R. C. has in bond some considerable parcels of—

Cognac brandy, and  
Jamaica rum,

in puncheons and hogsheads, selected with the greatest care, which he offers to dealers who may favor him with their orders, on liberal terms, either in bond or duty paid. He has also in store—

Port,  
Sherry,  
Madeira,  
Lisbon,  
Cape, and  
Secilian wines,

in cask and bottle

Claret, and  
Champagne, in cases,  
Elliott & Co's. and  
Taylor & Co's. best London Stout,

in hogsheads, to which he invites attention.

New Wharf New a

1835 advertisement for the Whaler's Return<sup>90</sup>

<sup>87</sup> Hudspeth, p131; Rowntree, p90.

<sup>88</sup> *Colonial Times*, 18 June 1830 p1c3.

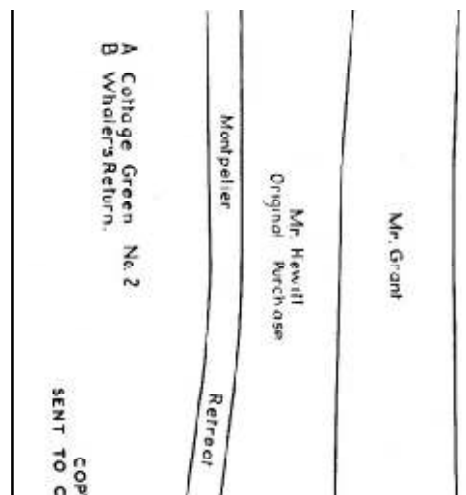
<sup>89</sup> *Colonial Times*, 27 October 1835 p3c3.

<sup>90</sup> *Hobart Town Courier*, 13 November 1835 p3c5.



This advertisement appeared regularly in the Hobart press of 1835, and was followed by other advertisements for the wholesale of spirits and fortified wines, which show Clark to have been an importer as well as a publican.<sup>91</sup>

The second question to be asked about the Whaler's Return is: who built it? This can be answered with more confidence. As stated above, Thomas Hewitt bought James Meers Hammond's block of land in 1827. A plan sent to the Colonial Secretary in 1836 (and adapted by Amy Rowntree for publication) shows that Hewitt had purchased the whole of Hammond's lot.



**1836 plan showing Hewitt's Salamanca block<sup>92</sup>**

In 1836 Hewitt fell out with his neighbour, James Grant, about the alignment of their lands.<sup>93</sup> The resolution of the conflict resulted in Hewitt ceding to Grant a considerable amount of frontage along Montpelier Retreat. Once the new dimensions of his land had been established, Hewitt applied for a grant to confirm that land as his. The grant was proclaimed in January 1837 as an area of 3 roods 27 perches (roughly 3,700 m<sup>2</sup>).<sup>94</sup> The new configuration of Hewitt's land is shown in Sprent's Book of Hobart charts, which was published in 1841 based on survey work carried out in the preceding couple of years.

<sup>91</sup> *Colonial Times*, 5 April 1836 p8c2.

<sup>92</sup> Rowntree, p90.

<sup>93</sup> Rowntree, p91.

<sup>94</sup> Grants Book 1 p694; *Hobart Town Gazette*, 27 January 1837.



**Section from Sprent's Book (c1841) showing Hewitt grant<sup>95</sup>**

Thomas Hewitt was born in Warwick, England, and arrived in Hobart as a 27-year-old in March 1828 per the *Boddington*. He was already moderately wealthy, bringing with him £3200 in cash and £1800 in merchandise. Hewitt soon became one of the most successful and respected merchants in the city. In December 1829 he was unanimously elected Managing Director of the Bank of Van Diemen's Land. He was also part owner of a number of ships. It is indisputable that Hewitt was owner of his New Wharf block at the time the Whaler's Return was built.

<sup>95</sup> Searchable on-line at LIST-map (<https://www.thelist.tas.gov.au>).



During the 1830s Thomas Hewitt was one of the wealthiest men in Van Diemen's Land, but during the crash of the 1840s he lost almost his entire fortune. He was forced to rent, then in 1850 to sell his magnificent Hobart mansion, Vacluse; in the same year his wife and the mother of his five surviving children left him 'at the instigation of an execrable villain'. Hewitt died in 1858 at the age of fifty-eight.<sup>96</sup>

One imagines that Hewitt's sale of his New Wharf grant in November 1842 was forced upon him by his financial hardships. The new owner of the entire grant was William Lindsay Esq.<sup>97</sup> Little has come to light about Lindsay, other than that he arrived in Hobart in 1832 when in his mid-thirties, and was a Hobart merchant and property owner during the 1840s and 1850s.<sup>98</sup> He bought Hewitt's land as an investment and managed the properties on it as a landlord.

Reay Clark remained licensee of the Whaler's Return until 1839.<sup>99</sup> George Whitby became licensee in 1841, and the following year he announced that he had completed extensive additions and alterations to the building, which also provided good stabling.<sup>100</sup> Like many of Hobart's early pubs, the Whaler's Return was used for inquests.<sup>101</sup> In 1845 Whitby shot himself in the leg in a freak hunting accident. His leg was amputated, but he died a few days later at the age of thirty-seven. Ironically, the inquest into his death took place in his own pub.<sup>102</sup>

In 1844 a James Hunter announced that he had opened a provision, grocery and ships' chandlery store in the weatherboard building next to the Whaler's Return (the site of the present-day 41 Salamanca Place).<sup>103</sup> The following year, William Lindsay advertised the premises as 'to be let'.<sup>104</sup>

Licensees for the Whaler's Return came and went.<sup>105</sup> Little information can be gleaned about the pub itself: in 1851 the landlord was fined £4 for serving alcohol to prisoners of the Crown on a Sunday;<sup>106</sup> in April 1855 John James (probably the son of the licensee, Elizabeth James) developed the pub as an 'eating house', which offered to provide meals on demand between 4am and 10pm, although by September that year the opening hours had become rather more manageable.<sup>107</sup>

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<sup>96</sup> [http://www.islingtonhotel.com/wp-content/uploads/islington\\_history\\_web.pdf](http://www.islingtonhotel.com/wp-content/uploads/islington_history_web.pdf).

<sup>97</sup> Deeds Office, Mem. 2/6529.

<sup>98</sup> TAHO: CU 30/1/1 pp76-77

<sup>99</sup> *Hobart Town Courier*, 20 October 1837 p1c4, *Colonial Times*, 10 September 1839 pc1.

<sup>100</sup> *Colonial Times*, 7 September 1841 p3c6; *Courier*, 8 July 1842 p3c5.

<sup>101</sup> *Courier*, 25 February 1842 p3c1.

<sup>102</sup> *Colonial Times*, 12 April 1845 p3c6 and 15 April 1845 p2c1; *Courier*, 19 April 1845 p2c4.

<sup>103</sup> *Colonial Times*, 15 October 1844 p1c6. The building next to the Whaler's Return is shown in Sprent's Book (p19 of this report); the brown colour of the building shows it to be of timber construction, Sprent using red to show brick or stone buildings.

<sup>104</sup> *Colonial Times*, 22 February 1845 p2c2.

<sup>105</sup> John Edgecombe from 1845 (*Observer*, 5 August 1845 p3c2); William Patterson from 1851 (*Tasmanian Colonist*, 7 August 1851 p4c1); Richard Jones from 1852 (*Colonial Times*, 3 February 1852 p3c1).

<sup>106</sup> *Tasmanian Colonist*, 3 February 1852 p3c1.

<sup>107</sup> *Tasmanian Colonist*, 9 April 1855 p3c5.

**WHALERS' RETURN EATING HOUSE,  
NEW WHARF.**

**JOHN JAMES** begs to **return** his sincere thanks to his numerous friends and the public generally, for the very liberal support he has received at their hands since he opened the above Establishment, and begs to assure them that it shall always be his study to attend to their comfort; trusting by strict attention, and the supply of the best article, still to merit a continuance of the patronage hitherto bestowed upon him.

The following is the list of prices, viz. :—

Breakfast	-	-	-	s.	d.
Dinner	-	-	-	1	0
Tea	-	-	-	1	0
Supper	-	-	-	1	0
Coffee, per cup	-	-	-	0	2
Tea, per cup	-	-	-	0	2
Bread and butter, per plate	-	-	-	0	4
Soup, per bowl	-	-	-	0	3
Soup, with Bread	-	-	-	0	6

Coffee on hand from 6 a.m. till 10 p.m.  
Soups ditto from 10 a.m. till 2 p.m.  
Dinners (hot) from 12 noon, till 2 p.m.

**N.B.**—Office and Shipping supplied.

### Advertisement for Whaler's Return eating house, 1855<sup>108</sup>

Six months later, John James moved his eating house elsewhere,<sup>109</sup> and the pub had another succession of licensees. This created a problem in 1860 when the licensee, F Paterson, sublet the pub to Henry Young. The license was satisfactorily transferred to Young, who moved in £300 worth of his furniture in December 1859. However, he failed to pay Paterson any rent, and consequently Paterson failed to pay his landlord, William Lindsay. So, in July 1860, Lindsay auctioned off the pub's furniture and stock under distraint for the missing rent, the fact that some of the furniture was Young's and some Paterson's apparently of no concern to him. The dispute between Paterson and Lindsay ended up in the Supreme Court, and when an officer of the Licensing Board inspected the pub in December 1860 and found it bare of furniture, he was understandably concerned. The Board refused to grant the pub a license, and the following year a new licensee took over.<sup>110</sup>

It is difficult to determine what in the 1850s and '60s stood on the land currently occupied by the fruit and vegetable shop at 41 Salamanca Place. In 1855 there is a reference in the press to 'a range of shingled erections running very near to the Whaler's Return'.<sup>111</sup> There seem to have been three separate buildings in 1858, one of which was an office.<sup>112</sup> By 1861 there were three shops on the property. With annual rateable values of only £20 each compared with the pub's value of £80, it is likely that they were fairly flimsy buildings.<sup>113</sup>

William Lindsay died in 1862 at the age of seventy-four after consuming zinc chloride that he apparently mistook for lime juice, the inquest returning a verdict of accidental death.<sup>114</sup> His son, James William Lindsay, inherited his father's New Wharf property, and was more

<sup>108</sup> *Tasmanian Daily News*, 14 September 1855 p5c6.

<sup>109</sup> *Colonial Times*, 1 March 1856 p3c3.

<sup>110</sup> *Hobart Town Daily Mercury*, 2 December 1859 p3c3, 12 July 1860 p4c4, 3 December 1860 p2c6 and 18 December 1860 p2c5.

<sup>111</sup> *Courier*, 30 January 1855 p2c3.

<sup>112</sup> *Hobart Town Gazette*, 16 March 1858 p320.

<sup>113</sup> *Hobart Town Gazette*, 19 December 1861 p2016.

<sup>114</sup> TAHO: SC 195/1/47; RGD 35/1/62.



of an absentee landlord than his father. He lived in Victoria for a time, in Westbury and in Otago, New Zealand.<sup>115</sup>

In 1864 Edward Oldham became the landlord of the Whaler's Return and renamed it the Nautilus Hotel.<sup>116</sup> He remained as licensee until his death in 1878, whereupon his widow, Hannah Oldham, took over.<sup>117</sup> Despite the name change, the pub remained a rough waterfront drinking establishment, fights, assaults, robberies and after-hours drinking frequently being reported in the Hobart press. Inquests continued to be held there, and occasionally auctions.<sup>118</sup> The proximity of the pub to the waterfront was also reflected in its character: the Derwent Sailing Boat Club, the first such club in Tasmania to endure for an appreciable amount of time, was formed in 1874, and conducted its monthly meetings at the Nautilus for many years.<sup>119</sup>

In 1880 James William Lindsay was living in Otago, when he was declared bankrupt. His executors consequently put his New Wharf property up for auction in ten lots in November of that year. Frederick Brown was the successful bidder for lots 1 and 4, being respectively the Nautilus Hotel and a stone house further up Montpelier Drive. He paid £800 for the pub. He also negotiated with the successful bidder of lot 2, consisting of the shops fronting New Wharf adjacent to the Nautilus, and secured it for £342. The Nautilus was described as 'containing large accommodation, with suitable outbuildings; most faithfully built of best-cut stone, and substantial in every respect'; the shops next door to it were described as having 'good stabling in the rear, with a large frontage on the New Wharf, and situate between the Nautilus and Messrs. Clark's Foundry. It has a large frontage on the Wharf, and is a splendid site for a store.'<sup>120</sup>

Frederick Brown had been an employee of the Steam Navigation Company for 23 years, the last ten of which he spent as provedore for the steamship *Tasman*. He bought his new property mainly, it seems, because he fancied being a publican, a fact that he proudly announced in 1881 a week before taking up the license to the Nautilus. In the announcement, he stated that the pub was being renovated.<sup>121</sup> In a bid, presumably, to improve the reputation of the establishment, he changed its name slightly to the 'Nautilus Family Hotel' and stressed the 'superior accommodation' that it offered.<sup>122</sup> The following year he opened a butcher's shop next door to it.<sup>123</sup>

Perhaps a publican's lifestyle was not to the former ships' provedore's liking, for in March 1883 he announced that his entire 1881 purchase would be offered for sale by tender. The advertisement described the Nautilus Hotel as 'comprising 18 commodious rooms, besides bar and kitchen ... with ... six-stall stable and coach-house attached'. It also clarified that

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<sup>115</sup> Assessment Rolls, various.

<sup>116</sup> *Mercury*, 3 August 1864 p1c2.

<sup>117</sup> *Mercury*, 8 June 1878 p2c1; *Tribune*, 6 August 1878 p3c1.

<sup>118</sup> *Mercury*, 7 July 1881 p4c5.

<sup>119</sup> Young, D, 2005, *Sporting Island, a History of Sport and Recreation in Tasmania*, Tasmanian Government - Sport and Recreation Tasmania, p40; *Mercury*, 4 January 1877 p1c2.

<sup>120</sup> Deeds Office, Mem. 6/7855; *Mercury*, 23 Oct 1880 p4c4 and 3 November 1880 p2c1.

<sup>121</sup> *Mercury*, 21 July 1881 p1c1 and 29 July 1881 p2c5.

<sup>122</sup> *Mercury* 13 October 1881 p2c6 and 15 November 1882 p1c2.

<sup>123</sup> *Mercury*, 9 June 1882 p1c6.

the adjacent block on New Wharf contained three weatherboard cottages, ‘the whole well let to respectable tenants’.<sup>124</sup>

Brown evidently failed to find a purchaser, for he tried to lease the pub later in the year.<sup>125</sup> That evidently failing as well, he had it and the other buildings he owned put up for auction in January 1884. This time his description of the pub was more detailed than previously:

The old established Nautilus Hotel, at the angle of Salamanca-place and Montpelier Retreat, and doing a good sound business. The hotel is built entirely of stone, and contains 19 rooms, conveniently arranged as follows:

GROUND FLOOR.-Spacious bar and fittings, 3 bar parlours, large dining room, 21 ft x 17 ft.

FIRST FLOOR.-Drawing-room, 20 ft x 16 ft, two large bedrooms, three small bedrooms.

SECOND FLOOR.-Four large bedrooms, four small ditto, bathroom. The large kitchen on the ground floor is fitted with now range, etc., having store-rooms, wash-house, wood and coal shed attached. Gas and water are laid on throughout the premises, and there is also a brick-built six-stalled stabled, coach house and hay loft, and other outhouses.<sup>126</sup>

Again the Nautilus failed to sell, and in August 1884 a short-term licensee was found in Mary Ann Hawksford.<sup>127</sup> Four months later, Brown offered it for lease again.<sup>128</sup> He could not find anyone to take it on, so he had it ‘thoroughly renovated and updated’ and in January 1885 Frank Brown, very likely Frederick’s son, took it on.<sup>129</sup> This was clearly a stop-gap measure; in June the pub was again offered for sale, and in October Frederick resumed the license, which he renewed the following year.<sup>130</sup> Finally, in March 1886 he sold it to the Cascade Brewing Company for £1,000.<sup>131</sup> The three weatherboard cottages next to it, he retained.

The first licensee of the Nautilus under its new owner was Robert West.<sup>132</sup> In January 1888 the license was transferred to Charles Kemp. He had served on the flagship, *Nelson*, and for this reason applied successfully for the pub’s name to be changed to the Lord Nelson Hotel.<sup>133</sup>

The newly named hotel developed an interest in sport. The Derwent Sailing Boat Club changed its name to the Derwent Yacht Club in 1889, and shortly thereafter it spawned a new club, the Derwent Sailing Club, specifically for second class boats. Both clubs met at the Lord Nelson.<sup>134</sup> The pub also had an involvement in Australian Rules football, and in the 1890s it was where the local ‘pugs’ met to arrange their fights.<sup>135</sup> Fighting of a less regulated kind occasionally occurred: in 1888 two ‘roughs’ were gaoled after fighting and

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<sup>124</sup> *Mercury*, 14 March 1883 p1c8.

<sup>125</sup> *Mercury*, 10 November 1883 p1c9.

<sup>126</sup> *Mercury*, 27 December 1883 p4c7.

<sup>127</sup> *Mercury*, 5 August 1884 p3c2.

<sup>128</sup> *Mercury*, 22 November 1884 p1c8.

<sup>129</sup> *Mercury*, 12 January 1885 p1c8 and 24 January 1885 p4c1.

<sup>130</sup> *Mercury*, 6 June 1885 p1c9 and 16 October 1885 p1c3; *Tasmanian*, 6 February 1886 p22c3.

<sup>131</sup> Deeds Office, Mem. 7/6299.

<sup>132</sup> *Mercury* 22 April 1886 p4c4.

<sup>133</sup> *Tasmanian News*, 28 January 1888 p3c6 and 7 February 1888; *Mercury*, 7 February 1888 p2c8.

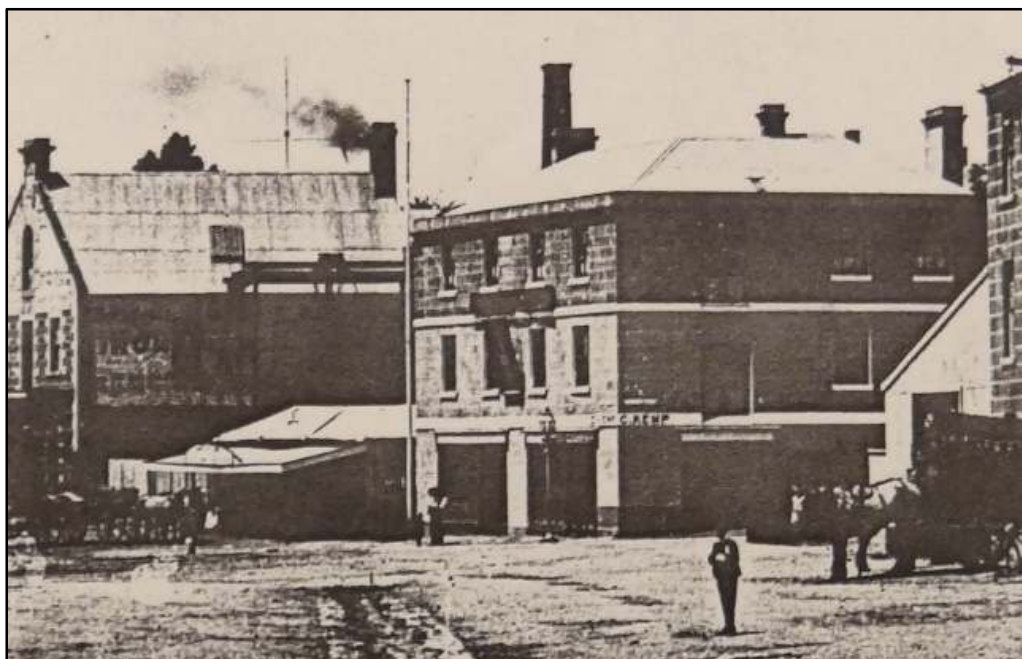
<sup>134</sup> *Daily Telegraph*, 17 May 1905 p4c3; *Mercury*, 4 March 1913 p6c3.

<sup>135</sup> *Tasmanian*, 3 November 1888 p7c5; *Clipper*, 4 November 1893 p4c4.



then attacking a police constable outside the pub,<sup>136</sup> and in 1895 two young women removed their jackets and fought ‘like tigresses’ in the bar before they were restrained.<sup>137</sup>

Frederick Brown, no longer responsible for his pub, put his energy into exploiting the land next door. In 1884 three weatherboard cottages stood on this land; by 1894 six buildings with an annual value of £20 each and, presumably all constructed of weatherboard, stood on it. However, only three of them were tenanted.<sup>138</sup> The photograph below gives an indication of the Lord Nelson Hotel and the adjacent property at this time.



**c1890s of Lord Nelson Hotel and buildings adjacent<sup>139</sup>**

The photograph shows the single-storey weatherboard structures to the left of the Lord Nelson Hotel clearly dwarfed by it.

The Hobart Assessment Rolls show Frederick Brown as the owner of the six (presumably) weatherboard cottages adjacent to the Lord Nelson Hotel during 1901, 1902 and 1903. Over that period they progressively emptied of tenants, there being only one left in 1901 and none by 1902. Their collective value in 1903 was put at £1,050, less than the estimated value of the pub on its own.

In 1903 Frederick Brown defaulted on a mortgage. The surviving mortgagee, John Pearce (whose business partner had died), consequently sold Brown’s ramshackle collection of mainly empty shacks next to the Lord Nelson Inn to David Hastie Harvey for £1,400 on 11 December 1903. Harvey was an accountant, the manager of Tattersall’s Lotteries, and the occupier of a stone house in Montpelier Retreat that was formerly part of Thomas Hewitt’s grant.<sup>140</sup>

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<sup>136</sup> *Daily Telegraph*, 10 December 1888 p2c7.

<sup>137</sup> *Tasmanian News*, 7 May 1895 p1c6.

<sup>138</sup> *Hobart Gazette*, January 1894 p130.

<sup>139</sup> Photo from the Beattie collection, found in TAHO: AE417/3/3061.

<sup>140</sup> Deeds Office, Mem. 10/8619; *Mercury*, 30 June 1927 p7c4.



Two questions need answering. The first is: ‘When were the warehouses built?’ The Assessment Rolls would appear to give a plain answer: they were built in 1904. However, the compilers of Assessment Rolls were not always meticulous in their work. As an example of this, suffice it to say that the ownership of the Lord Nelson Hotel is given as Frederick Brown up to and including the Roll of 1902; it is not until the 1903 Roll that the correct owner, Cascade Brewery Company, is shown – seventeen years after that company became the owner. This tedious level of historical detail would be redundant were it not for the fact that a painted sign at the top of the façade of the current store at 41 Salamanca Place states: ‘Founded in 1901’. Despite this, my inclination is to say that David H Harvey built the warehouses in 1904, as soon as he purchased the land.

The second question to be answered is: ‘What did the warehouses look like when first constructed?’ The plan on the previous page shows *two* warehouses flanking the right-of-way, each separately numbered. However, when they were first occupied, it was by the same tenant, one Bruno Munck, a retailer of house furnishings and furniture maker.<sup>145</sup> And all later entries in Assessment Rolls that have been examined show the two warehouses to have remained in common ownership.<sup>146</sup>

There is no reason why a right-of-way should not have passed through a single building, especially given that it would have been solely been to the benefit to David Harvey, the owner of both the warehouses and of the stone house to which it led, possibly leading to the house’s ‘tradesmen’s entrance’. However, it is slightly puzzling that, if the ‘two warehouses’ were intended to function as a single building, its two halves should be given different street numbers; possibly David Harvey, their builder and owner, was hedging his bets in the possible expectation of leasing the two halves of the building to two different people. The point of all this somewhat turgid conjecturing, of course, relates to dating the building’s façade. If the two warehouses were constructed as individual buildings, would they have shared a common façade? Could it perhaps have been a later addition? Historical research to date has not provided an answer to this question, and it may well be that analysis of the fabric is needed before a definitive answer can be given.

By 1908 Charles B Dawson was the occupant of the warehouse(s). His company was known as Dawson’s Carriage Bazaar, and it sold ‘new and second hand vehicles of every description’.<sup>147</sup> The company also built horse-drawn vehicles such as sulkies to order,<sup>148</sup> so the Princes Wharf warehouse may well have served it as a factory as well as a salesroom. The fact that Dawson also leased the rear warehouse strongly suggests this.<sup>149</sup> By 1918 Dawson seems to have bowed to the inevitable with the ascendancy of the horseless carriage in Tasmania, and his regular advertisements cease, only to be replaced by others for ‘Dawson’s Storage Bazaar, located at 45 Princes Wharf’, the warehouses’ new address.<sup>150</sup> Dawson continued to advertise his warehouse as offering ‘rat-proof storage’ until the end of 1925.<sup>151</sup>

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<sup>145</sup> *Hobart Gazette*, 18 December 1905 p2025; *Mercury*, 27 November 1909 p1c7.

<sup>146</sup> For example *Tasmanian Government Gazette*, 5 December 1910 p2205, when they were both leased by Charles B Dawson.

<sup>147</sup> *Mercury*, 19 March 1904 p1c5.

<sup>148</sup> *Mercury*, 15 August 1914 p12c4.

<sup>149</sup> *Tasmanian Government Gazette*, 5 December 1910 p2205.

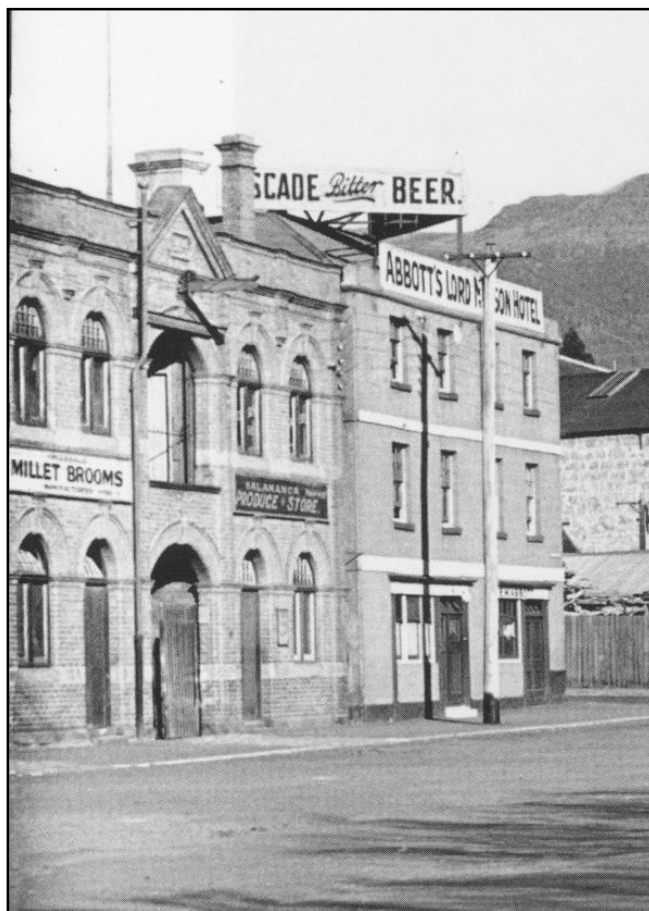
<sup>150</sup> *Mercury*, 5 May 1919 p1c5.

<sup>151</sup> *Mercury*, 10 December 1925 p2c3.





Southern Tasmanian Table Tennis Association.<sup>158</sup> The photograph below shows the Lord Nelson Hotel and 41 Salamanca Place next to it in c1938, when Millet Brooms and the Salamanca Produce Store each occupied half of the latter building.



**39 and 41 Salamanca Place in c1938<sup>159</sup>**

In 1940 E W Bailey became the lease-holder of the premises, and in May he opened an electro-plating business there.<sup>160</sup> It is likely that both this business and the broom factory were sharing the premises up to the time that L K Samson sold it in May 1941.<sup>161</sup>

The new purchasers were Johnson Sharp and Frank Wells, engineers, who bought the warehouse for £2,560.<sup>162</sup> They moved their established business, Tasma Foundry Company, there.<sup>163</sup> Johnson and Wells appear to have been the first owner of what is now 41 Salamanca Place to have also occupied the building. Johnson Sharp, having bought out his partner, sold the building in November 1949 to Clements & Marshall for £10,000.<sup>164</sup>

Clements & Marshall was established in 1901 as a Tasmanian fresh produce business. It combined with Websters a few years ago to form Field Fresh Tasmania.<sup>165</sup> In 1964

<sup>158</sup> *Mercury*, 24 June 1938 p9c7 and 22 March 1940 p3c7.

<sup>159</sup> Clennett, G & Harvey, M, 2006, *Tasmania: Classic Images*, Sandy Bay.

<sup>160</sup> *Mercury*, 11 May 1940 p11c4.

<sup>161</sup> *Mercury*, 28 August 1940 p6c3 and 16 September 1940 p6c4. These two advertisements give 45 Salamanca Place as the address of both of these companies.

<sup>162</sup> Deeds Office, Mem. 21/4068.

<sup>163</sup> *Mercury*, 27 June 1933 p11c2 and 5 August 1948 p10c5.

<sup>164</sup> Deeds Office, Mem. 24/7449.

<sup>165</sup> <http://www.websterltd.com.au/fieldfresh>.

Clements & Marshall commissioned changes to the façade of 41 Salamanca Place.<sup>166</sup> It used the building as a retail outlet until selling it to the current owners, four members of the Behrakis family as tenants-in-common, in July 1993.<sup>167</sup>

Next door, the Lord Nelson Hotel remained under the ownership of the Cascade Brewery Company until 5 January 1981. Throughout much of that period, the hotel carried on much as it had done in the late nineteenth century. It remained popular with visiting seamen, and licensees came and went, with Charles David Scott holding the position for most of the interwar years. There were occasionally fights, and a few charges were brought against patrons for disturbing the peace. Also, the Derwent Yacht Club continued meeting at the hotel, celebrating its 25th Anniversary there in 1905.<sup>168</sup>

The only major change to the pub's fabric occurred in 1947, when Cascade Brewery Company commissioned a leading Tasmanian architect, Eric Round, to 'modernise' the building, particularly by recasting its façade and Montpelier Street frontage in a style influenced by Art Deco. Round's plans also provided for additional bedrooms, new kitchens, staff rooms, new bars and lounges, and rearrangement of facilities generally and were costed at £13,021.<sup>169</sup>



**Impression of new exterior planned for Lord Nelson Hotel, 1947<sup>170</sup>**

In 1981 Cascade Brewery Company sold the Lord Nelson Hotel to Jacks Holdings.<sup>171</sup> The new owner was clearly influenced by the renewed appeal that Salamanca Place was gaining as a place for eating, drinking and entertainment, influenced in part by the conversion in 1976 of six warehouses from 65 to 79 Salamanca Place into the Salamanca Arts Centre.

It was clearly apparent to the new owner that a traditional stone pub, clearly dating from the 1830s, would likely be more attractive to would-be patrons than a 'modernised' building. New plans were drawn up, which included a restoration of the original stone façade. The pub's name was also changed to Knopwood's Retreat, thereby invoking the ghost of the first European owner of the nearby land, Reverend Bobby Knopwood. 'Knopwood's', as the pub was familiarly known, changed hands again in 1984, when it was purchased from Jacks

<sup>166</sup> TAHO: AE417/4/101.

<sup>167</sup> Deeds Office, Mem. 68/8707.

<sup>168</sup> *Tasmanian News*, 22 May 1905 p3c3.

<sup>169</sup> *Mercury*, 16 September 1947 p8c3; TAHO: AE 417/1/5334.

<sup>170</sup> Section of Eric Round's 1947 plans in TAHO: AE 417/1/5334.

<sup>171</sup> Deeds Office, Mem. 55/8205.



Holdings by four members of the Behrakis family as tenants-in-common.<sup>172</sup> Recently, its name was changed again, in another echo of the past, to ‘Whaler’s’.

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<sup>172</sup> Deeds Office, Mem. 60/3903

#### 4. 47, 49 and 51 Salamanca Place

The single cadastral title CT 122931/1, which embraces numbers 47, 49 and 51 Salamanca Place, straddles the lots purchased from Robert Knopwood in 1824 by Andrew Haig and James Grant. They are shown in the c1827 map provided on page 16 of this report, although Haig's name is misspelt. Both men applied for their land to be formally granted to them. Haig made his application in December 1833,<sup>173</sup> and his grant was awarded in August 1835.<sup>174</sup> Grant applied for a grant after he and Thomas Hewitt had renegotiated the areas of their blocks, so giving Grant his Montpelier Retreat frontage. He was awarded his grant in September 1839.<sup>175</sup>

The extent of both Haig's and Grant's grants are shown in the section of Sprent's Book provided on page 19 of this report. The plan below shows the current title (in green) superimposed on Sprent's Book; the current 47 Salamanca Place lies entirely within James Grant's grant, and both 49 and 51 Salamanca Place within Andrew Haig's grant.



**Section of Sprent's book overlaid with current title for 47-51 Salamanca Place**

Captain Andrew Haig was possibly born in Scotland in c1796.<sup>176</sup> He arrived in Van Diemen's Land in June 1824 in his brig, *Snipe*, carrying cargo from India. In that year he bought his block of Knopwood's land for £150 but, failing to sell his cargo easily, he

<sup>173</sup> *Hobart Town Courier*, 27 December 1833 p3c5.

<sup>174</sup> Deeds Office, Mem. 3/4913.

<sup>175</sup> Deeds Office, Mem. 3/7940.

<sup>176</sup> <http://boards.ancestry.com.au/thread.aspx?mv=flat&m=156&p=surnames.haig>.

departed for New Zealand and Valparaiso, Chile, where he carried out survey work for Lloyds of London. He did not return to Hobart until 1833.<sup>177</sup>

In the intervening years, there had been much development in the town, but Haig's land was undeveloped and overgrown. Welcoming him back to Hobart, the *Hobart Town Courier* wrote: 'We are glad to hear that Capt. Haig, who has returned to the colony in the *Sir John Rae Reid*, is about immediately to improve and erect a suitable building on his allotment which has so long in its neglected state been a disgrace to the improving neighbourhood of the Battery Point'.<sup>178</sup>

Haig quickly built the two warehouses that now stand at 49 and 51 Salamanca Place. When these were finished, Haig and his family lived in one, while Haig had his splendid stone mansion, Narryna, built at the Hampden Road end of his allotment. It was designed by surveyor and architect, Edward Winch, and was completed in 1836.<sup>179</sup> It is possible that Winch was also responsible for Haig's warehouses; however, the simplicity of their style suggests that the design may well have come from an architectural pattern book of the period.

Haig also used one of his warehouses to sell the cargo he had brought from London on the *Sir John Rae Reid* and subsequent vessels.<sup>180</sup> In the 1840s, after an economic downturn hit Van Diemen's Land, Haig was forced to sell his Cottage Green property.<sup>181</sup> He subdivided a block containing the warehouses from Narryna, and sold it to George Frederick Read in 1849.<sup>182</sup>



**Land Andrew Haig conveyed to G F Read in 1849**

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<sup>177</sup> Rowntree, p104.

<sup>178</sup> *Hobart Town Gazette*, 30 August 1833 p2c3.

<sup>179</sup> <http://ontheconvicttrail.blogspot.com.au/2013/02/narryna-mansion.html>.

<sup>179</sup> Deeds Office, Mem. 3/4913.

<sup>180</sup> *Hobart Town Gazette*, 30 August 1833 p3c1; *The True colonist and Van Diemen's Land Political Dispatch and Commercial*, 3 February 1835 p4c3.

<sup>181</sup> [http://www.tmag.tas.gov.au/visitor\\_information/narryna\\_heritage\\_museum](http://www.tmag.tas.gov.au/visitor_information/narryna_heritage_museum).

<sup>182</sup> Deeds Office, 3/4913.



Read, a merchant and banker, was born in London in September 1788. He went to sea at the age of eleven, and was probably engaged in the East India Company's maritime service until 1808. Later he recorded in his journal that he visited the Derwent settlement that year and again in 1812, but was irritated by having his cargo commandeered and his crew placed on rations. He is believed to have brought one of the first merchant vessels through Torres Strait, and he continued to trade between Hobart Town, Sydney, Batavia, Calcutta and China. In June 1818 he moved to Hobart in the brig *Sophia*. He transferred his merchant establishment there, and later formed partnerships with Walter Bethune and Charles McLachlan. He was one of the original proprietors of the Bank of Van Diemen's Land and its managing director from 1827 to 1849. He played a major part in the development of the young colony, not least in its maritime industries, and was one of the most important men in its formative years. He used one of his New Wharf warehouses to hold his imports of tea.<sup>183</sup> Assessment Rolls show the other to have been leased by Isaac Wright, and used as a wool store.<sup>184</sup>

George Frederick Read died in 1860, but the warehouses remained owned by his family, with Wright occupying his warehouse until 1882.<sup>185</sup> From the advertisements Wright regularly placed in the Hobart press, it can be seen that he traded as a general importer/exporter and shipping agent, although he appears to have specialised in wool. No other occupier is shown for the warehouses owned by the Read family after 1860, and it may be that Wright leased and traded from both.

\* \* \*

Meanwhile, next door, James Grant's New Wharf frontage remained relatively undeveloped for some years.

Grant was born in c1786. He migrated from England to Van Diemen's Land, arriving in April 1824 aboard the *Heroine*, in order to join his brother, John Grant, who was a partner in the mercantile firm of Bethune and Grant, which traded from a Hunter Street warehouse. James' hopes to find a large country grant close to his brother's on the Clyde River were thwarted by John's death in 1825. James consequently looked further afield, acquiring a grant on the banks of the South Esk River near Fingal; he called his property Tullochgoram, spent a great deal of his time there and became an important local settler.<sup>186</sup>

A few years after he had bought his Cottage Green lot, James Grant started to build a cottage for himself there, fronting what later became Hampden Road. It was one of the first buildings in Battery Point, identified by James Ross in his 1831 *Almanac* as the third oldest at the time. Grant's daughter was born there in June 1831, and in 1834 he called for builders to expand the dwelling by four rooms.<sup>187</sup>

Grant divided his time between Tullochgoram and Hobart. In the early 1830s, he was a shipping agent and importer of consumer goods including alcohol.<sup>188</sup> Although he gave his business address as New Wharf, he does not appear to have built any structure on his New

<sup>183</sup> Langdon, H C C, 'Read, George Frederick (1788-1860), *ADB* vol. 2, 1967, MUP (accessed on-line).

<sup>184</sup> *Hobart Town Gazette*, 27 March 1855 p486.

<sup>185</sup> *Hobart Gazette*, 2 January 1882 p32.

<sup>186</sup> <http://www.fingalvalleyhistory.com/history.html>; Rowntree, pp90-91.

<sup>187</sup> Rowntree, p91; *Hobart Town Courier*, 18 April 1834 p3c4.

<sup>188</sup> *Hobart Town Courier*, 6 March 1830 p1c2, 7 September 1832 p3c4 and 14 December 1832 p3c2.

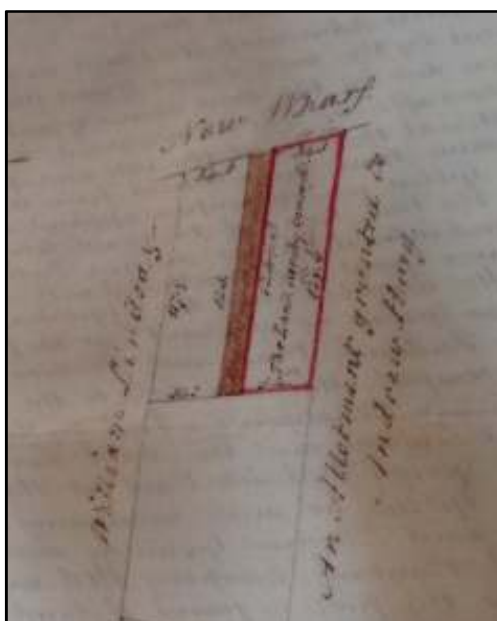
Wharf frontage. Sprent's Book, noted for its thoroughness, shows a complete absence of buildings there in 1841. The first Assessment Roll for Hobart, published in January 1847, gives Joseph Withers as the occupier of Grant's property, which comprised a 'yard and shed'.<sup>189</sup> The annual value was given as £40, which suggests that the shed was of a reasonable size, but probably of timber construction. Withers (a former innkeeper) ran a cooperage there, which he opened in 1845.<sup>190</sup>

In 1848 James Grant put his entire Cottage Green property up for auction in several lots. The advertisement for the auction included the following incentive to buy:

As the frontage on the New Wharf is nearly all occupied, men of business will perceive the advantage of securing a central position; particularly customs and shipping agents and general brokers.<sup>191</sup>

Grant sold some of the rear lots, but the lots that fronted New Wharf evidently did not fetch the reserve price, for Grant put them up for auction again the following year. This time, the land between the current 41 Salamanca Place and 49 Salamanca Place, stretching back from the street, was divided into four lots, two at the front and two at the rear. The auctioneer's advertisement stressed that the property commanded 'a ready communication with all parties connected either with Foreign or Colonial trade'.<sup>192</sup>

It is possible that buyers were found at this auction. However, the conveyances for the sale of the property were not dated March 1853. They show that it sold to two purchasers, both timber merchants. The first was Matthew Fitzpatrick, who bought one lot for £825 on 15 March.<sup>193</sup> The second was Henry Marsh, who bought three lots for £1,000 on 26 March.<sup>194</sup>



**Portion of James Grant's sold to Matthew Fitzpatrick on 15 March 1853<sup>195</sup>**

<sup>189</sup> *Hobart Town Gazette*, 5 January 1847 p7.

<sup>190</sup> *Hobart Town Gazette*, 6 October 1827 p7, *Courier*, 6 February 1845 p1c1.

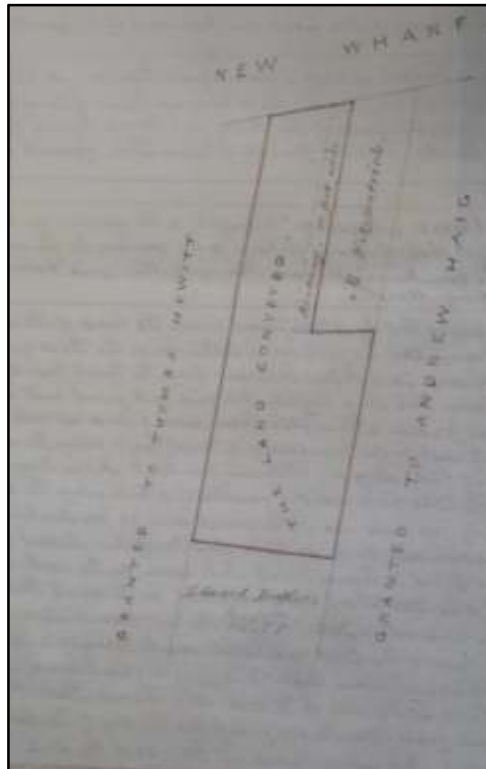
<sup>191</sup> *Courier*, 7 October 1848 p3c3.

<sup>192</sup> *Courier*, 9 June 1849 p3c5.

<sup>193</sup> Deeds Office, Mem. 3/7997.

<sup>194</sup> Deeds Office, Mem. 3/7940.

<sup>195</sup> From Deeds Office, Mem. 3/7997.



**Portion of James Grant's sold to Henry Marsh on 26 March 1853<sup>196</sup>**

The land bought by Fitzpatrick is that occupied in 2016 by 47 Salamanca Place (Maldini Café Restaurant), while the land purchased by Marsh includes the passageway leading to Salamanca Square between Salamanca Fruit Market and 47 Salamanca Place. The brown rectangle shown bordering Fitzpatrick's land was a roadway 10 feet wide.

The disparity between the prices paid for the two blocks – Fitzpatrick paid only slightly less for one lot than Marsh did for three – is probably due partly to the higher price that a lot fronting New Wharf would command compared with a back block. But it also suggests that some structure existed on Fitzpatrick's block. It clearly would not have been a major structure, because it is likely that Fitzpatrick would have used most of his block for storing timber.

Numbering of New Wharf properties in the Assessment Rolls of the 1850s is anything but clear but, by consulting the Rolls in conjunction with advertisements in the local press, we can be reasonably sure that Marsh's New Wharf frontage was 19 New Wharf and Fitzpatrick's 20 New Wharf. Fitzpatrick did not advertise his timber yard, but Marsh did. He clearly carried a large stock, because in 1854 he was fined for allowing his timber to spread out into the roadway.<sup>197</sup> In the same year he entered into a partnership with Henry John Chapman, which lasted until 1858.<sup>198</sup> Once the partnership was dissolved, Marsh retained his timber yard at 19 New Wharf, while Chapman moved next door onto land owned by William Lindsay at 18 New Wharf. Later advertisements show that Chapman also sold Newcastle coal.<sup>199</sup>

<sup>196</sup> From Deeds Office, Mem. 3/7940.

<sup>197</sup> *Colonial Times*, 26 August 1854 p2c6.

<sup>198</sup> *Hobart Town Gazette*, 28 March 1853 p213 and 10 March 1854 p237.

<sup>199</sup> *Hobart Town Daily Mercury*, 4 June 1858 p3c3, 7 June 1858 p1c5, 10 June 1858 p1c4 and 17 September 1858 p4c5. Somewhat oddly, Marsh's advertisements give his new address as 9 New Wharf. However,



Marsh's solo venture was short-lived. In September 1858, he sold most of his land, including the New Wharf frontage that Chapman operated from, to John Fisher.<sup>200</sup> In March the following year, Matthew Fitzpatrick also sold his land, the present 47 Salamanca Place (then 20 New Wharf), the purchaser being Alexander Clark, an engineer.<sup>201</sup> Both Fisher and Clark paid £900 for their acquisitions, suggesting that no new building had been erected on either block during the ownerships of Marsh and Fitzpatrick.

Alexander Clark was born in Fifeshire, Scotland, in 1809. He served an apprenticeship as an engineer with his father Andrew Clark, a cartwright and ploughwright, and with Alexander Russell. He migrated to Van Diemen's Land shortly after his marriage in 1832. He worked for a number of engineering firms in Hobart, before forming a partnership with his fellow Scot, Henry Davidson. During the brief boom of the late 1830s, the partnership erected steam engines in many parts of the island. Despite suffering in the downturn of the early 1840s, they built the *Native Youth*, a paddle-steamer powered by what was probably the first marine steam engine built in the colony. She was launched in 1842. Clark's other engineering achievements include the building of the flour treadmill at Port Arthur. However, he is probably best remembered today as the father of Andrew Inglis Clark (1848-1907), his youngest son, who was a lawyer, judge, politician and the principal deviser of Tasmania's Hare-Clark electoral system.<sup>202</sup>

Although it was Alexander Clark who purchased the New Wharf land where a foundry and engineering works were established, it was his eldest son, John Clark (1833-1897), who ran it. Almost certainly, the first undertaking of Clark's Foundry was the building of the gabled workshop building that now stands at 47 Salamanca Place. In the 1859 Assessment Roll, Alexander Clark is listed as both the owner and the occupier of a foundry at 20 New Wharf with an annual value of £80.<sup>203</sup> The following year, the premises is described as 'engineer's fitting room, smithy and store' with an annual value of £120.<sup>204</sup> This fifty per cent increase in annual value is conclusive evidence of the erection of the new building. By the 1865 Assessment Roll (the next one to include New Wharf), John Clark is given as the owner/occupier of the engineering fitting room and smithy.<sup>205</sup>

Clark's foundry had a capacity of seven tons and it was equipped with an advanced riveting machine.<sup>206</sup> In 1866 John Clark became the mortgagee of Fisher's next-door block, and effectively took it over.<sup>207</sup> The engineering complex was enlarged with plate building machinery, and a steam hammer was added to allow more complex fabrication.<sup>208</sup> The workshop fabricated boilers, the engine for the steam boat *Enterprise* in 1870, Tasmania's first small steam locomotives in 1877, and stamping batteries for the mining industry.<sup>209</sup> In

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like Chapman, he claimed to be based at the same address as the former partnership. The most likely explanation for this disparity is that the compositor of the advertisement left the 1 out of the number 19.

<sup>200</sup> Deeds Office, Mem. 4/6344.

<sup>201</sup> Deeds Office, Mem. 4/7760.

<sup>202</sup> McLaren, A C, 'Clark, Alexander Russell (1809-1894), *ADB* vol., 1966, MUP (accessed on-line).

<sup>203</sup> *Hobart Town Gazette*, 15 February 1859 p325.

<sup>204</sup> *Hobart Town Gazette*, 10 February 1860 p253.

<sup>205</sup> *Hobart Town Gazette*, 3 January 1865 p79.

<sup>206</sup> Hope, p59.

<sup>207</sup> Deeds Office, Mem. 5/3954.

<sup>208</sup> <https://sites.google.com/site/montpelierhobart/foundries>.

<sup>209</sup> Rowntree, p79, Alexander, A (ed.), *The Companion to Tasmanian History*, Centre for Tasmanian Historical Studies, UTAS, p191.

1884 the firm imported the colony's first hydraulic riveting machine. The company supplied steam engines and boilers to a wide range of industries, particularly sawmills, mining operations and flourmills.

In 1884 John Fisher defaulted on his mortgage to Clark on the former Marsh timber yard, so Clark put the land up for auction. Mary Ann Clark (a member of the Clark family) was the highest bidder, and secured the block and the buildings on it for £321.<sup>210</sup>

However, by now Clark's Foundry was languishing, so Clark put the business up for sale. The purchaser was J W Syme, an entrepreneur; he took over all Clark's stock and equipment, and formed a new limited company called the Derwent Ironworks and Engineering Company Ltd. Syme immediately announced that the building at New Wharf would be renovated and improved.<sup>211</sup> The sale allowed Clark to take on a new job as government Inspector of Machinery.<sup>212</sup>

By the end of 1884 Syme had handed over the management of the new company to Malcolm Kennedy, the 26-year-old son of Robert Kennedy, the founder of R Kennedy & Sons Ltd. Robert Kennedy was a Scot. Born in 1834, he migrated to Melbourne in 1860, where he established a firm of ship builders and ship smiths. He was joined by his sons, Malcolm (then 21) and John (then 17 and already trained as a naval architect) in 1879, which was when the company name was born. In 1884 the family and its business moved to Hobart to take advantage of the demand for shipbuilding and engineering works, created by the colony's mining boom.<sup>213</sup> In September 1885 the *Mercury* waxed eloquent over the activity apparent in the factory under its new management:

A band of busy workers may be seen temporarily fitting together large structures of girders and tubular work intended for the Derwent Valley railway, all of which has to be tested with mathematical accuracy before being sent up the river to its final destination. For many weeks past those operations have been daily proceeding, the different structural parts being brought out of the foundry as completed, then temporarily fitted, together under Government inspection, and again taken to pieces for easy transit. This contract, which will not be completed for some five months yet, gives work to at least 50 additional hands, the working staff of the foundry numbering 68, a matter of no slight moment to a community where there are so many always needing employment.<sup>214</sup>

It was not long before R Kennedy & Sons took over the former Clark Foundry, with the building at today's 47 Salamanca Place as its headquarters. There the company built the steam dredge *Agnew*, for operations in the Mersey estuary; it is the only iron vessel to have been built in Tasmania.<sup>215</sup>

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<sup>210</sup> Deeds Office, Mem. 7/2687.

<sup>211</sup> *Mercury*, 6 September 1884 p3c4.

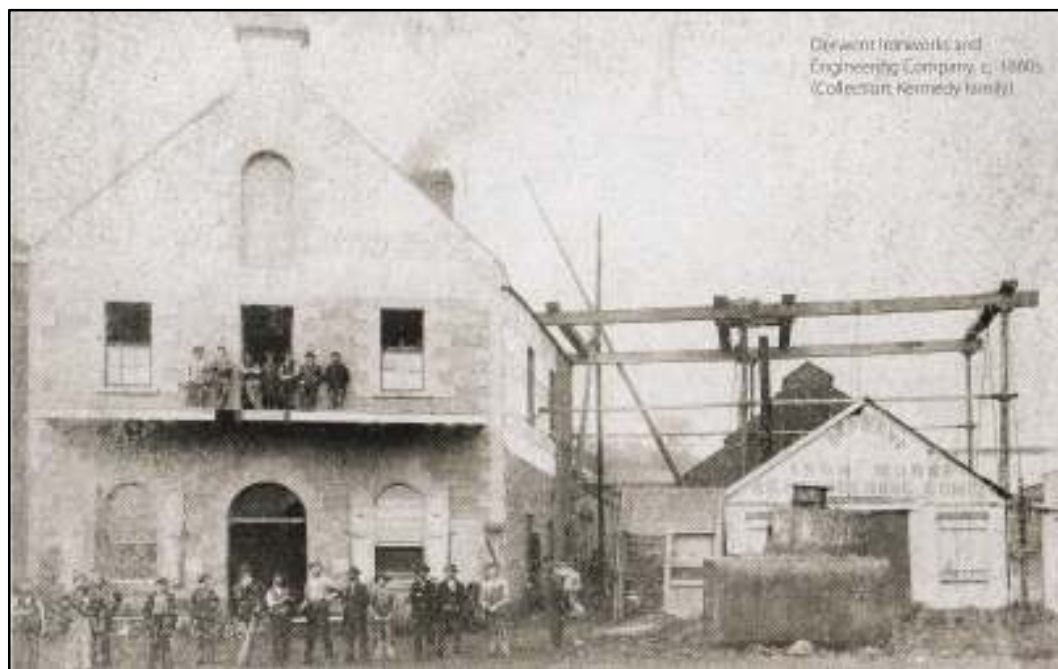
<sup>212</sup> Alexander (ed.), p104.

<sup>213</sup> Hope, pp58-59.

<sup>214</sup> *Mercury*, 19 September 1885 p3c4.

<sup>215</sup> Alexander (ed.), p104.

At this time, and for the next quarter of a century, the Clark family retained ownership of both 47 Salamanca Place and the block next door with its much more insignificant buildings. The photograph below shows the factory and some of its workers in the 1880s.



**Derwent Ironworks and Engineering Company c1880s<sup>216</sup>**

Next door, at the warehouses built by Andrew Haig, there was little change for many years. Isaac Wright retired in 1882 after 26 years in business in the wool industry. James R Fryer & Co. then took over Wright's business and the two warehouses 'with the entire concurrence of' Isaac Wright.<sup>217</sup> When Fryer died in 1897,<sup>218</sup> Charles Piesse and Frank Briant replaced him as directors. They remained trading from the warehouses with the current addresses of 49 and 51 Salamanca Place until they dissolved their partnership in 1905. Frank Briant then continued as sole director, and it seems likely that he used the warehouses much as Isaac Wright and James Fryer had used them since 1854.<sup>219</sup>

Throughout this lengthy period, the two warehouses remained in the ownership of members of the Read family or its executors. This remained the situation until 1912, when John Terry Read sold both warehouses to John, Malcolm and Colin Kennedy for £2,000.<sup>220</sup> Frank Briant remained tenant of the warehouses under the ownership of the Kennedy brothers until 1918, when Malcolm and John Kennedy are listed as occupants as well as owners.<sup>221</sup> Malcolm had taken over as managing director of R Kennedy & Sons on the death of his father in 1903.

The photograph below was taken in 1912. It shows a pulley system manufactured by R Kennedy & Sons awaiting pick up outside 47 Salamanca Place. J R Fryer & Co.'s sign can

<sup>216</sup> Collection: Kennedy family, in Hope, p68.

<sup>217</sup> *Mercury*, 21 June 1882 p1c2.

<sup>218</sup> *Mercury*, 20 February 1897 p2c3.

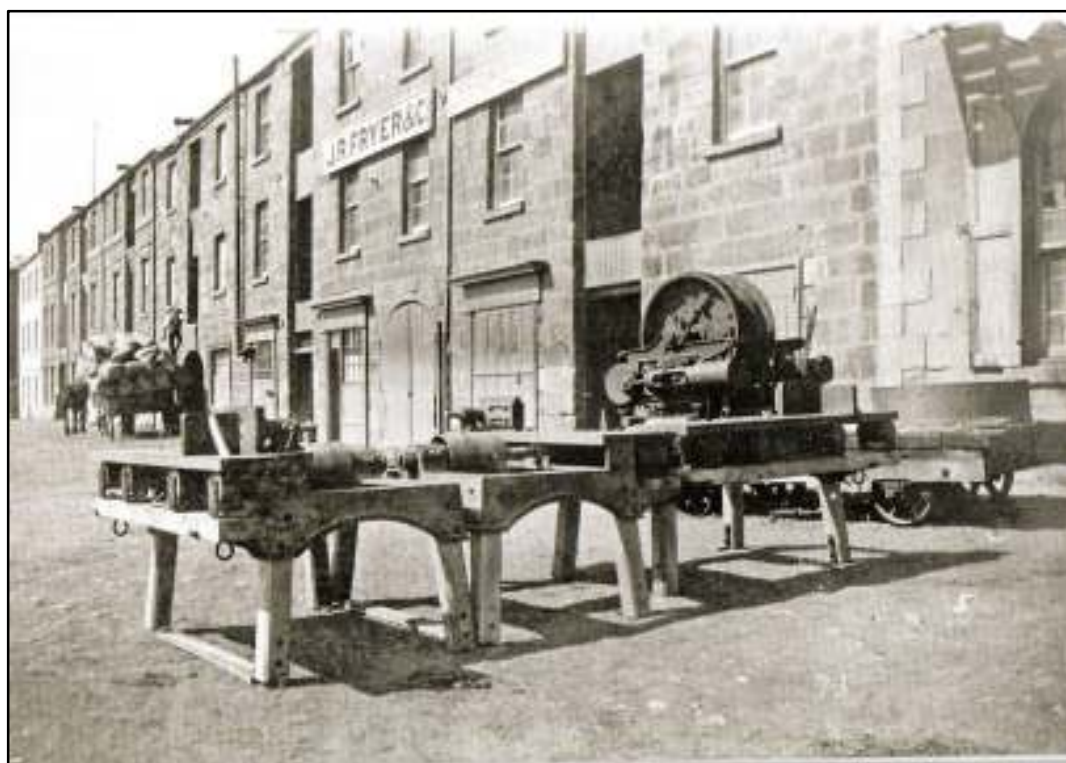
<sup>219</sup> *Mercury*, 5 October 1905 p1c1.

<sup>220</sup> Deeds Office, Mem. 12/8671.

<sup>221</sup> *Tasmanian Government Gazette*, 6 May 1918 p1043.



be seen on 51 Salamanca Place and, on the middle warehouse at 49 Salamanca Place, the sign of the shipping agents, Hollyman & Co., can be faintly seen. The latter company is not listed as an occupant in the Assessment Rolls, and may have sublet space from J R Fryer & Co., when the latter was under the management of Frank Briant.



**Outside R Kennedy & Sons 1912<sup>222</sup>**

The years of the First World War and its aftermath appear to have been years of expansion for R Kennedy & Sons. In 1917 the company purchased the Anchor tin mine near Lottah, and operated it.<sup>223</sup> In the same year, it leased two additional Salamanca Place warehouses from the Tasmanian Marine Board.<sup>224</sup> And the following year, it purchased from the executors of John Clark the warehouse at 47 Salamanca Place (its headquarters for many years) and 45 Salamanca Place, now the entrance to Salamanca Square, then the site of the smaller buildings shown in the photograph on page 38 of this report. It paid £1,975 for the former and £425 for the latter.<sup>225</sup> These new purchases were made in the names of the three Kennedy brothers, Malcolm, John and Colin, but in 1926 they were transferred to the ownership of R Kennedy & Sons, along with many other parcels of land.<sup>226</sup>

From now on, a major part of the company's business became quarrying of the dolerite and other rock in the former convict quarry at Salamanca Place. In fact, the quantity of rock removed from the quarry by R Kennedy & Sons was many times that removed by the convicts. Much of it was used to pave Hobart's roads.<sup>227</sup>

<sup>222</sup> Collection: Kennedy family, in Hope, p73.

<sup>223</sup> Hope, p74.

<sup>224</sup> *Mercury*, 2 October 1917 p4c6.

<sup>225</sup> Deeds Office, Mems 14/4238 and 14/4239.

<sup>226</sup> Deeds Office, Mem. 17/3288.

<sup>227</sup> Hope, pp64-65.

During the Second World War, R Kennedy & Sons leased out its warehouses at 49 and 51 Salamanca Place, the former to the Defence Department, the latter to Concrete Products Pty Ltd.<sup>228</sup> By 1942, the Postmaster General's Department also occupied some part of the buildings, but by the following year the Defence Department was their sole tenant. It remained *in situ* until the end of the war.<sup>229</sup>

In 1947 R Kennedy & Sons went out of business.<sup>231</sup> In 1949 it sold much of its land to the Marine Board. This included the block then known as 45 Salamanca Place, now the broad pedestrian passage to Salamanca Square.<sup>232</sup> However, it was not until 1955 that 47, 49 and 51 Salamanca Place were conveyed, also to the Marine Board, as a single lot, for £43,000.<sup>233</sup>

**Land conveyed to the Marine Board in 1955<sup>234</sup>**

<sup>228</sup> *Tasmanian Government Gazette*, 15 June 1940 p1743.

<sup>230</sup> *Tasmanian Government Gazette*, 9 June 1946 p1482.

<sup>232</sup> Deeds Office, Mem. 24/5813.

234 *Ibid.*

In 1986, the Marine Board sold the buildings it had acquired in 1949 and in 1955 to the Retirements & Benefits Trust (now the RBF) for \$99,500.<sup>235</sup> It seems likely that the RBF acquired this property as an investment, rather than for its own use.

In 1988 this land was converted into a Certificate of Title under the *Real Property Act 1862*,<sup>236</sup> and in the following year it was combined with a number of other parcels owned by the Retirements and Benefits Trust in a new title covering 1.522 hectares of land off Salamanca Place, with a diverse range of histories.<sup>237</sup> In 1993 the RBF subdivided its Salamanca holding, the land now containing 47-51 Salamanca Place being given a new title.<sup>238</sup> A further subdivision occurred in February 1996 with a new title being issued for the land holding the three warehouses and the land they currently stand on.<sup>239</sup> This was transferred in the same year to four members of the Behrakis family as tenants-in-common. All three buildings have subsequently been leased to various tenants whose businesses lie in the hospitality industry. In 2016 the three outlets run from the three buildings, 47, 49 and 51 Salamanca Place, are, respectively, Maldini Café Restaurant, Jack Green and Cargo Bar Pizza Lounge.

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<sup>235</sup> Deeds Office, Mem. 62/5788.

<sup>236</sup> CT 4488/4.

<sup>237</sup> CT 4615/93.

<sup>238</sup> CT 40698/3.

<sup>239</sup> CT 122931/1.



### Abbreviations

ADB	Australian Dictionary of Biography
CT	Certificate of Title
HRA	Historical Records of Tasmania
MUP	Melbourne University Press
OUP	Oxford University Press
RBF	Retirements Benefits Fund
TAHO	Tasmanian Archives and Heritage Office
UTAS	University of Tasmania

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#### SEARCH OF TORRENS TITLE

VOLUME 101911	FOLIO 1
EDITION 7	DATE OF ISSUE 11-Jul-2011

SEARCH DATE : 04-Aug-2016

SEARCH TIME : 12.44 PM

#### DESCRIPTION OF LAND

City of HOBART

Lot 1 on Diagram 101911

Being the land described in Conveyance 60/3903

Derivation : Part of 0A-3R-27Ps. Gtd. to Thomas Hewitt

Derived from Application No. 10,993 C.T.

#### SCHEDULE 1

C881784 TRANSFER to OLYMPUS SUPERANNUATION FUND (TAS) PTY LTD  
Registered 11-Jul-2011 at noon

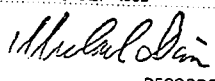
#### SCHEDULE 2

Reservations and conditions in the Crown Grant if any

22/8462 GRANT OF RIGHT OF WAY: Burdening Easement: Right to  
pass and repass on foot only (for the owners of the  
land shown on the plan drawn on Grant of Right of Way  
No. 22/8462) over the Right of Way shown on Diagram  
101911

#### UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

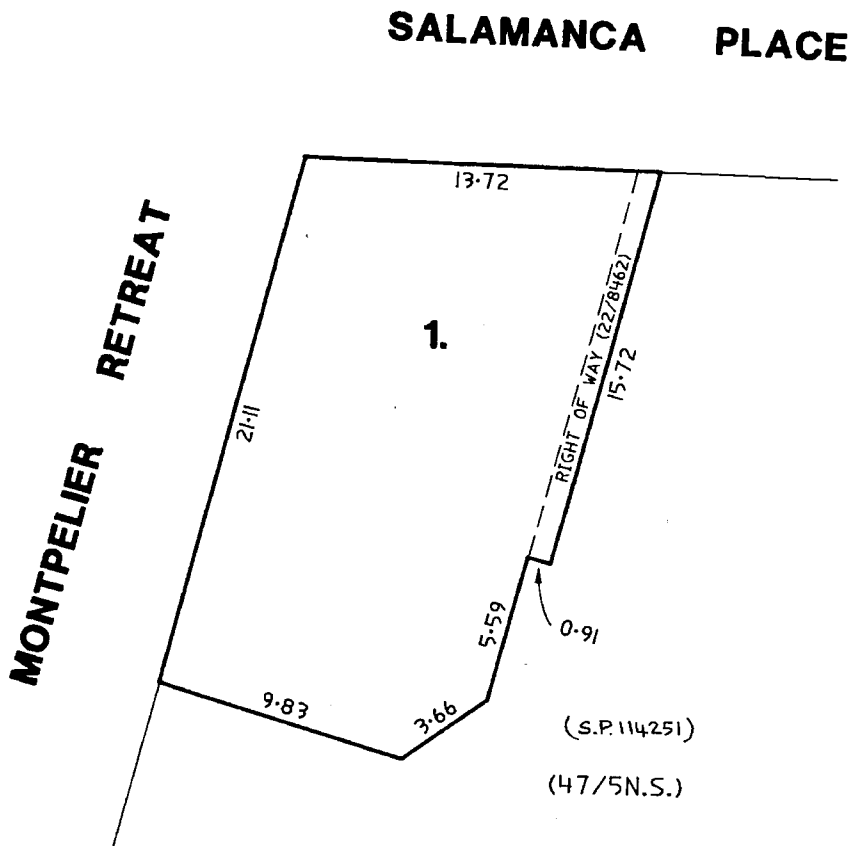
APPROVED <b>14 SEP 1992</b>  RECORDER OF TITLES	<b>CONVERSION PLAN</b> CONVERTED FROM 60/3903	REGISTERED NUMBER <b>D.101911</b>
FILE NUMBER <b>A.10993</b>	GRANTEE: PART OF 0-3-27 GTD. TO THOMAS HEWITT	DRAWN <b>S.J.G.</b> <b>10-9-92</b>

06-K 2002

SKETCH BY WAY OF ILLUSTRATION ONLY

CITY/TOWN OF **HOBART (SEC.W.3)**  
 LAND DISTRICT OF  
 PARISH OF  
 LENGTHS ARE IN METRES. NOT TO SCALE.  
 LENGTHS IN BRACKETS IN LINKS/FEET & INCHES.

TASMAP MUNICIPAL CODE NO. <b>21</b>	LAST TASMAP UPI NO.
ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	





# CERTIFICATE OF TITLE

LAND TITLES ACT 1980



TASMANIA

## TORRENS TITLE

VOLUME		FOLIO
114251		1
EDITION	DATE OF ISSUE	
9	26-Aug-2015	
Page 1		of 1

I certify that the person described in Schedule 1 is the registered proprietor of an estate in fee simple (or such other estate or interest as is set forth in that Schedule) in the land within described subject to such exceptions, encumbrances, interests and entries specified in Schedule 2 and to any additional entries in the Folio of the Register.

*Alice Kawa*

Recorder of Titles.



### DESCRIPTION OF LAND

City of HOBART  
Lot 1 on Sealed Plan 114251  
Derivation : Part of 0-3-27 Granted to T. Hewitt  
Derived from Stratum Plan No.37  
Prior CT 64025/1

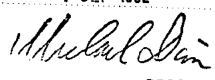
### SCHEDULE 1

B879816 & C32163 PETER BEHRAKIS, VICTORIA ANN BEHRAKIS,  
DENNIS BEHRAKIS and MARIA BEHRAKIS as tenants in  
common in equal shares

### SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
SP114251 EASEMENTS in Schedule of Easements  
C80268 TRANSFER of EASEMENT Benefiting Easement: Right to  
Pass & Repass over the land marked "A.B.C.D" on SP No.  
114251 Registered 09-Jan-1998 at 12.03 PM



APPROVED <b>14 SEP 1992</b>  RECORDER OF TITLES	<b>CONVERSION PLAN</b>  CONVERTED FROM 60/3903	REGISTERED NUMBER <b>D.101911</b>
FILE NUMBER <b>A.10993</b>	GRANTEE: PART OF 0-3-27 GTD. TO THOMAS HEWITT	DRAWN S.J.G. 10-9-92

OS-K 2082

SKETCH BY WAY OF ILLUSTRATION ONLY

CITY/TOWN OF **HOBERT (SEC.W.3)**

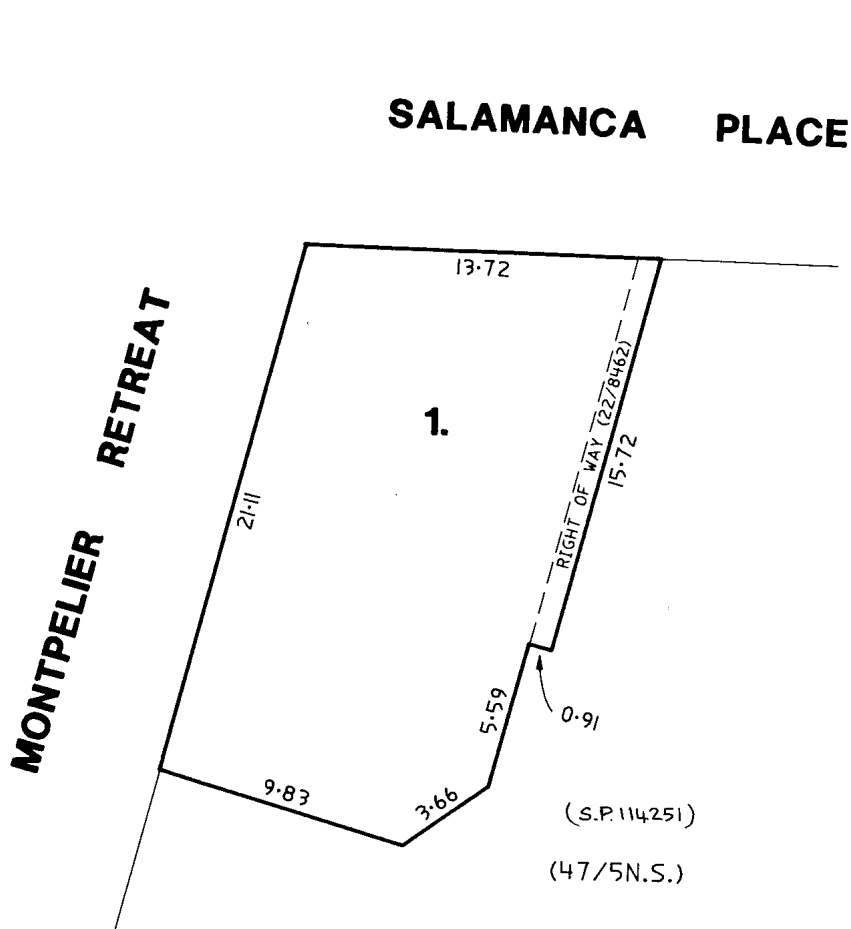
~~LAND DISTRICT OF~~

~~PARISH OF~~

LENGTHS ARE IN METRES. NOT TO SCALE.

LENGTHS IN BRACKETS IN LINKS/FEET & INCHES.

TASMAP MUNICIPAL CODE NO. <b>21</b>	LAST TASMAP UPI NO.
ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	





OWNER THE OWNERS OF MONTPELIER HOLDINGS <del>4 MONTPELIER RETREAT HOBART 7000</del> P & V. A. BERAKIS D. & M. BEHRAKIS FOLIO REFERENCE CT 64025/1, STRATUM PLAN 59938 GRANTEE PART OF C-3-27 (SEC W3) LTD. TO THOMAS HEWITT		<b>PLAN OF SURVEY</b> BY SURVEYOR C. B. ROGERSON E. BARRIE VALENTINE 183 MACQUARIE ST HOBART LOCATION <b>CITY OF HOBART</b> SCALE 1: 250 LENGTHS IN METRES		REGISTERED NUMBER <b>SP114251</b> APPROVED 29 JAN 1996 EFFECTIVE FROM <i>M. H. H. H.</i> Recorder of Titles
MAPSHEET MUNICIPAL CODE No. 21	LAST UPI No.	LAST PLAN No. 47/5NS	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	

LOT 1 IS COMPILED FROM CT 64025/1 AND THIS SURVEY

**LOT 1**  
571 m²

**SALAMANCA PLACE**

**MONTPELIER RETREAT**

**RIGHT-OF-FOOTWAY EASEMENT A.B.C.D. IS A RIGHT OF FOOTWAY (CREATED BY C.80268)**

94017

A-148

## SEARCH OF TORRENS TITLE

VOLUME 101911	FOLIO 1
EDITION 7	DATE OF ISSUE 11-Jul-2011

SEARCH DATE : 26-Feb-2016

SEARCH TIME : 09.40 AM

DESCRIPTION OF LAND

City of HOBART

Lot 1 on Diagram 101911

Being the land described in Conveyance 60/3903

Derivation : Part of 0A-3R-27Ps. Gtd. to Thomas Hewitt

Derived from Application No. 10,993 C.T.

SCHEDULE 1

C881784 TRANSFER to OLYMPUS SUPERANNUATION FUND (TAS) PTY LTD  
Registered 11-Jul-2011 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

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No. 22/8462) over the Right of Way shown on Diagram  
101911

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

## SEARCH OF TORRENS TITLE

VOLUME 114251	FOLIO 1
EDITION 9	DATE OF ISSUE 26-Aug-2015

SEARCH DATE : 26-Feb-2016

SEARCH TIME : 09.41 AM

DESCRIPTION OF LAND

City of HOBART

Lot 1 on Sealed Plan 114251

Derivation : Part of 0-3-27 Granted to T. Hewitt

Derived from Stratum Plan No.37

Prior CT 64025/1

SCHEDULE 1

B879816 & C32163 PETER BEHRAKIS, VICTORIA ANN BEHRAKIS,  
DENNIS BEHRAKIS and MARIA BEHRAKIS as tenants in  
common in equal shares

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C80268 TRANSFER of EASEMENT Benefiting Easement: Right to  
Pass & Repass over the land marked "A.B.C.D" on SP No.  
114251 Registered 09-Jan-1998 at 12.03 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



REGISTERED NUMBER

SP114251

SCHEDULE OF EASEMENTS

NOTE:—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

EASEMENTS AND PROFITS

Each lot on the plan is together with:—

- (1) such rights of drainage over the drainage easements shewn on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits à prendre described hereunder.

Each lot on the plan is subject to:—

- (1) such rights of drainage over the drainage easements shewn on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits à prendre described hereunder.

The direction of the flow of water through the drainage easements shewn on the plan is indicated by arrows.

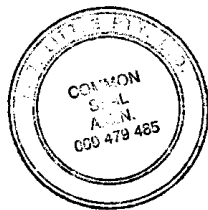
**Lot 1 is together with the full right and liberty to maintain use cleanse repair renew and replace the spouting now projecting over the strip of land marked 0.13 Spouting on the plan.**

~~No easements, no covenants and no profits à prendre are created to benefit or burden the lot shown on the plan.~~

The party wall on the plan is a party wall within the meaning of Section 34B of the Conveyancing and Law of Property Act 1884 and Lot 1 and Folio of the Register Volume 40698 Folio 3 on the plan are transferred together with and subject to all easements and other rights deriving from that section.

THE COMMON SEAL of L T LITTLE

PTY LTD (ACN 009 469 485) the registered proprietor of the land comprised in Certificate of Title Volume 59938 Folio 2 was hereunto affixed in the presence of.



DIRECTOR

DIRECTOR  
SECRETARY

SP 114251

THE COMMON SEAL of PERPETUAL  
TRUSTEES TASMANIAN LTD as  
mortgagee under mortgage number B472970  
was hereunto affixed in accordance with its  
Articles of Association by authority of a resolution  
of its Board of Directors in the presence of:



*John May*

MANAGER

*[Signature]*

SECRETARY

SIGNED by PETER BERAKIS, VICTORIA ANNE  
BERAKIS, DENNIS BEHRAKIS and MARIA  
BEHRAKIS the registered proprietors of the  
land comprised in Certificate of Title  
Volume 64025 Folio 1 in the presence  
of:

*[Signatures of Peter Berakis, Victoria Anne Berakis, Dennis Behrakis, Maria Behrakis]*

*Alan E. F. L.*  
ALAN FIRTH  
COMPANY ACCOUNTANT  
10 TASMAN ST HOBART

SIGNED by the RETIREMENT  
BENEFITS FUND INVESTMENT TRUST  
by its duly constituted attorney Terence Leigh Hancock  
pursuant to power of attorney registered  
number 65/3433 (who declares he has no  
notice of the revocation of such power of  
attorney) in the presence of:

*[Signature of Terence Leigh Hancock]*

*[Signature of Sandy Ray]*  
15 PRINCES ST  
SANDY RAY  
Investment officer

*[Signature]*

As mortgagee under mortgage number we hereby consent to this Schedule of  
Easements, and as the registered proprietors of the land comprised in Certificate  
of Title Volume 40698 Folio 3.

SP 114251

This is the schedule of easements attached to the plan of P + V BERAKIS and D + M BEHRAKIS  
(Insert Subdivider's Full Name)  
..... affecting land in  
CT 64025/1, STRATUM PLAN 59938  
(Insert Title Reference)

Scaled by HOBART CITY COUNCIL on 4<sup>TH</sup> JANUARY 1995

Solicitor's Reference .....

  
MANAGER SURVEYING SERVICES  
~~Council Clerk/Town Clerk~~

OS K 3134



<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b>  PAGE 2 OF .....2..... PAGE/S	<b>Registered Number</b>  SP 114251
<b>SUBDIVIDER:</b> BEHRAKIS & ORS <b>FOLIO REFERENCE:</b> 64025/1	

Lot 1 is subject to the full free and absolute and perpetual right of way and passage across through and over the premises sold to the said Leslie Keith Sansom to the said messuage but on foot only and without horses and other animals or vehicles of any description by day and by night at all times and for all purposes over and along right of way 0.91 wide on the plan but so that nothing contained in this reservation shall operate or be construed so as to prevent the said Leslie Keith Sansom his heirs and assigns from maintaining the wooden posts now standing within the boundaries of the said piece of land 0.91 wide or from renewing or replacing the same.

This annexure page added this 8th day of  
October 1997



MICHAEL DIXON  
RECORDER OF TITLES

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

# 47-51 SALAMANCA PLACE, BATTERY POINT

## CONSERVATION MANAGEMENT PLAN

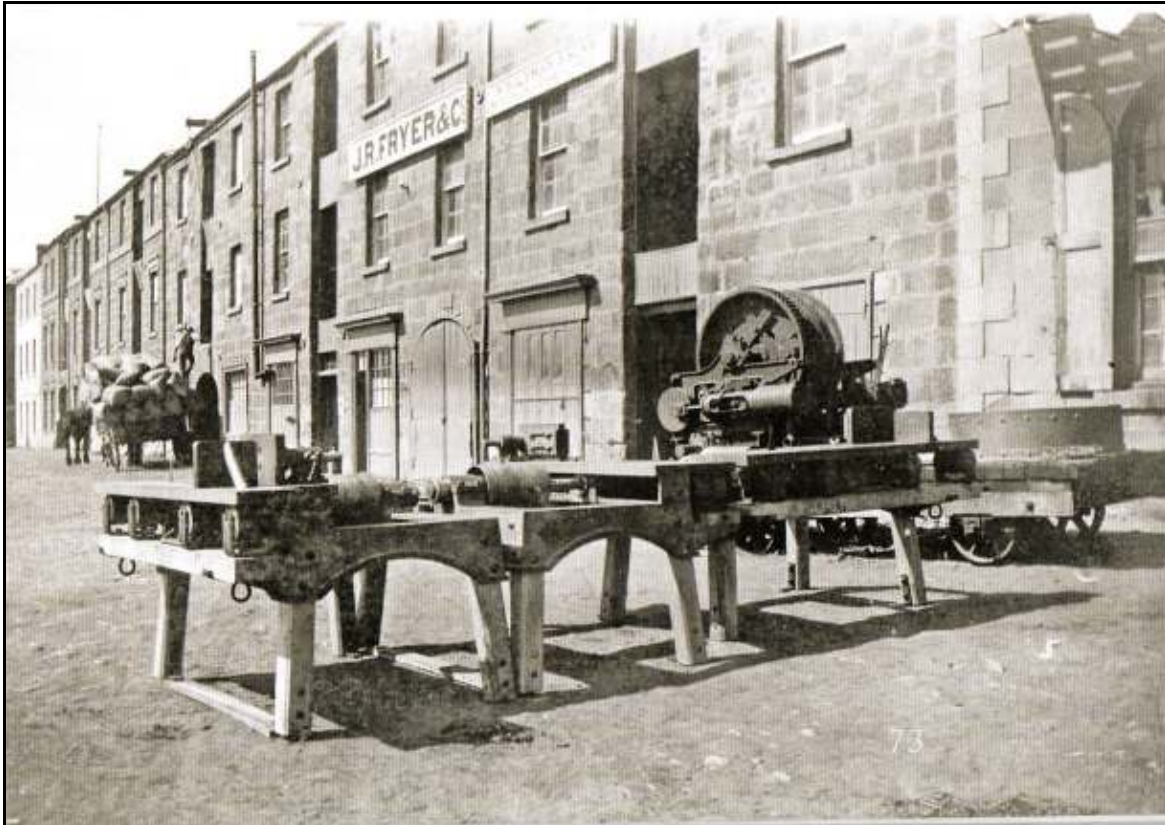
**draft** 23 August 2016

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**Figure 1** 49 Salamanca Place to centre and 47 to right of photograph<sup>1</sup>

## 1 INTRODUCTION

This is a Conservation Management Plan (CMP) of 47-51 Salamanca Place, Battery Point. The owner has engaged Circa Robert-Morris Nunn Architects to design a high quality hotel across three separate but nearby sites, 25 Salamanca Place, 39-41 Salamanca Place and 47-51 Salamanca Place.

All sites are heritage listed and are parts of the group of former stores that make up the nationally significant Georgian warehouses now known as Salamanca Place.

I have been commissioned by the owner to provide heritage guidance to this project through CMPs for each of the three sites.

### 1.01 The Need for a Conservation Management Plan

The group of buildings that make up Salamanca Place are of national heritage significance. All of the buildings including 47-51 Salamanca Place contribute to the built edge of Sullivan's Cove, the iconic historic port that forms the backdrop for international famous cultural activities such as the Salamanca Market and the finish of the Sydney Hobart Yacht Race.

The purpose of this Conservation Management Plan (CMP) is to explain the heritage values of the site to its owner and to the project architects and to provide practical guidelines so that the site can be managed in a sensible way that shows off and protects what is culturally important.

<sup>1</sup> Collection: Kennedy family, in Hope, p73.



### 1.02 Author identification

This CMP was prepared by Graeme Corney, architect & heritage consultant. The historical information is by historian David Young.

### 1.03 The site

The location is 47-51 Salamanca Place, Battery Point, Tasmania, Australia.



**Figure 2** Google aerial of Tasmania showing Salamanca Place



**Figure 3** Google aerial of 47-51 Salamanca Place and immediate environs-to right of centre of aerial

#### 1.04 Methodology

The methodology of this report follows the principles of JS Kerr's *The Conservation Plan* fifth edition 2000 and the *Burra Charter: The Australian ICOMOS Charter for the Places of Cultural Significance* 2004.

#### 1.05 Exclusion of Aboriginal heritage values

This CMP does not consider Aboriginal heritage values.

#### 1.06 Acknowledgements

The author acknowledges the assistance of the following people in the development of this CMP:

- Robert Morris-Nunn and staff who provided access to the sites and base drawings

## 2 HISTORICAL EVIDENCE

### 2.01 Aboriginal occupation

Prior to the British invasion and settlement of in 1803, Aboriginal Tasmanians were divided into 9 tribes of about 250-700 people.<sup>2</sup> Each tribe was made of a number of small member bands. Each of the nine tribes controlled specific territory. Some bands from other tribes were allowed to enter other tribal territory for seasonal hunting. To enter a territory without permission of the occupying tribe could start inter-tribal warfare.

The tribe that occupied the Hobart area was the Mouheener people of the Tahuni Lingah or Nuenonne language group<sup>3</sup>. Europeans have called them the South-East tribe.

They occupied the south east coast and lived in balance with the resources of seafood, animals and wild berries available to them. However within 5 years of British settlement, a combination of food shortage in the new white settlements and lack of sensitivity towards the indigenous culture and seasonal migration of the local tribe, led firstly to direct competition for the local food supply, then eventually to open conflict between the settlers and the natives.<sup>4</sup>

After years of steady expansion of settlers into rural areas, and the resultant conflict, the Aboriginal people were under siege and their numbers reduced. By November 1828 Colonel George Arthur – Lieutenant Governor of Tasmania (then Van Diemen's Land) had declared martial law.<sup>5</sup> The conflict between the settlers and the Aboriginal people culminated in the Black Line Offensive of November 1830. The moving line of troops and European settlers was set up to drive Aboriginal people out of settled areas.<sup>6</sup>

In recent decades some moves towards reconciliation have finally taken place. Some land has been returned to the Aboriginal people and there is now broader community acknowledgement and understanding of their culture.

### 2.02 History of the site

This CMP draws on No's 25, 39, 41, 47, 49 & 51 *Salamanca Place, a history* by Dr David Young 2016.

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<sup>2</sup> Julia Clark, *The Aboriginal People of Tasmania*, The Tasmanian Museum & Art Gallery, 1983. p.24

<sup>3</sup> Godden Mackay Logan Pty Ltd, Officers Mess, Anglesea Barracks CMP 2008.

<sup>4</sup> Ryan, Lyndal 1996, *The Aboriginal Tasmanians*, Second Edition, Allen & Unwin, St Leonards, NSW, p77.

<sup>5</sup> *ibid*, 99.

<sup>6</sup> *ibid*, p110.

The first group of marine stores was built on the former Hunter Island on the northern side of Sullivan's Cove. Most of these stores remain and now house the Henry Jones IXL Art Hotel, a facility of the University of Tasmania, restaurants and shops. As the warehouses were exposed to the prevailing north-westerly winds and as shipping increased the demand for more warehouse space led to the construction of stores on the southern side of the Cove. This area became known as the 'New Wharf'.

The first stores at the New Wharf were built in 1833. A further group of stores were constructed from the 1840s onwards –as an extension of Salamanca Place immediately west of the New Wharf.

Interspersed with the stores were several pubs. 49 and 51 Salamanca Place were built in 1833 as warehouses and remained so until the 1980s. 47 Salamanca Place was built as a foundry in 1860 and remained so including use as an engineers' workshop until the 1950s. Its later construction explains the divergence of styles into the Romanesque.

A summary of the more important historic events and building developments that form the context for the current buildings and sites is as follows:

date	event	source
1804	30 acres on edge of Battery Point granted to Rev Robert Knopwood	Young p1
1830	New Wharf opened	ibid
by 1835	The Whaler's Return pub had been constructed on 39 Salamanca Place	ibid
1833	The first grantee of the land that took in 49 and 51 Salamanca Place was William Haig in 1833. He immediately built the two warehouses.	Young p31
1835	The first grantee of the land that took in 47 Salamanca Place was James Grant in 1835	Young p32
1849	George Frederick Read purchased 49 and 51 Salamanca Place.	ibid
by 1847	A large timber shed had been built on 47 Salamanca Place	Young p34
1853	Matthew Fitzpatrick purchased part of Grants land which took in the current 47 Salamanca Place.	ibid
1858	Engineer Alexander Clark purchased 47 Salamanca Place	Young p36
1860	Clark built the stone engineering foundry at 47 Salamanca Place	ibid
1884	JW Syme purchased the foundry and made some improvements. He handed over management to Robert Kennedy	Young p37
1912	John, Malcolm and Colin Kennedy purchased 49 and 51 Salamanca Place	Young p38
1918	The Kennedy family purchased 47 Salamanca Place from Clark.	Young p39
1955	47-51 Salamanca Place were purchased by the Marine Board	Young p40
1985/86	Modifications to 47-51 Salamanca Place for commercial uses	ibid
1996	The current owners the Behrakis family purchased 47-51 Salamanca Place	Young p41

## 2.03 Chronology of building fabric

### 47 Salamanca Place

The former foundry was built in 1860 and hasn't been altered a great deal. It maintains its original fenestration, external walls, roof and floors -albeit some are now covered with concrete screed.

In 1955 the Marine Board purchased the site and did some remodeling in 1958/59 to change its use from foundry to warehouse and offices. It is not clear what changes were made at that time but likely included new partitions to the ground floor and first floors.



More significant changes were in 1985/86 when AMP purchased the site. Local architects Blythe, Yeung and Menzies were commissioned to do the following alterations:

- removal of internal stairs and partitions
- construction of ground floor mezzanine at 2 steps above ground floor
- widening of the ground floor rear doorway
- installation of toilets to ground and first floors
- new doors to loading bay at first floor
- construction of new rear balcony across 47-51 Salamanca place to provide improved access suitable for various commercial occupants
- blocking up of a first floor rear window
- construction of new entry door to the loft from the new rear balcony
- installation of skylights to service the loft

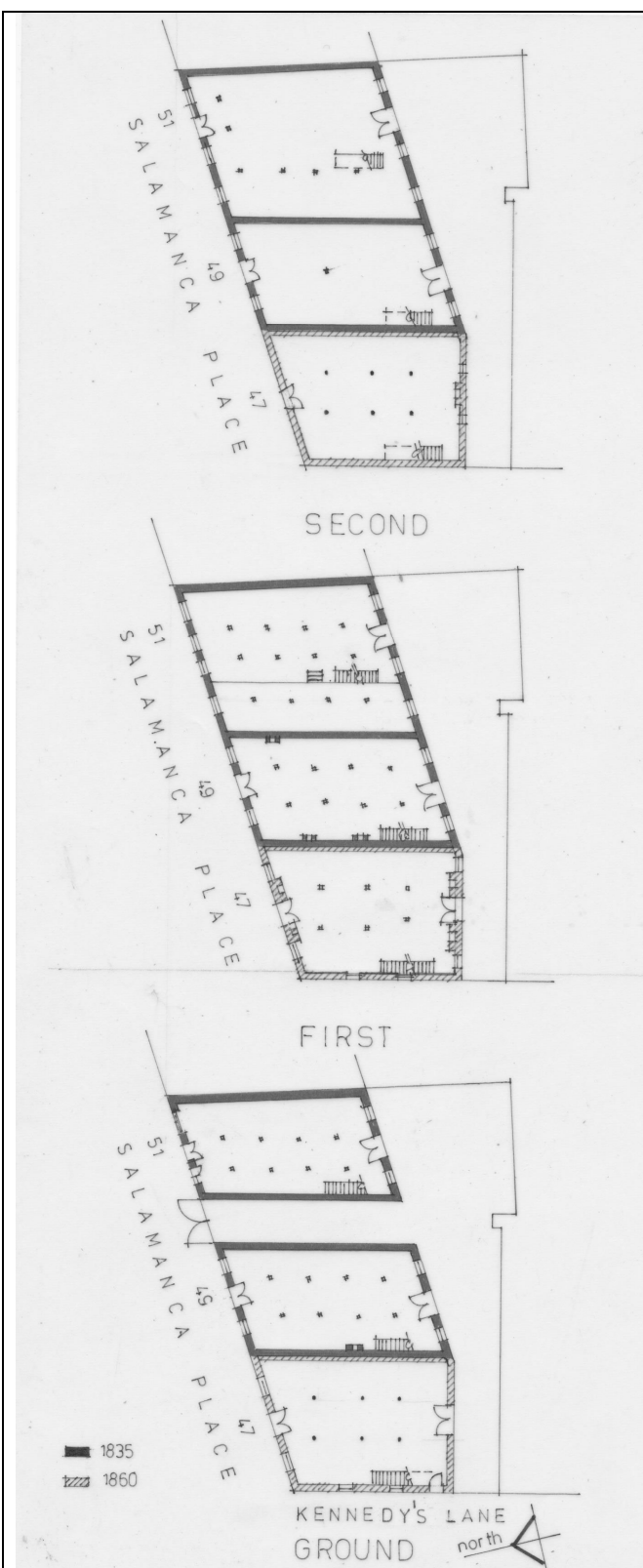
#### **49 and 51 Salamanca Place**

These warehouses were built in 1833 and remained relatively unaltered until 1959 whilst owned by the Marine Board together with 47 Salamanca Place. Changes that occurred then were:

- replacement of all windows to the front façade with casements
- removal of original 'shop-front' windows and doors and replacement with timber stonework with new windows above

In 1985/86 the following changes took place when owned by AMP:

- demolition of internal stairs
- removal of partitions to the first floor of 51 Salamanca Place
- construction of new rear balcony across 47-51 Salamanca place to provide improved access suitable for various commercial occupants
- installation of toilets to first and second floors



There were loading bays to front and rear elevations.

There were 3 fireplaces to 49 and 4 fireplaces to 47 Salamanca Place.

Most of the warehouse and foundry internal posts remain intact. Internal stairs have been removed.

**Figure 4** Conjectural floor plans of original constructions in 1833 and 1860

### 47 Salamanca Place

The former foundry is substantially intact from its 1860 construction date. Its original spaces are still recognizable despite the introduction of modern partitions. Most windows have survived. Floors remain but are concealed beneath modern concrete. Fireplaces have been blocked up or removed, original staircases have been removed.

Sandstone condition is generally sound. It's structural condition is sound, and there is little degradation of fabric. An iron strap is evident above a first floor rear window, an indication of previous wall movement.

### 49 and 51 Salamanca Place

These former warehouses have had more changes than 47 Salamanca Place but are nevertheless comparatively intact from their original construction. There are three significant changes: the replacement of original 'shop-front' entrances with windows over infill sandstone; the replacement of all front facing double hung sash windows with casements with toplights; and the closing up of the laneway between 49 and 51 that served the rear yards of these warehouses.

The structural condition of these two warehouses appears to be generally very sound with no apparent cracking of stonework, movement of walls or presence of dampness. Sandstone condition is generally sound.

### 3.01 The place and its setting

Between 1830 and 1850 sandstone stores were constructed adjacent the 'New Wharf' and then further along Salamanca Place. After the two decades of construction the toe to toe predominantly three storey stores formed a wall to Salamanca that forms a backdrop to the now famous Salamanca Market. The Salamanca warehouses form a strong southern edge to Sullivan's Cove, the Hunter Street warehouses form an equally strong northern edge, with the more dispersed buildings along Morrison Street and Davey Street forming a weaker western edge. The Sullivan's cove sandstone buildings as a whole create a highly defined edge that is now internationally known as an historic port, a setting for the Sydney Hobart Yacht Race victory celebrations, and as a hub for tourists.

The two three-storey sandstone warehouses at 49 and 51 Salamanca Place, constructed in 1833 and the foundry at 47 Salamanca place, constructed in 1860 contribute equally with all other 19<sup>th</sup> century buildings to that iconic maritime setting.

Historic Salamanca Place is now a commercial area serving tourists and locals with shops, restaurants and pubs. Certainly this re-orientation of the building uses has been positive for the commercial viability of the buildings. There are now umbrella structures providing shelter to outdoor eating in front of 47-51 Salamanca Place. Unfortunately the umbrellas are connected to the buildings and conceal much of the ground floor window and doorway detail.








**Figure 5** 47 Salamanca Place is the warehouse with the arched window under the chimney, 49 and 51 are to its left under the hipped roof. Note the c.1959 casement windows to 49 and 51 Salamanca Place.

### 3.02 Exterior fabric

#### 47 Salamanca Place


The former foundry is now effectively on a corner site so it has two important facades. The façade to Salamanca Place has undergone very few changes since its construction in 1860. The original timber external shutters to the ground floor windows have been removed and a cantilevered deck at first floor level -perhaps originally used as a loading platform –has also been removed. In recent years a new pair of doors has been built behind the original entry doors to create an air-lock.



item	discussion	sign	photo	recommendations
<b>Salamanca Place</b> (front)	The former foundry presents to Salamanca Place as a two storey plus loft sandstone Victorian Romanesque façade. At ground floor level there is a pair of entry doors to the centre of the façade with fanlight above. Either side of the entry doors there are multi-paned round-arched double hung sash windows. At first floor level there is a central loading bay with flanking 12-paned double hung sash windows. The original loading bay doors were replaced with half glazed doors in c.1968. At loft level there is a central round arched pair of doors with glazing to their top half.	H	 47 Salamanca Place from the north	Generally retain and conserve this elevation of the former foundry.
		H		
		H		
		H		
		H		
		L		
		H		

	A central chimney rises above the gabled roof. Modern umbrella structures are attached to the façade and block views of it.	H I		Relocate the umbrella structures at least 2m away from the building.
<b>Kennedy Lane elevation (west)</b>	The elevation to Kennedy's Lane has not altered much from its 1860 construction. The ground floor door has been replaced by a modern window, with unsympathetic security screen attached. The two ground floor windows—originally 12-paned double hung sash windows have been replaced by c.1990 single pane sashes. There are original? bars in front of the windows. The two first floor 12-paned double hung sash windows are intact. The three skylights were installed in 1986.	H N I  N M  H  N	 View from the west (Kennedy's Lane)	Generally retain and conserve this elevation of the former foundry.  Remove the modern security screen from the former doorway.  Reconstruction of the ground floor 12-paned double hung sash windows is encouraged.
<b>Rear elevation (south)</b>	The rear elevation has had numerous changes: The staircase and walkway were added in 1986; the ground floor doorway widened and a new 4-panelled door with sidelights and toplights inserted in 1986; a steel security gate added, new switchboard applied to the rear wall; two new windows and a door added to the first and loft floors. A c.1900 structural bar above the first floor window suggests there has been some wall movement in the past. Parts of the rear wall have been rendered over in recent years.	L  N  N N N  L  N	 rear of 47 Salamanca Place	

### 49 and 51 Salamanca Place

These three storey sandstone warehouses are an integral part of the Salamanca Place wall of buildings. They originally had 'shop-fronts' to both sides of their loading bays.

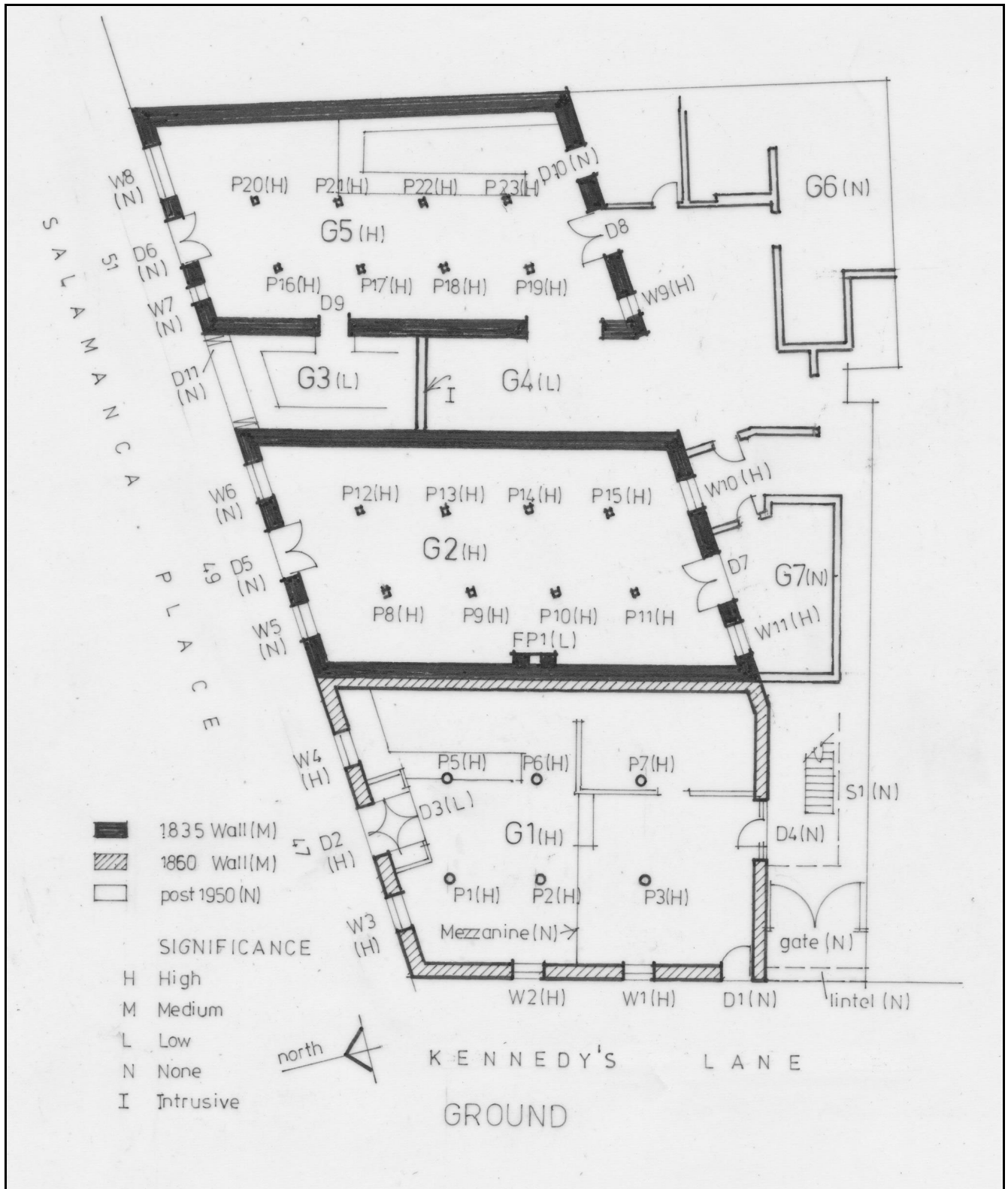
item	discussion	sign	photo	recommendations
<b>Salamanca Place (front)</b>	The three storey sandstone warehouses 49 and 51 Salamanca Place have their important façades addressing Salamanca Place. These facades are separated by a single storey former laneway now used for a food outlet. No 49 has a central former loading bay to all three storeys with modern doors to the ground floor and flanking casement windows to each side. The casements replaced	H  L  H N N	 49 and 51 Salamanca Place are under the hipped roof	Generally retain and conserve this elevation of the warehouse.    If the opportunity arises reconstruct the 12-paned double hung sash windows to the first and second floors

	<p>12-paned double hung sashes in 1959.</p> <p>No 51 also has a central former loading bay with modern doors at ground level. There are also 1959 casement windows to all levels.</p> <p>Both facades are topped with a small parapet fronting a hipped roof which combines the two warehouses.</p> <p>The facades have modern umbrella structures attached to their fronts which obscure parts of the ground floor.</p> <p>Both facades originally had 'shop-front' windows to both sides of their loading bays.</p>	<p>N</p> <p>H</p> <p>N</p> <p>N</p> <p>H</p> <p>H</p> <p>I</p>	 <p>Note original shop-fronts</p>	<p>of both warehouses.</p> <p>Retain the hip roof as it demonstrates the joint construction of the two warehouses.</p> <p>Move the umbrellas at least 2m away from the facades.</p> <p>If the opportunity arises reconstruct the original shop-fronts to both warehouses.</p>
<b>Rear elevation (south)</b>	<p>The rear elevation has had numerous modern extensions added, a 1986 balcony/walkway, windows and loading bay doors changed in c.1959 and various back-of-shop services added (toilets, bin enclosures, electrical switchboards etc)</p> <p>This elevation appears as a collection of uncoordinated structures and services.</p>	<p>N</p> <p>N</p> <p>N/I</p> <p>I</p>	 <p>Rear view of 49 and 51</p>	<p>Develop a strategy for long-term coordination and improvement of the modern extensions.</p>

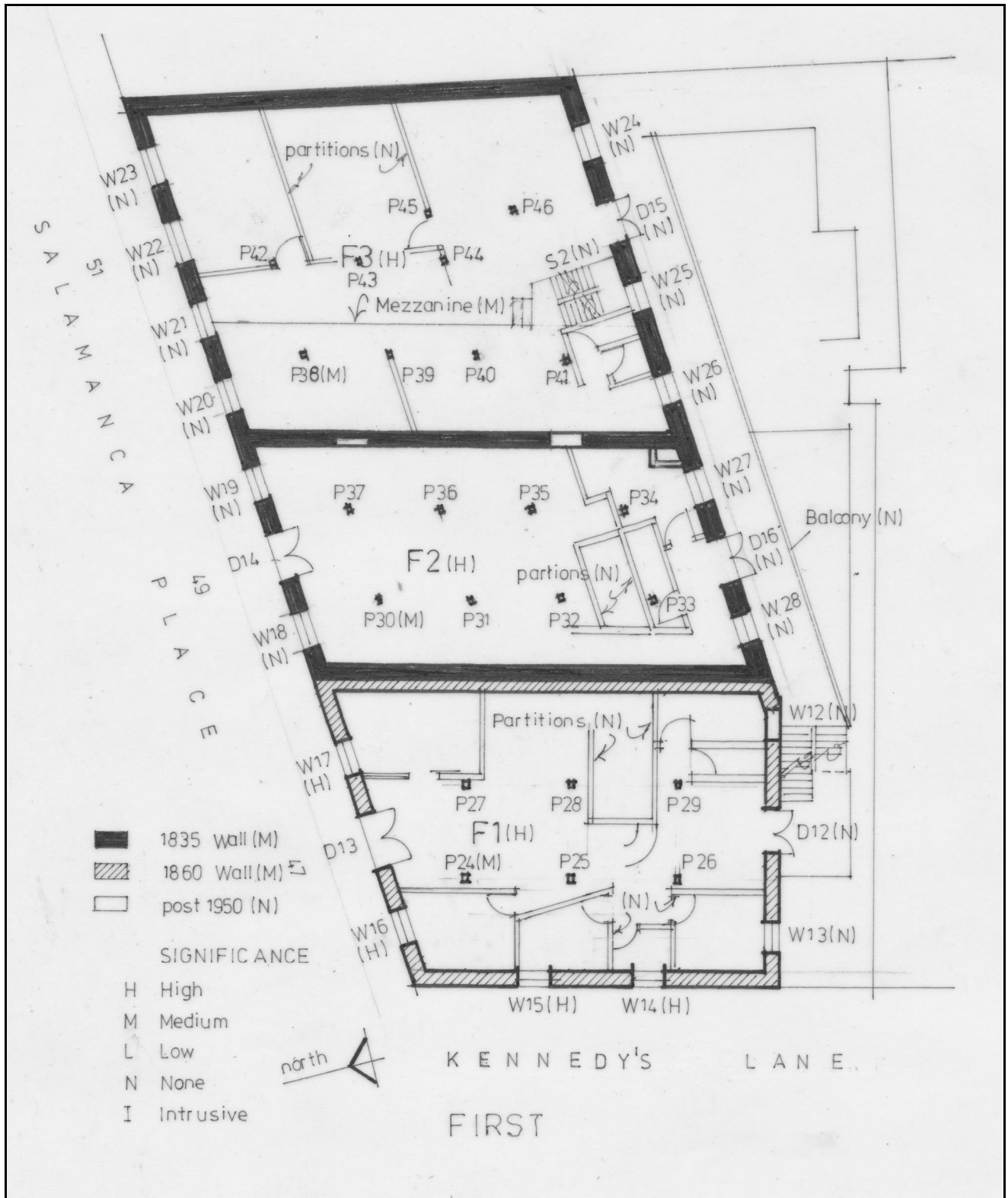


**Figure 6** 51-39 Salamanca Place

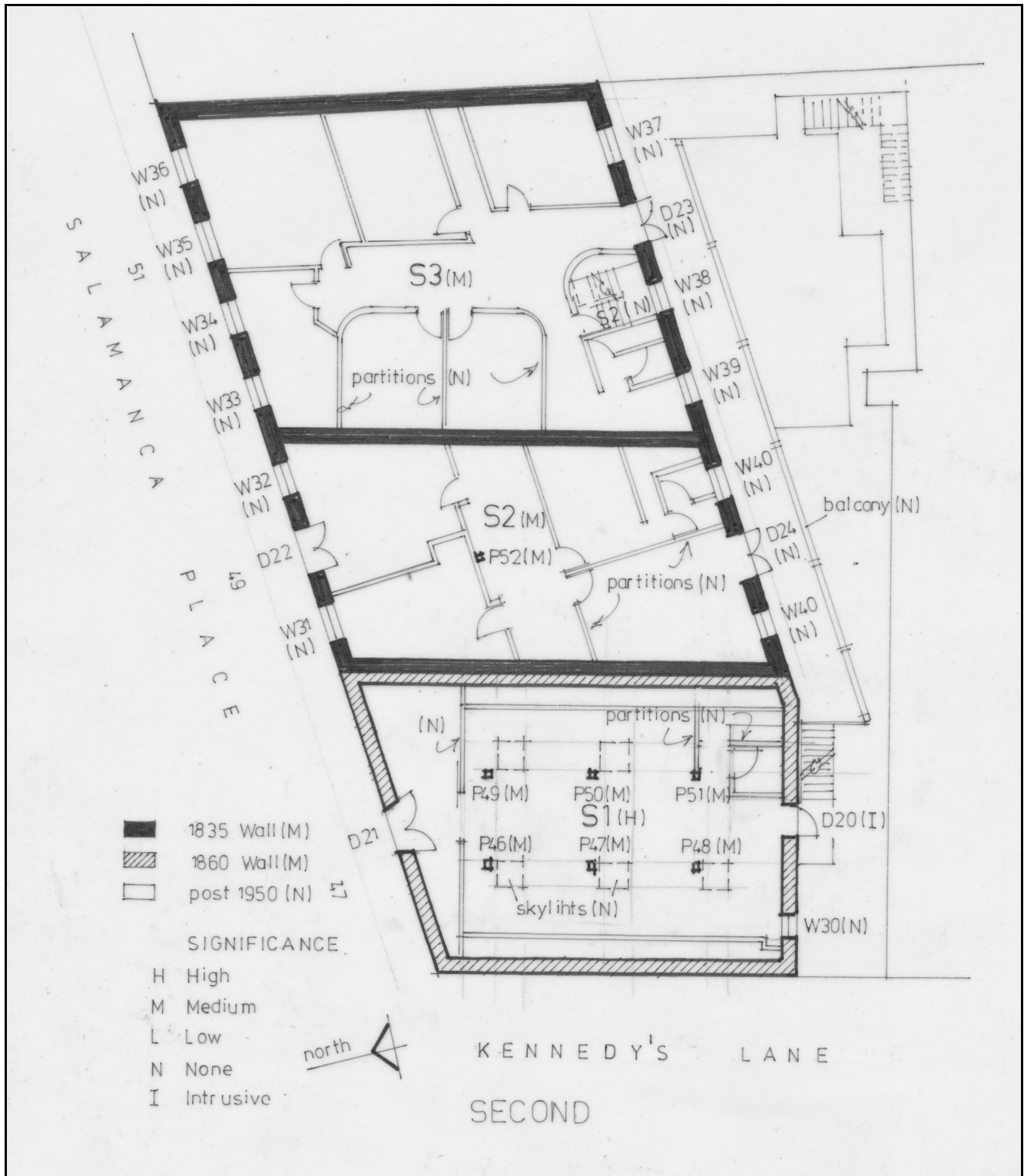




**EXISTING GROUND FLOOR PLAN –age of fabric and heritage significance**



**EXISTING FIRST FLOOR PLAN –age of fabric and heritage significance**



**EXISTING SECOND FLOOR PLAN –age of fabric and heritage significance**



### 3.03 Internal fabric and spaces

#### 47 Salamanca Place

For its first 90 years the building operated as an engineering workshop. There were four fireplaces at first floor level and one at the loft floor. All were removed as the building use changed during the second half of the 20<sup>th</sup> century.

Notably the internal structure has remained intact. Cast iron columns at ground level and timber support posts at the higher levels are all original. The floors have remained relatively intact, albeit there is a modern two-step mezzanine to the ground floor and concrete screed covers all floors.

The internal spaces, despite some modern partitions, remain discernible as a former workshop.

Most windows and the front door are all original, the exceptions being the ground floor windows and door to Kennedy's Lane.

#### 49 and 51 Salamanca Place

These two warehouses have functioned as stores until the 1960s. Since then they have been used variously as shops, offices and restaurants. Modern partitions fill the first and second floors. Nevertheless the warehouse spaces are still recognizable on all three floors. The original ground level laneway between the two warehouses to access their rear yards is now divided into two spaces by the construction of a dividing wall. Unfortunately the laneway is not recognizable as such whilst the dividing wall is there.

Supporting posts and floor beams are intact. Floors have been covered with concrete screeds. Original 12-paned double hung sash windows facing Salamanca Place have been replaced in 1959 with casements. The original 'shop-fronts' to both warehouses were removed at about the same time.

The following tables describe the age of fabric to each room, then the level of significance assigned to that fabric. The heritage significance of each item and the conservation recommendations have been developed later in this conservation planning process, but are shown here to assist the reader. The plans on page 12-14 show the approximate age of fabric and the levels of heritage significance assigned to them.

Categories of heritage significance are as follows:

Level **H** is adopted where the space or item is highly valued by the community or is important in interpreting history of the site.

Level **M** contains aspects which either have been degraded to a degree by adaptation or where the cultural significance of the item was always of lesser importance.

Level **L** covers a range of fabric or spaces which either have been considerably degraded by adaptation or where the cultural significance of the item was always of modest heritage significance.




Level **N** covers a range of fabric or spaces which either have been degraded beyond recognition or where there has never been any cultural significance.

Level **I** (Intrusive) is assigned to items which have an adverse impact on the heritage significance of the place.

Items can have 2 levels of heritage significance eg **L+I** if the item is historically significant but is stylistically intrusive.


### 3.03.1 Ground floor (refer to pages 12-14 for room numbers)

#### 47 Salamanca Place


item	date	discussion	sign	photo	recommendations
Space <b>G1</b>	1833	The space, despite the introduction of modern bar and toilets, still demonstrates its original form.	H		Any future partitions should be detailed in a manner that demonstrates the original space.
external walls	1835	Face sandstone	M		Retain and conserve
skirtings		none			
floor	c.2000	Modern timber and modern mezzanine	N N		Retain or remove mezzanine and modern floor
ceiling	c.1986	modern plasterboard	N		Retain or remove plasterboard ceiling
cornice	c.1986	50mm quad	N		Retain or remove cornice
doors	c.2000  1860  c.2000  1986	D1: modern glass panel with security screen replacing original door D2: original pair of timber doors with fanlight D3: modern airlock with recycled pair of panelled doors and sidelights. D4: four-panelled door with sidelights and squat arched toplight. Security grille to outside face	N/I  H H L  N  I	 D2 near and D3 behind	Replace security screen with more sympathetic infill or reconstruct original door D1. Retain doors D2 and fanlight and conserve. Retain, adapt or remove D3 and airlock.  Retain, adapt or remove D4.  Remove security screen.
architraves		none			
windows	c.1990  1860? 1860	W1, W2: modern single paned double hung sash with iron bars to outside W3, W4: timber small-paned double hung sash windows with half round heads. These windows originally had shutters.	L  M H	 c.1880 photo of facade	Retain or replace W1 and W2 with 12-paned double hung sash windows. Retain iron bars. Retain and conserve W3 and W4. Reconstruct shutters if desired.
architraves		none			
bar joinery	c.2000	Granite and timber	N	See below	Retain, adapt or remove
posts	1833	P1-7: 150mm cast iron columns	H	 Note cast iron columns	Retain and conserve cast iron columns

## 49 and 51 Salamanca Place

item	date	discussion	sign	photo	recommendations
Space <b>G2</b>	1833	The space, despite the introduction of modern restaurant facilities, still demonstrates its original form.	H		Any future partitions should be detailed in a manner that demonstrates the original space.
walls	1833	sandstone	M		Retain and conserve
skirtings					
floor	1986	concrete			Retain or remove
ceiling					
cornice					
doors	1986	D5: timber half glazed doors	N		Retain or remove
architraves					
windows	1986  1833	W5, W6: timber small paned windows replacing earlier shop-fronts W10 and W11: 12-paned double hung sash windows	N  H		Retain or remove W5 and W6, if the opportunity arises, reconstruct original 'shop-fronts' Retain and conserve W10 and W11
architraves					
posts	1833	P8-P15: timber 140x140 posts	M		Retain and conserve P8-P15
fireplace FP1	1833	Blocked in with modern linings	L		Re-open up and reconstruct fireplace if the opportunity arises

item	date	discussion	sign	photo	recommendations
Space <b>G3</b>	1833  c.2000	The space was originally a laneway, now shortened by a modern wall. G3 now a kitchen	L  I	 Kitchen in G3	If the opportunity arises, remove the modern wall to combine G3 and G4.
internal walls		tiles over sandstone.	N		Retain or remove tiles
skirtings					
floor	1986	vinyl over concrete	N		Retain or remove
ceiling	1986	plasterboard	N		Retain or remove plasterboard
cornice					
door	c.2000 c.2000	D9: flush panel D11: frameless glass	N N		Retain or remove Retain or remove
benches	c.2000	stainless steel	N		Retain or remove






item	date	discussion	sign	photo	recommendations
Space <b>G4</b>	1833 c.2000	The space was originally a laneway, now shortened by a modern wall.	N	 Space G4	If the opportunity arises, remove the modern wall to combine G3 and G4.
walls	1833	sandstone	M		Retain and conserve
skirtings					
floor	1986	concrete	N		Retain or remove
ceiling	1833	painted beams	M		Retain and conserve beams
cornice		none			

item	date	discussion	sign	photo	recommendations
Space <b>G5</b>	1833	The space, despite the introduction of modern bar, still demonstrates its original form.	H		Any future partitions should be detailed in a manner that demonstrates the original space.
walls	1833	brick and tiles over sandstone	M M		Retain and conserve
skirtings	1986	145x25 timber	N		Retain or remove
floor	1986 1986	vinyl over concrete carpet over sheet flooring to mezzanine	N N		Retain or remove
ceiling	1833	painted joists	M		Retain and conserve
cornice		none			
doors	1986	D6: timber half glazed doors D8:	N N		Retain D6 or remove
architrave		none			
windows	1986 1986 1986 1833	W7: timber 3-paned window W8: timber 12-paned single sash W9: 1986 sashes in original opening, original bars	N N N M		Retain or remove. If the opportunity arises reconstruct the original 'shop-front' openings. Retain bars and opening to W9, sashes can be retained or removed, or replaced with 12-paned double hung sashes.
architrave		none			
posts	1833	P16-P23: 120x120 timber posts	M		Retain P16-P23 and conserve
bar	c.2000		N		Retain or remove

item	date	discussion	sign	photo	recommendations
Space <b>G6 and G7</b>	c.1986	The space was the yard of the warehouses, now filled with modern extensions	N		Retain, modify or remove
internal walls		modern	N		Retain or remove
floor	c.1986	concrete	N		Retain or remove
ceiling	c.1986	plasterboard	N		Retain or remove
cornice					
doors	c.1986	various	N		Retain or remove

### 3.03.2 First Floor (refer to pages 12-14 for room numbers)

#### 47 Salamanca Place

item	date	discussion	sign	photo	recommendations
Space <b>F1</b>	1860	The space, despite the introduction of modern partitions, still demonstrates its original form.	H		Any future partitions should be detailed in a manner that demonstrates the original space –like the existing partitions with top glazing
external walls	1860	Face sandstone Dampness to front wall	M		Retain and conserve. Investigate source of dampness
skirtings	1986	65x20 spayed timber	N		Retain or remove
floor	c.2000 1986 1860	Modern tiles over concrete over original flooring	N N M		Retain or remove concrete and tiles, retain original timber floor
ceiling	1986	plasterboard	N		Retain or remove
cornice	1986	60mm quad	N		Retain or remove
doors	1986  1968?	D12: modern pair of flush panel doors D13: pair of half glazed doors	N  N	 D13	Retain or remove D12  Retain D13 until age is verified.
architraves					Retain or remove
windows	1986  1860	W13: 8-paned double hung sash window W14- W17: original 12-paned double hung sash windows.	N  H	 D13 and W16	Retain or remove W13  Retain and conserve W14-W17
architraves					
posts	1860	P24-29: timber 120x120 posts with cap plates supporting original beams	M M M	 Posts and cap plates	Retain and conserve posts, cap plates and beams
internal partitions	c.2000	Plasterboard lined with glazing to tops	N		Retain or remove

## 49 and 51 Salamanca Place




item	date	discussion	sign	photo	recommendations
Space <b>F2</b>	1833	The space, despite the introduction of modern partitions, still demonstrates its original form.	H		Any future partitions should be detailed in a manner that demonstrates the original space.
external walls	1833	sandstone	M		Retain and conserve
skirtings					
floor	1886 1833	concrete over original floorboards	N M		Retain or remove concrete Retain floorboards
ceiling	1886	plasterboard	N		Retain or remove
cornice	1886	50mm quad	N		Retain or remove
doors	1886? 1886	D14: timber vertical boarded doors D16: half glazed doors with vertical boards	N? N		Retain D14 until age is verified Retain or remove D16
architraves			N		Retain or remove
windows	1886 1886	W18, W19: timber casements W27, W28: timber casements	N N		Retain or remove, if the opportunity arises replace W18, W19, W27 and W28 with reconstructed double hung sash windows
architraves		none			
posts	1833	P30-P37: 120x120 timber posts	M		Retain and conserve posts
internal partitions	c.2000	Modern plasterboard	N		Retain, adapt or remove

item	date	discussion	sign	photo	recommendations
Space <b>F3</b>	1833	The space, despite the introduction of modern partitions, still demonstrates its original layout.	H		Any future partitions should be detailed in a manner that demonstrates the original space.
external walls	1833	sandstone	M		Retain and conserve
skirtings					
floor	1886 1833 1833	Carpet over original floorboards Mezzanine: built to provide headroom over original laneway	N M M		Retain and conserve floorboards Retain mezzanine and conserve
ceiling	1886	plasterboard	N		Retain or remove
cornice		none			
doors	1886	D15: half glazed doors with vertical boards	N		Retain or remove D15
architraves					Retain or remove
windows	1886	W20-W26: timber casements	N		Retain or remove, if the opportunity arises replace W20-W26 with reconstructed double hung sash windows
architraves		none			
posts	1833	P38-P46: 130x130 timber	M		Retain and conserve posts
partitions	c.2000	Modern plasterboard	N		Retain, adapt or remove
stair S2	c.1886	modern	N		Retain, adapt or remove



### 3.03.3 Second Floor (refer to pages 12-14 for room numbers)

#### 47 Salamanca Place (loft)

item	date	discussion	sign	photo	recommendations
Space <b>S1</b>	1860	The space, despite the introduction of modern bar and toilets, still demonstrates its original form.	H		Any future partitions should be detailed in a manner that demonstrates the original space –like the existing partitions with top glazing
walls	1986	plasterboard	N		Retain or remove.
skirtings	c.2000	Ducted skirting	N		Retain or remove
floor	c.2000	Modern tiles over	N		Retain or remove concrete and tiles, retain original timber floor
	1986	concrete	N		
	1860	over original flooring	M		
ceiling	1986	plasterboard	N		Retain or remove
cornice		none			
doors	1986	D20: modern flush panel door	N		Retain or remove D20
	1860?	D21: pair of half glazed doors	H		Retain and conserve D21
architraves				D21	Retain or remove
windows	1986	rooflights	N		Retain or remove rooflights
posts	1860	P46-P51: timber 100x100 posts with trusses supporting roof	M		Retain and conserve posts and trusses
	1860		M		
partitions	c.2000	Plasterboard	N		Retain or remove

#### 49 and 51 Salamanca Place

item	date	discussion	sign	photo	recommendations
Space <b>S2</b>	1833	The space, despite the introduction of modern partitions, still demonstrates its original form.	H		Any future partitions should be detailed in a manner that demonstrates the original space.

external walls	1833	sandstone	M		Retain and conserve
skirtings					
floor	c.2010 1833	carpet over original floorboards	N M		Retain and conserve floorboards
ceiling	1986	plasterboard	N		Retain or remove
cornice		none			
doors	1986? 1986	D22: timber vertical boarded doors D24: half glazed doors with vertical boards	N? N		Retain D22 until age is verified Retain or remove D24
architraves			N		Retain or remove
windows	1986 1986	W31, W32: timber casements W40, W41: timber casements	N N		Retain or remove, if the opportunity arises replace W31, W32, W40 and W41 with reconstructed double hung sash windows
architraves		none			
posts	1833	P52: 120x120 timber posts	M		Retain and conserve post
internal partitions	c.2000	Modern plasterboard	N		Retain, adapt or remove

item	date	discussion	sign	photo	recommendations
Space <b>S3</b>	1833	The space, despite the introduction of modern partitions, still demonstrates its original form.	H		Any future partitions should be detailed in a manner that demonstrates the original space.
external walls	1833	sandstone	M		Retain and conserve
skirtings					
floor	1986 1833	Carpet over concrete Carpet over original floorboards	N M		Retain or remove concrete Retain and conserve floorboards
ceiling	1986	plasterboard	N		Retain or remove
cornice		none			
doors	1986	D23: half glazed doors with vertical boards	N		Retain or remove D23
architraves					Retain or remove
windows	1986	W33-W39: timber casements	N		Retain or remove, if the opportunity arises replace W33-W39 with reconstructed double hung sash windows
architraves		none			
internal partitions	c.2000	Modern plasterboard	N		Retain, adapt or remove
stair S2	c.1986	modern	N		Retain, adapt or remove

### 3.04 Archaeology

Given that the warehouses were constructed soon after the quarrying of the foreshore to create a flat site for their construction, the archaeological potential of 49 and 51 Salamanca Place is likely limited. The wall fabric of 47 Salamanca Place has some potential to reveal aspects of the fireplaces and furnaces that were associated with the engineering workshop operating there from early Victorian times.

## 4 ASSESSMENT OF SIGNIFICANCE OF THE SITE

### 4.01 Sullivans' Cove

Lt Governor David Collins landed at Sullivan's Cove on 20<sup>th</sup> February 1804 and established the settlement of Hobart Town –a year after the soon to be abandoned first settlement at Risdon Cove on the other side of the Derwent River.

Collins named Sullivan's Cove after the Permanent Under Secretary to the Colonies, John Sullivan.<sup>7</sup>

The first permanent stores were constructed on Hunter Island. These stores were of sandstone construction and of three to four stories high. Most survive today in Hunter Street. They were marine stores servicing the 'Old Wharf' attached to Hunter Island.

As commerce increased the demand for wharf storage space grew. In 1830 land was subdivided to allow the construction of more stores on the southern side of Sullivan's Cove to service the 'New Wharf'. Increased trade brought about further subdivision to the west part of Salamanca Place. The construction of the warehouses at 49 and 51 Salamanca Place in 1833 was part of this western development. The construction of 47 Salamanca Place as a foundry in 1860 accounts for its diversion to the Romanesque style.

### 4.02 The people –from David Young

The historically significant former owners of 47-51 Salamanca Place are as follows:

#### 47 Salamanca Place

**Alexander Clark**, Scottish engineer, father of Andrew Inglis Clark (lawyer, judge, politician and main designer of Tasmania's unique voting system 'Hare-Clark'), built the foundry at 47 Salamanca Place.

**Robert Kennedy**, engineer, ship-builder and naval architect, took over the Clark engineering business and diversified to building ship fittings, locomotive fittings, iron ships and more from 47 and eventually purchased 49 and 51 Salamanca Place.

#### 49 and 51 Salamanca Place

**Captain Andrew Haig**, merchant, built the two warehouses at 49 and 51 Salamanca Place and soon after his mansion Narryna on the other end of his land where it faced Hampden Road.

**George Frederick Read**, wealthy merchant and banker, original proprietor and later managing director of the Bank of Van Diemen's Land, was the second owner of the warehouses, from 1849 until his death in 1860.

### 4.03 Commerce

Although built for different purposes the warehouses at 49 and 51 and the foundry at 47 Salamanca Place shared a similar commercial history following their leasing then purchase by the one family in 1912. Since then they have been used primarily as stores until the 1980s, then as shops, offices and restaurants.

47 Salamanca Place has operated successfully as a foundry and engineers' workshop from its construction in 1860 until 1955. 49 and 51 Salamanca Place have operated as stores from 1833 until the 1980s. The re-orientation of the uses of all three buildings towards commercial tourism and local

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<sup>7</sup> Wikipedia, *Sullivans Cove*, p1



recreation has provided sound commercial viability that funds the care and maintenance of the structures.

#### **4.04 The buildings**

##### **47 Salamanca Place**

Romanesque architecture was relatively rare in Tasmania during the Georgian and early Victorian times. Convict architect and later Government architect James Blackburn employed it for his St Mark's Church, Pontville in 1840 and was certainly one of the early influences of this style. It was often used to express ruggedness and power, certainly suitable for an engineering foundry.

According to Apperley et al, 47 Salamanca Place exhibits the following characteristics of Victorian Romanesque style:

1 simple massing; 2 parapeted gable; 3 strongly modeled semicircular arches; and 4 openings small in relation to wall area.<sup>8</sup>

##### **49 and 51 Salamanca Place**

These buildings, like all of the other former warehouses to Salamanca Place and Hunter Street are simple Georgian sandstone structures of similar height.

Australian Georgian style architecture was born from the design principals of Renaissance architecture used by English architects such as Sir Christopher Wren in the late seventeenth century.

The early European settlement of Australia was not sophisticated enough for the refineries of English Georgian architecture so a simplified version was employed, nevertheless still using symmetry, proportion and rectangular shapes with occasional use of classical orders.

49 and 51 Salamanca Place, along with its contemporaneous sandstone structures in Sullivan's Cove is simplified Old Colonial Georgian in style. According to Apperley et al, 49 and 51 Salamanca Place exhibit the following characteristics of Old Colonial Georgian style:

1 symmetrical façade; 2 exposed stone walling; 3 medium-pitched hipped roof; 5 timber roof shingles (now replaced); 17 sash windows with small panes (many now replaced); 21 panelled door (now replaced); 23 stone lintels; 25 stone sills and 26 simple chimneys.<sup>9</sup> Some of those characteristics have been lost during building changes.

#### **4.05 Heritage listings**

47-51 Salamanca Place, Battery Point are entered in the following heritage schedules:

##### **4.05.1 Tasmanian Heritage Register**

47-51 Salamanca Place was permanently entered on 9 December 1998 as R1456.

The THR is administered by the Tasmanian Heritage Council.

The implications of entry in the THR are set down in the *Historic Cultural Heritage Act*:

Part 46. (1) Under this Part, the Heritage Council may only agree to heritage works which are likely to destroy or reduce the historic cultural heritage significance of a registered place, heritage area or place within a heritage area if satisfied that there is no prudent and feasible alternative to those works.

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<sup>8</sup> R Apperley, R Irving, P Reynolds, *A Pictorial Guide to Identifying Australian Architecture*, Angus & Robertson, 1989, p76

<sup>9</sup> *ibid*, p26

#### 4.05.2 *Sullivan's Cove Planning Scheme 1997*

47 Salamanca Place is reference 94 in Table 1 of the Scheme as a Place of Cultural Significance.

49 Salamanca Place is reference 95 in Table 1 of the Scheme as a Place of Cultural Significance.

51 Salamanca Place is reference 96 in Table 1 of the Scheme as a Place of Cultural Significance.

47 Salamanca Place is reference 76 (Derwent Iron Works) in Table 2 as a Place of Archaeological Sensitivity.

49-61 Salamanca Place is reference 77 (Turner's Jam Factory) in Table 2 as a Place of Archaeological Sensitivity.

GRAEME CORNEY COMMENT:

Turner's Jam was not manufactured from 49 and 51 Salamanca Place so this listing seems to be in error.

The Scheme is administered by the Hobart City Council. The relevant implications of heritage listing in the Sullivan's Cove Planning Scheme are as follows:

##### 22.4.4 'Permitted' 'Building or Works'

'Building or works' on places of cultural significance is 'permitted' in respect to this Schedule where it can be demonstrated that the following 'deemed to comply' provisions have been satisfied:

- The 'building or works' are related to the conservation of a place of cultural significance and are to be undertaken in accordance with a Conservation Plan accepted by the Planning Authority as satisfying the submission requirements for an application.

##### 22.4.5 'Discretionary' 'Building or Works'

'Building or works' on places of cultural significance which cannot satisfy the 'deemed to comply' provisions of Clause 22.4.4 may be approved at the discretion of the Planning Authority.

The following criteria must be taken into consideration in the assessment of all proposals to undertake 'building or works' on places of cultural significance:

- 'Building or works' must complement and contribute to the cultural significance, character and appearance of the place and its setting;
- 'Building or works' must be in accordance with the conservation strategy of an approved Conservation Plan, where required and/or provided;
- The location, bulk and appearance of 'building or works' must not adversely affect the heritage values of any place of cultural significance;
- 'Building or works' must not reduce the apparent authenticity of places of cultural significance by mimicking historic forms;
- 'Building or works' may be recognisable as new but must not be individually prominent;
- The painting of previously unpainted surfaces is discouraged.

#### 22.6 Places of Archaeological Sensitivity

##### 22.6.4 Permitted 'Building or Works'

Those works which constitute the excavation of land on any place of cultural significance (as identified in Table 1), including those identified in Table 2, are 'permitted' where a statement is provided by a qualified archaeologist that either the site has been surveyed previously and found not to be of archaeological significance or that the nature of the 'building works' will result in destruction of any aspects of items of archaeological significance.

#### 4.06 Determining cultural significance

The ICOMOS Burra Charter describes five categories of cultural significance –aesthetic, historic, scientific, social or spiritual value.

Until recently the Tasmanian Heritage Council has used seven categories of cultural significance as set down in the *Historic Cultural Heritage Act 1995*. Recently an eighth category based on aesthetic values was added.

The eight criteria for entry to the Register are:

- (a) *the place is important to the course or pattern of Tasmania's history;*
- (b) *the place possesses uncommon or rare aspects of Tasmania's history;*
- (c) *the place has the potential to yield information that will contribute to an understanding of Tasmania's history;*
- (d) *the place is important in demonstrating the principal characteristics of a class of place in Tasmania's history;*
- (e) *the place is important in demonstrating a high degree of creative or technical achievement;*
- (f) *the place has a strong or special association with a particular community or cultural group for social or spiritual reasons;*
- (g) *the place has a special association with the life or works of a person, or group of persons, of importance in Tasmania's history.*
- (h) *the place is important in exhibiting particular aesthetic characteristics.*

The Tasmanian Heritage Register mistakenly describes 47-51 Salamanca Place as all of one style, Old Colonial Georgian and does not take into account the later construction and style of number 47.

The statements of cultural significance used for 47-51 Salamanca Place in the THR are as follows:

- (b) *This three storey sandstone warehouse is part of possibly the last group of Old Colonial Georgian waterfront warehouses in Australia.*
- (d) *These buildings are of historic cultural heritage significance because of their ability to demonstrate the principal characteristics of three storey sandstone Old Colonial Georgian warehouses.*
- (e) *These buildings are part of a large group which is of historic heritage significance because their townscape associations are regarded as important to the community's sense of place.*

#### **4.07 Statements of significance**

Using the criteria of the *Historic Cultural Heritage Act* appropriate Statements of Historic Heritage Significance for **47 Salamanca Place** are as follows:

- (a) ***47 Salamanca Place, along with the group of 19<sup>th</sup> century buildings in Sullivan's Cove, is important to Tasmania's history as a demonstration of the development of engineering and commerce from early Victorian times through until the present. The importance to Tasmania of this cultural value is high.***
- (b) *no statement.*
- (c) ***47 Salamanca Place has the potential to reveal aspects of the operations of an early Victorian engineering workshop. The importance to Tasmania of this cultural value is medium.***
- (d) ***47 Salamanca Place is of historic cultural heritage significance for its ability to demonstrate some of the characteristics of a two storey Victorian Romanesque engineering foundry. These characteristics include its simple massing; parapeted gable; strongly modeled semicircular arches; and openings small in relation to wall. The importance to Tasmania of this cultural value is medium.***
- (e) *no statement*



- (f) **47 Salamanca Place, along with the similar 19<sup>th</sup> century sandstone buildings in Sullivan's Cove, is of historic cultural heritage significance to the Tasmanian community as a place for various community and public activities and events such as the Salamanca Market, the conclusion of the Sydney Hobart Yacht Race, and for New Year celebrations and as a venue for Hobart's social life over nearly two centuries. The importance to Tasmania of this cultural value is high.**
- (g) **47 Salamanca Place is of historic cultural heritage significance because of its associations with: Alexander Clark, Scottish engineer, father of Andrew Inglis Clark (lawyer, judge, politician and main designer of Tasmania's unique voting system 'Hare-Clark'), who built the foundry at 47 Salamanca Place; and Robert Kennedy, engineer, ship-builder and naval architect, who took over the Clark engineering business and diversified to building ship fittings, locomotive fittings, iron ships and more -from 47 and eventually 49 and 51 Salamanca Place. The importance to Tasmania of this cultural value is medium.**
- (h) *no statement*

Appropriate statements of Historic Heritage Significance for **49 and 51 Salamanca Place** are as follows:

- (a) **49 and 51 Salamanca Place are important to Tasmania's history as a demonstration of the development of maritime trade. The importance to Tasmania of this cultural value is medium.**
- (b) *no statement*
- (c) *no statement*
- (d) **49 and 51 Salamanca Place are of historic cultural heritage significance for their ability to demonstrate the principal characteristics of three storey sandstone Old Colonial Georgian warehouses. These characteristics include their symmetrical façade; exposed stone walling; medium-pitched hipped roof; timber roof shingles (remnants under the cgi); sash windows with small panes (many now replaced); stone lintels; 25 stone sills and simple chimneys. The importance to Tasmania of this cultural value is high.**
- (e) *no statement*
- (f) **49 and 51 Salamanca Place, along with the similar 19<sup>th</sup> century former warehouses in Sullivan's Cove, are of historic cultural heritage significance to the Tasmanian community as a place for various community and public activities and events such as the Salamanca Market, the conclusion of the Sydney Hobart Yacht Race, and for New Year celebrations. The importance to Tasmania of this cultural value is high.**
- (g) **479 and 51 Salamanca Place are of historic cultural heritage significance because of their associations with: Captain Andrew Haig, merchant, who built the two warehouses at 49 and 51 Salamanca Place and soon after his mansion Narryna on the other end of his land where it faced Hampden Road.**

**George Frederick Read**, wealthy merchant and banker, original proprietor and later managing director of the Bank of Van Diemen's Land, who was the second owner of the warehouses, from 1849 until his death in 1860.

**Alexander Clark**, Scottish engineer, father of Andrew Inglis Clark (lawyer, judge, politician and main designer of Tasmania's unique voting system 'Hare-Clark'), who built the foundry at 47 Salamanca Place and later owned 49 and 51 Salamanca Place.

Robert Kennedy, engineer, ship-builder and naval architect, took over the Clark engineering business and diversified to building ship fittings, locomotive fittings, iron ships and more -from 47 and eventually 49 and 51 Salamanca Place.

#### 4.08 Basis of assessment

A system of ranking cultural significance is used throughout this report. An assessment is principally made of fabric but where important to the management of the site also includes some spaces.

##### SIGNIFICANCE OF SPACE

<b>H</b>	High significance
<b>M</b>	Medium
<b>L</b>	Low
<b>N</b>	No heritage significance
<b>I</b>	Intrusive

In determining the level of heritage significance of a space, the following values have been taken into account:

- **The historical use of the space** –e.g. where a space has been used for a particular purpose associated with the cultural significance of the place and over a reasonable period of time, it may be rated as of high heritage significance. This value is defined in the *Heritage Act* as *criterion (a) the place is important to the course or pattern of Tasmania's history*.
- **The architectural or aesthetic qualities of the space** –e.g. if a space has elaborate architectural detailing or its geometry itself is impressive, then it will be rated as of high heritage significance. This value is defined in the *Heritage Act* as *criterion (e) the place is important in demonstrating a high degree of creative or technical achievement*.
- **Capacity to demonstrate the particular cultural value** –even if a space was created in a phase of high cultural value, if that space has been modified to the degree that its capacity to demonstrate that particular value has been diminished, then its assigned level of significance may be lower than otherwise would have been.

##### SIGNIFICANCE OF FABRIC

<b>H</b>	High significance
<b>M</b>	Medium
<b>L</b>	Low
<b>N</b>	No heritage significance
<b>I</b>	Intrusive

In determining the level of heritage significance of an item, the following values have been taken into account:

- **The historical use of the item** –where an item is important in demonstrating an historical pattern of use, (e.g. a chimney stack) it may be rated as of high heritage significance. This value is defined in the *Heritage Act* as *criterion (a) the place is important to the course or pattern of Tasmania's history*.

- **The rarity of the item** –where a detail or item is rare, then it will be rated as of high heritage significance. This value is defined in the *Heritage Act* as *criterion (b) the place possesses uncommon or rare aspects of Tasmania’s history*.
- **The research potential of the item** –where the item may yield information that is important to the history of the place. This value is defined in the *Heritage Act* as *criterion (c) the place has the potential to yield information that will contribute to an understanding of Tasmania’s history*.
- **The architectural style of the item** –if the item is styled to represent a particular architectural fashion, then it may be rated as of higher heritage significance. This value is defined in the *Heritage Act* as *criterion (d) the place is important in demonstrating the principal characteristics of a class of place in Tasmania’s history*.

For a space or an item to be allocated a high significance ranking, it needs to meet only one of the values described above.

Level **H** is adopted where the space or item is highly valued by the community or is important in interpreting history.

Level **M** contains aspects which either have been degraded to a degree by adaptation or where the cultural significance of the item was always of lesser importance.

Level **L** covers a range of fabric or spaces which either have been considerably degraded by adaptation or where the cultural significance of the item was always of modest heritage significance.

Level **N** covers a range of fabric or spaces which either have been degraded beyond recognition or where there has never been any cultural significance.

Level **I** covers fabric or spaces which have an adverse impact on the cultural significance of the place.

#### 4.09 Heritage significance of spaces and items

The heritage significance of spaces and items is shown on the plans on pages 12-14 and on the room by room tables on pages 16-22. Most internal spaces have been dramatically altered and are now of low or no significance. As a consequence they are able to be adapted.

#### 4.10 Implications of significance levels

The general implications arising from these categories of cultural significance are as follows:

- that level **H** items be retained in situ and conserved in a manner which retains their cultural significance.
- that level **M** items be retained in situ if reasonably possible, but where there is an overall benefit to the heritage values of the place and where there is no prudent and feasible alternative, may be adapted or removed.
- that level **L** items should be retained, but may be adapted or removed.
- that level **N** items may be retained, adapted or removed.
- That level **I** items should be removed at the first available opportunity



## 5 BACKGROUND TO CONSERVATION POLICY OF SITE

### 5.01 Statutory obligations

Statutory obligations are those required by the *Sullivan's Cove Planning Scheme* and the *Historic Cultural Heritage Act* and are described in 4.05.

### 5.02 Physical condition and intactness

#### 47 Salamanca Place

The former foundry is substantially intact from its 1860 construction date. Its original spaces are still recognizable despite the introduction of modern partitions. Most windows have survived. Floors remain but are concealed beneath modern concrete. Fireplaces have been blocked up or removed, original staircases have been removed.

Sandstone condition is generally sound. Its structural condition is sound, and there is little degradation of fabric. There is some dampness to the first floor front wall.

#### 49 and 51 Salamanca Place

These former warehouses have had more changes than 47 Salamanca Place but are nevertheless comparatively intact from their original construction. There are three more significant changes: the replacement of original 'shop-front' entrances with windows over infill sandstone; the replacement of all front facing double hung sash windows with casements with toplights; and the closing up of the laneway between 49 and 51 that served the rear yards of these warehouses.

The structural condition of these two warehouses appears to be generally very sound with no apparent cracking of stonework, movement of walls or presence of dampness. Sandstone condition is generally sound.

### 5.03 Client aspirations

The owner intends to convert the first and second floor to high class boutique accommodation.

Tasmania's most celebrated practicing architectural firm Circa Morris-Nunn has been appointed to prepare a proposal to meet the client's aspirations.

The proposal involves the following:

#### 47 Salamanca Place

Ground floor

- demolition of modern rear gates and nearby concrete lintel, and the bottom flight of the 1985 rear stairs
- construction of a new glazed entrance foyer with lift off Kennedy's Lane
- modifications to the 1985 staircase including construction of a new wall

First floor

- modifications to the 1985 rear balcony/walkway including extending it using laminated glass and provision of new lift

Loft floor

- modifications to the 1985 rear balcony/walkway including extending it using laminated glass and provision of new lift

The roof

- no work proposed

#### 49 and 51 Salamanca Place

Ground floor

- no work proposed

#### First floor

- demolition of c.1990 internal staircase to 51 Salamanca Place and making good the floor

#### Second floor

- demolition of all modern internal walls, modern ceiling and wall linings
- demolition of c.1990 internal staircase to 51 Salamanca Place and making good the floor
- construction of new slab over existing floor screed –keying into stone walls
- installation of glazing panels to inside face of all windows facing Salamanca Place
- construction of new internal walls to create four new accommodation suites with en suites to 49 and four to 51 Salamanca Place
- creation of a light well feeding through to the second floor

#### The roof

- removal of all modern roof plant
- minor demolition of roof to provide for construction of four small light wells
- construction of new roof sheeting immediately above existing, allowing for insulation and purlins
- construction of new loft floors, walls and staircases to provide for two new bedrooms to 49 and two to 51 Salamanca Place

## 6 CONSERVATION POLICY FOR THE SITE

### 6.01 General conservation policy

The group of Salamanca Place buildings, of which 47-51 Salamanca Place are a part, is of Tasmanian and national heritage for the reasons described in the statements of historic cultural heritage significance.

#### **Policy 1:**

**1.1 This CMP and the Australian ICOMOS publication The Illustrated Burra Charter, 2004 should be the guiding documents for all management of heritage values on the site.**

**1.2 In order to retain their cultural significance 47-51 Salamanca Place should be conserved.**

**1.3 In particular the fabric that demonstrates the early foundry use of 47 and the warehouse use of 49 and 51 Salamanca Place, should be conserved.**

**1.4 The internal spaces of these buildings still have the capacity to demonstrate their original form. Whilst subdivision of the spaces has been an ongoing aspect of their history, all future partitioning should attempt to allow the original spaces to be understood as much as possible.**

**1.5 The interior steel and timber posts, beams and floors should be conserved and expressed in any future adaptations.**

Priority: High/ongoing

**Policy 2: This CMP should be regularly reviewed for efficiency and effectiveness in managing the heritage values of the site. The first review should be no later than August 2016.**

Priority: Medium

### 6.02 Records

Records of previous changes to the places have been poor. The owner is encouraged to maintain records of all changes and of any new information that arises from future uncovering and archaeology.

**Policy 3: The owner is encouraged to keep records of changes to fabric of the site as they occur; and to properly record new information that emerges from uncovering works and from archaeology.**

Priority: Low/ongoing

## 6.03 Salamanca Place Facades

### 47 Salamanca Place

The façade is predominantly intact as it was built in 1860. The modern umbrella structures impose on the façade and limit the public views of the building front.

**Policy 4:** *Move the umbrella structures at least 2m from the building façade of the former foundry to provide for improved visibility of the ground floor.*

Priority: High

### 49 and 51 Salamanca Place

These façades are comparatively intact other than for replacement of ground floor shop-fronts with window and door openings and the replacement of all first and second floor 12-paned double hung sash windows with casements in 1959. Umbrella structures are also attached to these frontages and limit public views of them.

**Policy 5:** *If the opportunity arises reconstruct the shop-fronts to the Salamanca Place frontages.*

Priority: Medium

**Policy 6:** *If the opportunity arises reconstruct the 12 paned double hung sash windows to the first and second floors.*

Priority: Low

**Policy 7:** *Move the umbrella structures at least 2m from the building façades of the former warehouses to provide for improved visibility of the ground floor.*

Priority: High

The former laneway is not easily interpreted as such given its blocking by a modern internal wall and the reduced visibility by umbrella structures.

**Policy 8:** *All future modifications to the former laneway and its entrance should reinforce rather than conceal its original purpose.*

## 6.04 Side elevation

### 47 Salamanca Place

The elevation of 47 Salamanca Place to Kennedy's Lane has had its side door replaced with sheet glass and an unsympathetic metal security screen. The original ground floor 12-paned double hung sash windows have also been replaced with single paned sashes.

**Policy 9:** *Remove the security screen to door/window D1.*

Priority: High

**Policy 10:** *If the opportunity arises reconstruct the 12 paned double hung sash windows to the ground floor.*

Priority: Low

## 6.05 Roofs

The gabled roof to 47 Salamanca Place is prominent and should not be changed other than possible removal or further construction of skylights in the plane of the roof.

The hipped roof of 49 and 51 Salamanca Place is less prominent but is still visible from the Cove floor. The hipped roof which combines both warehouses is an important demonstration of the paired construction of the two. Any changes to this hipped roof should be minor.

**Policy 11:** *Maintain the roof plane of 47 Salamanca Place with minor changes to skylights acceptable.*

Priority: High



**Policy 12:** *Maintain the hipped roof of the two warehouses of 49 and 51 Salamanca with minor changes acceptable so long as they do not distort its form from the Cove floor.*

Priority: High

#### 6.06 Let levels of heritage significance guide actions

The heritage significance of spaces and items is shown on the plans on pages 12-14 and on the room by room tables on pages 16-22.

**Policy 13:** *The treatment of various heritage values of the site must be based on the levels of significance ascribed to them in this document and should be in accordance with the following:*

level **H** items must be retained in situ and conserved in a manner which retains their cultural significance.

level **M** items should be retained in situ if reasonably possible, but where there is an overall benefit to the heritage values of the place, or where there is no prudent and feasible alternative, may be adapted or removed.

Level **L** items should be retained, but may be adapted or removed.

Level **N** items may be retained, adapted or removed.

Level **I** items should be removed at the first opportunity.

**Policy 14:** *Use the significance of items plan on page 12-14 and the room by room plans on pages 16-22 to guide the treatment of items and spaces.*

Priority: High

#### 6.07 Further research

More detailed photographs of the warehouse former 'shop-fronts' and loading bay will provide a sound factual footing for any future reconstruction of those elements. Further research is needed to discover the historical detailing.

**Policy 15:** *Further historical research should be carried out on external fabric of the hotel prior to any reconstruction of detail elements.*

Priority: medium

**Policy 16:** *An assessment should be made of the archaeological potential of all three sites, particularly in regard to the foundry workshop use of 47 Salamanca Place.*

Priority: low

#### 6.08 Interpretation

Interpretation of the history of the sites is important to the understanding and protection of its heritage values not only for visitors but also for future employees. Certainly general understanding of the sites history is minimal.

**Policy 17:** *An interpretation strategy should be prepared and implemented based on the history of the sites and emphasising their original uses as foundry and warehouses; and the important Tasmanians who were connected with the site: Alexander Clark, who built the foundry; Robert Kennedy who ran and later owned the foundry; Captain Andrew Craig, who built the warehouses; and George Frederick Read, who later owned the warehouses.*

Priority: Medium

## 7 HERITAGE IMPACT ASSESSMENT

### 7.01 Proposed works

#### 47 Salamanca Place

Proposed works	Significance of item	Discussion	Impact on cultural significance
<b>Ground floor</b> 1 demolition of modern rear gates and nearby concrete lintel, and the bottom flight of the 1986 rear stairs	None	All items to be demolished are of no significance.	None
2 construction of a new glazed entrance foyer with lift off Kennedy's Lane	None	A simple modern glazed structure allows the space to be understood without distortion. It is a sensitive response to its location.	None.
3 modifications to the 1986 staircase including construction of a new wall	None	No heritage fabric is altered by this part of the proposal.	None
<b>First floor</b> 4 modifications to the 1986 rear balcony/walkway including extending it using laminated glass and provision of new lift	None	The balcony/walkway itself has no significance. The proposal to extend its floor using laminated glass against the adjacent heritage building fronting Kennedy's Lane is sensitive to the adjacent heritage fabric.	None
<b>Loft floor</b> 5 modifications to the 1986 rear balcony/walkway including extending it using laminated glass and provision of new lift	None	The balcony/walkway itself has no significance. The proposal to extend its floor using laminated glass against the adjacent heritage building fronting Kennedy's Lane is sensitive to the adjacent heritage fabric.	None
<b>The roof</b> no work proposed		There will be no heritage impact at roof level.	None
<b>Public views of changes</b> Public views of roof	Roof plane to Salamanca Place (High)	The retention of the highly visible roof plane facing Salamanca Place is important and will be unaffected by the proposal.	None

#### 49 and 51 Salamanca Place

Proposed works	Significance of item	Discussion	Impact on cultural significance
<b>Ground floor</b> no work proposed			None
<b>First floor</b> 6 demolition of c.1990 internal staircase to 51 SP and making good floor	None	These proposed works do not impact on any heritage fabric and allow reconstruction of the floor penetrated by the modern staircase.	None
<b>Second floor</b> 7 demolition of all modern	None	All items to be demolished are of no	None

internal walls, modern ceiling and wall linings		significance.	
8 demolition of c.1990 internal staircase to 51 SP and making good floor	None	These proposed works do not impact on any heritage fabric and allow reconstruction of the floor penetrated by the modern staircase.	None
9 construction of new slab over existing floor screed – keying into stone walls	Original floor (M)	The original floor is already concealed, so the new slab will have a neutral heritage impact. The keying in to sandstone will be a minor impact.	None
10 installation of glazing panels to inside face of all windows facing Salamanca Place	None	The window openings are of high significance, however the window frames were replaced in c.1959 and have no significance. The introduction of glazing to the inside face will have no heritage impact, but there is nonetheless an opportunity to improve sound and thermal performance and at the same time reconstruct 12 paned double hung sashes.	None
11 construction of new internal walls to create four new accommodation suites with en suites to 49 and four to 51 Salamanca Place	Space (M)	The warehouse spaces are already closed up by modern partitioning which will be removed. The introduction of new partitions will have a neutral impact on heritage values when compared to the existing situation, but should be detailed to allow the original warehouse space to be understood where possible.	None
12 creation of a light well feeding through to the second floor	Framing (L)	These light wells will be small and have a small impact on heritage fabric. The impact is considered to be acceptably low.	Minor and acceptable
<b>The roof and new loft floor</b>			
13 removal of all modern plant from roof	None	The plant has no heritage significance	None
14 minor demolition of roof to provide for construction of four small light wells	Low	The roof framing will have only minor modifications in small areas to provide for four small light wells. The impact is considered to be acceptably low.	Minor and acceptable
15 construction of new roof sheeting immediately above existing, allowing for insulation and purlins	None	The existing cgi sheeting is of low heritage significance (the original covering was timber shingles) and will not be removed, merely covered over. Presumably a slightly higher roof is needed to allow insulation to be incorporated. There will be no heritage impact.	None
16 construction of new loft floors, walls and staircases to provide for two new bedrooms to 49 and two for 51 Salamanca Place	Framing (L)	Minor modifications to the original roof framing will be required. The impact is considered to be acceptably low.	Minor and acceptable
<b>Public views of changes</b> Public views of roof	Medium	The top half of the roof can be seen from the Cove floor and should remain without major modification. The proposal merely lifts the existing hip a few centimeters. The public views of the roof will be unaltered and accordingly there will be no heritage impact.	None



### 7.02 Overall impact on the cultural significance of the place

The heritage impacts on fabric and spaces as a consequence of these proposed works will be very minor. It is inevitable that some subdivision of spaces and some adaptation of heritage fabric will be necessary with any new use made of the building. In this case the project architect has managed to almost eliminate heritage impacts. Posts and internal farming is retained, there are no modifications to original walls, and the proposal for a glass entry lobby and lift to the rear between existing heritage structures is a carefully considered response to the heritage values of the sites.

The proposal to introduce glazing inside the windows facing Salamanca Place maybe an opportunity to do some reconstruction of those windows.

The proposal is well considered and minimizes impacts on heritage fabric. There will be no overall impact on the cultural values of the site.

### 7.03 Recommendations

**1** *All fabric of cultural heritage significance that will be modified or removed by the works should be properly recorded in accordance with the Tasmanian Heritage Council's Practice Note on Extant Recording.*

**2** *The project architect should consider whether the proposed glazing modifications to the windows facing Salamanca Place can incorporate reconstruction of the original 12-paned double hung sash windows removed from 49 and 51 Salamanca Place in c.1959.*

## SEARCH OF TORRENS TITLE

VOLUME 122931	FOLIO 1
EDITION 13	DATE OF ISSUE 26-Aug-2015

SEARCH DATE : 04-Aug-2016

SEARCH TIME : 12.47 PM

DESCRIPTION OF LAND

City of HOBART

Lot 1 on Sealed Plan 122931

Derivation : Part of 2A-0R-3Ps. Gtd. to A. Haig, Part of 3  
Acres Gtd. to J. Grant, Part of 8A-1R-9Ps. Gtd. to J. Montagu  
and Part of 0A-3R-27Ps. Gtd. to T. Hewitt  
Prior CT 40698/3

SCHEDULE 1

B933507 & C32163 PETER BEHRAKIS, VICTORIA ANN BEHRAKIS,  
DENNIS BEHRAKIS and MARIA BEHRAKIS as tenants in  
common in equal shares

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP122931 EASEMENTS in Schedule of Easements

C68043 BURDENING EASEMENT: Right of Drainage (appurtenant to  
Lot 1 on Sealed Plan No. 128966) over the Drainage  
Easement 1.00 wide through Lot 1 on Sealed Plan No.  
122931 Registered 19-Nov-1997 at noon

B933509 INSTRUMENT Creating Restrictive Covenants Registered  
28-May-1996 at 12.03 PM

D65099 CAVEAT by Bank of Western Australia Ltd (affecting  
such portion of the said land within described as  
shown on the plan attached thereto) Registered  
12-Sep-2012 at noon

D65100 CAVEAT by Bank of Western Australia Ltd (affecting  
such portion of the said land within described as  
shown on the plan attached thereto) Registered  
12-Sep-2012 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER RETIREMENT BENEFITS FUND  
INVESTMENT TRUST

FOLIO REFERENCE C.T 40698-3

GRANTEE  
PART OF 8-1-5° GTD TO J. MONTAGU, PART  
OF 2-0-3° GTD TO ANDREW HAIGH, PART OF  
3AC GTD TO JAMES GRANT & PART OF 0-3-27  
GTD TO THOMAS HEWITT.

## PLAN OF SURVEY

BY SURVEYOR ANTHONY OWEN CARRICK  
LOCATION BROOKS, LARK & CARRICK, 7 DESPARD STREET  
HOBART

CITY OF HOBART  
(SECTION W3)

SCALE 1: 750 LENGTHS IN METRES

SP REGISTERED NUMBER  
**122931**

APPROVED  
EFFECTIVE FROM 28 FEB 1996

Recorder of Titles

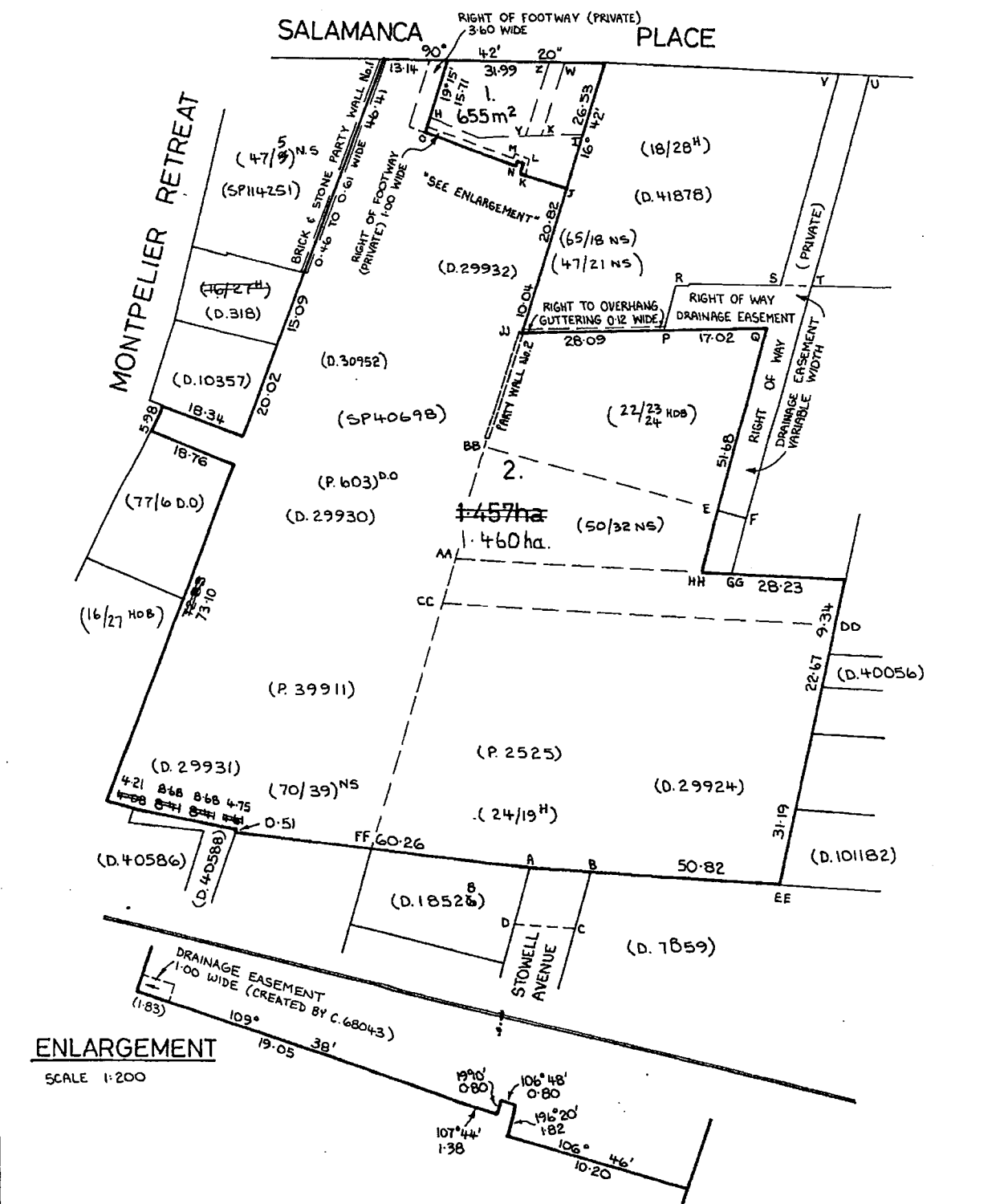
MAPSHEET MUNICIPAL  
CODE No. 114

LAST UPI No.

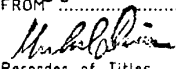
LAST PLAN  
No. SP40698

ALL EXISTING SURVEY NUMBERS TO BE  
CROSS REFERENCED ON THIS PLAN

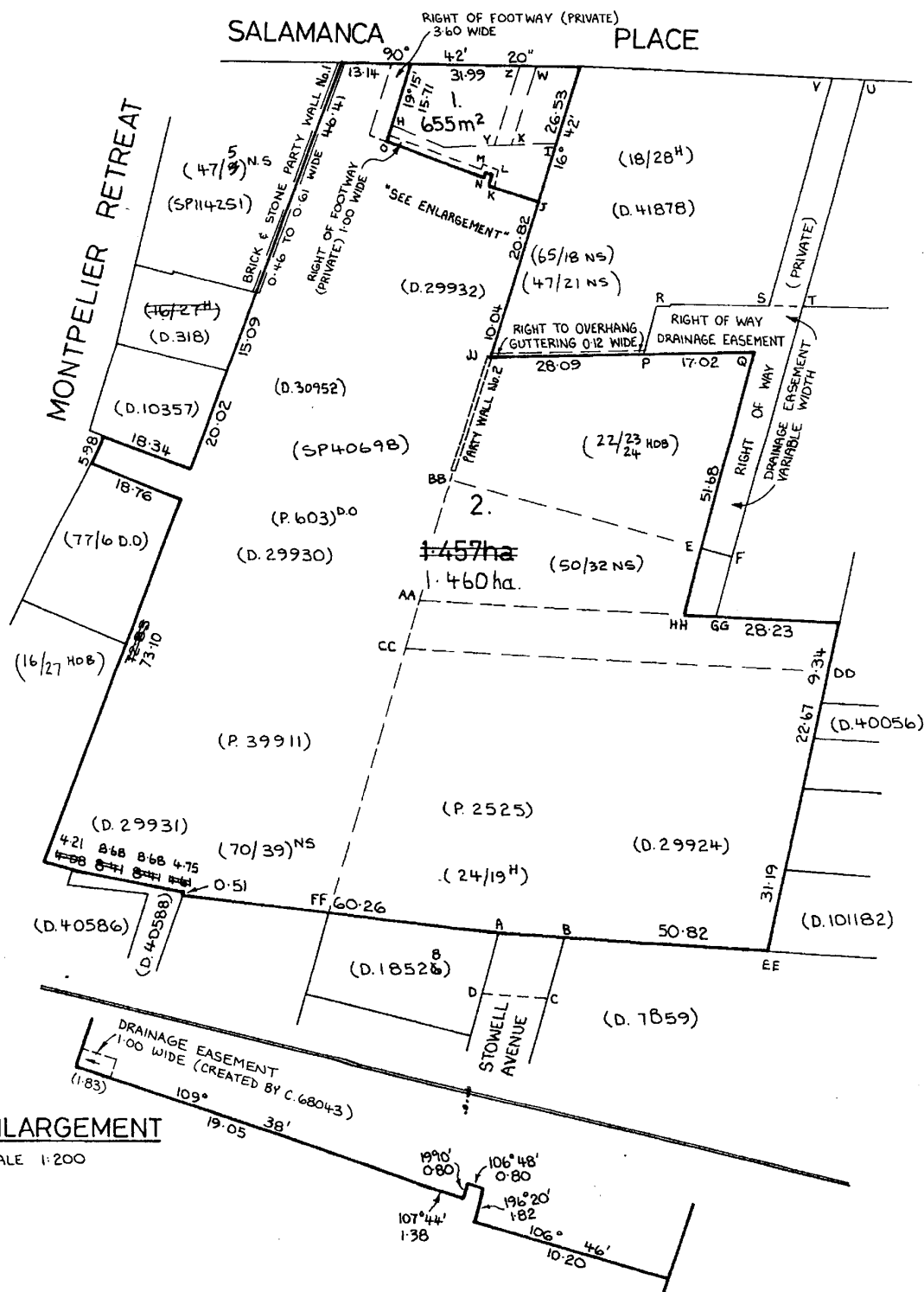
LOT 2 IS COMPILED FROM C.T 40698-3 & THIS SURVEY





OWNER RETIREMENT BENEFITS FUND INVESTMENT TRUST  FOLIO REFERENCE C.T 40698-3		<b>PLAN OF SURVEY</b>  BY SURVEYOR ANTHONY OWEN CARRICK LOCATION BROOKS, LARK & CARRICK, 1 DESPARD STREET HOBART  <b>CITY OF HOBART</b> (SECTION W3)  SCALE 1: 750 LENGTHS IN METRES		SP REGISTERED NUMBER  <b>122931</b>  APPROVED EFFECTIVE FROM 28 FEB 1996  Recorder of Titles
MAPSHEET MUNICIPAL CODE No. 114	LAST UPI No.	LAST PLAN No. SP40698	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	

LOT 2 IS COMPILED FROM C.T 40698-3 & THIS SURVEY



### SEARCH OF TORRENS TITLE

VOLUME 122931	FOLIO 1
EDITION 13	DATE OF ISSUE 26-Aug-2015

SEARCH DATE : 26-Feb-2016

SEARCH TIME : 09.38 AM

### DESCRIPTION OF LAND

City of HOBART

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### UNREGISTERED DEALINGS AND NOTATIONS

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User: hpublic / Status: OK / Printed: 19-Aug-1997 12:00

<h2 style="margin: 0;">SCHEDULE OF EASEMENTS</h2> <p style="margin: 5px 0;">NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS &amp; MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.</p>	<p>REGISTERED NUMBER</p> <div style="font-size: 2em; font-weight: bold;">SP 122931</div>
<div style="display: flex; justify-content: space-between;"> <div> <h3 style="margin: 0;"><u>EASEMENTS AND PROFITS</u></h3> <p>Each lot on the plan is together with:-                      (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and                      (2) any easements or profits a prendre described hereunder.                      Each lot on the plan is subject to:-                      (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and                      (2) any easements or profits a prendre described hereunder.                      The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.</p> </div> <div style="text-align: right;"> <p>PAGE 1 OF 4 PAGE/S</p> </div> </div> <div style="margin-top: 20px;"> <h3 style="margin: 0;"><u>PROFITS</u></h3> <p>No profits a prendre are created to benefit or burden any of the lots on the Plan.</p> </div> <div style="margin-top: 20px;"> <h3 style="margin: 0;"><u>EASEMENTS</u></h3> <ol style="list-style-type: none"> <li>1. Lot 1 on the Plan is:-                             <ol style="list-style-type: none"> <li>(a) Together with a right of footway (<del>Private</del>) over the "Right-of-Footway (Private) 3.60 wide" shown on the Plan passing through Lot 2.</li> <li>(b) Subject to a right of footway (<del>Private</del>) (appurtenant to Lot 2) over the "Right-of-Footway (Private) 1.00 wide" shown on the Plan.</li> </ol> </li> <li>2. Lot 2 on the Plan is:-                             <ol style="list-style-type: none"> <li>(a) Together with a right of footway (<del>Private</del>) over the "Right-of-Footway (Private) 1.00 wide" shown on the Plan passing through Lot 1.</li> </ol> </li> </ol> </div>	
<p>( USE ANNEXURE PAGES FOR CONTINUATION )</p>	
<p>SUBDIVIDER : RETIREMENT BENEFITS FUND BOARD FOLIO REF : C/T 40698/3</p> <p>SOLICITOR &amp; REFERENCE : DOBSON MITCHELL &amp; ALLPORT (C. R. Leslie)</p>	<p>PLAN SEALED BY : THE HOBART CITY COUNCIL DATE : 26. 02. 1996</p> <div style="display: flex; align-items: center;"> <div style="margin-right: 10px;"> <p>817.6</p> <p>REF No.</p> </div> <div style="text-align: center;">   <p>Council Delegate MANAGER SURVEYING SERVICES</p> </div> </div>
<p>NOTE: THE COUNCIL DELEGATE MUST SIGN THE CERTIFICATE FOR THE PURPOSE OF IDENTIFICATION.</p>	



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<p><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b></p> <p>PAGE 2 OF 4 PAGES</p>	<p>Registered Number</p> <p><b>SP 122931</b></p>
<p>SUBDIVIDER:- RETIREMENT BENEFITS FUND BOARD</p> <p>FOLIO REFERENCE:- C/T 40698/3</p>	
<div style="margin-left: 40px;"> <p>(b) Subject to a right of footway (<del>Private</del>) (appurtenant to Lot 1) over the "Right-of-Footway (Private) 3.60 wide" shown on the Plan.</p> <p>(c) Together with a right of drainage over the strip of land marked Drainage Easement variable width shown on the Plan.</p> <p>(d) Together with a right of carriageway over the Right of Way (Private) shown on the Plan and marked QPRSTFE.</p> <p>(e) Together with a right to allow the guttering of the building erected on the Lot to overhang Lot 1 on Sealed Plan No. 41878 to the extent of 0.12 metres from the outer wall of the building.</p> <p>(f) Together with a right for Gabriel Butler his heirs and assigns the tenants and occupiers for the time being of the piece of land or any part thereof and his and their servants and at all times thereafter at his or their will and pleasure by night and by day and for all purposes to go return pass and repass with horses cattle and other beasts carts waggon and all other carriages laden or unladen to and from the said piece of land through over across and along All that strip of land extending from the said land to the New Wharf and being throughout of the width of 18'6" wide or thereabouts and which strip of land is shown on the plan endorsed on Indenture of Release No. 3/1562 and therein coloured brown and on the Plan marked STUV.</p> </div> <div style="margin-left: 40px; margin-top: 20px;"> <p>3. That part of Lot 2, <del>shown on Sealed Plan No. 40698</del> <sup>E.BB.JJ.Q</sup> marked <del>EJKQ</del> <sup>EJKQ</sup>, is together with a right of drift way over the Rights of Way (Private) shown on the Plan and marked FEQPRST and STUV.</p> </div>	
<p>NOTE:- Every annexed sheet must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.</p>	

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<p align="center"><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b></p> <p align="center">PAGE 3 OF 4 PAGES</p>		<p align="center">Registered Number</p> <p align="center"><b>SP 122931</b></p>
<p>SUBDIVIDER:- RETIREMENT BENEFITS FUND BOARD</p> <p>FOLIO REFERENCE:- C/T 40698/3</p>		
<p>4. <del>That part of Lot 2, shown on Sealed Plan No. 40698 marked EHH, is together</del> <sup>E.HH.AA.BB</sup>  with a full right and liberty for the Owner for the time being his successors  assigns and the owners and occupiers for the time being of the land and his  and their tenants servants and others authorised by him or them at all times  by night or by day and for all purposes with or without horses carts carriages  or waggons motor cars and motor waggons laden or unladen to go pass and  repass and to drive cattle, sheep and other animals along over and upon all  the strip of land of the width of 18'6" or thereabouts and extending from the  land formerly belonging to Messrs. R. Kennedy and Sons along the said  eastern boundary line of a piece of land sold by Oak Leaf Preserving  Company Limited to A. G. Webster and Sons Ltd. for a distance of 68 links or  thereabouts shown on the plan endorsed on Conveyance No. 14/8410 and on  the Plan marked EFGH. <del>E.F.GG.HH.</del></p>		
<p><del>That part of Lot 2, shown on Sealed Plan 40698 marked LMNO which was</del> <sup>CC.DD.EE.FF</sup>  formerly comprised in the Folio of the Register Volume 4299 Folio 15, is  together with a full and perfect right and liberty for The Retirement  Benefits Fund Investment Trust and its assigns together with all persons  authorised by it or them in that behalf at all times hereafter and for all  reasonable purposes in connection with all other persons entitled thereto  with or without carts or other vehicles laden or unladen horses and other  animals to go pass and repass along over and upon the whole of the private  roadway 50' wide throughout leading from Hampden Road to the South  Eastern boundary of the land last described in Conveyance 24/5813 which  roadway is shown on the Plan marked ABCD.</p>		
<p>6. Lot 2 on the Plan is together with and subject to a party wall easement  within the meaning of Section 34B of the Conveyancing and Law of Property  Act 1884 over the party wall shown on the Plan along the common boundary  of the Lot with Lot 1 on Sealed Plan No. 114251.</p>		
<p>7. Lot 2 is together with and subject to a party wall easement created  by indenture No.17/2118 over the Party Wall No. 2 on the plan.</p>		
<p>NOTE:- Every annexed sheet must be signed by the parties to the dealing or where the party is a  corporate body be signed by the persons who have attested the affixing of the seal of that body  to the dealing.</p>		

EASEMENT NO.5 hereon deleted by me pursuant to Request to Amend  
No. B974268 made under Section 103 of the Local Government  
(Building & Miscellaneous Provisions) Act 1993

RECORDER OF TITLES  
REGD 10.9.96  
ADDED TO THIS PLAN 18.7.97

EASEMENT No.4. hereon deleted by me pursuant to Request to Amend C.49244 under Section  
103 of the Local Government (Building and Miscellaneous Provisions) Act 1993  
Recorder of Titles  
17/8/1997

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<p><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b></p> <p>PAGE 4 OF 4 PAGES</p>	<p>Registered Number</p> <p><b>SP 122931</b></p>
<p>SUBDIVIDER:- RETIREMENT BENEFITS FUND BOARD</p> <p>FOLIO REFERENCE:- C/T 40698/3</p>	
<p style="text-align: center;"><del>RESTRICTIVE COVENANTS</del> <span style="float: right;"><del>DELETED</del></span></p> <hr style="border: 1px solid black;"/> <p>The owner or owners of Lot 1 on the Plan covenant with the Hobart City Council to the intent that the burden of this covenant may run with and bind the covenantor's lot and every part of it and that the benefit shall be created in favour of the Hobart City Council not, without the prior written approval of the Hobart City Council, to make changes to Lot 1 which would deny public access to either:</p> <ul style="list-style-type: none"> <li>(a) the alley way marked WXYZ on the Plan; or</li> <li>(b) the open area at the rear of the building on Lot 1 marked HIJKLMNO on the Plan.</li> </ul>	
<p><b>SIGNED by RETIREMENT</b> )</p> <p><b>BENEFITS FUND BOARD</b> by its )</p> <p>duly constituted Attorney <b>GARRY</b> )</p> <p><b>LYALL FLETCHER</b> pursuant to )</p> <p>Power of Attorney Registered No. )</p> <p>70/0524 (who stated that he has )</p> <p>received no notice of revocation of )</p> <p>such Power of Attorney) (as registered )</p> <p>proprietor of the land in Folio of the )</p> <p>Register Volume 40698 Folio 3) in the )</p> <p>presence of: )</p> <div style="text-align: center; margin-top: 10px;">   D. ANDERSON  ATTORNEY  IN FIDELITY </div> <div style="text-align: center; margin-top: 20px;">  </div>	
<p>NOTE:- Every annexed sheet must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.</p>	



# **39 and 41 SALAMANCA PLACE, BATTERY POINT**

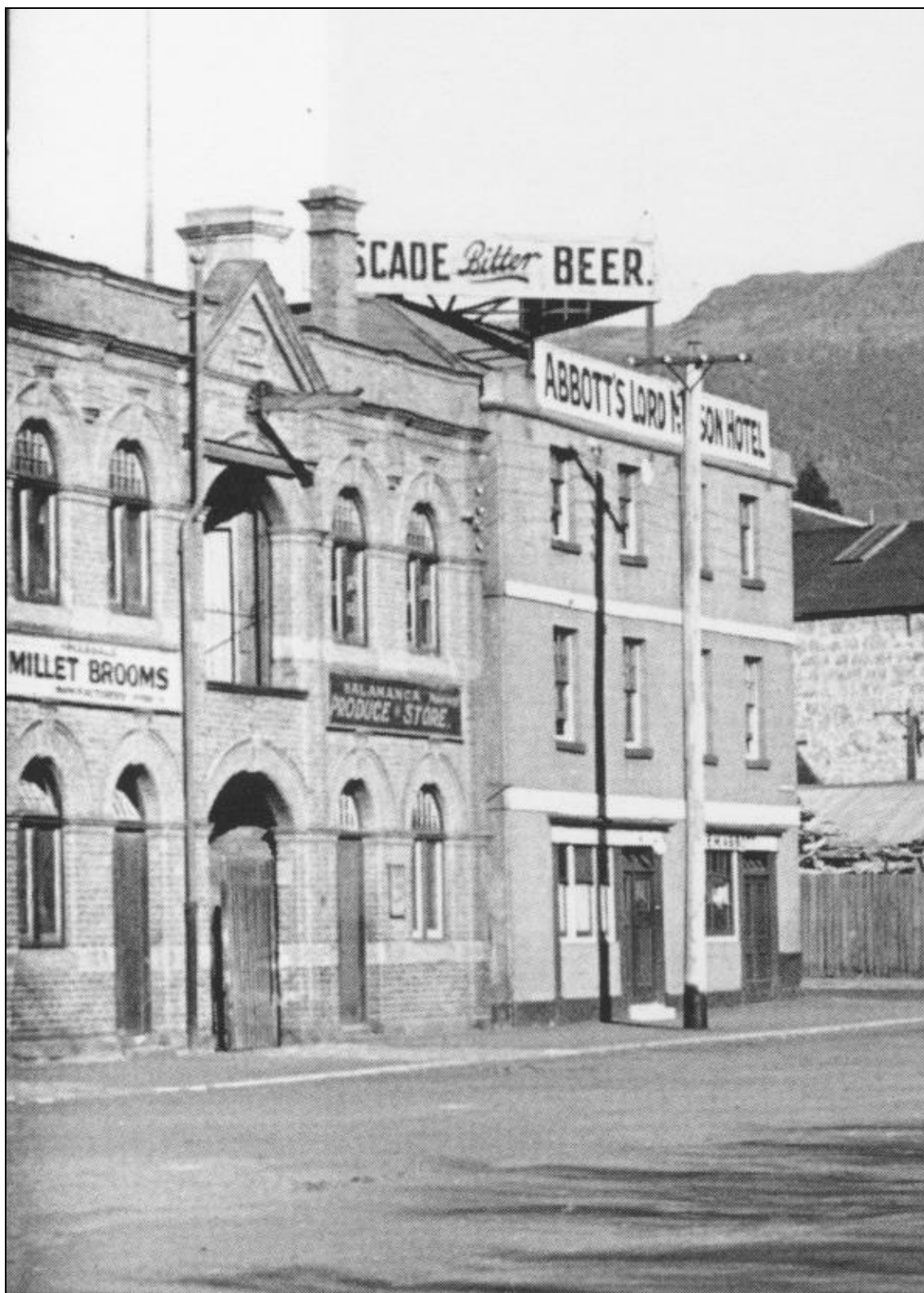
## **CONSERVATION MANAGEMENT PLAN** draft 19 September 2016

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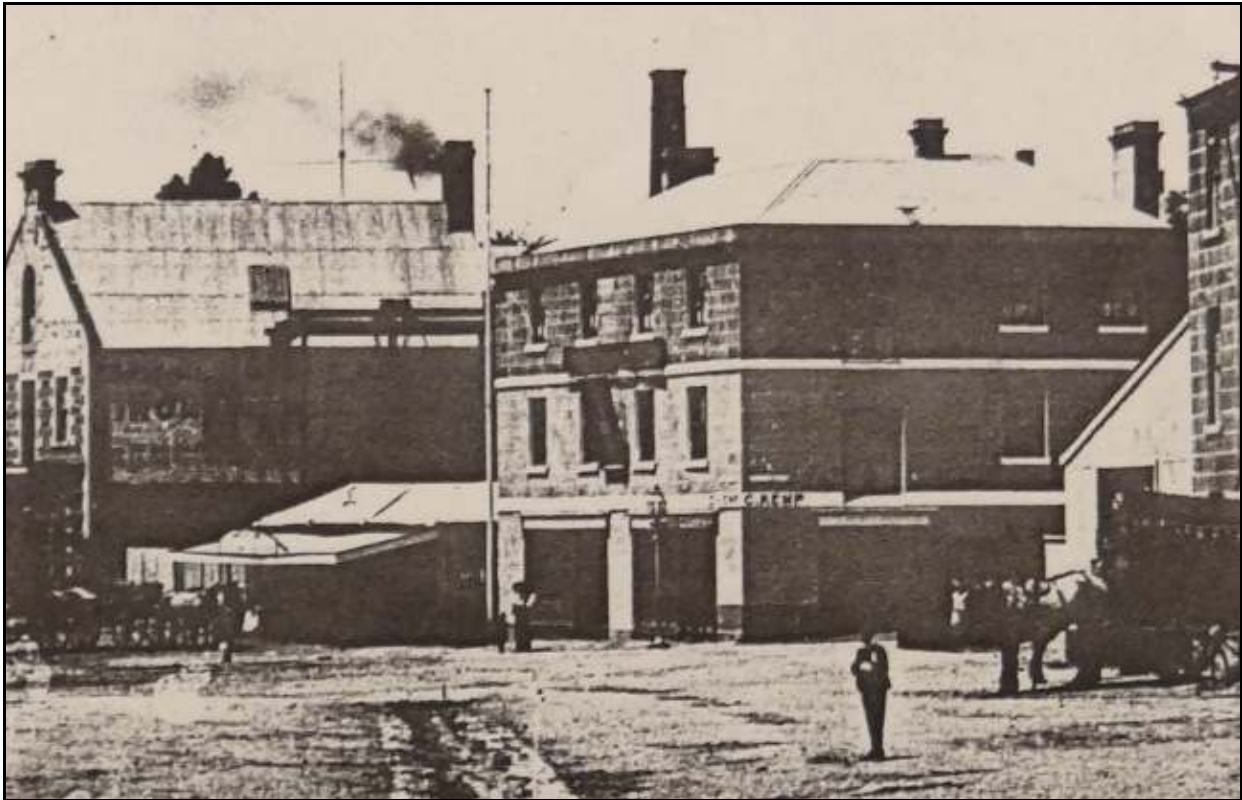
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### **APPENDIX**

No's 25, 39, 41, 47, 49 and 51 SALAMANCA PLACE, A History by David Young



Detail of c.1938 photograph—by D. McKenzie from Tasmania: Classic Images, M Harvey & G Clennett, undated  
 Note the 'shop-fronts' to the Lord Nelson Hotel (the first door is hung upside down) and the central passage and side doors to 41 Salamanca Place on left



**Figure 1** The Lord Nelson Hotel (at 39 Salamanca Place) centre and the weatherboard shops (at 41) to its left. Photo c.1890  
note the 'shop-fronts' to the front and side of the ground floor of the hotel

## 1 INTRODUCTION

This is a Conservation Management Plan (CMP) of 39-41 Salamanca Place, Battery Point. The owner has engaged Circa Robert-Morris Nunn Architects to design a high quality hotel across three separate but nearby sites, 25 Salamanca Place, 39-41 Salamanca Place and 47-51 Salamanca Place.

All sites are heritage listed and are parts of the group of former stores that make up the nationally significant Georgian warehouses now known as Salamanca Place.

I have been commissioned by the owner to provide heritage guidance to this project through CMPs for each of the three sites.

### 1.01 The Need for a Conservation Management Plan

The group of buildings that make up Salamanca Place are of national heritage significance. All of the buildings including 39 and 41 Salamanca Place contribute to the built edge of Sullivan's Cove, the iconic historic port that forms the backdrop for international famous cultural activities such as the Salamanca Market and the finish of the Sydney Hobart Yacht Race.

The purpose of this Conservation Management Plan (CMP) is to explain the heritage values of the site to its owner and to the project architects and to provide practical guidelines so that the site can be managed in a sensible way that shows off and protects what is culturally important.



### 1.02 Author identification

This CMP was prepared by Graeme Corney, architect & heritage consultant. The historical information is by historian David Young.

### 1.03 The site

The location is 25 Salamanca Place, Battery Point, Tasmania, Australia.



**Figure 2** Google aerial of Tasmania showing Salamanca Place



**Figure 3** Google aerial of 39 and 41 Salamanca Place and immediate environs-centre of aerial

#### 1.04 Methodology

The methodology of this report follows the principles of JS Kerr's *The Conservation Plan* fifth edition 2000 and the *Burra Charter: The Australian ICOMOS Charter for the Places of Cultural Significance* 2004.

#### 1.05 Exclusion of Aboriginal heritage values

This CMP does not consider Aboriginal heritage values.

#### 1.06 Acknowledgements

The author acknowledges the assistance of the following people in the development of this CMP:

- Robert Morris-Nunn and staff who provided access to the sites and base drawings

## 2 HISTORICAL EVIDENCE

#### 2.01 Aboriginal occupation

Prior to the British invasion and settlement of in 1803, Aboriginal Tasmanians were divided into 9 tribes of about 250-700 people.<sup>1</sup> Each tribe was made of a number of small member bands. Each of the nine tribes controlled specific territory. Some bands from other tribes were allowed to enter other tribal territory for seasonal hunting. To enter a territory without permission of the occupying tribe could start inter-tribal warfare.

The tribe that occupied the Hobart area was the Mouheener people of the Tahuni Lingah or Nuenonne language group<sup>2</sup>. Europeans have called them the South-East tribe.

They occupied the south east coast and lived in balance with the resources of seafood, animals and wild berries available to them. However within 5 years of British settlement, a combination of food shortage in the new white settlements and lack of sensitivity towards the indigenous culture and seasonal migration of the local tribe, led firstly to direct competition for the local food supply, then eventually to open conflict between the settlers and the natives.<sup>3</sup>

After years of steady expansion of settlers into rural areas, and the resultant conflict, the Aboriginal people were under siege and their numbers reduced. By November 1828 Colonel George Arthur – Lieutenant Governor of Tasmania (then Van Diemen's Land) had declared martial law.<sup>4</sup> The conflict between the settlers and the Aboriginal people culminated in the Black Line Offensive of November 1830. The moving line of troops and European settlers was set up to drive Aboriginal people out of settled areas.<sup>5</sup>

In recent decades some moves towards reconciliation have finally taken place. Some land has been returned to the Aboriginal people and there is now broader community acknowledgement and understanding of their culture.

---

<sup>1</sup> Julia Clark, *The Aboriginal People of Tasmania*, The Tasmanian Museum & Art Gallery, 1983. p.24

<sup>2</sup> Godden Mackay Logan Pty Ltd, Officers Mess, Anglesea Barracks CMP 2008.

<sup>3</sup> Ryan, Lyndal 1996, *The Aboriginal Tasmanians*, Second Edition, Allen & Unwin, St Leonards, NSW, p77.

<sup>4</sup> *ibid*, 99.

<sup>5</sup> *ibid*, p110.

## 2.02 History of the site

This CMP draws on *39 and 41 Salamanca Place, Battery Point, a history* by Dr David Young 2016.

The first group of marine stores were built on the former Hunter Island on the northern side of Sullivan's Cove. Most of these stores remain and now house the Henry Jones IXL Art Hotel, a facility of the University of Tasmania, restaurants and shops. As the warehouses were exposed to the prevailing north-westerly winds and as shipping increased the demand for more warehouse space led to the construction of stores on the southern side of the Cove. This area became known as the 'New Wharf'.

The first stores at the New Wharf were built in 1833. A further group of stores were constructed from the 1840s onwards –as an extension of Salamanca Place immediately west of the New Wharf.

Interspersed with the stores were several pubs. 39 Salamanca Place was built in 1835 as a hotel and had remained so ever since. Its neighbor 41 Salamanca Place is the exception to the pattern of development of Salamanca Place. It is a brick building constructed in 1904. Prior to its construction there were timber single storey structures on the land –initially an office and two shops.

A summary of the more important historic events and building developments that form the context for the current buildings and sites is as follows:

date	event	source
1804	30 acres on edge of Battery Point granted to Rev Robert Knopwood	Young p1
1830	New Wharf opened	ibid
by 1835	The Whaler's Return pub had been constructed on 39 Salamanca Place	ibid
1837	The first official grantee of 39 Salamanca Place was merchant Thomas Hewitt	ibid
1842	Hewitt's grant was sold to William Lindsay	Young p2
1844	James Hunter opened a chandlery store in the weatherboard building at 41 Salamanca Place.	Young p3
by 1861	There were three weatherboard shops on 41 Salamanca Place	Young p4
1864	The Whaler's Return was renamed the Nautilus Hotel.	ibid
1880	James William Lindsay's executors sold 39 Salamanca Place to Frederick Brown	ibid
1886	Licensee Charles Kemp renamed the pub the Lord Nelson Hotel The hotel was sold that year to Cascade Brewing Company	Young p6
1889	The Derwent Sailing Club was formed and met at the Lord Nelson	ibid
1903	David Hastie Harvey purchased 41 Salamanca Place. Harvey already lived in a Montpelier Street house next to the hotel.	Young p7
1904	Harvey built the brick two storey warehouse at 41 Salamanca Place.	Young p8
1926	Harvey's heirs sold 41 Salamanca Place to Leslie Keith Sansom.	Young p9
1941	Sansom sold 41 Salamanca Place to engineers Johnson & Wells.	Young p10
1947	Tasmanian Architect Eric Round was commissioned to modernize the Lord Nelson Hotel into an Art Deco style.	ibid
1949	Clements & Marshall sellers of fresh produce, purchased 41 Salamanca Place and used it as a retail outlet	ibid
1981	The Cascade Brewing Company sold the Lord Nelson Hotel to Jacks Holdings, who changed the name to Knopwood's Retreat and removed the Art Deco features	Young p11
1984	The current owners the Behrakis family purchased 39 Salamanca Place	Young p11
1993	The current owners the Behrakis family purchased 41 Salamanca Place	Young p10

## 2.03 Chronology of building fabric



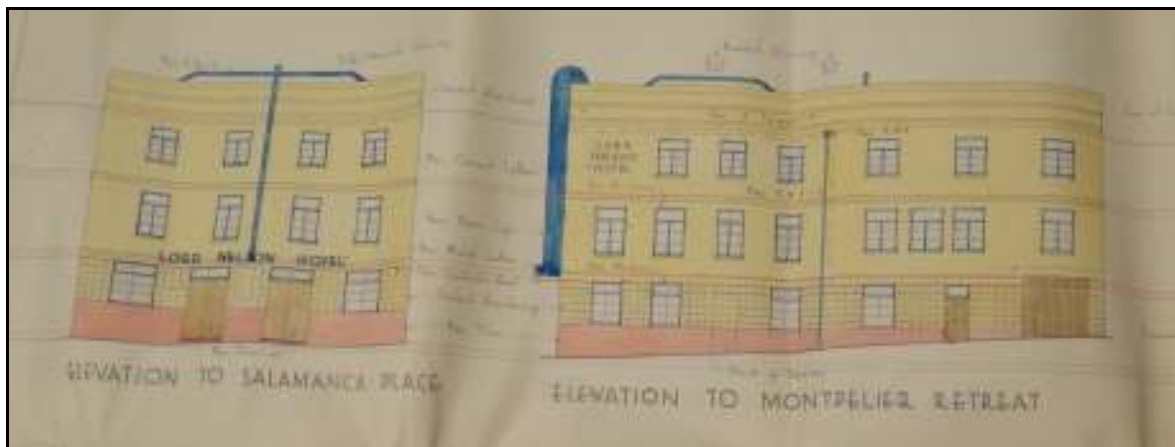
The Whaler's Return pub was the first building to be recorded on the lot at 39 Salamanca Place. By 1841 weatherboard structures were recorded as being on 41 Salamanca Place.

The first major change to these sites was the replacement of the weatherboard structures with a substantial two storey brick warehouse in 1904. The late development of this site accounts for its style and materials being inconsistent with the stone Georgian style warehouses fronting Salamanca Place.

The hotel seems to have had few fabric changes until 1947 when prominent Hobart architect Eric Round was commissioned to 'modernise' the building. Round employed a 'streamlined modern' style and replaced single storey outbuildings with a three storey extension facing Montpelier Retreat. Much of the interior was altered at the same time.

Round's alterations to the hotel included the following:

- application of cement render in a tile pattern to the ground floor facades
- application of tiles below the render
- replacement of all original timber double hung windows with steel casements
- construction of a vertical fin to decorate the façade
- construction of two pairs of recessed entry doors to replace the 'shop-fronts'
- modernizing of some fireplaces, demolition of others
- replacement of a loading bay to Montpelier Retreat with new steel windows
- construction of new concrete staircase
- construction of new steel external fire escapes
- construction of new bars
- general re-planning, new internal wall, removal of others
- construction of new toilets



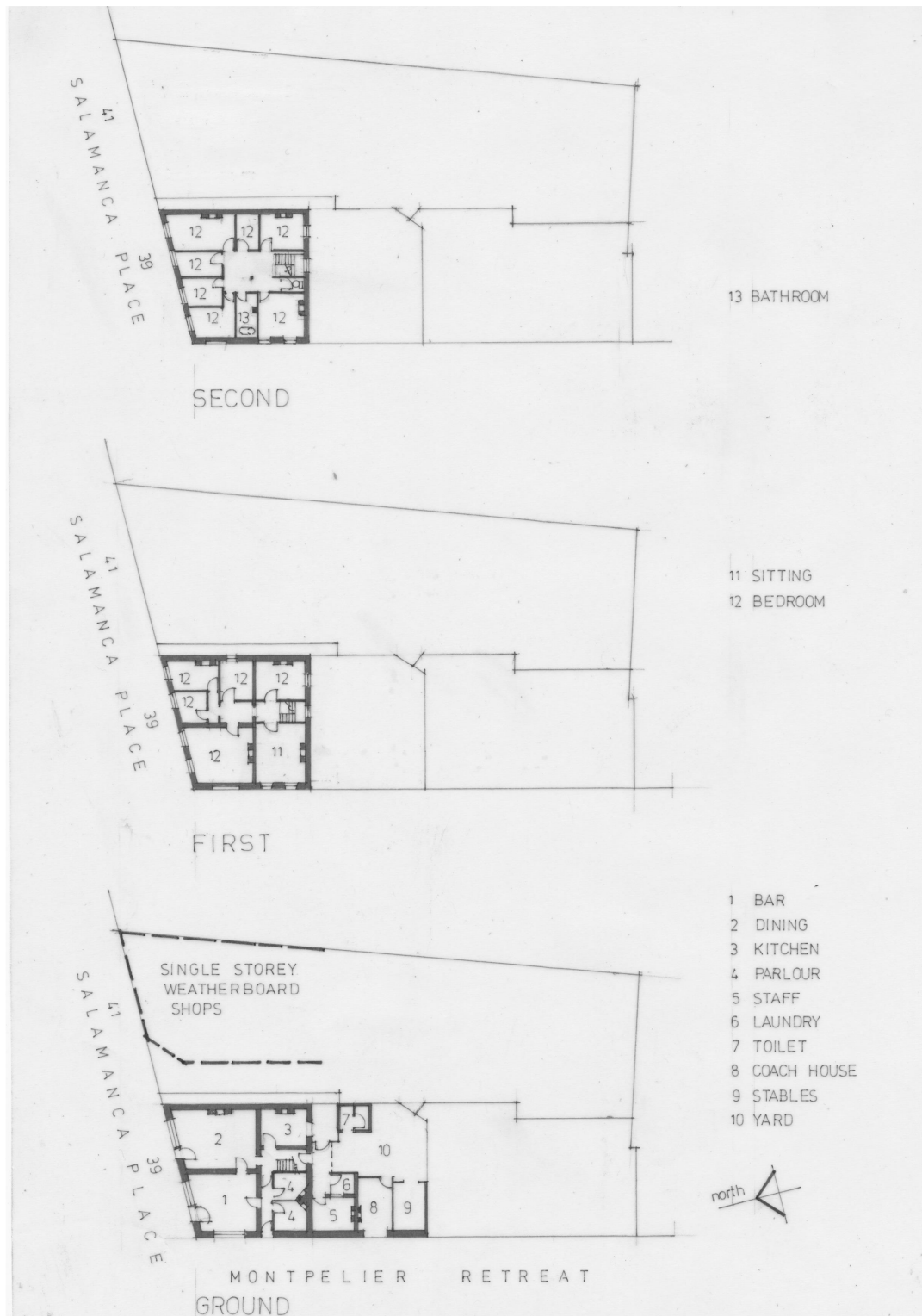
**Figure 4** The Georgian building was transformed into a 'streamlined modern' hotel in 1947

A few minor alterations have been made by various publicans since 1947. These changes include:

- blocking up some windows
- conversion of the second floor from accommodation rooms to bar and saloon with associated toilets

41 Salamanca Place was converted to a fruit and vegetable outlet on the ground floor by removing all internal support structures in c.1985.

The first floor has had modern partitions installed to convert the space to offices in c.2000.



The second floor was guest bedrooms, three with fireplaces.

The first floor was also bedrooms, four with fireplaces and a sitting room.

The ground floor was a typical Georgian layout. There were 5 fireplaces and small parlours to the back. There were single storey timber shops next door by 1841. Note the three 'shop-fronts' to the hotel ground floor.

**Figure 5** Conjectural floor plans of 1835 –based primarily on 1947 demolition plans

3

### PHYSICAL EVIDENCE AND CONDITION OF THE SITE

The pub has undergone extensive adaptation since 1947. A three storey cement rendered extension was made to the Montpelier Retreat facade in 1947. Little of the original planning and internal fabric has survived. No original joinery has survived. It is mainly the external walls, the timber floors and most of the façade window openings (not the windows themselves) that remain from 1835. Its structural condition seems to be sound, but its fabric is in much need of conservation.

The 1904 brick building retains most of its original façade windows but has lost its ground floor interiors. The first floor has modern internal partitioning but retains much of its original windows, wall surfaces and floors. New windows have been installed to the eastern elevation.

### 3.01 The place and its setting

Between 1830 and 1850 sandstone stores were constructed adjacent the 'New Wharf' and then further along Salamanca Place. After the two decades of construction the toe to toe predominantly three storey stores formed a wall to Salamanca that forms a backdrop to the now famous Salamanca Market. The Salamanca warehouses form a strong southern edge to Sullivan's Cove, the Hunter Street warehouses form an equally strong northern edge, with the more dispersed buildings along Morrison Street and Davey Street forming a weaker western edge. The Sullivan's cove sandstone buildings as a whole create a highly defined edge that is now internationally known as an historic port, a setting for the Sydney Hobart Yacht Race victory celebrations, and as a hub for tourists.

The three storey sandstone pub at 39 Salamanca Place constructed by 1835 and the two storey brick warehouse at 41 Salamanca place constructed in 1904 contribute equally with all other 19<sup>th</sup> century buildings to that iconic maritime setting.



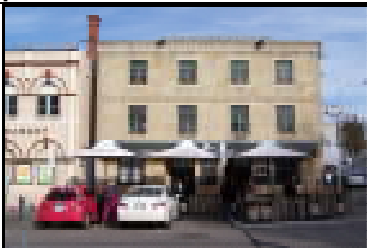


**Figure 6** 41 Salamanca Place is the centre warehouse with arched windows, 39 is the corner building to its right



### 3.02 Exterior fabric



#### 39 Salamanca Place

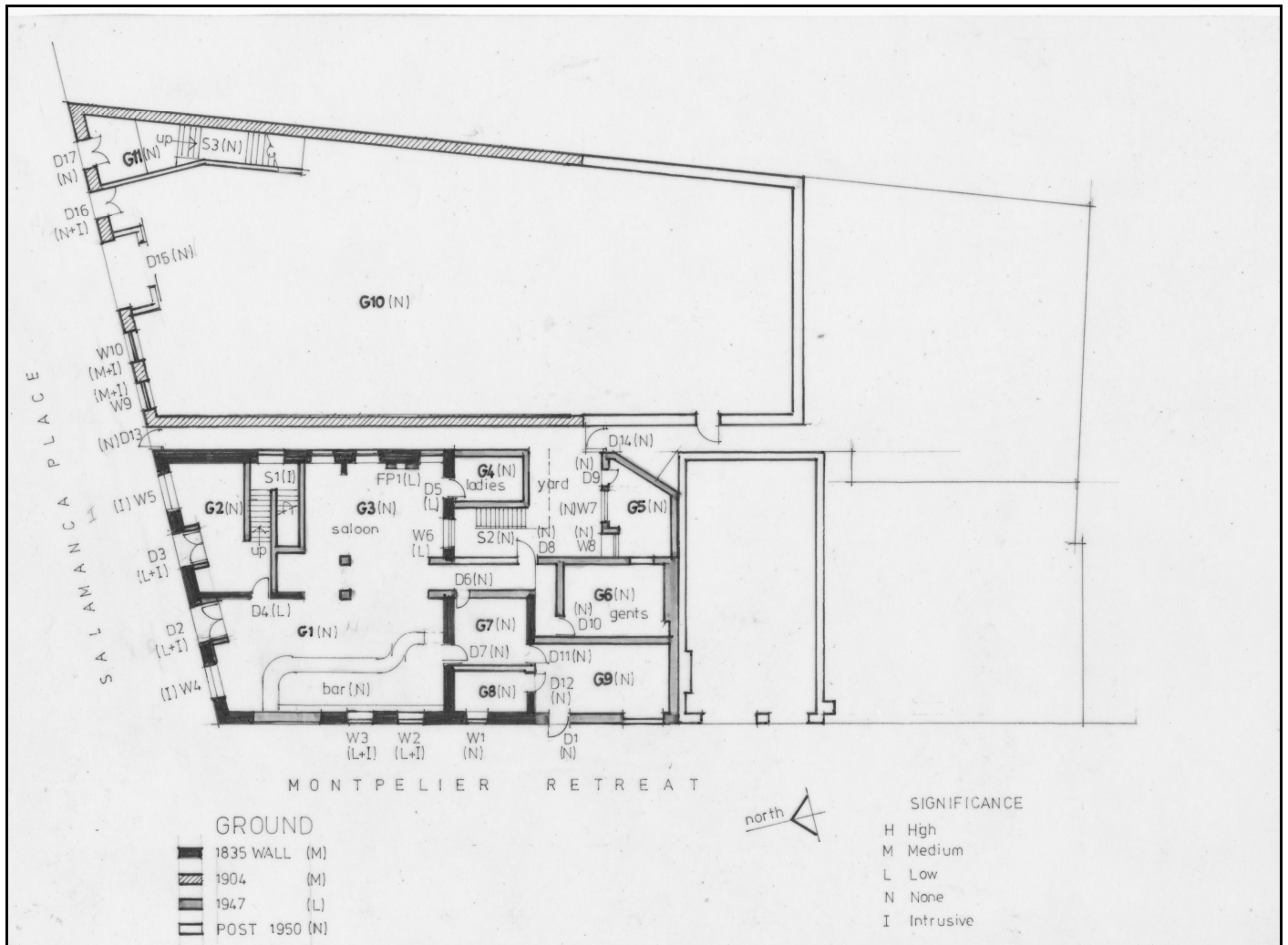
The hotel is on a corner site so it has two important facades. The façade to Salamanca Place has undergone some changes since 1947. All of those changes have impacted adversely on its heritage values. The most significant of the external changes was the removal of the three shop-fronts.

item	discussion	sign	photo	recommendations
<b>Salamanca Place</b> (front)	<p>The pub presents to Salamanca Place as a three storey sandstone Old Colonial Georgian façade.</p> <p>At ground floor level there are two 1947 recessed entry doors with small paned toplights.</p> <p>There is a 16-paned casement window to the eastern end and a 16-paned double hung sash window to the western end.</p> <p>There is a concrete render with 'picked' finish to the ground floor.</p> <p>Above the ground floor is a 1947 'streamlined modern' awning.</p> <p>At first floor level all four original windows have been replaced with steel casements in 1947.</p> <p>To the second floor similarly all four windows have been replaced with steel casements.</p> <p>At fascia level some cement render has been applied to the stonework in 1947.</p>	<p>H</p> <p>I</p> <p>N</p> <p>N</p> <p>I</p> <p>I</p> <p>I/ L</p> <p>I/ L</p> <p>N</p>	 <p>39 Salamanca Place from the north</p>	<p>Generally retain and conserve this elevation of the pub.</p> <p>If the opportunity arises shift the doors back out to the face of the building or reconstruct the 'shop-fronts'.</p> <p>Remove concrete render and repair stonework as needed.</p> <p>Remove 1947 concrete awning and repair stonework.</p> <p>Remove steel windows and reconstruct 12-paned double hung sash windows.</p>
<b>Montpelier Retreat elevation</b> (west)	<p>The elevation to Montpelier Retreat also has concrete render with 'picked' finish to the ground floor. There are also three blocked up windows along the 1835 section.</p> <p>To the first and second floors there are four and three windows with 1947 steel casements.</p> <p>Further up Montpelier Retreat the 1947 extension is a concrete rendered three story structure with windows and string course aligning with its stone neighbour. It has steel casement windows.</p>	<p>H</p> <p>I</p> <p>I/ L</p> <p>I/L</p> <p>L</p> <p>L</p>	 <p>Montpelier Retreat elevation</p>  <p>1947 extension to Montpelier Retreat</p>	<p>Generally retain and conserve this elevation of the sandstone pub.</p> <p>If the opportunity arises reconstruct the shop-front. Unblock all windows.</p> <p>Remove steel windows and reconstruct 12-paned double hung sash windows.</p> <p>Retain or adapt the 1947 extension.</p>

## 41 Salamanca Place

Following the formation of Kennedy's Lane to access the 1990s Salamanca Quarry development the brick warehouse is also now on a corner site. The façade to Salamanca Place is relatively intact as it was built in 1904 with a few changes to ground floor openings.

item	discussion	sign	photo	recommendations
<b>Salamanca Place</b> (front)	The two storey brick warehouse 41 Salamanca Place has its important façade addressing Salamanca Place and its secondary elevation presenting to the pedestrian public entrance to Salamanca Quarry plaza. The elevation to Salamanca Place is a symmetrical façade with central door now with modern glass sliding doors; two pairs of openings either side. To the western side there are two original curved timber window frames but with sashes removed and blocked in. To the eastern side the second opening was originally a window which has been replaced with modern double doors made inoperable with an ATM now built in. The first opening was originally a doorway but has modern glazed timber doors replacing the original.	H	 41 Salamanca Place from the north	Generally retain and conserve this elevation of the warehouse.
		L		The east elevation may be adapted.
		N		
		H		Unblock the windows, reconstruct sashes if they are missing.
		I		
		N		If the opportunity arises reconstruct original timber sashes to second window. Relocate ATM to more discrete location.
<b>Elevation to Kennedy's Lane</b> (east)	The eastern elevation shows the 1904 face brickwork rising above a remnant stone wall of its former neighbor. The elevation shows two windows of modern glass bricks and three modern aluminium sliding windows towards the rear.	I	 Elevation to Kennedy's Lane	Retain first doorway, original doors may be reconstructed.
		M		
		N		
		L		This elevation may be adapted.
		N		
		N		

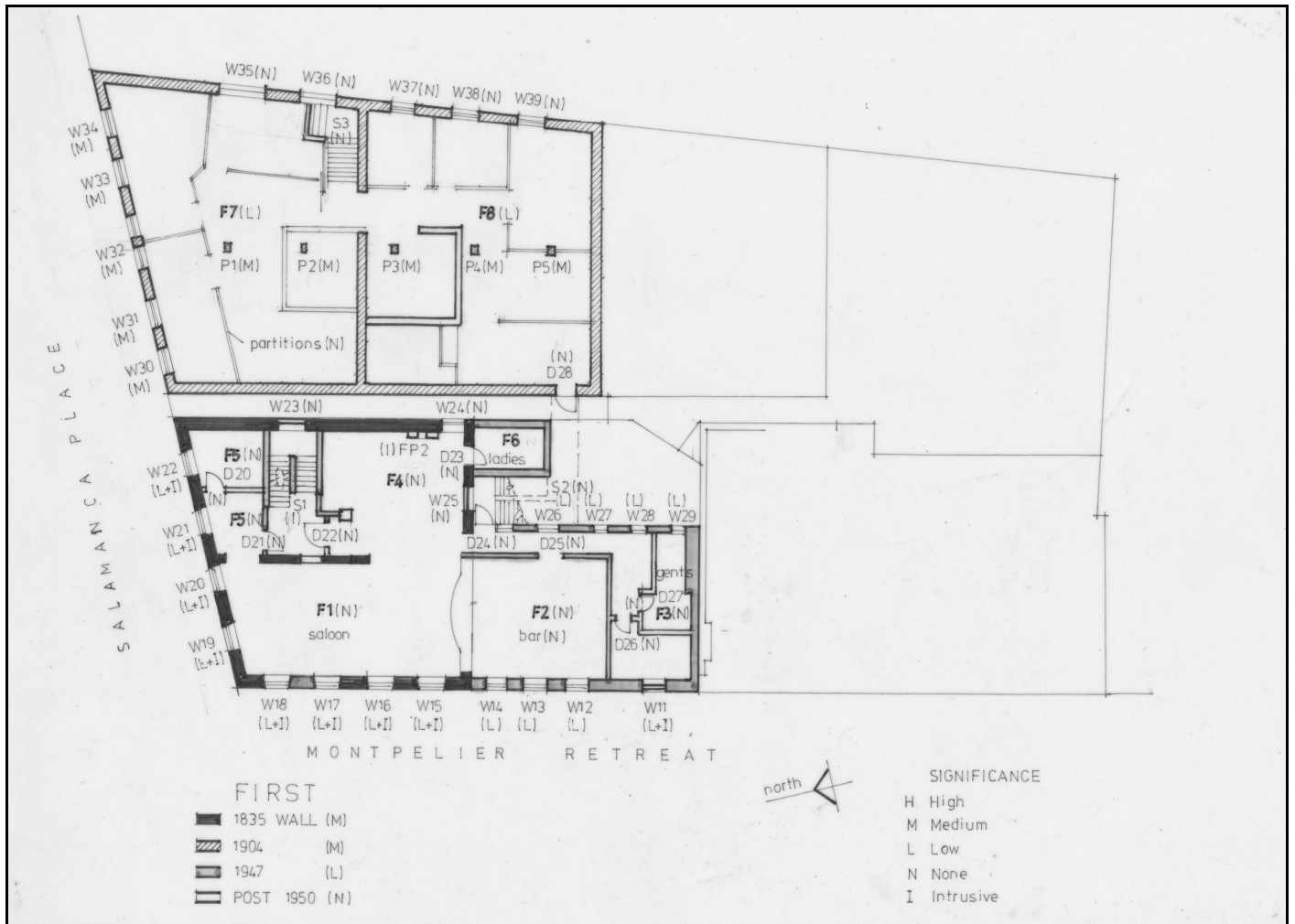


**EXISTING GROUND FLOOR PLAN –age of fabric and heritage significance**

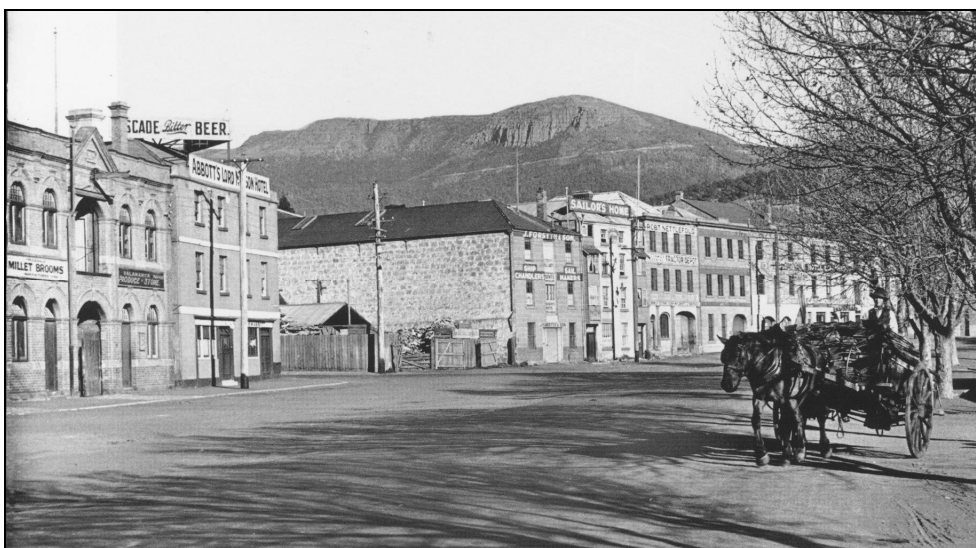


**Figure 7** 41 and 39 Salamanca Place

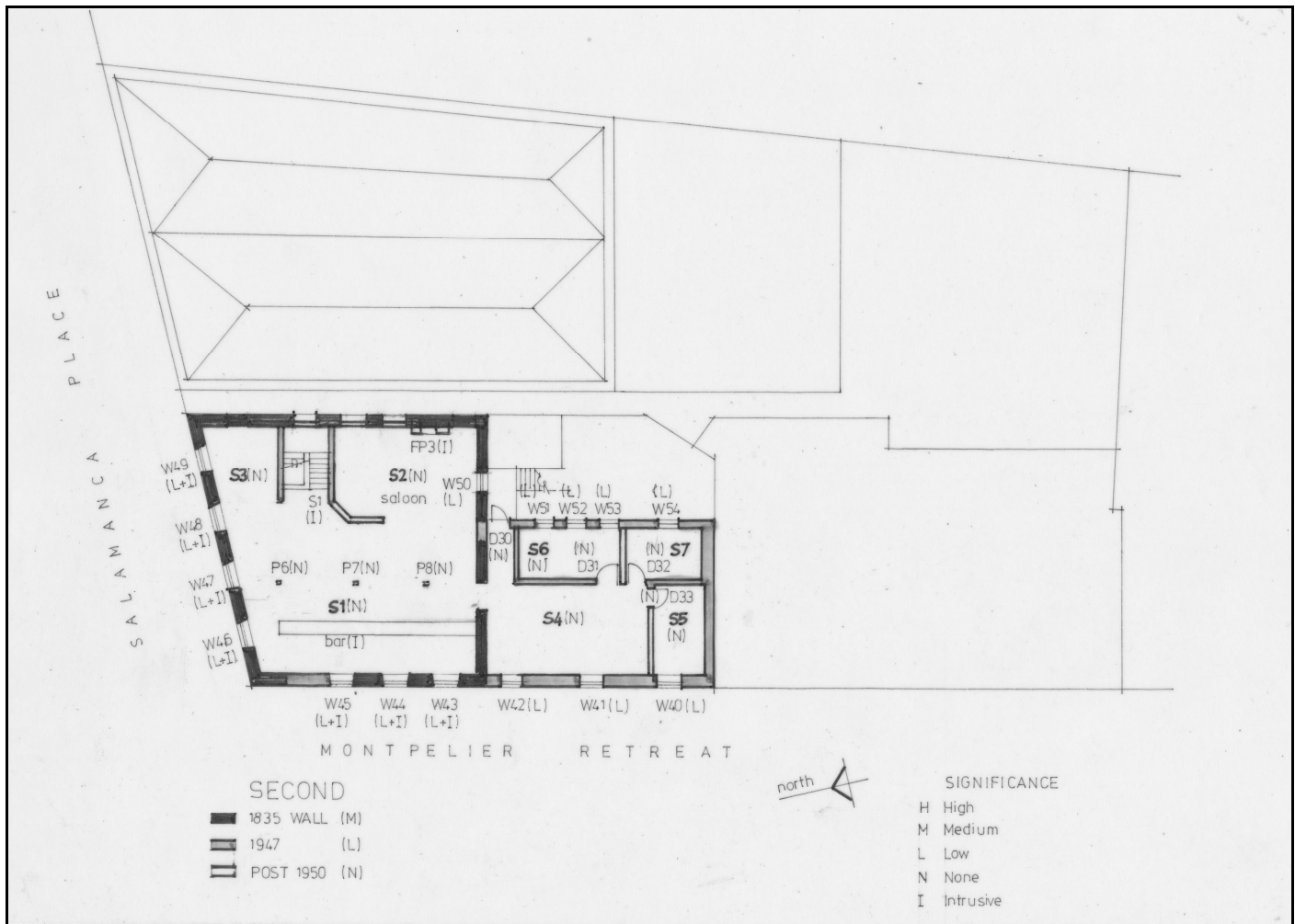




**EXISTING FIRST FLOOR PLAN –age of fabric and heritage significance**



**Figure 8** 41 and 39 Salamanca Place c. 1938 –by D. McKenzie from Tasmania: Classic Images, M Harvey & G Clennett



**EXISTING SECOND FLOOR PLAN –age of fabric and heritage significance**

### 3.03 Internal fabric and spaces

#### 39 Salamanca Place

Up until 1947 the hotel changed very little. There was one period of more significant change.

In 1947 Hobart architect Eric Round oversaw the modernisation of the hotel. Works included removal of some internal walls to open up the bar and saloon area; construction of new stairs; construction of new bars; upgrading of toilets; and re-planning of the upper floors to provide more bar and saloon areas; and construction of a large three storey extension to Montpelier Retreat.

Since the 1947 changes there have been minor alterations made by various owners.

#### 41 Salamanca Place

Internal supports for the ground floor have been removed to open up the space in c.1985. The first floor has had modern partitions installed to convert it to offices in c.2000.

The following tables describe the age of fabric to each room, then the level of significance assigned to that fabric. The heritage significance of each item and the conservation recommendations have been developed later in this conservation planning process, but are shown here to assist the reader. The plans on page 11-13 show the approximate age of fabric and the levels of heritage significance assigned to them.

Categories of heritage significance are as follows:

Level **H** is adopted where the space or item is highly valued by the community or is important in interpreting history of the site.

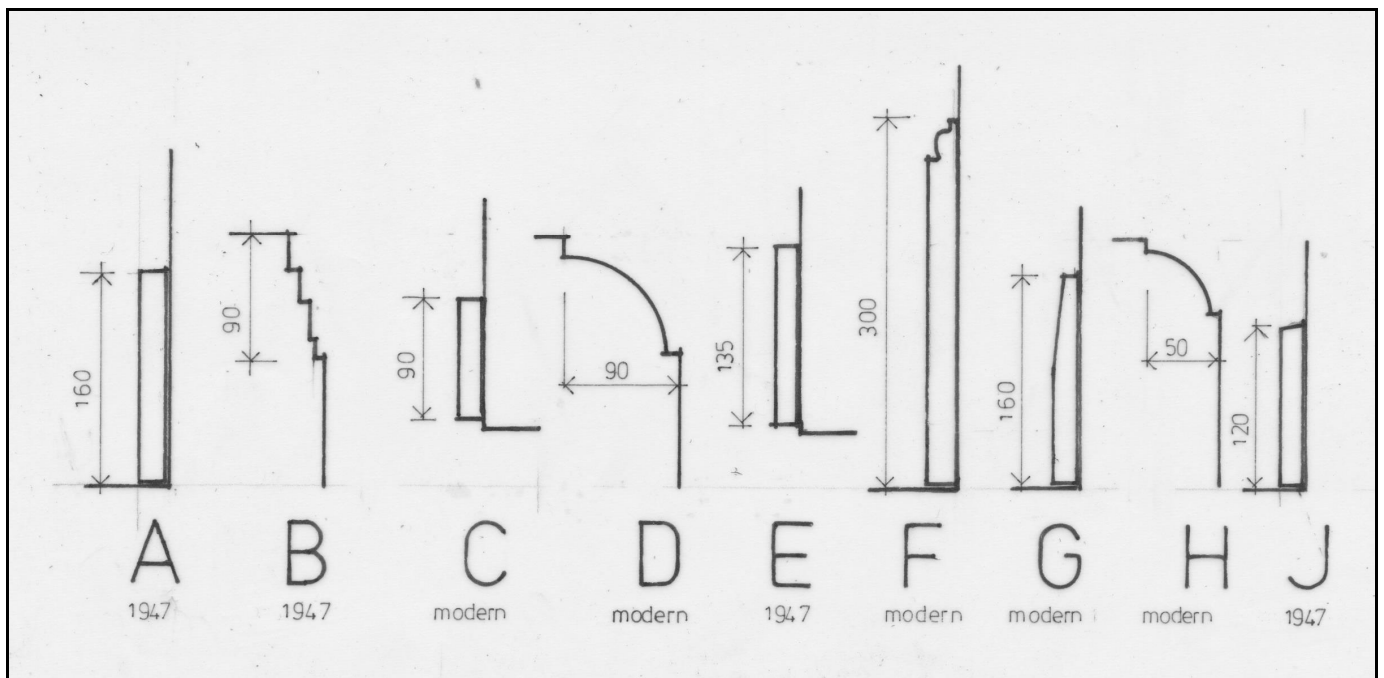
Level **M** contains aspects which either have been degraded to a degree by adaptation or where the cultural significance of the item was always of lesser importance.

Level **L** covers a range of fabric or spaces which either have been considerably degraded by adaptation or where the cultural significance of the item was always of modest heritage significance.

Level **N** covers a range of fabric or spaces which either have been degraded beyond recognition or where there has never been any cultural significance.

Level **I** (Intrusive) is assigned to items which have an adverse impact on the heritage significance of the place.



Items can have 2 levels of heritage significance eg **L+I** if the item is historically significant but is stylistically intrusive.






**Figure 9 JOINERY AND CORNICE PROFILES**





### 3.03.1 Ground floor (refer to pages 11-13 for room numbers)

item	date	discussion	sign	photo	recommendations
Space <b>G1</b>	1835	The space has been much altered and no longer demonstrates its original layout.	N		Retain or adapt space.
external walls	1835	Plaster with 70mm v jointed Tas Oak dado	N N		Retain, adapt or remove dado.
skirtings	1947	160x20 painted timber profile <b>A</b>	N		Retain or remove
floor	1947	concrete	N		Retain or remove
ceiling	1947	modern panelled tiles	I		Remove panelled tiles and replace with plasterboard
cornice	1947	90mm Art Deco style profile <b>B</b>	I		Remove cornice
doors	1947 1947 1947	D2: 1947 half-glazed painted 4-panelled doors with glass to top panels and toplight D4, D7: 1947 4-panelled door	L/I L L	 D2	If opportunity arises, reconstruct original shop-front  Retain, adapt or remove
architraves	1947	90x20mm timber profile <b>C</b>	N		Retain or remove
windows	1947 1947	W2, W3: steel casements, W2 was originally a doorway. W4: timber 16-paned double hung sash, confuses history	L + I I	 W4	If the opportunity arises replace W2 and W3 steel casements with 12-paned double hung sashes. W2 can also be reconstructed into a door. Replace W4 with reconstruction of original shop-front.
architraves	1947	90x20mm timber profile <b>C</b>	N		Retain or remove
bar joinery	1947, c.1990	timber	N	S1	Retain, adapt or remove

item	date	discussion	sign	photo	recommendations
Space <b>G2</b>	1835	The space has been much altered and no longer demonstrates its original layout. The front location of the stair destroys the space G2.	N I		Retain or adapt space.  If the opportunity arises relocate stair further back from façade.
external walls	1835	Plaster with v jointed Tas Oak dado	N N		Retain, adapt or remove dado.
skirtings	1947	160x20 painted timber profile <b>A</b>	N		Retain or remove
floor	1947	concrete	N		Retain or remove
ceiling	1947	modern panelled tiles	I		Remove panelled tiles and replace with plasterboard
cornice	1947	90mm Art Deco style profile <b>B</b>	I		Remove cornice

doors	1947 1947	D3: 1947 half-glazed painted 4-panelled doors with glass to top panels and toplight	L/I L	 D3	If opportunity arises, reconstruct original shop-front
architraves	1947	90x20mm timber profile <b>C</b>	N		Retain or remove
windows	1947	W5: timber 16-paned casement, confuses history	I I	 W5	Replace W5 with reconstruction of original shop-front.
architraves	1947	90x20mm timber profile <b>C</b>	N		Retain or remove
staircase <b>S1</b>	1947	concrete staircase, positioned poorly at front of hotel	I	 S1	If possible relocate towards rear

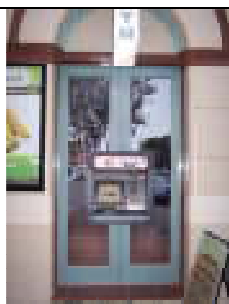
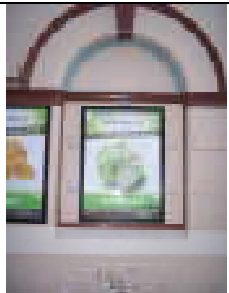
item	date	discussion	sign	photo	recommendations
Space <b>G3</b>	1835	The space has been much altered and no longer demonstrates its original layout.	N		Retain open space as much as possible.
east wall	1835 1947	plaster over sandstone. Four blocked up 1947 window openings	L N		Retain or adapt Retain or adapt
south wall	1835	plaster over sandstone, 1947 openings	L		Retain or adapt
North wall	1947	Plaster over concrete	N		Retain or remove
skirtings	1947	160x20 painted timber profile <b>A</b>	N		Retain or remove
floor	1947	concrete	N		Retain or remove
ceiling	1947	modern panelled tiles	I		Remove panelled tiles and replace with plasterboard
cornice	1947	90mm Art Deco style profile <b>B</b>	I		Remove cornice
door	1947	D5: 4-panelled door	L		Retain or remove
architrave	1947	90x20mm timber profile <b>C</b>	N		Retain or remove


windows	1947	W6: 1947 lead light window with flower pattern	L	 W6	Retain or remove
architrave		none			
reveals	1947	plaster	N		Retain or adapt
fireplace <b>FP1</b>	1947	Later brick front to original fireplace	L	 FP1	Retain or adapt

item	date	discussion	sign	photo	recommendations
Space <b>G4 - G9</b>	1947	Various toilets and service rooms created in 1947	N		Retain, adapt or remove
walls	1947	Generally 1947 walls with plaster finish	N		Retain, adapt or remove
skirtings	1947	Generally 160x20 painted timber profile <b>A</b>	N		Retain, adapt or remove
floor	1947	Concrete, some with vinyl over	N		Retain or remove
ceiling	1947	modern plasterboard	N		Retain or remove plasterboard ceiling
cornice	1947	None or modern quad cornice	N		Retain or remove
doors	1947	D6-12: various modern doors, some flush panel, some four panel	N		Retain or remove
door architrave	1947	Generally 90x20mm timber profile <b>C</b>	N		Retain or remove
windows	1947	W1: steel casement W7, W8: steel casements	N		Retain or remove
plumbing fittings	c.1980	Modern fittings	N		Retain or remove
stair <b>S2</b>	1947	steel fire escape	N		Retain or remove


item	date	discussion	sign	photo	recommendations
Space <b>G10</b>	1904	Originally two spaces, this space no longer demonstrates its original layout.	N		Retain or adapt space.
walls	1904	Plaster covered with retail shelves	L		Retain, adapt or remove dado.
skirtings	1904	Modern vinyl	N		Retain or remove
floor	?	concrete	N		Retain or remove




ceiling	c.1985	modern plasterboard	N		Retain or remove
cornice					
doors	c.1985 c.2000	D15: c.1985 glass sliders D16: c.1985 pair of timber framed glass doors with ATM installed	N N I	 D16	Retain D15 or remove.  If opportunity arises, reconstruct original timber window and wall beneath to D16. Relocate ATM to more discrete location.
architrave		none			
windows	1904	W9, W10: timber arched window frames with sash blocked up.	M I	 W10	Unblock windows, reconstruct sashes if missing.
architrave		none			



item	date	discussion	sign	photo	recommendations
Space <b>G11</b>	1904 c.1985	Originally part of space G10, subdivided c.1990	N		Retain or adapt space.
walls	1904 c.1985	Plaster over brick external wall; plaster over studwork internal wall	L N		Retain or adapt.
skirtings		none			
floor	c.1985	concrete	N		Retain or remove
ceiling	c.1985	modern plasterboard	N		Retain or remove
cornice	c.1985	Art Deco style to profile <b>B</b>	N		Retain or remove
doors	c.1985	D17: pair of modern timber framed glass doors In 1904 doorway	N	 D17	Retain or replace doors with reconstruction of original.
architrave		none			
stair <b>S3</b>	c.1985	lower section is concrete covered in quarry tiles, upper section is timber.	N		Retain or remove

### 3.03.2 First Floor (refer to pages 11-13 for room numbers)


item	date	discussion	sign	photo	recommendations
Space <b>F1</b>	1835	The space has been much altered and no longer demonstrates its original layout.	N		Retain or adapt space.
external walls	1835	Plaster with horizontal battened dado	M I		Remove dado.
skirtings	c.1990	300x25 painted timber profile <b>F</b>	N		Retain or remove
floor	1835 c.1990	Original 165mm butted floorboards under modern sheet flooring	M N		Remove sheet flooring and expose original floorboards
ceiling	c.1990	modern sheet lining	N		Retain or remove
cornice	c.1990	90mm quad profile <b>D</b>	N		Retain or remove
architraves	1947	90x20mm timber profile <b>E</b>	N		Retain or remove
windows	1947  1947	W15-W20: steel casements, W17 and W18 was originally a loading dock. W15, W16 and W18: covered on the inside	L/I  L/I  I	 W20	If the opportunity arises replace W15-W20 steel casements with 12-paned double hung sashes. Uncover W15, W16 and W18
sill-boards	1835	300x35mm timber	M		Retain and repair
architraves	1947	None, but 135x20mm timber pelmet profile <b>E</b>	N		Retain or remove
bar joinery	1947	timber	N		Retain, adapt or remove

item	date	discussion	sign	photo	recommendations
Space <b>F2, F3</b>	1947	These spaces have been altered and no longer demonstrate their 1947 layout or purpose as kitchen and bedroom	N		Retain or adapt space.
external walls	1947	Plaster	N		Retain, adapt or remove
skirtings	c.1990	300x25 painted timber profile <b>F</b>	N		Retain or remove
floor	1947 c.1990	1947 floorboards under modern sheet flooring	L N		Retain or remove
ceiling	c.1990	modern sheet lining	N		Retain or remove
cornice	c.1990	90mm quad profile <b>D</b>	N		Retain or remove
doors	c.1990	D24-D27: modern flush panel doors	N		Retain or remove
architraves	1947	90x20mm timber profile <b>E</b>	N		Retain or remove

windows	1947 1947	W12-W14: steel casements W11, W14: covered on the inside	L I	 W14	Retain W12-W14  Uncover W11 and W14
sill-boards	c.1990	Modern metal	I		Remove modern metal sill boards and replace with timber
architraves		None			



item	date	discussion	sign	photo	recommendations
Space <b>F4</b>	1835	This space has been altered and no longer demonstrates its original layout	N		Retain or adapt space.
external walls	1835	Plaster over sandstone	M		Retain and conserve
skirtings	1947	300x25 painted timber profile <b>F</b>	N		Retain or remove
floor	1835 c.1990	Original 165mm butted floorboards under modern sheet flooring	M I		Remove sheet flooring and expose original floorboards
ceiling	c.1990	modern sheet lining	N		Retain or remove
cornice		none			
doors	c.1990	D22, D23: modern flush panel doors	N	 D22	Retain or remove
architraves	c.1990	90x20mm timber profile <b>E</b>	N		Retain or remove
window	1947	W24, W25: blocked up	N		Retain or unblock W24, W25
architraves		None			
fireplace <b>FP2</b>	c.2000	Modern woodheater	I		Remove modern woodheater, reconstruct original fireplace




item	date	discussion	sign	photo	recommendations
Space <b>F5</b>	1835	The space has been much altered and no longer demonstrates its original layout. It is compromised by the modern stair.	N		Retain or adapt space.
	1947		I		If possible, relocate the modern stair S1
external walls	1835	plaster over sandstone	M		Retain and conserve
skirtings	1947	160x20 painted timber profile <b>G</b>	N		Retain or remove
floor	1835 c.1990	Original 165mm butted floorboards under modern sheet flooring	M N		Remove sheet flooring and expose original floorboards
ceiling	c.1990	modern sheet lining	N		Retain or remove
cornice	c.1990	90mm quad profile <b>D</b>	N		Retain or remove
doors	c.1990	D20, D21: modern flush panel doors	N		Retain or remove
architraves	1947	90x20mm timber profile <b>E</b>	N		Retain or remove
windows	1947	W21 and W22: steel casements	L/I  L/I  I	 W22	If the opportunity arises replace W21 and W22 steel casements with 12-paned double hung sashes.
sill-boards	1835	300x35mm timber	M		Retain and repair
architraves	1947	None, but 135x20mm timber pelmet profile <b>E</b>	N		Retain or remove
Dividing wall	1947	Stud wall	I		Remove diving wall



item	date	discussion	sign	photo	recommendations
Space <b>F6</b>	1947	This space was constructed as a toilet	L		Retain or adapt space.
external walls	1947	Plaster	L		Retain or remove
skirtings	1947	160x20 painted timber profile <b>G</b>	N		Retain or remove
floor	1947	Vinyl over concrete	N		Retain or remove
ceiling	1947	plasterboard	N		Retain or remove
cornice		none			

item	date	discussion	sign	photo	recommendations
Space <b>F7</b>	1904	This space still demonstrates its original layout, albeit with modern partitions inside	L		Retain or adapt space.  Remove or adapt partitions.

posts	1904	P1 and P2: 170x170mm timber	M		Retain posts
external walls	1904	Plaster over brickwork	L		Retain or adapt
skirtings		none			
floor	1904	t&g floorboards	L		Retain or adapt
ceiling	c.2000	plasterboard	N		Retain or remove
cornice	c.2000	90mm art deco style cornice	N		Retain or remove
windows	1904  c.2000	W30-W34: timber arched window frames with double hung sashes. W35, W36 glass bricks in early opening	M  N L		Retain and conserve  Retain or replace glass bricks with timber double hung sash windows Retain evidence of earlier opening on outside
architraves		none			

item	date	discussion	sign	photo	recommendations
Space <b>F8</b>	1904	This space still demonstrates its original layout, albeit with modern partitions inside	L		Retain or adapt space.  Remove or adapt partitions.
posts	1904	P3-P5: 170x170mm timber			Retain posts
external walls	1904	Plaster over brickwork	L		Retain or adapt
skirtings		none			
floor	1904	t&g floorboards	L		Retain or adapt
ceiling	c.2000	Modern acoustic tile lower ceiling	N		Retain or remove
cornice	c.2000	50mm quad cornice	N		Retain or remove
windows	c.2000  c.2000	W37-W39: aluminium sliding sashes. W35, W36 glass bricks in early opening	N  N		Retain or remove
architraves		none			
doors	c.2000	D28: flush panel exit door	N		Retain or remove

### 3.03.3 Second Floor (refer to pages 11-13 for room numbers)

item	date	discussion	sign	photo	recommendations
Space <b>S1-S3</b>	1835	The space has been much altered and no longer demonstrates its original layout. The modern fitout and decoration are of poor quality and unsympathetic.	N  I		Retain or adapt space.  Demolish all modern fitout and decoration
external walls	1835	Plaster	M		Retain and conserve
skirtings	c.1990	120x20 painted timber profile J	N		Retain or remove
floor	1835 c.1990	Original floorboards likely under modern sheet flooring	M N		Remove sheet flooring and expose original floorboards
posts	c.2000	90x90 timber	N		Retain or remove
ceiling	c.1990	modern poor quality sheet lining	I		Remove ceiling fitout and renew in sympathetic manner
cornice		none			
windows	1947  1947 1947	W43-W49: steel casements, W45 was originally a loading dock. W44 and W45: covered on the inside W50: steel framed window	L/I  I N	 W48	If the opportunity arises replace W43-W49 steel casements with 12-paned double hung sashes. Uncover W44 and W45
sill-boards	c.1990	Metal sill board	I		Remove modern sill-boards and reconstruct to original timber detail
architraves					
bar joinery	c.1990	Modern sheeting	I		Remove all bar joinery
fireplace <b>FP3</b>	c.1990	Modern wood-heater	I		Remove wood-heater and replace with reconstruction of original fireplace
staircase <b>S1</b>	1947	concrete staircase, positioned poorly at front of hotel	I		If possible relocate stair towards rear of building

item	date	discussion	sign	photo	recommendations
Space <b>S4, S5</b>	1947	These spaces have been altered and no longer demonstrate their 1947 layout or purpose as bedrooms. The modern fitout and decoration are of poor quality and unsympathetic.	N		Retain or adapt space.  Demolish all modern fitout and decoration
external walls	1947	Plaster	N		Retain, adapt or remove

skirtings	1947	120x20 painted timber profile <b>J</b>	N		Retain or remove
floor	1947 c.1990	1947 floorboards likely under modern sheet flooring	L N		Retain or remove
ceiling	c.1990	modern sheet lining	N		Retain or remove
cornice	c.1990	90mm quad profile <b>D</b>	N		Retain or remove
doors	c.1990	D31-D33: modern flush panel doors	N		Retain or remove
	1947	D30: flush panel fire door	N		Retain or remove
windows	1947	W40-W42: steel casements all covered on the inside	L I		Uncover W40-W42
	1947	W51-W54: steel framed windows	N		Retain or remove
architraves		none			

### 3.04 Archaeology

Much of the wall fabric of 39 Salamanca Place has been covered in modern linings, so its removal may reveal evidence of fireplaces or other fabric associated with its earlier pub use. The 1904 structure at 41 Salamanca Place replaced earlier weatherboard structures so any subsurface excavation may reveal information about those structures.

A suitably qualified archaeologist should be commissioned to establish the archaeological potential of the sites.

## 4 ASSESSMENT OF SIGNIFICANCE OF THE SITE

### 4.01 Sullivans' Cove

Lt Governor David Collins landed at Sullivan's Cove on 20<sup>th</sup> February 1804 and established the settlement of Hobart Town –a year after the soon to be abandoned first settlement at Risdon Cove on the other side of the Derwent River.

Collins named Sullivan's Cove after the Permanent Under Secretary to the Colonies, John Sullivan.<sup>6</sup>

The first permanent stores were constructed on Hunter Island. These stores were of sandstone construction and of three to four stories high. Most survive today in Hunter Street. They were marine stores servicing the 'Old Wharf' attached to Hunter Island.

As commerce increased the demand for wharf storage space grew. In 1830 land was subdivided to allow the construction of more stores on the southern side of Sullivan's Cove to service the 'New Wharf'. Increased trade brought about further subdivision to the west part of Salamanca Place. The construction of 39 Salamanca Place by 1835 was part of this western development. The construction of 41 Salamanca Place happened much later –in 1904 –accounting for its different style and construction material.

<sup>6</sup> Wikipedia, *Sullivans Cove*, p1



#### 4.02 The people –from David Young

The historically significant former owners of 39 and 41 Salamanca Place are as follows:

**Thomas Hewitt**, successful and wealthy merchant, who amassed a considerable fortune in Van Diemen's Land before he lost most of it in the 1840s crash. Hewitt had built the Whaler's Return pub at 39 Salamanca Place by 1835.

**David Hastie Harvey**, accountant who constructed the two storey brick warehouses at 41 Salamanca Place in 1904. Harvey's history in Van Diemen's land was unremarkable other than he was the builder of these warehouses.

#### 4.03 Commerce

39 Salamanca Place has operated as a hotel since its construction by 1835. It has had various owners and licensees. Its proximity to the working port and its sailors was a guarantee of healthy trade. In recent years as Sullivan's Cove has emerged as Hobart's premier tourist draw card the hotel has continued to attract good trade. Locals and visitors alike have enjoyed the hospitality of the 'Lord Nelson', later 'Knopwood's' and more recently 'Whaler's' over the last four decades. The hotel is one of the best known drinking holes of Hobart.

41 Salamanca Place is well known for its trade in fresh fruit and vegetables since 1949 firstly through Clements & Marshall, then through the Behrakis family as the Salamanca Fruit Market.

#### 4.04 The buildings

##### 39 Salamanca Place

This building, like all of the other former warehouses to Salamanca Place and Hunter Street are simple Georgian sandstone structures of similar height.

Australian Georgian style architecture was born from the design principals of Renaissance architecture used by English architects such as Sir Christopher Wren in the late seventeenth century.

The early European settlement of Australia was not sophisticated enough for the refineries of English Georgian architecture so a simplified version was employed, nevertheless still using symmetry, proportion and rectangular shapes with occasional use of classical orders.

39 Salamanca Place, along with its contemporaneous sandstone structures in Sullivan's Cove is simplified Old Colonial Georgian in style. According to Apperley et al, 39 Salamanca Place exhibited the following characteristics of Old Colonial Georgian style:

1 symmetrical façade; 2 exposed stone walling; 5 timber roof shingles (now replaced); 17 sash windows with small panes; 21 panelled door (now replaced); 23 stone lintels; 25 stone sills and 26 simple chimneys.<sup>7</sup> Some of those characteristics have been lost during building changes.

##### 41 Salamanca Place

The turn of the century signaled a renewed confidence in Australian business by the depression easing in the eastern states and by the proclamation of the Commonwealth of Australia on 1 January 1901. This confidence was reflected in building design and a range of styles, most with ties to classical Western Architecture.

Federation Warehouse style which became very popular for commercial buildings in Australia was greatly influenced by the work of Henry Hobson Richardson in Chicago. Romanesque elements were employed but in a manner unrestrained by the traditional academic approach.

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<sup>7</sup> R Apperley, R Irving, P Reynolds, *A Pictorial Guide to Identifying Australian Architecture*, p26, Angus & Robertson, 1989

41 Salamanca Place is a typical commercial building in this style. According to Apperley et al, 41 Salamanca Place exhibits the following characteristics of Federation Warehouse style: 1 rectangularity of façade emphasized by treatment of parapet; 2 strongly emphasized piers; 3 strongly emphasized arches; 4 strongly emphasized base; 5 plain faced brickwork; 8 sandstone dressings; and 9 flat spandrels recessed behind the plane of the piers.<sup>8</sup>

#### **4.05 Heritage listings**

39 and 41 Salamanca Place, Battery Point are entered in the following heritage schedules:

##### **4.05.1 Tasmanian Heritage Register**

39 Salamanca Place was permanently entered on 9 December 1998 as R1484.

41 Salamanca Place was permanently entered on 9 December 1998 as R1485.

The THR is administered by the Tasmanian Heritage Council.

The implications of entry in the THR are set down in the *Historic Cultural Heritage Act*:

Part 46. (1) Under this Part, the Heritage Council may only agree to heritage works which are likely to destroy or reduce the historic cultural heritage significance of a registered place, heritage area or place within a heritage area if satisfied that there is no prudent and feasible alternative to those works.

##### **4.05.2 Sullivan's Cove Planning Scheme 1997**

39 Salamanca Place is reference 92 in Table 1 of the Scheme as a Place of Cultural Significance.

It is also reference 75 ('Knopwood's Retreat') in Table 2 as a Place of Archaeological Sensitivity.

41 Salamanca Place is reference 93 in Table 1 of the Scheme as a Place of Cultural Significance.

The Scheme is administered by the Hobart City Council. The relevant implications of heritage listing in the Sullivan's Cove Planning Scheme are as follows:

##### **22.4.4 'Permitted' 'Building or Works'**

'Building or works' on places of cultural significance is 'permitted' in respect to this Schedule where it can be demonstrated that the following 'deemed to comply' provisions have been satisfied:

- The 'building or works' are related to the conservation of a place of cultural significance and are to be undertaken in accordance with a Conservation Plan accepted by the Planning Authority as satisfying the submission requirements for an application.

##### **22.4.5 'Discretionary' 'Building or Works'**

'Building or works' on places of cultural significance which cannot satisfy the 'deemed to comply' provisions of Clause 22.4.4 may be approved at the discretion of the Planning Authority.

The following criteria must be taken into consideration in the assessment of all proposals to undertake 'building or works' on places of cultural significance:

- 'Building or works' must complement and contribute to the cultural significance, character and appearance of the place and its setting;
- 'Building or works' must be in accordance with the conservation strategy of an approved Conservation Plan, where required and/or provided;
- The location, bulk and appearance of 'building or works' must not adversely affect the heritage values of any place of cultural significance;
- 'Building or works' must not reduce the apparent authenticity of places of cultural significance by mimicking historic forms;
- 'Building or works' may be recognisable as new but must not be individually prominent;
- The painting of previously unpainted surfaces is discouraged.

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<sup>8</sup> ibid, p130

## 22.6 Places of Archaeological Sensitivity

### 22.6.4 Permitted 'Building or Works'

Those works which constitute the excavation of land on any place of cultural significance (as identified in Table 1), including those identified in Table 2, are 'permitted' where a statement is provided by a qualified archaeologist that either the site has been surveyed previously and found not to be of archaeological significance or that the nature of the 'building works' will result in destruction of any aspects of items of archaeological significance.

## 4.06 Determining cultural significance

The ICOMOS Burra Charter describes five categories of cultural significance –aesthetic, historic, scientific, social or spiritual value.

Until recently the Tasmanian Heritage Council has used seven categories of cultural significance as set down in the *Historic Cultural Heritage Act 1995*. Recently an eighth category based on aesthetic values was added.

The eight criteria for entry to the Register are:

- (a) *the place is important to the course or pattern of Tasmania's history;*
- (b) *the place possesses uncommon or rare aspects of Tasmania's history;*
- (c) *the place has the potential to yield information that will contribute to an understanding of Tasmania's history;*
- (d) *the place is important in demonstrating the principal characteristics of a class of place in Tasmania's history;*
- (e) *the place is important in demonstrating a high degree of creative or technical achievement;*
- (f) *the place has a strong or special association with a particular community or cultural group for social or spiritual reasons;*
- (g) *the place has a special association with the life or works of a person, or group of persons, of importance in Tasmania's history.*
- (h) *the place is important in exhibiting particular aesthetic characteristics.*

The statements of cultural significance used for 39 Salamanca Place in the Tasmanian Heritage Register are as follows:

- (b) *This three storey sandstone building is part of possibly the last group of Old Colonial Georgian waterfront warehouses in Australia.*
- (d) *39 Salamanca Place is of historic cultural heritage significance because of its ability to demonstrate the principal characteristics of a three storey Old Colonial Georgian building.*
- (e) *This building is one of a group which is of historic heritage significance because its townscape associations are regarded as important to the community's sense of place.*

The statements of cultural significance used for 41 Salamanca Place in the Tasmanian Heritage Register are as follows:

- (d) *41 Salamanca Place is of historic cultural heritage significance because of its ability to demonstrate the principal characteristics of a two storey sandstone (sic) Federation Warehouse style commercial building.*
- (e) *This building is one of a group which is of historic heritage significance because its townscape associations are regarded as important to the community's sense of place.*

#### 4.07 Statements of significance

Using the criteria of the *Historic Cultural Heritage Act* appropriate Statements of Historic Heritage Significance for **39 Salamanca Place** are as follows:

- (a) **39 Salamanca Place, along with the similar 19<sup>th</sup> century former warehouses in Sullivan's Cove, is important to Tasmania's history as a demonstration of the development of lifestyle and commerce from the early decades of Hobart's European settlement through until the present.**  
*The importance to Tasmania of this cultural value is high.*
- (b) **39 Salamanca Place, along with the similar 19<sup>th</sup> century former warehouses in Sullivan's Cove, is of historic cultural heritage significance as the largest group of Old Colonial Georgian buildings in Australia.**  
*The importance to Tasmania of this cultural value is high.*
- (c) **39 Salamanca Place has the potential to reveal aspects of the operations of a Georgian marine hotel.**  
*The importance to Tasmania of this cultural value is medium.*
- (d) **39 Salamanca Place is of historic cultural heritage significance for its ability to demonstrate some of the characteristics of a three storey sandstone old Colonial Georgian hotel. These characteristics include its symmetrical façade; exposed stone walling; stone lintels; and stone sills.**  
*The importance to Tasmania of this cultural value is low.*
- (e) *no statement*
- (f) **39 Salamanca Place, along with the similar 19<sup>th</sup> century former warehouses in Sullivan's Cove, is of historic cultural heritage significance to the Tasmanian community as a place for various community and public activities and events such as the Salamanca Market, the conclusion of the Sydney Hobart Yacht Race, and for New Year celebrations and as a venue for Hobart's social life over nearly two centuries.**  
*The importance to Tasmania of this cultural value is high.*
- (g) **39 Salamanca Place is of historic cultural heritage significance because of its associations with Thomas Hewitt, successful and wealthy merchant, who amassed a considerable fortune in Van Diemen's Land before he lost most of it in the 1840s crash. Hewitt built the Whaler's Return pub at 39 Salamanca Place by 1835.**  
*The importance to Tasmania of this cultural value is low.*
- (h) *no statement*

Appropriate statements of Historic Heritage Significance for **41 Salamanca Place** are as follows:

- (a) **41 Salamanca Place is important to Tasmania's history as a demonstration of the development of trade associated with fruit and vegetables.**  
*The importance to Tasmania of this cultural value is medium.*
- (b) *no statement*



- (c) **41 Salamanca Place has the potential in its subsurface deposits to reveal aspects of the timber commercial buildings that pre-dated this structure.**  
*The importance to Tasmania of this cultural value is medium.*
- (d) **41 Salamanca Place is of historic cultural heritage significance for its ability to demonstrate the principal characteristics of a two storey brick Federation Warehouse style commercial building. These characteristics include its rectangularity of façade emphasized by treatment of parapet; strongly emphasized piers; strongly emphasized arches; strongly emphasized base; plain faced brickwork; sandstone dressings; and flat spandrels recessed behind the plane of the piers.**  
*The importance to Tasmania of this cultural value is high.*
- (e) *no statement*
- (f) **41 Salamanca Place, along with the similar 19<sup>th</sup> century former warehouses in Sullivan's Cove, is of historic cultural heritage significance to the Tasmanian community as a place for various community and public activities and events such as the Salamanca Market, the conclusion of the Sydney Hobart Yacht Race, and for New Year celebrations.**  
*The importance to Tasmania of this cultural value is high.*
- (g) *no statement*
- (h) *no statement*

#### 4.08 Basis of assessment

A system of ranking cultural significance is used throughout this report. An assessment is principally made of fabric but where important to the management of the site also includes some spaces.

#### SIGNIFICANCE OF SPACE

<b>H</b>	High significance
<b>M</b>	Medium
<b>L</b>	Low
<b>N</b>	No heritage significance
<b>I</b>	Intrusive

In determining the level of heritage significance of a space, the following values have been taken into account:

- **The historical use of the space** –e.g. where a space has been used for a particular purpose associated with the cultural significance of the place and over a reasonable period of time, it may be rated as of high heritage significance. This value is defined in the *Heritage Act* as *criterion (a) the place is important to the course or pattern of Tasmania's history.*
- **The architectural or aesthetic qualities of the space** –e.g. if a space has elaborate architectural detailing or its geometry itself is impressive, then it will be rated as of high heritage significance. This value is defined in the *Heritage Act* as *criterion (e) the place is important in demonstrating a high degree of creative or technical achievement.*
- **Capacity to demonstrate the particular cultural value** –even if a space was created in a phase of high cultural value, if that space has been modified to the degree that its

capacity to demonstrate that particular value has been diminished, then its assigned level of significance may be lower than otherwise would have been.

## SIGNIFICANCE OF FABRIC

<b>H</b>	High significance
<b>M</b>	Medium
<b>L</b>	Low
<b>N</b>	No heritage significance
<b>I</b>	Intrusive

In determining the level of heritage significance of an item, the following values have been taken into account:

- **The historical use of the item** –where an item is important in demonstrating an historical pattern of use, (e.g. a chimney stack) it may be rated as of high heritage significance. This value is defined in the *Heritage Act* as *criterion (a) the place is important to the course or pattern of Tasmania's history*.
- **The rarity of the item** –where a detail or item is rare, then it will be rated as of high heritage significance. This value is defined in the *Heritage Act* as *criterion (b) the place possesses uncommon or rare aspects of Tasmania's history*.
- **The research potential of the item** –where the item may yield information that is important to the history of the place. This value is defined in the *Heritage Act* as *criterion (c) the place has the potential to yield information that will contribute to an understanding of Tasmania's history*.
- **The architectural style of the item** –if the item is styled to represent a particular architectural fashion, then it may be rated as of higher heritage significance. This value is defined in the *Heritage Act* as *criterion (d) the place is important in demonstrating the principal characteristics of a class of place in Tasmania's history*.

For a space or an item to be allocated a high significance ranking, it needs to meet only one of the values described above.

Level **H** is adopted where the space or item is highly valued by the community or is important in interpreting history.

Level **M** contains aspects which either have been degraded to a degree by adaptation or where the cultural significance of the item was always of lesser importance.

Level **L** covers a range of fabric or spaces which either have been considerably degraded by adaptation or where the cultural significance of the item was always of modest heritage significance.

Level **N** covers a range of fabric or spaces which either have been degraded beyond recognition or where there has never been any cultural significance.

Level **I** covers fabric or spaces which have an adverse impact on the cultural significance of the place.

### 4.09 Heritage significance of spaces and items

The heritage significance of spaces and items is shown on the plans on pages 11-13 and on the room by room tables on pages 15-24. Most internal spaces have been dramatically altered and are now of low or no significance. As a consequence they are able to be adapted.

#### 4.10 Implications of significance levels

The general implications arising from these categories of cultural significance are as follows:

- that level **H** items be retained in situ and conserved in a manner which retains their cultural significance.
- that level **M** items be retained in situ if reasonably possible, but where there is an overall benefit to the heritage values of the place and where there is no prudent and feasible alternative, may be adapted or removed.
- that level **L** items should be retained, but may be adapted or removed.
- that level **N** items may be retained, adapted or removed.
- That level **I** items should be removed at the first available opportunity

## 5 BACKGROUND TO CONSERVATION POLICY OF SITE

#### 5.01 Statutory obligations

Statutory obligations are those required by the *Sullivan's Cove Planning Scheme* and the *Historic Cultural Heritage Act* and are described in 4.05.

#### 5.02 Physical condition and intactness

##### 39 Salamanca Place

Most of the changes made since and including the 1947 modernisation have had a considerable adverse impact on its heritage values. The work to the interiors over the last two or three decades is of a poor architectural standard and is now tired. Overall the intactness of the building is low. There are no original windows, fireplace surrounds, doors, skirtings, architraves, or room shapes. The original 'shop-front' entrances have been removed and the original loading bay replaced with windows. Chimneys have been removed. A cement render has been added to much of the facades. Internal wall and ceiling plaster and finishes need repair and renewal. Roof sheeting exhibits high levels of rust and needs replacement.

##### 41 Salamanca Place

The former warehouse is in sound structural condition and is relatively intact. Modifications include replacement of original façade doors and one window, closing up of two windows, removal of structural supports on the ground floor to open the space for commercial market use, introduction of modern partitions to the first floor and construction of 5 new windows to the plaza-facing side elevation.

#### 5.03 Client aspirations

The owner intends to convert the first and second floor to high class boutique accommodation. Tasmania's most celebrated practicing architectural firm Circa Morris-Nunn have been appointed to prepare a proposal to meet the client's aspirations. The proposal involves the following:

##### 39 Salamanca Place

Ground floor

- demolition of a modern internal wall, the external fire escape and the 1947 outbuilding in the yard
- installation of a lift adjacent the front window

First floor

- demolition of some modern internal walls, the modern bar, a flight of the 1947 stair, the external fire escape, the 1947 toilet and a section of eastern wall to provide for a connection with 41 Salamanca Place
- installation of the lift
- construction of new internal walls to create five new accommodation suites with en suites
- creation of a rectangular light well feeding through the upper floor
- construction of a new suspended floor slab to the yard
- construction of a new raised floor to whole of first floor

#### Second floor

- demolition of some modern internal walls, the modern bar, the external fire escape, some 1947 windows to the yard, and the 1947 store
- installation of the lift
- construction of new internal walls to create five new accommodation suites with en suites
- creation of a rectangular light well feeding through the two top floors

#### The roof

- partial demolition to create the rectangular light wells feeding down to the first floor

### **41 Salamanca Place**

#### Ground floor

- installation of firechek plasterboard to the ground floor ceiling to achieve required fire separation

#### First floor

- demolition of all modern internal walls, the eastern windows, a section of the internal brick wall separating the front and rear warehouses, and a section of western wall to provide for a connection with 39 Salamanca Place
- installation of larger windows to the eastern side wall
- construction of new internal walls to create six new accommodation suites with en suites
- construction of new floor slab on top of the existing timber floor
- construction of a glazed link between 39 and 41 Salamanca Place

#### New Second floor

- construction of new loft floor and internal walls to create five new accommodation suites with en suites
- creation of a rectangular light well feeding through the two top floors

#### The roof

- removal of roof frame and iron and construction of a new roof frame approximately 750mm higher than the existing frame.
- installation of four new skylights to the new north facing roof



## 6 CONSERVATION POLICY FOR THE SITE

### 6.01 General conservation policy

The group of Salamanca Place buildings, of which 39 and 41 Salamanca Place are a part, is of Tasmanian and national heritage for the reasons described in the statements of historic cultural heritage significance.

**Policy 1:**

**1.1 This CMP and the Australian ICOMOS publication The Illustrated Burra Charter, 2004 should be the guiding documents for all management of heritage values on the site.**

**1.2 In order to retain their cultural significance 39 and 41 Salamanca Place should be conserved.**

**1.3 In particular the fabric that demonstrates the early hotel use of 39 and the warehouse use of 41 Salamanca Place, should be conserved.**

**1.4 The 1947 extension to the hotel and its associated fabric is of low heritage significance and can accept considerable change without adverse heritage impact.**

**1.5 The internal fabric and spaces of the 1835 hotel has been changed to a high degree and there is also reasonable flexibility for future change.**

**1.6 The interior spaces of the former warehouse at 41 Salamanca Place can accommodate future change but the timber posts, beams and floors should be conserved and expressed in any future adaptations.**

Priority: High/ongoing

**Policy 2: This CMP should be regularly reviewed for efficiency and effectiveness in managing the heritage values of the site. The first review should be no later than August 2016.**

Priority: Medium

### 6.02 Records

Records of previous changes to the places have been poor. The owner is encouraged to maintain records of all changes and of any new information that arises from future uncovering and archaeology.

**Policy 3: The owner is encouraged to keep records of changes to fabric of the site as they occur; and to properly record new information that emerges from uncovering works and from archaeology.**

Priority: Low/ongoing

### 6.03 Salamanca Place Facades

#### 39 Salamanca Place

The façade has undergone considerable change since 1947. The main changes are the loss of the 'shop-front' windows, the change from timber double hung sash windows to steel windows, the addition of a ground floor concrete canopy along the Salamanca Place façade and the introduction of concrete render to the external walls.

**Policy 4: The façade 'shop-fronts' should be reconstructed.**

Priority: Medium

**Policy 5: The steel windows should be replaced with timber reconstructed double hung sash timber windows.**

Priority: Medium

**Policy 6: The modern concrete canopy to the ground floor façade should be removed.**

Priority: Low

**Policy 7: The concrete render should be removed and then stonework repairs carried out.**

Priority: Medium

#### 41 Salamanca Place

The façade is comparatively intact other than for replacement of ground floor window and door openings and the blocking up of two windows.

**Policy 8:** *Unblock windows W9 and W10, reconstruct the timber sashes if missing. W10 may be reconstructed to a doorway if ever required.*

Priority: Medium

**Policy 9:** *Relocate the ATM in D16 to a more discrete location. D17 was originally a window and can be reconstructed to original if ever needed.*

Priority: Medium

### 6.04 Side elevations

#### 39 Salamanca Place

The elevation to Montpelier Retreat has had its entry door replaced with a steel window and its loading bay replaced with steel windows.

**Policy 10:** *The steel windows should be replaced with reconstructed timber double hung sash windows.*

Priority: Medium

**Policy 11:** *The concrete render should be removed and then stonework repairs carried out.*

Priority: Medium

#### 41 Salamanca Place

The elevation to the Quarry plaza is of low significance and can withstand some modification.

**Policy 12:** *This elevation can tolerate reasonable modification with minimal impact on heritage values.*

Priority: ongoing

### 6.05 Roofs

The hotel roof is hipped behind a low parapet. As the hotel is on a highly visible corner site, the roof planes that face Salamanca Place and Montpelier Retreat are prominent and should not be changed other than possible skylights in the plane of the roof.

The roof of 41 Salamanca Place is concealed behind a higher parapet.

The roof cladding was originally timber shingles and then cgi since c.1980.

**Policy 13:** *Maintain the roof plane of the hotel facing Salamanca Place and Montpelier Retreat. Any adaptations for services, skylights etc to the front of the roof should be on that plane.*

Priority: High

**Policy 14:** *Reasonable modification of the roof of 41 Salamanca Place is permitted if not visible from the Cove floor.*

Priority: High

### 6.06 Let levels of heritage significance guide actions

The heritage significance of spaces and items is shown on the plans on page 11 and on the room by room tables on pages 13-17.

**Policy 15:** *The treatment of various heritage values of the site must be based on the levels of significance ascribed to them in this document and should be in accordance with the following:*

level H items must be retained in situ and conserved in a manner which retains their cultural significance.

level **M** items should be retained in situ if reasonably possible, but where there is an overall benefit to the heritage values of the place, or where there is no prudent and feasible alternative, may be adapted or removed.

Level **L** items should be retained, but may be adapted or removed.

Level **N** items may be retained, adapted or removed.

Level **I** items should be removed at the first opportunity.

**Policy 16:** *Use the significance of items plan on page 11-13 and the room by room plans on pages 15-24 to guide the treatment of items and spaces.*

Priority: High

## 6.07 Further research

The c.1938 photograph on page 2 shows the hotel former 'shop-fronts' and loading bay. Further research is needed to discover the historical detailing, particularly if reconstruction takes place. There is little information about the weatherboard shops that pre-dated the 1904 brick warehouse at 41 Salamanca Place.

**Policy 17:** *Further historical research should be carried out on external fabric of the hotel prior to any reconstruction of detail elements.*

Priority: medium

**Policy 13:** *An assessment should be made of the archaeological potential of the site, particularly in regard to the weatherboard shops that pre-dated the brick warehouse at 41 Salamanca Place.*

Priority: low

## 6.08 Interpretation

Interpretation of the history of the sites is important to the understanding and protection of its heritage values not only for visitors but also for future employees. Certainly general understanding of the sites history is minimal.

**Policy 15:** *An interpretation strategy should be prepared and implemented based on the history of the sites and emphasising their original uses as hotel and warehouse; and their builders Thomas Hewitt, who built the hotel and David Hastie Harvey, who built the brick warehouse.*

Priority: Medium

# 7 HERITAGE IMPACT ASSESSMENT

## 7.01 Proposed works

### 39 Salamanca Place

Proposed works	Significance of item	Discussion	Impact on cultural significance
<b>Ground floor</b> 1 demolition of modern internal wall, the external fire escape and the 1947 outbuilding in the yard	None	All items to be demolished are of no significance.	None
2 installation of a lift adjacent the front window	None	The proposed lift location has been moved to avoid blocking window W5	None
<b>First floor</b>			

3 demolition of some modern internal walls, the modern bar, a flight of the 1947 stair, the external fire escape, the 1947 toilet and a section of eastern wall to provide for a connection with 41 Salamanca Place.	None for most fabric, Medium for section of 1835 wall to be removed	These proposed works do not remove any fabric of cultural significance, other than the 1835 eastern part wall. The proposal is for a glazed connection which will allow the boundary walls to be seen –which they are not at present. The windows currently blocked will be unblocked –which is a positive heritage outcome	The improved visibility of the boundary walls is seen as an excellent mitigation for the loss of some 1835 wall fabric. Unblocking windows will have a positive impact on heritage values.
4 installation of the lift	None	The proposed lift location has been moved to avoid blocking window W22.	None
5 construction of new internal walls to create five new accommodation suites with en suites	None	The spaces themselves have no significance. The return to an accommodation use –the original purpose of the upper floor –is a positive heritage outcome.	There will be no adverse heritage impact by introducing new internal walls.
6 creation of a rectangular light well feeding though the upper floor	Medium (1834) Low (1947)	The original floorboards have medium heritage significance. The proposed light wells are narrow and will require removal of only 4% of the 1835 floor. The yard has no heritage significance.	There will be a small (and acceptable) adverse heritage impact
7 construction of a new suspended floor slab to the yard	None		None
8 construction of a new raised floor to whole of first floor	Medium (1834) Low (1947)	The original floorboards have medium heritage significance. The new raised floor will conceal the floorboards –which are currently concealed	The impact will be neutral as the current concealment is continued
<b>Second floor</b> 9 demolition of some modern internal walls, the modern bar, the external fire escape, some 1947 windows to the yard, and the 1947 store	None	These proposed works do not remove any fabric of cultural significance, other than the 1835 eastern part wall. The windows currently blocked will be unblocked –which is a positive heritage outcome	Unblocking windows will have a positive impact on heritage values.
10 installation of the lift	None None	The proposed lift location has been moved to avoid blocking window W49.	None
11 construction of new internal walls to create five new accommodation suites with en suites	Space S1 (Medium)	The spaces themselves have no significance. The return to an accommodation use –the original purpose of the upper floor –is a positive heritage outcome.	There will be no adverse heritage impact by introducing new internal walls.
12 creation of a rectangular light well feeding though the two top floors.	Medium (1834) Low (1947)	The original floorboards have medium heritage significance. The proposed light wells are narrow and will require removal of only 4% of the 1835 floor.	There will be a small (and acceptable) adverse heritage impact .
<b>The roof</b> 13 partial demolition to create the rectangular light wells feeding down to the first floor	Roof frame (Medium) cgi (Low)	The light well will be covered in glass on the roof plane, and will appear as a traditional roof-light.	None
<b>Public views of changes</b> 14 Public views of roof	Roof plane to Salamanca Place (High) cgi (Low)	The retention of the highly visible roof plane facing Salamanca Place is important. The new light wells are positioned behind the ridge and cannot be seen from Salamanca Place.	None



## 41 Salamanca Place

Proposed works	Significance of item	Discussion	Impact on cultural significance
<b>Ground floor</b> 15 installation of firecheck plasterboard to the ground floor ceiling to achieve required fire separation.	None	The ceiling will appear no different to the existing situation.	none
<b>First floor</b> 16 demolition of all modern internal walls, the eastern windows, a section of the internal brick wall separating the front and rear warehouses, and a section of western wall to provide for a connection with number 39.  17 installation of larger windows to the eastern side wall.  18 construction of new internal walls to create six new accommodation suites with en suites  19 construction of new floor slab on top of the existing timber floor  20 construction of a glazed link between 39 and 41 Salamanca Place	None for most fabric, Medium for sections of 1904 wall to be removed  None  None  Medium  Medium	These proposed works do not remove any fabric of cultural significance, other than the 1904 western part wall and a section of internal dividing wall. The proposal is for a glazed connection which will allow the boundary walls to be seen –which they are not at present.  A small section of wall will be demolished to allow the larger windows to be installed. This elevation is of low significance.  The new partition walls and new planning provides for the expression of original timber structure –in accordance with CMP policy 1. The original open space is already subdivided by partition walls ongoing subdivision will have no adverse impact.  The floor fabric is significant and will be concealed by the new slab. The slab may be necessary for sound or fire separation.  The walls that require penetration is original 1904 fabric. The proposal is for a glazed connection which will allow the boundary walls to be seen –which they are not at present.	The improved visibility of the boundary walls is seen as an excellent mitigation for the loss of some 1904 wall fabric.  There will be an adverse small impact by installing the larger windows.  There will be no adverse heritage impact from continuing the subdivision of the first floor.  There will be an adverse heritage impact, the installation of the slab floor needs to be justified. The improved visibility of the boundary walls is seen as an excellent mitigation for the loss of some 1904 wall fabric.
<b>New Second floor</b> 21 construction of new loft floor and internal walls to create five new accommodation suites with en suites	Low	The 1904 roof structure will be retained in the construction of the new loft suites.	None
<b>The roof</b> 22 removal of roof frame and construction of a new roof frame approximately 750mm higher than the existing frame  23 installation of four skylights to the new north facing roof	Low	The existing roof frame is concealed by the first floor ceiling which will be retained. Although the frame fabric is of some (low) heritage significance, its removal will go unnoticed.  The new skylights will be concealed from the Cove floor by the existing parapet.	There will be a small but acceptable heritage impact by removal of the roof frame.  None
<b>Public views of changes</b> 24 Public views of roof	Low	The new roof frame will be partly visible from the Cove floor (the top 300mm or so will be visible), however this part will be set well behind the parapet and will have no impact.	None

## 7.02 Overall impact on the cultural significance of the place

It is noted that the project architects have made some modifications to the proposal to respond positively to heritage-based feedback and earlier draft recommendations.

There will be some adverse heritage impacts on fabric but not on spaces as a consequence of these proposed works. It is inevitable that some subdivision of spaces and some adaptation of heritage fabric will be necessary with any new use made of the building. It is clear that the project architect has made considerable effort to maximize the retention of original posts and beams and associated heritage values within the context of conversion to a boutique hotel use.

There are three issues for further design exploration or clarification:

- 1 The proposed lift location for 39 Salamanca Place impacts on the front windows which it effectively blocks up. An alternative location should be explored eg moving its position to hard against the staircase. Moving the staircase is also possible without heritage impact –if necessary to improve the lift location.
- 2 The construction of new slabs over existing timber floors may be necessary for sound or fire rating, but needs to be clarified as there will be a heritage impact by concealment of those floors.
- 3 The facades of 39 Salamanca Place need some repair and this project provides an opportunity to carry out select conservation works. The proposal drawings are quiet on external façade works.

Notwithstanding, I consider that the heritage impacts are relatively small and will not impact on the conservation of cultural significance of the place.

## 7.03 Recommendations

- 1 ***All fabric of cultural heritage significance that will be modified or removed by the works should be properly recorded in accordance with the Tasmanian Heritage Council's Practice Note on Extant Recording.***
- 2 ***The project should include some conservation works to the facades of 39 Salamanca Place.***

Statement of Archaeological Potential  
Archaeological Impact Assessment & Method  
Statement

Salamanca Place Apartment Development  
(25, 39-41 & 47-51 Salamanca Place)  
HOBART TASMANIA

Brad Williams  
Historical Archaeologist

For PV and DM Behrakis  
August 2016

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This document was written by Brad Williams (BA.Hons Archaeology, G.Dip Maritime Archaeology, MA Cultural Heritage Management)  
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The historical research component has largely been derived from the work by Dr. David Young, as cited within this document.

Unless otherwise stated, all photographs were taken by Brad Williams, August 2016.

Unless otherwise stated, the north point (or approximate) of maps and plans is to the top of the page.

Cadastral information depicted in this document must not be relied upon without verification by a Surveyor.

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Document control	Date	Cleared
Preliminary draft provided	300816	Brad Williams
Revised (Fragrance)		
Client signoff on draft		
Final provided		

## 1. Introduction

This document was commissioned by P and D Behrakis in order to accompany an application to the Hobart City Council for the development of a range of serviced apartments above various retail tenancies at 25, 39-41 and 47-51 Salamanca Place, Hobart.

All of the buildings are listed on the Tasmanian Heritage Register and each place (except 41 Salamanca) is also listed as a place of Archaeological Sensitivity (refs. 7) on Schedule 1 (Table 2) of the *Sullivans Cove Planning Scheme 1997* (the *scheme*); therefore Schedule 22.6 of the scheme (archaeological requirements) is applicable. Accordingly, the brief for this project was:

### The brief for this project was:

- To develop a **statement of archaeological potential** (SoHAP) as the basis for archaeological planning on all of those sites.
- To undertake an **archaeological impact assessment** for the proposed development as informed by the statement of archaeological potential.
- If necessary, refine the statement of potential and formulate **mitigation strategies** for any identified impact.

The sites currently comprise of:

Address	PID	Title(s)	Description
25 Salamanca Place	5672228 5672228	90515/2, 90515/3 41654/1	Three storey stone warehouse, retail on ground floor and large c1964 brick extension and small carpark (with basement) at rear.
39 Salamanca Place	5672279	101911/1	Three storey stone hotel building with 1947 rear extension.
41 Salamanca Place	5672287	114251/1	Two storey Federation shop building with offices above. Large midc20th warehouse (converted to offices) at rear.
47-51 Salamanca Place	7692433	122931/1	Three three-storey stone warehouses with laneway at rear. Ground floor restaurant tenancies with a range of offices above.

Figures 1.1-1.2 depict the area which is subject to the proposed works, which comprise the *subject sites*:



Figure 1.1 - 2008 Aerial image of the area – each subject sited depicted in red. Adapted from [www.thelist.tas.gov.au](http://www.thelist.tas.gov.au)

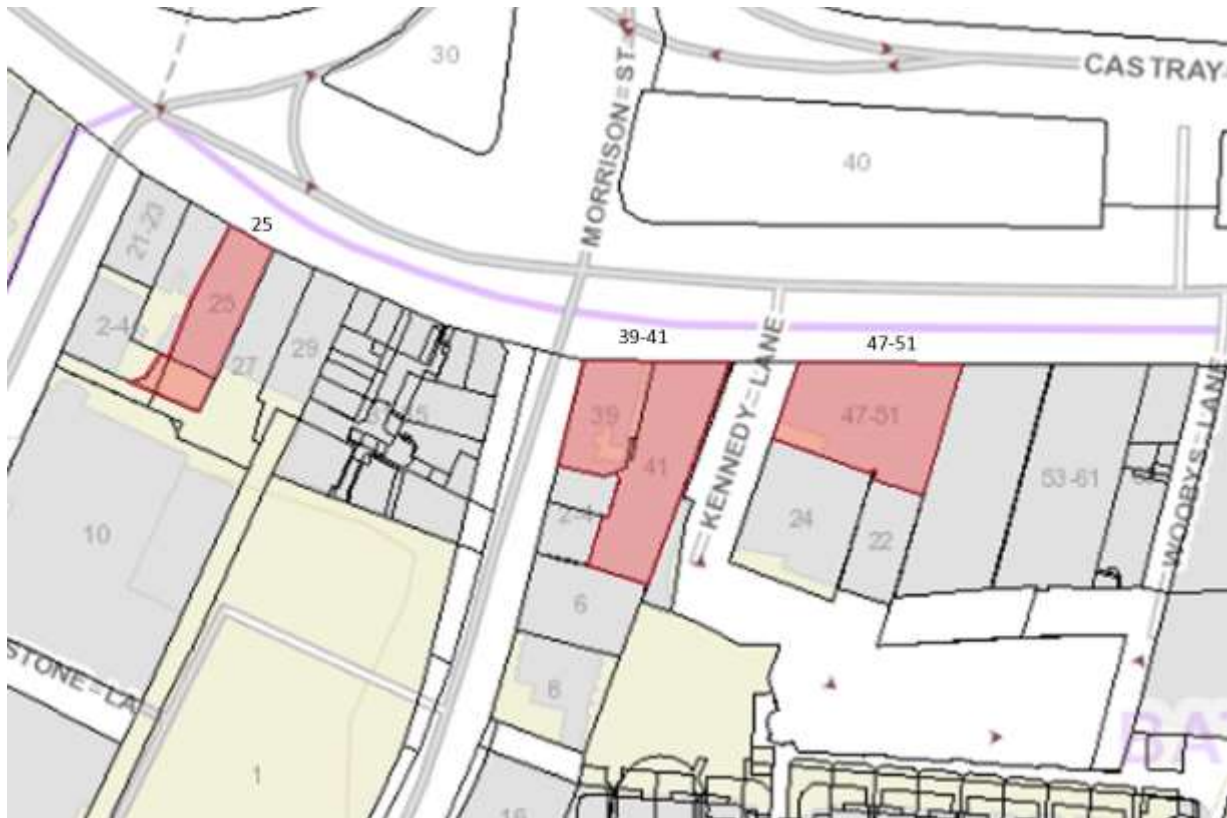


Figure 1.2 – Cadastral parcels comprising each of the subject sites (depicted in red) and surrounds ([www.thelist.tas.gov.au](http://www.thelist.tas.gov.au)).

As all the places are listed on the Tasmanian Heritage Register, the archaeological approach in this document has been developed with regard to the Tasmanian Heritage Council's Practice Note 2 – *Managing Historical Archaeological Significance in the Works Application Process*<sup>1</sup>, and the Tasmanian Heritage Council's *Guidelines for Historical Archaeological Research on Registered Places*<sup>2</sup> as a means of demonstrating a sound and best-practice approach.

A proposal has been formulated which proposes the conversion of the non-shopfront (i.e. retail, restaurant and hotel) spaces in these buildings for serviced apartments, which requires some excavation for services and other minor infrastructure. This report will also consider the archaeology of the standing structures as a resource which may require management. The archaeological impact assessment and archaeological method statement will consider the methodology required for the foundations of the proposed building and formulate a series of strategies to manage historical archaeology in-line with these statutory requirements.

<sup>1</sup> <http://www.heritage.tas.gov.au/media/pdf/2%20Practice%20note%20-%20Archaeology.pdf>

<sup>2</sup> <http://www.heritage.tas.gov.au/media/pdf/Archae%20ResGlines%20%20FINAL%20-%20June%202009.pdf>





## 2. Statutory heritage requirements

This report has been commissioned to consider the historical archaeological potential of the subject site arising from any applicable statutory listings. The following statutory heritage responsibilities that relate to historical archaeology are to be met in any development of the subject site.

**Note that statutory requirements and issues relating to built heritage have been addressed in a separate Conservation Management Plan for each place by Graeme Corney as part of this overall project, therefore the following statutory requirements are limited to those which specifically address historical archaeology or which may be applicability to the archaeology of the built structures.**

### Sullivans Cove Planning Scheme 1997

At least a portion of each place (except 41 Salamanca) is listed as a place of Archaeological Sensitivity on Schedule 1 (Table 2) of the *Sullivans Cove Planning Scheme 1997* (the *scheme*); therefore, Schedule 22.6 of the scheme (archaeological requirements) is applicable. Reference numbers from the scheme for each place are as per the following table:

Place #	Address and specific intent	Description as per scheme
70	25 Salamanca – existing building footprint only.	
75	39 Salamanca (i.e. Whaler footprint only)	Knopwood's Retreat
76	47 Salamanca occupies the front portion of this wider area	Derwent Iron Works
77	49-51 Salamanca occupy the front portion of this wider area	Turner's Jam Factory

Further specific detail on each of these sites from the Sullivans Cove Archaeological Zoning Plan (i.e. the document used to justify their inclusion on the Table) will be provided below.

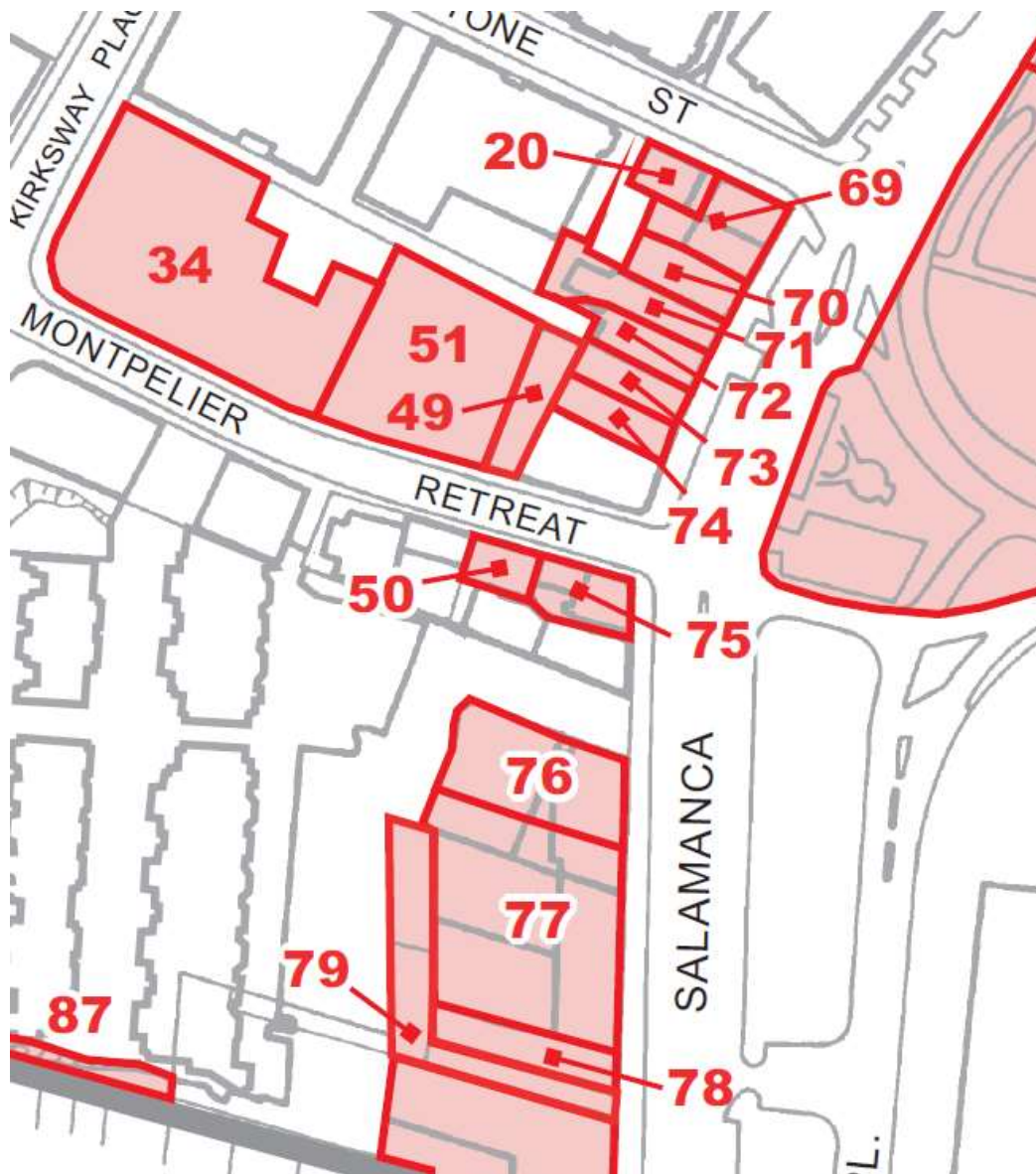


Figure 1.3 – Excerpt from Figure 5a of the SCPS1997 showing the subject site (ref.7) and in relation to other areas of archaeological potential (pink).

Accordingly, any submission for development of a place of archaeological sensitivity requires either:

- An Archaeological Sensitivity Report;
- or
- A statement by a qualified archaeologist that either the site has been surveyed previously and found not to be of archaeological significance or that the nature of the 'building or works' will not result in destruction of any aspects items of archaeological significance.

And if significant archaeological remains are predicted, then the authority will have regard to:

- The likelihood of the proposed 'building or works' resulting in the removal or destruction of items of archaeological significance.
- The cultural significance of the site.
- Evidence of an adequate archaeological reconnaissance and site sampling prior to the approval or carrying out of works.
- The need to reasonably protect potential archaeological significance during the design, and carrying out of works.
- The need to undertake an archaeological 'watching brief' to be required during the carrying out of works.

### **Tasmanian Heritage Register**

Each of the subject sites are included on the Tasmanian Heritage Register (THR), therefore are subject to the provisions of the *Historic Cultural Heritage Act 1995*. The THR datasheets do not specifically cite 'research potential' (e.g. archaeological potential) in the criteria for entry to the register (i.e. Criterion C), however the addressing of the statements of significance in all cases are scant (and completely non-existent for 47-51 Salamanca) and as per the disclaimer on the bottom of the datasheet do not necessarily represent all the interest that the Tasmanian Heritage Council (THC) may have in the sites. It therefore cannot be dismissed that the THC may have an interest in the archaeological potential of the sites, and the inclusion on the register requires that any archaeological potential be considered in the works application assessment process.

### **Other statutory heritage registers/lists**

The subject sites are not listed on any of the following statutory registers:

- The National Heritage List
- The Commonwealth Heritage List
- The World Heritage List

Nor are they included in any buffer zones arising from those lists, therefore are not subject to the historic heritage provisions of the respective Acts which enable statutory input into development of places on those lists.



### **Aboriginal Relics Act 1975**

An assessment of any possible Aboriginal heritage values is not part of the brief for this report; nonetheless the provisions of the *Aboriginal Relics Act 1975* are applicable to the places.

### 3. Statement of Historical Archaeological Potential

#### 3.1. Archaeological methodology

This statement of archaeological potential is derived from a process which identifies the potential of the site to yield archaeological remains, the significance of any remains, and their potential to yield meaningful information about the site, and which might contribute to relevant key archaeological and historical themes. The following briefly outlines the methodology followed:

Determining general archaeological potential: Through a desktop analysis of historical data and secondary sources, as well as non-invasive site observations, an understanding of the evolution of the site has been gained which has allowed an assessment of the archaeological potential (however significant) of any part of the site - resulting in substantiated predictions of the likelihood of finding *something* upon any particular part of the site.

This has been done by analysing primary source material, summarizing the developmental history of the site and developing a chronological narrative detailing an overview of the history of all known features to have ever existed on the site. Where possible, developmental overlays have been developed from historic maps, plans, photographs and other visual documentation. This overlay has been supported by other observations providing supplementary information, and also includes processes such as demolition and disturbance which may have removed or destroyed potential remains – and may have diminished the archaeological potential.

Assessing the significance and potential of any likely archaeological resources to yield meaningful information: Upon understanding the archaeological potential through desktop and site analysis, the next step was to understand its relationship to any aspect of the identified significance of the place – e.g. do the remains have the potential to demonstrate an aspect of the significance of the site or related key historic theme? The potential for any of the archaeological remains to demonstrate important aspects of the history of the site, whether in a state, regional or thematic context, is to be considered.

Understanding possible impact of development and formulation of management strategies: Based on any identified archaeological potential and significance of the site, consideration will be given as to whether the proposed development will impact upon any likely archaeological remains and if necessary broad management strategies will be proposed to manage any impact.

Table 1 (below) demonstrates the steps of this assessment:

Methodology for formulation of the statement of archaeological potential		
	If 'no'	If 'yes'
<b>1. Archaeological potential.</b> Are you likely to find something if you dig here? (i.e. a <u>Statement of Archaeological Potential</u> ).	Further action may not be required, although a contingency plan may be required for unexpected finds.	The significance of the archaeological potential should be investigated.
<b>2. Significance.</b> Could anything you find here greatly contribute to our understanding of the site or related significant theme?	Further action may not be required.	The likely integrity of the archaeological remains should be investigated.
<b>3. Integrity.</b> Are any archaeological remains likely to be intact?	Further action may not be required, although a contingency plan is required for unexpected integrity.	The likelihood of significant archaeological remains is confirmed.
<b>4. Impact</b> Will proposed works impact upon the significant archaeological remains? i.e. an <u>Archaeological Impact Assessment</u> .	Further action may not be required, although a contingency plan may be required for unexpected impacts.	An <u>Archaeological Method Statement</u> will be required to detail how impact will be managed/mitigated.

### 3.2. Source material

For this initial assessment of archaeological potential, the depiction of the physical history of the site will be the main consideration – with other aspects of site history (i.e. social histories, economic history, associations *et. al.*) likely to be more useful in any post-investigation analysis of findings (i.e. artifact assessment), therefore beyond the scope of the current document. Similarly, the history of other townscape developments is beyond the scope of the current document however may be useful in further detailed analysis of future archaeological findings.

The following overview of the known physical development history of the site aims to aid in the prediction of the likely archaeological remains. This does not represent a comprehensive site history, and has been limited to a history of the physical development of the site as relevant to the archaeological resource.

The historical background for the current project has been almost wholly informed by the historical research undertaken by Dr. David Young<sup>3</sup> as part of the Conservation Management Plan for the places written by Graeme Corney – both projects are parts of the overall development project for the sites. The current document should be read in conjunction with those documents, although where critical to the understanding of archaeological potential the primary sources as cited by Dr. Young, as well as other sources as relevant have been consulted and are reproduced here.

In addition, the *Sullivans Cove Archaeological Zoning Plan*<sup>4</sup> has been consulted for further source material – as that document was used to inform and justify the inclusion of those places as *Places of Archaeological Sensitivity* in the Sullivans Cove Planning Scheme 1997.

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<sup>3</sup> Nos 25, 39, 41, 47, 49 and 51 Salamanca Place – A History. By David Young August 2016.

<sup>4</sup> Scripps, L. & Austral Archaeology P/L. 2000: *Sullivans Cove Archaeological Zoning Plan*. City of Hobart and Tasmanian Heritage Council.



### 3.3. Historical development of the subject site

In order to gain an overview of what once existed on the site, as the basis for predicting archaeological remains, the following is a brief overview of the historical development of the site based on primary source documents (the subject site depicted in red) as well as overviews drawn from the secondary sources as detailed above. Note that this is a brief historical overview, concentrating solely on physical development, sufficient only for basic archaeological planning. As per above, further historical research is required in order to refine a detailed archaeological research design, which is provided here in Section 3.4. Such detail is also required to supplement the interpretation of archaeological findings – requiring an iterative process of the assessment of findings against further historical and comparative research from both primary and secondary sources, which is provided for here in the archaeological method statement (Section 5).

#### Pre 1804 - Aboriginal occupation

The land was the home of the Mouheneener people for tens of thousands of years, prior to displacement by European settlers in 1804.

#### 1804-1820s – Reverend Robert Knopwood’s *Cottage Green*

Soon after the European settlement of Sullivans Cove in 1804, the Reverend Robert Knopwood was granted 30 acres covering much of what is now Salamanca Place and including all of the subject sites, which he named *Cottage Green*. He promptly built his home perched on the bank overlooking the cove, just back from the current line of Salamanca Place, together with outbuildings and cleared the surrounding land for farming purposes. His activities are well documented in his surviving diaries.

In the mid-1820s, disputes arose as to the size and boundaries of Knopwood’s grant, and dogged by financial difficulties the land was subdivided. Knopwood advertised twenty allotments for sale in March of 1824. This whole process was confounded (or perhaps advantaged) by the Government’s desire to provide a roadway along the area proposed for the New Wharf (i.e. now Salamanca Place). Eventually, Knopwood’s allotments were snapped up by merchants keen to establish infrastructure in proximity to the New Wharf, thus signaling what we now know as Salamanca Place – however with the turbulent process purchases and final boundaries were not finalised until around 1830. Knopwood did retain 18 acres of his land, however due to further financial difficulties, he was forced to sell the remainder in 1829.

During the Knopwood period, none of the subject sites were developed for anything more than agricultural purposes, however the roadway to Cottage Green was in close proximity to what is now 25 Salamanca Place. Figure 3.1.1 depicts Knopwood's Cottage Green building after the subdivision and when work had commenced to cut into the embankment to provide level platforms for the new buildings, the eventual site of 25 Salamanca would be to the right of this cutting.

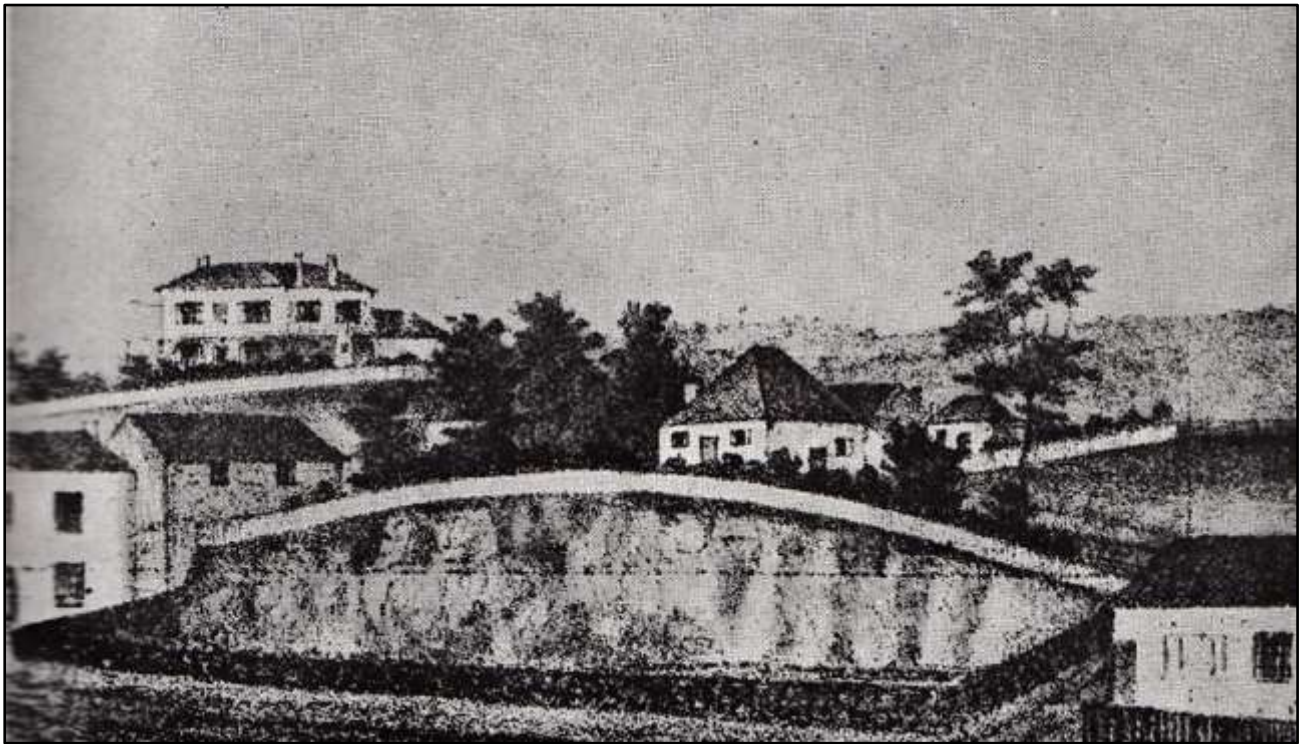



Figure 3.1.1 – An 1834 sketch of Cottage Green (Montpelier Retreat to the right). Originally published in Hobart Town Magazine vol. 3, 1834.

The following table depicts the developments on each of the subject sites (and sites comprising each subject site, following the subdivision of the Cottage Green estate. **Note that this table has been based largely on the research by Dr. David Young. The contribution of Dr. Young and Graeme Corney is therefore acknowledged and for further detail on the history of each site this should be read in conjunction with Dr. Young's history and Mr. Corney's CMP.**

Year										
1820s	<div></div> <div>DPIPWE Hobart 12, c1823.</div>									
	25	39	41	47	49	51				
	During the 1820s, all of the subject sites were still part of Knopwood’s original Cottage Green grant. All of these were outside the footprint of Knopwood’s house and outbuildings and were undeveloped beyond agricultural purposes. At this stage, the New Wharf had apparently not been touted although a road from the Old Wharf and Government House area to Mulgrave Battery was touted and marked on this plan. This did not follow the eventual line of Salamanca Place.									




Lee-Archer survey of New Wharf allotments, c1829. DPIPWE 90411.

25	39	41	47	49	51
By 1829, Knopwood's Cottage Green had been subdivided and reduced to a holding of 18 acres and the allotments fronting the New Wharf had been surveyed. Various government developments had occurred along the New Wharf, however none of the subject sites had been developed by that time.					
25 remained part of the Knopwood Cottage estate, which Knopwood was forced to sell in 1829. The purchaser was Governor Arthur, through his personal secretary Thomas Parramore. In 1837, the	There is question as to when the first development of 39 occurred, with some references claiming as early as 1829. Dr. Young has further researched this and has concluded that it is unlikely to have been	No development appears to have occurred on 41 during the 1830s.	The site of 47-51 straddles two of the Cottage Green allotments, purchased by Captain Haig (i.e. of Narynna fame) and James Grant. These appear not to have been developed until around 1834, possibly due to the lengthy process (as detailed by Dr. Young) regarding getting formal title to the precise boundaries of the properties.		

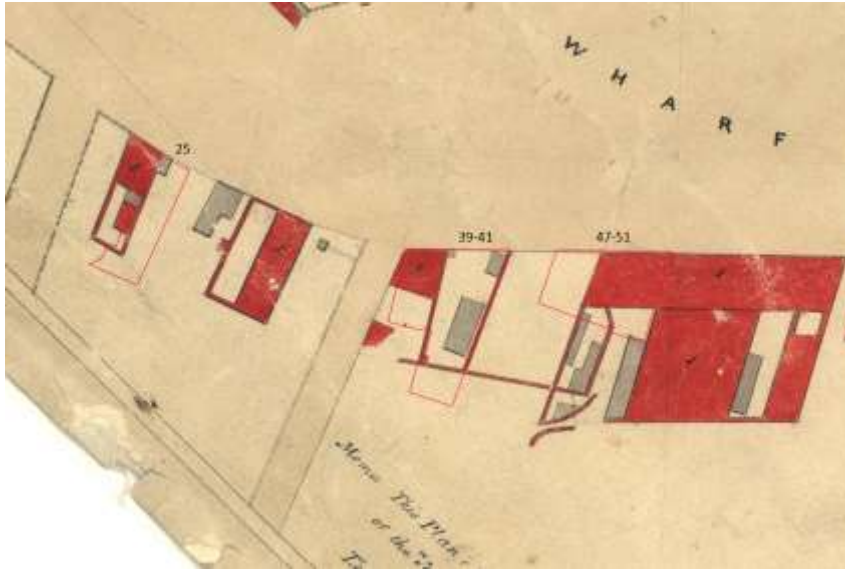


	land was conveyed to Arthur's new trustee, his nephew, Colonial Secretary John Montague. Shortly after that Montague subdivided the land, formed Gladstone Street and began to sell off allotments as suitable purchasers were found.	developed prior to 1834/5 when the current Whaler's building was constructed by Thomas Hewitt on land he had bought from a Mr. Hammond, who had bought one of the Cottage Green allotments. Mr. Reay Clark was the first proprietor of the 'Whaler's Return'.		
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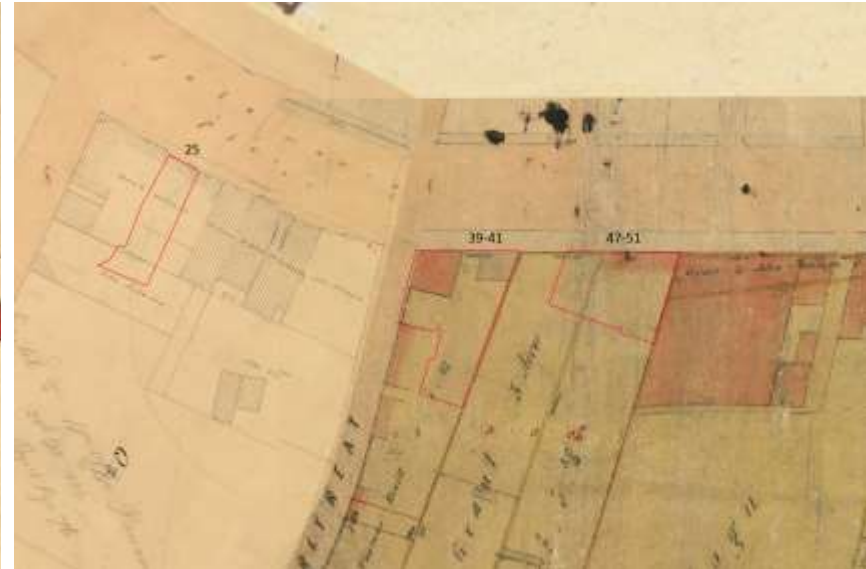
c1839	 <p>Frankland's 1839 survey and the 1841 census map (probably from the same survey). State Library of Tasmania, Allport Stack 912.94661MAP &amp; Tasmanian Archive and Heritage Office, CSO8-17-578.</p>				
	<b>25</b>	<b>39</b>	<b>41</b>	<b>47</b>	<b>49</b> <b>51</b>
	By 1839, no development had occurred on 25, and the site appeared to still be the excavated terrace as per Figure 3.1.1. overlooked by the Cottage Green homestead.	The Whaler's Return and a large building to the rear (still extant, outside the subject site) are clearly seen on the Frankland and 1841 Census maps. George Whitby became	There is no reference to development of 41 prior to 1844. The Frankland and 1841 Census maps show the adjacent (Whaler) building extending into this area, which is a drafting error.	Whilst Grant did develop his property as early as 1831, he concentrated on a residence at the Battery Point end of it, with a house built fronting Hampden Road.  Note that the Frankland and	By 1834, Captain Haig had erected two stone warehouses on his allotment (i.e. 49 and 51) – he and his family living in once whilst they built Narynna to the far south of their large allotment. He used the warehouses to sell the cargo that he had been imported on his own ship from London.

		<p>proprietor of the Whaler's Return in 1839 and in 1841 announced that improvements had been made, including stabling (probably outside the current subject site).</p>		<p>1841 Census maps do imply that the Grant allotment had been developed, this is clearly a drafting error and that the building depicted was limited to the Haig allotment.</p>	
		<p>William Lindsay purchased both the Whalers return and the allotment which is now 41 in 1842.</p>			

Early  
1840s-  
1860



Edgar's 1840 survey of the Hobart waterfront (DPIPWE 90421)



Sprent's c1843 map of Hobart and surrounds ([www.thelist.tas.gov.au](http://www.thelist.tas.gov.au)).



39-51 Salamanca Place, 1857. State Library of Tasmania NS SP\_ILS: 134625

25

39

41

47

49

51

	<p>The majority of 25 was purchased by Bernard Walford in 1842. Edgar's 1840 survey shows a small timber building right on the Salamanca Place frontage of the lot. Walford was in partnership with his neighbour, John Jones and had earlier built a hotel on Jones land, therefore it is feasible that the small building on Walford's land was some ancillary structure associated with the hotel. Although the edge of the adjacent building appears to be within the subject site on this survey, that is likely to be a drafting error. There appears to be no development towards the rear of the site at that time. Walford later acquired the Jones land and upon purchase of 25 expanded onto his own land with the construction of a warehouse which was occupied by John Johnson, shipchandler, the frontage of which can be seen on Sprent's c1843 survey plan (note that the Sprent plan generally only included portions of buildings publicly visible). After Walford became insolvent in 1843, his Salamanca assets were</p>	<p>The history of the Whaler's Return (and subsequent names) does not reveal much about the physical nature of the building and site. Dr. Young's work gives a comprehensive list of owners and licencees.</p> <p>Both the Edgar and Sprent surveys of 1840 and c1843 respectively show the building footprint largely as it remains today, with the larger building at rear (still extant, out of the subject site) also shown in part.</p>	<p>James Hunter announced in 1844 that he had opened a provisions, grocery and ship's chandlery store in a weatherboard building adjacent to the Whaler's Return. This was short-lived as Lindsay advertised the premises for lease the following year. The Edgar survey of 1840 shows three timber buildings in this area, suggesting that development may be earlier than 1844. The Sprent survey of c1843 only shows one building on the street frontage and in a larger form than that shown by Edgar (note that Sprent rarely depicted buildings which weren't clearly visible from public view).</p> <p>In 1855 the structures adjacent to the Whaler's Return were described as 'a range of shingled erections running very near to the Whaler's Return'. In the 1858 Assessment Roll, three separate buildings were</p>	<p>Edgar's 1840 survey and Sprent's survey of c1843 both show a lack of development on Grant's New Wharf frontage, although by 1847 Joseph Withers was running a cooperage from a shed on that property.</p> <p>Grant offered the property for sale in 1848. After difficulties in achieving a sale, the land was split, and the portion which now comprises 47 was eventually bought by timber merchant Matthew Fitzpatrick.</p> <p>As a timber yard, it appears that Fitzpatrick did not erect any substantial or permanent buildings on the land and in 1859 he sold the property to Alexander Clark, an engineer.</p> <p>By 1860, Clark had built the existing building at 47, described at the time as an engineer's fitting room, smithy and store. This ending what was an unusually late 'vacancy' in the street frontage of Salamanca Place. Clark, as the mortgagee of the adjacent property (now Kennedy Lane) by 1866 acquired that as part of the foundry.</p>	<p>Economic woes of the 1840s forced Haig to sell his Salamanca warehouses, which he carved off from the larger allotment which contained Narynna. These were sold to George Frederick Read, and Haig retained Narynna. Reed used one of the warehouses for his tea imports, whilst the other was leased to Isaac Wright, a wool merchant. Wright leased at least one of the warehouses until 1882.</p> <p>Both the Edgar and Sprent surveys of 1840 and c1843 respectively show the main warehouse building, with Edgar showing a range of smaller timber buildings and masonry walls at the rear, largely out of the current subject site.</p>
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	<p>purchased by Judah Solomon and left to his son Joseph upon his death in 1854. Various chandlers and merchants occupied the various floors of the warehouse up until 1858.</p>		<p>identified, one of which was described as an office. By 1861 there were three shops on the property.</p>		
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1860-  
1900



39, 41 & 47 Salamanca Place c1890. State Library of Tasmania AE417/3/3061.



47 Salamanca Place and what is now Kennedy Lane (right). From Hope. A. (2006): *A Quarry Speaks*.

25

39

41

47

49

51

Joseph Solomon died in 1894 and through the latter half of the nineteenth century the building was occupied on its various levels by a range of chandlers, merchants and storekeepers. By 1899 the building was empty and in 1902 it was purchased by George Adams.

James Lindsay (son of William) as absentee landlord was declared bankrupt in 1880 and his Salamanca properties put up for sale in 10 lots the following year. Frederick Brown purchased the subject sites (and others).

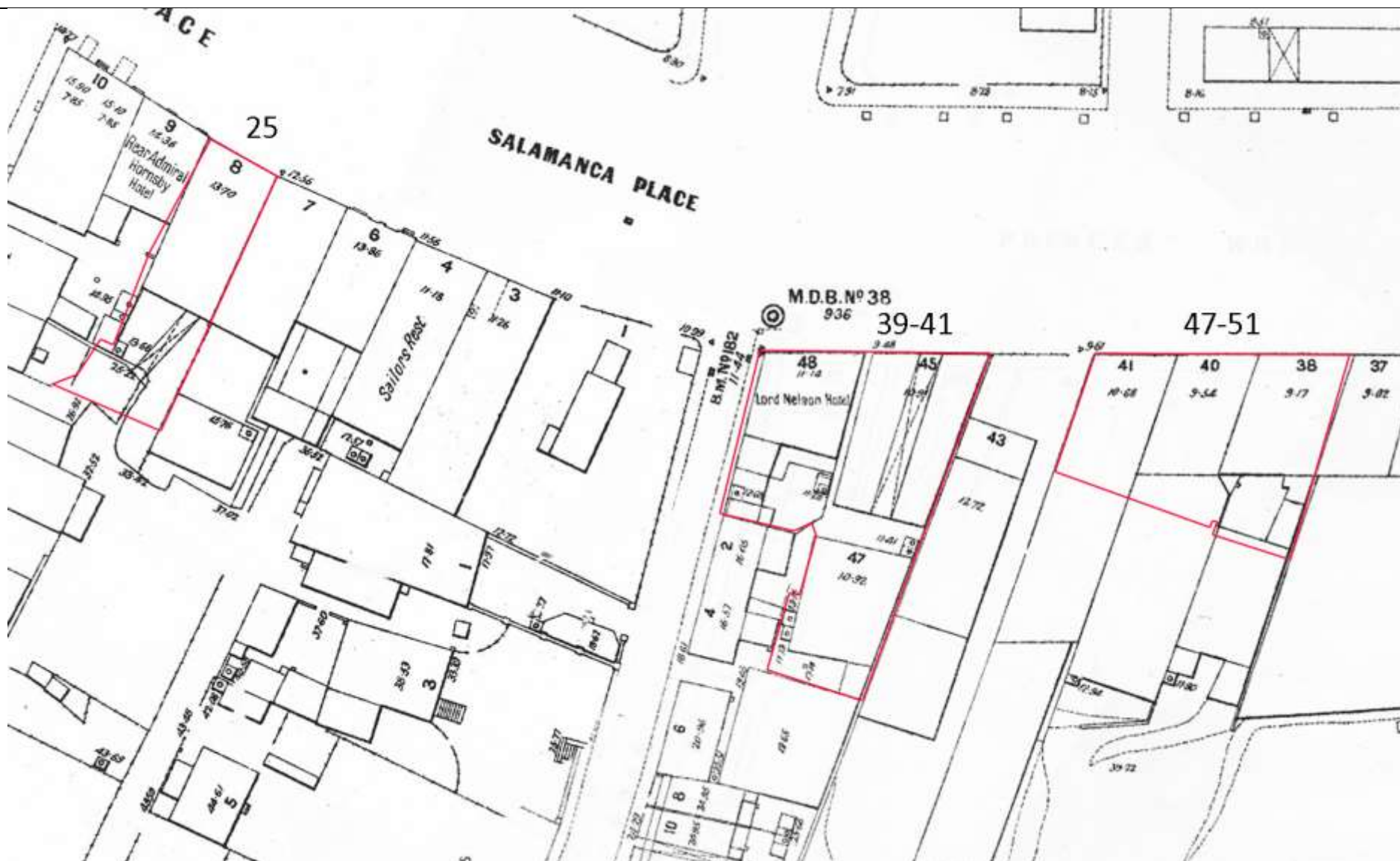
An 1881 advertisement for the (then) Nautilus Hotel described a six-stall stable and coach house at the rear (certainly outside the current subject site). A portion of the building (probably the LHS frontage) was use as a grocery store during part of the nineteenth century. Brown sold the premises to the Cascade Brewing Company in 1886.

The buildings were described in 1881 as having good stabling in the rear. In 1882 Brown opened a butchers shop. Brown offered the site for sale in 1883 and described three weatherboard cottages. After failing to sell the site, Brown built a further three weatherboard buildings.

In 1884, Clark sold the foundry to a Mr. Syme, who promptly appointed Robert Kennedy as manager.

Isaac Wright had retired in 1882, and his business interests operated from 49-51 were continued until 1905 by James Fryer & Co and successors.

1900s



Metropolitan Drainage Board plan, c1908. Tasmanian Archive and Heritage Office NS869-1-447, Hobart Sheets 31 & 33.

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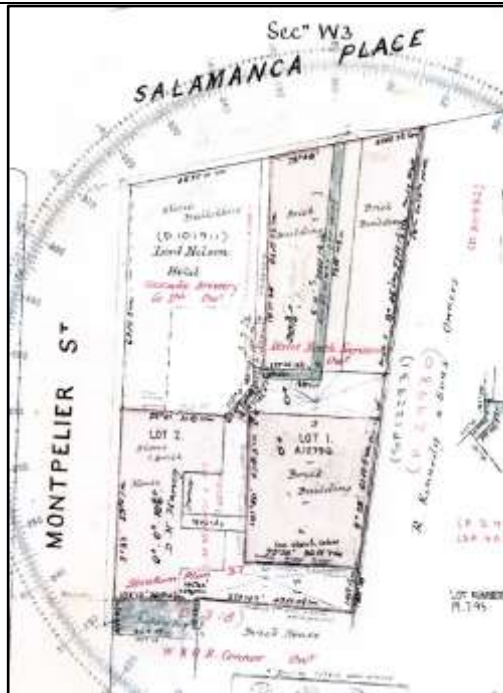
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1926 survey of 39-41 Salamanca Place. DPIPWE NS47/5.

After Adams death in 1905, the building was leased by his trustees as a shop, then in 1915 it was purchased by the Rosella Preserving Company for use as a sauce factory which operated from that site until c1934, shortly after that the building was briefly used for a depression relief canteen. The 1908 MDB plans show the main stone building (still standing) and what appears to be an open yard at rear with some form of a right-of-way or passage marked through it to the rear of the building. An outdoor privy is also marked.

The 1908 MDB plans show the original hotel footprint as it stands today, however what is now the rear extension of the hotel (c1947) is a yardspace with toilets and what appear to be sheds.

After defaulting on a mortgage, in 1903 Brown's collection of 6 cottages/shops were sold by the mortgagee to David Harvey. Harvey developed three brick warehouses on the property (c1904), two fronting Salamanca Place with a laneway between, servicing a third warehouse at the rear of the site (as well as a cottage to the rear of 39, outside the current subject site). In 1908 the warehouses were used as a carriage manufactory by Charles Dawson, who tenanted the buildings for that purpose and later storage up until 1925. The 1908 MDB plans as well as a 1926 survey of the site show the two warehouses fronting Salamanca with a laneway between (now consolidated into the one building) with the other warehouse at rear with a couple of toilets to the

Ownership of 49-51 had remained in the Read family and its executors until 1912, when the buildings were sold to the Kennedy family and consolidated with 47.

The 1907 MDB plans give little detail as to the backyard spaces of these buildings, and it is difficult to distinguish what are yard spaces and what are buildings. 49 is known to have extended substantially further back into what is now Salamanca Square and this plan implies some smaller building forms on the rear of 51.



1940s -  
present



1946 aerial run of Hobart (Run 1, 10894).

25

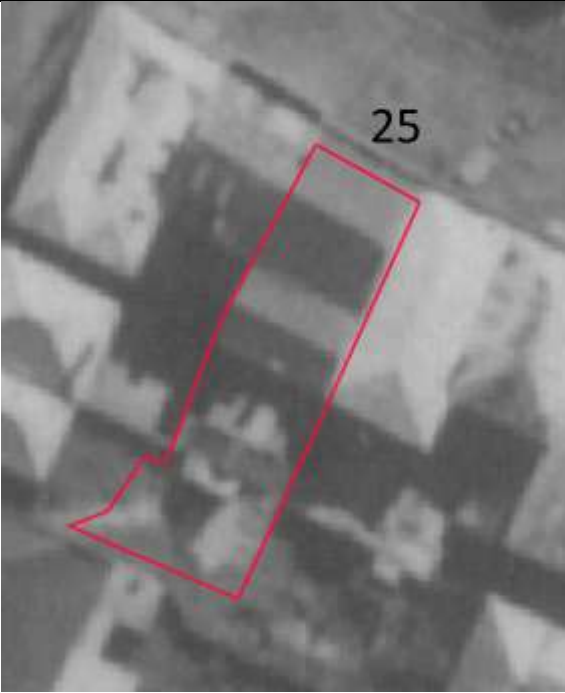
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51

																							
<b>25</b>	<b>39</b>	<b>41</b>	<b>47</b>	<b>49</b>	<b>51</b>																		
<p>The building, whilst still owned by the Rosella company, was used during WWII as a paper recycling depot. Other mid-twentieth century uses were proximately as a store by companies such as Henry Jones and Co. and Walch’s stationers.</p> <p>In 1963 the building was bought by W.H. Ikin and Son, fruit merchants and extensive modifications were undertaken, including the demolition of the rear building as seen on the 1946 aerial and construction of the existing brick warehouse at the rear and presumably the basement to the very rear.</p> <p>The building was purchased by Judith Richter in 1985 and the façade modified. The current owner</p>						<p>The hotel, later known as the Lord Nelson was owned by the Cascade Brewing Company until 1981 with a succession of leaseholders. A major renovation was undertaken in 1947 which added an art-deco façade to the building. It was purchased by Jacks Holdings in 1981 and the façade somewhat</p>						<p>The warehouses were used during the 1930s for various purposes, including a millet brook factory, seed store, produce store and boot sole factory.</p> <p>In 1941 Johnson and Wells foundry bought the buildings and operated from the premises until 1949 when they were sold to produce merchants Clement and Marshall. The building continues to</p>						<p>During and post-WWII, 49-51 were leased by the Kennedys to the Defence Department, Concrete Products and the Postmaster General. The Kennedys ceased trading in 1947 and in 1944 47-51 were sold to the Marine Board as a single lot.</p> <p>Various tenancies ensued for the following three decades before sale of the consolidated property to the Retirement Benefits Fund in 1985, then subsequently to the current owners in 1996.</p>					

	purchased the building in 1989.	restored to a more traditional form and finish. The current owners bought the building in 1984.	be used for produce sales (ground floor) with other office uses on the upper floor and rear. It was bought by the current owners in 1993.	
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## Summary of development

The above historical summary shows that each site has a traditional use as the following:

	Period	Use	Infrastructure	
25	Pre 1840	Cottage Green (probably gardens)		
	C1840	Largely vacant	Small timber building on N/W corner.	
	C1843-1915	Various merchants, ship chandlers, stores etc.	Existing stone building.	
	1915-1934	Rosella sauce factory	Existing stone building	Another building
	1934-1963	Storage for Henry Jones & Co, Walch’s etc.	Existing stone building	appears to have been built at rear after 1908 and before 1946
	1963-1985	Ikin fruit merchants.	Existing stone building and brick extension (over footprint of post-1908 building).	
39	Pre 1834	Cottage Green (probably agricultural)		
	1834-present	Hotel	Three-storey stone hotel building. Rear area was yardspace and privies before 1947 additions/renovations.	
41	Pre-1840	Cottage Green (probably agricultural)		
	1840-1883	Various retail, ship chandlery, butchers shop.	Three timber shops/cottages	
	1883-1904	Intensification of retail uses	Six timber shops/cottages	
	1908-1925	Carriage manufactory and warehousing	Three larger brick warehouses (still standing), now consolidated	
	1930s	Broom factory, seed store, boot sole factory		
	1940s	Foundry		
	1949-present	Produce store/retail		
47	Pre 1848	Cottage Green (probably agricultural)		
	1848-1860	Timber yard	Probably no major infrastructure	
	1860-1947	Engineering workshops, blacksmith etc.	Existing stone building.	
49-51	Pre 1834	Cottage Green (probably agricultural)		
	1834-1912	Warehousing (tea, wool and other items)	Existing stone building (formerly extended further rearward outside study area).	
	1912-c1942	Engineering workshops		

The following figures show overlay plans of known historic development on each of the subject sites based on the following sources which are deemed to be the most accurate:

- The 1840 Edgar and 1843 Kay surveys (probably both based on Edgar's survey) which precisely correspond to each other and are deemed accurate with a range of known reference points.



- The c1843 Sprent survey, which is really only of use for 39-41 Salamanca Place as that survey does not show buildings or parts of buildings not visible from public vantage points, and for 25 and 49-51 only shows the extant buildings therefore tells nothing of 'backyard' activity.
- The c1908 Metropolitan Drainage Board surveys. These are sometimes difficult to interpret as they often depict enclosed yard spaces and buildings in the same way, so that it can be difficult to differentiate between the two (particularly for ancillary/outbuildings).
- The 1946 aerial photograph, which in some cases provides difficulty in discerning features which are in shade, as is the case here with features in close proximity to the rear of the higher (Salamanca fronting) buildings.

## 25 Salamanca Place

1840 Edgar survey		Small timber building on Salamanca Place frontage probably associated with adjacent hotel development (i.e. at 23 Salamanca).
1908 MDB survey		Existing stone building with walkway to what appears to be a rear loading area in a yard accessed off Gladstone Street.

<p>1946 Aerial</p>		<p>Existing stone building with another post-1908 building in rear yard apparently joined by a linkway. These rear structures were demolished c1964 for the current rear extension and (probably) the existing rear basement area.</p>
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### 39-41 Salamanca Place

1840 Edgar survey





Foot print of the extant older portion of the Whaler hotel as currently stands. A series of stone walls between 39 and 41 and around the perimeter of 41 (parts of which are still standing). Three timber buildings depicted in 41 – a small building attached to the hotel, one small building fronting Salamanca Place and another larger building further rearward (timber buildings marked in green, masonry in orange).

c1843 Sprent survey



Foot print of the extant older portion of the Whaler hotel as currently stands. A larger building on 41 fronting Salamanca Place, which may be that as seen in the 1857 photograph as a large timber shop.



<p>1908 MDB survey</p>		<p>Foot print of the extant older portion of the Whaler hotel as currently stands. A series of yards and privies at the rear.</p> <p>41 comprises of the twin warehouses which are still standing but consolidated into once. The larger warehouse and a series of smaller sheds and privies is at rear.</p>
<p>1946 Aerial</p>		<p>Foot print of the extant older portion of the Whaler hotel as currently stands. A series of yards and privies at the rear. This is just prior to the 1947 makeover and rear addition to the building.</p> <p>41 comprises of the twin warehouses which are still standing but consolidated into once. The larger warehouse and a series of smaller sheds and privies is at rear.</p>

## 47-51 Salamanca Place


1840 Edgar survey



Haig's warehouses fronting Salamanca Place at 49-51 as they exist today. A series of masonry walls and timber buildings (mostly out of the subject site) to the rear.

No development at 47.

<p>1908 MDB survey</p>		<p>Haig's warehouses and the 1860 building at 47 with substantial rear extensions, part of which still stand. Possibly some yard space behind 51 although the MDB plans are difficult to differentiate between buildings and enclosed yard spaces.</p>
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<p>1946 Aerial</p>	 <p>An aerial photograph showing a large industrial or commercial building complex. The building is outlined in blue, and a red line traces a path along its rear and side, indicating a laneway. The surrounding area includes other buildings and streets.</p>	<p>Haig's warehouses and the 1860 building at 47 as they still stand. The rear extensions by this time had been dissected to form a laneway along the rear of the buildings and a number of minor additions and accretions had apparently been constructed along that laneway.</p>
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### 3.4. The likely significance and research potential of archaeological remains

The *Sullivans Cove Archaeological Zoning Plan* (SCAZP) provides the following statements as to the nature and significance of likely archaeological remains at each of the subject sites.

Each site along Salamanca Place is prefaced with the same general evolutionary statement:

*Sullivans Cove is important in the national context as the most intact 19<sup>th</sup> century trading port in Australia. Uniquely, it retains a high density of heritage sites and a continuing tradition of maritime activities.*

*At a state level, the built environment of Sullivans Cove is important for its physical record of the evolution of a principal trading port, founded on convict labour, and demonstrative of a pattern of substantial mercantile, commercial and industrial development. Both the remnant fabric and archaeological deposits present important evidence of a past waterfront community in which a wide range of residential, commercial and industrial entities co-existed.*

*New Wharf was developed in the 1830s to provide more sheltered facilities for shipping than those already existing at Old Wharf. Traditionally a warehousing area, it became associated with whaling and maritime industries such as coopering. The late 19<sup>th</sup> century move towards finger piers in Central Cove and short term storage in wharf sheds saw some of the warehouses on New Wharf/Salamanca Place utilised for manufacturing.*

Which is followed by a more specific statement for each place:

#### **25 Salamanca**

*Archaeological potential limited to subsurface construction details of extant 1841 structure.*

Disturbance history: Limited sub-surface disturbance expected. Most modifications likely to extant structure.

Archaeological rating: High archaeological potential of sub-surface construction details and deposits associated with 1<sup>st</sup> generation warehouse structure.

### **39 Salamanca (Whaler hotel, formerly Knopwoods)**

*Archaeological potential resident in subsurface components of extant 1<sup>st</sup> generation 1834 structure. Associated deposits may shed light upon continuing function of the building as a public house. Important as a representative of a relatively widespread but poorly understood facet of this period of waterside culture. Potential to facilitate comparisons between contemporaneous establishments (e.g. Sailors Rest & Lord Rodney Inn).*

Disturbance history: 1<sup>st</sup> generation building extant – minimal disturbance to subsurface deposits and features. Most modifications likely to extant structure.

Archaeological rating: High archaeological potential to contribute to an understanding of the evolution of a public house from 1834 to the present. Comparatively important as an example of type.

### **41 Salamanca Place**

*Historical information on the 19<sup>th</sup> century profile of this site is sketchy. Consequently, the archaeological potential of the site lies in the ability to determine phases of development not represented in the historical record. Note: Archaeological values linked to key significant periods probably partially compromised by subsequent site development processes [i.e. development of the 1904 building].*

Disturbance history: Evidence of 19<sup>th</sup> century developments are likely to have been disturbed but not totally destroyed through construction of Clements and Marshall's store in [sic] 1901.

Archaeological rating: The archaeological potential of the site lies in the ability to provide insight to 19<sup>th</sup> century uses of the place not implicit in historical documentation. This evidence is likely to have been disturbed by 1901 development. In this respect structural evidence is likely to have survived development disturbances better than soil deposits.

Note that 41 Salamanca Place is not included on Table 2, Part E of the SCPS97, therefore is technically not subject to the provisions of Part 22.6 of the scheme. However, inclusion on the Tasmanian Heritage Register does allow scrutiny of archaeological values, despite such values not necessarily being articulated in the datasheet for that place.

#### **47 Salamanca Place**

*Range of potential deposits and features associated with mid-to-late-19<sup>th</sup> century industrial functions. These are associated with a highly significant extant group of structures that comprised a large part of the New Wharf, Tasmania's main shipping and mercantile facility from the mid-19<sup>th</sup> century onwards.*

Disturbance history: Pre-1860s developments are unlikely to have survive substantial disturbance arising from construction of the Derwent Iron Works.

Archaeological rating: High archaeological potential to contribute to a functional understanding of iron works.

#### **49-51 Salamanca Place**

*Range of potential deposits and features associated with mid-to-late-19<sup>th</sup> century commercial functions. These are associated with a highly significant extant group of structures that comprised a large part of the New wharf, Tasmania's main shipping and mercantile facility from themed 19<sup>th</sup> century onwards.*

Disturbance history: Probably some modification of mid-19<sup>th</sup> century structures to accommodate later jam factory use but mostly additions as opposed to demolition of original infrastructures.

Archaeological rating: High archaeological potential to contribute to an understanding of the complex phases of use and occupation in particular, in differentiating between jam factory usage and earlier mercantile group of buildings that have associations with Captain Haig and Narynna.

Given the types of archaeological resources predicted in the SCAZP, coupled with the physical nature of each site, the archaeological potential may exist in several broad locations within each subject site, the following table summarises such:

Address	Underfloor deposits	Intra-floor deposits	Outdoor areas	Earlier structure(s)
25	Underfloor deposits relating to early warehousing, trade and mercantile operations.	Unlikely, given 'warehouse' building unlikely to have originally had ceilings.	Basement area was not able to be inspected but appears to date from the 1960s renovations and would have obliterated any earlier archaeological potential.	May be evidence of early (pre-1840) timber structure at front of site. Any evidence of post-1908 structure under the 1964 extension not deemed to be of significance.
49			Extant structures once extended through the laneway at rear – evidence may remain.	The current structures are the first-generation buildings on the site.
51				Whilst this site was earlier used as a timber yard, cooperage etc. it is unlikely that any substantial buildings were built in association with these activities.
47	Underfloor deposits relating to latter half of nineteenth century industrial/engineering processes.			
39	Underfloor deposits relating to almost 200 years of hotel operations. Basement?	Intra-floor deposits representing various uses of each of the upper floors possibly remaining between floors/ceilings.	Possibly remains in the laneway associated with near infrastructure of the hotel (e.g. drains, paths) – not deemed to be of high significance.	Possibly remains of ancillary structures behind the original hotel building – not deemed to be of high significance.
41				Possible remains of a range (6+) earlier timber commercial/residential buildings dating to as early as 1840.



As per the findings of this document, the subject sites each has the potential to yield information which contributes to a knowledge of these themes and their analysis in local, wider thematic and temporal contexts, including:

- Early warehousing, trade and commerce at the 'New Wharf' (25, 49, 51)
- Almost 200 years of hotel operation (39)
- Mid-late c19th industry (foundry etc.) (47, 49, 51)
- Small and early timber shops/commercial activities. (41)

A substantial amount of archaeological research has been undertaken within the Hobart waterfront area, in particular the Wapping area (Austral Archaeology, Arctas *et. al.* – 1990s-present) as well as the Old Wharf area - e.g. Zero Davey site (Austral Archaeology 2002), recent work on the Old Wharf probation station site (forthcoming), Dunn Street/Watergate (Austral Tasmania 2011) as well as the wider Hobart city centre. Recent extensive archaeological work has also been done by Austral Tasmania (forthcoming) in Montpelier Retreat on the site of Knopwood's Cottage Green buildings, Orr's warehouse and a sampling of other residential and commercial/hotel buildings across that site. However, archaeological work in Salamanca Place itself, particularly in relation to early warehouses, mercantile operations and hotels has thus far not been undertaken.

Such analysis also has the potential to address various research questions into the early functions of the Salamanca/New Wharf warehouses and other commercial sites, add depth to other similar such analyses of early-mid Victorian Hobart commercial sites

Archaeological remains associated with the extant Whaler hotel as the potential to yield information on this early and long-running hotel. There has been a number of archaeological investigations into early Hobart hotel sites which may provide a useful comparative dataset if considering comparative analysis of fringe-city versus central-city hotel sites. For example:

- Fishermans Arms & Shades Tavern, Hunter Street (Austral Archaeology)
- Exchange/McLaren's Hotel, Collins Street (Austral Archaeology 1997).
- Scotch Thistle, Liverpool/Barrack Street (Austral Tasmania 2011).

- Montpelier Hotel, Montpelier Retreat (Austral Tasmania, forthcoming).
- Dolphin Hotel, Campbell Street (ArcTas, forthcoming).
- Union Club/Caledonian Hotel/Currie's Hotel, Murray Street (Praxis Environment, forthcoming).

From a wider regional perspective, other colonial hotel sites investigated in Tasmania include:

- The Tamar Hotel, William Street Launceston (Archaeological Services Tasmania 2002).
- The Crooked Billet Inn, Brighton/Bridgewater (ArcTas c2012).
- The Globe Hotel, George Street Launceston (Praxis Environment 2014).

The results from any excavations in the Whaler hotel might add a useful comparative dataset for a range of lines of enquiry into early Tasmanian hotels (e.g. waterfront versus inner-city, urban versus rural, Hobart versus Launceston).

Of particular significance are any possible archaeological remains at 41 Salamanca Place, being a rare example of a much later developed 'permanent' building (i.e. 1904), where previously only small and more ephemeral timber buildings had been present. This scenario is practically unheard of in Salamanca, where almost all of the first-generation buildings were built as substantial permanent masonry buildings, mostly still extant, and that earlier generation of timber buildings were not present. Subject to the discussion on integrity (below), this site may be a rare example of such developmental practices in Salamanca.

From a wider regional perspective, archaeological data and remains yielded from the subject site, whether coupled with other Hobart/Tasmanian data, has the potential to strengthen a comparative dataset for research into intra-colonial society through comparison with mainland (and indeed inter-colonial society on an international level). For example early inner-city working-class communities such as Broadway, Cumberland/Gloucester Streets and the Rocks (Sydney) and Little Lonsdale Street (Melbourne) and portside working-class areas such as Port Adelaide, all of which have had substantial archaeological works undertaken, would provide useful datasets for the analysis of Hobart port areas data, which would in-turn add to the depth and scope of the analysis of those collections on the range of themes as outlined above (and others).

From a temporal perspective, any remains from the earlier occupation of the site (i.e. pre-1840) represent a formative period of Hobart's European settlement particularly in the New Wharf/Salamanca area and are likely to be of significance when considering their research potential – in particular the analysis of the

evolution of the sites and evidence of activities undertaken therein has the potential to yield information on the changing face of Hobart during the nineteenth century, particularly within the context of the growing and ever-changing port, Tasmanian economics, labour drivers etc.

Consistent with the 'Tiered research question' approach outlined in the Tasmanian Heritage Council's *Guidelines for Historical Archaeological Research on Registered Places*<sup>5</sup>, the following questions could be investigated in the archaeological remains expected to be present within the subject site:

**Tier 1 Questions:** These questions outline the essential knowledge base needed for any site research or significance evaluations. Such questions are often empirical in nature, and straightforward answers can be sought and often identified – generally limited to a physical knowledge of that particular place. Questions relevant to the subject site may include:

- How closely did the no longer extant buildings and site features conform to the historic plans?
- Can the earliest date of occupation of the place be identified (where this is not already known historically)?
- What construction methods were used in the buildings and other infrastructure that is no longer extant above ground, or in particular the floors of buildings now with concrete floors?
- What evidence of alteration of the natural landscape is archaeologically determinable (e.g. cutting/filling of the sites etc.).
- Are the distinct use/development phases of the buildings distinguishable in the archaeological record?
- Can any earlier layouts and functions of the buildings, and indeed individual rooms or yard spaces be ascertained?
- How thoroughly were the no longer extant buildings demolished?

Note that many of the above questions only relate to buildings no longer extant. Answers to these questions provide a foundation of information about the structure, type, use and duration of site occupation which enables the researcher to consider a second tier of questions.

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<sup>5</sup> <http://www.heritage.tas.gov.au/media/pdf/Archae%20ResGlines%20%20FINAL%20-%20June%202009.pdf>

**Tier 2 Questions:** Conclusions that can be drawn about a site that connect the material remains found on a site to specific behavior. For instance, how do artifacts relate to the lifeways of the households that lived on the sites, or occupations, business etc. undertaken on the sites? For instance, do any artifacts represent class, gender, taste and health/hygiene of those living or working on the sites? Particularly if artifacts can be specifically dated, and with supplementary historical research, artifact assemblages from these sites may contribute knowledge and provide tangible connectedness to known inhabitants and users of the sites and how they worked. Similarly, do artifacts or structural remains correlate with the known activities and occupations undertaken on the site (e.g. ship chandlery, engineering, etc.). How do these demonstrate the mix of commercial and industrial uses of the area?

**Tier 3 Questions:** These questions represent the highest level of inquiry. Such questions associate the activities and behavior at individual sites with broad social, technological and cultural developments – which can be of interest on local, national or global lines of enquiry. Whilst these questions posed for a single site may not reach conclusions in the short term (as Tier 1 and 2 questions might) – the collection of data can contribute to future research by the provision of a comparable dataset. The goal of such research is to develop increasingly refined and tested understandings of human cultures within broader theoretical or comparative contexts. Lines of wider enquiry that findings from within the subject site may contribute to are:

- Does archaeological evidence of the activities undertaken on these sites (e.g. manufacturing, processing, retailing, hotel) conform or conflict with other similar archaeological assemblages from such sites, either temporally, regionally or thematically?
- Do the conclusions on gender, class, economic and social status of the users of the buildings conform to the 'normal' early-mid Victorian commercial places?
- Did any changes in material culture through time in the residences coincide with wider Tasmanian or local events or technology (e.g. end of convict labour, urbanisation/development of Hobart, port/railway upgrades, start of rubbish collection etc.)?



### 3.5 Current site observations and assessment of prior disturbance

As per the methodology outlined in Section 2.1, Section 3.3 has formed a desktop assessment of the factors which have influenced the development of the possible archaeological resource within the subject site over a 180+ year period. This has indicated that the subject site has been the site of hotel, possibly some residential, commercial and industrial development, which as per Section 2.1 would have left archaeological traces (in the absence of disturbance).

**However, it is critical to understand other factors, in particular site disturbance, which may have impacted upon the archaeological potential of the site and its ability to provide meaningful archaeological remains which answer research questions such as those above.** This section will review site observations and likely scenarios which would have resulted in disturbance, in order to assist in understanding the likelihood of the survival of archaeological remains.

#### General site observations

Note that for further detail and description of the built form and elements, please refer to the Graeme Corney CMP. Not all rooms, floors and spaces could be inspected for the purpose of the current document, however where necessary the policies of this document can be applied to spaces not inspected (e.g. archaeology of built fabric).

#### 25 Salamanca

The site comprises of a large ground floor tenancy which occupies the entire ground floor of the 1840s stone warehouse building. The upper two floors of that building are large and open, each comprising chiefly a large single room. The floor between the ground and first has been replaced with a suspended concrete slab. It is unknown, but unlikely, that this building has a basement.

From the first floor, the 1960s brick rear addition is accessed via a slightly lower level, which is also a large single clearspan room. The walls of this building have integrated some early building fabric such as roughly hewn sandstone blocks and a range of earlier bricks – these early elements probably relate to development formerly on the adjacent lot, i.e. the c1840 hotel (the c1840 Edgar survey shows a range of masonry walls in this vicinity). This extension is built upon the footprint of the post-1908 building which formerly stood at

the rear of the earlier warehouse. At the rear of this extension is a small carpark, beneath which is a basement which appears contemporary with the 1960s extension, although could not be inspected to verify that hypothesis (**CHECK AE417 PLANS**) nor is the exact extent of that basement known at this stage. The presence of this basement, if confirmed as c1960s, demonstrates widespread and deep disturbance of the rear portion of this site – which was probably identified by the SCAZP which has excluded this area as a Place of Archaeological Sensitivity.



Figure 3.5.1 – The 1964 rear extension of 25 Salamanca Place, showing earlier fabric incorporated, probably from earlier development at 23 Salamanca Place.



Figure 3.5.2 – Entrance to the basement area at the rear of 25 Salamanca Place. All visible fabric appears to be mid twentieth-century.

### **39 Salamanca Place**

The Whaler hotel is the c1834 extant three-storey sandstone structure on this site, which comprises more than half of the footprint of the site, with the remainder being the 1947 extension to the rear which occupies the site of earlier yardspace, sheds and toilets as well as a small courtyard containing services.

The floor of the building is concrete [confirm] and there is no known basement [confirm]. The upper floors were not inspected as part of this project, however further detail can be found in the Corney CMP. This building has traditionally had ceilings, therefore there is the potential for intra-floor deposits beneath boards – although these have probably been subject to disturbance throughout the years of refurbishments. Note that such intra-floor deposits were found as a very substantial and significant collection in the former Hollydene building as part of the UTas Menzies Centre redevelopment which demonstrate the potential that

such deposits may have. From a different type of site, but also sowing such potential, is the collection of intra-floor deposits found in the Oatlands Gaoler's Residence by Southern Midlands Council as part of the restoration of that building.

The 1947 extension which houses the toilets and other services also has a concrete floor its construction is likely to have had substantial impact upon any earlier archaeological remains (being a substantial concrete building constructed in a period where mechanical excavation was common) which probably would have been limited to minor and/or ephemeral features such as timber sheds, paving etc.

The narrow laneway at the side of the building (between 39 and 41) leading to a small courtyard area containing services, are the only open spaces on the site. The laneway is likely to have been substantially disturbed as the only logical means of getting any underground services to the rear courtyard from Salamanca Place and is likely to have been trenched on a number of occasions therefore likely to be of low archaeological potential. This would also probably have been disturbed with the construction of the party-wall between the laneway and 41. The courtyard may have been subject to less disturbance, however is in an area where there is known only to have been minor and ancillary features associated with the hotel (noting that the known more substantial outbuildings originally associated with the hotel are now not part of the subject site). Consideration has been given to deeper features in this area which may have survived any shallow disturbance. Being a hotel, cesspits would be unexpected (given volume of patronage, nightsoil removal would have occurred) and wells are uncommon (if not completely absent) from the Salamanca area, therefore such deep features would be unexpected.

#### **41 Salamanca Place**

The current buildings at 41 Salamanca Place cover the entire footprint of the site. Little or nothing is historically known about the demolition of the earlier buildings on that site c1904 (with some of those buildings dating back possibly to the 1830s). Little is historically known about these earlier buildings. Being timber, they may have been somewhat ephemeral, however masonry foundations, deeper deposits such as basements, cesspits, rubbish pits and occupational debris may be extant. With little known historically, this site has the potential to yield further information about this site, which was an unusually late to be developed site (in terms of substantial masonry buildings) in the context of Salamanca Place.



Although the original plans for the extant buildings appear not to have survived, the 1904 warehouse buildings are relatively 'clearspan' which may suggest that there was minimal excavation for strip footings through the site (i.e. which would be needed for a building with a more complex floor plan). The 1904 warehouse at the rear has been largely superseded by a c1960s replacement or substantial rebuild – the extent of disturbance from that building is also unknown. Noting that the 1904 building was constructed before the widespread advent of mechanical excavation, and noting that the (concrete) floor level of that building is just above street level (with ramp access), then it is entirely feasible to predict that the underlying historic ground level has remained somewhat intact and any shallow and deeper archaeological deposits may have relatively little disturbance.

#### **47-51 Salamanca Place**

47-51 Salamanca Place, being the extant first-generation buildings on those sites have not replaced any earlier development on the sites therefore the archaeological potential is limited to the earlier usage of those buildings. Whilst 47 did replace an earlier timber-yard and cooperage use on that site, historically it is known that few (or no) substantial or permanent buildings were associated with those earlier activities. Archaeological potential is therefore limited to the possible underfloor deposits which may yield information on the earlier use of those sites for commercial and industrial purposes. With concrete floors, the current floors may have essentially sealed those earlier deposits beneath the interior of the buildings, however it is not known how thoroughly those buildings were cleared of earlier floors or underfloor deposits. As industrial/warehouse buildings which would not have originally had ceilings, the chances of surviving inter-floor deposits is little or none.

The laneway at rear is the only outdoor space, however this has been cut through the ground floor of what formerly were rear extensions to those Salamanca fronting buildings, so essentially any archaeological remains beneath here would be 'underfloor deposits', however as the only logical line to get underground services to these (and other) buildings there is likely to have been substantial shallow disturbance of this laneway which would essentially disturb any shallow archaeological remains. Some disturbance would also have occurred from the installation of the staircase, balcony footings, minor outbuildings etc. Deeper remains in this area are considered unlikely (as former underfloor areas).

Given the consideration of possible disturbance events alongside the nature of archaeological remains, the following table is a revised consideration of the archaeological potential of each part of each subject site (annotations further to consideration of disturbance in blue):

Address	Underfloor deposits	Intra-floor deposits	Outdoor areas	Earlier structure(s)
25	Underfloor deposits relating to early warehousing, trade and mercantile operations.	Unlikely, given 'warehouse' building unlikely to have originally had ceilings.	Basement area was not able to be inspected but appears to date from the 1960s renovations and would have obliterated any earlier archaeological potential.	May be evidence of early (pre-1840) timber structure at front of site.  Any evidence of post-1908 structure under the 1964 extension not deemed to be of significance.
49			Extant structures once extended through the laneway at rear – evidence may remain. <i>Any shallow remains of these structures likely to have been disturbed by later development. Deep structures/deposits considered unlikely.</i>	The current structures are the first-generation buildings on the site.
51				Whilst this site was earlier used as a timber yard, cooperage etc. it is unlikely that any substantial buildings were built in association with these activities.
47	Underfloor deposits relating to latter half of nineteenth century industrial/engineering processes.	Intra-floor deposits representing various uses of each of the upper floors possibly remaining between floors/ceilings. <i>Possibly have been disturbed through successive renovations of the building.</i>	Possibly remains in the laneway associated with near infrastructure of the hotel (e.g. drains, paths) – not deemed to be of high significance. <i>Likely to have been disturbed by intra-site services along the laneway and by construction of 41 Salamanca.</i>	Possibly remains of ancillary structures behind the original hotel building – not deemed to be of high significance. <i>Likely to have been substantially disturbed by 1947 building.</i>
39	Underfloor deposits relating to almost 200 years of hotel operations. Basement? <i>Need to confirm presence or not of basement.</i>			
41				Possible remains of a range (6+) earlier timber commercial/residential buildings dating to as early as 1840. <i>High likelihood that these have survived with a good level of integrity.</i>

### **3.6. Archaeological zoning plan and policies**

As per the methodology outlined in Section 3.1, this section has built a chronology of site development which has detailed the physical evolution of the site and events/processes which would have acted to build the archaeological record. Section 3.4 has discussed the likely significance of those archaeological remains and what they may yield in terms of research potential alongside key historic, regional, thematic and temporal lines of enquiry. Section 3.5 has provided an assessment of the events which are likely to have impacted upon the integrity of those archaeological remains.

From the above, it is therefore possible to formulate an archaeological zoning plan, which provides an indication of the parts of the sites which are likely to yield significant archaeological remains. The spatial reference provided by the zoning plan can then be coupled with archaeological management policies, which are guided by the significance of the particular remains expected and their ability to yield information as per the research questions.

The following tables depicts the areas of archaeological potential as per the above discussion for each of the sites:



25

Salamanca Place



Red


**High archaeological potential** for underfloor deposits of high significance relating to 100+ years of commercial usage of the building. May have some disturbance from later concrete floor.


Blue

**Medium archaeological potential** for high-significant remains of pre-1840 timber building (first generation building on-site).

Green

**Low/no archaeological potential** (subject to a closer inspection of the extant basement, likely to be c1960s). Any remains likely to be associated with post-1908 development of low/no significance.

<p><b>39-41</b> <b>Salamanca Place</b></p>	
<p>Red</p>	<p><b>High archaeological potential</b> for underfloor deposits of high significance relating to 100+ years of hotel and commercial use of the building. May have some disturbance from later concrete floor and renovations. These may exist on all floors of the building.</p>
<p>Blue</p>	<p><b>High archaeological potential</b> for high-significance remains of pre-1840-1880s timber buildings (first generation buildings on-site) beneath the ground floor of all parts of the building(s). Extent of this area is not known, may be reduced with further research.</p>
<p>Orange</p>	<p><b>Medium archaeological potential</b> for early ancillary infrastructure associated with hotel use. Possibly disturbed by later services.</p>
<p>Green</p>	<p><b>Low archaeological potential</b> – although possibly the site of early ancillary infrastructure, probably highly disturbed by later works/development.</p>

<p>47-51 Salamanca Place</p>	
<p>Red</p>	<p><b>High archaeological potential</b> for underfloor deposits of high significance relating to 100+ years of commercial use of the building (from c1834). May have some disturbance from later concrete floor. This potential is likely to be limited to the ground floor only.</p>
<p>Orange</p>	<p><b>Medium archaeological potential</b> for early ancillary infrastructure associated with commercial/industrial use. Probably disturbed by later services. And minor infrastructure.</p>
<p>Purple</p>	<p><b>High archaeological potential</b> for underfloor deposits of high significance relating to 80+ years of industrial use of the building (i.e. post-1860). May have some disturbance from later concrete floor. This potential is likely to be limited to the ground floor only.</p>

**Accordingly, the following archaeological management policies are recommended:**

1. Any excavation proposed in areas of **high archaeological potential** must be preceded by an archaeological impact assessment, and if necessary an archaeological method statement, which details measures to be taken to avoid or mitigate impact upon the archaeological resource. That method statement must be in accordance with industry standard (e.g. the Tasmanian Heritage Council's Practice Note 2 – *Managing Historical Archaeological Significance in the Works Application Process*) and implemented in the works process.
2. Any excavation in areas of **moderate archaeological potential** must be monitored by a qualified historical archaeologist, and if any significant remains (as guided by the commentary on expected remains above) are encountered, then these must be dealt with in accordance with industry standard (e.g. the Tasmanian Heritage Council's Practice Note 2 – *Managing Historical Archaeological Significance in the Works Application Process*).

Note that works as per above are likely to require a development application to Hobart City Council, who will assess the acceptability of the approach to archaeology as part of the development appraisal process.

3. Generally, no archaeological input is required for excavation in areas of **low/no archaeological potential**, however any unexpected finds must be reported to a qualified historical archaeologist who is to assess their significance and deal with any significant finds as per (1) and (2) above. There is merit in an archaeological inspection of initial excavation in this area in order to refine archaeological judgments and to broadly document site formation processes in that particular area. If it is found that these areas have a higher than expected archaeological potential, then that part of the site is to be dealt with as per the provisions for high or medium archaeological potential at the discretion of the archaeologist.
4. Aside from archaeological potential in subsurface and sub-floor deposits, the multiple generations of usage of these buildings, being repurposed and renovated on many occasions, all would have left evidence in the building fabric. Any future development of the buildings should be guided by a CMP which considers the evolution of the buildings and how undocumented history may have manifested



in the extant fabric. Any future development of the buildings should include a component for exploring and documenting the evolution of built fabric in the development process, and an architect with heritage experience or an historical archaeologist with experience in built fabric must be engaged to document such evidence. Any such evidence should also be considered for the incorporation into any interpretation plan for the buildings.

5. Where possible, the preference is to not disturb archaeological remains, however it is acknowledged that the feasible redevelopment of the site may not be possible without doing so. Consideration should be given to any development design to minimise potential impact, however if this is not feasible the above policies (and implementation of method statements pursuant to those policies) are considered sufficient to yield the archaeological potential of the site. An archaeologist should be included in the project design team in order to manage archaeology as part of an iterative process between the client, archaeologist, designer(s) and permit authorities.
6. Consideration should be given in any redevelopment of the site to incorporate archaeological remains (e.g. as interpretation) however this should not inhibit the feasible redevelopment of the site.
7. A test-trenching program may be employed to refine the archaeological judgments outlined in this document and to better guide the design and implementation process (note that test-trenching may require development approval).
8. All results from any archaeological work on the site should be made widely available in order to support the ongoing research of the Salamanca area (and wider Hobart/early Tasmania). Copies of any archaeological reports arising from any of these places (including the current document) should be lodged with Heritage Tasmania and Hobart City Council and any other relevant repository.

## 4. Archaeological Impact Assessment

A proposal has been developed by Circa Morris-Nunn Architecture for the conversion of parts of the subject sites into serviced apartments. The preliminary scheme is detailed in Circa Morris-Nunn drawings 1526sko1-05pre (25 Salamanca), 1529sk01-04pre (39-41 Salamanca) and 1528sk01-04pre (47-51 Salamanca).

The development is mostly limited to the first and second floors of the buildings, therefore no widespread ground disturbance is proposed (with the exception of ground floor development at 25 Salamanca – limited to the area of lo/no archaeological potential) however there are several aspects of the development which may have some archaeological impact and may require some mitigation strategies as per the policies developed in Section 3.6. These are detailed in the following tables:

25 Salamanca Place	Proposed works and possible impact
Areas of high archaeological potential	No works proposed
Areas of medium archaeological potential	No works proposed
Areas of low/no archaeological potential	Substantial works with the refurbishment of the existing 1960s extension, and an extension over the existing rear carpark and c1960s basement.

39 Salamanca Place	Proposed works and possible impact
Areas of high archaeological potential	Proposed lift in the N/E portion of the frontage of the building, in the areas of the building known to have been associated with early hotel and other commercial activities. Excavation for lift foundations and overrun shaft may have some impact.
Areas of medium archaeological potential	Demolition of existing (modern) infrastructure, which will have no impact on any underlying archaeological remains.
Areas of low/no archaeological potential	No works proposed.

<b>41 Salamanca Place</b>	<b>Proposed works and possible impact</b>
Areas of high archaeological potential	No works proposed
Areas of medium archaeological potential	No works proposed
Areas of low/no archaeological potential	No works proposed.

<b>47-51 Salamanca Place</b>	<b>Proposed works and possible impact</b>
Areas of high archaeological potential	No works proposed
Areas of medium archaeological potential	<p>Demolition of existing (modern) infrastructure, which will have no impact on any underlying archaeological remains.</p> <p>Excavation for lift foundations and overrun shaft is in an area where there is likely to have been previous shallow disturbance, therefore archaeological impact is unlikely.</p>

The above tables show that the proposed development has the potential to have very little archaeological impact, and of which over a very limited area of the proposed development site. The following areas are likely to require some archaeological mitigation in the current works program:

- The lift foundations proposed in the frontage of 39 Salamanca Place.
- A pre-works inspection of the basement area at the rear of 25 Salamanca Place, which in any case is expected to be in an area of low archaeological potential. If that inspection reveals information contrary to that predicted here, then a revision of the current document may be required.
- Inspection of the excavations for the lift foundations behind 47 Salamanca Place is recommended, primarily as a means of refining the archaeological judgments in this document (which may assist in streamlining any future works planning in the rear laneway in the future).
- Note that the extent of modification of fabric in extant buildings does warrant the implementation of Policy 4 (Section 3.6) which requires a heritage architect or historical archaeologist with

experience in heritage buildings to document any earlier building phases as may become evident in the works process.

The possible archaeological impact arising from such, and the consequent mitigation strategies, will be proposed in Section 5.



## 5. Archaeological method statement

As per Section 4, the proposed development is unlikely to have any widespread archaeological impact. It is recommended that excavation in the following areas be monitored by a qualified historical archaeologist:

- The lift foundations in the front area of 39 Salamanca Place.
- The lift foundations in the laneway behind 47 Salamanca Place

The possible/likely archaeological remains that may be encountered are detailed in Sections 3.5 and 3.6. In addition, this monitoring will allow a sampling of the nature of deposits, whether significant or not, and may yield some information as to the natural and early alteration of the Salamanca Place landform.

Whilst there is no other ground disturbance proposed in areas of medium or high archaeological potential, the head contractor must be briefed on archaeological requirements and if any design amendments require excavation in these areas then those works will require a further archaeological impact assessment and be dealt with as directed by an historical archaeologist in-line with the methodology below. The head contractor and works crews must also be briefed on the call-in requirement (as per Policy 3) that if any unexpected archaeological remains are found, then an archaeologist must be called in to assess. Such briefing must include the basis information what to look for to trigger such call-ins, and make it clear that ultimately it is the discretion of the archaeologist as to the course of action should any unexpected discoveries be made.

Note also that as per Policy 4, the implementation of the works is to have a component of the recording of building fabric (e.g. as non-significant modern accretions are removed, as guided by the CMP). This may either form part of the historical archaeological brief, or be managed by the project architect (or sub-contracted heritage architect) as guided by the CMP.

The following archaeological methods are to be employed:

### **5.1. General approach to works**

It is proposed that excavation will occur concurrently with works, primarily as a monitoring exercise. It is not considered feasible nor necessary for any up-front archaeological works to occur. Construction personnel must consider the timelines involved with the project to allow for archaeological investigations to occur during the works, which may require periods of shut-down whilst any significant remains are further investigated (noting that other areas may be worked upon if it is necessary to stop-works in a particular area).

### **5.2. Excavation of each area (i.e. lift foundations)**

Following the removal of the concrete slabs, each location will be excavated by mechanical excavator with a 600mm wide flat edged bucket under the supervision of a qualified historical archaeologist (assuming such an excavator can feasibly access the interior area at 39 Salamanca). Sub-slab deposits will be excavated in layers of 50mm (or as directed by the archaeologist) until the required depth is reached. Spoil will be sieved where it is possible that significant underfloor deposits may be present – where spoil appears to be sterile fill, then this will not be sieved.

If any significant archaeological remains are encountered, excavation will continue by hand (as per methodology below), to expose the remains in order to gain further understanding of their nature, and to thoroughly record them (as per methodology below). Mechanical excavation in those areas will only continue if the archaeologist is satisfied that this can occur without detriment, and that excavation by hand is not necessary and significant remains will only be removed if the archaeologist concludes that there is no prudent or feasible alternative to their retention (e.g. by design amendment, trench realignment etc.).

The general approach to excavation will be by removal of each contextual unit or spit (in depths as deemed appropriate by the archaeologist, according to the nature of the strata and/or remains). Each area will not be gridded as the general footprint of each lift foundation is considered a manageable size for horizontal control for any archaeological investigations.

Once the nature of any particular feature is better understood, the archaeologist will assess its significance and if considered the level of recording that is pragmatic to extract the archaeological information and act to mitigate the impact – all archaeological structure and deposits within the footprint proposed for excavation

will be removed after recording as it is not considered feasible to preserve any such remains through design amendment.

### **5.3. Cessation of archaeological input**

Archaeological input will be ceased when (either):

- Any significant remains and/or deposits have been fully documented as per the methodology below, and removed.
- When sterile (natural) ground is encountered.
- If it is found that there has been more substantial disturbance or for whatever reason the archaeological potential of that particular area is less than predicted.

### **5.4. Post excavation procedures**

#### **5.4.1 Analysis of contexts and artifacts**

Analysis of structure, fill and artifacts will be undertaken within the contexts of the site phases detailed above utilising supplementary histories deriving from those associations where appropriate, an in-line with the key research questions as outlined above.

In order to comply with Section 6 of the Tasmanian Heritage Council's Practice Note 2, any significant artifacts found during excavations will be retained, and have the required in-field conservation treatments and packaging undertaken. Artifacts will be bagged and tagged with spatial identification, and removed from the site (to a secure location) daily. Trench-notes will further detail the context and initial interpretation of artifacts.

Basic post-field curation of artifacts will be undertaken. Glass and ceramic items will be washed, whilst any organics or metals will be dry-brushed. Artifacts will be packaged in acid-free archive bags, tagged with appropriate tags, and boxed in archival quality boxes (with appropriate padding if required). Should any

urgent conservation treatment be required, a professional Conservator will be consulted at the earliest possible instance. A detailed catalogue of artifacts will be included in the final report on works.

The basic thematic analysis and interpretation of artifacts will be guided by the research question framework as outlined above. The scope of the analysis of any artifacts will not extend to the contexts of the above Tier 3 research questions, however the collection will be made available to bona-fide researchers in the future if that is desired - e.g. for comparison against other available artifact assemblages of relevant type, or from comparative sites nationally (and/or internationally).

After any required analysis, these will be stored (with a copy of relevant reports) on-site at each respective site in perpetuity and/or used on interpretive displays if desired by the property owner. Artifacts will remain the property of the property owner. If any artifacts are considered to have very high archaeological or interpretive value, discussions with appropriate institutions will seek to negotiate long term storage and/or display.

#### **5.4.2 Reporting:**

Following the completion of works (and within 3 months of completion), a report on excavations will be prepared and submitted to the Tasmanian Heritage Council, consistent with the provisions of Part 4.2 of the Tasmanian Heritage Council's Practice Note 2 – *Managing Historic Archaeological Significance in the Works Application Process* (even if no significant remains are found). This report will specifically address the research questions outlined above and will also include:

- An executive summary of findings
- Details of the methodology employed
- Detailed interpretations of findings
- Relevant annotated photographs
- Site plans at a scale of no less than 1:200
- Trench plans at a scale of no less than 1:50
- Feature plans/sketches at a scale of no less than 1:20
- Photograph log

A project archive will also be submitted to the Tasmanian Heritage Council.



## **5.5 Aboriginal heritage**

This document deals solely with the management of historic cultural heritage, and has not considered Aboriginal cultural heritage. As some excavation is likely to occur in ground below the historic layer, there may be the chance of encountering Aboriginal cultural heritage. There is also the possibility of encountering Aboriginal heritage in a secondary context (e.g. fill, or post-contact-period deposition). Archaeological monitoring should be mindful of this possibility, and pursuant to s.14 of the Aboriginal Relics Act 1975, any Aboriginal heritage encountered should be immediately reported to the Tasmanian Aboriginal Heritage Office, and works in that particular area cease until instructions for that office are received. Critical timeframes must be mindful of this possibility, and have contingencies for downtime accordingly.

## **5.6 Site contamination**

It is the responsibility of the proponent of the development to investigate the possibility of site contaminants, and to either verify that no site contaminants are present, or to take required measures to deal with any known or likely contaminants during excavation works (noting that any necessary decontamination works may require archaeological input).

# 25 SALAMANCA PLACE, BATTERY POINT

## CONSERVATION MANAGEMENT PLAN

**draft** 23 August 2016

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### APPENDIX

No's 25, 39, 41, 49 and 51 SALAMANCA PLACE, A History by David Young



**Figure 1** 25 Salamanca Place is the centre building

## 1 INTRODUCTION

This is a Conservation Management Plan (CMP) of 25 Salamanca Place, Battery Point. The owner has engaged Circa Robert-Morris Nunn Architects to design a high quality hotel across three separate but nearby sites, 25 Salamanca Place, 39-41 Salamanca Place and 47-51 Salamanca Place.

All sites are heritage listed and are parts of the group of former stores that make up the nationally significant Georgian warehouses now known as Salamanca Place.

I have been commissioned by the owner to provide heritage guidance to this project through CMPs for each of the three sites.

### 1.01 The Need for a Conservation Management Plan

The group of former warehouses that make up Salamanca Place are of national heritage significance. All of the warehouses including 25 Salamanca Place contribute to the built edge of Sullivan's Cove, the iconic historic port that forms the backdrop for international famous cultural activities such as the Salamanca Market and the finish of the Sydney Hobart Yacht Race.

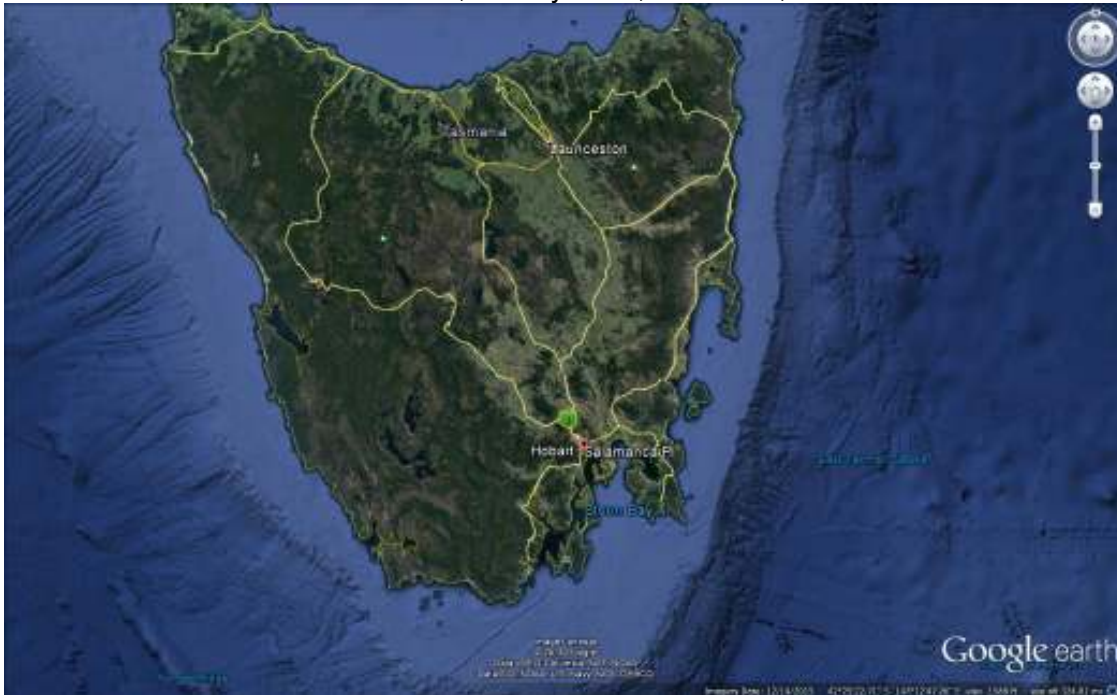
The purpose of this Conservation Management Plan (CMP) is to explain the heritage values of the site to its owner and to the project architects and to provide practical guidelines so that the site can be managed in a sensible way that shows off and protects what is culturally important.

### 1.02 Author identification

This CMP was prepared by Graeme Corney, architect & heritage consultant. The historical information is by historian David Young.

### 1.03 The site

The location is 25 Salamanca Place, Battery Point, Tasmania, Australia.



**Figure 2** Google aerial of Tasmania showing Salamanca Place



**Figure 3** Google aerial of 25 Salamanca Place and immediate environs.



#### 1.04 Methodology

The methodology of this report follows the principles of JS Kerr's *The Conservation Plan* fifth edition 2000 and the *Burra Charter: The Australian ICOMOS Charter for the Places of Cultural Significance* 2004.

#### 1.05 Exclusion of Aboriginal heritage values

This CMP does not consider Aboriginal heritage values.

#### 1.06 Acknowledgements

The author acknowledges the assistance of the following people in the development of this CMP:

- Robert Morris-Nunn and staff who provided access to the sites and base drawings

## 2 HISTORICAL EVIDENCE

#### 2.01 Aboriginal occupation

Prior to the British invasion and settlement of in 1803, Aboriginal Tasmanians were divided into 9 tribes of about 250-700 people.<sup>1</sup> Each tribe was made of a number of small member bands. Each of the nine tribes controlled specific territory. Some bands from other tribes were allowed to enter other tribal territory for seasonal hunting. To enter a territory without permission of the occupying tribe could start inter-tribal warfare.

The tribe that occupied the Hobart area was the Mouheener people of the Tahuni Lingah or Nuenonne language group<sup>2</sup>. Europeans have called them the South-East tribe.

They occupied the south east coast and lived in balance with the resources of seafood, animals and wild berries available to them. However within 5 years of British settlement, a combination of food shortage in the new white settlements and lack of sensitivity towards the indigenous culture and seasonal migration of the local tribe, led firstly to direct competition for the local food supply, then eventually to open conflict between the settlers and the natives.<sup>3</sup>

After years of steady expansion of settlers into rural areas, and the resultant conflict, the Aboriginal people were under siege and their numbers reduced. By November 1828 Colonel George Arthur – Lieutenant Governor of Tasmania (then Van Diemen's Land) had declared martial law.<sup>4</sup> The conflict between the settlers and the Aboriginal people culminated in the Black Line Offensive of November 1830. The moving line of troops and European settlers was set up to drive Aboriginal people out of settled areas.<sup>5</sup>

In recent decades some moves towards reconciliation have finally taken place. Some land has been returned to the Aboriginal people and there is now broader community acknowledgement and understanding of their culture.

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<sup>1</sup> Julia Clark, *The Aboriginal People of Tasmania*, The Tasmanian Museum & Art Gallery, 1983. p.24

<sup>2</sup> Godden Mackay Logan Pty Ltd, Officers Mess, Anglesea Barracks CMP 2008.

<sup>3</sup> Ryan, Lyndal 1996, *The Aboriginal Tasmanians*, Second Edition, Allen & Unwin, St Leonards, NSW, p77.

<sup>4</sup> *ibid*, 99.

<sup>5</sup> *ibid*, p110.

## 2.02 History of the site

This CMP draws on *25 Salamanca Place, Battery Point, a history* by Dr David Young 2016.

The first group of marine stores were built on the former Hunter Island on the northern side of Sullivan's Cove. Most of these stores remain and now house the Henry Jones IXL Art Hotel, a facility of the University of Tasmania, restaurants and shops. As the warehouses were exposed to the prevailing north-westerly winds and as shipping increased the demand for more warehouse space led to the construction of stores on the southern side of the Cove. This area became known as the 'New Wharf'.

The first stores at the New Wharf were built in 1833. A further group of stores were constructed from the 1840s onwards –as an extension of Salamanca Place immediately west of the New Wharf.

25 Salamanca Place was one of the stores that extended the building edge of Salamanca Place and was built in 1841.

A summary of the more important historic events and building developments that form the context for the current building and site is as follows:

date	event	source
1804	30 acres on edge of Battery Point granted to Rev Robert Knopwood	Young p1
1830	New Wharf opened	ibid
1837	4 acres of Crown land granted to William Thomas Parramore, agent for former Lieutenant-Governor Sir George Arthur.	ibid
1839	Arthur's later agent John Montagu subdivided the block into two that now make up 21 and 23, and 25 and 27 Salamanca Place.	Young p2
1840	Bernard Walford, Jewish ex convict, likely built a house on the back of 25 Salamanca Place.	Young p3
1841	Walford commenced construction of a store on 25 Salamanca Place.	Young p3
1842	Walford purchased the land on which he had constructed the store and leased it to ship chandler John Johnson	ibid
1844	25 Salamanca Place was purchased by creditor and fellow Jewish ex-convict Judah Solomon.	Young p4
by 1861	Former mariner Hubert B Evans occupied the ground floor which was now a shop and two flats. A sail maker occupied an upper floor.	Young p7
1902	Solomon's executors sold the shop to George Adams.	Young p8
1915	George Adam's executors sold the building to the Tasmanian Rosella Preserving Company which converted it to a factory.	ibid
by 1920	The Rosella Company had purchased neighbouring 27 Salamanca Place –likely when the doorways between the two were formed.	ibid
1943	Jones & Co. purchased 25 Salamanca Place and used it as a store	Young p9
1950	J Walch & Sons stationers, printers and booksellers purchased the site.	ibid
1963	WH Ikin & Son Pty Ltd, a fruit and vegetable retailer purchased the site	ibid
1988	The site was purchased by the current owners who have leased it to various tenants.	Young p 11

## 2.03 Chronology of building fabric

Examination of the remaining building fabric shows a hand-made brick foundation surviving under the west wall of the c.1950 brick store at the rear. It is likely that the hand-made brick foundation is a remnant of the 1840 house that Walford occupied for a while. In 1853 ship chandler and sail maker George Pryde lived on site, also likely in the same house. The attached offices described in the 1856 advertisement of the stores for lease likely was the same house converted to offices.



**Figure 4** Note the earlier brick and stone foundation



**Figure 5** Junction between stone stores and brick 'house'

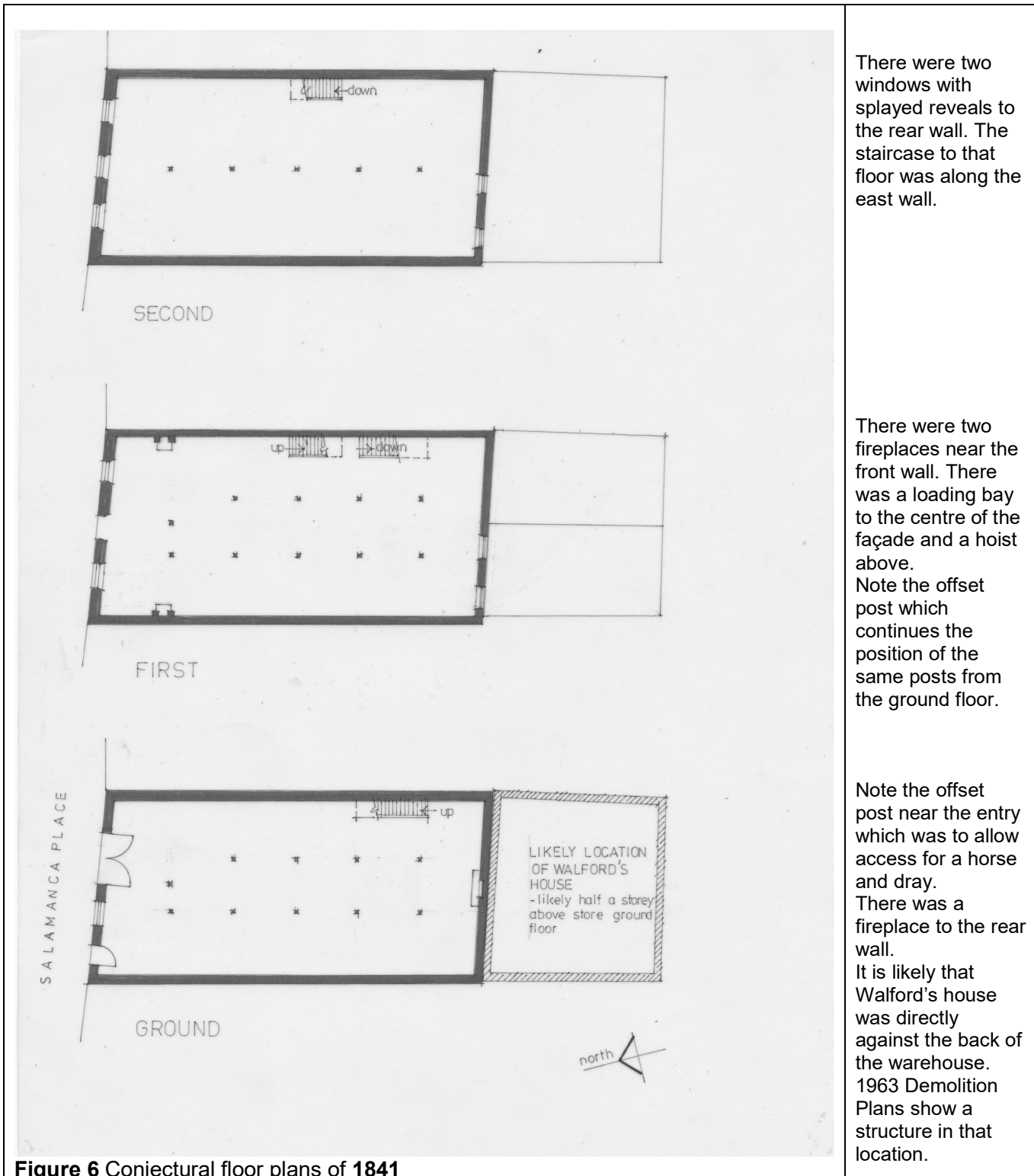
It is likely that the ground floor stone wall adjoining the brick house and the house itself were demolished to allow for the 1963 brick extension of the stores.

There is also a rubble sandstone remnant under the south wall of the 1963 brick extension. This was possibly a retaining wall for the house –given that the rising land form would require some retention.

The former warehouse remains clearly recognizable for its original purpose –as a three storey store. It retains the timber internal structure, heavy posts and beams that distinguish it for that purpose. Nevertheless there has been a considerable amount of change to fabric.

Changes include:

- Replacement of timber roof shingles with cgi –c.1880
- Construction of two doorways to link 25 with 27 Salamanca Place –c.1920
- Widening of the original segmental arched horse and dray opening –in 1963.
- Demolition of two fireplaces and chimneys near the front on the first floor and one to the rear on the ground floor –in 1963
- Demolition of the rear wall and replacement with a two storey brick extension –1963
- Construction of ground floor toilets and sink –1963
- Demolition of the original staircase along the east wall and construction of new staircases –1963
- Removal of the ground floor posts and strengthening of the beams above -1963
- Introduction of concrete floors to ground and first –1963
- Replacement of the first floor loading dock with a 12 paned double hung window and removal of a hoist–1985
- Demolition of the ground floor openings and replacement with a wide shop-front –1985
- Various internal partition constructions and removals –various dates



There were two windows with splayed reveals to the rear wall. The staircase to that floor was along the east wall.

There were two fireplaces near the front wall. There was a loading bay to the centre of the façade and a hoist above. Note the offset post which continues the position of the same posts from the ground floor.

Note the offset post near the entry which was to allow access for a horse and dray. There was a fireplace to the rear wall. It is likely that Walford's house was directly against the back of the warehouse. 1963 Demolition Plans show a structure in that location.



### 3

## PHYSICAL EVIDENCE AND CONDITION OF THE SITE

The former warehouse has undergone adaptation over the years. A brick extension was made to the rear in 1963. The original ground floor façade was replaced in 1985 with a wide timber shop-front. Internal partitions have come and gone to suite changing needs of occupants. Nevertheless its basic internal configuration as a warehouse with strong timber beams and posts and butted timber floorboards remains predominantly intact.

### 3.01 The place and its setting

Between 1830 and 1850 sandstone stores were constructed adjacent the 'New Wharf' and then further along Salamanca Place. After the two decades of construction the toe to toe predominantly three storey stores formed a wall to Salamanca that forms a backdrop to the now famous Salamanca Market. The Salamanca warehouses form a strong southern edge to Sullivan's Cove, the Hunter Street warehouses forming an equally strong northern edge, with the more dispersed buildings along Morrison Street and Davey Street forming a weaker western edge. The Sullivan's cove sandstone buildings as a whole create a highly defined edge that is now internationally known as an historic port, a setting for the Sydney Hobart Yacht Race victory celebrations, and as a hub for tourists.

The former stores at 25 Salamanca Place contribute equally with all other 19<sup>th</sup> century buildings to that iconic maritime setting.



**Figure 7** 25 Salamanca Place is the third building from the right, immediately right of the green umbrellas

### 3.02 Exterior fabric

Both side walls are shared with neighbouring warehouses and are not visible. Only the front and rear walls are described here.

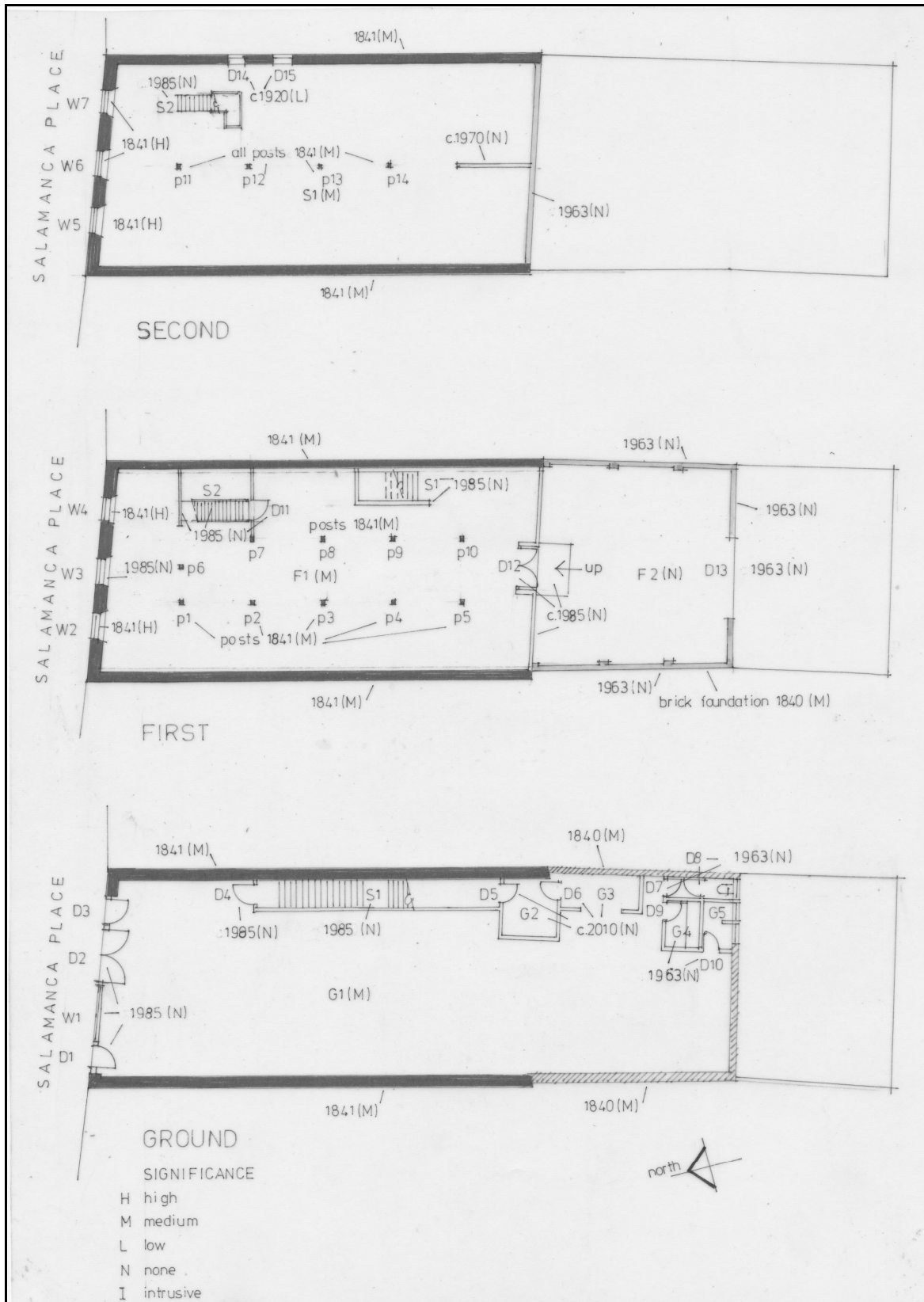


**Figure 8** extract from c.1910 photo. Note central loading dock to First floor and segmental arches to ground floor



**Figure 9** mid1960s photo. Note wider vehicular access and rendered ground floor facade

item	discussion	sign	photo	recommendations
<b>Salamanca Place (front)</b>	<p>The former warehouse presents to Salamanca Place as a three storey sandstone Old Colonial Georgian façade with 1985 timber shop-front at ground level.</p> <p>To the first floor there are three 12-paned double hung sash windows spaced equally. The centre window W3 is a modern replacement of an earlier loading dock. The two flanking windows W2 and W4 are original and have original sashes.</p> <p>Between the first and second floors is a string course. At the ends of the string course there are steel plates with long rods presumably tying the front and rear walls together through the first floor.</p> <p>To the second floor there are three original 12-paned double hung sash windows spaced equally.</p> <p>Above the windows there is a stone fascia with stone parapet above.</p> <p>The roof is rusty cgi and in two gables, one behind the other. The front ridge continues that of 21 Salamanca built a year earlier by the same owner. The roof sheeting has replaced earlier timber shingles.</p> <p>The front façade has been re-pointed in modern times and there is considerable stone replacement, particularly to the ground floor level.</p>	H	 <p>Façade of 25 Salamanca Place</p>	Generally retain and conserve this elevation of the former warehouse.
		N		The modern shop-front may be retained, adapted or removed.
		N		Retain and repair all original window frames and sashes.
		H		
		H		
		N		Investigate the structural purpose of the plates and rods, re-structure in more discrete manner and remove plates and rods.
		H		
		H		
		L		Replace the roof sheeting in cgi or material that appears like timber shingles.
		L		
<b>Rear (south) elevation</b>	<p>This elevation shows a single storey 1963 brick building attached to the rear of the original sandstone warehouse. The 1963 extension is built over a c.1840 brick foundation –likely the early cottage. The land form is such that the 3 storey stores that face Salamanca is only 2 storeys at the rear. The lowest level has become an underground basement at the rear.</p> <p>To the first floor of the 1963 extension there is a roller door. The rear wall of the sandstone stores second floor is now of 1963 brickwork.</p>	L	 <p>South elevation of 25 showing 1963 extension</p>	Generally retain, adapt or remove all of the 1963 fabric to the rear elevation –back to the original sandstone rear of the warehouse. Retain the c.1840 brick foundation if possible.
		L		
		M		
		N		
		L		



**EXISTING FLOOR PLANS –age of fabric and heritage significance**



### 3.03 Internal fabric and spaces

Up until 1963 the stores changed very little other than for internal partitioning. There were two periods of more significant change.

In 1963 Hobart architects Philp, Lighton, Floyd and Beattie oversaw the widening of the cart entrance to cater for motorized vehicles; the demolition of the rear brick structure (likely Walford's house); the replacement of that structure with a brick rear extension of the first floor; the removal of the original back wall of the stores to link with the extension; the removal of fireplaces; the removal of the ground floor posts and the associated stiffening of the ceiling beams with steel girders.

In 1985 Hobart architect Gary Forward oversaw further changes for new tenants Lifestyle Furniture: the demotion of the ground floor doors and window and its replacement with a timber shop-front; the construction of new internal stairs replacing the original; the replacement of the first floor central loading dock and hoist with a 12 paned window; and introduction of plasterboard linings to the ground floor.

The following tables describe the age of fabric to each room, then the level of significance assigned to that fabric. The heritage significance of each item and the conservation recommendations have been developed later in this conservation planning process, but are shown here to assist the reader. The plan on page 11 shows the approximate age of fabric and the levels of heritage significance assigned to them.

Categories of heritage significance are as follows:

Level **H** is adopted where the space or item is highly valued by the community or is important in interpreting history of the site.

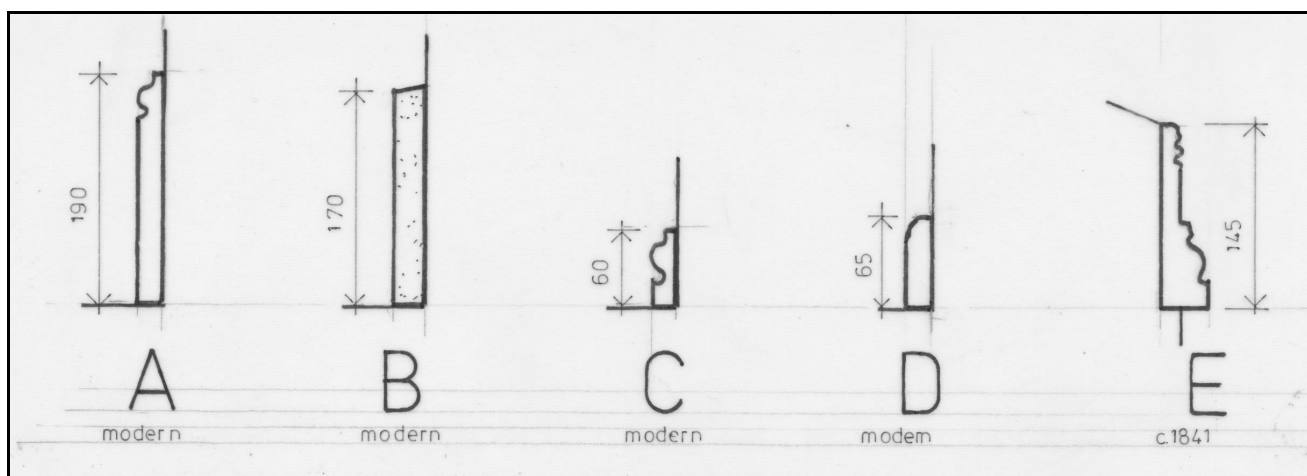
Level **M** contains aspects which either have been degraded to a degree by adaptation or where the cultural significance of the item was always of lesser importance.

Level **L** covers a range of fabric or spaces which either have been considerably degraded by adaptation or where the cultural significance of the item was always of modest heritage significance.

Level **N** covers a range of fabric or spaces which either have been degraded beyond recognition or where there has never been any cultural significance.


Level **I** (Intrusive) is assigned to items which have an adverse impact on the heritage significance of the place.



Items can have 2 levels of heritage significance eg **L+I** if the item is historically significant but is stylistically intrusive.



**Figure 10** Joinery profiles

### 3.03.1 Ground floor (refer to page 11 for room numbers)

item	date	discussion	sign	photo	recommendations
Space <b>G1</b>	1841	The space remains predominantly in its original form and continues to demonstrate its original purpose, albeit modern ceiling and wall linings cover the warehouse structure.	M		Retain open space as much as possible. New partitions should be kept below ceiling level to allow original space to be understood. If the opportunity arises remove modern wall and ceiling linings to expose original structure.
side walls	1985 1841	Plasterboard over sandstone	N M		Retain, adapt or remove plasterboard linings.
side wall skirtings	1985	190x20 painted timber profile <b>A</b>	N		Retain or remove
rear wall	1985 1840	Plasterboard possibly over 1840 brick wall of house	N M		Retain, adapt or remove plasterboard linings.
internal partitions	1985	Stud walls with plasterboard lining	N		Retain, adapt or remove
toilet walls	1963	Painted brick	N		Retain, adapt or remove
toilet wall skirtings	1963	170x25 rendered skirting profile <b>B</b>	N		Retain or remove
floor	1963	concrete	N		Retain or remove
ceiling	1985 1963	modern plasterboard over steel beams to strengthen original timber structure	N N M		Retain or remove plasterboard ceiling
cornice		none			
doors	1985	D1, 2 & 3: 1985 half-glazed painted door with modern lock and handle D4: 1985 glazed timber	N  N	 D4	Retain, adapt or remove  Retain, adapt or remove
architraves		none			

windows	1985	W1: 1985 painted timber shop-front	N		Retain, adapt or remove
architraves		none			
staircase <b>S1</b>	1985	timber staircase, steel handrail	N		Retain, adapt or remove



Shop-front and doors D1-3

S1



item	date	discussion	sign	photo	recommendations
Space <b>G2, 3</b>	1985 and c.2010	These spaces are modern fitting rooms and have no heritage value.	N		Retain, adapt or remove space. Future partitions should be kept below ceiling level to allow original space to be understood.
walls	1985	Plasterboard on studwork	N		Retain, adapt or remove
skirtings		none			
floor	1963	concrete	N		Retain or remove
ceiling	1985 1963 1841	modern plasterboard over 1963 steel beams and original timber structure	N N M		Retain or remove plasterboard ceiling
cornice		none			
doors	c.2010	D5 & D6: modern flush panel doors	N		Retain or remove
door architraves		modern	N		Retain or remove
architraves		modern	N		Retain or remove


item	date	discussion	sign	photo	recommendations
Space <b>G4, 5</b>	1963	These spaces are modern toilets and kitchenette and have no heritage value.	N		Retain, adapt or remove
walls	1985	Plasterboard on studwork	N		Retain, adapt or remove
skirtings			N		
floor	1963	concrete	N		Retain or remove
ceiling	1985	modern plasterboard	N		Retain or remove plasterboard ceiling
cornice		none			
doors	1963	D7 -D10: modern flush panel doors	N		Retain or remove
door architraves		modern	N		Retain or remove
windows	1963		N		Retain, adapt or remove
architraves		modern	N		Retain or remove
plumbing fittings	1985	Modern fittings	N		Retain or remove

### 3.03.2 First Floor (refer to page 11 for room numbers)




item	date	discussion	sign	photo	recommendations
Space <b>F1</b>	1841	The space remains predominantly in its original form and continues to demonstrate its original purpose	M	 S1 to left of photo	Retain open space as much as possible.
front wall	1841	plaster over sandstone, some dampness evident	M		Investigate dampness and treat (Westox chemical moisture barrier)
side walls	1841	plaster over sandstone	M		Retain original surface as much as possible.
side wall skirtings	1985	60x19 painted timber profile <b>C</b> to some parts	I		Remove when the opportunity arises
rear wall	c.1985	stud wall with vertical boards	N		Retain, adapt or remove
internal partitions	1985 1985	stud walls with timber lining around stair S2 plasterboard-lined dwarf wall with timber handrail above -beside S1	I N		Remove when the opportunity arises Retain or remove
floor	1963	concrete	N		Retain or remove
ceiling	1985 1841	modern plasterboard covering original timber structure modern fluorescent lights	N M I		Retain or remove plasterboard ceiling Repair beam notches Replace intrusive ceiling lights
cornice		none			
doors	1985 1985	D12: 1985 pair single glazed veneer covered doors D11: 1985 flush panel modern door	N N	 D12	Retain or remove  Retain or remove
architraves	1985	D12: modern 70mm bull-nosed profile <b>D</b> D11: none	N		Retain or remove
windows	1841 1985	W2 and W4: original 12 paned double hung sash windows W3: modern copy of W2, replacing earlier loading dock opening	H N		Retain and conserve W2 and W4. Re-new sash chords, repair cam sash, repair sill-board. Retain W3 or reconstruct earlier loading dock. Repair sill-board to W3



architraves	1841	W2 and W4: original 145x38 profile <b>E</b>	H	 <p>Note patched floor where 1963 staircase was</p>	Retain and conserve architraves W2 and W4, repair where piece is missing.
	1985	W3: modern copy of W2 architrave	N		
reveals	1841	original 5 paneled painted timber reveals	H		Retain and conserve, repair where needed
staircase <b>S2</b>	1985	Modern timber staircase to second floor	N	 <p>S2</p>	Retain, adapt or remove

item	date	discussion	sign	photo	recommendations
Space <b>F2</b>	1963	The space has no heritage value	N	 <p>1963 extension</p>	Retain, adapt or remove as required.
north wall	1985	studwork	N		Retain, adapt or remove
side walls and rear	1963	face brickwork with piers	N		Retain, adapt or remove
floor	1963	particleboard	I		Replace in timber floorboards or conceal
ceiling	1963	modern metal roof decking over Pratt steel trusses	I		Remove or conceal
cornice		none			
doors	1963	D13: 1963 steel roll-a-door	N		Retain or remove
architraves	1985	D12: modern 70mm bull-nosed profile <b>D</b> D11: none	N		Retain or remove

### 3.03.3 Second Floor (refer to page 11 for room numbers)

item	date	discussion	sign	photo	recommendations
Space <b>S1</b>	1841	The space remains predominantly in its original form and continues to demonstrate its original purpose	M	 Ceiling of space S1	Retain open space as much as possible.
front wall	1841	plaster over sandstone	M		Retain and conserve
side walls	1841	painted original coursed sandstone	M		Retain and conserve
skirtings		none			
rear wall	1963	face brickwork	N		Retain, adapt or remove
floor	1841	original 130mm wide butted hardwood floorboards	M		Retain and conserve
ceiling	1841 c.1920	original shingle battens with later cgi above	M N		Retain shingle battens if possible, conceal if necessary
cornice		none			
doors	c.1920	D14 and D15: c.1920 openings now bricked in.	L	 D14 and D15	Retain evidence of c.1920 openings if possible
windows	1841	W5, W6 and W7: original 12 paned double hung sash windows	H	 Façade windows	Retain and conserve. Re-new sash chords, re-new missing sill-boards to W5 and W6.
architraves		none			
staircase <b>S2</b>	1985	Modern timber staircase to second floor	N		Retain, adapt or remove

### 3.04 Grounds

The 1914 survey as part of title 90515 Folio Plan shows an iron shed taking up the eastern half of what is now a rear car-parking area. The whole of the area is concrete sealed. There are no items of heritage significance.



**Figure 11** Rear car-parking area behind the 1963 brick extension

### 3.05 Archaeology

Much of the ground floor fabric has been covered in modern plasterboard, so its removal may reveal evidence of fireplaces or other fabric associated with its earlier use as stores. The 1963 brick extension is likely over Walford's 1840 house and has archaeological potential to confirm the purpose of the surviving hand-made brick foundations.

A suitably qualified archaeologist should be commissioned to establish the archaeological potential of the site, particularly with regard to concealed former stores fabric and Walford's house.

## 4 ASSESSMENT OF SIGNIFICANCE OF THE SITE

### 4.01 Sullivans' Cove

Lt Governor David Collins landed at Sullivan's Cove on 20<sup>th</sup> February 1804 and established the settlement of Hobart Town –a year after the soon to be abandoned first settlement at Risdon Cove on the other side of the Derwent River.

Collins named Sullivan's Cove after the Permanent Under Secretary to the Colonies, John Sullivan.<sup>6</sup>

The first permanent stores were constructed on Hunter Island. These stores were of sandstone construction and of three to four stories high. Most survive today in Hunter Street. They were marine stores servicing the 'Old Wharf' attached to Hunter Island.

As commerce increased the demand for wharf storage space grew. In 1830 land was subdivided to allow the construction of more stores on the southern side of Sullivan's Cove to service the 'New Wharf'. The first constructed was 65 Salamanca Place in c.1834.<sup>7</sup> Increased trade brought about further subdivision to the west part of Salamanca Place. The construction of 25 Salamanca Place in 1841 was part of this western development.

### 4.02 The people –from David Young

The historically significant former owners of 25 Salamanca Place are as follows:

**Bernard Walford Jr**, son of practicing Jew and former Norfolk Island convict Bernard Walford Sr. Walford Jr took over his father's license of the King George Hotel, then later built a new hotel in early 1840 on 23 Salamanca Place called The George IV. Soon after he built the stores at 25 Salamanca Place.

**Judah Solomon** purchased 25 Salamanca Place at a mortgagee auction in May 1844. Solomon, former convict and Jew, was an important Tasmanian for his business success and particularly for his role in the building of Australia's first Synagogue in 1845. Solomon built a substantial town house on the corner of Argyle and Liverpool Streets which became known as *Temple House* because Jewish services were conducted on the first floor there. Solomon eventually gifted part of his garden in Argyle Street to the Jewish community and organized the raising of funds for the construction of the Synagogue –to the design of architect and former convict James Thompson. The warehouse remained in ownership of the Solomon family through Judah's illegitimate son Joseph from 1856, together with his half-brother Isaac until Joseph's death in 1894, and finally the property was sold by Joseph's executors in 1902.

**George Adams** purchased the stores in 1902 but died two years later. His executors sold the stores in 1915. Adams was a significant person in Australia's history. He ran lotteries and eventually founded the Tattersalls lotteries in 1881.

Victorians **HR McCracken and TJ Press** who established the Tasmanian Rosella Preserving Company, purchased 25 Salamanca Place in 1915 and by 1920 had purchased number 27. The Rosella company preserved fruits, made jams and became best known for making tomato sauce. The company eventually sold the now redundant stores in 1943 –as a consequence of building a new factory at New Town in 1933.

**Henry Jones & Co.** purchased 25 Salamanca Place in 1943 until 1950. The jam-making company under the stewardship of **Henry Jones** and **Achalen Wooliscroft Palfreyman** became a huge success eventually with factories in every Australian State, South Africa and New Zealand. Palfreyman,

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<sup>6</sup> Wikipedia, *Sullivans Cove*, p1

<sup>7</sup> Young, p1



an equal shareholder as a 16 year old with Henry Jones in George Peacock's jam factory was the principal driver of the jam business. Known as an uncanny businessman and great book-keeper, when he took over the Henry Jones & Co business interests as director from 1926 until 1965 (then as a 90 year old), he became so successful that he was reputedly the wealthiest man in Australia. His business interests extended to saw-milling, hops, vegetable growing, cattle and sheep, flour milling, insurance, shipping, bridge construction, mining, and broadcasting.<sup>8</sup>

**J Walch & Co**, stationers, printers and booksellers purchased the stores in 1950 until its sale in 1963. The Hobart business, established in 1846 until its liquidation in 2003 was a successful family company with offices in London. It supplied books, stationery, musical instruments, sporting goods and paper to the local market for nearly six decades.

**WH Ikin & Son**, a retailer of fruit and vegetables purchased the stores in 1963 until its sale in 1985. The company extended the stores at the back and made several other changes.

#### 4.03 Commerce

Although built as stores, 25 Salamanca Place has been used variously as ship chandlery, sailmakers' loft, factory for making jam and tomato sauce, recycling depot, flats and shops. The wide range of uses reflect the flexibility of open spaces –albeit posts interrupt the open spaces of the first and second floors. There is no particular use that stands out as of cultural significance. No particular use is seen as intrinsic to the significance of the place.

#### 4.04 The building

The building, like all of the other former warehouses to Salamanca Place and Hunter Street are simple Georgian sandstone structures of similar height.

Australian Georgian style architecture was born from the design principals of Renaissance architecture used by English architects such as Sir Christopher Wren in the late seventeenth century.

The early European settlement of Australia was not sophisticated enough for the refineries of English Georgian architecture so a simplified version was employed, nevertheless still using symmetry, proportion and rectangular shapes with occasional use of classical orders.

25 Salamanca Place, along with its contemporaneous warehouse structures in Sullivan's Cove is simplified Old Colonial Georgian in style. According to Apperley et al, 25 Salamanca Place exhibits the following characteristics of Old Colonial Georgian style:

1 symmetrical façade; 2 exposed stone walling; 5 timber roof shingles (now replaced); 7 close eaves; 17 sash windows with small panes; 23 stone lintels; and 25 stone sills.<sup>9</sup>

#### 4.05 Heritage listings

25 Salamanca Place, Battery Point is entered in the following heritage schedules:

##### 4.05.1 Tasmanian Heritage Register

25 Salamanca Place was permanently entered on 9 December 1998.

The THR is administered by the Tasmanian Heritage Council.

The implications of entry in the THR are set down in the *Historic Cultural Heritage Act*:

Part 46. (1) Under this Part, the Heritage Council may only agree to heritage works which are likely to destroy or reduce the historic cultural heritage significance of a registered place, heritage area or place within a heritage area if satisfied that there is no prudent and feasible alternative to those works.

<sup>8</sup> Australian Dictionary of Biography, vol 11, (MUP), 1988. Palreyman, Achalen Woolliscroft (1875-1967)

<sup>9</sup> R Apperley, R Irving, P Reynolds, *A Pictorial Guide to Identifying Australian Architecture*, p26, Angus & Robertson, 1989

#### 4.05.2 Sullivan's Cove Planning Scheme 1997

25 Salamanca Place is reference 86 in Table 1 of the Scheme as a Place of Cultural Significance. It is also reference 70 in Table 2 as a Place of Archaeological Sensitivity.

The Scheme is administered by the Hobart City Council. The relevant implications of heritage listing in the Sullivan's Cove Planning Scheme are as follows:

##### 22.4.4 'Permitted' 'Building or Works'

'Building or works' on places of cultural significance is 'permitted' in respect to this Schedule where it can be demonstrated that the following 'deemed to comply' provisions have been satisfied:

- The 'building or works' are related to the conservation of a place of cultural significance and are to be undertaken in accordance with a Conservation Plan accepted by the Planning Authority as satisfying the submission requirements for an application.

##### 22.4.5 'Discretionary' 'Building or Works'

'Building or works' on places of cultural significance which cannot satisfy the 'deemed to comply' provisions of Clause 22.4.4 may be approved at the discretion of the Planning Authority.

The following criteria must be taken into consideration in the assessment of all proposals to undertake 'building or works' on places of cultural significance:

- 'Building or works' must complement and contribute to the cultural significance, character and appearance of the place and its setting;
- 'Building or works' must be in accordance with the conservation strategy of an approved Conservation Plan, where required and/or provided;
- The location, bulk and appearance of 'building or works' must not adversely affect the heritage values of any place of cultural significance;
- 'Building or works' must not reduce the apparent authenticity of places of cultural significance by mimicking historic forms;
- 'Building or works' may be recognisable as new but must not be individually prominent;
- The painting of previously unpainted surfaces is discouraged.

#### 22.6 Places of Archaeological Sensitivity

##### 22.6.4 Permitted 'Building or Works'

Those works which constitute the excavation of land on any place of cultural significance (as identified in Table 1), including those identified in Table 2, are 'permitted' where a statement is provided by a qualified archaeologist that either the site has been surveyed previously and found not to be of archaeological significance or that the nature of the 'building works' will result in destruction of any aspects of items of archaeological significance.

#### 4.06 Determining cultural significance

The ICOMOS Burra Charter describes five categories of cultural significance –aesthetic, historic, scientific, social or spiritual value.

Until recently the Tasmanian Heritage Council has used seven categories of cultural significance as set down in the *Historic Cultural Heritage Act 1995*. Recently an eighth category based on aesthetic values was added.

The eight criteria for entry to the Register are:

- the place is important to the course or pattern of Tasmania's history;*
- the place possesses uncommon or rare aspects of Tasmania's history;*
- the place has the potential to yield information that will contribute to an understanding of Tasmania's history;*
- the place is important in demonstrating the principal characteristics of a class of place in Tasmania's history;*
- the place is important in demonstrating a high degree of creative or technical achievement;*

- (f) *the place has a strong or special association with a particular community or cultural group for social or spiritual reasons;*
- (g) *the place has a special association with the life or works of a person, or group of persons, of importance in Tasmania's history.*
- (h) *the place is important in exhibiting particular aesthetic characteristics.*

The statements of cultural significance used for 25 Salamanca Place in the Tasmanian Heritage Register are as follows:

- (b) *this three storey sandstone warehouse is part of possibly the largest group of Old Colonial Georgian waterfront warehouses in Australia.*
- (c) *25 Salamanca Place is of historic cultural heritage significance because of its ability to demonstrate the principal characteristics of a three storey Old Colonial Georgian warehouse.*
- (e) *this building is one of a group of historic heritage significance because their townscape associations are regarded as important to the community's sense of place.*

#### **4.07 Statements of significance**

Using the criteria of the *Historic Cultural Heritage Act* appropriate Statements of Historic Heritage Significance for 25 Salamanca Place are as follows:

- (a) ***25 Salamanca Place, along with the similar 19<sup>th</sup> century former warehouses in Sullivan's Cove, is important to Tasmania's history as a demonstration of the development of port trade in the early decades of Hobart's European settlement. The importance to Tasmania of this cultural value is high.***
- (b) ***25 Salamanca Place, along with the similar 19<sup>th</sup> century former warehouses in Sullivan's Cove, is of historic cultural heritage significance as the largest group of Old Colonial Georgian marine warehouses in Australia. The importance to Tasmania of this cultural value is high.***
- (c) ***25 Salamanca Place has the potential to reveal aspects of the operations of Georgian Warehouses and the purpose of the brick rear foundation. The importance to Tasmania of this cultural value is medium.***
- (d) ***25 Salamanca Place is of historic cultural heritage significance for its ability to demonstrate the principal characteristics of a three storey sandstone old Colonial Georgian warehouse. These characteristics include its symmetrical façade; exposed stone walling; close eaves; sash windows with small panes; stone lintels; and stone sills. The importance to Tasmania of this cultural value is high.***
- (e) *no statement*
- (f) ***25 Salamanca Place, along with the similar 19<sup>th</sup> century former warehouses in Sullivan's Cove, is of historic cultural heritage significance to the Tasmanian community as a place for various community and public activities and events such as the Salamanca Market, the conclusion of the Sydney Hobart Yacht Race, for New Year celebrations and as commercial outlets for high quality Tasmania arts and crafts and foods. The importance to Tasmania of this cultural value is high.***

- (g) **25 Salamanca Place is of historic cultural heritage significance because of its associations with the following important Tasmanians and companies:**

**Judah Solomon and family who owned the store between 1844 and 1902. Solomon, a former convict and Jew was an important Tasmanian for his extensive business enterprises and particularly for his role in the building of Australia's first Synagogue in 1845.**

**George Adams who purchased the stores in 1902 but died two years later. Adams was a significant person in Australia's history. He founded the Tattersalls lotteries in 1881.**

**The Tasmanian Rosella Preserving Company, established by Victorians HR McCracken and TJ Press who owned 25 Salamanca Place between 1915 and 1943. The Rosella Company preserved fruits, made jams and became best known for making tomato sauce.**

**Henry Jones & Co. jam makers established by Henry Jones and Achalen Wooliscroft Palfreyman owned 25 Salamanca Place between 1943 and 1950. The company became a huge success eventually with factories in every Australian State, South Africa and New Zealand. Palfreyman, an equal shareholder as a 16 year old with Henry Jones in George Peacock's jam factory was the principal driver of the jam business. Known as an uncanny businessman and great book-keeper, when he took over the Henry Jones & Co business interests as director from 1926 until 1965 (then as a 90 year old) became so successful that he was reputedly the wealthiest man in Australia. His business interests extended to saw-milling, hops, vegetable growing, cattle and sheep, flour milling, insurance, shipping, bridge construction, mining, and broadcasting.**

**J Walch & Co, stationers, printers and booksellers purchased the stores in 1950 until its sale in 1963. The Hobart business, established in 1846 until its liquidation in 2003 was a successful family company with offices in London. It supplied books, stationery, musical instruments, sporting goods and paper to the local market for nearly six decades.**

**The importance to Tasmania of this cultural value is high.**

- (h) **no statement**

#### **4.08 Basis of assessment**

A system of ranking cultural significance is used throughout this report. An assessment is principally made of fabric but where important to the management of the site also includes some spaces.

#### **SIGNIFICANCE OF SPACE**

<b>H</b>	High significance
<b>M</b>	Medium
<b>L</b>	Low
<b>N</b>	No heritage significance
<b>I</b>	Intrusive



In determining the level of heritage significance of a space, the following values have been taken into account:

- **The historical use of the space** –e.g. where a space has been used for a particular purpose associated with the cultural significance of the place and over a reasonable period of time, it may be rated as of high heritage significance. This value is defined in the *Heritage Act* as *criterion (a) the place is important to the course or pattern of Tasmania's history*.
- **The architectural or aesthetic qualities of the space** –e.g. if a space has elaborate architectural detailing or its geometry itself is impressive, then it will be rated as of high heritage significance. This value is defined in the *Heritage Act* as *criterion (e) the place is important in demonstrating a high degree of creative or technical achievement*.
- **Capacity to demonstrate the particular cultural value** –even if a space was created in a phase of high cultural value, if that space has been modified to the degree that its capacity to demonstrate that particular value has been diminished, then its assigned level of significance may be lower than otherwise would have been.

#### SIGNIFICANCE OF FABRIC

<b>H</b>	High significance
<b>M</b>	Medium
<b>L</b>	Low
<b>N</b>	No heritage significance
<b>I</b>	Intrusive

In determining the level of heritage significance of an item, the following values have been taken into account:

- **The historical use of the item** –where an item is important in demonstrating an historical pattern of use, (e.g. a chimney stack) it may be rated as of high heritage significance. This value is defined in the *Heritage Act* as *criterion (a) the place is important to the course or pattern of Tasmania's history*.
- **The rarity of the item** –where a detail or item is rare, then it will be rated as of high heritage significance. This value is defined in the *Heritage Act* as *criterion (b) the place possesses uncommon or rare aspects of Tasmania's history*.
- **The research potential of the item** –where the item may yield information that is important to the history of the place. This value is defined in the *Heritage Act* as *criterion (c) the place has the potential to yield information that will contribute to an understanding of Tasmania's history*.
- **The architectural style of the item** –if the item is styled to represent a particular architectural fashion, then it may be rated as of higher heritage significance. This value is defined in the *Heritage Act* as *criterion (d) the place is important in demonstrating the principal characteristics of a class of place in Tasmania's history*.

For a space or an item to be allocated a high significance ranking, it needs to meet only one of the values described above.

Level **H** is adopted where the space or item is highly valued by the community or is important in interpreting history.

Level **M** contains aspects which either have been degraded to a degree by adaptation or where the cultural significance of the item was always of lesser importance.

Level **L** covers a range of fabric or spaces which either have been considerably degraded by adaptation or where the cultural significance of the item was always of modest heritage significance.

Level **N** covers a range of fabric or spaces which either have been degraded beyond recognition or where there has never been any cultural significance.

Level **I** covers fabric or spaces which have an adverse impact on the cultural significance of the place.

#### **4.09 Heritage significance of spaces and items**

The heritage significance of spaces and items is shown on the plans on page 11 and on the room by room tables on pages 13-17. Most internal spaces are utilitarian and reflect the need for flexible storage space.

#### **4.10 Implications of significance levels**

The general implications arising from these categories of cultural significance are as follows:

- that level **H** items be retained in situ and conserved in a manner which retains their cultural significance.
- that level **M** items be retained in situ if reasonably possible, but where there is an overall benefit to the heritage values of the place and where there is no prudent and feasible alternative, may be adapted or removed.
- that level **L** items should be retained, but may be adapted or removed.
- that level **N** items may be retained, adapted or removed.
- That level **I** items should be removed at the first available opportunity

## **5 BACKGROUND TO CONSERVATION POLICY OF SITE**

### **5.01 Statutory obligations**

Statutory obligations are those required by the *Sullivan's Cove Planning Scheme* and the *Historic Cultural Heritage Act* and are described in 4.05.

### **5.02 Physical condition and intactness**

Some of the building fabric is in need of repair:

*Structural stability* –the tie rods should be investigated for their function and a more discrete solution used which allows for the removal of the ties and plates.

*Stonework* –the façade stonework is in sound condition. Some internal stone repairs are necessary on the second floor front wall.

*Dampness* –there is dampness evident in the first floor front wall, requiring treatment followed by plaster replacement.

*Roof iron* –the roof sheeting exhibits high levels of rust and needs replacement.

*Electrical services* –much of the electrical conduits and services are wall-mounted and intrusive, needing to be replaced with more discrete services with more sympathetic fittings.

The shell of the former warehouse is relatively intact with original front and side walls, first and second floor posts and beams and roof framing.

### **5.03 Client aspirations**

The owner intends to convert the first and second floor to high class boutique accommodation.

Tasmania's most celebrated practicing architectural firm Circa Morris-Nunn have been appointed to prepare a proposal to meet the client's aspirations.

The proposal involves the following:

#### **Ground floor**

- re-working of the 1985 shop-front and entry doors to provide a discrete entrance corridor to the stairs
- demolition of a rear 1963 staircase serving the 1963 rear extension

#### **First floor**

- demolition of sections of 1963 concrete floor, 1985 upwards staircase, one 1841 post, the c.1985 wall between the warehouse and its extension, and the rear wall of the 1963 extension.
- construction of a rear extension in the existing carpark
- construction of new internal walls to create new access stair, reception, lift and six accommodation suites with bedrooms and en suites

#### **Second floor**

- demolition of small section of 1841 roof frame, 1963 rear brick wall, and the c1970 rear partition
- construction of a rear extension in the existing carpark and second floor over the 1963 rear extension
- construction of new internal walls to create new access stair, lift and another six accommodation suites with bedrooms and en suites
- construction of access stair, lift and an addition six accommodation suites with bedrooms and en suites into the loft space of the existing second floor –creating a third floor
- construction of four skylights to the existing roof plane fronting Salamanca Place
- lifting of the second gable (behind the front gable) to provide for a new vented and glazed roof

#### **New rear fourth and fifth floors**

- construction of access stair, lift and two accommodation suites each floor within the new rear extension over the existing carpark –creating fourth and fifth floors at the rear

## **6 CONSERVATION POLICY FOR THE SITE**

### **6.01 General conservation policy**

The group of Salamanca Place warehouses, of which 25 Salamanca Place is a part, is of Tasmanian and national heritage for the reasons described in the statements of historic cultural heritage significance.

#### **Policy 1:**

***1.1 This CMP and the Australian ICOMOS publication The Illustrated Burra Charter, 2004 should be the guiding documents for all management of heritage values on the site.***

***1.2 In order to retain its cultural significance 25 Salamanca Place should be conserved.***

***1.3 In particular the fabric that demonstrates its former use as stores, ie the post and beam timber framing, should be conserved and expressed in any future adaptations.***

***1.4 The rear 1963 extension and its associated fabric has little or no heritage significance and can be adapted or demolished if required.***

***1.5 The external appearance of 25 Salamanca Place -as part of the iconic group of warehouses - as it appears from the public viewpoints on the Cove 'floor' should be retained and conserved in accordance with this CMP.***

Priority: High/ongoing

***Policy 2: This CMP should be regularly reviewed for efficiency and effectiveness in managing the heritage values of the site. The first review should be no later than August 2016.***

Priority: Medium

## 6.02 Records

Records of previous changes to the place have been poor. The owner is encouraged to maintain records of all changes and of any new information that arises from future uncover and archaeology.

**Policy 3:** *The owner is encouraged to keep records of changes to fabric of the site as they occur; and to properly record new information that emerges from uncover works and from archaeology.*

Priority: Low/ongoing

## 6.03 Facade

The façade has undergone some changes from 1963 onwards but is still substantially intact. The main changes are the construction of a shop-front in 1985 and the replacement of the first floor loading dock with window also in 1985.

**Policy 4:** *The façade shop-front may be adapted or removed. If removed a reconstruction of the original openings is encouraged.*

Priority: Low/ongoing

**Policy 5:** *The first floor central window may be replaced by a reconstruction of the original loading dock with associated hoist.*

Priority: Low/ongoing

**Policy 6:** *All other fabric of the façade should be retained and conserved.*

Priority: High/ongoing

## 6.04 Rear elevation

The 1963 rear extension and the 1963 upper floor brick rear wall are of no heritage significance.

**Policy 7:** *The 1963 rear extension and the 1963 brick rear wall to the second floor may be adapted or removed.*

Priority: Low

## 6.05 Roof

The 1841 roof is of two gables one behind the other. The roof plane of the front facing gable (that faces Salamanca Place) continues the plane of its contemporaneous neighbour 23 Salamanca Place and demonstrates that history in its matching construction.

The roof cladding was originally timber shingles and then cgi since c.1980.

**Policy 8:** *Maintain the roof plane of the front facing gable. Any adaptations for services, skylights etc to the front of the roof should be on that plane.*

Priority: High

**Policy 9:** *As the cgi rusts out and needs replacement, replace in either cgi or timber shingles or a material that presents like timber shingles.*

Priority: High

## 6.06 Grounds

The grounds at the rear is given over to carparking, with concrete paving. There are no structures or items of any heritage significance and there are no important vistas to preserve. The space itself is not of any significance.

**Policy 10:** *The grounds may be used for any purpose including for building extensions.*

## 6.07 Let levels of heritage significance guide actions

The heritage significance of spaces and items is shown on the plans on page 11 and on the room by room tables on pages 13-17.

**Policy 11:** *The treatment of various heritage values of the site must be based on the levels of significance ascribed to them in this document and should be in accordance with the following:*



level **H** items must be retained in situ and conserved in a manner which retains their cultural significance.

level **M** items should be retained in situ if reasonably possible, but where there is an overall benefit to the heritage values of the place, or where there is no prudent and feasible alternative, may be adapted or removed.

Level **L** items should be retained, but may be adapted or removed.

Level **N** items may be retained, adapted or removed.

Level **I** items should be removed at the first opportunity.

**Policy 12:** *Use the significance of items plan on page 11 and the room by room plans on pages 13-17 to guide the treatment of items and spaces.*

Priority: High

#### 6.08 Further research

Most walls have modern linings concealing evidence of early fabric. The surviving rear hand-made brick foundation was likely -but not certainly -a remnant of Watford's house.

**Policy 13:** *An assessment should be made of the archaeological potential of the site, particularly in regard to evidence concealed by modern linings and by the actual purpose of the rear brick foundations.*

Priority: medium

#### 6.09 Paint finishes

The perimeter walls of the former stores are solid stone construction without a cavity and are prone to moisture migration through the walls.

**Policy 14:** *Internal paint finishes to external walls should be porous to avoid salt build-up and subsequent breakdown of plaster and paint surfaces.*

Priority: medium

#### 6.10 Interpretation

Interpretation of the history of the site is important to the understanding and protection of its heritage values not only for visitors but also for future employees. Certainly general understanding of the site's significance is minimal.

**Policy 15:** *An interpretation strategy should be prepared and implemented based on the history of the site and emphasising its use as stores; its builder Bernard Walford Jr; and later owners Judah Solomon, George Adams, The Tasmanian Rosella Preserving Company, Jam-makers Henry Jones and Achalen Wooliscroft Palfreyman, and J Walsh & Co.*

Priority: Medium

## 7 HERITAGE IMPACT ASSESSMENT

### 7.01 Proposed works

Proposed works	Significance of item	Discussion	Impact on cultural significance
<b>Ground floor</b> 1 re-working of the 1985 shop-front and entry doors to provide a discrete entrance corridor to the stairs  2 demolition of a rear 1963 staircase serving the 1963 rear extension	None  none	The re-working changes the position of doors and windows, within the same material and overall appearance of the shop-front. The overall appearance of the shop-front will remain the same.  The rear (basement) staircase serving the 1963 extension is concealed under the floor of the extension. Its removal will be un-noticed.	None  none
<b>First floor</b> 3 demolition of section of 1963 concrete floor, 1985 upwards staircase, one 1841 post, the c.1985 wall between the warehouse and its extension, and the rear wall of the 1963 extension.  4 construction of a rear extension in the existing carpark  5 construction of new internal walls to create new access stair, reception, lift and six accommodation suites with bedrooms and en suites	None for most fabric, Medium for post to be removed  None  None  Space F1 (Medium) Space F2 (none)	These proposed works do not remove any fabric of cultural significance, other than one original post. The proposed planning seems to suggest considerable effort has been made to maximize the retention of original posts. The loss of one is a small but acceptable adverse heritage impact.  There are no heritage items or important spaces or views that will be impacted by this part of the proposal.  The new partition walls and new planning provides for the expression of original timber structure –in accordance with CMP policy 1. Although the space F1 will be subdivided, it is acknowledged that to retain the original open space is unrealistic, given the change of use from stores to accommodation. Tourist uses which allow more open spaces such as galleries, shops and restaurants concentrate on the ground floors of Salamanca Place.	Small but acceptable adverse heritage impact through loss of one original post.  None  There will be an adverse heritage impact on the open warehouse space of the first floor. However the income generation that can partly be used to care for the first floor fabric is a mitigation. The space is otherwise difficult to let.
<b>Second floor</b> 6 demolition of small section of 1841 roof frame and the 1963 rear brick wall  7 construction of a rear extension in the existing carpark and second floor over the 1963 rear extension  8 construction of new internal walls to create new access stair, lift and another six accommodation suites with bedrooms and en suites  9 construction of access stair, lift and an addition six accommodation suites partially into the loft space of the existing second floor – creating a third floor	Medium None None  None None  Space S1 (Medium)  1841 Roof frame (Medium)	The 1841 roof frame will be demolished to make space for the suites in the loft. There will be an adverse heritage impact by the loss of that framing fabric.  There are no heritage items or important spaces or views that will be impacted by this part of the proposal.  The new partition walls and new planning provides for the expression of original timber structure –in accordance with CMP policy 1. Although the space F1 will be subdivided, it is acknowledged that to retain the original open space is unrealistic, given the change of use from stores to tourist related accommodation.  See comments for item 6.	There will be a small adverse impact on the roof frame for that part displaced by the works. This could be mitigated by its reuse in the loft works. None  There will be an adverse heritage impact on the open warehouse space of the first floor. However the income generation that can generate care for the first floor fabric is a mitigation. The space is otherwise difficult to let.  See comments for item 6

10 construction of four skylights to the existing roof plane fronting Salamanca Place	Roof plane to Salamanca Place (High) cgi (Low)	The retention of the roof plane facing Salamanca Place is important. Any new skylights should be flush with that roof plane as much as possible.	The proposed skylights are flush with the roof plane and so there will be no adverse heritage impact.
11 lifting of the second gable (behind the front gable) to provide for a new vented and glazed roof	Roof frame (Medium) cgi (Low)	The 1841 roof frame to the second gable will be lost by these works. Whilst the retention of the plane of that gable is not important (as it is screened from public view) the frame itself is mainly original fabric. Its removal will have an adverse heritage impact. It is preferred that the fabric be retained and reused as much as possible in the works.	There will be an adverse impact on the roof frame for that part displaced by the works. This could be mitigated by its reuse in the new roof works.
<b>New fourth and fifth floors</b> 12 construction of access stair, lift and accommodation suites each floor within the new rear extension over the existing carpark –creating fourth and fifth floors	None	The new rear extension will not impact on any heritage fabric or items of heritage significance. There are no heritage constraints for this work.	None
<b>Public views of changes</b> 13 Public views of roof	Medium	The new works will not interfere, other than the introduction of skylights, with the public views of the most important part of the roof –the plane of the front facing gable as seen from the Cove floor. There are no public views of the second gable. The proposed works will create a new roof slightly above the ridge of the front gable and set back behind it. This new visible roof should not be prominent.	None, subject to recessive materials and detailing being employed for the new rear roof.

## 7.02 Overall impact on the cultural significance of the place


There will be some adverse heritage impacts on fabric and spaces as a consequence of these proposed works. It is inevitable that some subdivision of spaces and some adaptation of heritage fabric will be necessary with any new use made of the building. It is clear that the project architect has made considerable effort to maximize the retention of posts and beams and associated heritage values within the context of conversion to a boutique hotel use.

I consider that the heritage impacts are relatively small and will not impact on the conservation of cultural significance of the place.

## 7.03 Recommendations

- 1 All fabric of cultural heritage significance that will be modified or removed by the works should be properly recorded in accordance with the Tasmanian Heritage Council's Practice Note on Extant Recording.**
- 2 All spaces of cultural heritage significance that will be modified or subdivided by the works should be properly recorded in accordance with the Tasmanian Heritage Council's Practice Note on Extant Recording.**
- 3 The project architect is encouraged to reuse any of the displaced roof framing in the works.**
- 4 The new pop-up roof towards the rear of the site should not be prominent. Materials, reflectivity and detail form should be approved by the Heritage Council and Hobart City Council as recessive.**

## Submission to Planning Authority Notice

Council Planning Permit No.		Council notice date	26/09/2016
<b>TasWater details</b>			
TasWater Reference No.	TWDA 2016/01408-HCC		Date of response 11 Oct 2016
TasWater Contact	Greg Clausen	Phone No.	(03) 6237 8242
<b>Response issued to</b>			
Council name	HOBART CITY COUNCIL		
Contact details	coh@hobartcity.com.au		
<b>Development details</b>			
Address	25 SALAMANCA PL, BATTERY POINT (25 & 39-41 & 47-51 SALAMANCA PLACE)		Property ID (PID) 5672228
Description of development	Demolition, alterations and extensions to visitor accommodation		
<b>Schedule of drawings/documents</b>			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
<b>Conditions</b>			
Pursuant to the <i>Water and Sewerage Industry Act 2008 (TAS)</i> Section 56P(2)(a) TasWater does not object to the proposed development and no conditions are imposed.			
<b>Advice</b>			
For information on TasWater development standards, please visit <a href="http://www.taswater.com.au/Development/Development-Standards">http://www.taswater.com.au/Development/Development-Standards</a> For application forms please visit <a href="http://www.taswater.com.au/Development/Forms">http://www.taswater.com.au/Development/Forms</a>			
<b>Declaration</b>			
The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.			
<b>Authorised by</b>			
 <b>Jason Taylor</b> Development Assessment Manager			
<b>TasWater Contact Details</b>			
Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au



PLANNING REF: PLN-16-1023  
THC WORKS REF: 5147  
REGISTERED PLACE NO: 1930, 1935, 1963 & 1964  
FILE NO: 15-03-82THC, 06-36-68THC, 10-53-48THC & 07-02-23THC  
APPLICANT: Ganche Chua  
DATE: 07 December 2016

## NOTICE OF HERITAGE DECISION

*(Historic Cultural Heritage Act 1995)*

The Place: 25, 39-41 and 47-51 Salamanca Place, Battery Point.  
Proposed Works: Partial demolition, alterations, extensions and partial change of use to visitor accommodation.

Under section 39(6)(b) of the *Historic Cultural Heritage Act 1995*, the Tasmanian Heritage Council gives notice that it consents to the discretionary permit being granted in accordance with the documentation submitted with Development Application PLN-16-1023, advertised on 27/10/2016, subject to the following conditions:

1. **Works involving ground disturbance must be carried out in accordance with the provisions and policies of the *Statement of Archaeological Potential, Archaeological Impact Assessment & Archaeological Method Statement* prepared by Praxis Environment (dated August 2016).**

Reason for condition

To ensure that the archaeological values of the site be appropriately managed.

2. (i) **The new roof sheeting must be of corrugated 'custom-orb' profile in galvanised steel or Colorbond of a colour that is in keeping with the historical presentation of the places; and**  
(ii) **The sheet lengths to the front and side roof faces must match the existing sheet lengths; and**  
(iii) **The new ridge and hip cappings must be of a matching 'roll top' profile.**

Reason for condition

To conserve significant characteristics of the roofs.

3. **A copy of all plans and specifications submitted in making application for a building permit must also be provided to Heritage Tasmania and must also document conservation and protection work to heritage fabric. Any substantial variance from the works covered by this permit**

**must be identified by the applicant and will require further heritage approval.**

Reason for condition

To regulate those works that are not adequately documented in this application.

- 4. A detailed extant record must be made of all historically significant elements and spaces to be demolished, altered or uncovered as a result of this approval and a high resolution digital copy of this record provided to Heritage Tasmania prior to completion of the works. For areas that will be affected by the works, the record must comprise:**

- **at least one photograph of each interior space; and**
- **photographs of any detail or finish that may be of historical archaeological or architectural interest; and**
- **dimensioned measured drawings of any original architectural details that will be altered or destroyed; and**
- **cross referencing of all photographs to “as existing” floor plans, showing the location and orientation of the camera.**

Reason for condition

To record items of architectural and archaeological interest, and document the evolution of these important heritage places.

- 5. Prior to the installation of any signage included in this application, details of the graphics and fixings of the proposed signage must be submitted to Heritage Tasmania. The proposed signage must not be installed without the prior written approval of Heritage Tasmania’s Works Manager.**

Reason for condition

To ensure that new signage will not have an adverse impact on the heritage values places.

- 6. The following works are not included in this approval:**
- (a) the modification of the second floor window opening in the Montpelier Retreat elevation of the c1835 section of no. 39 Salamanca Place (refer to elevation 02 on drawing no. 1529-DA09 (rev. B) by Circa Morris-Nunn Architects, dated 11/10/2016); and**
  - (b) the removal of rafters over the mezzanine floor to suite 04 in the attic level of no. 51 Salamanca Place (refer to demolition plan 02 on drawing no. 1528-DA08 (rev. A) by Circa Morris-Nunn Architects, dated 21/09/2016).**

Reason for condition

To clarify inconsistencies in the design documentation.

Advice

It is desirable that the owner prepare and implement interpretation policies as recommended in the Conservation Management Plans for the places. Further advice should be sought from Heritage Tasmania in relation to any approvals that may be required for interpretative installations.

---end of conditions and advice---

Please ensure the details of this notice, including conditions and advice, are included in any permit issued, and forward a copy of the permit or decision of refusal to the Tasmanian Heritage Council for our records.

Please contact Russell Dobie on 1300 850 332 if you require clarification of any matters contained in this notice.

A handwritten signature in black ink, appearing to read 'B. Torossi', with a stylized flourish extending from the bottom.

Brett Torossi

**Chair**

*Under delegation of the Tasmanian Heritage Council*